



ALPINE CITY COUNCIL MEETING

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a **Meeting** on **TUESDAY, July 23, 2013 at 7:00 pm** at Alpine City Hall, 20 North Main, Alpine, Utah as follows:

I. CALL MEETING TO ORDER

- A. ***Roll Call** Mayor Hunt Willoughby
- B. **Prayer:** Kimberly Bryant
- C. **Pledge of Allegiance:** By Invitation

II. **PUBLIC COMMENT:** The public may comment on items that are not on the agenda.

III. CONSENT CALENDAR

- A. **Approve the minutes of July 9, 2013**
- B. **Bond Release #3 for Bennett Farms, Plat A - \$45,056.52**
- C. **Bond Release #2 for Bennett Farms, Plat B - \$70,479.60**
- C. **Award bid for overlays to Staker Paving**

IV. REPORTS AND PRESENTATIONS

V. ACTION/DISCUSSION ITEMS

- A. **Bennett Farms, Plat D - Final Approval - Roger Bennett:** The Council will consider granting approval to Plat D which consists of 5 one-acre lots on Country Manor and Fox Meadow Lanes.
- B. **T-Mobile Cellular Tower Modification Site Plan - 694 S. Rocky Mtn Drive - Terry Cox:** The Council will consider approving the cell tower modification for T-Mobile.
- C. **Eagle Point Subdivision - 800 West 600 North - Mark Wells and Taylor Smith:** The Council will determine whether the proposed 16-lot subdivision should be a Planned Residential Development (PRD).
- D. **Ordinance No. 2013-12,** Amending Article 4.5 of the Development Code regarding Minor Subdivisions
- E. **Ordinance No. 2013-11,** Amending Article 4.14 of the Development Code regarding Site Plans.
- F. **Approve Poll Workers for the 2013 Municipal Election:** The Council will review and approve the proposed poll workers for this year's election.
- G. **Fire District Consolidation Report:** Chief Brad Freeman will present the report on consolidating fire districts.

VI. STAFF REPORTS

VII. COUNCIL COMMUNICATION

VIII. **EXECUTIVE SESSION:** Discuss litigation, property acquisition or the professional character, conduct or competency of personnel.

* **Some Council Members may participate electronically.**

ADJOURN

Hunt Willoughby, Mayor
July 19, 2013

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder's Office at (801) 756-6241.

CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being the bulletin board located inside City Hall at 20 North Main and located in the lobby of the Bank of American Fork, Alpine Branch, 133 S. Main, Alpine, UT; and the bulletin board located at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html

ALPINE CITY COUNCIL MEETING
Alpine City Hall, 20 North Main, Alpine, UT
July 9, 2013

I. CALL MEETING TO ORDER: The meeting was called to order at 7:00 pm by Mayor Hunt Willoughby.

A. Roll Call: The following were present and constituted a quorum:

Mayor Hunt Willoughby

Council Members: Troy Stout, Kimberly Bryant, Mel Clement

Council Members not present: Will Jones, Bradley Reneer

Staff: Rich Nelson, Charmayne Warnock, David Church, Shane Sorensen, Jason Bond, Jannicke Brewer

Others: Kathy Harding, Keith Vallejo, Steve Howe

B. Prayer: Mel Clement

C. Pledge of Allegiance: Troy Stout

II. PUBLIC COMMENT: Kathy Harding said she lived on Dry Creek Lane. Her home was separated from Creekside Park by the stream bed. She said she had a deep concern about the fireworks that were lit in the park on the 4th of July. There were a lot of fireworks and a lot of them were shooting into the trees along stream bed by her house. They had six pine trees along the creek and it only took 600 degrees to start a tree on fire. Fireworks were 1200 degree. She said she was out spraying water on the trees the whole time people were setting off fireworks. Little kids were throwing their sparklers over the fence into the creek area. She said she found spent fireworks in her front yard and her roof and truck were covered with ash. She asked if there was a better way to have fireworks in the park without setting Dry Creek on fire. She added it had been found that firework smoke was causing illness for people.

There was a lot of discussion about the problem and it was decided that the City would tape off an area along Dry Creek to keep the fireworks well away from the Dry Creek streambed.

III. CONSENT CALENDAR

A. Approve the Minutes of June 25, 2013

B. Payment Request No. 2 - VanCon, Inc: Shane Sorensen said the payment amount noted on the agenda was \$94,583.90. It had since been adjusted to \$99,143.90

MOTION: Troy Stout moved to approve the minutes of June 25, 2013 and approve second payment for VanCon in the amount of \$99,143.90. Kimberly Bryant seconded. Ayes: 3 Nays: 0. Motion passed unanimously.

IV. REPORTS AND PRESENTATIONS: None

V. ACTION AND DISCUSSION ITEMS

A. Vallejo Request: Rich Nelson said that Noel Vallejo owned several lots in Box Elder subdivision adjacent to Lambert Park. Mr. Vallejo had attend the DRC meeting with a request to clear some vegetation along the boundary of his property and Lambert Park in order to build a retaining wall on his property.

Steve Howe was the contractor for Mr. Vallejo. He further explained that they wanted to trim the vegetation back as far as five fee in order to put up scaffolding to put up the wall. He said they did not intend to take out the oak brush entirely. They just wanted to trim it so they could get in there and work.

Keith Vallejo said Shane Sorensen and Jay Healey had come up and looked at the project. They discussed having a water truck present so no fires were started. They would need permission to park the water truck on the road in Lambert Park that ran along the backside of their property. He said they had already trimmed some vegetation but left the root. They decided to come into the City and get approval before doing more.

1
2 Mel Clement and Troy Stout expressed concern about removing vegetation in Lambert Park. Mr. Stout said that
3 after what happened at Moyle Park the previous week, it was apparent that "trimming" was a matter of
4 interpretation. He said he felt if any trimming was to be done, the City should be the one to do it.
5

6 The Council agreed they didn't want to approve any trimming without first looking at the proposed project. Troy
7 Stout offered to go up to Lambert Park and meet with the homeowner and look at what they wanted to do. He would
8 have a report in two weeks.
9

10 **B. Accessory Apartment Discussion.** Jason Bond summarized previous discussions by the City Council
11 regarding accessory apartment with the following:
12

- 13 • Accessory apartments were a good thing for Alpine for various reasons including meeting the moderate
14 income housing requirement
- 15 • When the right to have an apartment was abused, it was detrimental to the neighborhood.
- 16 • The main part of the dwelling had to be occupied by the owner of record, not just a family member.
- 17 • The Council had approved an application and annual renewal fee of \$50 for an accessory apartment.
- 18 • The City would put an article in the Newslite to educate residents about accessory apartments.
19

20 Jason Bond said there were other options to consider regarding accessory apartments. Some cities allowed nightly
21 rentals or vacation rentals. The Council indicated they were opposed to that.
22

23 Mr. Bond said it had been suggested they consider notifying neighbors if someone requested an accessory
24 apartment.
25

26 David Church said that notifying neighbors about applications for accessory apartment gave neighbors the
27 impression that they had veto power over an apartment. In Alpine City's Ordinance, accessory apartments were a
28 permitted use provided they met the criteria. If the Council wanted to notify neighbors, they would need to amend
29 the ordinance so it was not a permitted use.
30

31 Jason Bond said the Council had also discussed accessory dwelling units (ADUs) which would be similar to an
32 accessory apartment but would not be attached to the house. A minimum lot size of one acre would be required in
33 order to have one, and the footprint of the ADU would be limited. He said one of the advantages of an attached
34 accessory dwelling unit was that they would be easier to enforce because it would require a building permit and it
35 would be visible rather than hidden in a basement. It would also decrease the amount of landscape watering. It was
36 essentially the same thing as an accessory apartment except it was not attached.
37

38 Mel Clement said he was firmly against the idea. Troy Stout said he felt it would be opening the door to apartment
39 complexes, but on the other hand, it would be nice for ailing parents or children.
40

41 Mayor Willoughby asked what the status was on accessory apartment violations.
42

43 Jason Bond said he had sent out letters to people who were known to be in violation of the accessory apartment
44 ordinance. Several had responded. He had gone out with the building inspector to look at them. He said that unless a
45 neighbor called and complained about an illegal or non-permitted accessory apartment, the City had no way of
46 knowing they were out there.
47

48 Mel Clement suggested that if someone did not renew their accessory apartment permit, they would have to pay
49 \$100 to reinstate it. It would include a \$50 reinspection fee.
50

51 Charmayne Warnock commented that there were a number of accessory apartments out there that were not
52 registered with the City, but were being rented. The reason a previous council had decided to waive the accessory
53 apartment permit fee was in the hopes it would encourage more people to register their apartments.
54

55 Jannicke Brewer said most people knew where the accessory apartment were in their neighborhoods, but they
56 wouldn't know whether or not they were registered.

1 Rich Nelson asked that items E and F be dealt with first.
2

3 **E. Ordinance No. 2013-11, Amending Article 4.5 of the Development Code Regarding Site Plan**

4 **Approval.** A The current ordinance required a site plan approval by the Planning Commission in order to build a
5 home was a parcel of ground that was not in a recorded subdivision. Rich Nelson said that since most site plans were
6 fairly straightforward, he had recommended they be approve by the DRC. The Planning Commission met only once
7 a month, and it would expedite the process. However, the Planning Commission did not like the suggestion. They
8 wanted to continue to review and approve the site plans.
9

10 Jannicke Brewer said the Planning Commission was not that busy and it gave them a feel for what was going on in
11 Alpine. There weren't any issues the DRC couldn't decide. It just kept the Planning Commission informed.
12

13 David Church said that sometimes the City was making people wait six weeks before they could even apply for a
14 building permit because of the Planning Commission schedule. It was frustrating to people who came to DRC
15 thinking they were going to be able to build.
16

17 Troy Stout said that maybe the Planning Commission needed to start meeting twice a month. Mayor Willoughby
18 said they were looking at doing that when they began updating the General Plan.
19

20 **MOTION:** Troy Stout moved to keep the approval process for site plans the way it was, and encourage the Planning
21 Commission to meet twice a month. Mel Clement seconded. Ayes: 3 Nays: 0. Motion passed unanimously.
22

23 **F. Ordinance No. 2013-12, Amending Article 4.5 of the Development Code Regarding Approval of**
24 **Minor Subdivisions:** Rich Nelson said that he had suggested that the DRC approve minor subdivisions unless it
25 looked like it was going to be complicated , in which case it would go to the Planning Commission. He said the
26 Planning Commission had not been in favor of the proposed amendment. They did suggest that the ordinance be
27 amended to require notification of neighbors within 300 feet. Currently the ordinance required notification of
28 adjacent property owners. They felt the neighbors across the street should also be notified. The proposed amendment
29 also update the submission requirement.
30

31 **MOTION:** Troy Stout moved to amend Article 4.5.3.1 to update the number of copies of the subdivision plat that
32 needed to be submitted and the notification requirements, but have the Planning Commission retain authority to
33 approve minor subdivisions. Kimberly Bryant second. Withdrawn.
34

35 The motion and second was later withdrawn because after more discussion, the City Council decided they would
36 like to see a clean copy with the proposed changes before voting.
37

38 **C. Ordinance No. 2013-06, Amending Article 2.4 of the Development Code Regarding the**
39 **Development Review Committee (DRC):** Rich Nelson said he wanted the City Administrator to have the ability to
40 bring other people into the DRC meetings on an as needed basis. The proposed amendment would allow that.
41

42 Jason Bond said Bradley Reneer had been concerned about existing wording in Article 2.4 that stated: "The DRC
43 shall give advice and have no power to bind the City." It had been changed to: "The DRC shall give advice that has
44 no power to bind the City."
45

46 **MOTION:** Mel Clement moved to adopt Ordinance No. 2013-06 amending Article 2.4 of the Development Code.
47 Troy Stout seconded. Ayes: 3 Nays: 0. Motion passed unanimously.
48

49 **D. Ordinance No. 2013-10, Amending Article 3.21.6 Regarding Fences.** Rich Nelson said there was
50 often confusion about restrictions on fences. To provide more clarity to residents, it was proposed that when
51 someone wanted to build a fence, they needed to come into the City and get a permit. No fee would be charged.
52 The approval would be handled in the building department. If someone was putting up a fence adjacent to a park or
53 open space, it would need to go to DRC for approval.
54

55 Mr. Nelson said the Planning Commission had felt the proposal was intrusive and would increase the City's
56 workload. Mel Clement said he felt the City was over-regulating fences.

1
2 Kimberly Bryant said she'd had people complaining about other people's illegal fences. If the City was going to have
3 rules for fences, they should enforce them.
4

5 **MOTION:** Kimberly Bryant moved to adopt Ordinance 2013-10 requiring a permit for a fence, but no fee would
6 be charged. Troy Stout seconded. Ayes: 3 Nays: 0. Motion passed. Troy Stout, Kimberly Bryant and Mel Clement
7 voted aye.
8

9 VI. STAFF REPORTS

10
11 Rich Nelson

- 12
- 13 • Mr. Nelson reported on the mud slide that occurred over the holiday weekend as a result from last year's
14 Quail Fire. He said the debris basin was finished just in time and worked 90% as designed. No homes
15 were damaged. The public works department cleaned out the debris basin in preparation for a future mud
16 slide. The City had used Tweets, Facebook and the webpage to communicate with the people. He offered
17 kudos to Shane Sorensen and Jed Muhlestein for the design and to Ron Devey and Greg Kmitzch for
18 being up there at 4 am. The lady with the wall in front of her home felt it was more beautiful now since it
19 had saved her home.
- 20 • He complimented Shane Sorensen on his appearance on TV regarding the mud slide.
- 21 • Mr. Nelson reported that they were rethinking having the Lone Peak Safety District as a taxing entity.
22 They had also postponed switching dispatch providers.
- 23 • The parade route had changed again. It would go all the way around Creekside Park and end at Alpine
24 Elementary.
25

26 Shane Sorensen

- 27
- 28 • He reported that there was 0.37 inches of rain one day and 0.2 inches the second day. The mud slide
29 occurred on the second day. There was water in Dry Creek which wasn't common for this time of year.
30 Using maps and photos, Shane showed the path of the mudslide. They still need to work on an area the
31 deflected the mud flow out of the planned pathway to the debris basin. There would be some extra cost to
32 VanCon for the cleanup. They would reseed the disturbed areas in October.
- 33 • They would be chip-sealing the road from the roundabout to Grove Drive beginning Thursday, July 18th.
34 Two electronic message boards would be put up advising people to take another route and drive slow.
- 35 • Overlays and microsurfacing would be going out to bid.
- 36 • A homeowner in the county had come to the City and asked if he could run a water line to his place and use
37 City water for fire protection. He had a couple of wells that were not working well. Mr. Sorensen said it
38 was in the City's interest to have good fire protection up there since he was next to Lambert Park.
39

40 Jannicke Brewer

- 41
- 42 • She said the unfinished home off Moyle Drive was deathtrap and should be fenced. David Church said that
43 under the Code the building official could put up an order to repair it or demolish it. It was thought the
44 property belonged to Brit Server.
- 45 • The Planning Commission meeting in August would be on the third Tuesday. They would hold a public
46 hearing on a townhouse overlay zone.
47

48 VII. COUNCIL COMMUNICATION

49
50 Mel Clement said he had talked to Zions Bank about the PI bond. The City was paying 3%. He felt the subject
51 needed to be part of the budget discussion.
52

53
54 Troy Stout
55

- 1 • He asked about water restriction enforcement. Shane Sorensen said Ron Devey went out early in the
2 morning and hung notices on doors. He had locked up a few meters.
3 • He asked about illegal street parking. He was told to call the police and they would write a citation.
4 • He said Moyle Park got a butch job. The residents had told the City Council voted on it and approved it, but
5 they did not.
6 • He said he would like to consider a Farmers Market in Alpine.
7 • He asked about the money spent to rescue the people in the helicopter crash in American Fork Canyon.
8 Mayor Willoughby said the EMS got paid for going up the canyon.
9 • He asked if there were any additional patients at the Alpine Recovery Lodge. Rich Nelson said he thought
10 they had more. Kimberly Bryant noted that parking was an issue. Visitors with RVs were parking on the
11 street.
12

13 Mayor Willoughby said he would like to take two-minute field trip to the other end of the building to look at the
14 upstairs as a potential storage place for sports equipment.
15

16 **VIII. EXECUTIVE SESSION:** None held.
17

18 **MOTION:** Troy Stout moved to adjourn. Kimberly Bryant seconded. Ayes: 3 Nays: 0. Motion passed.
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20 The meeting was adjourned at 9:15 pm.
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ALPINE CITY
 ESCROW BOND RELEASE FORM
 Bond Release No. 3

BOND HOLDER
 Rock Canyon Bank

Thru Period Ending: July 19, 2013

Bennett Farms Plat A
 Location: Alpine Boulevard
 Original Bond

Item	Quantity	Units	120%		Total Cost	% Completed	% Completed	Total
			Unit Cost	Unit Cost		This Period	To Date	
SWPPP Installation and Maintenance	1	L.S.	\$3,950.00	\$4,740.00	\$4,740.00	77%	80%	\$3,792.00
Clearing and Grubbing	1	L.S.	\$4,000.00	\$4,800.00	\$4,800.00	0%	80%	\$3,840.00
Rough Grading	1	L.S.	\$3,200.00	\$3,840.00	\$3,840.00	0%	80%	\$3,072.00
Connect to Existing Sewer Line	2	Each	\$100.00	\$120.00	\$240.00	0%	80%	\$192.00
8" Sewer Main	380	L.F.	\$18.92	\$22.70	\$8,627.52	0%	80%	\$6,902.02
Sewer manhole	2	Each	\$2,660.00	\$3,192.00	\$5,852.00	0%	80%	\$4,681.60
Sewer lateral	4	Each	\$800.00	\$960.00	\$3,840.00	0%	80%	\$3,072.00
Sewer bedding, backfill, compaction, & testing	1	L.S.	\$2,460.00	\$2,952.00	\$2,952.00	0%	80%	\$2,361.60
Connect to Existing Water Line	1	Each	\$100.00	\$120.00	\$120.00	0%	80%	\$96.00
8" DIP Water Line	210	L.F.	\$31.20	\$37.44	\$7,862.40	0%	80%	\$6,289.92
Fire Hydrant with Valve	1	Each	\$3,577.80	\$4,293.36	\$4,293.36	0%	80%	\$3,434.69
1" Water Lateral	4	Each	\$852.00	\$1,022.40	\$4,089.60	0%	80%	\$3,271.68
6" Pressurized Irrigation Water Line	210	L.F.	\$11.82	\$14.18	\$2,978.64	0%	80%	\$2,382.91
1" Pressurized Irrigation Lateral	4	Each	\$570.00	\$684.00	\$2,736.00	0%	80%	\$2,188.80
Water bedding, backfill, compaction, & testing	1	L.S.	\$4,004.00	\$4,804.80	\$4,804.80	0%	80%	\$3,843.84
Catch Basin and related appurtenances	1	L.S.	\$2,835.00	\$3,402.00	\$3,402.00	0%	80%	\$2,721.60
24" Curb and Gutter	800	L.F.	\$12.60	\$15.12	\$12,096.00	80%	80%	\$9,676.80
12" Subbase	12285	S.F.	\$0.70	\$0.84	\$10,319.40	0%	80%	\$8,255.52
3" Asphalt, 8" Roadbase	10800	S.F.	\$1.80	\$2.16	\$23,328.00	80%	80%	\$18,662.40
Adjust Manholes and Valves to Grade	1	L.S.	\$2,550.00	\$3,060.00	\$3,060.00	0%	0%	\$0.00
4' Sidewalk with 6" Roadbase	484	L.F.	\$13.00	\$15.60	\$7,550.40	80%	80%	\$6,040.32
5' Sidewalk with 6" Roadbase	352	L.F.	\$16.25	\$19.50	\$6,864.00	80%	80%	\$5,491.20
Handicap Ramps	2	Each	\$800.00	\$960.00	\$1,920.00	80%	80%	\$1,536.00
TOTAL BOND AMOUNT					\$ 130,848.12	Amount Released to Date:		\$102,230.50

** At the discretion of the City, up to 80% of the total bond amount may be released as partial payments and 90% of the total will be released at final. The remainder will be held for the two year warranty period.

