



City of Hurricane

Mayor
John W. Bramall

City Manager
Clark R. Fawcett

Planning Commission
Mark Borowiak, on leave
Michelle Cloud
Paul Farthing, Chairman
Rebecca Bronemann
Chris Christensen
Ralph Ballard
Shelley Goodfellow
Mark Sampson
Dayton Hall, Vice Chairman

AGENDA OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION 5:00 p.m.

Thursday, November 12, 2020

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at
5:00 p.m. in the Hurricane City Hall 147 N 870 W, Hurricane, UT.

The meeting will also be held electronically here:

Please join from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/996568461>

You can also dial in using your phone.

United States: [+1 \(312\) 757-3121](tel:+13127573121)

Access Code: 996-568-461

A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West

Workshop

A workshop to discuss the proposed General Plan Update, including goals and the General Plan Map.
Logan Simpson Host

2020-CUP-09	Consideration and possible approval of a conditional use permit for a greater height accessory building located at 3507 W 2430 S. American Heritage Homes Applicant
2020-LUCA-07	Consideration and possible recommendation on a proposed Land Use Code amendment to Title 10-chapter 39 section 15 regarding enforcement & permits. Fairway Vista Estates Applicant, Alliance Consulting (Mike Bradshaw) Agent.
2020-CUP-10	Consideration and possible approval of a conditional use permit for a metal building at 2 W 810 S, Applicant Brian Jones.

2020-PP-19 2020-HIL-03	Consideration and possible recommendation of a Preliminary Plat Application and sensitive land application for Angell Heights Estates Phase 5&6, containing 21 single family lots, located at South of Angell Heights Dr and North East of 2300 N in Hurricane. Iverson Julie TR Applicant, Robert Iverson Agent.
2020-PSP-16	Consideration and possible approval of Preliminary Site Plan for Sand Hollow Gateway Resort, a Recreation Resort with a proposed 885 Units, located at Sand Hollow Rd Secure Private Fund LLC and Western MTG and Realty Co. Applicants, Brent Moser and Karl Rasmussen Agent.
2020-PSP-17	Consideration and possible approval of a Preliminary Site Plan for Bash Resorts, a 378-unit recreation resort, located on Sand Hollow Rd, Northwest of Abbey Road. Western MTG and Realty Co. Applicant, Brent Moser and Karl Rasmussen Agent.
2020-PP-20	Consideration and possible recommendation for a 32 Lot Preliminary Plat for Apple Fox Hollow Subdivision, located at appx at 5200 W Turf Sold RD. James Gregory C TR Applicant, Orin Bliss Agent.
2020-FSP-17	Consideration and possible recommendation of approval of a final site plan for Sky Mountain Properties LLC, a Recreation Vehicle Park located at 250 N 2260 W, Sky Mountain Properties Applicant. Duane Fielding Agent.
2020-FSP-18	Consideration and possible recommendation of approval of a final site plan for Zion Tiny RV, a Recreation Vehicle Park located at 1481 W State Street, Kennedy Family Ventures LLC Applicant.
2020-PP-22	Consideration and possible recommendation for a 38 Lot Preliminary Plat for Cordero Phase 1 Subdivision, located at appx at Copper Rock Parkway and 2100 W. Brant Tuttle, Northern Engineering Inc Applicant

Planning Commission Business:

- Discussion about allowing Vehicle Sales within M-1 (Light Industrial Zoning)
- Discussion about allowing the taking off of aircraft within state parks for recreational purposes

Approval of Minutes: September 10, 2020 and October 8, 2020

Adjournment

RESIDENTIAL USES

AGRICULTURAL

Property used for keeping or pasturing of animals or raising of crops with supporting residential use. Appropriate density should be one to two lots per ten acres.

RURAL RESIDENTIAL

These areas should be adjacent to properties in the Agricultural Protection Overlay or agricultural properties. These areas should serve as a transition from agricultural to traditional neighborhoods or commercial uses. Appropriate densities for this land use include RA-1 or RA-0.5.

SINGLE FAMILY RESIDENTIAL

Residential neighborhoods characterized by single-family homes. These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.

MODERATE TO HIGH DENSITY RESIDENTIAL

Residential neighborhoods with a combination of small-lot single family and multi-family residences that include designated shared open spaces. Each development should consider proximity of transportation, schools, shopping, etc. The specific conditions for each project would be addressed during the approval process. Appropriate densities for this land use include RM-1, RM-2, and RM-3.

PLANNED COMMUNITY

Master planned communities should be complete communities that offer a mixture of housing types and supporting uses such as neighborhood and supporting commercial uses, offices, churches, schools, and parks. Development in this designation should take into account the character of existing surrounding development.

COMMERCIAL USES

MIXED USE

Mixed use areas should be developed as small districts or community centers offering a mix of retail, dining, entertainment, employment, and supporting residential. These developments should be easy and safe to navigate on foot and located in areas with access to major roads and surrounded with appropriate residential densities to support these uses.

GENERAL COMMERCIAL

Commercial uses that provide retail, employment and service uses for the City. These developments should be located along major corridors.

NEIGHBORHOOD COMMERCIAL

Retail and service uses scaled to surrounding existing and planned future residential uses at strategic locations throughout the City.

DOWNTOWN

This land use is concentrated in Hurricane's historic downtown district. Desired uses downtown include retail, residential, dining, public, and entertainment. Development in this area should build on Hurricane's unique character and heritage, reusing existing buildings where possible. This area is held to a higher standard of design and strives to create a safe and inviting environment for pedestrians.

OFFICE AND INDUSTRY

BUSINESS/LIGHT INDUSTRIAL

Uses including general business operations, employment centers, and small-scale warehousing or assembly facilities with automobile and truck access. BMP and M-1 zone designations are most appropriate for this use.

INDUSTRIAL/HEAVY MANUFACTURING

Uses including heavy manufacturing and large-scale warehousing within large, predominately single or two story, structures. Use includes vehicular access for large trucks for raw materials and finished product shipping. The M-2 zone designation is most appropriate for this land use.

AIRPORT

Land uses in the area around the Hurricane Airport are limited in both use and scale to protect area residents and ensure safe use the airport.

PUBLIC AND OPEN SPACE

PUBLIC

Uses including municipal services, public or private schools and campuses, playing fields, recreational facilities and similar public facilities.

NATURAL OPEN SPACE

Areas within the City of undeveloped open space, such as hillsides, ridge lines, river corridors, habitat, and drainage channels left in a predominately undisturbed state with minimal use impacts. These areas may include uses such as trails, trailheads, and small pavilions.

RECREATIONAL OPEN SPACE

Areas designated for private or public open space used for managed recreational activities including but not limited to playgrounds, splash pads, golf courses, and sports fields.

From 1999 (2011) Plan

From Public Outreach

From Moderate Income Housing Plan

Best Practice

Our Character and Heritage

Goal: Maintain Hurricane's strong sense of place, quality of life, and unique character

Hurricane's setting, history, and built and natural environments make the City unique and creates a sense of place that residents and visitors value. Key components that contribute to Hurricane's sense of place and quality of life include its spectacular geographic setting; open spaces including natural open lands and farm fields and orchards; its historic buildings and places; proximity and access to a variety of recreational activities; and its friendly small-town feel. The following policies and strategies are designed to support Hurricane's character and quality of life.

Policies

1. Hurricane supports the preservation, restoration, renovation, and adaptive re-use of historic buildings.
2. Hurricane's history and historic buildings should be accessible to the general public, through such means as historical markers, scenic tours, authentic re-creations, and enactments.
3. New development should be planned and designed to enhance the qualities and character that Hurricane residents and visitors value.
4. Hurricane will continue to support and encourage local events and celebrations that bring the community together and draw visitors, such as Peach Days, the Mountain Bike Festival, and other athletic events.

Strategies (implementation items)

1. Review and revise as necessary the City's codes to incorporate development design standards to protect scenic resources, historic structures and places, sensitive areas and open spaces.
2. Consider adopting form-based design regulations in critical areas of the City and along key corridors such as SR-9 and SR-7 to ensure that new development is compatible with the City's historical character.
3. Upgrade the Hurricane Historical Museum.
4. Develop a "self-guided history tour" highlighting Hurricane's historic landmarks.
5. Support and assist the City's new Farmer's Market to ensure its success.
6. Develop a local trails map and guide to promote Hurricane's adventurous atmosphere.

Goal: Preserve Hurricane's Agricultural Heritage

Much of the land area of Hurricane is in open space and agricultural uses. These open areas provide a distinct sense of place and historical context that residents value. As Hurricane grows, some of these open areas will be put to different uses, while others will remain open or in agricultural uses indefinitely. The following policies and strategies are designed to protect the City's historical and agricultural character, while allowing for well-managed growth.

Policies

1. Hurricane encourages the preservation of farms and open pastures that recall the agricultural heritage of Hurricane and help provide a sustainable local food source.
2. The City discourages leapfrog development, which fragments open and agricultural areas and places pressure on existing agricultural operations.
3. The City supports flexibility and some diversity in land uses in agricultural areas to promote continuing agricultural operations' economic viability. Uses such as produce stands, truck farms, event venues, seasonal activities, and worker housing may be appropriate in some agricultural areas to supplement farmers' incomes.
4. The City supports conversion to higher value crops to keep lands in agricultural production.
5. The City will work with landowners to provide regulatory agricultural protections where desired and feasible.
6. The City will continue to facilitate low cost water and power to agricultural operations.

Strategies (implementation items)

1. Develop regulatory criteria for reviewing and acting on applications for rezoning land from agricultural to other land uses.
2. Identify land uses that may be compatible with, and support, continued agricultural operations, and include them in the City Code land use tables.
3. Identify properties that could qualify for Green Belt Preservation and work with property owners to achieve that status.
4. Review City codes to identify barriers to continued agricultural production in the City
5. Consider long-term protection of farmlands and open spaces through acquisition, bonding, conservation easements, tax districts, impact fees, etc.
6. Encourage the use of and support applications for agricultural protection overlay zones.
7. Work with property owners in key agricultural areas, as shown on the General Plan Map, to adopt agriculture zoning to preserve current agricultural land uses.

Goal: Protect and Revitalize Downtown Hurricane

Historic downtown Hurricane is both an iconic rural Utah town that gives Hurricane its unique character, and is an economic engine for the City of Hurricane, drawing visitors from all over.

Policies

1. Hurricane will strive to preserve the small town feel and rural character of its historic Downtown.
2. Hurricane supports infill development and redevelopment in the Downtown.
3. New development and redevelopment in the Downtown should be planned and designed to be compatible with the character of the historic period architecture, and should be landscaped to enhance the pedestrian experience and overall look of the area.
4. Downtown Hurricane is intended to function as a mixed use village with effective pedestrian and bicycle connectivity to the surrounding neighborhoods.
5. Hurricane supports the development of unique shops, restaurants, professional offices, financial institutions in the Downtown, and supports additional residential options, including lofts, apartments, and townhouses.
6. The City encourages and sponsors occasional promotional activities (e.g. farmer's market, Peach Days) to bring people downtown.

7. The City encourages interim uses of vacant lots and buildings Downtown (i.e. holiday markets) to draw people to the area.

Strategies (implementation items)

1. Develop a Downtown/historic main street master plan and accompanying zoning or overlay development standards to address:
 - a. Mixed uses;
 - b. Design Standards;
 - c. Building Facades;
 - d. Public Realm Enhancements;
 - e. Gathering Places
2. Explore the redevelopment of the community center area as a catalyst project to revitalize the downtown area. Conduct a fiscal impact study to understand the amount of tax revenue, jobs, and other benefits such a project could provide while considering the cost of service.
3. Beautify Downtown's public spaces by enhancing landscaping, updating public furnishings, and establishing a façade improvement program to incentivize business owners to update their storefronts.
4. Explore funding grants such as CDBG Block Grants to accomplish downtown vibrancy goals.
5. Develop a Downtown community arts program and district to display public art.
6. Create a Parking Plan for the Downtown area.
7. Review City codes to identify possible regulatory barriers to Downtown development, and identify possible incentives to support the types of development that the City supports. Options could include:
 - a. Consider a Downtown District form-based code
 - b. Evaluate parking requirements
 - c. Waive or reduce local development fees
 - d. Review project permitting processes for redundancies/inefficiencies
 - e. Consider a grant program to help local businesses update facades on buildings or provide for additional updates.

Our Land Use

Goal: Managed Growth

The population of Hurricane has been steadily growing over the past ten years, and it is anticipated that the growth trend will continue for the foreseeable future. The increasing population creates an increased demand for public services, utilities, roads, schools, shopping, recreation facilities, and other goods and services. It is vital that growth be managed in a way that allows the City to provide needed services effectively and efficiently and within the limits of available resources. The Hurricane Future Land Use Map identifies areas within the City where new development is anticipated, and generally describes the land uses and levels of development that would be appropriate for each area.

Policies

1. New development should be planned and designed to use the land area efficiently; allow for efficient delivery of utilities and services; avoid natural hazards; protect open spaces and natural features; and respect the historic context and character of the City.

2. New development should occur at intensities and in locations that can be reasonably served by existing City services and facilities to minimize the financial burden on existing residents. The costs of new development should be borne primarily by the developers.
3. Hurricane supports expansion and infill development in appropriate locations to utilize existing infrastructure and services efficiently.
4. New development should be compatible with existing surrounding land uses.
5. The City encourages the development of complete neighborhoods with necessary amenities to emphasize a sense of community.
6. The City supports small scale, convenient neighborhood stores and services throughout the City to reduce the need for cross-town traffic.

Strategies (implementation items)

1. Consider amending the City code to require that all new developments larger than 5 acres be master planned to protect natural features and farmlands; provide open space; and utilize efficient development patterns.
2. For land development projects located within or near identified geologic or soils hazards, a geologist, soil scientist, or civil engineer will identify, delineate, and evaluate those hazards as they affect the project area. The City should review and update the Sensitive Lands and Hillside Development requirements to help preserve natural areas.
3. Update the Capital Facilities Plans as needed to provide guidance in construction of public facilities.
4. Review and adjust, as necessary, fees to assure that new development pays the total cost of the expansion of public utilities and services to support the development.
5. Establish concurrency standards to require or secure the installation of required infrastructure as a condition of approving rezoning applications.
6. Evaluate areas within the City where development impact fees or the creation of service areas could finance needed infrastructure.
7. Pursue the addition and/or expansion of a public transportation system
8. Regularly coordinate with public agencies regarding the provision of roads and utilities on public lands anticipated to be developed.

Where We Live

Low to moderate income families are being priced out of the single family housing market based on an average sales price of \$295,600 and an affordable monthly payment of \$1291 including utilities. Allowing the development of more small lot and multifamily housing is a method the City expects to continue to facilitate moderate to low income housing. Due to the large number of units already approved, 2021 will help the City examine the effect of these additional housing options on access to housing.

The specific tools outlined in Utah State Law that the City will utilize are:

1. The City will work on this re-write starting in May of 2020 with a goal of completing the re-write by November of 2020.

Goal: Provide for Choice in Housing Options

Over the past several years, annual population growth in Hurricane has been between 5.5% and 6.5%, with both “for sale” and rental prices having notably increased. The City desires to provide housing opportunities for a range of incomes and family sizes. Historically, most residential development in Hurricane has been for owner-occupied single family homes, and the large-lot rural residential development patterns in some areas of the City support the agricultural history and character of the area.

In recent years, the City has recognized the need to approve zoning changes and project plans that provide a wider variety of housing options for Hurricane residents. A number of new multi-family housing units have been approved in recent years and are in various stages of construction and occupation. These multi-family homes are a mixture of rental apartments, rental and owner-occupied townhomes, and duplex housing.

In 2018, the City adopted the Hurricane Moderate Income Housing Plan. The Plan provides information on housing costs in Hurricane, local incomes, and the attainability of housing for City residents. The Plan also sets policies and identifies strategies to broaden housing availability. The 2018 Plan states:

"While the City cannot control the housing market, it can take steps to ensure housing options continue to be available for all residents of all income ranges and ages. These include locating appropriate land use designations for multi-family housing, manufactured home communities, and townhome development. Ensuring these land use designations are located in areas convenient to shopping, transportation, and jobs will help families keep transportation costs lower. The City will be starting an amendment of the entire General Plan in 2020 and will ensure consideration is given to these factors when finalizing the updated plan."

City policies to support an expanded and robust choice of housing options include:

Policies

1. The City encourages the preservation of areas suitable for a rural lifestyle consistent with the City's agricultural heritage.
2. The City supports the preservation and protection of stable existing residential neighborhoods.
3. The City encourages the development of affordable and proportionally priced and sized homes to meet all community residents and workers' needs. New residential developments should include options for affordable housing.
4. The City encourages innovative approaches to provide affordable housing, and will partner with developers to develop affordable housing implementation strategies. The city will consider available economic development tools and statewide resources to encourage development of affordable housing.
5. Medium and high density residential developments should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers.
6. Medium and high density residential developments should be planned and designed to minimize impacts to nearby existing developments, while providing high-quality, attractive housing options.
7. Planning for the proposed St. George to Zion bus system should include housing options near projected stops along the route. These stops may be located in areas already built up with older housing stock that can be utilized by lower income households.

8. The City encourages well planned and managed manufactured homes as a way to provide affordable single family housing.
9. The City supports the development of senior living facilities that can accommodate different levels of care.

Strategies (implementation item)

1. Consider adopting regulations to provide a bonus of one additional housing unit for each affordable unit provided, up to 5% of the total number of residential units.
2. Ensure that developments that receive incentives for affordable housing provide plans to maintain the affordability of the units beyond the first occupants or a minimum of a ten year time period.
3. Allow for moderate income residential development in mixed-use zones and planned commercial and neighborhood commercial zones based on guaranteed low to moderate income rental or ownership rates for the next 15 years.
4. Zone for affordable housing near major investment corridors such as SR-9.
5. Continue to allow for accessory dwelling units for full-time renters.
6. Allow for single bedroom occupancy developments with lower parking requirements.
7. Consider revising the land use code for mixed use and planned commercial zones to set specific densities and percentages of residential uses in commercial zones, with density bonuses available for deed restricted rent and sales prices.
8. Begin a study on the per-acre density standards in multi-family zones and consider how to rewrite the land use code to more easily accommodate more single bedroom units with less parking on the same size parcels, Consider amending the land use code to adjust density per acre standards to be based on number of bedrooms and parking requirements rather than unit count.
9. Coordinate with Washington and St. George to include SunTran routes in Hurricane.
10. Consider locations for future park-and-ride lots for public transportation and ride sharing.
11. Create a plan to enforce Short Term Rental violations with civil penalties to increase regulation authority.
12. Adopt a policy regarding the implementation of Public Infrastructure Districts (PIDs), as well as a vision for enacting Community Reinvestment Areas (CRAs) to support a variety of housing stock.
13. Consider the impact of a transferrable developmental rights (TDR) program to ensure preservation of agricultural land and open space in exchange for increased intensity of uses in key, supportable areas

Our Economy

Goal: Sustain a Diverse and Resilient Economy

Policy

1. The City supports the revitalization of the downtown area.
2. The City strives to create an environment that will attract new business and employment to Hurricane.
3. The City strives to attract clean, non-polluting industries.
4. The City supports industrial uses with convenient access to transportation and other services.
5. The City encourages commercial development in "walkable" (pedestrian - oriented) centers.

6. The City supports private investments in workforce development, training, technology, and education for the evolving needs of a diverse workforce and changing economy.
7. The City supports the redevelopment of existing commercial and industrial sites in both urban and rural areas.
8. The City supports provision of basic and enhanced services needed to foster local employment opportunities.
9. The City supports secondary-income options on agricultural land through home and accessory rural occupations.
10. The City supports the development of businesses that will pay living wage jobs.
11. School sites should be located in such a manner that they provide educational services in convenient and safe locations.
12. The City shall work with the School District to ensure that schools are designed to minimize negative impacts on surrounding neighborhoods.
13. The City shall continue to work with Dixie State College to expand programs and facilities in the Hurricane Valley.
14. The City continually collaborates with municipalities, economic development, business groups, non-profit organizations, and educational institutions on a coordinated regional approach to economic and workforce development.

Strategies (implementation item)

1. Coordinate with Intermountain Health Care to expand their medical facility in Hurricane.
2. Create a downtown master plan that will guide the City in redevelopment and recommend standards for public infrastructure, streets, sidewalks and trails, bike lanes, housings, and commercial uses.
3. Create an economic development master plan that will outline strategies for attracting business and retaining current business within the City.
4. Create a retail strategy plan that understands current sales tax generators and where areas of growth might be best accommodated.
5. Create a financial sustainability model that projects key future expenditures and revenues to best understand city capacity and future development potential/impacts.
6. Support creating commercial spaces in population Centers in the City to provide services to those areas.
7. Create a citywide understanding of the financial implications of each development type, clearly outlining fiscal impacts and costs of services for all commercial and residential uses.
8. Support mix uses developments in key areas to support future commercial growth. Require a minimum percentage of those developments be retained as commercial space.
9. Support continued industrial growth and zone changes in appropriate areas of the City.
10. Support the Zion Regional Collaborative to bring infrastructure improvements into the area that will help attract tourists.
11. Create activities in the downtown area to attract people to commercial sites.
12. Adopt a policy regarding the implementation of Public Infrastructure Districts (PIDs), as well as a vision for enacting Community Reinvestment Areas (CRAs) to support a variety of commercial and residential properties.

Our Open Space and Trails

Goal: Increase Access to Recreation Amenities

Policies

1. The City will work to provide a variety of park types and sizes to meet the broadest possible spectrum of recreational needs, readily available to serve all residents of the City.
2. The City promotes joint development of City/School park sites.
3. The City supports the transition of 100 West (from State Street to 100 South) from a vehicular road to a plaza.

Strategies (implementation item)

1. The City will evaluate the locations, amount, and quality of recreation and open space frequently to assure that current and future populations have adequate access to these amenities.
2. The City will periodically review development impact fees and/or land dedication requirements to ensure they accurately reflect the true costs to the City of providing parks and recreation facilities for its residents.
3. Consider cost effective upgrades to/expansion of the Community Recreation Center or a phased approach to expansion.
4. Review standards for level of service, proximity and service areas for pocket/neighborhood parks to expand residential access to recreation.
5. Explore feasibility of using 100 West (from State Street to 100 South) as a pedestrian oriented plaza.
6. The City will update Hurricane's Sensitive Land and Hillside Ordinance to ensure the protection of sensitive lands and open space.

Goal: Interconnected Trail System

Policies

1. The City encourages the development of walking and bike paths/lanes in new development to contribute to an interconnected system that links major destinations.
2. Neighborhoods should be designed to provide safe pedestrian connectivity. This may include trails between lots, wider sidewalks, and connections through open space, parks, and common areas.
3. The City encourages pedestrian connectivity to improve safety and quality of life, enhance the sense of community, encourage people to walk or bike, and increase the opportunity for neighbors to interact.
4. New trail systems shall provide access to adjacent neighborhoods, open spaces, and employment centers.
5. The City coordinates closely with surrounding land owners, such as BLM, to ensure local and regional trail systems are connected.

Strategy (implementation item)

1. Update the City's trails and active transportation master plan to include:
 - a. Timeline, funding, and partners for proposed/planned trail projects
 - b. Identify trailheads for upgrades
 - c. Identify key locations and trailheads for wayfinding signage and maps
 - d. Standards for bike lanes and locations for future bike routes

2. Consider revising City codes to require master planning to provide open spaces and recreation facilities for all residential projects larger than 5 acres.
3. Improve key intersections where trails cross major roads with enhanced crosswalks.
4. Coordinate with canal companies to explore the possibility of canal trails.
5. Apply for grants to achieve trail connectivity goals.
6. Propose an annual trail development and acquisition budget.
7. Pursue purchasing or dedication of waterways, floodplains, and washes for trails within the City.
8. Assist in the organization of an Active Transportation Committee for hikers and bikers to engage the community in trails planning.

Our Natural Resources

Goal: Preserve Hurricane's Natural Beauty

Policy

1. New development should not obstruct views of scenic vistas and the natural quality of the SR-9 and SR-7 City gateways.
2. New development should preserve ridges, escarpments, river washes, and other natural features where possible; and provide open spaces for natural and public benefit.
3. The City supports and encourages the preservation of natural open space.

Strategy (implementation item)

1. Review and revise City codes, as necessary, to implement project planning and design standards to protect scenic vistas, natural open spaces, and wildlife habitats.
2. The City will continue to monitor air quality standards set by the State Board of Air Quality and petition for standards particular to Washington County.

Goal: Water Quality Protection and Conservation

Policy:

1. The City will work with the Corps of Engineers to obtain advance wetland identification to aid in prevention of wetland encroachment by public and private projects.
2. Development projects that could have adverse impacts on significant wetlands should be designed to eliminate or adequately mitigate such adverse impacts.
3. The City will coordinate closely with the Washington County Conservancy District to educate residents and promote available water-wise incentives to the public and to developers.
4. Consider revisions to the City codes to:
 - a. Require that new developments use turf grass sparingly, eliminating it where possible to reduce water use
 - b. Require new developments to use local/native plants for landscaping to reduce water use
5. Update the City's landscaping and irrigation standards to conserve water usage. Techniques could include landscaping standards, approved plant lists, rainwater harvesting (where allowed), encouraging use of hydrozones, and others.
6. Ensure that City properties use xeriscaping as appropriate and water-wise irrigation methods.

Strategy (implementation item)

1. The City will work with the Corps of Engineers to obtain advance wetland identification to aid in prevention of wetland encroachment by public and private projects.
2. Development projects that could have adverse impacts on significant wetlands should be designed to eliminate or adequately mitigate such adverse impacts.
3. The City will coordinate closely with the Washington County Conservancy District to educate residents and promote available water-wise incentives to the public and to developers.
4. Consider revisions to the City codes to:
 - a. Require that new developments use turf grass sparingly, eliminating it where possible to reduce water use
 - b. Require new developments to use local/native plants for landscaping to reduce water use
5. Update the City's landscaping and irrigation standards to conserve water usage. Techniques could include landscaping standards, approved plant lists, rainwater harvesting (where allowed), encouraging use of hydrozones, and others.
6. Ensure that City properties use xeriscaping as appropriate and water-wise irrigation methods.

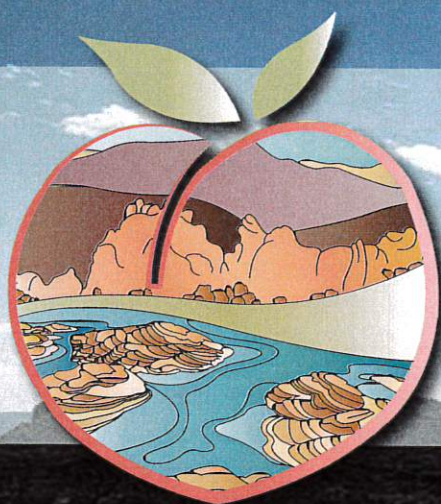
Goal: Preserve Dark Skies

Policies

1. The City values our night-sky views and recognizes our regional role in preserving them.
2. New development shall utilize outdoor lighting that is shielded downwards to minimize upward light dispersal.
3. The City supports the conversion of street lighting to energy efficient LEDs.

Strategies (implementation items)

1. Develop "dark hours" when commercial properties should shut off bright, unused interior lights
2. Convert street lighting to energy efficient LED bulbs.
3. Ensure outdoor lighting on City properties uses energy efficient LED lighting and is directed downward.
4. Develop a pallet of Dark Sky friendly lighting fixtures for new development.
5. Update current Dark Sky ordinances to contain "shall" wording.



HAVE YOUR SAY *Hurricane*

HURRICANE CITY GENERAL PLAN

Contents

4

Ma venis et

7

Ōta ducimāos

8

Hendercimūs Ex eate Magnia

10

Cepratur Ente



Acknowledgments

4

Ma venis et

7

Ota ducimaios

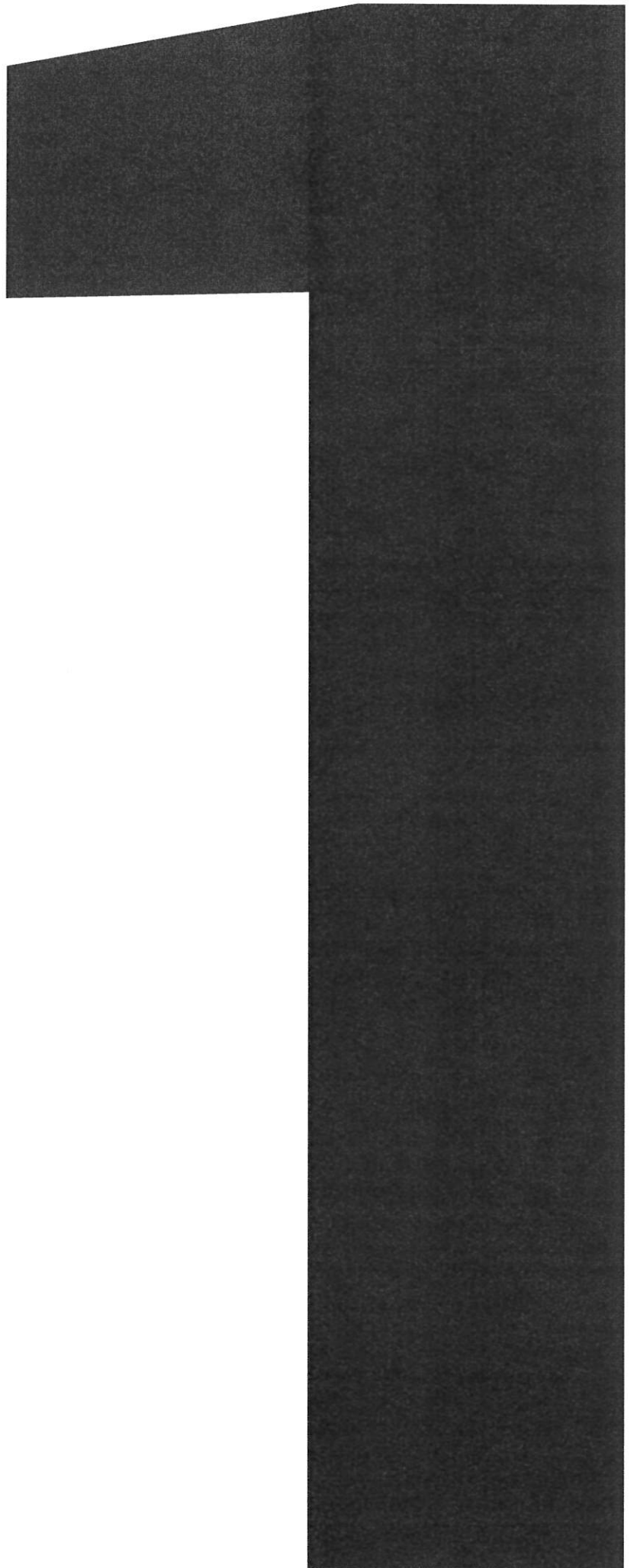
8

Hendercimus Ex eate Magna

10

Cepratur Ente





CHAPTER 1

INTRODUCTION

Have Your Say Hurricane, the General Plan for Hurricane City, Utah, sets forth a long-range guide for the City. This document outlines the community's values, visions, and desires for the future.

The City of Hurricane is positioned in the heart of Southern Utah, just off Interstate 15 and directly between St. George and Zion National Park.

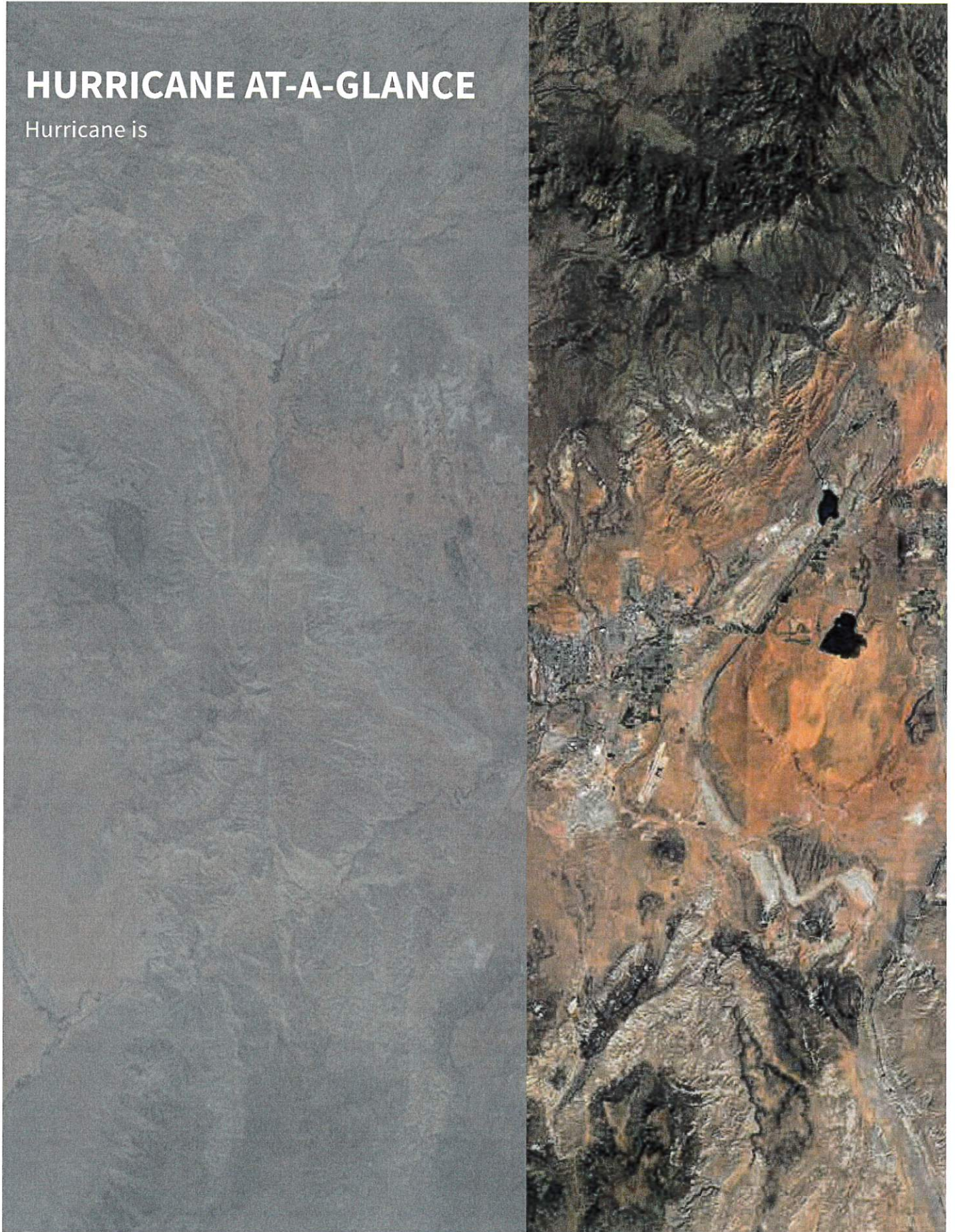
As Southern Utah grows, new development occurs, and more visitors than ever set their sites on the region's beautiful tourist destinations, Hurricane has

begun to feel significant growth pressures.

It is the intent of this plan to highlight the things that Hurricane residents hold dear, and guide future land use and development decisions to protect and enhance those elements.

HURRICANE AT-A-GLANCE

Hurricane is





WHAT'S A GENERAL PLAN?

A general plan is the primary planning document for the community. It will serve as a long-term, strategic plan with a guiding vision built by the community and strategies to support that vision. Once adopted, a general plan will shape decisions related to new development, redevelopment, City programs, and services; focusing on enhancing the City's values and high quality of life.

WHY DOES IT MATTER TO RESIDENTS?

The plan will identify community character elements and locations for future housing, parks, trails, community facilities, and more.

WHY DOES IT MATTER TO BUSINESS AND PROPERTY OWNERS?

The plan will include land use recommendations and development policies.

WHY DOES IT MATTER TO CITY LEADERS?

The plan will provide direction on the topics of development, policies, programs, and services provided by the City.

WHY DOES IT MATTER TO DECISION-MAKERS?

The plan will give guidance on budget, timing for capital improvements, and review of development proposals

WHY UPDATE THE PLAN?

Planning theory, particularly for fast growing communities like Hurricane, has advanced since the last General Plan was adopted. Because Hurricane has changed and continues to change, it is critical to identify the attributes and character of the City that residents and businesses value most.

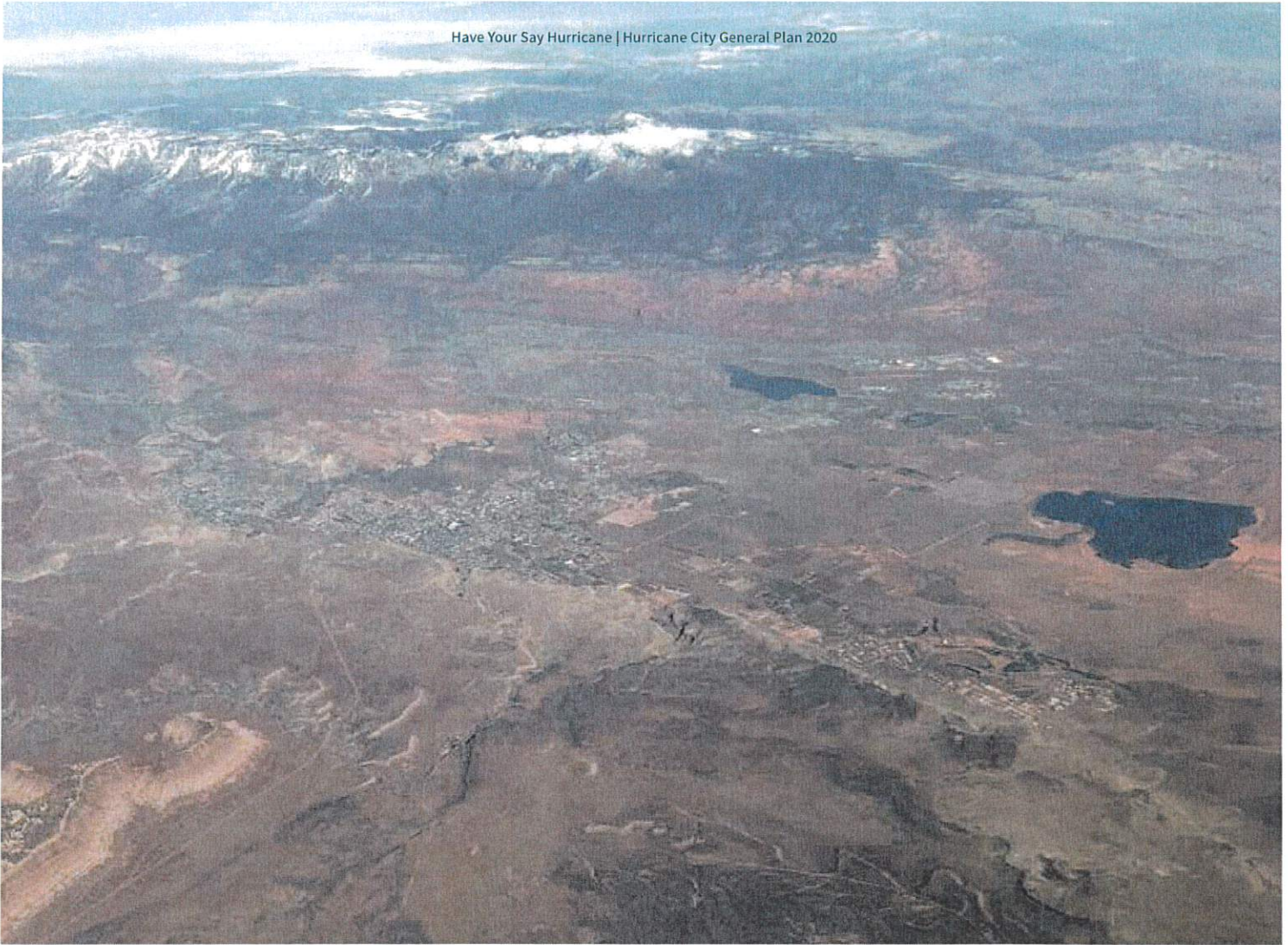
This new General Plan will provide the vision and the tools to anticipate and guide change in ways that preserve the character of Hurricane, and to ensure quality development, effective multi-modal transportation, and economic development, while protecting the community's heritage and sensitive landscapes.

Development of a general plan is required by Utah State Statutes in Section 10-9a-403 of the Utah Code.

PLAN PURPOSE

The General Plan is designed to be used for five primary purposes:

1. To articulate the City's values and vision for a desired future;
2. To identify initiatives that can be undertaken to advance Hurricane's goals and objectives;
3. As a guide for City initiatives pertaining to the physical development of the City, including but not limited to the following:
 - a. Priorities and areas of focus for small area and topical plans for Hurricane
 - b. Direction for changes to the Zoning and other sections of the City Code
 - c. Consideration in the development of the capital improvement priorities for the City
 - d. Guidance for grant applications and community partnerships
4. As a basis for reviewing land use applications for consistency with the overall land use vision in conjunction with the Millcreek Zoning Code and any applicable topical or sub-area plans of the City; and/or
5. To monitor progress on Plan objectives and adapt, where necessary, to ensure continuing progress toward Hurricane's goals and objectives.



PLAN STRUCTURE

This document is divided into eight chapters and is designed to cover seven themes: Our Land Use, Our Heritage and Culture, Our Housing, Our Economy, Our Open Space and Trails, and Our Natural Resources. These themes were carried throughout the plan development and public engagement process as key areas of focus and concern for community members. Each theme has a correlating chapter which includes existing conditions, a vision for the future, and goals and policies to achieve that vision. Following these chapters is an implementation chapter that breaks down specific actions the City plans to take to achieve the community built vision statements in this document and preserve and enhance the high-quality lifestyle Hurricane residents cherish.

CHAPTER 1

Provides an orientation to the purpose, structure, and foundations of this Plan.

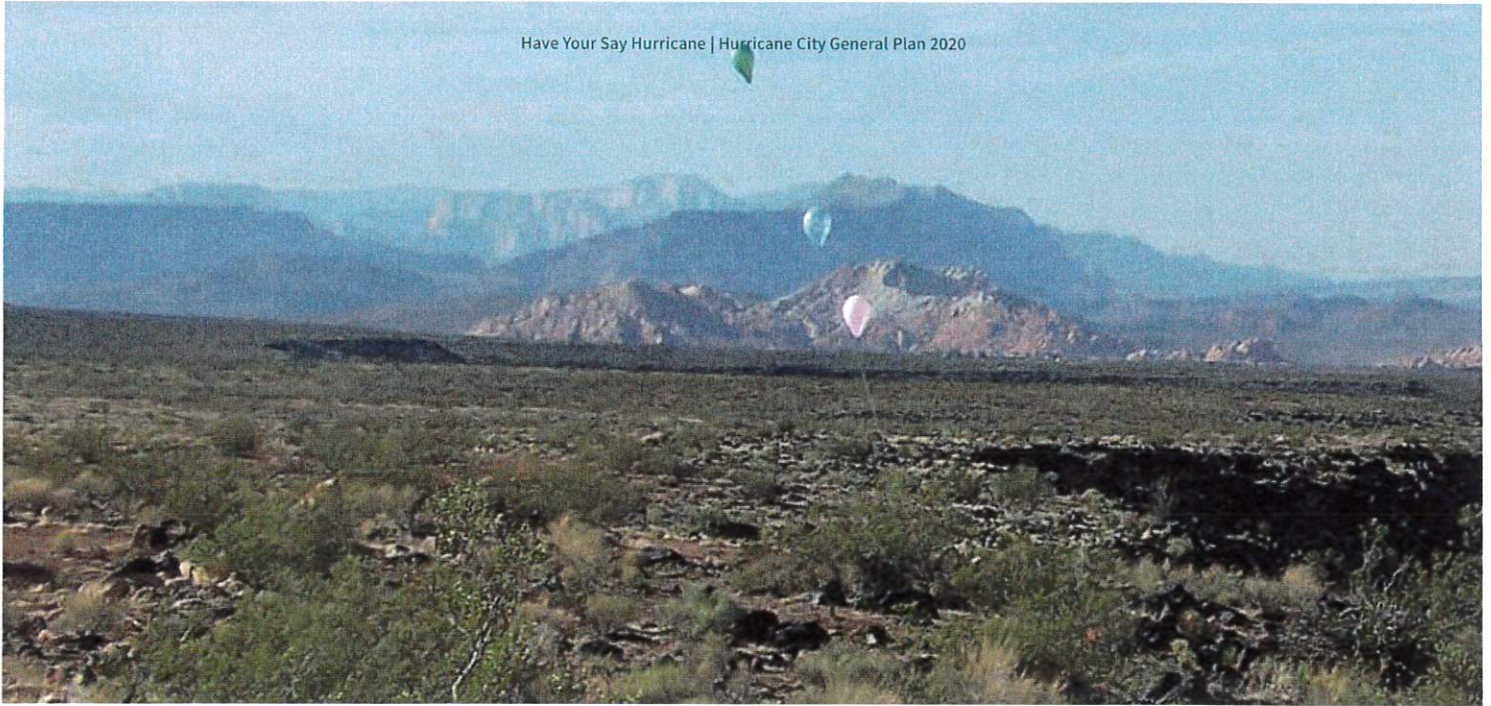
CHAPTER 2-7

Chapters 2 through 7 provide much of the plan detail, each of these chapters highlights a different theme and covers existing conditions, the community's vision for the future, and specific goals, policies, and strategies that relate to that theme. Essentially, where we are and where we want to go. Chapter 2, Our Land Use, also contains the Future Land Use map.

CHAPTER 8

If Chapters 2 through 7 call out where we are and where we want to go, Chapter 8 is how we get there. Chapter 8 takes the strategies from 2 through 7 and compiles them into manageable actions the city can take over the next ten-or-so years to achieve their goals.

This chapter is intended to be updated often as the City accomplishes goals or changes direction.



PLAN PROCESS

The Have Your Say Hurricane Process was focused on community outreach to ensure a plan that was reflective of Hurricane's values and desires for the future. The following describes the four-phase process that was used to develop this plan and it's supporting documents and reach out to the public.

PHASE 1

Phase 1 began by listening and learning about what works in Hurricane, what sets Hurricane apart within the southern Utah region, and how the final plan will be used to ensure the Plan update is a success. In this phase, we developed an Existing Conditions document that served as the basis for "where we are".

PHASE 2

Phase 2 was used to illustrate the community's vision by graphically representing what we have heard from the public and community stakeholders. These shared community vision statements serve as a framework for this plan, providing statements of commonly shared goals for the future of Hurricane.

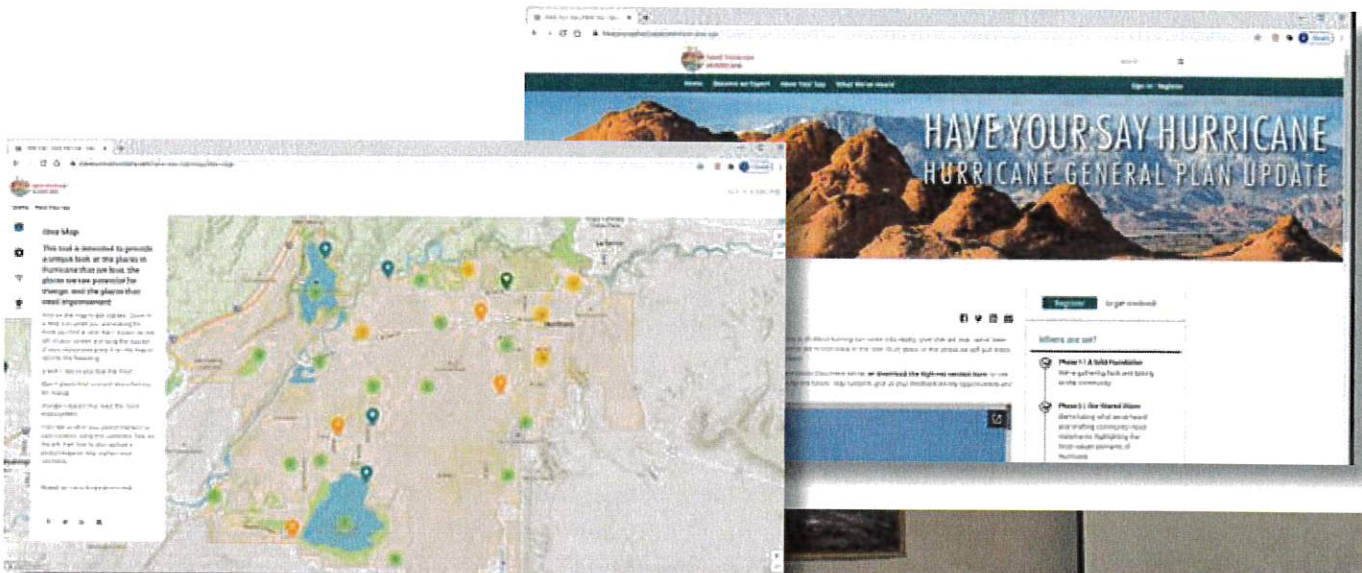
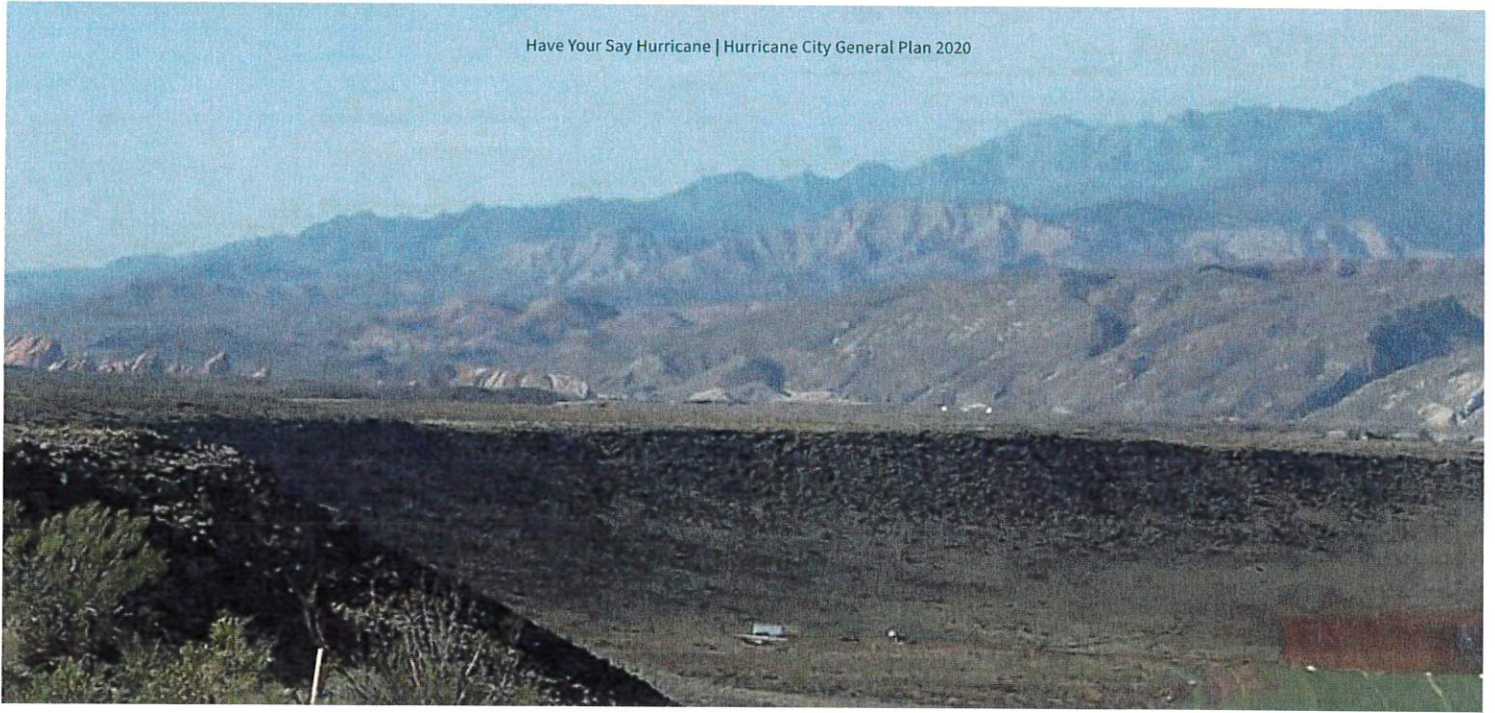
PHASE 3

Phase 3 translated the vision into reality by identifying opportunities that reflect Hurricane's goals for the future and meet the vision. The public reviewed community choices and big opportunities to determine what the City should prioritize over the next decade.

