



**RIVERDALE CITY PLANNING COMMISSION AGENDA**  
**CIVIC CENTER - 4600 S. WEBER RIVER DR.**  
**TUESDAY – OCTOBER 13, 2020**

**6:00 p.m. – Planning Commission Work Session Meeting (Council Chambers)**

The purpose of the work session is to review maps, plans, paperwork, etc. No motions or decisions will be considered during this session, which is open to the public.

**Planning Commission Work Session Items** -Planning Commission Training *to be determined*

**6:30 p.m. – Planning Commission Meeting (Council Chambers)**

**A. Welcome & Roll Call**

**B. Public Comment**

*This is an opportunity to address the Planning Commission regarding your concerns or ideas. Please try to limit your comments to three minutes. No action will be taken during public comment.*

**C. Presentations and Reports**

**D. Consent Items**

1. Consideration of Meeting Minutes from:  
September 22, 2020 Work Session  
September 22, 2020 Regular Meeting

**E. Action Items**

1.
  - a. **Public hearing** to receive and consider comments regarding proposed amendments to Title 10 of Riverdale City Code, specifically Chapters 13D, 16, 21, 25, and 28.
  - b. Consideration of a recommendation to City Council for approval of proposed amendments to Title 10 of Riverdale City Code, specifically Chapters 13D, 16, 21, 25, and 28.
2. Consideration of recommendation to City Council for approval of amended small subdivision plat known as Riverdale Center VI Subdivision, property located approximately 4043 South Riverdale, Riverdale, Utah 84405; requested by Anderson Wahlen & Associates, Inc and CCA.
3. Consideration of recommendation to City Council for approval of amended small subdivision plat known as RMRE 1050 West Retail Lot 1 Amended Subdivision, property located approximately 4978 South 1050 West, Riverdale, Utah 84405; requested by Anderson Wahlen & Associates, Inc and CCA.
4. Consideration of Preliminary Subdivision Site Plan and Plat approval of Riverdale Landing Phase 2 Subdivision, property located approximately 400-500 West Riverdale Road, Riverdale, Utah 84405, as requested by Anderson Wahlen & Associates, Inc and the DRH Company.
5. Consideration of Preliminary Site Plan approval for Raising Cane's Restaurant, property located approximately 4168 South Riverdale Road, Riverdale, Utah 84405, as requested by Kimley-Horn and Raising Cane's Restaurants, LLC.

*All items presented by: Mike Eggett, Community Development*

**F. Discretionary Items**

**G. Adjournment**

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In compliance with the Americans with Disabilities Act, persons in need of special accommodation should contact the City Offices (801) 394-5541 at least 48 hours in advance of the meeting.

**Certificate of Posting**

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Riverdale City limits on this 9<sup>th</sup> day of October, 2020 at the following locations: 1) Riverdale City Hall Noticing Board 2) the City website at <http://www.riverdalecity.com/> 3) the Public Notice Website: <http://www.utah.gov/pmn/index.html> and 4) A copy was also provided to the Standard-Examiner.

Shalee Nay  
Riverdale City Recorder



**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 13, 2020**

**AGENDA ITEM: D1**

**SUBJECT:** Consideration of Meeting Minutes.

**PRESENTER:** Shalee Nay, City Recorder

**INFORMATION:** A. [September 22, 2020 Work Session](#)  
B. [September 22, 2020 Regular Meeting](#)

**[BACK TO AGENDA](#)**

Minutes of the **Work Session** of the Riverdale City **Planning Commission** held Tuesday, September 22, 2020 at 6:00 p.m., at the Civic Center in the Administrative Offices, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

**Present:**

|                 |  |
|-----------------|--|
| Commissioners:  | Amy Ann Spiers, Chairman<br>Blair Jones, Commissioner<br>Rikard Hermann, Commissioner<br>Wanda Ney, Commissioner<br>Suzette DeMar, Commissioner<br>Kent Anderson, Commissioner |
| City Employees: | Mike Eggett, Community Development<br>Shalee Nay, City Recorder  |
| Excused:        | Robert Wingfield, Commissioner   |
| Visitors:       | Russell Long                      Tyler Lemmons                      Jared Nielson   |

The Planning Commission Work Session meeting began at 6:00 p.m. Chairman Spiers welcomed the Planning Commissioners to the Work Session and stated for the record that Commissioner Wingfield is excused from tonight's meeting.

**Presentations and Reports:**

Chairman Spiers turned the time over to Mike Eggett, the Community Development Director who reported the following:

- There will be public hearings on October 13, 2020.
- There is a 3-lot subdivision request coming.
- There are two site plan requests within the 550 West RDA area.
- There is also two, 2 lot subdivision requests coming that are next to Ross and Staples.
- Zeppes next to Buffalo Wild Wings is progressing.
- The Starbucks is all completed, just needing a business license.
- There is a site plan coming next to Lowes.
- There are some potential deals on the West Bench for a land use developer.

**Consent Items:**

Chairman Spiers asked for any changes or corrections to the minutes for July 28, 2020 Regular and Work Session Planning Commission meeting. There were no requested changes.

**Action Items:**

Chairman Spiers invited any discussion on the first part of the first action item, Consideration of recommendation to City Council for Site Plan Amendment at Greenhill Apartments at Riverdale, approximately 4189 South 300 West, Riverdale, Utah 84405. Requested by Highmark Construction – Tyler Lemmons.

Chairman Spiers also invited discussion on the second part of the first action item, Consideration of Conditional Use Permit request for the addition of new residential units in proposed apartment building at Greenhill Apartments at Riverdale, approximately 4189 South 300 West, Riverdale, Utah 84405. Requested by Highmark Construction – Tyler Lemmons.

Mike Eggett, Community Development, went over the executive summary which explained, Highmark Construction/NXT Property Management Group has applied for a Multiple-Family Residential Site Plan Amendment review and approval for apartment and building addition and pool patio amenities to the Greenhill at Riverdale Apartments property located at approximately 4189 South 3000 West in a Multiple Family Residential R-5 zone. This site had been the subject of a previous amended site plan and plat approval over the last few years; however, that project never came to full fruition. The proposed amended site plan is before the Planning Commission for final review and approval of the proposed updated site plan. A public hearing is not required to consider this proposed site plan and plat. Following the presentation and discussion of the amended site plan proposal, the Planning Commission may make a motion to recommend City Council approval of the amended site plan, final approval with additional requirements, table the matter for a later review, or not recommend City Council approval of the proposed Greenhill Apartments building additions amended site plan with the appropriate findings of fact. Should this proposal receive final approval, the amended

Chairman Spiers asked if this development is going to be going where the existing development is. Mr. Eggett noted that that is correct. It is going where the existing property is.

Commissioner Anderson asked if there is going to be sufficient parking for the forty units that are in the site plan. Mr. Eggett stated that they hit the city code right on the number. It is going to have sufficient parking.

Commissioner Ney asked if there is only one way into the apartments or if there is more than one entrance. Mr. Eggett stated that there is going to be two access points. There is going to be a design with another access point built in.

Commissioner Hermann asked if this is going to be considered as affordable housing. He also stated that he knows the city is required to have a certain amount of affordable housing developments. Mr. Eggett stated that it is going to be \$800-\$850, so that amount does qualify as affordable housing units.

Chairman Spiers invited discussion on the first part of the second action item, Discussion regarding proposed amendments to multiple chapters found within Title 10 of Riverdale City Code.

Chairman Spiers then invited discussion on the second part of the second action item, Consideration to set Public Hearing on October 13, 2020, for Proposed Amendments to Title 10 of Riverdale City Code, specifically Chapters 13D, 16, 21, 25, and 28.

Mike Eggett went over the summary of reason for the code change:

- Title 10, Chapter 13D – Tag associated with Low-Impact Transition Overlay Zone should be “LIT” and not “C-L”.

- Title 10, Chapter 14 – Suggested revision for accessory buildings to only be allowed to be one story in height to halt the potential modification of an accessory building into an above-garage apartment/rental unit use within an accessory building. Requests for modification of an accessory building to this format has occurred in the past and these uses are currently a violation of all residential zoning codes within Riverdale City.

- Title 10, Chapter 16 – Suggested changes for commercial zones signage for signage heights along a freeway/interstate due to requests from property owners along freeway/interstate, as well as future planning for additional development needs and options for commercial signage along a freeway/interstate in RDA areas and other developed/developable areas within the current commercial district or future planned commercial areas.

- Title 10, Chapter 21 – Changes need to be made in the performance security section of the chapter due to updated State Codes adopted in February 2019 as affecting performance security rules for all cities to follow in working with developers, as found in State Code 10-9a-604.5.

- Title 10, Chapter 25 – Changes need to be made in the performance security section of the chapter due to updated State Codes adopted in February 2019 as affecting performance security rules for all cities to follow in working with developers, as found in State Code 10-9a-604.5.

- Title 10, Chapter 28 – Changes need to be made to the landscaping ordinance language regarding landscaping escrow on residential properties to match previously amended language approved, as found in City Code 10-14-12. Also included a small change to definition of “Hardscape Space” to include “artificial grass/turf” since it is a non-irrigable surface and more in alignment with the other materials listed in “Hardscape Space” definition.

**Discretionary Items:**

- . There were no discretionary items.

**Adjourn:**

Having no further business to discuss the Planning Commission adjourned at 6:30 p.m. to convene into their Regular Planning Commission Meeting located in the Council Chambers.

Minutes of the Regular Meeting of the Riverdale City Planning Commission held Tuesday, September 22, 2020, at 6:30 p.m., at the Civic Center, 4600 S Weber River Dr., Riverdale City, Weber County, Utah.

**Present:** Commissioners: Amy Ann Spiers, Chairman  
Blair Jones, Commissioner  
Rikard Hermann, Commissioner  
Wanda Ney, Commissioner  
Suzette DeMar, Commissioner  
Kent Anderson, Commissioner

City Employees: Mike Eggett, Community Development  
Shalee Nay, City Recorder

Excused: Robert Wingfield, Commissioner

Visitors: Russell Long Tyler Lemmons Jared Nielson

**A. Welcome & Roll Call**

The Planning Commission Meeting began at 6:30p.m. Chairman Spiers welcomed everyone to the meeting and stated for the record that all members of the Planning Commission were present with exception of Commissioner Wingfield who is excused.

**B. Public Comment**

Chairman Spiers asked for any public comments and there were not any.

**C. Presentations and Reports**

Chairman Spiers turned the time over to Mr. Eggett who reported the following:

- There will be public hearings on October 13, 2020.
- There is a 3-lot subdivision request coming.
- There are two site plan requests within the 550 West RDA area.
- There is also two, 2 lot subdivision requests coming that are next to Ross and Staples.
- Zeppes next to Buffalo Wild Wings is progressing.
- The Starbucks is all completed, just needing a business license.
- There is a site plan coming next to Lowes.
- There are some potential deals on the West Bench for a land use developer.

**D. Consent Items**

**1. Consideration to approve meeting minutes from the Planning Commission Meeting held on July 28, 2020**

Chairman Spiers asked for changes or corrections to the Planning Commission meeting minutes for the July 28, 2020 Work Session and Regular Meeting. There were no requested changes.

**MOTION:** Commissioner Jones moved to approve the meeting minutes. Commissioner Ney seconded the motion.

There was no discussion regarding this motion.

**E. Action Items**

1. a. Consideration of recommendation to City Council for Site Plan Amendment at Greenhill Apartments at Riverdale, approximately 4189 South 300 West, Riverdale, Utah 84405. Requested by Highmark Construction – Tyler Lemmons.

Mike Eggett, Community Development Director, went over the executive summary which explained, Highmark Construction/NXT Property Management Group has applied for a Multiple-Family Residential Site Plan Amendment review and approval for apartment and building addition and pool patio amenities to the Greenhill at Riverdale Apartments property located at approximately 4189 South 3000 West in a Multiple Family Residential R-5 zone. This site had been the subject of a previous amended site plan and plat approval over the last few years; however, that project never came to full fruition. The proposed amended site plan is before the Planning Commission for final review and approval of the proposed updated site plan. A public hearing is not required to consider this proposed site plan and plat. Following the presentation and discussion of the amended site plan proposal, the Planning Commission may make a motion to recommend City Council approval of the amended site plan, final approval with additional requirements, table the matter for a later review, or not recommend City Council approval of the proposed Greenhill Apartments building additions amended site plan with the appropriate findings of fact. Should this proposal receive final approval, the amended site plan would be sent on to the City Council for Final Amended Site Plan approval consideration.

Commissioner Anderson asked with the new exit point, if they are concerned about residents trying to still go left even though there is an island there. Mr. Eggett stated that the Public Works Director, Engineer and Police Chief had no concerns.

Commissioner Ney asked if they are going to put restrooms next to the pool they are going to have. Tyler Lemmons stated that they are going to have restrooms built. Commissioner Ney also asked how many apartments there will be when the project is all said and done. Russell Long stated that they are removing one building that is from the 1950's and is old. When the project is done, there will be 145 unit's totals. Commissioner Ney also asked if they are going to have some sort of property manager that will live onsite. Russell Long stated that they go through a management company, NXT, where there is always at least 3 to 4 people onsite with exception of nighttime.

**MOTION:** Commissioner Hermann moved to recommend with a favorable recommendation to the city council with the. Commissioner Ney seconded the motion.

There was no discussion on this motion.

**ROLL CALL VOTE:** All commissioners voted in favor. Motion passes.

**b. Consideration of Conditional Use Permit request for the addition of new residential units in proposed apartment building at Greenhill Apartments at Riverdale, approximately 4189 South 300 West, Riverdale, Utah 84405. Requested by Highmark Construction Tyler Lemmons.**

Mr. Eggett went over the executive summary which explained, This Development/Residential Subdivision Site Plan review is regulated under City Code 10-21 "Subdivisions" and City Code 10-9F "Multiple-Family Residential Zone (R-5)". This proposal is also affected by City Codes 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and other various development standards found within the City Code. The petitioner's properties are currently listed in the County Records under the ownership of Riverdale Apartment Partners. These properties have been maintained as multiple-family residential apartments and associated service buildings for many years. Highmark Construction/NXT Property Management Group has applied for a Multiple-Family Residential Site Plan Amendment review and approval for apartment an building addition and pool patio amenities to the Greenhill at Riverdale Apartments property located at approximately 4189 South 3000 West in a Multiple Family Residential R-5 zone. This site had been the subject of a previous amended site plan and plat approval over the last few years; however, that project never came to full fruition. The proposed amended site plan is before the Planning Commission for final review and approval of the proposed updated site plan. A public hearing is not required to consider this proposed site plan and plat. Following the presentation and discussion of the amended site plan proposal, the Planning Commission may make a motion to recommend City Council approval of the amended site plan, final approval with additional requirements, table the matter for a later review, or not recommend City Council approval of the proposed Greenhill Apartments building additions amended site plan with the appropriate findings of fact. Should this proposal receive final approval, the amended site plan would be sent on to the City Council for Final Amended Site Plan approval consideration.

**MOTION** Commissioner Jones moved to approve conditional use permit for the addition of new residential units in proposed apartment building at Greenhill Apartments. Commissioner Anderson seconded the motion. All commissioners voted in favor. Motion passes

There was no discussion on this motion.

2. a. Discussion regarding proposed amendments to multiple chapters found within Title 10 of Riverdale City Code.

b. Consideration to set Public Hearing on October 13, 2020, for Proposed Amendments to Title 10 of Riverdale City Code, specifically Chapters 13D, 16, 21, 25, and 28.

Mike Eggett went over the summary of Code Changes, which explained:

- Title 10, Chapter 13D – Tag associated with Low-Impact Transition Overlay Zone should be “LIT” and not “C-L”.
- Title 10, Chapter 14 – Suggested revision for accessory buildings to only be allowed to be one-story in height to halt the potential modification of an accessory building into an above-garage apartment/rental unit use within an accessory building. Requests for modification of an accessory building to this format has occurred in the past and these uses are currently a violation of all residential zoning codes within Riverdale City.
- Title 10, Chapter 16 – Suggested changes for commercial zones signage for signage heights along a freeway/interstate due to requests from property owners along freeway/interstate, as well as future planning for additional development needs and options for commercial signage along a freeway/interstate in RDA areas and other developed/developable areas within the current commercial district or future planned commercial areas.
- Title 10, Chapter 21 – Changes need to be made in the performance security section of the chapter due to updated State Codes adopted in February 2019 as affecting performance security rules for all cities to follow in working with developers, as found in State Code 10-9a-604.5.
- Title 10, Chapter 25 – Changes need to be made in the performance security section of the chapter due to updated State Codes adopted in February 2019 as affecting performance security rules for all cities to follow in working with developers, as found in State Code 10-9a-604.5.
- Title 10, Chapter 28 – Changes need to be made to the landscaping ordinance language regarding landscaping escrow on residential properties to match previously amended language approved, as found in City Code 10-14-12. Also included a small change to definition of “Hardscape Space” to include “artificial grass/turf” since it is a non-irrigable surface and more in alignment with the other materials listed in “Hardscape Space” definition; further removed a redundancy of the term “planters” from “Hardscape Space” definition.

**MOTION:** Commissioner Jones moved to set a public hearing on October 13, 2020, for proposed Amendments to Title 10 of Riverdale City Code. Commissioner Hermann seconded the motion.

There was no discussion on this motion.

**ROLL CALL VOTE:** All commissioners voted in favor. Motion passes.

F. Discretionary Items

Mike Eggett noted that he had attended Rodger Worthens, City Administrator, viewing and funeral over the weekend. He also noted that it was very nice and stated that Rodger was loved by many and will be missed.

G. Adjournment

**MOTION:** There being no further business to discuss, Commissioner Jones moved to adjourn the meeting. Commissioner Anderson seconded the motion; all voted in favor.

The meeting adjourned at 7:18 p.m..

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Amy Spiers  
Planning Commission Chair

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Shalee Nay  
City Recorder

Date Approved:

**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 13, 2020**

**AGENDA ITEM: E1B**

**SUBJECT:** Consideration of a recommendation to City Council for approval of proposed amendments to Title 10 of Riverdale City Code, specifically Chapters 13D, 16, 21, 25, and 28.

**PRESENTER:** Mike Eggett, Community Development

**INFORMATION:**

- A. [Summ Reas Code Change – 20200902](#)
- B. [USC 10-9a-S604.5](#)
- C. [Title 10 Propose Amend Lang \(LIT, Signs, Bonds, Landscape\) – 20200901](#)
- D. [Title 10 Propose Amend Clean \(LIT, Signs, Bonds, Landscape\) – 20200901](#)
- E. [Dept Staff Reports – Title 10 Various Propose Amend \[20200904\]](#)

**[BACK TO AGENDA](#)**

## Summary of Reasoning for Proposed Code Change

- Title 10, Chapter 13D – Tag associated with Low-Impact Transition Overlay Zone should be “LIT” and not “C-L”.
- Title 10, Chapter 14 – Suggested revision for accessory buildings to only be allowed to be one-story in height to halt the potential modification of an accessory building into an above-garage apartment/rental unit use within an accessory building. Requests for modification of an accessory building to this format have occurred in the past and these uses are currently a violation of all residential zoning codes within Riverdale City.
- Title 10, Chapter 16 – Suggested changes for commercial zones signage for signage heights along a freeway/interstate due to requests from property owners along freeway/interstate, as well as future planning for additional development needs and options for commercial signage along a freeway/interstate in RDA areas and other developed/developable areas within the current commercial district or future planned commercial areas.
- Title 10, Chapter 21 – Changes need to be made in the performance security section of the chapter due to updated State Codes adopted in February 2019 as affecting performance security rules for all cities to follow in working with developers, as found in State Code 10-9a-604.5.
- Title 10, Chapter 25 – Changes need to be made in the performance security section of the chapter due to updated State Codes adopted in February 2019 as affecting performance security rules for all cities to follow in working with developers, as found in State Code 10-9a-604.5.
- Title 10, Chapter 28 – Changes need to be made to the landscaping ordinance language regarding landscaping escrow on residential properties to match previously amended language approved, as found in City Code 10-14-12. Also included a small change to definition of “Hardscape Space” to include “artificial grass/turf” since it is a non-irrigable surface and more in alignment with the other materials listed in “Hardscape Space” definition; further removed a redundancy of the term “planters” from “Hardscape Space” definition. Changes are also proposed to the overnight parking standards on “hard surfaces” to clarify the intended purpose of this language for overnight parking per guidance from the Code Enforcement Officer and City Attorney.



**Effective 5/14/2019**

**10-9a-604.5 Subdivision plat recording or development activity before required infrastructure is completed -- Improvement completion assurance -- Improvement warranty.**

- (1) A land use authority shall establish objective inspection standards for acceptance of a landscaping or infrastructure improvement that the land use authority requires.
- (2)
  - (a) Before an applicant conducts any development activity or records a plat, the applicant shall:
    - (i) complete any required landscaping or infrastructure improvements; or
    - (ii) post an improvement completion assurance for any required landscaping or infrastructure improvements.
  - (b) If an applicant elects to post an improvement completion assurance, the applicant shall provide completion assurance for:
    - (i) completion of 100% of the required landscaping or infrastructure improvements; or
    - (ii) if the municipality has inspected and accepted a portion of the landscaping or infrastructure improvements, 100% of the incomplete or unaccepted landscaping or infrastructure improvements.
  - (c) A municipality shall:
    - (i) establish a minimum of two acceptable forms of completion assurance;
    - (ii) if an applicant elects to post an improvement completion assurance, allow the applicant to post an assurance that meets the conditions of this title, and any local ordinances;
    - (iii) establish a system for the partial release of an improvement completion assurance as portions of required landscaping or infrastructure improvements are completed and accepted in accordance with local ordinance; and
    - (iv) issue or deny a building permit in accordance with Section 10-9a-802 based on the installation of landscaping or infrastructure improvements.
  - (d) A municipality may not require an applicant to post an improvement completion assurance for:
    - (i) landscaping or an infrastructure improvement that the municipality has previously inspected and accepted;
    - (ii) infrastructure improvements that are private and not essential or required to meet the building code, fire code, flood or storm water management provisions, street and access requirements, or other essential necessary public safety improvements adopted in a land use regulation; or
    - (iii) in a municipality where ordinances require all infrastructure improvements within the area to be private, infrastructure improvements within a development that the municipality requires to be private.
- (3) At any time before a municipality accepts a landscaping or infrastructure improvement, and for the duration of each improvement warranty period, the municipality may require the applicant to:
  - (a) execute an improvement warranty for the improvement warranty period; and
  - (b) post a cash deposit, surety bond, letter of credit, or other similar security, as required by the municipality, in the amount of up to 10% of the lesser of the:
    - (i) municipal engineer's original estimated cost of completion; or
    - (ii) applicant's reasonable proven cost of completion.
- (4) When a municipality accepts an improvement completion assurance for landscaping or infrastructure improvements for a development in accordance with Subsection (2)(c)(ii), the municipality may not deny an applicant a building permit if the development meets the requirements for the issuance of a building permit under the building code and fire code.

- (5) The provisions of this section do not supersede the terms of a valid development agreement, an adopted phasing plan, or the state construction code.

Amended by Chapter 384, 2019 General Session

## CHAPTER 13 SPECIAL USE DISTRICTS

### ARTICLE D. LOW-IMPACT TRANSITION OVERLAY ZONE (C-LLIT)

## CHAPTER 14 REGULATIONS APPLICABLE TO ALL ZONES

### 10-14-5: HEIGHT REGULATIONS:

A. Penthouse or roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain a building, and fire or parapet walls, skylights, towers, steeples, flagpoles, chimneys, smokestacks and water tanks, wireless or television masts, theater lofts, silos or similar structures may be erected above the height limits prescribed in the zone height regulations, but no space above the height limit shall be allowed for the purpose of providing additional floor space, and no heights are permitted above the maximum allowed under airport area height provisions. Prior to the construction or erection of flagpoles, towers, wireless or television masts (not including typical roof TV antennas) and any similar structure over thirty five feet (35') in total height, including any supporting structures in or adjacent to any residential zone, a conditional use permit must be applied for and reviewed and approved by the planning commission and city council.

B. No dwelling shall be erected to a height less than ten feet (10'), and no accessory building in a residential zone shall be erected to a height greater than twenty feet (20'), nor greater than one thousand (1,000) square feet in area unless the residential lot has a minimum lot area of forty thousand (40,000) square feet, then the accessory building shall not exceed two thousand five hundred (2,500) square feet and shall not exceed twenty five feet (25') in height to the peak of the roof. All accessory buildings may only be built to include no more than one-story, with an exception for the addition of a mezzanine level in the accessory buildings. (Ord. 823, 12-4-2012)

## CHAPTER 16 SIGN REGULATIONS

### 10-16-8: SIGN/ZONE REGULATIONS:

A. Residential Districts: In residential districts RE-20, RE-15, A-1, R-1-4.5, R-1-10, R-1-8, R-1-6, R-2, R-3, R-4, R-5 and Rmh-1, the following regulations apply:

B. Commercial And Manufacturing Districts: In commercial districts C-1, C-2, C-3, and CP-1, CP-2, CP-3, and manufacturing districts M-1, M-2, MP-1 and MP-2, the following regulations apply:

1. Development Signs: One or more signs of a temporary nature for main buildings or uses under development provided such signs shall not exceed in combined total area one hundred (100) square feet.

2. Public Necessity Signs: These signs are informational and not advertising in nature. One or more public necessity signs are allowed, provided that no such sign shall exceed twenty four (24) square feet in area.

3. Business Signs: One or more business signs not exceeding three (3) square feet in combined total area for each linear foot of occupied frontage (building width facing street), except that the maximum size of any single business sign shall not exceed three hundred (300) square feet in area and the total area of all commercial or industrial uses shall be six hundred (600) square feet, if the linear building width is sufficient to allow this size of sign. Each commercial or industrial use backing onto a freeway shall be permitted not more than one business sign on the freeway side. New car sales automobile dealerships that have multiple manufacturer makes of vehicles are permitted three hundred (300) square feet of sign area for each new car line. (Ord. 837, 6-4-2013)

4. Pole/Pylon Signs Height Regulations: No pole/pylon sign shall be erected to a height exceeding forty feet (40') above the ground, without the approval and issuance of a conditional use permit from the City. A pole/pylon sign located along a UDOT designated interstate/freeway may be erected to a height not to exceed sixty feet (60') above the ground, upon approval and issuance of a conditional use permit from the City. All pole/pylon type signs shall be positioned on the site in a landscaped area. All pole/pylon signs shall be internally illuminated.

5. Existing Signs: Any lawful sign completely constructed, in existence, and lawfully installed in the city at the time of the passage hereof, shall be allowed to exist at its present height. At such time that the existing sign structure or location is changed, in any manner whatsoever, then said sign must come into compliance with the height limitation, as set forth in subsection B4 of this section.

## **CHAPTER 21**

### **SUBDIVISIONS**

#### **10-21-6: FINANCIAL GUARANTEES FOR IMPROVEMENTS:**

Prior to the final plat being presented to the city council for approval, the subdivider/developer (or an individual with legal authority acting on behalf of the subdivider/developer) shall, at the discretion of the city, satisfy one of the following requirements:

A. Escrow Deposit: Enter into a developer's agreement with the city and furnish satisfactory proof of an escrow deposit in favor of the city in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs, with said amounts to be released pursuant to the terms and conditions of the developer's agreement.

B. Performance Bond: Enter into a developer's agreement with the city and furnish to the city a developer's performance bond in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs~~to one hundred twenty five percent (125%) of the cost of the improvements required for the subdivision,~~ with said bond to be released pursuant to the terms and conditions of the developer's agreement. (Ord. 871, 9-1-2015)

## **CHAPTER 25**

### **DEVELOPMENT IN ALL ZONES**

#### **10-25-7: IMPROVEMENTS:**

A. Time Of Construction: The improvements listed in this section shall be installed prior to final inspection and issuance of a certificate of occupancy except as provided in subsection B of this section. No improvements shall be installed until their design and specifications are reviewed by the city engineer for conformance with this chapter. Water and sewer mains and laterals and fire hydrants shall be installed prior to the installation of road base, curbs, gutters, sidewalks and the surfacing of streets.

#### **B. Performance Bonds:**

1. In lieu of actual completion of the improvements listed in this section and before final approval by the city council, the developer may deposit with the city a surety or cash bond to ensure the actual construction of said improvements within a period of two (2) years after final approval by the city council in a manner satisfactory to and in an amount specified by the council. Improvements shall include part or all of the following: streets, curbs, gutters, sidewalks, water supply systems, fire hydrants, sewer systems, surface water disposal systems, protection from hazards of canals and ditches, safety fences, landscaping, monuments, street signs, or other improvements required by the city council and planning commission.

2. The developer shall be responsible for the satisfactory performance of improvements dedicated to the city for a period of one year after inspection and final acceptance by the city. These improvements include, but are not limited to: streets, curbs, gutters, sidewalks, water main lines, fire hydrants, sewer mains and manholes, storm sewer mains and catch boxes, monuments, and street signs which are in a dedicated easement and are controlled solely by the city.

3. Prior to the final plat being presented to the city council for approval, the subdivider/developer (or an individual with legal authority acting on behalf of the subdivider/developer) shall, at the discretion of the city, satisfy one of the following improvement performance requirements:

a. Escrow Deposit: Enter into a developer's agreement with the city and furnish satisfactory proof of an escrow deposit in favor of the city in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs, with said amounts to be released pursuant to the terms and conditions of the developer's agreement.

b. Performance Bond: Enter into a developer's agreement with the city and furnish to the city a developer's performance bond in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs~~to one hundred twenty five percent (125%) of the cost of the improvements required for the subdivision~~, with said bond to be released pursuant to the terms and conditions of the developer's agreement.

## **CHAPTER 28**

### **RESIDENTIAL LANDSCAPING**

#### **10-28-4: DEFINITIONS:**

HARD SURFACE: Shall consist of concrete, asphalt, brick or concrete pavers, rock or gravel and cobblestones. All hard surface material must be kept free of weeds.

HARDSCAPE SPACE: Any space made up of water features, benches, [planters](#), [artificial grass/turf](#), walls, decorative ornaments, stamped concrete, small decorative rocks as well as boulders, mulch, curbing, and planters or other like materials, approved by the planning commission, that are not of a vegetative nature.

LIVING LANDSCAPE: Consists of turf, trees, shrubs, plant material both flowering and nonflowering, it shall include indigenous plants that are not noxious weeds so long as they are maintained as set out within this chapter.

NONLIVING LANDSCAPE: Shall consist of boulders, rock, lava rock, wood chips, decorative curbing and masonry work.

OPEN SPACE: All the space on the property not occupied by the residence, a driveway equivalent to the carport, or attached garage, and/or swimming pool.

XERISCAPE: Includes plant material that can survive on low or minimal water usage. (Ord. 715, 8-19-2008)

#### **10-28-5: GENERAL STANDARDS AND REQUIREMENTS:**

Every applicable place of property within the city of Riverdale shall maintain landscape in a well cared for manner that enhances the appearance of the property.

- A. In no case shall hardscape of a residential dwelling exceed forty percent (40%) of the open space of the property, unless said hardscape exists prior to passage of this chapter;
- B. Yards shall consist of a balance of living and nonliving landscape that do not violate any other federal, state, or municipal statute, ordinance, or law;
- C. Yards shall comply with the fencing and setback requirements of all Riverdale City ordinances;
- D. Yards shall be maintained as not to cause "interference from landscaping" with public property or right of way;
- E. All living landscape shall be maintained in an orderly, attractive and healthy condition. This shall include, but not be limited to, proper pruning, mowing, weeding, and removal of litter; and
- F. All hardscape shall be maintained to be free from defects and maintain an orderly and attractive appearance.
- G. No vehicles shall be allowed to park overnight on anything other than hard surfaces [that are as large or larger than the full size \(length and width\) of the vehicle](#).
- H. All new and refurbished single-family and two-family homes, apartments, condominiums and townhouses shall be required to approve and maintain, as landscape yards, the front, corner street side yard and park strip and install an appropriate irrigation system, so that the landscaping will receive the appropriate amount of water in order to flourish in good health, before final approval or certificate of occupancy is issued. [An escrow agreement may be issued with a temporary certificate of occupancy which includes a time certain for installation of the landscaping and irrigation system by the owner/developer. Failure to install landscaping by the end of the next planting season \(October of the following year\) shall lead to forfeiture of the](#)

escrow funds and may lead to revocation of the temporary certificate of occupancy. ~~An escrow agreement may be issued between November 1 to March 31 with a temporary certificate of occupancy which includes a time certain for installation of the landscaping by the owner/developer.~~ Landscaping may include a combination of grass, plant cover and Xeriscape. (Ord. 655, 4-4-2006)

## **CHAPTER 13**

### **SPECIAL USE DISTRICTS**

#### **ARTICLE D. LOW-IMPACT TRANSITION OVERLAY ZONE (LIT)**

## **CHAPTER 14**

### **REGULATIONS APPLICABLE TO ALL ZONES**

#### **10-14-5: HEIGHT REGULATIONS:**

A. Penthouse or roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain a building, and fire or parapet walls, skylights, towers, steeples, flagpoles, chimneys, smokestacks and water tanks, wireless or television masts, theater lofts, silos or similar structures may be erected above the height limits prescribed in the zone height regulations, but no space above the height limit shall be allowed for the purpose of providing additional floor space, and no heights are permitted above the maximum allowed under airport area height provisions. Prior to the construction or erection of flagpoles, towers, wireless or television masts (not including typical roof TV antennas) and any similar structure over thirty five feet (35') in total height, including any supporting structures in or adjacent to any residential zone, a conditional use permit must be applied for and reviewed and approved by the planning commission and city council.

B. No dwelling shall be erected to a height less than ten feet (10'), and no accessory building in a residential zone shall be erected to a height greater than twenty feet (20'), nor greater than one thousand (1,000) square feet in area unless the residential lot has a minimum lot area of forty thousand (40,000) square feet, then the accessory building shall not exceed two thousand five hundred (2,500) square feet and shall not exceed twenty five feet (25') in height to the peak of the roof. All accessory buildings may only be built to include no more than one-story, with an exception for the addition of a mezzanine level in the accessory buildings. (Ord. 823, 12-4-2012)

## **CHAPTER 16**

### **SIGN REGULATIONS**

#### **10-16-8: SIGN/ZONE REGULATIONS:**

A. Residential Districts: In residential districts RE-20, RE-15, A-1, R-1-4.5, R-1-10, R-1-8, R-1-6, R-2, R-3, R-4, R-5 and Rmh-1, the following regulations apply:

B. Commercial And Manufacturing Districts: In commercial districts C-1, C-2, C-3, and CP-1, CP-2, CP-3, and manufacturing districts M-1, M-2, MP-1 and MP-2, the following regulations apply:

1. Development Signs: One or more signs of a temporary nature for main buildings or uses under development provided such signs shall not exceed in combined total area one hundred (100) square feet.



2. Public Necessity Signs: These signs are informational and not advertising in nature. One or more public necessity signs are allowed, provided that no such sign shall exceed twenty four (24) square feet in area.

3. Business Signs: One or more business signs not exceeding three (3) square feet in combined total area for each linear foot of occupied frontage (building width facing street), except that the maximum size of any single business sign shall not exceed three hundred (300) square feet in area and the total area of all commercial or industrial uses shall be six hundred (600) square feet, if the linear building width is sufficient to allow this size of sign. Each commercial or industrial use backing onto a freeway shall be permitted not more than one business sign on the freeway side. New car sales automobile dealerships that have multiple manufacturer makes of vehicles are permitted three hundred (300) square feet of sign area for each new car line. (Ord. 837, 6-4-2013)

4. Pole/Pylon Signs Height Regulations: No pole/pylon sign shall be erected to a height exceeding forty feet (40') above the ground, without the approval and issuance of a conditional use permit from the City. A pole/pylon sign located along a UDOT designated interstate/freeway may be erected to a height not to exceed sixty feet (60') above the ground, upon approval and issuance of a conditional use permit from the City. All pole/pylon type signs shall be positioned on the site in a landscaped area. All pole/pylon signs shall be internally illuminated.

5. Existing Signs: Any lawful sign completely constructed, in existence, and lawfully installed in the city at the time of the passage hereof, shall be allowed to exist at its present height. At such time that the existing sign structure or location is changed, in any manner whatsoever, then said sign must come into compliance with the height limitation, as set forth in subsection B4 of this section.

## **CHAPTER 21**

### **SUBDIVISIONS**

#### **10-21-6: FINANCIAL GUARANTEES FOR IMPROVEMENTS:**

Prior to the final plat being presented to the city council for approval, the subdivider/developer (or an individual with legal authority acting on behalf of the subdivider/developer) shall, at the discretion of the city, satisfy one of the following requirements:

A. Escrow Deposit: Enter into a developer's agreement with the city and furnish satisfactory proof of an escrow deposit in favor of the city in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs, with said amounts to be released pursuant to the terms and conditions of the developer's agreement.

B. Performance Bond: Enter into a developer's agreement with the city and furnish to the city a developer's performance bond in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs, with said bond to be released pursuant to the terms and conditions of the developer's agreement. (Ord. 871, 9-1-2015)

## **CHAPTER 25**

### **DEVELOPMENT IN ALL ZONES**

#### **10-25-7: IMPROVEMENTS:**

A. Time Of Construction: The improvements listed in this section shall be installed prior to final inspection and issuance of a certificate of occupancy except as provided in subsection B of this section. No improvements shall be installed until their design and specifications are reviewed by the city engineer for conformance with this chapter. Water and sewer mains and laterals and fire hydrants shall be installed prior to the installation of road base, curbs, gutters, sidewalks and the surfacing of streets.

B. Performance Bonds:

1. In lieu of actual completion of the improvements listed in this section and before final approval by the city council, the developer may deposit with the city a surety or cash bond to ensure the actual construction of said improvements within a period of two (2) years after final approval by the city council in a manner satisfactory to and in an amount specified by the council. Improvements shall include part or all of the following: streets, curbs, gutters, sidewalks, water supply systems, fire hydrants, sewer systems, surface water disposal systems, protection from hazards of canals and ditches, safety fences, landscaping, monuments, street signs, or other improvements required by the city council and planning commission.

2. The developer shall be responsible for the satisfactory performance of improvements dedicated to the city for a period of one year after inspection and final acceptance by the city. These improvements include, but are not limited to: streets, curbs, gutters, sidewalks, water main lines, fire hydrants, sewer mains and manholes, storm sewer mains and catch boxes, monuments, and street signs which are in a dedicated easement and are controlled solely by the city.

3. Prior to the final plat being presented to the city council for approval, the subdivider/developer (or an individual with legal authority acting on behalf of the subdivider/developer) shall, at the discretion of the city, satisfy one of the following improvement performance requirements:

a. Escrow Deposit: Enter into a developer's agreement with the city and furnish satisfactory proof of an escrow deposit in favor of the city in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs, with said amounts to be released pursuant to the terms and conditions of the developer's agreement.

b. Performance Bond: Enter into a developer's agreement with the city and furnish to the city a developer's performance bond in an amount equal to the cost of the improvements required for the subdivision, plus ten percent (10%) of said costs, with said bond to be released pursuant to the terms and conditions of the developer's agreement.

## **CHAPTER 28**

### **RESIDENTIAL LANDSCAPING**

#### **10-28-4: DEFINITIONS:**

**HARD SURFACE:** Shall consist of concrete, asphalt, brick or concrete pavers, rock or gravel and cobblestones. All hard surface material must be kept free of weeds.

**HARDSCAPE SPACE:** Any space made up of water features, benches, artificial grass/turf, walls, decorative ornaments, stamped concrete, small decorative rocks as well as boulders, mulch, curbing, and planters or other like materials, approved by the planning commission, that are not of a vegetative nature.

**LIVING LANDSCAPE:** Consists of turf, trees, shrubs, plant material both flowering and nonflowering, it shall include indigenous plants that are not noxious weeds so long as they are maintained as set out within this chapter.

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B. Yards shall consist of a balance of living and nonliving landscape that do not violate any other federal, state, or municipal statute, ordinance, or law;

C. Yards shall comply with the fencing and setback requirements of all Riverdale City ordinances;

D. Yards shall be maintained as not to cause "interference from landscaping" with public property or right of way;

E. All living landscape shall be maintained in an orderly, attractive and healthy condition. This shall include, but not be limited to, proper pruning, mowing, weeding, and removal of litter; and

F. All hardscape shall be maintained to be free from defects and maintain an orderly and attractive appearance.

G. No vehicles shall be allowed to park overnight on anything other than hard surfaces that are as large or larger than the full size (length and width) of the vehicle.

H. All new and refurbished single-family and two-family homes, apartments, condominiums and townhouses shall be required to approve and maintain, as landscape yards, the front, corner street side yard and park strip and install an appropriate irrigation system, so that the landscaping will receive the appropriate amount of water in order to flourish in good health, before final approval or certificate of occupancy is issued. An escrow agreement may be issued with a temporary certificate of occupancy which includes a time certain for installation of the landscaping and irrigation system by the owner/developer. Failure to install landscaping by the end of the next planting season (October of the following year) shall lead to forfeiture of the escrow funds and may lead to revocation of the temporary certificate of occupancy. Landscaping may include a combination of grass, plant cover and Xeriscape. (Ord. 655, 4-4-2006)

## DEPARTMENTAL STAFF REPORTS – 9/4/2020

**From:** Steve Brooks – City Attorney/Acting City Administrator

**Sent:** Fri 9/4/2020 8:40 PM

**To:** Mike Eggett

**Subject:** Re: PC Meeting documentation - Proposed City Code Changes

Mike, these changes look fine to me...

Sb

**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 13, 2020**

**AGENDA ITEM: E2**

**SUBJECT:** Consideration of recommendation to City Council for approval of amended small subdivision plat known as Riverdale Center VI Subdivision, property located approximately 4043 South Riverdale, Riverdale, Utah 84405; requested by Anderson Wahlen & Associates, Inc and CCA.

**PRESENTER:** Mike Eggett, Community Development

**INFORMATION:**

- a. [Exec Summ Riv Center VI Small Sub – PC \[20201013\]](#)
- b. [Riv Center VI Amend Small Sub Plan PC Review – 20201005](#)
- c. [Dept Staff Reports – PC Riv Center VI Sub Amend Small Plat \[20201007\]](#)
- d. [Riv Center VI - City Eng Plat review #1 – 7 Oct 2020](#)
- e. [App Riv Center VI Amend Small Sub - 20200929](#)
- f. [CCA – Riverdale Center VI Subdivision \[Corrected\] 20201002](#)

**[BACK TO AGENDA](#)**



## Planning Commission Executive Summary

For the Commission meeting on: 10-13-2020

Petitioner: Anderson Wahlen & Associates,  
Inc./CCA (Kornwasser Group)  
Represented by Jake Tate

### Summary of Proposed Action

CCA (Kornwasser Group), as represented by Jake Tate, have applied for an Amended Small Subdivision Plat review and approval for the Riverdale Center VI Subdivision proposed development located at approximately 4043 South Riverdale Road in a Planned Regional Commercial (CP-3) zone. The proposed amended small subdivision plan is before the Planning Commission for final review and approval of the proposed plat amendment. A public hearing is not required for review of this proposed subdivision.

Following the presentation and discussion of the final amended plat proposal, the Planning Commission may make a motion to provide approval of the amended plat and recommend City Council approval, approval with additional requirements and criteria, or not approve the amended plat and then recommend no support for the final approval of the proposed Riverdale Center VI Subdivision amended plat with the appropriate findings of fact. Should this proposal receive final approval, the proposed amended plat would be updated and sent to the City Council for Final Site Plat approval consideration.