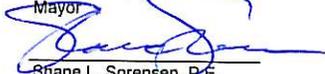
Previously Released: \$ 57,173.98
 This Release: **\$45,056.52**

Requested by Developer:

Roger Bennett _____ Date _____

Approved by Alpine City:

Hunt Willoughby _____ Date _____
 Mayor


 Shane L. Sorensen, P.E. _____ Date 7/19/13
 City Engineer

Jay Healey _____ Date _____
 Public Works Director

City Council _____ Date _____
 (by Charmayne Warnock - City Recorder)

ALPINE CITY
 ESCROW BOND RELEASE FORM
 Release No. 2

BOND HOLDER

Thru Period Ending: June 19, 2013

Bennett Farms Plat B
 Location: Country Manor Lane
 Original Bond

Item	Quantity	Units	Unit Cost	120% Unit Cost	Total Cost	% Completed This Period	% Completed To Date	Total
SWPPP Installation and Maintenance	1	L.S.	\$ 2,550.00	\$3,060.00	\$3,060.00	30%	80%	\$2,448.00
Clearing and Grubbing	1	L.S.	\$ 4,850.00	\$5,820.00	\$5,820.00	0%	80%	\$4,656.00
Rough Grading	1	L.S.	\$ 30,400.00	\$36,480.00	\$36,480.00	0%	80%	\$29,184.00
Connect to Existing Sewer Line	1	Each	\$ 500.00	\$600.00	\$600.00	0%	80%	\$480.00
8" Sewer Main	670	L.F.	\$ 19.92	\$23.90	\$16,015.68	0%	80%	\$12,812.54
Sewer manhole	4	Each	\$ 2,860.00	\$3,432.00	\$13,728.00	0%	80%	\$10,982.40
Sewer lateral	9	Each	\$ 900.00	\$1,080.00	\$9,720.00	0%	80%	\$7,776.00
Sewer bedding, backfill, compaction, & testing	1	L.S.	\$ 5,800.00	\$6,960.00	\$6,960.00	0%	80%	\$5,568.00
Connect to Existing Water Line	1	Each	\$ 400.00	\$480.00	\$480.00	0%	80%	\$384.00
8" DIP Water Line	750	L.F.	\$ 31.20	\$37.44	\$28,080.00	0%	80%	\$22,464.00
Fire Hydrant with Valve	2	Each	\$ 3,577.80	\$4,293.36	\$8,586.72	0%	80%	\$6,869.38
3/4" Water Lateral	9	Each	\$ 852.00	\$1,022.40	\$9,201.60	0%	80%	\$7,361.28
6" Pressurized Irrigation Water Line	750	L.F.	\$ 11.82	\$14.18	\$10,638.00	0%	80%	\$8,510.40
1" Pressurized Irrigation Lateral	9	Each	\$ 570.00	\$684.00	\$6,156.00	0%	80%	\$4,924.80
Water bedding, backfill, compaction, & testing	1	L.S.	\$ 12,533.60	\$15,040.32	\$15,040.32	0%	80%	\$12,032.26
Connect to existing storm drain pipe	1	L.S.	\$ 350.00	\$420.00	\$420.00	0%	80%	\$336.00
15" Storm Drain Pipe	550	L.F.	\$ 19.50	\$23.40	\$12,870.00	0%	80%	\$10,296.00
Catch Basin and related appurtenances	4	Each	\$ 2,500.00	\$3,000.00	\$12,000.00	0%	80%	\$9,600.00
Detention basin control structure	1	L.S.	\$ 2,500.00	\$3,000.00	\$3,000.00	0%	80%	\$2,400.00
Detention basin grading for 0.055 ac-ft of storage	1	L.S.	\$ 4,000.00	\$4,800.00	\$4,800.00	30%	80%	\$3,840.00
4' diameter manholes	4	Each	\$ 1,800.00	\$2,160.00	\$8,640.00	0%	80%	\$6,912.00
Misc. storm drain material	1	L.S.	\$ 3,700.00	\$4,440.00	\$4,440.00	0%	80%	\$3,552.00
12" Subbase	30,000	S.F.	\$ 0.70	\$0.84	\$25,200.00	0%	80%	\$20,160.00
24" Curb and Gutter	1,450	L.F.	\$ 12.60	\$15.12	\$21,924.00	80%	80%	\$17,539.20
3" Asphalt, 8" Roadbase	24,000	S.F.	\$ 1.80	\$2.16	\$51,840.00	80%	80%	\$41,472.00
Adjust Manholes and Valves to Grade	1	L.S.	\$ 6,105.00	\$7,326.00	\$7,326.00	0%	0%	\$0.00
4' Sidewalk with 6" Roadbase	730	L.F.	\$ 13.00	\$15.60	\$11,388.00	80%	80%	\$9,110.40
TOTAL BOND AMOUNT					\$334,414.32			
Release No. 1 (paper release)					\$ 191,191.06			
TOTAL BOND REQUIRED					\$143,223.26			
						Previously Released:	\$	191,191.06
						This Release:		\$70,479.60

** At the discretion of the City, up to 80% of the total bond amount may be released as partial payments and 90% of the total will be released at final. The remainder will be held for the two year warranty period.

Requested by Developer:

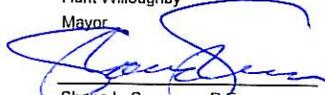
 Roger Bennett

 Date

Approved by Alpine City:

 Hunt Willoughby
 Mayor

 Date



 Shane L. Sorensen, P.E.
 City Engineer

 7/19/13
 Date

 Jay Healey
 Public Works Director

 Date

 City Council
 (by Charmayne Warnock - City Recorder)

 Date

ALPINE CITY COUNCIL AGENDA

SUBJECT: Bennett Farms Subdivision

FOR CONSIDERATION ON: 23 July 2013

PETITIONER: Roger Bennett

ACTION REQUESTED BY PETITIONER: Approve Final Plat D

APPLICABLE STATUTE OR ORDINANCE: Zoning

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed Bennett Farms Subdivision Plat D consists of 5 lots on 6.1459 acres. The property was recently annexed into the City with a CR-40,000 zone designation. The Planning Commission recommended approval at their meeting of July 16, 2013.

RECOMMENDED ACTION:

We recommend final approval of the proposed development subject to the following conditions:

- Approval be granted to not require a temporary turnaround at the north end of Country Manor Lane, with the understanding that the stub street will not be plowed by the City.
- The developer work with City staff to obtain the necessary SWPPP permits and approvals for this plat.
- The water policy be met with Alpine Irrigation Company shares.
- A bond be provided for the required improvements.
- That the errors be corrected on the final plat.
- The debris flow hazard study be tied to the title of the properties in some manner to make potential lot buyers aware of the potential risks when building in the area.



July 9, 2013

Jason Bond, City Planner
Alpine City
20 North Main
Alpine, Utah 84004

**Subject: Bennett Farms Plat D - Water Requirement
4 lots on 3.729 acres**

Dear Jason:

We have calculated the water requirement for the Bennett Farms Subdivision Plat C subdivision. The subdivision consists of 5 lots on 6.1459 acres. The developer will be required to provide 10.98 acre-feet of water to meet the water policy for the development, which includes water rights for the detention basin.

Please contact me if you have any questions.

Sincerely,
ALPINE CITY

Shane L. Sorensen, P.E.
City Engineer

cc: File
Developer

Alpine City Engineering
20 North Main
Alpine, Utah 84004



Date: July 9, 2013

By: Shane L. Sorensen, P.E.
City Engineer

**Subject: Bennett Farms Subdivision Plat D
Final Review
5 lots on 6.1459 acres**

Background

The proposed Bennett Farms Subdivision Plat D consists of 5 lots on 6.1459 acres. The property was recently annexed into the City with a CR-40,000 zone designation.

Street System

Construction of this plat will connect Country Manor Lane and Fox Meadow. All streets will require curb, gutter and sidewalk as per City Standards.

The developer has requested that a temporary turnaround not be required at the north end of Country Manor Lane. The DRC recommends approval of this request subject the condition that the stub street from the intersection north will not be plowed by City snow plows.

Sewer System

There is an existing 8-inch sewer line in Fox Meadow that will need to be extended to the intersection and then north and south to serve the lots. 4-inch sewer laterals will be required for each lot.

Culinary Water System

There are existing 8-inch water lines in Country Manor Lane and Fox Meadow that will need to be extended in all of the new streets within the development. ¾-inch water laterals will be required for each lot. A new fire hydrant is proposed at the north end of Country Manor Lane. The location of the fire hydrant will need to be approved by the Fire Marshall.

Pressurized Irrigation System

There are existing 6-inch pressurized irrigation lines in Country Manor Lane and Fox Meadow that will need to be extended in all of the new streets within the development. 1-inch laterals will be required for each lot.

Storm Water Drainage/SWPPP

The storm drain system designed for this plat consists of constructing a series of catch basins and piping to collect the storm water and convey the water to a detention basin west of lot 5. The storm water will be released from the catch basin at a controlled rate and discharged into the existing storm drain in Fox Meadow. Storm drain calculations have been provided previously.

An overall storm water pollution prevention plan (SWPPP) was submitted for the entire development. A SWPPP specific to this plat will be required. The developer will be required to work with City staff to obtain the necessary permits and approvals for this plat.

General Subdivision Remarks

The developer has indicated that Alpine Irrigation Company shares will be used to meet the City's water policy.

A bond will need to be provided for the development improvements. There are several errors that need to be corrected on the final plat.

Section 3.12 of the City's development codes outlines the requirements for areas considered as sensitive land. The applicability of this ordinance to lands is based on hazard maps that have been adopted by the City showing the location and extent of potential hazards with the City and other factors. The majority of the property is shown on the maps as falling within the Geologic Hazards Overlay Zone, particularly having potential for debris flow hazards. This is to be expected as the property sits near the base of the mountains and is situated within the alluvial fan. A letter dated September 18, 2012, from Earthtec Engineering was submitted to address the potential for debris flow hazards. The recommended improvements are located in other phases of the development. It will need to be determined if the lots in the current plat will require those improvements concurrent with this plat or if the improvements can be constructed with a future plat. This information also should be referenced on the plat or tied to the property abstracts so potential buyers will be aware of the potential risks involved with building in the area.

We recommend final approval of the proposed development subject to the following conditions:

- **Approval be granted to not require a temporary turnaround at the north end of Country Manor Lane, with the understanding that the stub street will not be plowed by the City.**
- **The developer work with City staff to obtain the necessary SWPPP permits and approvals for this plat.**
- **The water policy be met with Alpine Irrigation Company shares.**
- **A bond be provided for the required improvements.**
- **That the errors be corrected on the final plat.**
- **The debris flow hazard study be tied to the title of the properties in some manner to make potential lot buyers aware of the potential risks when building in the area.**

ALPINE CITY COUNCIL AGENDA

SUBJECT: T-Mobile Cellular Tower Modification Site Plan

FOR CONSIDERATION ON: 23 July 2013

PETITIONER: Terry Cox

**ACTION REQUESTED BY PETITIONER: Approve the Plan to Modify
T-Mobile Cellular Tower**

APPLICABLE STATUTE OR ORDINANCE: Zoning

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

An antenna replacement project at the T-Mobile site located at 694 Rocky Mountain Drive (Shepherd's Hill) is being proposed. Upgrading an existing tower is a permitted use by ordinance.

The project includes a system upgrade to modernize the tower. T-Mobile needs to remove the existing antennas and replace them with smaller antennas that are designed to broadcast in the new modernization format. T-Mobile will also remove one of the existing cabinets on the existing cement pad and replace it with a cabinet that looks similar to the one they will remove.

The Planning Commission recommended approval of the site plan with landscaping design to be recommended by staff.

RECOMMENDED ACTION:

Approve the proposed site plan subject to the following conditions:

- A building permit be obtained prior to installation of the new equipment.
- Request that the site be landscaped as recommended by staff.
- The color of the new equipment be provided and approved.



June 17, 2013

Alpine City Planning & Zoning
20 N. Main St.
Alpine, UT 84004

RE: Modification to Existing Wireless Tower Located at 651 S.
Bateman, Alpine, UT "Shepherd Hill"

To Whom It May Concern:

As you may be aware, on February 22, 2012, the federal government enacted "collocation-by-right" legislation preempting delays in the process of zoning the collocation of transmission equipment on existing wireless communications facilities (Middle Class Tax Relief and Job Creation Act of 2012, Pub. L. No. 112-96, § 6409 (2012)) (hereinafter, the "**Federal Collocation-By-Right Legislation**"). The Federal Collocation-By-Right Legislation mandates that local governments must approve any eligible facilities request for the modification of an existing wireless tower or base station that does not substantially change the physical dimensions of such tower or base station.

Enclosed herein please find the application materials required for zoning approval of the modification to the wireless tower located at 651 S. Bateman. Please note that: (i) the modification involves the replacement of transmission equipment; and (ii) such modification will not substantially change the physical dimensions of such tower. Under the Federal Collocation-By-Right Legislation, Alpine City Planning & Zoning must therefore approve this request.

The proposed modification complies with all federal, state, and local zoning and permitting requirements. It is our expectation that this application will be processed without any undue delay and in a manner consistent with the newly enacted Federal Collocation-By-Right Legislation. Thank you in advance for your anticipated cooperation.

Regards,

Mark Whitlock
Partner Delivery Manager



July 2, 2013

Alpine City Planning and Zoning
20 N Main St.
Alpine Utah 84004

To whom it may concern:

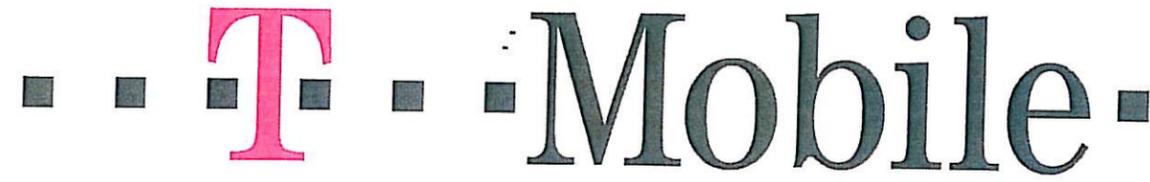
T-Mobile is going through a system upgrade to modernize all of its towers including the one on Shepherd Hill. T-Mobile needs to remove the existing antennas and replace them with smaller antennas that are designed to broadcast in the new modernization format. The overall appearance of the tower will look basically the same as it has since it was built.

T-Mobile will also remove one of the existing cabinets on the existing cement pad and replace it with a cabinet that looks similar to the one they will remove. Once again visually it will not look any different than it does today..

Thanks

Terry Cox
T-Mobile
801-860-0285

PROPRIETY INFORMATION:
THE INFORMATION CONTAINED IN THIS
SET OF DRAWINGS IS PROPRIETARY BY
NATURE. ANY USE OR DISCLOSURE
OTHER THAN THAT WHICH RELATES TO
T-MOBILE SERVICES IS STRICTLY
PROHIBITED.



DISCLOSURE:
NO SITE WALK WAS CONDUCTED FOR
THESE DRAWINGS. DATA WAS PROVIDED
BY T-MOBILE AND CROWN CASTLE.
CONTRACTOR TO VERIFY MATERIALS
AND DESIGN PRIOR TO INSTALL.

SL01122A ALPINE SHEPHERD HILL

651 SOUTH BATEMAN LANE
ALPINE, UT 84004

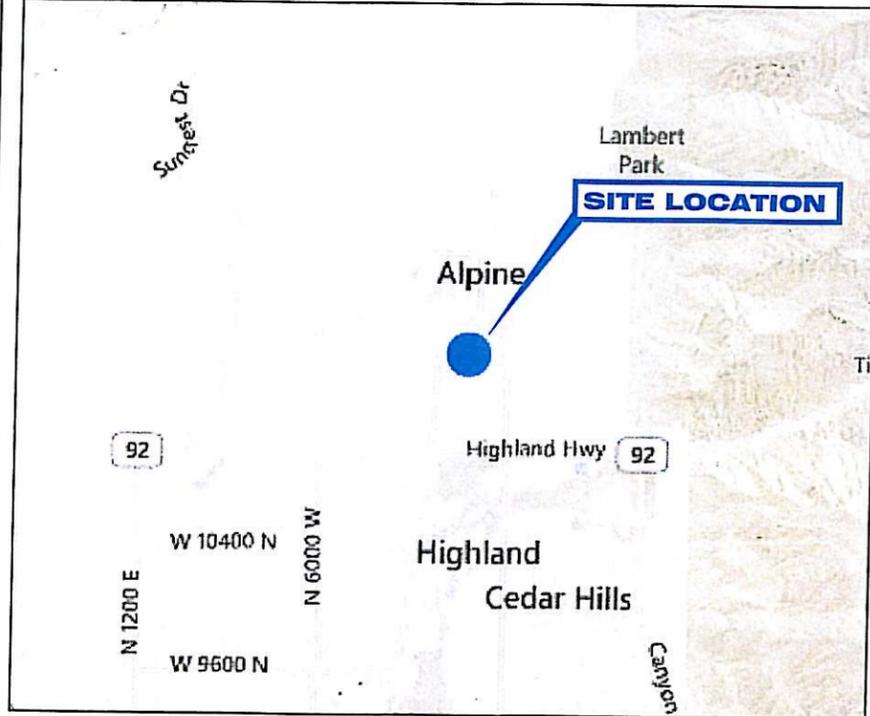
SCOPE OF WORK

T-MOBILE IS PROPOSING TO REMOVE SIX (6) ANTENNAS AND TWELVE (12) LINES OF COAX. T-MOBILE IS PROPOSING TO INSTALL SIX (6) NEW ANTENNAS AND ONE (1) NEW FIBER CABLE. FINAL TOWER CONFIGURATION WILL BE SIX (6) ANTENNAS, THREE (3) TMAs, TWELVE (12) LINES OF COAX AND ONE (1) FIBER CABLE.