PHASE 4

Phase 4 is the bridge between opportunity and implementation, during which the actions and strategies to employ in this plan were evaluated. The data analysis, goals, and vision identified to this point, were pulled together to create a strategic, innovative, and streamlined General Plan document.







CHAPTER 2

OUR LAND USE

Currently, Hurricane has a lot of undeveloped land. Most of this land is zoned for Agricultural Residential, even though that may not be the desired use of the land.

Thinking ahead about land use now and understanding Hurricane's existing land use patterns helps determine what types of development the City is lacking and where these developments will be most appropriate in the future. Creating a healthy balance of land uses ensures economic stability by creating jobs and

sales tax; builds higher quality of life by giving residents safe access to recreation, services, education, and jobs; and helps preserve natural resources by determining where density belongs while minimizing the chance of development spreading into the natural landscape.

OUR LAND USE TODAY

HOW IS OUR LAND USED?

Much of Hurricane has not yet been developed, about 70%. About 30% of this is due to the area's natural landscape, which includes steep slopes and floodplains. Nearly all of the undeveloped land in Hurricane, developable or not, is zoned "Residential Agricultural one acre". In fact, over half of the city is zoned Residential Agricultural one acre or Residential Agriculture 0.5 acre. Residential Agricultural, Single Family Residential, and Multifamily Residential make up 86% of the zoned land in the City, leaving just 14% for commercial, industrial, and other uses.

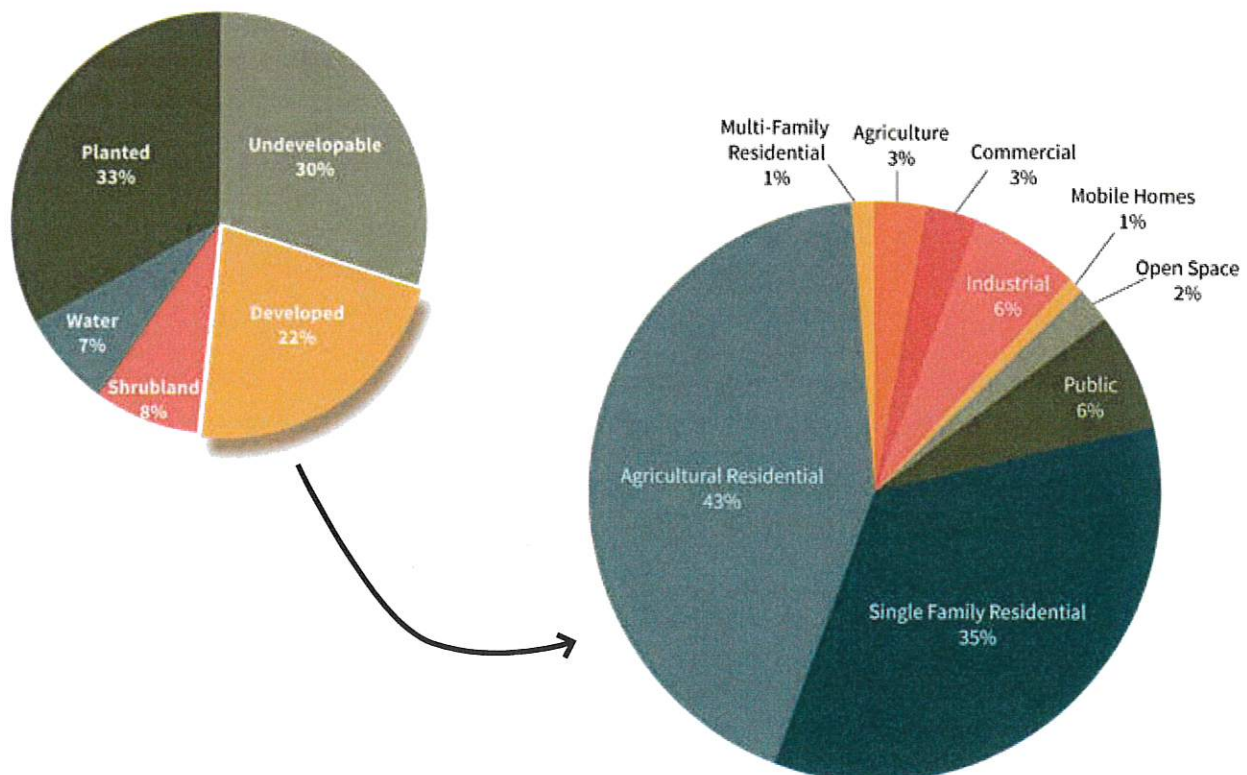
The zoning and actual use of the land in Hurricane are two different stories. With the exclusion of undeveloped land, undevelopable land, and water (70% of the City's land in total), the most prominent remaining land uses are Single Family Housing and Agricultural Residential.

JOBS/HOUSING

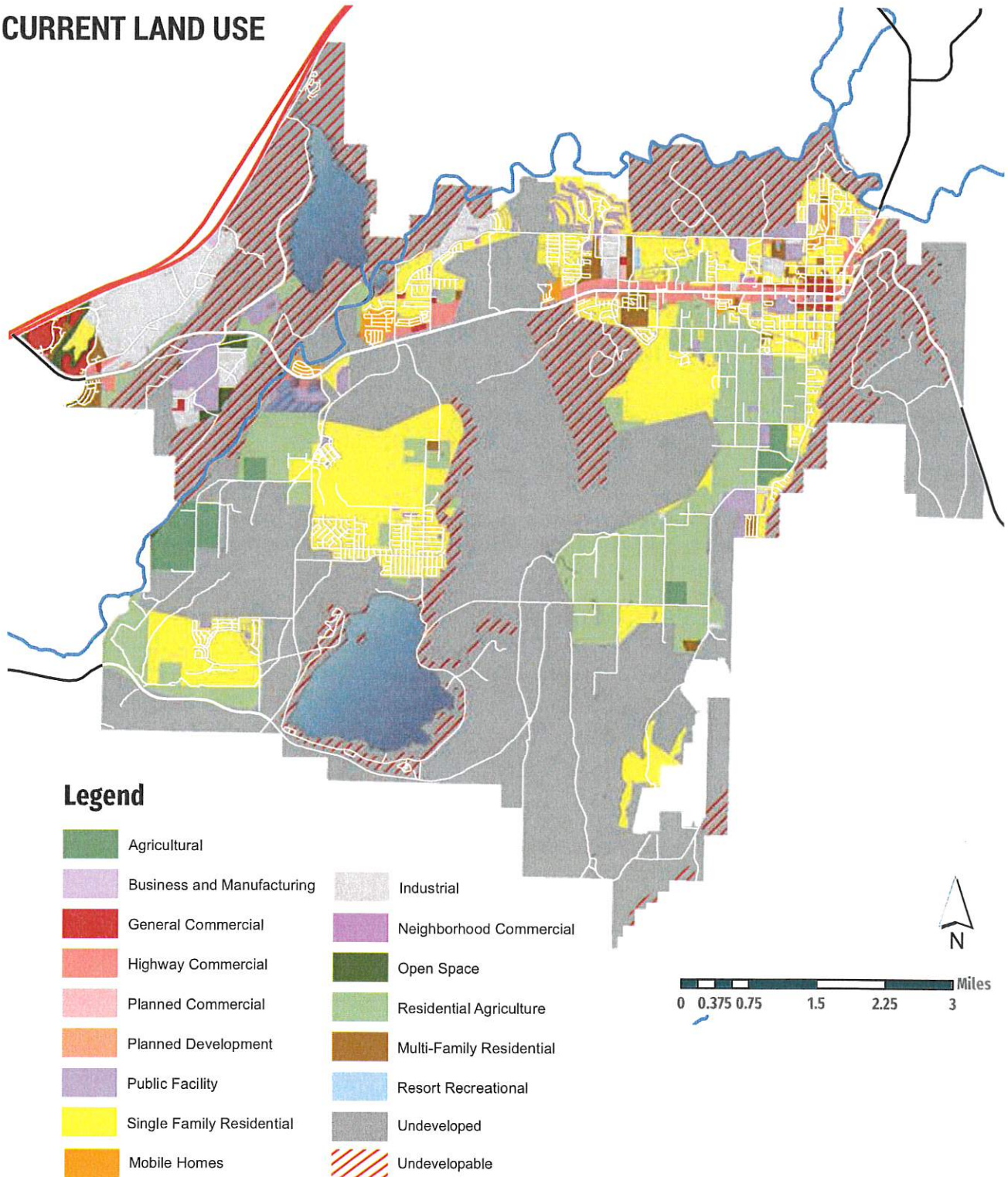
Comparing employment numbers with household data indicates whether a community is a net importer or exporter of employment. A ratio above 1.0 suggests that a community is a net importer while a ratio below 1.0 indicates that residents tend to work outside of the area due to a lack of local job opportunities, both in numbers and quality. Increasing this ratio in the future will indicate growing success as an employment center, leading to increased local tax revenues.

The number of jobs available within the City of Hurricane is about 5,294. The City has an estimated 6,700 households, resulting in a jobs to housing ratio of 0.79 jobs per household. This is consistent with the 2010 ratio of 0.73 jobs per household. Since roughly 6,500 Hurricane residents are currently employed (half of the working age population), this may be indicative of a need for more living wage jobs within the City. On the other hand, this may also be reflective of the community's large retiree population.

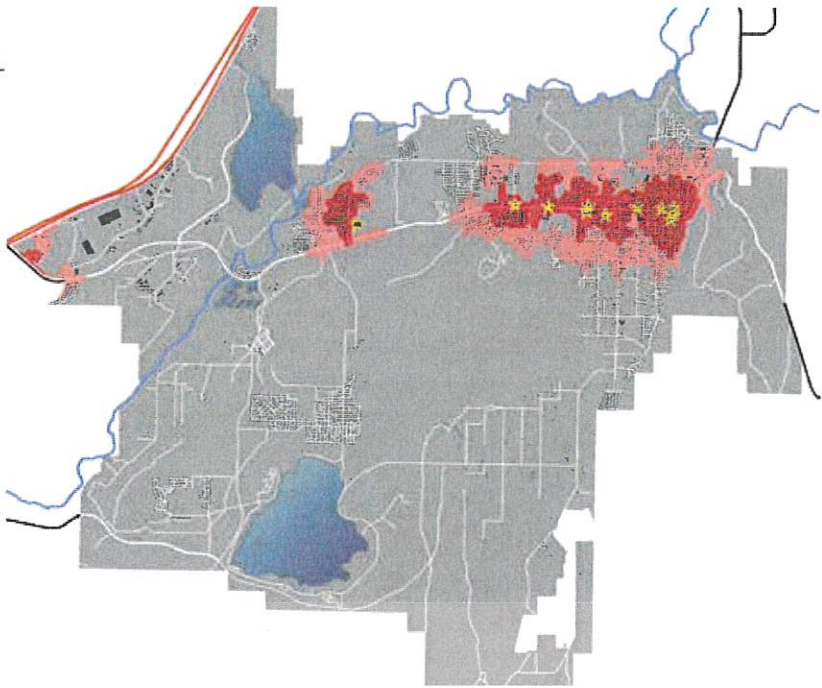
HURRICANE LAND USE BREAKDOWN



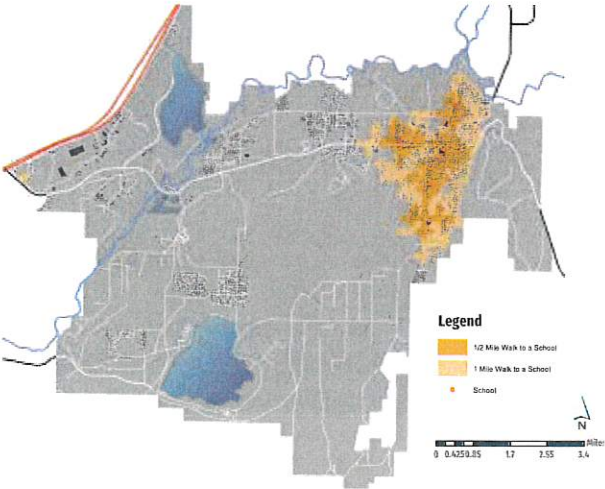
CURRENT LAND USE



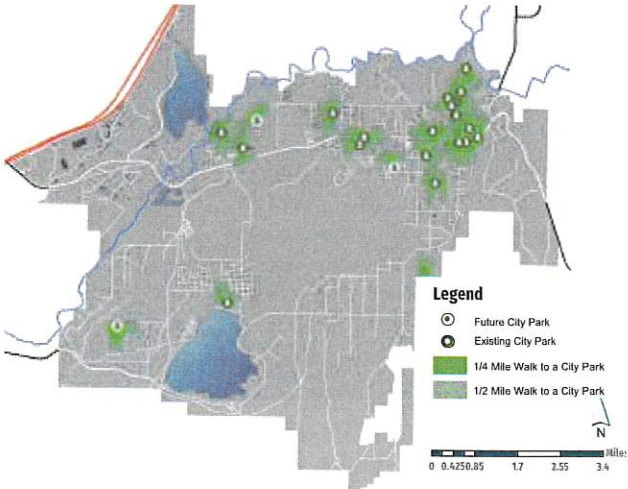
DISTANCE TO COMMERCIAL CENTERS



DISTANCE TO SCHOOLS



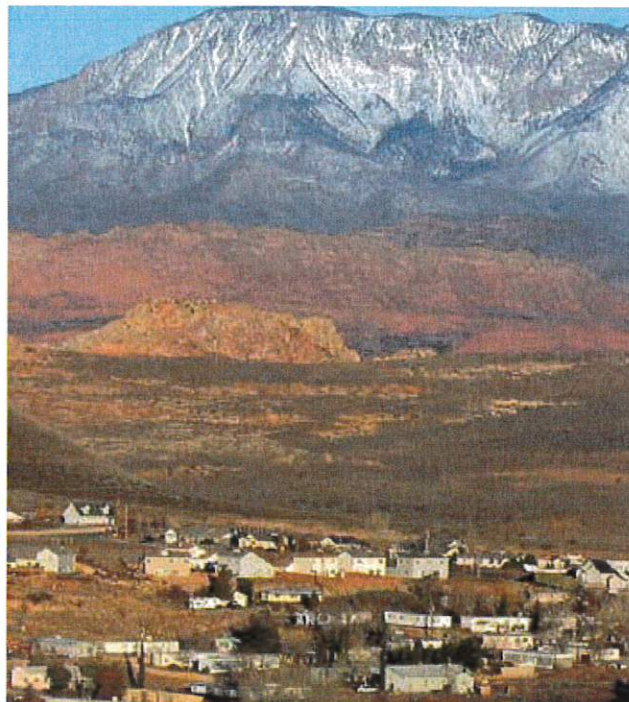
DISTANCE TO CITY PARKS



HOUSEHOLDS DISTANCE TO...

A key metric when evaluating the land use of a community is understanding what amenities residents have reasonable access to. For example, what percentage of residents can access schools, jobs, and recreation without a personal vehicle?

As shown on the map below, there are a few neighborhoods within the City that cannot walk a half-mile and be at a City-owned park facility. Because parks and open space are such a highly valued amenity to Hurricane residents, this may indicate a need for more parks, or a more connected trail system. This is true for residential access to schools and commercial centers as well. This distance has been expanded to a half mile walking distance. Planning for shorter walking distances from neighborhoods to schools and commercial centers is crucial in ensuring residents of all ages and abilities can navigate life in Hurricane without having to drive a personal vehicle.



WHY DOES IT MATTER?

Currently, Hurricane has a lot of undeveloped land. Most of this land is zoned for Agricultural Residential, even though that may not be the desired use of the land.

Thinking ahead about land use now and understanding Hurricane's existing land use patterns helps determine what types of development the City is lacking and where these developments will be

most appropriate in the future. Creating a healthy balance of land uses ensures economic stability by creating jobs and sales tax; builds higher quality of life by giving residents safe access to recreation, services, education, and jobs; and helps preserve natural resources by determining where density belongs while minimizing the chance of development spreading into the natural landscape.





OUR LAND USE TOMORROW

“In 2030, Hurricane is forward-thinking with land use decisions, prioritizing transitional growth and access to amenities in local neighborhoods. Each new development adds to the quality of life of existing and future Hurricane residents with the necessary infrastructure, appropriately-sized buildings and lots, and consideration of local and regional trail systems. The balanced land use plan reinforces the City’s economic stability, helps foster a vibrant downtown, and preserves key natural open space areas.”

THIS MEANS:

- » Open space preservation
- » Creating “complete neighborhoods” with necessary amenities nearby
- » Expanding options for property owners
- » Consideration of appropriate infrastructure
- » Local and regional trail connectivity
- » Consideration for existing surrounding land uses

OUR FUTURE LAND USE PLAN

The utility of the Future Land Use Map (FLUM) is to identify areas that are currently zoned to support current and anticipated future uses, and distinguish those from areas where current zoning is anticipated to change in the future to accommodate desired and planned future uses. In Hurricane, the developed and developing areas have current zoning that supports current and near-term future uses. The main areas of the City in which land uses are anticipated to change in the future, and where zoning is expected to change to accommodate new uses, are the areas currently zoned RA-1, Residential Agriculture, which provides for agricultural uses and residences at up to one unit per acre and undeveloped areas.

Future Land Use is separate from Zoning and doesn't change the City's existing land uses. The purpose of a FLUM is to guide future development and growth

in a direction the City can support and in a way that enhances the quality of life of existing and future residents. FLUM land use categories should be general enough to allow for some design flexibility, but specific enough to give landowners and developers some direction as to what the City is looking for in uses and style and patterns of future development. The FLUM should also recognize and acknowledge the expectations of current landowners with regard to allowable future zone changes, while providing an understanding of the City's own expectations.

The approach to developing a new FLUM is generally two-fold. The first step was to revise and clarify the future land use category descriptions to provide guidance regarding desired land development patterns, land uses and "neighborhood" types.

PLANNING FOR THE DEVELOPMENT WE WANT

Am, estenienis ute eum quo verione ctotatia sed maion nobis ma debite simus volorro te ex etum exceria dolupta tumquis nonsequi dolor maionse ndebit, cum sus rempernam, ullate laccull itemporennet odis et ea dolute laborrum volesequam quos sam ipis dolore, ommodit, ut hictis quias dellicil mo oditati comnimpe consequ atquaepro torunti beaquat esci ommodigeni conseri berferf erspicil iumquiat pedisquiat re, simostrum que in est volupta dolorionsed que voles dolut occupti oreiur accat ipicabo reseque nonseruptas eaquo eum as qui nobitia serum exerrov itinullam digenist, nimenem quam verit ad que peristo ea nobistio. Cum quasperat.

Ceati sim delique susam reptio ommolup tatur?

Henitas quatem eum in eaque eriorepta demolorerum rere provitatum remporis et pero volorest adionem.

Namus.

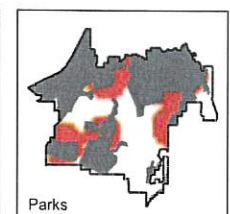
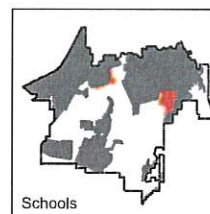
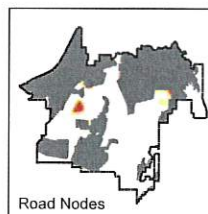
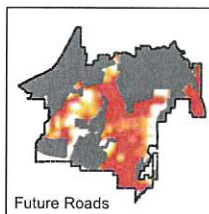
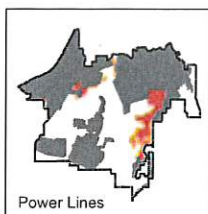
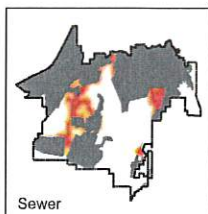
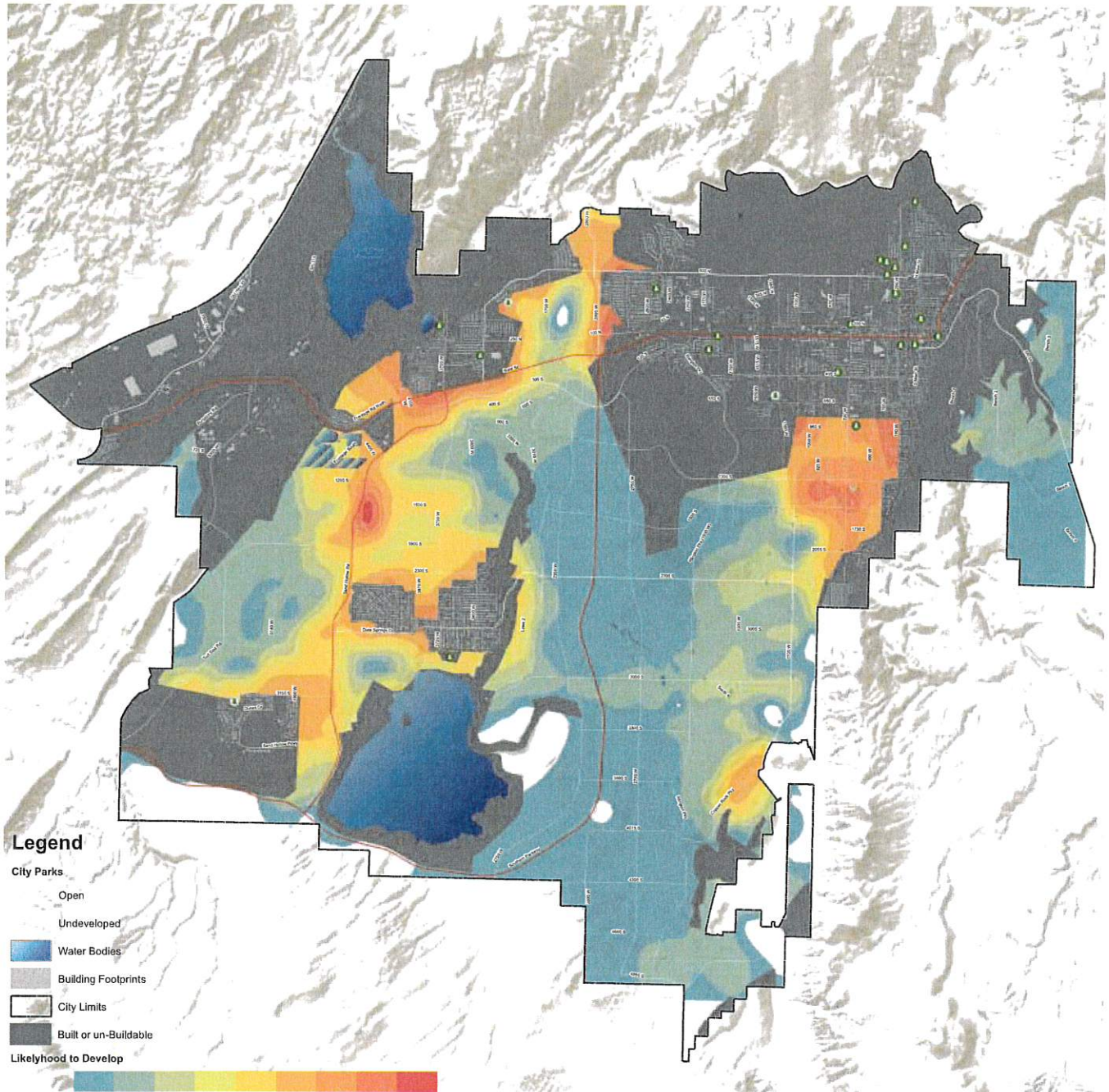
Il id evelibustia simus, to voluptur reruptae sundelias sed qui quid que nulpa qui berum et digenda im il et molut dest asperia aspit a essitat exerrum qui aritae nonsequas et et as aliqui volore expersped quiae. Nequia venihil iquam, aut lacerum dit ius estrum in plitatio. Ut aborem et quodit, andigen ditiumquo eum, et que sam qui vellor sus.

Cearchi caborru mquatem autem eiumqui te velitati in nihille sectur susanda ntiorep ersperes quis volorro vidus.

Occupta nus, as nulloribus doloriae consequae pror alibusantia con pe dis sitate venihit quatem. Ut fuga. Ut aligenit aligendignam etur secatur?

Ut vellabori nimustiberum fugia qui untum cuptaes aut aut explabo. Lest delesenit opta quae et alitiam,

Infrastructure and Facility Supported Development





RESIDENTIAL USES

AGRICULTURAL/RURAL RESIDENTIAL

Property used for keeping or pasturing of animals or raising of crops with supporting residential use. Appropriate density should be one to two lots per ten acres.

SINGLE FAMILY RESIDENTIAL

Residential neighborhoods characterized by single-family homes. These uses should be located near supporting community uses such as, but not limited to churches, schools, and parks. Appropriate densities for this land use include R1-15, R1-10, R1-8, and R1-6.

MODERATE TO HIGH DENSITY RESIDENTIAL

Residential neighborhoods with a combination of small-lot single family and multi-family residences that include designated shared open spaces. Each development should consider proximity of transportation, schools, shopping, etc. The specific conditions for each project would be addressed during the approval process. Appropriate densities for this land use include RM-1, RM-2, and RM-3.

PLANNED COMMUNITY

Master planned communities should be complete communities that offer a mixture of housing types and supporting uses such as neighborhood and supporting commercial uses, offices, churches, schools, and parks. Development in this designation should take into account the character of existing surrounding development.

COMMERCIAL USES

MIXED USE

Mixed use areas should be developed as small districts or community centers offering a mix of retail, dining, entertainment, employment, and supporting residential. These developments should be easy and safe to navigate on foot and located in areas with access to major roads and surrounded with appropriate residential densities to support these uses.

GENERAL COMMERCIAL

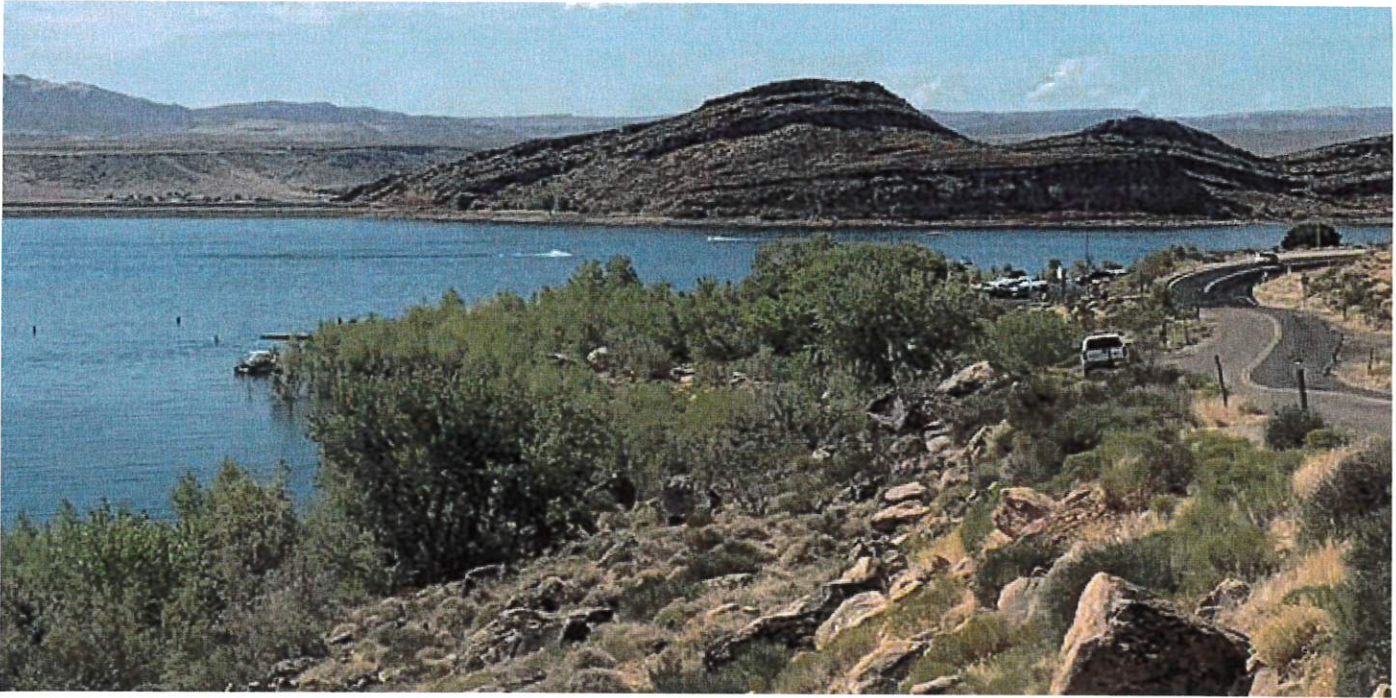
Commercial uses that provide retail, employment and service uses for the City. These developments should be located along major corridors.

NEIGHBORHOOD COMMERCIAL

Retail and service uses scaled to surrounding existing and planned future residential uses at strategic locations throughout the City.

DOWNTOWN

This land use is concentrated in Hurricane's historic downtown district. Desired uses downtown include retail, residential, dining, public, and entertainment. Development in this area should build on Hurricane's unique character and heritage, reusing existing buildings where possible. This area is held to a higher standard of design and strives to create a safe and inviting environment for pedestrians.



OFFICE AND INDUSTRY

BUSINESS/LIGHT INDUSTRIAL

Uses including general business operations, employment centers, and small-scale warehousing or assembly facilities with automobile and truck access. BMP and M-1 zone designations are most appropriate for this use.

INDUSTRIAL/HEAVY MANUFACTURING

Uses including heavy manufacturing and large-scale warehousing within large, predominately single or two story, structures. Use includes vehicular access for large trucks for raw materials and finished product shipping. The M-2 zone designation is most appropriate for this land use.

AIRPORT

Land uses in the area around the Hurricane Airport are limited in both use and scale to protect area residents and ensure safe use the airport.

PUBLIC AND OPEN SPACE

PUBLIC

Uses including municipal services, public or private schools and campuses, playing fields, recreational facilities and similar public facilities.

NATURAL OPEN SPACE

Areas within the City of undeveloped open space, such as hillsides, ridge lines, river corridors, habitat, and drainage channels left in a predominately undisturbed state with minimal use impacts. These areas may include uses such as trails, trailheads, and small pavilions.

RECREATIONAL OPEN SPACE

Areas designated for private or public open space used for managed recreational activities including but not limited to playgrounds, splash pads, golf courses, and sports fields.

OUR FUTURE LAND USE PLAN

The utility of the Future Land Use Map (FLUM) is to identify areas that are currently zoned to support current and anticipated future uses, and distinguish those from areas where current zoning is anticipated to change in the future to accommodate desired and planned future uses. In Hurricane, the developed and developing areas have current zoning that supports current and near-term future uses. The main areas of the City in which land uses are anticipated to change in the future, and where zoning is expected to change to accommodate new uses, are the areas currently zoned RA-1, Residential Agriculture, which provides for agricultural uses and residences at up to one unit per acre and undeveloped areas.

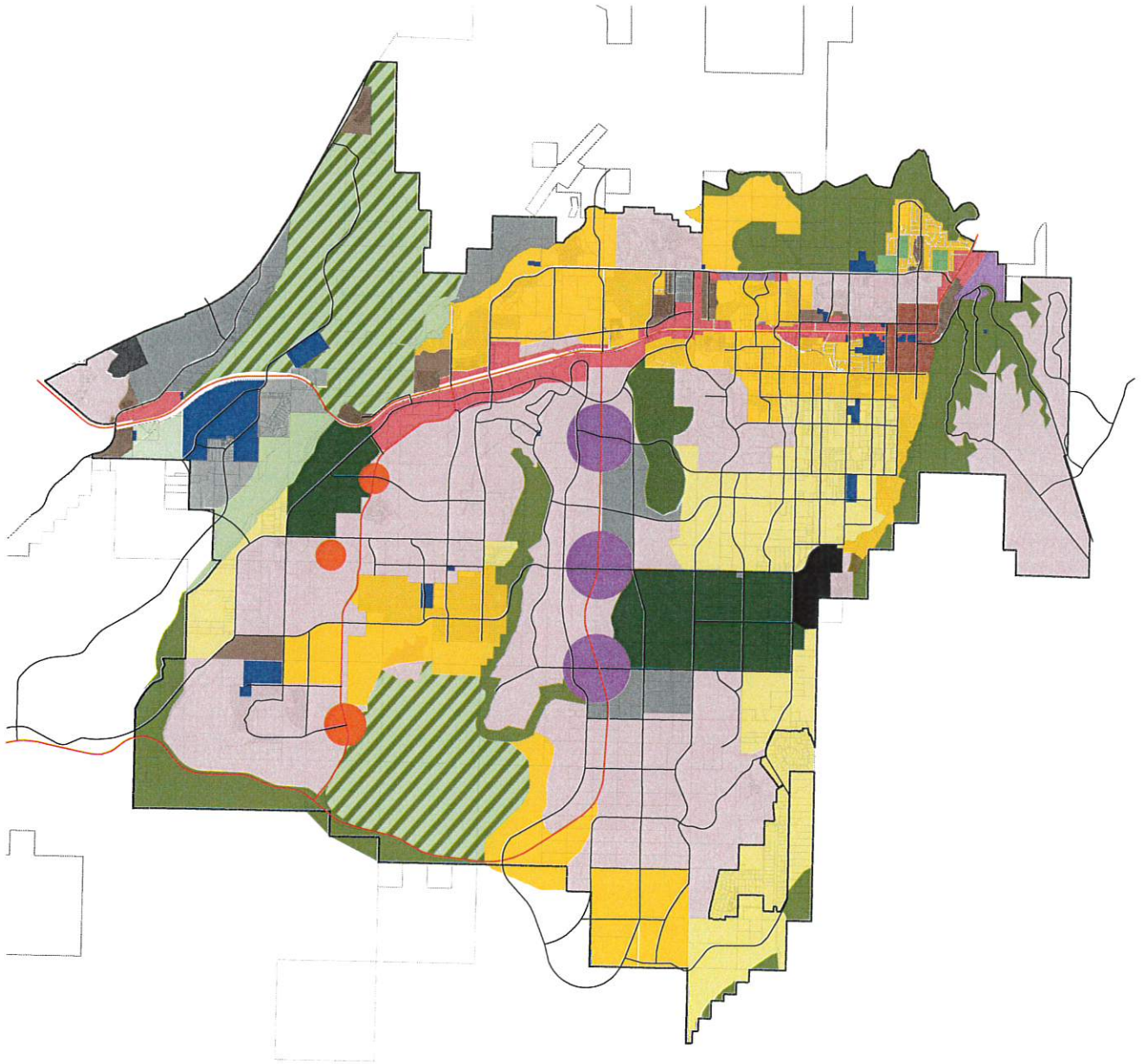
Future Land Use is separate from Zoning and doesn't change the City's existing land uses. The purpose of a FLUM is to guide future development and growth

in a direction the City can support and in a way that enhances the quality of life of existing and future residents. FLUM land use categories should be general enough to allow for some design flexibility, but specific enough to give landowners and developers some direction as to what the City is looking for in uses and style and patterns of future development. The FLUM should also recognize and acknowledge the expectations of current landowners with regard to allowable future zone changes, while providing an understanding of the City's own expectations.

The approach to developing a new FLUM is generally two-fold. The first step was to revise and clarify the future land use category descriptions to provide guidance regarding desired land development patterns, land uses and "neighborhood" types.

LEGEND

 Recreational Open Space	 Mixed Use	 Public
 Natural Open Space	 Planned Community	 Industrial/Business
 Agricultural	 General Commercial	 Industrial/Heavy Manufacturing
 Rural Residential	 Downtown	 Airport
 Low Density Single Family	 Neighborhood Commercial	
 Multifamily		



GOALS, POLICIES, AND STRATEGIES

The goals and policies in this section support and advance the vision for our land use and is supported by the existing conditions in this chapter. The policies in this section should be used for policy guidance and assist in decision making. The strategies are specific steps the City can take to achieve each goal. This

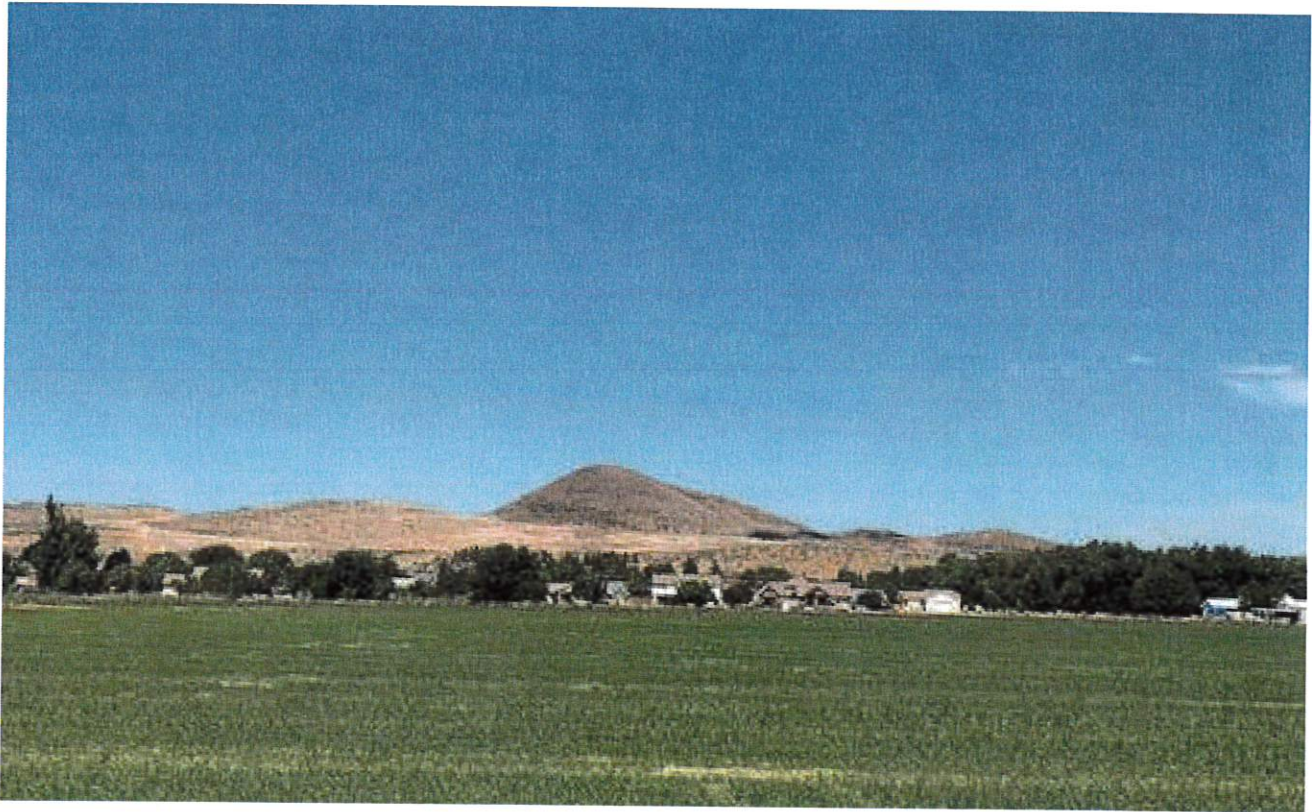
section should be used alongside the final chapter in this document, Implementation. The Implementation Chapter combines the land use strategies with strategies from other chapters and groups them together to ensure the most efficient use of City resources.

LAND USE GOAL 1: MANAGED GROWTH

The population of Hurricane has been steadily growing over the past ten years, and it is anticipated that the growth trend will continue for the foreseeable future. The increasing population creates an increased demand for public services, utilities, roads, schools, shopping, recreation facilities, and other goods and services. It is vital that growth be managed in a way that allows the City to provide needed services effectively and efficiently and within the limits of available resources. The Hurricane Future Land Use Map identifies areas within the City where new development is anticipated, and generally describes the land uses and levels of development that would be appropriate for each area.

POLICIES

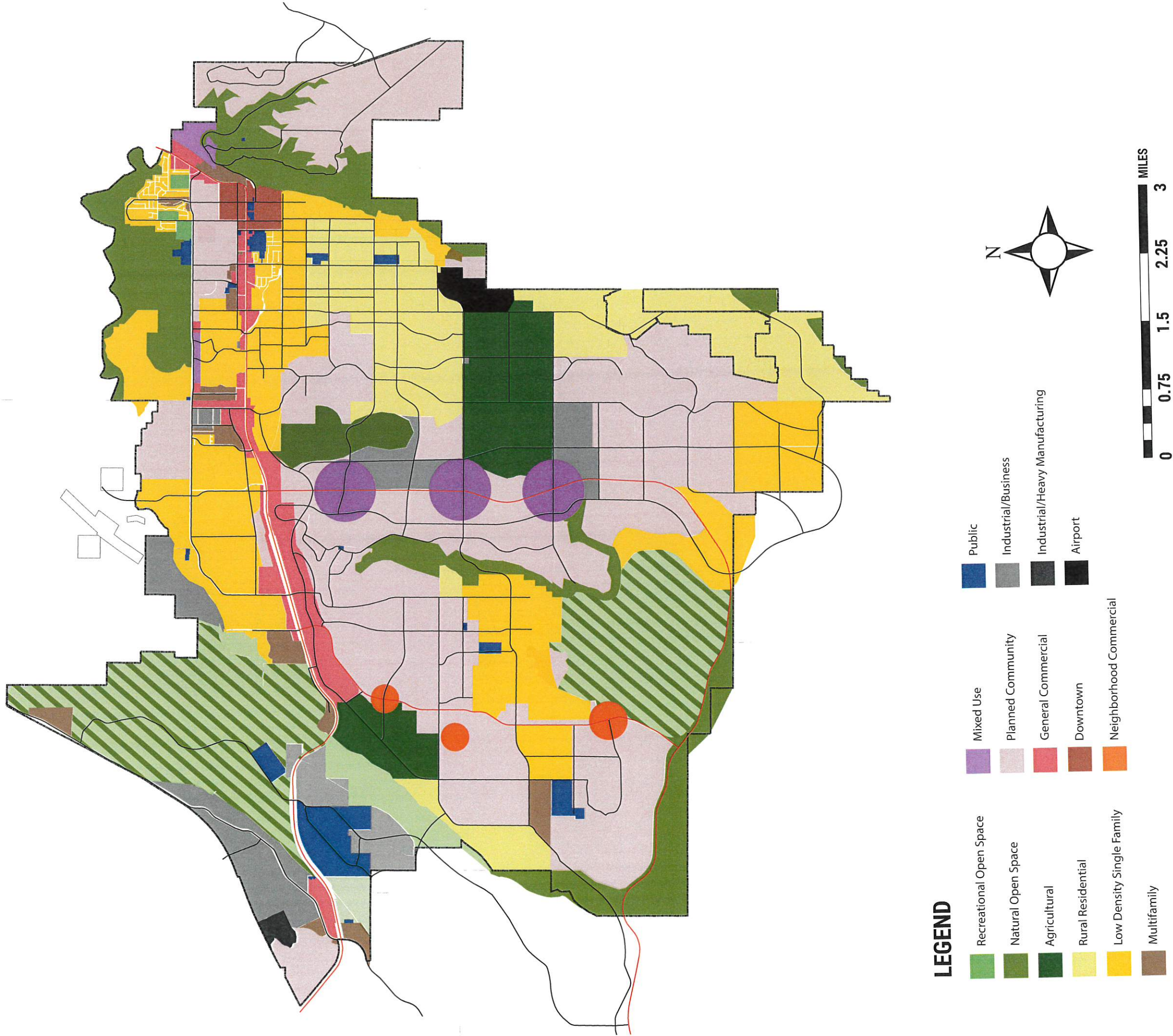
1. New development should be planned and designed to use the land area efficiently; allow for efficient delivery of utilities and services; avoid natural hazards; protect open spaces and natural features; and respect the historic context and character of the City.
2. New development should occur at intensities and in locations that can be reasonably served by existing City services and facilities to minimize the financial burden on existing residents. The costs of new development should be borne primarily by the developers.
3. Hurricane supports expansion and infill development in appropriate locations to utilize existing infrastructure and services efficiently.
4. New development should be compatible with existing surrounding land uses.
5. The City encourages the development of complete neighborhoods with necessary amenities to emphasize a sense of community.
6. The City supports small scale, convenient neighborhood stores and services throughout the City to reduce the need for crosstown traffic.



STRATEGIES

1. Consider amending the City code to require that all new developments larger than 5 acres be master planned to protect natural features and farmlands; provide open space; and utilize efficient development patterns.
2. For land development projects located within or near identified geologic or soils hazards, a geologist, soil scientist, or civil engineer will identify, delineate, and evaluate those hazards as they affect the project area. The City should review and update the Sensitive Lands and Hillside Development requirements to help preserve natural areas.
3. Update the Capital Facilities Plans as needed to provide guidance in construction of public facilities.
4. Review and adjust, as necessary, fees to assure that new development pays the total cost of the expansion of public utilities and services to support the development.
5. Establish concurrency standards to require or secure the installation of required infrastructure as a condition of approving rezoning applications.
6. Evaluate areas within the City where development impact fees or the creation of service areas could finance needed infrastructure.
7. Pursue the addition and/or expansion of a public transportation system
8. Regularly coordinate with public agencies regarding the provision of roads and utilities on public lands anticipated to be developed.

Hurricane Future Land Use Map



CONDITIONAL USE PERMIT

City of Hurricane
147 N 870 W
Hurricane, Utah 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$250

For office use only:

File No: 2020-CUP-09

Receipt: 8.143918

APPLICATION & SUBMITTAL CHECKLIST

Name: American Heritage Homes Telephone: 435-229-7364
Address: P.O. Box 667 Washington Fax No. _____
Email: Shem@AHHomes.com & Seth@AHHomes.com
Agent (If applicable): _____ Agent's Phone: _____
Agent email: _____

Address of Subject Property: 3507 W 2430 S Dixie Springs Lot C39

Tax ID of Subject Property: H-DSP-C-39-A Zone District: _____

Proposed Conditional Use: (Describe, use extra sheet if necessary) Detached Garage
with height of 19'-4 1/8".