### Title 10 Ordinance Guidelines (Code Reference)

This Commercial Amended Small Subdivision Plan review is regulated under City Code 10-21 "Subdivisions" (specifically 10-21-12 for Small Subdivisions) and is affected by City Codes 10-10A "Regional Commercial (C-3) Zone", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-25 "Development in All Zones".

The petitioner's properties are currently listed in the County Records under the ownership of Riverdale Center North, LLC. These properties are currently fully developed with one large building and two businesses established therein (Ross and Staples) on one parcel with the intent to divide the parcel into two lots (one for each existing business location). The Riverdale Center North group recently acquired this property from the Boyer Group.

Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, Building Official, and Police Department. The Planning Commission should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff encourages the Planning Commission to review this matter, including concerns outlined herein, and then discuss with the petitioner concerns associated with this application. Staff would then recommend that the Planning Commission make a motion to provide approval of the amended plat and recommend City Council approval, approval with additional requirements and criteria, or not approve the amended plat and then recommend no support for the final approval of the proposed Riverdale Center VI Subdivision

amended plat with the appropriate findings of fact.

### General Plan Guidance (Section Reference)

The General Plan use for this property is currently set as "Planned Commercial - High" and this proposed subdivision complies with this land use designation.

### Legal Comments - City Attorney

\_\_\_\_\_  
Steve Brooks, Attorney

### Administrative Comments - City Administrator

\_\_\_\_\_  
Rodger Worthen, City  
Administrator

## Amended Small Subdivision Review – Riverdale Center VI Amended Subdivision, 4041-4043 South Riverdale Road

*Completed by Mike Eggett, Community Dev. Director on 10/5/2020*

**Recommendation:** City staff recommends that the Planning Commission examine and review this proposed amended small subdivision review. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the amended small subdivision proposal, approve the amended small subdivision plat with additional comments or concerns to be addressed by the developer, or not approve the amended small subdivision plat proposal for the Riverdale Center VI Amended Subdivision project.

|   |   |
|---|---|
| Date Plan Submitted to City:<br>(Must be at least two weeks prior to Planning Commission meeting) | September 29, 2020  |
| Date Application Submitted to City:   | September 29, 2020  |
| Date Fee Paid:  | Paid on September 29, 2020 (see application and receipt for details)                                      |
| <b>Subdivision/Site Plan – Requirements</b>   | <b>Departmental Review Comments</b>   |
| COVER SHEET   | Not applicable  |
| PLAT SHEET  | Provided  |
| Title Block   |   |
| Project name and address  | Project name shown and addresses for lots not shown, should be 4043 (Lot 1) and 4041 (Lot 2) respectively |
| Property Owner's name, address, and phone number  | CCA /Kornwasser, 5670 Wilshire Boulevard, Suite 1250, Los Angeles, California 90036; 323-965-1510         |
| Developer's name, address, and phone number   | CCA/Kornwasser, 5670 Wilshire Boulevard, Suite 1250, Los Angeles, California 90036; 323-965-1510          |
| Approving Agency's name and address   | Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405   |
| Consulting Engineer's name, address, and phone number   | Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801-521-8529         |



|   |  |
|---|--|
| Consulting Engineer's stamp, signature, and license expiration date                     | Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801-521-8529; engineer's stamp and signature not needed   |
| Licensed Land Surveyor's name, address, phone number, signature, and seal               | Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801-521-8529; surveyor's seal shown and <b>signature not provided yet</b> (this is anticipated) |
| Date  | Date lines provided – submitted on 9/29/2020   |
| Sheet number and total sheets   | 2 total sheets (main plat sheet and larger plat)   |
| Names of approving agents with titles, stamps, signatures, and license expiration dates | Names of approving agents, titles shown; <u>may need to include utility company blocks where requested/required</u>  |
| Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)         | Shown on plat  |
| <u>Layout</u>   |  |
| Street Names  | Shown – Riverdale Road and Pacific Avenue  |
| Layouts of lots with lot numbers  | 2 lots shown   |
| Bearings and distances for all property lines and section ties                          | Shown, defer to City Engineer review   |
| Boundary and Legal description  | Shown, defer to City Engineer review   |
| Adjacent tract ownership and tax identification numbers                                 | Tract ownership names and tax ID shown   |
| Scale (minimum 1"=50')  | Yes, scale is shown as 1" = 80'  |
| North arrow   | Yes  |
| Owner's dedication certificate for subdivision (Notary Acknowledgement)                 | Yes, shown   |
| Landscaping (location and type with area calculations)                                  | No landscaping plan shown nor required for this existing subdivision due to no change to site plans  |
| Location of exterior lighting devices, signs, and outdoor advertising                   | <u>Exterior lighting devices (street lights) not shown;</u> no anticipated subdivision signage locations shown, if applicable  |
| Location of underground tanks, dumpsters, etc   | <u>No underground tanks shown for this site;</u> no need to identify dumpsters for this subdivision  |
| <u>Additional Information</u>   |  |
| Benchmark   | Shown, defer to City Engineer review   |
| Basis of bearings   | Shown, defer to City Engineer review   |
| Legend  | Yes, shown   |

|  |  |
|--|--|
| Existing easements, structures, and utility lines:<br>Approval to cross, use, or relocate  | No existing easements identified or shown if any exist; existing structures on site shown; existing utility lines shown; <u>unsure of approvals provided to cross, use, relocate</u>   |
| PLAN AND PROFILE SHEETS  | Not applicable   |
| DETAILED DRAWINGS  | Not applicable   |
| ADDITIONAL INFORMATION   |  |
| Soils report   | Applicant was asked for Geotechnical Report and they said they didn't see the need for one where there are already pre-existing buildings on the lots. I tend to agree with them in this conclusion where their interest is to make individual parcels of existing building areas. Applicant was directed to discuss the geotechnical report matter with the City Engineer and leave it to Engineer's discretion. Clearly, in the event any new buildings were to be built, the developer would need to provide an updated Geotechnical Report to building official for the future building permits. |
| Water right transfer documentation   | Applicant needs to discuss with Public Works whether or not water transfer is required; <u>defer to PW Director</u>  |
| Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings | Yes, provided as requested   |
| Corp of Engineers approval (if required)   | Not applicable or required   |
| Zoning compliance  | Yes, Planned Regional Commercial (CP-3) Zone meets intended uses for subdivision, as previously approved for existing retail stores  |
| RDA compliance (if applicable)   | Not applicable in this matter  |
| Use compliance   | Yes, subdivision request complies with CP-3 zoning requirements and standards, as previously approved for existing retail stores   |
| Engineering comments and letter of approval recommendation   | City Engineer, Public Works, Building Official, Fire Dept, and Police Dept comments provided   |
| Traffic study  | Not applicable unless requested by City or PC  |
| All Planning Commission and City Staff conditions for approval have been met   | <u>Currently consideration of Amended Small Subdivision Plat submission being reviewed for approval by Planning Commission</u>   |

## DEPARTMENTAL STAFF REPORTS – 10/1/2020 through 10/7/2020

**From:** Shawn Douglas  
**Sent:** Mon 10/5/2020 11:41 AM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - Riverdale Center VI Small Subdivision Proposal

Mike,

With the updated information I have the following concerns. Thanks

- 1-The water and sewer would need to be independent connections for each lot.
- 2- They would need to have agreements for shared utility use of the other utilities.

Shawn Douglas

Public Works Director  
801/394/5541 ext.1217  
[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)

---

**From:** Scott Brenkman  
**Sent:** Thu 10/1/2020 10:06 AM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - Riverdale Center VI Small Subdivision Proposal

No concerns at this point.

Chief Scott Brenkman  
Riverdale Police Department  
4580 S. Weber River Dr.  
Riverdale, UT 84405  
(801)394-6616  
[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

---

**From:** Jared Sholly  
**Sent:** Mon 10/5/2020 1:25 PM  
**To:** Mike Eggett  
**Subject:** RE: Staples Subdivision

I agree with Randy

*Jared Sholly*  
*Fire Chief*

*Riverdale City Fire Department*  
*Cell: 801-628-6562*  
*Office: 801-394-7481*

---

**From:** Randy Koger  
**Sent:** Mon 10/5/2020 10:28 AM  
**To:** Mike Eggett  
**Cc:** Jared Sholly  
**Subject:** RE: Staples Subdivision

Until they come up with a plan for the fire suppression system and implement it. This should not go forward.



**Fire Marshal/Code Enforcement Officer**  
**Riverdale City**  
**801-436-1241**

---

**From:** Jeff Woody (Building Official)  
**Sent:** Wed 10/7/2020 1:30 PM  
**To:** Mike Eggett  
**Subject:** RE: Staples Subdivision

Mike, if they add a new lot line between lot 1 and lot 2 they would need to provide a 3-hour rated firewall on both buildings and separate the utilities.

Jeff Woody

7 October 2020

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **Riverdale Center VI**  
Subj: Plat– Preliminary Review

Dear Mike,

The documents submitted are fairly preliminary and considerable work is still needed. Attached for consideration is my engineering review of the above referenced project. The following items will need to be considered and addressed prior to receiving recommended approval from our office.

**General Note:**

***Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.***

1. An **electronic copy** of the Plat drawing must be submitted to the Public Work Department for record keeping upon design completion and prior to approval of the final drawings from our office.

**Plat**

1. The Plat is very preliminary and needs additional work:
  - The Plat drawing and the Plat description are very different and need to be re-written to match each other.
  - The “Section Ties” do not match and need to be re-written.

- The language for the “Riverdale City Engineer” approval/compliance signature block must be written to match the following:

*I hereby certify that the “Office of the City Engineer” has examined the foregoing Plat and in our opinion the information conveyed herewith, complies with the Public Works Standards and Specifications of Riverdale City.*

- The roadway will need to be called out as a private roadway and noted on the Plat who can use the roadway.
- The following notes need to be added to the Plat:

All Onsite “Utilities and Facilities” – On Private Property:

- Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, orifice and orifice control structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- Under the Plat title the “Month” of the Plat’s approval is needed on both pages.
- Notes are required to be placed on the two drawing pages that both pages are required for the Plat document.
- Lot addresses are required to be place on the Plat.
- All survey ties need to be placed on the plat with ties to Section Corners.
- The right-of-way line of Riverdale Road needs to be resolved and shown on the Plat.
- Public utility easements are needed around the perimeter and where possible across the site.

- Bearing and distances for all lots need to be shown. It appears the Lot #2 will own the private roadway. Lot #1 will need to have access across Lot #1 to use the roadway. Cross-access easement are needed.
- There are several spelling errors which need to be corrected and other general requirements of City code as brought up by other reviewers.

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

**CEC, Civil Engineering Consultants, PLLC.**

A handwritten signature in black ink, appearing to read 'N. Scott Nelson', with a long, sweeping horizontal stroke extending to the right.

N. Scott Nelson, PE.

*City Engineer*

Cc. Shawn Douglas, Public Works Director  
Jeff Woody, Building Official



**Riverdale  
City**

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

**RIVERDALE CITY PLANNING COMMISSION  
APPLICATION FOR COMMERCIAL SUBDIVISION SITE PLAN APPROVAL**

CASE No: 2020-10 DATE SUBMITTED: 9-29-2020

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, Salt lake City, UT 84116

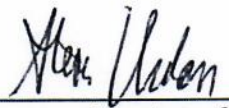
PHONE: 801-410-8505 TAX I.D. No: 05-129-0118

ADDRESS OF SITE: 4043 Riverdale Rd, Riverdale, UT 84405


APPLICANT'S INTEREST: Engineering Consultant to the property owner

Application is hereby made to the Riverdale City Planning Commission requesting that a commercial subdivision consisting of 2 lots be approved on 6.94 Acres of  
(number of lots) (sq. ft./acreage)  
property in the CP-3 zone in accordance with the attached site plan.

  
\_\_\_\_\_  
Signature of Applicant

  
\_\_\_\_\_  
Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters relating to this application.

  
\_\_\_\_\_  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$50 per lot/unit

Fee: \$ 100 Date paid: 9/29/2020

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

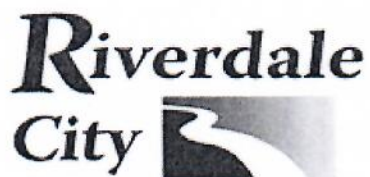
Planning Commission scheduled to hear this application for site plan approval on:

Date: 10/13/2020 Decision of Commission: \_\_\_\_\_

City Council scheduled to hear this application for site plan approval on:

Date: \_\_\_\_\_ Decision of Council: \_\_\_\_\_





Riverdale City  
4600 South Weber River Drive  
Riverdale, UT 84405  
801-394-5541

XBP Confirmation Number: 86765960

| Transaction detail for payment to Riverdale City.                                   |                           |          | Date: 09/29/2020 - 4:47:02 PM |
|---|---------------------------|----------|-------------------------------|
| Transaction Number: 134093379PT<br>Visa — XXXX-XXXX-XXXX-7666<br>Status: Successful |                           |          |                               |
| Account #   | Item                      | Quantity | Item Amount                   |
| 10-34-1500  | Zoning ampamp Subdiv. Fee | 1        | \$100.00                      |
| Notes: SITE PLAN FEE 4978 S 1050 W  |                           |          |                               |
| 10-34-1500  | Zoning ampamp Subdiv. Fee | 1        | \$100.00                      |
| Notes: SITE PLAN FEE 4043 RIVERDALE RD  |                           |          |                               |

**TOTAL: \$200.00**

**Billing Information**

EARL TATE

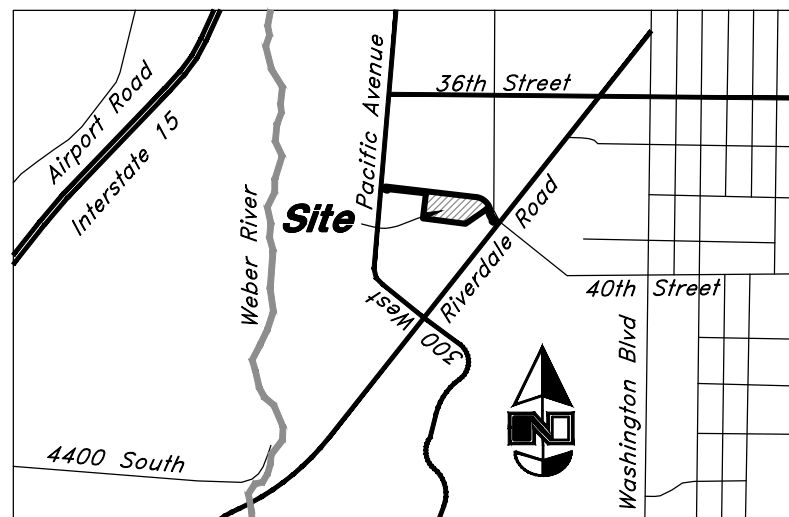
, 84405

Transaction taken by: cjacobsen

20-13650B

# Riverdale Center VI Subdivision

A part of the Southwest Quarter of Section 5 and the Northwest Quarter of Section 8,  
Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey  
Riverdale City, Weber County, Utah  
2020



Vicinity Map  
Not to Scale

## Narrative

This Subdivision plat was requested by CCA in order to create 2 Lots.

The basis of bearings for this subdivision is South 89°26'02" East between the Northwest and North Quarter corners of Section 8, Weber County Survey, on the State Plane datum.

UDOT road takings were interpreted into place resulting in uneven half-widths along Riverdale Road as the takings do not parallell with the control line thereof. Road plans were provided and reviewed but no Right-of-Way markers were recovered as evidence of the Right-of-Way location of Riverdale Road.

## Surveyor's Certificate

I, Bruce D. Pimper, a Professional Land Surveyor in the State of Utah, do hereby certify that this plat of Riverdale Center V Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground.

## Description

A part of the Southwest Quarter of Section 5, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey.

Beginning at a point which bears East 404.87 feet, North 534.48 feet and South 83°14'16" East 576.59 feet from the Southwest Corner of Section 5, Township 5 North, Range 1 West, Salt Lake Base and Meridian, and running thence South 83°14'16" East 588.20 feet; thence North 55° East 353.54 feet; thence Southeasterly along the arc of a 195 foot radius curve to the right a distance of 37.03 feet (long chord bears South 15°26'23" East 36.97 feet); thence South10° East 28.13 feet; thence Southeasterly along the arc of a 165 foot radius curve to the left a distance of 110.21 feet (long chord bears 29°08'05" East 108.17 feet); thence South 38°14'54" West 20.31 feet; thence South 51°45'06" East 30 feet to a point described in previous instruments of record as the West line of Riverdale Road; thence along said West line, North 38°14'54" East 51.00 feet; thence North 51°45'06" West 20.04 feet; thence Northwesterly along the arc of a 134 foot radius curve to the right a distance of 97.65 feet (long chord bears North 30°52'33" West 95.5 feet); thence North 10° West 28.13 feet; thence Northwesterly along the arc of a 226 foot radius curve to the left a distance of 290.73 feet (long chord bears North 46°51'09" West 271.09 feet); thence North 83°42'18" West 1232.59 feet to the East line of Pacific Avenue; thence along said East line South 3°28'21" West 50.05 feet; thence South 83°42'18" East 30.00 feet; thence North 3°28'21" East 20 feet; thence South 83°42'18" East 523.57 feet; thence South 6°45'44" West 335.51 feet to the point of beginning.

Less and excepting therefrom, a tract of land conveyed to the Utah Department of Transportation ("UDOT") identified as "UDOT Parcel No. 0026:094", described in the certain Warranty Deed recorded May 22, 2009, as Entry No. 2413493 of the Official Records of the Weber County Recorder and that certain Corrective Warranty Deed recorded June 5, 2009, as Entry No. 2416278 of the Official Records of the Weber County Recorder.

Signed this       day of       , 20

362256  
License No.

Bruce D. Pimper

## Owner's Dedication

Know all men by these presents that I/we, the undersigned owner(s) of the hereon described tract of land, hereby set apart and subdivide the same into 2 lots as shown on this plat and name said plat Riverdale Center VI Subdivision.

In witness whereby I have hereunto set my hand This       Day of       AD, 20

Riverdale Center North, LLC, a Delaware Limited Liability Company

by: Steven Usdan  
Its: Manager

## Acknowledgment

State of  
County of

} ss

On this       day of       , 2020 personally appeared before me, Steven Usdan the signer of the foregoing instrument, who duly acknowledged to me that he is the       of Riverdale Center North, LLC, a Delaware Limited Liability Company, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name:      

Commission Number:      

My Commission Expires:      

A Notary Public Commissioned in Utah

(If above information is provided,  
no stamp required per Utah Code,  
Title 46, Chapter 1, Section 16)

A Notary Public

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

Sheet 1 of 1

## Riverdale City Planning Commission

Approved by the Riverdale City Planning Commission on the

\_\_\_\_ Day of  
\_\_\_\_ 20 \_\_\_\_.

\_\_\_\_  
Chair, Riverdale City Planning Commission

## Riverdale City Engineer

I hereby certify that I have carefully investigated the lines of Survey of the foregoing plat and legal description of the land embraced therein, and find both to be correct and to agree with the lines and monuments on record in this office.

Signed this       Day of  
\_\_\_\_ 20 \_\_\_\_.

\_\_\_\_  
Riverdale City Engineer



ANDERSON WAHLEN & ASSOCIATES  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801 521-8529 - AWAengineering.net

## Approving Agency

Riverdale City  
4600 S. Weber River Dr.  
Riverdale, UT 84405

## Owner/Developer

CCA/Kornwasser  
5670 Wilshire Boulevard, Suite 1250  
Los Angeles, California 90036  
323-965-1510

## Riverdale City Approval

This is to certify that this plat and dedication of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this

\_\_\_\_ Day of       20 \_\_\_\_.

\_\_\_\_  
Riverdale City Mayor

\_\_\_\_  
Attest

## Riverdale City Attorney

Approved by the Riverdale City Attorney on the

\_\_\_\_ Day of       20 \_\_\_\_.

\_\_\_\_  
Riverdale City Attorney

## Weber County Recorder

ENTRY NO.       FEE PAID  
\_\_\_\_ FILED FOR RECORD AND  
RECORDED       , AT  
\_\_\_\_ IN BOOK       OF OFFICIAL  
RECORDS, PAGE       . RECORDED  
FOR      

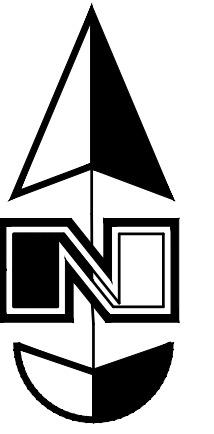
\_\_\_\_  
WEBER COUNTY RECORDER

BY:      

\_\_\_\_  
DEPUTY

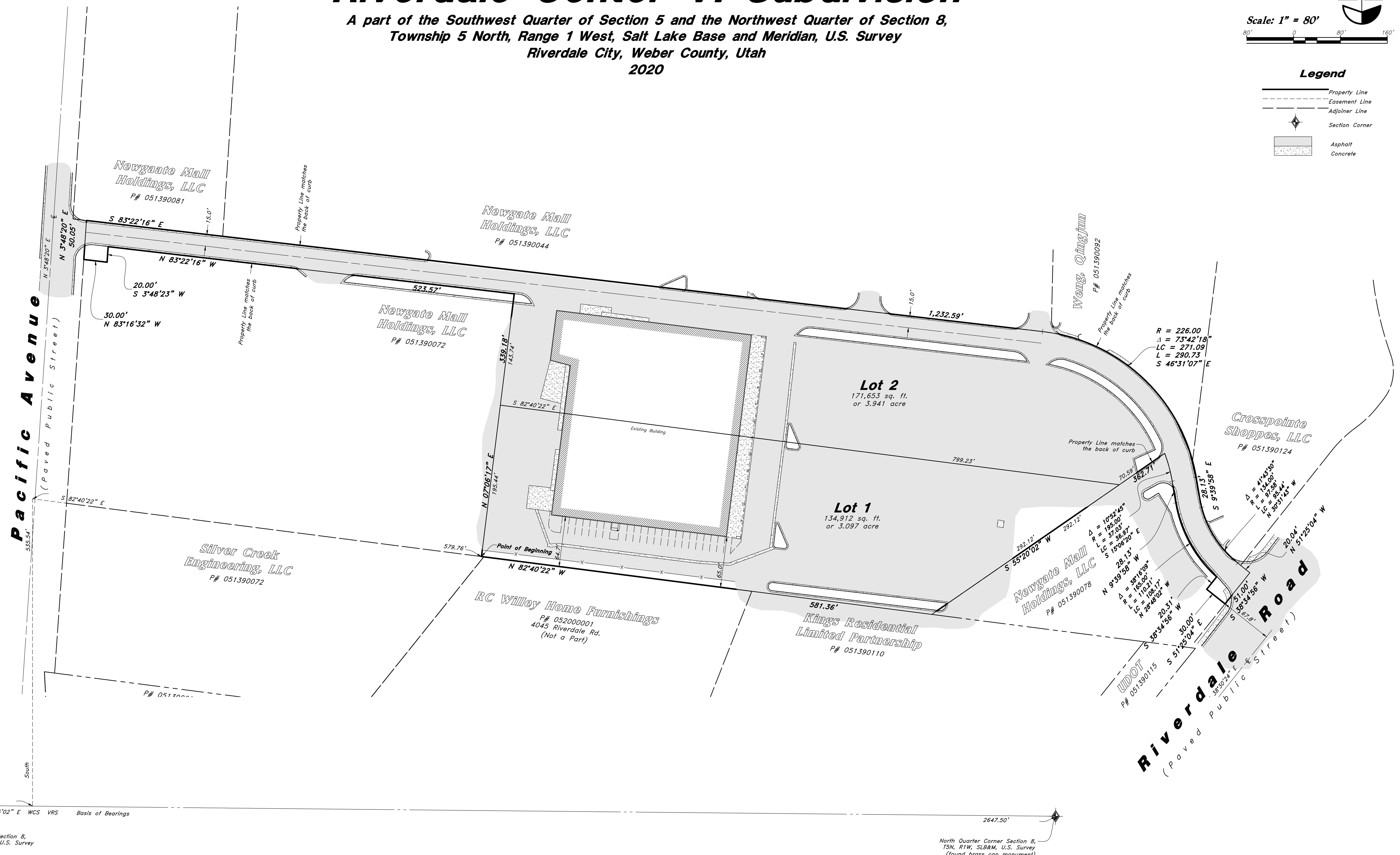
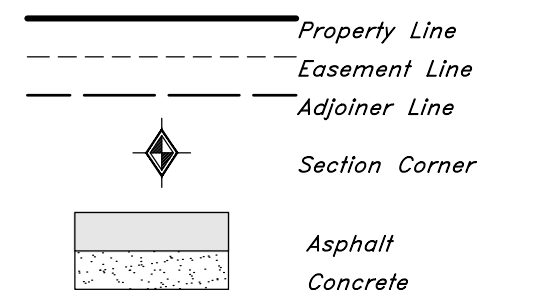
# Riverdale Center VI Subdivision

A part of the Southwest Quarter of Section 5 and the Northwest Quarter of Section 8,  
Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey  
Riverdale City, Weber County, Utah  
2020



Scale: 1" = 80'  
80' 0 80' 160'

## Legend



Northwest Corner Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found nail)

North Quarter Corner Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found brass cap monument)

**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 13, 2020**

**AGENDA ITEM: E3**

**SUBJECT:** Consideration of recommendation to City Council for approval of amended small subdivision plat known as RMRE 1050 West Retail Lot 1 Amended Subdivision, property located approximately 4978 South 1050 West, Riverdale, Utah 84405; requested by Anderson Wahlen & Associates, Inc and CCA.

**PRESENTER:** Mike Eggett, Community Development

**INFORMATION:**

- a. [Exec Summ 1050 West Lot 1 Amend Small Sub – PC \[20201013\]](#)
- b. [1050 West Lot 1 Amend Small Sub Plan PC Review – 20201005](#)
- c. [Dept Staff Reports – PC 1050 West Retail Lot 1 Amend Sub Plat \[20201008\]](#)
- d. [1050 West Lot 1 - City Eng Plat review #1 – 8 Oct 2020](#)
- e. [App 1050 West Lot 1 Amend Small Sub - 20200929](#)
- f. [CCA – 1050 West Retail Lot 1 Amend Subdiv 20200929](#)

**[BACK TO AGENDA](#)**



## Planning Commission Executive Summary

For the Commission meeting on: 10-13-2020

Petitioner: Anderson Wahlen & Associates,  
Inc./CCA (Kornwasser Group)  
Represented by Jake Tate

### Summary of Proposed Action

CCA (Kornwasser Group), as represented by Jake Tate, have applied for an amended small subdivision plat review and approval for the RMRE 1050 West Retail Lot 1 Amended Subdivision proposal located at approximately 4978 South 1050 West in a Retail/Commercial Park Overlay (RCP) zone. The proposed amended small subdivision plan is before the Planning Commission for final review and approval of the proposed plat amendment. A public hearing is not required for review of this proposed subdivision. Following the presentation and discussion of the final amended plat proposal, the Planning Commission may make a motion to provide approval of the amended plat and recommend City Council approval, approval with additional requirements and criteria, or not approve the amended plat and then recommend no support for the final approval of the proposed RMRE 1050 West Retail Lot 1 Amended Subdivision plat with the appropriate findings of fact. Should this proposal receive final approval, the proposed amended plat would be updated and sent to the City Council for Final Site Plat approval consideration.

### Title 10 Ordinance Guidelines (Code Reference)

This Commercial Amended Small Subdivision Plan review is regulated under City Code 10-21 "Subdivisions" (specifically 10-21-12 for Small Subdivisions) and is affected by City Codes 10-10A "Regional Commercial (C-3) Zone", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", and 10-25 "Development in All Zones".

The petitioner's properties are currently listed in the County Records under the ownership of FC Riverdale Shopping Center, LLC. These properties are currently partially developed with one large building (Joann's) and partially undeveloped with the intent to divide the parcel into two lots (one for the existing business location including undeveloped property and the other lot for a large undeveloped parcel). The CCA group recently acquired this property from the Boyer Group.

Attached with this executive summary is a supplementary document addressing items on the Preliminary Site Plan application and as directed by 10-21 of the City Code. Also attached, following this executive summary, are comments from the contracted City Engineer, Public Works Department, Fire Department, and Police Department. The Planning Commission should discuss these summaries and any noted Planning Commission and/or staff concerns.

Staff encourages the Planning Commission to review this matter, including concerns outlined herein, and then discuss with the petitioner concerns associated with this application. Staff would then recommend that the Planning Commission make a motion to provide approval of the amended plat and recommend City Council approval, approval with additional requirements and criteria, or not approve the amended plat and then recommend no support for the final approval of the proposed RMRE 1050 West Retail Lot 1 Amended

Subdivision plat with the appropriate findings of fact.

**General Plan Guidance (Section Reference)**

The General Plan use for this property is currently set as "Planned Commercial - High" and this proposed subdivision complies with this land use designation.

**Legal Comments - City Attorney**

\_\_\_\_\_  
Steve Brooks, Attorney

**Administrative Comments - City Administrator**

\_\_\_\_\_  
Rodger Worthen, City  
Administrator



## Amended Small Subdivision Review – RMRE 1050 West Retail Lot 1 Amended Subdivision, 4978 South 1050 West

*Completed by Mike Eggett, Community Dev. Director on 10/5/2020*

**Recommendation:** City staff recommends that the Planning Commission examine and review this proposed amended small subdivision review. Items of consideration or note have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the amended small subdivision proposal, approve the amended small subdivision plat with additional comments or concerns to be addressed by the developer, or not approve the amended small subdivision plat proposal for the RMRE 1050 West Retail Lot 1 Amended Subdivision project.

|   |  |
|---|--|
| Date Plan Submitted to City:<br>(Must be at least two weeks prior to Planning Commission meeting) | September 29, 2020   |
| Date Application Submitted to City:   | September 29, 2020   |
| Date Fee Paid:  | Paid on September 29, 2020 (see application and receipt for details)   |
| <b>Subdivision/Site Plan – Requirements</b>   | <b>Departmental Review Comments</b>  |
| <i>COVER SHEET</i>  | Not applicable   |
| <i>PLAT SHEET</i>   | Provided   |
| <u>Title Block</u>  |  |
| Project name and address  | Project name shown and addresses shown   |
| Property Owner's name, address, and phone number  | CCA (Kornwasser) Acquisition Company, 5670 Wilshire Boulevard, Suite 1250, Los Angeles, California 90036; 323-965-1510 |
| Developer's name, address, and phone number   | CCA (Kornwasser) Acquisition Company, 5670 Wilshire Boulevard, Suite 1250, Los Angeles, California 90036; 323-965-1510 |
| Approving Agency's name and address   | Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405  |
| Consulting Engineer's name, address, and phone number   | Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801-521-8529                      |

|   |  |
|---|--|
| Consulting Engineer's stamp, signature, and license expiration date                     | Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801-521-8529; engineer's stamp and signature not needed   |
| Licensed Land Surveyor's name, address, phone number, signature, and seal               | Anderson Wahlen & Associates, 2010 North Riverdale Road, Salt Lake City, Utah 84116, 801-521-8529; surveyor's seal shown and <b>signature not provided yet</b> (this is anticipated) |
| Date  | Date lines provided – submitted on 9/29/2020   |
| Sheet number and total sheets   | 1 total sheet (just the plat)  |
| Names of approving agents with titles, stamps, signatures, and license expiration dates | Names of approving agents, titles shown; <u>may need to include utility company blocks where requested/required</u>  |
| Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)         | Shown on plat  |
| <u>Layout</u>   |  |
| Street Names  | Shown – 1050 West and River Park Drive   |
| Layouts of lots with lot numbers  | 2 lots shown, addresses shown on plat  |
| Bearings and distances for all property lines and section ties                          | Shown, defer to City Engineer review   |
| Boundary and Legal description  | Shown, defer to City Engineer review   |
| Adjacent tract ownership and tax identification numbers                                 | Tract ownership names and tax ID shown   |
| Scale (minimum 1"=50')  | Yes, scale is shown as 1" = 80'  |
| North arrow   | Yes  |
| Owner's dedication certificate for subdivision (Notary Acknowledgement)                 | Yes, shown   |
| Landscaping (location and type with area calculations)                                  | No landscaping plan shown nor required for this existing subdivision due to no change to site plans  |
| Location of exterior lighting devices, signs, and outdoor advertising                   | <u>Exterior lighting devices (street lights) not shown;</u> no anticipated subdivision signage locations shown, if applicable  |
| Location of underground tanks, dumpsters, etc   | <u>No underground tanks shown for this site;</u> no need to identify dumpsters for this subdivision  |
| <u>Additional Information</u>   |  |
| Benchmark   | Shown, defer to City Engineer review   |
| Basis of bearings   | Shown, defer to City Engineer review   |
| Legend  | Yes, shown   |



|  |  |
|--|--|
| Existing easements, structures, and utility lines:<br>Approval to cross, use, or relocate  | Existing easements identified and shown; existing structures on site shown; existing utility lines shown; <u>unsure of approvals provided to cross, use, relocate</u>  |
| <i>PLAN AND PROFILE SHEETS</i>   | Not applicable   |
| <i>DETAILED DRAWINGS</i>   | Not applicable   |
| <i>ADDITIONAL INFORMATION</i>  |  |
| Soils report   | Applicant was asked for Geotechnical Report and they said they didn't see the need for one where there are already pre-existing buildings on the lots. I tend to agree with them in this conclusion where their interest is to make individual parcels of existing building areas. Applicant was directed to discuss the geotechnical report matter with the City Engineer and leave it to Engineer's discretion. Clearly, in the event any new buildings were to be built, the developer would need to provide an updated Geotechnical Report to building official for the future building permits. |
| Water right transfer documentation   | <u>Applicant needs to discuss with Public Works whether or not water transfer is required; defer to PW Director</u>  |
| Three large full set of plan drawings (24x36), one full set of plan drawings (11x17 sized), and one digital full set copy of plan drawings | Yes, provided as requested   |
| Corp of Engineers approval (if required)   | Not applicable or required   |
| Zoning compliance  | Yes, Retail/Commercial Park Overlay (RCP) Zone meets intended uses for subdivision   |
| RDA compliance (if applicable)   | Not applicable in this matter  |
| Use compliance   | Yes, subdivision request complies with RCP zoning requirements and standards   |
| Engineering comments and letter of approval recommendation   | City Engineer, Public Works, Building Official, Fire Dept, and Police Dept comments provided   |
| Traffic study  | Not applicable unless requested by City or PC  |
| All Planning Commission and City Staff conditions for approval have been met   | <u>Currently consideration of Amended Small Subdivision Plat submission being reviewed for approval by Planning Commission</u>   |

## DEPARTMENTAL STAFF REPORTS – 10/1/2020 through 10/8/2020

**From:** Shawn Douglas  
**Sent:** Thu 10/1/2020 12:27 PM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - 1050 West Retail Lot I Amend Small Subdivision Proposal

Mike,

The only concern I have on this one is that they have agreements in place for shared utilities. Thanks

Shawn Douglas

Public Works Director

801/394/5541 ext.1217

[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)

---

**From:** Scott Brenkman  
**Sent:** Thu 10/1/2020 10:04 AM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - 1050 West Retail Lot I Amend Small Subdivision Proposal

I don't have any concerns at this point.

Chief Scott Brenkman

Riverdale Police Department

4580 S. Weber River Dr.

Riverdale, UT 84405

(801)394-6616

[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

---

**From:** Jared Sholly  
**Sent:**  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - 1050 West Retail Lot I Amend Small Subdivision Proposal

*No comments provided*

*Jared Sholly*

*Fire Chief*

*Riverdale City Fire Department*

*Cell: 801-628-6562*

*Office: 801-394-7481*

---

**From:** Randy Koger

**Sent:** Thu 10/8/2020 1:05 PM

**To:** Mike Eggett

**Cc:** Jared Sholly

**Subject:** RE: PC Mtg dept review request - 1050 West Retail Lot I Amend Small Subdivision Proposal

I do not see any issues with this.

Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process.

A handwritten signature in black ink that reads "Randy S. Koger". The signature is written in a cursive, flowing style.

**Fire Marshal/Code Enforcement Officer**

**Riverdale City**

**801-436-1241**

8 October 2020

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **RMRE 1050 West Retail Lot 1 Amended**  
Subj: Plat Review

Dear Mike,

Attached is our review comments of the above reference subdivision. The following items will need to be considered and addressed prior to receiving recommended approval from our office.

**General Note:**

**Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.**

1. An **electronic copy** of the Plat drawing must be submitted to the Public Work Department for record keeping upon design completion and prior to approval of the final drawings from our office.

**Plat**

1. The following comments need to be considered:
  - The language for the “Riverdale City Engineer” approval/compliance signature block must be written to match the following:

*I hereby certify that the “Office of the City Engineer” has examined the foregoing Plat and in our opinion the information conveyed herewith, complies with the Public Works Standards and Specifications of Riverdale City.*

- The following notes need to be added to the Plat:

All Onsite “Utilities and Facilities” – On Private Property:

- Culinary Water Facilities: All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
  - Sanitary Sewer Facilities: All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
  - Storm Water Facilities: All facilities i.e., pipes, manholes, inlet catch basins, orifice and orifice control structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
  - Roadways and Sidewalks Facilities: All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
- In order to fully understand the location of the “Point of Beginning”, a note on the drawing calling/showing where the “River Park Drive Sam’s Club Subdivision Lot 1” is located, needs to be placed on the drawing, near the point of beginning.
  - Add to the 1050 West Street, wording-note, in parentheses (Utah Department of Transportation, SR-60).

We would be happy to meet with the Developer and/or his Engineer to review the above items should they have any questions.

Sincerely,

**CEC, Civil Engineering Consultants, PLLC.**

A handwritten signature in black ink, appearing to read "N. Scott Nelson", with a stylized flourish at the end.

N. Scott Nelson, PE.

*City Engineer*

Cc. Shawn Douglas, Public Works Director  
Jeff Woody, Building Official



**Riverdale  
City**

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

**RIVERDALE CITY PLANNING COMMISSION  
APPLICATION FOR COMMERCIAL SUBDIVISION SITE PLAN APPROVAL**

CASE NO: 2020-09 DATE SUBMITTED: 9-29-2020

APPLICANT'S NAME: Anderson Wahlen & Associates - Jake Tate

ADDRESS: 2010 North Redwood Road, Salt lake City, UT 84116

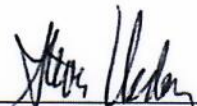
PHONE: 801-410-8505 TAX I.D. No: 07-581-0002, 07-581-0004

ADDRESS OF SITE: 4978 S. 1050 W., Riverdale, UT 84405

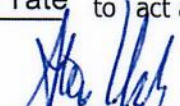
APPLICANT'S INTEREST: Engineering Consultant to the property owner

Application is hereby made to the Riverdale City Planning Commission requesting that a commercial subdivision consisting of 2 lots be approved on 10.926 Acres of property in the RCP zone in accordance with the attached site plan.  
(number of lots) (sq. ft./acreage)

  
Signature of Applicant

  
Signature of Property Owner

I authorize Anderson Wahlen & Associates - Jake Tate to act as my representative in all matters relating to this application.

  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$50 per lot/unit  
Fee: \$ 100 Date paid: 9/29/2020

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 10/13/2020 Decision of Commission: \_\_\_\_\_

City Council scheduled to hear this application for site plan approval on:

Date: \_\_\_\_\_ Decision of Council: \_\_\_\_\_





Riverdale City  
4600 South Weber River Drive  
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801-394-5541

XBP Confirmation Number: 86765960

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| 10-34-1500  | Zoning ampamp Subdiv. Fee | 1                             | \$100.00    |
| Notes: SITE PLAN FEE 4978 S 1050 W  |                           |                               |             |
| 10-34-1500  | Zoning ampamp Subdiv. Fee | 1                             | \$100.00    |
| Notes: SITE PLAN FEE 4043 RIVERDALE RD  |                           |                               |             |

**TOTAL: \$200.00**

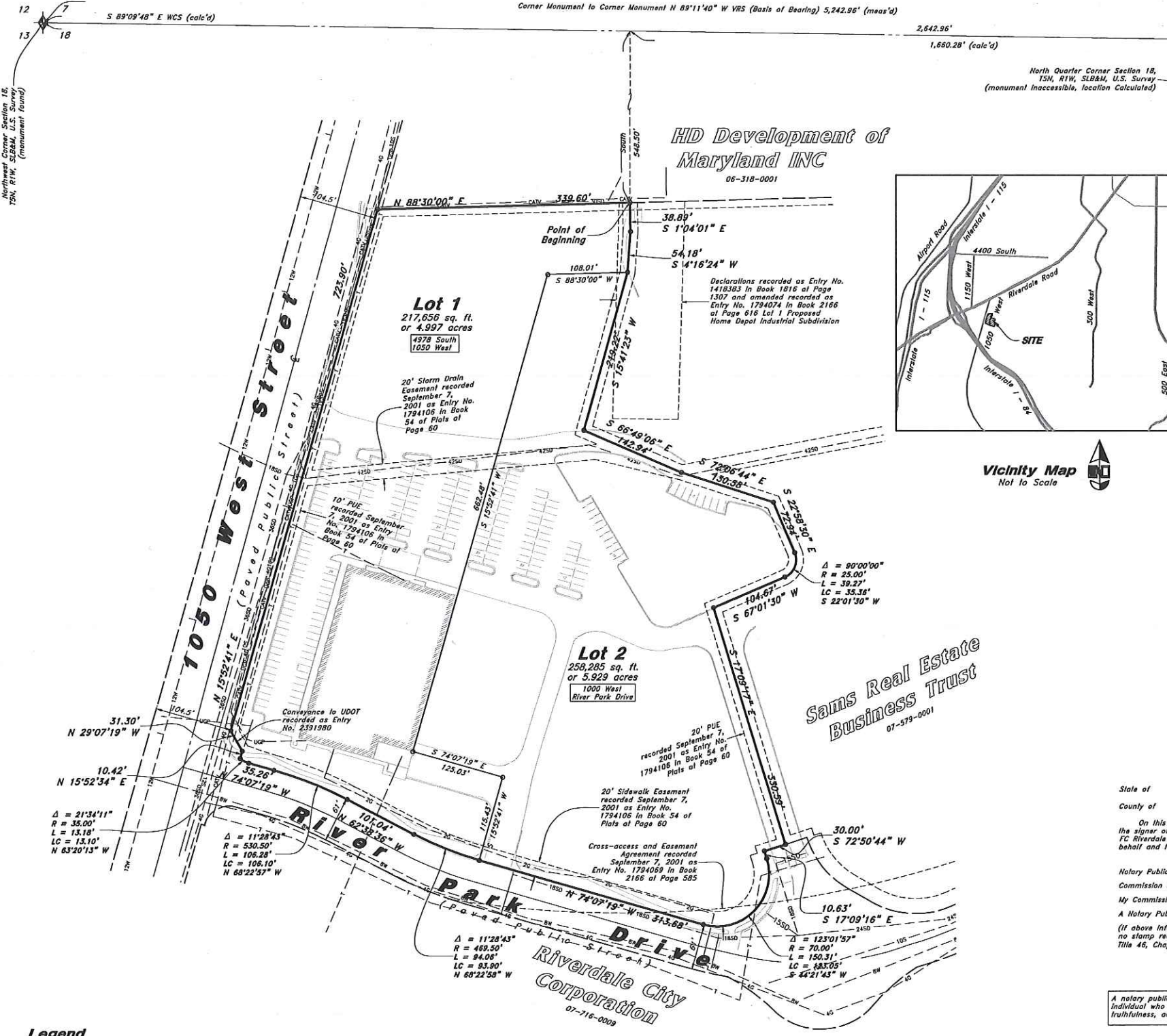
**Billing Information**  
EARL TATE  
, 84405

Transaction taken by: cjacobsen



# RMRE 1050 West Retail Lot 1 Amended Subdivision

Amending Lot 1 of RMRE 1050 West Retail Subdivision, being a part of the Northwest Quarter of Section 18, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, Riverdale City, Weber County, Utah  
October 2020



Scale: 1" = 80'

## Narrative

This Subdivision was requested by CCA to create 2 Lots.