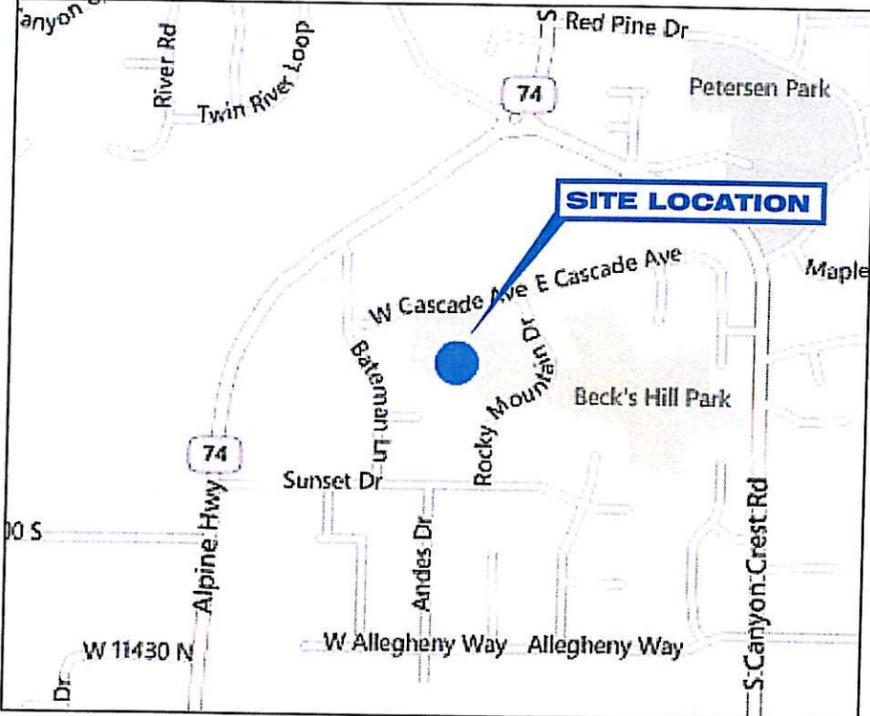
MODERNIZATION EQUIPMENT LIST

SECTOR	TYPE	MODEL	QUANTITY
ALPHA	ANTENNA	ERICSSON AIR 21	2
ALPHA	TMA	ANDREW TWIN AWS	1
ALPHA	COAX	7/8" - 100'	4
BETA	ANTENNA	ERICSSON AIR 21	2
BETA	TMA	ANDREW TWIN AWS	1
BETA	COAX	7/8" - 100'	4
GAMMA	ANTENNA	ERICSSON AIR 21	2
GAMMA	TMA	ANDREW TWIN AWS	1
GAMMA	COAX	7/8" - 100'	4
SITE	FIBER	9X18 MLE HYBRID	1

GENERAL LOCATION MAP



VICINITY MAP



DATE: 5-10-2013
DRAWN BY: CJS (STILLWATER)
CHECKED BY: MATT HODGEN

REVISIONS

DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
6-6-13	FINAL CDs	CJS

APPROVALS

APPROVED BY	PRINT NAME	INITIALS	DATE
PROJECT MANAGER			
RF ENGINEER			
OPS MANAGER			
CONSTRUCTION			
LANDLORD			

CONTACT INFORMATION

STRUCTURE OWNER
CROWN CASTLE USA, INC
5350 NORTH 48TH STREET
CHANDLER, AZ 85226

SITE ACQUISITION FIRM
RAGE DEVELOPMENT LLC
2181 HUGO AVENUE
SALT LAKE CITY, UT 84117

NETWORK SYSTEMS OWNER
T-MOBILE
121 WEST ELECTION RD. STE. 330
DRAPER, UT 84020

A/E FIRM
STILLWATER MANAGEMENT, LLC
2977 CONNOR STREET
SALT LAKE CITY, UT 84109

SL01122A
ALPINE SHEPHERD HILL
651 SOUTH BATEMAN LANE
ALPINE, UT 84004

DRAWING TITLE: TITLE SHEET
DRAWING NO.: T-1

GENERAL CONSTRUCTION NOTES

1. DRAWINGS WERE PREPARED FROM STANDARDIZED DETAILS DEVELOPED AND PROVIDED BY T-MOBILE WEST, LLC ("T-MOBILE"). STANDARDIZED DETAILS ARE TO BE CONFIRMED AND CORRELATED AT THE SITE BY THE CONTRACTOR. STANDARDIZED DETAILS THAT REQUIRE MODIFICATIONS DUE TO ACTUAL FIELD CONDITIONS AND REQUIREMENTS MUST BE SUBMITTED TO, AND APPROVED BY, T-MOBILE PRIOR TO START OF WORK.
2. DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS TAKE PRECEDENCE. THIS SET OF DOCUMENTS IS INTENDED TO BE USED FOR DIAGRAM PURPOSES ONLY. UNLESS OTHERWISE NOTED, THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS.
3. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR, AND ANY REQUIREMENTS DEEMED NECESSARY TO COMPLETE INSTALLATION AS DESCRIBED IN THE DRAWINGS AND AS DISCUSSED ON THE SITE WALK.
4. PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF T-MOBILE VERBALLY AND IN WRITING.
5. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. ALL WORK PERFORMED ON THE PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
9. GENERAL CONTRACTOR SHALL PROVIDE, AT THE PROJECT SITE, A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDA OR CLARIFICATIONS FOR USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
10. THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
11. CONTRACTOR TO SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.

12. CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
13. CONTRACTOR SHALL MEET ALL OSHA REQUIREMENTS FOR ALL INSTALLATIONS.
14. CONTRACTOR TO VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO EXCAVATION.
15. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION, UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
16. CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION DAILY AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
17. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) T-MOBILE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
18. THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS.
19. THE CONTRACTOR SHALL PROVIDE T-MOBILE CORPORATION PROPER INSURANCE CERTIFICATES NAMING T-MOBILE WEST, LLC AS ADDITIONAL INSURED, AND T-MOBILE WEST, LLC PROOF OF LICENSE(S) AND PL & PD INSURANCE.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT CONDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- A. UTAH UNIFORM BUILDING STANDARD ACT RULES
- B. 2011 NATIONAL ELECTRIC CODE (NEC)
- C. 2009 INTERNATIONAL BUILDING CODE (IBC)
- D. 2006 NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101)
- E. 2009 INTERNATIONAL MECHANICAL CODE (IMC)
- F. LOCAL BUILDING CODE
- G. CITY OR COUNTY ORDINANCES

IMPORTANT NOTICE

THE EXISTING CONDITIONS REPRESENTED HEREIN ARE BASED ON VISUAL OBSERVATIONS AND INFORMATION PROVIDED BY OTHERS. STILLWATER MANAGEMENT CANNOT GUARANTEE THE CORRECTNESS NOR THE COMPLETENESS OF THE EXISTING CONDITIONS SHOWN AND ASSUMES NO RESPONSIBILITY THEREOF. THE CONTRACTOR SHALL VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS AS REQUIRED FOR PROPER COMPLETION OF THE PROJECT.



DATE: 5-10-2013
 DRAWN BY: CJS (STILLWATER)
 CHECKED BY: MATT HODGEN

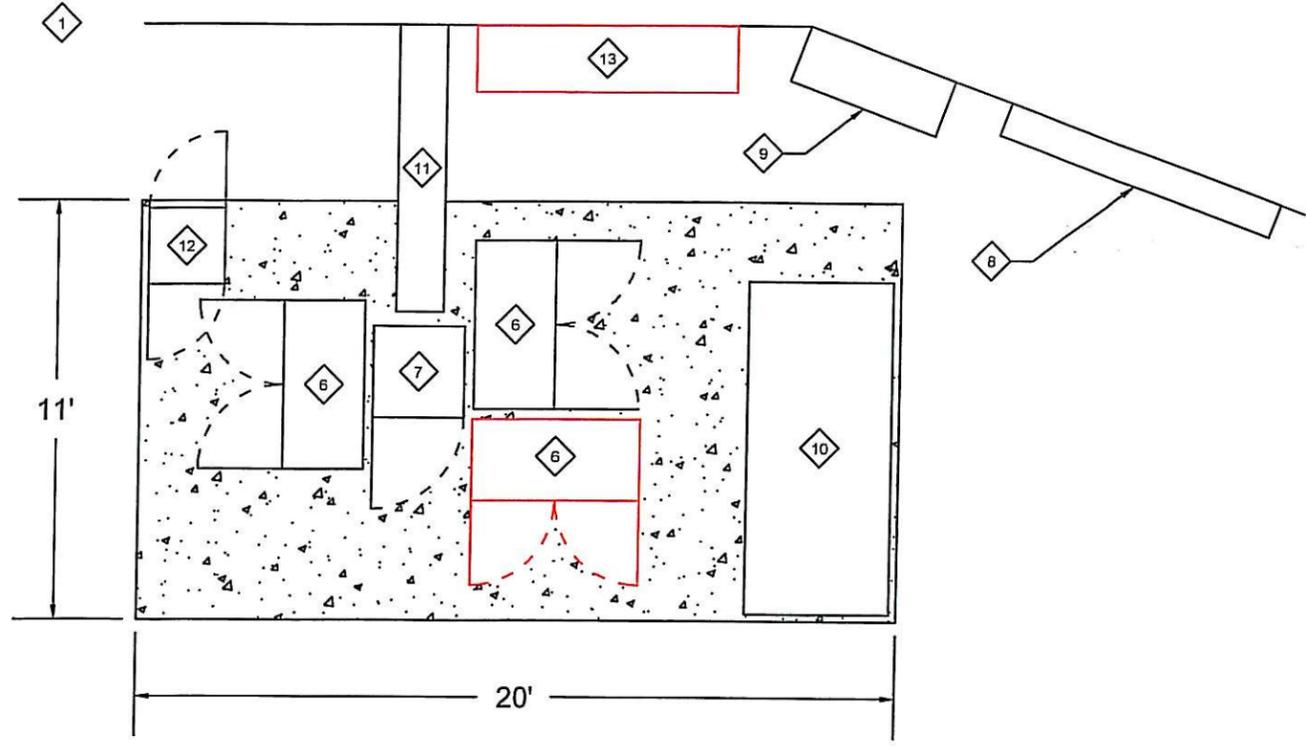
REVISIONS		
DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
6-6-13	FINAL CDs	CJS

SL01122A
 ALPINE SHEPHERD HILL
 651 SOUTH BATEMAN LANE
 ALPINE, UT 84004

DRAWING TITLE:
 GENERAL NOTES

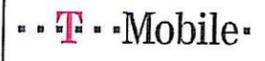
DRAWING NO.:
N-1

EXISTING EQUIPMENT SITE PLAN



KEY NOTES

- 1 T-MOBILE LEASE AREA
- 2 EXISTING MONNOPOLE
- 3 SIX (6) PROPOSED ERICSSON AIR 21 ANTENNAS
- 4 SIX (6) EXISTING ANTENNAS (TO BE REMOVED)
- 5 PROPOSED ERICSSON RBS 3106 CABINET
- 6 THREE (3) NORTEL 2G CABINETS (ONE TO BE REMOVED)
- 7 DOGHOUSE
- 8 POWER EQUIPMENT MOUNTED ON WALL
- 9 TELCO EQUIPMENT MOUNTED ON WALL
- 10 GENERATOR
- 11 ICE BRIDGE
- 12 BATTERY CABINET
- 13 ERICSSON RBS 3518 EQUIPMENT MOUNTED TO WALL (TO BE REMOVED)