This application shall be accompanied by the following:

- ☒ 1. A plot plan showing the following:
 - ☒ Property boundaries, dimensions and existing streets.
 - ☒ Location of existing and proposed building or livestock facility
 - ☒ Adjoining property lines and uses within one hundred (100) feet of subject property.
- ☒ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- ☒ 3) Building floor plans for new construction
- ☒ 4) A statement of how the applicant intends to meet the conditions for the use desired
- ☒ 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

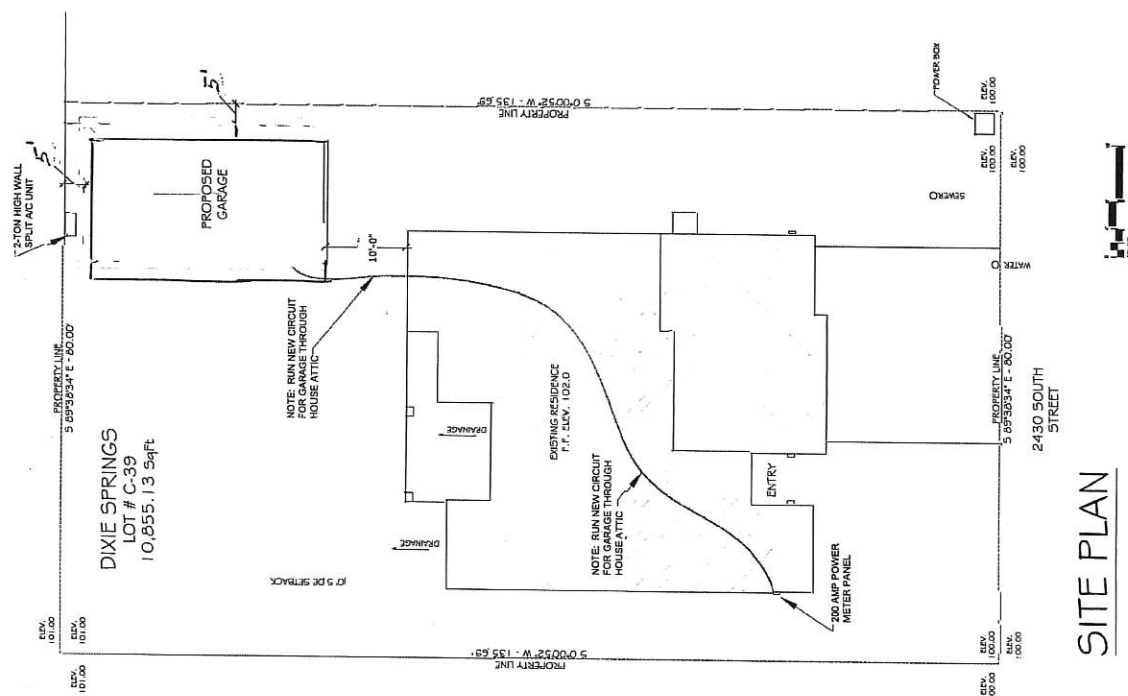
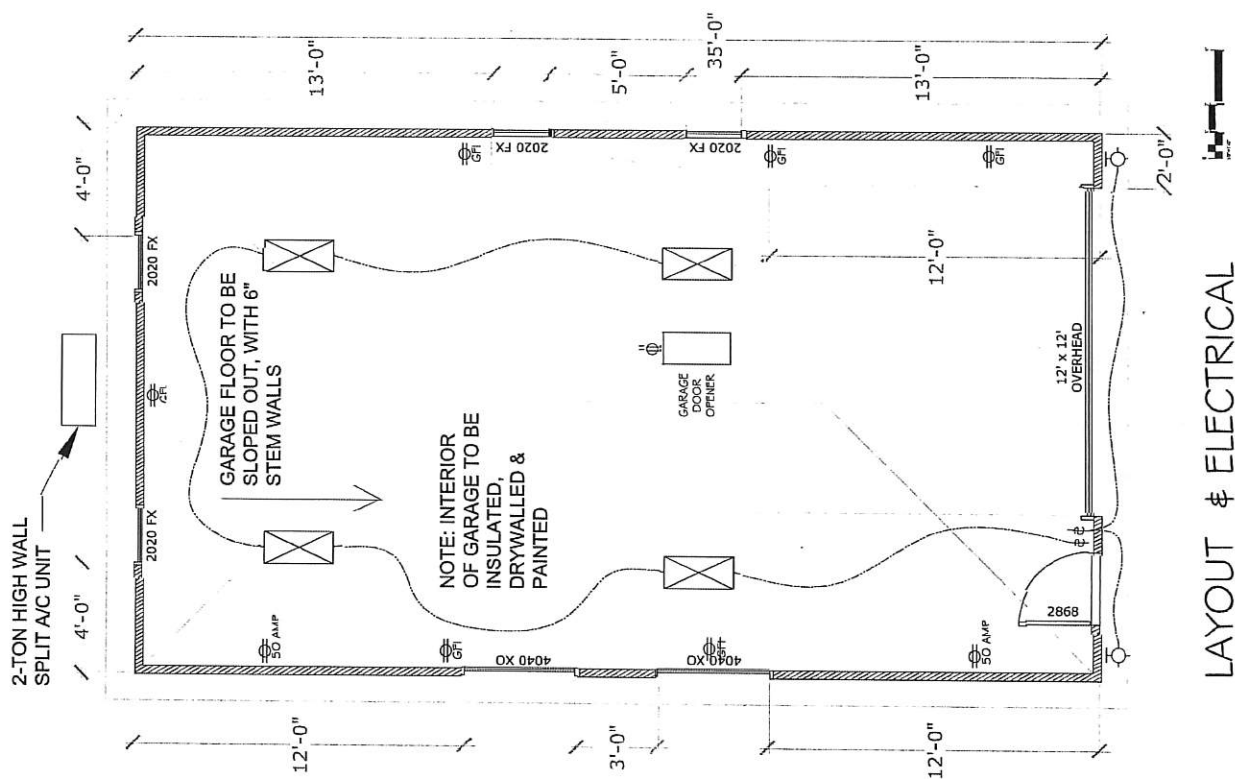
NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.

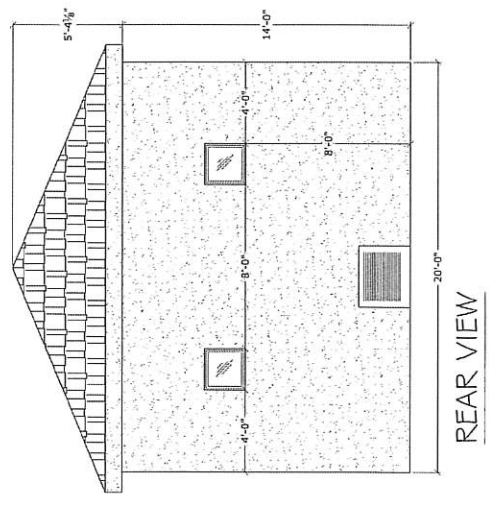
(Office Use Only)

Date Received: _____

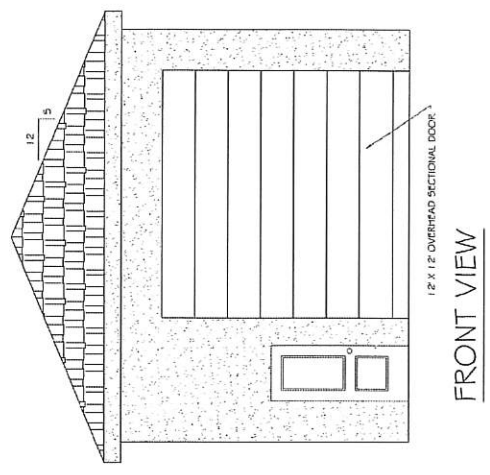
Received by: _____

Date application deemed to be complete: _____ Completion determination made by: _____

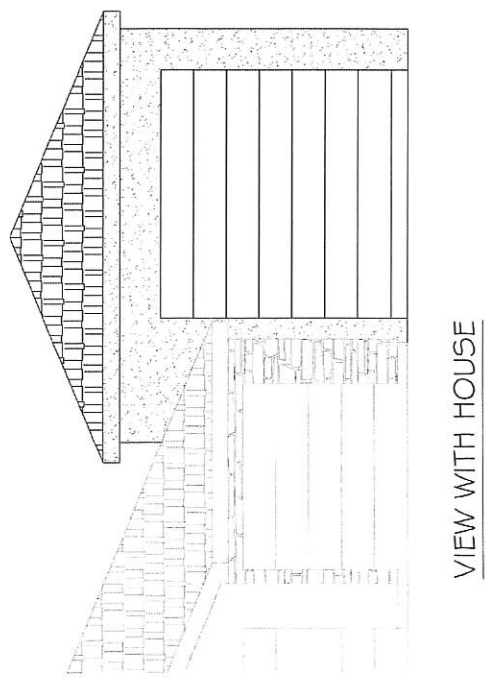




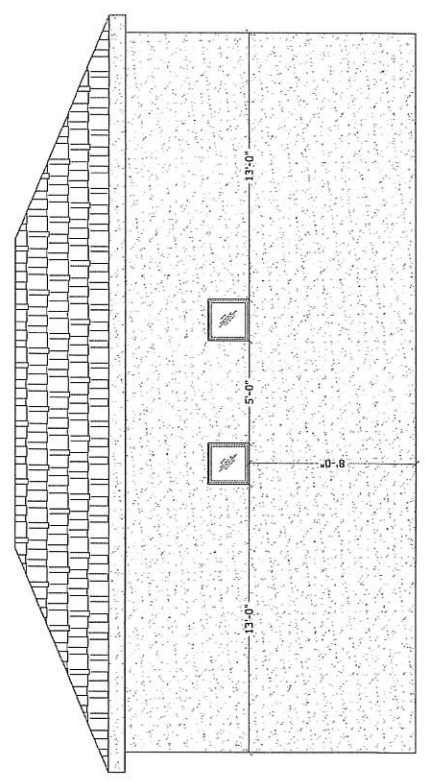
REAR VIEW



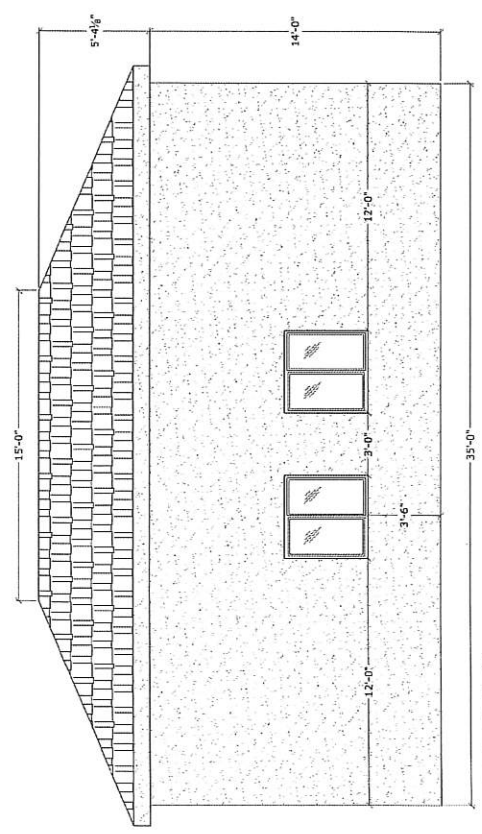
FRONT VIEW



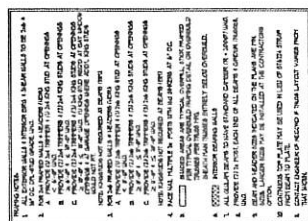
VIEW WITH HOUSE



WEST VIEW



EAST VIEW



675

STAFF COMMENTS

Agenda: Novemeber 12, 2020 **File Number:** 2020-CUP-09

Type of Application: Conditional Use Permit

Applicant: American Heritage Homes

Request: A Conditional Use Permit for an accessory building in an R1-10 Zone

Location: 3507 W 2430 S

General Plan: N/A

Existing Zoning: Single Family R1-10

Discussion: The applicant proposes constructing a 700 sq. ft., 19' 4 1/8" tall accessory building. Hurricane City Code (HCC) 10-13-4 allows the max square feet and height of an accessory building to be 1,200 sq. ft. and 16' tall. A property owner may apply for a conditional use permit to be able to build a taller building. The standards to obtain a conditional use permit are as follows:

10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:

- 1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*
- 2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section: ...*

e. Standards for greater heights and size than permitted by this Code:

- (1) The height may not be greater than two (2) stories or 1.5 times the average height of the immediately adjacent buildings, whichever is greater and the building must be of compatible architecture with immediately adjacent buildings.*
- (2) When a greater height accessory building is approved, the building must be set back a minimum of five feet (5') from side and rear property lines when the adjoining property is for single family residential use.*
- (3) The greater size building desired must be of compatible architecture with immediately adjacent buildings, must leave at least fifty percent (50%) of the lot on which it is located free of buildings, and must be for a use permitted in the zone in which it is located. (Ord. 2018-14, 12-20-2018)*

Findings:

1. The proposed building is not greater than two stories at 19' 4 1/8" ".
2. The proposed building is planned to have an exterior composed of stucco to match the home.

3. The building is set back a minimum of 5' from the side property lines and 5' off the back.

Recommendation: Based on the above findings, staff recommends approval of a conditional use permit for the proposed accessory building as presented.

LAND USE ORDINANCE TEXT AMENDMENT APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2026-LUCA-07
Receipt No. 7-662655

Name: Fairway Vista Estates Telephone: 435-463-2400

Address: P.O. Box 160, Hurricane, UT 84737 Fax No. _____

Agent (If Applicable): Alliance Consulting (Mike Bradshaw) Telephone: 435-673-8060

Email: kenneth.knudson@hnmweb.com Agent Email: mwb@allianceconsulting.us

The proposed text amendment would be to what Chapter and section of the current Land
Use Code 10-39-15 Enforcement & Permits

The purpose this change would accomplish Allow for issuing building permits for
model homes prior to final subdivision completion.

If purposed request is to create a new zone applicant shall attach a purpose statement for
this new zone as found in Chapter 11 for the existing zones. Purposed uses and standards
shall be submitted as found in the appropriate zoning group; Residential, Residential
Agricultural, Commercial, Industrial, or Open Space and Public Facility Zones.

Note: It is important that all applicable information noted above along with the fee is
submitted with the application. An incomplete application will not be scheduled for
Planning Commission consideration. Planning Commission meetings are held on the
second Thursday of each month at 6:00 p.m. Contact the Planning Department for
the deadline date for submissions. Once your application is deemed complete, it will
be put on the agenda for the next Planning Commission meeting. A deadline missed
or an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: _____ Application Complete: YES ☐ NO ☐

Date application deemed to be complete: _____ Completion determination made by: _____

10-39-15: ENFORCEMENT AND PERMITS:

In order to enforce compliance with this chapter, the building official shall not issue any permit for the proposed erection, construction, reconstruction, alteration of any structure, or use of any land unless it fully conforms to all provisions of this chapter. No Hurricane City officer or employee shall issue any permit or license for any building or structure or use when such land is a part of a "subdivision" as defined herein until such subdivision has been approved and recorded in the County Recorder's Office, and unless the improvements shown on approved construction plans for the subdivision have been installed and preliminarily accepted, and all other provisions of law have been complied with. Any license or permit issued in conflict with this chapter shall be null and void. (Ord. 2008-32, 12-18-2008)

Notwithstanding the above, ~~a building permit for a single model home for the developer of the subdivision for which the final checklist for completion has been issued may be approved by the City Council~~ building permits for a model home complex by the developer of the subdivision may be issued if the following criteria are met:

1. Final Construction drawings have been approved by JUC,
2. Subdivision grading is complete, and sewer and water have been installed and tested.
3. All weather access and live fire hydrants are available prior to combustible material being delivered to the home sites,
4. A cash bond (no other bond type will be acceptable) amounting to 125% of remaining improvements has been provided,
5. The Final Plat has been approved by staff and Recorded at the County Recorder's office, and
6. The model home complex has been approved by the City Council.

A certificate of occupancy shall not be granted and the model home(s) may not be used or occupied for any reason until the subdivision has been approved and recorded the improvements shown on approved construction plans for the subdivision have been installed and preliminarily accepted, and all other provisions of law have been complied with. (Ord. 2012-2, 4-19-2012)

Additionally, the City Council may approve an amendment to a development agreement for a master planned community with a Planned Development Overlay to permit construction of a model home complex according to the terms negotiated for the amendment. (Ord. 2019-09, 7-18-2019)

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-LUCA-07

Ordinance Not assigned

Action Type: Ordinance Change, Legislative

Applicant: Fairway Vista Estates

Request: Modify Hurricane City Code 10-39-15: Enforcement and Permits

Discussion

Fairway Vista Estates has applied for the City to consider a change in the City's subdivision ordinance. The applicant proposed change would allow a developer to build a "model home complex" before completing all improvements. A developer would need to meet the code standards; including providing a cash bond worth 125% of the improvements, have water and sewer in place, have the complex approved by the City Council, final plat would need to approve, and meet fire standards. The proposal would leave out completed roadways, curb, gutter, and sidewalks.

Currently, staff is obligated by [10-39-15](#) to withhold all building permit until all improvements have been constructed and "preliminary accepted", and the plat has been recorded. The City requires this process to ensure development is completed in full before any homes or buildings are constructed. This policy protects the City from needing to complete infrastructure before r after individuals move into development and holds the developer accountable to the construction plans they submit. Without these protections, the City would likely need to pull the developer's bonds to complete projects from time to time. This would also leave some development unfinished, with missing sections of sidewalk or roadways. Though the change would allow a developer to move on a project quicker, it adds some additional liability and risk to the City. Occoasionally, the City would be obligated to pull bonds and help complete projects.

At the meeting held on October 28, the Planning Commission gave some direction on doing research for best practices for model home development. In particular, looking to other cities in the area. Washington City had the most similar code as to what is being proposed, linked below.

Washington City: https://codelibrary.amlegal.com/codes/washingtonut/latest/washington_ut/0-0-0-7752

Reviewing this code, Washington requires a few items that provide some safe guards, including putting limits on how many model homes are allowed within a development. If the Planning Commission desires to consider making some of these changes, staff would recommend that similar restriction are put in place.

Recommendation: Discuss proposed changes and make any additional desired changes. Staff and the Joint Utility Committee recommend that the Planning Commission recommend denying the code change application to City Council.



October 28, 2020

Planning Commission
147 North 870 West
Hurricane, Ut 84737

Subject: Proposed Land Use Code Amendment to Title 10- Chapter 39 Section 15

Dear Commissioners,

It has come to our attention that the Planning Commission will be hearing a request for an amendment to the Land Use Code Section 10-39-15 Enforcement and Permits. The proposed amendment has the potential to create confusion and liability for the City as several of the proposed revisions are in conflict with the Rules of Operation of the Ash Creek Special Service District (District), which the City has also adopted by ordinance.

As part of the subdivision approval process the District has always required that all utilities be installed prior to the testing of District pipelines. This requirement has arisen from consistent past experience. Typically, due to the depth of the sewer pipelines, they are installed first when a new subdivision is being constructed. Subsequently, water, power, gas, communications and storm drain are installed over top of and crossing not only sewer main lines, but individual laterals to houses as well. When observing system failures, we have consistently been able to link the majority of our pipe failures to encroaching utilities that were often inadvertently installed in a way that conflicted with the proper functioning of the sewer. Additionally, the placement of an all-weather road, without necessary storm drainage features and raised and collared manholes typically results in two undesirable situations. Firstly, if the sewer manholes are brought up to grade (road surface) then they are subject to taking on all the dirt and rock being washed down the manhole lids by rainstorms, property irrigation, and dust control on the roads. Secondly, if the manholes are left below grade, then the manholes are buried and difficult to access for maintenance in the event of a blockage. The District feels strongly that the storm drainage features and the paving of the road are significant and important parts of not prematurely damaging or contaminating the sewer with debris and run-off.

We feel strongly that the completion of the approved construction plans, in their entirety, continue as a prerequisite to the recordation of the Final Plat.

Sincerely,

Mike Chandler, P.E.
Superintendent
Ash Creek Special Service District

1350 South Sandhollow Road, Hurricane, UT 84737
phone: 435.635.2348
email: ashcreek@infowest.com

Copper Rocks
Proposed Ordinance Change
Model Homes
Public Works Comments

1. There are no limits placed on the number of model homes a developer can build and as such these homes would simply become "spec" homes. Without limiting the number of model homes being built, every single lot in the subdivision could be built upon.
2. A "Certificate of Occupancy" is not an enforcement tool and unless required by a lender, an owner can move into a home without a CO. In this case, the subdivision is recorded and there is nothing to prevent the developer from selling a lot, building a customer a home, and moving them in before the project is completed. This, then becomes a liability to the city.
3. Once a utility is installed, and another utility hits it, who is responsible? And more importantly, what if the home builder or sub-contractor hits it?
4. At what point in this process does the one-year warranty period required by ordinance start?
5. As written, these improvements could be installed on a lot-by-lot basis if the required improvements for each lot have been installed. Would this not create a patch work quilt of concrete, paving, etc.
6. What is the triggering mechanism for executing the bond? After the first house is built, the tenth house? there is no language that describes the mechanism or criteria for the City to execute against the bond.
7. This change would be in direct conflict with 10-17-13-E (2). "No building permit shall be issued unless the property fronts a dedicated street which meets the width requirements and has been improved according to city standards.

The system that is currently in place has been forged from many years of experience in dealing with the problems related to subdivision and home construction. The City of Hurricane has a responsibility to prospective home buyers to insure that the subdivision has been built to city standards and specifications, that the lots for sale have been correctly outfitted with the required utilities, the setbacks are met, the public utility easements are in place and the property is free from encumbrances. The only reason that this ordinance is being entertained is so developers can hurry the process and by doing such, it most assuredly reduces the City's ability to control the outcomes. We must also remember that Copper Rock is purporting this change, but if it becomes affective, then all developers would be able to utilize the process and they most assuredly will.

The ordinance change also speaks to a "Cash bond" but it does not describe or define the criteria which would allow the City to execute against the bond, does not provide a time frame governing the execution of the bond and as a result gives the City no way to enforce or execute against the bond.

10-39-15: ENFORCEMENT AND PERMITS:

In order to enforce compliance with this chapter, the building official shall not issue any permit for the proposed erection, construction, reconstruction, alteration of any structure, or use of any land unless it fully conforms to all provisions of this chapter. No Hurricane City officer or employee shall issue any permit or license for any building or structure or use when such land is a part of a "subdivision" as defined herein until such subdivision has been approved and recorded in the County Recorder's Office, and unless the improvements shown on approved construction plans for the subdivision have been installed and preliminarily accepted, and all other provisions of law have been complied with. Any license or permit issued in conflict with this chapter shall be null and void. (Ord. 2008-32, 12-18-2008)

Notwithstanding the above, ~~a building permit for a single model home for the developer of the subdivision for which the final checklist for completion has been issued may be approved by the City Council~~ building permits for a model home complex by the developer of the subdivision may be issued if the following criteria are met:

1. Final Construction drawings have been approved by JUC,
2. Subdivision grading is complete, and sewer and water have been installed and tested,
3. All weather access and live fire hydrants are available prior to combustible material being delivered to the home sites,
4. A cash bond (no other bond type will be acceptable) amounting to 125% of remaining improvements has been provided,
5. The Final Plat has been approved by staff and Recorded at the County Recorder's office, and
6. The model home complex has been approved by the City Council.

A certificate of occupancy shall not be granted and the model home(s) may not be used or occupied for any reason until the ~~subdivision has been approved and recorded~~ the improvements shown on approved construction plans for the subdivision have been installed and preliminarily accepted, and all other provisions of law have been complied with. (Ord. 2012-2, 4-19-2012)

Additionally, the City Council may approve an amendment to a development agreement for a master planned community with a Planned Development Overlay to permit construction of a model home complex according to the terms negotiated for the amendment. (Ord. 2019-09, 7-18-2019)

power Department is Not in Favor of the Change

CONDITIONAL USE PERMIT

City of Hurricane
147 N 870 W
Hurricane, Utah 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$ 250

For office use only:

File No: 2020-CUP-

Receipt: 0.144151

APPLICATION & SUBMITTAL CHECKLIST

Name: Brian J Jones Telephone: 435-680-0115

Address: 2 W. 810 S. Fax No. _____

Email: brian@cabnicon.com

Agent (If applicable): _____ Agent's Phone: _____

Agent email: _____

Address of Subject Property: 2 W. 810 S.

Tax ID of Subject Property: _____ Zone District: _____

Proposed Conditional Use: (Describe, use extra sheet if necessary) Erect a 40x30 carpet
style metal Building on a concrete slab - 1/2 being a garage - 1/2 an
apartment

This application shall be accompanied by the following:

- ____ 1. A plot plan showing the following:
 - ____ Property boundaries, dimensions and existing streets.
 - ____ Location of existing and proposed building or livestock facility
 - ____ Adjoining property lines and uses within one hundred (100) feet of subject property.
- ____ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- ____ 3) Building floor plans for new construction
- ____ 4) A statement of how the applicant intends to meet the conditions for the use desired
- ____ 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

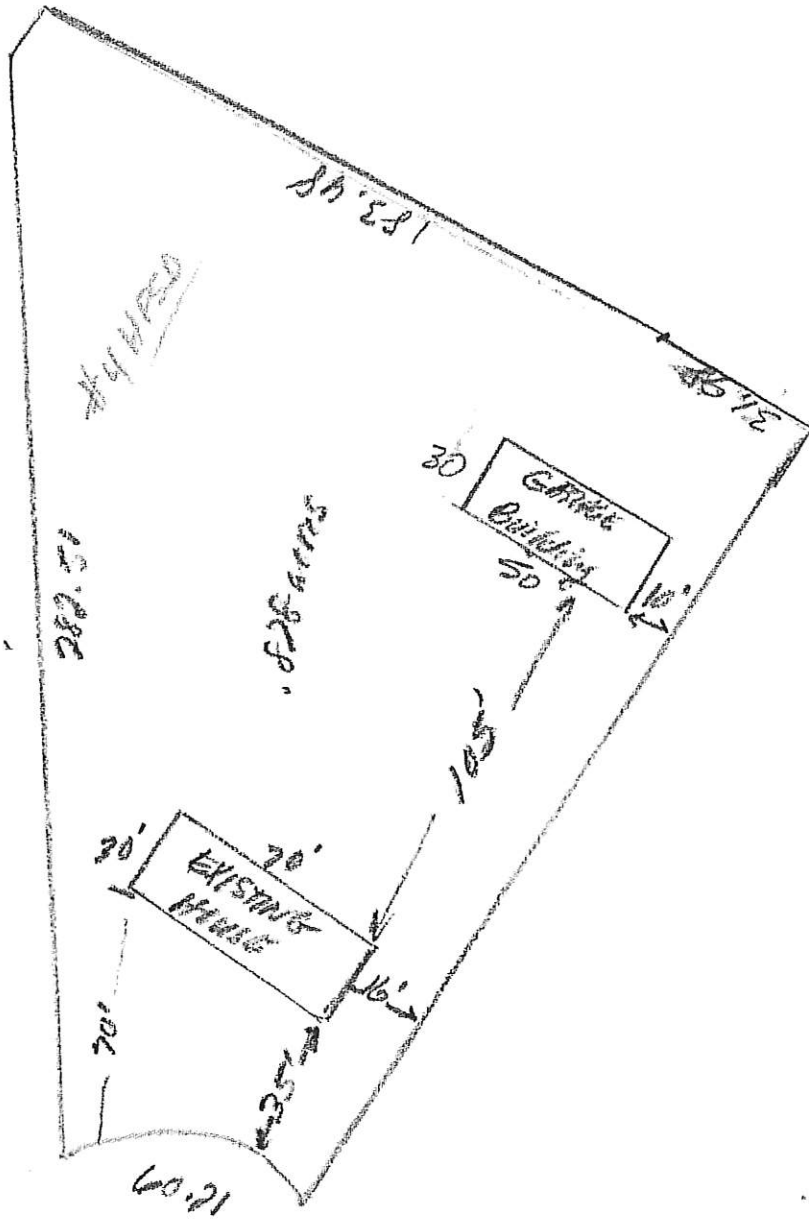
NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.

(Office Use Only)

Date Received: _____

Received by: _____

Date application deemed to be complete: _____ Completion determination made by: _____



QUALITY STEEL BUILDINGS

BEATING OUR COMPETITION, MAKING HIGH QUALITY BUILDINGS IS OUR MISSION

Quality Carports Inc

441 E 1750 N Suite A

Vineyard, Utah 84042

info@highqualitycarports.com

801-406-1926

UTAH LICENSE 10441146-5501

Sales Megan 435-708-1926

BASIC SPEC SHEET

Brian Jones

Hurricane, Utah

30' x 40' x 11' - Peak 15

GROUND SNOW LOAD

40 Lbs per Sq, Ft

WIND LOAD

Exposure C - 115 MPH

ANCHORS

(40) 1/2" x 7" LG. STRONG - BOLT 2 EXPANSION ANCHOR

FRAME

STRUCTURAL 14 GA. Tubing 2 1/4 x 2 1/4

SHEET METAL

29 GA Corrugated Galvanized or Painted Steel

ROOF PITCH

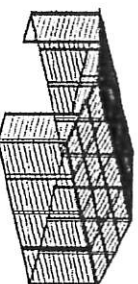
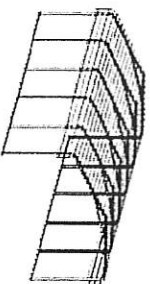
3/12 Pitch

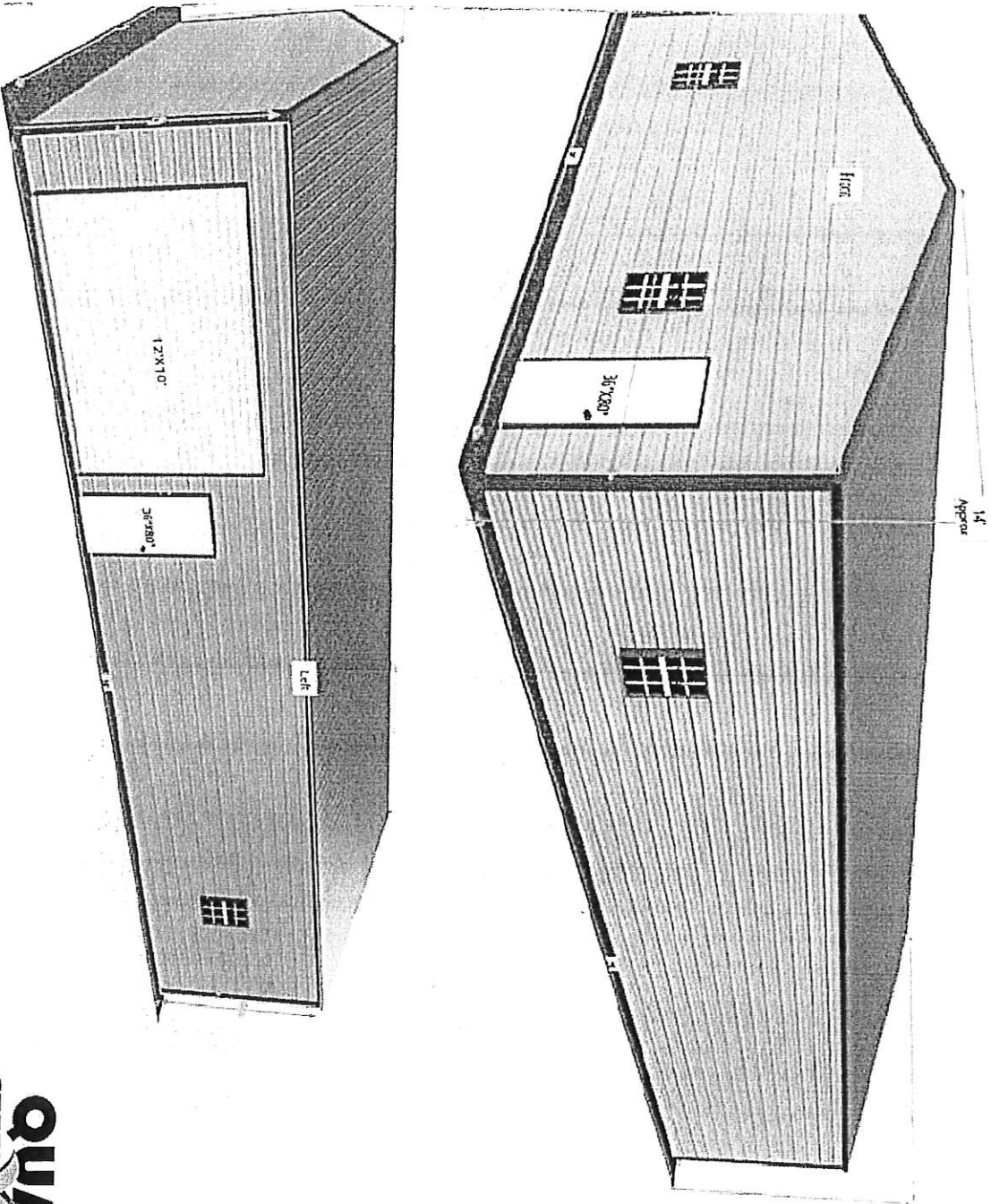
WALL ENCLOSURES

Fully Enclosed

DOOR OPTIONS

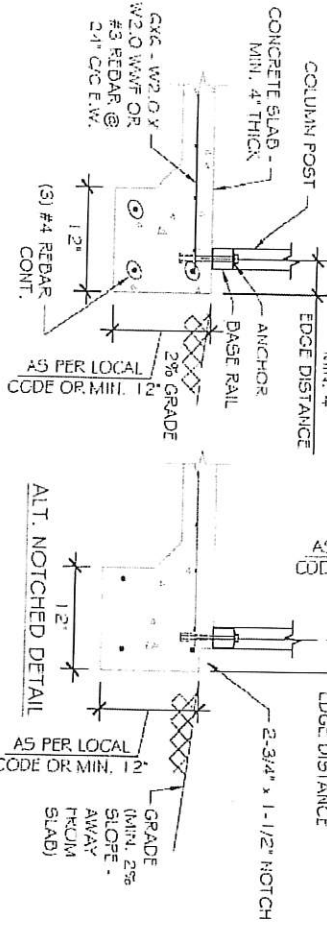
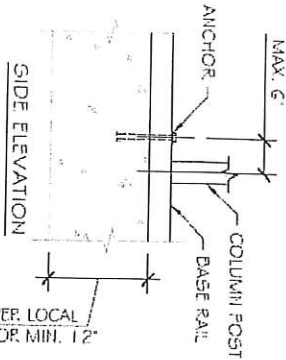
(1) 12 x 10 Garage Door (2) Walk in Doors (4) Windows



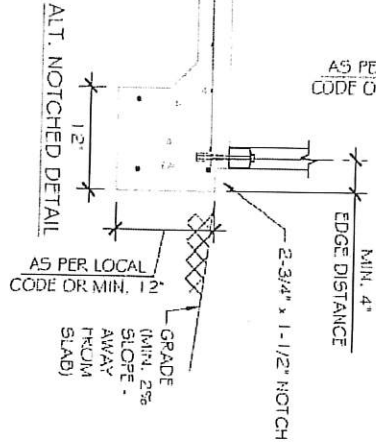


QUALITY
STEEL BUILDINGS

BEATING OUR COMPETITION, MAKING HIGH QUALITY STEEL BUILDS AFFORDABLE

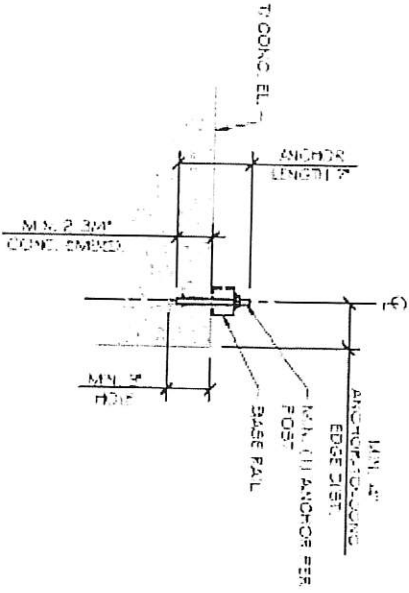


FOUNDATION DETAIL 1
SCALE: 3/4" = 1'

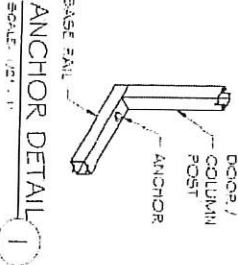


Footings depth determined by local requirements

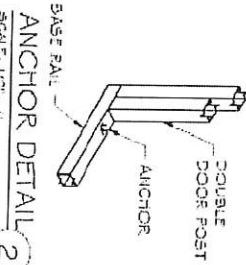
- ANCHORAGE NOTES:**
1. ANCHOR INSTALLATION REQUIREMENTS:
 - MIN. ANCHOR EDGE DISTANCE: 4.00"
 - MIN. ANCHOR HOLE DEPTH: 5.00"
 - MIN. CONCRETE EMBEDMENT DEPTH: 2.75"
 - MIN. EFFECTIVE EMBEDMENT: 2.25"
 - MIN. SPACING BETWEEN (2) ANCHORS: 2.75"
 2. ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS
 3. ALL ANCHORS TO BE ASOT EQUIVALENT OR BETTER. ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ.
 4. CONCRETE STRENGTH TO BE A MIN OF 2500 PSI @ 28 DAYS.



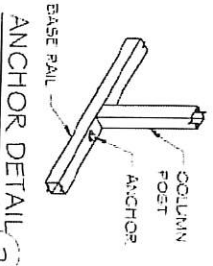
ANCHORAGE DETAIL
SCALE: 1/2" = 1'



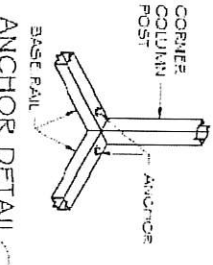
ANCHOR DETAIL 1
SCALE: 1/2" = 1'



ANCHOR DETAIL 2
SCALE: 1/2" = 1'



ANCHOR DETAIL 3
SCALE: 1/2" = 1'

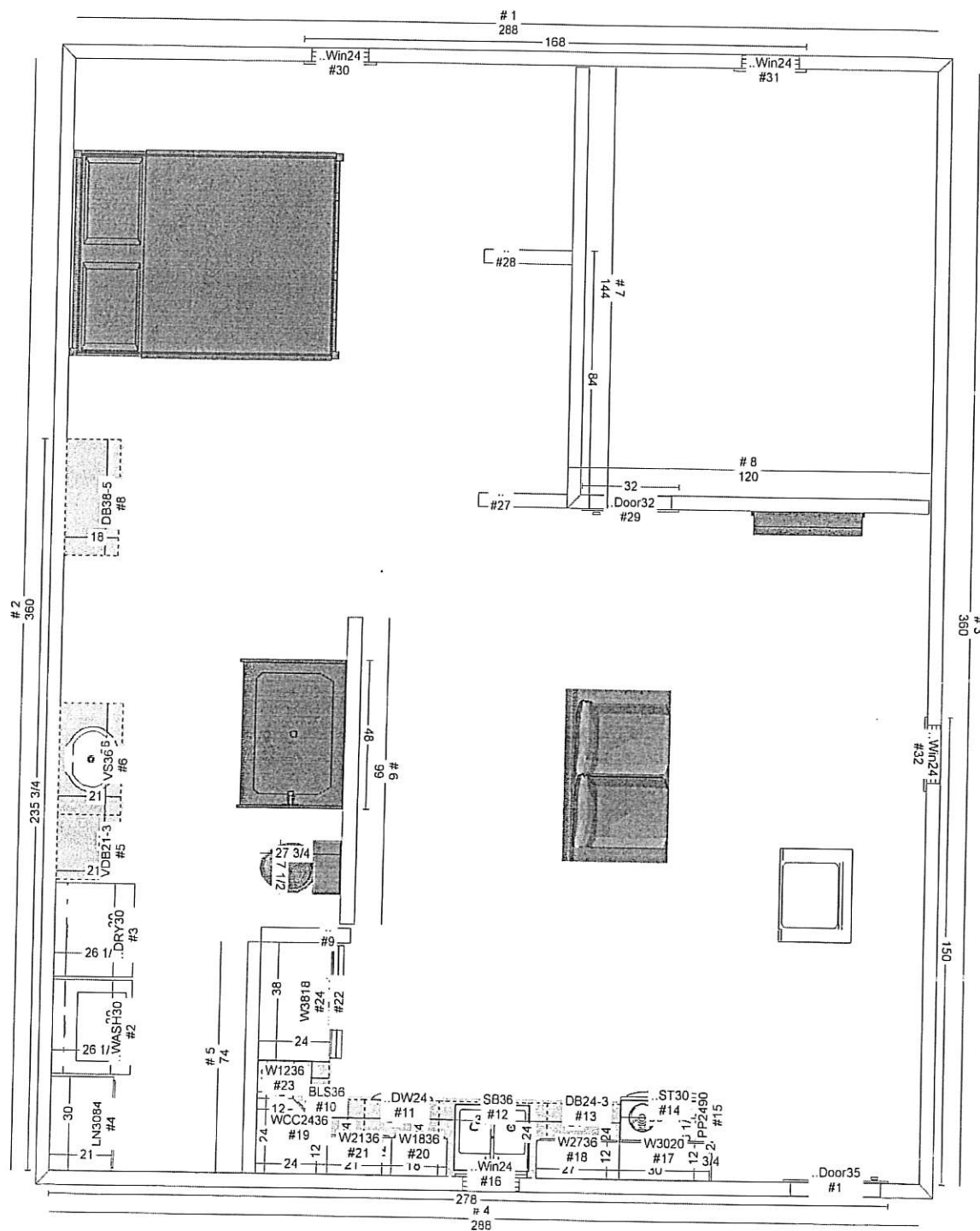


ANCHOR DETAIL 4
SCALE: 1/2" = 1'

435/635-2724 Shop / 435/680-0115 Cell

Room 1

Not To Scale



STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-CUP-10

Type of Application: Conditional Use Permit, Administrative

Applicant: Brian Jones

Request: A Conditional Use Permit for a pre-engineered metal building in an R1-10 zone

Location: 280 W 300 N

General Plan: N/A

Existing Zoning: Single Family Residential R1-10

Discussion: The applicant is proposing to construct a 30' x 40' pre-engineered metal garage and ADU in a residential location. The land-use code states this requires a conditional use permit:

10-33-3: BUILDING DESIGN

5. Preengineered metal buildings:

- a. Shall be permitted in all agricultural, residential agriculture, industrial, and public facility zones;*
- b. Shall be allowed by conditional use permit in all commercial and residential zones.*

Standards for approval are as follows:

10-7-9: CONDITIONAL USE PERMIT

E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:

- 1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.*
- 2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:*

g. Standards for metal buildings:

(1) In residential (R-1) zones the height and size may not be greater than permitted in the zone.

(2) The building must meet the following design standards:

(A) Exterior building materials shall be durable, require low maintenance, and be of the same or higher quality as surrounding developments.

(B) Details of proposed colors and materials, including color chips, samples, and colored building elevations, shall be shown on building plans when a development project application is submitted. Colors shall be compatible with surrounding structures.

(C) Reflective surfaces or colors which may produce excessive reflections or glare that may create a potential safety problem are prohibited.

The building must meet the following design standards:

1. The proposed building will be a metal building and roof, all materials are durable, require low maintenance, and are of the same quality as surrounding development.
2. The building will be a clay color, brown roof, and white trim
3. The building size and height is less than the allowed maximum. The attached plans are for a 1500 sq. ft. building, however, the applicant has agreed to keep it to 1200 sq. ft.
4. The building and is not expected to produce excessive reflections or glare.

Findings:

1. The proposed building is of durable, low maintenance materials
2. Colors are compatible with surrounding structures.
3. No problems with glare or reflectivity are anticipated.

Recommendation: Based on the above findings, staff recommends approval of a conditional use permit for the proposed pre-engineered metal building subject to the applicant meeting all setbacks and building permit requirements.

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-PP-19 & 2020-HIL-03

Type of Application: Preliminary Plat (Administrative)

Applicant: Iverson Julie TR

Agent: Robert Iverson

Request: Preliminary Plat

Location: South of Angell Heights Dr and North East of 2300 N in Hurricane

General Plan: Public Use

Existing Zoning: R1-15 and R1-6

Discussion: The applicant is seeking to finish the Angell Heights Subdivision and complete the connection from Frog Hollow to Angell Heights. This subdivision contains a total of 21 single-family lots. The applicant has now submitted a Preliminary Plat and Sensitive Land and Hillside Development Application. The Planning Commission's role in reviewing a Hillside Development is stated as follows:

10-24-3: DETERMINATION OF APPLICABILITY: B. Development Project And Permit Review

Authority: The designated authority for the review and approval of projects subject to the provisions of this chapter is as follows:

- 1. Planning Commission Responsibility: Any proposal for development other than building and grading permits for a single-family dwelling shall be reviewed by the planning commission to determine compliance with requirements of this chapter. A development plan required for a project subject to chapter 39, "Subdivisions", of this title shall be reviewed and approved by the planning commission at the preliminary plat stage. Appeals of a planning commission decision on sensitive land issues shall be made to the city council.*
- 2. Zoning Administrator Responsibility: The zoning administrator is responsible for applying the provisions of this chapter to single-family building permits and grading permits for single-family dwellings on parcels not associated with a project previously approved by the planning commission, and approving these permits when found to be consistent with this chapter. Appeals of the zoning administrator's decision shall be heard by the planning commission.*

3. *City Council Responsibility: Following receipt of a recommendation from the planning commission, or on appeal, the city council shall hold a public hearing on the application. Following a public hearing the city council may approve, approve with conditions, or deny the proposed development plan.*

4. *Final Approval: Final approval shall require satisfactory compliance with all of the requirements of the development plan and compliance with any companion application conditions, i.e., preliminary plat, conditional use permit, zoning map change, or other applicable requirements of this code.*

The Planning Commission's role is to review the Hillside Development for compliance and make a recommendation to the City Council. The full Hillside Development is found in Hurricane City Code [10-24-5](#) and [10-24-6](#).

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	R1-15	Angell Heights Subdivision
East	R1-15 and Open Space	Cliffs and steep slop
South	R1-6 and R1-15	Single Family Development
West	R1-6	Single Family Development

JUC Comments

The following will need to be addressed with construction drawings.

1. The sewer is adjacent and will likely gravity feed out of the project
2. The waterline is already in place, but connections will need to be reviewed in the construction drawings
3. The road is graded, but the applicant will need to ensure it is adequately compacted
4. Gas and other utilities are in the area.

Staff Comments

1. The applicant will need to secure a will serve letter from Ash Creek
2. Staff's main concern is about potential sensitive lands concern about the project. Along the east side, there are quite a bit of hillside and steep sloops. Based on a preliminary review, the applicant may need to submit a sensitive lands application. The criteria for when sensitive lands are required is as follows:

10-24-5: HILLSIDES AND RIDGE AREAS:

A. Applicability: The following procedures, submittal requirements and standards shall apply to those projects located on lands identified as having at least one of the following characteristics:

1. *Slopes over ten percent (10%) which are:*
 - a. *Identified through computer generated programs capable of calculating slopes on topographic maps prepared with two foot (2') contour interval accuracy; or*
 - b. *Established by profile lines drawn perpendicular to contour lines at intervals no greater than one hundred fifty feet (150') apart, when the slope, measured along any one*

hundred foot (100') segment of the profile line is ten percent (10%) or greater. (See section [10-24-9](#), appendix diagram A, of this chapter.)

c. A slope shall be subject to this chapter only when a contiguous identified area of ten percent (10%) or greater exceeds two (2) acres, or if the site is less than one acre and the entire site is ten percent (10%) or greater.

2. Lands located within one hundred (100) vertical feet of a ridgeline measured perpendicular from the ridgeline; and

3. Lands located within one hundred feet (100') of an edge of a bluff.

Because of the slopes shown on the plat, staff believes a Hillside and Ridge Areas application would be required. The staff has forward these criteria to the project engineer for their review and responses.

3. The lots of sizes and dimensions comply with the underlying zones. However, lots with a greater slope average must comply with minimum lot sizes listed within [Hurricane City Code 10-24-6](#). These lots are under review.
4. The applicant has not turned in a Geotechnical report, as required for a Hillside and Sensitive Lands Application.
5. All other aspects comply with Hurricane City Preliminary Plat standards.

Recommendation: Staff recommends the Planning Commission review the full application. Staff recommends that the Planning Commission. Staff will provide a recommendation at the meeting after talking with the applicant about the outstanding Hillside and Sensitive Land Application.

PRELIMINARY PLAT FOR: ANGELL HEIGHTS ESTATES PHASE 5&6

LOCATED IN THE SW 1/4 OF THE SE 1/4 OF
SECTION 10, T42S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

LEGEND

—	PROPERTY LINE	---	EXISTING MAJOR CONTOUR
---	ADJACENT PROPERTY LINE	---	PHASE LINE
---	CENTER LINE	●	EXISTING SEWER MANHOLE
---	10' PUBLIC UTILITY EASEMENT	◆	SECTION CORNER AS DESCRIBED
SS	EXISTING SEWER MAIN	●	SET PROVALUE ENGINEERING REBAR & CAP P.L.S. #7837685
---	EXISTING MINOR CONTOUR	(00.00)	RECORD BEARING OR DISTANCE

ADDITIONAL NOTES

STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. WATER WILL BE RELEASED AT A CONTROLLED RATE THROUGH A SIDEWALK SCUPPER BACK INTO THE PLANNED ROAD. WATER WILL DRAIN DOWN INTO AN EXISTING 24 INCH COVERT ON 2050 S. THIS IS THE METHOD TO HANDLE STORM WATER.

THERE ARE NO IRRIGATION FACILITIES.

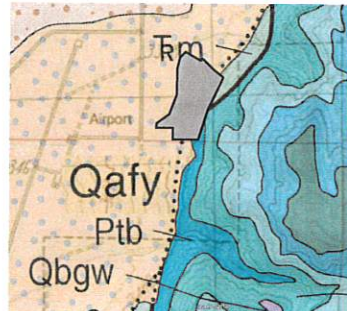
PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

GEOLOGICAL NARRATIVE

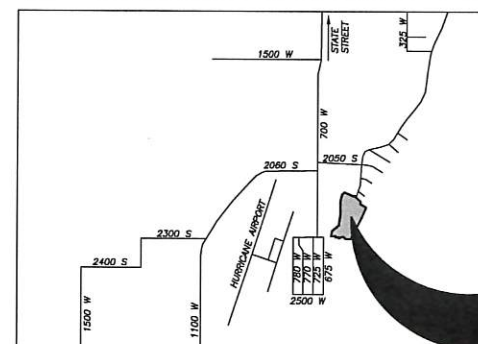
THIS PARCEL OF LAND LIES INSIDE A YOUNGER ALLUVIAL-FAN DEPOSIT (HOLOCENE). THE AREA SHOWN WITH A Qafy ON THE MAP. IT ALSO LIES INSIDE A MOENKOPI FORMATION (LOWER TRIASSIC) SHOWN WITH A Tm. THIS AREA HAS POORLY TO MODERATELY SORTED, NON-STRATIFIED, SUBANGULAR, BOULDER TO CLAY SIZE SEDIMENT IN THE Qafy AREA. THIS AREA ALSO HAS WEST DIPPING, FAULT-BOUNDED BLOCKS OF RED STRATA OF THE LOWER, MIDDLE, OR UPPER RED STRATA IN THE Tm AREA. THE SOIL TEXTURE IS A SANDY LOAM AND GENERATES PERCOLATION RESULTS FROM 12 MINUTES PER INCH TO 30 MINUTES PER INCH. THE SOIL STRUCTURE IS MASSIVE. THE CLAY IS COLLAPSIBLE AND CAN EXTEND TO DEPTHS BEYOND 50 FEET. THE USDA HAS THIS LAND DESIGNATED AS JUNCTION FINE SANDY LOAM AS WELL AS ROCK OUTCROP.



