



## ALPINE CITY PLANNING COMMISSION MEETING

**NOTICE** is hereby given that the **PLANNING COMMISSION** of Alpine City, Utah will hold an **Electronic Public Meeting** on **Tuesday, December 1, 2020 at 7:00 pm.**

The public may view the meeting via the **Alpine City YouTube Channel**. A direct link to the channel can be found on the home page of the Alpine City website: [alpinecity.org](http://alpinecity.org)

Public Comment for a Public Hearing on the agenda may be submitted to [admin@alpinecity.org](mailto:admin@alpinecity.org) by **5:00 pm the day of the meeting.**

### **I. GENERAL BUSINESS**

- |                             |                |
|-----------------------------|----------------|
| A. Welcome and Roll Call:   | Jane Griener   |
| B. Prayer/Opening Comments: | Ed Bush        |
| C. Pledge of Allegiance:    | Alan MacDonald |

### **II. PUBLIC COMMENT**

Any person wishing to comment on any item not on the agenda may address the Planning Commission. Comments may be submitted to [admin@alpinecity.org](mailto:admin@alpinecity.org) by 5:00 PM the day of the meeting.

### **III. ACTION ITEMS**

#### **A. Site Plan – Alpine Fitness**

Planning Commission will re-review the site plan with regards to the Gateway Historic District Design Guidelines per request of the City Council.

#### **B. Annual Meeting Schedule 2021**

Planning Commission will review and adopt the 2021 Annual Meeting Schedule.

### **IV. COMMUNICATIONS**

### **V. APPROVAL OF PLANNING COMMISSION MINUTES: November 17, 2020**

### **ADJOURN**

Chair Jane Griener  
November 24, 2020

**THE PUBLIC IS INVITED TO ATTEND ALL PLANNING COMMISSION MEETINGS.** If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 5.

**CERTIFICATION OF POSTING.** The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted at Alpine City Hall, 20 North Main, Alpine, UT. It was also sent by e-mail to The Daily Herald located in Provo, UT a local newspaper circulated in Alpine, UT. This agenda is also available on the City's web site at [www.alpinecity.org](http://www.alpinecity.org) and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).



# PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length, and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

## Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.



## ALPINE CITY PLANNING COMMISSION

### **Written Determination Regarding the Need for Electronic Meetings Without Anchor Locations**

Due to the seriousness of the current worldwide Covid-19 pandemic, the rapid spread of the infection throughout Utah, and its potentially deadly and life-altering effects, I, Jane Griener, as chair of the Planning Commission, have determined that conducting an electronic meeting with an anchor location presents a substantial risk to the health and safety of those who may be present at the anchor location. Accordingly, pursuant to Utah Code section 52-4-207(4), electronic meetings will not be required to have an anchor location at this time. This written determination will expire thirty days from the date it is signed.

  
Jane Griener, Chair of  
Planning Commission

11/16/20  
Date



## **ALPINE PLANNING COMMISSION AGENDA**

**SUBJECT:** Site Plan – Alpine Fitness

**FOR CONSIDERATION ON:** 1 December 2020

**PETITIONER:** Mayor and City Council

**ACTION REQUESTED BY PETITIONER:** Re-evaluate the proposed design specifically with regards to Gateway Historic District Design Guidelines.

### **BACKGROUND INFORMATION:**

This item is returning to Planning Commission following the City Council review of the site plan on November 24, 2020. The City Council asked that the Planning Commission take another look at the design of the building with regards to the Gateway Historic District Design Guidelines.

Applicant is seeking to relocate Alpine Fitness and Alpine Physical Therapy to a new building on Main Street. The new building would replace an existing garage structure on the site. The existing building would be demolished, and the new building would be located at the same site as the current building. The site is located within the Business Commercial Zone and the Gateway Historic District. Proposed building is approximately 9,380 square feet on a parcel approximately 0.58 acres in size. 40 off-street parking stalls are proposed. The developer is seeking approval of the proposed site plan.

In August of 2019, the City Council approved a 15-foot front setback exception on Main Street and a 2-foot setback exception on the north property line. In September of 2019, the City Council approved a parking exception (parking allowed in front setback) and land swap on the property. The land swap was granted to allow for the power lines on the property to be relocated underground. The proposed building has been designed with these exceptions in mind. Also, the applicant has worked with the gas company to remove a high-pressure gas line from the property and the easement that existed for the gas line has been vacated.



**STAFF RECOMMENDATION:**

Review site plan in accordance with the Gateway Historic District Design Guidelines.

**SAMPLE MOTION TO APPROVE**

I motion to recommend that the proposed site plan for the Alpine Fitness be approved with the following conditions:

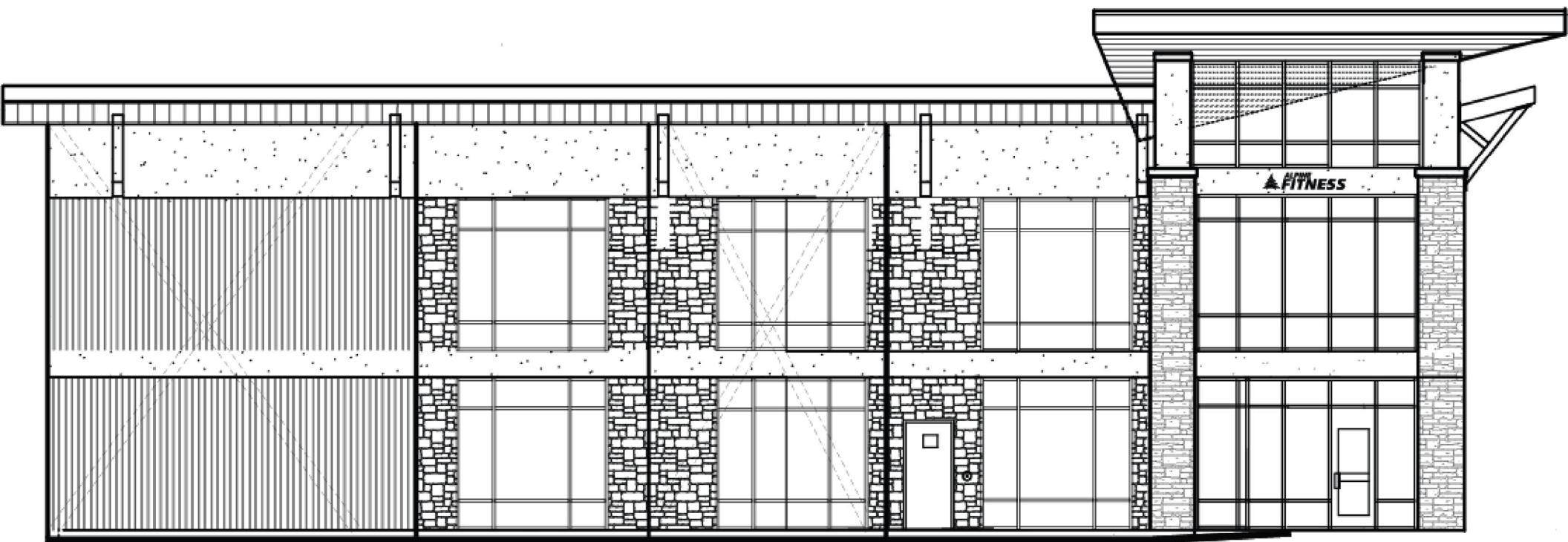
- The developer signs a storm drain maintenance agreement for the property;
- The developer obtains a Demolition Permit prior to construction;
- The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.
- The developer update plans to show an Alpine City standard streetlight and light be installed with completion of project.
- \*\*\*Insert Finding\*\*\*

**SAMPLE MOTION TO TABLE/DENY**

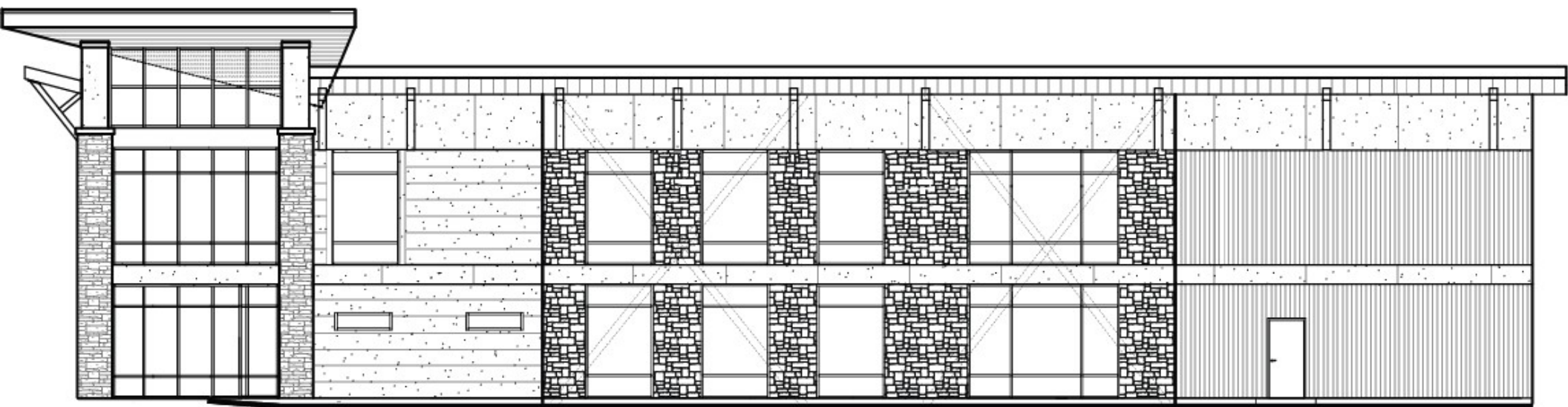
I motion that the site plan for the Alpine Fitness be tabled/denied based on the following:

- \*\*\*Add finding\*\*\*

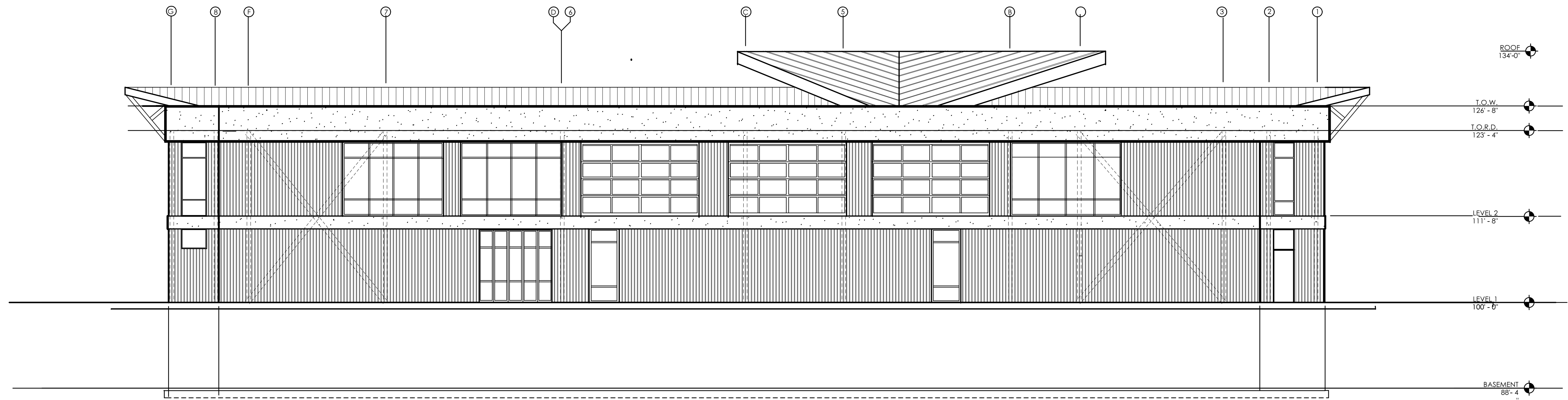






































**RESOLUTION NO. R2015-11**

**A RESOLUTION OF THE  
ALPINE CITY COUNCIL  
Adopting the Gateway Historic District Design Guidelines**

**WHEREAS**, The City Council of Alpine, Utah has deemed it in the best interest of Alpine City to create design guidelines for the Gateway Historic District; and

**WHEREAS**, the Alpine City Planning Commission has reviewed the proposed design guidelines for the Gateway Historic District, held a public hearing, and has forwarded a recommendation to the City Council; and

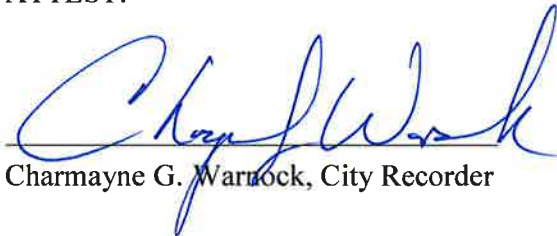
**WHEREAS**, the Alpine City Council has reviewed and approved the proposed Gateway Historic District Design Guidelines:

**PASSED** and **APPROVED** this 22nd day of September.

ALPINE CITY

  
Don Watkins, Mayor

ATTEST:

  
Charmayne G. Warlock, City Recorder







# **Gateway Historic District Design Guidelines**

Adopted by Resolution 2015-11

## **Purpose and Intent**

Gateway Historic District will become a village of mixed uses, promoting a pedestrian friendly atmosphere and providing excellence in landscaping and architecture, in a setting which honors and preserves the past while promoting the future.

1. In the interest of preserving the character of the Gateway-Historic District, it is necessary to regulate to a certain extent the new construction that is built there. New structures should only affect the district in a positive manner, and not in detrimental ways.
2. Respecting the heritage of Alpine associated with the historical structures in the district.
3. Utilize approaches that have been shown to encourage the sustainability of historic districts and neighborhoods.

The guidelines for the following elements are intended to encourage compatible new construction. In the event that these guidelines conflict with the Alpine City Zoning Ordinance, the Zoning Ordinance will be followed.

## **Guidelines**

1. New developments should:
  - a. Mimic details of older buildings
  - b. Use similar materials
  - c. Make mundane uses look good
  - d. Include design features on blank walls
2. All new development projects should achieve a determination of design appropriateness from the Planning Commission.
3. New construction should respect and build upon the historical legacy of downtown Alpine and borrow historic features from the area. It should be



designed for its specific context. Elements that should influence the design of new development include building form, massing, scale, materials and colors.

## **Gateway Historic District Design Criteria**

1. Relation to the Surrounding Area (Massing, Scale, Orientation)
2. Height
3. Exterior Walls and Surfaces
4. Windows and Doors
5. Exterior Trim and Decorative Detailing
6. Roofing
7. Materials (Texture, Color, Finishes)
8. Streetscaping



## **Relation to the Surrounding Area** **(Massing, Scale, Orientation)**

New construction that utilizes appropriate massing and scale can affect historic districts in a positive manner. New structures should take their own place in time.

### **Design Standards**

- New structures should relate to the fundamental characteristics of the district, but may use their own style and method of construction.
- Orientation of new construction should be to the street to establish a pedestrian-friendly quality.
- One major entrance should orient to each street to which the building abuts for easy access by pedestrians from the street and sidewalk.
- Corner entrances may be used for buildings orienting to two streets at an intersection.
- New construction should not be dramatically greater in scale than surrounding structures in the district.
- The perceived width of new construction should be visually compatible with adjacent structures. Wider buildings should be divided into modules to convey a sense of traditional construction.
- The building form of new construction should be similar to surrounding structures but should not necessarily be a direct imitation.





## 2

### Height

New construction should respect the overall height limits established in the city code for the underlying zone.

#### **Design Standards**

- The height of buildings should be compatible with adjacent historic structures.
- Creative historic design elements fitting for the area can be considered.





## **Exterior Walls and Surfaces**

The type of materials used for new construction can greatly enhance the relationship to surrounding historical structures while maintaining individual identity.

### **Design Standards**

- The use of stone, brick, wood, or stucco is encouraged for use as the primary exterior material.
- Plastics, vinyl and CMU (concrete masonry unit) are prohibited.
- Innovative use of other materials may be considered.





## **Windows and Doors**

Windows and doors of new construction should relate to the general character of the area.

### **Design Standards**

- Windows with a vertical emphasis shall be encouraged over a horizontal orientation.
- Scale, proportion, and character of windows and doors should be carefully considered and should relate to the intended general character of the area.
- The simple shape of windows is encouraged.
- If new construction is built to the sidewalk, the use of awnings or canopies should be considered for providing protection to the pedestrian.
- The ground floor of the primary façade should include transparency at the pedestrian level.





## **Exterior Trim and Decorative Detailing**

New construction can be enhanced by the wise use of exterior trim and decorative detailing. Using these details to break up uninspiring solid surfaces can help avoid the box-like appearance often seen in new construction.

### **Design Standards**

- Trim and detailing should be simple in material and design.
- Materials that are compatible to the primary exterior material should be used.
- Excessive ornamentation is not recommended.
- The following factors should be considered in determining whether or not a particular finishing material is acceptable:
  1. Durability and low maintenance characteristics.
  2. Consistency with the overall design goals.
  3. Location on the building.
  4. Potential shielding by landscaping or other feature.
  5. The visibility of the site from public streets and neighboring uses.
  6. A mansard roof is prohibited





## 6

### Roofing

The style and form of the roof on new construction can contribute to the success of blending in with surrounding historic structures.

#### **Design Standards**

- Traditional rooflines are preferred.
- Smaller structures should use a hip, gable, or shed roof.
- Flat roofs may be considered for use on structures where the context is appropriate.
- Flat roofs shall provide a cornice or other decorative treatment.
- The character or design of the front and rear façades of all buildings shall demonstrate a variety in depth, relief, rhythm and roof line height, with changes occurring in all of these areas at least every forty feet.
- Mechanical equipment shall not be visible from the street.





## **Materials – Texture, Color, Finishes**

Good attention to design and color is expected in the Gateway Historic District to help all buildings become more complimentary to each other and assist the creation of a unique and cohesive environment. The materials used for the finish of the exterior surface of new construction should be compatible with the nature of the surrounding area.

### **Design Standards**

- The use of color schemes should be compatible with the surrounding area. Simplicity is encouraged – excessive amounts of different colors should not be used.
- Avoid pure white as a façade color, and if masonry must be painted, it should be done in a natural hue.
- The natural colors of brick masonry, stone, or other existing building materials should dominate the color scheme of the building. Other colors should be respectful of adjacent buildings.
- A predominant color should be used with one or two other accent colors.
- The texture and finish of new construction should attempt to convey a modern building while still respecting the historic character of the area.
- The cornice, window frames, ornamental details, signs and storefronts should all blend in as an attractive harmonious unit.





## 8

### **Streetscaping**

Streetscapes should be incorporated in sidewalk areas adjacent to Main Street.

#### **Design Standards**

- At least one streetscape feature should be installed and maintained every thirty (30) linear feet along sidewalks, nearest to the curb.
- Acceptable streetscape features include, but are not limited to, the following: trees, planters, benches, drinking fountains, decorative garbage canisters, outdoor clocks, bike racks, and water features.
- Businesses are encouraged to coordinate the installation of streetscape elements with surrounding properties.
- Installation of plazas and gathering spaces where people may linger is encouraged.
- Installation of planters with trees and shrubs to create areas to sit are encouraged.
- Providing benches in strategic areas to encourage mingling and gathering is encouraged.





### **3.11 Gateway/Historic Zone**

#### **3.11.010 Purpose And Intent**

#### **3.11.020 District Boundaries**

#### **3.11.030 Applicability**

#### **3.11.040 Site Plan Process**

#### **3.11.050 Plan Requirements**

#### **3.11.060 Repair Or Maintenance Exception**

#### **3.11.070 Permitted Uses**

#### **3.11.080 Conditional Uses**

#### **3.11.090 Water Rights Requirements**

#### **3.11.010 Purpose And Intent**

The purpose of this chapter is to maintain a high character of community development, to protect and preserve property, to promote the stability of property values and to protect real estate from impairment or destruction of value for the general community welfare by regulating the exterior architectural characteristics of structures and preservation and protection of buildings of architectural or historical significance throughout the hereinafter defined Gateway/Historic District.

It is the further purpose of this Title to recognize and preserve the historical and architectural character of this community, which has been greatly influenced by the architecture of an earlier period in this community's history. It is also the intent of the district to allow for a mixture of commercial and residential uses. These purposes shall be served by the regulation of exterior design, use of materials, the finish grade line, landscaping and orientation of all commercial structures hereinafter altered, constructed, reconstructed, erected, enlarged or remodeled, removed or demolished for commercial purposes in the hereinafter defined Gateway/Historic District.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

#### **3.11.020 District Boundaries**

There is hereby established a Gateway-Historic District Overlay Zone which shall include the area shown as Business Commercial (BC) on the Alpine City Zoning Map.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

#### **3.11.030 Applicability**

An application for a site plan shall be filed with the City Planner whenever:

1. A commercial structure, as defined by this Zoning Ordinance, whether public or private, within the above describe district is proposed to be constructed or erected; or
2. An existing commercial structure is proposed to be altered, reconstructed, enlarged, or remodeled if such alteration, reconstruction, enlargement, or remodeling involves the exterior design, material, finish grade line, landscaping or orientation of the structure; or
3. An existing structure is proposed to be altered, reconstructed, enlarged or remodeled into a commercial structure, if such alteration, reconstruction, enlargement or remodeling involves the exterior design, material, finish grade line, landscaping or orientation of the structure.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

#### **3.11.040 Site Plan Process**



1. During the review process, the City Planner and City Engineer, the Planning Commission, and the City Council may request reasonable additional information from the applicant from time to time; and may ask other advisors to review the plan if, in the opinion of the City, it may contribute to a decision in the best interest of the City.

After submittal of the required application materials, no excavation or alteration of the property may be undertaken prior to written final approval by the City Council of the site plan. Excavation or alteration of the property prior to approval may be cause for disapproval. Additionally, work on existing structures prior to final approval is not permitted.

## 2. City Planner and City Engineer

- a. The applicant shall meet with the City Planner and City Engineer to review the proposed site plan before submitting an application.
- b. The applicant shall prepare a concept site plan, properly and accurately drawn to scale.
- c. The City Planner and City Engineer shall review the site plan to determine compliance with the Alpine City General Plan and applicable City ordinances.
- d. When the City Planner and City Engineer determines that the site plan is ready for Planning Commission review, the City Planner, in consultation with the Planning Commission Chairperson, shall establish a review date. The applicant may prepare a site plan that incorporates all changes recommended by City Planner and City Engineer.

## 3. Planning Commission

- a. The applicant shall submit the following to the City Planner at least fourteen (14) days before the scheduled Planning Commission meeting:
  - i. the site plan application;
  - ii. pay the associated fee(s) in accordance with the current fee schedule (payable to Alpine City);
  - iii. four (4) D size (22" x 34") copies of the site plan;
  - iv. ten (10) 11" x 17" copies of the site plan drawn to scale;
  - v. building elevations including building height;
  - vi. a landscape plan including a list of plant types; and
  - vii. an electronic copy of the site plan and building elevations in a compatible format as specified by City Staff.

In addition, the application shall be accompanied by a detailed narrative description of the proposed design or change of design, use of materials, finish grade line, landscaping. In addition, the Planning Commission may require submission of colored perspectives, architectural renderings, and/or physical building material samples in applications where the Planning Commission feels it is required.

- b. The site plan will not be presented to the Planning Commission until the application is complete, including submitting all required information and paying all fees. The application must be complete and accepted in writing by the City Planner.
- c. The Planning Commission shall give guidance to the applicant to assist in meeting the requirements and constraints for development within Alpine City.



- d. The Planning Commission shall determine whether the site plan promotes, preserves and enhances the distinctive historical village character of the community and would not be at variance with existing structures within that portion of the district in which the site plan is or is proposed to be located as to be detrimental to the interests of the District as set forth in DCA 3.11.010. In conducting its review, the Planning Commission shall make examination of and give consideration to the elements of the Gateway Historic District Design Guidelines.
- e. The Planning Commission may recommend exceptions to the Business Commercial Zone requirements regarding parking, building height, signage, setbacks and use if it finds that the plans proposed better implement the design guidelines to the City Council for approval.
- f. If the Planning Commission finds that the proposed site plan complies with all applicable requirements, it shall recommend approval to the City Council. If the Planning Commission finds that the proposed site plan does not meet the requirements, it shall recommend disapproval of the site plan.

#### 4. City Council

- a. Following the recommendation of approval or disapproval of the site plan by the Planning Commission, the City Council shall consider the site plan at a public meeting. If the City Council determines that the site plan is in conformity with all applicable requirements and any reasonable conditions as recommended by City Staff, the Planning Commission, or on its own initiative, it shall approve the site plan.
- b. If the City Council determines that the site plan is not in conformity with all applicable requirements or any reasonable conditions imposed, it shall disapprove the site plan specifying the reasons for such disapproval.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

#### HISTORY

Amended by Ord. [2019-09](#) on 4/23/2019

### **3.11.050 Plan Requirements**

The site plan shall include the following items:

1. Address of the site plan
2. A vicinity map
3. The property boundaries of the proposed site plan and the names of all adjacent property owners
4. The location of all existing and proposed easements
5. Lot dimensions
6. Location and orientation of all structures on the lot
7. Setbacks of all structures on the lot
8. Location of garbage dumpster
9. Location of all existing and proposed utilities
10. Parking plan
11. Lighting plan



12. Other information which may allow the City Planner, City Engineer, Planning Commission, and City Council to evaluate the proposed site plan.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

### **3.11.060 Repair Or Maintenance Exception**

Nothing in this Chapter shall be construed to prevent any ordinary repair or maintenance of an exterior architectural feature or any ordinary planting and landscaping now in the District.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

### **3.11.070 Permitted Uses**

The permitted uses listed in the Business Commercial Zone shall be permitted in the Gateway/Historic Zone.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

### **3.11.080 Conditional Uses**

The conditional uses listed in the Business Commercial Zone shall be conditional uses in the Gateway/Historic Zone.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)

### **3.11.090 Water Rights Requirements**

Developments occurring under the provisions of this Chapter must comply with the water rights requirements of Alpine City.

(Ord. No. 2002-06, 07/09/2002; Amended by Ord. No. 2010-19, 11/09/10)









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Pine Valley Realty













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Old Rock Church  
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Street Court

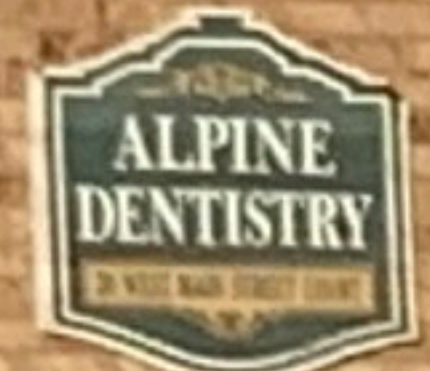
ALPINE **24 HR**  
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WITH  
CHILDREN















**ALPINE CITY  
STAFF REPORT**  
November 12, 2020

**To:** Alpine City Planning Commission  
Business Date: November 17, 2020

**From:** Staff

**Prepared By:** Austin Roy, City Planner  
Planning & Zoning Department

Jed Muhlestein, City Engineer  
Engineering & Public Works Department

**Re: Site Plan Review – Alpine Fitness**

Applicant:	Paul Anderson of Alpine Fitness/Alpine Physical Therapy
Project Location:	235 S. Main Street
Zoning:	Business Commercial Zone
Acreage:	Approximately 0.58 Acres
Building Area:	9,380 Sq. Ft.
Request:	Approve the site plan

**SUMMARY**

Applicant is seeking to relocate Alpine Fitness and Alpine Physical Therapy to a new building on Main Street. The new building would replace an existing garage structure on the site. The existing building would be demolished, and the new building would be located at the same site as the current building. The site is located within the Business Commercial Zone and the Gateway Historic District. Proposed building is approximately 9,380 square feet on a parcel approximately 0.58 acres in size. 40 off-street parking stalls are proposed. The developer is seeking approval of the proposed site plan.

**BACKGROUND**

In August of 2019 the City Council approved a 15-foot front setback exception on Main Street and a 2-foot setback exception on the north property line. In September of 2019 the City Council approved a parking exception (parking allowed in front setback) and land swap on the property. The land swap was granted to allow for the power lines on the property to be relocated underground. The proposed building has been designed with these exceptions in mind.



The applicant has worked with the gas company to remove a high pressure gas line from the property and the easement that existed for the gas line has been vacated.

## **ANALYSIS**

### **Location**

Setbacks (3.07) for the building were approved by the City Council on August 13, 2019, with an exception being granted. The approved setbacks are: 15 feet on Main Street and 2 feet on the north property line. The City Council also approved parking spaces to be allowed in the front setback. The site plan presented honors the exceptions granted by City Council.

### **Off-Street Parking**

City code requires (3.24.030) offices and personal services to have four (4) spaces for every 1,000 sq. ft. based on the square footage of the proposed building (9,380 sq. ft.) 38 off-street parking spaces are required. The proposal exceeds the off-street parking requirements, with plans showing 40 parking stalls, which includes two (2) ADA stalls.

### **Screening**

“The sides and rear of any off-street parking area that adjoins a residence or residential zone shall be required to be screened by a masonry wall or solid visual barrier fence” (3.24.020). There exists a 6-foot concrete privacy fence on the south property line which meet these requirements, and plans show a 4-foot hedge to be planted on the south west side of the property.

### **Landscaping**

All areas of a site which are not devoted to buildings or off-street parking are required to be landscaped, with a minimum of twenty (20) percent of the total area to be landscaped (3.07.080). The landscaping plan shows that 5,037 square feet will be landscaped, or just over 20 percent of the total site area. The site plan therefore meets the minimum landscaping area requirements. Landscaping also appears to comply with the City Tree Guide.

### **Trash Storage**

Trash receptacles will be stored inside of the building, no outdoor trash enclosure is required.

### **Height of Building**

The height of the proposed building meets the requirements of the Business Commercial zone, measuring 34 feet to the highest point of the building. Maximum height for the zone is 34 feet.

### **Design**

The proposed building is a combination of stone, stucco and metal. Architectural style appears to be consistent with other buildings in the business district.

## **REVIEWS**

### **PLANNING AND ZONING DEPARTMENT REVIEW**

The analysis section in the body of this report serves as the Planning and Zoning Department review.



## ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

### Streets

All site plans must adhere to the Off-Street Parking Ordinance (Article 3.24). The applicant has submitted a parking plan which appears to be in compliance with the ordinance. Parking stalls are dimensioned correctly, an all-weather surface of asphalt is proposed and the site is graded to retain all storm water onsite. A lighting plan was submitted and approved with a comment to switch the light fixture to the City's most currently adopted version of the decorative style (dark sky compliant) street light.

Storm drain calculations and plans were submitted and approved for the design of the parking lot. Because this is a private storm drain system, a storm drain maintenance agreement would be required assuring maintenance of the private storm drain system by the owner occurs on an annual basis.

Frontage improvements, namely curb/gutter and sidewalk, currently exist.

### Utilities

The parcel is currently served with City services (culinary, pressurized irrigation, and sewer) which the new building can hook to.

### Flood Plain

Though close to Dry Creek, none of the subject property is within a "Special Flood Hazard Area..." as shown on the Flood Insurance Rate Map (FIRM) for this area. Adopted FIRM Map Number 49049C0159F, June 19, 2020.

### Other

One building currently exists on the site and is shown to be removed. A demolition permit will be required for the removal of the existing building.

There was previously a large high-pressure gas main line that traversed the property on a northwest/southeast angle. Through coordination with the gas company, this gas main, and easement for it, has been removed in preparation for this site plan application.

The owner currently has a Land Disturbance Permit and associated Storm Water Pollution Prevention Plan (SWPPP) which ensures proper protections are in place to prevent storm water pollution. This is particularly important on this site due to its proximity to Dry Creek.

The water policy has been previously met for the site.

## LONE PEAK FIRE DEPARTMENT REVIEW

See Exhibit 'A' of this staff report for the Lone Peak Fire Department Review of the proposed Alpine Fitness site plan.

## NOTICING

Notice has been properly issued in the manner outlined in City and State Code



**STAFF RECOMMENDATION**

Approve the site plan as proposed. Findings are outlined below.

Findings for a Positive Motion:

- A. All proposed construction appears to meet Alpine City Design standards.

Findings for Negative Motion:

- A. None.

**MODEL MOTIONS**

**SAMPLE MOTION TO APPROVE**

I motion to recommend approval of the proposed site plan for the Alpine Fitness with the following conditions:

- The developer signs a storm drain maintenance agreement for the property;
- The developer obtains a Demolition Permit prior to construction;
- The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.

**SAMPLE MOTION TO DENY**

I motion to recommend that the site plan for the Alpine Fitness be denied based on the following:

- \*\*\*Add finding\*\*\*





**LONE PEAK FIRE DISTRICT**  
5582 PARKWAY WEST DRIVE  
HIGHLAND, UTAH 84003  
(801) 763-5365  
[WWW.LONEPEAKFIRE.COM](http://WWW.LONEPEAKFIRE.COM)

*REED M. THOMPSON, FIRE CHIEF*

## MEMORANDUM

**DATE:** 27 October 2020

**TO:** Jed Muhlestein, City Engineer, Alpine City  
**CC:** Austin Roy, City Planner, Alpine City  
**FROM:** Reed M. Thompson, Fire Chief *Reed M. Thompson*  
**SUBJECT:** ALPINE FITNESS PROPERTY AND BUILDING PLAN

In review of the proposed drawings labeled “for review not for construction”, dated 13 August 2020, and located at 235 South Main Street, please note:

- Fire access to all sides of the occupancy are required within 150 feet of the furthest point of the structure. The proposed drawings provide the appropriate access. Parking lot access used as the fire access need to meet structural standards established in the currently approved International Fire Code. Access roads in excess of 150 feet require an approved turnaround. The project appears to be in compliance.
- Based on size of the occupancy and the intended use, an automatic sprinkler system will be required. Page C-400 references a fire department connection (FDC) and underground plumbing to for purposes of pumping the automatic sprinkler system for the building. The FDC will need to be located within 100’ of the nearest fire hydrant. The project appears to be in compliance.
- Based on the occupancy size, the fire riser will need to have an external door, to be labeled FIRE RISER. Knox box key access required to the facility doors and shall be located at/near the fire riser room door.
- A fire hydrant is required within 250 feet of the structure and fire flows for the occupancy need to be in accordance with the currently approved International Fire Code. The project appears to be in compliance.
- Fire sprinkler drawings can be a deferred submittal, require a third party review, with inspections required, prior to occupancy.

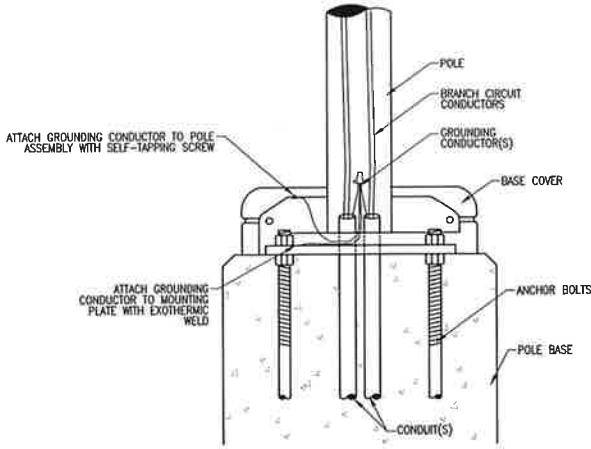
If you have further questions regarding this information, please contact me directly.