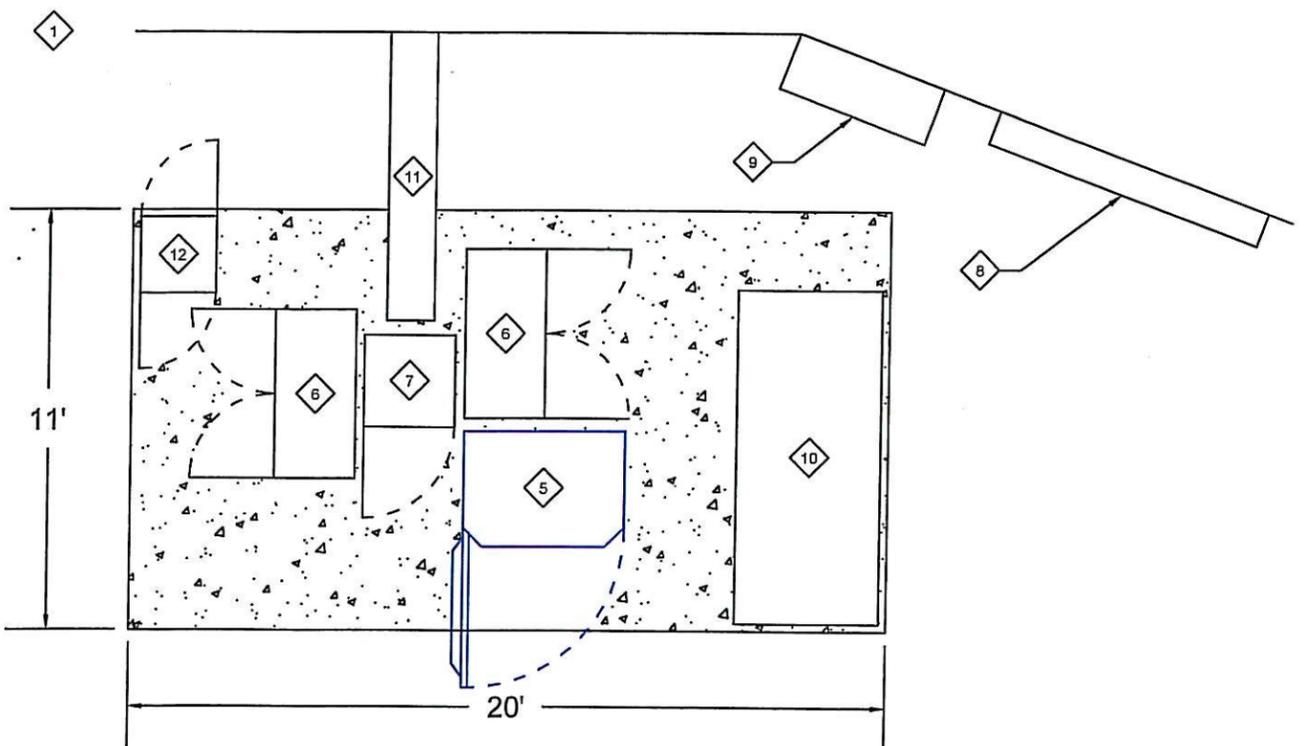


DATE: 5-10-2013
 DRAWN BY: CJS (STILLWATER)
 CHECKED BY: MATT HODGEN

REVISIONS

DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
6-6-13	FINAL CDs	CJS

PROPOSED EQUIPMENT SITE PLAN



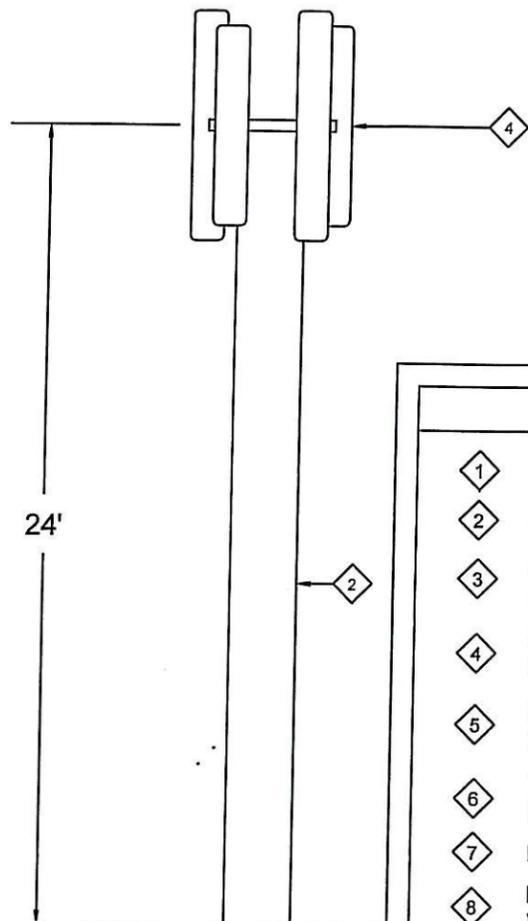
SITE NOTES

SL01122A
 ALPINE SHEPHERD HILL
 651 SOUTH BATEMAN LANE
 ALPINE, UT 84004

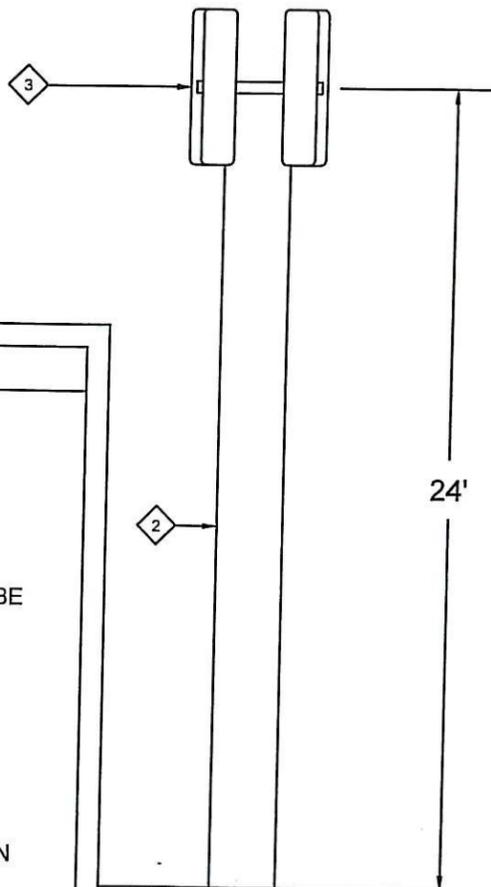
DRAWING TITLE:
 EQUIPMENT SITE PLAN

DRAWING NO.:
A-2

EXISTING TOWER ELEVATION



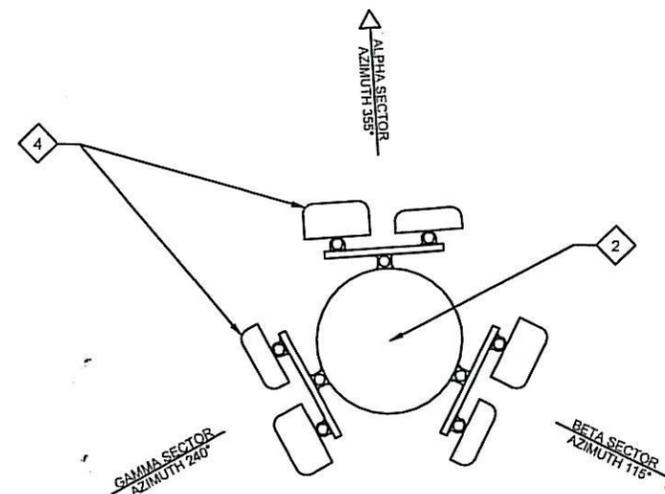
PROPOSED TOWER ELEVATION



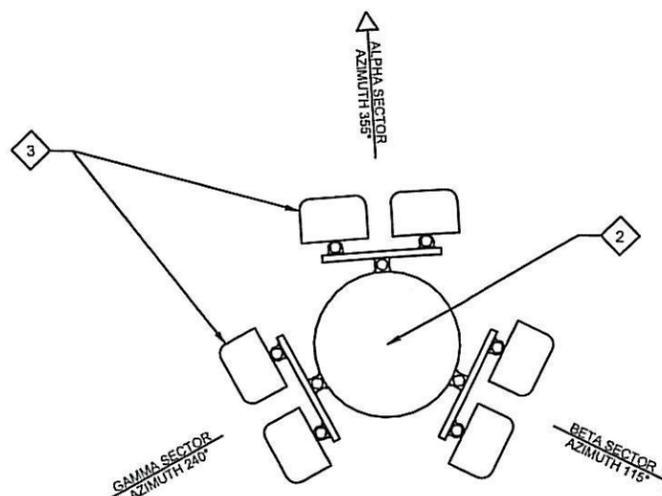
KEY NOTES

- 1 T-MOBILE LEASE AREA
- 2 EXISTING MONNOPOLE
- 3 SIX (6) PROPOSED ERICSSON AIR 21 ANTENNAS
- 4 SIX (6) EXISTING ANTENNAS (TO BE REMOVED)
- 5 PROPOSED ERICSSON RBS 3106 CABINET
- 6 THREE (3) NORTEL 2G CABINETS (ONE TO BE REMOVED)
- 7 DOGHOUSE
- 8 POWER EQUIPMENT MOUNTED ON WALL
- 9 TELCO EQUIPMENT MOUNTED ON WALL
- 10 GENERATOR
- 11 ICE BRIDGE
- 12 BATTERY CABINET
- 13 ERICSSON RBS 3518 EQUIPMENT MOUNTED TO WALL (TO BE REMOVED)

EXISTING ANTENNA LAYOUT



PROPOSED ANTENNA LAYOUT



...T...Mobile



stillwater management



DATE: 5-10-2013
 DRAWN BY: CJS (STILLWATER)
 CHECKED BY: MATT HODGEN

REVISIONS

DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
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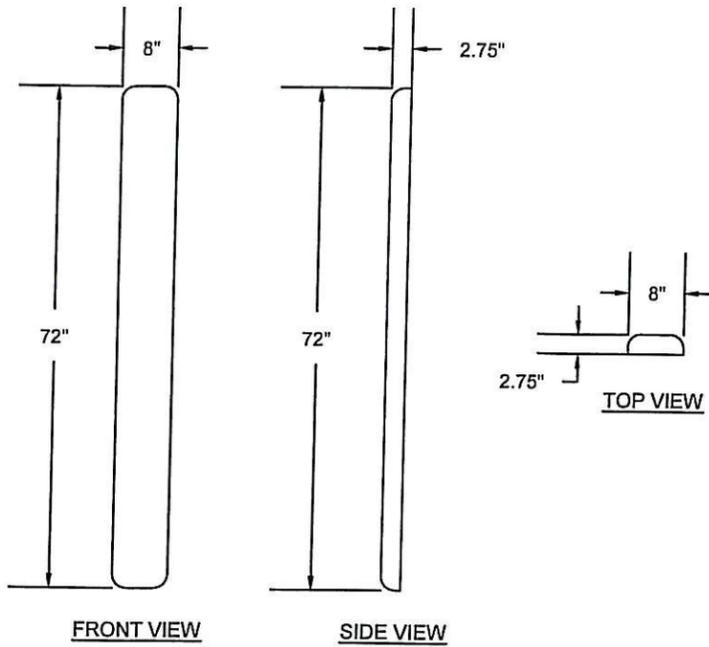
SL01122A
 ALPINE SHEPHERD HILL
 651 SOUTH BATEMAN LANE
 ALPINE, UT 84004

DRAWING TITLE:
 TOWER ELEVATION AND PLAN

DRAWING NO.:
A-3

ANTENNA DETAIL 1

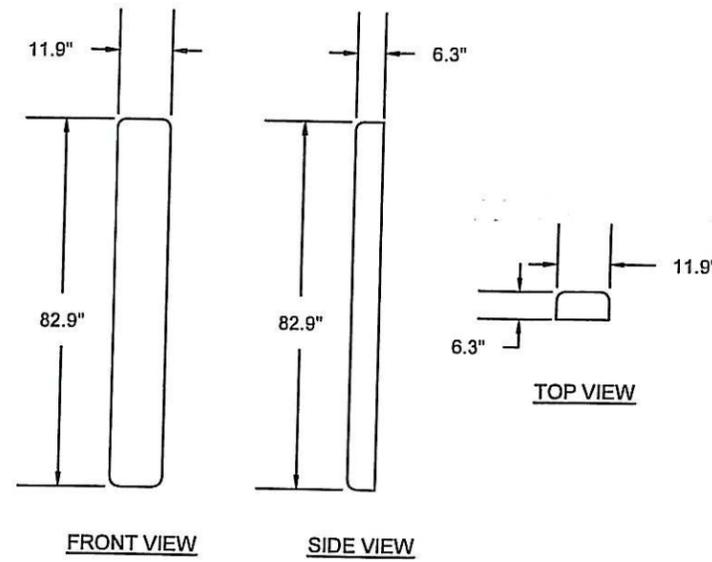
EMS DUAL PORT ANTENNA



EXISTING - TO BE REMOVED

ANTENNA DETAIL 2

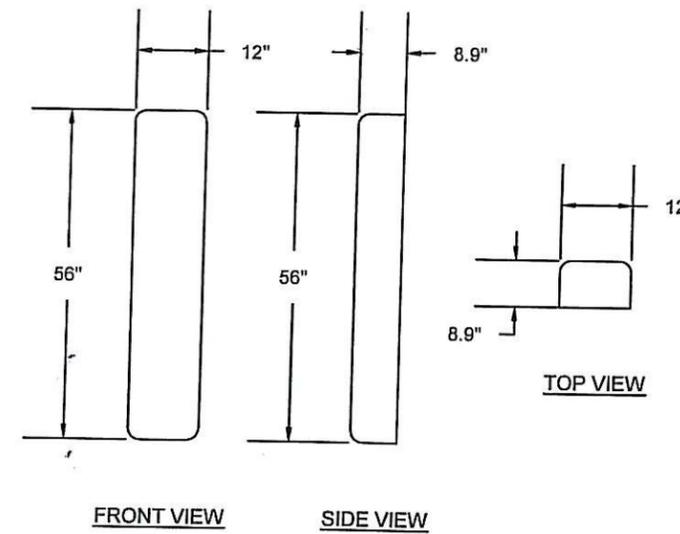
ANDREW TMBXX-6517-R2M



EXISTING - TO BE REMOVED

ANTENNA DETAIL 3

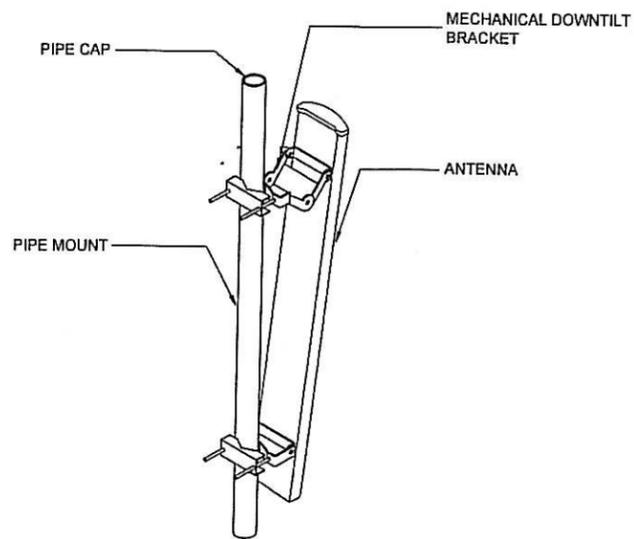
ERICSSON AIR 21



PROPOSED - TO BE INSTALLED

ANTENNA MOUNT DETAIL

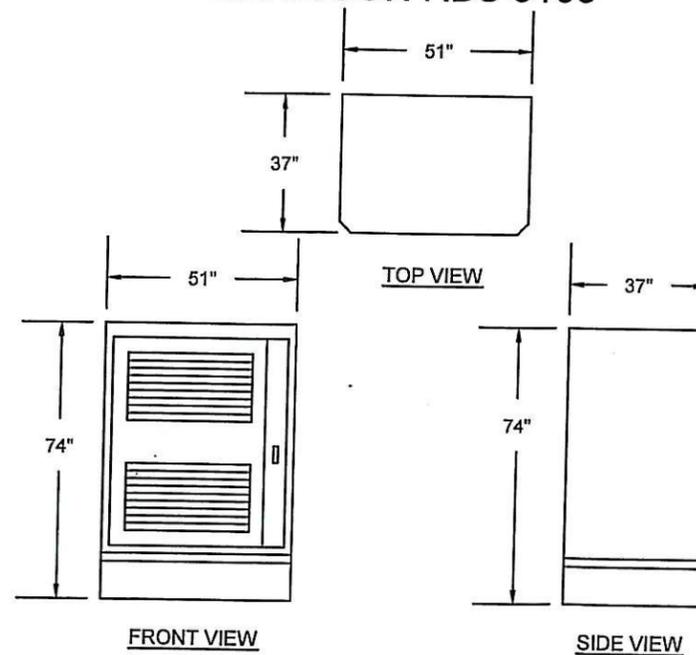
MECHANICAL TILT PIPE MOUNT



EXISTING - TO REMAIN

CABINET DETAIL 1

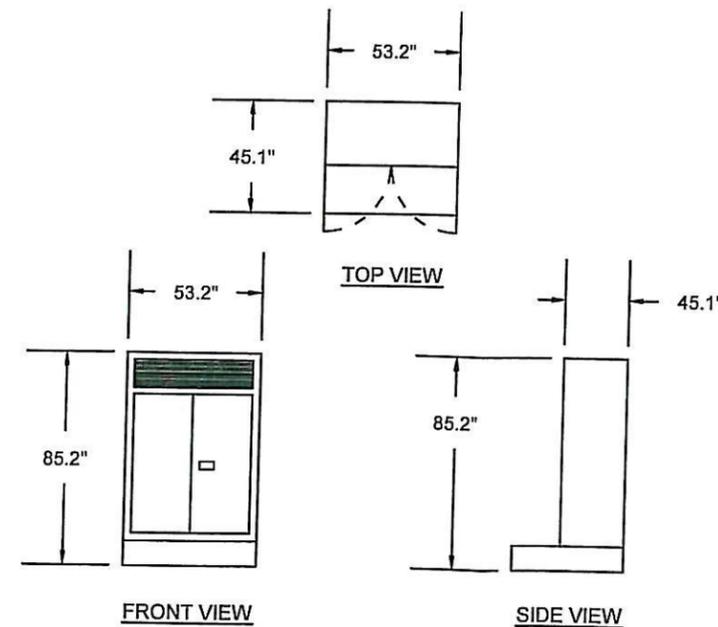
ERICSSON RBS 3106



PROPOSED - TO BE INSTALLED

CABINET DETAIL 2

NORTEL 2G CABINET



EXISTING - TWO (2) TO REMAIN,
ONE (1) TO BE REMOVED

...T...Mobile



stillwater management



DATE: 5-10-2013
DRAWN BY: CJS (STILLWATER)
CHECKED BY: MATT HODGEN

REVISIONS

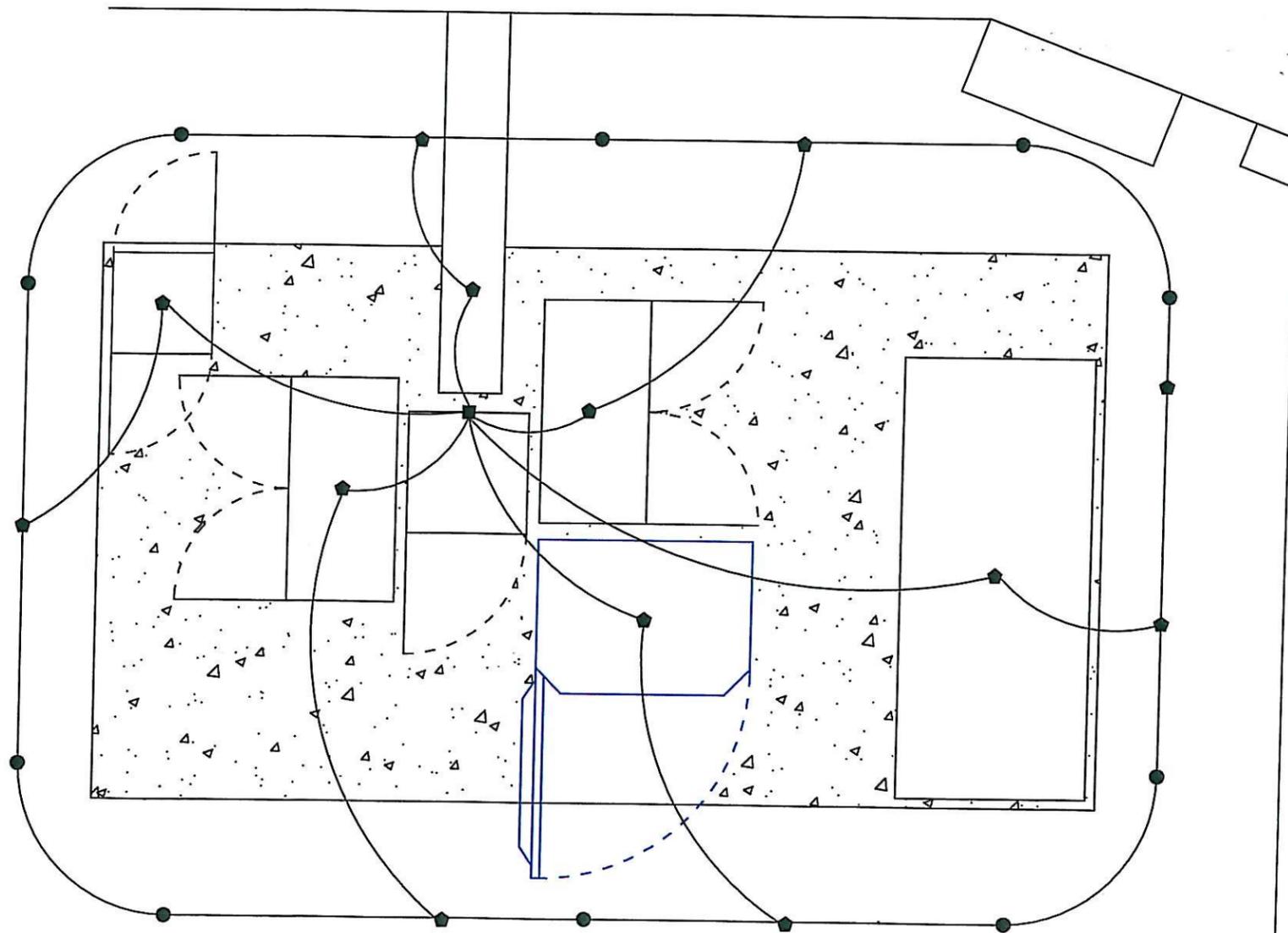
DATE	DESCRIPTION	INT.
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6-6-13	FINAL CDs	CJS

SL01122A
ALPINE SHEPHERD HILL
651 SOUTH BATEMAN LANE
ALPINE, UT 84004

DRAWING TITLE:
EQUIPMENT DETAIL

DRAWING NO.:
E-1

GROUNDING PLAN



NOTE: TYPICAL GROUNDING PLAN SHOWN. CONTRACTOR TO TIE ANY NEW EQUIPMENT INTO EXISTING GROUNDING PLAN AT A MINIMUM OF TWO CONNECTIONS

GROUNDING NOTES

1. ALL SAFETY GROUNDING OF THE ELECTRICAL EQUIPMENT SHALL BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT REVISION OF NEC.
2. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND SITE CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS. IF SITE SOIL CONDITIONS ARE CORROSIVE, USE OF A LARGER MAIN GROUND RING CONDUCTOR MAY BE NECESSARY.
3. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING GROUND WIRES AND CONNECT TO SURFACE MOUNTED BUS BARS. FOLLOW ANTENNA AND BTS MANUFACTURERS PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS AND EXIT FROM TOWER OR MONOPOLE USING MANUFACTURERS PRACTICES.
4. ALL GROUND CONNECTIONS SHALL BE CADWELD. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRE SHALL BE SOLID COPPER WITH GREEN INSULATED WIRE ABOVE GROUND.
5. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE TO A MAXIMUM OF 5 OHMS. IF GROUND TEST DID NOT ACHIEVE THE MAXIMUM 5 OHMS, CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADDITIONAL GROUNDING TO OHM MAX REQUIREMENT. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY A T-MOBILE REPRESENTATIVE.
6. ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY AN AUTHORIZED T-MOBILE REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM.
7. NOTIFY T-MOBILE IF THERE ARE ANY DIFFICULTIES INSTALLING GROUND SYSTEM DUE TO SITE SOIL CONDITIONS.
8. IF SURGE SUPPRESSER IS AN EXTERIOR MOUNT, RUN A #2 THHN GROUND WIRE IN A 1" SCHED. 40 PVC CONDUIT TO SIDE SPLICE CADWELD AT GROUND RING. HEAT RADIUS CONDUIT TO PRODUCE LARGE RADIUS BENDS. STRAP TO SLAB AT A MINIMUM OF TWO POINTS.
9. ALL GROUNDING WIRE RUNS AND CONNECTIONS, BOTH ABOVE AND BELOW GRADE, SHALL BE LOCATED INSIDE OF THE LEASE AREA.
10. TIE NEW GROUNDING INTO EXISTING GROUND GRID IN AT LEAST TWO LOCATIONS.
11. THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO T-MOBILE SERVICES IS STRICTLY PROHIBITED.