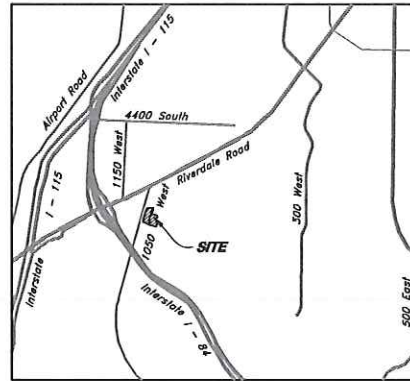
This Subdivision retraces and honors the underlying RMRE 1050 West Retail Subdivision.

The North Quarter Corner Monument falls within a government security fenced area and could not be accessed for this survey; the location has been calculated based on record documents and the Weber County Survey.

A line between monuments found for the Northeast and Northwest Corners of Section 18 was assigned the VRS bearing of North 89°11'40" West to place the Subdivision on the NAD 1983 State Plane Utah North Zone datum which matches the Weber County Survey referenced hereon.

Lot 1 of the 2001 RMRE 1050 West retail Subdivision has been split into two Parcels based upon inclusion or non-inclusion within a Weber Neighborhood Development Plan. For the purposes of this subdivision these parcels are to be combined and subdivided as shown hereon.

Property Corners will be set as shown hereon.



Vicinity Map  
Not to Scale

## Surveyor's Certificate

I, Ken B. Hawkes, a Professional Land Surveyor in the State of Utah, do hereby certify that this plat of RMRE 1050 West Retail Lot 1 Amended Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is a true and correct representation of the following description of lands included in said subdivision, based on data compiled from records in the Weber County Recorder's Office, and of a survey made on the ground.

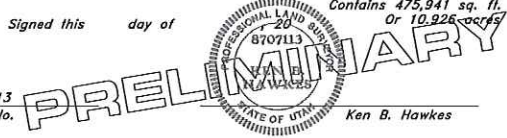
## Description

All of Lot 1, RMRE 1050 West Retail Subdivision, according to the Official Plat thereof on file and recorded September 7, 2001 as Entry No. 1794106 in Book 54 of Plats at Page 60 of Official Records in the Office of the Weber County Recorder, Less and Excepting therefrom all that portion conveyed to the Utah Department of Transportation by that certain Special Warranty Deed recorded February 19, 2009 as Entry No. 2391980 of Official Records, located in the Northwest Quarter of Section 18, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, Riverdale City, Weber County, Utah, being more particularly described metes and bounds as follows:

Beginning at the Northwest Corner of Lot 1, River Park Drive Sam's Club Subdivision, said point is described of record as being located 1660.28 feet North 89°09'48" West along the Section line and 548.50 feet South from the North Quarter Corner of said Section 18; and running thence along the Westerly line of said Lot 1 the following nine courses: South 1°04'01" East 38.89 feet; South 4°16'24" West 54.18 feet; South 15°41'23" West 219.22 feet; South 66°49'06" East 142.94 feet; South 72°06'44" East 130.58 feet; South 22°58'30" East 72.94 feet to a point of curvature; Southeasterly, Southerly and Southwesterly along the arc of a 25.00 foot radius curve to the right a distance of 39.27 feet (Central Angle equals 90°00'00" and Long Chord bears South 22°01'30" West 35.36 feet) to a point of tangency; South 67°01'30" West 104.67 feet; and South 17°09'17" East 330.59 feet to the Northerly Line of River Park Drive; thence along said Northerly line the following nine courses: South 72°50'44" West 30.00 feet; South 17°09'16" East 106.63 feet to a point of curvature; Southwesterly along the arc of a 70.00 foot radius curve to the right a distance of 150.31 feet (Central Angle equals 123°01'57" and Long Chord bears South 44°21'43" West 123.05 feet) to a point of tangency; North 74°07'19" West 313.68 feet to a point of curvature; Northwesterly along the arc of a 469.50 foot radius curve to the right a distance of 94.06 feet (Central Angle equals 11°28'43" and Long Chord bears North 68°22'58" West 93.90 feet) to a point of tangency; North 62°38'36" West 101.04 feet to a point of curvature; Northwesterly along the arc of a 530.50 foot radius curve to the left a distance of 106.28 feet (Central Angle equals 11°28'43" and Long Chord bears North 68°22'57" West 106.10 feet) to a point of tangency; North 74°07'19" West 35.26 feet to a point of curvature; and Northwesterly along the arc of a 35.00 foot radius curve to the right a distance of 13.18 feet (Central Angle equals 21°34'11" and Long Chord bears North 63°20'13" West 13.10 feet) to a point on said conveyance to Utah Department of Transportation; thence along said conveyance the following two courses: North 15°52'34" East 10.42 feet to a point described of record as being located 74.38 feet perpendicularly distant Easterly from Engineers Station 55+43.37 on the Centerline of SR-60, known as Project No. SR-199(36); and North 29°07'19" West 31.30 feet to a point on the Southeasterly Line of 1050 West Street, said point being described of record as being located 52.25 feet perpendicularly distant Easterly from the Centerline of said Project opposite Engineers Station 55+65.49; thence North 15°52'41" East 723.90 feet along said Southeasterly line; thence North 88°30'00" East 339.60 feet to said Northwest Corner of Lot 1 and the Point of Beginning.

Signed this day of

8707113  
License No.



## Owner's Dedication

Know all men by these presents that we, the undersigned owners of the hereon described tract of land, hereby set apart and subdivide the same into 2 Lots as shown on this plat and name said plat RMRE 1050 West Retail Lot 1 Amended Subdivision.

In witness whereof I have hereunto set my hand this day of AD, 20

CCA-Family Center Riverdale, LLC a Delaware limited liability company FC Riverdale Shopping Center, LLC a Delaware limited liability company

by: CCA Acquisition Company, LLC, its: Manager by: CCA Acquisition Company, LLC, its: Manager  
by: Steven Usdan, its: Manager by: Steven Usdan, its: Manager

## Acknowledgment

State of } SS  
County of }  
On this day of 2020 personally appeared before me, Steven Usdan the signer of the foregoing instrument, who duly acknowledged to me that he is the Manager of FC Riverdale Shopping Center, LLC, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: \_\_\_\_\_  
Commission Number: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_  
A Notary Public Commissioned in Utah  
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

## Acknowledgment

State of } SS  
County of }  
On this day of 2020 personally appeared before me, Steven Usdan the signer of the foregoing instrument, who duly acknowledged to me that he is the Manager of CCA-Family Center Riverdale, LLC, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: \_\_\_\_\_  
Commission Number: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_  
A Notary Public Commissioned in Utah  
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

## Legend

- Monument
- Adjoining Lot Line
- Property Line
- Lot Line
- Easement Line
- Centerline
- Section Line
- Street Address
- Set 5/8"x24" Rebar & Cap or Nail & Washer stamped AWA of property corners
- Existing Building
- Weber County Survey

## Existing Agreements

This Subdivision is located in an existing property development subject to existing Cross-Access, Maintenance, underground utilities and other relevant agreements contained in the following recorded Declaration, Amendment, Agreements and Addendum to Agreements thereto, records of Weber County, Utah:

Entry No. 1794066 in Book 2166 at Page 533  
Entry No. 1794076 in Book 2166 at Page 632  
Entry No. 1794078 in Book 2166 at Page 641  
Entry No. 1794113 in Book 2166 at Page 840  
Entry No. 2677794  
Entry No. 2970558



## Riverdale City Planning Commission

Approved by the Riverdale City Planning Commission on the day of 20.  
Chair, Riverdale City Planning Commission

## Riverdale City Engineer

I hereby certify that I have carefully investigated the lines of Survey of the foregoing plat and legal description of the land embraced therein, and find both to be correct and to agree with the lines and monuments on record in this office.  
Signed this day of 20.  
Riverdale City Engineer

## Riverdale City Approval

This is to certify that this plat and dedication of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this day of 20.  
Riverdale City Mayor  
Attest

## Riverdale City Attorney

Approved by the Riverdale City Attorney on the day of 20.  
Riverdale City Attorney

## Approving Agency

Riverdale City  
4600 S. Weber River Dr.  
Riverdale, UT 84405

## Owner/Developer

CCA Acquisition Company  
5670 Wilshire Boulevard, Suite 1250  
Los Angeles, California 90036  
323-965-1510

## Weber County Recorder

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
RECORDED \_\_\_\_\_ AT \_\_\_\_\_  
IN BOOK \_\_\_\_\_ OF OFFICIAL RECORDS, PAGE \_\_\_\_\_, RECORDED FOR \_\_\_\_\_  
WEBER COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY



**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 13, 2020**

**AGENDA ITEM: E4**

**SUBJECT:** Consideration of Preliminary Subdivision Site Plan and Plat approval of Riverdale Landing Phase 2 Subdivision, property located approximately 400-500 West Riverdale Road, Riverdale, Utah 84405, as requested by Anderson Wahlen & Associates, Inc and the DRH Company.

**PRESENTER:** Mike Eggett, Community Development

**INFORMATION:**

- a. [Exec Summ Riv Land Ph 2 Prelim Sub Site Plan – PC \[20201013\]](#)
- b. [Riv Landing Ph 2 Prelim Subdiv and Site Plan Review – 20201007](#)
- c. [Dept Staff Reports – Riv Land Ph 2 Prelim PC \[20201008\]](#)
- d. [Riv Landing Ph 2 – City Eng Review letter #1 – 8 Oct 2020](#)
- e. [App Riv Landing Ph 2 Sub Full 20200925](#)
- f. [Riverdale Landing Ph 2 Subdivision 20200929](#)
- g. [2020-09-25 Riverdale Landing Phase 2 Onsite Plans](#)
- h. [2020-09-25 Riverdale Landing Phase 2 RDA Offsite Plans](#)
- i. [Site Photometrics Complete Site Revised 9-24-20](#)
- j. [Riverdale Landing Ph 2 Pad A Retail Bldg – Digital Color Board](#)

**[BACK TO AGENDA](#)**



## Planning Commission Executive Summary

For the Commission meeting on: 10-13-2020

Petitioner: *The DRH Company*  
represented by Dee Hansen/Eric Malmberg

### Summary of Proposed Action

The DRH Company, as represented by Dee Hansen and Eric Malmberg (project engineer), has applied for a Preliminary Subdivision and Site Plan review of two new restaurant buildings with drive-thru, new private access drive aisles, new utilities, and supporting facilities development project for real estate located approximately between 400 and 500 West along Riverdale Road (to the direct north of Krispy Kreme). The affected parcels are zoned in the Community Commercial (C-2) zone and, therefore, this request would need to go through a conditional use review process at a later date in this project's timeline. This subdivision and site plan is being proposed for development on property that is adjacent to a café/restaurant, a vacant building, an apartment complex, and across the street from a commercial center. The property is currently owned by DRH Properties, LLC. A public hearing is not required to consider this subdivision and site plan proposal. Following the presentation and discussion of the proposal, the Planning Commission may make a motion giving preliminary approval of the Riverdale Landing Phase 2 subdivision and site plan proposal, approval of the proposed subdivision and site plan with any requested modifications, tabling the matter to a later date, or not giving preliminary approval of the proposed subdivision and site plan with the appropriate findings of facts. If preliminary approval is provided, then this matter could move forward to a future Final Subdivision and Site Plan recommendation consideration process with the Planning Commission.

### Title 10 Ordinance Guidelines (Code Reference)

This Preliminary Site Plan and Subdivision Plat review is regulated under City Code 10-21 "Subdivisions", 10-25 "Development in All Zones", and is affected by City Codes 10-10A "Community Commercial Zones (C-2)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", 10-16 "Sign Regulations", and 10-19 "Conditional Uses".

The proposed development parcels are located on property east of Riverdale Road and north and adjacent to 500 West on property currently owned by DRH Properties, LLC. The property is located in a C-2 zoned area and the requested use of restaurants with drive-thru access is a conditional use in this zone.

Attached with this executive summary is a document entitled "Preliminary Subdivision and Site Plan Review - Riverdale Landing Phase 2"; this is a supplementary document addressing items on the Preliminary Subdivision and Site Plan application documents. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

The Planning Commission is encouraged to briefly discuss signage and lighting plans with the petitioner to better understand how site lighting and signage will work in this area; signage is regulated per City Code 10-16 (specifically section 8.(b.) for Commercial Districts); the applicant should be directed to adhere to this Code when contemplating signage. No signage information for this site has been provided in your

packet.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion giving preliminary approval of the Riverdale Landing Phase 2 subdivision and site plan proposal, approval of the proposed subdivision and site plan with any requested modifications, tabling the matter to a later date, or not giving preliminary approval of the proposed subdivision and site plan with the appropriate findings of facts.

#### General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

#### Legal Comments - City Attorney

\_\_\_\_\_  
Steve Brooks, Attorney

#### Administrative Comments - City Administrator

\_\_\_\_\_  
Steve Brooks, Acting City  
Administrator

## Preliminary Subdivision and Site Plan Review – Riverdale Landing Phase 2, 4182 and 4194 South Riverdale Road

*Completed by Mike Eggett, Community Dev. Director on 10/7/2020*

**Recommendation:** City staff recommends that the Planning Commission examine and review items associated with this proposed preliminary subdivision and site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the preliminary subdivision and site plan or not approve the proposed Riverdale Landing Subdivision and Site Plan with any additional comments, requirements or concerns to be addressed by the developer.

|   |  |
|---|--|
| Date Plan Submitted to City:<br>(Must be at least two weeks prior to Planning Commission meeting) | September 29, 2020   |
| Date Application Submitted to City:   | September 29, 2020   |
| Date Fee Paid:  | Paid on Sept. 29, 2020 (see receipt for detail)  |
| <b>Site Plan – Preliminary Requirements</b>   | <b>Departmental Review Comments</b>  |
| <i>COVER SHEET</i>  | Provided   |
| <u>Title Block</u>  |  |
| Project name and address  | Project name and address location shown; address location needs to be updated to reflect new addresses of Lot 201 (4194 South) and Lot 202 (4182 South) on Riverdale Road            |
| Property Owner's name, address, and phone number  | Property owner's name, address, and phone number not shown, listed as DRH Co.  |
| Property Developer's name, address, and phone number  | Property developer's name, address, and phone number not shown, listed as DRH Co.  |
| Approving agency's name and address: Utility companies if applicable                              | Approving agency's name and address not shown: Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and address not provided as applicable |
| Consulting Engineer's name, address, and phone number   | Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529  |

|  |  |
|--|--|
| Licensed Land Surveyor's name, address, phone number, signature, and seal              | Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; <u>seal provided and signature anticipated at later stage in process</u>  |
| Date   | Yes – 22 Sept, 2020  |
| Revision block with date and initials  | Revision blocks shown and no comments yet  |
| Sheet number and total sheets  | Shown (26 total sheets: Site Plan and Sub documents, architectural renderings, lighting and photometrics, and RDA offsite road improvements project documents)   |
| <u>General</u>   |  |
| Street names   | Shown – 300 West, 500 West, 550 West, Riverdale Road, and Shared Drive (Branz Way)   |
| Layouts of lots with lot numbers   | Yes, shown; four proposed new lots shown   |
| Adjacent tract ownership and tax identification numbers                                | Tract ownership names shown; <b>tax ID not shown or provided on any sheets</b>   |
| Scale (minimum 1"=50' to 1"=10')   | Yes, scale is shown, 1" = 60' on subdivision plat and 1" = 20' on site plan sheets   |
| North arrow  | Yes  |
| Existing easements, structures, and utility lines: Approval to cross, use, or relocate | Existing easements identified on subdivision sheets to be vacated, no existing structures currently on site, existing utility lines shown on multiple sheets; <u>unknown if approvals provided to cross, use, relocate</u> |
| Space for notes  | Yes, provided  |
| Contours   | Yes, shown on multiple sheets  |
| Public areas   | Existing and planned sidewalks and curb/gutter shown on multiple sheets  |
| <u>Vicinity Map</u>  |  |
| Street names   | Yes  |
| Site location  | Yes  |
| North arrow  | Yes  |
| Scale  | Note of "Not to Scale"   |
| <i>PLAT SHEET</i>  | Provided   |
| <u>Title Block</u>   |  |

|   |   |
|---|---|
| Project name and address  | Project name and address location shown; address location needs to be updated to reflect new addresses of Lot 201 (4194 South) and Lot 202 (4182 South) on Riverdale Road   |
| Approving Agency's name and address   | Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405, this is not shown on plat  |
| Consulting Engineer's name, address, and phone number                                   | Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529   |
| Consulting Engineer's stamp, signature, and license expiration date                     | Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529; engineer's stamp and signature provided  |
| Date  | Yes – 22 Sept, 2020   |
| Names of approving agents with titles, stamps, signatures, and license expiration dates | Names of approving agents, titles shown; stamps shown; signatures not shown on plat at this time  |
| Names of approving departments (Attorney, Planning Commission, Mayor, Engineer)         | Shown on plat   |
| <u>Layout</u>   |   |
| Landscaping (location and type with area calculations)                                  | Yes, provided on sheets L1.1-L3.1   |
| Location of exterior lighting devices, signs, and outdoor advertising                   | Yes, location of existing lighting shown in packet; no existing signs or outdoor advertising; location of proposed on site lighting devices shown; signage to be used for outdoor advertising provided with submission unknown at this time; architectural elevations provided; planned building lighting unknown |
| Location of underground tanks, dumpsters, etc   | Underground storm water chambers location identified on C3.1 and details drawings of storm water chamber not provided, no other tanks present on site; dumpster and dumpster enclosure location shown in packet   |
| <u>Additional Information</u>   |   |
| Benchmark   | Provided  |
| Basis of bearings   | Provided  |
| Legend  | Provided  |
| <i>PLAN AND PROFILE SHEETS</i>  | Site plan and profile sheets provided   |
| <u>Title Block</u>  |   |

|   |   |
|---|---|
| Project name and address                              | Project name and address location shown; address location needs to be updated to reflect new addresses of Lot 201 (4194 South) and Lot 202 (4182 South) on Riverdale Road |
| Approving Agency's name and address                   | Approving agency's name and address not shown: Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405  |
| Consulting Engineer's name, address, and phone number | Anderson Wahlen & Associates, 2010 North Redwood Road, Salt Lake City, Utah 84116, 801-521-8529   |
| Date  | Yes – 22 Sept, 2020   |
| Scale   | Yes, scale is showing   |
| Revision block with date and initials                 | Revision blocks shown and no comments yet   |
| Sheet number and total sheets                         | Shown (26 total sheets: Site Plan and Sub documents, architectural renderings, lighting and photometrics, and RDA offsite road improvements project documents)            |
| <u>General</u>  |   |
| North arrow   | Yes   |
| Street names  | Shown – 300 West, 500 West, 550 West, Riverdale Road, and Shared Drive (Branz Way)  |
| Lot numbers   | Yes, shown; four proposed new lots shown  |
| Reference to sheets showing adjacent areas            | Not applicable  |
| Center line stationing                                | Shown on plans  |
| Existing natural ground                               | Provided  |
| <u>Signage</u>  | Building signage concepts not shown or provided at this time; may inquire more regarding future signage intent if desired   |
| Height  | Not available   |
| Size  | Not available   |
| Locations   | Not available   |
| Colors  | Not available   |
| Lighting  | Not available   |
| <u>New and Existing Buildings</u>                     |   |
| Height and Size                                       | New building - Height = Unknown at this time for either building; Building size Pad A = approx. 2,603 sq. ft., Pad B = approx. 2,603 sq. ft.                              |

|  |  |
|--|--|
| Location, setbacks, and all dimensions   | No setbacks distances shown on sheets; approximates: front setback – unknown feet at nearest point; rear setback – unknown feet at nearest point; south side setback – unknown feet at nearest point; north side setback – unknown feet at nearest point |
| Type of construction   | Materials for structure, texture, color appearance provided on architectural drawings; <u>DRC will be needed for this site plan</u>  |
| Type of occupancy and proposed uses  | Regional commercial restaurants and drive-thru aisles for each pad   |
| Show handicapped access  | ADA accessible ramp and access areas shown and handicapped parking stalls shown  |
| <u>New and Existing Landscaping &amp; Percentage</u>                                       | Percentage of landscaping provided for site is 21% and meets requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)  |
| Number of trees  | 11 trees, 111 shrubs, 5 perennials, 45 grasses   |
| Landscape plan showing all planting, hardscaping, berming, and watering                    | Planting, hardscaping shown; gentle berming locations, as required in 10-14-12 (B.)(2.), not identified in landscaping plan; irrigation plan identified on L1.1-L3.1   |
| Xeriscaping alternatives being considered  | Yes, xeriscaping seems to be applied a great deal in the decorative stone areas of landscape plan; for more, inquire of the developer  |
| <u>New and Existing Walls and Fences</u>   |  |
| Location, design, and height   | No existing fences on site; no new fences appear to be planned for site  |
| Materials proposed for construction  | No new fences planned for site   |
| <u>New and Existing Parking</u>  |  |
| Location, area, and layout of off-street parking (size of stalls, regular and handicapped) | 60 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements; per code adequate parking for use concepts   |
| Location of employees' parking, customer parking, and handicapped parking                  | Established as shown in drawings; employee parking and customer parking appear shared  |
| Internal circulation pattern   | Drive thru shown; parking area circulation shown   |
| <u>New and Existing Ingress and Egress</u>   |  |
| Location and size of points of ingress and egress for motor vehicles and internal use      | Yes, shown   |
| Circulation pattern  | Yes, internal access and circulation shown with arrows; inquire more if desired  |



|  |   |
|--|---|
| <u>New and Existing Streets</u>  |   |
| All access points  | Yes, this is shown  |
| Center lines   | Yes, this is shown  |
| Right-of-way lines   | Shown, "right-of-way" not identified  |
| Face of curb lines   | Yes, this is shown  |
| Centerline slope   | Shown on drawings for new private drives, road adjustments and established per previous development   |
| Signing and striping   | Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable |
| Light poles  | Yes, location of existing light poles and power equipment shown; location of proposed light poles/equipment shown on multiple sheets                                |
| Street lights  | Yes, location of existing street light poles and power equipment shown; <u>no newly proposed street light poles or devices appear to be planned</u>                 |
| Street name signs  | Location of street name signs on site not applicable to this location   |
| Stop signs   | Location of stop signs on site shown  |
| UDOT approval (if required for project)  | No UDOT approval required for this project; all internal access   |
| Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach) | Yes, shown and defined on sheet C4.1; 500 West and shared driveway (Brantz Way) shown on C1.1-1.2 and defined on C2.2   |
| Planting Strip   | No planting strips planned or available along Riverdale Road and internal private drive   |
| <u>New and Existing Storm Drainage</u>   |   |
| Top of curb elevations   | Shown on C2.1, in detail on sheet C4.1; 500 West and shared driveway shown on C1.1-2.1  |
| Slope of gutter  | Shown on C2.1, in detail on sheet C4.1; 500 West and shared driveway shown on C1.1-2.1  |
| Manholes   | Existing shown on multiple sheets; new shown on multiple sheets;  |
| Invert elevations  | Shown on C2.1, 500 West and shared driveway shown on C1.1 and C2.1, <u>defer to City Engineer</u>   |
| Length, size, slope, and type of mains and laterals  | Shown on C2.1 and 3.1, 500 West and shared driveway shown on C1.1 and C2.1, <u>defer to City Engineer</u>   |
| Location of catch basins   | Shown on C2.1 and 3.1, 500 West and shared driveway shown on C1.1 and C2.1  |

|   |  |
|---|--|
| Ditches, location and ownership                                     | Waterway detail shown on C4.1  |
| Approval to pipe, reroute or use                                    | Other than future City approval, <u>unknown if other UDOT approval required, defer to City Engineer</u>  |
| Calculations for retention system                                   | <b>This has not been provided; defer to City Engineer</b>  |
| Method of storm water clean-up                                      | Shown on sheets C2.1, C3.1, and C5.1-5.3; 500 West and shared driveway shown on C1.1, C2.1   |
| <u>New and Existing Sanitary Sewers</u>                             |  |
| Manholes  | Existing shown on multiple sheets; new shown on multiple sheets;   |
| Invert elevations   | Shown on C2.1, 500 West and shared driveway shown on C1.1 and C2.1, <u>defer to City Engineer</u>  |
| Length, size, type, and slope of mains and laterals                 | Shown on C2.1 and 3.1, 500 West and shared driveway shown on C1.1 and C2.1, <u>defer to City Engineer</u>  |
| <u>New and Existing Water Lines</u>                                 |  |
| Length, size, type, and slope of mains and laterals                 | Shown on C2.1 and 3.1, 500 West and shared driveway shown on C1.1 and C2.1, <u>defer to City Engineer</u>  |
| Location, size, and type of water meters, valves, and fire hydrants | <b>Water meters not identified, size water meters unknown, type per public works; Location of new and existing valves not shown; Existing fire hydrants shown off site; no new hydrants shown, if off or on site</b> |
| <u>New and Existing Gas Lines</u>                                   |  |
| Size and type   | Existing and new gas lines shown on multiple sheets, size shown; <u>type not shown</u>   |
| <u>New and Existing Electrical Lines</u>                            |  |
| Size, location, and type  | Existing and new power lines locations shown, <u>size and type not identified</u> ;  |
| Location of power poles   | Existing power poles and overhead lines location shown on multiple sheets; new power poles location shown on multiple sheets, where applicable   |
| <u>New and Existing Telephone Lines</u>                             |  |
| Location of poles, junction boxes, and manholes                     | Existing location of telephone lines shown; <b>new telephone utility lines, junction boxes, poles and associated manholes not shown if applicable</b>  |
| <u>New and Existing Cable TV Lines</u>                              |  |
| Location of lines (if applicable)                                   | <b>Cable TV lines not shown (if applicable)</b>  |
| <i>DETAILED DRAWINGS</i>  |  |

|  |  |
|--|--|
| Cross section of roadway (minimum 8" road base and 3" asphalt)   | Refer to sheet C4.1 for roadway cross section  |
| Cross section of curb and gutter (standard 30" high back)  | Shown on sheet C4.1, defer to City Engineer  |
| Gutter inlet box with bicycle safe grate   | Detail shown on sheet C4.2, locations identified on multiple sheets; <b>not identified as bicycle safe grates on gutter inlet boxes</b> ; <u>defer to City Engineer</u>  |
| Cleanout box   | Detail shown on sheets C4.3, location identified on multiple sheets; <u>defer to City Engineer</u>   |
| Thrust blocking  | <b>Locations and detail not shown, where applicable</b> ; <u>defer to City Engineer</u>  |
| Special energy dissipating or drop manholes  | None showing and may not be applicable; <u>defer to City Engineer</u>  |
| <i>ADDITIONAL INFORMATION</i>  |  |
| Soils report   | Geotechnical report has been provided as completed by CMT Engineering Laboratories on September 10, 2019 for this site   |
| Drainage and runoff calculations   | <b>This has not been provided</b> ; <u>defer to City Engineer</u>  |
| Water right transfer documentation   | <b>Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code</b>  |
| Copy of protective covenants, codes, and regulations for development   | None provided or anticipated with this project   |
| Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings | Yes, provided as requested   |
| Building elevation renderings  | Provided in packet   |
| Corps of Engineers approval (if required)  | Noted as FEMA flood zone determination outside of the 0.2% annual floodplain; no wetlands or Corps of Engineers approval req.  |
| Zoning compliance  | Yes, Community Commercial (C-2) meets intended uses for site design; <b>conditional use permit approval will need to be provided by Planning Commission for proposed usage in C-2 zone, this is anticipated the same night as PC final review of project would occur</b> |
| RDA compliance (if applicable)   | In 550 West RDA area, but no applicable RDA regulations for this project   |
| Use compliance   | Yes, with understanding that Community Commercial (C-2) conditional use approval is needed for this development request  |
| Engineering comments and letter of approval recommendation   | Engineering comments, along with Public Works, Police Department, Fire Department provided   |
| Traffic study  | Not currently required   |

|  |  |
|--|--|
| All Planning Commission and City Staff conditions for approval have been met | <u>Currently Preliminary Submission approval consideration being reviewed by Planning Commission</u> |
|--|--|

## DEPARTMENTAL STAFF REPORTS – 10/5/2020 to 10/8/2020

**From:** Shawn Douglas

**Sent:** Mon 10/5/2020 10:00 AM and 11:35 AM

**To:** Mike Eggett

**Subject:** Riverdale Landing and Shared Driveway Review

Thanks

### Riverdale Landing Phase 2 Plan Review

#### **Storm Water**

- 1-Drainage system operation and maintenance plan BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail, free board on pond, and emergency overflow.
- 3-Hydrodynamic separator or equivalent BMPs.
- 4-Provide proposed storm water flows in gpm/gpd.
- 5-Storm prevention plan for construction site with bmps. Needs to include a way to limit access to tracking pad entrance.
- 6-Notice of intent filed with state.
- 7-Note to certify retention pond size and elevation after construction.
- 8-Detention basin design and materials will need to be shown.
- 9-Inject well permit will need to be filed and approved.

#### **Water**

- 1-Meter box design.
- 2-5-Fire line location and size.
- 3- Sprinkler water line and meter size, location and type of materials.
- 4-Backflow preventer location, size, and type.
- 5-Provide water usage peak demand in thousands of gallons per day.
- 6-Water Shares.
- 7-Easement for water lines.

#### **Sewer**

- 1-Proposed sewer flows daily and peak. Including peak demand time.
- 2-Easment for sewer line.

#### **Other**

- 1-Note requiring all construction and materials shall meet Riverdale City standards and specifications.

- 2-Note requiring all missing, nonfunctioning, or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing etc.)
- 3-Dimensions and square footage of each lot.
- 4-Square footage of impervious surface for each lot.

This is my review for the shared Driveway. Thanks

## Shared Driveway Plan Review

### **Storm Water**

- 1-Drainage system operation and maintenance plan BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail, free board on pond, and emergency overflow.
- 3-Hydrodynamic separator or equivalent Bmp's.
- 4-Provide proposed storm water flows gpm/gpd.
- 5-Grading/drainage plan.
- 6-Show existing storm drain lines, retention ponds, catch basins, gutter inlet boxes, etc.
- 7-Storm prevention plan for construction site with bmps.
- 8-Notice of intent filed with state.
- 9-Note to certify retention pond size and elevation after construction.
- 10-Detention basin design and materials will need to be shown.
- 11-How do you propose to catch storm water on the North side of the road/
- 12-No connection at east end of the project for future storm water.
- 13-Permission to connect to state storm drain box.
- 14-Who would be responsible for the monthly storm water fees?

### **Streets**

- 1-Street lights design and placement.
- 2-Traffic impact study.
- 3-Street signs.
- 4-Sidewalk on North side of the street.
- 5-Sidewalk connection to Greenhill Development.

### **Water**

- 1-Water meters in park strip or protected landscaping with easement.
- 2-Meter box design
- 3-Fire line location and size.
- 4-Water line and meter size and type of materials.

### **Sewer**

- 1-Size, location and type of material for sewer mains and laterals.
- 2-Continue sewer line for future connections.
- 3-Rename land drain pipe.

#### **Other**

- 1-Note requiring all construction and materials shall meet Riverdale City standards and specifications.
- 2-Note requiring all missing, nonfunctioning, or damage surface improvements shall be replaced.  
(sidewalk, curb and gutter, fencing etc.)
- 3-Dimensions and square footage of each lot.
- 4-Square footage of impervious surface for each lot.
- 5-Show existing electrical, phone, gas, cable tv and any other existing utilities on plan.
- 6-Finished grade elevations.

Shawn Douglas  
Riverdale City Public Works  
[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)  
801-394-5541 ext.1217

---

**From:** Scott Brenkman  
**Sent:** Wed 10/7/2020 5:05 PM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - Riv Landing Ph 2 Site Plan Proposal

No problem, I don't have any concerns with the proposed plan.

Thanks,

Chief Scott Brenkman  
Riverdale Police Department  
4580 S. Weber River Dr.  
Riverdale, UT 84405  
(801)394-6616  
[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

---

**From:** Jared Sholly  
**Sent:**  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - Riverdale Landing Phase 2 Subdivision and Site Plan Proposal

*No comments provided.*

*Jared Sholly*  
*Fire Chief*  
*Riverdale City Fire Department*  
*Cell: 801-628-6562*  
*Office: 801-394-7481*

---

**From:** Randy Koger  
**Sent:** Thu 10/8/2020 2:42 PM  
**To:** Mike Eggett  
**CC:** Jared Sholly  
**Subject:** RE: PC Mtg dept review request - Riverdale Landing Phase 2 Subdivision and Site Plan Proposal

I do not see any issues at this time.

**Comments made during this review are advisory and do not prevent the necessity of conforming with requirements which might have been overlooked in the review process.**

**Fire Marshal/Code Enforcement Officer**  
**Riverdale City**  
**801-436-1241**



8<sup>th</sup> October 2020

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **Riverdale Landing, Phase 2 – Offsite Plans**  
Subj: Plat & Improvement Drawings Review – Drawings are Preliminary

Dear Mike,

I have completed my review of the above referenced subdivision and submit the following comments for your consideration:

***As the Subdivision moves forward - Please request the Developer or his Engineer, submit a response letter with their re-submittal of drawings answering all Engineering review comments contained herein.***

1. An **electronic copy** of the final Plat, Improvement Drawings and Details must be submitted to the Public Work Department for record keeping via. our office, upon design completion and prior to approval of the final drawings from our office.

**Plat**

1. A “Vacation Plat” will need to be provided separate from the “Subdivision Dedication Plat”. Both separate Plat’s can move forward simultaneously, as information is provided.
2. The public roads which have been shown – 500 West Street and 550 West Street, should at minimum be platted as 60-foot right-of-way roadways meeting the City Standards. All public roadways must have the cross-section meeting the City Standards including sidewalk and park strip, all improvement items.
3. Show the “Branz” access road on the Plat as private.
4. There are several easements shown on the submitted combined Plat which need to be identified as to location, bearing and distance ties are needed, the exact usage needs to be indicated, (Please show bearings and distances width and length, etc.). The noted written and referenced “Easement Vacation Note” will need all easements to be shown on the plat.

5. Identify the existing “right-of-way” which is to be relocated (ties, bearings, distance, who is presently entitled to the right of way, where is it now going to be moved to.
6. The corner turning radius on 500 west Street will need to be increased for larger delivery trucks.
7. The new road dedication on the easterly extension of 500 West Street needs to be properly dedicated.
8. Show the right-of-way width for all surrounding roadways.
9. The following requirements are applicable and must be noted on the dedication Plat.

**All Onsite “Utilities and Facilities” – On Private Property:**

- a. **Culinary Water Facilities:** All facilities i.e., pipes, service laterals, valves, bends, thrust blocks, fire hydrants, miscellaneous fittings are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
  - b. **Sanitary Sewer Facilities:** All facilities i.e., pipes, manholes, laterals, pipeline cleaning, sewer backups are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
  - c. **Storm Water Facilities:** All facilities i.e., pipes, manholes, inlet catch basins, orifice and orifice control structures, detention storage basins, overflow spillways are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
  - d. **Roadways and Sidewalks Facilities:** All hard-surfacing facilities i.e., are the sole responsibility of the property owners to manage and repair to the City Standards when failures occur.
10. The Plat date needs to be shown and should have the “Month” with the year in the title box. There are also spelling errors which need to be corrected.
  11. Cross-easements need to be provided for entire dedication subdivision.
  12. The name of the signers of the “Owner’s Dedication” needs to be placed (printed) under the signature line to better identify signatures.
  13. Please show “Point of Beginning”.
  14. Several property lines shown are not shown with the proper distance.
  15. There are several additional written notes on the plans, please review and correct as needed.
  16. The Riverdale City Engineer Signature block shall be written with the following:

*“I hereby certify that the “Office of the City Engineer” has examined the foregoing Plat and in our opinion the information conveyed herewith complies with the Public Works Standards and Specifications of Riverdale City.”*

## Improvement Drawings

The submitted improvement drawings rely on the submitted Vacation and Dedication Plats, and in order to proceed properly the improvement drawings will need to be updated with all corrections made and then can be reviewed.

Other items needing to be submitted:

1. A Storm Water Management Plan needs to be submitted for review.
  - The plan should include a sizing the storm water detention basin, inlet/outlet boxes orifice control, storm water treatment structures, graded basin floor, 12" perimeter freeboard, pipes, boxes, etc.
2. A "Geotechnical Report" will need to be submitted for review. The report should address a pavement design, bearing capacity, ground water depths, soil percolation, typical geotechnical report items.
3. The drawings will need to be finished:
  - Site flow pattern – directional arrows, pavement thicknesses, elevations.
  - Correct property lines inside of the site drawings, driving aisles.
  - Label all existing lots and streets to better clarify location of each site plan view.
  - Include all standard City details.
  - North arrows correctly placed with drawing scale on all drawings.
  - Plan & profile drawings for utilities.
  - Labels and dimensions all drawings.
  - Typical cross-sections, roadways, storm water features, etc.
  - Sidewalk and miscellaneous handicap required site features.
  - All details can be download at: <https://www.cec-engineers.com/riverdale-city-standards>.

If you have, any questions feel free to contact our office.

Sincerely,

**CEC, Civil Engineering Consultants, PLLC.**



N. Scott Nelson, PE.

*City Engineer*

Cc. Shawn Douglas, Public Work Director  
Jeff Woody, Building Official



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL SUBDIVISION SITE PLAN APPROVAL

CASE No: 2020-07 DATE SUBMITTED: 9/22/2020 / 9/25/2020  
APPLICANT'S NAME: Anderson Wahlen & Associates (Contact: Eric Malmberg)  
ADDRESS: 2010 North Redwood Road, Salt Lake City, UT 84116  
PHONE: 801-410-8500 TAX I.D. No: 060300047; 060300046; 060300044; 060310048;  
060310049; 060300005; 060300006; 060300048;  
060300049  
ADDRESS OF SITE: South of 400 West & Riverdale Road, Riverdale, Utah  
APPLICANT'S INTEREST: Site Plan Development for Restaurants on Pad A and Pad B

Application is hereby made to the Riverdale City Planning Commission requesting that a  
commercial subdivision consisting of (4) four lots be approved on 54,773 sq.ft. / 1.26 ac. of  
(number of lots) (sq. ft./acreage)  
property in the Commercial (C-2) zone in accordance with the attached site plan.

Eric Malmberg  
Project Manager with  
Anderson Wahlen  
& Associates  
Signature of Applicant

Dee R. Hansen  
Signature of Property Owner

I authorize Anderson Wahlen & Associates to act as my representative in all  
matters relating to this application.

Dee R. Hansen  
Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$50 per lot/unit  
Fee: \$ \$200.00 Date paid: 9/29/2020

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A  
Planning Commission scheduled to hear this application for site plan approval on:  
Date: 10/13/2020 Decision of Commission: \_\_\_\_\_  
City Council scheduled to hear this application for site plan approval on:  
Date: \_\_\_\_\_ Decision of Council: \_\_\_\_\_



Riverdale City  
4600 South Weber River Drive  
Riverdale, UT 84405  
801-394-5541

XBP Confirmation Number: 86757183

| Transaction detail for payment to Riverdale City.                                   |                           | Date: 09/29/2020 - 12:09:31 PM |             |
|---|---------------------------|--------------------------------|-------------|
| Transaction Number: 134082796PT<br>Visa — XXXX-XXXX-XXXX-8943<br>Status: Successful |                           |                                |             |
| Account #   | Item                      | Quantity                       | Item Amount |
|   | Zoning ampamp Subdiv. Fee | 1                              | \$252.00    |
| Notes: COMMERCIAL SITE PLAN APPROVAL  |                           |                                |             |
|   | Zoning ampamp Subdiv. Fee | 1                              | \$200.00    |
| Notes: COMMERCIAL SUBDIVISION SITE PLAN APPROVAL                                    |                           |                                |             |
|   | Sundry Revenues           | 1                              | \$75.00     |
| Notes: CONDITIONAL USE PERMIT FEE   |                           |                                |             |

**TOTAL: \$527.00**

**Billing Information**  
BRYNN ALEXANDER  
, 84117

Transaction taken by: rboman





# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2020-07 DATE SUBMITTED: 9/22/2020 / 9/25/2020  
 APPLICANT'S NAME: Anderson Wahlen & Associates (Contact: Eric Malmberg)  
 BUSINESS ADDRESS: 2010 North Redwood Road, Salt Lake City, UT 84116  
 BUSINESS PHONE: 801-410-8500  
 ADDRESS OF SITE: South of 400 West & Riverdale Road, Riverdale, Utah  
 APPLICANT'S INTEREST: Site Plan Development for Restaurants on Pad A and Pad B

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on approx. 54,773 sq.ft. / 1.26 ac. of property in the Commercial (C-2) zone in accordance with the attached site plan.

Eric Malmberg  
 Signature of Applicant  
 Project Manager with  
 Anderson Wahlen  
 & Associates

Dee R. Hansen  
 Signature of Property Owner

I authorize Anderson Wahlen & Associates to act as my representative in all matters relating to this application.