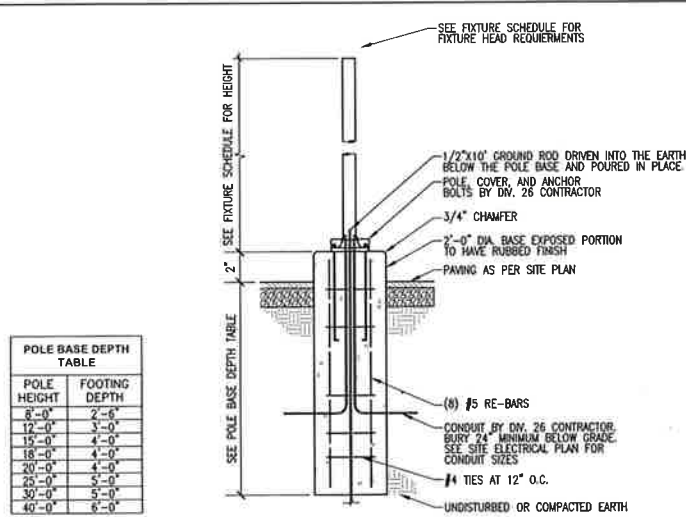
SITE LIGHTING FIXTURE SCHEDULE												
FIXT #	MANUFACTURER	CATALOG #	FIXTURE			LAMPS			MANUFACTURER	HEIGHT	POLE	REMARKS
			VOLTS	APOL	WATTS	TYPE	QTY/FIXT	QTY/FIXT				
5F1	HADCO	C2801E-A3SRNN88ASSNNNA	240	1	88	POLE	LED		MOUNTAIN STATES	14' 0"	SMOOTH ALUMINUM	FEN ALPIN CITY STANDARD

LIGHT FIXTURE SCHEDULE									
FIXTURE NUMBER	FIXTURE MANUFACTURER	FIXTURE CATALOG #	LAMPS		FIXTURE		DESCRIPTION	REMARKS	
			TYPE	QTY.	VOLTS	WATTS			
F1	MCGRAW-HILL (OR APPROVED EQUAL)	ISS AF-1000 LED-EF-SL3	LED		120	54	SURFACE WALL	LED EXTERIOR FIXTURE	

King Luminaire K137 Yarmouth (NO GLOBE) LED  
K137-P4NGr-III-100(SSL)7030-120V-K26-PR7-3K-TB-BK-1-WS  
(See City Detail 31a)



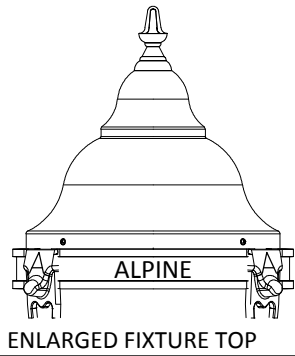
1 POLE LIGHT GROUNDING DETAIL  
SCALE: NTS



2 POLE BASE DETAIL  
SCALE: NTS

POLE BASE DEPTH TABLE	
POLE HEIGHT	FOOTING DEPTH
8'-0"	2'-6"
12'-0"	3'-0"
15'-0"	4'-0"
18'-0"	4'-0"
20'-0"	4'-0"
25'-0"	5'-0"
30'-0"	5'-0"
40'-0"	6'-0"

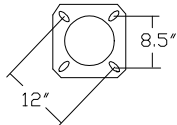
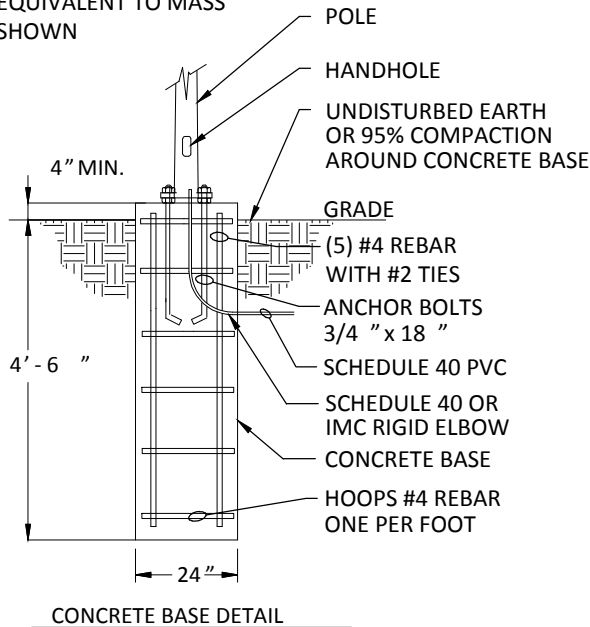




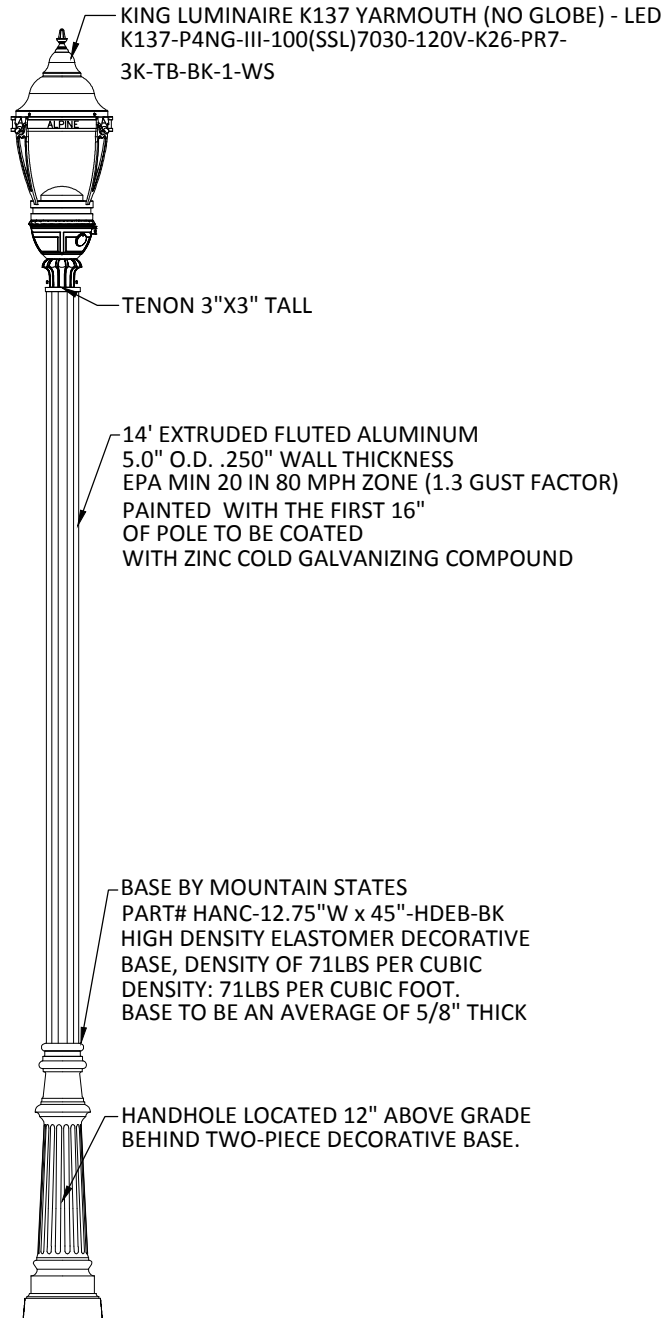
ENLARGED FIXTURE TOP

NOTE!!  
IF DEPTH CANNOT BE  
MET MASS MUST BE  
EQUIVALENT TO MASS  
SHOWN

FINISH;  
BLACK



ANCHOR BASE DETAIL  
12" BOLT CIRCLE  
ANCHOR BOLTS: 3/4" x 18"



\*\* SEE DETAIL 31 \*\*  
FOR REQUIRED  
JUNCTION BOX  
AT BASE

#### STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON  
ARE PROVIDED AS STANDARD CONSTRUCTION  
DETAILS WITHIN ALPINE CITY. DEVIATION FROM  
THIS DOCUMENT REQUIRES APPROVAL OF ALPINE  
CITY. ALPINE CITY CORPRTATION CAN NOT BE HELD  
LIABLE FOR MISSUSE OR CHANGES REGARDING THIS  
DOCUMENT.

#### REVISION

NO.	BY	APRIL	DATE



CAD FILE: 31A STREET LIGHT ALPINE CURRENT ARTERIAL POLE ASSEMBLY 9-23-20

## DOWNTOWN STREET LIGHT

ALPINE CITY  
20 NORTH MAIN  
ALPINE, UT 84004

STANDARD  
DRAWING  
NUMBER: **31a**

PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	12/7/18



# ALPINE FITNESS

235 S. MAIN STREET  
ALPINE, UTAH 84004

## INDEX OF DRAWINGS

1-1	TOPOGRAPHIC SURVEY
C-001	GENERAL NOTES
C-100	DEMOLITION PLAN
C-200	SITE PLAN
C-300	GRADING AND DRAINAGE PLAN
C-400	UTILITY PLAN
C-500	EROSION CONTROL PLAN
C-600	DETAILS
L-100	LANDSCAPE PLAN
L-200	LANDSCAPE DETAILS
E0.0	ELECTRICAL COVER SHEET
E1.1	SITE PHOTOMETRIC
E6.1	ELECTRICAL SCHEDULES AND DETAILS

### NOTICE TO CONTRACTOR

ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK SHOWN ON OR RELATED TO THESE PLANS SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED. ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR AND THE STATE OF UTAH DEPARTMENT OF INDUSTRIAL RELATIONS CONSTRUCTION SAFETY ORDERS. THE CIVIL ENGINEER SHALL NOT BE RESPONSIBLE IN ANY WAY FOR THE CONTRACTORS AND SUBCONTRACTORS COMPLIANCE WITH SAID REGULATIONS AND ORDERS.

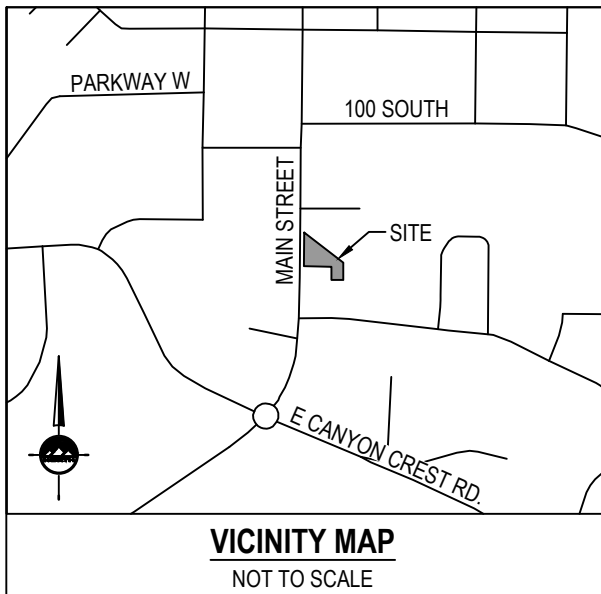
CONTRACTOR FURTHER AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB-SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE CIVIL ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

### NOTICE TO DEVELOPER/ CONTRACTOR

UNAPPROVED DRAWINGS REPRESENT WORK IN PROGRESS, ARE SUBJECT TO CHANGE, AND DO NOT CONSTITUTE A FINISHED ENGINEERING PRODUCT. ANY WORK UNDERTAKEN BY DEVELOPER OR CONTRACTOR BEFORE PLANS ARE APPROVED IS UNDERTAKEN AT THE SOLE RISK OF THE DEVELOPER, INCLUDING BUT NOT LIMITED TO BIDS, ESTIMATION, FINANCING, BONDING, SITE CLEARING, GRADING, INFRASTRUCTURE CONSTRUCTION, ETC.

### UTILITY DISCLAIMER

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATIONS OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



## GENERAL NOTES

- ALL WORK SHALL CONFORM TO ALPINE CITY STANDARDS & SPECIFICATIONS.
- CALL BLUE STAKES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.
- BENCHMARK ELEVATION = NORTHEAST CORNER SECTION 25, T4S, R1E SALT LAKE BASE & MERIDIAN ELEV. = 4946.87 (NGVD 29).
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IN THIS PLAN SET COME FROM THE SURVEY DRAWINGS "LAND SURVEY PLAT (DATED NOVEMBER 21, 2019) AND TOPOGRAPHY SURVEY (DATED JANUARY 24, 2020)" PROVIDED BY VARA 3D AND NOT ENSIGN ENGINEERING. PLEASE REFER TO THESE DRAWINGS FOR SURVEY INFORMATION.

FOR REVIEW  
NOT FOR CONSTRUCTION

DATE PRINTED  
August 13, 2020



SALT LAKE CITY  
45 W. 10000 S., Suite 500  
Sandy, UT 84070  
Phone: 801.255.0529

LAYTON  
Phone: 801.547.1100

TOOELE  
Phone: 435.843.3590

CEDAR CITY  
Phone: 435.865.1453

RICHFIELD  
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:  
ALPINE FITNESS  
75 W. MAIN STREET CT #100  
ALPINE, UTAH 84004

CONTACT:  
PAUL ANDERSON  
PHONE: (801) 687-0000

ALPINE FITNESS

235 S. MAIN STREET  
ALPINE, UTAH 84004



NO.	DATE	REVISION	BY
1	1	SD CHANGES	
2			
3			
4			
5			
6			
7			
8			

### COVER SHEET

PROJECT NUMBER  
9711

PRINT DATE  
8/13/20

DRAWN BY  
T. MAZEJY

CHECKED BY  
D. JENKINS

PROJECT MANAGER  
D. JENKINS

C-000

**BENCHMARK**  
NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4946.87 (NGVD 29)



CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.



GENERAL NOTES

- ALL CONSTRUCTION MUST STRICTLY FOLLOW THE STANDARDS AND SPECIFICATIONS SET FORTH BY: THE DESIGN ENGINEER, LOCAL AGENCY JURISDICTION, APWA (CURRENT EDITION), AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.). THE ORDER LISTED ABOVE IS ARRANGED BY SENIORITY. THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS MUST BE ADHERED TO. IF A CONSTRUCTION PRACTICE IS NOT SPECIFIED BY ANY OF THE LISTED SOURCES, CONTRACTOR MUST CONTACT DESIGN ENGINEER FOR DIRECTION.
- CONTRACTOR TO STRICTLY FOLLOW THE MOST CURRENT COPY OF THE SOILS REPORT FOR THIS PROJECT. ALL GRADING INCLUDING BUT NOT LIMITED TO CUT, FILL, COMPACTION, ASPHALT SECTION, SUBBASE, TRENCH EXCAVATION/BACKFILL, SITE GRUBBING, AND FOOTINGS MUST BE COORDINATED DIRECTLY WITH SOILS REPORT.
- CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING, AND BRING UP ANY QUESTIONS BEFORE SUBMITTING BID.
- CONTRACTOR SHALL PROVIDE A CONSTRUCTION SCHEDULE IN ACCORDANCE WITH THE CITY, STATE, OR COUNTY REGULATIONS FOR WORKING IN THE PUBLIC WAY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS. WET DOWN DRY MATERIALS AND RUBBISH TO PREVENT BLOWING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT SURFACE IMPROVEMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY SETTLEMENT OF OR DAMAGE TO EXISTING UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE TO FURNISH ALL MATERIALS TO COMPLETE THE PROJECT.
- ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED, OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE. CONTRACTOR SHALL START INSTALLATION AT LOW POINT OF ALL NEW GRAVITY UTILITY LINES.
- ALL DIMENSIONS, GRADES, AND UTILITY DESIGN SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST, PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO THE DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- NO CHANGE IN DESIGN LOCATION OR GRADE WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE PROJECT ENGINEER.
- NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND MONUMENT REFERENCE MARKS WITHIN THE PROJECT SITE. CONTACT THE CITY OR COUNTY SURVEYOR FOR MONUMENT LOCATIONS AND CONSTRUCTION DETAILS.
- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND/OR UTILITY MAPPING PROVIDED TO THE ENGINEER, AND THEREFORE UTILITIES MAY NOT BE LOCATED CORRECTLY, EITHER HORIZONTALLY OR VERTICALLY, AND MAY NOT BE ALL INCLUSIVE. CONTRACTOR IS REQUIRED TO FOLLOW THE PROCEDURE OUTLINED BELOW.
  - CONTRACTOR IS REQUIRED TO LOCATE AND POT-HOLE ALL EXISTING UTILITY LINES (BOTH HORIZONTALLY AND VERTICALLY) THAT AFFECT THE PROJECT CONSTRUCTION, EITHER ON-SITE OR OFF-SITE, AND DETERMINE IF THERE ARE ANY CONFLICTS WITH THE DESIGN OF THE SITE AS SHOWN ON THE APPROVED PLANS PRIOR TO ANY CONSTRUCTION. IF IT IS DETERMINED THAT CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) THE ENGINEER MUST BE NOTIFIED IMMEDIATELY TO CORRECT THE CONFLICTS BEFORE ANY WORK CAN BEGIN. IF THE CONTRACTOR FAILS TO FOLLOW THIS ABSOLUTE REQUIREMENT AND CONFLICTS ARISE DURING CONSTRUCTION THE CONTRACTOR WILL BEAR THE SOLE RESPONSIBILITY TO FIX THE CONFLICTS.
  - CONTRACTOR IS REQUIRED TO VERIFY THAT PROPER COVER AND PROTECTION OF EXISTING UTILITY LINES IS MAINTAINED OR ATTAINED WITHIN THE DESIGN ONCE VERIFICATION OF THE EXISTING UTILITIES IS COMPLETED AS OUTLINED IN 16.1 ABOVE.
  - IN ADDITION TO 16.1 AND 16.2 ABOVE, THE CONTRACTOR WILL VERIFY DEPTHS OF UTILITIES IN THE FIELD BY "POTHOLING" A MINIMUM OF 300 FEET AHEAD OF PROPOSED PIPELINE CONSTRUCTION TO AVOID POTENTIAL CONFLICTS WITH DESIGNED PIPELINE ALIGNMENT AND GRADE AND EXISTING UTILITIES.
  - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) AS DETERMINED UNDER 16.1, 16.2 OR 16.3 THE CONTRACTOR WILL NOTIFY THE ENGINEER IMMEDIATELY TO RESOLVE THE CONFLICT.
  - IF A CONFLICT ARISES BETWEEN EXISTING UTILITIES AND DESIGN UTILITIES (OR ANOTHER ASPECT OF PROPOSED CONSTRUCTION) RESULTING FROM THE CONTRACTOR'S NEGLIGENCE TO IDENTIFY AND/OR "POT-HOLE" EXISTING UTILITIES AS REQUIRED IN 16.1, 16.2 AND 16.3 ABOVE, THE CONTRACTOR WILL BE REQUIRED TO RESOLVE THE CONFLICT WITHOUT ADDITIONAL COST OR CLAIM TO THE OWNER OR ENGINEER.
- ANY AREA OUTSIDE THE LIMIT OF WORK THAT IS DISTURBED SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO OWNER.
- CONSULT ALL OF THE DRAWINGS AND SPECIFICATIONS FOR COORDINATION REQUIREMENTS BEFORE COMMENCING CONSTRUCTION.
- AT ALL LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MOST RECENT, ADOPTED EDITION OF ADA ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL, AT THE TIME OF BIDDING AND THROUGHOUT THE PERIOD OF THE CONTRACT, BE LICENSED IN THE STATE OF UTAH AND SHALL BE BONDABLE FOR AN AMOUNT REQUIRED BY THE OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTOR'S USE DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.
- IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT. THERE WILL BE NO EXTRA COST DUE TO THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.
- WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.
- CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL STRUCTURES AND OTHER FACILITIES. RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER ONE SET OF NEATLY MARKED RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO THE FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.
- WHERE THE PLANS OR SPECIFICATIONS DESCRIBE PORTIONS OF THE WORK IN GENERAL TERMS BUT NOT IN COMPLETE DETAIL, IT IS UNDERSTOOD THAT ONLY THE BEST GENERAL PRACTICE IS TO PREVAIL AND THAT ONLY MATERIALS AND WORKMANSHIP OF THE FIRST QUALITY ARE TO BE USED.
- ALL EXISTING GATES AND FENCES TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL GATES AND FENCES FROM DAMAGE.
- ALL EXISTING TREES ARE TO REMAIN UNLESS OTHERWISE NOTED ON PLANS. PROTECT ALL TREES FROM DAMAGE.
- ASPHALT MIX DESIGN MUST BE SUBMITTED AND APPROVED BY THE GOVERNING AGENCY PRIOR TO THE PLACEMENT.
- CONTRACTORS ARE RESPONSIBLE FOR ALL OSHA REQUIREMENTS ON THE PROJECT SITE.
- A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE AS WELL AS A STORM WATER POLLUTION PREVENTION PLAN.

UTILITY NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS, CITY AND STATE REQUIREMENTS AND THE MOST RECENT EDITIONS OF THE FOLLOWING: THE INTERNATIONAL PLUMBING CODE, UTAH DRINKING WATER REGULATION, AND THE LATEST EDITION OF ALL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO ADHERE TO ALL OF THE ABOVE-MENTIONED DOCUMENTS UNLESS OTHERWISE NOTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE LOCATION OF NEW "DRY UTILITIES" WITH THE APPROPRIATE UTILITY COMPANY, INCLUDING BUT NOT LIMITED TO: TELEPHONE & INTERNET SERVICE, GAS SERVICE, CABLE, AND POWER.
- EXISTING UTILITIES HAVE BEEN SHOWN ON THE PLANS BASED ON ON-SITE SURVEY. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-462-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGED UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.
- CARE SHOULD BE TAKEN IN ALL EXCAVATIONS DUE TO POSSIBLE EXISTENCE OF UNRECORDED UTILITY LINES. EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT CONTRACTOR'S EXPENSE.
- TRENCH BACKFILL MATERIAL AND COMPACTION TESTS ARE TO BE TAKEN PER APWA STANDARD SPECIFICATIONS (CURRENT EDITION), SECTION 0230 - BACKFILLING TRENCHES, OR AS REQUIRED BY THE GEOTECHNICAL REPORT IF NATIVE MATERIALS ARE USED. NO NATIVE MATERIALS ARE ALLOWED IN THE PIPE ZONE. THE MAXIMUM LIFT FOR BACKFILLING EXCAVATIONS IS DETERMINED BY THE GEOTECHNICAL RECOMMENDATIONS.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES AND FOR THE PROTECTION OF WORKERS.
- THE CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNING ENTITY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE, CAUSED BY ANY CONDITION INCLUDING SETTLEMENT, TO EXISTING UTILITIES FROM WORK PERFORMED AT OR NEAR EXISTING UTILITIES. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE ROADWAY AND UTILITY FACILITIES. DAMAGE TO EXISTING FACILITIES CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID FACILITIES.
- ALL WATER LINE AND SEWER LINE INSTALLATION AND TESTING TO BE IN ACCORDANCE WITH LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL MANHOLES, HYDRANTS, VALVES, CLEANOUT BOXES, CATCH BASINS, METERS, ETC. MUST BE RAISED OR LOWERED TO FINAL GRADE PER APWA (CURRENT EDITION) STANDARDS AND INSPECTOR REQUIREMENTS. CONCRETE COLLARS MUST BE CONSTRUCTED ON ALL MANHOLES, CLEANOUT BOXES, CATCH BASINS, AND VALVES PER APWA STANDARDS. ALL MANHOLE, CATCH BASIN, OR CLEANOUT BOX CONNECTIONS MUST BE MADE WITH THE PIPE CUT FLUSH WITH THE INSIDE OF THE BOX AND GROUTED OR SEALED.
- CONTRACTOR SHALL NOT ALLOW ANY GROUNDWATER OR DEBRIS TO ENTER THE NEW OR EXISTING PIPE DURING CONSTRUCTION.
- SILT AND DEBRIS ARE TO BE CLEANED OUT OF ALL STORM DRAIN BOXES. CATCH BASINS ARE TO BE MAINTAINED IN A CLEANED CONDITION AS NEEDED UNTIL AFTER THE FINAL BOND RELEASE INSPECTION.
- CONTRACTOR SHALL CLEAN ASPHALT, TAR OR OTHER ADHESIVES OFF OF ALL MANHOLE LIDS AND INLET GRATES TO ALLOW ACCESS.
- EACH TRENCH SHALL BE EXCAVATED SO THAT THE PIPE CAN BE LAID TO THE ALIGNMENT AND GRADE AS REQUIRED. THE TRENCH WALL SHALL BE SO BRACED THAT THE WORKMEN MAY WORK SAFELY AND EFFICIENTLY. ALL TRENCHES SHALL BE DRAINED SO THE PIPE LAYING MAY TAKE PLACE IN DEWATERED CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN AT ALL TIMES AMPLE MEANS AND DEVICES WITH WHICH TO REMOVE PROMPTLY AND TO PROPERLY DISPOSE OF ALL WATER ENTERING THE TRENCH EXCAVATION.
- ALL SEWER LINES AND SEWER SERVICES SHALL HAVE A MINIMUM SEPARATION OF 10 FEET, EDGE TO EDGE, FROM THE WATER LINES. IF A 10 FOOT SEPARATION CAN NOT BE MAINTAINED, CONSTRUCT PER GOVERNING AGENCY'S MINIMUM SEPARATION STANDARDS.
- CONTRACTOR SHALL INSTALL THRUST BLOCKING AT ALL WATERLINE ANGLE POINTS AND TEES.
- ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK AND STREET PAVING.
- CONTRACTOR SHALL INSTALL MAGNETIC LOCATING TAPE CONTINUOUSLY OVER ALL NONMETALLIC PIPE.

TRAFFIC CONTROL AND SAFETY NOTES

- TRAFFIC CONTROL AND STRIPING TO CONFORM TO THE CURRENT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- BARRICADING AND DETOURING SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE CURRENT M.U.T.C.D.
- NO STREET SHALL BE CLOSED TO TRAFFIC WITHOUT WRITTEN PERMISSION FROM THE APPROPRIATE AGENCY, EXCEPT WHEN DIRECTED BY LAW ENFORCEMENT OR FIRE OFFICIALS.
- THE CONTRACTOR SHALL MAKE EVERY EFFORT TO PROVIDE FOR SMOOTH TRAFFIC FLOW AND SAFETY. ACCESS SHALL BE MAINTAINED FOR ALL PROPERTIES ADJACENT TO THE WORK.
- DETOURING OPERATIONS FOR A PERIOD OF SIX CONSECUTIVE CALENDAR DAYS, OR MORE, REQUIRE THE INSTALLATION OF TEMPORARY STREET STRIPING AND REMOVAL OF INTERFERING STRIPING BY SANDBLASTING. THE DETOURING STRIPING PLAN OR CONSTRUCTION TRAFFIC CONTROL PLAN MUST BE SUBMITTED TO THE GOVERNING AGENCY FOR REVIEW AND APPROVAL.
- ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE END OF THE WORK TO THE SATISFACTION OF THE GOVERNING AGENCY.
- TRAFFIC CONTROL DEVICES (TCDs) SHALL REMAIN VISIBLE AND OPERATIONAL AT ALL TIMES.
- ALL PERMANENT TRAFFIC CONTROL DEVICES CALLED FOR HEREON SHALL BE IN PLACE AND IN FINAL POSITION PRIOR TO ALLOWING ANY PUBLIC TRAFFIC ONTO THE PORTIONS OF THE ROAD(S) BEING IMPROVED HEREUNDER, REGARDLESS OF THE STATUS OF COMPLETION OF PAVING OR OTHER OFF-SITE IMPROVEMENTS CALLED FOR BY THESE PLANS.
- THE CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTAH TRANSIT AUTHORITY (UTA) IF THE CONSTRUCTION INTERRUPTS OR RELOCATES A BUS STOP OR HAS AN ADVERSE EFFECT ON BUS SERVICE ON THAT STREET TO ARRANGE FOR TEMPORARY RELOCATION OF STOP.

DEMOLITION NOTES

- EXISTING UTILITY INFORMATION SHOWN IS FOR INFORMATIONAL PURPOSES ONLY. IT IS DERIVED FROM ON-SITE SURVEY AND MAY NOT BE LOCATED CORRECTLY AND IS NOT ALL INCLUSIVE. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES WITHIN THE PROJECT LIMITS BEFORE BEGINNING DEMOLITION/CONSTRUCTION.
- THERE MAY BE BURIED UTILITIES WITHIN THE LIMITS OF DISTURBANCE THAT ARE NOT SHOWN ON THE PLANS DUE TO LACK OF MAPPING OR RECORD INFORMATION. CONTRACTOR SHALL NOTIFY THE ENGINEER WHEN UNEXPECTED UTILITIES ARE DISCOVERED.
- THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR LOCATING AND PROTECTING FROM DAMAGE ALL EXISTING UTILITIES AND IMPROVEMENTS WHETHER OR NOT SHOWN ON THESE PLANS. THE FACILITIES AND IMPROVEMENTS ARE BELIEVED TO BE CORRECTLY SHOWN BUT THE CONTRACTOR IS REQUIRED TO SATISFY HIMSELF AS TO THE COMPLETENESS AND ACCURACY OF THE LOCATIONS. ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND SHALL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY, OR INDIRECTLY, FROM HIS OPERATIONS, WHETHER OR NOT SAID FACILITIES ARE SHOWN ON THESE PLANS.

GRADING AND DRAINAGE NOTES

- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL RELATED ADDENDUMS.
- THE CONTRACTOR SHALL STRIP AND CLEAR THE TOPSOIL, MAJOR ROOTS AND ORGANIC MATERIAL FROM ALL PROPOSED BUILDING AND PAVEMENT AREAS PRIOR TO SITE GRADING. (THE TOPSOIL MAY BE STOCKPILED FOR LATER USE IN LANDSCAPED AREAS.)
- THE CONTRACTOR SHALL REMOVE ALL ORGANIC MATERIAL AND OTHER DELETERIOUS MATERIALS PRIOR TO PLACING GRADING FILL OR BASE COURSE. THE AREA SHOULD BE PROOF-ROLLED TO IDENTIFY ANY SOFT AREAS. WHERE SOFT AREAS ARE ENCOUNTERED, THE CONTRACTOR SHALL REMOVE THE SOIL AND REPLACE WITH COMPACTED FILL.
- ALL DEBRIS PILES AND BERMS SHOULD BE REMOVED AND HAULED AWAY FROM SITE OR USED AS GENERAL FILL IN LANDSCAPED AREAS.
- THE CONTRACTOR SHALL CONSTRUCT THE BUILDING PAD TO THESE DESIGN PLANS AS PART OF THE SITE GRADING CONTRACT, AND STRICTLY ADHERE TO THE SITE PREPARATION AND GRADING REQUIREMENTS OUTLINED IN THE GEOTECHNICAL REPORT.
- THE CONTRACTOR SHALL GRADE THE PROJECT SITE TO PROVIDE A SMOOTH TRANSITION BETWEEN NEW AND EXISTING ASPHALT, CURB AND GUTTER, AND ADJOINING SITE IMPROVEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE AND DEBRIS ON ADJACENT STREETS WHEN EQUIPMENT IS TRAVELING THOSE STREETS.
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL CONDITIONS AND RECOMMENDATIONS OUTLINED IN THE GEOTECHNICAL REPORT AND TAKE ALL NECESSARY PRECAUTIONS AND RECOMMENDED PROCEDURES TO ASSURE SOUND GRADING PRACTICES.
- THE CONTRACTOR SHALL TAKE APPROPRIATE GRADING MEASURES TO DIRECT STORM SURFACE RUNOFF TOWARDS CATCH BASINS.
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON ON-SITE SURVEY. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES TO LOCATE THEIR FACILITIES PRIOR TO PROCEEDING WITH CONSTRUCTION. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES, AND SLOPES SHOWN.
- THE CONTRACTOR IS WARNED THAT AN EARTHWORK BALANCE WAS NOT NECESSARILY THE INTENT OF THIS PROJECT. ANY ADDITIONAL MATERIAL REQUIRED OR LEFTOVER MATERIAL FOLLOWING EARTHWORK OPERATIONS BECOMES THE RESPONSIBILITY OF THE CONTRACTOR.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT. ALL CONTRACTOR ACTIVITIES 1 ACRE OR MORE IN SIZE ARE REQUIRED TO PROVIDE A STORM WATER POLLUTION PREVENTION PLAN.
- ALL CUT AND FILL SLOPES SHALL BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISHED.
- THE USE OF POTABLE WATER WITHOUT A SPECIAL PERMIT FOR BUILDING OR CONSTRUCTION PURPOSES INCLUDING CONSOLIDATION OF BACKFILL OR DUST CONTROL IS PROHIBITED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WATER FROM GOVERNING AGENCY.
- THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS, AND ALL OTHER PUBLIC RIGHT-OF-WAYS IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS SHALL BE PROMPTLY REMOVED FROM THE PUBLICLY-OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE, AND USABLE CONDITION.

ABBREVIATIONS

APWA	AMERICAN PUBLIC WORKS ASSOCIATION
AR	ACCESSIBLE ROUTE
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
AWWA	AMERICAN WATER WORKS ASSOCIATION
BVC	BOTTOM OF STEP
BVC	BEGIN VERTICAL CURVE
C	CURVE
CB	CATCH BASIN
CF	CURB FACE OR CUBIC FEET
CL	CENTER LINE
CO	CLEAN OUT
COMM	COMMUNICATION
CONC	CONCRETE
CONT	CONTINUOUS
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
ELEC	ELECTRICAL
ELEV	ELEVATION
EOA	EDGE OF ASPHALT
EVC	END OF VERTICAL CURVE
EW	EACH WAY
EXIST	EXISTING
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FLOW LINE OR FLANGE
GB	GRADE BREAK
GF	GARAGE FLOOR
GV	GATE VALVE
HC	HANDICAP
HP	HIGH POINT
IRR	IRRIGATION
K	RATE OF VERTICAL CURVATURE
LD	LAND DRAIN
LF	LINEAR FEET
LP	LOW POINT
MEX	MATCH EXISTING
MH	MANHOLE
MJ	MECHANICAL JOINT
NG	NATURAL GROUND
NIC	NOT IN CONTRACT
NO	NUMBER
OC	ON CENTER
OCEW	ON CENTER EACH WAY
OHP	OVERHEAD POWER
PC	POINT OF CURVATURE OR PRESSURE CLASS
PCC	POINT OF COMPOUND CURVATURE
PIC	POINT OF INTERSECTION
PV	POST INDICATOR VALVE
PL	PROPERTY LINE
PRC	POINT OF REVERSE CURVATURE
PRO	PROPOSED
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVATURE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RD	ROOF DRAIN
ROW	RIGHT OF WAY
S	SLOPE
SAN SWR	SANITARY SEWER
SD	STORM DRAIN
SEC	SECONDARY
SS	SANITARY SEWER
STA	STATION
SW	SECONDARY WATER LINE
TBC	TOP BACK OF CURB
TOG	TOP OF GRATE
TOA	TOP OF ASPHALT
TOC	TOP OF CONCRETE
TOF	TOP OF FOUNDATION
TOW	TOP OF WALL
TOS	TOP OF STEP
TYP	TYPICAL
VC	VERTICAL CURVE
WIV	WALL INDICATOR VALVE
W	WATER LINE

NOTE: MAY CONTAIN ABBREVIATIONS THAT ARE NOT USED IN THIS PLAN SET.