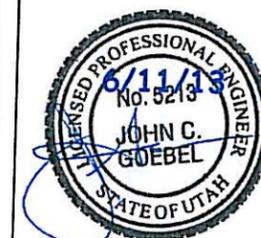
SYMBOL KEY

- ◆ MECHANICAL CONNECTION
- COPPER GROUND ROD
- ▲ CADWELD CONNECTION
- GROUND BAR

T-Mobile



stillwater
management



DATE: 5-10-2013
DRAWN BY: CJS (STILLWATER)
CHECKED BY: MATT HODGEN

REVISIONS

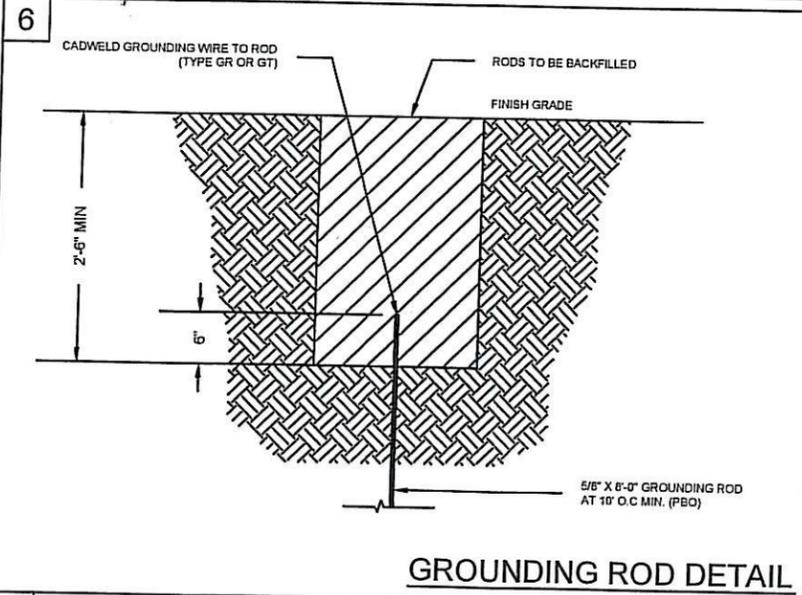
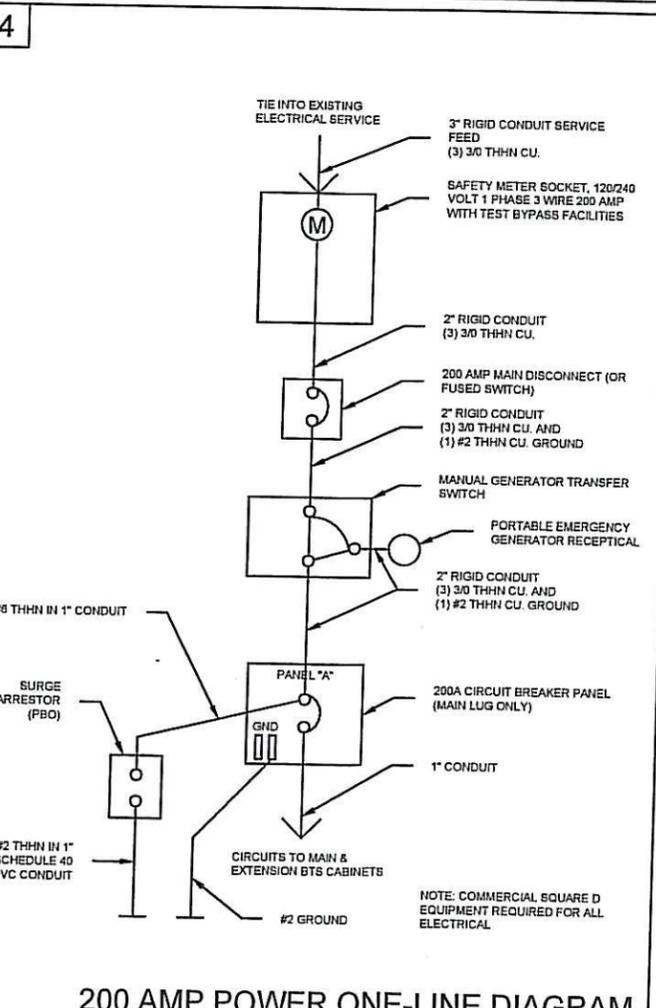
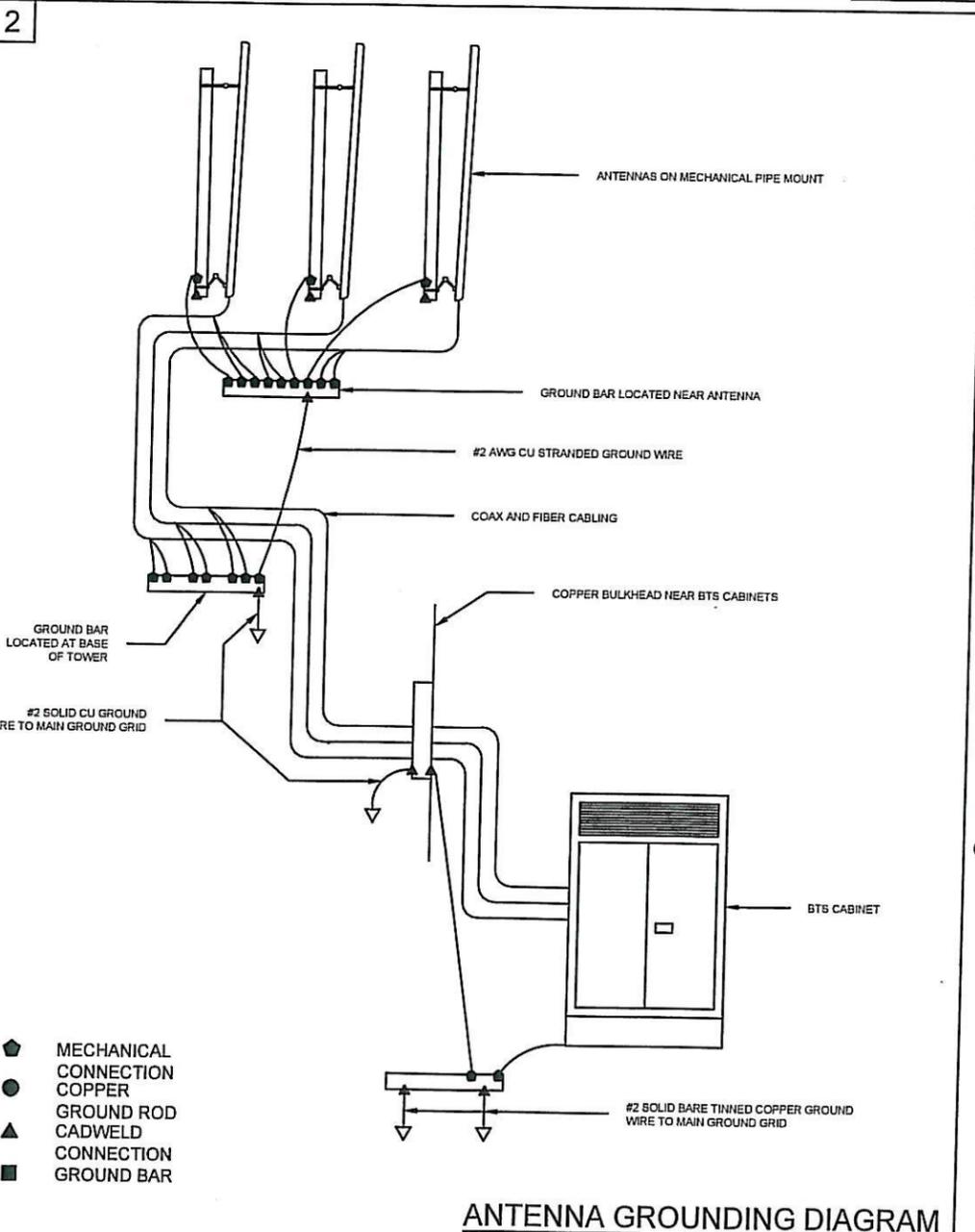
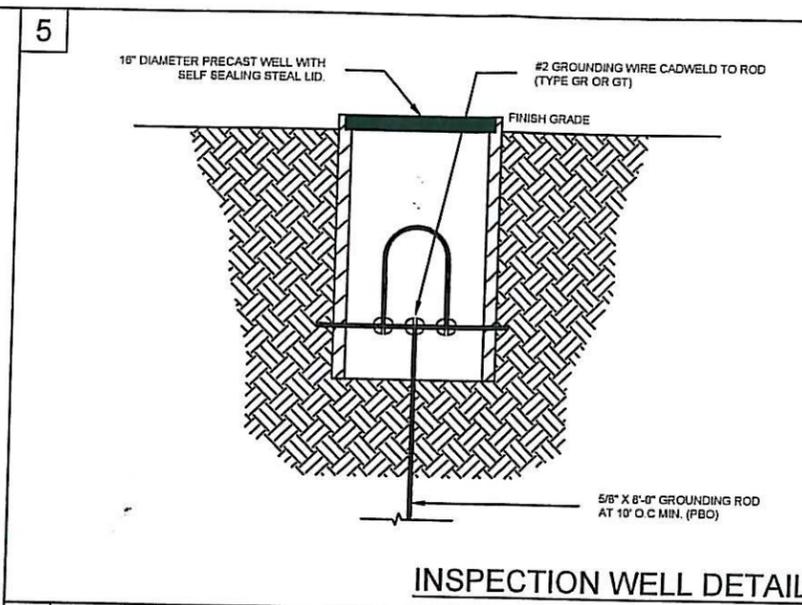
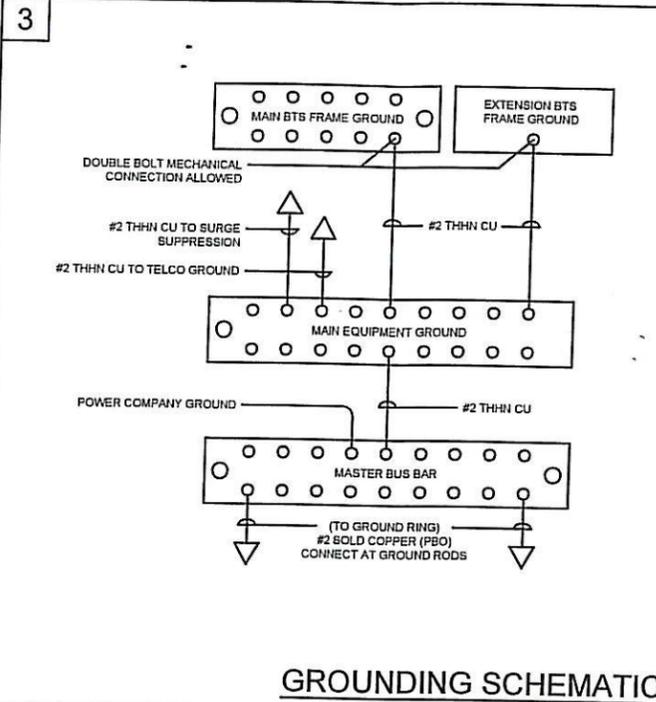
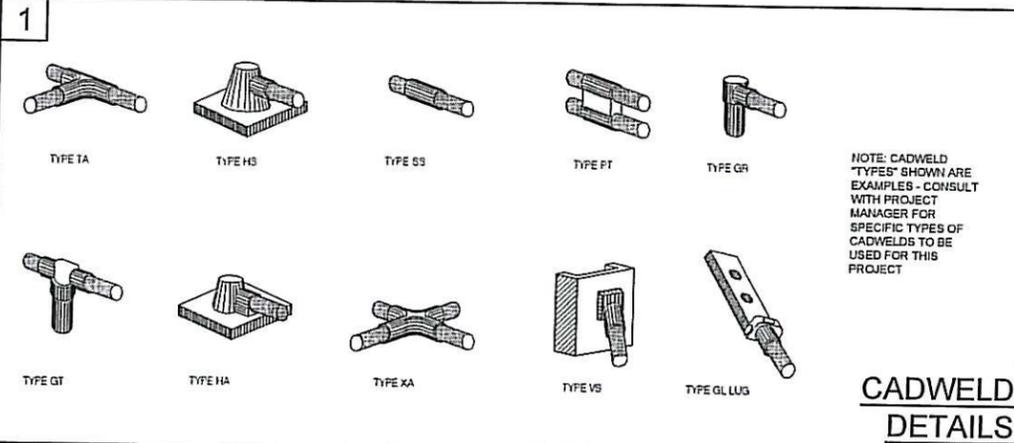
DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
6-6-13	FINAL CDs	CJS

SL01122A
ALPINE SHEPHERD HILL
651 SOUTH BATEMAN LANE
ALPINE, UT 84004

DRAWING
TITLE:
GROUNDING
PLAN

DRAWING NO.:
E-2

TYPICAL GROUNDING DETAIL



- 7**
- PERFORM DETAILED VERIFICATION OF WORK PRIOR TO ORDERING THE ELECTRICAL EQUIPMENT AND COMMENCING CONSTRUCTION. NOTIFY T-MOBILE OF ANY DISCREPANCIES.
 - PRIOR TO BEGINNING WORK, COORDINATE ALL POWER AND TELCO WORK WITH THE LOCAL UTILITY COMPANY AS IT MAY APPLY TO THIS SITE. ALL WORK TO COMPLY WITH THE RULES AND REGULATIONS OF THE UTILITIES INVOLVED.
 - RUN TELEPHONE FROM EXISTING PEDESTAL OR TELEPHONE BOARD TO PPC LOCATION. CONTRACTOR SHALL FIELD VERIFY EXACT ROUTING OF POWER AND TELCO. FOLLOW ALL APPLICABLE LOCAL CODES AND UTILITY REQUIREMENTS.
 - FABRICATION AND INSTALLATION OF THE COMPLETE ELECTRICAL SYSTEM SHALL BE DONE IN A FIRST CLASS WORKMANSHIP BY QUALIFIED PERSONNEL EXPERIENCED IN SUCH WORK.
 - PROVIDE 4" CONDUIT EQUIPPED WITH ONE PULL STRING AND ONE 1" INNERDUCT. ALL TELEPHONE CONDUITS AND TELEPHONE WIRING MUST MAINTAIN A MINIMUM SEPARATION DISTANCE OF 18" AWAY FROM ALL A/C POWER CONDUITS AND WIRING.
 - CONTRACTOR TO PROVIDE 1" CONDUIT FOR POWER ROUTING TO BTS.
 - ALL ELECTRICAL WORK SHALL CONFORM TO THE EDITION OF THE NEC ACCEPTED BY THE LOCAL JURISDICTION AND TO THE APPLICABLE LOCAL CODES AND REGULATIONS.
 - SCHEDULE THE WORK IN AN ORDERLY MANNER SO AS NOT TO IMPEDE PROGRESS OF THE PROJECT.
 - CONTRACTOR TO VERIFY AZIMUTHS WITH FINAL RF DATA SHEET FROM RF ENGINEER.
- ELECTRICAL/TELEPHONE/SITE NOTES**

...T-Mobile...



stillwater management



DATE: 5-10-2013
 DRAWN BY: CJS (STILLWATER)
 CHECKED BY: MATT HODGEN

REVISIONS		
DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
6-6-13	FINAL CDs	CJS

SL01122A
 ALPINE SHEPHERD HILL
 651 SOUTH BATEMAN LANE
 ALPINE, UT 84004

DRAWING TITLE:
 POWER, TELEPHONE, GROUNDING

DRAWING NO.:
E-3

SWEEP TEST PROCEDURE

THE FOLLOWING DESCRIBES THE TEST AND FAULT FINDING PROCEDURE FOR ALL ANTENNAS:

- TEST EQUIPMENT SHOULD CONSIST OF A SWEEP OSCILLATOR SET TO RUN BETWEEN 1800 AND 2000 MHZ, DIRECTIONAL COUPLER WITH AT LEAST 35 DB DIRECTIVITY AND SCALAR NETWORK ANALYZER WITH RESOLUTION OF BETTER THAN 0.2 DB. A MATCHED 50 OHM LOAD AND SHORT CIRCUIT TERMINATION ARE ALSO REQUIRED.
- SET UP THE RETURN LOSS MEASURING SET AS PER THE MANUFACTURERS' INSTRUCTIONS AND CALIBRATE WITH THE SHORT (ODB RETURN LOSS VSWR = INFINITY).
- INFORM T-MOBILE OPERATIONS PERSONNEL AT THE SWITCH THAT SWEEP TESTS ARE TO BEGIN AT THIS SITE SO THEY CAN DISABLE TRANSMISSION TO AVOID POTENTIAL TRX DAMAGE WITH THE ANTENNA PORT OPEN.
- COMPOSITE RETURN LOSS: DISCONNECT THE BOTTOM JUMPER AT THE BTS AND CONNECT IT TO THE MAIN PORT OF THE BRIDGE. RETURN LOSS OF THE COMPOSITE JUMPERS, FEEDER AND ANTENNA SHOULD BE $< 1.4\text{dB}$ (VSWR $> 1.5:1$) BETWEEN 1800 AND 2000 MHZ.
- FEEDER RETURN LOSS: TURN OFF THE SWEEP GENERATOR, DISCONNECT THE TOP JUMPER AT THE ANTENNA AND CONNECT A DUMMY LOAD TO THE END OF THE JUMPER WITH A DIN - N ADAPTER. POWER UP THE GENERATOR AND MEASURE THE RETURN LOSS LOOKING INTO THE BOTTOM JUMPER. THE RETURN LOSS SHOULD NOT EXCEED 1.8dB (VSWR $> 1.3:A$) BETWEEN 1800 AND 2000 MHZ.
- FEEDER INSERTION LOSS: REPLACE THE LOAD WITH A SHORT CIRCUIT TERMINATION AND MEASURE THE MAXIMUM AND MINIMUM RETURN LOSS BETWEEN 1800 AND 2000 MHZ. ADD THESE TOGETHER AND DIVIDE BY 4 TO GIVE THE AVERAGE ONE-WAY INSERTION LOSS WHICH SHOULD BE $< 3\text{DB}$.
- IF THE CONDITIONS IN 4, 5 AND 6 ARE MET, THE TEST IS COMPLETE. IF ITEM 4 FAILED BUT 5 AND 6 PASSED, REPLACE THE ANTENNA AND RETEST. IF ITEMS 5 OR 6 FAILED, MEASURE RETURN LOSS OF MAIN FEEDER ONLY. IF RETURN LOSS IMPROVES TO -20 OR BETTER OR INSERTION LOSS IMPROVES BY MORE THAN 2DB , REPLACE OR RETERMINATE THE BOTTOM AND TOP JUMPER. OTHERWISE, REPLACE THE MAIN FEEDER. NOTIFY T-MOBILE OF ANY FAULTY HARDWARE.