LINE TABLE		
LINE	LENGTH	DIRECTION
L1	16.10'	S9°40'54"W
L2	20.16'	S37°56'28"W
L3	13.53'	S37°56'28"W
L4	7.11'	S50°33'15"W
L5	6.46'	N25°23'24"E
L6	1.68'	N37°56'28"E
L7	26.87'	S52°03'32"E
L8	26.38'	N37°56'28"E
L9	29.00'	S52°03'32"E
L12	32.98'	N0°07'28"E
L13	7.49'	N28°15'25"E
L14	7.56'	N8°20'40"E
L15	29.00'	N4°31'45"W
L16	31.00'	N15°39'55"W
L17	8.41'	S55°14'04"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	31.55'	20.00'	28.38'	S45°24'05"W	90°23'06"
C1	6.60'	30.00'	6.59'	S44°14'52"W	12°36'47"
C2	6.60'	30.00'	6.59'	S44°14'52"W	12°36'47"
C3	43.05'	261.00'	43.00'	S33°12'56"W	9°27'04"
C4	128.45'	261.00'	127.16'	S14°23'29"W	28°11'51"
C5	14.61'	325.94'	3364.49'	S1°34'33"W	2°34'03"
C6	104.56'	326.00'	104.11'	S13°50'04"W	18°22'33"
C7	97.86'	274.00'	97.34'	N13°43'56"E	20°27'46"
C8	15.34'	274.00'	15.34'	S1°53'48"W	3°12'29"
C9	13.76'	313.00'	13.76'	N1°33'07"E	2°31'08"
C10	74.00'	313.00'	73.83'	N9°35'04"E	1°32'45"
C11	80.00'	313.00'	79.78'	N23°40'46"E	14°38'39"
C12	37.91'	313.00'	37.89'	N34°28'17"E	6°56'22"
C13	7.25'	30.00'	7.23'	N31°01'00"E	3°12'29"
C14	6.60'	30.00'	6.59'	N31°38'04"E	12°36'47"
C15	53.50'	271.00'	3367.06'	N79°41'14"E	11°18'43"
C16	5.40'	30.00'	5.39'	N79°11'16"E	10°18'47"
C17	7.64'	30.00'	7.62'	N77°03'07"E	14°35'06"
C18	23.29'	274.00'	23.28'	N67°19'27"E	4°52'13"
C19	97.86'	274.00'	97.34'	N54°39'28"E	20°27'46"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C20	97.86'	274.00'	97.34'	N34°11'42"E	20°27'46"
C21	104.00'	328.16'	103.56'	S32°09'52"W	18°09'27"
C22	104.00'	325.83'	103.56'	S50°26'16"W	18°17'15"
C23	24.13'	271.00'	24.12'	N88°01'18"E	5°06'06"
C24	58.31'	300.00'	58.22'	S79°54'10"W	11°08'10"
C25	9.82'	30.00'	9.78'	S64°36'39"W	18°45'11"
C26	7.69'	30.00'	7.67'	S62°34'38"W	14°41'09"
C27	58.84'	326.00'	58.76'	S64°44'59"W	10°20'27"

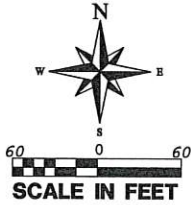


SLOPE MAP FOR:
ANGELL HEIGHTS ESTATES PHASE 5&6

LOCATED IN THE SW 1/4 OF THE SE 1/4 OF
SECTION 10, T42S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

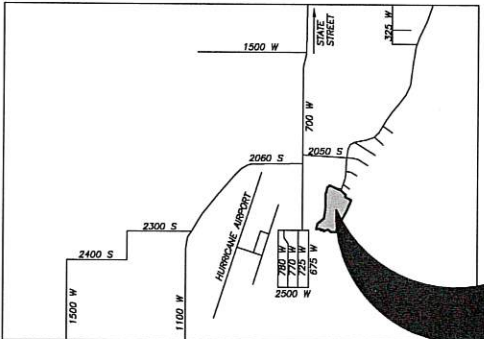
OWNER:

VERSON JULIE TR
1330 S 50 W
HURRICANE, UT 84737-2303



SURFACE SLOPE DATA				
NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR	AREA
1	0.000%	10.000%		225952 S.F.
2	10.010%	11.000%		15919 S.F.
3	11.010%	12.000%		7114 S.F.
4	12.010%	13.000%		17698 S.F.
5	13.010%	14.000%		865 S.F.
6	14.010%	15.000%		18373 S.F.
7	15.010%	16.000%		6004 S.F.
8	16.010%	17.000%		4589 S.F.
9	17.010%	18.000%		5953 S.F.
10	18.010%	19.000%		5311 S.F.
11	19.010%	20.000%		8823 S.F.
12	20.010%	21.000%		1256 S.F.
13	21.010%	22.000%		1344 S.F.
14	22.010%	23.000%		3447 S.F.
15	23.010%	24.000%		1936 S.F.
16	24.010%	25.000%		2890 S.F.
17	25.010%	26.000%		1663 S.F.
18	26.010%	27.000%		1775 S.F.
19	27.010%	28.000%		1769 S.F.
20	28.010%	29.000%		1791 S.F.
21	29.010%	30.000%		2278 S.F.
22	30.010%	9999999.000%		53715 S.F.

LOT CALCULATIONS					
NUMBER	MIN SLOPE	MAX SLOPE	MAX LOT SIZE	AREA	% OF TOTAL
1	0	10	11500	225952	57.87
2	10.01	11	15000	15919	4.08
3	11.01	12	16500	7114	1.82
4	12.01	13	18000	17698	4.53
5	13.01	14	19500	865	0.22
6	14.01	15	21000	18373	4.71
7	15.01	16	22500	6004	1.54
8	16.01	17	24000	4589	1.18
9	17.01	18	25500	5953	1.52
10	18.01	19	27000	5311	1.36
11	19.01	20	28500	8823	2.26
12	20.01	21	30000	1256	0.32
13	21.01	22	31500	1344	0.34
14	22.01	23	33000	3447	0.88
15	23.01	24	34500	1936	0.50
16	24.01	25	36000	2890	0.74
17	25.01	26	37500	1663	0.43
18	26.01	27	39000	1775	0.45
19	27.01	28	40500	1769	0.45
20	28.01	29	42000	1791	0.46
21	29.01	30	43500	2278	0.58
22	30.01	99999	0	53715	13.76
			TOTAL AREA SF	390,465	
			TOTAL AREA AC	8.963842975	
					USE 21 LOTS



PROJECT
LOCATION

REVISIONS		
NO	DESCRIPTION	DATE

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: (435) 466-8877
Fax: (435) 435-3070



SLOPE MAP FOR:
ANGELL HEIGHTS ESTATES PHASE 5&6
HURRICANE CITY, WASHINGTON COUNTY, UTAH
LOCATED IN THE SW 1/4 OF THE SE 1/4 OF SECTION 10, T42S, R13W, S.L.B.&M.

DATE: 10-21-20
SCALE: 1"=60'
JOB NO.
69-015
SHEET NO.
1 OF 1

PRELIMINARY PLAT FOR:
ANGELL HEIGHTS ESTATES PHASE 5&6

LOCATED IN THE SW 1/4 OF THE SE 1/4 OF
SECTION 10, T42S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

LEGEND

—————	PROPERTY LINE	— — — — —	EXISTING MAJOR CONTOUR
—————	ADJACENT PROPERTY LINE	—————	PHASE LINE
—————	CENTER LINE	●	EXISTING SEWER MANHOLE
- - - - -	10' PUBLIC UTILITY EASEMENT	◊	SECTION CORNER AS DESCRIBED
—SS—	EXISTING SEWER MAIN	●	SET PROVALUE ENGINEERING REBAR & CAP P.L.S. #7837685
- - - - -	EXISTING MINOR CONTOUR	(00.00)	RECORD BEARING OR DISTANCE

ADDITIONAL NOTES

STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. WATER WILL BE RELEASED AT A CONTROLLED RATE THROUGH A SIDEWALK SCUPPER BACK INTO THE PLANNED ROAD. WATER WILL DRAIN DOWN INTO AN EXISTING 24 INCH COVERT ON 2050 S. THIS IS THE METHOD TO HANDLE STORM WATER.

THERE ARE NO IRRIGATION FACILITIES.

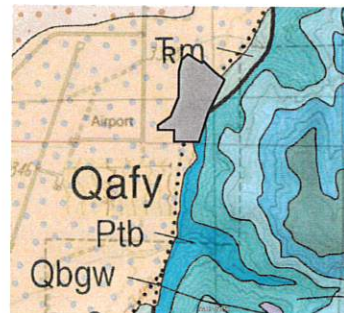
PROPERTY CAN BE SERVED BY HURRICANE CITY WATER,
AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

GEOLOGICAL NARRATIVE

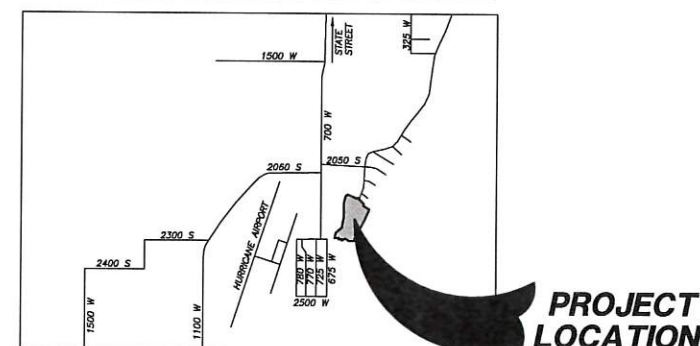
THIS PARCEL OF LAND LIES INSIDE A YOUNGER ALLUVIAL-FAN DEPOSIT (HOLocene), THE ARE SHOWN WITH A Qafy ON THE MAP. IT ALSO LIES INSIDE A MOENKOPFI FORMATION (LOWER TRASSIC) SHOWN WITH A Tm. THIS AREA HAS POORLY TO MODERATELY SORTED, NON-STRATIFIED, SUBANGULAR, BOULDER TO CLAY SIZE SEDIMENT IN THE Qafy AREA. THIS AREA ALSO HAS A THIN LAYER OF SANDY SILT IN THE LOWER PART OF THE LOWER TRASSIC. THE MIDDLE, OR UPPER RED STRATA IN THE Tm AREA, THE SOIL TEXTURE IS A SANDY SILT AND GENERATES PERCOLATION RESULTS FROM 12 MINUTES PER INCH TO 30 MINUTES PER INCH. THIS STRUCTURE IS MASSIVE. THE CLAY IS COLLAPSIBLE AND CAN EXTEND TO DEPTHS BEYOND 50 FEET. THIS AREA HAS THIS LAND DESIGNATED AS JUNCTION FINE SANDY LOAM AS WELL AS ROCK OUTCROP.



LINE TABLE		
LINE	LENGTH	DIRECTION
L1	16.10'	S9°40'54"W
L2	20.16'	S37°56'28"W
L3	13.53'	S37°56'28"W
L4	7.11'	S50°33'15"W
L5	6.46'	N25°23'24"E
L6	1.68'	N37°56'28"E
L7	26.87'	S52°03'32"E
L8	26.38'	N37°56'28"E
L9	29.00'	S52°03'32"E
L12	32.98'	N0°07'28"E
L13	7.49'	N28°15'25"E
L14	7.56'	N84°20'40"E
L15	29.00'	N4°31'45"W
L16	31.00'	N15°39'55"W
L17	8.41'	S55°14'04"W

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	6.60'	30.00'	6.59'	S44°14'52"W	12°36'47"
C1	31.55'	20.00'	28.38'	S45°24'05"W	90°23'06"
C2	6.60'	30.00'	6.59'	S44°14'52"W	12°36'47"
C3	43.05'	261.00'	43.00'	S33°12'56"W	9°27'04"
C4	128.45'	261.00'	127.16'	S14°23'29"W	28°11'51"
C5	14.61'	325.94'	3364.49'	S1°34'33"W	2°34'03"
C6	104.56'	326.00'	104.11'	S13°50'04"W	18°22'33"
C7	97.86'	274.00'	97.34'	N13°43'56"E	20°27'46"
C8	15.34'	274.00'	15.34'	S1°53'48"W	3°12'09"
C9	13.76'	313.00'	13.76'	N1°33'07"E	2°31'08"
C10	74.00'	313.00'	73.83'	N9°35'04"E	13°32'45"
C11	80.00'	313.00'	79.78'	N23°40'46"E	14°38'39"
C12	37.91'	313.00'	37.89'	N34°28'17"E	6°56'22"
C13	7.25'	30.00'	7.23'	N31°01'00"E	13°50'57"
C14	6.20'	30.00'	6.59'	N31°36'04"E	12°36'47"
C15	53.50'	271.00'	3367.06'	N79°41'14"E	11°18'43"
C16	5.40'	30.00'	5.39'	N79°11'16"E	10°18'47"
C17	7.64'	30.00'	7.62'	N77°03'07"E	14°35'06"
C18	23.29'	274.00'	23.28'	N67°19'27"E	4°52'13"
C19	97.86'	274.00'	97.34'	N54°39'28"E	20°27'46"

CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C20	97.86'	274.00'	97.34'	N34°11'42"E	20°27'46"
C21	104.00'	328.16'	103.56'	S32°09'52"W	18°09'27"
C22	104.00'	325.83'	103.56'	S50°26'16"W	18°17'15"
C23	24.13'	271.00'	24.12'	N88°01'18"E	5°06'06"
C24	58.31'	300.00'	58.22'	S79°54'10"W	11°08'10"
C25	9.82'	30.00'	9.78'	S64°36'39"W	18°45'11"
C26	7.69'	30.00'	7.67'	S62°34'38"W	14°41'09"
C27	58.84'	326.00'	58.76'	S64°44'59"W	10°20'27"



PROJECT LOCATION

[illegible]

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 85th West, Suite 1
Herrington City, Utah 84731
Phone: (435) 668-8307 Karl Rasmussen
Phone: (435) 850-2338 Steve Woolley
Fax: (866) 438-3070



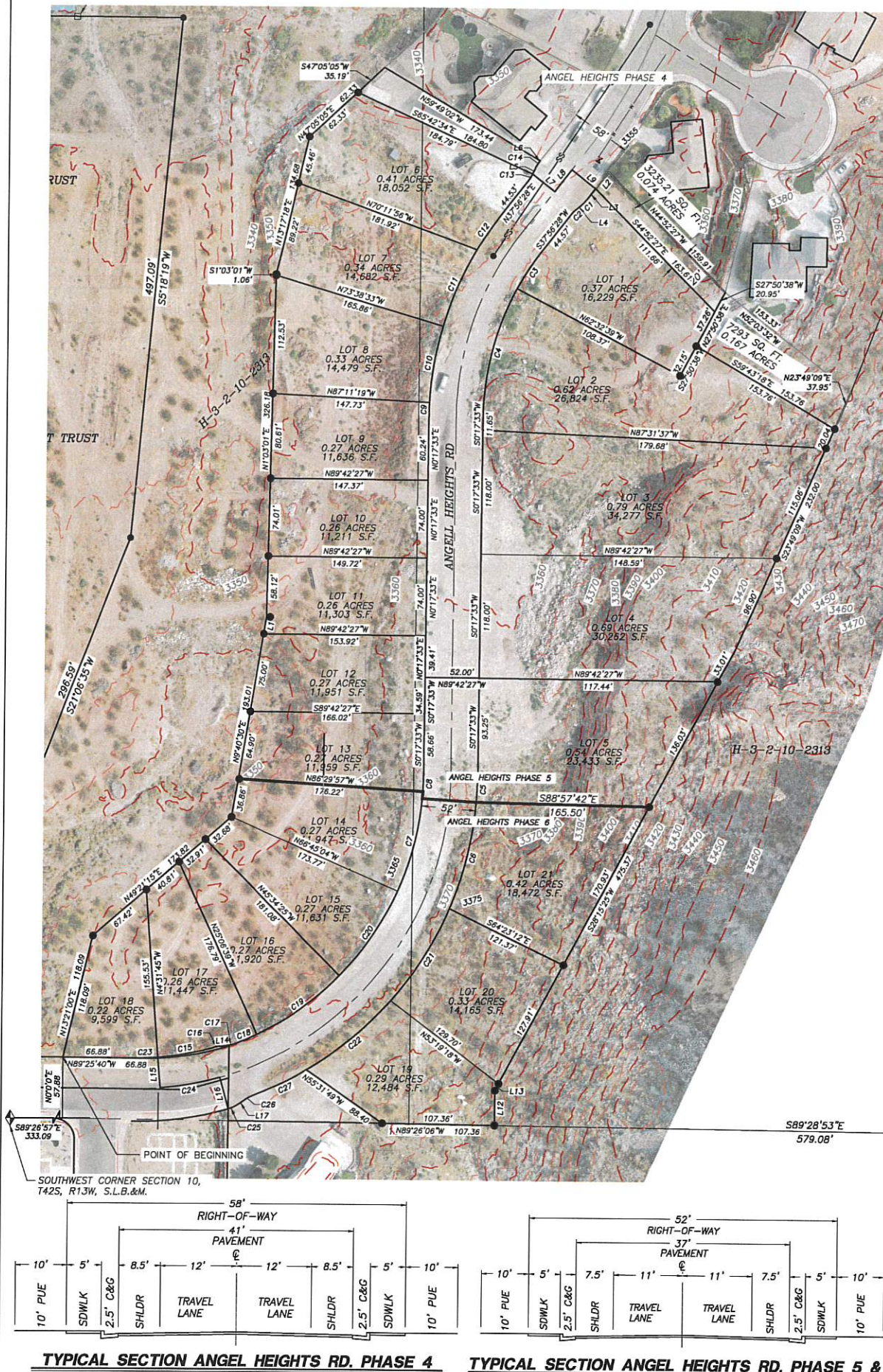
PRELIMINARY PLAT FOR:
ANGELL HEIGHTS ESTATES PHASE 5 & 6

HURRICANE CITY, WASHINGTON COUNTY, UTAH
LOCATED IN THE SW 1/4 OF THE SE 1/4 OF SEC

DATE: 10-27-20
SCALE: 1"=60'

JOB NO.
69-015

SHEET NO:
1 OF 1



PRELIMINARY SITE PLAN REVIEW APPLICATION

City of Hurricane

147 North 870 West

Hurricane, UT 84737

(435) 635-2811

FAX (435) 635-2184

Fee \$200.00

For Office Use Only:

File No. 2020-PSP-16

Receipt No. 8-143247

Name: Secure Private Fund LLC
51 W Center St #507
Orem, UT 84057

Telephone: _____

Address: Western MTC & Realty Co
980 E Foster Wells Rd
Pasco, WA 99301

Fax No. _____

Agent (If applicable): Karl Rasmussen
Brent Moser

435-668-8307

Agent's Phone: 801-793-0346

Karl@PU-eng.com

Email: _____ Agent Email: enhancedhomesofutah@gmail.com

Address/Location of Subject Property: NE of Sandhollow Rd

H-4-2-1-234 H-4-2-1-1109

Tax ID of Subject Property: H-4-2-1-1103 Zone District: RR

Proposed Use: (Describe, use extra sheet if necessary) Retreat center with
2-1/4 12 plex units

This application shall be accompanied by the following:

1. A vicinity map showing the general location of the project.
2. Three (3) copies of a site plan showing:
 - Topography showing 2' contours, identification of 30% or greater slopes;
 - The layout of proposed uses;
 - Location of open space when applicable;
 - Proposed access to the property and traffic circulation patterns;
 - Adjoining properties and uses;
 - Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any;
3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities;
4. Tables showing the number of acres in the proposed development and a land use summary; and
5. A phased development plan if applicable.
6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: _____ Received by: _____

LOCATED IN SECTION 1, T42S, R14W, S1B1AM
HURRICANE, WASHINGTON COUNTY, UTAH

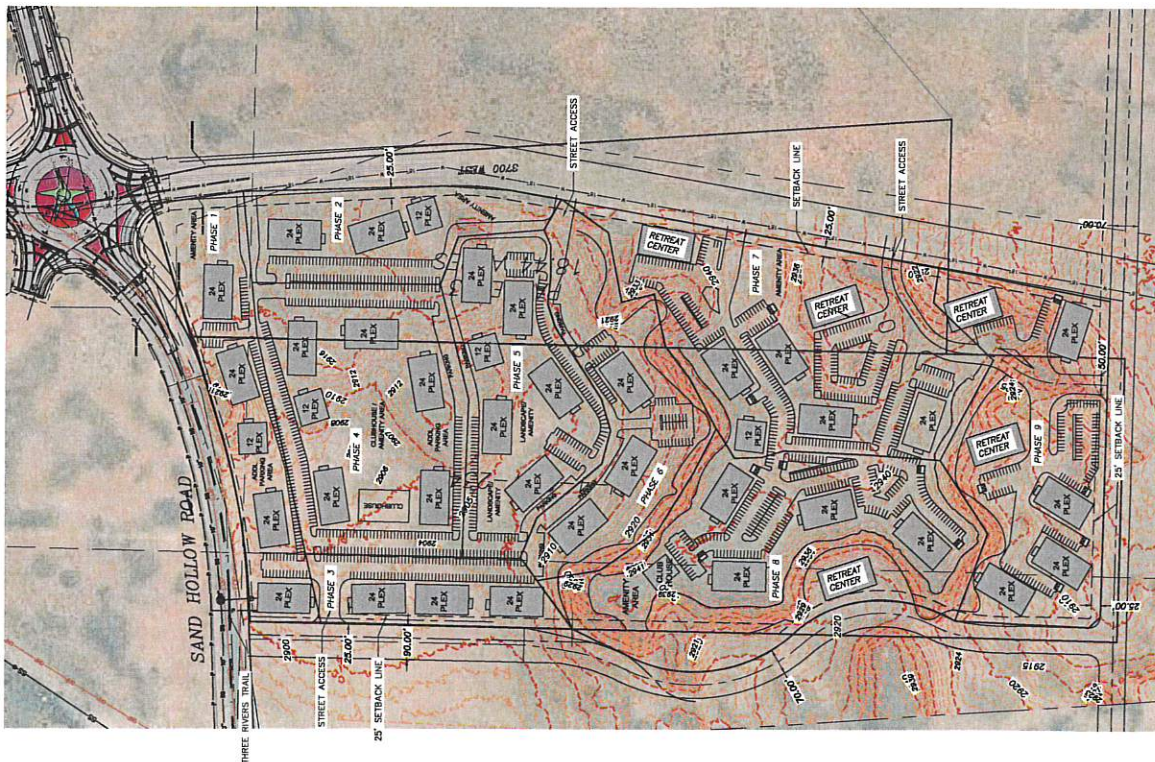
NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, BEFORE OR NOT SHOWN ON THE PLANS.

SEE YOURS BROTHERS.
Call 811 before you dig.

1-800-4-A-DIG

SEE YOURS BROTHERS.



PROPERTY LINE
SECTION LINE
EASEMENT LINE
GAS
LOP
EXISTING EXP
EXISTING SEWER
MAJOR CONTOUR
MINOR CONTOUR
EXISTING TIE LINE
MAJOR WATER
MINOR WATER
ADJACENT PROP. LINE
EXISTING DRAIN LINE
PROPOSED SEWER
TRAIL LINE
PHASE LINE
EXISTING WATER
EXISTING FIRE HYDRANT
PROPOSED SEWER
MANHOLE
CLEANOUT

[illegible]

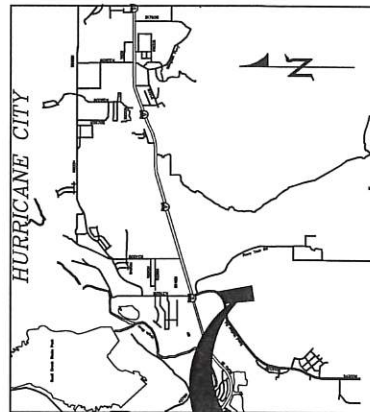
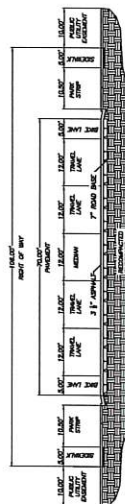
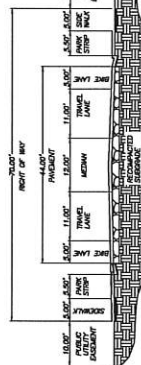
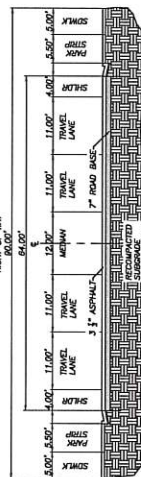
UNITS: R4, PLEX 340'x40' = 816 UNITS
R4, PLEX 340'x40' = 816 UNITS
R4, PLEX 340'x40' = 816 UNITS
RETRAIT CENTER = 9 UNITS
TOTAL = 685 UNITS

PARKING STALLS DESIGNED = 1600 STALLS
ADJACENT PARCEL USAGE:

1. PARCELS EAST TO THE SITE COMES UNDER ZONE RM-3, MULTI-FAMILY-15 UNITS PER ACRE & R1-6; RESIDENTIAL-1 UNIT PER 6,000 SQ.FT.
2. PARCELS WEST TO THE SITE COMES UNDER THE ZONE R1-6; RESIDENTIAL-1 UNIT PER 6,000 SQ.FT.
3. PARCELS NORTH TO THE SITE COMES UNDER RM-3; MULTI-FAMILY-15 UNITS PER ACRE & R1-6; RESIDENTIAL-1 UNIT PER 6,000 SQ.FT.
4. PARCELS SOUTH TO THE SITE COMES UNDER GC; GENERAL COMMERCIAL

[illegible]

OWNING RR-1 RECREATIONAL RESORT ZONE
STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. THIS
THE METHOD TO HANDLE STORM WATER.
PROPERTY CAN BE SERVED BY HURRICANE CITY WATER,
AND ASH GREEN SPECIAL SERVICE DISTRICT.
THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.
WATER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT
UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

VICINITY MAP
N.T.S.

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-PSP-16

Type of Application: Preliminary Site Plan (Administrative)

Applicant: Secure Private Fund LLC

Agent: N/A

Request: Preliminary Site Plan for a Recreation Resort, Sand Hollow Gateway Resort

Location: NE of Sandhollow Rd

General Plan: Planned Community

Existing Zoning: Recreation Resort

Discussion: This application is for a 65.17 Acre, 885 Unit Recreation Resort. This project is located in the Elim Valley area, and the zoning has recently been approved as part of the Elim Valley Lawsuit. The applicant is planning on subdividing the property for each unit to be sold off individually. The applicant has responded to each comment listed within this report, which is listed below in **red**.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	GC and HC	Vacant Land
East	R1-6 and RM 3	Vacant
South	R1-8	Vacant and storage
West	PDO/NC	Vacant-RV storage
	PDO/R-1-8	Golf Course – single-family homes

JUC Comments:

1. Engineering: Need a traffic impact study, needs to be done by a traffic engineering firm. **Traffic study will be provided along with the construction drawings**
2. Will need a full water model, no water in Sand hollow road, and will need to have water be brought in. Will need to comply with the master plan and have a 12" line. **Water model will be submitted along with construction drawings.**
3. The sewer in Sand Hollow is a proposed future line, and the applicant will need to deliver sewer to the Ash Creeks lines. Sewer has concerns about if it can be gravity feed with topography. It would be a very large private system without any public

roadways within the development. **Sewer issues will be addressed and will submit for review along with construction drawings.**

4. Conservancy District: There is a 60" diameter pipeline in 3700 W. **We are aware of 60" diameter in 3700 W and it will shown on construction drawings.**
5. Power will need to be brought into the area. Will require offsite improvements. **All planned improvements will be submitted in the construction drawings.**
6. Gas and other utilities are in Sand Hollow Road. **Gas and other utilities will be addressed and submit for review along with construction drawings.**

Staff Comments

1. The applicant will need to need a pool, clubhouse, and onsite management within the first phase. Because of the area's size, staff would recommend multiple pools and recreation areas so that each unit is within a quarter-mile of recreation space. There are multiple recreation spaces, which will be contained in those spaces. At least one clubhouse and pool will need to be developed as part of the first phase.
The Full site is developed in 9 phases.
 - a. Phase 1 will have an amenity area on the east side of the property and it serves the building built in phase 1.
 - b. Phase 2 will have an amenities area located at the south side of the development.
 - c. Phase 3 will not have any amenities area but will have access to use amenities built-in phase 1 and phase 4 as they are close the each other.
 - d. Phase 4 will have a club house, pool, onsite management area and it is main amenity area where all buildings will access to use them.
 - e. Phase 5 will not any amenities but still can use amenities built-in phase 4 and phase 2. All the buildings in phase 5 are within a quarter-mile of the recreation area.
 - f. Phase 6 will not have any amenities but will have to use amenitie built in phase 7 and buildings in phase 6 are within a quarter-mile of recreation are from phase 7.
 - g. Phase 7 will have an amenities area aswell.
 - h. Phase 8 & 9 will not have any amenities but will access to amenities in phase 7 and all buildings are within quarter mile of recreation space from phase 7
2. Roadways are all private, and no public streets are listed. Staff's recommendation is to do a circulation route within the development as a roadway, then have parking courts around the outside of the development. All the parking in the middle creates a longer walking distance for internal amenities and hampers internal traffic flow. **We are planning to build an access north side of phase 3. And also another access between phase 2 & phase 7.**
3. A preliminary site plan is not intended to permit actual property development pursuant to such a plan but shall be prepared merely to represent how the property could be developed. Submittal, review, and approval of an application for a preliminary site plan shall not create any vested rights to development (HCC 10-7-10(D)). **Construction drawings will be submitted for review.**

4. Will need a minimum of two parking spaces for each unit. **We are having a minimum of two car parking spaces for each unit.**
5. Will need to provide internal walking trails and sidewalks. **We are planning to build internal walking trails and sidewalks and will be submitted for review along with construction drawings.**
6. Will need to do crossing areas for the pool and clubhouse. **We will plan crossing areas for the pool and clubhouse in the construction drawings**
7. Roadways on the outside will need to be built out and dedicated. **Roadways and masterplan road are being addressed by developer and city staff final plan is forthcoming.**
8. The applicant will need to submit a traffic study with construction drawings. **Traffic study will be submitted for review along with construction drawings.**
9. The development will likely be phased and the applicant will need to show the phasing plan. **The whole development will be built in 9 phases.**
10. Zoning is currently being posted and updated. **All buildings are within setbacks and setback dimensions are shown on drawing.**
11. Buildings will need to meet proper setbacks for the RR Zoning. No setbacks are currently listed on the site plan. **Tall building are within setbacks and setback dimensions are shown on drawing.**
12. There is a planned trail for Sand Hollow Road that will likely be on the road's East and South sides. That will need to be developed as part of this development. **Three river trail on Sand Hollow Road shown and it will be developed.**
13. Buildings will all need to be sprinkled. **All buildings will have sprinklers.**
14. The applicant may need to do a sensitive land application with the steep hills and slight ridges on the property with the preliminary plat. **Less than 10% of the property is considered sensitive land and therefore, a sensitive land application is not needed.**
15. Each building will need to be sprinkled.

Recommendation: Review the proposed application, and approve with the conditions that preliminary plat and construction drawings reflect staff and JUC Comments.

Know what's below.
Call 811 before you dig.

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BUIES OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

PRELIMINARY SITE PLAN FOR:
SAND HOLLOW GATEWAY RESORT
LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

LEGEND

PROPERTY LINE

EASEMENT LINE

SECTION LINE

GAS

EXISTING EOP

SS

EXISTING SEWER

MAJOR CONTOUR

MINOR CONTOUR

TEL

EXISTING TEL LINE

PORPOSED WATER METER

ADJACENT PROP LINE

EXISTING OHP LINE

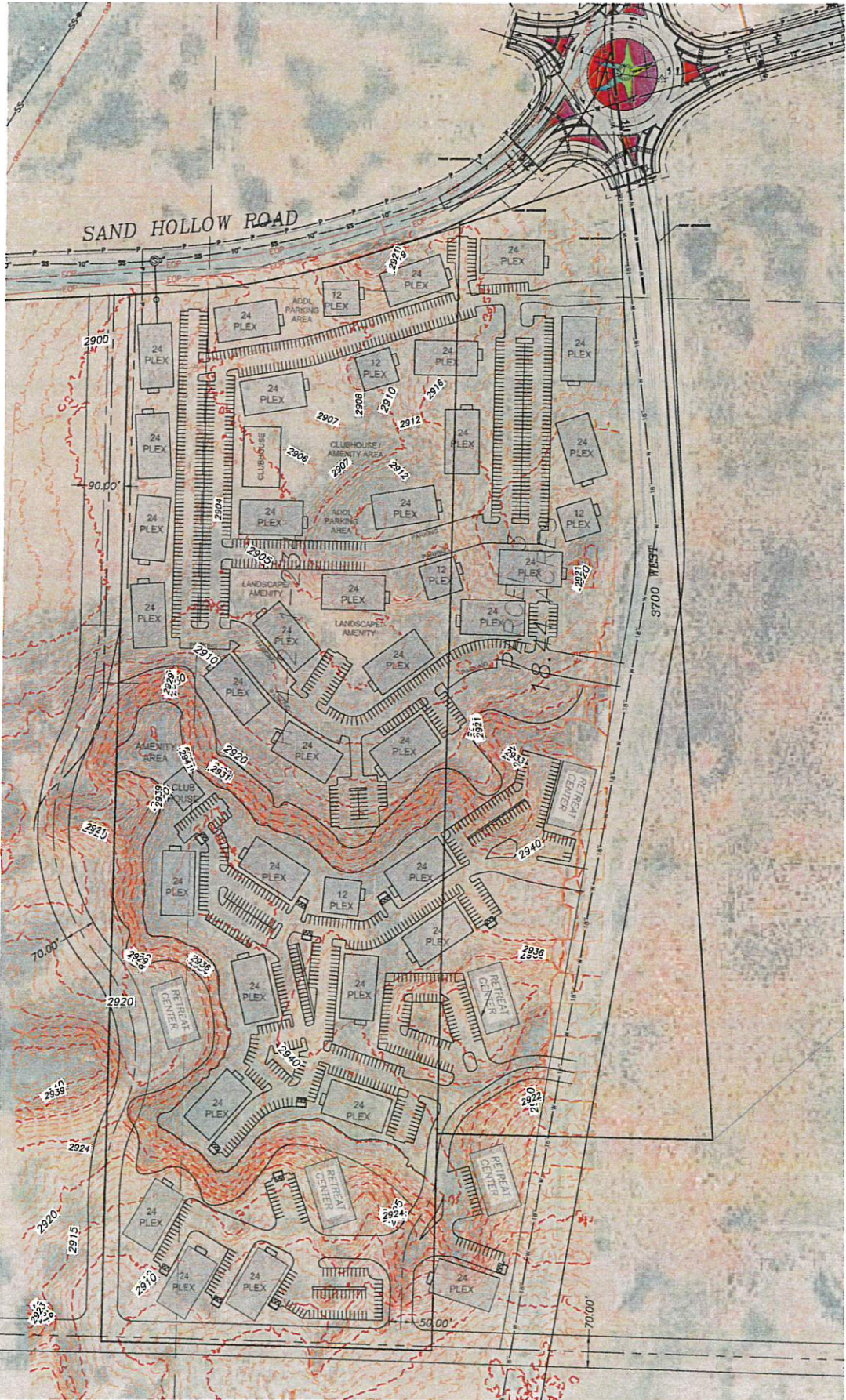
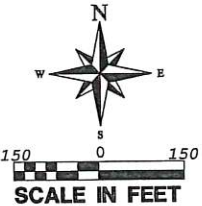
PROPOSED SEWER

EXISTING WATER

EXISTING FIRE HYDRANT

PROPOSED SEWER MANHOLE

CLEANOUT



GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	H2-HIGH?-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	Ca-CALICHE
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-SOILS WITH LOW SUSCEPTIBILITY FOR EXPANSION
GYPSEFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBILITY TO PIPING & EROSION
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH TO BEDROCK IS GENERALLY 10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSL-LOW: MIXED UNIT GEOLOGIC DEPOSITS, WIND DOMINATE TRANSPORT
SHALLOW GROUND WATER	NONE

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

LAND USE SUMMARY

UNITS: 24 PLEX 34X24= 816 UNITS
12 PLEX 5X12 = 60 UNITS
RETREAT CENTER = 9 UNITS
TOTAL = 885 UNITS

PARKING STALLS DESIGNED = 1600 STALLS

ADJACENT PARCEL USAGE:

- PARCELS EAST TO THE SITE COMES UNDER ZONE RM-3: MULTI-FAMILY- 15 UNITS PER ACRE & R1-6: RESIDENTIAL-1 UNIT PER 6,000 SQ.FT.
- PARCEL SOUTH OF THE SITE COMES UNDER THE ZONE R1-B: RESIDENTIAL-1 UNIT PER 8,000 SQ.FT.
- PARCELS WEST TO THE SITE COMES UNDER RM-3: MULTI-FAMILY- 15 UNITS PER ACRE.
- PARCEL NORTH TO THE SITE COMES UNDER GC: GENERAL COMMERCIAL ZONE.

LEGAL DESCRIPTION

BEGINNING AT N 01°08'51" E A DISTANCE OF 2299.22 FEET TO A POINT; THENCE IN A EASTERLY DIRECTION WITH A NON-TANGENT CURVE TURNING TO THE LEFT WITH A RADIUS OF 1830.72 FEET, HAVING A CHORD BEARING OF N 80°51'12" E AND A CHORD DISTANCE OF 535.57, HAVING A CENTRAL ANGLE OF 16°49'20" AND AN ARC LENGTH OF 537.50 TO A POINT; THENCE WITH A BEARING OF N 72°55'09" E A DISTANCE OF 225.95 FEET TO A POINT; THENCE WITH A BEARING OF N 71°41'52" E A DISTANCE OF 432.75 FEET TO A POINT; THENCE WITH A BEARING OF S 11°10'33" E A DISTANCE OF 180.36 FEET TO A POINT; THENCE WITH A BEARING OF S 03°42'21" E A DISTANCE OF 1971.21 FEET TO A POINT; THENCE WITH A BEARING OF N 88°49'46" W A DISTANCE OF 614.14 FEET TO A POINT; THENCE WITH A BEARING OF S 01°08'53" W A DISTANCE OF 473.81 FEET TO A POINT; THENCE WITH A BEARING OF N 88°31'38" W A DISTANCE OF 740.75 FEET TO A POINT;

TOTAL ACRE: 65.17

ADDITIONAL NOTES

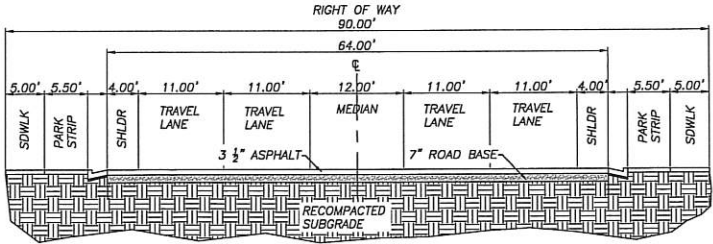
ZONING: RR-1 RECREATIONAL RESORT ZONE

STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. THIS IS THE METHOD TO HANDLE STORM WATER.

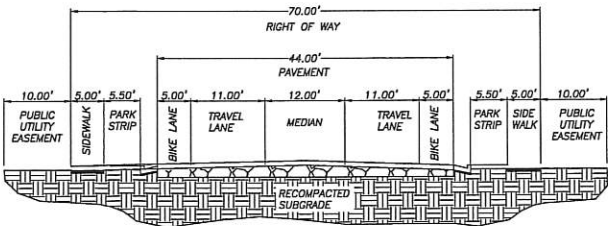
PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

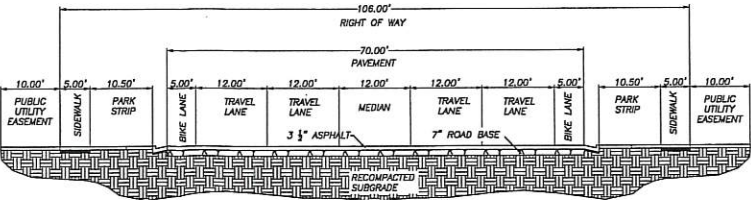
OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.



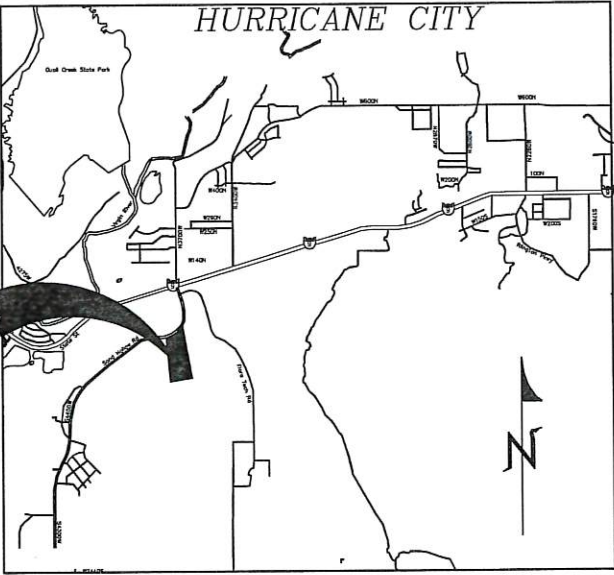
3700 WEST ROAD
N.T.S.



70' RIGHT OF WAY
N.T.S.



SAND HOLLOW ROAD
N.T.S.



VICINITY MAP
N.T.S.

REVISIONS

NO	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.

Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84117
Phone: (435) 666-6807

PROVALUE ENGINEERING, INC.

PROVALUE ENGINEERING, INC.

PRELIMINARY SITE PLAN FOR:
SAND HOLLOW GATEWAY RESORT
LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10/28/2020
SCALE: 1"=150'

JOB NO:
281-010

SHEET NO:
1 OF 1

PRELIMINARY SITE PLAN REVIEW APPLICATION

City of Hurricane

147 North 870 West

Hurricane, UT 84737

(435) 635-2811

FAX (435) 635-2184

ll
Fee \$200.00

For Office Use Only:

File No. 2026-PSP-17

Receipt No. 8-143247

Name: Western MTG & Realty Co Telephone: 509-521-9254
950 E Foster Wells Rd
 Address: Pasco, WA 99301 Fax No. _____
Karl Rasmussen
 Agent (If applicable): Brent Moser Agent's Phone: 435-668-8307
801-793-0346
 Email: htippetto@westernmt.com Agent Email: Karl@PV-eng.com
enhancedhomesofutah@gmail.com
 Address/Location of Subject Property: West of Sand Hollow Rd, NW of Abbey Rd
 Tax ID of Subject Property: H-4-2-11-2112 Zone District: PC
 Proposed Use: (Describe, use extra sheet if necessary) Boat & RV Storage

This application shall be accompanied by the following:

- ☒ 1. A vicinity map showing the general location of the project.
- ☒ 2. Three (3) copies of a site plan showing:
 - ☒ Topography showing 2' contours, identification of 30% or greater slopes;
 - ☒ The layout of proposed uses;
 - ☒ Location of open space when applicable;
 - ☒ Proposed access to the property and traffic circulation patterns;
 - ☒ Adjoining properties and uses;
 - ☒ Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any;
- ☒ 3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities;
- ☒ 4. Tables showing the number of acres in the proposed development and a land use summary; and
- ☐ 5. A phased development plan if applicable.
- ☒ 6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: _____ Received by: _____

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-PSP-17

Type of Application: Preliminary Site Plan (Administrative)

Applicant: Western MTG and Realty Co

Agent: Karl Rasmussen and Brent Moser

Request: Preliminary Site Plan for a Recreation Resort, Bash Resorts

Location: West of Sand Hollow Rd, Northwest of Abbey Rd

General Plan: Planned Community

Existing Zoning: Recreation Resort

Discussion: This application is for a 24.695 Acre, 378 Unit Recreation Resort. This project is located in the Elim Valley area, and the zoning has recently been approved as part of the Elim Valley Lawsuit. The applicant is planning on subdividing the property for each unit to be sold off individually.

The applicant has submitted a new site plan and responded to the report submitted to the Planning Commission for the meeting on October 28, which is attached to this plan. Staff has reviewed their comments, and have updated our comments below.

JUC Comments:

1. Engineering: Need a traffic impact study, needs to be done by a traffic engineering firm
2. The drainage plan will need to be reviewed as part of the construction drawings.
3. Will need a full water model with the construction drawings.
4. Sewer: The connection point is down on Abby road, and there is capacity and should be able to use gravity feed for the sewer.
5. Water Conservancy District: Drainage is a concern for the overflow of a pipe in the area. The applicant will need to work with the Water Conservancy District and Ash Creek to ensure drainage is maintained.
6. Power will need to be extended into the development. Power is in the middle of Marla Phase 1
7. Gas and other utilities are in Marla.

Staff Comments

1. The applicant will need to need a pool, clubhouse, and onsite management. At least one clubhouse and pool will need to be developed as part of the first phase. The applicant has provided phasing lines on the updated plan set. With the proposed phase lines, the applicant will need to provide a road connection to the master planned road to the north of the project.
2. The max density for Recreation Resort is 15 units an acre, which would limit the total number of units to 370. The application is applying for a total of 353 units
3. Roadways are all private, and no public streets are listed within the development. Staff's recommendation is to do a circulation route within the development as a public roadway system, then have parking courts around the outside of the development. All the parking in the middle creates a longer walking distance for internal amenities and hampers internal traffic flow. At a minimum, there needs to be a roadway to convey traffic to the northern roadway. Having multi-family developments have public road connections is a way to integrate the development with the rest of the City, provided connectivity in the area, and maintain property values.
4. A preliminary site plan is not intended to permit actual development of property pursuant to such a plan but shall be prepared merely to represent how the property could be developed. Submittal, review, and approval of an application for a preliminary site plan shall not create any vested rights to development (HCC 10-7-10(D))
5. Will need a minimum of two parking spaces for each unit.
6. Will need to provide internal walking trails and sidewalks. Crosswalks and paths should connect the resort amenities, outside roadways and sidewalks, and unit buildings. The applicant has intended to provide these drawings with construction drawings.
7. The applicant will need to provide a connection to Abbey Roadway.
8. Roadways on the outside will need to be built out and dedicated.
9. The applicant will need to submit a traffic study with construction drawings.
10. Buildings will need to meet proper setbacks and building heights for the RR Zoning. No setbacks are currently listed on the site plan.
11. Buildings will all need to be sprinkled.

Recommendation: Review the proposed application, and approve with the conditions that preliminary plat and construction drawings reflect staff and JUC Comments, including complying with max density, parking, setbacks, and adding the needed public roadway and connections..

RESPONSES TO STAFF COMMENTS

Agenda:	October 28, 2020	File Number: 2020-PSP-17
Type of Application:	Preliminary Site Plan (Administrative)	
Applicant:	Western MTG and Realty Co	
Agent:	Karl Rasmussen and Brent Moser	
Request:	Preliminary Site Plan for a Recreation Resort, Bash Resorts	
Location:	West of Sand Hollow Rd, Northwest of Abbey Rd	
General Plan:	Planned Community	
Existing Zoning:	Recreation Resort	

Discussion: This application is for a 24.695 Acre, 378 Unit Recreation Resort. This project is located in the Elim Valley area, and the zoning has recently been approved as part of the Elim Valley Lawsuit. The applicant is planning on subdividing the property for each unit to be sold off individually.

JUC Comments:

1. Engineering: Need a traffic impact study, needs to be done by a traffic engineering firm
Traffic study will be provided along with the construction drawings.
2. The drainage plan will need to be reviewed as part of the construction drawings.
Drainage plan will be submitted for review along with the construction drawings.
3. Will need a full water model with the construction drawings.
Water model will be submitted along with construction drawings.
4. Sewer: Connection point is down on Abby road, and there is capacity and should be able to use gravity feed for the sewer.
Sewer issues will be addressed and will be submitted for review along with construction drawings.
5. Water Conservancy District: Drainage is a concern for the overflow of a pipe in the area. The applicant will need to work with the Water Conservancy District and Ash Creek to ensure drainage is maintained.
water issues will be addressed and will be submitted for review along with construction drawings.

6. Power will need to be extended into the development. Power is in the middle of Marla Phase 1

Power issues will be addressed and will be submitted for review along with construction drawings.

7. Gas and other utilities are in Marla.

Gas and other utilities will be addressed and submit for review along with construction drawings.

Staff Comments

1. The applicant will need to need a pool, clubhouse, and onsite management. At least one clubhouse and pool will need to be developed as part of the first phase.

The Full site is developed in 3 phases.

a. Phase 1 will have an amenity area and a pool. It also have two exits.

b. Phase 2 will have an amentitne area and a pool and it is located at north side of the development.

c. Phase 3 will have amenities and a pool area aswell.

2. The max density for Recreation Resort is 15 units an acre, which would limit the total number of units to 370, which is eight units less than what is being proposed.

We are of 363 units in total.

3. Roadways are all private, and no public streets are listed within the development. Staff's recommendation is to do a circulation route within the development as a public roadway system, then have parking courts around the outside of the development. All the parking in the middle creates a longer walking distance for internal amenities and hampers internal traffic flow.

There will be three access to the property oneon south side of property, another one towards north side and one on east side of the property.

4. A preliminary site plan is not intended to permit actual development of property pursuant to such a plan but shall be prepared merely to represent how the property could be developed. Submittal, review, and approval of an application for a preliminary site plan shall not create any vested rights to development (HCC 10-7-10(D))

Construction drawings will be submitted for review.

5. Will need a minimum of two parking spaces for each unit.

We are having minimum of two car parking spaces for each unit.

6. Will need to provide internal walking trails and sidewalks. Crosswalks and paths should connect the resort amenities, outside roadways and sidewalks, and unit buildings.
We are planning to build internal walking trails and sidewalks and will be submitted for review along with construction drawings.
7. Roadways on the outside will need to be built out and dedicated.
Roadways and masterplan road are being addressed by developer and city staff final plan is forthcoming.
8. The applicant will need to submit a traffic study with construction drawings.
Traffic study will be submitted along with the construction drawings.
9. The development will likely be phased, and the applicant will need to show a phasing plan.
The project will be developed in 3 phases.
10. Zoning is currently being posted and updated. It will be in effect in the next few weeks.
Zoning will be updated soon.
11. Buildings will need to meet proper setbacks for the RR Zoning. No setbacks are currently listed on the site plan.
All building are within setbacks and setback dimensions are shown on drawing.
12. Buildings will all need to be sprinkled.
All buildings will have sprinklers.

Recommendation: Review the proposed application, and approve with the conditions that preliminary plat and construction drawings reflect staff and JUC Comments, including complying with max density, parking, and setbacks.