Dee R. Hansen  
 Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of

Fee: \$ \$252.00

Date paid: 9/29/2020

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 10/13/2020

Decision of Commission: \_\_\_\_\_

City Council set public hearing: Yes ☐ No ☐ Date of Public Hearing: \_\_\_\_\_

City Council scheduled to hear this application for site plan approval on:

Date: \_\_\_\_\_

Decision of Council: \_\_\_\_\_



Riverdale City  
4600 South Weber River Drive  
Riverdale, UT 84405  
801-394-5541

XBP Confirmation Number: 86757183

| Transaction detail for payment to Riverdale City. |                           |          | Date: 09/29/2020 - 12:09:31 PM |
|---|---------------------------|----------|--------------------------------|
| Transaction Number: 134082796PT                   |                           |          |                                |
| Visa — XXXX-XXXX-XXXX-8943                        |                           |          |                                |
| Status: Successful                                |                           |          |                                |
| Account #   | Item                      | Quantity | Item Amount                    |
|   | Zoning ampamp Subdiv. Fee | 1        | \$252.00                       |
| Notes: COMMERCIAL SITE PLAN APPROVAL              |                           |          |                                |
|   | Zoning ampamp Subdiv. Fee | 1        | \$200.00                       |
| Notes: COMMERCIAL SUBDIVISION SITE PLAN APPROVAL  |                           |          |                                |
|   | Sundry Revenues           | 1        | \$75.00                        |
| Notes: CONDITIONAL USE PERMIT FEE                 |                           |          |                                |

**TOTAL: \$527.00**

**Billing Information**  
BRYNN ALEXANDER  
, 84117

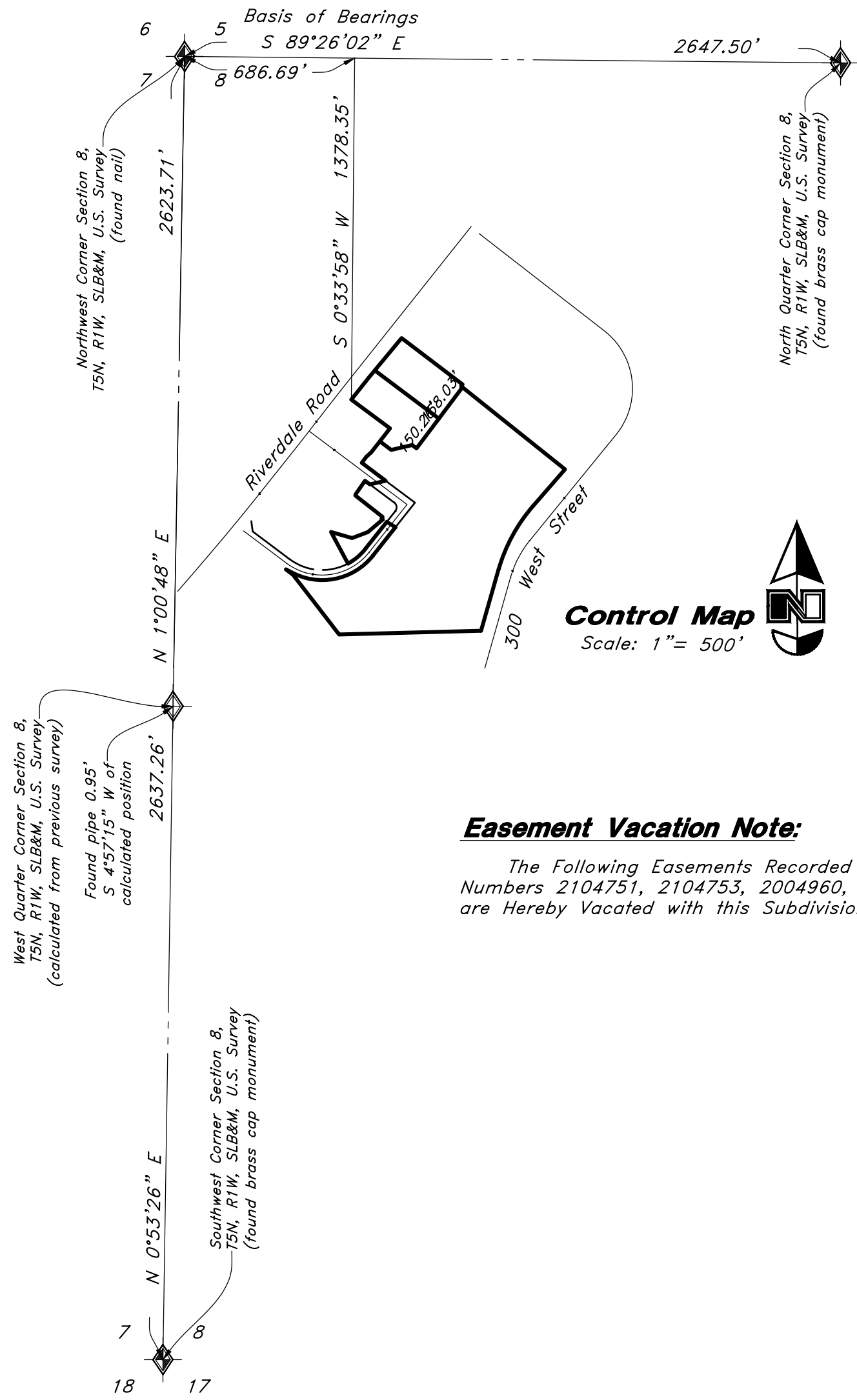
Transaction taken by: rboman



# Riverdale Landing, Phase 2 Subdivision

## Vacating all of Lots 2 and 3, Ruby River Plaza Subdivision Amended

A part of the Northwest Quarter of Section 8, Township 5 North, Range 1 West,  
Salt Lake Base and Meridian in Riverdale City, Weber County, Utah:  
2020



### Easement Vacation Note:

The Following Easements Recorded as Entry Numbers 2104751, 2104753, 2004960, 2017704 are Hereby Vacated with this Subdivision Plat.

### Narrative

This Survey and Subdivision was requested by Dee Hansen to subdivide a Lot for sale.

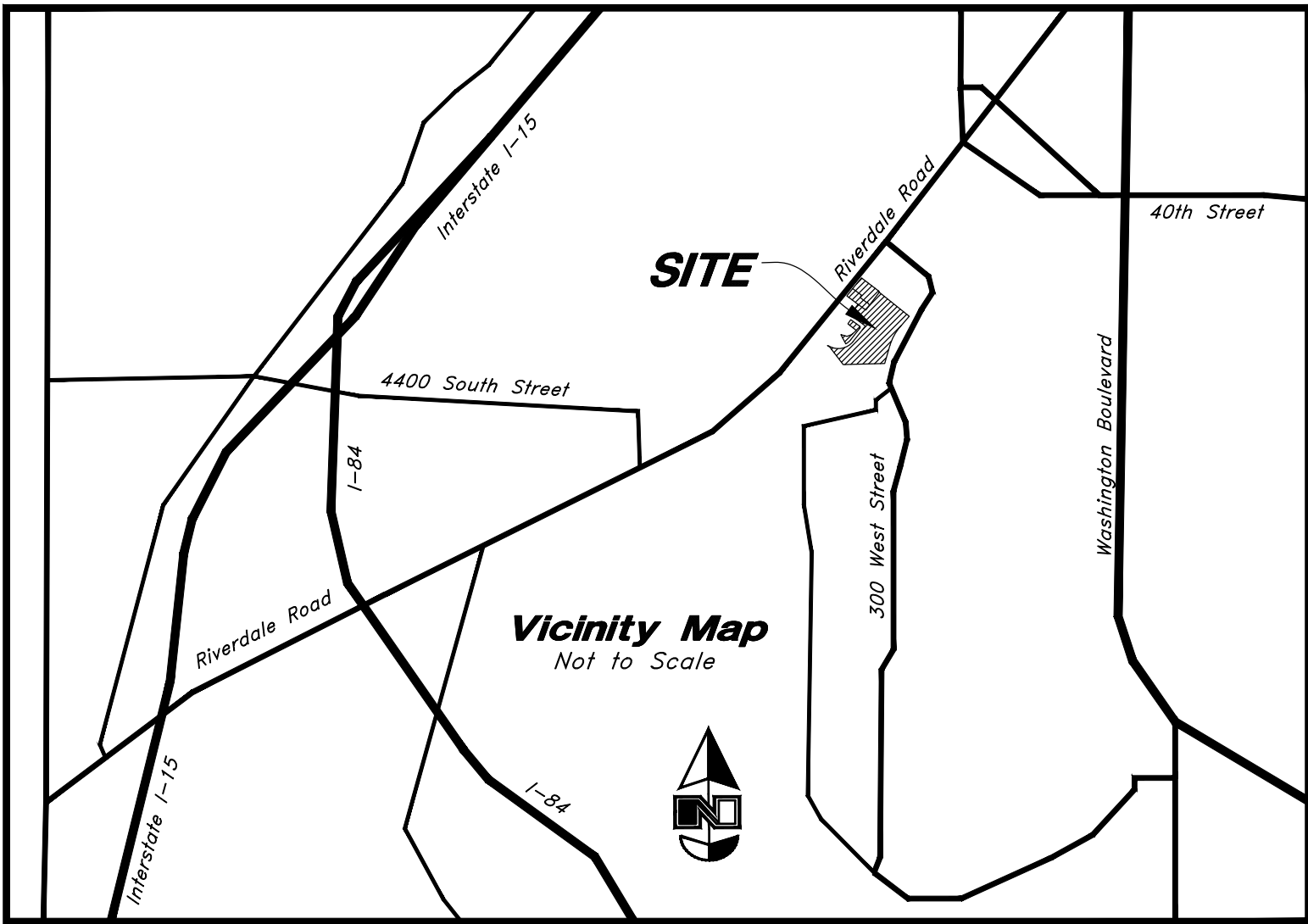
This Survey retraces and honors a previous 2003 ALTA Survey by Great Basin Engineering – South which established the alignment of 500 West Street and the Parcels abutting to the North. A 2015 survey for Valley West Apartments by Anderson Wahlen & Associates was also honored which established general boundaries, control, and the new alignment of the 300 West improvements. A 2017 ALTA survey by Anderson Wahlen & Associates was also honored for this survey.

A line between monuments found for Northwest Corner and the North Quarter Corner of Section 8 was assigned the Weber County Survey bearing of South 89°26'02" East as the Basis of Bearings to retrace and honor the previous Surveys.

This area of Riverdale is notorious for deed problems and most descriptions have no basis of bearings and must be interpreted to fit together.

State Highway plans were acquired but no Right-of-way markers were recovered for the alignment of Riverdale Road.

Stakeout of lot corners will be placed as construction strategies have been determined.



### Descriptions

A part of the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in Weber County, Utah:

Beginning at the Most Northerly Corner of Riverdale Landing Phase 1 Subdivision on the Southeasterly Line of Riverdale Road located 686.69 feet South 89° 26' 03" East along the Section Line; and 1378.35 feet South 0°33'58" West from the Northwest Corner of said Section 8; and running thence along said Southeasterly Line of Riverdale Road the following four courses: Northeasterly along the arc of a 9,943.50 foot radius curve to the right a distance of 21.66 feet (Center bears South 51°37'05" East, Central Angle equals 0°07'29" and Long Chord bears North 38°26'39" East 21.66 feet) to a point of tangency; North 38°30'24" East 89.75 feet; North 39°39'14" East 206.29 feet; and North 39°39'07" East 2.89 feet; thence South 52°43'27" East 309.06 feet to the Northwesterly Line of Greenhill at Riverdale Subdivision; thence South 38°36'32" West 9.08 feet along said Northwesterly Line to the Most Westerly Corner of said subdivision; thence South 51°19'32" East 536.55 feet along the Southwesterly Line of said subdivision to the most Southerly Corner thereof on the Westerly Line of 300 West Street; thence along said Westerly Line the following three courses: South 41°02'26" West 195.44 feet to a point of curvature; Southwesterly along the arc of a 675.00 foot radius curve to the left a distance of 295.18 feet (Central Angle equals 25°03'21" and Long Chord bears South 28°30'46" West 292.84 feet to a point of tangency; and South 15°59'05" West 256.81 feet to the North Line of Highland View Subdivision; thence along said North Line the following two courses: South 88°30'40" West 572.85 feet; and North 37°34'50" West 148.16 feet to the most Easterly Corner of Ruby River Subdivision as it was Amended by the Ruby River Plaza Subdivision Amended; thence along said subdivision boundary the following two courses: North 37°43'43" West 155.81 feet; and North 52°29'47" West 36.42 feet to the to the Southerly Line of 550 West Street as dedicated to 20.50 foot half-width; thence along said Southerly Line the following three courses: South 61°18'22" East 19.71 feet; Southeasterly, Easterly, and Northeasterly along the arc of a 261.09 foot radius curve to the left a distance of 370.77 feet (Center bears North 29°42'12" East, Central Angle equals 81°21'53" and Long Chord bears North 79°01'15" East 340.39 feet; and North 38°24'23" East 146.22 feet; to the Northeast End of said 550 West Street as dedicated; thence North 58°37'49" West 41.31 feet to the Northwesterly Line of said Street; thence along said Northwesterly Line of said Street the following two courses: South 38°24'23" West 141.21 feet; and Southwesterly along the arc of a 220.09 foot radius curve to the right a distance of 90.18 feet (Center bears North 51°39'41" West, Central Angle equals 23°28'30" and Long Chord bears South 50°04'34" West 89.55 feet) to the most Easterly Corner of Lot 1 of said Ruby River Plaza Subdivision; thence North 28°11'08" West 144.58 feet along the Easterly Line of said Lot 1 to the Northeasterly Corner thereof; thence along the old established Subdivision Line the following three courses: South 73°46'25" East 88.17 feet; North 69°16'35" East 68.50 feet; and North 49°41'35" East 78.60 feet; thence North 58°37'49" West 5.89 feet; thence North 28°47'00" East 8.30 feet; thence North 51°47'00" West 140.05 feet; thence North 25°08'28" East 8.29 feet; thence North 34°48'36" East 62.92 feet to the Southerly Line of 550 West Street as it exists at 25.00 foot half-width; thence along said Southerly Line the following two courses: South 53°09'37" East 24.47 feet; and North 76°50'23" East 65.27 feet; thence North 53°09'37" West 120.35 feet along the Northeasterly Line of said 550 West Street to the most Southerly Corner of Riverdale Landing Phase 1 Subdivision; thence along the boundaries of said subdivision the following four courses: North 36°50'23" East 31.49 feet; North 47°50'52" East 26.28 feet; North 38°00'51" East 122.37 feet to the most Easterly Corner; and North 53°19'37" West 194.27 feet to the point of beginning.

Contains 665,970 sq ft  
or 15.289 acres

### Surveyor's Certificate

I Bruce D. Pimper a Professional Land Surveyor in the State of Utah do hereby certify for, and on behalf of Anderson Wahlen & Associates; that this Plat of Riverdale Landing, Phase 2 Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is true and correct representation of the herein described lands based on data compiled from records in the Weber County Recorder's Office and from a survey made on the ground.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
362256  
License No. \_\_\_\_\_  
Bruce D. Pimper

### Owner's Dedication

Know all men by these presents that I/we, the undersigned owner(s) of the hereon described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat and name said plat Riverdale Landing, Phase 2 Subdivision, and do hereby dedicate, grant and convey to Riverdale City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trail or easements, or of similar designation.

In witness whereby I Have hereunto set my hand This \_\_\_\_\_ Day of \_\_\_\_\_ AD, 20\_\_\_\_.

by: \_\_\_\_\_  
its: \_\_\_\_\_

### Acknowledgment

State of \_\_\_\_\_ } ss  
County of \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 2017 personally appeared before me, \_\_\_\_\_ the signer of the foregoing Instrument, who duly acknowledged to me that he is \_\_\_\_\_ of \_\_\_\_\_, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: \_\_\_\_\_  
Commission Number: \_\_\_\_\_  
My Commission Expires: \_\_\_\_\_  
A Notary Public Commissioned in Utah  
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

\_\_\_\_\_  
A Notary Public

### Sheet 1 of 2

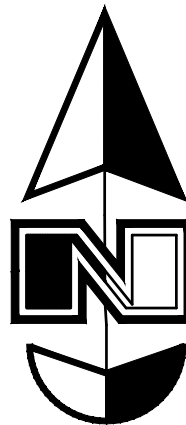
| Riverdale City Planning Commission  | Riverdale City Engineer  | Riverdale City Approval   | Riverdale City Attorney  | Weber County Recorder   |
|---|--|---|--|---|
| Approved by the Riverdale City Planning Commission on the _____ Day of _____, 20____. | I hereby certify that I have carefully investigated the lines of Survey of the foregoing plat and legal description of the land embraced therein, and find both to be correct and to agree with the lines and monuments on record in this office.<br>Signed this _____ Day of _____, 20____. | This is to certify that this plat and dedication of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this _____ Day of _____, 20____.<br>_____<br>Riverdale City Mayor | Approved by the Riverdale City Attorney on the _____ Day of _____, 20____.<br>_____<br>Riverdale City Attorney | ENTRY NO. _____ FEE PAID _____<br>RECORDED _____, AT _____<br>IN BOOK _____ OF OFFICIAL RECORDS, PAGE _____. RECORDED FOR _____<br>_____<br>WEBER COUNTY RECORDER<br>BY: _____ DEPUTY |
| _____<br>Chair, Riverdale City Planning Commission                                    | _____<br>Riverdale City Engineer   | _____<br>Attest   |  |   |



Northwest Corner Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found nail)

Basis of Bearings  
S 89°26'02" E WCS

North Quarter Corner Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found brass cap monument)



Scale: 1" = 60'

60' 0 60' 120'

# Riverdale Landing, Phase 2 Subdivision

**Vacating all of Lots 2 and 3, Ruby River Plaza Subdivision Amended**  
A part of the Northwest Quarter of Section 8, Township 5 North, Range 1 West,  
Salt Lake Base and Meridian in Riverdale City, Weber County, Utah:  
2020

$\Delta = 0^{\circ}07'29''$   
 $R = 9,943.50'$   
 $L = 21.66'$   
 $LC = 21.66'$   
 $N 38^{\circ}26'39'' E$

| Curve Table |           |         |        |                      |
|-------------|-----------|---------|--------|----------------------|
| Curve       | Delta     | Radius  | Length | Chord Data           |
| C1          | 23°28'30" | 220.09' | 90.18' | N 50°04'34" E 89.55' |
| C2          | 91°34'00" | 25.00'  | 39.95' | S 7°22'37" E 35.84'  |

| Line Table |               |         |
|------------|---------------|---------|
| Line #     | Bearing       | Length  |
| L1         | N 58°37'49" W | 41.31'  |
| L2         | N 58°37'49" W | 5.89'   |
| L3         | N 28°47'00" E | 8.30'   |
| L4         | N 25°08'28" E | 8.29'   |
| L5         | S 53°09'37" E | 24.47'  |
| L6         | N 76°50'23" E | 65.27'  |
| L7         | N 53°09'37" W | 120.35' |
| L8         | N 36°50'23" E | 31.49'  |
| L9         | N 47°50'52" E | 26.28'  |

## Legend

- Property Line
- Easement Line
- Adjoiner Line
- Section Corner
- Road to be Dedicated to Riverdale City
- Road to be Vacated

PRELIMINARY

Sheet 2 of 2

Weber County  
Recorder

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
RECORDED \_\_\_\_\_, AT \_\_\_\_\_  
IN BOOK \_\_\_\_\_ OF OFFICIAL  
RECORDS, PAGE \_\_\_\_\_, RECORDED  
FOR \_\_\_\_\_

WEBER COUNTY RECORDER  
BY: \_\_\_\_\_  
DEPUTY

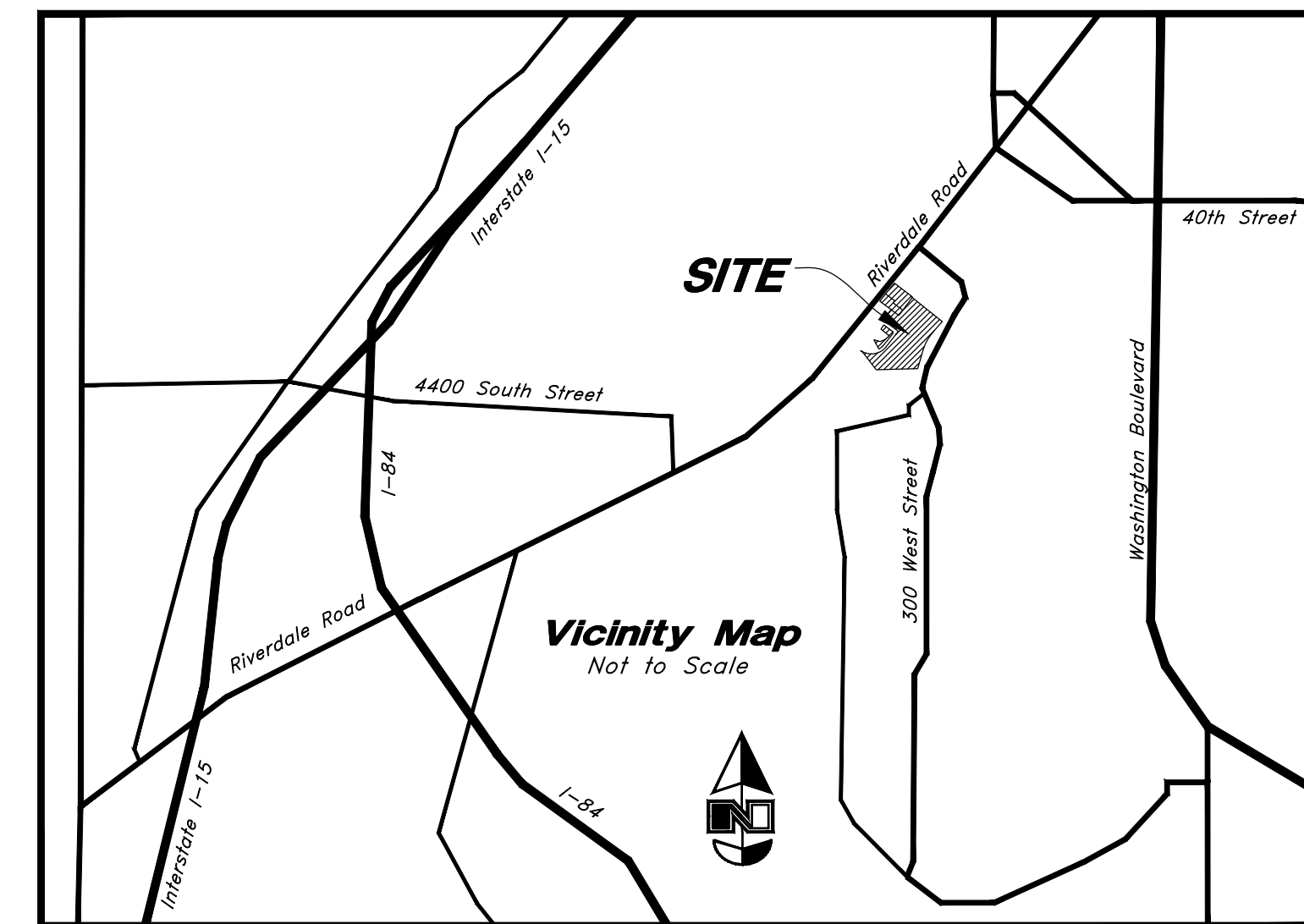
West Quarter Corner of Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(monument not found Calculated location)

Southwest Corner of Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found brass cap Monument)

7 18

17

***500 West Riverdale Road  
Riverdale, Utah***



## Legend

|                               |  |                              |  |
|-------------------------------|--|------------------------------|--|
| Proposed Curb & Gutter        |  | Existing Improvements        |  |
| Proposed Open Face C & G      |  | Existing Asphalt             |  |
| Proposed Asphalt              |  | Existing Concrete            |  |
| Proposed Concrete             |  | Existing Inlet Box           |  |
| Proposed Truncated Domes      |  | Existing Catch Basin         |  |
| Proposed Inlet Box            |  | Existing Manhole             |  |
| Proposed Catch Basin          |  | Existing Fire Hydrant        |  |
| Proposed Manhole              |  | Existing Water Valve         |  |
| Proposed Transformer          |  | Existing Overhead Power Line |  |
| Proposed Meter Box            |  | Existing Water               |  |
| Proposed Water Meter          |  | Existing Secondary Water     |  |
| Proposed Combo Box            |  | Existing Sewer               |  |
| Proposed Fire Hydrant         |  | Existing Storm Drain         |  |
| Proposed Water Valve          |  | Existing Gas                 |  |
| Proposed Water Line           |  | Existing Power               |  |
| Proposed Sanitary Sewer       |  | Existing Telephone           |  |
| Proposed Storm Drain          |  | Existing Fence               |  |
| Proposed Conduit Line         |  | Flowline                     |  |
| Proposed Power Line           |  | Centerline                   |  |
| Proposed Gas Line             |  | Existing Contour             |  |
| Proposed Fire Line            |  | Existing Spot                |  |
| Proposed Secondary Water Line |  | Existing Light Pole          |  |
| Proposed Roof Drain           |  | Existing Building            |  |
| Proposed Fence                |  | Existing Telephone Box       |  |
| Ridge Line                    |  | Existing Power Meter         |  |
| Grade Break                   |  | Existing Electrical Box      |  |
| Proposed Contour              |  | Existing Electrical Cabinet  |  |
| Direction of Drainage         |  | Existing Gas Meter           |  |
| ADA Accessible Route          |  | Existing Water Meter         |  |
| Property Line                 |  | Existing Irrig. Control Box  |  |
| Sawcut Line                   |  | Existing Ballard             |  |
| Proposed Light Pole           |  | Existing Hose Bib            |  |
| Proposed Street Light         |  | Working Point                |  |
| Proposed Building             |  | Existing Deciduous Tree      |  |
| Existing Power Pole           |  | Existing Coniferous Tree     |  |
| Existing Water Pole w/ Guy    |  |                              |  |
| Existing Utility Marker       |  |                              |  |
| Existing Post                 |  |                              |  |
|                               |  | Detail Number                |  |
|                               |  | Sheet Number                 |  |

*CV      Cover Sheet*  
*Subdivision Plat*

- C0.1            Demolition Plan***
- C1.1            Site Plan***
- C2.1            Grading Plan***
- C2.2            Grading Details and Notes***
- C2.3            Accessible Details and Notes***
- C3.1            Utility Plan***
- C4.1            Details***
- C4.2            Details***
- C4.3            Details***
- C5.1            Erosion Control Plan - Phase I***
- C5.2            Erosion Control Plan - Phase II***
- C5.3            Erosion Control Details***
- L1.1            Landscape Plan***
- L2.1            Irrigation Plan***
- L3.1            Landscape & Irrigation Details***

*This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Weber County, Utah and Incorporated Areas Community Map No. 49057C0436 F dated June 02, 2015. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual floodplain." (No Shading)*

A line between monuments found for Northwest Corner and the North Quarter Corner of Section 8 was assigned the Weber County Survey bearing of South 89°26'02" East as the Basis of Bearings to retrace and honor the previous Surveys.

Brass Cap Monument for the North Quarter of Section 8, T5N, R1W, SLB&M  
Assigned Elevation = 4395.56 feet  
Observed 29 Dec, 2016

*All of Lot 201 as described on Riverdale Landing Phase 2 Subdivision*

**Cover Sheet**

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**Riverdale Landing Phase 2**  
500 West Riverdale Road  
Riverdale, Utah

22 Sep. 2020

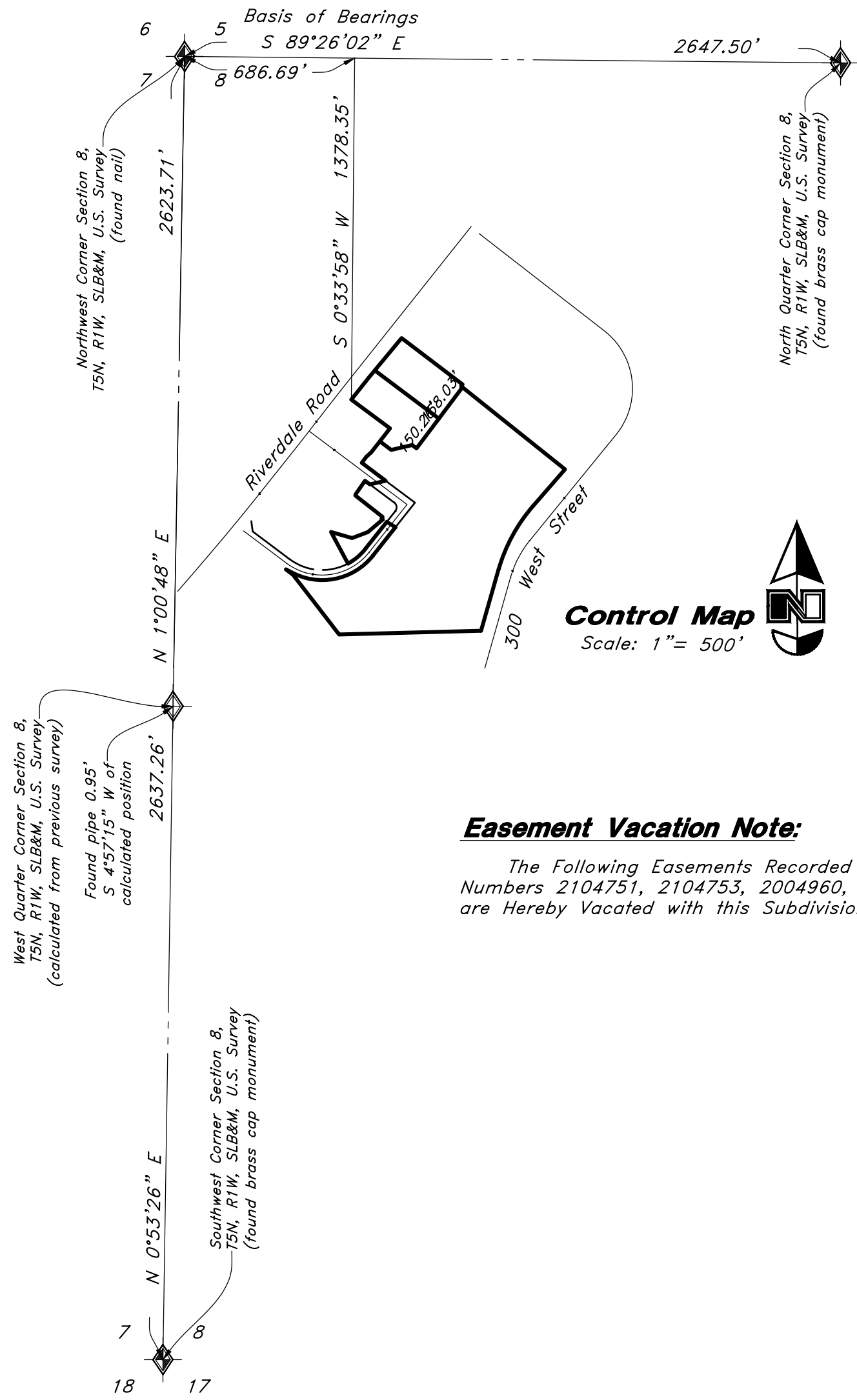
**CV**



# Riverdale Landing, Phase 2 Subdivision

## Vacating all of Lots 2 and 3, Ruby River Plaza Subdivision Amended

A part of the Northwest Quarter of Section 8, Township 5 North, Range 1 West,  
Salt Lake Base and Meridian in Riverdale City, Weber County, Utah:  
2020



### Easement Vacation Note:

The Following Easements Recorded as Entry Numbers 2104751, 2104753, 2004960, 2017704 are Hereby Vacated with this Subdivision Plat.

### Narrative

This Survey and Subdivision was requested by Dee Hansen to subdivide a Lot for sale.

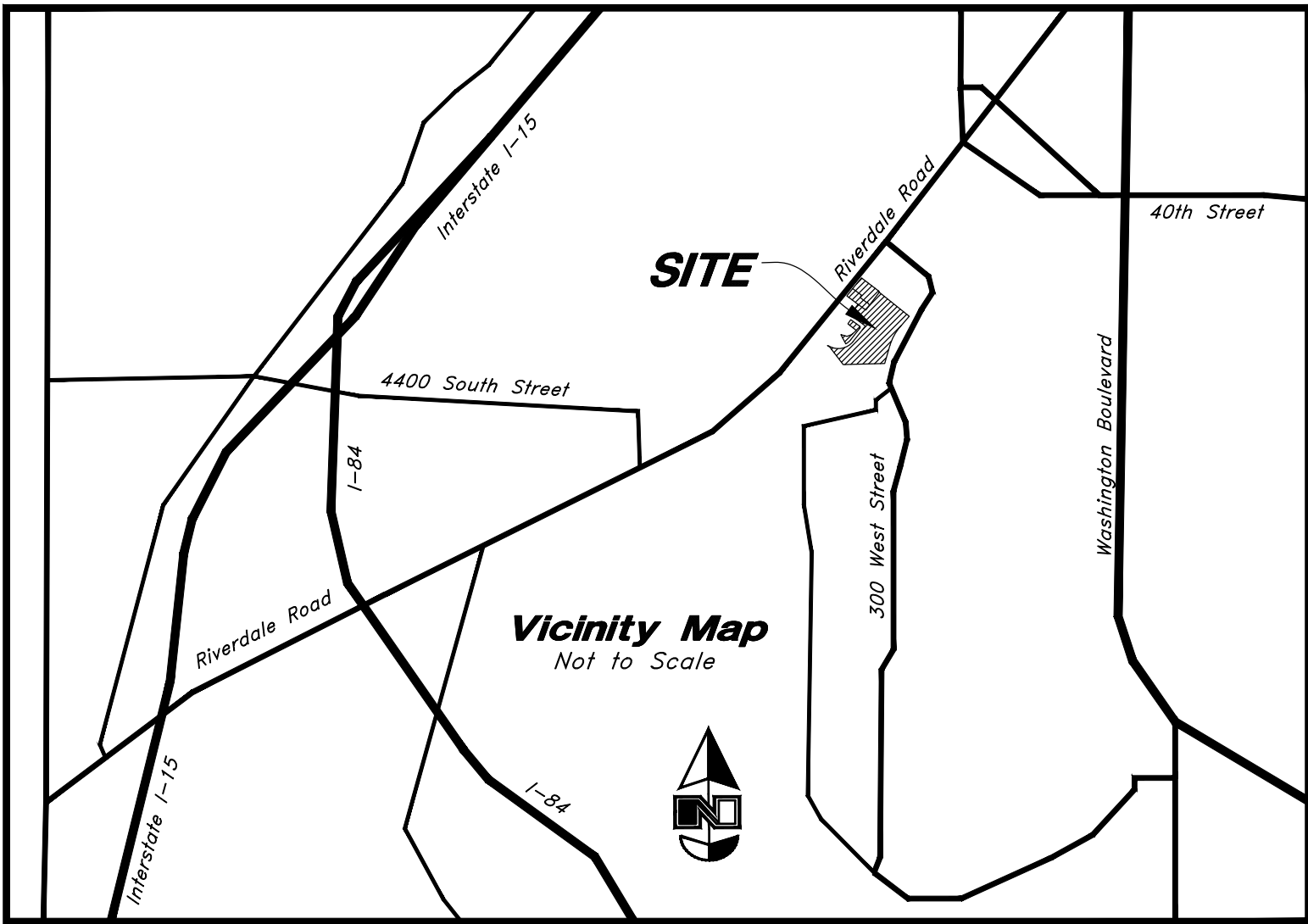
This Survey retraces and honors a previous 2003 ALTA Survey by Great Basin Engineering – South which established the alignment of 500 West Street and the Parcels abutting to the North. A 2015 survey for Valley West Apartments by Anderson Wahlen & Associates was also honored which established general boundaries, control, and the new alignment of the 300 West improvements. A 2017 ALTA survey by Anderson Wahlen & Associates was also honored for this survey.

A line between monuments found for Northwest Corner and the North Quarter Corner of Section 8 was assigned the Weber County Survey bearing of South 89°26'02" East as the Basis of Bearings to retrace and honor the previous Surveys.

This area of Riverdale is notorious for deed problems and most descriptions have no basis of bearings and must be interpreted to fit together.

State Highway plans were acquired but no Right-of-way markers were recovered for the alignment of Riverdale Road.

Stakeout of lot corners will be placed as construction strategies have been determined.



### Descriptions

A part of the Northwest Quarter of Section 8, Township 5 North, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in Weber County, Utah:

Beginning at the Most Northerly Corner of Riverdale Landing Phase 1 Subdivision on the Southeasterly Line of Riverdale Road located 686.69 feet South 89° 26' 03" East along the Section Line; and 1378.35 feet South 0°33'58" West from the Northwest Corner of said Section 8; and running thence along said Southeasterly Line of Riverdale Road the following four courses: Northeasterly along the arc of a 9,943.50 foot radius curve to the right a distance of 21.66 feet (Center bears South 51°37'05" East, Central Angle equals 0°07'29" and Long Chord bears North 38°26'39" East 21.66 feet) to a point of tangency; North 38°30'24" East 89.75 feet; North 39°39'14" East 206.29 feet; and North 39°39'07" East 2.89 feet; thence South 52°43'27" East 309.06 feet to the Northwesterly Line of Greenhill at Riverdale Subdivision; thence South 38°36'32" West 9.08 feet along said Northwesterly Line to the Most Westerly Corner of said subdivision; thence South 51°19'32" East 536.55 feet along the Southwesterly Line of said subdivision to the most Southerly Corner thereof on the Westerly Line of 300 West Street; thence along said Westerly Line the following three courses: South 41°02'26" West 195.44 feet to a point of curvature; Southwesterly along the arc of a 675.00 foot radius curve to the left a distance of 295.18 feet (Central Angle equals 25°03'21" and Long Chord bears South 28°30'46" West 292.84 feet to a point of tangency; and South 15°59'05" West 256.81 feet to the North Line of Highland View Subdivision; thence along said North Line the following two courses: South 88°30'40" West 572.85 feet; and North 37°34'50" West 148.16 feet to the most Easterly Corner of Ruby River Subdivision as it was Amended by the Ruby River Plaza Subdivision Amended; thence along said subdivision boundary the following two courses: North 37°43'43" West 155.81 feet; and North 52°29'47" West 36.42 feet to the to the Southerly Line of 550 West Street as dedicated to 20.50 foot half-width; thence along said Southerly Line the following three courses: South 61°18'22" East 19.71 feet; Southeasterly, Easterly, and Northeasterly along the arc of a 261.09 foot radius curve to the left a distance of 370.77 feet (Center bears North 29°42'12" East, Central Angle equals 81°21'53" and Long Chord bears North 79°01'15" East 340.39 feet; and North 38°24'23" East 146.22 feet; to the Northeast End of said 550 West Street as dedicated; thence North 58°37'49" West 41.31 feet to the Northwesterly Line of said Street; thence along said Northwesterly Line of said Street the following two courses: South 38°24'23" West 141.21 feet; and Southwesterly along the arc of a 220.09 foot radius curve to the right a distance of 90.18 feet (Center bears North 51°39'41" West, Central Angle equals 23°28'30" and Long Chord bears South 50°04'34" West 89.55 feet) to the most Easterly Corner of Lot 1 of said Ruby River Plaza Subdivision; thence North 28°11'08" West 144.58 feet along the Easterly Line of said Lot 1 to the Northeasterly Corner thereof; thence along the old established Subdivision Line the following three courses: South 73°46'25" East 88.17 feet; North 69°16'35" East 68.50 feet; and North 49°41'35" East 78.60 feet; thence North 58°37'49" West 5.89 feet; thence North 28°47'00" East 8.30 feet; thence North 51°47'00" West 140.05 feet; thence North 25°08'28" East 8.29 feet; thence North 34°48'36" East 62.92 feet to the Southerly Line of 550 West Street as it exists at 25.00 foot half-width; thence along said Southerly Line the following two courses: South 53°09'37" East 24.47 feet; and North 76°50'23" East 65.27 feet; thence North 53°09'37" West 120.35 feet along the Northeasterly Line of said 550 West Street to the most Southerly Corner of Riverdale Landing Phase 1 Subdivision; thence along the boundaries of said subdivision the following four courses: North 36°50'23" East 31.49 feet; North 47°50'52" East 26.28 feet; North 38°00'51" East 122.37 feet to the most Easterly Corner; and North 53°19'37" West 194.27 feet to the point of beginning.

Contains 665,970 sq ft  
or 15.289 acres

### Surveyor's Certificate

I Bruce D. Pimper a Professional Land Surveyor in the State of Utah do hereby certify for, and on behalf of Anderson Wahlen & Associates; that this Plat of Riverdale Landing, Phase 2 Subdivision in Weber County, Utah has been correctly drawn to the designated scale and is true and correct representation of the herein described lands based on data compiled from records in the Weber County Recorder's Office and from a survey made on the ground.

Signed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
362256  
License No. \_\_\_\_\_  
Bruce D. Pimper

### Owner's Dedication

Know all men by these presents that I/we, the undersigned owner(s) of the hereon described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat and name said plat Riverdale Landing, Phase 2 Subdivision, and do hereby dedicate, grant and convey to Riverdale City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trail or easements, or of similar designation.

In witness whereby I Have hereunto set my hand This \_\_\_\_\_ Day of \_\_\_\_\_ AD, 20\_\_\_\_.

by: \_\_\_\_\_  
its: \_\_\_\_\_

### Acknowledgment

State of \_\_\_\_\_ } ss  
County of \_\_\_\_\_

On this \_\_\_\_\_ day of \_\_\_\_\_, 2017 personally appeared before me, \_\_\_\_\_ the signer of the foregoing Instrument, who duly acknowledged to me that he is \_\_\_\_\_, and is authorized to execute the foregoing Dedication in its behalf and that he executed it in such capacity.

Notary Public Full Name: \_\_\_\_\_  
Commission Number: \_\_\_\_\_

My Commission Expires: \_\_\_\_\_  
A Notary Public Commissioned in Utah

(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

A Notary Public

### Sheet 1 of 2

#### Weber County Recorder

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
RECORDED \_\_\_\_\_ FILED FOR RECORD AND  
IN BOOK \_\_\_\_\_ OF OFFICIAL  
RECORDS, PAGE \_\_\_\_\_ RECORDED FOR \_\_\_\_\_

\_\_\_\_\_  
WEBER COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY

#### Riverdale City Planning Commission

Approved by the Riverdale City Planning Commission on the \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Chair, Riverdale City Planning Commission

#### Riverdale City Engineer

I hereby certify that I have carefully investigated the lines of Survey of the foregoing plat and legal description of the land embraced therein, and find both to be correct and to agree with the lines and monuments on record in this office.

Signed this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Riverdale City Engineer

#### Riverdale City Approval

This is to certify that this plat and dedication of this plat were duly approved and accepted by the City Council of Riverdale City, Utah this \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Riverdale City Mayor

#### Riverdale City Attorney

Approved by the Riverdale City Attorney on the \_\_\_\_\_ Day of \_\_\_\_\_, 20\_\_\_\_.