ALL TEST RESULTS SHOULD BE CLEARLY MARKED WITH SITE, FEEDER NUMBER, DATE AND MEASUREMENT TIME.

CABLING IDENTIFICATION

THE FOLLOWING DESCRIBES THE PROCEDURE FOR MARKING AND IDENTIFYING ANTENNA CABLING:

- LOCATION: MARKINGS SHALL BE MADE BY USE OF 3M COLORED, TWO-INCH WIDE TAPE AFFIXED AT TYPICALLY FOUR PLACES ON THE CABLE RUN AS FOLLOWS:
 - ON THE COAX AT THE CONNECTOR NEAREST THE ANTENNA WHERE THE COAX AND JUMPER ARE CONNECTED.
 - AT THE BASE OF THE TOWER STRUCTURE (FOR TOWERS ONLY).
 - AT A POINT OUTSIDE THE BTS.
 - AT CONNECTION POINT INSIDE THE BTS
- SECTOR IDENTIFICATION: A SITE CAN HAVE MULTIPLE SECTORS. SECTORS SHALL BE DESIGNATED BY NUMBERING EACH IN A CLOCKWISE MANNER (THE FIRST SECTOR IS THE ONE CLOSEST TO ZERO DEGREES, OR NORTH).
 - SECTOR #1 COAX WILL HAVE ONE BAND OF RED COLORED TAPE.
 - SECTOR #2 COAX WILL HAVE ONE BAND OF WHITE COLORED TAPE.
 - SECTOR #3 COAX WILL HAVE ONE BAND OF BLUE COLORED TAPE.
- FOR MORE THAN ONE ANTENNA PER SITE THE FOLLOWING WILL BE ADHERED TO:

FACING THE BACK OF THE ANTENNA, STARTING FROM YOUR LEFT ANTENNA, MARK IT WITH ONE BAND. MOVING RIGHT ON THE SAME SECTOR TO THE NEXT ANTENNA, MARK IT WITH TWO BANDS OF COLORED TAPE. CONTINUE WITH THE SAME METHOD FOR AS MANY ANTENNAS YOU HAVE FOR EACH SECTOR. REPEAT THIS FOR EVERY SECTOR.
- IN ADDITION TO THE COLORED TAPE APPLY PERMANENT MARKINGS AS FOLLOWS:

ONE-INCH BRASS ROUND TAGS MARKED WITH PRINCIPAL 1 (P1), PRINCIPAL 2 (P2), PRINCIPAL 3 (P3), DIVERSITY 1 (D1), DIVERSITY 2 (D2), AND DIVERSITY 3 (D3) TO BE ATTACHED BY A FOURTEEN (14) GAUGE BLACK ELECTRICAL WIRE.

TYPICAL GROUNDING SYSTEM NOTES

- TOWER RADIAL GROUND:**
#2 SOLID COPPER WIRE CADWELDED (OR FASTENER APPROVED BY PROJECT MANAGER) TO TOWER BASE. EXTEND WIRE 30' MINIMUM IN SWEEPING CONFIGURATION AT A MINIMUM DEPTH OF 24". ALL GROUND RODS TO BE 8' COPPER OR COPPER CLAD. FIRST GROUND RODS FROM TOWER ARE TO BE PLACED 10' EQUAL DISTANCE (BETWEEN ROD CENTERS) AND A MINIMUM OF EVERY 10' ALONG TOTAL LENGTH. ALL BENDS MUST MAINTAIN A MINIMUM 12" RADIUS.
- TOWER EQUIPMENT RING GROUND INTERCONNECT:**
ONLY ONE CONNECTION OF THIS TYPE FOR EACH TOWER. SAME CONSTRUCTION AS NOTE 1 ABOVE EXCEPT THE TERMINATION AT THE GROUNDING RING MUST BE THREE-WAY CONNECTED. ALL BENDS MUST MAINTAIN A MINIMUM 12" RADIUS.
- EQUIPMENT BUILDING RING GROUND:**
ALWAYS OBSERVE THE TURN DIRECTIONS SHOWN WHEN PLACING BENDS OR CONNECTIONS. USE #2 SOLID COPPER WIRE PLACED WITHIN 3' (+/- 6") FROM EDGE OF BUILDING CONCRETE FOUNDATION AT A MINIMUM DEPTH OF 24". ALL CONNECTIONS TO GROUND RING ARE TO BE CADWELDED. ALL GROUND RODS TO BE 10' COPPER OR COPPER CLAD AND PLACED 10' EQUAL DISTANCE (BETWEEN ROD CENTERS) AND A MINIMUM OF EVERY 10' ALONG TOTAL LENGTH. ALL BENDS MUST MAINTAIN A MINIMUM 12" RADIUS.
- SINGLE POINT GROUND BAR (COAX BULKHEAD):**
ALWAYS OBSERVE THE DIRECTIONS SHOWN WHEN PLACING BENDS OR CONNECTIONS TO GROUND RING. USE TWO #2 SOLID COPPER WIRE OR TWO 3" COPPER RIBBONS ATTACHED ON OPPOSITE ENDS OF BAR OR BULKHEAD EXTENDING DIRECTLY TO GROUND. ALL WIRE CONNECTIONS TO GROUND RING ARE TO BE CADWELDED, RIBBONS MAY BE ATTACHED TO GROUND RING WITH A "LISTED" PRESSURE CONNECTION WITH APPROVAL OF CONSTRUCTION MANAGER. ALL BENDS MUST MAINTAIN A MINIMUM 12" RADIUS.
- EQUIPMENT SHELTER INNER BONDING RING:**
#2 SOLID COPPER WIRE CADWELDED (TO INNER BONDING RING AT A LOCATION EITHER ABOVE THE SOIL LINE OR JUST INSIDE INTERIOR OF BUILDING. ALWAYS USE PVC (NONMETALLIC) SLEEVES WHEN ENTERING THE STRUCTURE. THIS TYPE OF BOND IS REQUIRED AT EACH OUTSIDE CORNER AND AT DISTANCES NOT TO EXCEED 50' ALONG ANY STRAIGHT WALL. ALL BENDS MUST MAINTAIN A MINIMUM 12" RADIUS.
- FENCE EQUALIZATION BOND:**
#2 SOLID COPPER WIRE CADWELDED TO BUILDING RING GROUND AND ATTACHED TO EACH INSIDE OR OUTSIDE CORNER FENCE POST AND/OR GATE POST WITH A "LISTED" WIRE CLAMP. PLACE AT A MINIMUM 12" DEPTH (SEE NOTE 11 BELOW FOR CROSSING CLEARANCES). IF METALLIC POST IS NOT SET IN CEMENT, PLACE AN ADDITIONAL 8' GROUND ROD AT POST LOCATION.
- GATE EQUALIZATION BOND:**
#2 SOLID COPPER WIRE CADWELDED TO FENCE EQUALIZATION WIRE AND ATTACHED TO EACH GATE POST WITH A "LISTED" WIRE CLAMP. IF METALLIC POST IS NOT SET IN CEMENT, PLACE AN ADDITIONAL 10' GROUND ROD AT EACH POST LOCATION.
- POWER / TELEPHONE TRENCH:**
UTILITIES CAN EITHER BE PLACED IN SAME TRENCH (NESC RANDOM SEPARATION) OR IN SEPARATE TRENCH AT A 36" DEPTH. ALWAYS PLACE THESE FACILITIES BELOW WHILE MAINTAINING A 36" HORIZONTAL SEPARATION AND A 12" VERTICAL SEPARATION FROM ANY RADIAL OR RING GROUND SYSTEMS IN, ON, OR ADJACENT TO THE RADIO SITE.
- POWER / TELEPHONE ENTRANCE:**
THE BUILDING RING GROUND MEETS OR EXCEEDS THE NEC ARTICLE 250 UTILITY PROTECTION GROUND. THEREFORE, INFORM LOCAL INSPECTOR THAT ADDITIONAL GROUND RODS ARE NOT REQUIRED. ALL UTILITY GROUNDS MAY BE ATTACHED TO THE #2 SOLID COPPER WIRE DETAILED IN NOTE 10 BELOW. IF LOCAL POWER COMPANY CODES REQUIRE AN ADDITIONAL GROUND ROD, BOND THE TWO FACILITIES TOGETHER AT THIS LOCATION.
- UTILITY GROUNDING ELECTRODE BOND:**
USE #2 SOLID COPPER WIRE PLACED WITHIN 3' OF UTILITY ENTRANCE AT DEMARCATION CABINET ENTRY PORT. ALL CONNECTIONS TO GROUND RING ARE TO BE CADWELDED. CONNECTION TO DEMARCATION CABINET ENTRY PORT TO BE WITH A "LISTED" CONNECTION. ALL BENDS MUST MAINTAIN A MINIMUM 12" RADIUS.
- RADIAL GROUND / FENCE BOND CROSSINGS:**
WHEREVER PRACTICAL, TO REDUCE MAGNETIC COUPLING, THESE FACILITIES MUST CROSS AT A 90 DEGREE ANGLE WHILE MAINTAINING 18" VERTICAL SEPARATION.
- COAX GROUNDING KITS:**
USE INDIVIDUAL "LISTED" GROUNDING KITS FOR EACH COAX CABLE. BOND TO TOWER BONDING BUSS BAR WITH #2 THHN SOLID COPPER WIRE WITH 2 HOLE CRIMPED CONNECTIONS.
- GROUNDING BUSS BAR KIT:**
THE GROUNDING BUSS BAR AND ATTACHMENT KIT MUST BE DIRECTLY BOLTED TO THE TOWER STRUCTURE WITHOUT ELECTRICAL INSULATORS.
- ICE BRIDGE BONDING:**
THE ICE BRIDGE SHOULD NOT BE BONDED TO THE TOWER STRUCTURE. IT SHOULD ONLY BE BONDED AT ONE END TO THE ENTRANCE BULKHEAD (SINGLE POINT GROUND BAR). USE #2 THHN SOLID COPPER WIRE WITH 2 HOLE CRIMPED CONNECTIONS.
- RADIO BAY TO COAX BULKHEAD BOND:**
THIS IS THE ONLY CABINET TO GROUND BOND WIRE ATTACHED TO THE RADIO BAY. USE #2 THHN SOLID COPPER WIRE WITH 2 HOLE CRIMPED CONNECTIONS OR A 3" COPPER STRAP.
- RADIO BAY ISOLATION KIT:**
CONTACT RADIO EQUIPMENT SUPPLIER FOR SPECIFICATION AND INSTALLATION PROCEDURES.

..T..Mobile



stillwater management



DATE: 5-10-2013		
DRAWN BY: CJS (STILLWATER)		
CHECKED BY: MATT HODGEN		
REVISIONS		
DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
5-14-13	FINAL ZDs	CJS
6-6-13	FINAL CDs	CJS

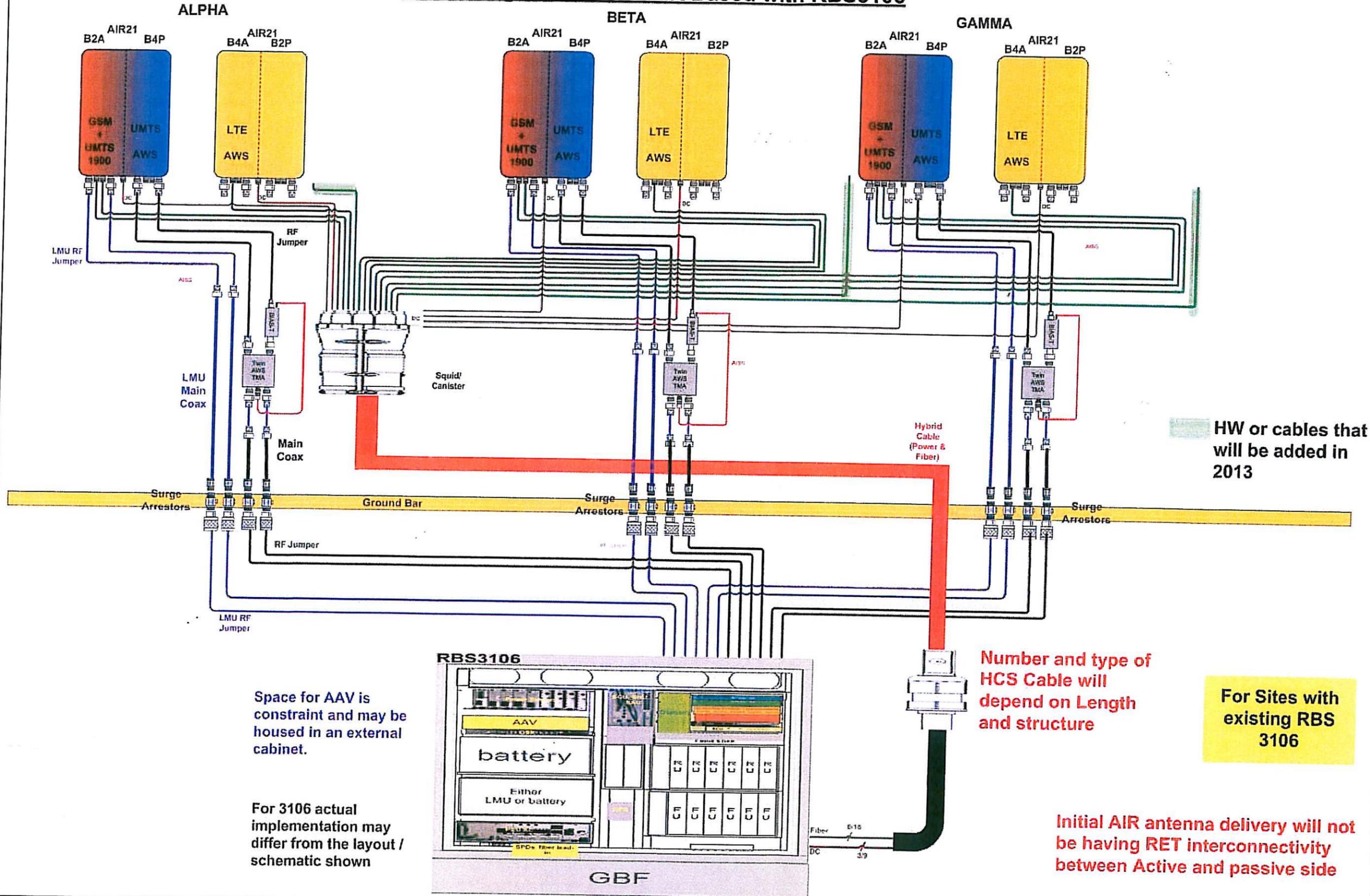
SL01122A
ALPINE SHEPHERD HILL
651 SOUTH BATEMAN LANE
ALPINE, UT 84004

DRAWING TITLE:
SITE NOTES

DRAWING NO.:
E-4

ANTENNA DIAGRAM

Site Configuration 2C – AIR Based with RBS3106



••T••Mobile•



stillwater management



DATE: 5-10-2013
 DRAWN BY: CJS (STILLWATER)
 CHECKED BY: MATT HODGEN

REVISIONS		
DATE	DESCRIPTION	INT.
5-10-13	PRELIM ZDs	CJS
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 ALPINE SHEPHERD HILL
 651 SOUTH BATEMAN LANE
 ALPINE, UT 84004

DRAWING TITLE:
 ANTENNA DIAGRAM

DRAWING NO.:
E-5

Memo



To: Alpine City Planning Commission
From: Jason Bond
City Planner
Date: July 8, 2013
Subject: T-Mobile Cellular Tower Modification Site Plan

We have reviewed the T-Mobile Cellular Tower Modification Site Plan to determine if it complies with City ordinances. A site plan has been submitted, in addition to the supporting information that is required. Notification letters have been mailed, applicable fees paid and a sign posted at the site.

The purpose of the modification is to do a system upgrade to modernize the existing tower. T-mobile needs to remove the existing antennas and replace them with smaller antennas that are designed to broadcast in the new modernization format. It appears on the plans that the only changes will be that the new antennas will be slightly thicker but shorter in height. One existing equipment cabinet will be replaced by a new one and some equipment mounted to the wall will be removed. It is our understanding that the new equipment, mounted as shown on the plans, will meet the requirements of the ordinance. Upgrading an existing tower is a permitted use by the ordinance. A building permit will need to be obtained by the applicant prior to installing the new equipment.

The Planning Commission will need to determine if any additional landscaping will be required. The applicant needs to indicate the proposed color of the new equipment to allow the City to determine if it is acceptable.

WE RECOMMEND APPROVAL OF THE PROPOSED SITE PLAN SUBJECT TO THE FOLLOWING CONDITIONS:

- A building permit be obtained prior to installation of the new equipment.
- The Planning Commission determine if any additional landscaping will be required.
- The color of the new equipment be provided and approved.

*Jason Bond - City Planner
20 North Main - Alpine, Utah 84004
(801) 756-6347 x 6
jbond@alpinecity.org*

July 3, 2013

Dear Property Owner,

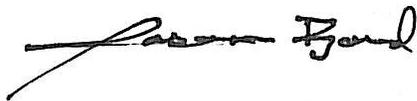
You have been identified as owning property within 500 feet of the boundaries of the T-Mobile Antenna Site at approximately 694 Rocky Mountain Drive (Shepherds Hill). This letter is to inform you that T-Mobile (Terry Cox) has submitted an application for an antenna replacement project on this property. The project includes a system upgrade to modernize the tower. T-Mobile needs to remove the existing antennas and replace them with smaller antennas that are designed to broadcast in the new modernization format. T-Mobile will also remove one of the existing cabinets on the existing cement pad and replace it with a cabinet that looks similar to the one they will remove.