LEGEND

	SECTION CORNER		EXISTING EDGE OF ASPHALT
	EXISTING MONUMENT		PROPOSED EDGE OF ASPHALT
	PROPOSED MONUMENT		EXISTING STRIPING
	EXISTING REBAR AND CAP		PROPOSED STRIPING
	SET ENSIGN REBAR AND CAP		EXISTING FENCE
	EXISTING WATER METER		PROPOSED FENCE
	PROPOSED WATER METER		EXISTING FLOW LINE
	EXISTING WATER MANHOLE		PROPOSED FLOW LINE
	PROPOSED WATER MANHOLE		GRADE BREAK
	EXISTING WATER BOX		EXISTING STORM DRAIN LINE
	EXISTING WATER VALVE		EXISTING STORM DRAIN LINE
	PROPOSED WATER VALVE		ROOF DRAIN LINE
	EXISTING FIRE HYDRANT		CATCHMENTS
	PROPOSED FIRE HYDRANT		HIGHWATER LINE
	PROPOSED FIRE DEPARTMENT CONNECTION		EXISTING SANITARY SEWER
	EXISTING SECONDARY WATER VALVE		PROPOSED SANITARY SEWER LINE
	PROPOSED SECONDARY WATER VALVE		PROPOSED SAN. SWR. SERVICE LINE
	EXISTING IRRIGATION BOX		EXISTING LAND DRAIN LINE
	EXISTING IRRIGATION VALVE		PROPOSED LAND DRAIN LINE
	PROPOSED IRRIGATION VALVE		PROPOSED LAND DRAIN SERVICE LINE
	EXISTING SANITARY SEWER MANHOLE		EXISTING CULINARY WATER LINE
	PROPOSED SANITARY SEWER MANHOLE		PROPOSED CULINARY WATER LINE
	EXISTING SANITARY CLEAN OUT		PROPOSED CULINARY WATER SERVICE LINE
	EXISTING STORM DRAIN CLEAN OUT BOX		EXISTING SECONDARY WATER LINE
	PROPOSED STORM DRAIN CLEAN OUT BOX		PROPOSED SECONDARY WATER LINE
	EXISTING STORM DRAIN INLET BOX		PROPOSED SEC. WATER SERVICE LINE
	EXISTING STORM DRAIN CATCH BASIN		EXISTING IRRIGATION LINE
	PROPOSED STORM DRAIN CATCH BASIN		PROPOSED IRRIGATION LINE
	EXISTING STORM DRAIN COMBO BOX		EXISTING OVERHEAD POWER LINE
	PROPOSED STORM DRAIN COMBO BOX		EXISTING ELECTRICAL LINE
	EXISTING STORM DRAIN CLEAN OUT		EXISTING GAS LINE
	EXISTING STORM DRAIN CULVERT		EXISTING TELEPHONE LINE
	PROPOSED STORM DRAIN CULVERT		ACCESSIBLE ROUTE
	TEMPORARY SAG INLET PROTECTION		SAW CUT LINE
	TEMPORARY IN-LINE INLET PROTECTION		STRAW WATTLE
	ROOF DRAIN		TEMPORARY BERM
	EXISTING ELECTRICAL MANHOLE		TEMPORARY SILT FENCE
	EXISTING ELECTRICAL BOX		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING WALL
	EXISTING UTILITY POLE		PROPOSED WALL
	EXISTING LIGHT		EXISTING CONTOURS
	PROPOSED LIGHT		PROPOSED CONTOURS
	EXISTING GAS METER		BUILDABLE AREA WITHIN SETBACKS
	EXISTING GAS MANHOLE		PUBLIC DRAINAGE EASEMENT
	EXISTING GAS VALVE		EXISTING ASPHALT TO BE REMOVED
	EXISTING TELEPHONE MANHOLE		PROPOSED ASPHALT
	EXISTING TELEPHONE BOX		EXISTING CURB AND GUTTER
	EXISTING TRAFFIC SIGNAL BOX		PROPOSED CURB AND GUTTER
	EXISTING CABLE BOX		PROPOSED REVERSE PAN CURB AND GUTTER
	EXISTING BOLLARD		TRANSITION TO REVERSE PAN CURB
	PROPOSED BOLLARD		CONCRETE TO BE REMOVED
	EXISTING SIGN		EXISTING CONCRETE
	PROPOSED SIGN		PROPOSED CONCRETE
	EXISTING SPOT ELEVATION		BUILDING TO BE REMOVED
	PROPOSED SPOT ELEVATION		EXISTING BUILDING
	EXISTING FLOW DIRECTION		PROPOSED BUILDING
	EXISTING TREE		

NOTE: MAY CONTAIN SYMBOLS THAT ARE NOT USED IN THIS PLAN SET.



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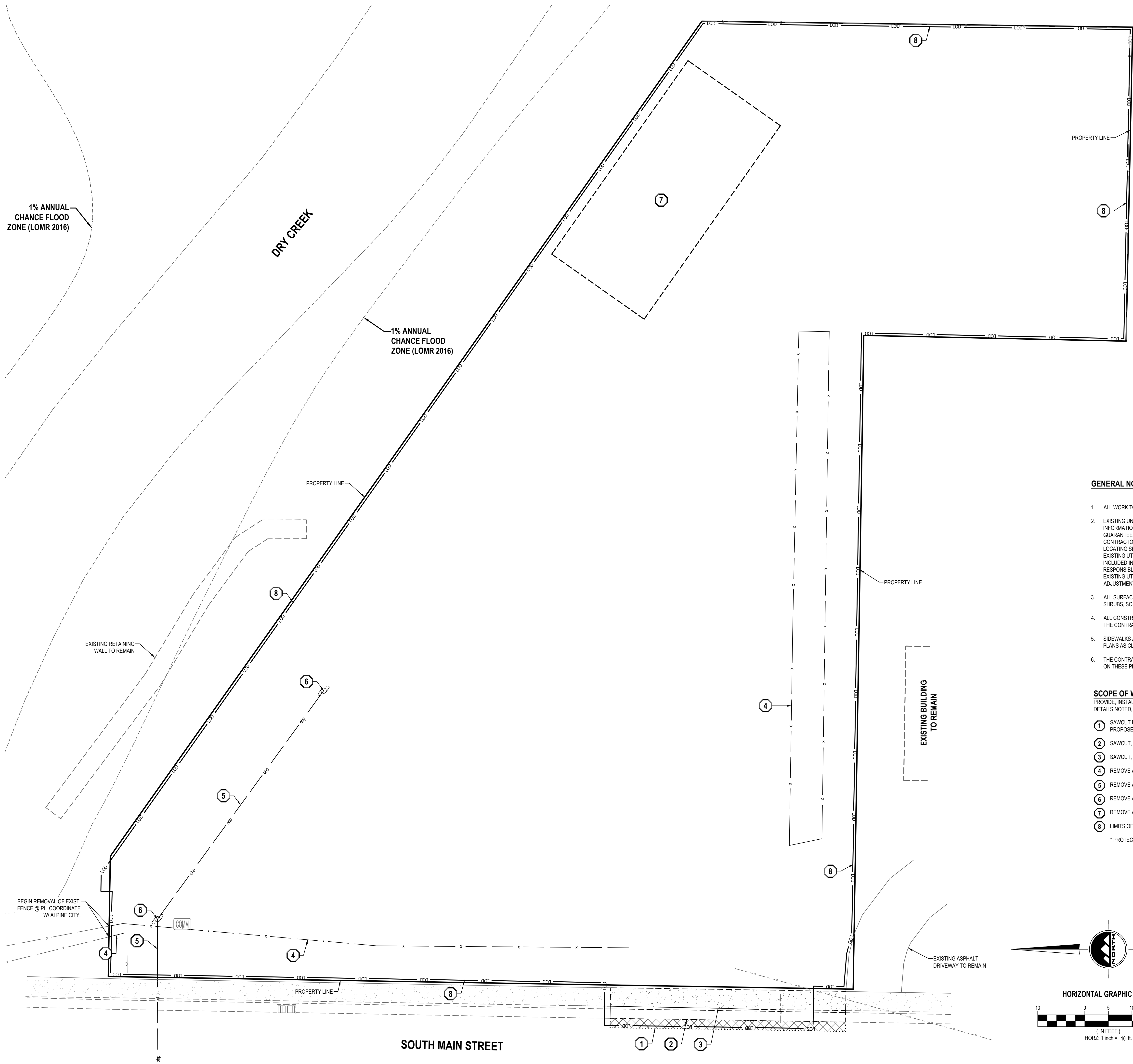
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GENERAL NOTES

PROJECT NUMBER 9711	PRINT DATE 8/13/20
DRAWN BY T. MAZEJY	CHECKED BY D. JENKINS
PROJECT MANAGER D. JENKINS	

C-001





GENERAL NOTES

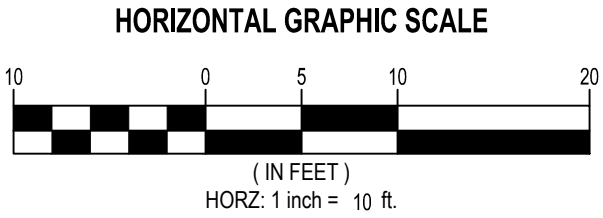
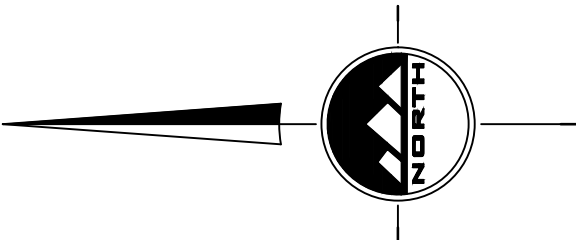
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- ALL CONSTRUCTION SIGNAGE, BARRICADES, TRAFFIC CONTROL DEVICES, ETC. SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. THE CONTRACTOR WILL MAINTAIN SUCH SO THAT THEY ARE PROPERLY PLACED AND VISIBLE AT ALL TIMES.
- SIDEWALKS AND CURBS DESIGNATED TO BE DEMOLISHED SHALL BE DEMOLISHED TO THE NEAREST EXPANSION JOINT, MATCHING THESE PLANS AS CLOSELY AS POSSIBLE.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE SIDEWALK.
- REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE. COORDINATE W/ ALPINE CITY.
- REMOVE AND RELOCATE EXISTING OVERHEAD POWER LINE. COORDINATE W/ ROCKY MOUNTAIN POWER.
- REMOVE AND PROPERLY DISPOSE OF EXISTING POWER POLE. COORDINATE W/ ALPINE CITY.
- REMOVE AND PROPERLY DISPOSE OF EXISTING BUILDING.
- LIMITS OF DISTURBANCE.

\* PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, SIGNS, ETC. (TYPICAL UNLESS OTHERWISE NOTED).



BENCHMARK	
NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN	
ELEV = 4946.87' (NGVD 29)	



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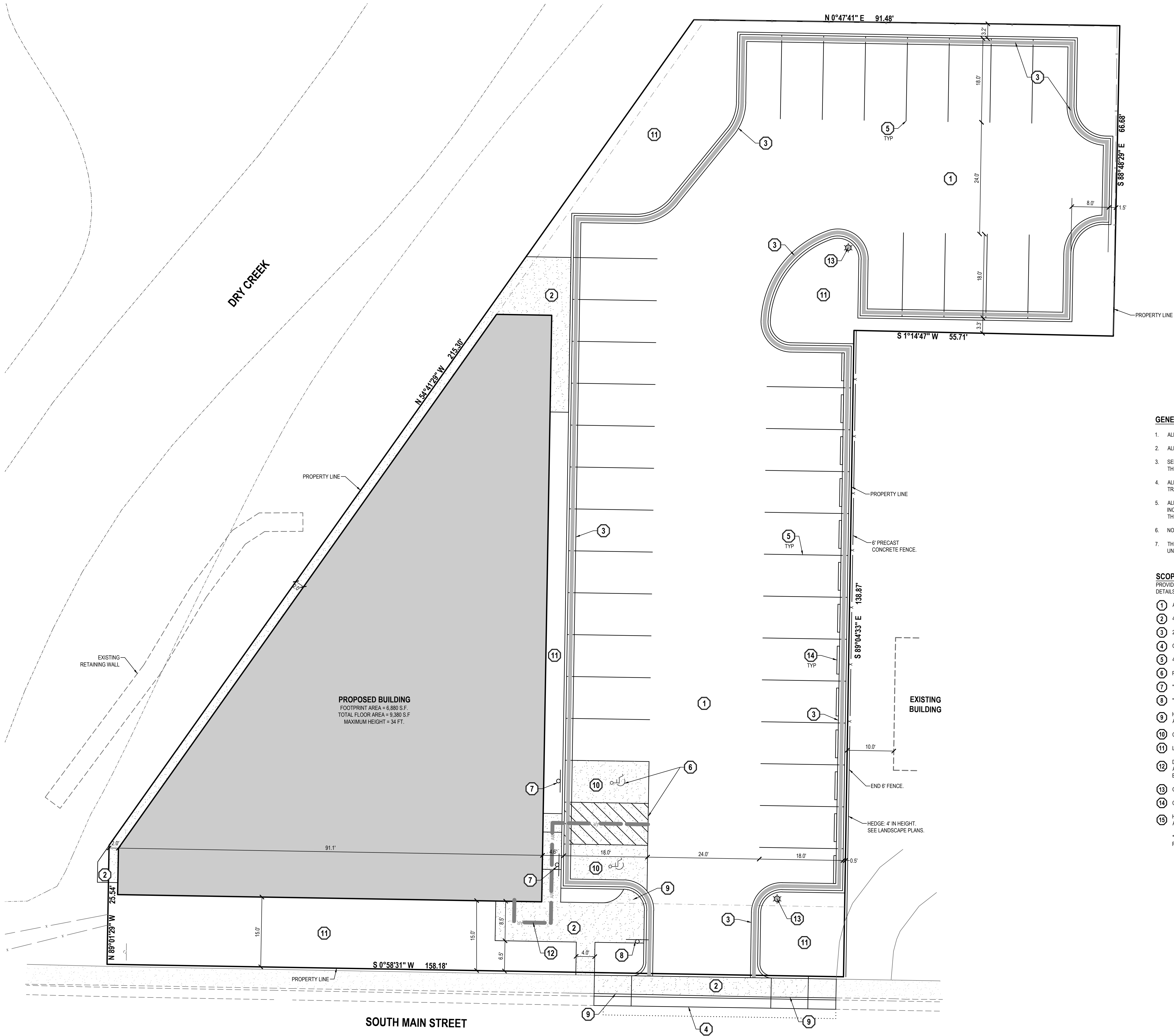
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DEMO PLAN

PROJECT NUMBER	PRINT DATE
9711	8/13/20
DRAWN BY	CHECKED BY
T. MAZEJY	D. JENKINS
PROJECT MANAGER	
D. JENKINS	

C-100





SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	12,980	53%
ROOF	6,880	27%
LANDSCAPING	5,037	20%
TOTAL SITE	25,128 0.58 ACRES	100%

PARKING DATA TABLE	
STANDARD STALLS	38
ADA - ACCESSIBLE STALLS	2
TOTAL STALLS	40
REQUIRED STALLS	38

\*4 PARKING STALLS REQUIRED FOR EACH 1000 SQUARE FEET OF BUILDING FLOOR AREA. TOTAL BUILDING FLOOR AREA = 9,380 S.F.

#### GENERAL NOTES

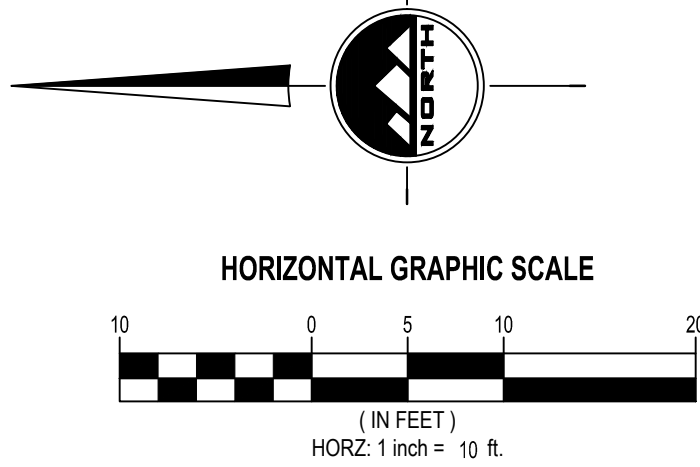
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

#### SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ASPHALT PAVEMENT PER DETAIL 1/C-600.
- 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231.
- 24" REVERSE PAN CURB AND GUTTER PER DETAIL 2/C-600.
- OPEN DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 225.
- 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.
- CONCRETE PAVEMENT PER DETAIL 8/C-600.
- LANDSCAPING PER SHEET L-100.
- DESIGNATED ACCESSIBLE ROUTE. RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- OVERHEAD LIGHT. SEE ARCHITECTURAL PLANS FOR DETAILS.
- CONCRETE WHEEL STOP PER DETAIL 9/C-600.
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 236.3 WITH DETECTABLE WARNING SURFACE PER APWA STANDARD PLAN NO. 238.

\* TRASH RECEPTACLES WILL BE STORED INSIDE OF BUILDING. NO OUTDOOR TRASH ENCLOSURE IS REQUIRED.



#### BENCHMARK

NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4946.87' (NGVD 29)



CALL BLUESTAKES  
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75 W. MAIN STREET CT #100  
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CONTACT:  
PAUL ANDERSON  
PHONE: (801) 687-0000

ALPINE FITNESS

235 S. MAIN STREET  
ALPINE, UTAH 84004



NO.	DATE	REVISION	BY
1		SD CHANGES	
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#### SITE PLAN

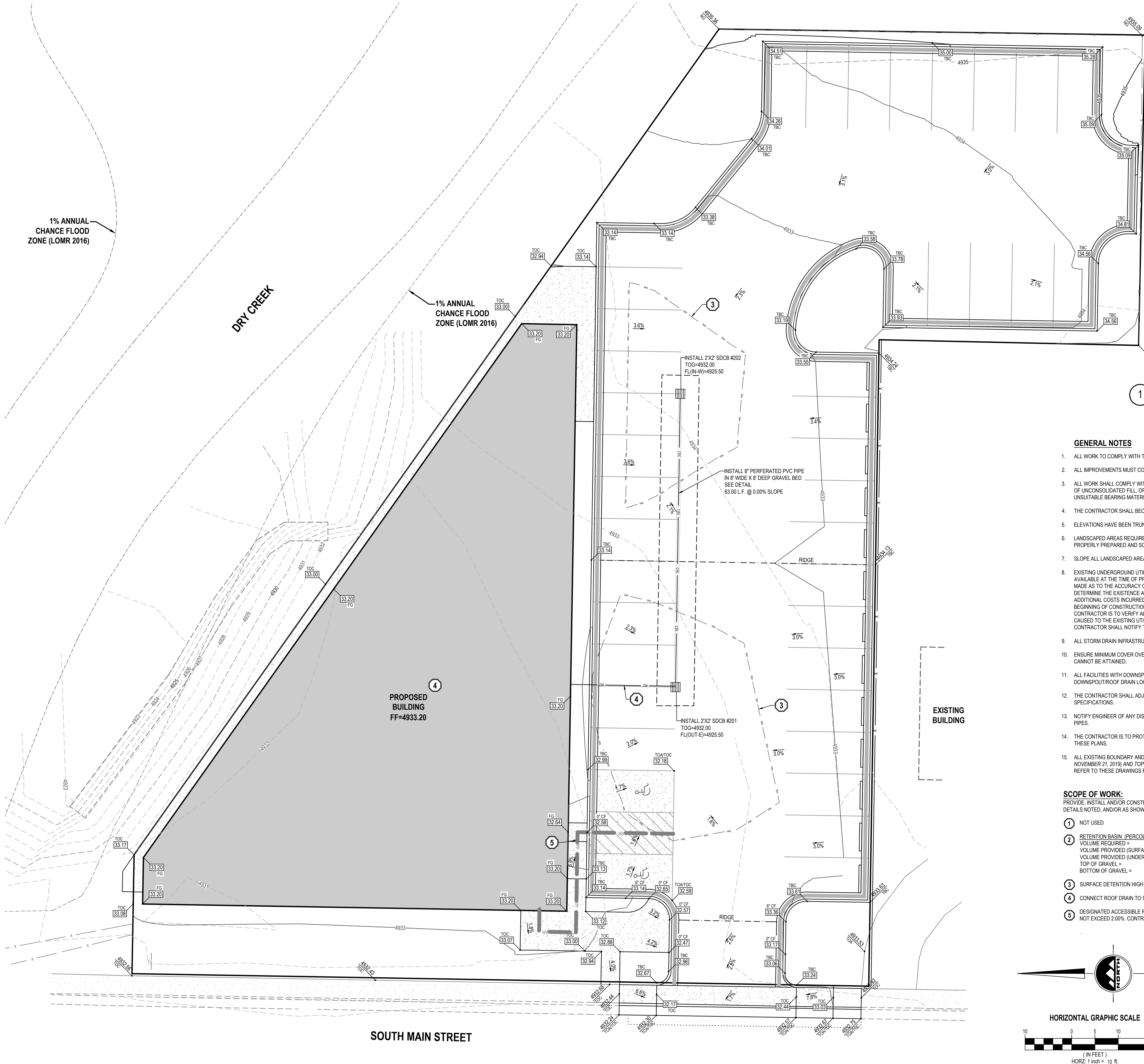
PROJECT NUMBER  
97111  
DRAWN BY  
T. MAZEJY  
PROJECT MANAGER  
D. JENKINS

PRINT DATE  
8/13/20

CHECKED BY  
D. JENKINS

C-200

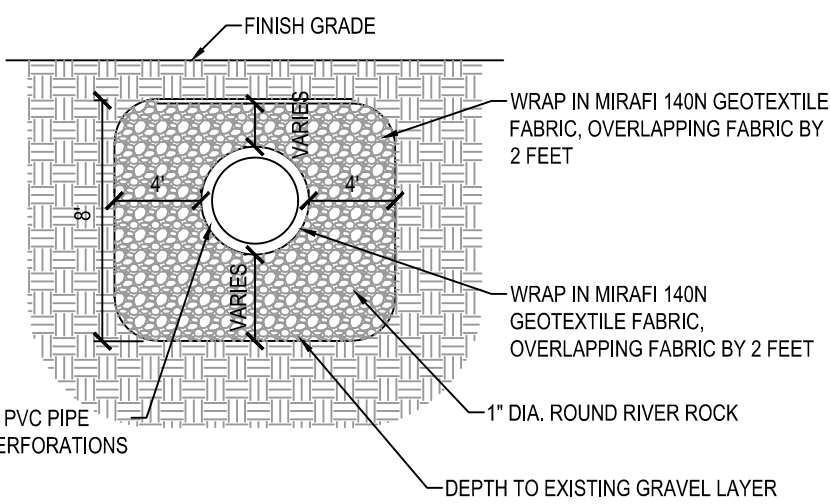




Project : Alpine Physical Therapy      Project No : 9711  
By : D. Conley      Checked By : D. Jenkins  
Date : 12-Aug-2020      Sheet :



INFILTRATION RETENTION CALCULATION						
Area Calculations					Area Runoff Coefficients	
Handscaped Area (A <sub>h</sub> )					0.68 acres	C <sub>p</sub> 0.90
LANDSCAPED AREA (A <sub>l</sub> )					0.00 acres	C <sub>l</sub> 0.20
TOTAL AREA (A <sub>t</sub> )					0.68 acres	WEIGHTED C <sub>t</sub> 0.79
Runoff Calculations						
Precipitation Area					0.68 acres	Percolation Rate 0.210 in/hr
Total Percolation Rate					0.210 in/hr	
Time (min)	CA (Acres)	Precipitation Intensity (in/hr)	Time (min)	Cumulative Runoff (in)	Allowed Runoff (in)	Storage (in)
5	0.48	6.97	300	300	956	78
10	0.48	5.36	600	600	1,487	156
15	0.48	4.38	900	900	1,806	233
30	0.48	2.85	1,800	1,800	2,433	467
40	0.48	1.80	3,000	3,000	3,002	833
120	0.48	1.02	7,200	7,200	3,365	1,487
180	0.48	0.71	10,800	10,800	3,819	2,800
360	0.48	0.41	21,600	21,600	4,058	5,800
720	0.48	0.28	43,200	43,200	5,147	11,200
1440	0.48	0.14	86,400	86,400	5,947	15,800
NOTE: 100 Year Storm					Storage Required	2,069
					Underground Storage Provided	1,792
					Surface Storage Provided	400
					Total Storage Provided	2,192



## 1 PERFORATED PIPE DETAIL

SCALE: NONE

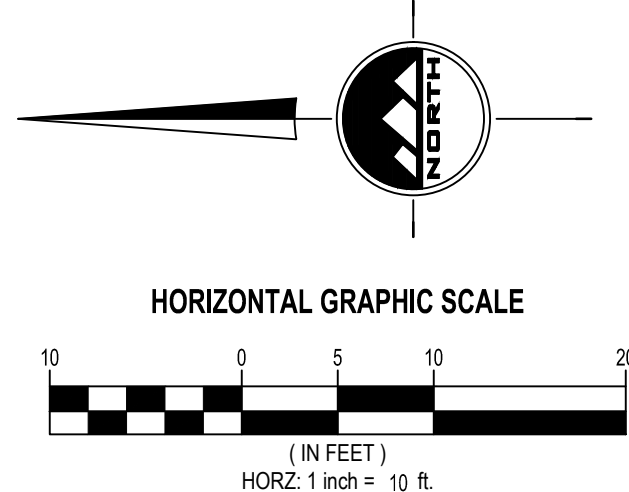
### GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. 67.25 REPRESENTS AN ELEVATION OF 4967.25 ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IN THIS PLAN SET COME FROM THE SURVEY DRAWINGS "LAND SURVEY PLAT (DATED NOVEMBER 21, 2019) AND TOPOGRAPHY SURVEY (DATED JANUARY 24, 2020)" PROVIDED BY VARA 3D AND NOT ENSIGN ENGINEERING. PLEASE REFER TO THESE DRAWINGS FOR SURVEY INFORMATION.

### SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- NOT USED
- RETENTION BASIN: PERCOLATION RATE = 0.67 INCHES PER MINUTE X FS OF 1/2;  
VOLUME REQUIRED (SURFACE) = 2,989 CU. FT.  
VOLUME PROVIDED (SURFACE) = 360 CU. FT.  
VOLUME PROVIDED (UNDERGROUND) = 1,792 CU. FT.  
TOP OF GRAVEL = 4931.30  
BOTTOM OF GRAVEL = 4923.30
- SURFACE DETENTION HIGH WATER LINE: ELEVATION = 4932.70
- CONNECT ROOF DRAIN TO STORM DRAIN NETWORK. SEE MECHANICAL PLANS FOR ROOF DRAIN LOCATION AND CONNECTION.
- DESIGNATED ACCESSIBLE ROUTE: RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES.



### BENCHMARK

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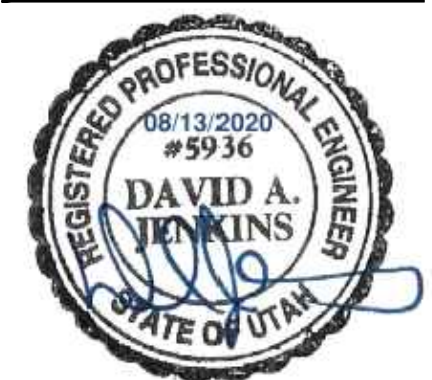
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CONTACT:  
PAUL ANDERSON  
PHONE: (801) 687-0000

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NO.	DATE	REVISION	BY
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GRADING AND  
DRAINAGE PLAN

PROJECT NUMBER  
9711

PRINT DATE  
8/13/20

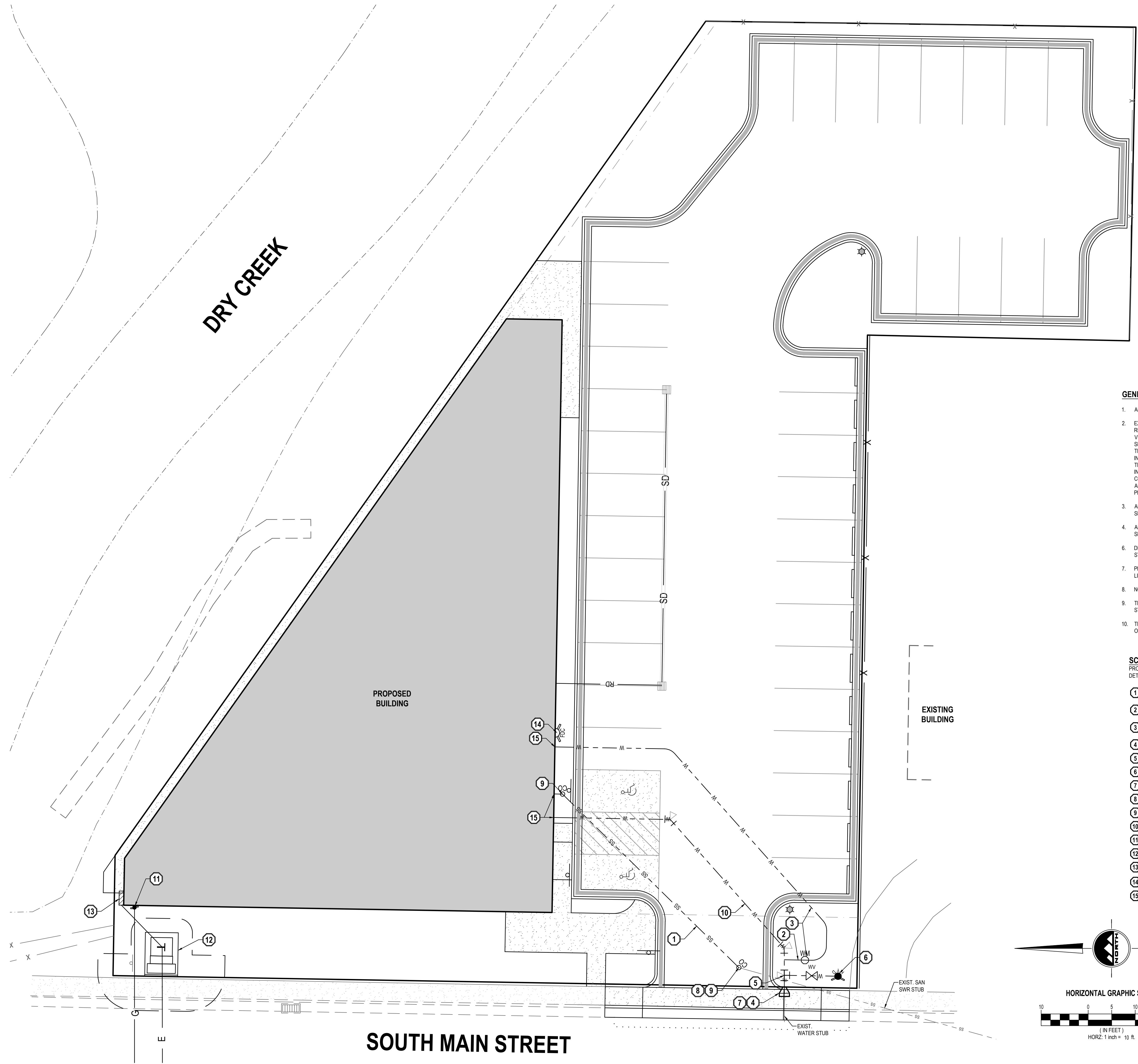
DRAWN BY  
T. MAZEJY

CHECKED BY  
D. JENKINS

PROJECT MANAGER  
D. JENKINS

C-300





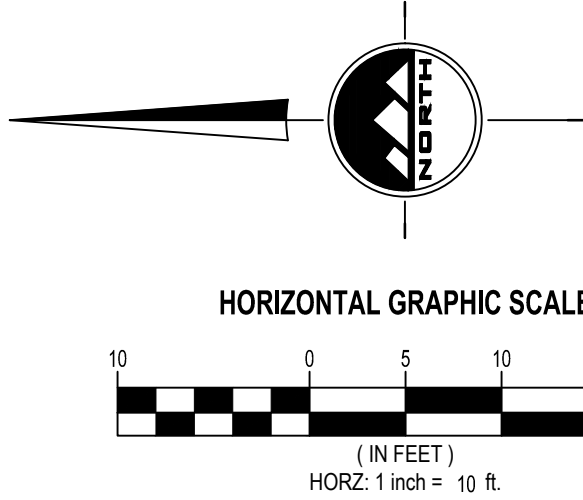
GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 6" SDR-35 PVC SANITARY SEWER LATERAL INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 1" COPPER WATER SERVICE FROM MAIN TO METER PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 1" METER AND 1" POLY WATER SERVICE FROM METER TO BUILDING PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 8"X8" REDUCER PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 6" TEE PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- FIRE HYDRANT (COMPLETE) PER ALPINE CITY STANDARDS.
- CONNECT TO EXIST WATER STUB. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
- CONNECT TO EXIST. SANITARY SEWER STUB. CONTRACTOR TO VERIFY DEPTH AND LOCATION.
- SANITARY SEWER CLEANOUT PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- 6" C-900 PVC FIRE WATER LINE PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- GAS METER AND SERVICE. COORDINATE W/ ROCKY MOUNTAIN ENERGY.
- PROPOSED TRANSFORMER LOCATION. COORDINATE W/ ROCKY MOUNTAIN POWER.
- ELECTRICAL SERVICE AND METER. COORDINATE W/ ROCKY MOUNTAIN POWER.
- FIRE DEPARTMENT CONNECTION PER ALPINE CITY STANDARDS AND SPECIFICATIONS.
- SEE MECHANICAL PLANS FOR CONTINUATION.



BENCHMARK	
NORTHEAST CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN	
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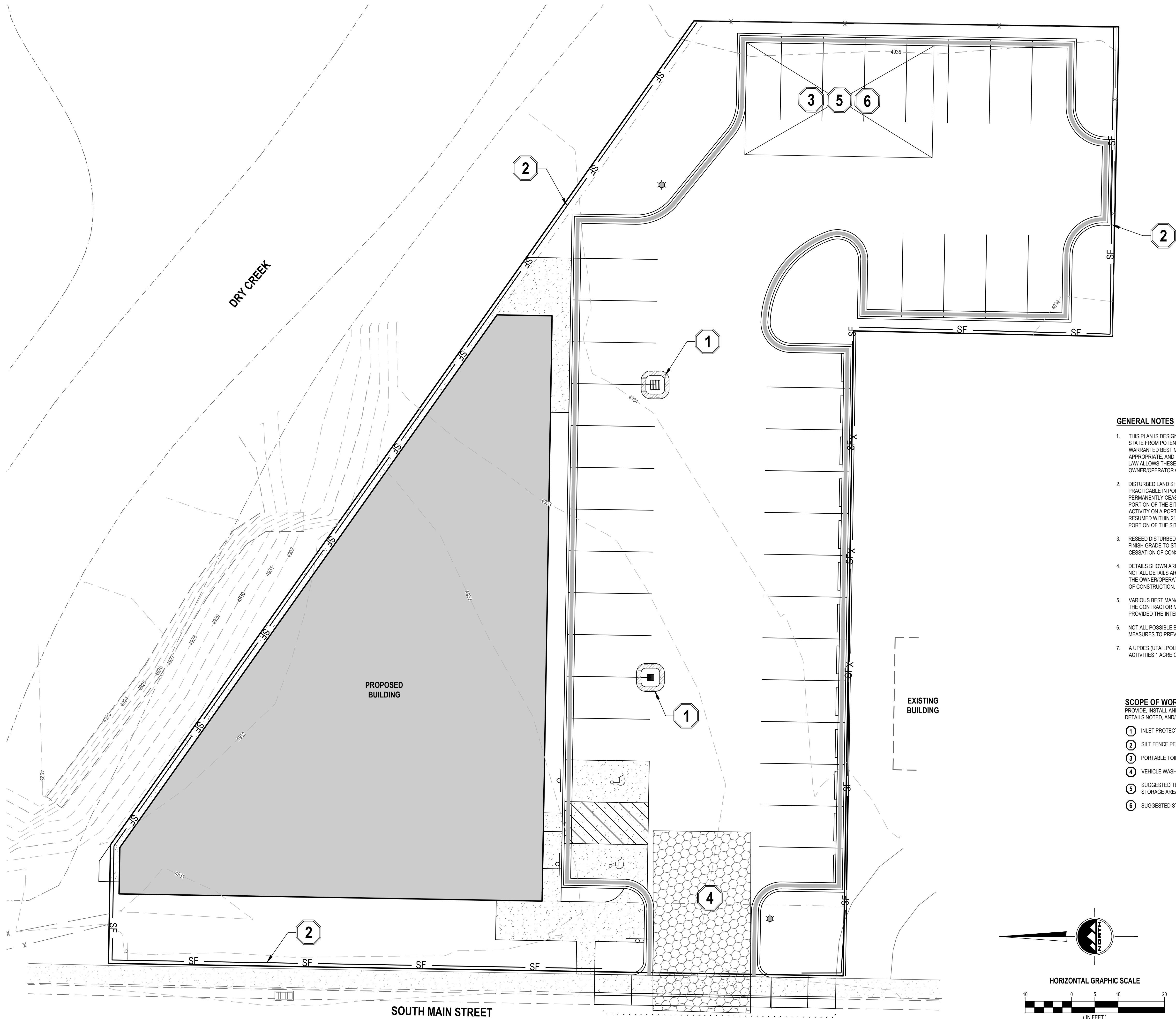
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UTILITY PLAN

PROJECT NUMBER	PRINT DATE
9711	8/13/20
DRAWN BY T. MAZEJY	CHECKED BY D. JENKINS
PROJECT MANAGER D. JENKINS	

C-400





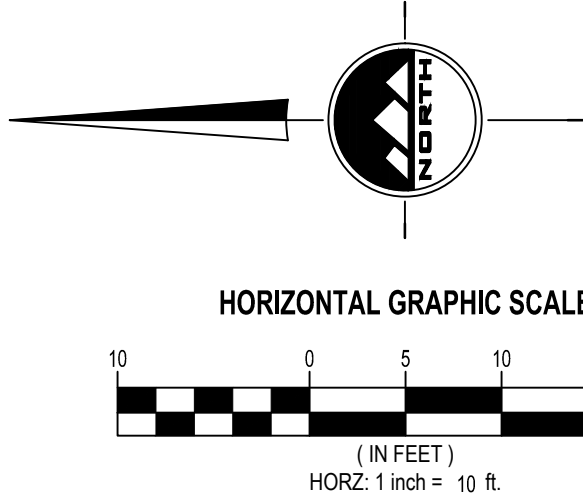
**GENERAL NOTES**

1. THIS PLAN IS DESIGNED AS A FIRST APPRAISAL OF NECESSARY MEANS TO PROTECT THE WATERS OF THE STATE FROM POTENTIAL POLLUTION. IT IS THE RESPONSIBILITY OF THE OWNER/OPERATOR TO ADD WARRANTED BEST MANAGEMENT PRACTICES (BMP'S) AS NECESSARY, MODIFY THOSE SHOWN AS APPROPRIATE, AND DELETE FROM THE PROJECT THOSE FOUND TO BE UNNECESSARY. FEDERAL AND STATE LAW ALLOWS THESE UPDATES TO BE MADE BY THE OWNER/OPERATOR ONSITE AND RECORDED BY THE OWNER/OPERATOR ON THE COPY OF THE SWPPP KEPT ONSITE.
2. DISTURBED LAND SHALL BE KEPT TO A MINIMUM. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. HOWEVER, WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 21 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
3. RESEED DISTURBED LAND WITH NATIVE GRASS MIXTURE WITHIN 14 CALENDAR DAYS OF ACHIEVEMENT OF FINISH GRADE TO STABILIZE SOILS IF LAND IS NOT TO BE RE-WORKED WITHIN 14 CALENDAR DAYS OF THE CESSATION OF CONSTRUCTION ACTIVITIES AT THAT LOCATION.
4. DETAILS SHOWN ARE TO BE EMPLOYED TO PROTECT RUNOFF AS APPROPRIATE DURING CONSTRUCTION. NOT ALL DETAILS ARE NECESSARY AT ALL PHASES OF THE PROJECT. IT SHALL BE THE RESPONSIBILITY OF THE OWNER/OPERATOR TO USE APPROPRIATE BEST MANAGEMENT PRACTICES AT THE APPROPRIATE PHASE OF CONSTRUCTION. SEE SWPPP FOR BMP IMPLEMENTATION SCHEDULE.
5. VARIOUS BEST MANAGEMENT PRACTICES HAVE BEEN SHOWN ON THE PLANS AT SUGGESTED LOCATIONS. THE CONTRACTOR MAY MOVE AND RECONFIGURE THESE BMP'S TO OTHER LOCATIONS IF PREFERRED, PROVIDED THE INTENT OF THE DESIGN IS PRESERVED.
6. NOT ALL POSSIBLE BMP'S HAVE BEEN SHOWN. THE CONTRACTOR IS RESPONSIBLE TO APPLY CORRECT MEASURES TO PREVENT THE POLLUTION OF STORM WATER PER PROJECT SWPPP.
7. A UPDES (UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM) PERMIT IS REQUIRED FOR ALL CONSTRUCTION ACTIVITIES 1 ACRE OR MORE.