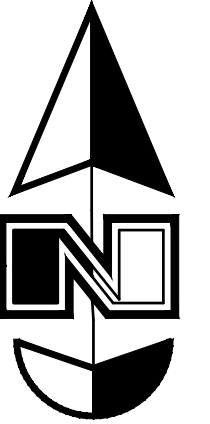
\_\_\_\_\_  
Riverdale City Attorney

Attest

Northwest Corner Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found nail)

Basis of Bearings  
S 89°26'02" E WCS

North Quarter Corner Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found brass cap monument)



Scale: 1" = 60'

60' 0 60' 120'

# Riverdale Landing, Phase 2 Subdivision

**Vacating all of Lots 2 and 3, Ruby River Plaza Subdivision Amended**  
A part of the Northwest Quarter of Section 8, Township 5 North, Range 1 West,  
Salt Lake Base and Meridian in Riverdale City, Weber County, Utah:  
2020

$\Delta = 0^{\circ}07'29''$   
 $R = 9,943.50'$   
 $L = 21.66'$   
 $LC = 21.66'$   
 $N 38^{\circ}26'39'' E$

| Curve Table |           |         |        |                      |
|-------------|-----------|---------|--------|----------------------|
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| C1          | 23°28'30" | 220.09' | 90.18' | N 50°04'34" E 89.55' |
| C2          | 91°34'00" | 25.00'  | 39.95' | S 7°22'37" E 35.84'  |

| Line Table |               |         |
|------------|---------------|---------|
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| L2         | N 58°37'49" W | 5.89'   |
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| L4         | N 25°08'28" E | 8.29'   |
| L5         | S 53°09'37" E | 24.47'  |
| L6         | N 76°50'23" E | 65.27'  |
| L7         | N 53°09'37" W | 120.35' |
| L8         | N 36°50'23" E | 31.49'  |
| L9         | N 47°50'52" E | 26.28'  |

| Legend |  |
|--------|--|
|        | Property Line                          |
|        | Easement Line                          |
|        | Adjoiner Line                          |
|        | Section Corner                         |
|        | Road to be Dedicated to Riverdale City |
|        | Road to be Vacated                     |

PRELIMINARY

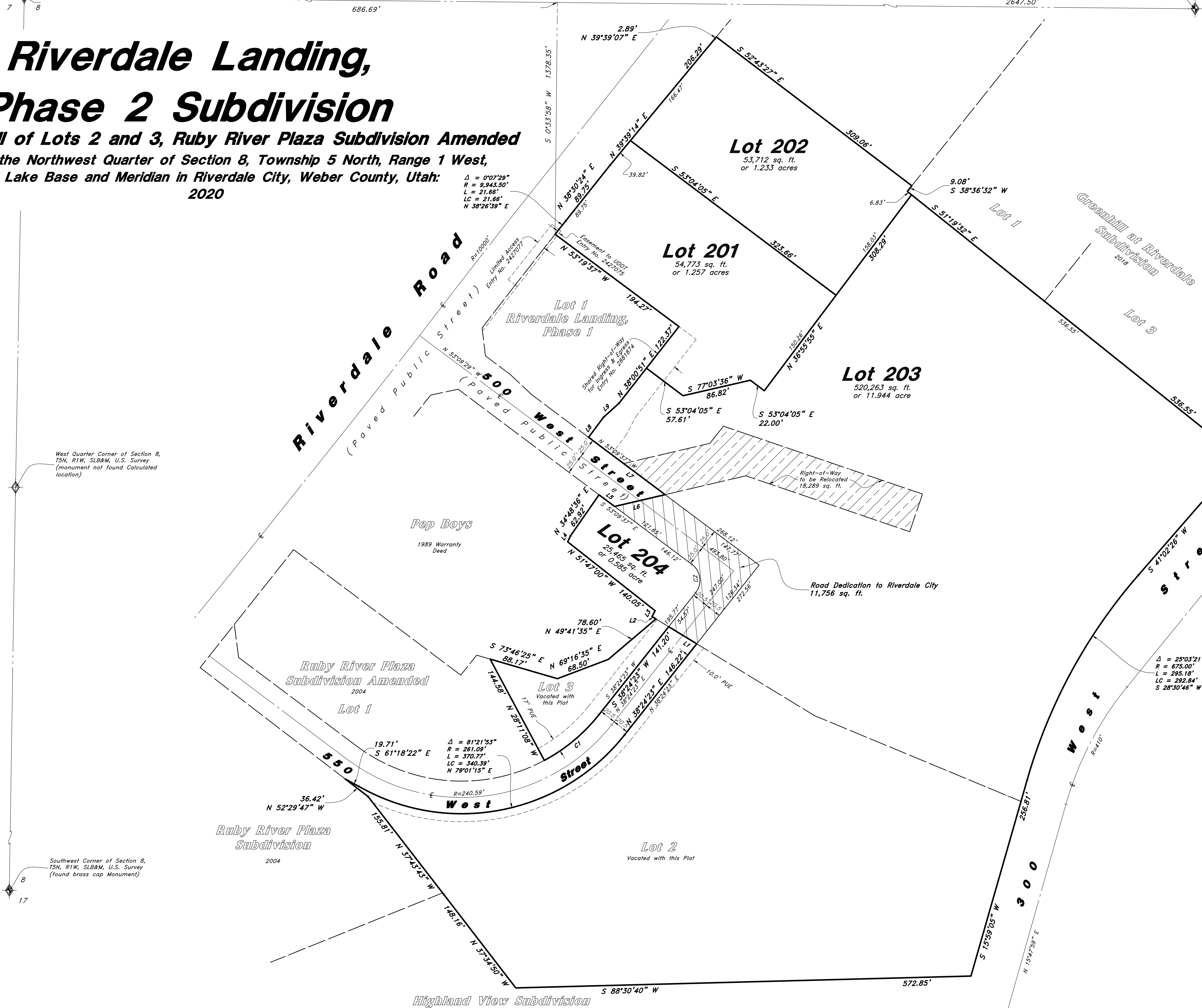
3622.56  
BRUCE D. J. PIMPER  
STATE OF UTAH

Sheet 2 of 2

Weber County  
Recorder

ENTRY NO. \_\_\_\_\_ FEE PAID \_\_\_\_\_  
RECORDED \_\_\_\_\_ FILED FOR RECORD AND  
IN BOOK \_\_\_\_\_ OF OFFICIAL  
RECORDS, PAGE \_\_\_\_\_, RECORDED  
FOR \_\_\_\_\_

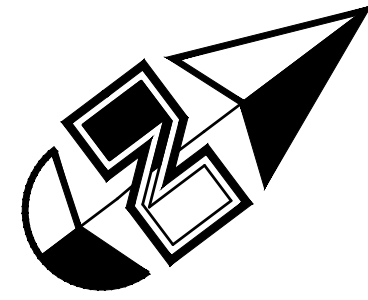
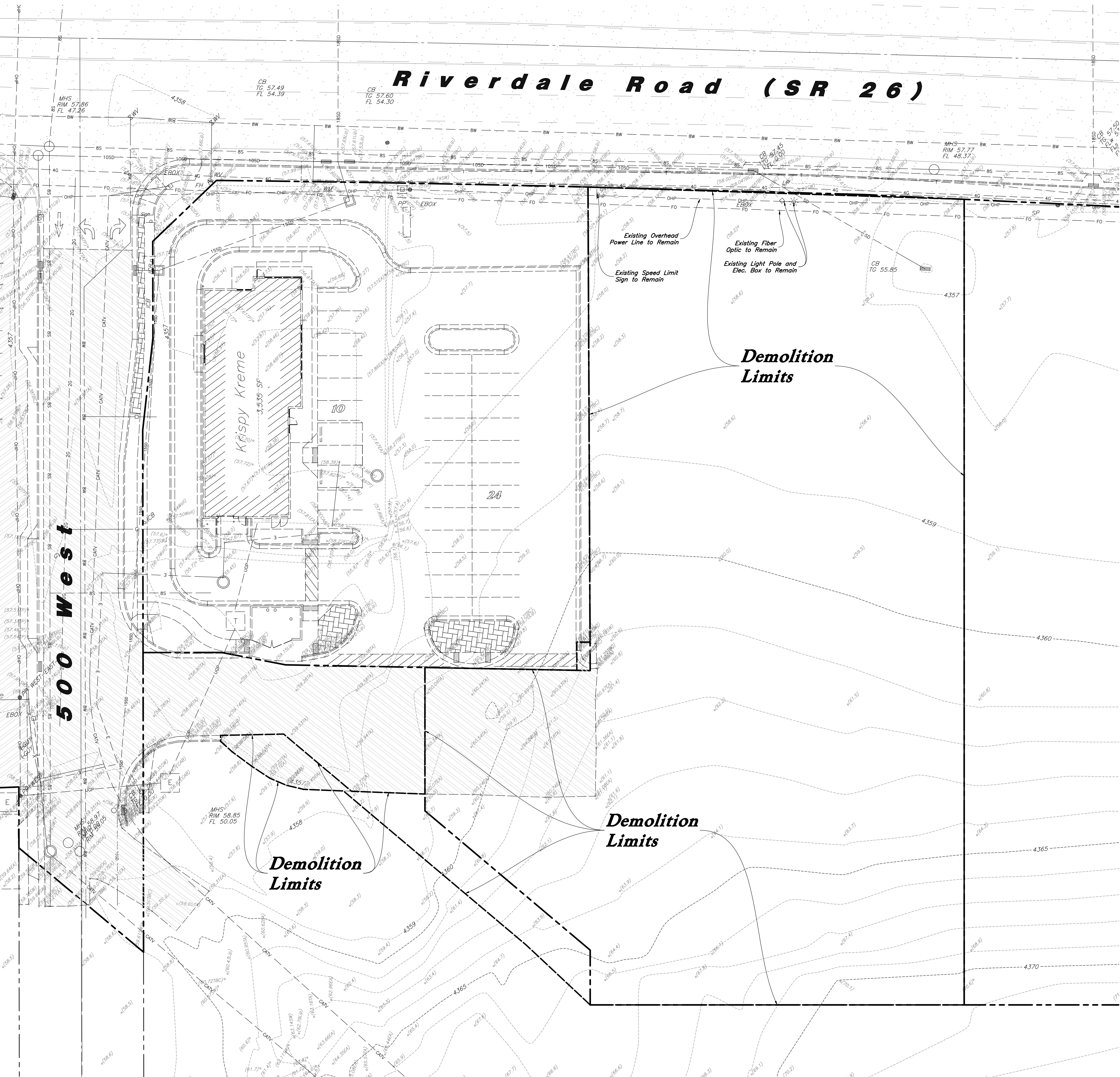
WEBER COUNTY RECORDER  
BY: \_\_\_\_\_  
DEPUTY



West Quarter Corner of Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(monument not found Calculated location)

Southwest Corner of Section 8,  
T5N, R1W, SLB&M, U.S. Survey  
(found brass cap Monument)





Scale: 1" = 20'

**General Demolition Notes:**

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of solid materials or contaminated soil.
16. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction, it is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

**CAUTION :**

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| X   | XXX  | XXXX        |

Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 DM

**ANDERSON WAHLEN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - AWahle@engineering.net

**Demolition Plan**  
**Riverdale Landing Phase 2**  
500 West Riverdale Road  
Riverdale, Utah



22 Sep, 2020  
SHEET NO.  
**C0.1**

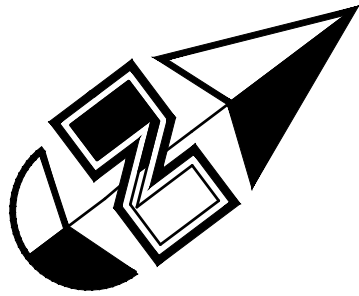


500 West

Riverdale Road (SR 26)

Site Data

Site Area = 54,773 s.f. (1.26 ac.)  
Landscape Area Provided = 11,381 s.f. (20.8%)  
Impervious Area Provided = 38,186 s.f. (69.7%)  
Building Area = 5,206 s.f. (9.5%)  
Parking Required = 1/100 s.f. = 52 stalls  
Parking Provided = 60 stalls (11.5/1,000)



Scale: 1" = 20'



Site Construction Notes

- 1 Const. 24" Curb & Gutter (C4.1)
- 2 Const. Asphalt Paving (C4.1)
- 3 Const. Conc. Sidewalk (C4.1)
- 4 Not Used
- 5 Const. Accessible Striping per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3)
- 6 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Grading Details and Notes) (C2.2)
- 7 Const. Accessible Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3, C2.3)
- 8 Const. Accessible VAN Sign per MUTCD & ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes) (C2.3, C2.3)
- 9 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness (C4.1)
- 10 Const. Conc. Paving (C4.1)
- 11 Sawcut; Provide Smooth Clean Edge
- 12 Dumpster Enclosure (See Arch. Plans)
- 13 Const. Directional Arrows per MUTCD
- 14 Power Meters (See Elec. Plans)
- 15 Transformer (See Elec. Plans)
- 16 Not Used
- 17 Conn. & Match Existing Improvements
- 18 Const. Landscape Edging (Coordinate w/ Landscape Plan)
- 19 Const. 18" to 24" Retaining Rock
- 20 Light Pole (See Elec. Plans)
- 21 Const. 4" White Diagonal Paint Stripe. 45° @ 2.0' O.C. (C4.1)
- 22 Const. 6" Wide Conc. Curb Wall (C4.3)

General Site Notes:

- 1. All dimensions are to back of curb unless otherwise noted.
- 2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
- 3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- 4. Const. curb transition at all points where curb abuts sidewalk, see detail.
- 5. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
- 6. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

Construction Survey Note:

The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

Survey Control Note:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or on electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

Site Plan

Riverdale Landing Phase 2

500 West Riverdale Road  
Riverdale, Utah



ANDERSON WAHLEN & ASSOCIATES  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - AWengineering.net

Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 SP

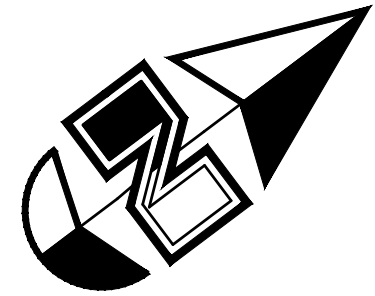
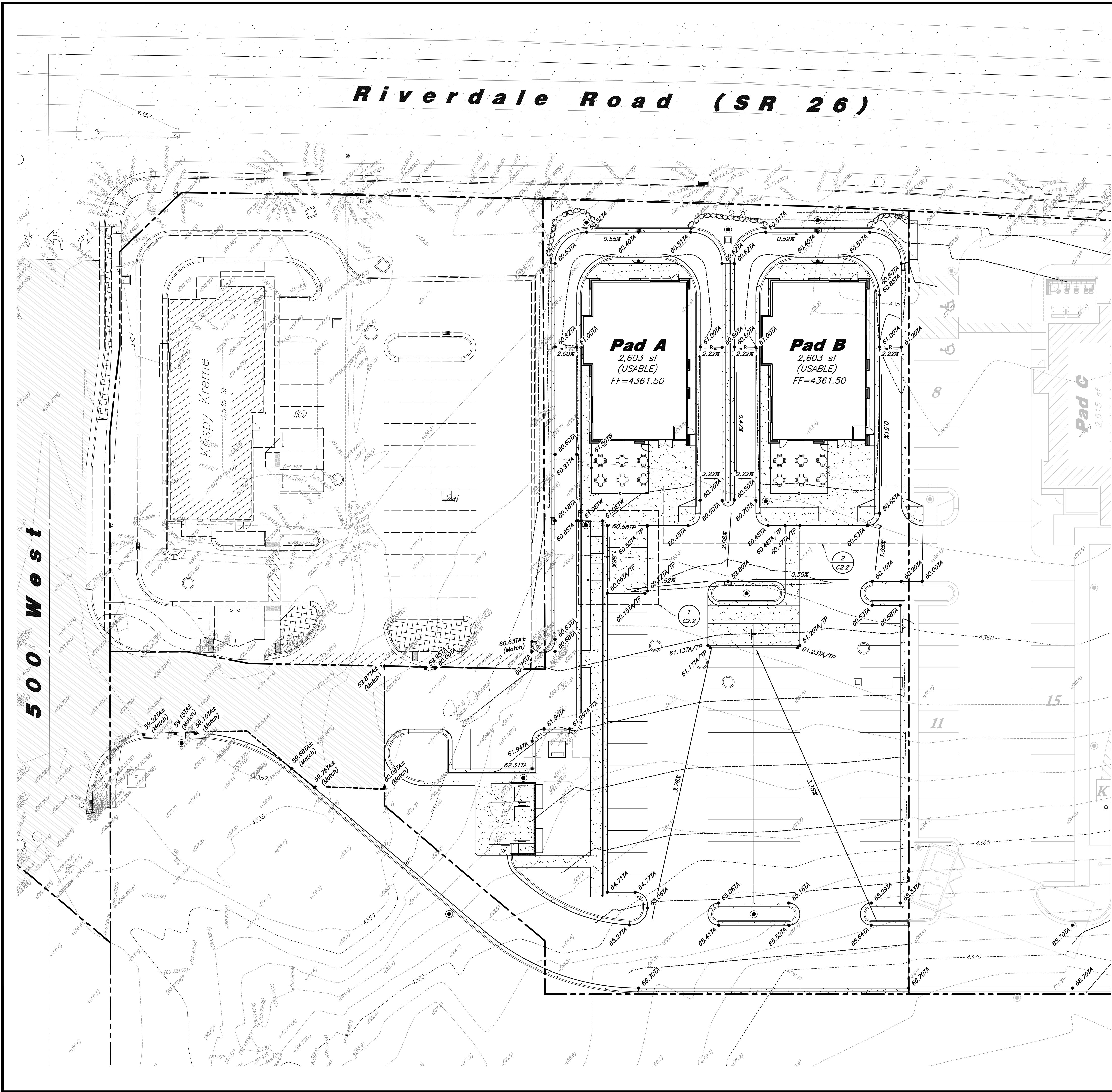


22 Sep, 2020

SHEET NO.

C1.1





Scale: 1" = 20'

**General Grading Notes:**

1. All grading shall be in accordance with the project geotechnical study.
2. Cut slopes shall be no steeper than 3 horizontal to 1 vertical.
3. Fill slopes shall be no steeper than 3 horizontal to 1 vertical.
4. Fills shall be compacted per the recommendations of the geotechnical report prepared for the project and shall be certified by a Geotechnical Engineer.
5. Areas to receive fill shall be properly prepared and approved by a Geotechnical Engineer prior to placing fill.
6. Fills shall be benched into competent material as per specifications and geotechnical report.
7. All trench backfill shall be tested and certified by a Geotechnical Engineer.
8. A geotechnical engineer shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.
9. The final compaction report and certification from a Geotechnical Engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
10. Dust shall be controlled by watering.
11. The location and protection of all utilities is the responsibility of the permittee.
12. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading process.
13. All public roadways must be cleared daily of all dirt, mud and debris deposited on them as a result of the grading operation. Cleaning is to be done to the satisfaction of the City Engineer.
14. The site shall be cleared and grubbed of all vegetation and deleterious matter prior to grading.
15. The contractor shall provide shoring in accordance with OSHA requirements for trench walls.
16. Aggregate base shall be compacted per the geotechnical report prepared for the project.
17. The recommendations in the following Geotechnical Engineering Report by CMT Engineering Laboratories are included in the requirements of grading and site preparation. The Report is titled "Geotechnical Engineering Study, Proposed Branz Property Commercial Development, About 4200 South Riverdale Road, Riverdale, Utah".  
Project No.: 13250  
Dated: September 10, 2019
18. As part of the construction documents, owner has provided contractor with a topographic survey performed by manual or aerial means. Such survey was prepared for project design purposes and is provided to the contractor as a courtesy. It is expressly understood that such survey may not accurately reflect existing topographic conditions.
19. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of solid materials or contaminated soil.

**Curb and Gutter Construction Notes:**

1. Open face gutter shall be constructed where drainage is directed away from curb.
2. Open face gutter locations are indicated by shading and notes on the grading plan.
3. It is the responsibility of the surveyor to adjust top of asphalt grades to top of curb grades at the time of construction staking.
4. Refer to the typical details for standard and open face curb and gutter dimensions.
5. Transitions from open face to standard curb and gutter are to be smooth. Hand form these areas if necessary.
6. Spot elevations are shown on this plan with text masking. Coordinate and verify site information with project drawings.

**Sidewalk Construction Notes:**

1. Concrete sidewalk shall be constructed with a cross slope of 1.5% (2.08% Maximum) unless shown otherwise on plan.
2. Running slope of sidewalks shall be built per grades shown on the plan. where grades are not provided, sidewalks shall be constructed with a maximum running slope of 4.5%.
3. Refer to the Site Plan for sidewalk dimensions.

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| XXX | XXXX |             |
| X   | XXX  |             |

Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 GR

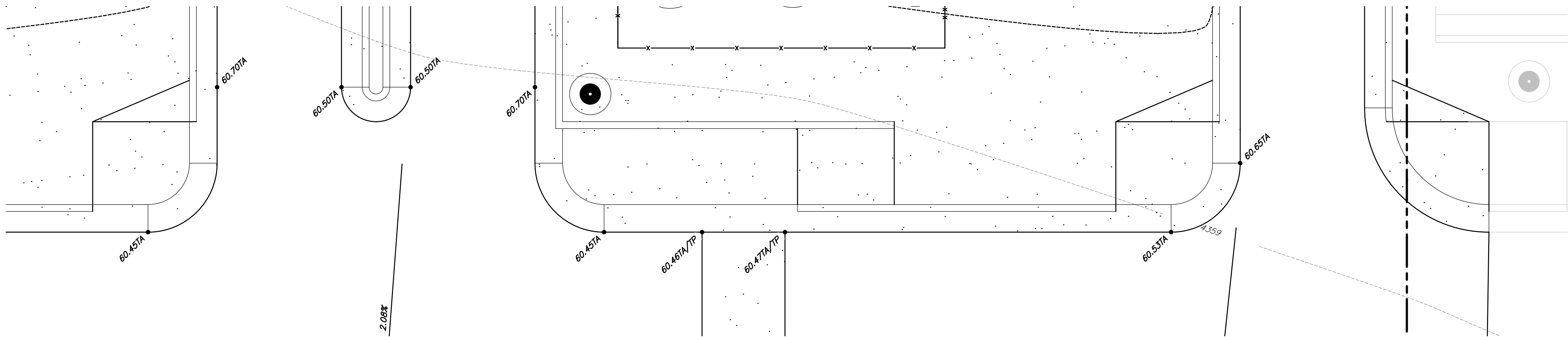
**ANDERSON WAHLEN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - AWahlen@engineering.net

**Grading Plan**  
**Riverdale Landing Phase 2**  
500 West Riverdale Road  
Riverdale, Utah





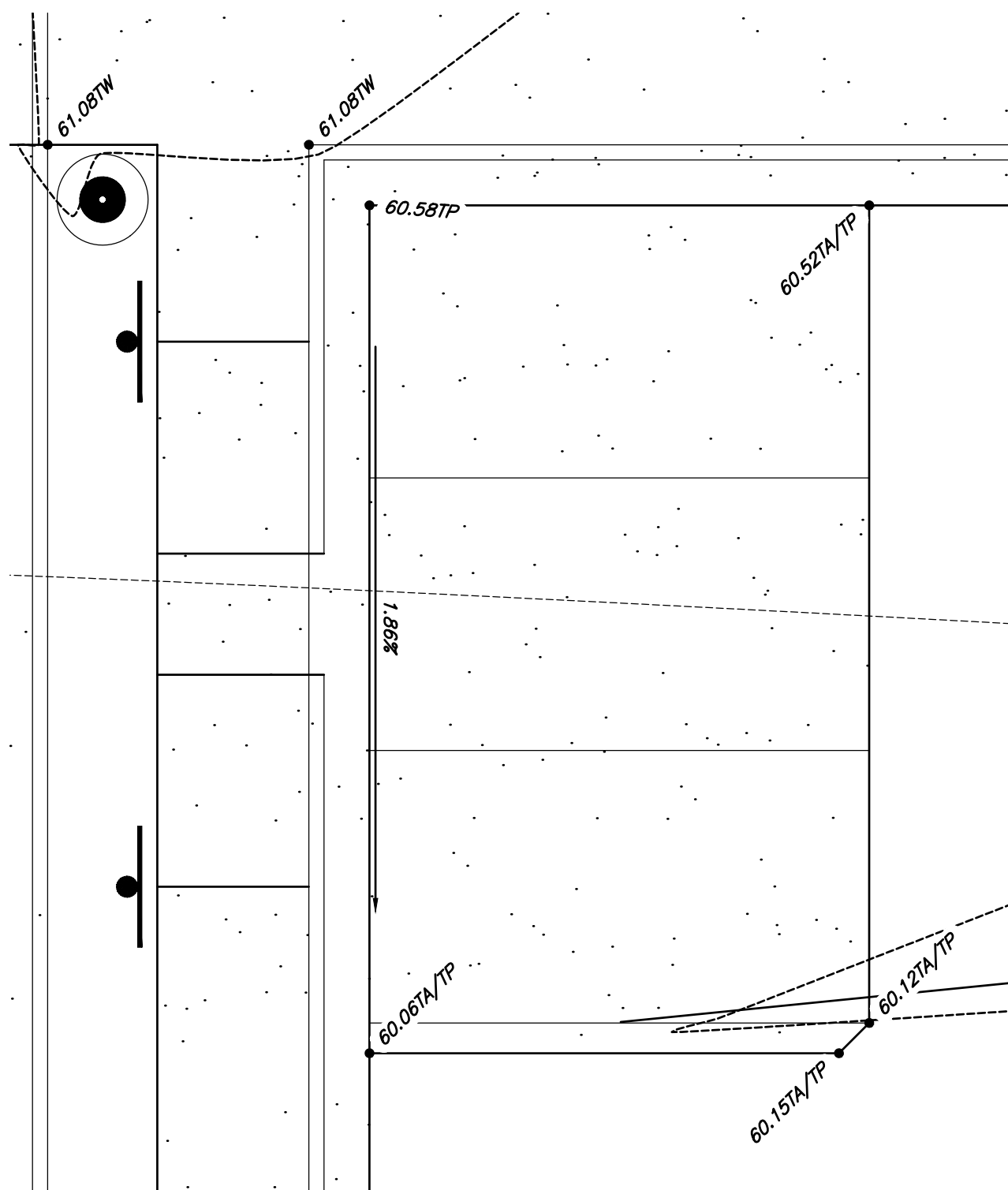
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2

### Curb Ramp Detail

Scale: 1" = 5'



1

### Curb Ramp Detail

Scale: 1" = 5'

Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and Schedule Pre-Construction Meeting

#### Public Curb Ramp Construction Notes

1. All public curb ramps shall be constructed in accordance with governing municipalities standards and specifications.
2. It is the contractors responsibility to obtain governing municipalities standards and specifications.
3. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.

#### Private Curb Ramp Construction Notes

1. Slopes provided are per Anderson Wahlen & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
2. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1-Latest Edition) and/or FHAA.
3. Counter slopes of adjoining gutters & paving adjacent to the curb ramp shall not be steeper than 4.50%.
4. Accessible ramp flares shall be poured separately from ramp to ensure proper slopes.
5. Contractor to transition curb or sidewalk height from 6" to 0" reveal. Curb or sidewalk height to match ramp throughout transition.

#### Grading Details and Notes

#### Riverdale Landing Phase 2

500 West Riverdale Road  
Riverdale, Utah



22 Sep, 2020

SHEET NO.

C2.2



ANDERSON WAHLEN & ASSOCIATES

2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - AWEngineering.net

Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 GR

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| X   | XXX  | XXX         |
| X   | XXX  | XXX         |



|                         |
|-------------------------|
| Designed by: JR         |
| Drafted by: DJW         |
| Client Name:<br>DRH Co. |
| 16-087 GR               |



## Riverdale Landing Phase 2

500 West Riverdale Road  
Riverdale, Utah



## C2.3

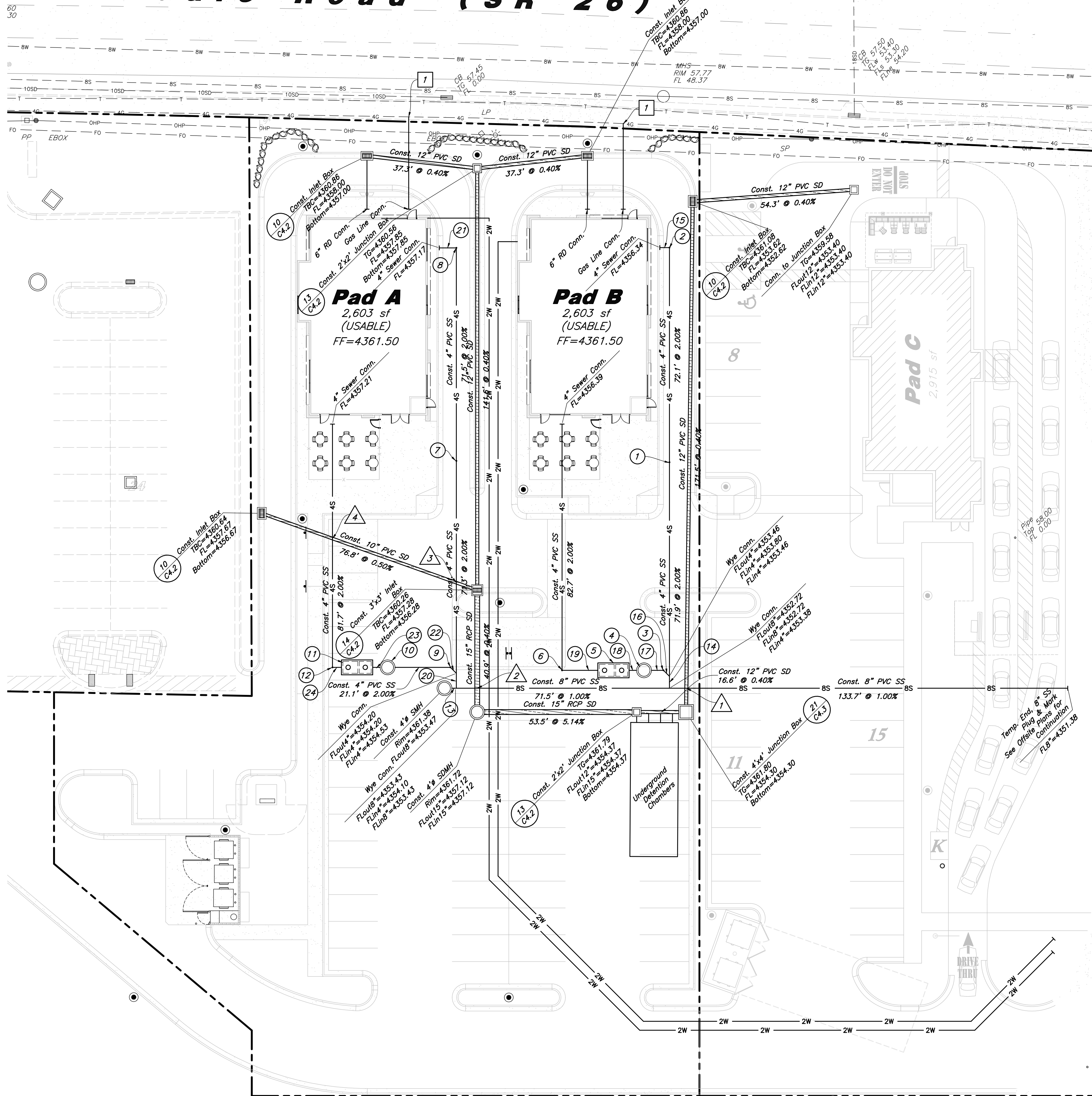
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# Riverdale Road (SR 26)



1. Const. 4" C.O.T.G. Flout4=4354.90 Flin4=4354.90
2. Const. 4" C.O.T.G. Flout4=4356.34 Flin4=4356.34
3. Const. 4" C.O.T.G. Flout4=4353.85 Flin4=4353.85
4. Const. 4" Sampling MH Flout4=4353.99 Flin4=4354.18
5. Const. Grease Interceptor Flout4=4354.39 Flin4=4354.39
6. Const. 4" C.O.T.G. Flout4=4354.73 Flin4=4354.74
7. Const. 4" C.O.T.G. Flout4=4355.63 Flin4=4355.63
8. Const. 4" C.O.T.G. Flout4=4357.06 Flin4=4357.06
9. Const. 4" C.O.T.G. Flout4=4354.59 Flin4=4354.59
10. Const. 4" Sampling MH Flout4=4355.01 Flin4=4355.21
11. Const. Grease Interceptor Flout4=4355.42 Flin4=4355.42
12. Const. 4" C.O.T.G. Flout4=4355.58 Flin4=4355.58

13. Const. 8" PVC SS 4.0' @ 1.00%
14. Const. 4" PVC SS 4.0' @ 2.00%
15. Const. 4" PVC SS 3.2' @ 0.17%
16. Const. 4" PVC SS 2.8' @ 2.00%
17. Const. 4" PVC SS 6.6' @ 2.00%
18. Const. 4" PVC SS 10.2' @ 2.00%
19. Const. 4" PVC SS 17.2' @ 2.00%
20. Const. 4" PVC SS 5.0' @ 2.00%
21. Const. 4" PVC SS 5.7' @ 2.00%
22. Const. 4" PVC SS 2.8' @ 2.00%
23. Const. 4" PVC SS 10.2' @ 2.00%
24. Const. 4" PVC SS 8.2' @ 2.00%

## General Utility Notes:

1. All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
2. Coordinate all utility connections to building with plumbing plans and building contractor.
3. Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
4. All catch basin and inlet box grates are to be bicycle proof.
5. Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
6. Gas lines, telephone lines, and cable TV lines are not a part of these plans.
7. Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
8. Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spoils to proper grade.
9. Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

## Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

### Culinary Service Laterals

1. Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 340B, SDR 9 (200 psi)
2. Copper Pipe (Up to 3 inches diameter): Type "K"

### Water Main Lines and Fire Lines

1. Polyvinyl Chloride (PVC) (4 inches to 12 inches diameter): AWWA C900, Class 200

### Sanitary Sewer Lines

1. All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35

### Storm Drain Lines

1. 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type PSM, SDR 35
2. 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

| Building Data       |   |
|---------------------|---|
| Type:               | x |
| Square Footage:     | x |
| Fire Sprinkled:     | x |
| Building Height:    | x |
| Fire Flow Required: | x |

### CAUTION :

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

## Storm Drain & Sanitary Sewer Note:

All Storm Drainage & Sanitary Sewer Pipe Lengths and Slopes are from Center of Structure to Center of Structure

### Onsite Utility Connection Notes:

1. Contractor shall field verify all utility connection elevations prior to any utility construction has begun.
2. Contractor shall construct utility lines into site prior to any onsite utility construction. Gravity lines are to be constructed starting at the lowest point and be installed prior to any waterline installation
3. Construction of any onsite utilities prior to the offsite connection will be done at the contractors risk.



## Utility Plan

## Riverdale Landing Phase 2

500 West Riverdale Road  
Riverdale, Utah



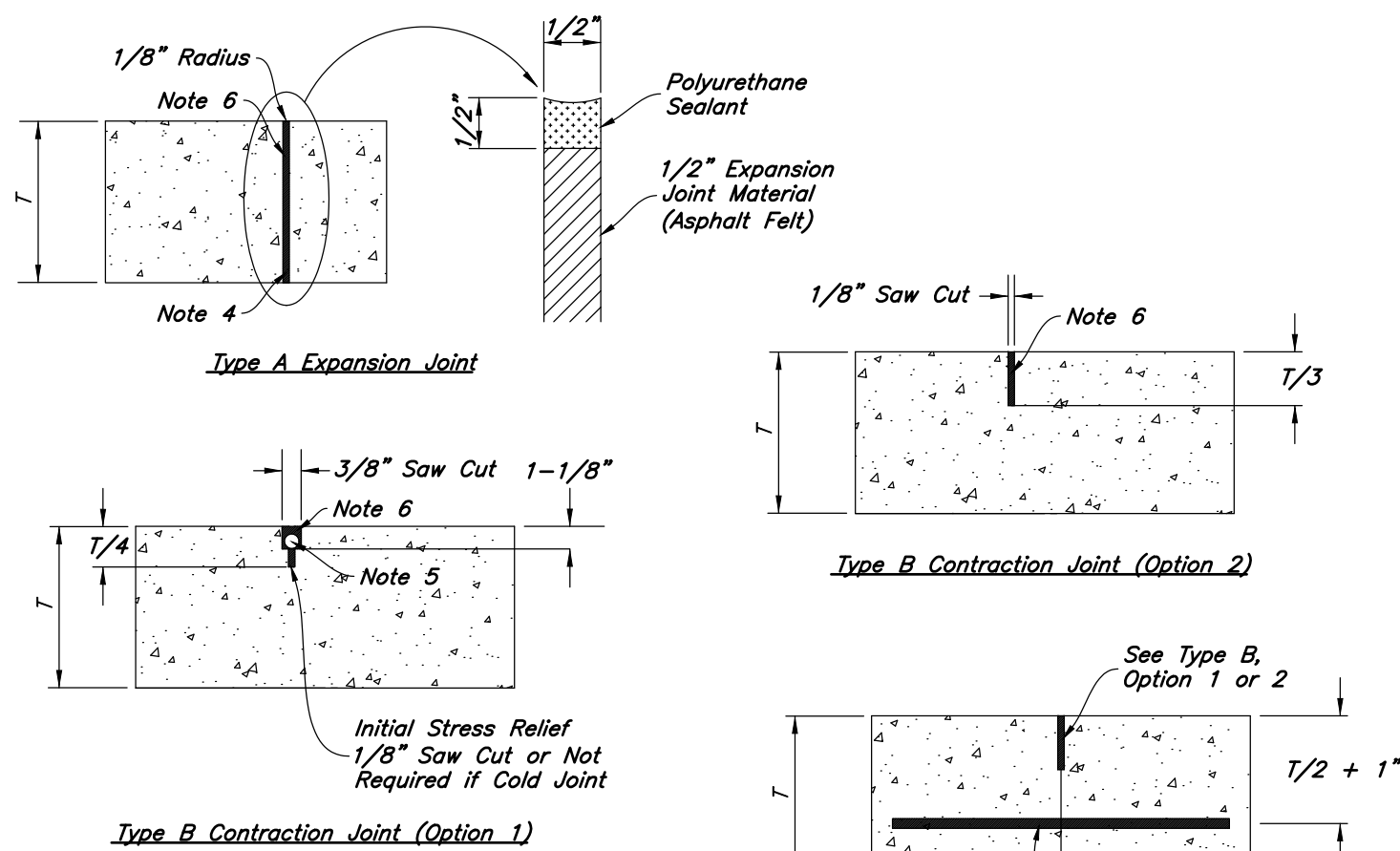
22 Sep, 2020

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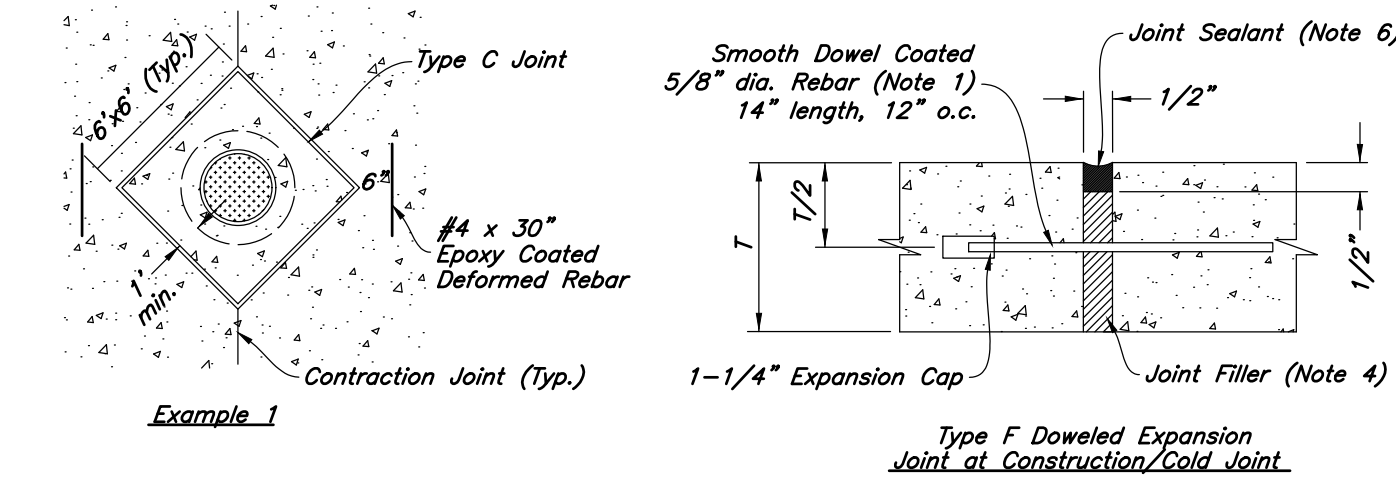
# C3.1



1. **REINFORCEMENT:** ASTM A 615, grade 60, galvanized or epoxy coated deformed steel rebar or smooth steel dowels with diameter and length as indicated.
- A. Space rebar and dowels at 12 to 15 inches on center.  
B. Grease dowels to provide movement in expansion joints.  
C. Keep tie bars in the vertical center of the concrete slab and perpendicular to the joint during concrete placement.
2. **SAWING:** Keep at least 3 working power saws on-site when concrete is being placed. Saw crack control joints (contraction joints) before shrinkage cracking takes place. Do not tear or ravel concrete during sawing. In cool weather, the joint sawing may be delayed only for the time required to prevent tearing and raveling the concrete. Cut joints to dimensions recommend by sealant manufacturer and approved by ENGINEER.
3. **JOINTS:** Lay out joints to aid construction and control random cracking.
- A. Joint Spacing shall be 12 feet maximum on center in both directions.  
B. Extend transverse contraction joints continuously across the full width of the concrete. Make the joints coincide with curb and gutter joints.  
C. Make adjustments in joint locations to meet inlet or manhole locations.  
D. Expansion Joints shall be placed where concrete abuts a building wall, sidewalk, curb, gutter or any immovable structure.
4. **JOINT FILLER:** Bituminous (Asphalt or tar) mastic, ASTM D994. Formed and encased between 2 layers of bituminous saturated felt or 2 layers of glass-fiber felt extending to the bottom of the concrete slab.
5. **BACKER ROD:** Round Rods. It must be oversized approximately 25 percent to fit tightly into each joint and compatible with hot poured sealant.
6. **JOINT SEALANT:** Hot applied, Asphalt base type, ASTM D 3405. Remove dirt, oil, and curing compounds from joint reservoir. Seal joints immediately after cleaning.

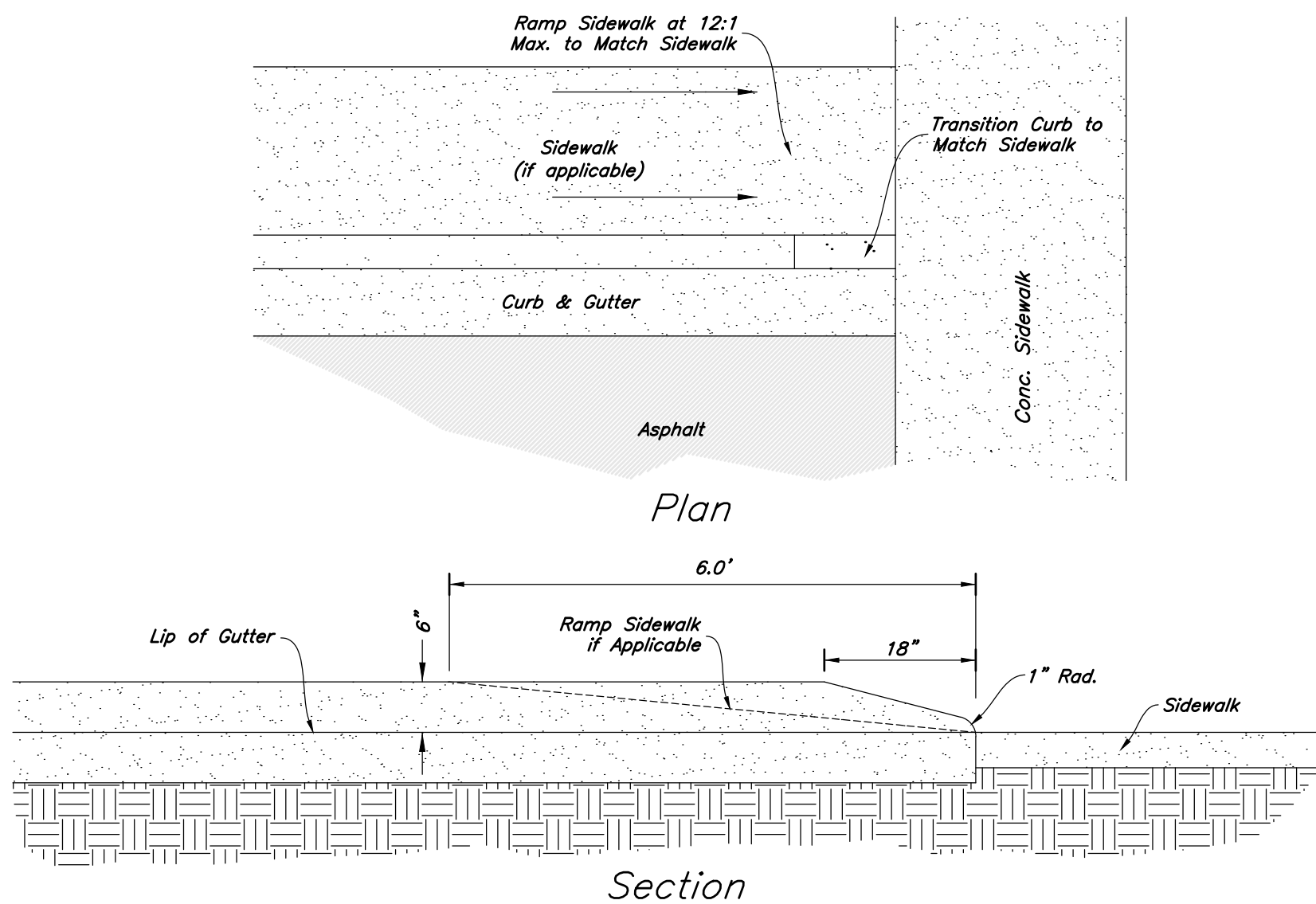


Rebar at all corners of expansion joints that do not intersect a contraction joint.