Further information on the proposed project is available at City Hall. The project is governed by the Alpine City Zoning Ordinance and applicable state and federal laws and regulations.

The Planning Commission will hold a public meeting on Tuesday, July 16, 2013. The public meeting will be at 7:00 p.m. and is held at Alpine City Hall, 20 North Main in Alpine, Utah. The proposed project will be presented to the Planning Commission that evening as an agenda item.

The public is invited to attend all Planning Commission meetings.

Sincerely,



Jason Bond
City Planner
(801) 756-6347 x 6
jbond@alpinecity.org



ALPINE CITY COUNCIL AGENDA

SUBJECT: Eagle Pointe Subdivision PRD Determination

FOR CONSIDERATION ON: 23 July 2013

PETITIONER: Mark Wells and Taylor Smith

ACTION REQUESTED BY PETITIONER: Determine if the development should be a PRD.

APPLICABLE STATUTE OR ORDINANCE: Zoning

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

The proposed Eagle Pointe Subdivision is located at approximately 800 West 600 North (just north of intersection of Hog Hollow Rd. and Matterhorn Dr.). The proposed subdivision consists of 16 lots ranging from 20,316 s.f. to 53,401 s.f. on a site that is 31.88 acres. The site is located in the CR-40,000 zone. The applicant is requesting that the subdivision be developed as a PRD. The proposed plans as shown will require exceptions to be made that would allow for a longer cul-de-sac than the ordinance allows and the lack of a secondary access.

The Planning Commission recommended that it be a PRD at their meeting of July 16, 2013.

RECOMMENDED ACTION:

Determine if the proposed subdivision should be a PRD.



Concept Plan Application

20 North Main Alpine, UT 84004 • 801-756-6347 (Phone) • 801-756-1189 (Fax) • www.alpinecity.org

Contact Information

Applicant MARK WELLS 8013671636 S. TAYLOR SMITH 8016805757

Address 922 W PFEIFFERHORN Dr City ALPINE State UT Zip 84004

Phone 8013671636 Fax 8017639695 Email mark.skyfinancial@gmail.com

Engineer DAVID PETERSON EXCEL ENGINEERING

Address 12W 100N #201 City A.F. State UT Zip 84003

Phone 8017564504 Fax _____ Email DAVID@excelcivil.com

Representative

(Person who will be at City meetings to represent the proposed plan. If it is someone other than the applicant/engineer, please indicate his/her relationship to the project.)

Address _____ City _____ State _____ Zip _____

Phone _____ Fax _____ Email _____

Send City Engineer's review comments to: Applicant Engineer Representative

Project Information

Name of Subdivision EAGLE POINTE

Project Address HOG HOLLOW + MATTHEWSON Proposed Number of Lots 16

Project Size (in acres) 30 Current Zoning RESIDENTIAL

Source of Water Rights

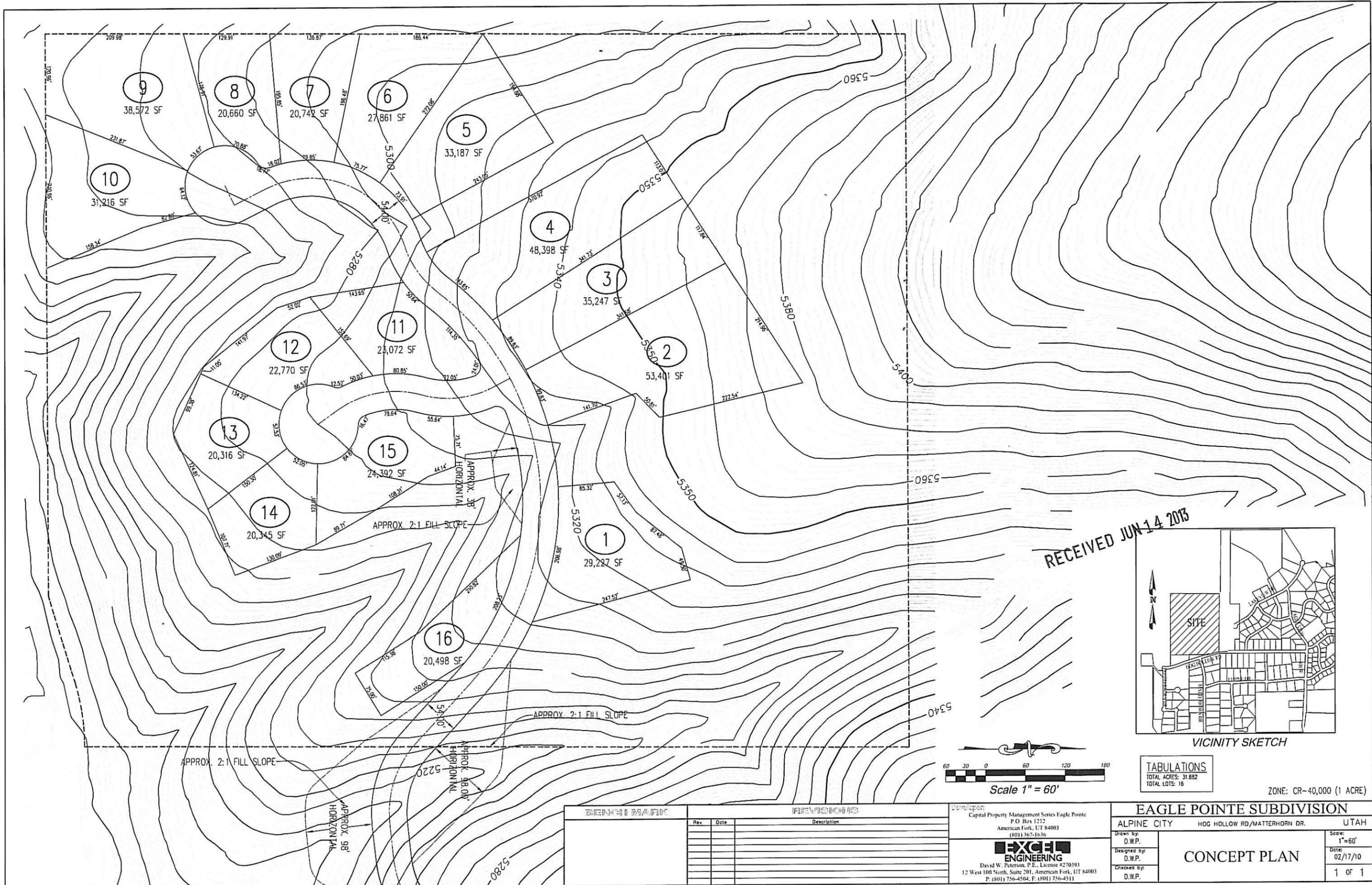
Alpine Irrigation Shares: # of Primary Shares _____ # of Secondary Shares _____

Other Water Rights: Source _____ # of Acreage Feet _____

Requesting Cash in lieu of Water Rights Option

Concept Plan Fee \$320 + \$100 Amount Paid \$420 Date Paid 6/14/2013
(Actual cost of City Engineer's review + \$100.00 + \$20.00 per lot)

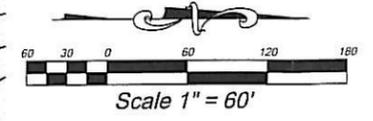
Applicant Signature [Signature] Date 6/14/2013



RECEIVED JUN 14 2013



VICINITY SKETCH



TABULATIONS
TOTAL ACRES: 31.682
TOTAL LOTS: 16

ZONE: CR-40,000 (1 ACRE)

Rev.	Date	Description

Developer:
Capital Property Management Series Eagle Pointe
P.O. Box 1212
American Fork, UT 84003
(801) 367-1636

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504, F: (801) 756-4511

EAGLE POINT SUBDIVISION

ALPINE CITY HOG HOLLOW RD/MATTERHORN DR. UTAH

Drawn by: D.W.P. Scale: 1"=60'
Designed by: D.W.P. Date: 02/17/10
Checked by: D.W.P. 1 OF 1

CONCEPT PLAN

ALPINE CITY COUNCIL AGENDA

SUBJECT: Minor Subdivision Amendment

FOR CONSIDERATION ON: 23 July 2013

PETITIONER: City Council

ACTION REQUESTED BY PETITIONER: Amend Article 4.5 Minor Subdivisions

APPLICABLE STATUTE OR ORDINANCE: Subdivision Ordinance

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

At the July 9th meeting, the Council made a motion to not amend the ordinance as proposed except for the submission requirement (4.5.3.1.3) and the notification requirement (4.5.3.2.3).

RECOMMENDED ACTION:

We adopt Ordinance Number 2013-12 that will amend Article 4.5 of the Development Code regarding Minor Subdivisions as indicated. This includes an updated submission requirement and the requirement for a notification letter to be sent to listed property owners that are within 300 feet of the proposed subdivision.

ARTICLE 4.5 MINOR SUBDIVISION OPTION (Amended by Ord. No. 2007-05, 5/8/07; Ord. No. 2011-07, 5/10/11)

4.5.1 PURPOSE

The intent of the minor subdivision process is to allow for small subdivisions to be processed more easily. Minor subdivisions include those developments of three (3) or fewer lots which meet the requirements of this Code. In this process, the preliminary and final plats required for most subdivisions, are simplified and combined.

4.5.2 APPLICABILITY

The procedures set forth in this Chapter shall govern the processing of, and the requirements pertaining to, minor subdivisions, and shall take precedence over any other provisions of the Code to the contrary.

4.5.3 MINOR SUBDIVISION PROCESS

During the review process, the Development Review Committee (DRC), the Planning Commission, and the City Council may request reasonable additional information from the subdivider from time to time; and may ask other advisors to review the plan if, in the opinion of the City, it may contribute to a decision in the best interest of the City.

After submittal of the required application materials, no excavation nor alteration of the terrain within a proposed subdivision may be undertaken prior to written approval by the City Council of the final plat. Excavation or alteration of the land prior to approval of the final plat may be cause for disapproval of the proposed subdivision.

4.5.3.1 DEVELOPMENT REVIEW COMMITTEE (DRC)

1. The subdivider of a minor subdivision shall meet with the Development Review Committee (DRC) to review the proposed subdivision before submitting an application.
2. The subdivider shall prepare a preliminary plan showing the land to be subdivided, properly and accurately drawn to scale that complies with the drawing requirements in Section 4.6.3.3. The plan shall be certified as to accuracy by a licensed land surveyor licensed to do such work in the State of Utah.
3. The subdivider shall submit ~~four (4)~~ three (3) D size (22" x 34") copies of the plan to the City Planner to be reviewed by the DRC. The subdivider shall also submit an electronic copy of the plan in a compatible format as specified by City Staff.
4. The DRC shall review the plan to determine compliance with the Alpine City General Plan and all applicable City ordinances. The City Planner shall notify the subdivider of the review findings, including questionable design or engineering feasibility, inadequacy of submittals, non-compliance with local regulations, and the need for other information which may assist in the evaluation of the proposed subdivision.
5. When the DRC determines that the plan is ready for Planning Commission review, the DRC, in consultation with the Planning Commission Chairperson, shall establish a review date. The subdivider may prepare a final plan that incorporates all changes recommended by the DRC.

4.5.3.2 PLANNING COMMISSION

1. Upon recommendation of the DRC, the subdivider shall submit the following to the City Planner at least fourteen (14) days before the scheduled Planning Commission meeting:
 - a. the Minor Subdivision Checklist and Application;
 - b. a list of all **adjacent** property owners that are within 300 feet of the proposed subdivision, and envelopes that have been stamped and addressed to all **adjacent** property owners that are within 300 feet of the proposed subdivision named on the list;
 - c. ~~four (4)~~ **three (3)** D size (22" x 34") copies of the final plan,
 - d. ten (10) 11" x 17" copies of the plan drawn to scale, and
 - e. an electronic copy of the plan in a compatible format as specified by City Staff.

The subdivider shall pay the associated fee(s) as set forth in the Alpine City Consolidated Fee Schedule. The fee(s) shall be paid to the City Recorder, payable to Alpine City.

2. The plans will not be presented to the Planning Commission until the application is complete, including submitting all required information and paying all fees. The application must be complete and accepted in writing by the City Planner.
3. Alpine City shall prepare a notification letter to be sent to the **adjacent** property owners that are within 300 feet of the proposed subdivision that will include the following information:
 - a. Address or location of the proposed subdivision and the zoning designation;
 - b. Name of the developer(s);
 - c. Type of development that is proposed;
 - d. Number of acres in the proposed development;
 - e. Number of lots in the proposed development and approximate lot size;
 - f. Date, time, and place of the first Planning Commission meeting at which the plan for the development will be presented; and
 - g. Reference to the applicable ordinances that govern the development.

Alpine City shall mail the notification letter to the listed **adjacent** property owners that are within 300 feet of the proposed subdivision. This shall be done at least seven (7) days prior to the first Planning Commission meeting at which the plan will be presented.

4. The developer shall resubmit all required information, including a list of all property owners, if the application lapses for six (6) months or more.
5. The Planning Commission shall give guidance to the subdivider to assist in meeting the requirements and constraints for subdivision development within the City of Alpine.
6. If the Planning Commission finds that the proposed plat complies with all applicable requirements, it shall recommend final approval to the City Council. If the Planning Commission finds that the proposed plat does not meet the requirements, it shall recommend disapproval of such plat. After 180 calendar days, any Planning Commission approval shall be null and void. The voided/null plan may be resubmitted for reinstatement by the Planning Commission, but will be subject to all applicable ordinances at the time of reinstatement and a reinstatement fee will be charged in accordance with the current fee schedule.

4.5.3.3 CITY COUNCIL

1. Following the recommendation of approval or disapproval of the final plat by the Planning Commission, the City Council shall consider the plat at a regularly scheduled public meeting. If the City Council determines that the plat is in conformity with all applicable requirements and any reasonable conditions as recommended by City Staff, the Planning Commission, or on its own initiative, it shall approve the plat.
2. If the City Council determines that the plat is not in conformity with all applicable requirements or any reasonable conditions imposed, it shall disapprove the plat specifying the reasons for such disapproval.
3. After all necessary approvals have been granted by the City, the subdivider shall meet all requirements for recordation prior to the final plat being recorded. If the recording requirements have not been met within 180 calendar days from the date of City Council approval, such approval shall be null and void. The voided/null final plat may be submitted for reinstatement with a recommendation from the Planning Commission and approval by the City Council, but will be subject to all applicable ordinances at the time of reinstatement and a reinstatement fee will be charged in accordance with the current fee schedule. The final plat must be recorded within 180 days after the reinstatement approval or the approval shall be null and void.

4.5.4 REQUIRED CONDITIONS AND IMPROVEMENTS

The following requirements shall be imposed as a condition of approval of a minor subdivision:

1. No more than three parcels shall be created in the minor subdivision.
2. New or extended street dedications shall not be allowed. Minor right-of-way dedications on existing streets is permissible.
3. The area to be subdivided should be immediately adjacent to existing streets and utilities and shall not involve the extension of any such streets or utilities.
4. The minor subdivision shall conform to the general character of the surrounding area.
5. Lots created shall not adversely affect the remainder of the parcel or adjoining property and shall conform to the applicable provisions of the Zoning Code.
6. Any remainder of the parcel must be capable of further subdivision.
7. Utility easements shall be dedicated.
8. Any further lot splits would be processed under the major subdivision process.
9. Derelict parcels shall not be created.
10. Minor Subdivision Plat shall comply with the drawing requirements of Section 4.6.3.3 (Final Plat).
11. A Developer's Agreement shall be executed between the City and the Developer outlining the conditions of approval of the subdivision. The Development Agreement may include, but is not limited to, the following requirements: any special conditions, trails, landscape issues, or off-site improvements.

4.5.5 BOND AGREEMENTS FOR IMPROVEMENTS REQUIRED

Prior to recordation of an approved plat, the subdivider shall comply with the requirements of Article 4.10 of the Subdivision Ordinance.

4.5.6 RECORDING OF PLAT

After approval, the filing of the bond agreement, and the signing of the plat by the Mayor, City Attorney, City Council and Planning Commission Chairman, the plat shall be presented by the City Recorder to the Utah County Recorder for recordation.

4.5.7 EXPIRATION OF FINAL APPROVAL

If the recording requirements set forth above are not met by the subdivider within 180 days from the date of City Council approval, such approval shall be null and void (amended by Ord. 2004-13, 9/28/04).

4.5.8 REINSTATEMENT OF THE FINAL PLAT (Ord. 2004-13, 9/28/04; Ord. 2008-07, 5/27/08)

The voided/null Final Plat may be submitted to the Development Review Committee (DRC) for reinstatement. If there are no changes to the voided/null final plat and there have been no changes in ordinances that would affect the voided/null final plat, the DRC may approve the reinstatement of the final plat. If there are any changes on the final plat or any changes in ordinances that would affect the plat, the voided/null final plat may be submitted for reinstatement with a recommendation from the Planning Commission and approval by the City Council, but will be subject to all applicable ordinances at the time of reinstatement, and a current reinstatement fee will be charged in accordance with Alpine City's current fee schedule. The final plat must be recorded within 180 days after the reinstatement approval or the approval shall be null and void.

ORDINANCE NO. 2013-12

AN ORDINANCE ADOPTING AMENDMENTS TO ARTICLE 4.5 OF THE ALPINE CITY DEVELOPMENT CODE RELATING TO MINOR SUBDIVISIONS.

WHEREAS, The City Council of Alpine, Utah has deemed it in the best interest of Alpine City to amend the ordinance regarding minor subdivisions; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed Amendments to the Development Code, held a public hearing, and has forwarded a recommendation to the City Council; and

WHEREAS, the Alpine City Council has reviewed the proposed Amendments to the Development Code:

NOW, THEREFORE, BE IT ORDAINED BY THE ALPINE CITY COUNCIL THAT:

The Amendments to Article 4.5 contained in the attached document will supersede Article 4.5 as previously adopted.

This Ordinance shall take effect upon posting.

Passed and dated this 23rd day of July 2013.

Hunt Willoughby, Mayor

ATTEST:

Charmayne G. Warnock, Recorder

ARTICLE 4.5 MINOR SUBDIVISION OPTION (Amended by Ord. No. 2007-05, 5/8/07; Ord. No. 2011-07, 5/10/11; Ord. No. 2013-12, 7/23/13)

4.5.1 PURPOSE

The intent of the minor subdivision process is to allow for small subdivisions to be processed more easily. Minor subdivisions include those developments of three (3) or fewer lots which meet the requirements of this Code. In this process, the preliminary and final plats required for most subdivisions, are simplified and combined.