**SCOPE OF WORK:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ① INLET PROTECTION PER DETAIL 4/C-600.
- ② SILT FENCE PER DETAIL 5/C-600.
- ③ PORTABLE TOILET PER DETAIL 6/C-600.
- ④ VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 7/C-600.
- ⑤ SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
- ⑥ SUGGESTED STOCKPILE AREA.



BENCHMARK	
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PAUL ANDERSON  
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NO.	DATE	REVISION	BY
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EROSION  
CONTROL PLAN

PROJECT NUMBER  
97111

PRINT DATE  
8/13/20

DRAWN BY  
T. MAZEJY

CHECKED BY  
D. JENKINS

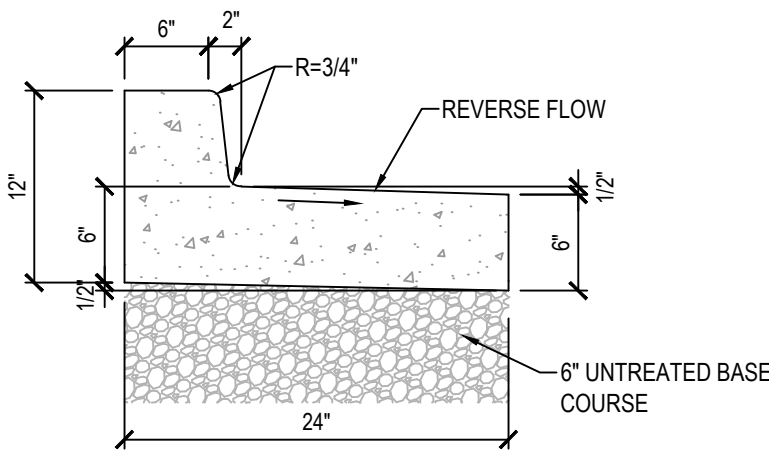
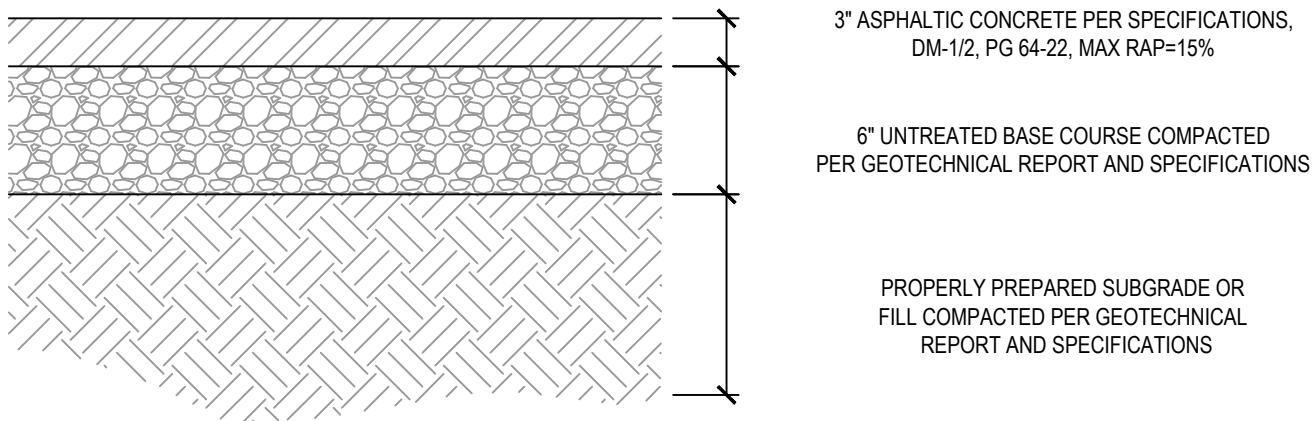
PROJECT MANAGER  
D. JENKINS

C-500

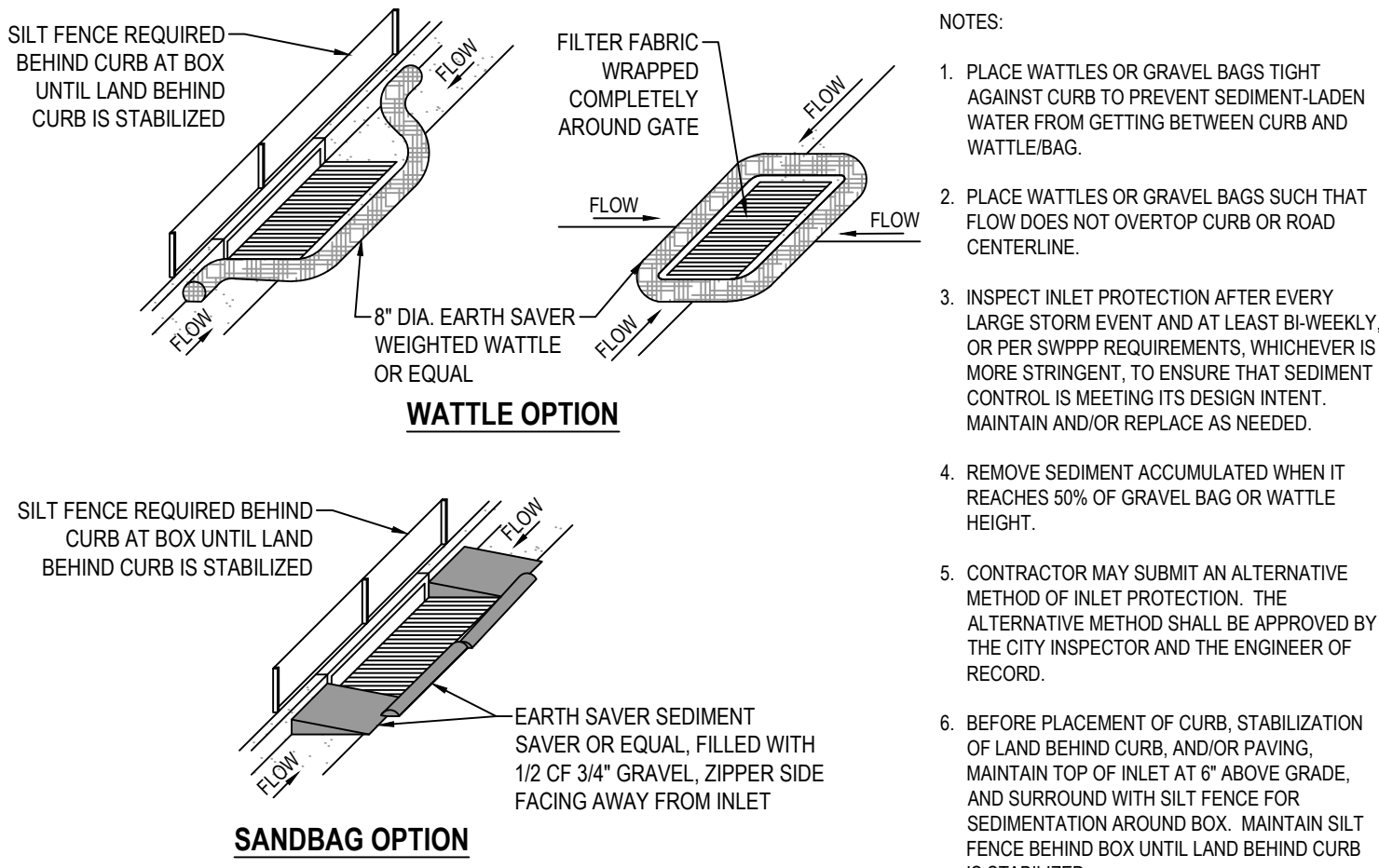
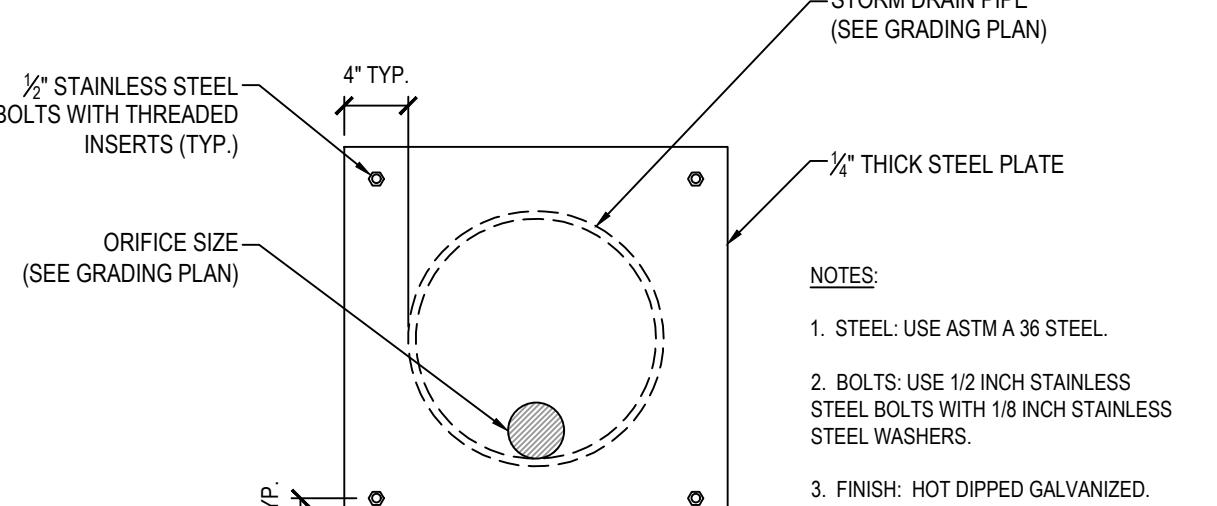


ASPHALT NOTES

- ALL PAVING TO BE PLACED OVER PROPERLY PREPARED NATURAL SOILS AND/OR PROPERLY PREPARED EXISTING FILL SOILS AND PROPERLY COMPACTED STRUCTURAL FILL WHERE SPECIFIED.
- ALL STRUCTURAL FILL TO BE PLACED AND COMPACTED PER THE PROJECT GEOTECHNICAL REPORT OR TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T-100 (D-1557) METHOD OF COMPACTION. LIFTS SHOULD BE PLACED PER GEOTECHNICAL RECOMMENDATIONS BUT SHOULD NOT EXCEED 8" IN LOOSE THICKNESS.
- REMOVE SURFACE VEGETATION AND OTHER DELETERIOUS MATERIALS OVER THE ENTIRE SITE IN PREPARATION OF PROPOSED IMPROVEMENTS.



- NOTE:**
- CONSTRUCT PER NOTES AND SPECIFICATIONS ASSOCIATED WITH APWA STANDARD PLAN NO. 205.



- NOTES:**
- PLACE WATTLES OR GRAVEL BAGS TIGHT AGAINST CURB TO PREVENT SEDIMENT-LADEN WATER FROM GETTING BETWEEN CURB AND WATTLE/BAG.
  - PLACE WATTLES OR GRAVEL BAGS SUCH THAT FLOW DOES NOT OVERTOP CURB OR ROAD CENTERLINE.
  - INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT LEAST BI-WEEKLY, OR PER SWPPP REQUIREMENTS, WHICHEVER IS MORE STRINGENT, TO ENSURE THAT SEDIMENT CONTROL IS MEETING ITS DESIGN INTENT. MAINTAIN AND/OR REPLACE AS NEEDED.
  - REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 50% OF GRAVEL BAG OR WATTLE HEIGHT.
  - CONTRACTOR MAY SUBMIT AN ALTERNATIVE METHOD OF INLET PROTECTION. THE ALTERNATIVE METHOD SHALL BE APPROVED BY THE CITY INSPECTOR AND THE ENGINEER OF RECORD.
  - BEFORE PLACEMENT OF CURB, STABILIZATION OF LAND BEHIND CURB, AND/OR PAVING, MAINTAIN TOP OF INLET AT 6" ABOVE GRADE, AND SURROUND WITH SILT FENCE FOR SEDIMENTATION AROUND BOX. MAINTAIN SILT FENCE BEHIND BOX UNTIL LAND BEHIND CURB IS STABILIZED.

1 STANDARD ASPHALT SECTION

SCALE: NONE

2 24" REVERSE PAN CURB AND GUTTER

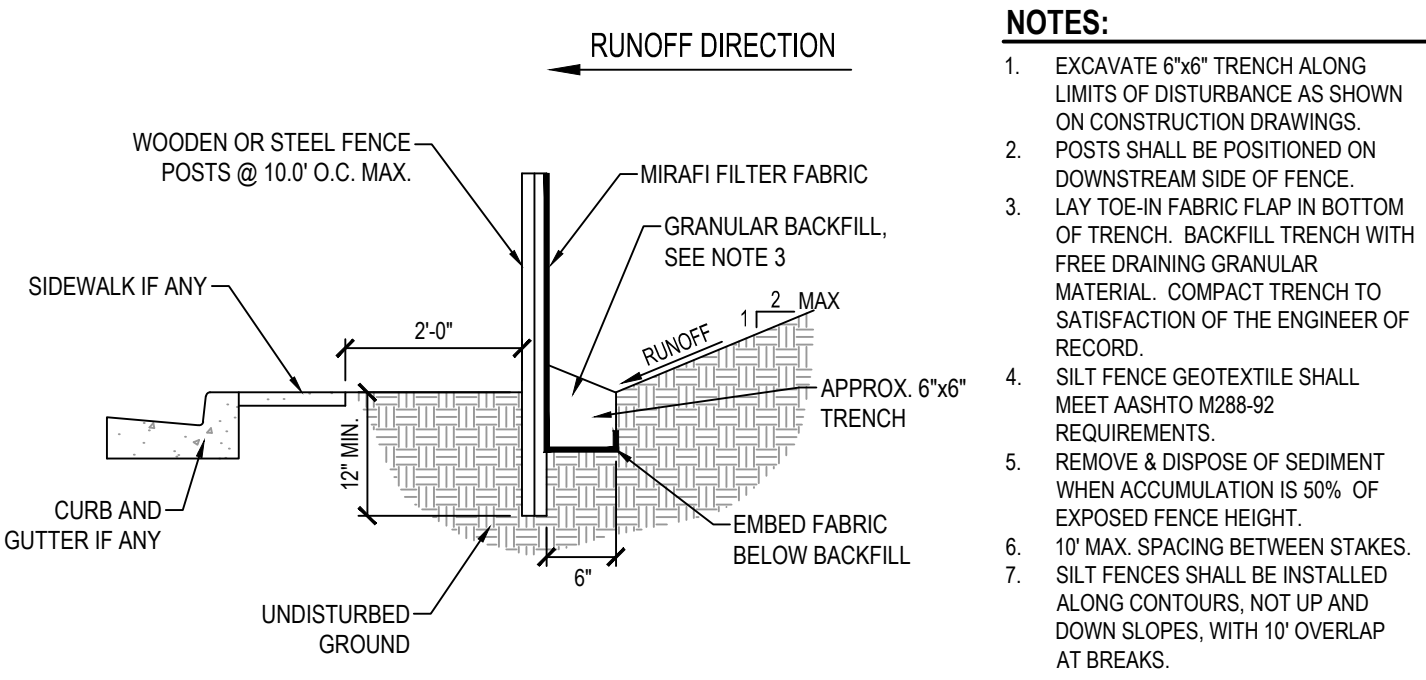
SCALE: NONE

3 ORIFICE PLATE

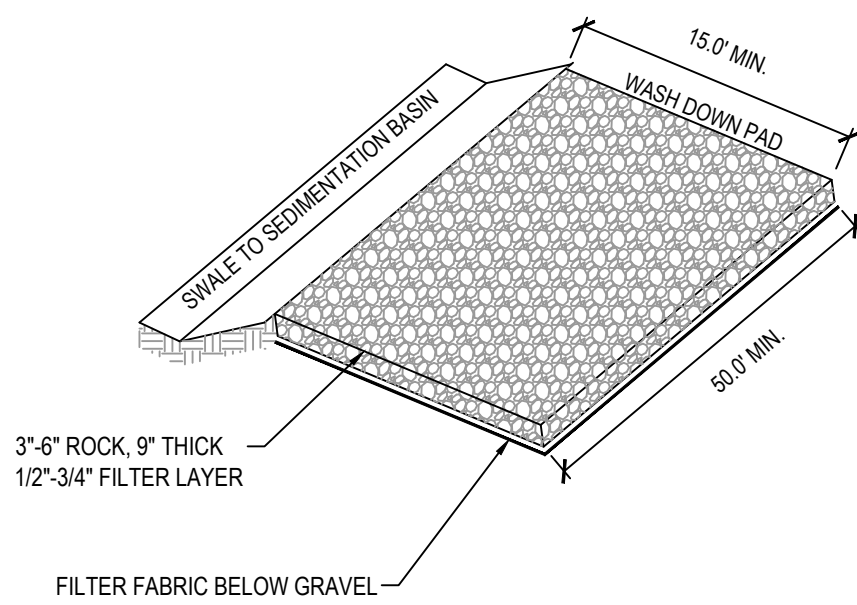
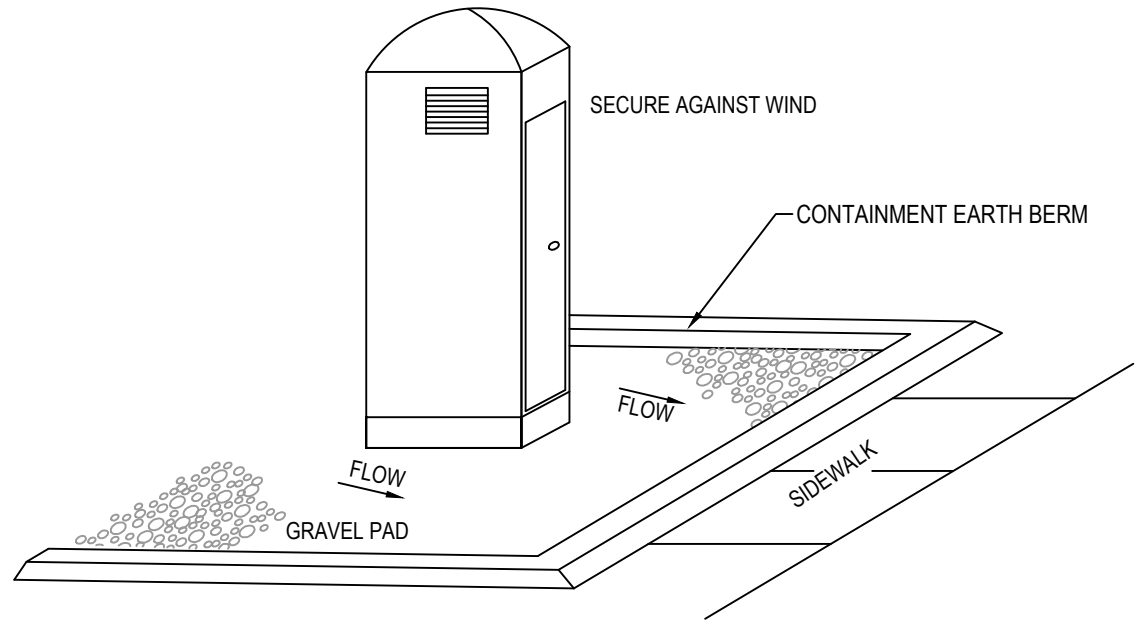
SCALE: NONE

4 SAG INLET PROTECTION

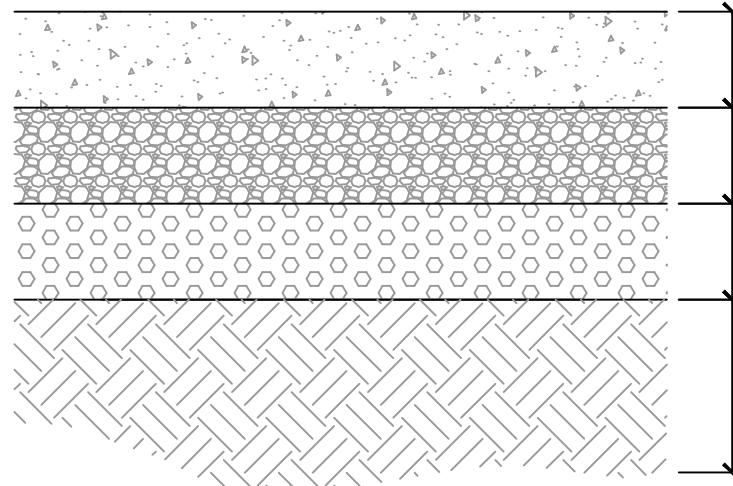
SCALE: NONE



- NOTES:**
- EXCAVATE 6"x6" TRENCH ALONG LIMITS OF DISTURBANCE AS SHOWN ON CONSTRUCTION DRAWINGS. POSTS SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE. LAY TOE-IN FABRIC FLAP IN BOTTOM OF TRENCH. BACKFILL TRENCH WITH FREE DRAINING GRANULAR MATERIAL. COMPACT TRENCH TO SATISFACTION OF THE ENGINEER OF RECORD.
  - SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS. REMOVE & DISPOSE OF SEDIMENT WHEN ACCUMULATION IS 50% OF EXPOSED FENCE HEIGHT.
  - 10" MAX. SPACING BETWEEN STAKES. SILT FENCES SHALL BE INSTALLED ALONG CONTOURS, NOT UP AND DOWN SLOPES, WITH 10' OVERLAP AT BREAKS.



- NOTE:**
- PLACE SIGN ADJACENT TO ENTRANCE \* CONSTRUCTION TRAFFIC ONLY. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT SITE AT THIS LOCATION\*



5 TEMPORARY SILT FENCE

SCALE: NONE

6 PORTABLE TOILET

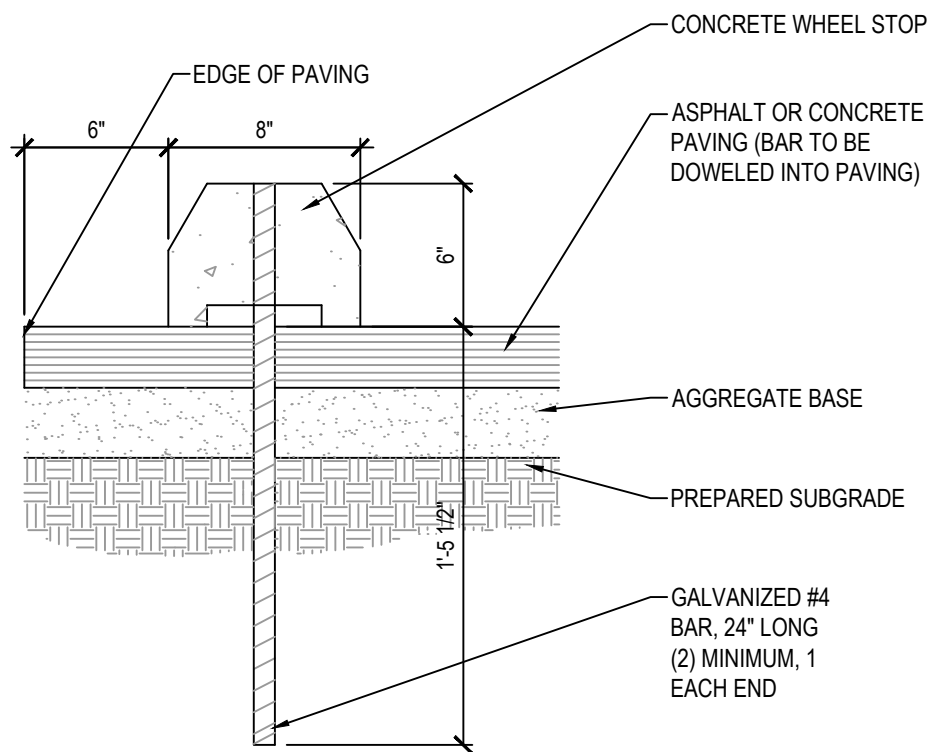
SCALE: NONE

7 STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE

8 CONCRETE PAVEMENT SECTION

SCALE: NONE



9 CONCRETE WHEEL STOP

SCALE: NONE



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FOR:  
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75 W. MAIN STREET CT #100  
ALPINE, UTAH 84004

CONTACT:  
PAUL ANDERSON  
PHONE: (801) 687-0000

ALPINE FITNESS

235 S. MAIN STREET  
ALPINE, UTAH 84004



NO.	DATE	REVISION	BY
1		SD CHANGES	
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CIVIL DETAILS

PROJECT NUMBER  
9711

PRINT DATE  
8/13/20

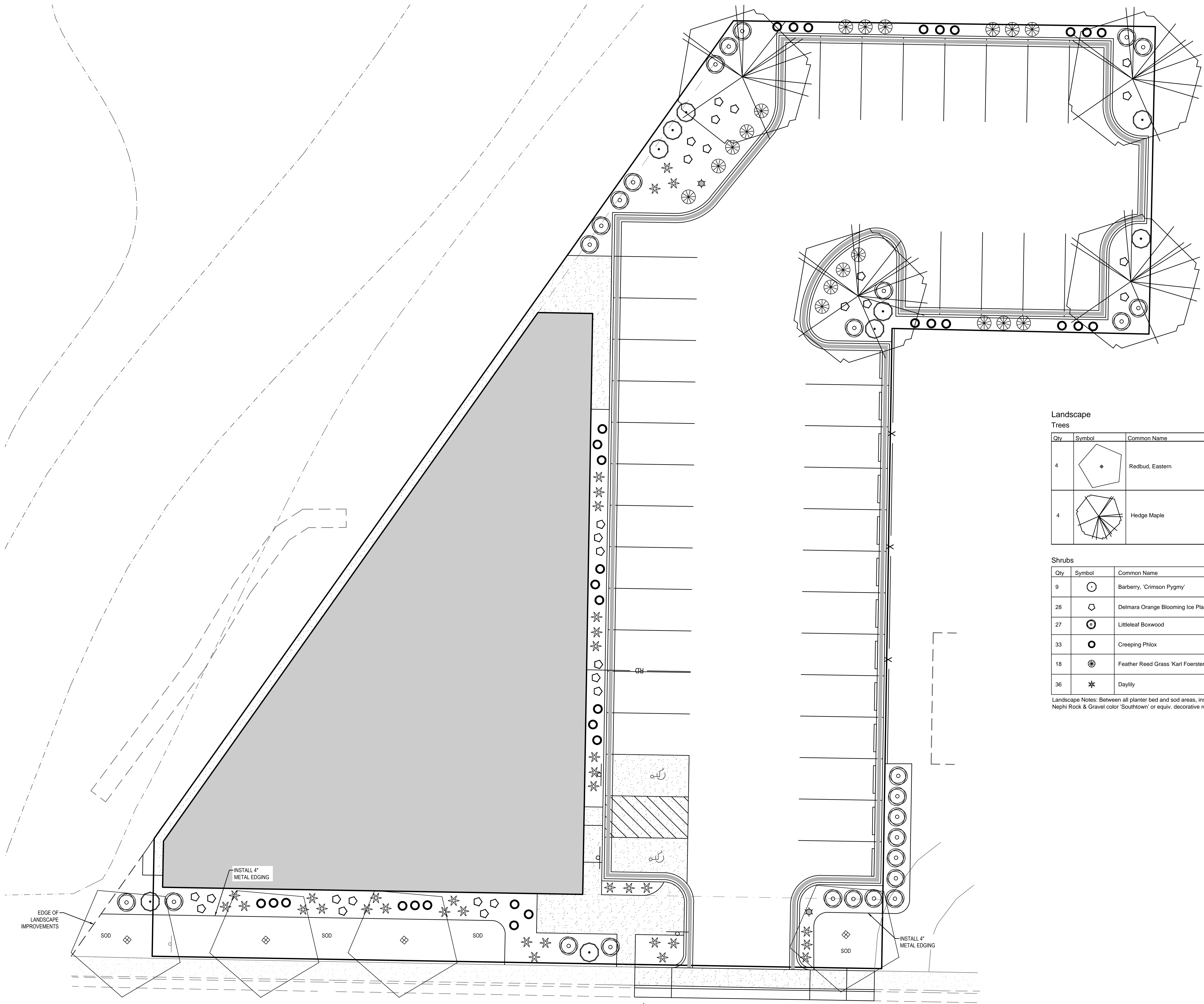
DRAWN BY  
T. MAZEJY

CHECKED BY  
D. JENKINS

PROJECT MANAGER  
D. JENKINS

C-600





Landscape

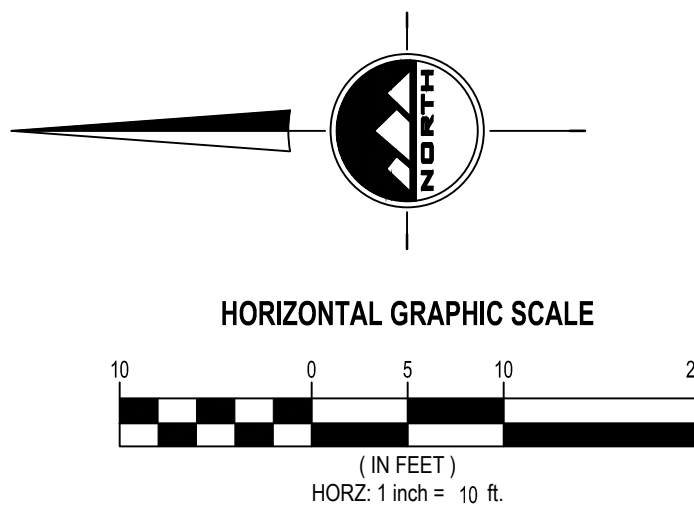
Trees

Qty	Symbol	Common Name	Botanical Name	Plant Size
4		Redbud, Eastern	Cercis canadensis	2" Cal.
4		Hedge Maple	Acer Campestre	2" Cal.

Shrubs

Qty	Symbol	Common Name	Botanical Name	Plant Size
9		Barberry, 'Crimson Pygmy'	Berberis thunbergii atropurpurea nana	5 Gallon
28		Delmar Orange Blooming Ice Plant	Delosperma 'Delmar Orange'	5 Gallon
27		Littleleaf Boxwood	Buxus microphylla 'Winter Gem'	5 Gallon
33		Creeping Phlox	Phlox subulata 'Crimson Beauty'	1 Gallon
18		Feather Reed Grass 'Karl Foerster'	Calamagrostis acutiflora 'Karl Foerster'	1 Gallon
36		Daylily	Hemerocallis	1 Gallon

Landscape Notes: Between all planter bed and sod areas, install 4" metal edging. In all planter bed areas, install 4" deep, 2'-3" dia. Nephi Rock & Gravel color 'Southtown' or equiv. decorative rock over weed barrier, typ.



**BENCHMARK**

NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN

ELEV = 4946.87' (NGVD 29)

**811**

Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.