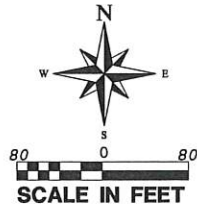
PRELIMINARY SITE PLAN FOR:
BASH RESORTS

LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

—	PROPERTY LINE	—	ADJACENT PROP LINE
- - -	SETBACK LINE	—	EXISTING OHP LINE
- - -	SECTION LINE	—	EXISTING WATER
—	EXISTING GAS	—	EXISTING SEWER



GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	H2-HIGH2-SIMILAR IN TEXTURE TO HIGH CATEGORY, NO GROUND-WATER INFORMATION
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	Ca-CALICHE
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-SOILS WITH LOW SUSCEPTIBILITY FOR EXPANSION
GYPSIFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBILITY TO PIPING & EROSION
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH TO BEDROCK IS GENERALLY * 10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSL-LOW: MIXED UNIT GEOLOGIC DEPOSITS, WIND DOMINATE TRANSPORT
SHALLOW GROUND WATER	NONE

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

ADDITIONAL NOTES

ZONING: RR-1 RECREATIONAL RESORT ZONE
STORM WATER CAN BE LOCALLY DETAINED AND CONTROLLED USING DETENTION BASINS. THIS IS THE METHOD TO HANDLE STORM WATER.
PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.
THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.
OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

LAND USE SUMMARY

UNITS: 18 PLEX (150x90) = 12 UNITS
12 PLEX (75x90) = 7 UNITS
10 PLEX (75x90) = 5 UNITS
RETREAT CENTER = 3 UNITS
TOTAL UNITS = 353 UNITS

PARKING STALLS DESIGNED = 930 STALLS

ADJACENT PARCEL USAGE:

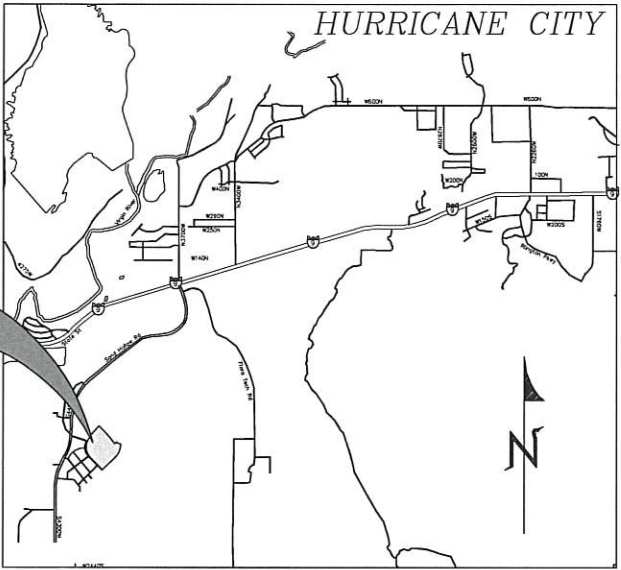
1. PARCELS EAST TO THE SITE COMES UNDER ZONE RA-1: RESIDENTIAL AGRICULTURAL-1 UNIT PER ACRE.
2. PARCEL SOUTH OF THE SITE COMES UNDER THE ZONE R1-8: RESIDENTIAL-1 UNIT PER 8,000 SQ.FT.
3. PARCELS WEST TO THE SITE COMES UNDER R1-8: RESIDENTIAL-1 UNIT PER 8,000 SQ.FT.
4. PARCEL NORTH TO THE SITE COMES UNDER R1-8: RESIDENTIAL-1 UNIT PER 8,000 SQ.FT.

LEGAL DESCRIPTION

COMMENCING WEST QUARTER CORNER OF SECTION 12 TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN; THENCE S88°30'47"E 423.70 FEET THENCE N01°29'13"E 104.68 FEET; TO THE POINT OF BEGINNING
THENCE N39°05'10"W 54.49 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF A 2523.75 FOOT RADIUS CURVE TO THE LEFT 190.00 FEET (CHORD BEARS: N41°14'34"W 189.96 FEET); THENCE NORTHWESTERLY ALONG THE ARC OF A 5280258784315.89 FOOT RADIUS REVERSE CURVE TO THE RIGHT 372.64 FEET (CHORD BEARS: N43°23'59"W 372.64 FEET); THENCE N01°07'58"E 753.64 FEET; THENCE N01°05'44"E 429.30 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF A 2166.55 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT 753.45 FEET (CHORD BEARS: S49°56'25"E 749.66 FEET); THENCE EASTERLY ALONG THE ARC OF A 434.82 FOOT RADIUS REVERSE CURVE TO THE LEFT 419.05 FEET (CHORD BEARS: S67°35'12"E 403.02 FEET); THENCE N84°49'05"E 108.26 FEET; THENCE S00°01'24"E 179.13 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 653.44 FOOT RADIUS NON-TANGENT CURVE TO THE RIGHT 462.77 FEET (CHORD BEARS: S26°39'50"W 453.16 FEET); THENCE S46°57'09"W 627.22 FEET TO THE POINT OF BEGINNING.

AREA: 23.605 ACRES.

PROJECT LOCATION



VICINITY MAP

N.T.S.

811

Before you dig, call 811.

BLUE STAKES OF UTAH

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

NO	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.

Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: (435) 666-6867



PRELIMINARY SITE PLAN FOR:

BASH RESORTS

LOCATED IN SECTION 1, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10/28/2010
SCALE: 1"=80'
JOB NO. 281-010
SHEET NO. 1 OF 1

PRELIMINARY PLAT APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:

File No. 2020-PP-20

Receipt No. 8.143245

Name: James Gregory C TR Telephone: _____

Address: 3799 W 240 N Hurricane, UT Fax No. _____

Email: _____ Agent Email: o.bliss45@gmail.com

Agent (If Applicable): Orin Bliss Telephone: 435-201-2018

Address/Location of Subject Property: Appx. 5200 W Turf Sod Rd.

Tax ID of Subject Property: H-4127-B Zone District: R1-10

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) For
residential lots

Submittal Requirements: The preliminary plat application shall provide the following:

____ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:

- ☒ a. The proposed name of the subdivision.
- ☒ b. The location of the subdivision, including the address and section, township and range.
- ☒ c. The names and addresses of the owner or subdivider, if other than the owner.
- ☒ d. Date of preparation, and north point.
- ☒ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.

____ 2. Existing Conditions: The preliminary plat shall show:

- ☒ a. The location of the nearest monument.
- ☒ b. The boundary of the proposed subdivision and the acreage included.
- ☒ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
- ☒ d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
- ☒ e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
- ☒ f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.



City of Hurricane

Water Department
Ken Richins, Superintendent

October 08, 2020

To Whom It May Concern:

A will serve letter has been requested for the Bliss subdivision, located at approximately 5200 W Turf Sod Road in Hurricane, Utah.

Yes, we do have a culinary water main in the area of 5200 W Turf Sod in Hurricane, UT.

A water model and fire hydrant flow analysis will be required to ensure the main waterline will deliver the required fire flows. A hydraulic study may be required.

Sincerely,

Connie Martin, Hurricane City Water

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-PP-22

Type of Application: Preliminary Plat Administrative

Applicant: James Gregory C TR Applicant

Agent: Orin Bliss

Request: Preliminary Plat Review and Recommendation

Location: Turf Sod Road,

General Plan: Single Family

Existing Zoning: R1-10

Discussion: The applicant has applied for a 10-acre preliminary plat 32 lot subdivision. The applicant was recently given a zone change from RA-1 to R1-10.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1	Opens Space and Farm Property
East	A-5 Ag. Protection Overlay	Farm Property
South	R1-10	Pecan Valley Subdivision
West	RA-1	Open Space and Farm Property

JUC Comments

The following items will need to be addressed with the construction drawings:

1. Cul-de-sac is too long. Will need roadway access to adjacent parcels.
2. Too many units down a single roadway. Can only have 30 units off a single access
3. Sewer: Need a sewer pump station; the developer will also need to pay a pioneering agreement fee. The applicant will need to talk to Ash Creek Special Service District to pay the fee and work out details about the sewer pump station.
4. The waterline will need to be looped.
5. Gas is likely in the area.

Planning Review Notes:

1. A 60' roadway is planned for the area. The plat needs to show the plan for the access point and connections.

2. Fire Code only allows up to 30 units off a single functional access, the plat currently is proposing 33. The applicant will need to either eliminate three of the lots or show phase lines capping before there are more than 30 units.
3. Roadways and connections: The applicant should make the T intersection into a four-way intersection, with an access road to the east.
4. The applicant has changed the plan so that it has a temporary cul-de-sac on the north end of the project. The cul-de-sac should be changed to a hammerhead head and future four-way intersection providing east/west and north/south connectivity and lots 1 and 33 should be changed to corner lots.
5. The development is adjacent to an Agriculture Protection Area, and a note will need to be included on the final plat as follows: HCC 10-21-9 (C) 3. For each new subdivision development located in whole or in part within three hundred feet (300') of the boundary of an agriculture protection area, the owner of the development shall provide notice on any plat filed with the county recorder the following notice:

Agriculture Protection Area

This property is located in the vicinity of an established agriculture protection area in which normal agricultural uses and activities have been afforded the highest priority use status. It can be anticipated that such agricultural uses and activities may now or in the future be conducted on property included in the agriculture protection area. The use and enjoyment of this property is expressly conditioned on acceptance of annoyance or inconvenience which may result from such normal agricultural uses and activities.

6. Stormwater basins have been added to the south of the development.
7. Hurricane City Trail Master Plan shows a shared-use path on the north side of Turf Sod Road. This trail should be included in the Turf Sod Road Improvements.
8. The applicant will need to contact Ash Creek Special Service District to secure a will serve letter and address sewer comments listed within the JUC Notes.

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. Staff recommends the Planning Commission not make a positive recommendation of the proposed Preliminary Plat to the City Council unless the applicant complies with the following:

1. Address the issue of second access, either by phase lines, provides another functional roadway, or limits the total number of lots to 30.
2. Makes roadway connections and improvements listed within this report.

RESPONSES TO STAFF COMMENTS

Subdivision Name: Apple Fox Holow

Date Received:

JUC Date: Oct 14, 2020

Planning Commission Date: Oct 28, 2020

City Council Date:

Complete	Requirement
	Application Standards:
	Description: In a title block located in the lower right hand corner of the sheet the following is required
X	The proposed name of the subdivision.
X	The location of the subdivision, including the address and the section, township and range.
X	The names and addresses of the owner or subdivider if other than the owner.
X	Date of preparation and north point.
X	Scale shall be of sufficient size to adequately describe in legible form all required elements.
X	The location of the nearest monument.
X	The boundary of the proposed subdivision and the acreage included.
X	All property contiguous to the property to be subdivided and under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing master street plan or other commission studies.) And all property contiguous to the proposed subdivision.
Does not show development across street	The location, width and names/numbers of all existing streets within two hundred feet (200') of the subdivision and of all prior streets or other public ways, easements, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
X	The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
X	Existing ditches, canals, natural drainage channels and open waterways and proposed realignments.
X	Contours at vertical intervals not greater than five feet (5').
X	Identification of potential geotechnical constraints on the project site (such as expansive rock and soil, collapsible soil, shallow bedrock and caliche, gypsiferous rock and soil, potentially unstable rock or soil units including fault

	lines, shallow ground water, and windblown sand) and recommendations for their mitigation.
Not listed on streets	The layout of streets, showing location, widths and other dimensions of proposed streets, crosswalks, alleys and easements.
Dimension are missing	The layout, numbers and typical dimensions of lots. Designation of buildable area is required for each lot.
Top Lot is unclear on uses	Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision.
X	Easements for water, sewers, drainage, utilities, lines and other purposes.
X	Typical street cross sections and street grades where required by the planning commission.
Unclear	A tentative plan or method by which the subdivider proposes to handle the stormwater drainage for the subdivision.
X	Approximate radius of all centerline curves on highways or streets.
End Lots does not show PUE	Each lot shall abut a street shown on the subdivision plat or on an existing publicly dedicated street. (Double frontage or flag lots shall be prohibited except where conditions make other design undesirable.)
X	All remnants of lots below minimum size left over after subdividing of a larger tract shall be added to adjacent lots or common areas, rather than allowed to remain as unusable parcels.
Will need to talk to Ash Creek about sewer	Where necessary, copies of any agreements with adjacent property owners relevant to the proposed subdivision shall be presented to the planning commission.
Have a letter from water	A letter from both the local sanitary sewer provider and culinary water provider indicating availability of service.
No Phase Lines	If the subdivision is to be built in phases, the plat shall show possible phasing lines.
X	A tentative plan or method for providing nondiscriminatory access to the subdivision for purposes of placement of communications infrastructure, and for purposes of placement of utility infrastructure.
X	Information on whether property is located in desert tortoise take area
Zoning Review	
X	Has a complete application and fees
X	Check Underlying Zoning for Use
X	Check lot sizes/density of the proposed project
X	Review setbacks
X	Check building distances from each other
Need more info	Review building lot requirements
X	Review if the project has any sensitive lands
Needs a trail	Check Trail Master Plan
See Notes	Check Road Master Plan
X	Take Item to JUC

Planning Review Notes:

1. No lot dimension listed on the plat.
Lot dimensions are shown
2. Turf Sod Road has a Paved Trail planned for the north of the road
Trail on north side of the Turf sod road shown.
3. A 60' roadway is planned for the area. Needs to show the plan for the access point and connections.
60' road is shown, and it continues till end of the property. A temporary cul-de-sac is drawn towards end of the north property.
4. The cul-de-sac is too long. Will need to comply with the follow definition found in *HCC 10-39-3: Street, Cul-De-Sac: A street which originates from a designated city street with no other outlet and forcing a radius turn area, not to exceed six hundred sixty feet (660') in length without the written approval of the city council, the planning commission and the fire chief.*
Cul-de-sac is temporary and 60' road will continue till end of the property.
5. Staff is unsure what the the purpose is with the lot at the end of the roadway.
There are 2 lots on either side of the cul-de-sac
6. Will need to show lots and development on the south side of Turf Sod Road
Lots and development on south of the turf road shown.
7. The development is adjacent to an Agriculture Protection Area, a note will need to be included on the final plat as follows: HCC 10-21-9 (C) 3. For each new subdivision development located in whole or in part within three hundred feet (300') of the boundary of an agriculture protection area, the owner of the development shall provide notice on any plat filed with the county recorder the following notice:

Agriculture Protection Area

This property is located in the vicinity of an established agriculture protection area in which normal agricultural uses and activities have been afforded the highest priority use status. It can be anticipated that such agricultural uses and activities may now or in the future be conducted on property included in the agriculture protection area. The use and enjoyment of this property is expressly conditioned on acceptance of annoyance or inconvenience which may result from such normal agricultural uses and activities.

Note will be added on final plat and submit for review.

8. It is unclear from the plat where the storm water local retention basin will be located.
Storm water local retention basin will be towards south side of the property lot 17 & 18.
9. Hurricane City Trail Master Plan shows a shared use path on the north side of Turf Sod Road. This trail should be included in the Turf Sod Road Improvements.
Trail along the north side of the turf sod road is shown.
10. Applicant will need to contact Ash Creek Special Service District to secure a will serve letter, and address sewer comments listed within the JUC Notes.

JUC Review Notes

1. Cul-de-sac is too long. Will need roadway access to adjacent parcels
New 60' access provided on east side of the property.
2. Too many units down a single roadway. Can only have 30 units off a single access
We have two access
3. Sewer: Need a sewer pump station, will need to pay a pioneering agreement fee.
Applicant will need to talk to Ash Creek Special Service District to pay the fee.
Sewer issue will be addressed and will be submitted along with construction drawings.
4. Water line will need to be looped
Water issue will be addressed and will be submitted along with construction drawings.
5. Gas is likely in the area.
Gas issue will be addressed and will be submitted along with construction drawings.

ADDITIONAL NOTES

STORM WATER CAN BE LOCALLY RETAINED AND CONTROLLED USING RETENTION BASINS. THIS IS THE METHOD TO HANDLE STORM WATER.

THERE ARE NO HURRICANE CANAL FACILITIES.

PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

DESERT TORTOISE TAKE AREA

THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)

LEGAL DESCRIPTION

BEGINNING AT A POINT LOCATED ON THE EAST QUARTER CORNER OF SECTION 10, TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN;

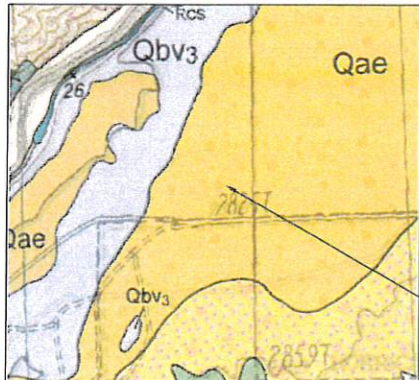
THENCE S00°10'53"W 1328.30 FEET; THENCE N89°36'57"W 327.94 FEET; THENCE N00°10'53"E 1327.80 FEET; THENCE S89°42'14"E 327.94 FEET TO THE POINT OF BEGINNING.

COVERING AREA OF 10 ACRES.

GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	HIGH2-WELL SORTED SANDS, SILTY SANDS, AND GRAVELS, WHERE DEPTH TO GROUND WATER IS ≤ 50 FEET
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	NONE
COLLAPSIBLE SOIL	CSA-STREAM/TERRACE ALLUVIUM >=3%
EXPANSIVE SOIL	ESL-SOILS WITH LOW SUSCEPTIBILITY FOR EXPANSION
GYPSIFEROUS SOIL & ROCK	NONE
PIPING & EROSION	P&ES-SOILS SUSCEPTIBLE TO PIPING & EROSION
SHALLOW BEDROCK	BRB-BURIED: AREAS WHERE DEPTH IS GENERALLY ≤ 10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSL-LOW: MIXED-UNIT GEOLOGIC DEPOSITS WITH WIND-BLOWN COMPONENT
SHALLOW GROUND WATER	SGW3-MODERATELY TO FREELY DRAINING SOILS WITH SEASONAL OR TRANSIENT SHALLOW GROUND WATER

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

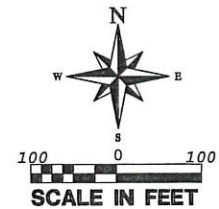
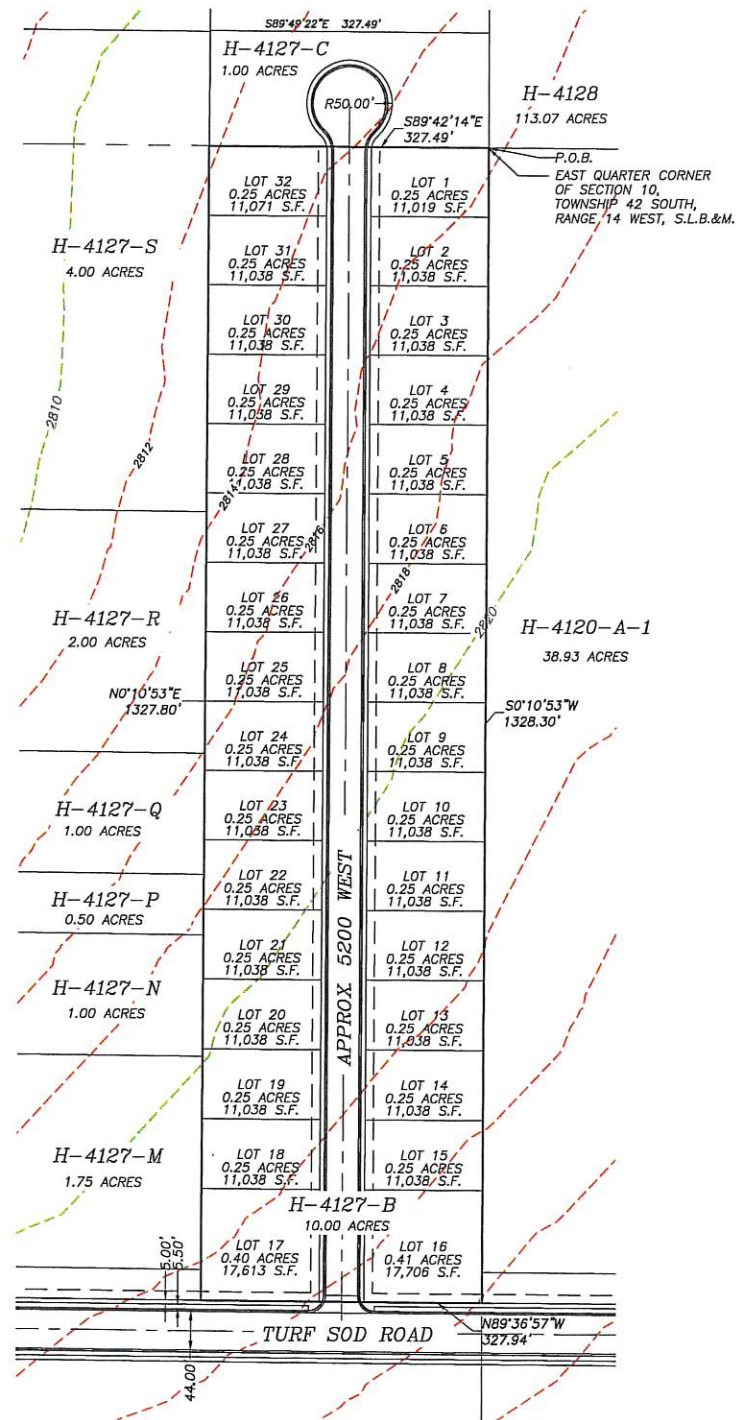


GEOLOGICAL NARRATIVE

THIS PARCEL OF LAND IS MODERATED SORTED GRAVEL, SAND, AND SILT DEPOSITED IN SMALL CHANNELS AND ON ALLUVIAL FLATS, AND WELL-SORTED, FINE TO MEDIUM-GRAINED, REDDISH-BROWN EOLIAN SAND LOCALLY REWORKED BY ALLUVIAL PROCESSES; YOUNGER DEPOSITS (Qae) FORM ACTIVE DEPOSITIONAL SURFACES, WHEREAS OLDER DEPOSITS (Qbv3) TYPICALLY FORM INCISED, INACTIVE SURFACES; AS MUCH AS ABOUT 20 FEET (6m) THICK.

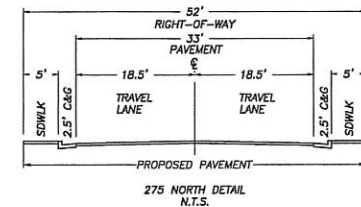
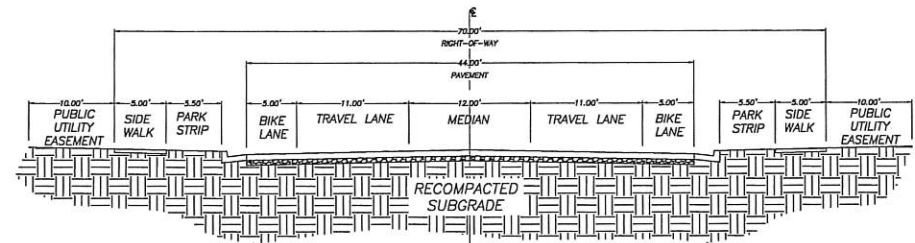
PRELIMINARY PLAT FOR: APPLE FOX HOLLOW SUBDIVISION

LOCATED IN SECTION 10, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

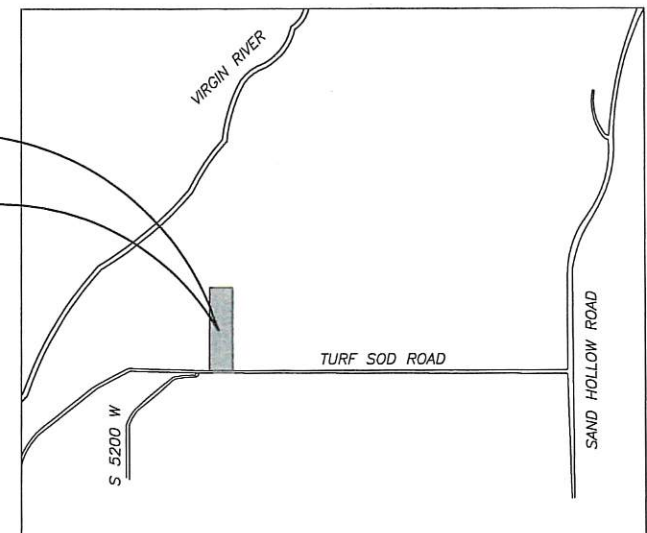


LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- SECTION CORNER AS DESCRIBED (00.00)
- RECORD BEARING OR DISTANCE



PROJECT
LOCATION



VICINITY MAP

N.T.S.

OWNERS:

CONTACT: ORIN BLISS
(435) 201-2018
JAMES GREGORY
3799 W 240 N, HURRICANE, UT



NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
109 South 800 West, Suite 200
Hurricane, UT 84737
Phone: (435) 668-8387



PRELIMINARY PLAT FOR:
APPLE FOX HOLLOW SUBDIVISION
LOCATED IN SECTION 10, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10-06-2010
SCALE: 1"=100'

JCB NO.
559-001

SHEET NO:
1 OF 1

FINAL SITE PLAN APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:

File No.

8-143930

Receipt No.

2020-ZC-17

Name: Sky Mountain Properties LLC Telephone: 435-668-0346

Address: 1173 S. 250 W. Unit 204 St. George Fax No. _____

Agent (If Applicable): Duane Fielding Telephone: 435-862-5074

Email: duanefielding@gmail.com Agent Email: same

Address/Location of Subject Property: Approx. 250 N 2260 W Hurricane, UT

Tax ID of Subject Property: 14-3-1-32-1102 Zone District: M-1

Proposed Use: (Describe, use extra sheet if necessary) RV Park

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way;
- ☒ c) Project name, North arrow, and tie to a section monument;
- ☒ d) The boundary lines of the project site with bearings and distances;
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings
- ☒ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- ☒ i) Identification of property, if any, not proposed for development, and;
- ☒ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-FSP-14

Type of Application: Final Site Plan

Applicant: Kennedy Family Ventures LLC

Request: Final Site Plan review for Sky Mountain RV Resort

Location: 100 N, 2260 W and 295 N

General Plan: Mixed Use and Commercial

Existing Zoning: Planned Commercial and MH/RV

Discussion: This final site plan is for the proposed Sky Mountain RV Park and fixed RV Resort. The park is laid out to accommodate RV's sizes and includes multiple on-site facilities and amenities.

1. Total Site 11.87 acres
2. Total Buildings 3
3. Total spaces 109

Approval

For RV Park, Hurricane City Code states the following:

10-43-5: BASIS FOR APPROVAL: (A)

2. Before final approval is granted for any manufactured home or recreational vehicle park or park model park, a report to the city council by the planning commission shall find the proposed development will:

- a. Be in keeping with the general character of the zone in which the park is to be located;*
- b. Have an approved financing plan for construction and phase completion, together with an approved security to assure compliance and completion; and*
- c. Meet applicable development standards of section 10-43-6 of this chapter and all requirements of other applicable ordinances, except where such requirements are modified by a planned development approved pursuant to chapter 23 of this title.*

The Planning Commission will need to review these items and make a recommendation to the City Council.

JUC:

Full construction drawings have been reviewed and by the JUC, and the applicant is currently gathering signature. As of the time of this report, the plan set has not fully been signed off.

Staff Review

1. This final site plan shows a well laid out park with multiple amenity sites off a major arterial and a minor arterial, meeting the code's location standards.
2. *A recreational vehicle park should generally be located:*
 1. *Adjacent to or in close proximity to a major collector or arterial road as shown in the city's transportation master plan;*
 2. *Near adequate shopping facilities; and*
2. The code for RV/Park Model parks includes the following: *D. Standards Specific To Recreational Vehicle Parks And Park Model Parks: 8. A minimum of one toilet, one sink, and one hot shower, each designed for complete privacy, for each forty (40) spaces, or fraction thereof.* The proposed restroom building must each include at least two separate private toilet, sink, and shower facilities based on this standard. They will need a minimum of three of each, which is provided.
3. Parking is adequately accommodated, with parking space at each site.
4. Open space requirement in an RV park is 10% of the land area. The area is providing a clubhouse, pickleball courts, playground, dog park, and other open spaces
5. Site details include full cutoff lighting.
6. Dumpster locations have been provided.
7. A full landscape plan has been provided with details on the types of improvements planned in the common spaces and the between site landscaping.
8. The plan provides three check-in lanes that are out of the way, and allow for traffic to pull in and out of the compound.
9. The main clubhouse has a patio, exercise location, bathroom, and showers.

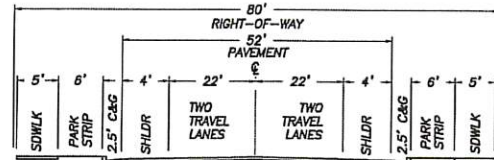
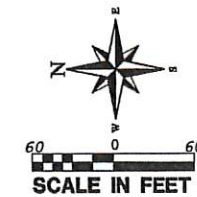
Staff recommendation:

Staff recommends that the Planning Commission review the site plan. If the construction drawings have been signed off by the JUC, make a recommendation to the City Council with the following findings:

1. The development is in keeping with the general character of the zone in which the park is to be located;
2. Have an approved financing plan for construction and phase completion, together with approved security to assure compliance and completion; and
3. Meet applicable development standards of section 10-43-6 of this chapter and all requirements of other applicable ordinances, except where such requirements are modified by a planned development approved pursuant to chapter 23 of this title.

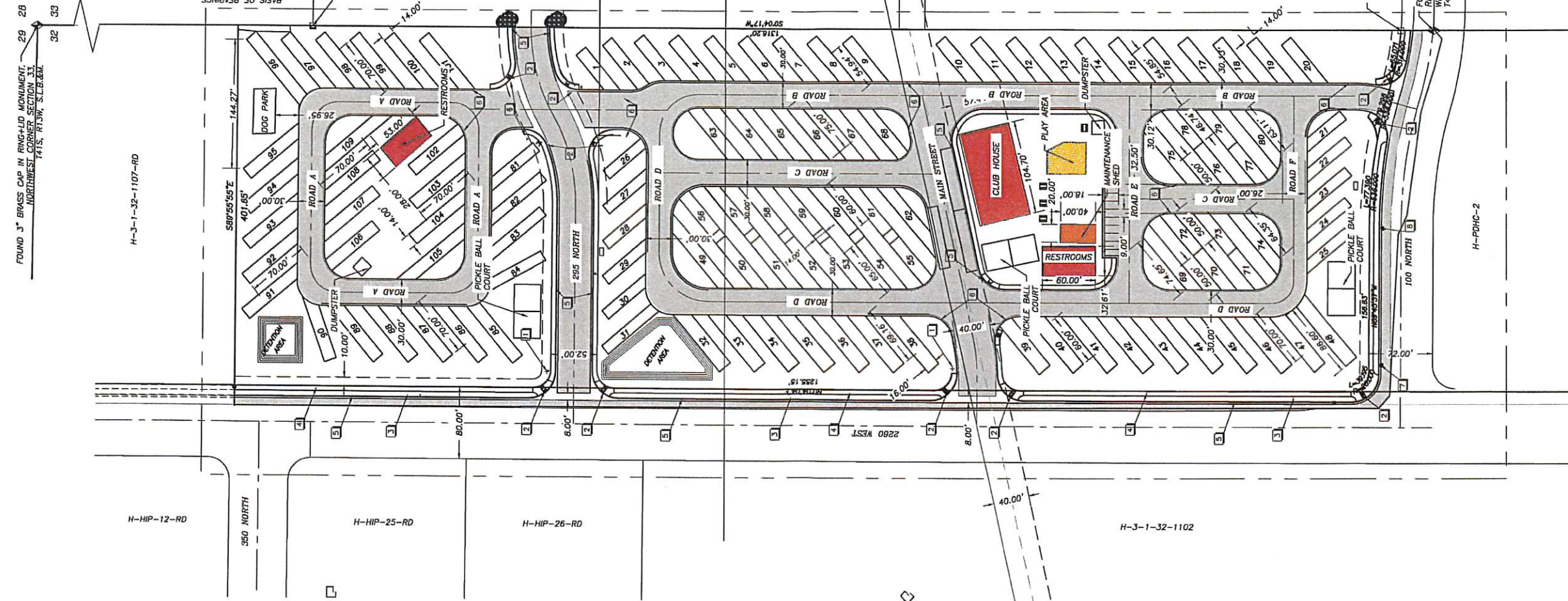
SITE PLAN FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



2260 WEST DETAIL
N.T.S.

FOUND 3" BRASS CAP IN RING-LID MONUMENT,
NORTHWEST CORNER SECTION 33,
T41S, R13W, S.L.B.&M.

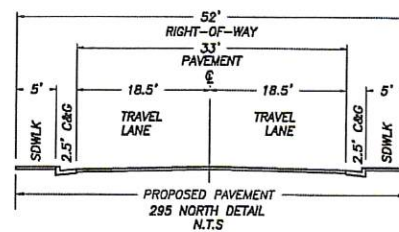


H-3-1-32-1107-RD

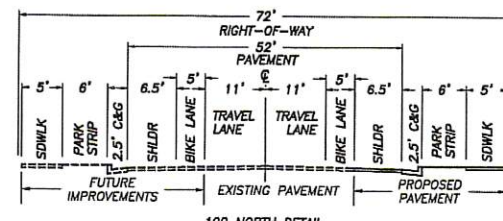
H-3-1-32-1107-RD

H-3-1-32-1107-RD

H-3-1-32-1102



295 NORTH DETAIL
N.T.S.



100 NORTH DETAIL
N.T.S.

GRADING KEYNOTES

1. INSTALL NEW STOP SIGN WITH STOP BAR (DETAIL R SHEET DT3)
2. INSTALL NEW ADA RAMPS
3. INSTALL PARKING STRIP
4. INSTALL SIDEWALK
5. INSTALL TYPE A CURB (SEE DETAIL E ON SHEET DT1)
6. INSTALL TYPE B CURB (SEE DETAIL E ON SHEET DT1)
7. EXISTING 15 INCH CULVERT BOX
8. EXISTING 12 INCH CULVERT BOX

TOTAL GROSS ACREAGE:	517,004.23 SQ.FT
SQ.FT OF STREET R-O-W:	129,945.01 SQ.FT.
SQ.FT OF BUILDING FOOTPRINT:	3256 SQ.FT.
SQ.FT OF TOTAL BUILDING FLOOR AREA:	4700 SQ.FT.
NUMBER OF PARKING SPACES:	127

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- EASEMENT LINE
- - - EXISTING CURB, GUTTER & SIDEWALK
- X- EXISTING FENCE
- - - SECTION LINE
- ◆ SECTION CORNER AS DESCRIBED
- FOUND CAMPBELL REBAR CAP MONUMENT
- (00.00) RECORD BEARING OR DISTANCE

CLUB HOUSE HAS THE FOLLOWING UNITS

1. 5 BEDROOMS
2. 2 KITCHENS

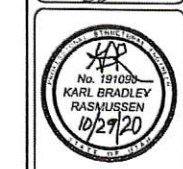


NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

CONTRACT # 2023-0000000000000000

NO	REVISIONS	DATE	BY
	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
202 South 200 West, Suite 1
Hurricane, UT 84038
Phone (435) 468-8887 Karl Rasmussen



SITE PLAN FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

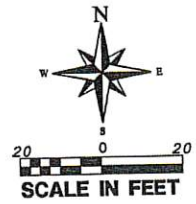
DATE: 10-29-2023
SCALE: 1"=60'

JOB NO.
198-005

SHEET NO.
C2

SEWER AND WATER PLAN-1 FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- EXISTING WATER LINE
- PROPOSED 3" WATER LINE
- PROPOSED WATER LINE (SIZE SHOWN)
- EXISTING SEWER
- PROPOSED SEWER (SIZE SHOWN)
- WATER METER
- PROPOSED FIRE HYDRANT
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER VALVE
- EXISTING WATER VALVE

CONSTRUCTION NOTES:

- INSTALL WATER LINE (SIZE SHOWN)
- INSTALL NEW FIRE HYDRANT
- INSTALL MANHOLE
- INSTALL NEW ADA RAMP
- INSTALL 8" WATERWAY
- INSTALL NEW CURB & GUTTER TYPE A
SEE DETAIL D ON SHEET DT1
- INSTALL SEWER LINE (SIZE SHOWN)
- INSTALL ISOLATION VALVE
- EXISTING WATERLINE (SIZE SHOWN)
- EXISTING SEWERLINE (SIZE SHOWN)
- INSTALL CLEANOUT & SEWER LATERAL
- EXISTING TELEPHONE LINE
- EXISTING OHP LINE
- INSTALL ANTI-FREEZE WATER CONNECTION FAUCET
- INSTALL 2" WATER METER
- INSTALL 1" WATER METER
- EXISTING 3 WAY VALVE
- INSTALL 3 WAY VALVE CLUSTER
- INSTALL 6" VALVE

ASH CREEK SEWER DISTRICT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO SEWER LINES AND LATERALS.
IF DAMAGED, CALL ASH CREEK SPECIAL SERVICE DISTRICT AT 435-365-2348
AND GARY WILCOX AT 435-680-3565
- BASEMENTS WILL HAVE TO PUMP SEWER, IF SEWER MAIN IS NOT DEEP ENOUGH
TO DRAIN GRAVITY.
- SEWER TO MEET ASH CREEK SPECIAL SERVICE DISTRICT CONSTRUCTION STANDARD

CITY WATER NOTES:

- ALL VALVING MUST BE THREE-WAY.
- 12" MUST BE BUTTERFLY VALVES.
- 6" & 8" MUST BE GATE VALVES.
- ANY QUESTIONS CONCERNING WATER LINE INFRASTRUCTURE CONTACT
DALLAN WITH HURRICANE CITY 435-832-5843

HURRICANE VALLEY FIRE DISTRICT NOTES:

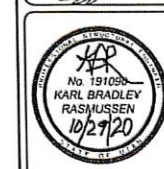
- PLACEMENT OF FIRE HYDRANTS MUST MEET IFC-2012
 - BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
 - CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE
BEFORE HOMES ARE PERMITTED TO BE BUILT.
- NOTE:
FIRE LINE IS PRIVATE OWNER MAINTAINS

2" STUB WITH CAP
AND IN INV EL=3235.15'

2" STUB WITH CAP
AND IN INV EL=3235.15'

NO.	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 800 West, Suite 1
Hurricane, UT 84532
Phone: (435) 848-8307 Karl Rasmussen

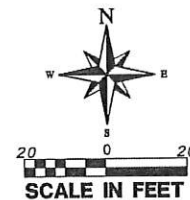


SEWER AND WATER PLAN-1 FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10-25-2020
SCALE: 1"=20'
JOB NO:
198-005
SHEET NO:
C3

SEWER AND WATER PLAN-2 FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S1B.4M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- EXISTING WATER LINE
- PROPOSED WATER LINE (SIZE SHOWN)
- EXISTING SEWER
- PROPOSED SEWER (SIZE SHOWN)
- WATER METER
- PROPOSED FIRE HYDRANT
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER VALVE
- EXISTING WATER VALVE

CONSTRUCTION NOTES:

1. INSTALL WATER LINE (SIZE SHOWN)
2. INSTALL NEW FIRE HYDRANT
3. INSTALL MANHOLE
4. INSTALL NEW ADA RAMP
5. INSTALL 8" WATERWAY
6. INSTALL NEW CURB & GUTTER TYPE A SEE DETAIL D ON SHEET DT1
7. INSTALL SEWER LINE (SIZE SHOWN)
8. INSTALL ISOLATION VALVE
9. EXISTING WATERLINE (SIZE SHOWN)
10. EXISTING SEWERLINE (SIZE SHOWN)
11. INSTALL CLEANOUT & SEWER LATERAL
12. EXISTING TELEPHONE LINE
13. EXISTING OHP LINE
14. INSTALL ANTI-FREEZE WATER CONNECTION FAUCET
15. INSTALL 2" WATER METER
16. INSTALL 1" WATER METER
17. EXISTING 3 WAY VALVE
18. INSTALL 3 WAY VALVE CLUSTER
19. INSTALL 6" VALVE

ASH CREEK SEWER DISTRICT NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO SEWER LINES AND LATERALS. IF DAMAGED, CALL ASH CREEK SPECIAL SERVICE DISTRICT AT 435-385-2348 AND DARY WILCOX AT 435-680-3565
2. BASEMENTS WILL HAVE TO PUMP SEWER. IF SEWER MAIN IS NOT DEEP ENOUGH TO DRAIN GRAVITY.
3. SEWER TO MEET ASH CREEK SPECIAL SERVICE DISTRICT CONSTRUCTION STANDARD

CITY WATER NOTES:

1. ALL VALVING MUST BE THREE-WAY.
2. 12" MUST BE BUTTERFLY VALVES.
3. 6" & 8" MUST BE GATE VALVES.
4. ANY QUESTIONS CONCERNING WATER LINE INFRASTRUCTURE CONTACT DALLAN WITH HURRICANE CITY 435-632-5843

HURRICANE VALLEY FIRE DISTRICT NOTES:

1. PLACEMENT OF FIRE HYDRANTS MUST MEET IFC-2012
2. BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
3. CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE BEFORE HOMES ARE PERMITTED TO BE BUILT.

NOTE:

FIRE LINE IS PRIVATE OWNER MAINTAINS

REVISIONS		DATE	BY
NO	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
200 South 950 West, Suite 1
Hurricane City, Utah 84503
Phone: (435) 680-6807 Fax: (435) 680-6808



SEWER AND WATER PLAN-2 FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S1B.4M.
HURRICANE, WASHINGTON COUNTY, UTAH

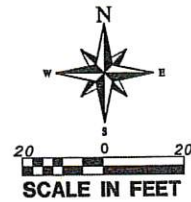
DATE: 10-28-2020
SCALE: 1"=50'

JOB NO.
198-0029

SHEET NO.
C4

SEWER AND WATER PLAN-3 FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S1B&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- EXISTING WATER LINE
- PROPOSED WATER LINE (SIZE SHOWN)
- EXISTING SEWER
- PROPOSED SEWER (SIZE SHOWN)
- WATER METER
- PROPOSED FIRE HYDRANT
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER VALVE
- EXISTING WATER VALVE

CONSTRUCTION NOTES:

1. INSTALL WATER LINE (SIZE SHOWN)
2. INSTALL NEW FIRE HYDRANT
3. INSTALL MANHOLE
4. INSTALL NEW ADA RAMP
5. INSTALL 8" WATERWAY
6. INSTALL NEW CURB & GUTTER TYPE A SEE DETAIL D ON SHEET DT1
7. INSTALL SEWER LINE (SIZE SHOWN)
8. INSTALL ISOLATION VALVE
9. EXISTING WATERLINE (SIZE SHOWN)
10. EXISTING SEWERLINE (SIZE SHOWN)
11. INSTALL CLEANOUT & SEWER LATERAL
12. EXISTING TELEPHONE LINE
13. EXISTING OHP LINE
14. INSTALL ANTI-FREEZE WATER CONNECTION FAUCET
15. INSTALL 2" WATER METER
16. INSTALL 1" WATER METER
17. EXISTING 3 WAY VALVE
18. INSTALL 3 WAY VALVE CLUSTER
19. INSTALL 6" VALVE

ASH CREEK SEWER DISTRICT NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO SEWER LINES AND LATERALS. IF DAMAGED, CALL ASH CREEK SPECIAL SERVICE DISTRICT AT 435-365-2348 AND GARY WILCOX AT 435-690-3565
2. BASEMENTS WILL HAVE TO PUMP SEWER. IF SEWER MAIN IS NOT DEEP ENOUGH TO DRAIN GRAVITY.
3. SEWER TO MEET ASH CREEK SPECIAL SERVICE DISTRICT CONSTRUCTION STANDARD

CITY WATER NOTES:

1. ALL VALVING MUST BE THREE-WAY.
2. 12" MUST BE BUTTERFLY VALVES.
3. 6" & 8" MUST BE GATE VALVES.
4. ANY QUESTIONS CONCERNING WATER LINE INFRASTRUCTURE CONTACT DALLAN WITH HURRICANE CITY 435-632-5843

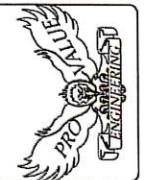
HURRICANE VALLEY FIRE DISTRICT NOTES:

1. PLACEMENT OF FIRE HYDRANTS MUST MEET IFC-2012
2. BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
3. CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE BEFORE HOMES ARE PERMITTED TO BE BUILT.

NOTE:
FIRE LINE IS PRIVATE OWNER MAINTAINS

NO	REVISIONS	DATE	BY
	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 800 West, Suite 1
Hurricane, UT 84503
Phone (435) 848-8877 Karl Rasmussen



SEWER AND WATER PLAN-3 FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S1B&M.
HURRICANE, WASHINGTON COUNTY, UTAH

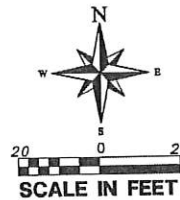
DATE: 10-29-2020
SCALE: 1"=20'

JOB NO.
199-009

SHEET NO.
C5

SEWER AND WATER PLAN-4 FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.#M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- EXISTING WATER LINE
- PROPOSED WATER LINE (SIZE SHOWN)
- EXISTING SEWER
- PROPOSED SEWER (SIZE SHOWN)
- WATER METER
- PROPOSED FIRE HYDRANT
- SEWER CLEANOUT
- SEWER MANHOLE
- WATER VALVE
- EXISTING WATER VALVE

CONSTRUCTION NOTES:

1. INSTALL WATER LINE (SIZE SHOWN)
2. INSTALL NEW FIRE HYDRANT
3. INSTALL MANHOLE
4. INSTALL NEW ADA RAMP
5. INSTALL 8" WATERWAY
6. INSTALL NEW CURB & GUTTER TYPE A SEE DETAIL D ON SHEET DT1
7. INSTALL SEWER LINE (SIZE SHOWN)
8. INSTALL ISOLATION VALVE
9. EXISTING WATERLINE (SIZE SHOWN)
10. EXISTING SEWERLINE (SIZE SHOWN)
11. INSTALL CLEANOUT
12. EXISTING TELEPHONE LINE
13. EXISTING OHP LINE
14. INSTALL ANTI-FREEZE WATER CONNECTION FAUCET
15. INSTALL 2" WATER METER
16. INSTALL 1" WATER METER
17. EXISTING 3 WAY VALVE
18. INSTALL 3 WAY VALVE CLUSTER
19. INSTALL 6" VALVE

ASH CREEK SEWER DISTRICT NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO SEWER LINES AND LATERALS. IF DAMAGED, CALL ASH CREEK SPECIAL SERVICE DISTRICT AT 435-365-2348 AND GARY WILCOX AT 435-680-3565
2. BASEMENTS WILL HAVE TO PUMP SEWER, IF SEWER MAIN IS NOT DEEP ENOUGH TO DRAIN GRAVITY.
3. SEWER TO MEET ASH CREEK SPECIAL SERVICE DISTRICT CONSTRUCTION STANDARD

CITY WATER NOTES:

1. ALL VALVING MUST BE THREE-WAY.
2. 12" MUST BE BUTTERFLY VALVES.
3. 6" & 8" MUST BE GATE VALVES.
4. ANY QUESTIONS CONCERNING WATER LINE INFRASTRUCTURE CONTACT DALLAN WITH HURRICANE CITY 435-632-5843

HURRICANE VALLEY FIRE DISTRICT NOTES:

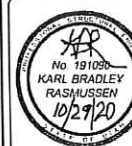
1. PLACEMENT OF FIRE HYDRANTS MUST MEET IFC-2012
2. BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
3. CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE BEFORE HOMES ARE PERMITTED TO BE BUILT.

NOTE:

FIRE LINE IS PRIVATE OWNER MAINTAINS

NO.	REVISIONS	DATE	BY

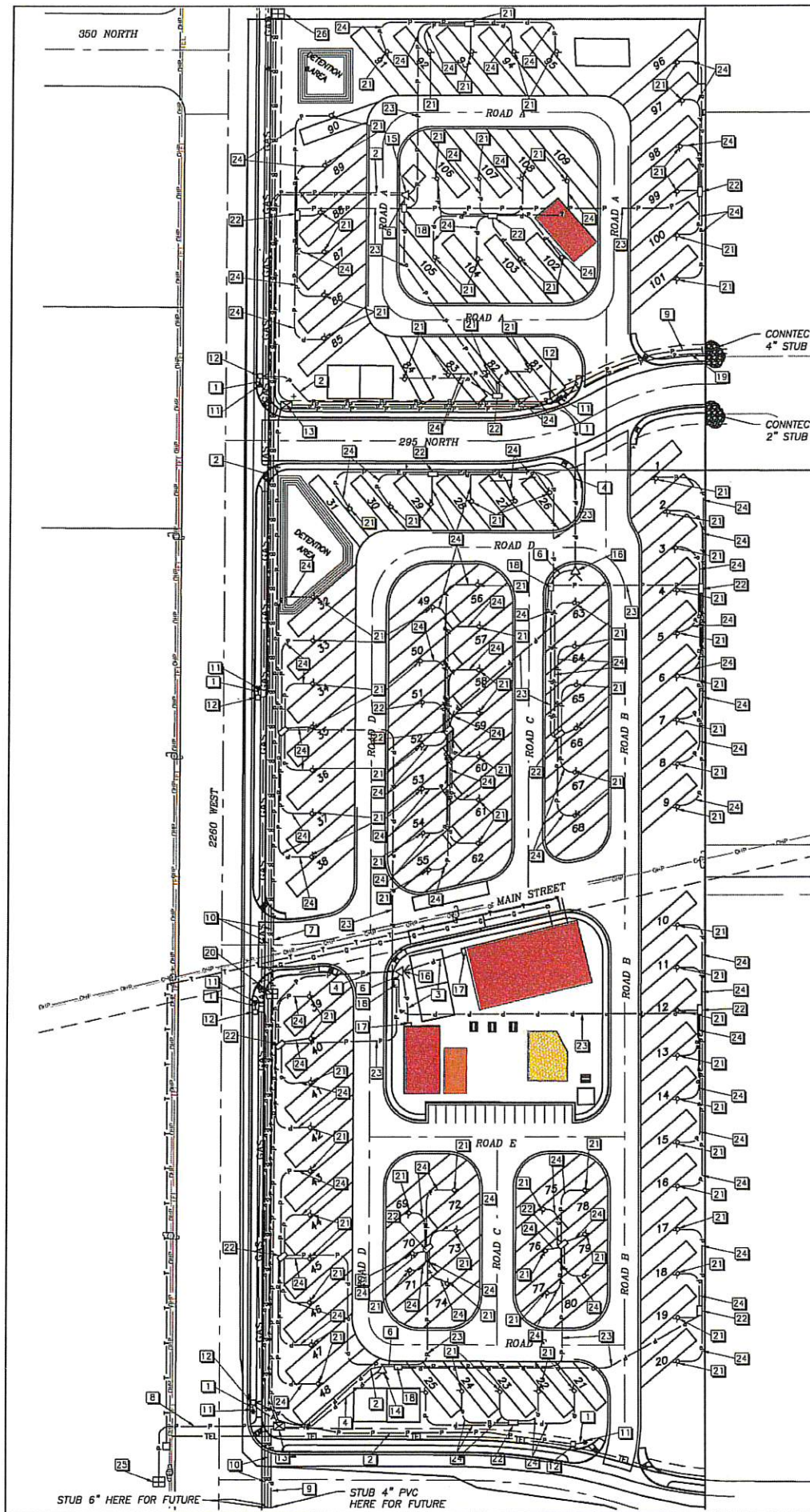
PROVALUE ENGINEERING, INC.
Engineers, Land Surveyors, and Planners
20 South 200 West, Suite 1
Provo, UT 84601
Phone: (435) 468-6307
Fax: (435) 468-6307



SEWER AND WATER PLAN-4 FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.#M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

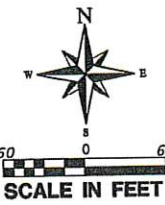
DATE: 10-29-2020
SCALE: 1"=20'
JOB NO.
198-005

SHEET NO:
C6



COMMUNICATIONS, POWER & NATURAL GAS PLAN FOR SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



CONSTRUCTION NOTES:

1. INSTALL 1" PVC WITH #10 COPPER
2. INSTALL 2" PVC WITH #4 TRIPLEX
3. INSTALL 2" PVC WITH 4/0 TRIPLEX
4. INSTALL 2 1/2" PVC WITH 1/0 15KV
5. INSTALL 2 1/2" PVC FOR FUTURE
6. INSTALL 3" PVC WITH 500 MCM TRIPLEX
7. INSTALL 4" PVC WITH 1/0 15KV THREE PHASE
8. INSTALL 4" PVC WITH 4/0 15KV THREE PHASE
9. INSTALL 4" PVC FOR FUTURE
10. INSTALL 6" PVC FOR FUTURE
11. INSTALL STREETLIGHT
12. INSTALL STREETLIGHT BOX
13. INSTALL THREE PHASE VAULT
14. INSTALL 37.5KVA TRANSFORMER
15. INSTALL 50KVA TRANSFORMER
16. INSTALL 75KVA TRANSFORMER
17. INSTALL 200-AMP 120/240 VOLT METER MAIN
18. INSTALL 400-AMP 120/240 VOLT METER MAIN PEDESTAL WITH LEVER BY-PASS
19. INSTALL 2" PVC FOR FUTURE
20. INSTALL SWITCH BASEMENT
21. 30-AMP 120-VOLT RV PEDESTAL
22. SUB PANEL PEDESTAL
23. POWER TO SUB PANEL
24. POWER TO 50-AMP RV PEDESTAL
25. EXISTING PMH-9 SWITCH
26. EXISTING SWITCH BASEMENT

LEGEND

- T—T—T—T— PROPOSED PHONE LINE
- TEL— EXISTING TELEPHONE LINE
- P—P—P—P— PROPOSED POWER LINE
- O—O—O—O— EXISTING OVERHEAD POWER
- G—G—G—G— PROPOSED NATURAL GAS LINE
- GAS— EXISTING GAS MAIN

CENTURYLINK PHONE NOTES:

1. DEVELOPER TO PROVIDE ALL TRENCH, BACKFILL, AND ROAD CROSSINGS. CENTURYLINK SUB CONTRACTOR (NELS FUGAL) WILL PLACE CONDUIT IN TRENCH. CALL 435-632-6553 15 DAYS PRIOR TO REQUIRED CONDUIT TO SCHEDULE DELIVERY.
2. ANY BREAKS/BLOCKAGES IN CONDUIT RESULTING FROM IMPROPER BACKFILL OR OTHER CONSTRUCTION/UTILITY PLACEMENT ARE THE DEVELOPER RESPONSIBILITY TO REPAIR AND MAY RESULT IN DELAY OF SERVICE.
3. CONTACT CENTURYLINK ENGINEER AT 435-884-7920 WITH ANY QUESTIONS OR CHANGES TO JUC PLANS.
4. ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE 100% TO OWNER/DEVELOPER AND MUST BE SCHEDULED A MINIMUM OF 45 DAYS IN ADVANCE.