4.5.2 APPLICABILITY

The procedures set forth in this Chapter shall govern the processing of, and the requirements pertaining to, minor subdivisions, and shall take precedence over any other provisions of the Code to the contrary.

4.5.3 MINOR SUBDIVISION PROCESS

During the review process, the Development Review Committee (DRC), the Planning Commission, and the City Council may request reasonable additional information from the subdivider from time to time; and may ask other advisors to review the plan if, in the opinion of the City, it may contribute to a decision in the best interest of the City.

After submittal of the required application materials, no excavation nor alteration of the terrain within a proposed subdivision may be undertaken prior to written approval by the City Council of the final plat. Excavation or alteration of the land prior to approval of the final plat may be cause for disapproval of the proposed subdivision.

4.5.3.1 DEVELOPMENT REVIEW COMMITTEE (DRC)

1. The subdivider of a minor subdivision shall meet with the Development Review Committee (DRC) to review the proposed subdivision before submitting an application.
2. The subdivider shall prepare a preliminary plan showing the land to be subdivided, properly and accurately drawn to scale that complies with the drawing requirements in Section 4.6.3.3. The plan shall be certified as to accuracy by a licensed land surveyor licensed to do such work in the State of Utah.
3. The subdivider shall submit three (3) D size (22" x 34") copies of the plan to the City Planner to be reviewed by the DRC. The subdivider shall also submit an electronic copy of the plan in a compatible format as specified by City Staff.
4. The DRC shall review the plan to determine compliance with the Alpine City General Plan and all applicable City ordinances. The City Planner shall notify the subdivider of the review findings, including questionable design or engineering feasibility, inadequacy of submittals, non-compliance with local regulations, and the need for other information which may assist in the evaluation of the proposed subdivision.
5. When the DRC determines that the plan is ready for Planning Commission review, the DRC, in consultation with the Planning Commission Chairperson, shall establish a review date. The subdivider may prepare a final plan that incorporates all changes recommended by the DRC.

4.5.3.2 PLANNING COMMISSION

1. Upon recommendation of the DRC, the subdivider shall submit the following to the City Planner at least fourteen (14) days before the scheduled Planning Commission meeting:
 - a. the Minor Subdivision Checklist and Application;
 - b. a list of all property owners that are within 300 feet of the proposed subdivision, and envelopes that have been stamped and addressed to all property owners that are within 300 feet of the proposed subdivision named on the list;
 - c. three (3) D size (22" x 34") copies of the final plan,
 - d. ten (10) 11" x 17" copies of the plan drawn to scale, and
 - e. an electronic copy of the plan in a compatible format as specified by City Staff.

The subdivider shall pay the associated fee(s) as set forth in the Alpine City Consolidated Fee Schedule. The fee(s) shall be paid to the City Recorder, payable to Alpine City.

2. The plans will not be presented to the Planning Commission until the application is complete, including submitting all required information and paying all fees. The application must be complete and accepted in writing by the City Planner.
3. Alpine City shall prepare a notification letter to be sent to the property owners that are within 300 feet of the proposed subdivision that will include the following information:
 - a. Address or location of the proposed subdivision and the zoning designation;
 - b. Name of the developer(s);
 - c. Type of development that is proposed;
 - d. Number of acres in the proposed development;
 - e. Number of lots in the proposed development and approximate lot size;
 - f. Date, time, and place of the first Planning Commission meeting at which the plan for the development will be presented; and
 - g. Reference to the applicable ordinances that govern the development.

Alpine City shall mail the notification letter to the listed property owners that are within 300 feet of the proposed subdivision. This shall be done at least seven (7) days prior to the first Planning Commission meeting at which the plan will be presented.

4. The developer shall resubmit all required information, including a list of all property owners, if the application lapses for six (6) months or more.
5. The Planning Commission shall give guidance to the subdivider to assist in meeting the requirements and constraints for subdivision development within the City of Alpine.
6. If the Planning Commission finds that the proposed plat complies with all applicable requirements, it shall recommend final approval to the City Council. If the Planning Commission finds that the proposed plat does not meet the requirements, it shall recommend disapproval of such plat. After 180 calendar days, any Planning Commission approval shall be null and void. The voided/null plan may be resubmitted for reinstatement by the Planning Commission, but will be subject to all applicable ordinances at the time of reinstatement and a reinstatement fee will be charged in accordance with the current fee schedule.

4.5.3.3 CITY COUNCIL

1. Following the recommendation of approval or disapproval of the final plat by the Planning Commission, the City Council shall consider the plat at a regularly scheduled public meeting. If the City Council determines that the plat is in conformity with all applicable requirements and any reasonable conditions as recommended by City Staff, the Planning Commission, or on its own initiative, it shall approve the plat.
2. If the City Council determines that the plat is not in conformity with all applicable requirements or any reasonable conditions imposed, it shall disapprove the plat specifying the reasons for such disapproval.
3. After all necessary approvals have been granted by the City, the subdivider shall meet all requirements for recordation prior to the final plat being recorded. If the recording requirements have not been met within 180 calendar days from the date of City Council approval, such approval shall be null and void. The voided/null final plat may be submitted for reinstatement with a recommendation from the Planning Commission and approval by the City Council, but will be subject to all applicable ordinances at the time of reinstatement and a reinstatement fee will be charged in accordance with the current fee schedule. The final plat must be recorded within 180 days after the reinstatement approval or the approval shall be null and void.

4.5.4 REQUIRED CONDITIONS AND IMPROVEMENTS

The following requirements shall be imposed as a condition of approval of a minor subdivision:

1. No more than three parcels shall be created in the minor subdivision.
2. New or extended street dedications shall not be allowed. Minor right-of-way dedications on existing streets is permissible.
3. The area to be subdivided should be immediately adjacent to existing streets and utilities and shall not involve the extension of any such streets or utilities.
4. The minor subdivision shall conform to the general character of the surrounding area.
5. Lots created shall not adversely affect the remainder of the parcel or adjoining property and shall conform to the applicable provisions of the Zoning Code.
6. Any remainder of the parcel must be capable of further subdivision.
7. Utility easements shall be dedicated.
8. Any further lot splits would be processed under the major subdivision process.
9. Derelict parcels shall not be created.
10. Minor Subdivision Plat shall comply with the drawing requirements of Section 4.6.3.3 (Final Plat).
11. A Developer's Agreement shall be executed between the City and the Developer outlining the conditions of approval of the subdivision. The Development Agreement may include, but is not limited to, the following requirements: any special conditions, trails, landscape issues, or off-site improvements.

4.5.5 BOND AGREEMENTS FOR IMPROVEMENTS REQUIRED

Prior to recordation of an approved plat, the subdivider shall comply with the requirements of Article 4.10 of the Subdivision Ordinance.

4.5.6 RECORDING OF PLAT

After approval, the filing of the bond agreement, and the signing of the plat by the Mayor, City Attorney, City Council and Planning Commission Chairman, the plat shall be presented by the City Recorder to the Utah County Recorder for recordation.

4.5.7 EXPIRATION OF FINAL APPROVAL

If the recording requirements set forth above are not met by the subdivider within 180 days from the date of City Council approval, such approval shall be null and void (amended by Ord. 2004-13, 9/28/04).

4.5.8 REINSTATEMENT OF THE FINAL PLAT (Ord. 2004-13, 9/28/04; Ord. 2008-07, 5/27/08)

The voided/null Final Plat may be submitted to the Development Review Committee (DRC) for reinstatement. If there are no changes to the voided/null final plat and there have been no changes in ordinances that would affect the voided/null final plat, the DRC may approve the reinstatement of the final plat. If there are any changes on the final plat or any changes in ordinances that would affect the plat, the voided/null final plat may be submitted for reinstatement with a recommendation from the Planning Commission and approval by the City Council, but will be subject to all applicable ordinances at the time of reinstatement, and a current reinstatement fee will be charged in accordance with Alpine City's current fee schedule. The final plat must be recorded within 180 days after the reinstatement approval or the approval shall be null and void.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Site Plan (not located in an approved subdivision) Amendment

FOR CONSIDERATION ON: 23 July 2013

PETITIONER: Staff

ACTION REQUESTED BY PETITIONER: Amend Article 4.14 Site Plan to Comply

APPLICABLE STATUTE OR ORDINANCE: Subdivision Ordinance

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION:

At the July 9th meeting, the Council made a motion to not amend the ordinance as proposed. The ordinance still needs to be cleaned up. The Planning Commission made a recommendation concerning some of the proposed corrections. The proposed corrections are as shown on the following page.

PLANNING COMMISSION MOTION: Bryce Higbee moved to recommend to City Council to approve the changes made to the Site Plan to Comply Ordinance Article 4.14 of the Development Code. However, we recommend that the definition for subdivision in the “Definition” section remain, and items 3 and 4 under the “Site Plan Approval Process” not be changed.

Steve Cosper seconded the motion. The motion passed unanimously with 6 Ayes and 0 Nays. Bryce Higbee, Steve Cosper, Jason Thelin, Jannicke Brewer, Chuck Castleton and Steve Swanson all voted Aye.

RECOMMENDED ACTION:

We adopt Ordinance Number 2013-11 that will amend Article 4.14 of the Development Code regarding Site Plans (not located in an approved subdivision) as indicated. This includes submission requirements as well as various corrections and clarification.

ARTICLE 4.14 SITE PLAN TO COMPLY (ORD. 92-03 Amended by Ord. 2004-13, 9/28/04)

AN ORDINANCE PROVIDING FOR COMPLIANCE WITH ARTICLE 4.7, ARTICLE 4.8 and ARTICLE 4.10 OF THE ALPINE CITY SUBDIVISION ORDINANCE AND THE ALPINE CITY CONSTRUCTION STANDARDS FOR BUILDING PERMIT APPLICATION FOR SINGLE ~~FAMILY OR MULTI-FAMILY~~ RESIDENTIAL DWELLINGS OR COMMERCIAL STRUCTURES NOT LOCATED IN AN APPROVED SUBDIVISION.

~~4.14.1 Approval of Site Plan for a residential single family or multi-family dwelling or commercial structure that is not located in an approved subdivision.~~

~~Definitions:~~

~~Subdivision:—References to subdivisions in the foregoing provisions shall apply to the property and/or lot for which the building permit is sought.~~

~~Subdivider:—Reference to the developer or subdivider in the foregoing provisions shall apply to the contractor and owner of the property for which the building permit is sought.~~

4.14.1 Site Plan Approval Process

1. The applicant shall submit the Site Plan Application and three (3) D size (22" x 34") to the City Planner to be reviewed by the DRC along with an electronic copy in a compatible format as specified by City Staff. The DRC and Alpine City Building Inspector shall review the application and plan to determine whether the proposed construction or alteration conforms to the building codes and ordinances of this municipality.
2. Upon recommendation of the DRC, the applicant shall submit the following to the City Planner at least fourteen (14) days before the scheduled Planning Commission meeting:
 - a. the Site Plan Checklist and Application;
 - b. three (3) D size (22" x 34") copies of the final plan,
 - c. ten (10) 11" x 17" copies of the plan drawn to scale, and
 - d. an electronic copy of the plan in a compatible format as specified by City Staff.

The applicant shall pay the associated fee(s) as set forth in the Alpine City Consolidated Fee Schedule. The fee(s) shall be paid to the City Recorder, payable to Alpine City.

The plans will not be presented to the Planning Commission until the application is complete, including submitting all required information and paying all fees. The application must be complete and accepted in writing by the City Planner.

~~2.3.~~ A building permit application and plan for a residential single ~~family or multi-family~~ dwelling or commercial structure which is not located in an approved subdivision shall:

- a. Conform to Article 4.7, Article 4.8 and Article 4.10 (Subdivision Design and Financial Standards including Water Right Requirements) of the Alpine City Subdivision Ordinance. If it is a commercial site plan, it also conforms to any additional requirements that are applicable to the site plan in Article 3.7 (Business/Commercial District) of the Alpine City Development Code;
- ~~b. Conform to the Alpine City Construction Standards;~~
- ~~c.~~ b. Be reviewed by the DRC and approved by the Planning Commission ~~and DRC~~ for compliance with the foregoing provisions prior to issuance of the permit;
- ~~d.~~ c. A Developer's Agreement shall be executed between the City and the Developer outlining the conditions of approval of the site plan subdivision. The Development

Agreement may include but is not limited to the following examples: any special conditions, trails, landscape issues, or off-site improvements Rights-of-way must be dedicated to Alpine City

~~3.4.~~ The Building Department shall issue a permit and one set of approved plans to the applicant after the plan has been approved by the Planning Commission.

~~4.5.~~ The Building Inspector shall retain one set of the approved plans and may revoke at anytime a permit which has been issued for any building constructed or being constructed which would be or result, if constructed, in a violation of any ordinance of this municipality.

An exception may be obtained from the foregoing provisions by following the procedures set forth in Article 4.1.2 of the Alpine City Subdivision Ordinance.

ORDINANCE NO. 2013-11

AN ORDINANCE ADOPTING AMENDMENTS TO ARTICLE 4.14 OF THE ALPINE CITY DEVELOPMENT CODE RELATING TO SITE PLANS NOT IN AN APPROVED SUBDIVISION.

WHEREAS, The City Council of Alpine, Utah has deemed it in the best interest of Alpine City to amend the ordinance regarding site plans not in an approved subdivision; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed Amendments to the Development Code, held a public hearing, and has forwarded a recommendation to the City Council; and

WHEREAS, the Alpine City Council has reviewed the proposed Amendments to the Development Code:

NOW, THEREFORE, BE IT ORDAINED BY THE ALPINE CITY COUNCIL THAT:

The Amendments to Article 4.14 contained in the attached document will supersede Article 4.14 as previously adopted.

This Ordinance shall take effect upon posting.

Passed and dated this 23rd day of July 2013.

Hunt Willoughby, Mayor

ATTEST:

Charmayne G. Warnock, Recorder

ARTICLE 4.14 SITE PLAN TO COMPLY (Ord. No. 92-03 Amended by Ord. No. 2004-13, 9/28/04; Ord. No. 2013-11, 7/23/13)

AN ORDINANCE PROVIDING FOR COMPLIANCE WITH ARTICLE 4.7, ARTICLE 4.8 and ARTICLE 4.10 OF THE ALPINE CITY SUBDIVISION ORDINANCE AND THE ALPINE CITY CONSTRUCTION STANDARDS FOR BUILDING PERMIT APPLICATION FOR SINGLE FAMILY RESIDENTIAL DWELLINGS OR COMMERCIAL STRUCTURES NOT LOCATED IN AN APPROVED SUBDIVISION.

4.14.1 Site Plan Approval Process

1. The applicant shall submit the Site Plan Application and three (3) D size (22" x 34") to the City Planner to be reviewed by the DRC along with an electronic copy in a compatible format as specified by City Staff. The DRC and Alpine City Building Inspector shall review the application and plan to determine whether the proposed construction or alteration conforms to the building codes and ordinances of this municipality.
2. Upon recommendation of the DRC, the applicant shall submit the following to the City Planner at least fourteen (14) days before the scheduled Planning Commission meeting:
 - a. the Site Plan Checklist and Application;
 - b. three (3) D size (22" x 34") copies of the final plan,
 - c. ten (10) 11" x 17" copies of the plan drawn to scale, and
 - d. an electronic copy of the plan in a compatible format as specified by City Staff.

The applicant shall pay the associated fee(s) as set forth in the Alpine City Consolidated Fee Schedule. The fee(s) shall be paid to the City Recorder, payable to Alpine City.

The plans will not be presented to the Planning Commission until the application is complete, including submitting all required information and paying all fees. The application must be complete and accepted in writing by the City Planner.

3. A building permit application and plan for a residential single family dwelling or commercial structure which is not located in an approved subdivision shall:
 - a. Conform to Article 4.7, Article 4.8 and Article 4.10 (Subdivision Design and Financial Standards including Water Right Requirements) of the Alpine City Subdivision Ordinance. If it is a commercial site plan, it also conforms to any additional requirements that are applicable to the site plan in Article 3.7 (Business/Commercial District) of the Alpine City Development Code;
 - b. Be reviewed by the DRC and approved by the Planning Commission for compliance with the foregoing provisions prior to issuance of the permit;
 - c. A Developer's Agreement shall be executed between the City and the Developer outlining the conditions of approval of the site plan. The Development Agreement may include but is not limited to the following examples: any special conditions, trails, landscape issues, or off-site improvements Rights-of-way must be dedicated to Alpine City
4. The Building Department shall issue a permit and one set of approved plans to the applicant after the plan has been approved by the Planning Commission.
5. The Building Inspector shall retain one set of the approved plans and may revoke at anytime a permit which has been issued for any building constructed or being constructed which would be or result, if constructed, in a violation of any ordinance of this municipality.

An exception may be obtained from the foregoing provisions by following the procedures set forth in Article 4.1.2 of the Alpine City Subdivision Ordinance.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Approve Poll Workers for 2013 Municipal Election

FOR CONSIDERATION ON: 23 July 2013

PETITIONER: City Recorder

ACTION REQUESTED BY PETITIONER: Approve Poll Workers

APPLICABLE STATUTE OR ORDINANCE: State Code

PETITION IN COMPLIANCE WITH ORDINANCE: Yes

BACKGROUND INFORMATION: The following have agreed to serve as poll workers for the upcoming elections.

Doug Braithwaite
Andrea Chapman
Teresa Cospers
Marla Fox
Dan Garrison
Diane Hunsaker
Linda Higgins
Lynn Higgins

Alane Kester
Caroldean Neves
John Pool
Janet Rogers
Wayne Walker
Janis Williams

RECOMMENDED ACTION:

Approve the poll workers.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Report on the “Fire Consolidation Feasibility Study for the Cities of Alpine, American Fork, Cedar Hills, Highland and Pleasant Grove, Utah”

FOR CONSIDERATION ON: July 23, 2013

PETITIONER: Chief Brad Freeman, Lone Peak Fire Department

ACTION REQUESTED BY PETITIONER: Information only

APPLICABLE STATUTE OR ORDINANCE:

BACKGROUND INFORMATION: The above mentioned cities, along with Utah County, hired the Matrix Consulting Group to do a feasibility study regarding the consolidation of the various fire departments. This study is attached.

A number of questions were asked by City Council members who have read this report. It was felt that it would be easier to answer any questions that Council members had at the Council meeting rather than prepare separate reports.

City Council Action Required: Information only discussion item.