## Concrete Joint Detail

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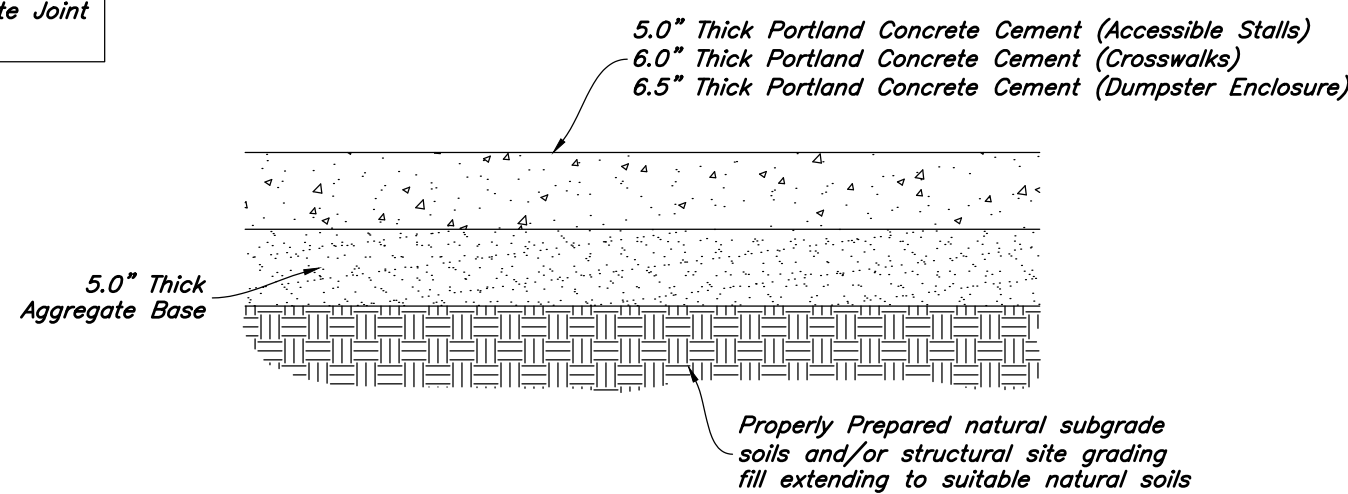
## Curb Transition

Not to Scale

## Not Used

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1. See Geotechnical Report for Project for Future Details  
2. See Concrete Joint Detail



## Concrete Paving Section

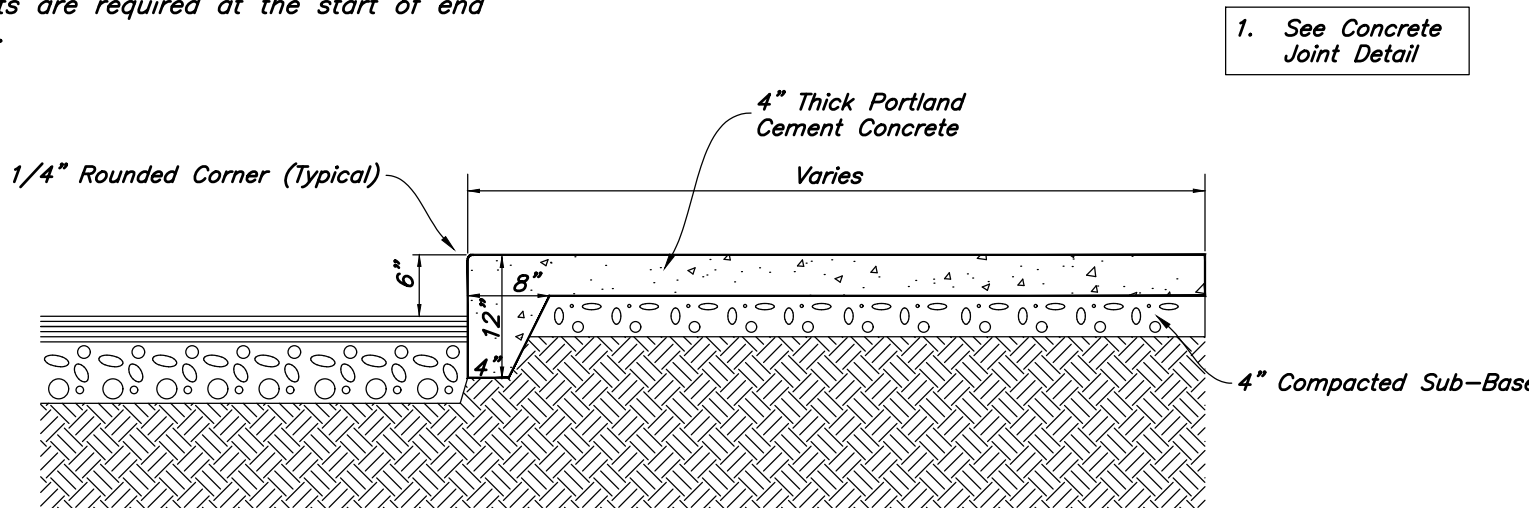
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### Contraction Joints

- A. Spacing = 10' O.C.

### Expansion Joints

- A. Make expansion joints full depth, see joint detail  
B. Place expansion joint at as cold joints  
C. Expansion joints are required at the start of end of curb radius.



## Thickened Edge Walk

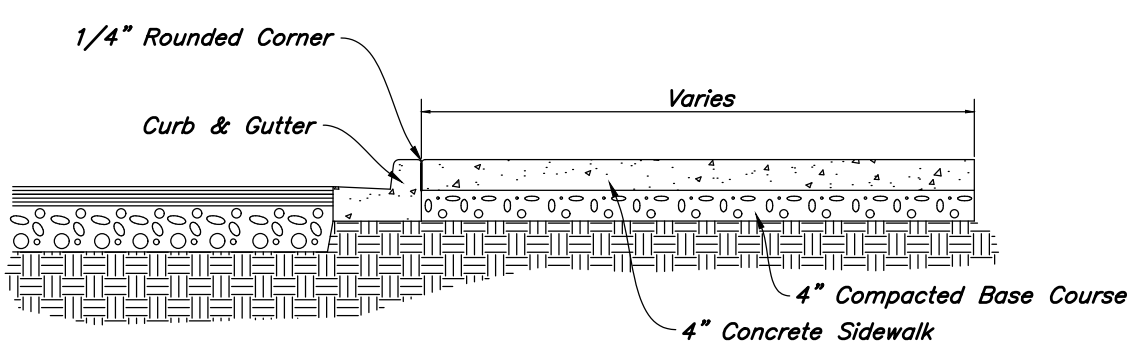
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### Contraction Joints

- A. Spacing = 10' O.C.

### Expansion Joints

- A. Make expansion joints full depth, see joint detail  
B. Place expansion joint at as cold joints  
C. Expansion joints are required at the start of end of curb radius.

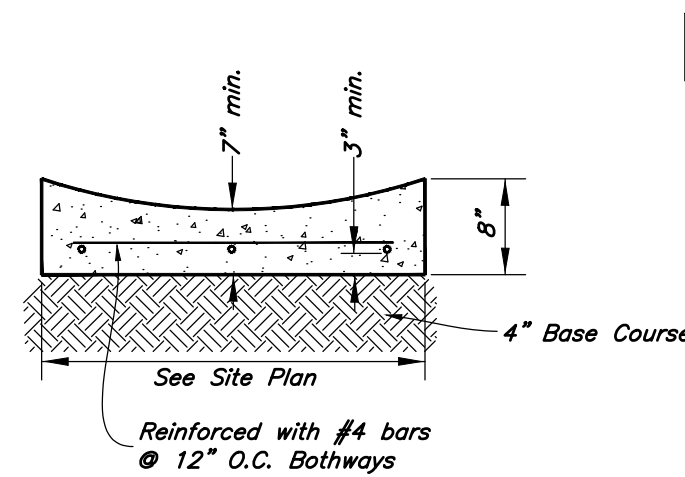


## Typical Sidewalk Detail

Not to Scale

### Contraction Joints

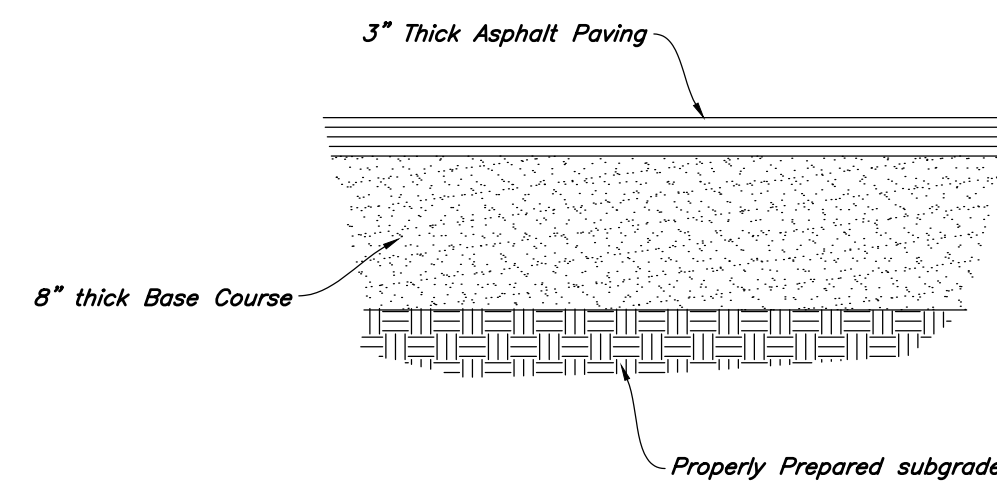
- A. Spacing = 10' O.C.  
B. 1/8" Wide by 2" Deep



## Typical Waterway Detail

Not to Scale

1. See Geotechnical Report for Project



## Standard Asphalt Section

Not to Scale

### 1. Contraction Joints

- A. Spacing = 10' o.c., see joint detail  
B. 1/8" wide by 2" deep from top of curb at 15'-0" intervals

### 2. Expansion Joints

- A. Make expansion joints full depth, see joint detail  
B. Place expansion joint at all cold joints  
C. Expansion joints are required at ends of all radii 0.0B.  
D. Required 5'-0" on each side of drainage structures  
E. Required at 90'-0" maximum intervals in straight curb and gutter  
F. Provide #6 x 18" long smooth steel dowel bars with 1" dia. grease cap through expansion joints (3/4" thick bituminous filler material)

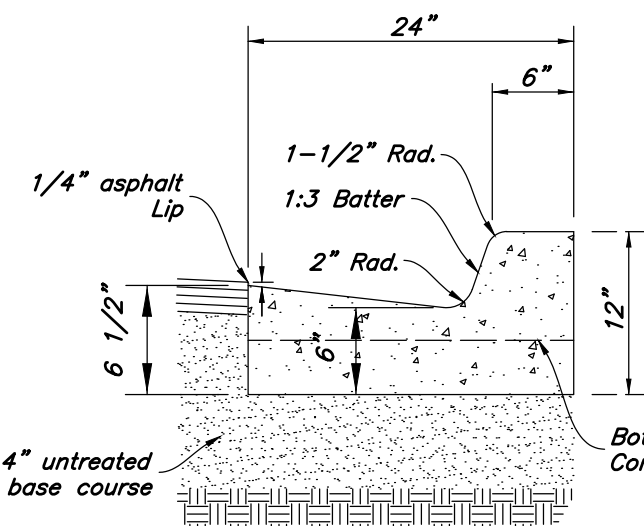
3. 2'-6" Long tie bar on 2'-6" centers shall be provided when curb is adjacent to P.C.C. pavement

4. Provide (2) #6 x 2'-6" long tie bars to connect existing and new curb and gutter

5. Remove forms as early as possible. Brush top and face of curbs to remove all imperfections. Typical of all form work.

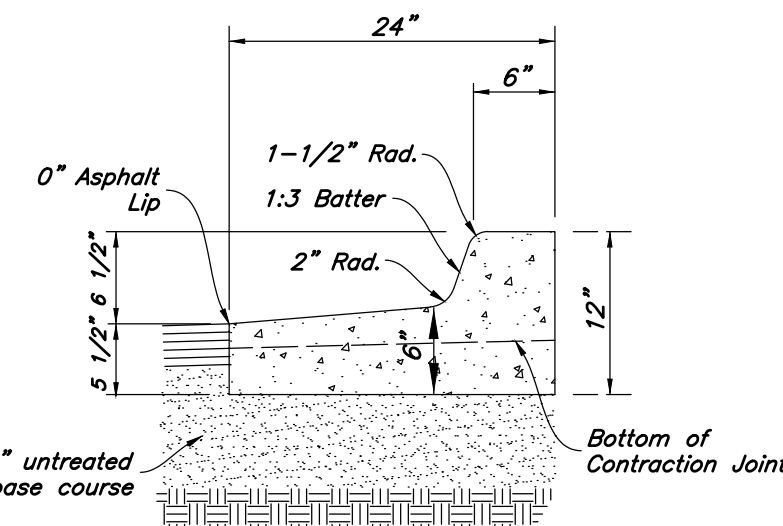
6. All radii shall be true arcs

7. Medium to light broom finish on all exterior concrete



Standard

Note: All Curb and Gutter to be Standard Unless Otherwise Noted



Open Face

1. See Concrete Joint Detail

## 24" Curb And Gutter

Not to Scale

Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 DT

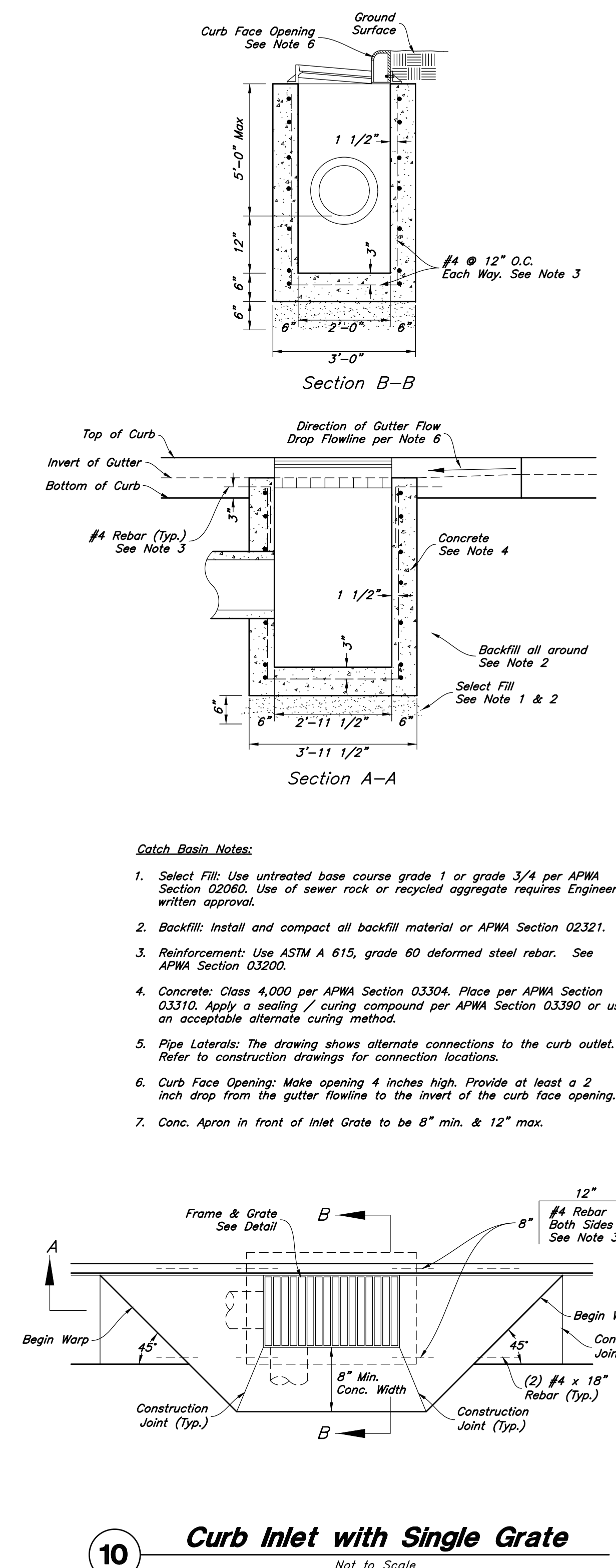
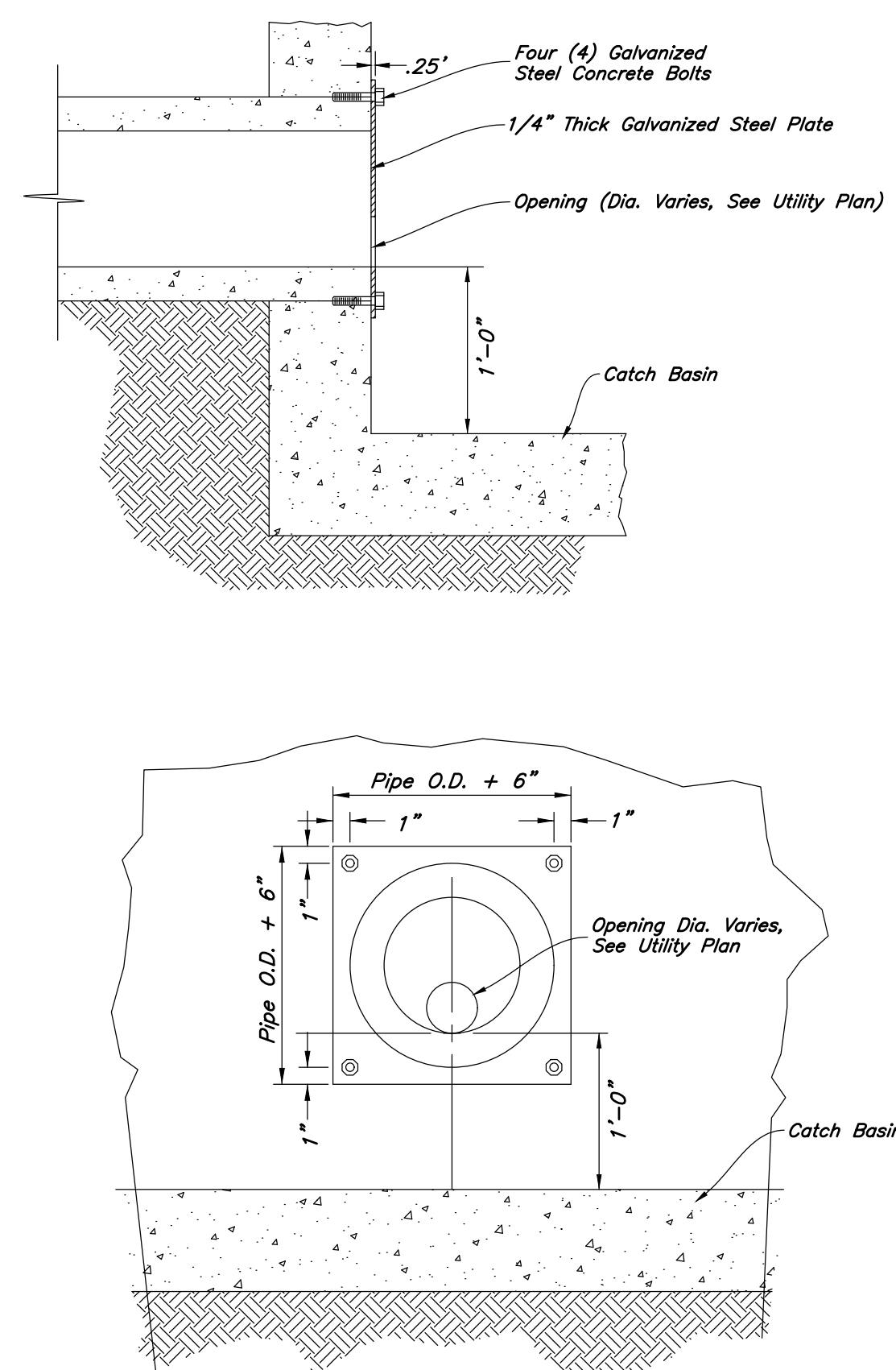
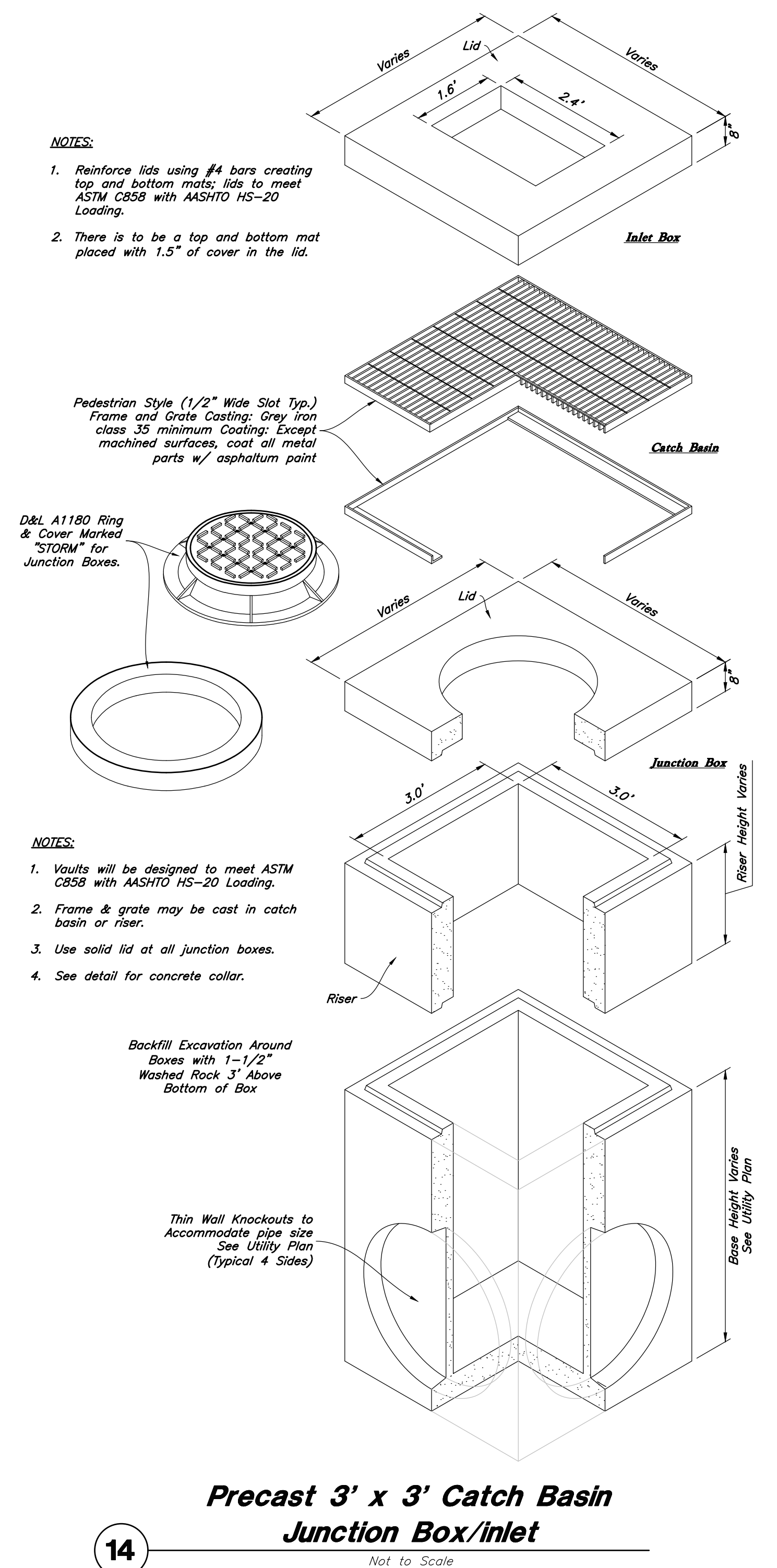
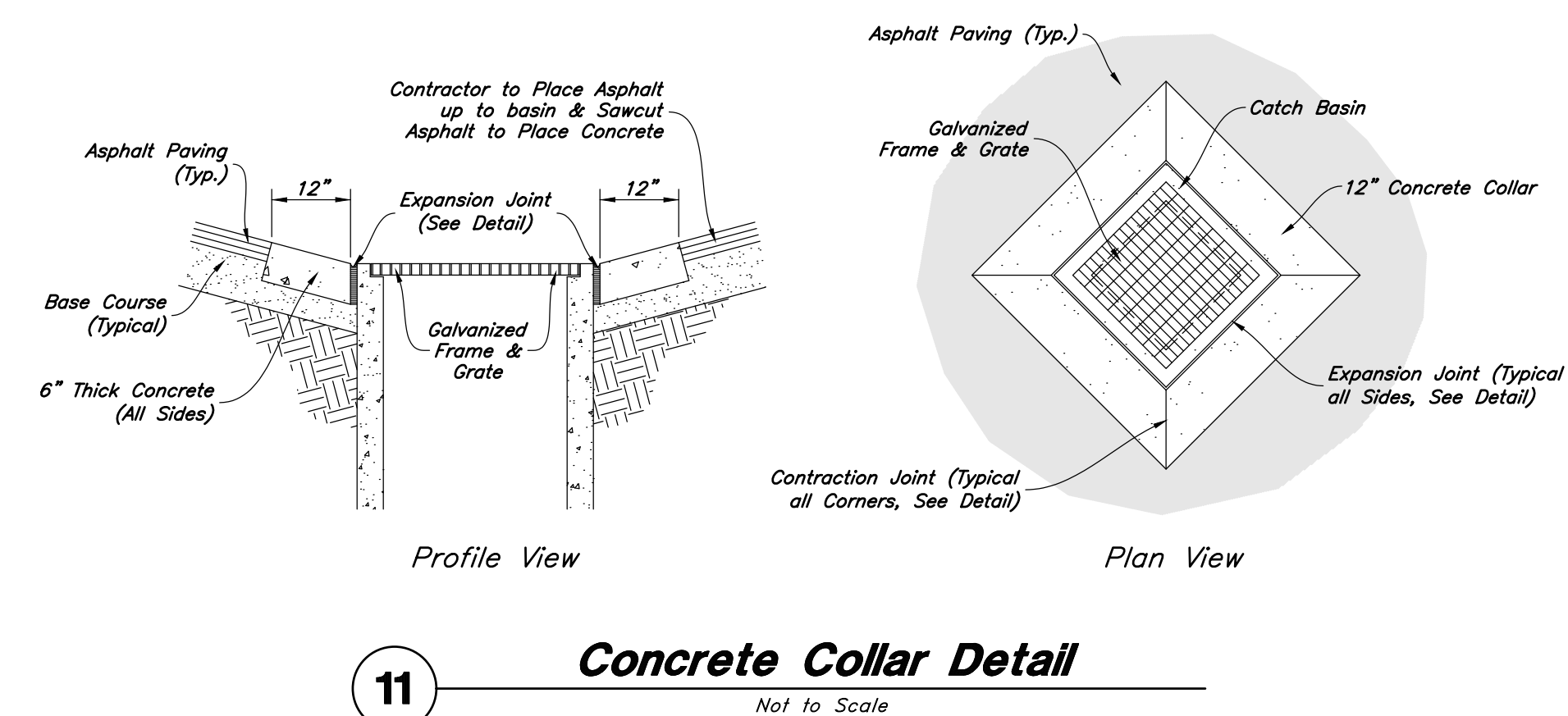
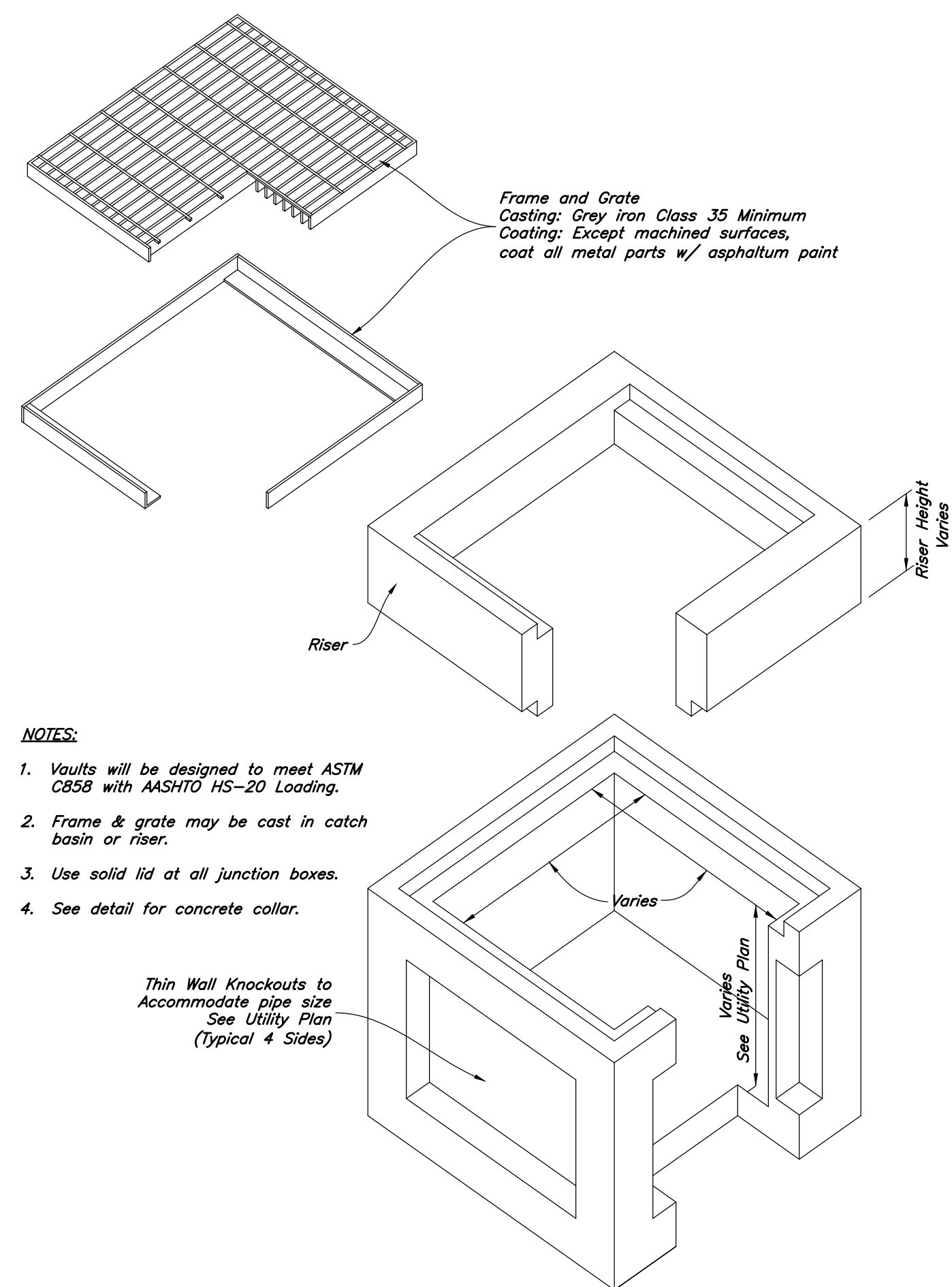
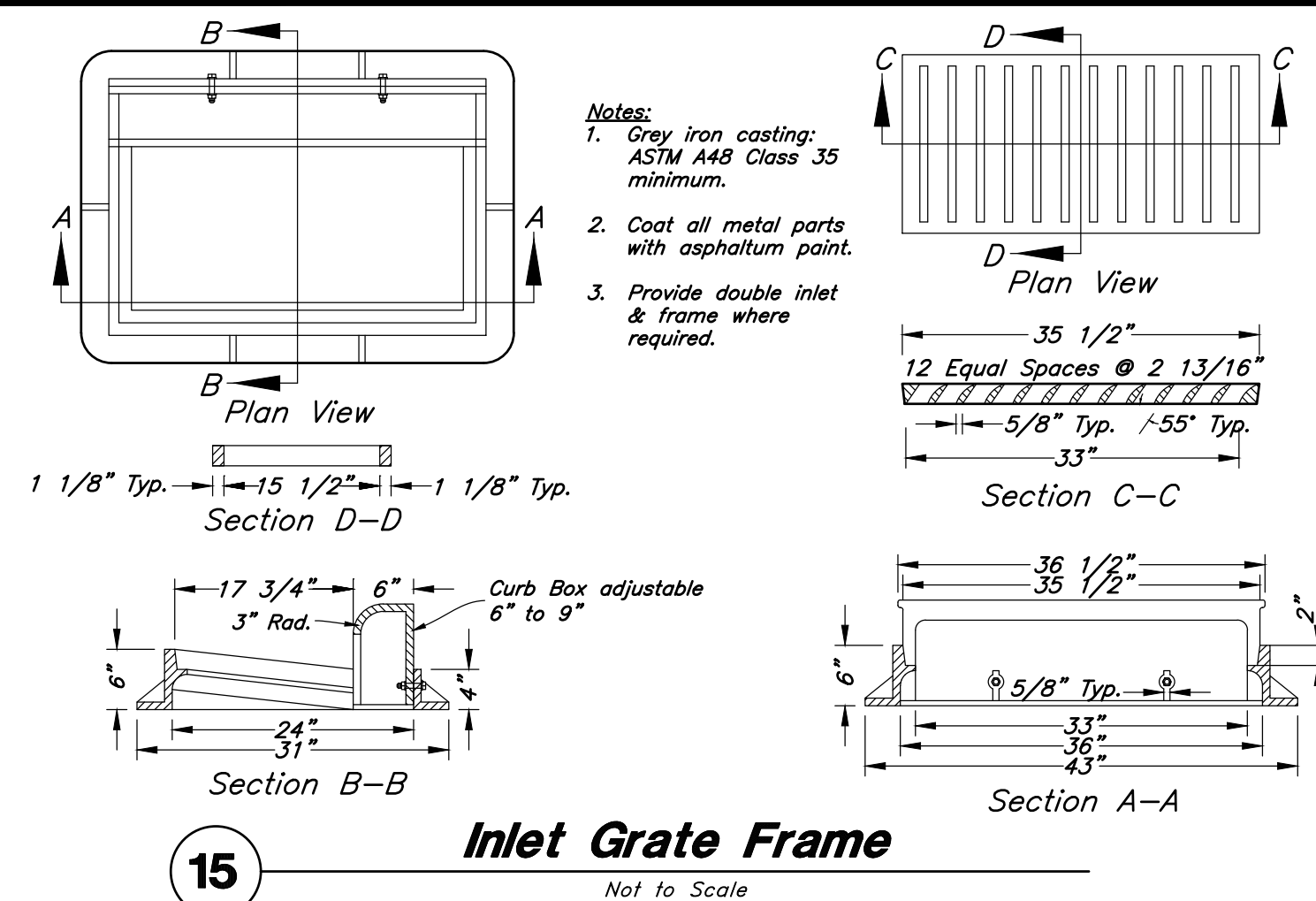
ANDERSON WAHLEN & ASSOCIATES  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801-521-8529 - AWEngineering.net

Details  
Riverdale Landing Phase 2  
500 West Riverdale Road  
Riverdale, Utah

22 Sep, 2020

SHEET NO.

C4.1

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Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.

16-087 D



# ***Riverdale Landing Phase 2***

## ***Details***

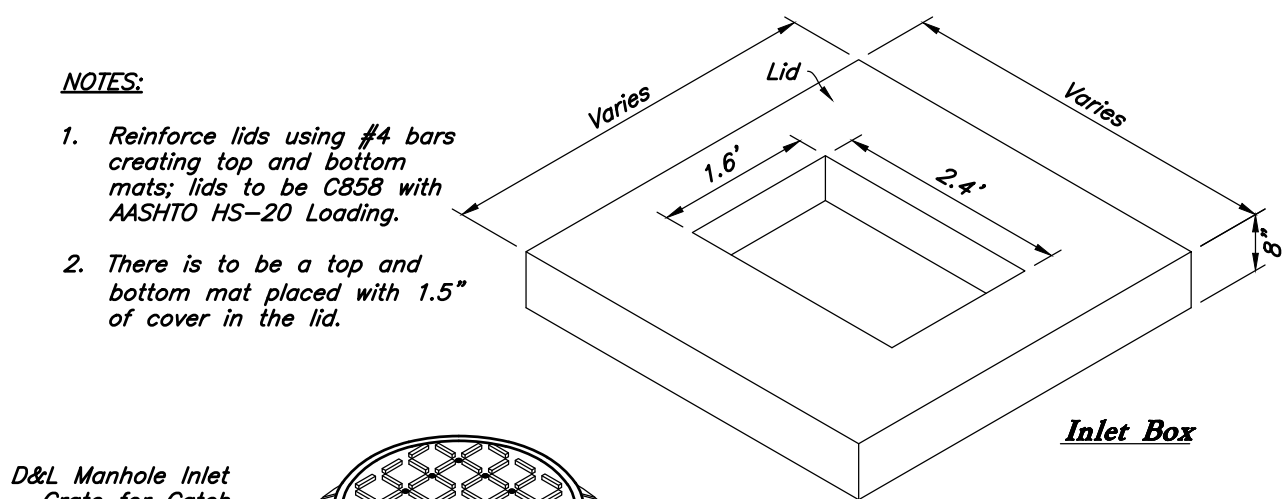
22 Sep, 2020

SHEET NO.

## C4.2

NOTES:

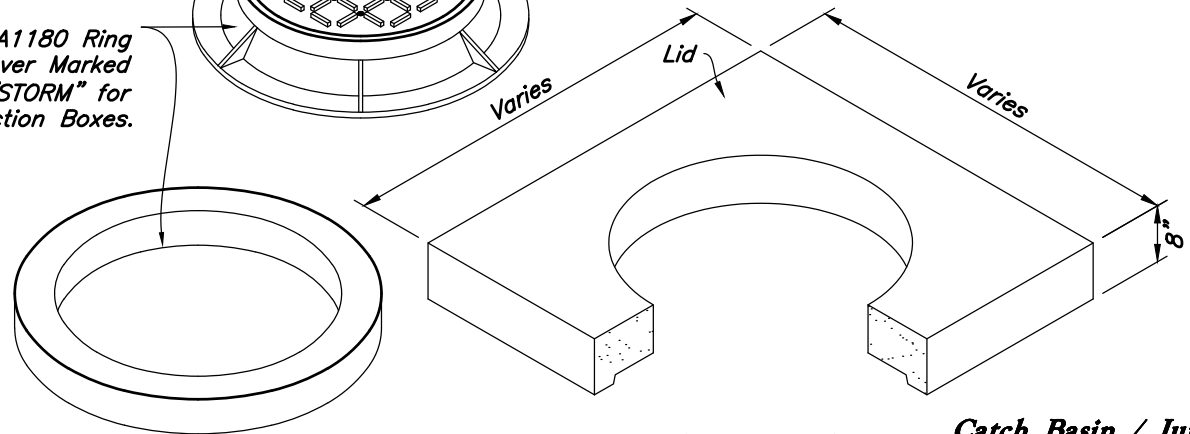
1. Reinforce lids using #4 bars creating top and bottom mats; lids to be CB58 with AASHTO HS-20 Loading.
2. There is to be a top and bottom mat placed with 1.5" of cover in the lid.



Inlet Box

D&L Manhole Inlet  
Grate for Catch  
Basin

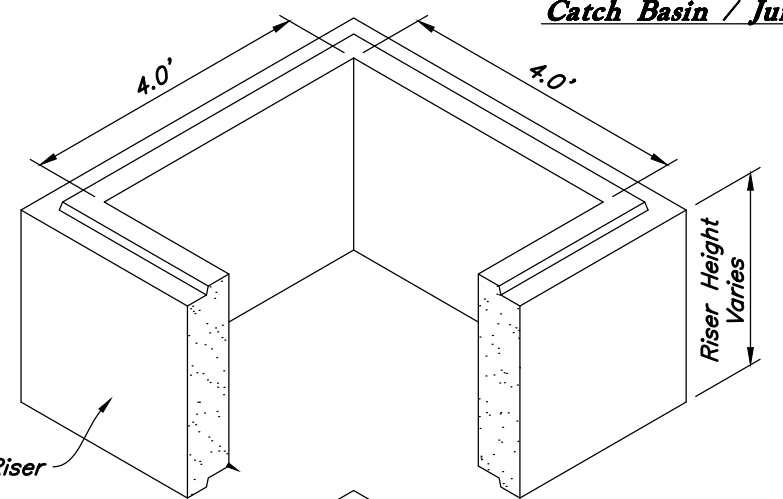
D&L A1180 Ring  
& Cover Marked  
"STORM" for  
Junction Boxes.



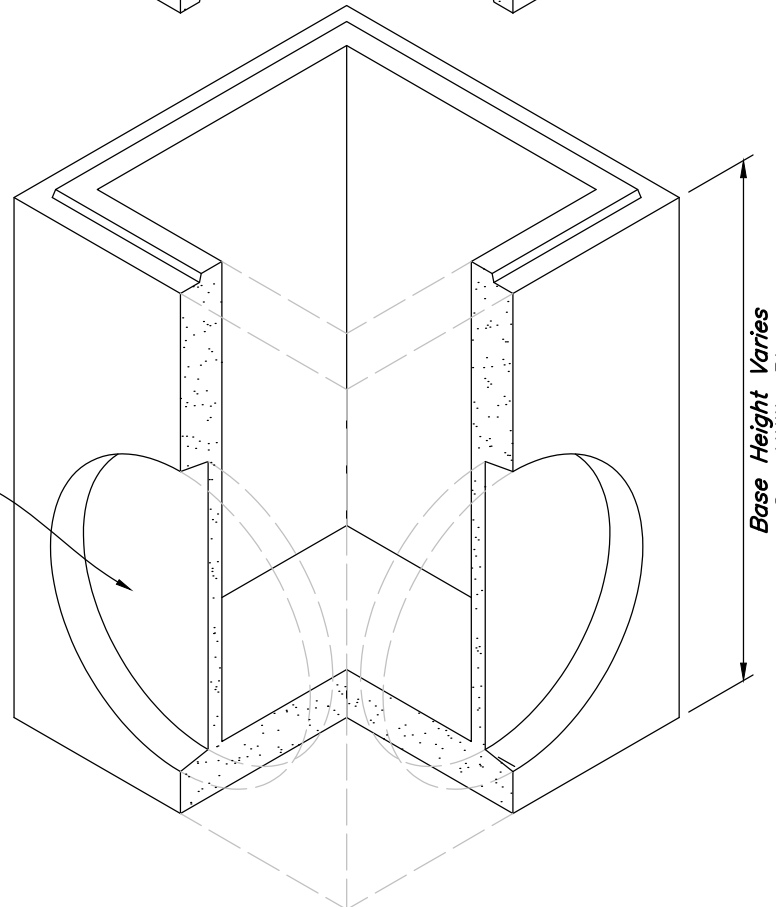
Catch Basin / Junction Box

NOTES:

1. Vaults will be designed to meet ASTM CB58 with AASHTO HS-20 Loading.
2. Frame & grate may be cast in catch basin or riser.
3. Use solid lid at all junction boxes.
4. See detail for concrete collar.