TDS COMMUNICATIONS NOTES:

1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
2. TDS WILL PROVIDE CONDUITS. PLEASE CONTACT DAVID AT 435-703-8932 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
3. ANY QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO DAVID TRAUTVETH WITH TDS AT 435-703-8932.
4. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

CITY CITY STREETS NOTES:

1. NO BURNING OF CONSTRUCTION MATERIALS
2. CONSTRUCTION OF HOMES NOT PERMITTED UNTIL ROAD IMPROVEMENTS ARE COMPLETE

DOMINION ENERGY:

1. MAIN EXTENSION REQUIRED TO SERVE PROPERTY. POSSIBLE RIGHT-OF-WAY TO BE OBTAINED DEPENDING ON OWNERSHIP OF PROPERTIES ALONG GAS RUNNING LINE.
2. DEVELOPER NEEDS TO CONTACT BILL SORESENSEN AT (435) 674-6112, IN QUESTAR'S PRE-CONSTRUCTION DEPARTMENT, PRIOR TO BREAKING GROUND FOR GAS SIGN UP.
3. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPER'S EXPENSE.
4. IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT HIS/HER COST. A MAP WILL BE AVAILABLE AT QUESTAR GAS FOR CASING LOCATIONS (1155 E 350 N).
5. ALL OF THE 10 FOOT UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED.
6. ****DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION.
7. ALL TRENCHES SHALL BE BACKFILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
8. PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED. WATER AND SEWER LINES, CULVERTS OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
9. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF GAS SERVICE TO THIS PROJECT.
10. CONTACT DEB ANDERSON AT (435) 674-6144 TWO WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
11. ****IMPORTANT NOTICE**** THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED, STREETS ARE WITHIN 6 INCHES OF SUB-GRADE AND THE 10 FOOT UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.
12. HIGH PRESSURE GAS NOTE: BEFORE DIGGING CALL JERRY JONES AT (435) 880-9898, OR CORDELL NAVOLAR AT 435-669-2337

HURRICANE VALLEY FIRE DISTRICT NOTES:

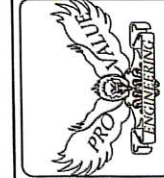
1. PLACEMENT OF FIRE HYDRANTS MUST MEET IFC-2012
2. BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
3. CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE BEFORE HOMES ARE PERMITTED TO BE BUILT.

POWER NOTES FOR SKY MOUNTAIN RV PARK:

1. DEVELOPER RESPONSIBLE FOR ALL COSTS, UNLESS OTHERWISE STATED ON PRINT.
2. ONLY A CONTRACTOR PRE-APPROVED BY HURRICANE POWER DEPARTMENT CAN WORK AND INSTALL ANY PART OF THE HIGH VOLTAGE ELECTRICAL SYSTEM.
3. PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. (435) 635-5536
4. LINES ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE POWER SPECS.
5. EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
6. NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
7. ALL CONDUITS TO BE FLOWED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
8. ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
9. THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH, ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
10. IMPACT FEES TO BE COLLECTED BY BUILDING DEPARTMENT. IMPACT FEES TO BE CHARGED BY SERVICE MAIN BREAKER SIZE.
11. METERS SHALL NOT BE LOCATED IN FENCED IN AREAS, METERS SHALL BE KEPT ACCESSIBLE AT ALL TIMES.
12. DEVELOPER TO BE BILLED FOR ALL PRIMARY ELBOW TERMINATIONS. CHARGE WILL BE \$99.00 PER ELBOW.
13. HURRICANE POWER WILL PROVIDE ALL THE 6" PVC AND WILL NOT CHARGE A \$8,999.00 SWITCH CONNECTION FEE IN EXCHANGE FOR THE CONTRACTOR INSTALLING THE 6" PVC AND THE ONE SWITCH BASEMENT.
14. ALL POWER TO EACH RV SPACE WILL FEED FROM ONE OF THE FOUR 400-AMP METER BASES AND WILL BE DESIGNED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. ALSO NOTE THAT EVERYTHING ON THE LOAD SIDE OF THE METER BASE WILL BE THE OWNERS RESPONSIBILITY TO MAINTAIN.

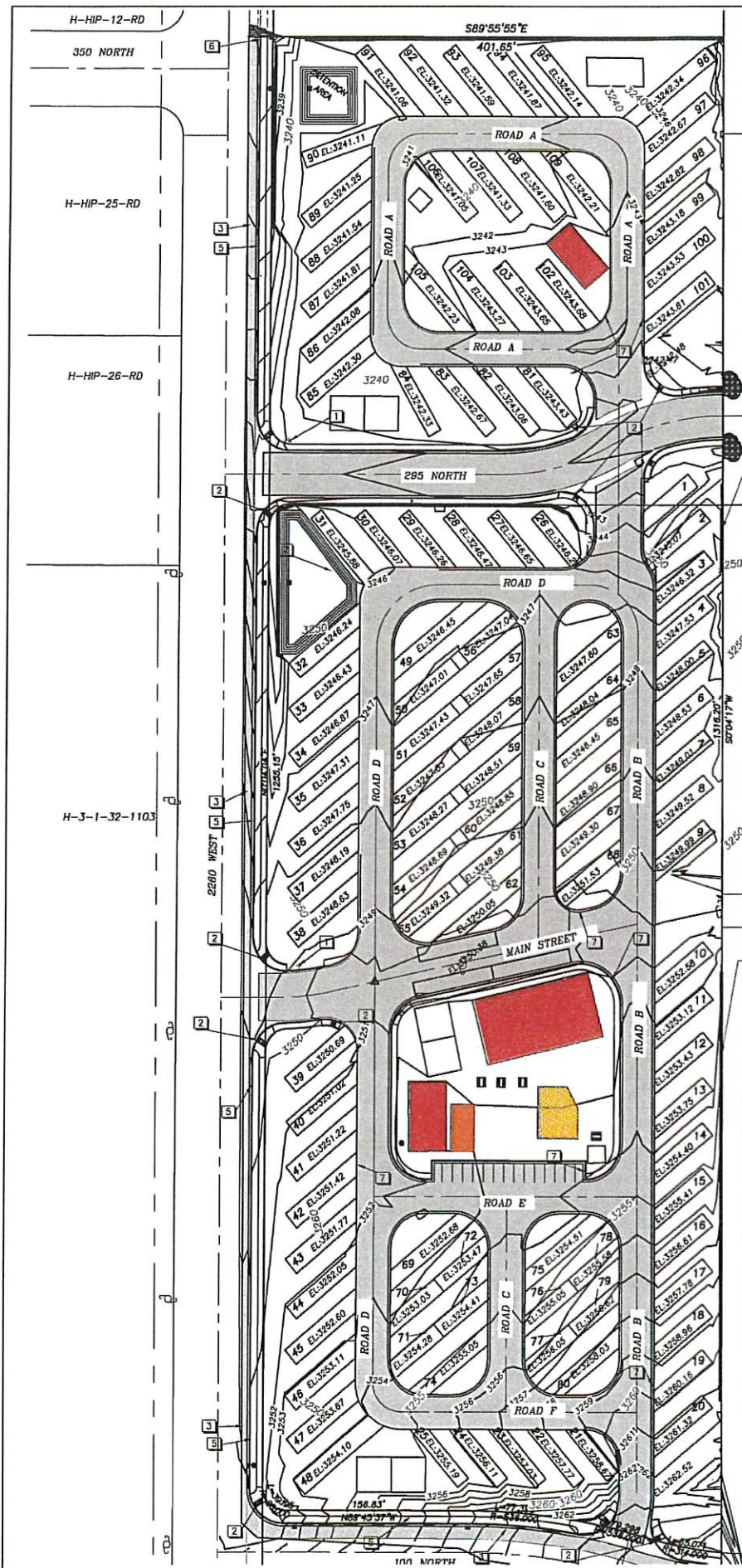
REVISIONS		DATE	BY
NO	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
1000 S. 1000 East, Suite 100
Hurricane City, Utah 84701
Phone (435) 664-8887 Karl Rasmussen



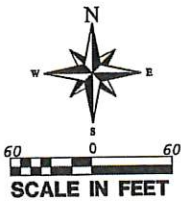
COMMUNICATIONS, POWER & NATURAL GAS PLAN FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10-29-2018
SCALE: 1"=60'
JOB NO.
198-005
SHEET NO.
C7



GRADING PLAN WITH ELEVATION ON PADS FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

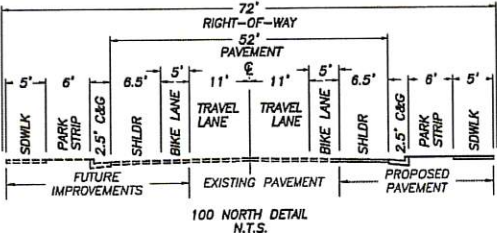
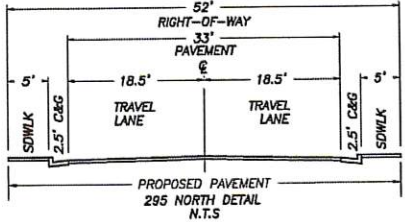
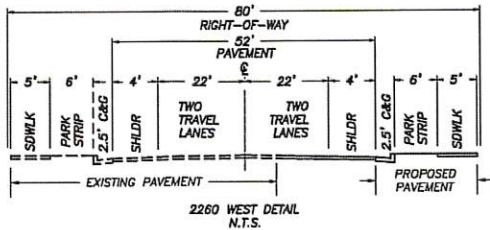
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- PROPOSED 1' CONTOURS
- PROPOSED 5' CONTOURS
- TOP BACK OF CURB ELEVATION
- PROPOSED PAVEMENT
- SINGLE INLET BOX
- METAL END SECTION

GRADING KEYNOTES

- INSTALL NEW STOP SIGN WITH STOP BAR (DETAIL R SHEET DT3)
- INSTALL NEW ADA RAMPS
- SAW CUT TO EXISTING ASPHALT
- MATCH NEW PAVEMENT TO EXISTING GRADE
- INSTALL NEW CURB & GUTTER TYPE A SEE DETAIL D ON SHEET DT1
- MATCH NEW CURB & GUTTER TYPE A SEE DETAIL D ON SHEET DT1
- INSTALL NEW CURB & GUTTER TO EXISTING CURB & GUTTER

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
EG VS FG	1.000	1.000	563898 Sq. Ft.	33895.42 Cu. Yd.	26182.60 Cu. Yd.	7712.81 Cu. Yd.<Cut>
Totals			563898 Sq. Ft.	33895.42 Cu. Yd.	26182.60 Cu. Yd.	7712.81 Cu. Yd.<Cut>



NO.	REVISIONS	DATE	BY
	DESCRIPTION		

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
200 South 2500 West, Suite 100
Hurricane, UT 84532
Phone: (435) 648-8307 Fax: (435) 648-8307



GRADING PLAN WITH ELEVATION ON PADS FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10-28-2010
SCALE: 1"=60'

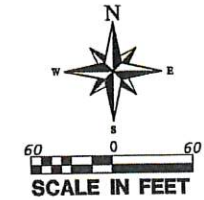
JOB NO.
198-0025

SHEET NO.

C8

GRADING PLAN WITH TBC FOR: SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LEGEND

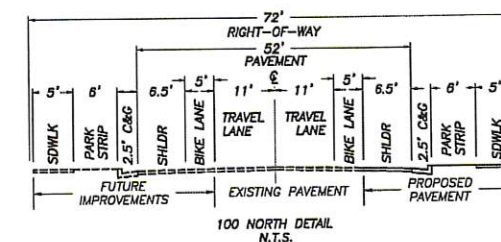
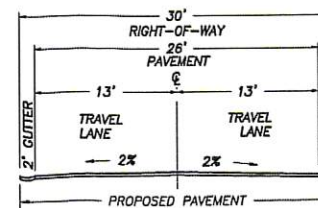
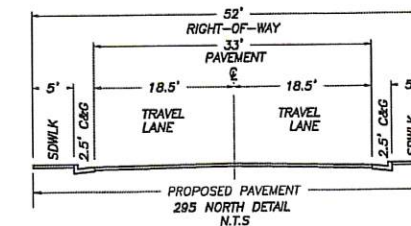
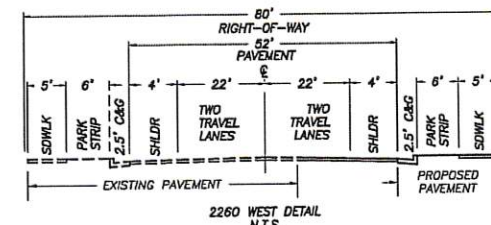
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- SECTION LINE
- EXISTING 1' CONTOURS
- EXISTING 5' CONTOURS
- PROPOSED 1' CONTOURS
- PROPOSED 5' CONTOURS
- TOP BACK OF CURB ELEVATION
- PROPOSED PAVEMENT
- SINGLE INLET BOX
- METAL END SECTION

GRADING KEYNOTES

- INSTALL 3 X 3 INLET BOX
- INSTALL NEW STOP SIGN WITH STOP BAR (DETAIL R SHEET DT3)
- INSTALL CURB INLET BOX

Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
EG VS FG	1.000	1.000	563898 Sq. Ft.	33895.42 Cu. Yd.	26182.60 Cu. Yd.	7712.81 Cu. Yd.<Cut>
Totals			563898 Sq. Ft.	33895.42 Cu. Yd.	26182.60 Cu. Yd.	7712.81 Cu. Yd.<Cut>



NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84531
Phone: (435) 862-1001 Fax: (435) 862-1002



GRADING PLAN WITH TBC FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH

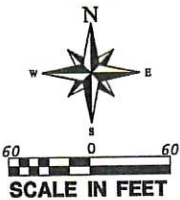
DATE: 10-29-2019
SCALE: 1"=60'

JOB NO.
198-005

SHEET NO.
C9

LANDSCAPE & IRRIGATION PLAN FOR:
SKY MOUNTAIN RV PARK

LOCATED AT 190 N 2260 WEST
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE CITY, WASHINGTON COUNTY, UTAH



LANDSCAPE NOTES

- 1: VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 2: ALL PLANT MATERIAL SHALL BE HEALTHY STOCK, FREE FROM DISEASE NO DISFIGUREMENT, HAVING FULL NATURAL SHAPES.
- 3: PLANT MATERIAL SHALL BE THE SAME SPECIES AND SIZE (OR LARGER) AS DESCRIBED IN THE PLANT SCHEDULE.
- 4: ALL TREES AND SHRUBS TO BE PLANTED ACCORDING TO DETAILS.
- 5: THE IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM SHOP DRAWING SUBMITTAL FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT, AND HURRICANE CITY PERSONNEL BEFORE INSTALLATION COMMENCES. THIS DRAWING SHALL ILLUSTRATE THE PIPING CIRCUIT DRIP SYSTEM LAYOUT, AND VALVING FROM THE EXISTING IRRIG. POINT OF CONNECTION. THIS SHOP DRAWING MUST BE PREPARED BY A QUALIFIED PERSON.
- 6: ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM THAT MEETS CITY CODES, TREES AND SHRUBS TO BE IRRIGATED WITH A DRIP SYSTEM.
- 7: PROVIDE TOPSOIL FOR ALL TREE AREAS AND SHRUB AREAS AS NEEDED TO PROVIDE PROPER GROWTH CONDITIONS FOR THE PLANT MATERIALS.
- 8: ANY LANDSCAPING, INCLUDING STREET, LANDSCAPE STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION, SHALL BE INSTALLED BY DEVELOPER/OWNERS AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT OF MAINTAIN.

LEGEND

- PROPERTY LINE
- EXISTING FENCE
- EXISTING CONCRETE FEATURE
- EXISTING EASEMENT LINE
- TREE
- LANDSCAPE ROCK

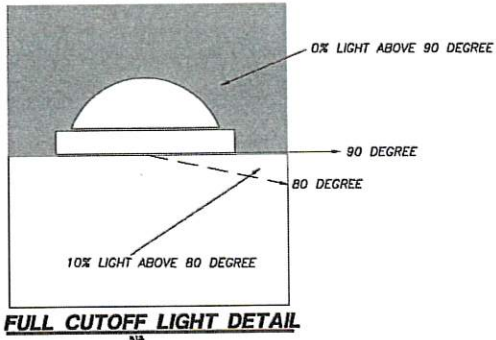
PLANT LEGEND:

	TYPE	QUANTITY	SIZE
●	NATIVE TREE TO BE SELECTED BY LANDSCAPER	84	2" CAL MIN
○	NATIVE SHRUB TO BE SELECTED BY LANDSCAPER	222	5 GAL

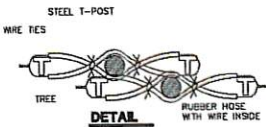
NOTE: LANDSCAPE CONTRACTOR TO INSTALL WATER-WISE IRRIGATION SYSTEM TO ADEQUATELY AND SUSTAINABLE CARE FOR PLANT MATERIAL

LANDSCAPE AREA

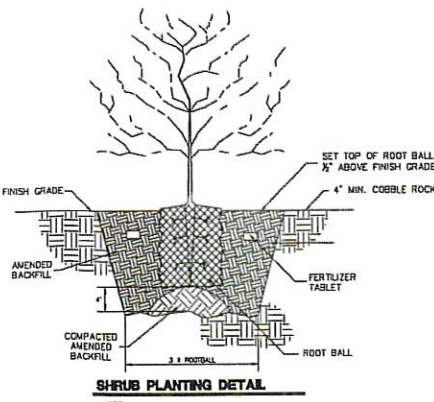
DESCRIPTION	AREA
TOTAL BUILDING AREA	12,000 SQ. FT.
HARDSCAPE AREA	47,000 SQ. FT.
LANDSCAPE AREA	10,200 SQ. FT.



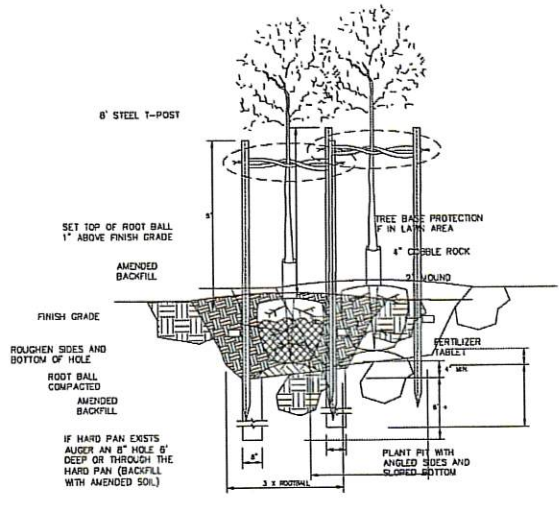
FULL CUTOFF LIGHT DETAIL



DETAIL



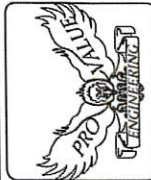
SHRUB PLANTING DETAIL



DECIDUOUS TREE PLANTING DETAIL

REVISIONS	DATE	BY
NO		

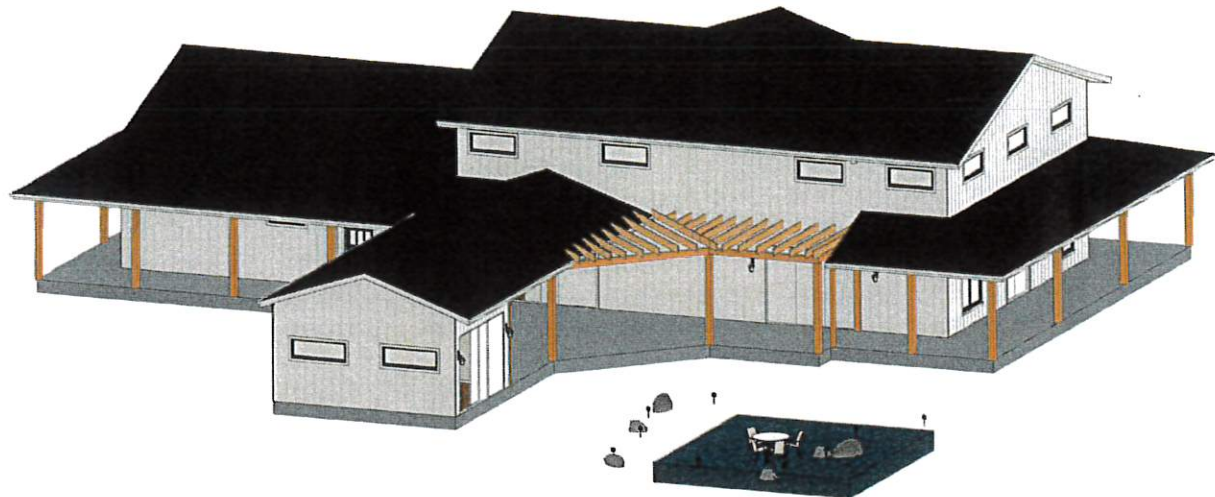
PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
30 South 200 West, Suite 1
Hurricane, Utah 84503
Phone: (435) 846-8887 Fax: (435) 846-8887



LANDSCAPE AND IRRIGATION PLAN FOR:
SKY MOUNTAIN RV PARK
LOCATED AT 190 N 2260 W
A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10-29-2010
SCALE: 1"=60'
JOB NO.
198-005

SHEET NO.
1 OF 1



PLANS
CONSTRUCTION DOCUMENTATION
BUILDING INFORMATION MODELING

OWNER & BUILDER'S NOTE

THESE PLANS SHALL NOT BE USED FOR CONSTRUCTION UNTIL STAMPED AND SIGNED BY AN ENGINEER AND APPROVED BY THE LOCAL BUILDING DEPARTMENT. THE BUILDER IS EXPECTED TO FOLLOW THESE PLANS. APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. HE SHALL VERIFY THE SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WHILE THESE PLANS ARE DRAWN TO SHOW THE PROPOSED WORK AS ACCURATELY AS POSSIBLE, SCHEMATIC DETAILS MAY BE USED IN SOME CASES FOR CLARITY. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED.

WRITTEN DIMENSIONS ARE SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN. IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES.

THE ENGINEER/DESIGNER ASSUMES NO RESPONSIBILITY FOR SCHEDULING, FABRICATION, CONSTRUCTION TECHNIQUES OR MATERIALS, OR QUANTITIES USED IN THE WORK. THE ENGINEER/ DESIGNER ASSUMES NO RESPONSIBILITY FOR FIELD CHANGES, SITE VARIANCES OR DISCREPANCIES NOT BROUGHT TO HIS/HER ATTENTION FOR CLARIFICATION

THE INFORMATION SHOWN ON THIS SITE PLAN WAS PROVIDED BY THE OWNER. FIELD SURVEY OR VERIFICATION WAS NOT MADE.

OWNER: CLUB HOUSE

PROJECT ADDRESS:
JURISDICTION WASHINGTON COUNTY
ZONING: RESIDENTIAL

PERMIT #:

FIRE DISTRICT: HURRICANE VALLEY FIRE DEPT.
WATER: HURRICANE CITY

SEWAGE DISPOSAL
ASH CREEK SEWER DIST.

EXTERIOR FINISH NOTES

EXTERIOR FINISH TO BE STUCCO OVER 7/16" PLYWOOD/OSB. MATERIAL AND COLOR BY OWNER.

ROOFING TO BE LIGHT WEIGHT TILE OVER 30# FELT, 7/16" PLYWOOD/OSB.

CHIMNEY HEIGHT SHALL BE DETERMINED USING A 10' RADIUS PLANE AND SHALL BE 2' HIGHER THAN ANY ROOF SURFACE 10' FROM THE CHIMNEY.

DOWNSPOUTS TO BE COLLECTED AND ROOF RUN OFF TO BE DIRECTED AWAY FROM STRUCTURE.

FINISH GRADE SHALL SLOPE AWAY FROM STRUCTURE MIN. 2% FOR 10' MIN.

WINDOWS AND GLAZING

WINDOWS SHALL BE DUAL PANE (MIN U VALUE 0.6), MANUFACTURER AND COLOR TO BE DETERMINED BY OWNER.

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

SAFETY GLAZING SHALL BE PROVIDED WHERE GLASS IS TO BE USED IN DOORS, WITHIN A 24" ARC OF DOORS AND WHERE THE BOTTOM EDGE IS WITHIN 18" ABOVE THE FLOOR.

SAFETY GLAZING SHALL BE PROVIDED IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS.

ALL EXTERIOR DOORS AND WINDOWS SHALL BE FINISHED WITH WEATHER RESISTANT COATING AND WEATHER STRIPPED.

DOORS

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS. DOOR SHALL BE SELF CLOSING.

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOOR WAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60. PERIMETER OF DOOR SHALL BE WEATHER STRIPPED.

INTERIOR DOORS TO BE SOLID CORE. STYLE AND FINISH BY OWNER.

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS, MATERIALS AND FINISH TO BE DETERMINED BY OWNER.

GENERAL NOTES

ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATION BUILDING CODES AND LOCAL CODES.

FOUNDATION AND TRUSS DESIGN SHALL BE VERIFIED B A QUALIFIED ENGINEER FOR COMPLIANCE WITH SITE REQUIREMENTS.

DIMENSIONS AND NOTES SHALL TAKE PRECEDENCE OVER THE SCALING OF DRAWINGS.

WALL DIMENSIONS ARE TO THE EXTERIOR OF FRAMING UNLESS NOTED OTHERWISE.

LUMBER COMING IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED TO A MIN. OF 40.CCA. ALL LUMBER IN CONTINUOUS CONTACT WITH THE GROUND SHALL BE TREATED TO A MIN. OF .60 CCA.

ALL FRAMING LUMBER TO BE #2 OR BETTER DF OR EQUIVALENT, UNLESS NOTED OTHERWISE.

EXTERIOR AND INTERIOR MATERIALS AND FINISHES TO BE DETERMINED BY OWNER.

BUILDING PERFORMANCE

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS.

PORCHES AND GARAGE AREAS NOT INCLUDED IN LIVING AREA.

ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR.

ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

ALL COMBUSTION APPLIANCES WILL BE VENTED DIRECTLY TO THE EXTERIOR.

FURNACE FIREBOX SHALL HAVE OUTSIDE COMBUSTION AIR SUPPLY PURSUANT TO REGIONAL AND LOCAL CODES.

BUILDING AREA:

MAIN FLOOR: 3884 SQ. FT.
2ND FLOOR: 1444 SQ. FT.

ATTIC ACCESS SHALL BE:

A MINIMUM OF 22" X 36". THERE SHALL BE 30" MIN. CLEARANCE AT OR ABOVE THE OPENING.

LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOACTION. ATTICS WITH A MAX. VERTICAL HEIGHT OF LESS THAN 30" WILL NOT REQUIRE ACCESS OPENINGS.

VENTILATION

ATTIC SHALL HAVE VENTILATION EQUAL TO 1 SQ. FT PER 150 SQ. FT OF ATTIC SPACE. VENTILATION SHALL BE PROTECTED FROM SNOW AND RAIN AND SHALL BE VOERED WITH GALVANIZED WIRE SCREE. OPENINGS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

GARAGES SHALL BE VENTED WITH 60 SQ. INCHES LOCATED 6" ABOVE THE FLOOR SURFACE.

UNDER FLOOR SPACES SHALL HAVE VENTILATION EQUAL TO ONE SQ. FT. PER 150 SQ. FT OF FLOOR SPACE. VENTS SHALL BE CAST INTO THE CONCRETE STEM WALLS AND COVERED WITH GALVANIZED WIRE SCREEN. VENTS SHALL BE LOCATED TO PROVIDE CROSS VENTILATION.

RAILING NOTES:

STAIRWAYS SHALL HAVE A MIN. WIDTH OF 36". HAND RAILS MAY ENCROACH A MAX. OF 3 1/2" INTO THE REQUIRED WIDTH.

TREADS SHALL HAVE A MIN. WIDTH OF 9". STAIR TREADS MUST BE UNIFORM AND CAN NOT VARY FROM THE LARGEST TO THE SMALLEST BY MORE THAN 3/8".

STAIRWAYS SHALL HAVE MIN. 6'-8" OF HEADROOM AT THE NOSE OF THE STAIR.

ENCLOSED USABLE SPACE UNDER INTERIOR STAIRS SHALL BE PROTECTED ON THE ENCLOSED FACE WITH 5/8" TYPE "X" GYPSUM WALL BOARD.

STAIRWAYS SHALL HAVE AT LEAST ON HANDRAIL LOCATED 34" TO 38" ABOVE THE NOSING OF TREADS AND LANDINGS. THE HAND GRIP PORTION OF THE HANDRAILS SHALL BE LESS THAN 1-1/2" OR GREATER THAN 2" IN CROSS-SECTIONAL DIMENSION.

HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. THE ENDS OF HANDRAILS SHALL RETURN TO WALL OR TERMINATE INTO A NEWEL POST OR SAFETY TERMINAL.

STAIRWAYS HAVING LESS THAN 2 RISERS DO NOT REQUIRE A HANDRAIL.

36" MIN. HEIGHT GUARDRAILS SHALL E PROVIDED FOR AT PORCHES, DECKS, BALCONIES, STAIRWAYS AND LANDINGS WHERE THE ADJACENT SURFACE IS GREATER THAN 30" BELOW.

RAILING AND GUARDRAIL BALUSTER SPACING SHALL BE NO GREATER THAN 4".

THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM OF GUARDRAIL SHALL NOT ALLOW A 6" DIAMETER SPHERE TO PASS THROUGH.

GENERAL FIRE ASSEMBLY NOTES:

METALLIC OUTLET BOXES ARE PERMITTED TO BE INSTALLED PROVIDED THE SURFACE AREA OF INDIVIDUAL BOXES DOES NOT EXCEED 100 SQ. INCHES IN ANY 100 SQ. FEET. BOXES LOCATED ON OPPOSITE SIDES OF WALLS OR PARTITIONS SHALL BE SEPARATED BY A MIN. HORIZONTAL DISTANCE OF 24". APPROVED NONMETALLIC OUTLET BOXES SHALL BE PERMITTED ONLY AS ALLOWED BY A LOCAL CODE.

WATER RESISTANT GYPSUM BACKING BOARD MAY BE INSTALLED OVER OR AS PART OF THE FIRE RESISTANCE RATED SYSTEM IN SHOWER AND TUB AREAS TO RECEIVE CERAMIC OR PLASTIC WALL TILE OR PLASTIC FINISHED WALL PANELS. THE GYPSUM BOARD RATING SHALL BE BROUGHT DOWN TO THE FLOOR BEHIND THE FIXTURES.

MINERAL FIBER OR CLASS FIBER INSULATION OF A THICKNESS NOT EXCEEDING THAT OF THE STUD DEPTH MAY BE ADDED WITHIN THE STUD CAVITY WITHOUT DEGRADING THE FIRE RESISTANCE RATING.

ALL PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE ON NON-COMBUSTIBLE MATERIAL THAT EXTENDS AT LEAST 6" FROM THE FACE OF THE ASSEMBLY. THE MEMBRANES ON EACH SIDE OF THE ASSEMBLY AND THE FULL THICKNESS OF THE PENETRATION SHALL BE SEALED WITH A FIRE RESISTIVE SEALANT SO THAT HOT GASSES CANNOT PASS THROUGH. IN THE EVENT OF A CENTRAL VACUUM SYSTEM THE PIPE SHALL BE METALLIC FROM THE MACHINE THROUGH THE DRYWALL. SEAL AROUND THE PIPE PENETRATION.

SHEET NUMBER

A1

SCALE: SEE VIEW

DATE

DRAWING BY: K.B.R

PRESENTATION VIEWS/
GENERAL NOTES

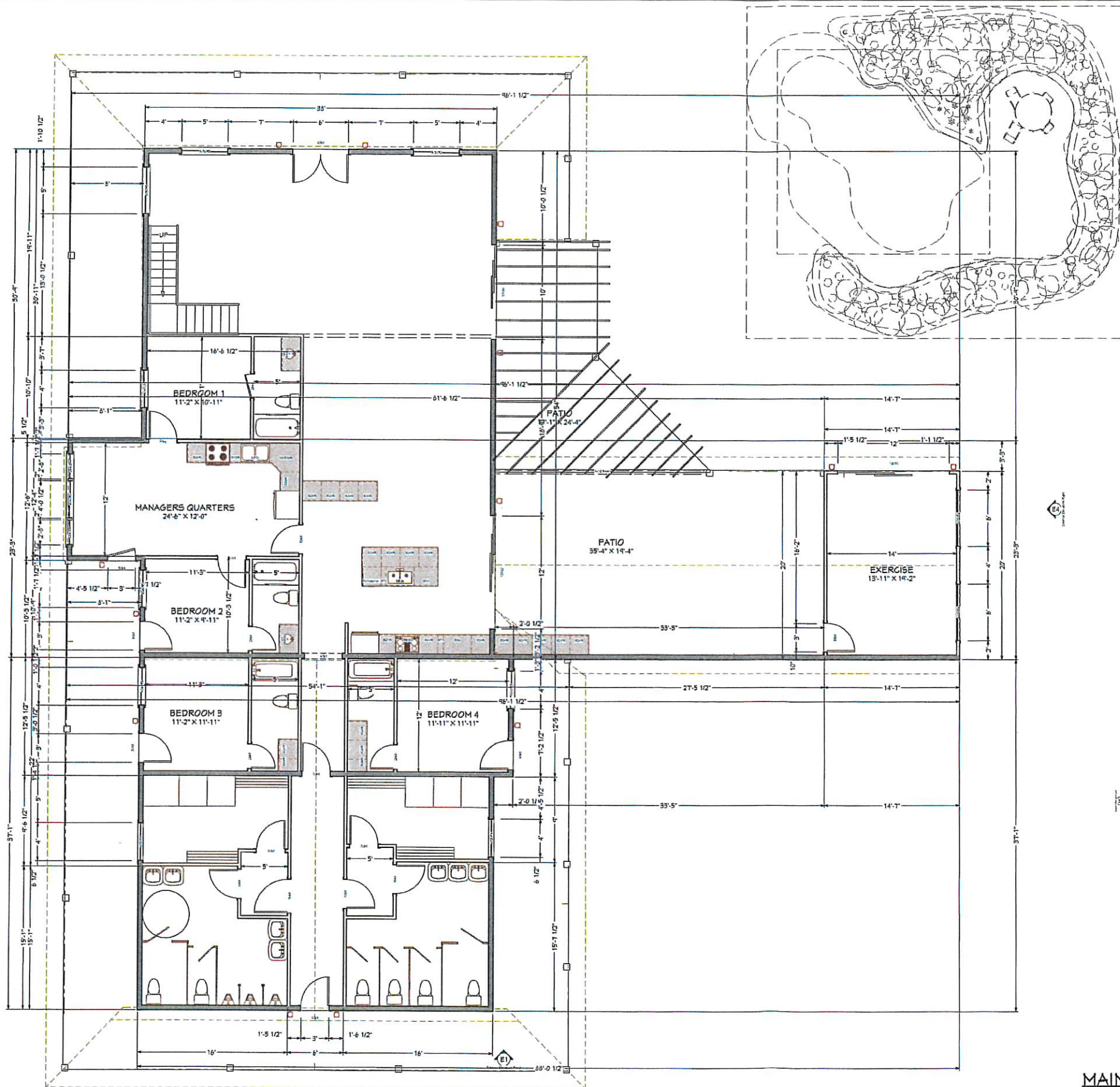
FIELDING RV PARK

100 N 2260 W
HURRICANE UTAH 84701

PROVALUE ENGINEERING, INC.

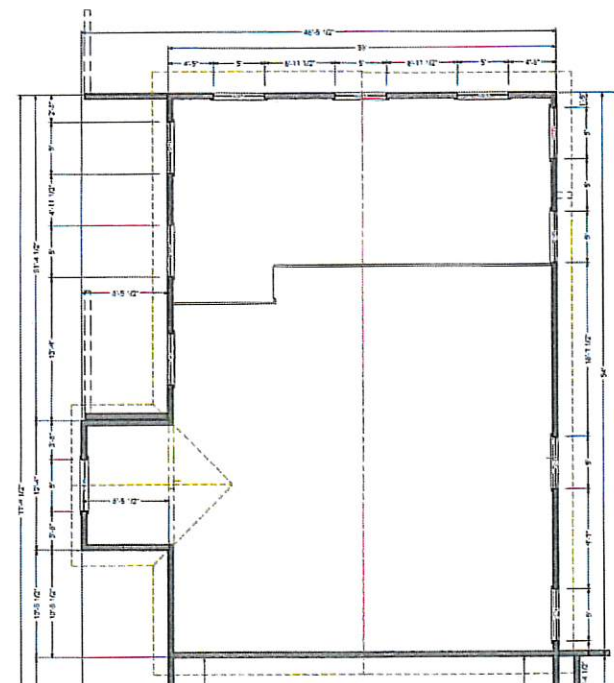
20 South 950 West #1, Hurricane, UT 84701
435-668-9307
www.pv-eng.com





LIVING AREA
3884 SQ FT

MAIN FLOOR PLAN
1/4" = 1'



2nd Floor



PROVALUE ENGINEERING, INC.

20 South 850 West #1, Hurricane, UT 84737
435-666-8907
www.pv-eng.com

FIELDING RV PARK

140 N 2260 W
HURRICANE UTAH 84737

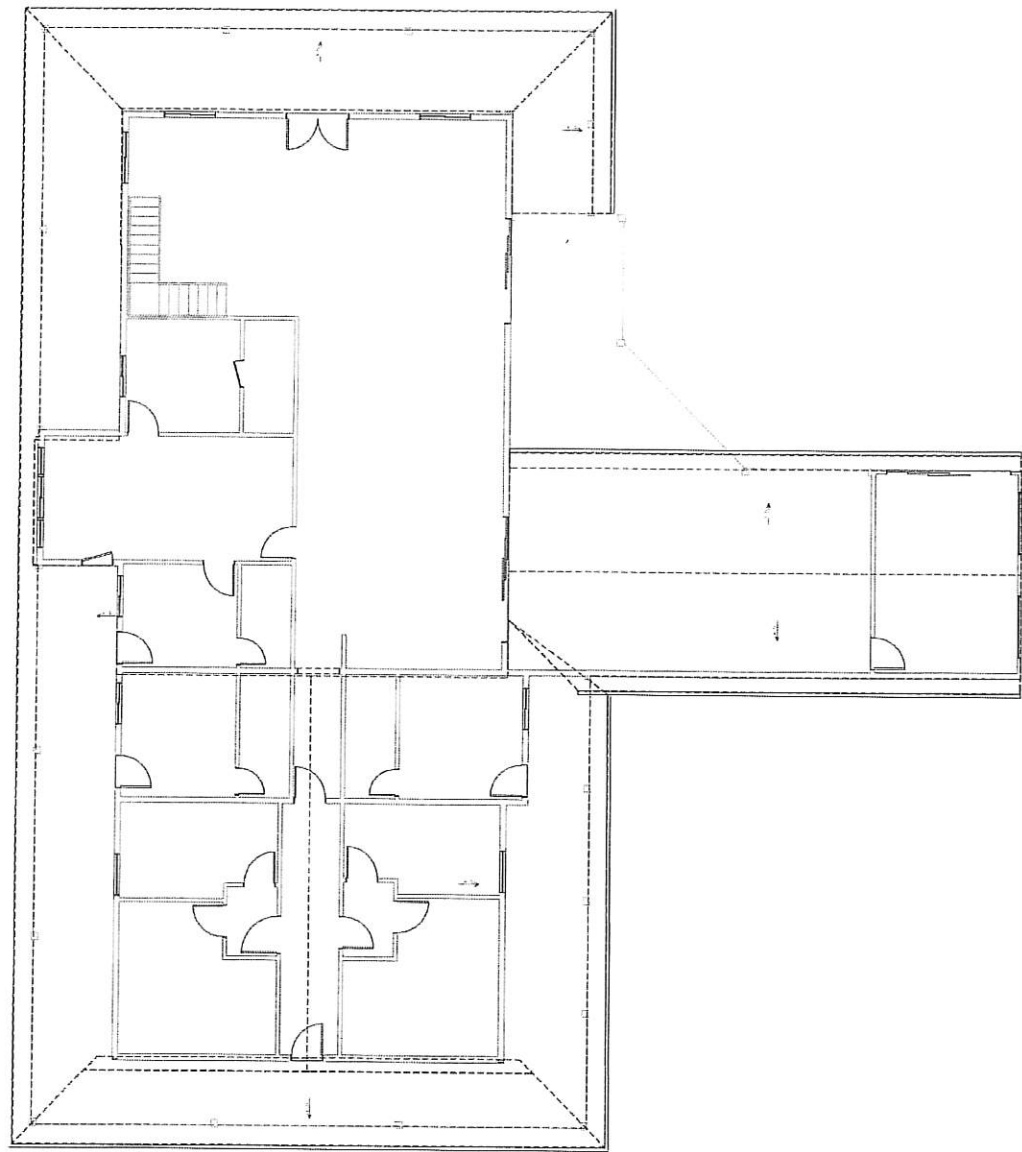
SCALE: SEE VIEW
DATE

DRAWING BY: K.B.R.

SHEET NUMBER

A2

FLOOR PLAN



1st Floor

TRUSS NOTES:

- 1. ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
- 2. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS SPECIFICATIONS.
- 3. ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
- 4. ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
- 5. NON BEARING WALLS SHOULD BE HELD DOWN FROM THE TRUSS BOTTOM CHORD W/ SIMPSON STC TO INSURE THAT THE TRUSS BOTTOM CHORD WILL NOT BEAR ON THE WALL.
- 6. ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURE.
- 7. ALL ROOF FRAMING 24" O.C.
- 8. ALL ROOF PITCH 8:12 UNLESS NOTED OTHERWISE
- 9. ALL OVERHANGS 18"
- 10. ATTIC VENTILATION: 3368 S.F. / 300=11.2 S.F. REQUIRED ABOVE HOUSE.
- 11. PROVIDE 1" MIN. AIR GAP AT EAVES WITH INSULATION BAFFLES TYP. AT ALL TRUSS BAYS.
- 12. PROVIDE GABLE VENTS AS SHOWN ON ELEVATIONS.
- 13. PROVIDE GALV. ROOF VENTS ON BACKSIDE OF ROOFLINE ABOVE CONDITIONED AREA.

ROOF PLAN
1/4" = 1'



PROVALUE ENGINEERING, INC.
20 South 850 West #1, Hurricane, UT 84737
435-668-8507
www.pv-eng.com

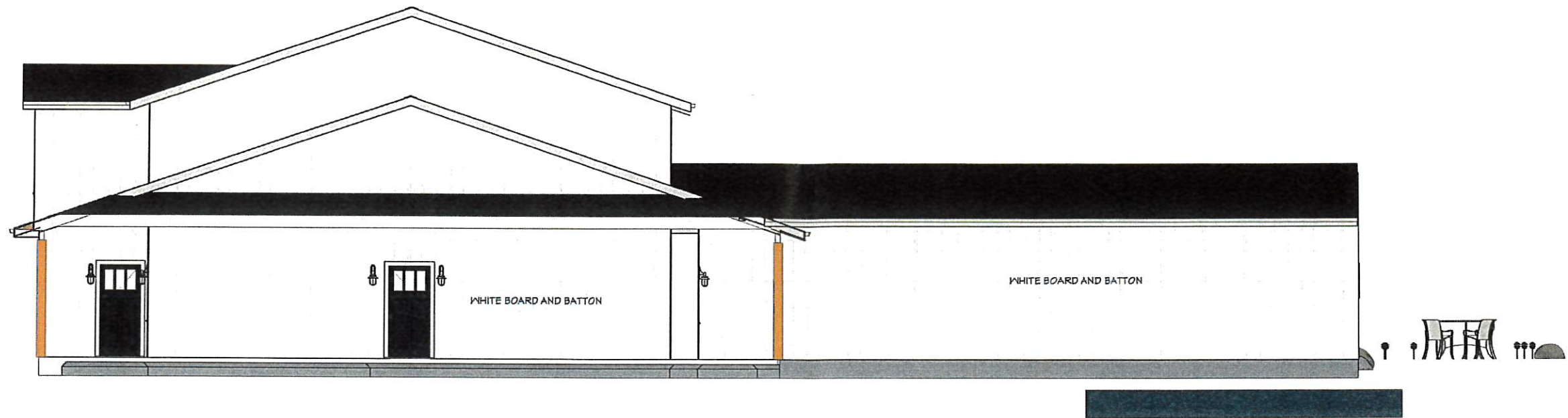
FIELDING RV PARK

140 N 2260 W
HURRICANE UTAH 84737

ROOF PLAN

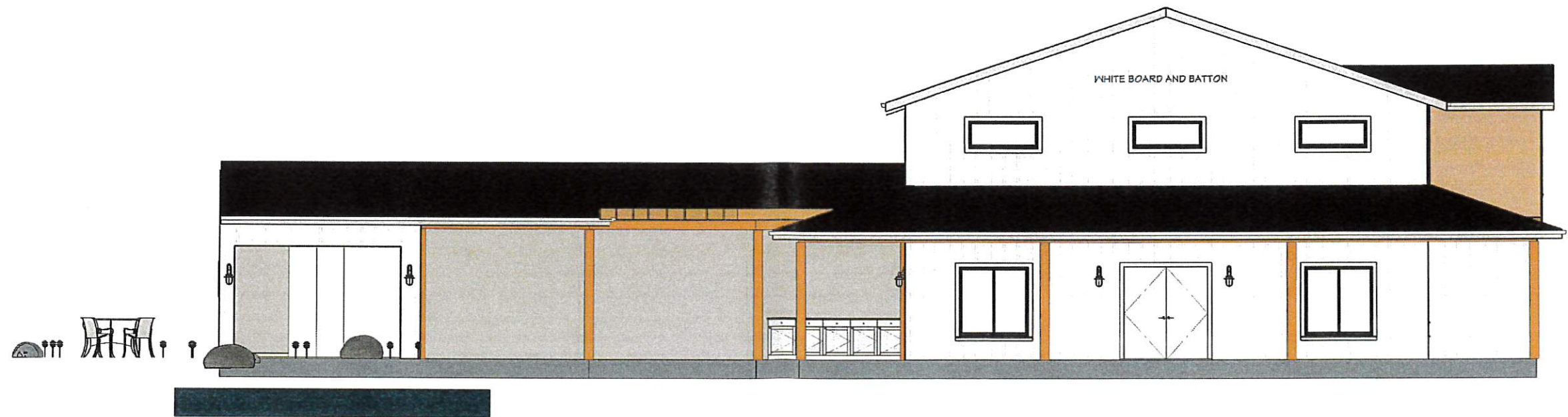
SCALE: SEE VIEW
DATE
DRAWING BY: K.B.R

SHEET NUMBER
A3



Exterior Elevation Front

1/4" = 1'



Exterior Elevation Back

1/4" = 1'

SHEET NUMBER

A4

SCALE: SEE VIEW

DATE

DRAWING BY: K.B.R.