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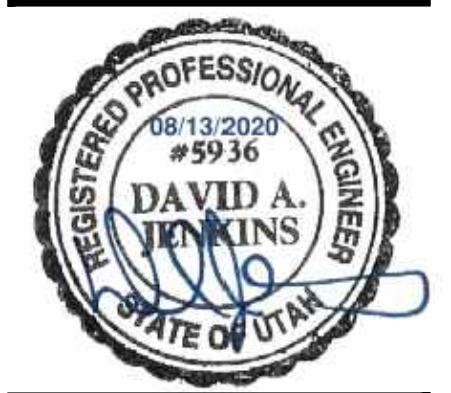
FOR:  
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CONTACT:  
PAUL ANDERSON  
PHONE: (801) 687-2000

**ALPINE FITNESS**

**235 S. MAIN STREET**

**ALPINE, UTAH 84004**



NO.	DATE	REVISION	BY
1	1	SD CHANGES	
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**LANDSCAPE PLAN**

PROJECT NUMBER  
9711

PRINT DATE  
8/13/20

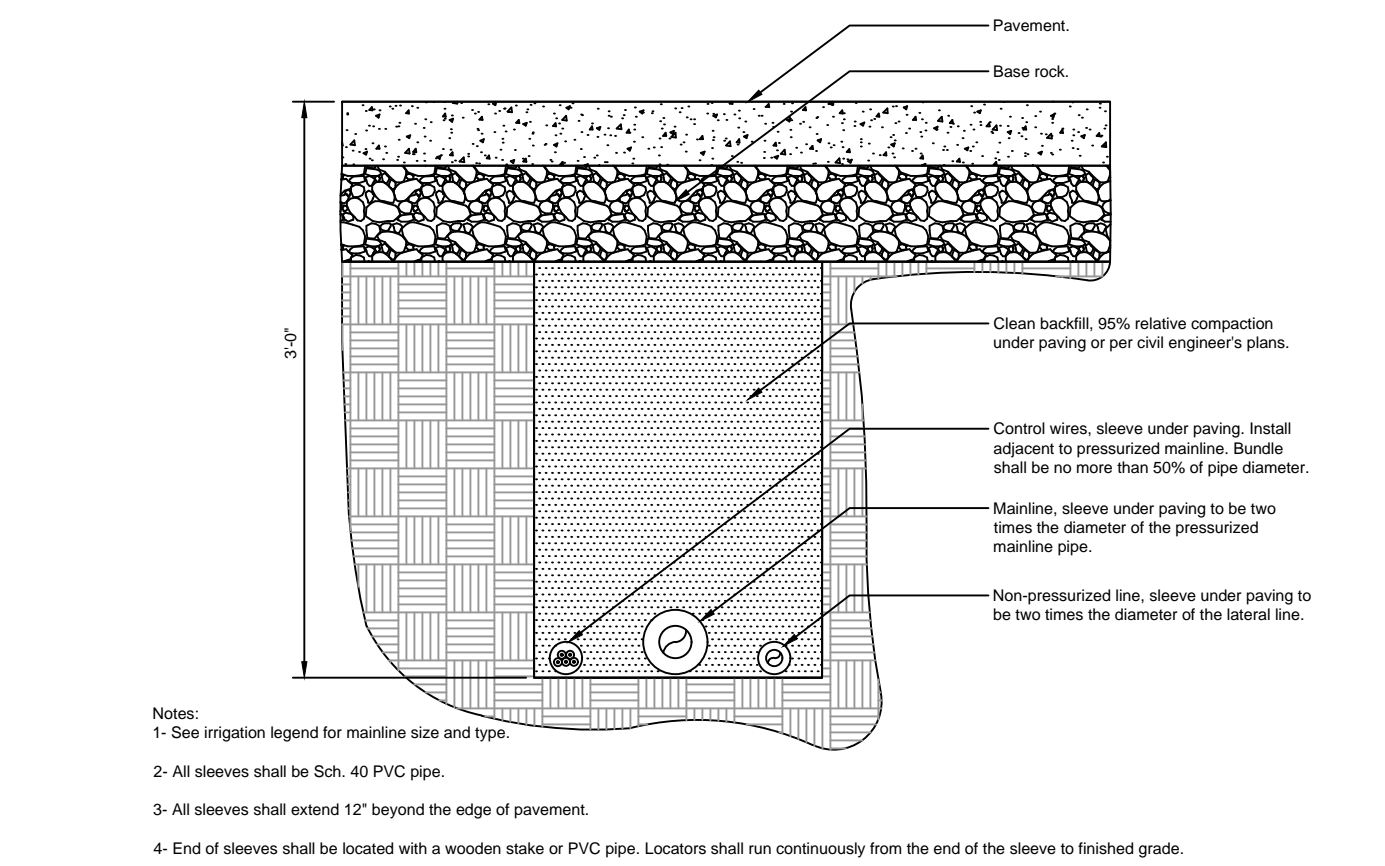
DRAWN BY  
T. MAZEJY

CHECKED BY  
D. JENKINS

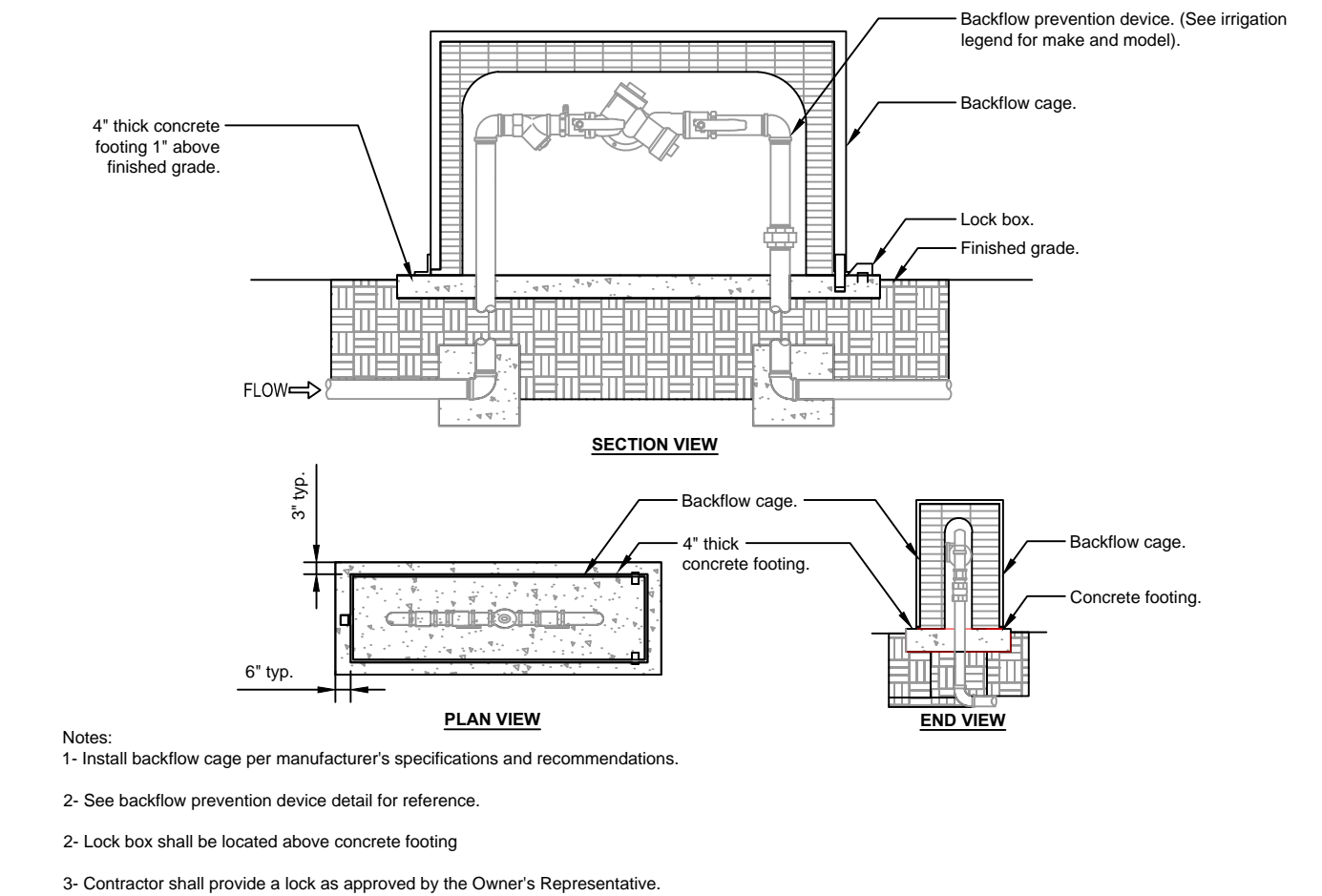
PROJECT MANAGER  
D. JENKINS

**L-100**





13 PIPE BENEATH PAVEMENT SCALE: NONE

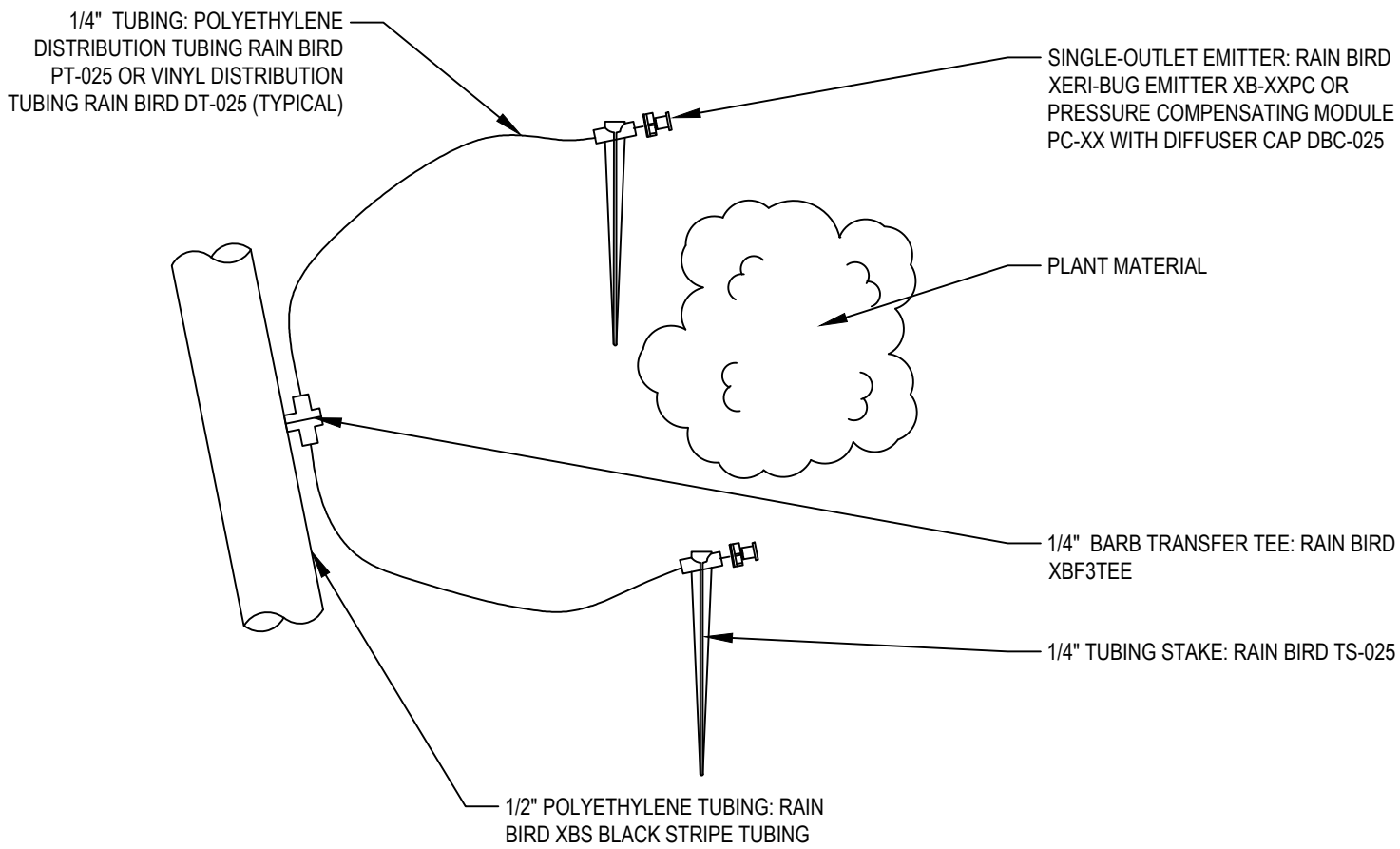


14 BACKFLOW CAGE SCALE: NONE

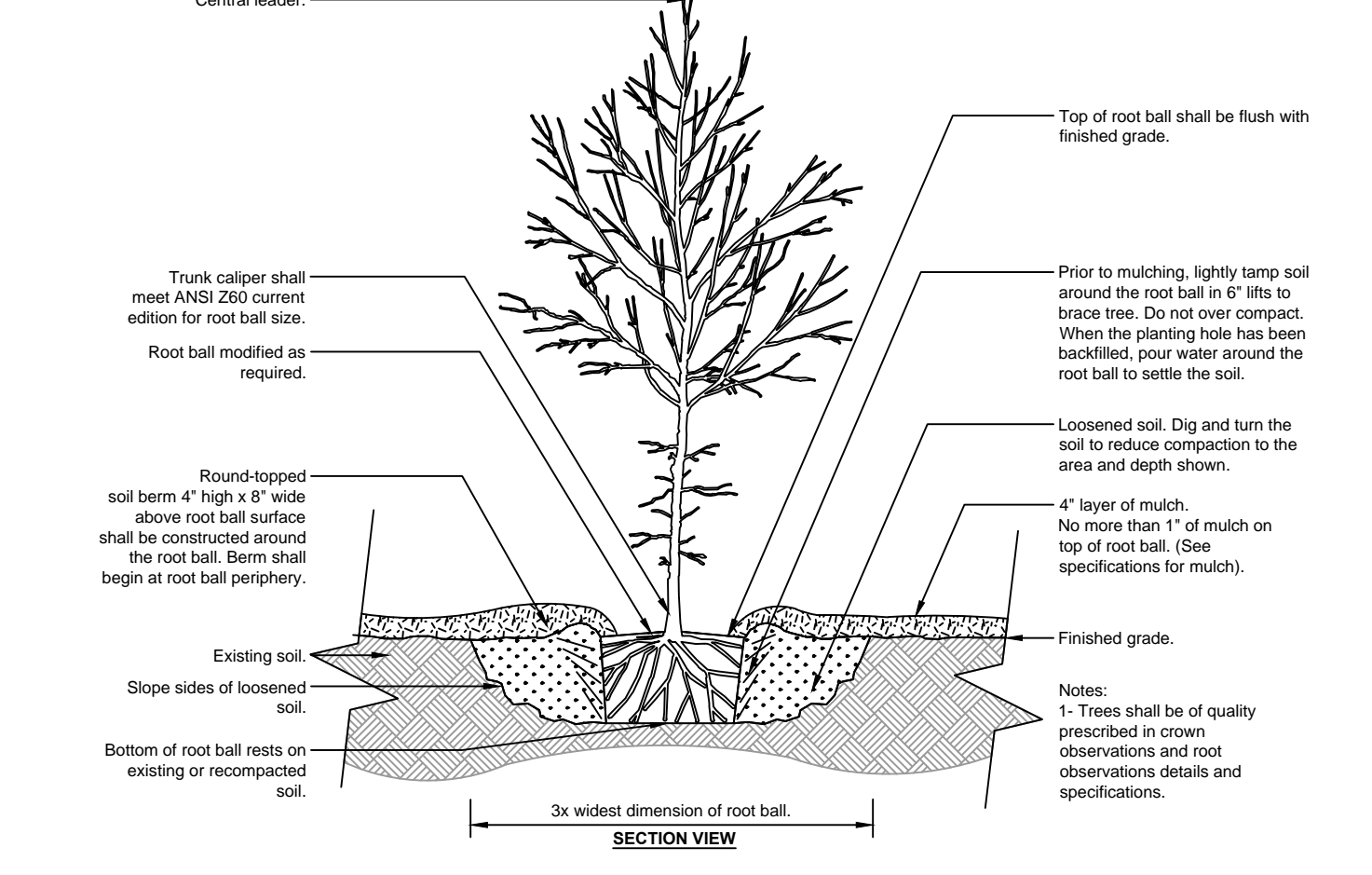
- GENERAL LANDSCAPE NOTES:**
- LANDSCAPE CONTRACTOR HAS THE OPTION TO SUBSTITUTE PLANT MATERIAL IF SPECIFIED GENUS, SPECIES, AND/OR VARIETIES ARE NOT LOCALLY OR REGIONALLY AVAILABLE. LANDSCAPE CONTRACTOR SHALL REPLACE SAID PLANTS WITH THOSE OF LIKE HARDINESS ZONE, SIZE, FORM, MOISTURE AND SOLAR REQUIREMENTS, AND MEET THE GENERAL INTENT OF THE ORIGINAL DESIGN. ANY REPLACEMENT PLANTINGS SHALL BE APPROVED BY ENSIGN ENGINEERING AND LAND SURVEYING INC. OR PROJECT REPRESENTATIVE PRIOR TO INSTALLATION. ALL REPLACEMENT PLANT MATERIALS SHALL CONFORM TO CITY APPROVED PLANTS. ALL PLANTING SUBSTITUTION WILL BE APPROVED BY CITY.
  - LOCATE ALL UTILITIES AND SITE LIGHTING CONDUITS BEFORE LANDSCAPE CONSTRUCTION BEGINS.
  - NOTIFY LANDSCAPE REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
  - FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME RELEASE FERTILIZER.
  - MULCH, PER PLAN, SHALL BE USED AS A FOUR INCH (4") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.
  - LANDSCAPE CONTRACTOR SHALL INSTALL AN UNDERGROUND, POP-UP IRRIGATION SYSTEM WHICH PROVIDES COMPLETE COVERAGE OF THE SITE AND MEETS COUNTY/CITY REQUIREMENTS AT OR BEFORE THE INSTALLATION OF LANDSCAPE MATERIALS.
  - ALL LANDSCAPE MATERIALS SHALL BE IN COMPLIANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI-Z60.1-1986)
  - CONTRACTOR SHALL USE AVAILABLE SUITABLE TOPSOIL THAT HAD BEEN STOCKPILED ONSITE. IF QUANTITIES ARE NOT SUFFICIENT TO MEET SITE MINIMUMS CONTRACTOR SHALL PROVIDE ADDITIONAL MATERIALS. ADDITIONAL MATERIAL SHALL BE SUPPLIED BY A COMMERCIAL TOPSOIL SUPPLIER
  - PROVIDE THE FOLLOWING TOP SOIL MINIMUMS:  
A. 4" TOPSOIL IN ALL SOD AREAS  
B. 6" TOP SOIL IN ALL PLANTER BEDS
  - WEED FABRIC SHALL BE A DEWITT SUNBELT WOVEN GROUND COVER INSTALLED W/ GROUND STAPLES ACCORDING TO MANUFACTURER RECOMMENDATIONS.

**IRRIGATION NOTES:**

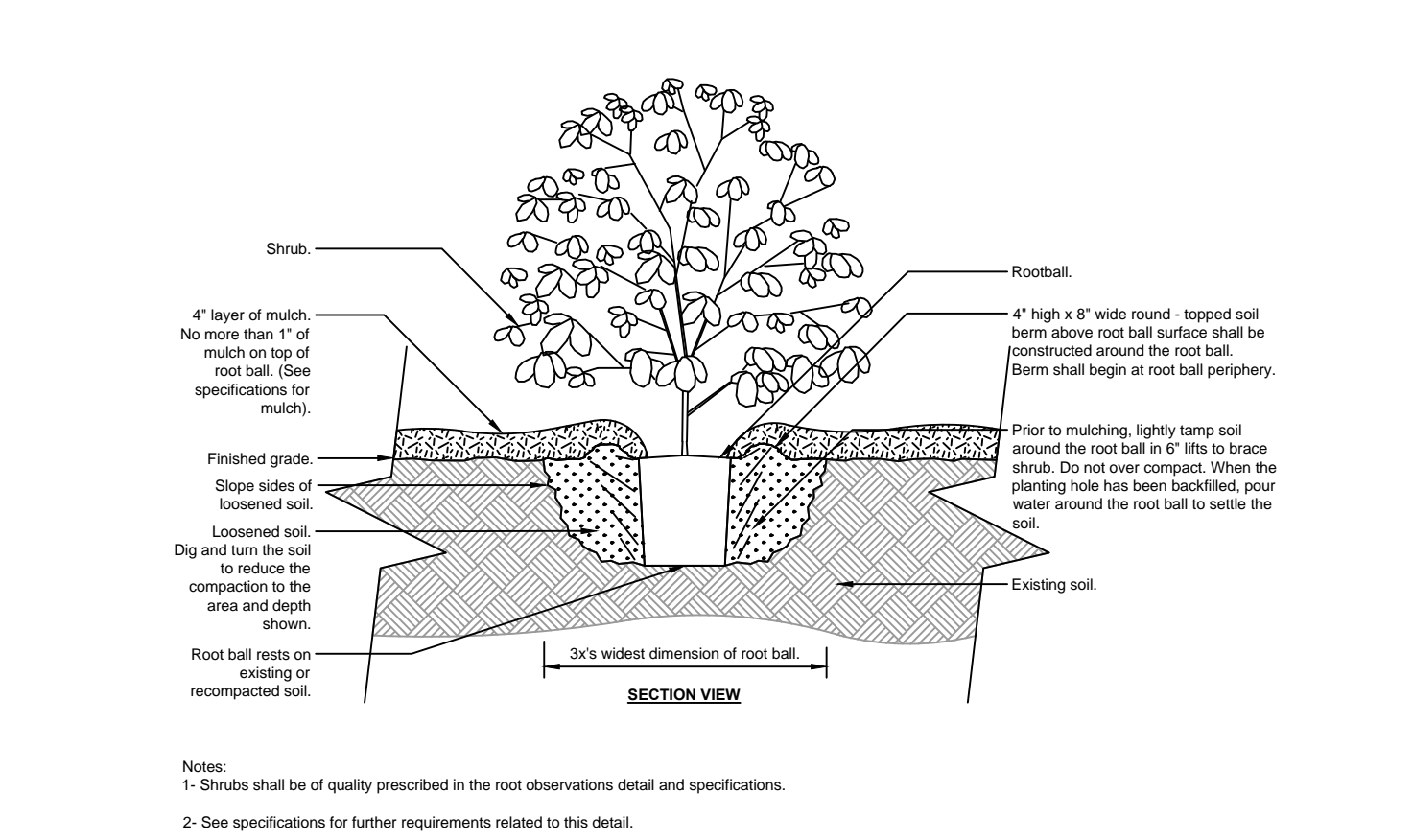
- IRRIGATION SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES BY A LICENSED CONTRACTOR AND EXPERIENCED WORKMEN. CONTRACTOR TO OBTAIN AND PAY FOR ALL REQUIRED PERMITS.
- CONTRACTOR TO CONFIRM THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY EXCAVATION. CONTRACTOR TO REPAIR ANY DAMAGE CAUSED BY OR DURING THE PERFORMANCE OF HIS WORK AT NO ADDITIONAL COST.
- PARALLEL PIPES MAY BE INSTALLED IN A COMMON TRENCH. PIPES ARE NOT TO BE INSTALLED ONE ABOVE THE OTHER.
- TRENCHES ARE TO BE DEEP ENOUGH TO ALLOW FOR 18" MIN. COVER, ON MAIN LINES AND 12" MIN. COVER ON LATERAL LINES. BACKFILL TO BE WATERED IN AND COMPACTED.
- ALL MAIN AND LATERAL LINES SHALL BE SCHEDULE 40 PVC PIPE.
- ALL ELECTRICAL VALVES SHALL BE INSTALLED IN VALVE BOXES WITH LOCKING LIDS.
- DIRECT BURIAL 14 GAGE WIRE WITH SPEARS DRI-SPLICE CONNECTORS (OR EQUAL) SHALL BE USED. 6" SEPARATION BETWEEN MAIN LINE & WIRE EITHER BELOW PIPE OR TO SIDE.
- CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE PROPER COVERAGE OF ALL IRRIGATED AREAS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING ALL LINES AND SHALL INSTALL MANUAL DRAINS AT ALL VALVE MANIFOLDS AND AT ALL LOW POINTS ON MAIN LINES. MANUAL VALVES SHALL BE INSTALLED IN WELL MARKED VALVE BOXES WITH LOCKING LIDS. KING AUTOMATIC DRAIN VALVES TO BE INSTALLED AT ALL LOW POINTS ON LATERAL LINES. CONTRACTOR TO INSTALL QUICK COUPLER VALVE AT ALL VALVE MANIFOLD LOCATIONS.
- ALL SPRINKLER LINES AND CONTROL WIRES CROSSING UNDER PAVED AREAS SHALL BE INSTALLED IN A SLEEVE TWICE THE SIZE OF THE PIPE.
- FLUSH MAIN LINES PRIOR TO THE INSTALLATION OF REMOTE CONTROL VALVES. FLUSH LATERAL LINES PRIOR TO THE INSTALLATION OF HEADS. MAIN LINES TO BE INSPECTED FOR LEAKS UNDER FULL PRESSURE PRIOR TO BACKFILLING TRENCHES.
- CONTRACTOR TO MAINTAIN A SET OF "AS BUILT" DRAWINGS, A REPRODUCABLE COPY OF WHICH WILL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE UPON COMPLETION.
- THE OWNER RESERVES THE RIGHT TO REJECT MATERIAL OR WORK WHICH DOES NOT CONFORM TO THESE DRAWINGS. REJECTED WORK SHALL BE REMOVED OR CORRECTED AT CONTRACTOR'S EXPENSE.