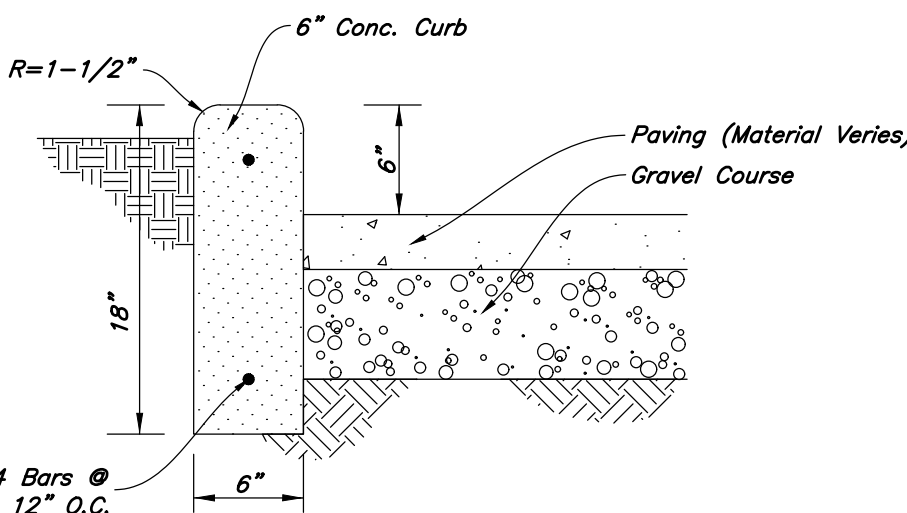
Backfill Excavation Around  
Boxes with 1-1/2"  
Washed Rock 3" Above  
Bottom of Box



Precast 4' x 4' Catch Basin  
Junction Box/Inlet Box

21

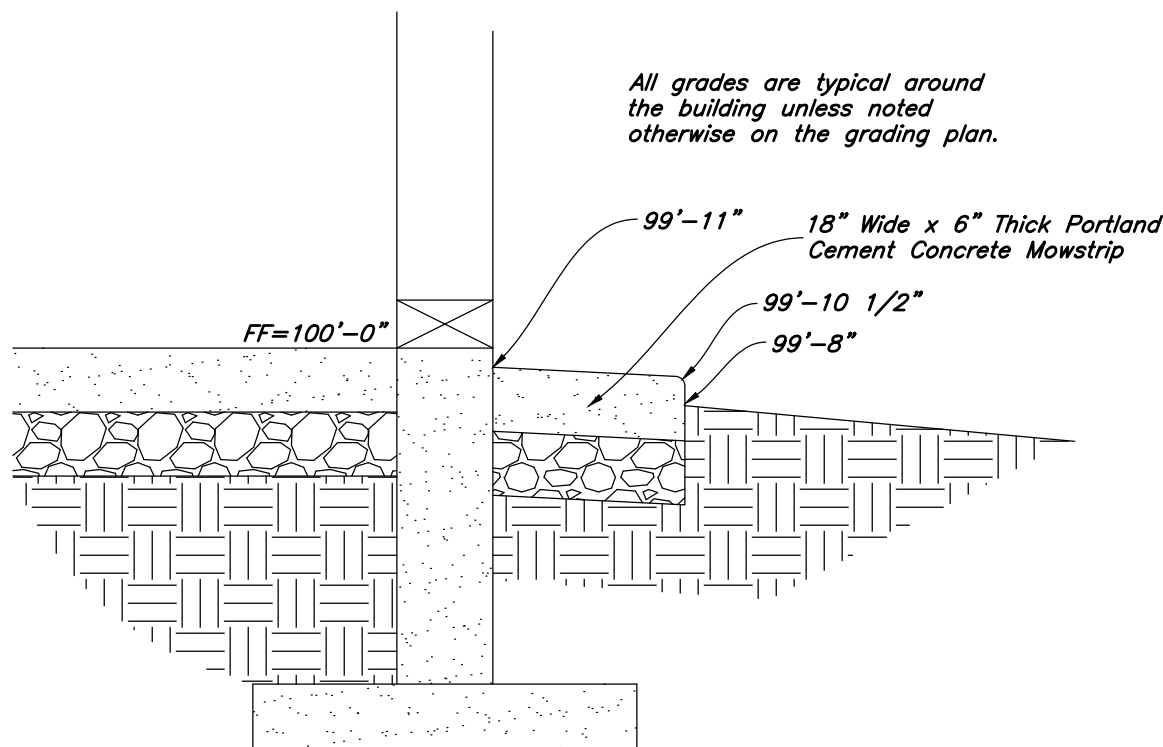
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Curb Wall Detail

20

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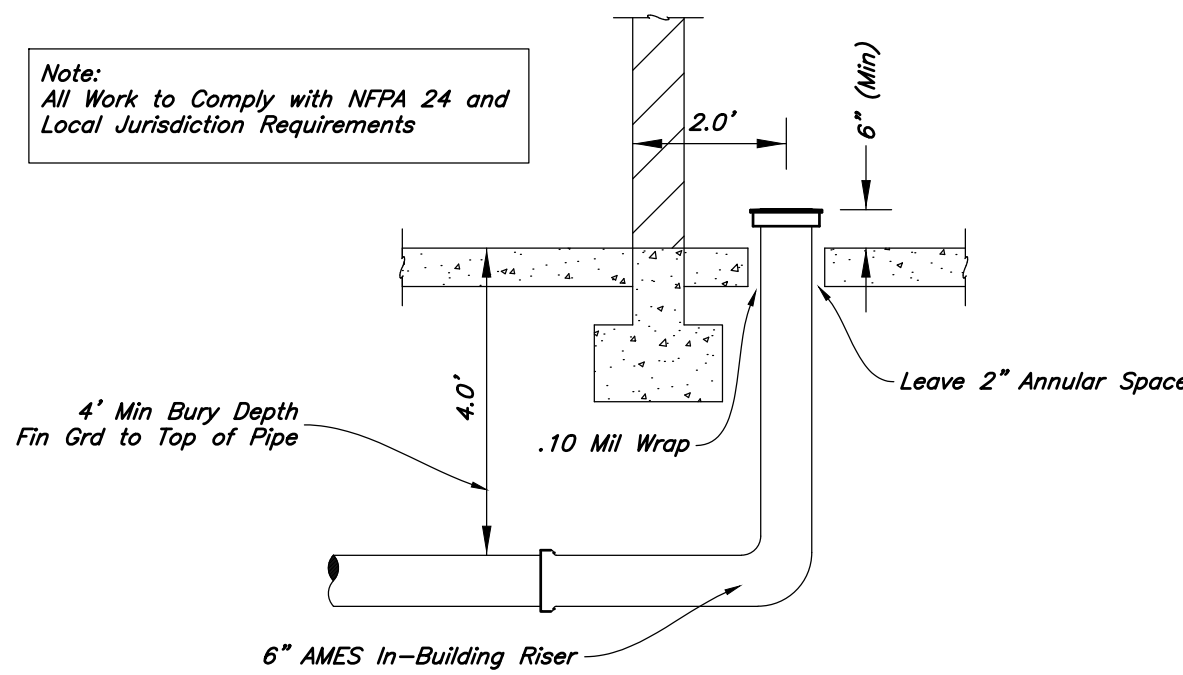


Concrete Mowstrip

19

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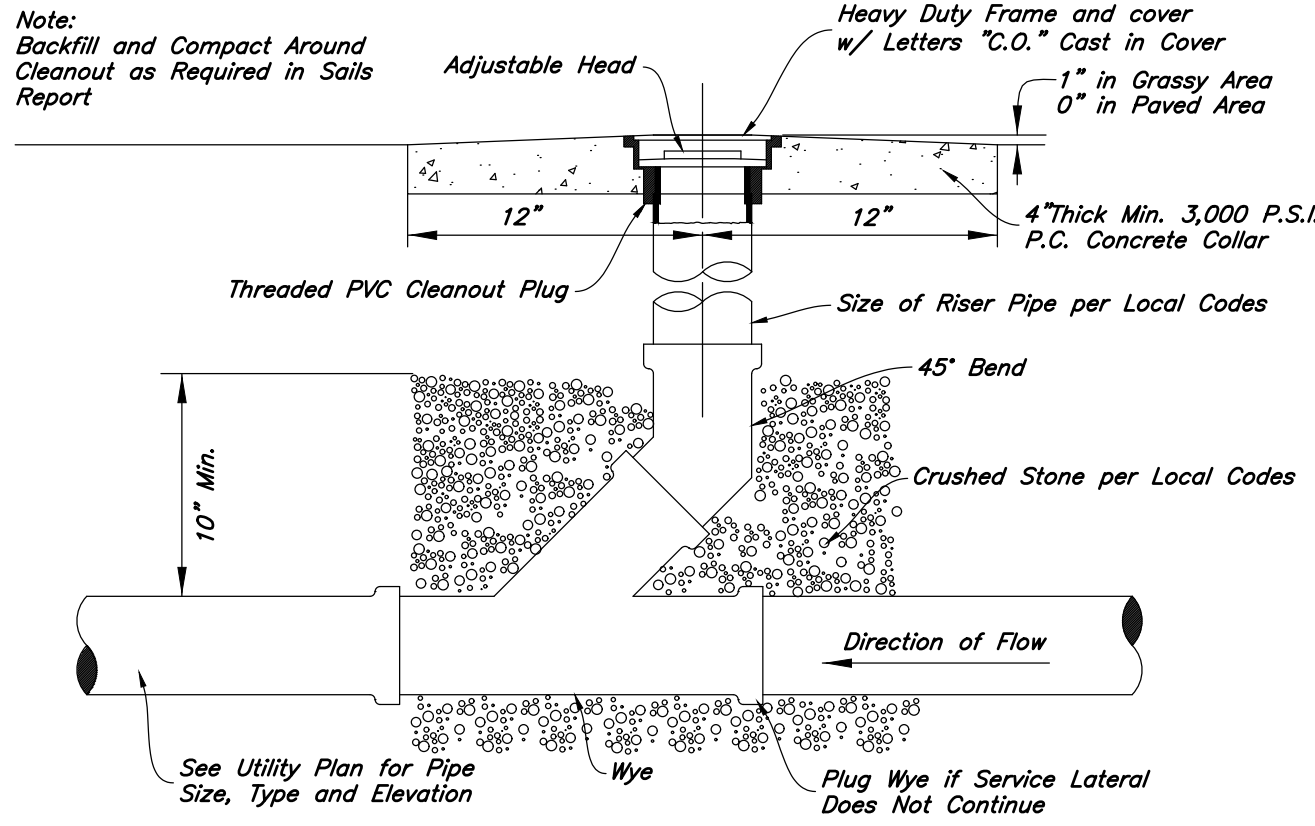
Note:  
All Work to Comply with NFPA 24 and  
Local Jurisdiction Requirements



Fire Riser Stub-In Detail

18

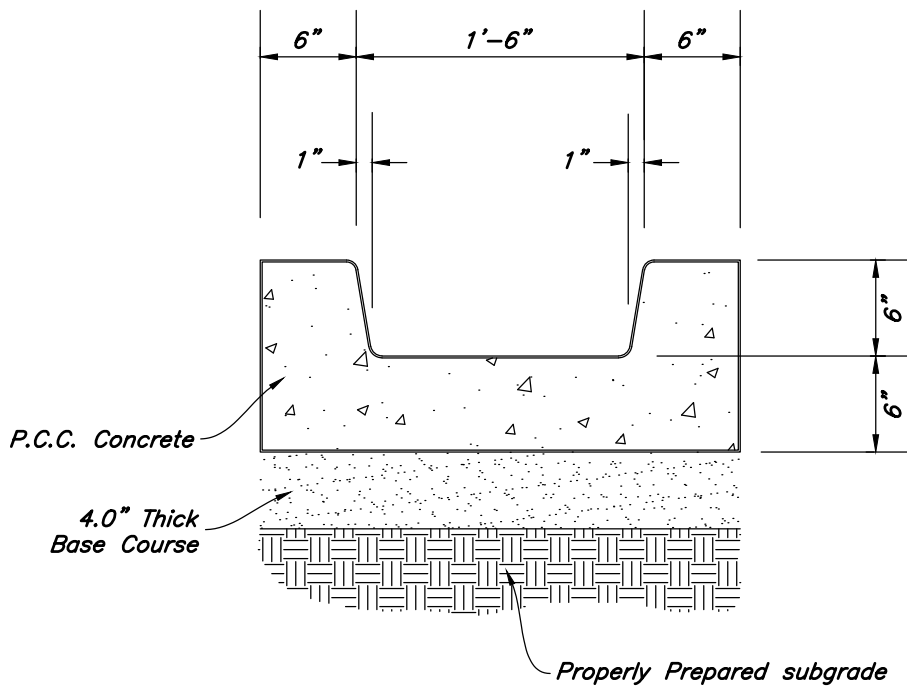
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Typical Cleanout Detail

17

Not to Scale



Thru Planter Drainage Channel Detail

16

Not to Scale

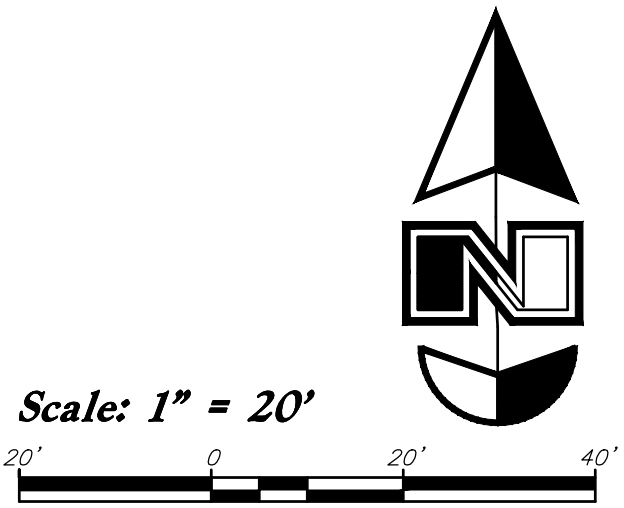
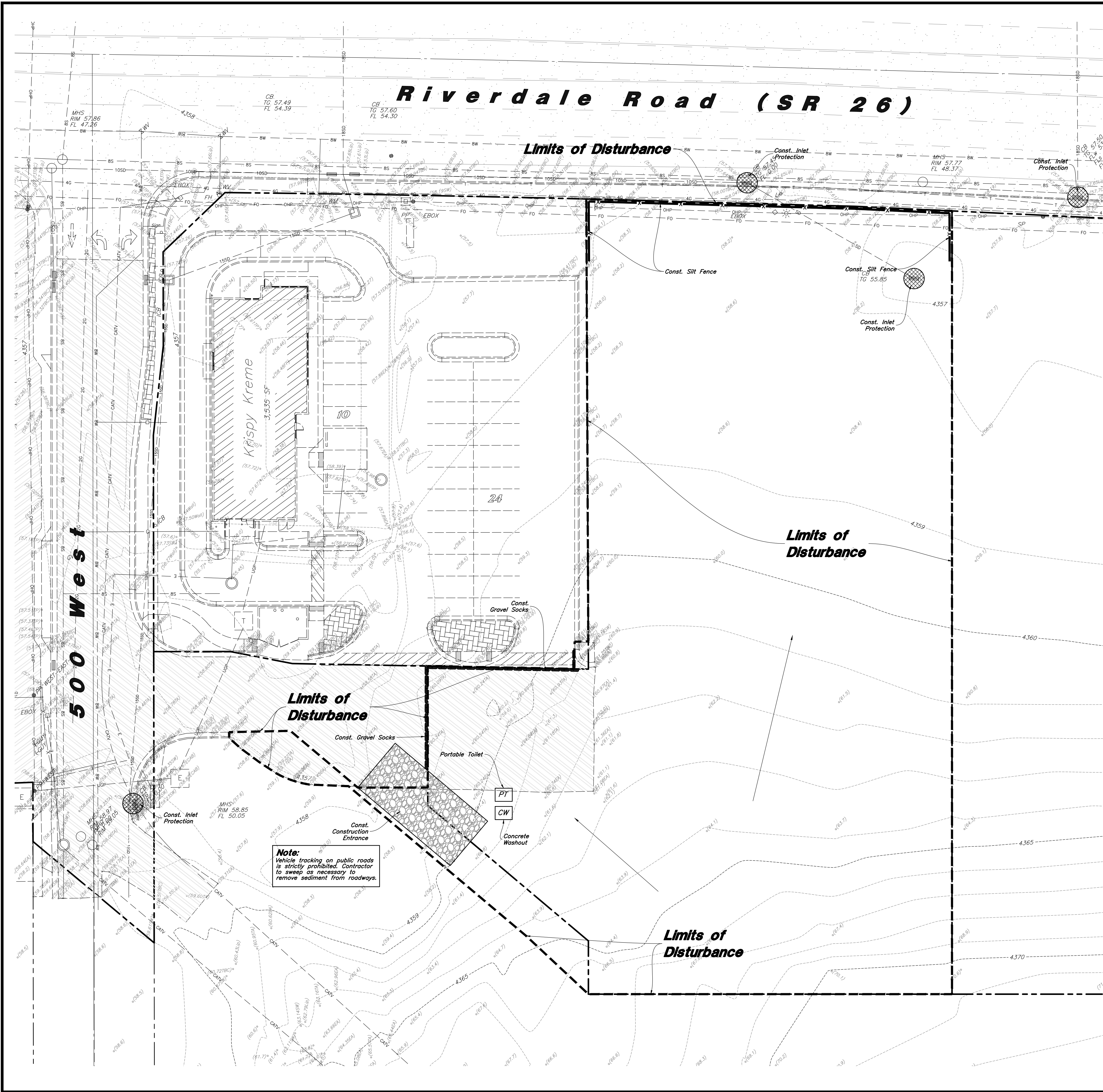
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Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 DT

ANDERSON WAHLEN & ASSOCIATES  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801 521-8529 - AWahlen@engineering.net

Details  
Riverdale Landing Phase 2  
500 West Riverdale Road  
Riverdale, Utah

22 Sep, 2020  
SHEET NO.  
C4.3





**Legend**

Place Inlet Protection at all Inlet Locations to prevent boxes from silting.

Silt Fence

Limit of Disturbance

Construction Entrance / Truck Wash (50'x24' Min.)

Concrete Washout Area

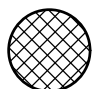
Portable Toilet

Gravel Sock

Existing Contour

Existing Spot

Proposed Contour



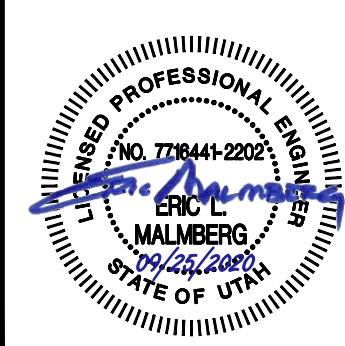
**Erosion Control Notes**

- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleaned if necessary.
- The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
- All Construction equipment will enter thru Designated Construction Entrances.
- Coordinate Entrance locations with the local jurisdiction.
- Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
- Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
- The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
- All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
- Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
- Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
- Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
- This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep Record of all Alterations made to the Erosion Control Measures implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
- Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
- Re-vegetate areas where landscaping has died or not taken hold.
- Divert storm water runoff around disturbed soils with berms or dirt swales.
- Contractor to provide permanent stabilization to any areas disturbed by construction by hydreseeding native vegetation (if not otherwise stabilized).
- Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

**Note:**  
Vehicle tracking on public roads is strictly prohibited. Contractor to sweep as necessary to remove sediment from roadways.

**ANDERSON WAHLEN & ASSOCIATES**  
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**Erosion Control Plan - Phase 1**  
**Riverdale Landing Phase 2**  
500 West Riverdale Road  
Riverdale, Utah

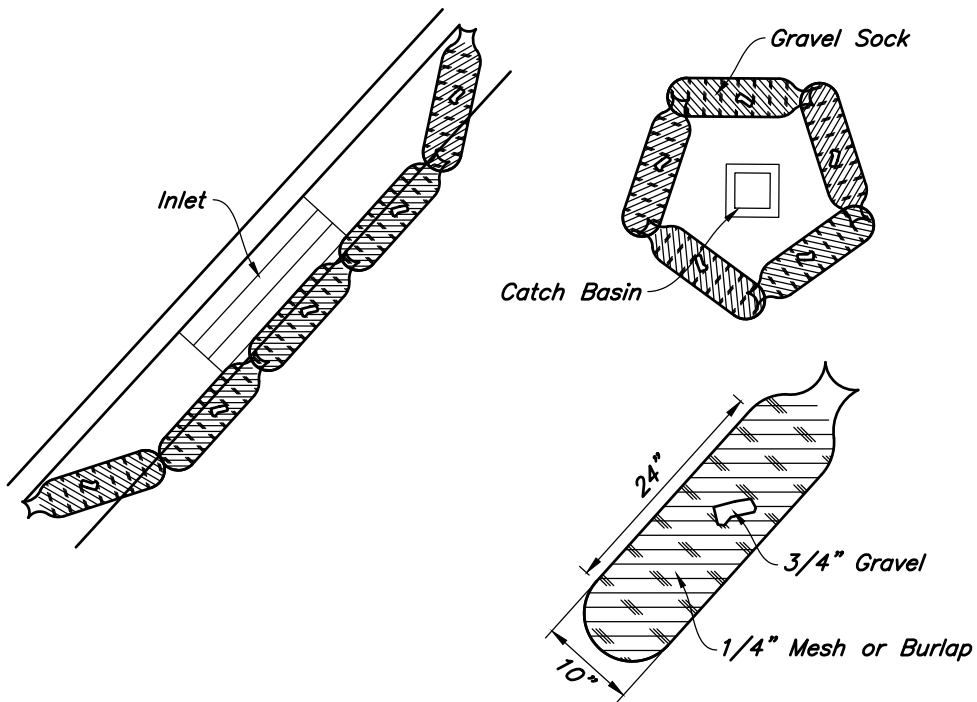




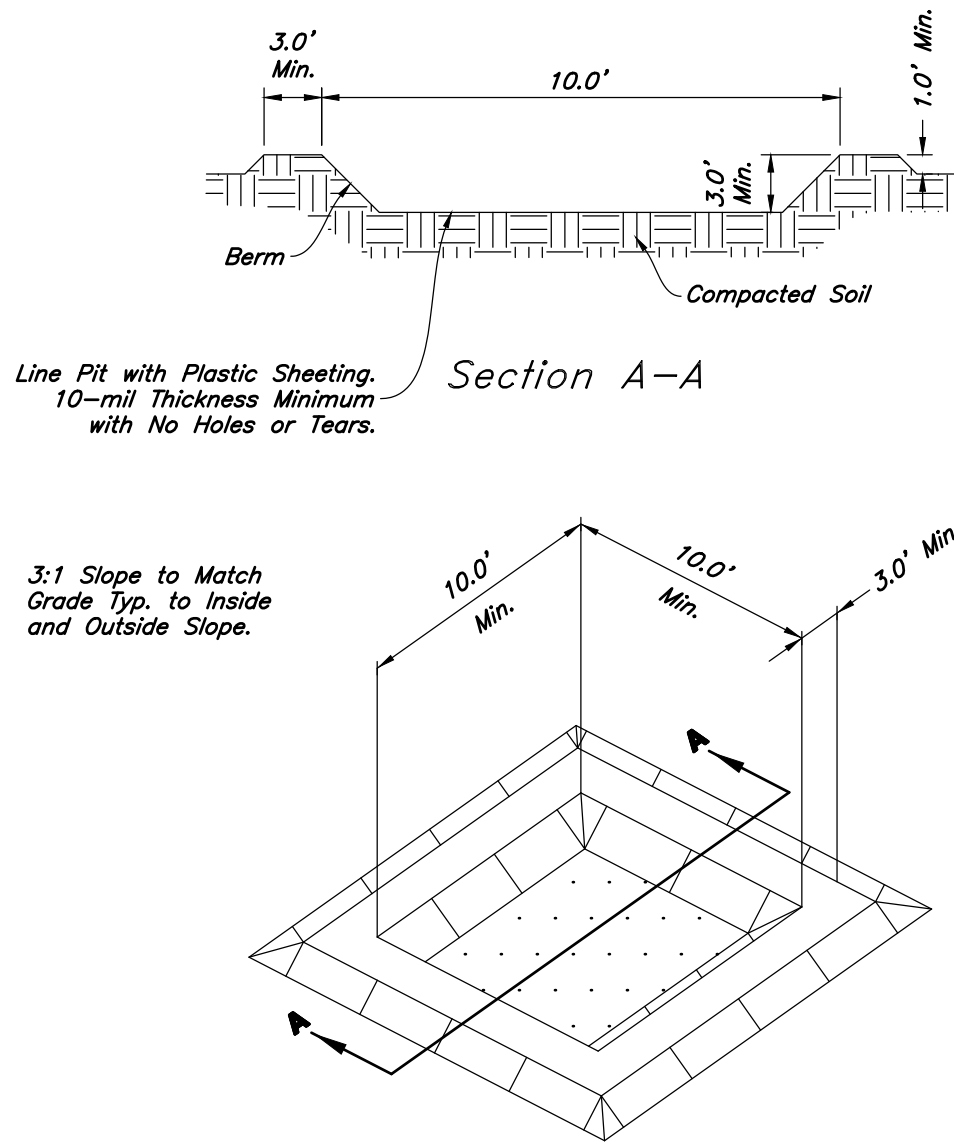




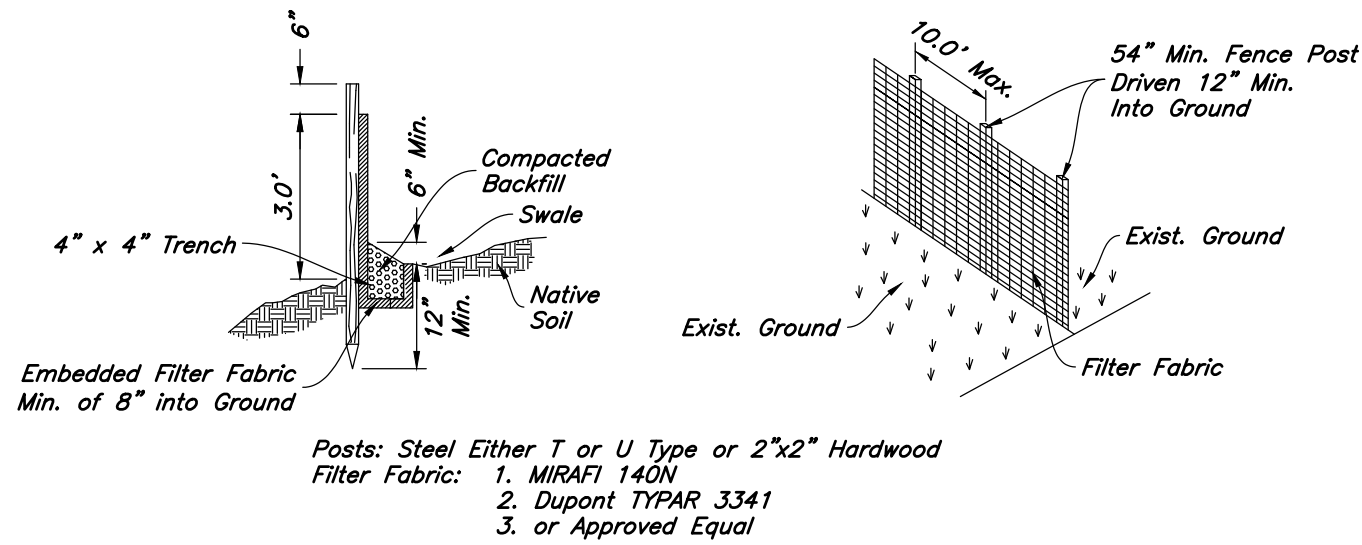
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5 **Gravel Sock Sediment Barrier**  
Not to Scale

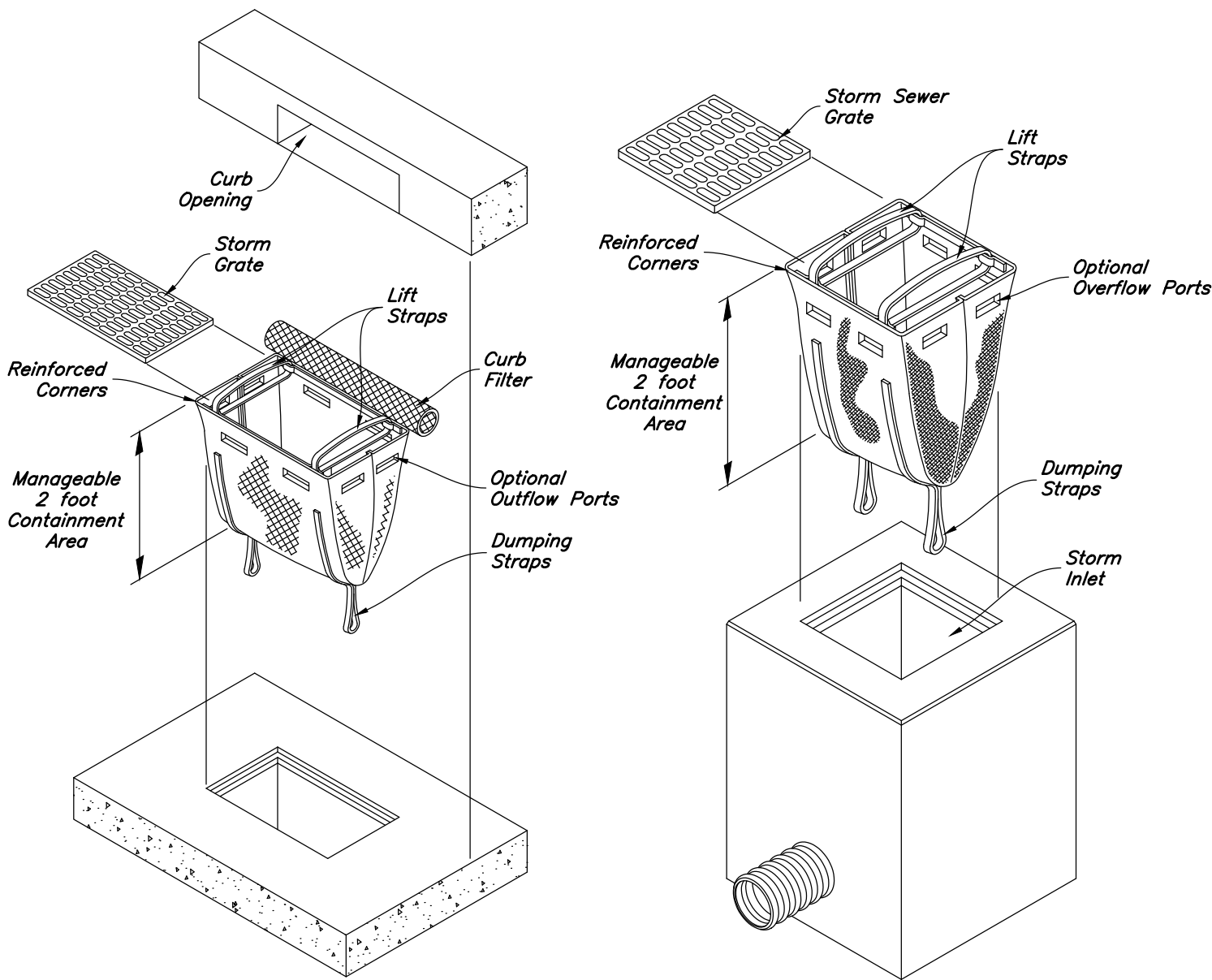


4 **Concrete Washout**  
Not to Scale

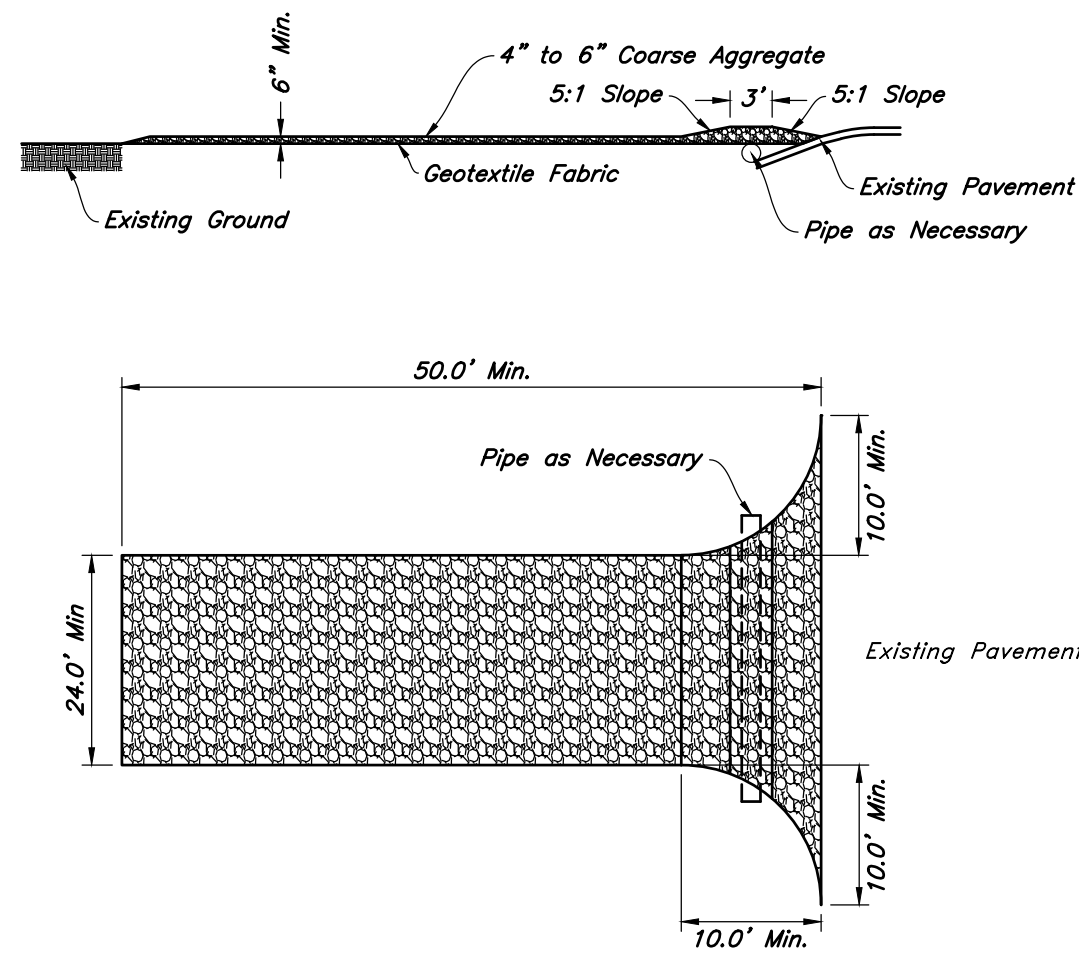


- Notes:
1. Filter cloth to be fastened securely to fence posts with wire ties or staples.
  2. When two sections of filter cloth adjoin each other they shall be overlapped by six inches and folded.
  3. Collected material shall be removed when "bulges" develop in the silt fence.

3 **Silt Fence Section**  
Not to Scale



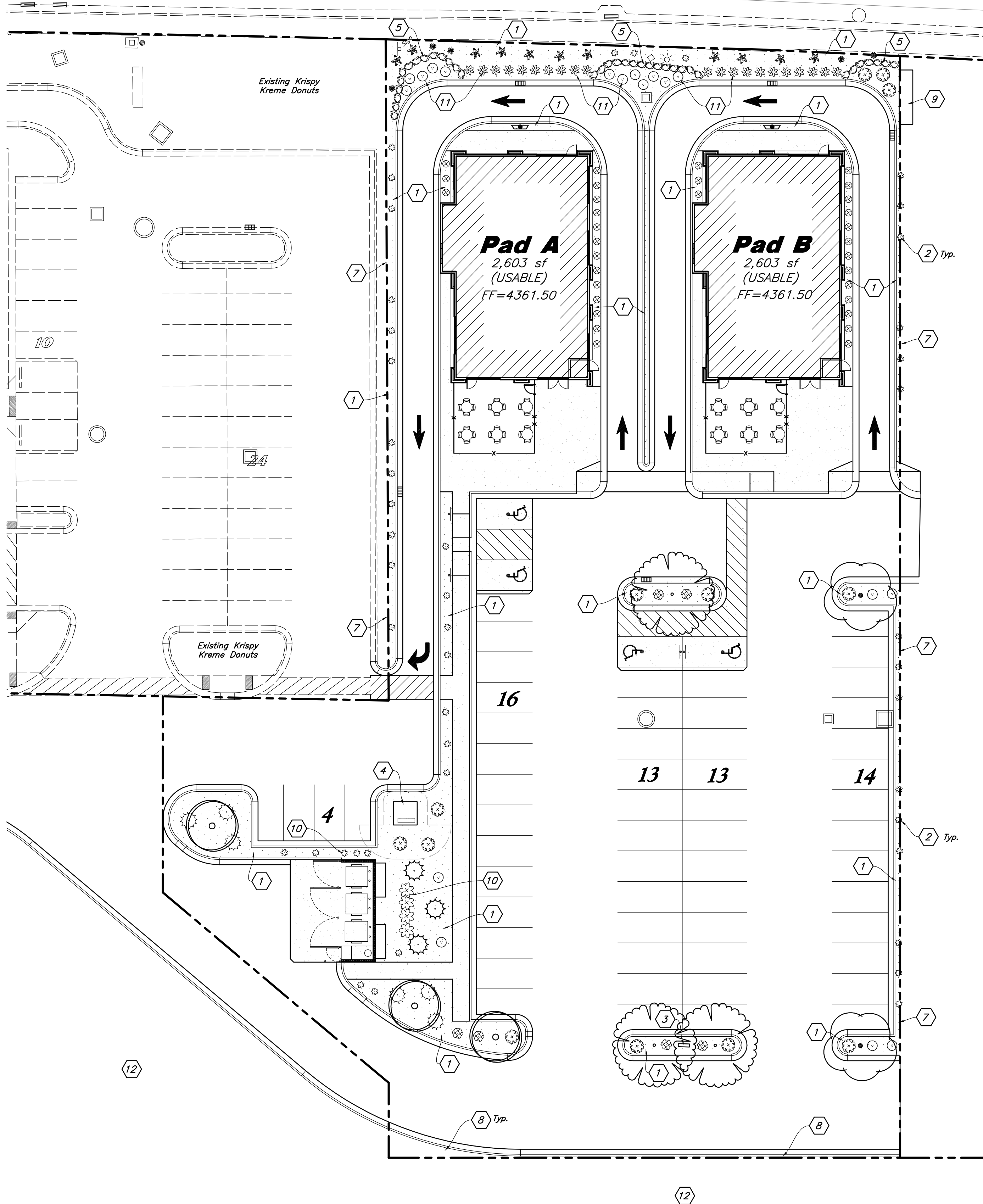
2 **Dandy Sack Inlet Protection**  
Not to Scale



1 **Stabilized Construction Entrance**  
Not to Scale



Riverdale Road (SR 26)



PLANT SCHEDULE

| TREES      | QTY   | BOTANICAL / COMMON NAME | SIZE           | REMARKS |
|------------|---|-------------------------|----------------|---------|
| 3          | Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine | 6-8' Ht.                | Detail: 3/L3.1 |         |
| 3          | Prunus sargentii 'Columnaris' / Columnar Sargent Cherry             | 2" Cal. / 6-8' Ht.      | Detail: 2/L3.1 |         |
| 2          | Tilia cordata 'Corzam' / Corinthian Littleleaf Linden               | 2" Cal. / 6-8' Ht.      | Detail: 2/L3.1 |         |
| 3          | Zelkova serrata 'Musashino' / Musashino Zelkova                     | 2" Cal. / 8-10' Ht.     | Detail: 2/L3.1 |         |
| SHRUBS     | QTY   | BOTANICAL / COMMON NAME | SIZE           | REMARKS |
| 18         | Cornus sericea 'Arctic Fire' / Arctic Fire Dogwood                  | 5 gal                   | Detail: 1/L3.1 |         |
| 13         | Juniperus horizontalis 'Bar Harbor' / Bar Harbor Juniper            | 5 gal                   | Detail: 1/L3.1 |         |
| 21         | Ligustrum vulgare 'Lodense' / Lodense Privet                        | 5 gal                   | Detail: 1/L3.1 |         |
| 32         | Mahonia aquifolium 'Compacta' / Compact Oregon Grape                | 5 gal                   |                |         |
| 4          | Prunus x cistena / Purple Leaf Sand Cherry                          | 5 gal                   | Detail: 1/L3.1 |         |
| 6          | Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac                   | 2 gal                   | Detail: 1/L3.1 |         |
| 11         | Rosa Meidiland series 'Red' / Red Meidiland Rose                    | 5 gal                   | Detail: 1/L3.1 |         |
| 6          | Spiraea x bumalda 'Froebellii' / Froebel Spirea                     | 5 gal                   | Detail: 1/L3.1 |         |
| PERENNIALS | QTY   | BOTANICAL / COMMON NAME | SIZE           | REMARKS |
| 5          | Nepeta x faassenii 'Dropmore' / Catmint                             | 1 gal                   | Detail: 1/L3.1 |         |
| GRASSES    | QTY   | BOTANICAL / COMMON NAME | SIZE           | REMARKS |
| 45         | Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Grass    | 1 gal                   | Detail: 1/L3.1 |         |

MATERIAL SCHEDULE

|                  |  |                |
|------------------|--|----------------|
| Decorative Stone | - Install a (4) Four Inch Depth over Dewitt Pro5 Weed Barrier; Stone Shall be Used in all Shrub Planters and Washed Prior to Installation; Stone Shall be 2-4" Diameter Crushed, Fractured, and Tan Rust Color (Copper Canyon) from Staker Parson (385-239-0804); Submit Sample for Approval | Detail: 4/L3.1 |
|------------------|--|----------------|

Rocks in the Retaining Wall Shall Match the Decorative Stone Color and Shall be Angular and be Interlocked Together; Rocks Shall be a Minimum of 2" in Diameter; Excess Dirt Shall be Removed From Between and on Top Rocks and Decorative Stone Added in Between Rocks; Rock Retaining Wall Shall be Washed Off and Installation; Coordinate with Grading Plan on Height of Rock Retaining Wall

General Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appearances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.

- The contractor shall install all landscape material per plan, notes and details.
- Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
- No grading or soil placement shall be undertaken when soils are wet or frozen.
- Existing or imported topsoil shall be used for all landscape areas. The topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. The landscape contractor shall perform a soil test on the imported topsoil and amend per soil test recommendations. The soil test shall be done by a certified soil testing agency.
- Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
- Provide an 8 inch depth of existing or imported topsoil in all shrub areas. Parking islands shall be slightly bermed up in the middle.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
- Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the plant well and extend up near the base of the plant. The wood mulch shall be covered with the specified stone and the remainder of the planter.
- All new plants shall be balled and burlapped or container grown, unless otherwise noted on plant schedule.
- Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive a specified stone over Dewitt Pro5 weed barrier. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas. All stone shall be washed after installation.
- All deciduous trees shall be double staked per tree staking details as needed. Verify that all trees are straight, it is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Tree ties shall be V.I.T. Cinche Ties #CT32.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

Scale: 1" = 20'



Landscape Data

Zone: C-2 Commercial Zone  
Site Area = 54,773 s.f. (1.26 ac.)  
Landscape Area Required = 10,955 s.f. (20%)  
Landscape Area Provided = 11,387 s.f. (21%)  
Xeriscape Landscape = 6,514 s.f. (57%)  
Hardscape = 4,873 s.f. (43%)  
Lawn Area = 0 s.f. (Nonxeriscape)  
Xeriscape Landscape Required = 5,694 s.f. (50%)  
Xeriscape Landscape Provided = 11,387 s.f. (100%)  
Site Trees: 1 Tree per 5,000 s.f. of Lot Area  
Site Trees Required = 11 Trees (11 Provided) \*  
3.5' High Shrub Hedge Provided for Screening Drive-Thru

\* No More than 33% of all Newly Planted Trees May be the Same Variety.