EXTERIOR
ELEVATIONS

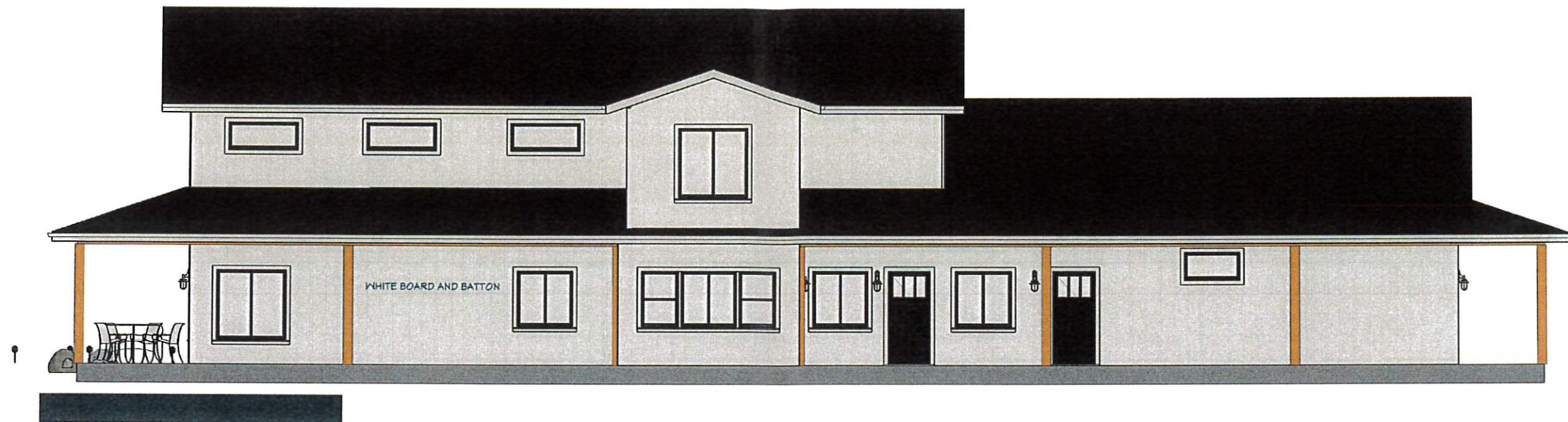
FIELDING RV PARK

190 N 2260 W
HURRICANE UTAH 84701

PROVALUE ENGINEERING, INC.

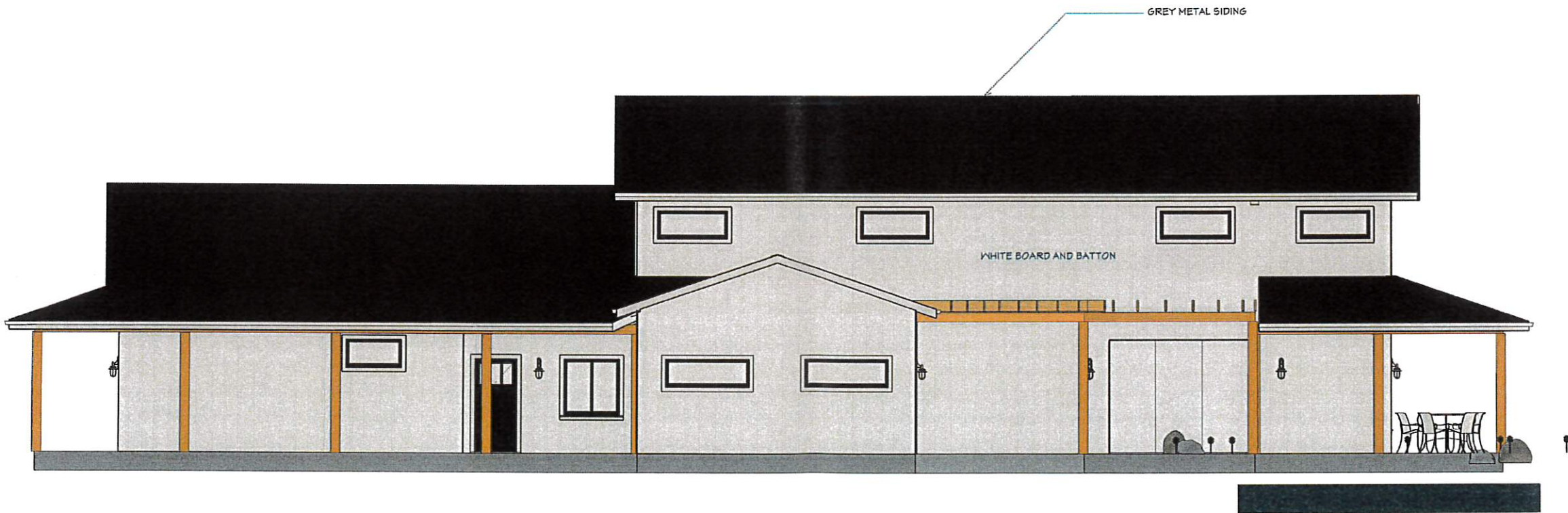
20 South 850 West #1, Hurricane, UT 84757
435-668-9301
www.pv-eng.com





Exterior Elevation Left

1/4" = 1'



Exterior Elevation Right

1/4" = 1'

SHEET NUMBER
A5

SCALE: SEE VIEW
DATE
DRAWING BY: K.B.R.

**EXTERIOR
ELEVATIONS**

FIELDING RY PARK
190 N. 2250 W.
HURRICANE, UTAH 84737

PROVALUE ENGINEERING, INC.
20 South 850 West #1, Hurricane, UT 84737
435-666-8507
www.pv-eng.com

FINAL SITE PLAN APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:

File No. 8-143938

Receipt No. 2020-FSP-16

Name: Kennady Family Ventures LLC Telephone: _____

Address: 3411 W 2530 S, Hurricane, UT Fax No. _____

Agent (If Applicable): Kyleron Kennedy Telephone: 208-724-5705

Email: Kyleron@msn.com Agent Email: Kevin140@yahoo.com

Address/Location of Subject Property: 1481 W State Street & property behind

Tax ID of Subject Property: H-3-1-33-3219, H-3-1-33-3218 Zone District: HC

Proposed Use: (Describe, use extra sheet if necessary) RV Park

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way;
- ☒ c) Project name, North arrow, and tie to a section monument;
- ☒ d) The boundary lines of the project site with bearings and distances;
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings
- ☒ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- ☒ i) Identification of property, if any, not proposed for development, and;
- ☒ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

STAFF COMMENTS

Agenda: November 12, 2020 **File Number:** 2020-FSP-18
Type of Application: Final Site Plan
Applicant: Kennedy Family Ventures LLC
Request: Final Site Plan review for Sky Mountain RV Resort
Location: 1481 W State Street
General Plan: High Den Single Family 4-8
Existing Zoning: Planned Commercial and MH/RV

Discussion: This final site plan is for the proposed Zion Vista Tiny RV Park

1. Total Site 5 acres
2. Total Buildings 1
3. Total spaces 46

10-43-5: BASIS FOR APPROVAL: (A)(2)

c. Meet applicable development standards of section 10-43-6 of this chapter and all requirements of other applicable ordinances, except where such requirements are modified by a planned development approved pursuant to chapter 23 of this title.

Approval

For RV Park, Hurricane City Code states the following:

10-43-5: BASIS FOR APPROVAL: (A)

2. Before final approval is granted for any manufactured home or recreational vehicle park or park model park, a report to the city council by the planning commission shall find the proposed development will:

- a. Be in keeping with the general character of the zone in which the park is to be located;*
- b. Have an approved financing plan for construction and phase completion, together with an approved security to assure compliance and completion; and*
- c. Meet applicable development standards of section 10-43-6 of this chapter and all requirements of other applicable ordinances, except where such requirements are modified by a planned development approved pursuant to chapter 23 of this title.*

The Planning Commission should review these items and then make a recommendation to the City Council.

JUC:

Full construction drawings have been reviewed and by the JUC, and the applicant is currently gathering signature. As of the time of this report, the plan set has not fully been signed off.

Staff Review

1. *A recreational vehicle park should generally be located:*
 1. *Adjacent to or in close proximity to a major collector or arterial road as shown in the city's transportation master plan;*
 2. *Near adequate shopping facilities; and*
2. The code for RV/Park Model parks includes the following: *D. Standards Specific To Recreational Vehicle Parks And Park Model Parks: 8. A minimum of one toilet, one sink, and one hot shower, each designed for complete privacy, for each forty (40) spaces, or fraction thereof.* The proposed restroom building must each include at least one separate private toilet, sink, and shower facilities based on this standard.
3. Parking is adequately accommodated, with parking space at each site.
4. Open space requirement in an RV park is 10% of the land area. The applicant meets this standard.
5. Outdoor lighting is noted to meet City standards
6. The legal description shows a total of five acres, which is the minimum required.
7. Dumpster locations have been provided.
8. A full landscape plan has been provided with details on the types of improvements planned in the common spaces and the between site landscaping.
9. The plan provides a check in lane, though it appears it may be difficult to access.
10. The main office building will contain bathrooms and showers
11. The applicant is building a portion of 150 S and 1515 W to provide second access, as shown on the plan.

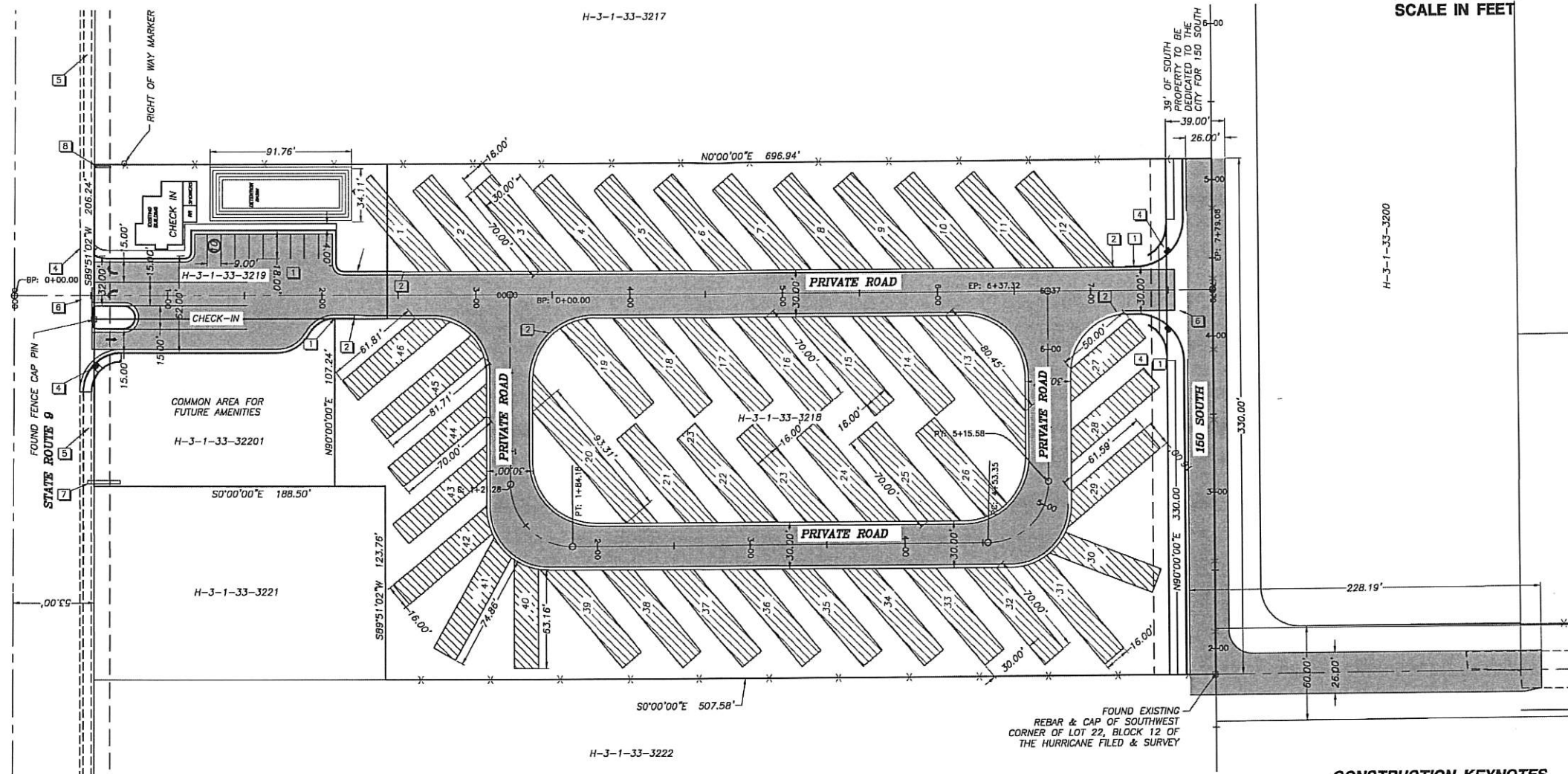
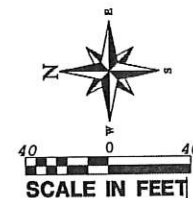
Staff recommendation:

Staff recommends that the Planning Commission review the site plan. If the construction drawings have been signed off by the JUC, make a recommendation to the City Council with the following findings:

1. The development is in keeping with the general character of the zone in which the park is to be located;
2. Have an approved financing plan for construction and phase completion, together with approved security to assure compliance and completion; and
3. Meet applicable development standards of section 10-43-6 of this chapter and all requirements of other applicable ordinances, except where such requirements are modified by a planned development approved pursuant to chapter 23 of this title.

SITE PLAN FOR: ZION TINY RVs

LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S1B.4M
HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- X EXISTING FENCE
- EASEMENT
- EXISTING CURB AND SIDEWALK
- PROPOSED PAVEMENT

LEGAL DESCRIPTION

COMMENCING AT THE SOUTHWEST CORNER OF LOT 22, BLOCK 12 OF THE HURRICANE FIELD AND SURVEY; THENCE N 30.00 FT TO THE POINT OF BEGINNING; THENCE N 507.58 FT; THENCE N89°51'02"E 123.76 FT; THENCE N 188.50 FT; THENCE N89°51'02"E 206.24 FT; THENCE S 696.94 FT; THENCE W 330.00 FT TO THE POINT OF BEGINNING.

TOTAL SQUARE FEET 217,800
TOTAL ACREAGE: 5 ACRES

CONSTRUCTION KEYNOTES

1. INSTALL NEW CURB - TYPE A (DETAIL D/SHEET D1)
2. INSTALL NEW CURB - TYPE B (DETAIL D/SHEET D1)
3. INSTALL 5.5' PARKING STRIP
4. INSTALL NEW ADA RAMP
5. EXISTING SIDEWALK
6. INSTALL 8' WATERWAY
7. INSTALL LARGE BUSINESS SIGN
8. INSTALL SMALLER BUSINESS SIGN PER CITY APPROVAL

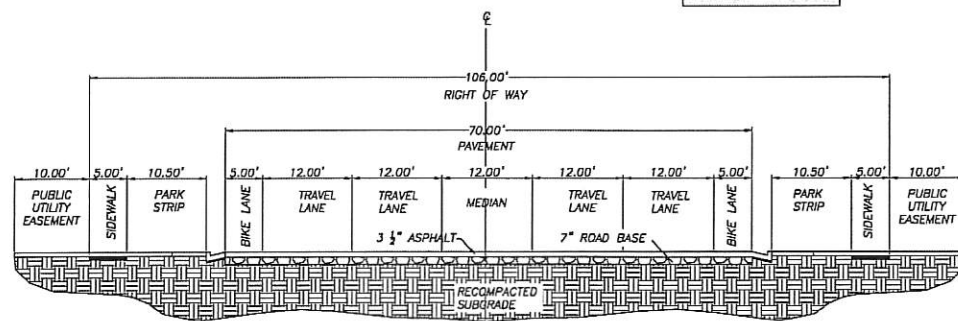
TOTAL GROSS ACREAGE: 217,800 SQ.FT
SQ.FT OF STREET R-O-W: 42,004.57 SQ.FT.
NUMBER OF PARKING SPACES: 56

NARRATIVE

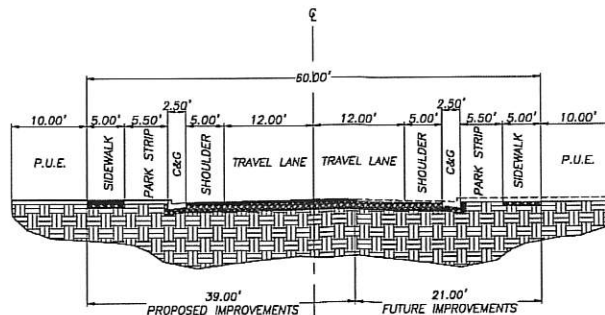
RV 70' X 30' UNITS = 46
HIGHWAY COMMERCIAL = 189,812 SQ. FT. (21 UNITS)
PARKING STALLS = 10 STALLS



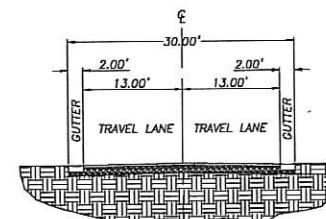
NOTICE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL UTILITIES SHOWN ON THE PLANS.



SR-9 RIGHT-OF-WAY
N.T.S.



150 SOUTH RIGHT-OF-WAY
N.T.S.



RV ROAD WITHIN PARK
N.T.S.

REVISIONS			DATE	BY
NO	DESCRIPTION			

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 250 West, Suite 1
Hurricane, UT 84757
Phone (435) 688-0387



SITE PLAN FOR:
ZION TINY RVs
1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S1B.4M
HURRICANE, WASHINGTON COUNTY, UTAH

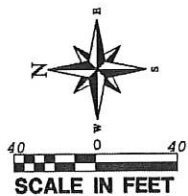
DATE: 10/28/2010
SCALE: 1"=40'

JOB NO.
507-001

SHEET NO.
C2

SEWER & WATER PLAN FOR:
ZION TINY RVs

LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PUBLIC UTILITY EASEMENT
- EXISTING SIDEWALK AND CURB
- EXISTING WATER LINE
- PROPOSED WATER LINE (SIZE SHOWN)
- EXISTING SEWER
- PROPOSED SEWER (SIZE SHOWN)
- EXISTING FENCE
- WATER METER
- PROPOSED FIRE HYDRANT
- SEWER CLEANOUT
- SEWER MANHOLE
- NEW WATER VALVE (SIZE SHOWN)
- PROPOSED PAVEMENT

CONSTRUCTION KEYNOTES

SEWER (1-10):

- EXISTING SEWER MANHOLE
- INSTALL NEW SEWER MANHOLE (SIZE SHOWN)
- EXISTING 8" SEWER MAIN
- INSTALL NEW 8" SEWER MAIN
- NOT USED
- CONNECT SEWER LINE TO EXISTING 8" STUB
- EXISTING 4" SEWER CLEANOUT AND SERVICE LATERAL

WATER (11-20):

- EXISTING WATER METER FOR 3/4" WATER SERVICE LATERAL & METER
- EXISTING 8" WATER LINE
- INSTALL NEW 8" WATER LINE (SIZE SHOWN)
- INSTALL NEW FIRE HYDRANT PER HURRICANE CITY STANDARDS
- INSTALL 3/4" ANTI-FREEZE WATER CONNECTION
- INSTALL NEW 6" GATE VALVE
- INSTALL 3-WAY 8" VALVE
- STUB WATER LINE FOR FUTURE
- CONNECT 8" WATER LINE TO EXISTING 8" WATERLINE
- INSTALL NEW WATER METER FOR 3/4" WATER SERVICE LATERAL & METER

ASH CREEK SEWER DISTRICT NOTES:

- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO SEWER LINES AND LATERALS. IF DAMAGED, CALL ASH CREEK SPECIAL SERVICE DISTRICT AT 435-365-2348 AND CARY WILCOX AT 435-580-3565
- BASEMENTS WILL HAVE TO PUMP SEWER. IF SEWER MAIN IS NOT DEEP ENOUGH TO DRAIN GRAVITY.
- SEWER TO MEET ASH CREEK SPECIAL SERVICE DISTRICT CONSTRUCTION STANDARD

CITY WATER NOTES:

- ALL VALVING MUST BE THREE-WAY.
- 12" MUST BE BUTTERFLY VALVES.
- 6" & 8" MUST BE GATE VALVES.
- ANY QUESTIONS CONCERNING WATER LINE INFRASTRUCTURE CONTACT DALLAN WITH HURRICANE CITY 435-632-5843

HURRICANE VALLEY FIRE DISTRICT NOTES:

- PLACEMENT OF FIRE HYDRANTS MUST MEET IFD-2012
- BURNING OF CONSTRUCTION MATERIAL OR DEBRIS IS STRICTLY PROHIBITED.
- CONSTRUCTION OF ROADS MUST BE COMPLETE WITH ALL WEATHER SURFACE BEFORE HOMES ARE PERMITTED TO BE BUILT.
- HYDRANT SPACING IS ACCEPTABLE AS LONG AS ALL DRIVEWAYS FACE 920 SOUTH.



NOTICE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL EXISTING OR PROPOSED GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers, Land Surveyors, and Planners
20 South 800 West, Suite 1
Hurricane, UT 84757
Phone: (435) 648-6587



SEWER & WATER PLAN FOR:
ZION TINY RVs
LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

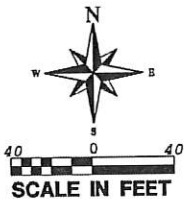
DATE: 10/28/2020
SCALE: 1"=40'

JOB NO.
5071-001

SHEET NO.
C3

ELECTRICAL, GAS & COMMUNICATION PLAN FOR:
ZION TINY RVs

LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S1.B&M.
HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	PUBLIC UTILITY EASEMENT
-X-	EXISTING FENCE
- - -	EXISTING SIDEWALK AND CURB
---X---	EXISTING OVERHEAD POWER
---	PROPOSED POWER
---	EXISTING GAS LINE
---	EXISTING COMMUNICATION LINE
---	PROPOSED PAVEMENT

CONSTRUCTION KEYNOTES

POWER (1-20):

- (OPTIONAL SERVICE UP-GRADE FROM OVERHEAD TO UNDERGROUND) INSTALL 2" PVC WITH 4/0 TRIPLEX AND CHANGE OUT METER BASE.
- EXISTING OVERHEAD POWER SERVICE.
- INSTALL 2 1/2" PVC WITH 1/0 15kv
- INSTALL RV POWER 50 AMP CONNECTION
- INSTALL 3" PVC WITH 500 MCM TRIPLEX
- INSTALL 4" PVC WITH 4/0 15kv THREE PHASE.
- INSTALL 4" FOR FUTURE.
- INSTALL THREE PHASE VAULT.
- INSTALL 50kva TRANSFORMER.
- INSTALL 400-AMP 1/2" VOLT METER PEDESTAL WITH LEVER BY-PASS.
- INSTALL 2 1/2" PVC FOR FUTURE.
- EXISTING UTILITY POLE

GAS (21-30):

- EXISTING GAS LINE
- EXISTING GAS SERVICE LINE

COMMUNICATION (31-40):

- EXISTING COMMUNICATION LINE
- EXISTING COMMUNICATION SERVICE LINE

POWER NOTES FOR ZION TINY RV:

- DEVELOPER RESPONSIBLE FOR ALL COSTS, UNLESS OTHERWISE STATED ON PRINT.
- ONLY A CONTRACTOR PRE-APPROVED BY HURRICANE POWER DEPARTMENT CAN WORK ON AND INSTALL ANY PART OF THE HIGH-VOLTAGE ELECTRICAL SYSTEM.
- PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. (435) 635-5536
- ALL LINES ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE POWER SPECS.
- EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
- NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
- ALL CONDUITS TO BE FENCED. ANY EMPTY STUB OUTS TO HAVE TEMPORARY PLUG INSTALLED.
- ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
- THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH. ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
- IMPACT FEES TO BE COLLECTED BY BUILDING DEPARTMENT. IMPACT FEES TO BE CHARGED BY SERVICE MAIN BREAKER SIZE.
- METERS SHALL NOT BE LOCATED IN FENCE AREAS. METERS SHALL BE KEPT ACCESSIBLE AT ALL TIMES.
- DEVELOPER WILL BE BILLED FOR ALL PRIMARY ELBOW TERMINATIONS. CHARGE WILL BE \$99.00 PER ELBOW.
- DEVELOPER WILL BE BILLED A \$2,447.00 THREE PHASE RISER FEE.
- ALL POWER TO EACH RV SPACE WILL FEED FROM ONE OF THE THED 400-AMP METER BASES AND WILL BE DESIGNED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. ALSO NOTE THAT EVERYTHING ON THE LOAD SIDE OF THE METER BASE WILL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN.

CENTURYLINK PHONE NOTES:

- DEVELOPER TO PROVIDE ALL TRENCH, BACKFILL, AND ROAD CROSSINGS. CENTURYLINK SUB CONTRACTOR (NEILS FUGA) WILL PLACE CONDUIT IN TRENCH. CALL 435-635-5533 15 DAYS PRIOR TO REQUIRING CONDUIT TO SCHEDULE DELIVERY.
- ANY BREAKS/BLOCKAGES IN CONDUIT RESULTING FROM IMPROPER BACKFILL OR OTHER CONSTRUCTION/UTILITY PLACEMENT ARE THE DEVELOPER RESPONSIBILITY TO REPAIR AND MAY RESULT IN DELAY OF SERVICE.
- CONTACT CENTURYLINK ENGINEER AT 435-884-7920 WITH ANY QUESTIONS OR CHANGES TO JUC PLANS
- ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE 100% TO OWNER/DEVELOPER AND MUST BE SCHEDULED A MINIMUM OF 45 DAYS IN ADVANCE.

TDS BROADBAND NOTES:

- THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
- TDS WILL PROVIDE CONDUITS. PLEASE CONTACT DAVID AT 435-703-8932 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
- ANY QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO DAVID TRAUTMANN WITH TDS AT 435-703-8932
- RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR
- ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.



NOTICE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

ELECTRICAL, GAS & COMMUNICATION PLAN FOR:

ZION TINY RVs

1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S1.B&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10/28/2010
SCALE: 1"=40'

JOB NO.
5071-001

SHEET NO.
C4

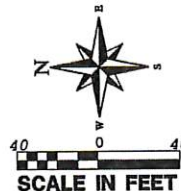
PROVALUE ENGINEERING, INC.

Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
American Fork, Utah 84403
Phone: (435) 466-4601



GRADING PLAN FOR:
ZION TINY RVs

LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S14B&M
HURRICANE, WASHINGTON COUNTY, UTAH



LEGEND

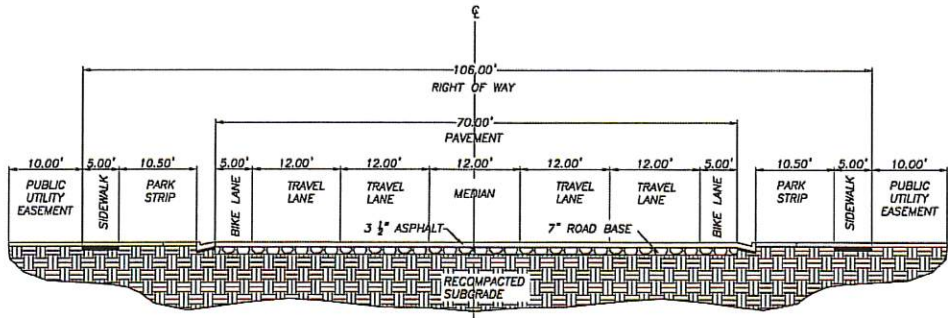
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- PROPOSED 5' CONTOUR (MAJOR)
- PROPOSED 1' CONTOUR (MINOR)
- PROPOSED STORM DRAIN LINE (SIZE SHOWN)
- 3X3 INLET BOX
- SINGLE CURB INLET
- METAL END SECTION (M.E.S.) 15"
- PHASE LINE
- PROPOSED PAVEMENT

GRADING KEYNOTES

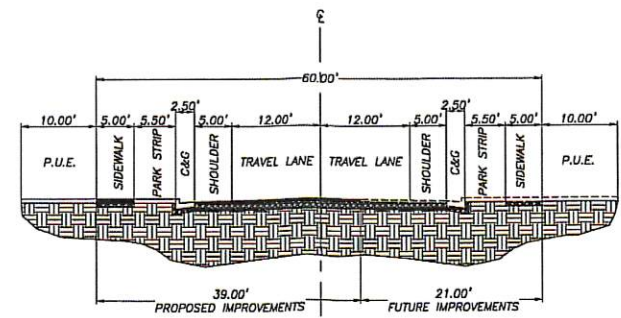
- INSTALL NEW ADA RAMP
- INSTALL NEW 3X3 INLET BOX
- INSTALL NEW CURB SINGLE INLET BOX
- INSTALL NEW STORM PIPE (SIZE SHOWN)
- INSTALL NEW TYPE A CURB (SEE DETAIL D SHEET D1)
- INSTALL NEW TYPE B CURB (SEE DETAIL D SHEET D1)
- MATCH ANY REPLACED PAVEMENT TO MATCH EXISTING
- INSTALL NEW SIDEWALK SCUPPER TO DRAIN DETENTION POND
- EXISTING CURB AND SIDEWALK
- INSTALL NEW METAL END SECTION (SIZE SHOWN)
- INSTALL RIP RAP (SIZE D50=24")
- ADJUST WEST WALL OF EXISTING RETAINING WALL TO RETAIN SOIL AGAINST NEW SIDEWALK
- INSTALL NEW INLET BOX WITH A 4" ORIFICE OUTLET
- INSTALL NEW DETENTION POND (SEE DETAIL SHEET)
- INSTALL 18" STORM PIPE TO MAINTAIN EXISTING DITCH FLOW
- TAPER NEW PAVEMENT TO MATCH EXISTING PAVEMENT
- INSTALL 8' WATERWAY

Cut/Fill Summary

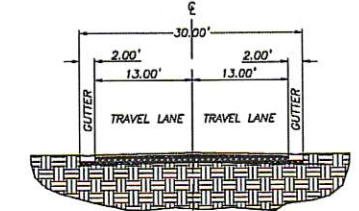
Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
EG VS FG	1.000	1.000	218815 Sq. Ft.	6993.99 Cu. Yd.	4248.13 Cu. Yd.	2745.86 Cu. Yd.<Cut>
Totals			218815 Sq. Ft.	6993.99 Cu. Yd.	4248.13 Cu. Yd.	2745.86 Cu. Yd.<Cut>



SR-9 RIGHT-OF-WAY
N.T.S.



150 SOUTH RIGHT-OF-WAY
N.T.S.



PRIVATE DRIVE
N.T.S.

811
Call 811 before you dig.

NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 800 West, Suite 1
Hurricane, UT 84503
Phone: (435) 686-8807



DATE: 10/28/2020
SCALE: 1"=40'

JOB NO.
501-001

SHEET NO.
C5

GRADING PLAN FOR:
ZION TINY RVs
1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S14B&M
HURRICANE, WASHINGTON COUNTY, UTAH

LANDSCAPE PLAN FOR:
ZION TINY RVs

LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S1B.8M
HURRICANE, WASHINGTON COUNTY, UTAH

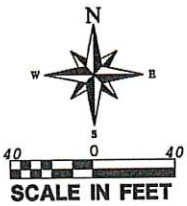
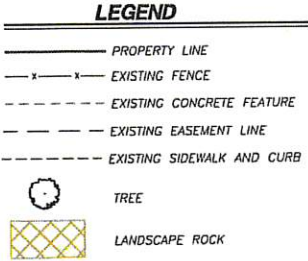
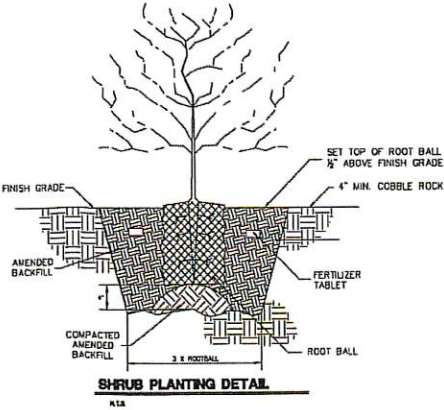
LANDSCAPE NOTES

- 1: VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 2: ALL PLANT MATERIAL SHALL BE HEALTHY STOCK, FREE FROM DISEASE AND DISFIGUREMENT, HAVING FULL NATURAL SHAPES.
- 3: PLANT MATERIAL SHALL BE THE SAME SPECIES AND SIZE (OR LARGER) AS DESCRIBED IN THE PLANT SCHEDULE.
- 4: ALL TREES AND SHRUBS TO BE PLANTED ACCORDING TO DETAILS.
- 5: THE IRRIGATION CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM SHOP DRAWING SUBMITTAL FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT, AND HURRICANE CITY PERSONNEL BEFORE INSTALLATION COMMENCES. THIS DRAWING SHALL ILLUSTRATE THE PIPING CIRCUIT DRIP SYSTEM LAYOUT, AND VALVING FROM THE EXISTING IRRIG. POINT OF CONNECTION. THIS SHOP DRAWING MUST BE PREPARED BY A QUALIFIED PERSON.
- 6: ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATED IRRIGATION SYSTEM THAT MEETS CITY CODES, TREES AND SHRUBS TO BE IRRIGATED WITH A DRIP SYSTEM.
- 7: PROVIDE TOPSOIL FOR ALL TREE AREAS AND SHRUB AREAS AS NEEDED TO PROVIDE PROPER GROWTH CONDITIONS FOR THE PLANT MATERIALS.

PLANT LEGEND:

	TYPE	QUANTITY	SIZE
	NATIVE TREE TO BE SELECTED BY LANDSCAPER	45	2" CAL MIN
	PALM TREE TO BE SELECTED BY LANDSCAPER	5	6" CAL MIN
	NATIVE SHRUB TO BE SELECTED BY LANDSCAPER	22	5 GAL
	NATIVE SHRUB TO BE SELECTED BY LANDSCAPER	51	1 GAL

NOTE: LANDSCAPE CONTRACTOR TO INSTALL WATER-WISE IRRIGATION SYSTEM TO ADEQUATELY AND SUSTAINABLE CARE FOR PLANT MATERIAL.

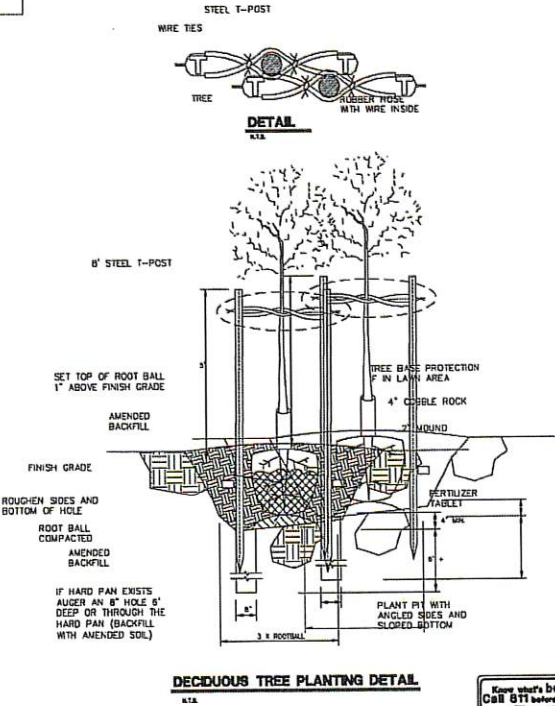


HURRICANE CITY PARK NOTES:

ANY LANDSCAPING INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDANS AND ASSOCIATED IRRIGATION, SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

LANDSCAPE AREA

DESCRIPTION	AREA
TOTAL BUILDING FOOTPRINT	1,033 SQ. FT.
HARDSCAPE AREA	107,069.6 SQ. FT.
LANDSCAPE AREA	87,643.6 SQ.FT.



NO.	REVISIONS	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 400 West, Suite 1
Hurricane City, Utah 84151
Phone: 1-801-466-0061



LANDSCAPE PLAN FOR:
ZION TINY RVs
LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S1B.8M
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10/28/2020
SCALE: 1"=40'


JOB NO.
201-001

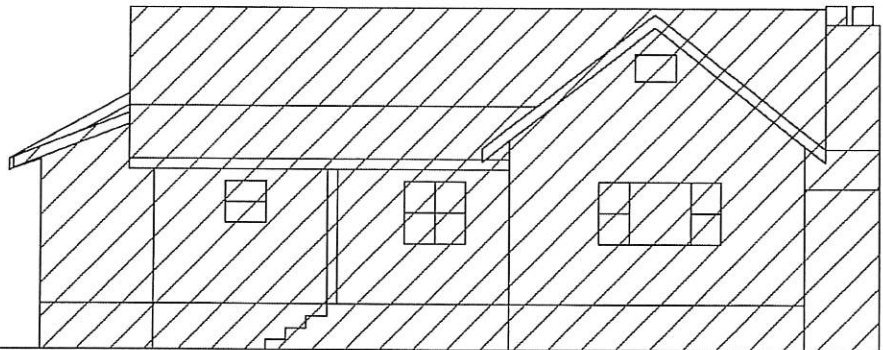
SHEET NO.
C6

EXISTING BUILDING ADDITION ELEVATIONS FOR:
ZION TINY RVs

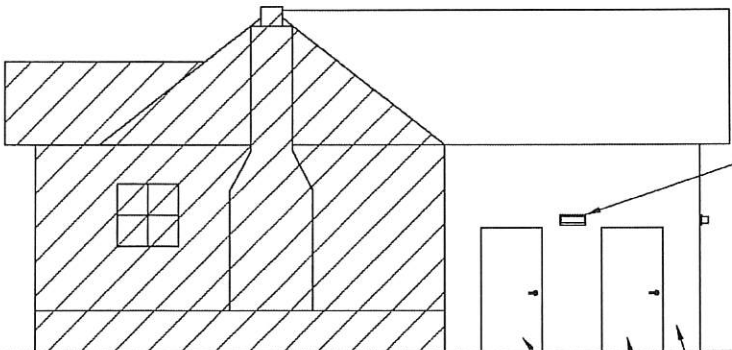
LOCATED AT 1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S12B.M.
HURRICANE, WASHINGTON COUNTY, UTAH

LEGEND

 EXISTING BUILDING



NORTH VIEW ELEVATION

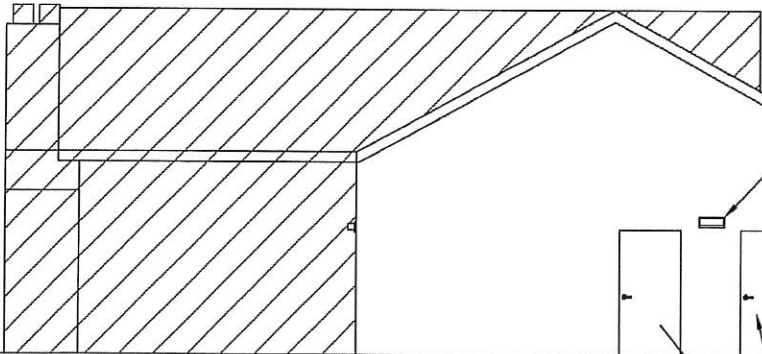


WEST VIEW ELEVATION

OUTDOOR LIGHT PER
CITY STANDARDS

WHITE
STUCCO
EXTERIOR

BATHROOM
DOORS

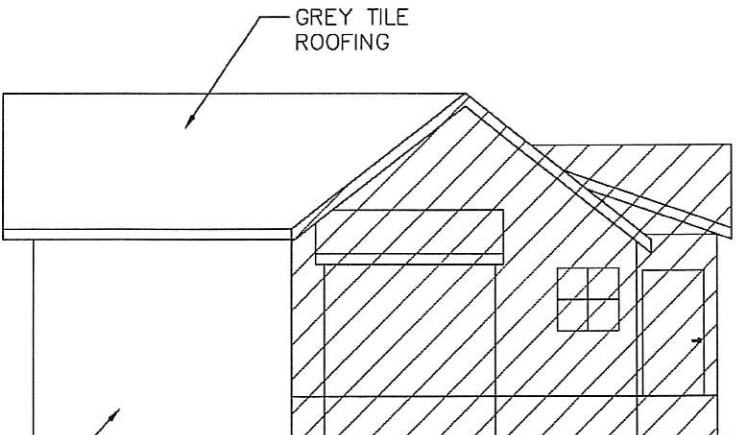


SOUTH VIEW ELEVATION

OUTDOOR LIGHT PER
CITY STANDARDS

WHITE
STUCCO
EXTERIOR

SHOWER DOORS



GREY TILE
ROOFING

WHITE
STUCCO
EXTERIOR

EAST VIEW ELEVATION

REVISIONS

NO.	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
20 South 850 West, Suite 1
Hurricane City, Utah 84737
Phone: (435) 866-0067



EXISTING BUILDING ADDITION ELEVATIONS FOR:
ZION TINY RVs
1481 WEST STATE STREET
LOCATED IN SECTION 33, T14S, R13W, S12B.M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 10/20/2010
SCALE: N/A

JOB NO.
501-001

SHEET NO.
1 OF 1

PRELIMINARY PLAT APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:

File No. 2020-PP-22

Receipt No. 7.663870

Name: BRANT TUTTLE, NORTHEAST ENGINEERING, INC. Telephone: 801-802-8992

Address: 1040 EAST 800 NORTH, OREM, UTAH 84097 Fax No. 801-802-8993

Email: btuttle@neitech.com Agent Email: _____

Agent (If Applicable): SAME AS ABOVE Telephone: _____

Address/Location of Subject Property: 2100 WEST 3900 SOUTH, HURRICANE

Tax ID of Subject Property: H-3400-Q; H-3400-R Zone District: R1-G

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) THE CORNER

PHASE ONE PRELIMINARY PLAT CONTAINS 40 LOTS ON 13.34 ACRES FOR A DENSITY OF 3.0 lots/acre.
SEE ATTACHED SUMMARY

Submittal Requirements: The preliminary plat application shall provide the following:

- ____ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
 - ____ a. The proposed name of the subdivision.
 - ____ b. The location of the subdivision, including the address and section, township and range.
 - ____ c. The names and addresses of the owner or subdivider, if other than the owner.
 - ____ d. Date of preparation, and north point.
 - ____ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- ____ 2. Existing Conditions: The preliminary plat shall show:
 - ____ a. The location of the nearest monument.
 - ____ b. The boundary of the proposed subdivision and the acreage included.
 - ____ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
 - ____ d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
 - ____ e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
 - ____ f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

STAFF COMMENTS

Agenda: Novemeber 5, 2020 **File Number:** 2020-PP-21

Type of Application: Preliminary Plat Administrative

Applicant: River Valley Developmnt

Agent: Northern Engineering

Request: Preliminary Plat Review and Recommendation

Location: South end of the unfinished 2100 West and south of 3000 South at approximately 2400 West

General Plan: Planned Community

Existing Zoning: R1-6

Discussion: The applicant was approved for a zone change with a development agreement on November 5, 2020. This is the first phase of that development. The proposal is for a 38 lot subdivision along the northern boundary of the Cordero Development, right adjacent to the Ski Lake Development.



	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1	Fields and Natural Space
East	R1-10	Fields and Natural Space (Future Copper Rock)

South	RA-1	Fields and Natural Space
West	RA-1	Fields and Natural Space

JUC Comments

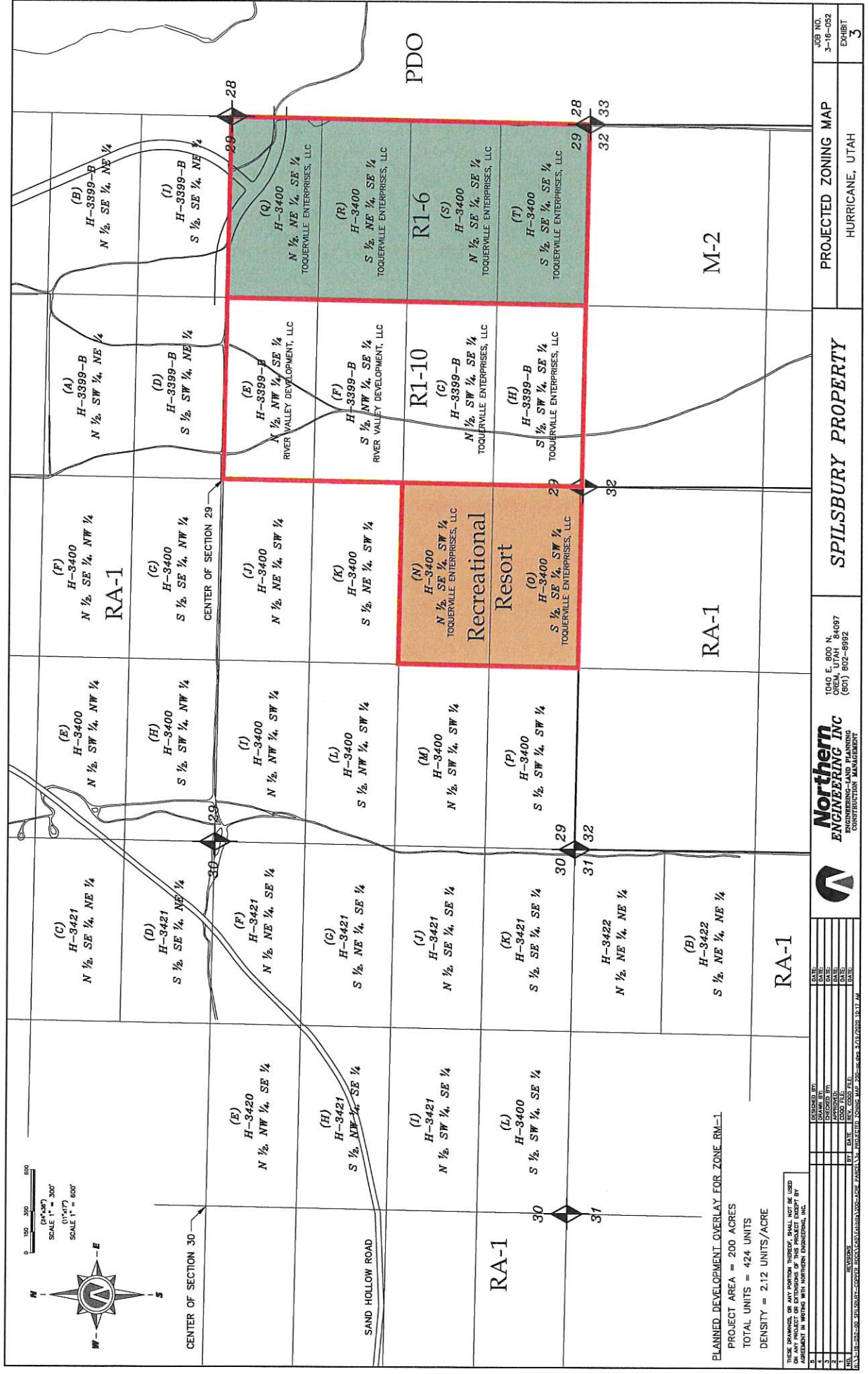
The following items will need to be addressed with the construction drawings:

1. Sewer is in 2100 W. Will need to pay a connection fee to Ash Creek for a pioneering agreement
2. Will need to provide a loop water system. Water on 2100 W is not sufficient for the development. The developer will also need to provide a water model.
3. There are concerns about single access to the development as a whole and that there is only one access point within this phase
4. The developer will need to make sure the development meets fire code for access and the ability to provide water.
5. There is no power in the area. Will need a dedication on 2600 S to bring power to the project.

Staff Comments:

1. The development complies with the underlying zoning
2. The applicant needs to identify potential geotechnical constraints on the project site
3. The applicant needs to identify what Parcel A is for.
4. There are too many lots off a single access road. Staff recommends that 2160 W continues through to Copper Rock Parkway to provide another access.
5. Public Utility Easement will need to be 10 ft. not 7.5. The note should be updated.
6. Will need to provide letters from the Water Department and Ash Creek Sewer about their ability to provide services to the property.
7. The plat needs to identify if it is in a tortoise take area.
8. There are significant concerns about providing water, power, and proper access to the property. The applicant can bring services to the area. The area should have a master utility plan to ensure that each phase of the development will supply service.

Recommendation: Staff recommends the Planning Commission review this application based on standards with Hurricane City Code. The plat itself mostly complies with Hurricane City Code, but there are significant infrastructure challenges with the development that will need to be addressed with the construction drawings. Staff would also recommend that the applicant provide a full utility master plan as part of the construction set.