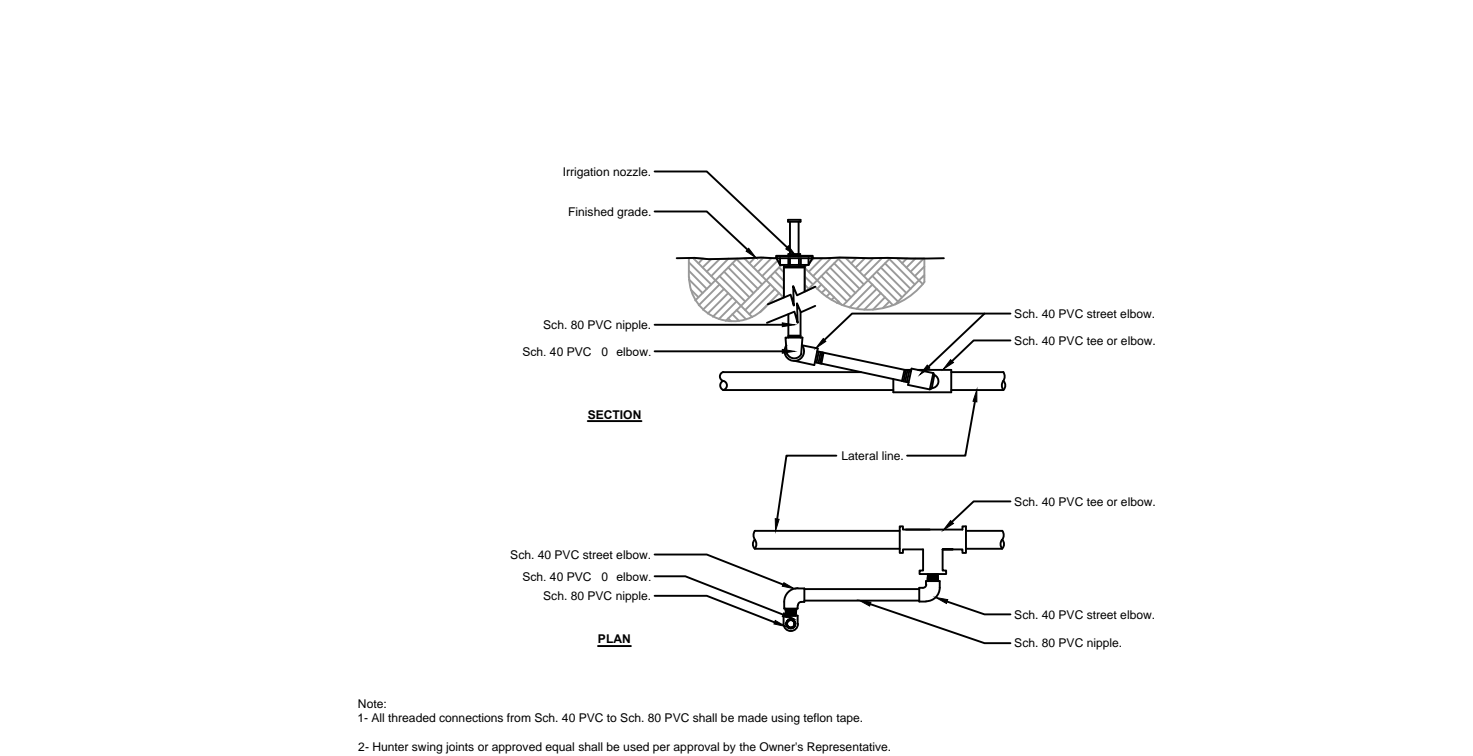
9 DRIP DETAIL SCALE: NONE



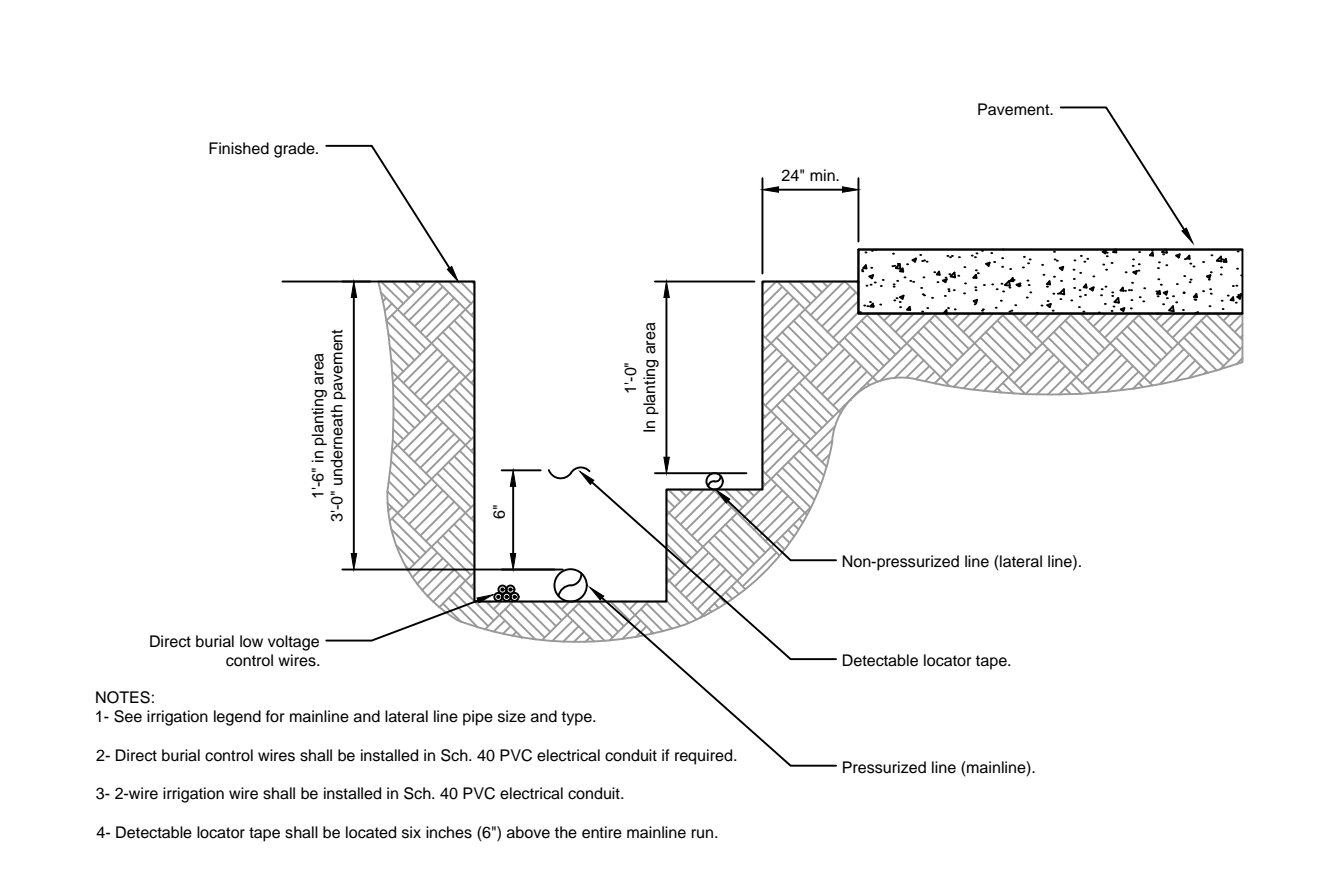
10 TREE PLANTING DETAIL SCALE: NONE



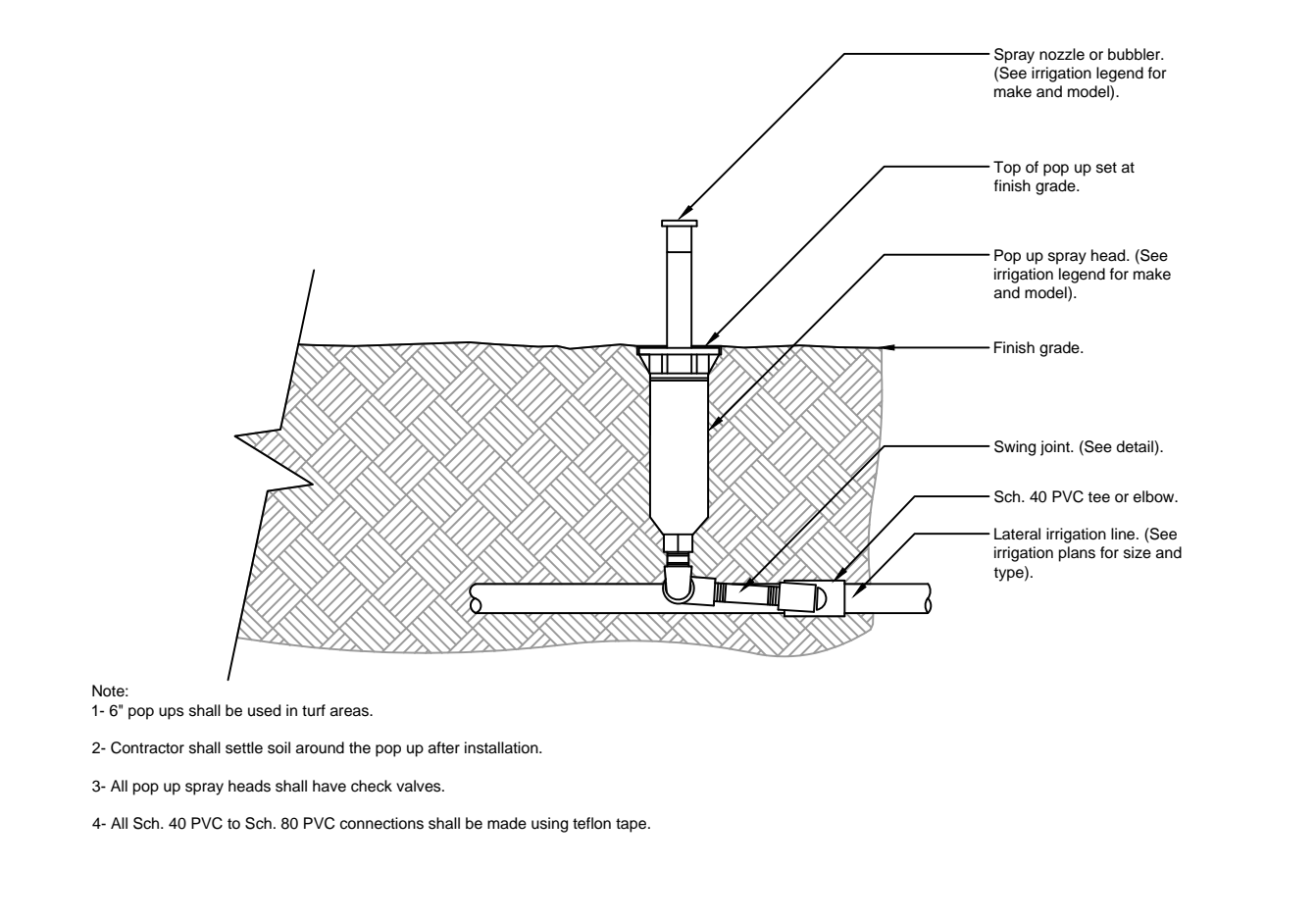
11 SHRUB PLANTING DETAIL SCALE: NONE



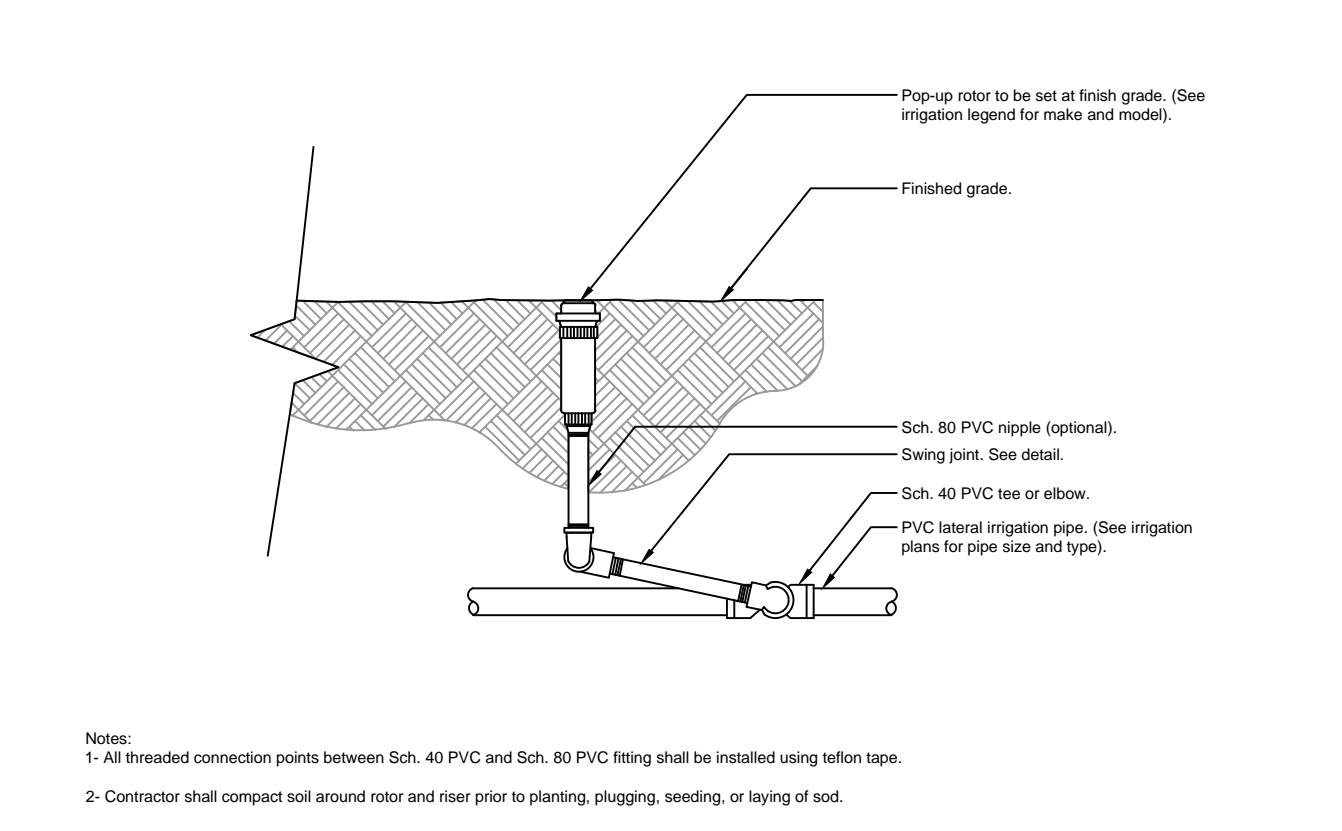
12 SWING JOINT SCALE: NONE



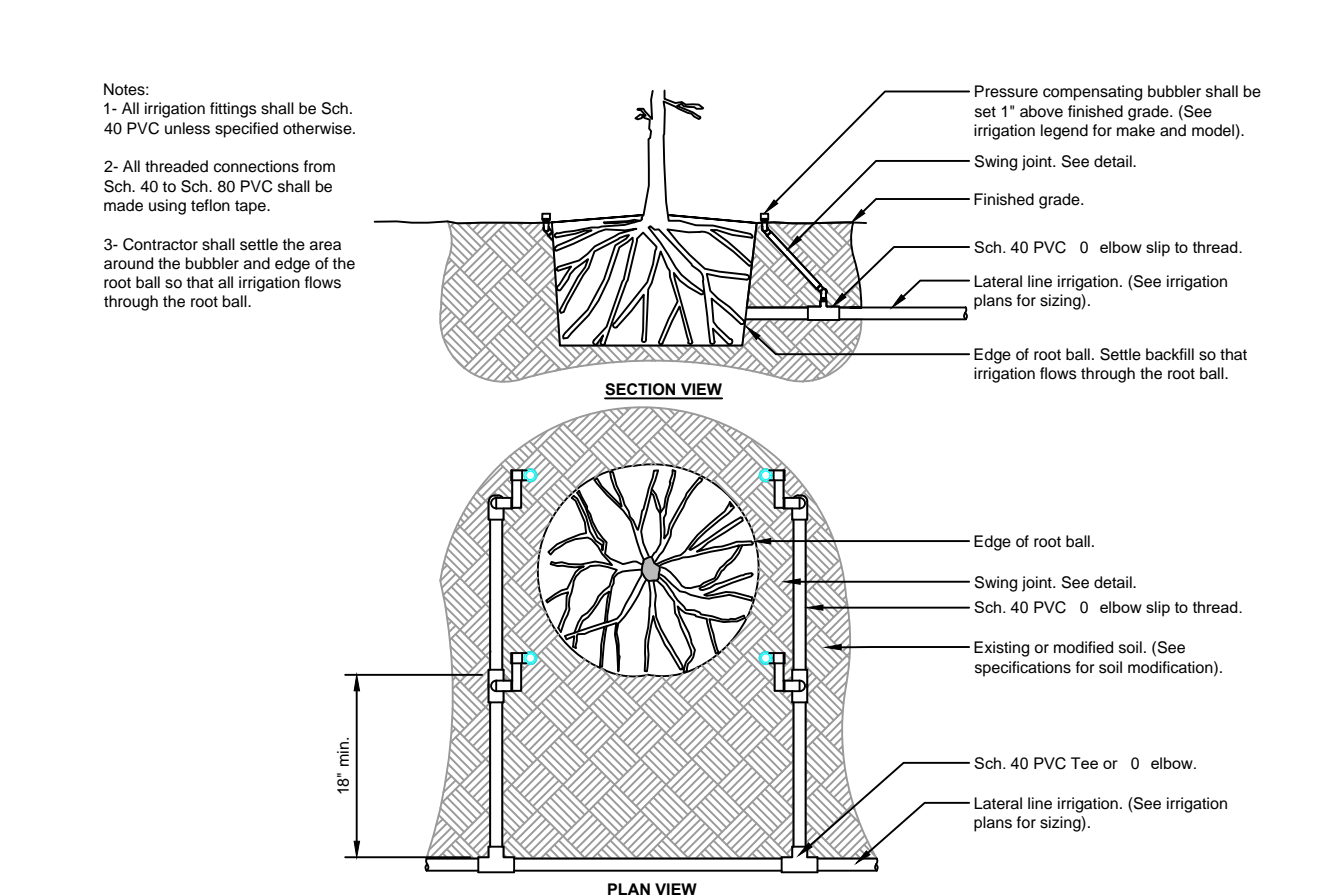
5 IRRIGATION TRENCHING SCALE: NONE



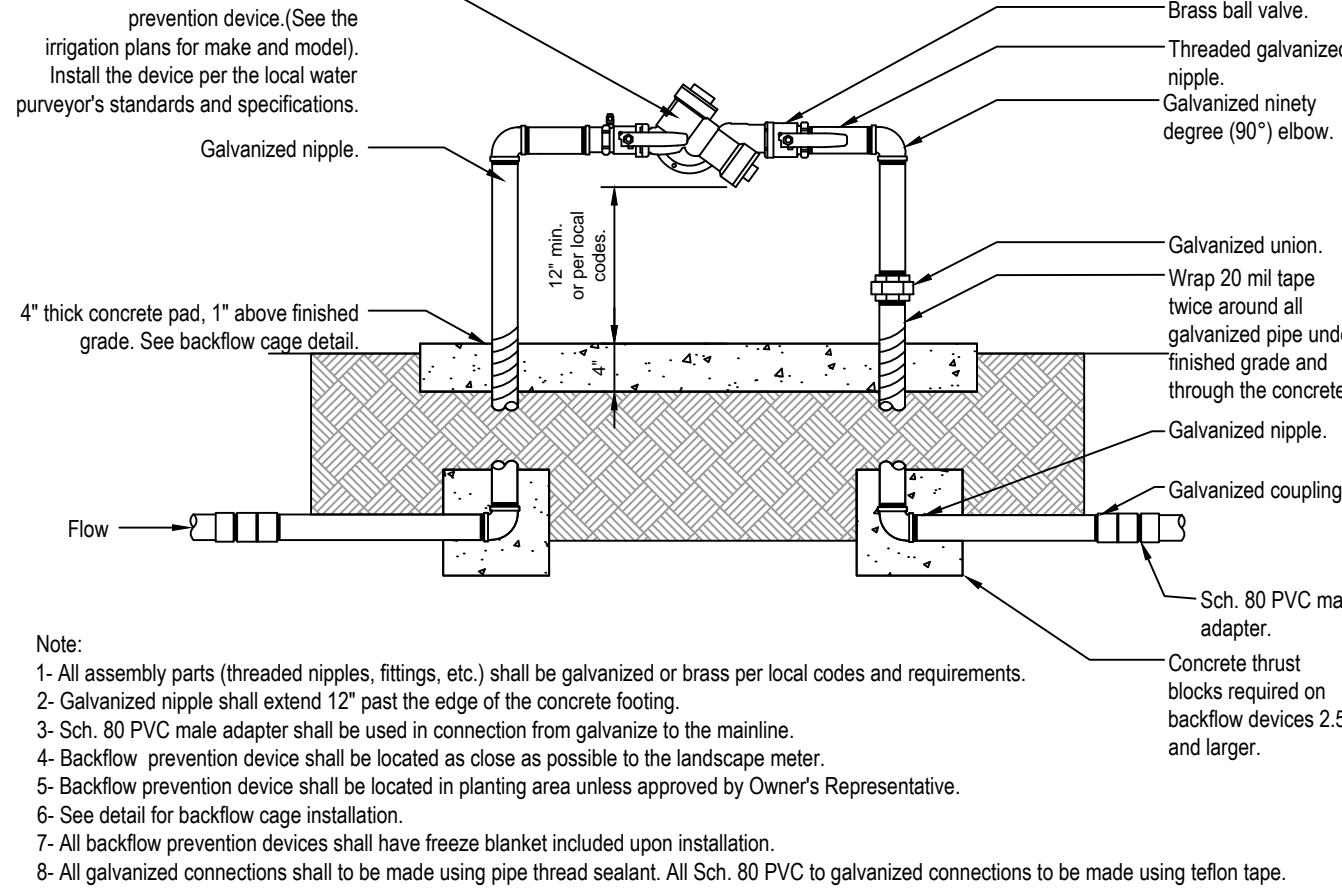
6 POP-UP SPRAY SPRINKLER SCALE: NONE



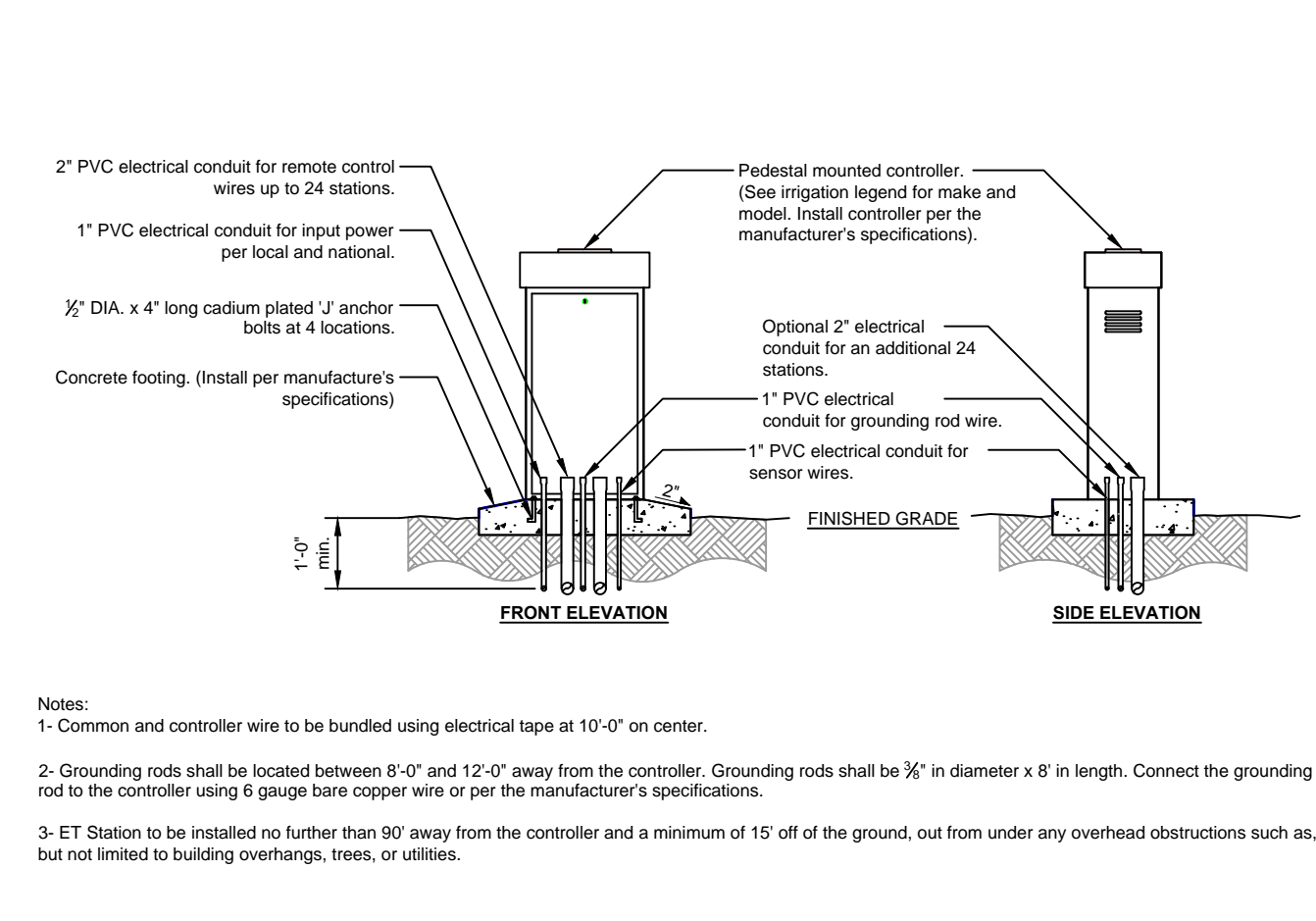
7 ROTOR POP-UP HEAD SCALE: NONE



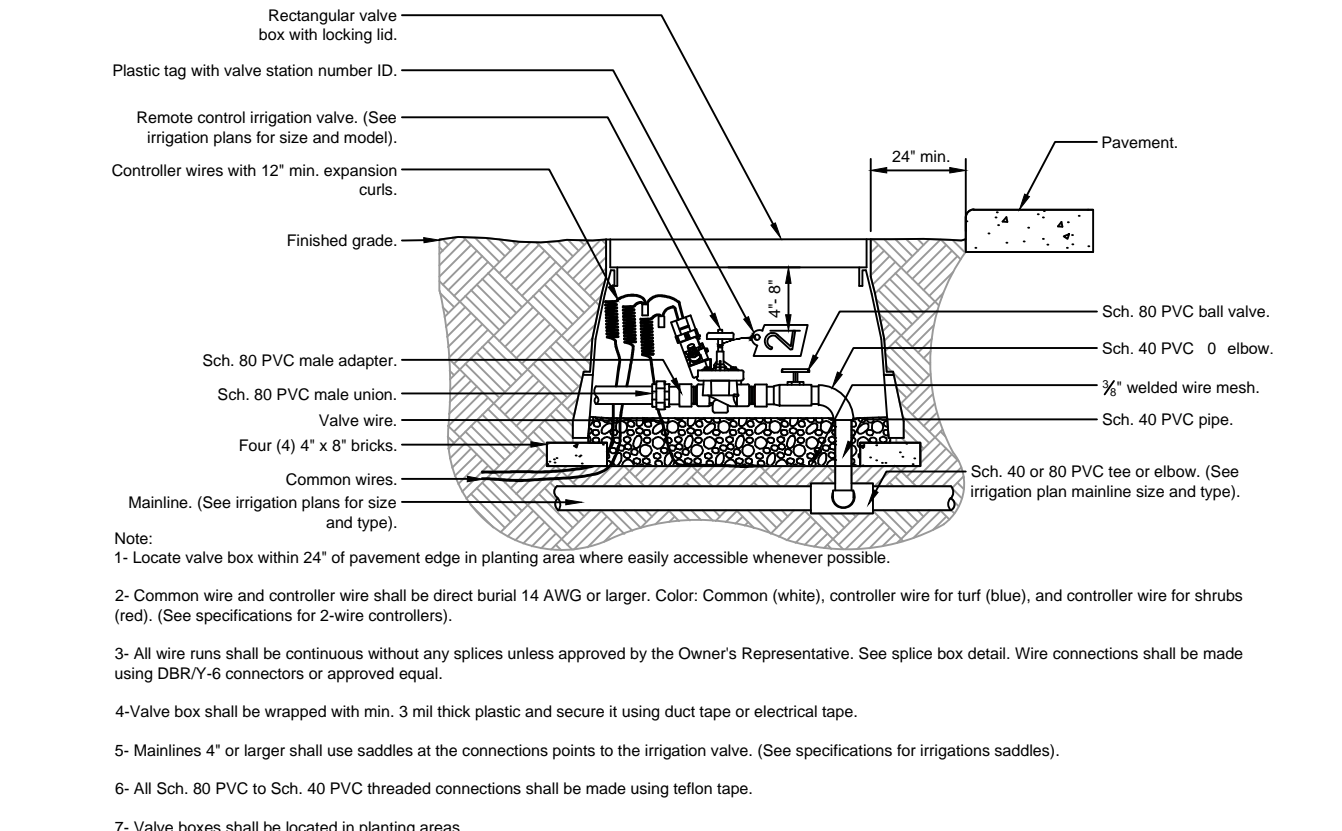
8 BUBBLER DETAIL SCALE: NONE



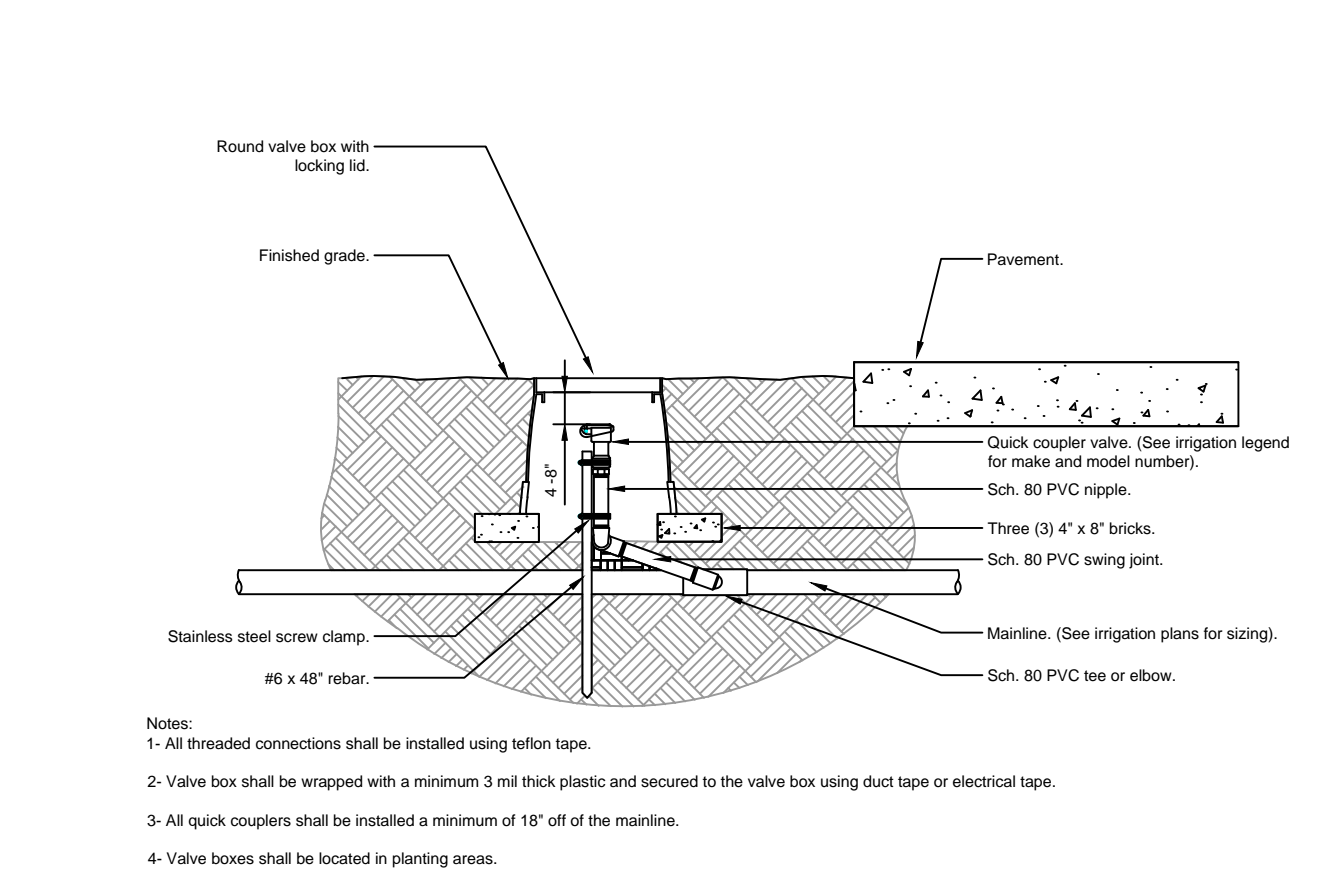
1 BACKFLOW PREVENTER SCALE: NONE



2 IRRIGATION CONTROLLER SCALE: NONE



3 CONTROL VALVE SCALE: NONE



4 QUICK-COUPLING VALVE SCALE: NONE

**ENSIGN**  
THE STANDARD IN ENGINEERING

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CONTACT:  
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PHONE: (801) 687-0000

**ALPINE FITNESS**

235 S. MAIN STREET  
ALPINE, UTAH 84004

NO. DATE: 10/20/2018 BY: [Signature]

11 1  
22  
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**LANDSCAPE AND IRRIGATION DETAILS**

PROJECT NUMBER: 9711 PRINT DATE: 8/13/20  
DRAWN BY: T. MAZEJY CHECKED BY: D. JENKINS  
PROJECT MANAGER: D. JENKINS

**L-200**



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ELECTRICAL SYMBOLS

SYMBOL	EXPLANATION	SYMBOL	EXPLANATION	SYMBOL	EXPLANATION
	BRANCH CIRCUIT CONCEALED IN CEILING OR WALL	F1	FIXTURE TYPE SYMBOL		TAMPER AND FLOW
	BRANCH CIRCUIT CONCEALED IN GROUND OR FLOOR		LINEAR FIXTURE (TYPICAL)		FIRE ALARM CONTROL PANEL
	BRANCH CIRCUIT HOMERUNS TO PANEL		EMERGENCY LIGHTING UNIT		REMOTE FIRE ALARM ANNUNCIATOR PANEL
	ROOM NUMBER		SURFACE OR PENDANT MOUNTED FIXTURE		FIRE ALARM NAC PANEL
	MECHANICAL EQUIPMENT SYMBOL		RECESSED FIXTURE		FIRE ALARM VOICE PANEL
	KEYED NOTE REFERENCE		WALL MOUNTED FIXTURE		DOOR HOLDER
	FEEDER TAG (SEE FEEDER SCHEDULE)		WALL PACK		FIRE/SMOKE DAMPER
	LIGHTING AND POWER PANELBOARD		STRIP FIXTURE		FIRE ALARM PULL STATION
	DISCONNECT SWITCH		TRACK LIGHTING		FIRE ALARM STROBE
	DISCONNECT SWITCH WITH MOTOR STARTER		EMERGENCY LIGHTING UNIT		FIRE ALARM HORN/STROBE
	MOTOR STARTER		WALL MOUNTED EXIT LIGHT (SINGLE FACE)		FIRE ALARM HORN/STROBE (LF = LOW FREQUENCY)
	VARIABLE FREQUENCY DRIVE		WALL MOUNTED EXIT LIGHT (DOUBLE FACE)		FIRE ALARM HORN/STROBE WITH PROTECTIVE COVER
C	CONDUIT STUB		CEILING MOUNTED EXIT LIGHT		FIRE ALARM SPEAKER/STROBE
J	JUNCTION BOX		CEILING MOUNTED EXIT LIGHT (DOUBLE FACE)		FIRE ALARM SPEAKER/STROBE (LF = LOW FREQUENCY)
	ELECTRIC VEHICLE CHARGING STATION		EXIT LIGHT WITH PROTECTIVE COVER		FIRE ALARM SPEAKER
 A-3 REF	PANEL SPACE ASSIGNMENT EQUIPMENT DESIGNATION	\$	SINGLE POLE SWITCH (SUBSCRIPT AS INDICATED BELOW)		FIRE ALARM SPEAKER (LF = LOW FREQUENCY)
		2	TWO POLE SWITCH		FIRE ALARM HORN
		3	3-WAY SWITCH		FIRE ALARM HORN (LF = LOW FREQUENCY)
WP	WEATHERPROOF COVER & LISTED WEATHER RESISTANT DEVICE	4	4-WAY SWITCH		
GFCI	PROTECTED BY FAULT CIRCUIT INTERRUPTER	D	DIMMER SWITCH		FIRE ALARM HORN (LF = LOW FREQUENCY)
+44	MOUNTING HEIGHT ABOVE FLOOR OR GRADE GIVEN IN INCHES.	K	KEYED SWITCH		
REF	REFRIGERATOR	T	TIMER SWITCH		FIRE ALARM STROBE CEILING MOUNTED
DW	DISHWASHER	M	MANUAL STARTER WITH THERMAL OVERLOAD		FIRE ALARM HORN/STROBE CEILING MOUNTED
DISP	DISPOSAL	F	PADDLE FAN SPEED CONTROL, (CANARM "CN" SERIES)		FIRE ALARM HORN/STROBE CEILING MOUNTED (LF = LOW FREQUENCY)
WASH	WASHING MACHINE	OC	OCCUPANCY SENSOR SWITCH		
EWC	ELECTRIC WATER COOLER	LV	LOW VOLTAGE CONTROL SWITCH		FIRE ALARM HORN CEILING MOUNTED
USB	HUBBELL USB1SAC5W OR EQUAL DUPLEX PLUS USB CHARGER	LV/D	LOW VOLTAGE CONTROL SWITCH WITH DIMMER		
TR	TAMPER RESISTANT	OC/D	OCCUPANCY SENSOR CONTROL SWITCH WITH DIMMER		
		OC/2	DUAL RELAY OCCUPANCY SENSOR CONTROL SWITCH		FIRE ALARM HORN CEILING MOUNTED (LF = LOW FREQUENCY)
	DUPLEX RECEPTACLE OUTLET				SMOKE DETECTOR (SUBSCRIPT AS INDICATED BELOW)
	QUAD RECEPTACLE OUTLET	\$	DOUBLE GANG SWITCH		SMOKE ALARM BATTERY-BACKED
	SPLIT WIRED DUPLEX RECEPTACLE OUTLET		LOW VOLTAGE MULTI BUTTON CONTROL SWITCH (LETTER INDICATES CONTROL OF CORRESPONDING FIXTURES)		SMOKE/CARBON MONOXIDE ALARM COMBO BATTERY-BACKED
	220V RECEPTACLE OUTLET		CONTROLLING SWITCH (LETTER INDICATES CONTROL OF CORRESPONDING FIXTURES)		DUCT SMOKE DETECTOR
	ISOLATED GROUND RECEPTACLE		OCCUPANCY SENSOR (CEILING MOUNTED)		SMOKE DETECTOR WITH ADDRESSABLE RELAY
			OCCUPANCY SENSOR (CEILING MOUNTED)		SMOKE DETECTOR WITH SOUNDER BASE
	RECEPTACLE FLOOR DEVICE		DUAL TECHNOLOGY OCCUPANCY SENSOR (CEILING MOUNTED)		HEAT DETECTOR
			PASSIVE INFRARED OCCUPANCY SENSOR (CEILING MOUNTED)		
	CEILING MOUNTED DEVICE		ROOM CONTROLLER		GAS DETECTOR
	SPECIAL RECEPTACLE		DAYLIGHT SENSOR		CARBON MONOXIDE DETECTOR
	MOTOR OUTLET		PHOTOCELL		CARBON MONOXIDE/NITROGEN DIOXIDE SENSOR (GARAGE)
	EXHAUST FAN		VOLUME CONTROL		ADA TWO-WAY COMMUNICATIONS SYSTEM
	THERMOSTAT OUTLET		WALL SPEAKER		ACCESS CONTROL KEY PAD
	REMOTE SENSOR OUTLET		CEILING SPEAKER		ACCESS CONTROL CARD READER
	TELEPHONE OUTLET		SURVEILLANCE CAMERA		ACCESS CONTROL DOOR STRIKE
	COMPUTER DATA OUTLET (#) INDICATES JACK QUANTITIES		SURVEILLANCE DIGITAL VIDEO RECORDER		ACCESS CONTROL MAG LOCK
	NETWORK AND VOICE OUTLET		SURVEILLANCE		ACCESS CONTROL DOOR SENSOR
	WIRELESS ACCESS POINT CEILING MOUNTED		NURSE CALL ANNUNCIATOR PANEL		ACCESS CONTROL REQUEST TO EXIT
	TELEVISION OUTLET		NURSE CALL EMERGENCY CALL DEVICE		PUSHBUTTON
			NURSE CALL EMERGENCY CALL LIGHT		BELL

NOTE: ALL SYMBOLS MAY NOT BE USED.

ABBREVIATIONS INDEX

#	NUMBER	DC	DIRECT CURRENT	KW	KILOWATT	PT	POTENTIAL TRANSFORMER
9	PHASE	DISP	DISPOSAL	LRA	LOCKED ROTOR AMPS	PV	PHOTOVOLTAIC
19	SINGLE PHASE	DRY	DRYER	LTC	LIGHTING	PVC	POLYVINYL CHLORIDE
2P	TWO-POLE	DW	DISHWASHER	MATV	MASTER ANTENNA TELEVISION	(R)	RELOCATE
39	THREE PHASE	DWG	DRAWING	MAX	MAXIMUM	RECP	RECEPTACLE
4P	FOUR-POLE	EC	EMPTY CONDUIT	MB	MAIN BUS	REF	REFRIGERATOR
AC	ALTERNATING CURRENT	EM	EMERGENCY	MCB	MAIN CIRCUIT BREAKER	REQ	REQUIRED
AFF	ABOVE FINISHED FLOOR	EMG	EMERGENCY GENERATOR	MCC	MOTOR CONTROL CENTER	RLA	RATED LOAD AMPS
AFC	ABOVE FINISHED GRADE	EMT	ELECTRICAL METALLIC TUBING	MCM	1000 CIRCULAR MILLS	RMS	ROOT MEAN SQUARE
AFP	ARC FAULT PROTECTOR	EPO	EMERGENCY POWER OFF	MH	MANHOLE	SE	SERVICE ENTRANCE
AHJ	AUTHORITY HAVING JURISDICTION	EWC	ELECTRIC WATER COOLER	MIC	MICROPHONE	SPD	SURGE PROTECTION DEVICE
AIC	AMP INTERRUPTING CURRENT (SYMMETRICAL)	EPH	ELECTRIC WATER HEATER	MIN	MINIMUM	SPEC	SPECIFICATION
AL	ALUMINUM	(E)	EXISTING	MLO	MAIN LUGS ONLY	SPK	SPEAKER
AM	AMPS METER	(F)	FUTURE	MNF	MANUFACTURER	SS	SELECTOR SWITCH
AMP	AMPERE	FA	FIRE ALARM	MTG	MOUNTING	SW	SWITCH
ANIN	ANNUNCIATOR	FACP	FIRE ALARM CONTROL PANEL	MTR	MOTOR	SWBD	SWITCHBOARD
ATS	AUTOMATIC TRANSFER SWITCH	FC	FOOT CANDLE	MW	MICROWAVE	SWGR	SWITCHGEAR
AUX	AUXILIARY	FLA	FULL LOAD AMPS	(N)	NEW	TTB	TELEPHONE TERMINAL BOARD
AWG	AMERICAN WIRE GAUGE	FT	FOOT	N/A	NOT APPLICABLE	TBC	TELEPHONE TERMINAL CABINET
BC	BARE COPPER	FRZ	FREEZER	NC	NORMALLY CLOSED	TV	TELEVISION
BFG	BELOW FINISH GRADE	FS	FUSED SWITCH	NEC	NATIONAL ELECTRICAL CODE	TYP	TYPICAL
C	CONDUIT	GFAF	DUAL FUNCTION GFCI/AFCI CIRCUIT BREAKER	NEMA	NATIONAL MANUFACTURING ASSOCIATION	UG	UNDERGROUND
CAB	CABINET	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	NFC	NATIONAL FIRE CODE	UNO	UNLESS NOTED OTHERWISE
CATB	COMMUNITY ANTENNA TELEVISION	GFEP	GROUND-FAULT EQUIPMENT PROTECTION	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	UPS	UNINTERRUPTIBLE POWER SUPPLY
CATV	CABLE TELEVISION	GFP	GROUND FAULT PROTECTOR	NFS	NON FUSED SWITCH	V	VOLT (KV-KILOVOLT)
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTALLED	GRC	GALVANIZED RIGID CONDUIT	NIC	NOT IN CONTRACT	VA/R	VOLT-AMPS/REACTIVE
CKT	CIRCUIT	GRD	GROUND	NL	NIGHT LIGHT	VM	VOLT METER
CLG	CEILING	HP	HORSE POWER	NO	NORMALLY OPEN	W	WATTS
CNTR	CONTRACTOR	HZ	HERTZ	NTS	NOT TO SCALE	W/	WITH
CO	CONVENIENCE OUTLET	IG	ISOLATED GROUND	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED	WASH	WASHER
CRT	COMPUTER TERMINAL	IMC	INTERMEDIATE METALLIC CONDUIT	OFOI	OWNER FURNISHED OWNER INSTALLED	WH	WATTHOUR
CT	CURRENT TRANSFORMER	IN	INCH	OS&Y	OUTSIDE SCREW AND YOKE	W/O	WITHOUT
CU	COPPER	J-BOX	JUNCTION BOX	PB	PUSH BUTTON	WP	WEATHER PROOF
C/W	CONDUIT WITH	KV	KILOVOLT	PF	POWER FACTOR	XFMR	TRANSFORMER
(D)	DEMOLISH/DELETE	KVA	KILOVOLT AMPERES	PFR	PHASE FAILURE RELAY	XFMR-SW	TRANSFORMER SWITCH
DB	DECIBEL	KVAR	KILOVAR	PNL	PANEL	XP	EXPLOSION PROOF

NOTE: THIS IS A TYPICAL ABBREVIATION LIST. NOT ALL ABBREVIATIONS MAY BE USED ON THIS PROJECT.

DESIGN CONTACTS

ELECTRICAL ENGINEER:	RYAN BEAGLES
ELECTRICAL TEAM LEAD:	MANUEL MASBERNAT
ELECTRICAL DESIGNER:	CHASE CHRISTENSEN

SHEET INDEX

SHEET NUMBER	SHEET TITLE
E0.0	ELECTRICAL COVERSHEET
E1.1	SITE PHOTOMETRIC PLAN
E6.1	ELECTRICAL SCHEDULES AND DETAILS

ROYAL ENGINEERING

MECHANICAL  
ELECTRICAL  
1837 S. EAST BAY BLVD.  
PHONE: 801.375.2276  
FAX: 801.375.2976

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8/3/20

REVISIONS:

FITNESS CENTER

ALPINE, UTAH

DRAWING TITLE:  
ELECTRICAL COVERSHEET

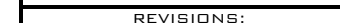
DRAWN BY: CC  
CHECKED BY: RB

DATE PLOTTED:  
07/28/2020

PROJECT #:  
J20230

E0.0





DRAWING TITLE:  
SITE  
PHOTOMETRIC

DATE PLOTTED:  
07/28/2020

PROJECT #:	J20230
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# SITE PHOTOMETRIC PLAN

SCALE: 1" = 10'-0"







# Alpine Fitness

## Alpine, UT

**Sales Contact:**  
Chris Simondini

**Date:** 10-05-2020

**Version:** 2.01

**Scale:** 1/16" = 1'-0"

**DISCLAIMER:**

THIS FLOORPLAN IS PROVIDED FOR GENERAL VISUAL REFERENCE ONLY. ANY DIMENSIONS USED TO CREATE THESE DRAWINGS SHOULD BE VERIFIED BY THE OWNERS OF THE FACILITY, CONTRACTORS AND/OR THEIR AGENTS. THESE DRAWINGS ARE NOT DESIGNED TO BUILD FROM AND SHALL NOT BE USED AS BUILDING DOCUMENTS BY ANY PARTIES. LIFE FITNESS MAKES NO REPRESENTATION OR WARRANTY THAT THE FLOORPLAN COMPLIES WITH ANY APPLICABLE LAW, CODES, RULE OR REGULATION OR ANY INDUSTRY OR SAFETY STANDARD OR REQUIREMENT, INCLUDING ASTM OR EUROPEAN STANDARD SPACING RECOMMENDATIONS FOR ACCESS, PASSAGE AROUND, OR EMERGENCY EGRESS. COMPLIANCE WITH INDUSTRY STANDARDS, APPLICABLE LAW, CODES, RULE OR REGULATION REGARDING PLACEMENT OF AND CLEARANCE OF EQUIPMENT AND ASSOCIATED ITEMS IS BY OWNER AND LIFE FITNESS DISCLAIMS ALL RESPONSIBILITY WITH RESPECT THERETO.

**ADDITIONAL NOTES:**  
FLOOR PLAN DIMENSIONS ARE BASED ON INFORMATION PROVIDED BY FACILITY OWNER OR ITS REPRESENTATIVES AND SHOULD BE VERIFIED IN THE FIELD.

**Electrical Legend:**

-  STANDARD RECEPTACLE
-  DEDICATED RECEPTACLE
-  WIFI / WIRED INTERNET
-  TV CONNECTION

CONSULT A QUALIFIED ELECTRICAL PROFESSIONAL TO DETERMINE POWER REQUIREMENTS AND PLACEMENT.

POWER, DATA, AND TV REQUIREMENTS VARY BASED ON OPTIONS SELECTED.

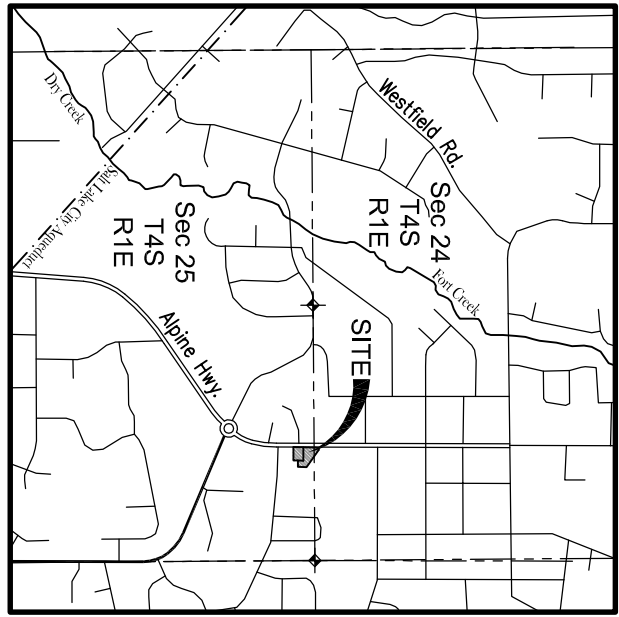
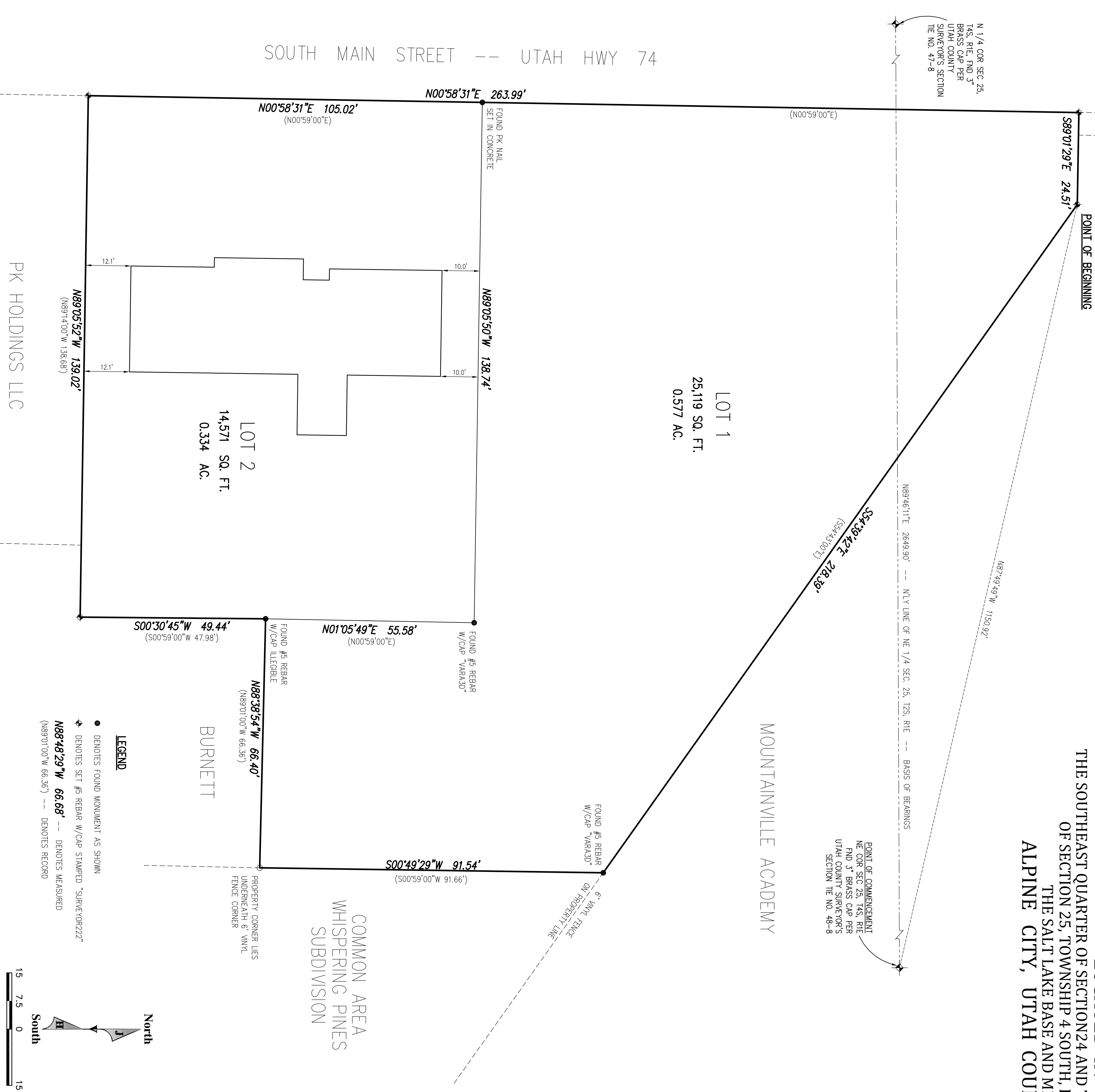


0 3 5 10 ft



DRY CREEK SOUTHEAST PLAT "B"  
VACATING LOTS 1 AND 2, DRY CREEK SOUTHEAST PLAT "A"

LOCATED IN  
THE SOUTHEAST QUARTER OF SECTION 24 AND THE NORTHEAST QUARTER  
OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST OF  
THE SALT LAKE BASE AND MERIDIAN  
ALPINE CITY, UTAH COUNTY, UTAH



VICINITY MAP  
SCALE: 1" = 2000'

<b>SURVEYOR'S CERTIFICATE</b>  I, JAMES V. HEINRITZ, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HAVE BEEN LICENSED BY THE UTAH DEPARTMENT OF HERITAGE AND ARTS, DIVISION OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS, LICENSE NO. 11072412-2201. I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT EVERY EXISTING RIGHT-OF-WAY AND EASEMENT GRANT-OF-RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN UTAH CODE SECTION 17-23-17, HAVE BEEN LOCATED AND SHOWN ON THIS PLAT. THIS PLAT, A MAP OF THE SURVEY I HAVE COMPLETED WITH THE UTAH COUNTY SURVEYOR.				
<b>OWNERS' DEDICATION</b>  KNOW ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HERE AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS, AND HAVE CAUSED THE STREETS AND EASEMENTS TO BE LOCATED AND SHOWN ON THIS PLAT. WE HEREBY INDICATE OUR INTENT TO DEDICATE THE STREETS AND EASEMENTS TO THE PUBLIC, IN WITNESS WHEREOF WE HAVE HEREIN SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.				
<b>ACKNOWLEDGEMENT</b>  STATE OF UTAH   COUNTY OF UTAH   S.S.  ON THE _____ DAY OF _____, 20____, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.  WITNESS MY HAND AND OFFICIAL SEAL.  NOTARY PUBLIC FULL NAME: _____ COMMISSION NUMBER: _____ MY COMMISSION EXPIRES: _____  A NOTARY PUBLIC COMMISSIONED IN UTAH				
<b>APPROVAL BY LEGISLATIVE BODY</b>  THE CITY COUNCIL OF THE CITY OF ALPINE, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.  THIS _____ DAY OF _____, A.D. 20____.  _____ _____ _____ ENGINEER ATTEST CITY RECORDER (SEE SEAL BELOW)				
<b>PLANNING DIRECTOR</b>  APPROVED BY THE PLANNING DIRECTOR ON THIS _____ DAY OF _____, A.D. 20____.  _____ CHAIRMAN, PLANNING COMMISSION				
<b>ALPINE CITY ATTORNEY</b>  APPROVED AS TO FORM _____ DAY OF _____, A.D. 20____.  _____ ALPINE CITY ATTORNEY				
<b>BOUNDARY DESCRIPTION</b>  A PORTION OF LOT 1 AND LOT 2, PLAT "A", DRY CREEK SOUTHEAST SUBDIVISION, ALPINE, UTAH, LOCATED IN THE SOUTHEAST QUARTER OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, BOTH IN TOWNSHIP 4 SOUTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 25, THENCE THE NORTH QUARTER CORNER OF SAID SECTION 25, BEING NORTH 89°05'52" WEST A DISTANCE OF 264.90 FEET; THENCE NORTH 89°05'52" WEST A DISTANCE OF 264.90 FEET; THENCE SOUTH 00°49'29" WEST ALONG SAID WESTERLY LINE A DISTANCE OF 91.54 FEET;  THENCE NORTH 88°38'54" WEST A DISTANCE OF 66.40 FEET; THENCE SOUTH 00°30'45" WEST A DISTANCE OF 49.44 FEET; THENCE NORTH 89°05'52" WEST A DISTANCE OF 139.02 FEET TO THE EASTERLY LINE OF SOUTH MAIN STREET;  THENCE NORTH 00°58'31" EAST ALONG SAID EASTERLY LINE OF SOUTH MAIN STREET A DISTANCE OF 283.39 FEET; THENCE SOUTH 69°07'29" EAST A DISTANCE OF 24.51 FEET TO THE POINT OF BEGINNING.  THENCE SOUTH 54°39'42" EAST A DISTANCE OF 218.39 FEET TO THE WESTERLY LINE OF WHISPERING PINES SUBDIVISION; THENCE SOUTH 00°49'29" WEST ALONG SAID WESTERLY LINE A DISTANCE OF 91.54 FEET;  THENCE NORTH 88°38'54" WEST A DISTANCE OF 66.40 FEET; THENCE SOUTH 00°30'45" WEST A DISTANCE OF 49.44 FEET; THENCE NORTH 89°05'52" WEST A DISTANCE OF 139.02 FEET TO THE EASTERLY LINE OF SOUTH MAIN STREET;  THENCE NORTH 00°58'31" EAST ALONG SAID EASTERLY LINE OF SOUTH MAIN STREET A DISTANCE OF 283.39 FEET; THENCE SOUTH 69°07'29" EAST A DISTANCE OF 24.51 FEET TO THE POINT OF BEGINNING.  CONTAINING 39,690 SQUARE FEET OR 0.911 ACRES.				
<b>PLAT VACATION NOTICE</b>  THE CITY OF ALPINE IS SATISFIED THAT NEITHER THE PUBLIC NOR ANY PERSON WILL BE MATERIALLY INJURED BY THE VACATION OF LOTS 1 AND 2 OF DRY CREEK SOUTHEAST PLAT "A" AND THERE IS 6000 OAK TREES FOR THE PLAYERS AND 2 OAK TREES FOR THE SOUTHEAST PLAT "A" ARE HEREBY VACATED.				
<b>BASIS OF BEARINGS</b>  THE BASIS OF BEARINGS IS THE LINE BETWEEN THE NORTHEAST CORNER OF SECTION 23 AND THE SOUTH QUARTER CORNER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN. A 3 INCH BRASS CAP AT BOTH CORNERS, SAID LINE BEARS N89°55'31"E A DISTANCE OF 2655.21 FEET.				
<b>ADDRESS TABLE</b>  LOT 1 --- 235 SOUTH MAIN STREET LOT 2 --- 235 SOUTH MAIN STREET				
<b>SURVEYOR222</b> 417 E Pioneer Ave Sandy, UT 84070 Phone: 385-254-3397 James V. Heinrich P.L.S. #11072412-2201				
THE SOUTHEAST QUARTER OF SECTION 24 AND THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 4 SOUTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN ALPINE CITY, UTAH COUNTY, UTAH LOCATED IN DRY CREEK SOUTHEAST PLAT "B" VACATING LOTS 1 AND 2, "A" DRY CREEK SOUTHEAST PLAT "A"				
SUPERIOR OF RECORD				
CITY ENGINEER'S SEAL				
CLERK/RECORDER SEAL				
NOTARY PUBLIC SEAL				



Kimberly Bryant  
Lon Lott

**B. Setback Exception Request – 235 S. Main – Paul Anderson**

Austin Roy said Paul Anderson had requested an exception to the setback requirements for his property located at 235 S. Main Street in the business commercial zone. The setback back requirements for the BC zone were 30-ft front in the front and 20-feet on the sides unless recommended otherwise. Article 3.11.040.3.e allowed setback exceptions in the BC zone provided the Planning Commission recommended it and the City Council approved it. Mr. Anderson had requested a front setback of 15 feet and a side setback of 0 feet, which the Planning Commission denied based on the trail which was shown along the north side of his property next to Dry Creek. The concern was that there wouldn't be enough room for the trail which would connect to the Montdella Senior Living development on the west end and eventually to Creekside Park on the east end.

Mr. Anderson said he had met with Mountainville Academy who owned the property to the north and a portion of the land on which the trail would run. The school was interested in seeing the property next to them cleaned up and had agreed to expand the trail easement on their property to help accommodate the trail. Mr. Anderson increased his share of the easement by reducing the request for a side-yard setback exception from zero feet to two feet.

Mayor Stout asked how close it would be to the edge of the Dry Creek streambed, and if erosion was going to be a concern. Austin Roy said there were about 20 feet between the edge of the Anderson property and the drop-off into the streambed.

Paul Anderson said he'd done a lot of work on the property to clean it up. He'd taken out about 21 junk trees and removed five dams across Dry Creek caused by fallen trees and debris. Plus, he cleaned up the garbage on the lot. He said the school said they would much prefer to see a nice medical building on that lot. He noted that the State Farm Insurance Building on the other side of Main Street was set back 15 feet from the front property line.

There was a question about a small triangular piece of land next to Main Street that was owned by UDOT. Shane Sorensen said it was to have been transferred to Alpine City when Alpine took over maintenance of Main Street and that needed to be done. It shouldn't be a problem.

Jason Thelin asked if there would need to be a retaining wall on the property line. Shane Sorensen said there would probably not be a need for a wall because it was relatively flat. The parking lot next to residents would need some kind of screening or a fence.

**MOTION:** Jason Thelin moved to approve a 15-ft setback off Main Street and a 2-ft setback on the north property line for Paul Anderson for the property at 235 S. Main Street. Carla Merrill seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Jason Thelin	none
Carla Merrill	
Kimberly Bryant	
Lon Lott	

**C. Commercial Structure – Alpine Animal Hospital, 424 S. Alpine Highway – Dr. Michael Kendig.**

Austin Roy said the owners of the animal hospital at 424 S. Alpine Highway were proposing to put up new siding on the existing building and put hardiboard on the gable. Since the business was located in the Gateway zone, the City Council had to approve the architectural changes. Dr. Kendig provided samples of the materials. The roof and the brick were not being changed, just the siding and the gable. The Planning Commission had recommended that the door be painted the same color as the gable, and recommended approval

**MOTION:** Lon Lott moved to approve the proposed remodel of the Alpine Animal Hospital and require the door to be painted the same color as the gable. Carla Merrill seconded. Ayes: 4 Nays: 0. Motion passed.



<u>Ayes</u>	<u>Nays</u>
Ramon Beck	none
Carla Merrill	
Kimberly Bryant	
Lon Lott	

#### **B. Land Swap and Parking Exception, 235 S. Main – Paul Anderson**

Austin Roy said Mr. Anderson had previously asked for front and side-yard setback exceptions at the meeting of August 13, 2019, which were approved. He was now coming to the City with a proposed land swap. Alpine City owned a small triangular piece of ground along Main Street which was left over when the bridge was built. Mr. Anderson would give the City a strip of land along Main Street which would enable the City to access their property without crossing private property. The two pieces of ground were each 234.23 square feet.

Mr. Anderson's second request was to allow parking in the setback. He'd already been granted a front setback exception of 15 feet for his building. He requested the same 15-foot exception to the setback for the parking, which would bring the parking in line with the building.

Carla Merrill said she didn't like always approving exceptions to the setback requirements. A committee had sat down and devised the setback requirements and they had a reason for them. She said she was okay with the land swap but not the parking exception.

After more discussion, a motion was made.

**MOTION:** Ramon Beck moved to approve the land swap with Paul Anderson at 234 S. Main, and clarify that the setback exception approved for the building also approved a setback of 15 feet for the parking. Lon Lott seconded. Ayes: 3 Nays: 1. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	Carla Merrill
Kimberly Bryant	
Lon Lott	

#### **C. Appointment of Administrative Law Judge**

Shane Sorensen said that several months ago the City had changed some ordinances that provided for code violations to be handled by a City appointed administrative law judge rather than going through the court system. Angela Adams was an attorney who lived in Alpine and said she would be willing to serve as the administrative law judge on a volunteer basis or ad hoc public service.

David Church said this method of handling code violations was friendlier and more effective than hiring attorneys and going to court. In the past, a code violation was deemed a criminal offense and was sent to the court which, became an expensive, drawn-out way of trying to solve the problem. Many cities were going to this system which still gave the offender due process but in friendlier climate. He said there could be more than one judge. Phil Barker had handled appeals for the City in the past.

**MOTION:** Kimberly Bryant moved to appoint Angela Adams as the Alpine City Administrative Law Judge. Ramon Beck seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	None
Carla Merrill	
Kimberly Bryant	
Lon Lott	



Mayor Troy Stout said Highland City and Alpine City would each have two members sitting on the Lone Peak PSD Board. A fifth, alternate member would also be appointed to the Board from either Alpine or Highland. The cities would rotate each year in selecting the alternate. The alternate would serve as the chair of the Board and would vote in the event of a tie. Highland's alternate would serve for 2020. Alpine's alternate would serve for 2021. Mayor Stout nominated Lon Lott to be Alpine City's alternate representative to the Lone Peak Public Safety District Board.

**MOTION:** Jason Thelin moved to approve the appointment of Lon Lott as an alternate representative to the Lone Peak Public Safety District Board. Greg Gordon seconded. Ayes: 4 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Lon Lott	None
Greg Gordon	
Jason Thelin	
Jessica Smuin	

#### **D. Powerlines on Main Street**

Austin Roy made a presentation for a proposal from Paul Anderson at 235 South Main Street to remove three poles and overhead power lines on Paul Anderson's property and the Montdella Townhomes across the street from his property which was located just south of Mountainville Academy and the bridge that crosses Dry Creek. The existing cables from the powerlines intruded into Paul Anderson's building footprint. He had two options:

1. Paul Anderson would bear the cost of removing the existing powerlines, boring and running newlines under Main Street with the cooperation of Alan Cottle (owner of the other property with a power pole, Montdella Townhomes); in exchange the City would convey the land (approximately 430 square feet) where the pole on the east side of Main Street currently stands on Paul Anderson's side of Main Street.
2. The existing pole would be replaced with a metal pole and the powerlines would continue to run over Main Street.

Shane Sorensen said no street cuts would need to be made, just boring under the road, Paul Anderson would maintain the park strip. The Planning Commission wanted to make sure there was access for a trail at Dry Creek in the future. As part of this proposal there needed to be a land swap completed, which should take place July 1, 2020. Mayor Troy Stout asked about possible power outages, Shane Sorensen said the electric company preferred overhead lines because they were easier to access, but all new developments had underground power lines. Chief Reed Thompson said sometimes fires happened when overhead lines sparked. Weather, wind and vehicle collision could bring down overhead lines. The Fire Department would prefer the powerlines underground.

David Church said there was no need to have anyone move the powerline, but Paul Anderson wanted the trade because it benefitted him and would improve his development. He said it would not be a bad thing for the city because they still got another easement for a future trail. This would not harm or benefit the trail with or without the power pole.

Austin Roy said the land swap would not affect having a trail in the future.

Jason Thelin asked for clarification on the map, which Shane Sorensen provided. The estimated cost for the underground powerlines was \$41,000. Shane Sorensen said staff recommended approval of the exchange. Shane Sorensen said the streetlight would be removed, but there would be one added later to the Montdella property.

**MOTION:** Lon Lott moved to approve the proposed 430 square foot exchange as per the maps provided in the packets with the following conditions and subject to state approval.

1. Paul Anderson at his own expenses will cover the cost of the underground powerlines and optic lines on Main Street;
2. There will be no street cuts;
3. The underground bores will be done by a licensed, bonded contractor in compliance with Alpine City standards;

Greg Gordon seconded. Ayes: 4 Nays: 0. Motion passed.



Ayes  
 Lon Lott  
 Greg Gordon  
 Jason Thelin  
 Jessica Smuin

Nays  
 None

### **E. The Ridge at Alpine, Phase 3 – Final Approval**

Austin Roy explained The Ridge at Alpine development consisted of 72 lots on 189.5 acres. Phase 3 had 9 lots on 6.26 acres. The development was in the CR 40,000 zone, west of the Alpine Cove subdivision and northeast of Heritage Hills Plat A. The attached map showed Phase 3 and how it correlated to the rest of the development. The Ridge at Alpine was approved as a Planned Residential Development (PRD). Phase 2 of The Ridge at Alpine was approved by the City Council on August 13, 2019 and Phase 1 on October 23, 2018. Trails, open space, and conservation easement were approved with the Phase 1 Plat. The applicant was seeking approval of Phase 3 of The Ridge at Alpine Subdivision. The Planning Commission reviewed Phase 3 at the May 5, 2020 meeting and recommends approval with the following conditions.

**The Planning Commission** recommended The Ridge at Alpine Phase 3 be approved with the following conditions:

- Phase 3 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council.
- The Developer provide a temporary turn-a-round at the end of Zachary Way that meets City Specifications.
- The Developer provide access and maintenance easements for all offsite infrastructure to be recorded with Phase 3.
- The Developer either remove existing buildings or provide a bond for the removal of them prior to recording the plat.
- The Developer address redlines on the plat and plans.
- The Developer submit a cost estimate.
- The Developer meet the water policy.

Austin Roy said the developer was currently undetermined on how many phases The Ridge at Alpine would have because they were only building homes as lot were sold. Austin Roy said on the original concept for The Ridge at Alpine there were five phases. Shane Sorensen said Elkridge would be connected to Grove Drive early this fall. The city had the money for the road improvements which came from the developer. Shane Sorensen also said that all trails would need to be finished before Phase 3 could be recorded with the county. Paul Kroff told the city that the trails would be finished by the end of May 2020. Shane Sorensen reminded Council members that they would be voting on the following plat amendments at the Ridge at Alpine Phase 3:

Upgrade of booster pump, parking lot phase, off site storm water controls and construction on Ridge trail. Developer make a turn a round at the end of Zachary way following specification from the city. The developer provides easements and remove existing buildings or provide a bond for the removal.

**MOTION:** Lon Lott Moved to recommend that the plat amendment, the Ridge at Alpine Phase 3 be approved with the following conditions:

1. Phase 3 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council.
2. The Developer provide a temporary turn-a-round at the end of Zachary Way that meets City Specifications.
3. The Developer provide access and maintenance easements for all offsite infrastructure to be recorded with Phase 3.
4. The Developer either remove existing buildings or provide a bond for the removal of them prior to recording the plat.
5. The Developer address redlines on the plat and plans.
6. The Developer submit a cost estimate.
7. The Developer meet the water policy.
8. Upgrade booster pump
9. Finish Parking lot



# ALPINE FITNESS

235 S. MAIN STREET  
ALPINE, UTAH 84004

PREPARED FOR:

**ALPINE FITNESS**

75 W. MAIN STREET, CT #100  
ALPINE, UT 84004

PREPARED BY:

**ENSIGN ENGINEERING**

THOMAS MAZEJY, P.E.  
45 WEST 10000 SOUTH #500  
SANDY, UT 84070  
(801) 255-0529



JUNE 4, 2020



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## 1.0 PROJECT OVERVIEW

The Alpine Physical Therapy project is a proposed commercial development located in Alpine, Utah, in the southeast quarter of Section 24 and the northeast quarter of Section 25, Township 4 south, Range 1 east, Salt Lake Base and Meridian, Utah County, Utah. The site is bounded by Main Street to the West, residential property to the south and east, and Dry Creek to the north. The project storm runoff will be discharged into Dry Creek.

## 2.0 EXISTING DRAINAGE CONDITIONS

The Alpine Physical Therapy project is located on property containing 0.58 acres of land that is mostly undeveloped except for a garage on the east side of the lot. The existing site is composed primarily of compacted soils and vegetation and generally slopes from southeast to northwest with slopes ranging from about 0.00% to 5.00%. Native soils in the drainage catchment fall into Hydrologic Soil Group C which can be described as follows:

Group C – Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

## 3.0 DESIGN OBJECTIVES AND METHODOLOGY

The site drainage system will be designed to meet the requirements of Alpine City. This report will address the sizing of the underground piping system to convey runoff from a 10-year storm event as well as safely routing the 100-year storm through the site. Storm and Sanitary Analysis 2019, Autodesk was used to model both hydrology and hydraulics for the project using the SCS TR-55 unit hydrograph method for routing the 24-hour storm distribution. The project has been modeled as two separate drainage catchments with respective design points for analysis. Each catchment was assigned a runoff curve number based on the anticipated hardscape expected to be created by the construction of buildings, parking areas, etc. The coefficients used were analyzed appropriate for the area of this study. Hardscape areas were assigned a curve number of 98 and landscape areas a curve number of 74. See Table 3-1 for weighted curve numbers for each catchment.

**TABLE 3-1 DRAINAGE CATCHMENT WEIGHTED CURVE NUMBERS**

Basin ID	Landscape Area (sq. ft.)	Curve Number	Hardscape Area (sq. ft.)	Curve Number	Total Area (sq. ft.)	Weighted Curve Number
Sub-01	1982	74	10886	98	12868	94
Sub-02	1863	74	10397	98	12260	94

Sub-01 Weighted Curve Number Calculation Example

$$\begin{aligned}
 CN &= \frac{(\text{landscape area} \times \text{landscape CN} + \text{hardscape area} \times \text{hardscape CN})}{(\text{total area})} \\
 &= \frac{(1982 \times 74 + 10886 \times 98)}{12868} = 94
 \end{aligned}$$

Pipes were modeled using a Manning roughness coefficient of 0.011.



Design criteria include the following:

- The 10-year storm event was used to size all underground conveyance systems.
- Surface systems are planned to safely pass the 100-year storm event.
- The 100-year storm event was used to determine required storage capacity of detention system

A 100-year cumulative rainfall of 3.40-inches was used in the model. A 10-year cumulative rainfall of 2.37-inches was used in the model. (Rainfall data obtained from Alpine City Storm Water Drainage Manual).

## 4.0 PROPOSED DRAINAGE MODEL

The proposed site is designed to direct runoff from paved and landscaped areas into one of two proposed catch basins in the parking area. The water will then be directed through 8" PVC storm drain pipe to an underground detention basin located on-site (Grading plan has been included in Appendix B).

A variety of methods of detention will be employed on this site in order to provide adequate storage. The majority of the storage will take place in an underground detention system consisting of MC-3500 Stormtech chambers. Once the stormtech system has reached capacity, additional storage will be provided within the pipe network and as surface storage above the catch basins. It was determined using the rational method that the 100-year storm event requires a storage volume of **2,748 ft<sup>3</sup>**. The underground chambers and fill stone can store **2,567 ft<sup>3</sup>** and surface storage areas contribute an additional **360 ft<sup>3</sup>**. The total provided storage for the site is **2,927 ft<sup>3</sup>**. Model outputs have been included in Appendix A.

The orifice plate was sized to be 0.80" installed on the North side of box #202 resulting in a release rate of 0.04 cfs. The maximum release rate allowed by Alpine City for the project is 0.07 cfs/acre. The total area is 0.58 acres, resulting in an allowable release rate of 0.04 cfs. Once storm runoff passes through the orifice plate, it will be direct to Dry Creek to be discharged.



## 5.0 CONCLUSIONS

The drainage system as outlined will safely convey storm water to the proposed detention basin. All pipe sizes as shown are adequate to convey runoff from the 10-year storm event and the surface improvements have been designed to pass the 100-year storm event.

Ensign Engineering

A handwritten signature in black ink, appearing to read 'Thomas J. Mazejy'.

Thomas J. Mazejy, P.E.  
Ensign Engineering

Reviewed By

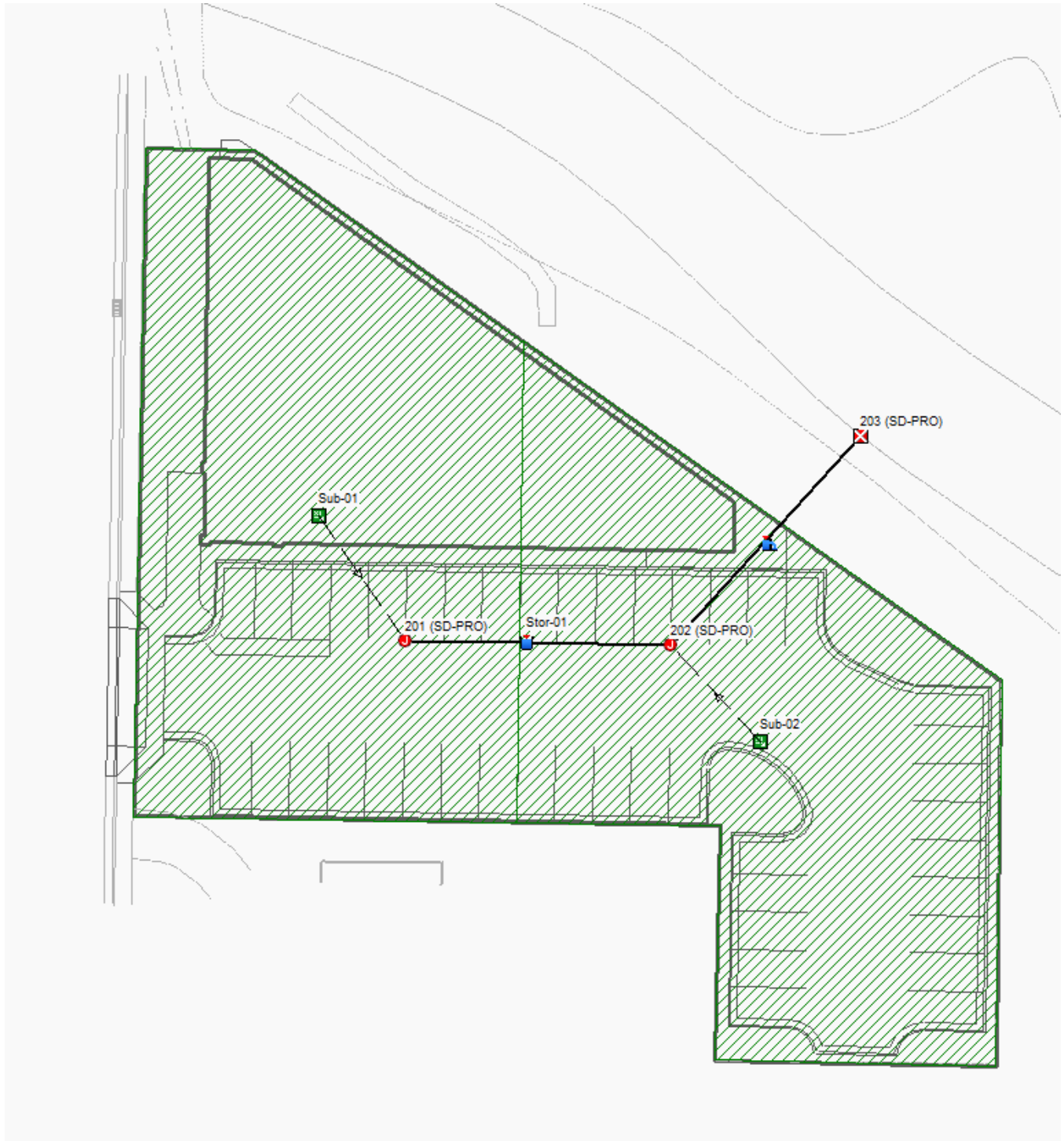
A handwritten signature in black ink, appearing to read 'David Jenkins'.