PLANNED DEVELOPMENT OVERLAY FOR ZONE RM-1
 PROJECT AREA = 200 ACRES
 TOTAL UNITS = 424 UNITS
 DENSITY = 2.12 UNITS/ACRE

THESE SPANNERS OR ANY PORTION THEREOF SHALL NOT BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

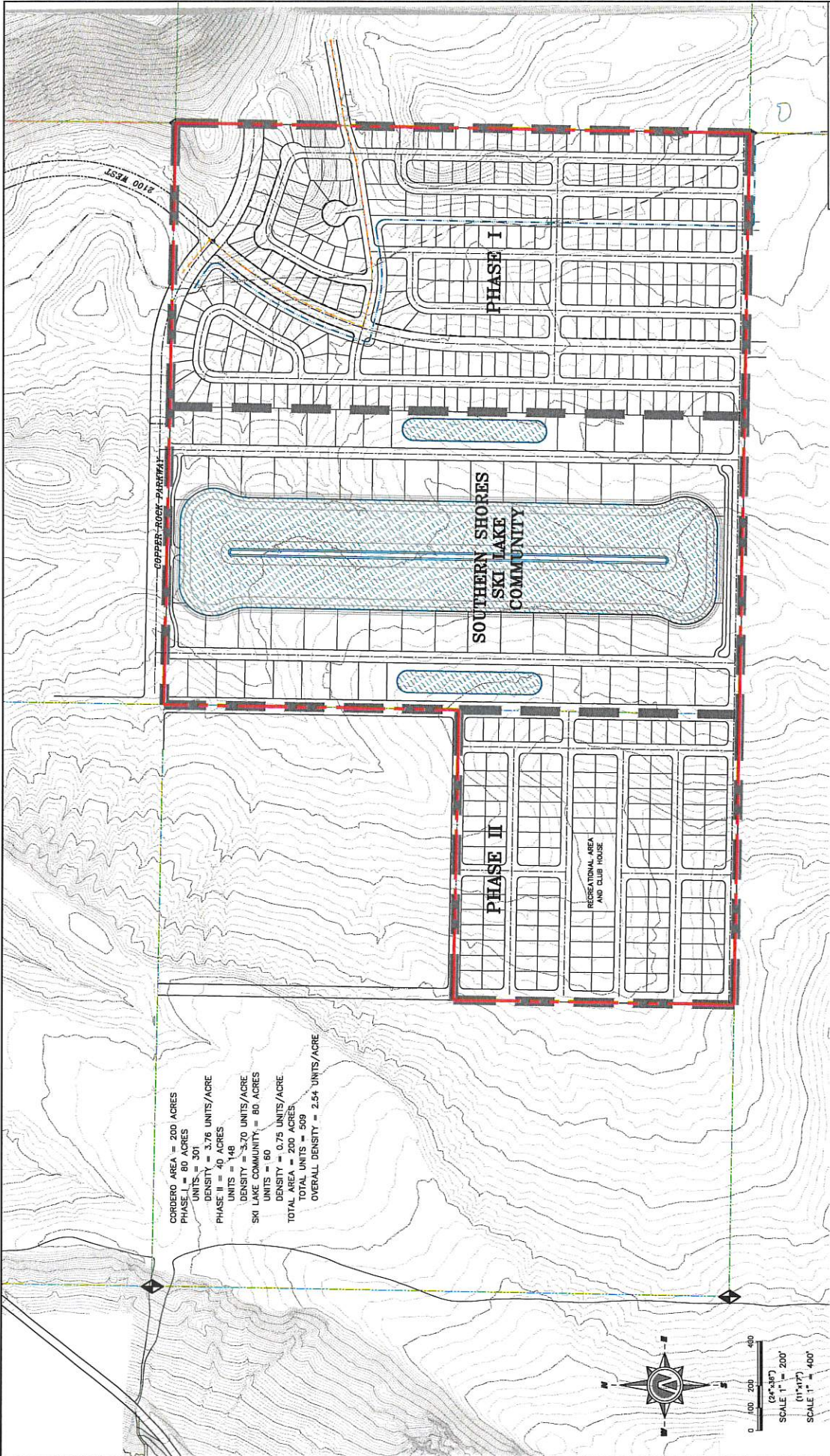
NO.	REVISIONS	BY	DATE	REV. CODE	FILE
1	DESIGNED BY				
2	CHECKED BY				
3	DATE				
4	APPROVED BY				
5	DATE				
6	REV. CODE				
7	FILE				



Northern Engineering Inc.
 ENGINEERING-LAND PLANNING
 CONSTRUCTION MANAGEMENT
 1040 E. 800 N.
 OREM, UTAH 84087
 (801) 802-8992

SPILSBURY PROPERTY

PROJECTED ZONING MAP
 HURRICANE, UTAH
 JOB NO. 3-16-052
 EXHIBIT 3



CORDERO AREA = 200 ACRES
PHASE I = 80 ACRES
UNITS = 301
DENSITY = 3.76 UNITS/ACRE
PHASE II = 40 ACRES
UNITS = 148
DENSITY = 3.70 UNITS/ACRE
SOUTHERN SHORES SKI LAKE COMMUNITY = 80 ACRES
UNITS = 60
DENSITY = 0.75 UNITS/ACRE
TOTAL AREA = 200 ACRES
TOTAL UNITS = 509
OVERALL DENSITY = 2.54 UNITS/ACRE



THESE DRAWINGS OR ANY PORTION THEREOF SHALL NOT BE USED ON ANY PROJECT OR EXTENSION OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.				CONCEPT PLAN		CORDERO		1040 E. 800 N. OREM, UTAH 84097 (801) 602-8952		JOB NO. 3-16-052	
										SHEET NO. 1	

GENERAL

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND/OR REQUIREMENTS OF THE HURRICANE CITY PUBLIC WORKS DEPARTMENT.
- 2. A PRE CONSTRUCTION CONFERENCE WILL BE HELD A MINIMUM OF 3 WORKING DAYS PRIOR TO START OF WORK. ALL CONTRACTORS, SUBCONTRACTORS AND/OR UTILITY CONTRACTORS, HURRICANE CITY PUBLIC WORKS AND CITY'S ENGINEER SHOULD BE PRESENT.
- 3. ALL LOT DIMENSIONS, EASEMENTS AND CERTAIN OFF SITE EASEMENTS ARE TO BE TAKEN FROM THE CORAL SPRINGS CONDOMINIUM PHASE 2 AMENDED PLAT.
- 4. ALL CONSTRUCTION STAKES MUST BE REQUESTED A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO PLANNED USE.
- 5. CERTAIN CONTROL POINTS WILL BE SET BY THE ENGINEER, OR HIS REPRESENTATIVE, WHICH ARE CRITICAL TO THE CONSTRUCTION STAKING OF THE PROJECT. THESE POINTS WILL BE DESIGNATED AT THE TIME THEY ARE SET AND THE CONTRACTOR SO NOTIFIED. DESTRUCTION OF THESE POINTS BY THE CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GROUNDS FOR CHARGING THE CONTRACTOR FOR REESTABLISHING SAID POINTS.

ROADWAY/STORM DRAIN

- 1. ALL ROADWAY CONSTRUCTION SHALL MEET THE MINIMUM REQUIREMENTS OF HURRICANE CITY'S TECHNICAL SPECIFICATIONS OR AS APPROVED IN THE PLANS HEREIN.
- 2. WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNTIMELY NOTIFICATION SHALL NEGATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
- 3. STORM DRAIN PIPES MUST BE RCP CLASS III. PIPES SHALL BE INSTALLED ACCORDING TO PERTINENT HURRICANE CITY STANDARDS.

SEWER

- 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST ASH CREEK SPECIAL SEWER DISTRICT DESIGN STANDARDS AND PUBLIC IMPROVEMENT SPECIFICATIONS DRAWINGS OF ASH CREEK SPECIAL SERVICE DISTRICT.
- 2. FINAL APPROVAL AND ACCEPTANCE OF ALL SEWER CONSTRUCTION WILL BE BY ASH CREEK SPECIAL SERVICE DISTRICT.
- 3. UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT THREE (3) SETS OF RECORD DRAWINGS TO ASH CREEK SPECIAL SERVICE DISTRICT AND (1) SET TO NORTHERN ENGINEERING, INC.
- 4. HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH HURRICANE CITY STANDARDS.
- 5. ALL SEWER LINE WITHIN PUBLIC STREETS ARE PUBLIC SEWER LINES TO BE OPERATED AND MAINTAINED BY ASH CREEK SPECIAL SERVICE DISTRICT. NO PRIVATE SEWER LINES ARE ALLOWED.

WATER

- 1. THE WATER SYSTEM SHALL BE CONSTRUCTED TO CONFORM WITH THE STANDARDS SET FORTH IN THE "UTAH REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS", AND THE HURRICANE CITY PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND DRAWINGS.
- 2. CONTRACTOR SHALL NOTIFY NORTHERN ENGINEERING, INC. THREE (3) WORKING DAYS BEFORE INITIAL CONSTRUCTION BEGINS AND SHALL ALSO REQUEST HURRICANE CITY ENGINEERING DEPARTMENT INSPECTION OF WATER LINES AND APPURTENANCES TWENTY-FOUR (24) HOURS IN ADVANCE OF BACKFILLING.
- 3. CONTRACTOR TO FIELD VERIFY ALL VALVE BOX LID ELEVATIONS TO ASSURE THAT SAID LID ELEVATIONS MATCH FINAL STREET GRADE, AND ALL METER LID ELEVATIONS TO MATCH AN EXTENSION OF THE SIDEWALK GRADE.
- 4. UPON THE COMPLETION OF WORK, THE CONTRACTOR SHALL SUBMIT 3 SETS OF RECORD DRAWINGS TO HURRICANE CITY & (1) SET TO NORTHERN ENGINEERING, INC.
- 5. WATER VALVE LIDS ARE TO BE LABELED "WATER" FOR CULINARY VALVES.
- 6. HORIZONTAL AND VERTICAL SEPARATION OF CULINARY WATER AND SEWER SHALL BE IN COMPLIANCE WITH HURRICANE CITY STANDARDS.
- 7. WATERLINES TO BE BEDDED IN GRANULAR MATERIAL. A MIN. OF 8" COVER OVER TOPS OF PIPE IS REQUIRED TO AVOID PENETRATION OF SUB BASE FROM ABOVE. THE OVERALL COVER OF THE CULINARY PIPE NEEDS TO BE NO LESS THAN 4 FEET.
- 8. ALL CULINARY WATERLINES SHALL BE POLY WRAPPED DUCTILE IRON OR PVC C-900.
- 9. WATER SERVICES SHALL BE TYPE "K" COPPER ONLY.
- 10. THRUST BLOCKS ARE NOT ALLOWED. JOINT RESTRAINTS ARE REQUIRED. SEE DETAIL SHEET.
- 11. HURRICANE VALLEY FIRE DISTRICT TO APPROVE THE LOCATION OF FIRE HYDRANTS.
- 12. ALL MAIN AND SERVICE LINES SHALL MAINTAIN A 10 FOOT SEPARATION BETWEEN WATER AND SEWER.
- 13. ALL WATER MAINS 10-INCH AND LARGER SHALL BE POLY-WRAPPED DUCTILE IRON.
- 14. ONLY A PRE-QUALIFIED CONTRACTOR TO WORK ON AND INSTALL ANY PART OF THE WATER SYSTEM.

DOMINION ENERGY NOTES

- 1. DEVELOPER NEEDS TO CONTACT DOMINION ENERGY PRE-CONSTRUCTION DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP. JEFF BURTON @ 435-674-6112
- 2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPERS EXPENSE.
- 3. IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COST. A MAP WILL BE AVAILABLE AT DOMINION ENERGY FOR CASING LOCATIONS. (1155 E 350 N. ST. GEORGE).
- 4. ALL OF THE 10 FOOT UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN 6 INCHES OF TOP BACK OF THE CURB BEFORE GAS LINES WILL BE INSTALLED. DEVELOPER WILL BE RESPONSIBLE FOR THE COST OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION.
- 5. ALL TRENCHES SHALL BE BACKFIELD AND ALL DEBRIS, CONSTRUCTION MATERIALS, AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
- 6. PROPERTY LOT LINES, BACK OF CURB, AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED.
- 7. POWER, WATER, SEWER LINES, CULVERTS, OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
- 8. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF GAS SERVICE TO THIS PROJECT.
- 9. CONTACT CRAIG HANSEN, (435) 674-6144, AT LEAST TWO WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
- 10. IMPORTANT NOTICE: GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED. STREETS ARE WITHIN 6 INCHES OF SUB-GRADE, AND THE 10 FOOT UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.
- 11. HIGH PRESSURE GAS NOTE:
IF HIGH PRESSURE GAS LINES ARE LOCATED IN OR NEAR YOUR DIGGING AREA, BEFORE DIGGING PLEASE CALL: BRYAN WARD @ (435) 559-6547.

TDS BROADBAND NOTES

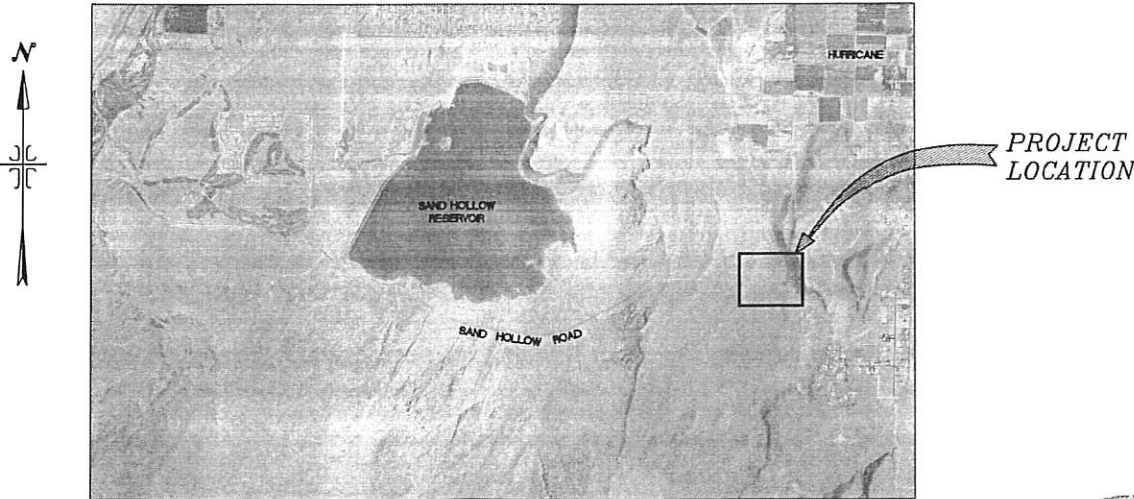
- 1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITH IN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
- 2. TDS WILL PROVIDE CONDUITS. PLEASE CONTACT DAVID AT 435-703-8932 AT LEAST THREE WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
- 3. ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARD DAVID TRAUNTVIN WITH TDS AT 435-703-8932.
- 4. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
- 5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

CORDERO PHASE I
PRELIMINARY PLAT
HURRICANE, UTAH

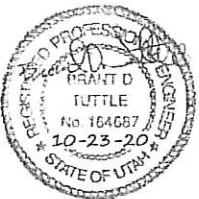
OCTOBER 2020

-INDEX OF SHEETS-

SHEET	DESCRIPTION
1-1	COVER SHEET AND NOTES
1-2	MASTER PLAN
2-1	PRELIMINARY PLAT
2-2	PRELIMINARY UTILITY PLAN
2-3	PRELIMINARY GRADING PLAN
DT-1	TYPICAL STREET CROSS-SECTIONS



VICINITY MAP
-NTS-



CENTURYLINK NOTES

- 1. CENTURYLINK WILL PROVIDE ALL 2" AND 4" PVC AND DELIVER IT TO THE SITE. PLEASE CALL 1-435-632-6553 TO SCHEDULE DELIVERY.
- 2. CENTURYLINK TO PLACE CONDUIT IN POWER TRENCH.
- 3. THE DEVELOPER IS TO PROVIDE ALL STREET NAMES AND LOT ADDRESSES WITHIN TWO WEEKS OF UTILITY PLAN APPROVAL.
- 4. FAILURE TO COMPLY WITH THE ABOVE NOTES COULD RESULT IN DELAY OF SERVICE TO THE PROJECT. CONTACT TELCO ENGINEER WITH QUESTIONS 1-435-673-9639.
- 5. ANY QUESTIONS: CONTACT ZACH MATHEWS @ 435-673-9639.

POWER NOTES

- 1. DEVELOPER RESPONSIBLE FOR ALL COST, UNLESS OTHERWISE STATED ON PRINT.
- 2. ONLY A PRE-APPROVED CONTRACTOR TO WORK ON AND INSTALL ANY PART OF THE ELECTRICAL SYSTEM.
- 3. PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE CITY POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT @ 435-635-5536.
- 4. LINES ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE CITY SPECS.
- 5. EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
- 6. NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
- 7. ALL CONDUITS TO BE FOAMED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
- 8. ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
- 9. THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH. ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
- 10. DEVELOPER TO BE BILLED A TERMINATION FEE OF \$99.00 PER PRIMARY ELBOW TERMINATIONS.
- 11. HURRICANE POWER HAS CHANGED OUR STREETLIGHTS SPECS. TO LED'S. SEE HURRICANE POWER FOR NEW SPEC.
- 12. DEVELOPER WILL BE BILLED \$4,074.00 FOR A 750 THREE-PHASE PRIMARY RISER FEE.
- 13. ALL UNDERGROUND POWER LINES WILL NEED TO BE ALONGSIDE A PERMANENT ROADWAY AND THE POWER LINE NEEDS TO BE INSTALLED ON THE WEST AND NORTH SIDE OF THE ROAD.
- 14. DEVELOPER WILL BE BILLED \$1,083.00 FOR SWITCH MAKE-UP FEE FOR EACH SWITCH THAT HAS BEEN INSTALLED.
- 15. DEVELOPER WILL BE BILLED \$1,690.00 FUSE BAY FEE.
- 16. ALL THREE-PHASE 750 MCM 15KV RUNS MUST NOT EXCEED 1000 FEET BETWEEN SWITCHES.

PARKS

- 1. ANY LANDSCAPING, INCLUDING STREET LANDSCAPING STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

HURRICANE CITY APPROVAL

WCWC	DATE
STREETS DEPARTMENT	DATE
ASH CREEK SEWER DISTRICT	DATE
WATER DEPARTMENT	DATE
CENTURYLINK	DATE
DOMINION ENERGY	DATE
BUILDING DEPARTMENT	DATE
HURRICANE POWER DEPARTMENT	DATE
FIRE DEPARTMENT	DATE
PARKS DEPARTMENT	DATE
TDS TELECOM	DATE
PUBLIC WORKS DEPARTMENT	DATE
CITY ENGINEER	DATE

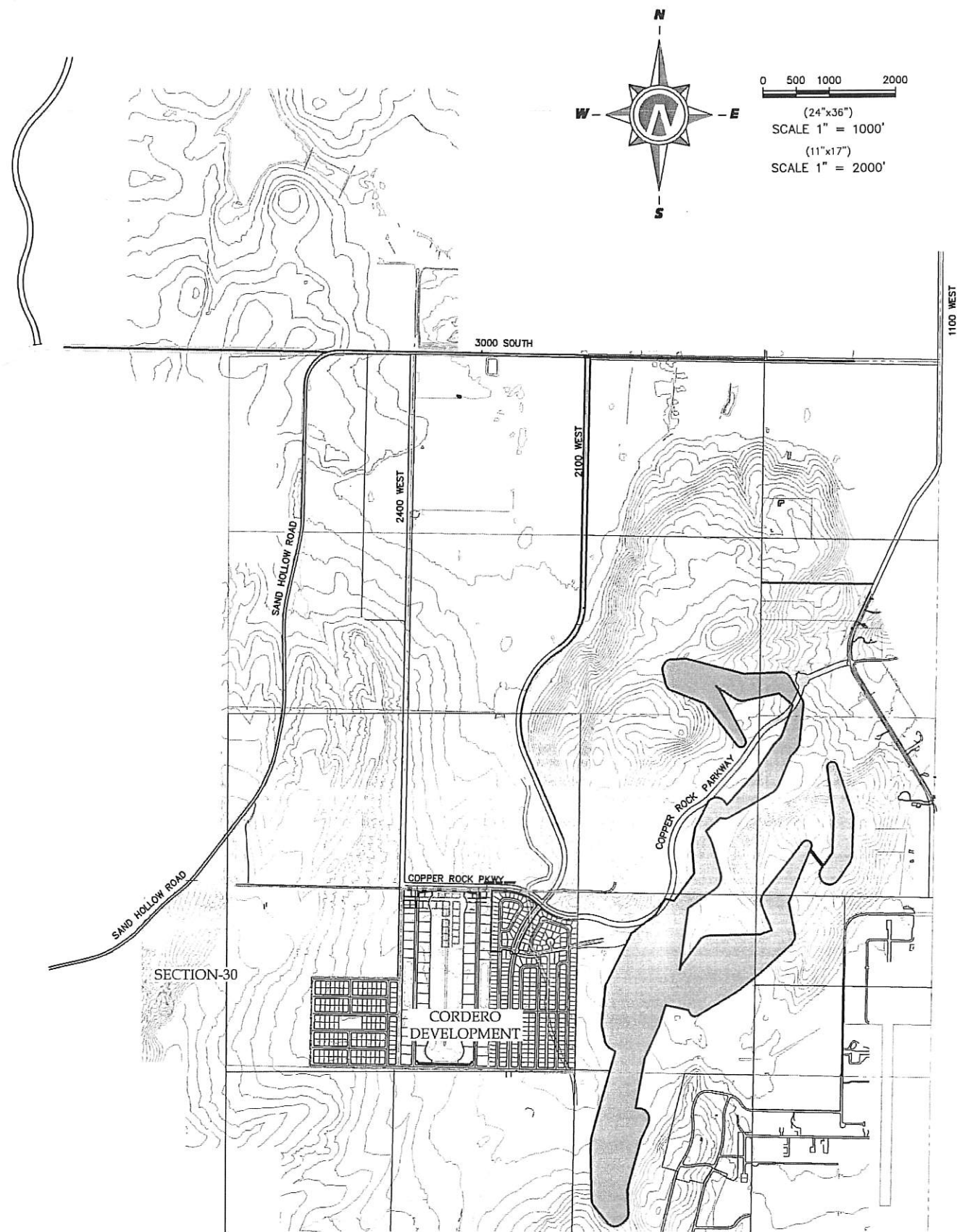


**Northern
ENGINEERING INC**
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

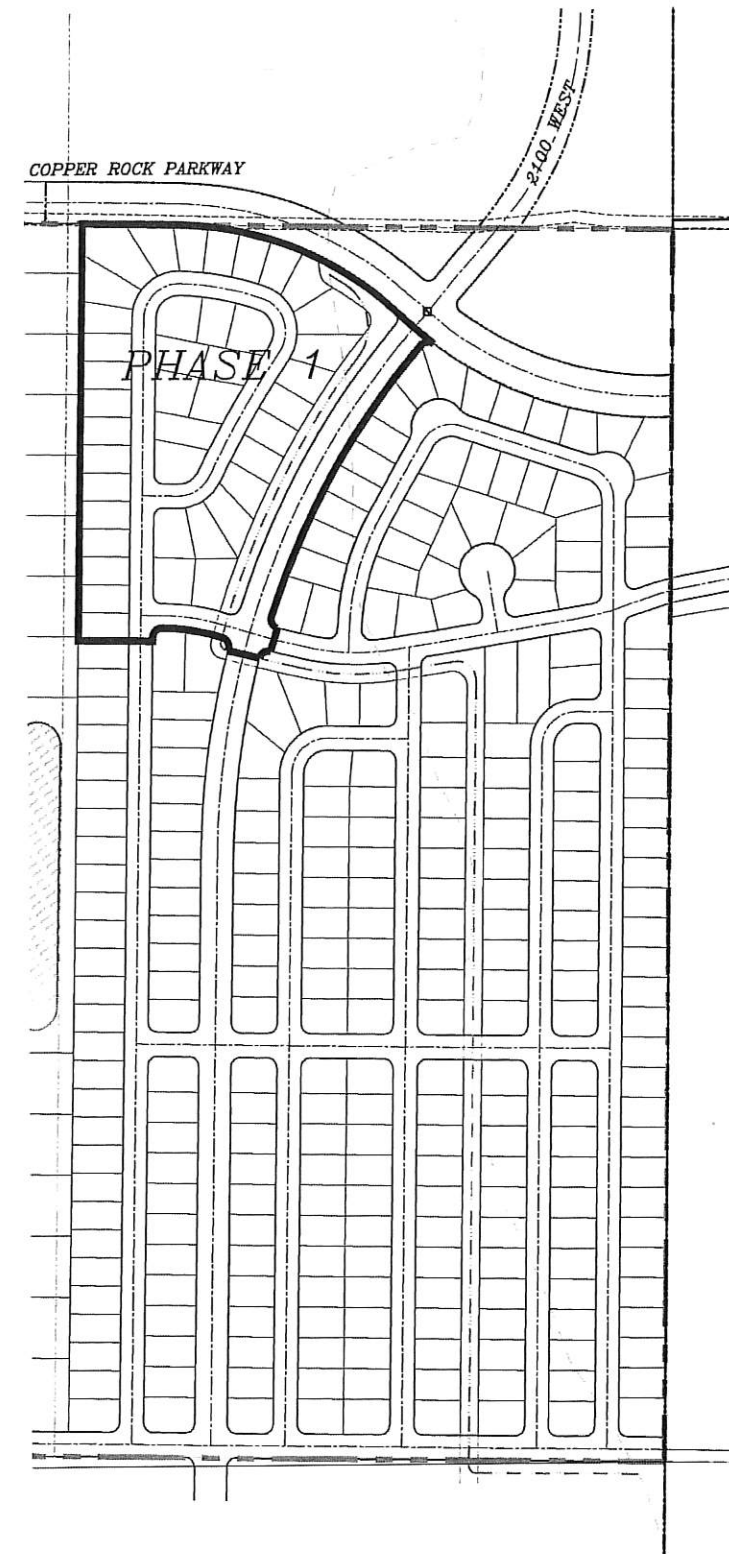
1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

JOB NO.
3-16-052

SHEET NO.
1-1



VICINITY PLAN



MASTER PLAN

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5			DESIGNED BY:	DATE:
4			DRAWN BY:	DATE:
3			CHECKED BY:	DATE:
2			APPROVED:	DATE:
1			COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE	REV. COGO FILE:
K:\13-16-052-00 SPILSBURY-COPPER ROCK\CAD\Final\02 PRELIM PLAT MASTER PLAN.dwg 10/23/2020 12:31 PM				



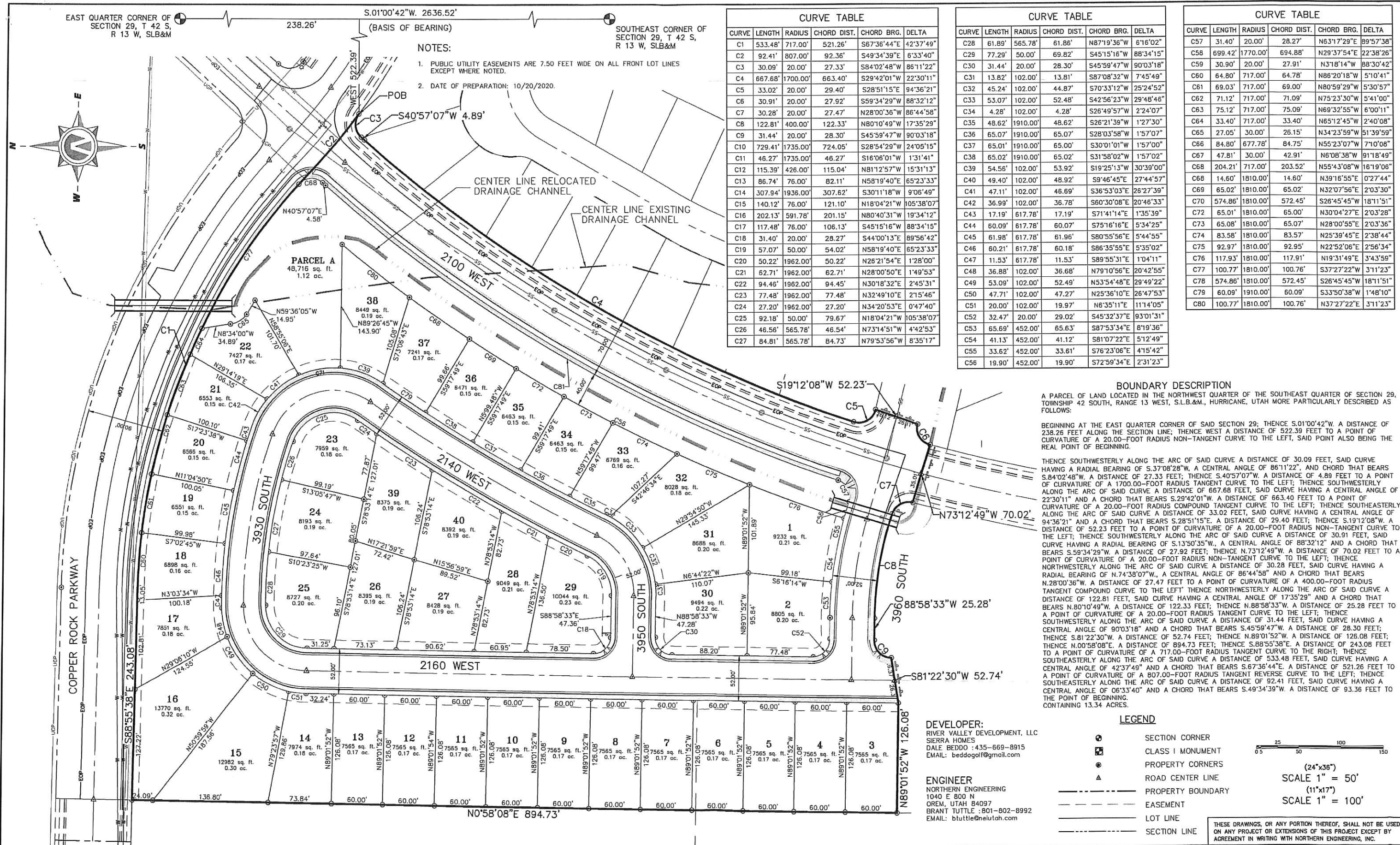
Northern
ENGINEERING INC
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

CORDERO PHASE I
PLAT A SUBDIVISION

MASTER PLAN
HURRICANE, UTAH

JOB NO.
03-16-052
SHEET NO.
1-2



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C1	533.48'	717.00'	521.26'	S67°36'44"E	42°37'49"
C2	92.41'	807.00'	92.36'	S49°34'39"E	6°33'40"
C3	30.09'	20.00'	27.33'	S84°02'48"W	86°11'22"
C4	667.68'	1700.00'	663.40'	S29°42'01"W	22°30'11"
C5	33.02'	20.00'	29.40'	S28°51'15"E	94°36'21"
C6	30.91'	20.00'	27.92'	S59°34'29"W	88°32'12"
C7	30.28'	20.00'	27.47'	N28°00'36"W	86°44'58"
C8	122.81'	400.00'	122.33'	N80°10'49"W	17°35'29"
C9	31.44'	20.00'	28.30'	S45°59'47"W	90°03'18"
C10	729.41'	1735.00'	724.05'	S28°54'29"W	24°05'15"
C11	46.27'	1735.00'	46.27'	S16°06'01"W	1°31'41"
C12	115.39'	426.00'	115.04'	N81°12'57"W	15°31'13"
C13	86.74'	76.00'	82.11'	N58°19'40"E	65°23'33"
C14	307.94'	1936.00'	307.62'	S30°11'18"W	9°06'49"
C15	140.12'	76.00'	121.10'	N18°04'21"W	105°38'07"
C16	202.13'	591.78'	201.15'	N80°40'31"W	19°34'12"
C17	117.48'	76.00'	106.13'	S45°15'16"W	88°34'15"
C18	31.40'	20.00'	28.27'	S44°00'13"E	89°56'42"
C19	57.07'	50.00'	54.02'	N58°19'40"E	85°23'33"
C20	50.22'	1962.00'	50.22'	N26°21'54"E	1°28'00"
C21	62.71'	1962.00'	62.71'	N28°00'50"E	1°49'53"
C22	94.46'	1962.00'	94.45'	N30°18'32"E	2°45'31"
C23	77.48'	1962.00'	77.48'	N32°49'10"E	2°15'46"
C24	27.20'	1962.00'	27.20'	N34°20'53"E	0°47'40"
C25	92.18'	50.00'	79.67'	N18°04'21"W	105°38'07"
C26	46.56'	565.78'	46.54'	N73°14'51"W	4°42'53"
C27	84.81'	565.78'	84.73'	N79°53'56"W	8°35'17"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C28	61.89'	565.78'	61.86'	N87°19'36"W	6°16'02"
C29	77.29'	50.00'	69.82'	S45°15'16"W	88°34'15"
C30	31.44'	20.00'	28.30'	S45°59'47"W	90°03'18"
C31	13.82'	102.00'	13.81'	S87°08'32"W	7°45'49"
C32	45.24'	102.00'	44.87'	S70°33'12"W	25°24'52"
C33	53.07'	102.00'	52.48'	S42°56'23"W	29°48'46"
C34	4.28'	102.00'	4.28'	S26°49'57"W	2°24'07"
C35	48.62'	1910.00'	48.62'	S26°21'39"W	1°27'30"
C36	65.07'	1910.00'	65.07'	S28°03'58"W	1°57'07"
C37	65.01'	1910.00'	65.00'	S30°01'01"W	1°57'00"
C38	65.02'	1910.00'	65.02'	S31°58'02"W	1°57'02"
C39	54.56'	102.00'	53.92'	S19°25'13"W	30°39'00"
C40	49.40'	102.00'	48.92'	S9°46'45"E	27°44'57"
C41	47.11'	102.00'	46.69'	S36°53'03"E	26°27'39"
C42	36.99'	102.00'	36.78'	S60°30'08"E	20°46'33"
C43	17.19'	617.78'	17.19'	S71°41'14"E	1°35'39"
C44	60.09'	617.78'	60.07'	S75°16'16"E	5°34'25"
C45	61.98'	617.78'	61.96'	S80°55'56"E	5°44'55"
C46	60.21'	617.78'	60.18'	S86°35'55"E	5°35'02"
C47	11.53'	617.78'	11.53'	S89°55'31"E	1°04'11"
C48	36.88'	102.00'	36.68'	N79°10'56"E	20°42'55"
C49	53.09'	102.00'	52.49'	N53°54'48"E	29°49'22"
C50	47.71'	102.00'	47.27'	N25°36'10"E	26°47'53"
C51	20.00'	102.00'	19.97'	N6°35'11"E	1°14'05"
C52	32.47'	20.00'	29.02'	S45°32'37"E	93°01'31"
C53	65.69'	452.00'	65.63'	S87°53'34"E	8°19'36"
C54	41.13'	452.00'	41.12'	S81°07'22"E	5°12'49"
C55	33.62'	452.00'	33.61'	S76°23'06"E	4°15'42"
C56	19.90'	452.00'	19.90'	S72°59'34"E	2°31'23"

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD DIST.	CHORD BRG.	DELTA
C57	31.40'	20.00'	28.27'	N63°17'29"E	89°57'38"
C58	699.42'	1770.00'	694.88'	N29°37'54"E	22°38'26"
C59	30.90'	20.00'	27.91'	N31°8'14"W	88°30'42"
C60	64.80'	717.00'	64.78'	N86°20'18"W	5°10'41"
C61	69.03'	717.00'	69.00'	N80°59'29"W	5°30'57"
C62	71.12'	717.00'	71.09'	N75°23'30"W	5°41'00"
C63	75.12'	717.00'	75.09'	N69°32'55"W	6°00'11"
C64	33.40'	717.00'	33.40'	N65°12'45"W	2°40'08"
C65	27.05'	30.00'	26.15'	N34°23'59"W	51°39'59"
C66	84.80'	677.78'	84.75'	N55°23'07"W	7°10'08"
C67	47.81'	30.00'	42.91'	N68°08'38"W	91°18'49"
C68	204.21'	717.00'	203.52'	N55°43'08"W	16°19'06"
C69	65.02'	1810.00'	65.02'	N32°07'56"E	2°03'30"
C70	574.86'	1810.00'	572.45'	S26°45'45"W	18°11'51"
C71	65.01'	1810.00'	65.00'	N30°04'27"E	2°03'28"
C72	65.08'	1810.00'	65.07'	N28°00'55"E	2°03'36"
C73	83.58'	1810.00'	83.57'	N25°39'45"E	2°38'44"
C74	92.97'	1810.00'	92.95'	N22°52'06"E	2°56'34"
C75	117.93'	1810.00'	117.91'	N19°31'49"E	3°43'59"
C76	100.77'	1810.00'	100.76'	S37°27'22"W	3°11'23"
C77	574.86'	1810.00'	572.45'	S26°45'45"W	18°11'51"
C78	60.09'	1910.00'	60.09'	S33°50'38"W	1°48'10"
C79	100.77'	1810.00'	100.76'	N37°27'22"E	3°11'23"

BOUNDARY DESCRIPTION
A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 29, TOWNSHIP 42 SOUTH, RANGE 13 WEST, S.L.B.&M., HURRICANE, UTAH MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE EAST QUARTER CORNER OF SAID SECTION 29; THENCE S.01°00'42"W. A DISTANCE OF 238.26 FEET ALONG THE SECTION LINE; THENCE WEST A DISTANCE OF 522.39 FEET TO A POINT OF CURVATURE OF A 20.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT, SAID POINT ALSO BEING THE REAL POINT OF BEGINNING.

THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 30.09 FEET, SAID CURVE HAVING A RADIAL BEARING OF S.37°08'28"W, A CENTRAL ANGLE OF 86°11'22", AND CHORD THAT BEARS S.84°02'48"W. A DISTANCE OF 27.33 FEET; THENCE S.40°57'07"W. A DISTANCE OF 4.89 FEET TO A POINT OF CURVATURE OF A 1700.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 667.68 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 22°30'11" AND A CHORD THAT BEARS S.29°42'01"W. A DISTANCE OF 663.40 FEET TO A POINT OF CURVATURE OF A 20.00-FOOT RADIUS COMPOUND TANGENT CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 33.02 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 94°36'21" AND A CHORD THAT BEARS S.28°51'15"E. A DISTANCE OF 29.40 FEET; THENCE S.19°12'08"W. A DISTANCE OF 52.23 FEET TO A POINT OF CURVATURE OF A 20.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 30.91 FEET, SAID CURVE HAVING A RADIAL BEARING OF S.13°50'35"W, A CENTRAL ANGLE OF 88°32'12" AND A CHORD THAT BEARS S.59°34'29"W. A DISTANCE OF 27.92 FEET; THENCE N.73°12'49"W. A DISTANCE OF 70.02 FEET TO A POINT OF CURVATURE OF A 20.00-FOOT RADIUS NON-TANGENT CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 30.28 FEET, SAID CURVE HAVING A RADIAL BEARING OF N.74°38'07"W, A CENTRAL ANGLE OF 86°44'58" AND A CHORD THAT BEARS N.28°00'36"W. A DISTANCE OF 27.47 FEET TO A POINT OF CURVATURE OF A 400.00-FOOT RADIUS TANGENT COMPOUND CURVE TO THE LEFT THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 122.81 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 17°35'29" AND A CHORD THAT BEARS N.80°10'49"W. A DISTANCE OF 122.33 FEET; THENCE N.88°58'33"W. A DISTANCE OF 25.28 FEET TO A POINT OF CURVATURE OF A 20.00-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 31.44 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 90°03'18" AND A CHORD THAT BEARS S.45°59'47"W. A DISTANCE OF 28.30 FEET; THENCE S.81°22'30"W. A DISTANCE OF 52.74 FEET; THENCE N.89°01'52"W. A DISTANCE OF 126.08 FEET; THENCE N.00°58'08"E. A DISTANCE OF 894.73 FEET; THENCE S.88°55'38"E. A DISTANCE OF 243.08 FEET TO A POINT OF CURVATURE OF A 717.00-FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 533.48 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 42°37'49" AND A CHORD THAT BEARS S.67°36'44"E. A DISTANCE OF 521.26 FEET TO A POINT OF CURVATURE OF A 807.00-FOOT RADIUS TANGENT REVERSE CURVE TO THE LEFT; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 92.41 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 06°33'40" AND A CHORD THAT BEARS S.49°34'39"W. A DISTANCE OF 93.36 FEET TO THE POINT OF BEGINNING.

CONTAINING 13.34 ACRES.

DEVELOPER:
RIVER VALLEY DEVELOPMENT, LLC
SIERRA HOMES
DALE BEDDO : 435-669-8915
EMAIL: beddogolf@gmail.com

ENGINEER:
NORTHERN ENGINEERING
1040 E. 800 N
OREM, UTAH 84097
BRANT TUTTLE : 801-802-8992
EMAIL: btuttle@netiutah.com

LEGEND

- SECTION CORNER
- CLASS I MONUMENT
- PROPERTY CORNERS
- ROAD CENTER LINE
- PROPERTY BOUNDARY
- EASEMENT
- LOT LINE
- SECTION LINE

(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

NO.	REVISIONS	BY	DATE	REV. COGO FILE	DATE
5					
4					
3					
2					
1					



**Northern
ENGINEERING INC**
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

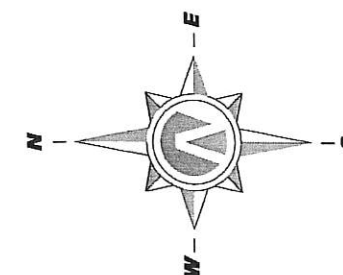
1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

CORDERO PHASE ONE

PRELIMINARY PLAT	JOB NO. 3-16-052
HURRICANE, UTAH	SHEET NO. 2-1

CONSTRUCTION NOTES

- 1 NEW 8" PVC C-900 WATER MAIN
- 2 NEW 3/4" WATER SERVICE WITH METER AND YOKE AND 2" X 4" MARKER AT END OF SERVICE
- 3 NEW FIRE HYDRANT WITH 6" VALVE
- 4 NEW 8" GATE VALVE
- 5 NEW 8" TEE
- 6 NEW 8" PLUG
- 7 NEW 12" POLY-WRAPPED DI WATER MAIN
- 8 NEW 12" BUTTERFLY VALVE
- 9 NEW 12" X 8" TEE
- 10 NEW 12" PLUG
- 11 NEW 8" PVC SEWER PIPE
- 12 NEW 48" SEWER MANHOLE
- 13 NEW 4" SEWER LATERAL WITH PLUG STUBBED UP 3' BELOW ROUGH GRADE MARKED WITH T-POST 3' ABOVE GRADE. MATCH 4" PIPE CROWN WITH 6" MAIN CROWN
- 14 NEW 8" SEWER CAP
- 15 NEW SECONDARY POWER BOX
- 16 HANDICAP ACCESS RAMP
- 17 NEW STREET LIGHT
- 18 NEW STOP SIGN/STREET SIGN/STOP BAR
- 19 NEW STORM DRAIN INLET BOX
- 20 NEW STORM DRAIN 60" MANHOLE
- 21 NEW 15" RCP STORM DRAIN LATERAL
- 22 NEW 15" RCP STORM DRAIN MAIN
- 23 NEW 18" RCP APRON WITH 150 SF OF 12" RIPRAP TO BE PLACED AT OUTLET
- 24 NEW POWER POLE
- 25 NEW STREETLIGHT BOX
- 26 NEW 37.5 KVA TRANSFORMER
- 27 NEW 2 1/2" PVC STUB FOR FUTURE
- 28 NEW 3-PHASE VAULT
- 29 NEW 60" SEWER MANHOLE
- 30 NEW 4" PVC STUB FOR 3-PH. TO NEXT VAULT
- 31 NEW 4" PVC STUB FOR FUTURE PHASE
- 32 NEW 50 KVA TRANSFORMER
- 33 NEW 75 KVA TRANSFORMER
- 34 NEW 3" PVC WITH 350 MCM TRIPLEX
- 35 NEW 3" PVC WITH 500 MCM TRIPLEX
- 36 NEW 4" PVC WITH 1/2 15 KV 3-PHASE
- 37 NEW 4" PVC FOR FUTURE
- 38 NEW 2 1/2" PVC FOR FUTURE
- 39 NEW 2 1/2" PVC WITH 1/2 15 KV
- 40 NEW 2" PVC WITH #4 TRIPLEX
- 41 NEW 1" PVC WITH #10 COPPER
- 42 NEW STORM DRAIN COMBO BOX
- 43 NEW 15" PLUG
- 44 INSTALL 3 END OF STREET OM4-1 SIGNS
- 45 NEW STOP LINE & FIRE HYDRANT CURB PAINTING (SEE DETAIL ON SHEET DT-8)
- 46 SPEED LIMIT SIGN
- 47 NEW 12"x8" CROSS
- 48 FUTURE 12" POLY-WRAPPED WATER MAIN
- 49 EXISTING 12" POLY-WRAPPED WATER MAIN
- 50 EXISTING 8" PVC C-900 WATER MAIN
- 51 EXISTING 12" PVC SEWER PIPE
- 52 NEW 10" PVC SEWER PIPE
- 53 NEW 60" SEWER MANHOLE
- 54 NEW 5'x12' PRECAST CONC. BOX CULVERT
- 55 NEW 8" POLY-WRAPPED DI WATER MAIN
- 56 EXISTING 8" WCWD WATER LINE TO BE RELOCATED



0 25 50 100 150

(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'

LEGEND

- SECTION CORNER
- CLASS I MONUMENT
- PROPERTY CORNERS
- ROAD CENTER LINE
- - - - - PROPERTY BOUNDARY
- - - - - EASEMENT
- - - - - LOT LINE
- - - - - SECTION LINE

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.



5	DESIGNED BY:	DATE:
4	DRAWN BY:	DATE:
3	CHECKED BY:	DATE:
2	APPROVED:	DATE:
1	COCO FILE:	DATE:
NO.	REVISIONS	BY DATE REV. COGO FILE:
K:\1-16-052-00 SPILSBURY-COPPER ROCK\LOAD\2020 DESIGN\PHASE ONE\2020-PHASE 1 PRELIM BASE-10-12-20.dwg 10/23/2020 9:03 AM		



Northern
ENGINEERING INC
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

CORDERO PHASE ONE

PRELIMINARY UTILITY PLAN

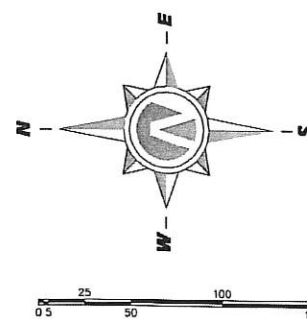
HURRICANE, UTAH









JOB NO.
3-16-052
SHEET NO.
2-2

238.26'	S.01°00'42"W. 2636.52'
	(BASIS OF BEARING)

NOTES:

1. PUBLIC UTILITY EASEMENTS ARE 7.50 FEET WIDE ON ALL FRONT LOT LINES EXCEPT WHERE NOTED.
2. DATE OF PREPARATION: 10/20/2020.



	SECTION CORNER
	CLASS I MONUMENT
	PROPERTY CORNERS
	ROAD CENTER LINE
	PROPERTY BOUNDARY
	EASEMENT
	LOT LINE
	SECTION LINE

THESE
ON AN

ENGINEER
NORTHERN ENGINEERING
1040 E 800 N
OREM, UTAH 84097
BRANT TUTTLE : 801-802-8992
EMAIL: btuttle@neiutah.com

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5				DESIGNED BY:	DATE:
4				DRAWN BY:	DATE:
3				CHECKED BY:	DATE:
2				APPROVED:	DATE:
1				COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE	REV. COGO FILE:	DATE:

K:\13-052-00 SPILSBURY-COPPER ROCK\CAD\2020 DESIGN\PHASE ONE\2020-PHASE 1 PRELIM BASE-10-12-20.dwg 10/23/2020 9:03 AM



Northern
ENGINEERING INC
ENGINEERING—LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

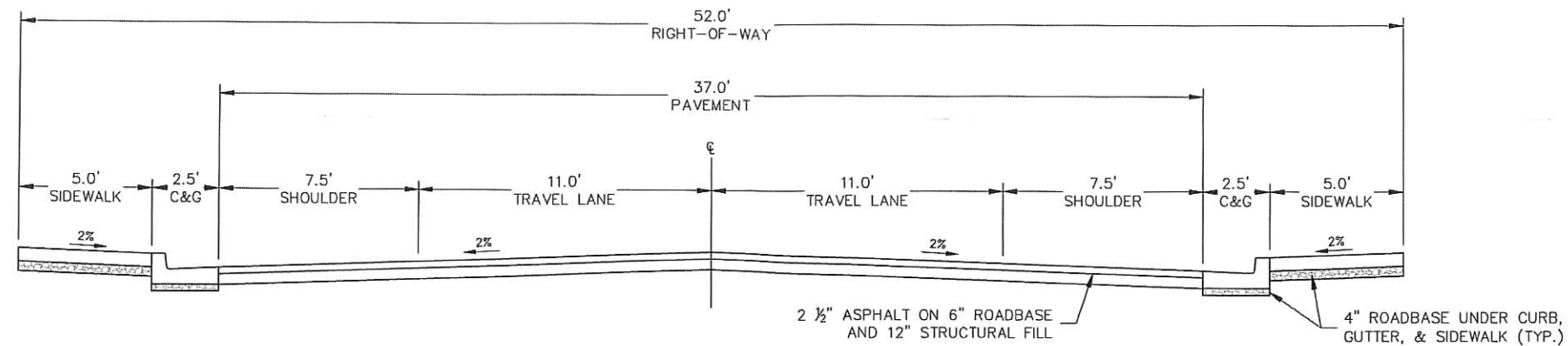
CORDERO PHASE ONE

PRELIMINARY GRADING PLAN

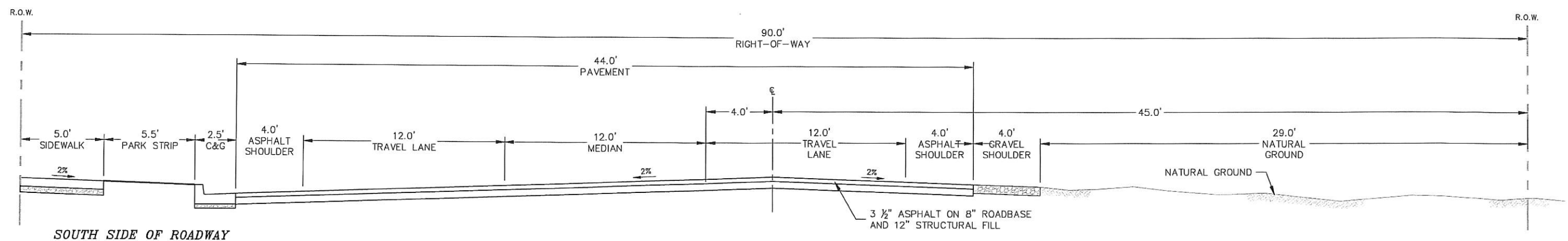
HURRICANE, UTAH

JOB NO.
3-16-052

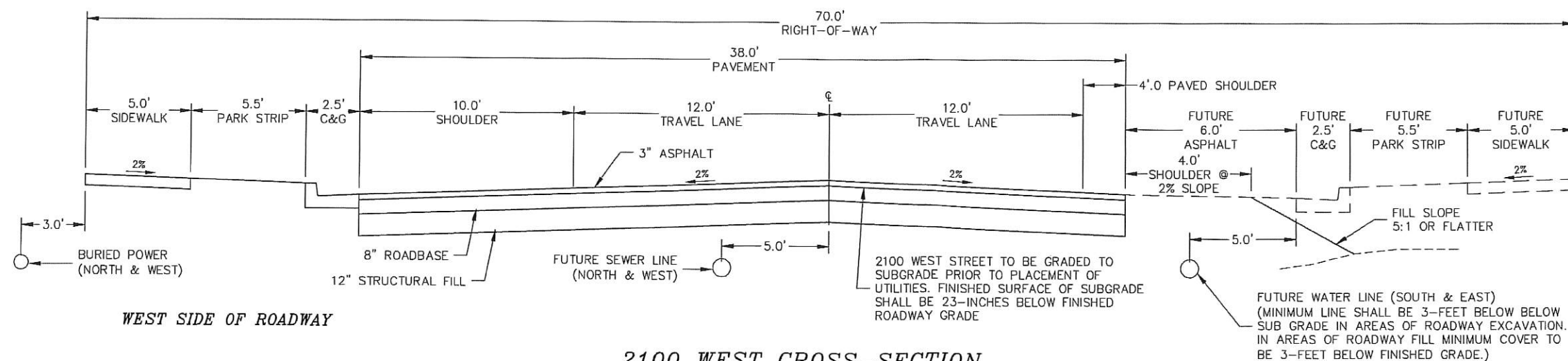
SHEET NO.
2-3



**RESIDENTIAL STANDARD
CROSS-SECTION**



MINOR ARTERIAL (3-LANE) CROSS-SECTION
COPPER ROCK PARKWAY FROM 2100 WEST TO
WEST SIDE OF CORDERO PHASE 1



2100 WEST CROSS-SECTION
• FROM COPPER ROCK PARKWAY
TO 3960 SOUTH (2100 WEST)

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
1		REV. COGO FILE:	DATE:



**Northern
ENGINEERING INC**
ENGINEERING-LAND PLANNING
CONSTRUCTION MANAGEMENT

1040 E. 800 N.
OREM, UTAH 84097
(801) 802-8992

**CORDERO PHASE I
PLAT A SUBDIVISION**

ROAD CROSS-SECTIONS
HURRICANE, UTAH

JOB NO.
03-16-052
SHEET NO.
DT-01