David Jenkins, P.E.  
Ensign Engineering



## 6.0 APPENDIX A – MODEL OUTPUTS

### Model Layout





## Project Description

File Name ..... 9711 - 10yr3hr.SPF  
Description ..... P:\9711 Alpine Physical Therapy\Civil\Source Drawings\Pipe Networks\Z-PIPES.dwg

## Project Options

Flow Units ..... CFS  
Elevation Type ..... Elevation  
Hydrology Method ..... SCS TR-55  
Time of Concentration (TOC) Method ..... SCS TR-55  
Link Routing Method ..... Hydrodynamic  
Enable Overflow Ponding at Nodes ..... YES  
Skip Steady State Analysis Time Periods ... NO

## Analysis Options

Start Analysis On ..... May 29, 2020 00:00:00  
End Analysis On ..... May 30, 2020 00:00:00  
Start Reporting On ..... May 29, 2020 00:00:00  
Antecedent Dry Days ..... 0 days  
Runoff (Dry Weather) Time Step ..... 0 01:00:00 days hh:mm:ss  
Runoff (Wet Weather) Time Step ..... 0 00:05:00 days hh:mm:ss  
Reporting Time Step ..... 0 00:05:00 days hh:mm:ss  
Routing Time Step ..... 1 seconds

## Rainfall Details

SN	Rain Gage ID	Data Source	Data Source ID	Rainfall Type	Rain Units	State	County	Return Period (years)	Rainfall Depth (inches)	Rainfall Distribution
1	100-yr	Time Series	100-year	Cumulative	inches	Utah	Utah	100	3.40	SCS Type II 24-hr
2	10-year	Time Series	10-year	Cumulative	inches	Utah	Utah	10	2.37	SCS Type II 24-hr



Subbasin Summary

Subbasin ID	Area	Weighted Curve Number	Total Rainfall	Total Runoff	Total Runoff Volume	Peak Runoff	Time of Concentration
	(ac)		(in)	(in)	(ft³)	(cfs)	(days hh:mm:ss)
Sub-01	0.30	94.00	2.37	1.74			
Sub-02	0.28	94.00	2.37	1.74			



Node Summary

Element ID	Element Type	Invert Elevation	Ground/Rim (Max) Elevation	Peak Inflow	Max HGL Elevation Attained
		(ft)	(ft)	(cfs)	(ft)
201 (SD-PRO)	Junction	4925.50	4932.20	0.68	4927.59
202 (SD-PRO)	Junction	4925.50	4932.20	0.65	4927.59
203 (SD-PRO)	Outfall	4925.00		0.04	4925.00
Stor-01	Storage Node	4925.50	4932.20	1.30	4927.59



Link Summary

Element ID	Element Type	From (Inlet) Node	To (Outlet) Node	Length	Inlet Invert Elevation	Outlet Invert Elevation	Average Slope	Diameter or Height	Manning's Roughness	Peak Flow	Design Flow Capacity	Peak Flow/ Design Flow Ratio	Peak Flow Velocity
				(ft)	(ft)	(ft)	(%)	(in)		(cfs)	(cfs)		(ft/sec)
{SD-PRO}.Pipe - (1)	(SD-PRO) Pipe	201 (SD-PRO)	Stor-01	28.63	4925.50	4925.50	0.0000			0.68	0.07	9.55	1.95
Link-01	Pipe	Stor-01	202 (SD-PRO)	34.38	4925.50	4925.50	0.0000			0.62	0.07	9.55	1.78
{SD-PRO}.Pipe - (2)	(SD-PRO) Orifice	202 (SD-PRO)	203 (SD-PRO)		4925.50	4925.00				0.04			



## Project Description

File Name ..... 9711 - 100yr24hr.SPF  
Description ..... P:\9711 Alpine Physical Therapy\Civil\Source Drawings\Pipe Networks\Z-PIPES.dwg

## Project Options

Flow Units ..... CFS  
Elevation Type ..... Elevation  
Hydrology Method ..... SCS TR-55  
Time of Concentration (TOC) Method ..... SCS TR-55  
Link Routing Method ..... Hydrodynamic  
Enable Overflow Ponding at Nodes ..... YES  
Skip Steady State Analysis Time Periods ... NO

## Analysis Options

Start Analysis On ..... May 29, 2020 00:00:00  
End Analysis On ..... May 30, 2020 00:00:00  
Start Reporting On ..... May 29, 2020 00:00:00  
Antecedent Dry Days ..... 0 days  
Runoff (Dry Weather) Time Step ..... 0 01:00:00 days hh:mm:ss  
Runoff (Wet Weather) Time Step ..... 0 00:05:00 days hh:mm:ss  
Reporting Time Step ..... 0 00:05:00 days hh:mm:ss  
Routing Time Step ..... 1 seconds

## Rainfall Details

SN	Rain Gage ID	Data Source	Data Source ID	Rainfall Type	Rain Units	State	County	Return Period (years)	Rainfall Depth (inches)	Rainfall Distribution
1	100-yr	Time Series	100-year	Cumulative	inches	Utah	Utah	100	3.40	SCS Type II 24-hr
2	10-year	Time Series	10-year	Cumulative	inches	Utah	Utah	10	2.37	SCS Type II 24-hr



Subbasin Summary

Subbasin ID	Area	Weighted Curve Number	Total Rainfall	Total Runoff	Total Runoff Volume	Peak Runoff	Time of Concentration
	(ac)		(in)	(in)	(ft³)	(cfs)	(days hh:mm:ss)
Sub-01	0.30	94.00	3.40	2.74			
Sub-02	0.28	94.00	3.40	2.74			



Node Summary

Element ID	Element Type	Invert Elevation	Ground/Rim (Max) Elevation	Peak Inflow	Max HGL Elevation Attained
		(ft)	(ft)	(cfs)	(ft)
201 (SD-PRO)	Junction	4925.50	4932.20	1.04	4931.78
202 (SD-PRO)	Junction	4925.50	4932.20	1.00	4931.78
203 (SD-PRO)	Outfall	4925.00		0.04	4925.00
Stor-01	Storage Node	4925.50	4932.20	2.01	4931.78



Storage Nodes

Storage Node : Stor-01

Input Data

Invert Elevation (ft)	4925.50
Max (Rim) Elevation (ft)	4932.20
Max (Rim) Offset (ft)	6.70
Initial Water Elevation (ft)	4925.50
Initial Water Depth (ft)	0.00
Ponded Area (ft²)	0.00
Evaporation Loss	0.00

Output Summary Results

Peak Inflow (cfs)	2.01
Peak Lateral Inflow (cfs)	0.00
Peak Outflow (cfs)	0.03
Peak Exfiltration Flow Rate (cfm)	0.00
Max HGL Elevation Attained (ft)	4931.78
Max HGL Depth Attained (ft)	6.28
Average HGL Elevation Attained (ft)	4928.06
Average HGL Depth Attained (ft)	2.56
Time of Max HGL Occurrence (days hh:mm)	0 16:35
Total Exfiltration Volume (1000-ft³)	0.000
Total Flooded Volume (ac-in)	0
Total Time Flooded (min)	710
Total Retention Time (sec)	0.00



## **7.0 APPENDIX B – REFERENCES**



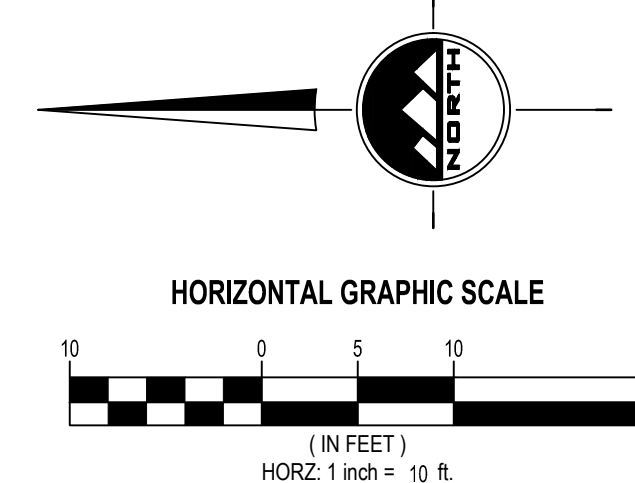
### GENERAL NOTES

- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNCONSOLIDATED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
- ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. 67.25 REPRESENTS AN ELEVATION OF 4967.25 ON THESE PLANS.
- LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
- SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
- ALL FACILITIES WITH DOWNSPOUTS/ROOF DRAINS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM. SEE PLUMBING PLANS FOR DOWNSPOUT/ROOF DRAIN LOCATIONS AND SIZES. ALL ROOF DRAINS TO HAVE MINIMUM 1% SLOPE.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION IN THIS PLAN SET COME FROM THE SURVEY DRAWINGS "LAND SURVEY PLAT (DATED NOVEMBER 21, 2019) AND TOPOGRAPHY SURVEY (DATED JANUARY 24, 2020)" PROVIDED BY VARA 3D AND NOT ENSIGN ENGINEERING. PLEASE REFER TO THESE DRAWINGS FOR SURVEY INFORMATION.

### SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 0.87' Ø ORIFICE PLATE PER DETAIL 3/C-600 INSTALLED ON NORTH SIDE OF STORM DRAIN BOX #202.
- DETENTION BASIN (STORMTECH MC-3500)  
VOLUME REQUIRED = 2,748 CU. FT.  
VOLUME PROVIDED (SURFACE) = 380 CU. FT.  
VOLUME PROVIDED (UNDERGROUND) = 2,567 CU. FT.  
TOP OF GRAVEL = 4930.25  
TOP OF CHAMBERS = 4929.25  
BOTTOM OF CHAMBERS = 4925.50  
BOTTOM OF GRAVEL = 4924.75
- SURFACE DETENTION HIGH WATER LINE. ELEVATION = 4932.70
- CONNECT ROOF DRAIN TO STORM DRAIN NETWORK. SEE MECHANICAL PLANS FOR ROOF DRAIN LOCATION AND CONNECTION.
- DESIGNATED ACCESSIBLE ROUTE. RUNNING SLOPE SHALL NOT EXCEED 5.00% (1:12 OR 8.33% FOR RAMPS) AND CROSS SLOPES SHALL NOT EXCEED 2.00%. CONTRACTOR TO REMOVE AND REPLACE ANY AREAS WHICH EXCEED ALLOWABLE SLOPES.
- ISOLATOR ROW TO ADDRESS RUNOFF WATER QUALITY PER ADS/STORMTECH SPECIFICATIONS.
- EXISTING CREEK. CONTRACTOR TO VERIFY LOCATION AND DEPTH OF FLOW LINE PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS.



### BENCHMARK

NORTHEAST CORNER OF SECTION 25,  
TOWNSHIP 4 SOUTH, RANGE 1 EAST  
SALT LAKE BASE AND MERIDIAN  
ELEV = 4946.87' (NGVD 29)



Know what's below.  
Call before you dig.

CALL BLUESTAKES  
@ 811 AT LEAST 48 HOURS  
PRIOR TO THE  
COMMENCEMENT OF ANY  
CONSTRUCTION.

### GRADING AND DRAINAGE PLAN

PROJECT NUMBER  
9711

PRINT DATE  
6/4/20

DRAWN BY  
T. MAZEJY

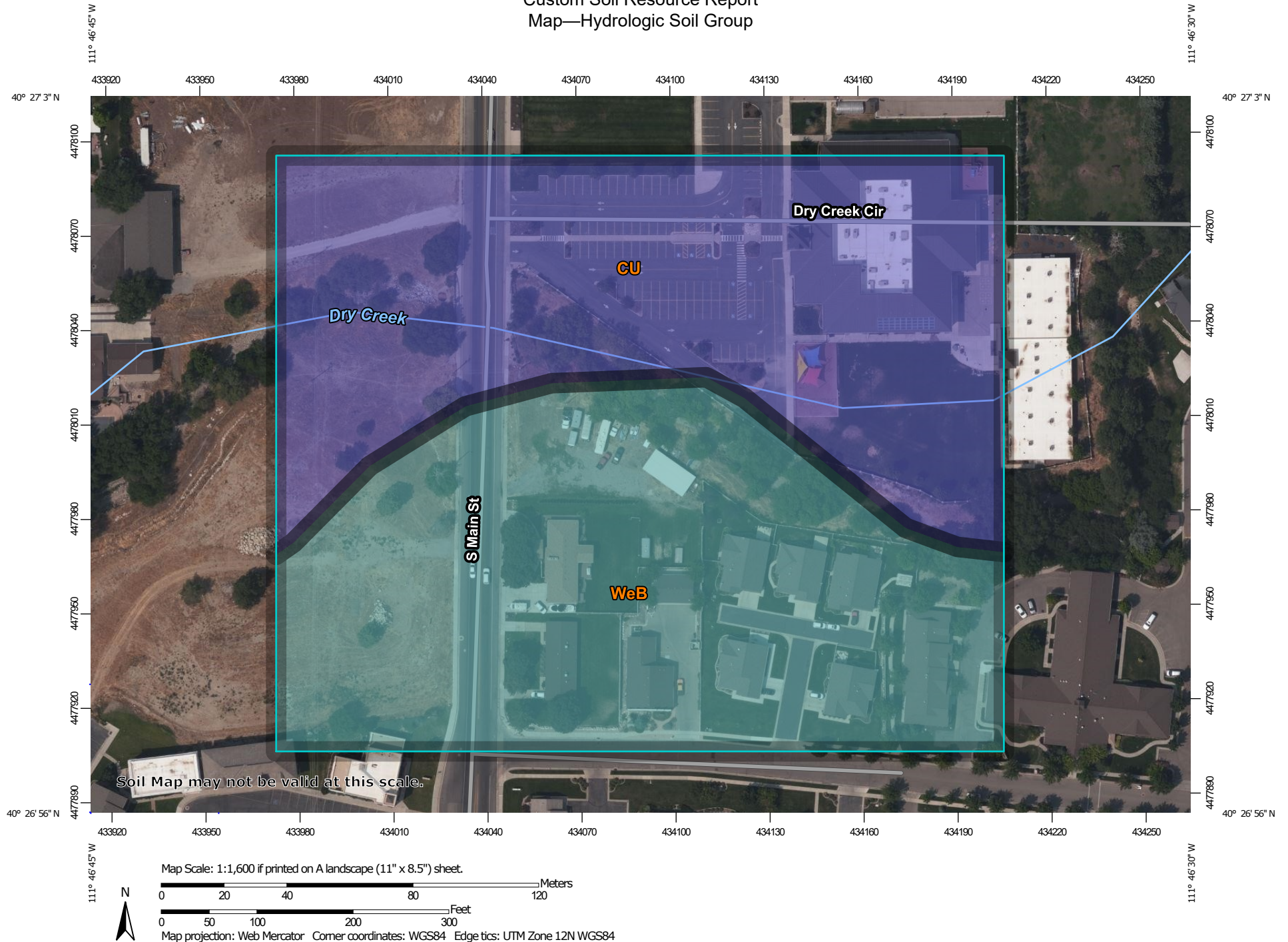
CHECKED BY  
D. JENKINS

PROJECT MANAGER  
D. JENKINS

C-300



# Custom Soil Resource Report Map—Hydrologic Soil Group






## Custom Soil Resource Report








### MAP LEGEND

#### Area of Interest (AOI)









 Area of Interest (AOI)

#### Soils

##### Soil Rating Polygons





 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

##### Soil Rating Lines

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

##### Soil Rating Points






 A  
 A/D  
 B  
 B/D

 C  
 C/D  
 D  
 Not rated or not available


#### Water Features

 Streams and Canals

#### Transportation

 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

#### Background

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
Web Soil Survey URL:  
Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Utah County, Utah - Central Part  
Survey Area Data: Version 12, Sep 16, 2019

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 30, 2018—Aug 29, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.



**Table—Hydrologic Soil Group**

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
CU	Cobbly alluvial land	B	5.3	48.9%
WeB	Welby silt loam, extended season, 1 to 3 percent slopes	C	5.6	51.1%
<b>Totals for Area of Interest</b>			<b>10.9</b>	<b>100.0%</b>

**Rating Options—Hydrologic Soil Group**

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff:* None Specified

*Tie-break Rule:* Higher



## **ALPINE PLANNING COMMISSION AGENDA**

**SUBJECT:** Annual Meeting Schedule 2021

**FOR CONSIDERATION ON:** 1 December 2020

**PETITIONER:** Recorder

**ACTION REQUESTED BY PETITIONER:** Approve the Planning Commission meeting schedule for 2021.

### **BACKGROUND INFORMATION:**

Attached is the proposed Planning Commission meeting schedule for 2021. Review it as proposed and approve with any necessary changes.

### **STAFF RECOMMENDATION:**

Adopt the Annual Planning Commission Meeting Schedule for 2021.





**2021 ANNUAL MEETING SCHEDULE  
FOR  
ALPINE CITY, UTAH**

**PLANNING COMMISSION MEETINGS** for the 2021 calendar year are scheduled on the 1<sup>st</sup> and 3rd Tuesday of each month as follows unless otherwise indicated:

January 5	May 4	September 7
January 19	May 18	September 21
February 2	June 1	October 5
February 16	June 15	November 16
March 2	July 20	December 7
March 16	August 3	
April 20	August 17	

**CITY COUNCIL MEETINGS** for the 2021 calendar year are scheduled on the 2<sup>nd</sup> and 4<sup>th</sup> Tuesday of each month as follows unless otherwise indicated:

January 12	May 11	September 14
January 26	May 25	September 28
February 9	June 8	October 26
February 23	June 22	November 9
March 9	July 13	November 23
March 23	August 24	December 14
April 13		
April 27		

**All Planning Commission and City Council meetings will begin at 7:00 pm unless otherwise posted. Meetings are held at Alpine City Hall, 20 North Main, Alpine, Utah 84004.**

Bonnie Cooper  
City Recorder

**THE PUBLIC IS INVITED TO ATTEND ALL PUBLIC CITY MEETINGS.** If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 4.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being a bulletin board located inside City Hall at 20 North Main and located in the lobby of the City Works Building, Alpine, UT; and the at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Orem, UT and local newspapers circulated in Alpine, UT. This agenda is also available on the City's web site at [www.alpinecity.org](http://www.alpinecity.org) and on the Utah Public Meeting Notices website at [www.utah.gov/pmn/index.html](http://www.utah.gov/pmn/index.html).



# Alpine School District 2020-2021 Calendar

● First & Last day of school    ■ Non School day    □ Non School day/Teachers PD day    ■ End of Term    ▲ Minimal day

August 2020				
M	T	W	TH	F
3	4	5	6	7
10	11	12	13	14
17	18	19	20	21
24	25	26	27	28
31				

Aug 13–PD Day  
Aug 14 & 17–Teacher Contract Day  
Aug 17–7/10 grade Day (optional)  
Aug 18–School Begins

September 2020				
M	T	W	TH	F
	1	2	3	4
7	8	9	10	11
14	15	16	17	18
21	22	23	24	25
28	29	30		

Sep 7–Labor Day

October 2020				
M	T	W	TH	F
			1	2
5	6	7	8	9
12	13	14	15	16
19	20	21	22	23
26	27	28	29	30

Oct 14–1st Term Ends  
–Minimal Day  
Oct 15–16–Fall Break  
Oct 19–Professional Development

November 2020				
M	T	W	TH	F
2	3	4	5	6
9	10	11	12	13
16	17	18	19	20
23	24	25	26	27
30				

Nov 13–1st Trimester Ends  
–Minimal Day  
Nov 25–Teacher Comp Day  
Nov 26–27–Thanksgiving Break

December 2020				
M	T	W	TH	F
	1	2	3	4
7	8	9	10	11
14	15	16	17	18
21	22	23	24	25
28	29	30	31	

Dec 18–2nd Term Ends  
–Minimal Day  
Dec 21–Jan 1 Christmas Break

January 2021				
M	T	W	TH	F
				1
4	5	6	7	8
11	12	13	14	15
18	19	20	21	22
25	26	27	28	29

Jan 4–School Resumes  
Jan 18–Martin Luther King Jr. Day

February 2021				
M	T	W	TH	F
1	2	3	4	5
8	9	10	11	12
15	16	17	18	19
22	23	24	25	26

Feb 15–Presidents' Day

March 2021				
M	T	W	TH	F
1	2	3	4	5
8	9	10	11	12
15	16	17	18	19
22	23	24	25	26
29	30	31		

Mar 5–2nd Trimester Ends  
–Minimal Day  
Mar 9–HS ACT Test  
Mar 12–3rd Term Ends  
Mar 15–Professional Development

April 2021				
M	T	W	TH	F
			1	2
5	6	7	8	9
12	13	14	15	16
19	20	21	22	23
26	27	28	29	30

Apr 5–Teacher Comp. Day  
Apr 6–9–Spring Break

May 2021				
M	T	W	TH	F
3	4	5	6	7
10	11	12	13	14
17	18	19	20	21
24	25	26	27	28
31				

May 27–Last Day of School  
–Minimal Day  
–4th Term Ends  
–3rd Trimester Ends  
May 31–Memorial Day





# Alpine School District 2021-2022 Calendar

● First & Last day of school    ■ Non School day    □ Non School day/Teachers PD day    ■ End of Term

August 2021				
M	T	W	TH	F
2	3	4	5	6
9	10	11	12	13
	17	18	19	20
23	24	25	26	27
30	31			

Aug 11—PD Day  
Aug 12 & 13—Contract Day  
Aug 13 —7/10 grade Day (optional)  
Aug 17—School Begins

September 2021				
M	T	W	TH	F
		1	2	3
6	7	8	9	10
13	14	15	16	17
20	21	22	23	24
27	28	29	30	

Sep 6—Labor Day

October 2021				
M	T	W	TH	F
				1
4	5	6	7	8
11	12	13	14	15
18	19	20	21	22
25	26	27	28	29

Oct 13—1st Term Ends  
Oct 14-15—Fall Break  
Oct 18—Teacher Prof Development

November 2021				
M	T	W	TH	F
1	2	3	4	5
8	9	10	11	12
15	16	17	18	19
22	23	24	25	26
29	30			

Nov 24—Teacher Comp Day  
Nov 25-26 —Thanksgiving Break

M	T	W	TH	F
		1	2	3
6	7	8	9	10
13	14	15	16	17
20	21	22	23	24
27	28	29	30	31

Dec 17—2nd Term Ends  
Dec 20-31—Christmas Break  
Dec 25 —Christmas Day

January 2022				
M	T	W	TH	F
3	4	5	6	7
10	11	12	13	14
17	18	19	20	21
24	25	26	27	28
31				

Jan 3—School Resumes  
Jan 17—Martin Luther King Jr. Day

February 2022				
M	T	W	TH	F
	1	2	3	4
7	8	9	10	11
14	15	16	17	18
21	22	23	24	25
28				

Feb 21—Washington/Lincoln Day

March 2022				
M	T	W	TH	F
	1	2	3	4
7	8	9	10	11
14	15	16	17	18
21	22	23	24	25
28	29	30	31	

Mar 11—3rd Term Ends  
Mar 14—Teacher Prof Development  
Mar \_\_\_ —ACT

April 2022				
M	T	W	TH	F
				1
4	5	6	7	8
11	12	13	14	15
18	19	20	21	22
25	26	27	28	29

Apr 4—Teacher Comp Day  
Apr 5-8—Spring Break

May 2022				
M	T	W	TH	F
2	3	4	5	6
9	10	11	12	13
16	17	18	19	20
23	24	25	26	27
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May 26—Last Day of School  
—4th Term Ends  
May 30—Memorial Day





## **ALPINE PLANNING COMMISSION AGENDA**

**SUBJECT:** Planning Commission Minutes November 17, 2020

**FOR CONSIDERATION ON:** 1 December 2020

**PETITIONER:** Staff

**ACTION REQUESTED BY PETITIONER:** Approve Minutes

**BACKGROUND INFORMATION:**

Minutes from the November 17, 2020 Planning Commission Meeting.

**STAFF RECOMMENDATION:**

Review and approve the Planning Commission Minutes.



**ALPINE CITY PLANNING COMMISSION MEETING**  
**Alpine City Hall, 20 North Main, Alpine, UT**  
**November 17, 2020**

**I. GENERAL BUSINESS**

**A. Welcome and Roll Call:** The meeting was called to order at 7:00 p.m. by Chairwoman Jane Griener. The following were present and constituted a quorum:

Chairwoman: Jane Griener

Commission Members: Alan MacDonald, Ethan Allen, John MacKay, Troy Slade, Ed Bush, Sylvia Christiansen

Excused:

Staff: Austin Roy, Jed Muhlestein, Marla Fox

Others:

**B. Prayer/Opening Comments:** Sylvia Christiansen

**C. Pledge of Allegiance:** Ed Bush

Jane Griener read a mandate stating the Planning Commission does not need to meet at an anchor location due to Covid -19.

**II. PUBLIC COMMENT**

There were no public comments.

**III. ACTION ITEMS**

**A. Public Hearing – Concept Plan – Koroem Court Subdivision – Brian Hansen**

Austin Roy said the proposed development, Koroem Court Subdivision, consists of 3 lots on 8.44 acres. The development is in the CR-20,000 zone and located at approximately 662 North Whitby Woodlands Drive. Applicant is seeking approval of the concept plan.

Austin Roy said all the lots exceed the minimum size requirement. He said Lot 78 has a great deal of slope and the developer will have to re-work where the home will be placed. The property is up against a wooded area and would classify the subdivision as wildland. The fire Chief said Lot 78 exceeds the length for fire code and will have to comply with some additional requirements which would be

Austin Roy said Lots 77 and 78 exceeds the five-side requirement and would require an exception.

Jed Muhlestein said we have a designated flood way that exists on the east side that would require an easement. The utilities are existing at the end of Whitby Woodlands Drive and are available to be extended to serve the development. Horrock's Engineers have said the sewer and pressurized irrigation are good. The culinary water is on the high end of the pressure zone and there is not enough pressure to serve the development. The proposed options are to complete a Master Planned water line to go from 600 North to Main Street, or to upside the existing eight-inch line to a ten in line from Whitby Woodlands drive up to the subdivision.



Jed Muhlestein said the Westfield ditch runs through the development and will be required to be piped and will have to provide a plan showing that. The developer had a Geotech study done and the site had no concerns for earthquake, rockfall, debris flow, flooding, and slide hazards.

Jed Muhlestein said there is an existing drainage easement running through the property. The water will drain to Fort Creek. The developer will need to provide a culvert on Lot 78 to Fort Creek and clean up the pathway. Jed Muhlestein wanted to know why the lots are numbered in the seventies instead of one, two, three.

Jed Muhlestein said the developer can make the buildable area work with the slope requirements.

Jane Griener opened the Public Hearing.

Lorretta Stevens, resident, wanted to know how storm water will be collected. Jed Muhlestein said the development has to take care of their own storm water. The developer will have to have an onsite retention catch basin to catch their water and then it will be released downstream. He said it will not affect Lorretta Stevens property.

Jane Griener closed the Public Hearing.

Ed Bush asked if there would be another fire Hydrant serving the development. Jed Muhlestein said there would be.

Keith Gifford, a resident said there is an easement for the Westfield Ditch and it should remain un-piped. Jed Muhlestein said an open ditch causes problems with debris clogging it up. He said residents through yard waste in it and it has caused problems for the city.

Sylvia Christiansen asked why we don't want more than five sides. Austin Roy said the more sides you have usually come with land issues like a hill or a stream. The reason they have more sides is because they are going around something. We want to also prevent flag lots. Jed Muhlestein said the developer doesn't have much choice with this property and will require an exception to the rule.

John MacKay asked if easements are in place for the culinary water lines in the street. Jed Muhlestein said they are.

**MOTION:** John MacKay moved to recommend the Koroem Court Subdivision Concept Plan be approved with the following conditions/changes:

1. Exception to the Flag Lot Ordinance on the number of sides on lots 77 and 78 with City Council approval.
2. Fire Safety and Engineering measures be met when they return to Preliminary.

Sylvia Christiansen seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

**Ayes:**

Alan MacDonald  
Jane Griener  
Ed Bush

**Nays:**

None



Ethan Allen  
Troy Slade  
John MacKay  
Sylvia Christiansen

**B. Public Hearing – Revised Concept/Preliminary – Olde Moyle Mound PRD – Lon Nield**

Austin Roy said the Old Moyle Mound PRD Concept and Preliminary plats were approved in 2013 with 10 lots. Applicant would like to revise the Concept/Preliminary plats to reduce the overall number of lots from 10 to 9 and reduce the amount of open space to 25% of the original project area (minimum required for a PRD). Base density based on the City's slope calculations is 8.89 lots or 9 lots.

Austin Roy said this change in reduction in open space would not impact anything and said it is private open space for the development. Jed Muhlestein said we are not losing any trails or public open space.

Jane Griener opened the Public Hearing.

Keith Gifford, 6163 W 9600 N Highland, said he was the engineer on this project and said some of the property is still undeveloped. Mr. Gifford said Lon Nield, the developer, used some of the property and built a private barn and doesn't want to take the barn down to get the tenth lot. He said Mr. Nield would also like to put in pickle ball courts. Mr. Gifford said going from ten lots to nine lots doesn't impact the residents of the development.

Jane Griener closed the Public Hearing.

**MOTION:** Ed Bush moved to approve the proposed revised concept/preliminary plat for Old Moyle Mound PRD as proposed.

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

**Ayes:**

Alan MacDonald  
Jane Griener  
Ed Bush  
Ethan Allen  
Troy Slade  
John MacKay  
Sylvia Christiansen

**Nays:**

None

**C. Ridge at Alpine Phase 4 – Final Plat – Paul Kroff**

Jed Muhlestein said The Ridge at Alpine development consists of 72 lots on 189.5 acres, with this Phase 4 being 13 lots on 11.19 acres. The development is located in the CR 40,000 zone, west of the Alpine Cove subdivision and north east of Heritage Hills Plat A. A map is attached showing Phase 4 and how it correlates to the rest of the development. The Ridge at Alpine has been approved as a Planned Residential Development (PRD).

Jed Muhlestein said the lots all meet the development agreements with lots meeting the 20,000 acre requirement. There are existing buildings on Lot 53 with a home, garage and a shed. These buildings may be taken down but if not, the home meets the setbacks; the garage would have to be taken down.



Jed Muhlestein said Phase 4 of The Ridge at Alpine will connect Zachary Way to Grove Drive. Jed Muhlestein said the City would like to see roadway improvements be done now. Stormwater improvements need to be taken care of along the full frontage of Grove Drive.

Jed Muhlestein said the culinary water has an existing water meter by lot 54 that will need to be removed and capped at the main. There is also one existing 2-inch irrigation service near lot 53 that needs to be removed and capped at the main.

Jed Muhlestein said the City has a storm drain in Phase 4 and an irrigation ditch running through the Kevin Towle property. The City also has a berm along Mr. Towles property which will affect his fence. Mr. Towle suggested moving the berm onto his property with an easement so he can install a fence on top of the berm. Jed Muhlestein said this is a win-win for the City and Mr. Towle because it gives a little more property for the park and gives Mr. Towle a fence option and more privacy from the park.

Jed Muhlestein said the developer needs to finish existing phase requirements before Phase 4 can be recorded.

**MOTION:** Sylvia Christiansen moved to recommend that The Ridge at Alpine Phase 4 be approved with the first model shown with the following conditions/changes:

1. Phase 4 cannot be recorded until all offsite improvements of Phase 1 are complete unless otherwise approved by City Council;
2. The Developer provide a maintenance agreement for the pressurized sewer system (to be recorded with the plat);
3. The Developer provide a slope easement for the portions of pond bank which are not situated on City property (to be recorded with the plat);
4. The Developer either remove existing buildings which do not meet setbacks, or provide a bond for the removal of them prior to recording the plat;
5. The Developer address redlines on the plat and plans which includes showing curb, gutter and asphalt patch be done now for lots 53 and 54 to be expanded to Grove Drive;
6. The Developer provide funds for the future improvement not built at this time per the Development agreement;
7. The Developer submit a cost estimate;
8. The Developer meet the water policy with Alpine Irrigation Co. shares.
9. The Developer address tree issues on landscape plan.

John MacKay seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed.

**Ayes:**

Alan MacDonald  
Jane Griener  
Ed Bush  
Ethan Allen  
Troy Slade  
John MacKay  
Sylvia Christiansen

**Nays:**

**D. Alpine Fitness – Site Plan – Paul Anderson**



1 Austin Roy said the Applicant is seeking to relocate Alpine Fitness and Alpine Physical Therapy to a new  
2 building on Main Street. The new building would replace an existing garage structure on the site. The  
3 existing building would be demolished, and the new building would be located at the same site as the  
4 current building. The site is located within the Business Commercial Zone and the Gateway Historic  
5 District. Proposed building is approximately 9,380 square feet on a parcel approximately 0.58 acres in  
6 size. 40 off-street parking stalls are proposed. The developer is seeking approval of the proposed site plan.

7 In August of 2019 the City Council approved a 15-foot front setback exception on Main Street and a 2-  
8 foot setback exception on the north property line. In September of 2019 the City Council approved a  
9 parking exception (parking allowed in front setback) and land swap on the property. The land swap was  
10 granted to allow for the power lines on the property to be relocated underground. The proposed building  
11 has been designed with these exceptions in mind.

12 The applicant has worked with the gas company to remove a high-pressure gas line from the property and  
13 the easement that existed for the gas line has been vacated.

14 Austin Roy showed a Site Plan on a map showing parking with 40 spaces. There will be two handicap  
15 spaces as required. There was a land swap with the landowner so the City could access Dry Creek and a  
16 trail going along Dry Creek.

17 Austin Roy said a fence is required between commercial property and a residence. He said there is an  
18 existing fence which meets the requirements. The property meets the landscaping requirement of 20%.  
19 The property will not be required to have a dumpster because of the nature of the business but the owner  
20 will have a garbage can located outside.

21 Austin Roy said the tallest point is the front corner of the building with an architectural detail which is 34  
22 feet which meets the ordinance. Austin Roy said the building will have stone in the shape of columns  
23 with stucco on the top and in between the floors. There are a lot of windows and some metal detail. On  
24 the back of the building, three of the middle windows are garage doors that will open in good weather to  
25 let in fresh air.

26 Austin Roy showed design elements that were provided by the owner. The stone is a gray/black, tan  
27 stucco, dark gray metal with a black roof. The Fire Chief require fire sprinklers reviewed by a third party.

28 Jed Muhlestein said the owner has to adhere to the parking ordinance. Site must be graded and take care  
29 of their own storm water. Lighting must point down on their own property with fixtures complying with  
30 the new dark sky ordinance. At the time of the building permit, the owner will sign a storm drain  
31 maintenance agreement for the property.

32 John MacKay asked if this building would be steel construction.

33 Paul Anderson, owner, said it will be steel construction.

34 Jane Griener said this is part of the Gateway Historic District and needs to fit in with historic features.

35 John MacKay said the Ezra Lee buildings brought in a different element.



Paul Anderson provided a video for the Planning Commission to review. He said 500 people in Alpine voted on the design material and liked this style and colors. He said this is a modern mountain look. Mr. anderson said the gym will be open until midnight each night but closed on Sundays.

The Planning Commission had a discussion about the look of the building and comments were made that they liked the look and thought it would be an improvement to Main Street. John MacKay said it was a beautiful building but didn't meet the Historic Guidelines. Mr. Anderson said he is not putting up a monument sign.

**MOTION:** Ethan Allen moved to recommend approval of the proposed site plan for the Alpine Fitness with the following conditions:

1. The developer signs a storm drain maintenance agreement for the property;
2. The developer obtains a Demolition Permit prior to construction;
3. The developer meets fire code requirements as outlined in the Lone Peak Fire Department Review.

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

**Ayes:**

Alan MacDonald  
Jane Griener  
Ed Bush  
Ethan Allen  
Troy Slade  
John MacKay  
Sylvia Christiansen

**Nays:**

None

**E. Public Hearing – Lambert Park East Building**

Austin Roy said The City Council has been discussing the need for a new structure in Lambert Park. The structure could help deter shooting in the area and provide a new park amenity for residents to enjoy.

Austin Roy said there is currently fencing in the area, but new fencing would be built along the property boundary between the City and Forrest land. The city can't control shooting in the Forrest land, but we can make our side safer. Austin Roy said there is a law that you can't shoot within 150 feet of a structure so a building/structure would help keep shooters father away.

Jed Muhlestein said the City doesn't have a clear path of what the structure will be but the Mayor wanted to get a recommendation on some sort of structure so we can move forward.

Jane Griener opened the Public Hearing. There were no comments and Jane Griener closed the Public Hearing.

**MOTION:** Ed Bush moved to recommend that the proposed site for a new building in Lambert Park be approved as proposed.

Troy Slade seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.



**Ayes:**

Alan MacDonald  
 Jane Griener  
 Ed Bush  
 Ethan Allen  
 Troy Slade  
 John MacKay  
 Sylvia Christiansen

**Nays:**

None

**F. Public Hearing – Healey Park – New Playground, Pavilion, and Pickleball Courts**

Jed Muhlestein said the City Council has been discussing the need for additional pickleball courts in the City based on recent public feedback. Staff also recommends that the City look at adding other additional facilities, including and new playground and pavilion.

Sylvia Christiansen said she is concerned about the parking. Jed Muhlestein said the City built a new parking lot to help with the parking problems. Sylvia Christiansen asked if the park can support parking if the church doesn't allow overflow parking. Jed Muhlestein said people shouldn't park in the church lot. He said the City has done the best they can do with parking.

Jane Griener opened the Public Hearing. There were no comments and Jane Griener closed the Public Hearing.

**MOTION:** Ethan Allen moved to recommend that the Healey Park updates be approved as proposed.

Ed Bush seconded the motion. There were 6 Ayes and 1 Nays (recorded below). The motion passed unanimously.

**Ayes:**

Alan MacDonald  
 Jane Griener  
 Ed Bush  
 Ethan Allen  
 Troy Slade  
 John MacKay

**Nays:**

Sylvia Christiansen

**IV. Communication**

Austin Roy said it's time to do the meeting schedule and wanted input for next year's calendar.

Austin Roy said there was an appeal hearing for Blue Bison on Thursday November 12, 2020. A decision hasn't been made yet.

**V. APPROVAL OF PLANNING COMMISSION MINUTES: October 20, 2020**

**MOTION:** Sylvia Christiansen moved to approve the minutes for October 20, 2020 as written.

Troy Slade seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.



**Ayes:**

Alan MacDonald  
Ethan Allen  
Jane Griener  
Troy Slade  
Ed Bush  
John MacKay  
Sylvia Christiansen

**Nays:**

None

**MOTION:** Ed Bush moved to adjourn the meeting.

Alan MacDonald seconded the motion. There were 7 Ayes and 0 Nays (recorded below). The motion passed unanimously.

**Ayes:**

Alan MacDonald  
Ethan Allen  
Jane Griener  
Troy Slade  
Ed Bush  
John MacKay  
Sylvia Christiansen

**Nays:**

None

The meeting was adjourned at 9:58 p.m.