Landscape Notes:

- See Sheet L3.1 for Landscape Details.
- All Landscape Material Shall be Fully Irrigated by an Automatic Irrigation System. Drip for Planting Areas and Spray for Lawn Areas. See Irrigation Sheets L2.1 for Layout and Sheet L3.1 for Details.
- Adjust Landscape Material as Needed to Allow Access to all New and Existing Utilities. Irrigation Components Shall be Spaced Between Plant Material to Allow Easy Access for Maintenance.
- All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone.
- Landscape Screening Shall be Used to Screen All Parking and Loading Areas Visible From Roadways. Landscape Screening Shall Consist of a Shrub Hedge 3.5' Tall. See Plan for Locations

Landscape Keynotes

- Install Shrub Planter with Weed Barrier and Decorative Stone
- Ornamental Grasses Shall be Planted and Lined up with New Parking Stall Striping and Adjacent Retail Parking Stall Striping
- Irrigation Backflow Preventer Enclosure - See Irrigation Plan for More Detail
- New Elect. Transformer; Proposed Plant Material Around Transformer is Low Growing to Provide Easy Access to Transformer
- Install Rock Retaining Wall; See Civil Plans for Grading and Construction of Wall; Upon Completion of Installation of Wall, Dirt Shall be Cleaned Out Between Rocks and on Top of Rocks; Decorative Stone Shall be Installed Between Rocks in Wall; Rocks for Wall Shall be a Minimum of 2" in Diameter
- Light Pole - See Elect. Plan
- Blend New Landscape into Existing
- Area Behind Curb Shall be Graded Only and Not Receive Landscape Treatment
- New Sign by Separate Permit; Verify Exact Location of Sign and That Plant Material Doesn't Block Sign; Contact LA as Needed to Determine New Planting Scheme
- Install Planting Screen for Dumpster
- Install 3.5' Tall Planting Screen for Drive Thru
- Undeveloped Area - Not a Part of Site



Know what's below.  
Call before you dig.

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2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - AWEngineering.net

Landscape Plan  
Riverdale Landing Phase 2  
500 West Riverdale Road  
Riverdale, Utah

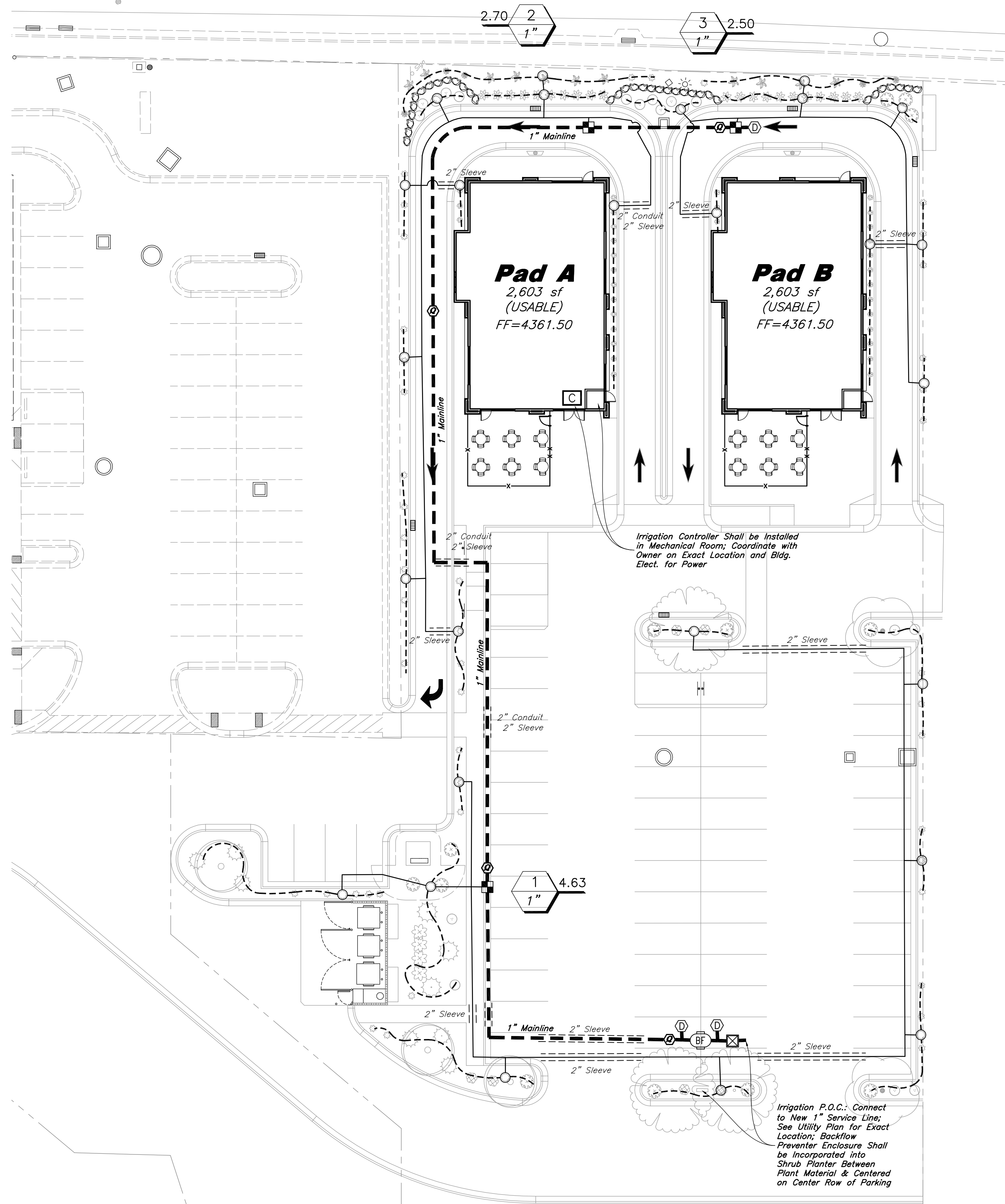


22 Sep, 2020

SHEET NO.

L1.1

# Riverdale Road (SR 26)



## IRRIGATION SCHEDULE

| Symbol        | Manufacturer/Model #      | Description   | Notes  | Detail  |
|---------------|---------------------------|---|--|---------|
| <b>Valves</b> |                           |   |  |         |
|               | Rain Bird XCB-100-PRB-COM | Drip Remote Control Valve Kit   | 1 Inch Size; Install in Standard Valve Box with 3" Depth of Gravel over Weed Barrier; Install with Water Proof Wire Connectors | 12/L3.1 |
|               | Rain Bird 44RC            | Quick Coupler Valve with Swing Joint  | 1 Inch Size; Install in 10" Round Valve Box with 3" Depth of Gravel over Weed Barrier  | 14/L3.1 |
|               | Matco-Norca 759           | Manual Drain Valve  | 1/2" Inch Size; Install at End of Mainline in a 10" Round Valve Box with 6" Depth Sump of Gravel over Weed Barrier             | 9/L3.1  |
| <b>Drip</b>   |                           |   |  |         |
|               | PVC Pipe To Drip Tubing   | Provide Connection Fittings   | Install 1" Feeder Line To All Drip Areas   | 13/L3.1 |
|               | Rain Bird XBS-075         | 3/4" Distribution Tubing - Pipe shown on Plan is Schematic; Adjust as Needed              |  |         |
|               | Rain Bird XG-100          | 1/4" Distribution Tubing - Install one per Emitter  |  |         |
|               | Rain Bird XB-20PC         | Xen-Bug Emitter (2 Gal/Hr.) - 1 per Perennial, 2 per Shrub & Ornamental Grass, 5 per Tree |  |         |
|               | Rain Bird TS025           | Tie Down Stake - Tubing to be Staked every 3'   |  |         |
|               | Rain Bird DBC-025         | Diffuser Bug Cap - Install one per Emitter  |  |         |
|               | Rain Bird MDCFAP          | Removable Flush Cap - Install at the End of Each Line                                     |  |         |

### P.O.C. Components

|                   |                         |   |  |         |
|-------------------|-------------------------|---|--|---------|
|                   | Mueller Oriseal Mark II | Stop and Waste Valve  | 1 Inch Size; Install in 10" Round Valve Box with Weed Barrier and Gravel Sump  | 11/L3.1 |
|                   | Wilkins 375XL Series    | Reduce Pressure Backflow Assembly   | 1 Inch Size; Backflow shall be Properly Installed & Tested to Meet County Requirements, and Meet all State and Local Health Safety Laws and Ordinances; Install in GuardShack Enclosure (JGS-1) on Poured Concrete Pad w/ Frost Guard (FG-1) & 2 Locks (GS-AWPKA); Enclosure Color to be Woodlands Tan | 8/L3.1  |
| <b>Pipes</b>      |                         |   |  |         |
|                   | Schedule 40 PVC         | Mainline Pipe   | 1 Inch Size; Schedule 40 Fittings Shall be Used for Mainline Components  | 5/L3.1  |
|                   | Schedule 40 PVC         | Lateral Line Pipe   | See Plan for Pipe Sizes; Pipes Unmarked Shall be 1 Inch; Minimum Pipe Size Shall be 1 Inch for PVC Pipe  | 5/L3.1  |
| <b>Controller</b> |                         |   |  |         |
|                   | Rain Bird ESP4ME1       | 4 Station Indoor Controller   | See Plan for Location of Controller; Coordinate Power Supply With Building Electrical Contractor   | 7/L3.1  |
| <b>Sleeving</b>   |                         |   |  |         |
|                   | Schedule 40 PVC         | Provide for Irr. Mainlines, Laterals, and Controller Wire Located under Concrete and Asphalt Paving at specified depths | Contractor shall Coordinate the Installation of Sleeving with the Installation of Concrete Flatwork and Asphalt Paving. All Sleeving is by the Landscape Contractor unless otherwise noted.  | 10/L3.1 |

### General Irrigation Notes:

- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to manufacturers requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
- Irrigation system guarantee for all materials and workmanship shall be one year from the time of store opening or final project acceptance (whichever is longer). Guarantee will include, but is not limited to winterizing, spring activation, repair, trench setting, backfilling depressions, and repairing freeze damage. Contractor must contact Landscape Architect to schedule pre and post guarantee inspection meetings. Failure to do so will mean the official guarantee period has not been activated or de-activated.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
- Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings. one (1) inch minimum size. Solvent weld all joints as per manufacturers specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.
- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 40 fittings. Solvent weld all joints as per manufacturers specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
- Install dielectric fittings whenever dissimilar metals are joined.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100(%) percent irrigation coverage of areas indicated.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
- Control valve wire shall be #14 single conductor; white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wire that runs the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
- Control valve size, type, quantity, and location to be approved by landscape architect. Install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes to be Carson Brooks or equal.
- Quick couplers shall be a Rain Bird 44RC with a one inch Lasco utilized swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-four (24) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
- Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, elbs, or changes in direction shall occur under hardscape.
- It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto walks, roadways, and/or buildings as much as possible. This shall include selecting the best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.
- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
- All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
- Upon completion and approval of irrigation system, irrigation contractor to provide the owner with two sets of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start-up procedures for the entire system prior to final payment.

## VALVE SCHEDULE

| VALVE STATION | VALVE SIZE | IRRIGATION TYPE        | FLOW (GPM) | PSI   | PSI @ POC | PRECIP. RATE |
|---------------|------------|------------------------|------------|-------|-----------|--------------|
| 1             | 1"         | SHRUBS - DRIP EMITTERS | 4.63       | 34.02 | 48.83     | 0.28 in/h    |
| 2             | 1"         | SHRUBS - DRIP EMITTERS | 2.70       | 31.98 | 46.97     | 0.32 in/h    |
| 3             | 1"         | SHRUBS - DRIP EMITTERS | 2.50       | 31.92 | 46.87     | 0.37 in/h    |

Scale: 1" = 20'



### General Irrigation Note

Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

### Irrigation Notes

- See Sheet L3.1 for Plant Layout and Sheet L3.1 for Planting Details.
- See Sheet L3.1 for Irrigation Details.

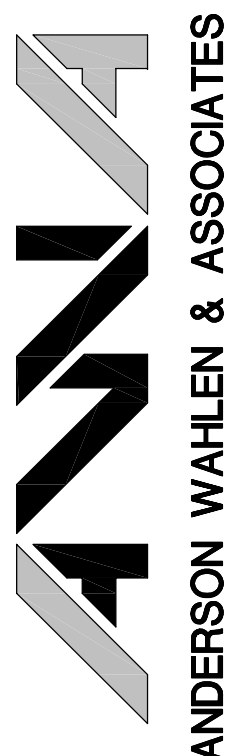


Know what's below.  
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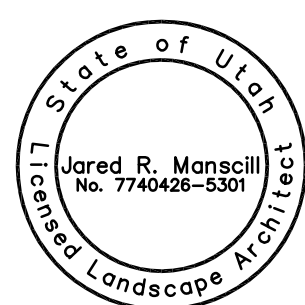
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## ***Landscape & Irrigation Details***

***Riverdale Landing Phase 2***

500 West Riverdale Road  
Riverdale, Utah



*22 Sep, 2020*

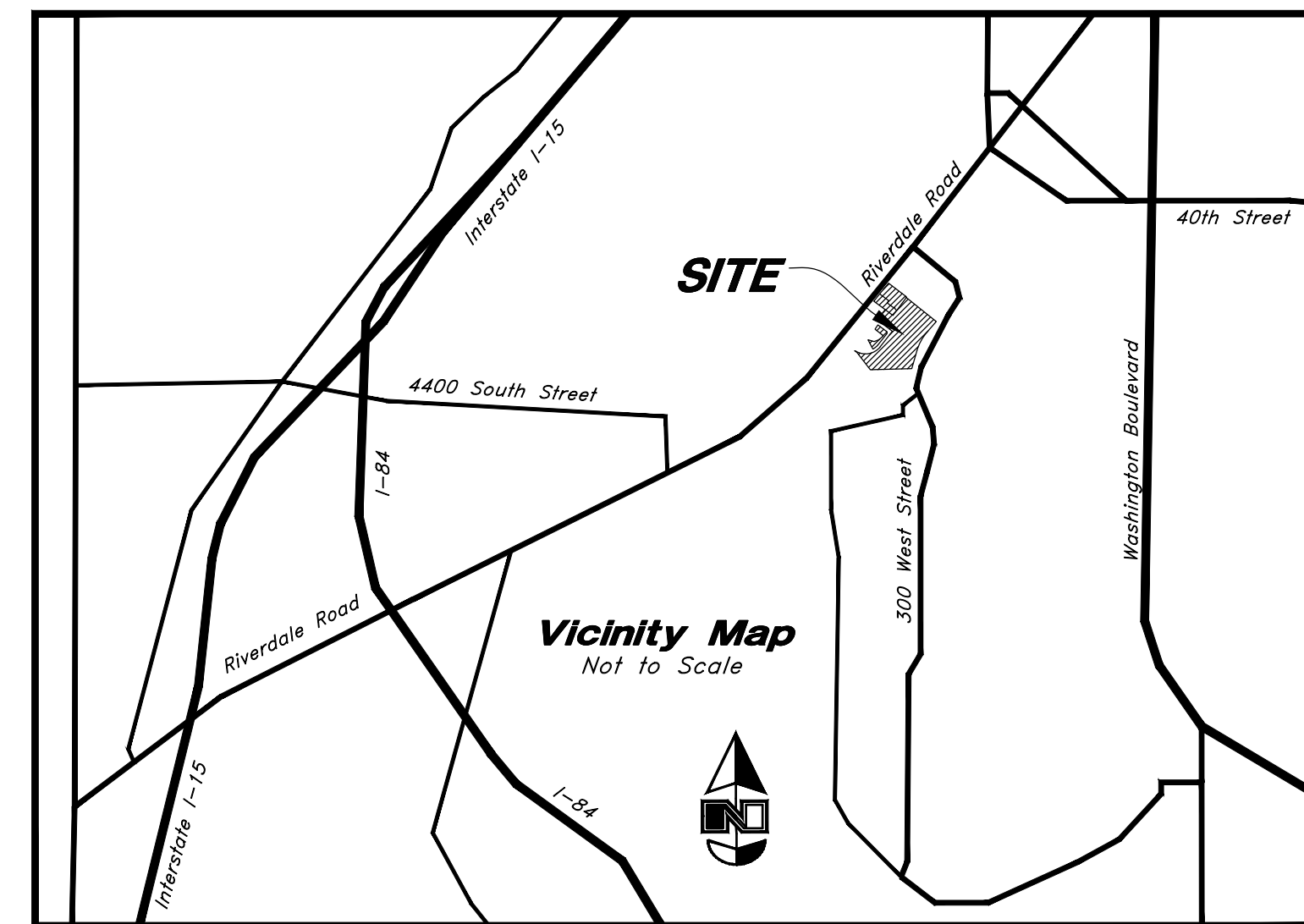
**SHEET NO.**

### ***L3.1***



Know what's below.  
Call before you dig.

***500 West Riverdale Road  
Riverdale, Utah***



## Legend

|                               |  |                              |  |
|-------------------------------|--|------------------------------|--|
| Proposed Curb & Gutter        |  | Existing Improvements        |  |
| Proposed Open Face C & G      |  | Existing Asphalt             |  |
| Proposed Asphalt              |  | Existing Concrete            |  |
| Proposed Concrete             |  | Existing Inlet Box           |  |
| Proposed Truncated Domes      |  | Existing Catch Basin         |  |
| Proposed Inlet Box            |  | Existing Manhole             |  |
| Proposed Catch Basin          |  | Existing Fire Hydrant        |  |
| Proposed Manhole              |  | Existing Water Valve         |  |
| Proposed Transformer          |  | Existing Overhead Power Line |  |
| Proposed Meter Box            |  | Existing Water               |  |
| Proposed Water Meter          |  | Existing Secondary Water     |  |
| Proposed Combo Box            |  | Existing Sewer               |  |
| Proposed Fire Hydrant         |  | Existing Storm Drain         |  |
| Proposed Water Valve          |  | Existing Gas                 |  |
| Proposed Water Line           |  | Existing Power               |  |
| Proposed Sanitary Sewer       |  | Existing Telephone           |  |
| Proposed Storm Drain          |  | Existing Fence               |  |
| Proposed Conduit Line         |  | Flowline                     |  |
| Proposed Power Line           |  | Centerline                   |  |
| Proposed Gas Line             |  | Existing Contour             |  |
| Proposed Fire Line            |  | Existing Spot                |  |
| Proposed Secondary Water Line |  | Existing Light Pole          |  |
| Proposed Roof Drain           |  | Existing Street Light        |  |
| Proposed Fence                |  | Existing Building            |  |
| Ridge Line                    |  | Existing Telephone Box       |  |
| Grade Break                   |  | Existing Power Meter         |  |
| Proposed Contour              |  | Existing Electrical Box      |  |
| Direction of Drainage         |  | Existing Electrical Cabinet  |  |
| Proposed Spot                 |  | Existing Gas Meter           |  |
| ADA Accessible Route          |  | Existing Water Meter         |  |
| Property Line                 |  | Existing Irrig. Control Box  |  |
| Sewer Line                    |  | Existing Bollard             |  |
| Proposed Light Pole           |  | Existing Hose Bib            |  |
| Proposed Street Light         |  | Working Point                |  |
| Proposed Building             |  | Existing Deciduous Tree      |  |
| Existing Power Pole           |  | Existing Coniferous Tree     |  |
| Existing Power Pole w/ Guy    |  | Detail Number                |  |
| Existing Utility Marker       |  | Sheet Number                 |  |
| Existing Post                 |  |                              |  |

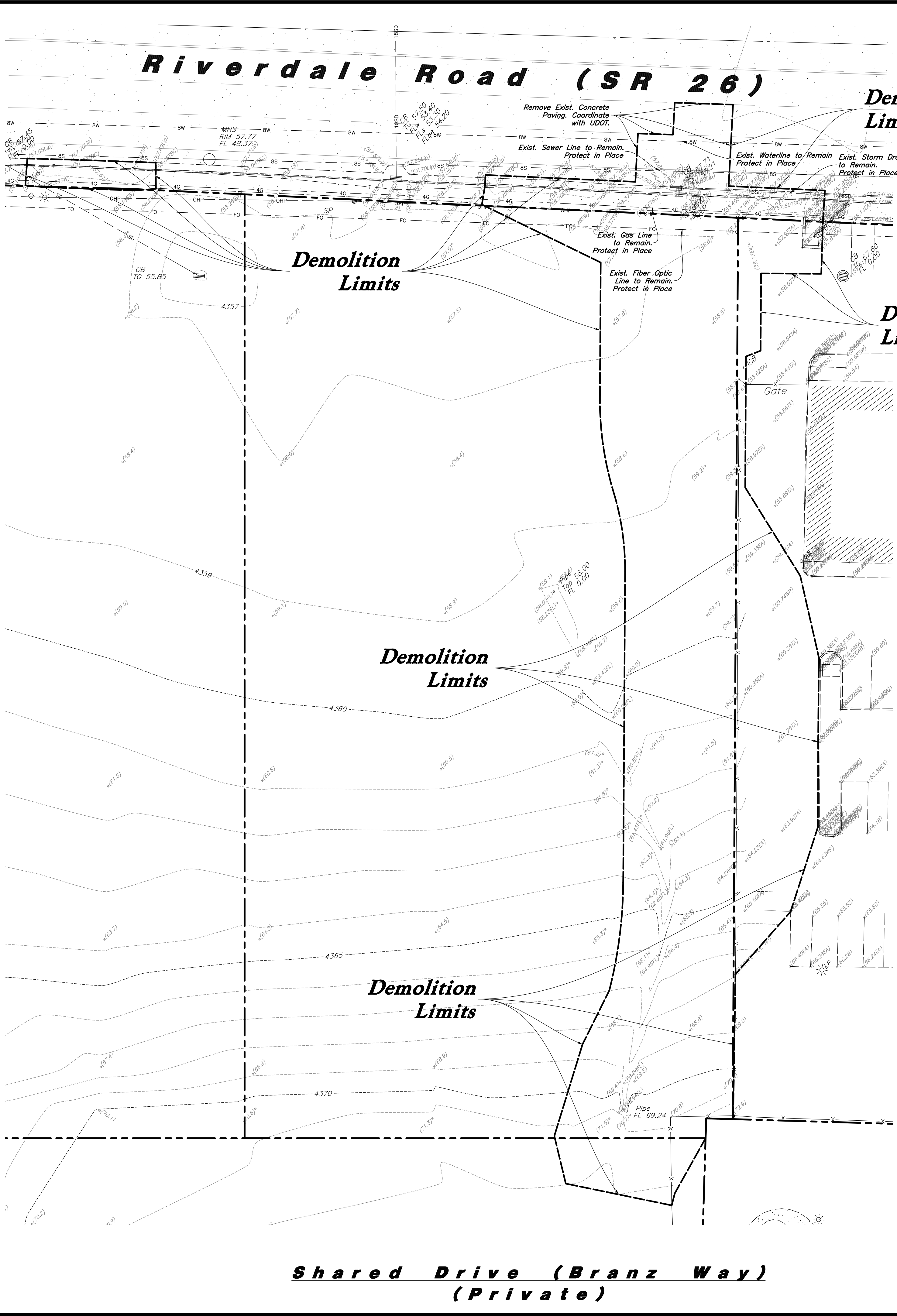
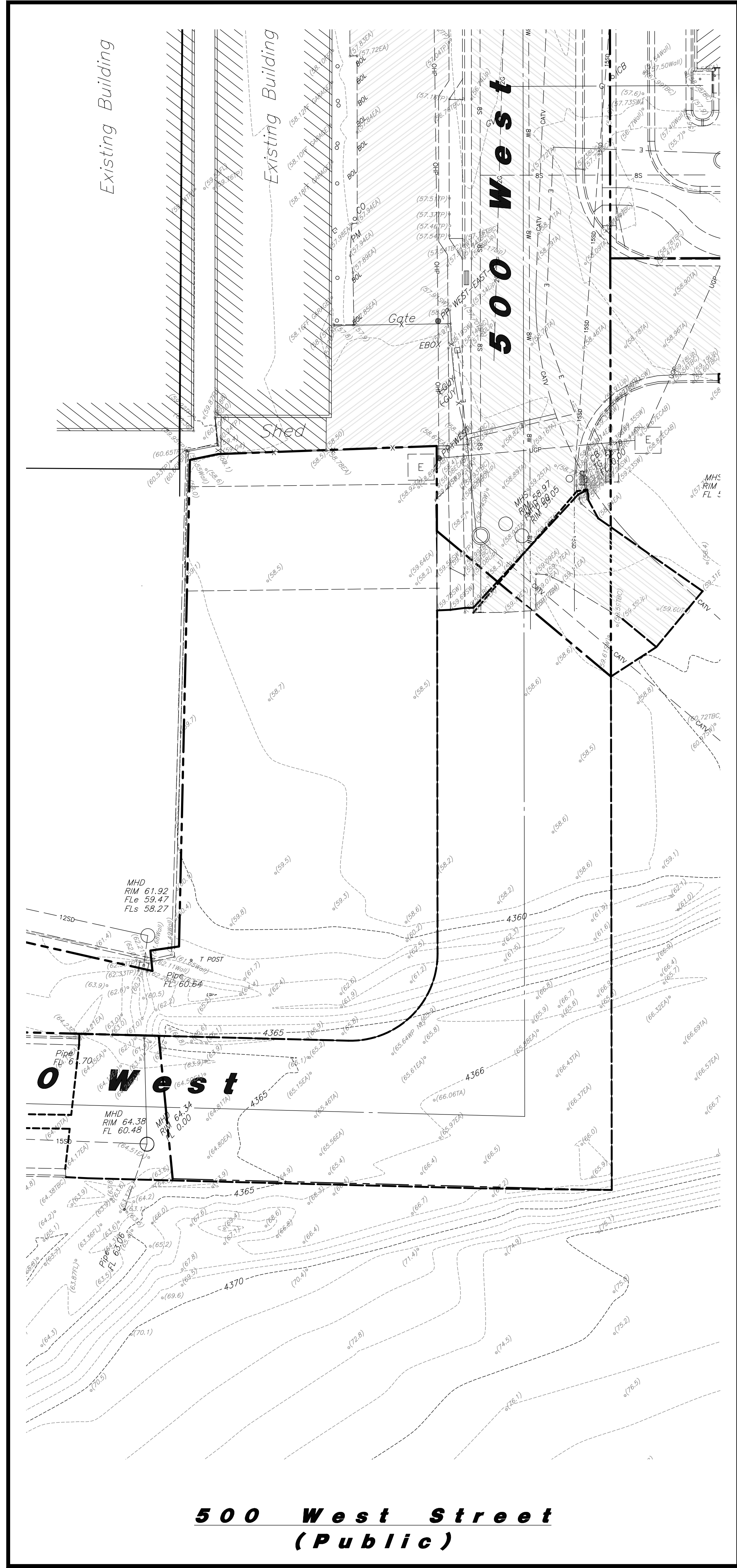
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|-------------|---|
| <i>CV</i>   | <i>Cover Sheet</i>                                |
| <i>C0.1</i> | <i>Demolition Plan</i>                            |
| <i>C1.1</i> | <i>500 West Improvement Plan</i>                  |
| <i>C1.2</i> | <i>Shared Drive (Brantz Way) Improvement Plan</i> |
| <i>C2.1</i> | <i>Shared Drive Grading/Utility Plan</i>          |
| <i>C2.2</i> | <i>Shared Drive Grading Details and Notes</i>     |

*This property lies entirely within Flood Zone X as designated on FEMA Flood Insurance Rate Map for Weber County, Utah and Incorporated Areas Community Map No. 49057C0436 F dated June 02, 2015. Flood Zone X is defined as "Areas determined to be outside the 0.2% annual floodplain." (No Shading)*

A line between monuments found for Northwest Corner and the North Quarter Corner of Section 8 was assigned the Weber County Survey bearing of South 89°26'02" East as the Basis of Bearings to retrace and honor the previous Surveys.

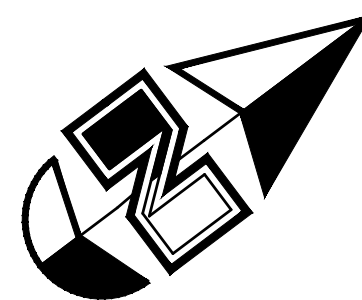
Brass Cap Monument for the North Quarter of Section 8, T5N, R1W, SLB&M  
Assigned Elevation = 4395.56 feet  
Observed 29 Dec, 2016





**Demolition Limits**

Scale: 1" = 20'



**Demolition Limits**

**General Demolition Notes:**

1. Demolition and site clearing for this contract are to include all areas shown within demolition limits or by note.
2. Refer to site improvement plans for more details on limits of removal.
3. All curbs, gutters, walks, slabs, walls, fences, flatwork, asphalt, waterlines and meters, gas lines, sewer lines, light poles, buried cables, storm drain piping and structures to be cleared from site unless otherwise shown.
4. All utilities, sewer, water, gas, telephone and electrical services to be disconnected and capped according to city, county and utility company requirements, unless otherwise shown.
5. Excavated areas to be backfilled with clean granular material compacted to 95% of maximum lab density as determined by ASTM D 1557-78. (Test results to be given to owner) Excavated areas should be backfilled per the geotechnical report prepared for the project.
6. Clear and grub trees, shrubs, and vegetation within construction limits, disposal to be off-site except where noted otherwise.
7. DO NOT interrupt any services or disrupt the operation of any businesses shown outside the demolition limits.
8. Remove debris, rubbish, and other materials resulting from the demolition and site clearing operations from the site and dispose of in a legal manner.
9. The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. Contractor shall contact authorities having jurisdiction for field locations. Contractor shall be responsible for protection of in place and relocated utilities during construction.
10. Stockpiles shall be graded to maintain slopes not greater than 3 horizontal to 1 vertical. Provide erosion control as needed to prevent sediment transport to adjacent drainage ways.
11. Contractor shall be responsible for disposal of all waste material. Disposal shall be at an approved site for such material. Burning onsite is not permitted.
12. Contractor shall verify with city any street removal, curb cuts, and any restoration required for utility line removal.
13. Install traffic warning devices as needed in accordance with local standards.
14. Contractor shall obtain all permits necessary for demolition from City, County, State or Federal Agencies as required.
15. If Contractor observes evidence of hazardous materials or contaminated soils he shall immediately contact the project engineer to provide notification and obtain direction before proceeding with disturbance of said materials or contaminated soil.
16. Limits of demolition/disturbed areas shown on the plans may not be an exact depiction. It is the contractor's responsibility to determine the means and methods of how the work will be completed. The contractor shall determine the area of construction impact. The contractor is responsible to restore all impacted areas and all restoration shall be part of the contract bid.

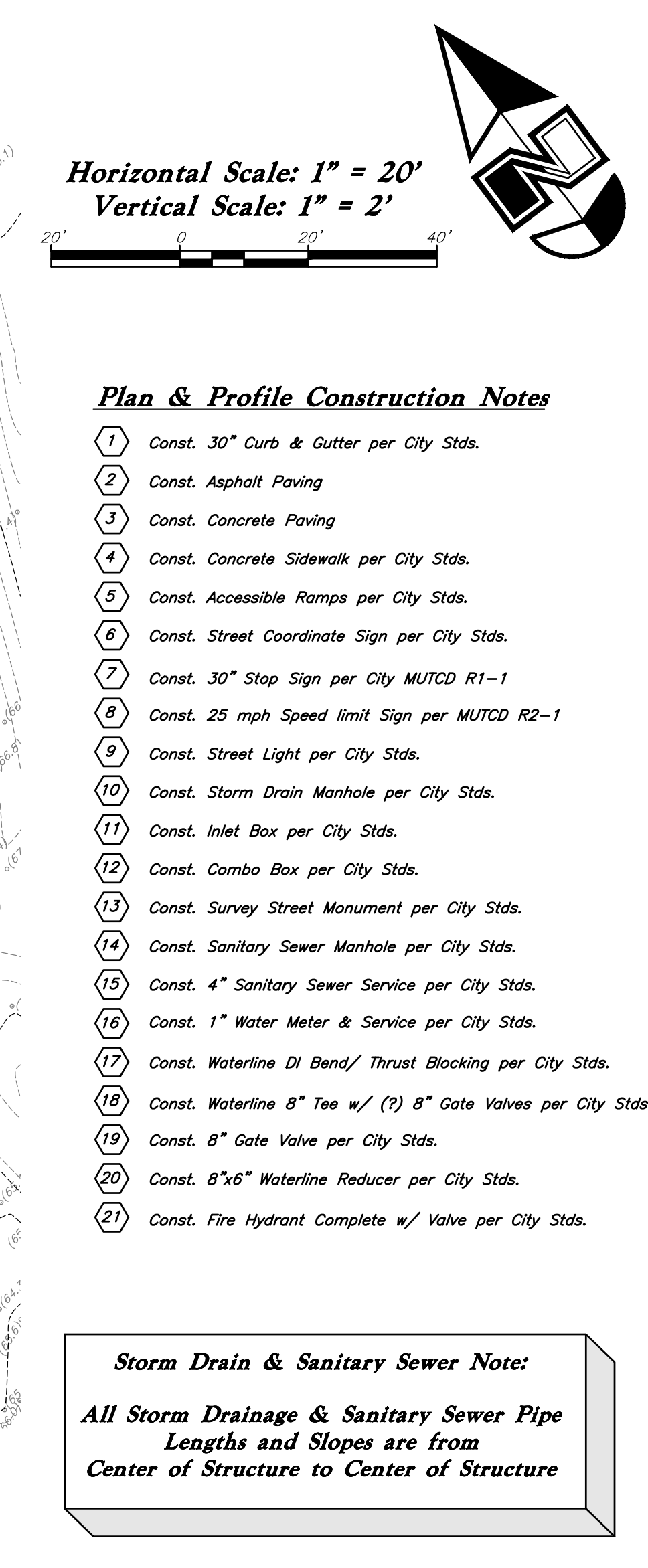
**CAUTION :**

The location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.



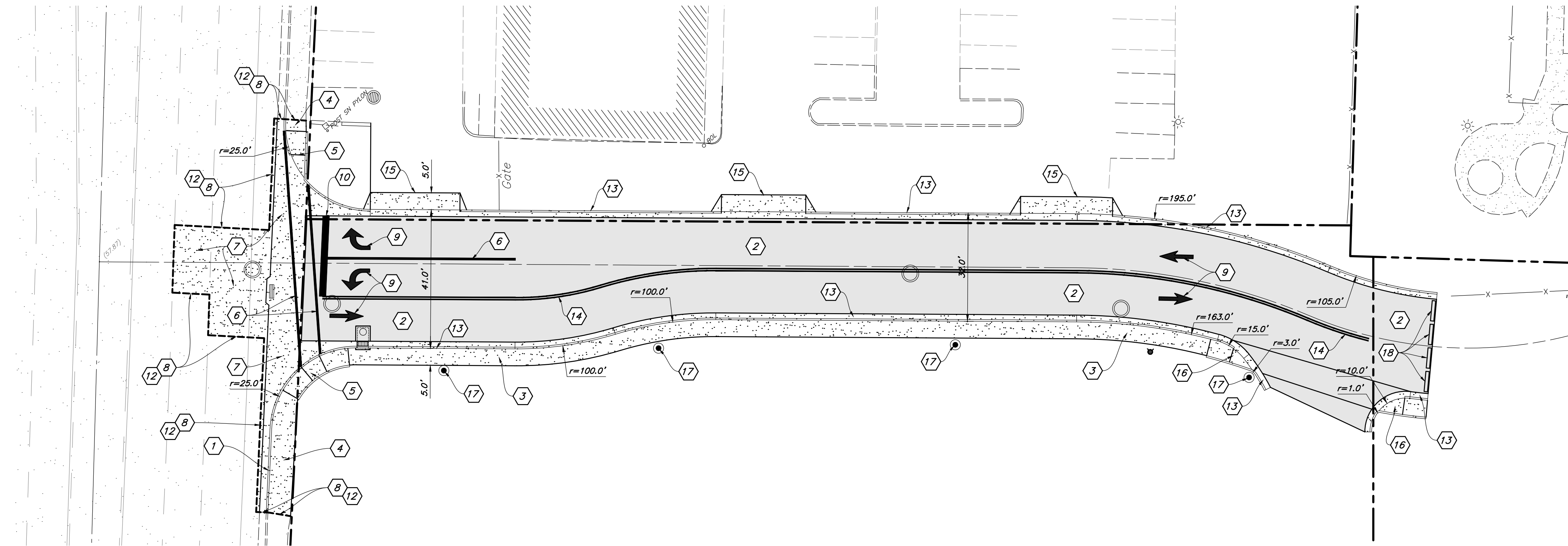
|  |                 |                      |                   |
|--|-----------------|----------------------|-------------------|
| DESIGNED BY: JR  | DRAFTED BY: DJW | CLIENT NAME: DRH Co. | 16-087 DM-offsite |
| <b>ANDERSON WAHLEN &amp; ASSOCIATES</b><br>2010 North Redwood Road, Salt Lake City, Utah 84116<br>801.521.8529 - AWengineering.net |                 |                      |                   |
| <b>Demolition Plan</b><br><b>Riverdale Landing Phase 2</b><br>500 West Riverdale Road<br>Riverdale, Utah                           |                 |                      |                   |
| <b>22 Sep, 2020</b><br>SHEET NO. <b>C0.1</b>   |                 |                      |                   |







W:\16-087 Riverdale Property\days\16-087 PP-offsta.dwg, 9/25/2020 14:55:53 PM, 1:1, DJW



**Shared Drive (Branz Way)**

Scale: 1" = 20'

**Site Construction Notes**

- 1 Const. 30" Type B1 Curb & Gutter per UDOT Std. Dwg. No. GW-2A
- 2 Const. Asphalt Paving
- 3 Const. Conc. Sidewalk
- 4 Const. Conc. Sidewalk per UDOT Std. Dwg. No. PA-5
- 5 Const. Accessible Ramp per UDOT Std. Dwg. Nos. PA-1 and PA-4
- 6 Const. 8" Solid White Paint Stripe
- 7 Const. Conc. Paving per UDOT Standards See UDOT Construction Note for Pavement Section Details.
- 8 Sawcut; Provide Smooth Clean Edge. See General Site Note 7.
- 9 Const. Directional Arrows per MUTCD
- 10 Const. 24" White Stop Bar
- 11 Const. Stop Sign per MUTCD R1-1
- 12 Conn. & Match Existing Improvements
- 13 Const. 24" Curb and Gutter
- 14 Const. Double 4" Solid Yellow Stripe
- 15 Const. Driveway per Riverdale City Std. Dwg. S1-3
- 16 Const. Accessible Ramp per ICC/ANSI A117.1 (Latest Edition) (See Accessible Details and Notes)
- 17 Const. Light Pole (See Elec. Plans)
- 18 Const. Jersey Barrier

**General Site Notes:**

1. Stalls designated as Accessible will require a painted Accessible symbol and sign. (See Details)
2. Fire lane markings and signs to be installed as directed by the Fire Marshal.
3. Aisle markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
4. All dimensions are to back of curb unless otherwise noted.
5. Const. curb transition at all points where curb abuts sidewalk.
6. Contractor shall place asphalt paving in the direction of vehicle travel where possible.
7. Sawcut lines made in state highway are to be cut along existing joints or between existing concrete panels where possible. Any portion of an existing concrete panel that is cut, disturbed or undermined, will require the full concrete panel to be replaced per UDOT pavement section standards. See UDOT Construction Note and Pavement Section Detail.

**UDOT Construction Note:**

For concrete roadway construction within the UDOT ROW, Contractor to install 11 inches of Portland Cement Concrete Pavement per UDOT Standard Specification 02752 and 02753; over 3 inches of UDOT approved hot mix asphalt (HMA), PG-Grade 64-34 asphalt binder, 1/2 inch nominal max, 7-75-115 gradation per UDOT Standard Specification 02741; over 6 inches untreated base course UTBC per UDOT Specification 02721. Contractor to provide documentation of compaction from a UDOT-qualified laboratory.

**General Note:**

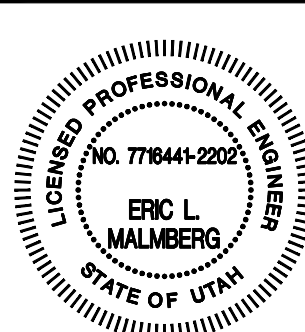
- All improvements shall meet or exceed Riverdale City Standards.
- All deteriorated, damaged or missing surface improvements surrounding the perimeter of the development will need to be replaced or installed, i.e., curb and gutter, sidewalk, landscaping park strip improvements, street lights, fencing, etc.



Shared Drive (Branz Way) Improvement Plan

Riverdale Landing Phase 2

500 West Riverdale Road  
Riverdale, Utah



22 Sep, 2020

SHEET NO.

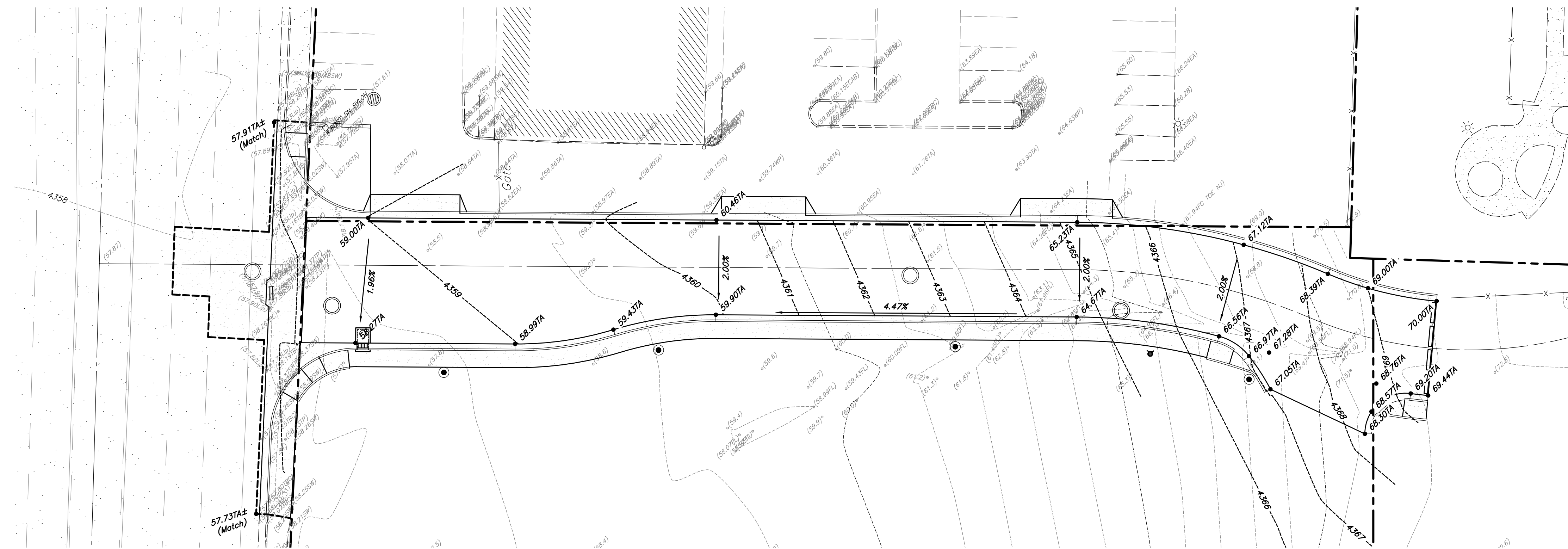
**C1.2**



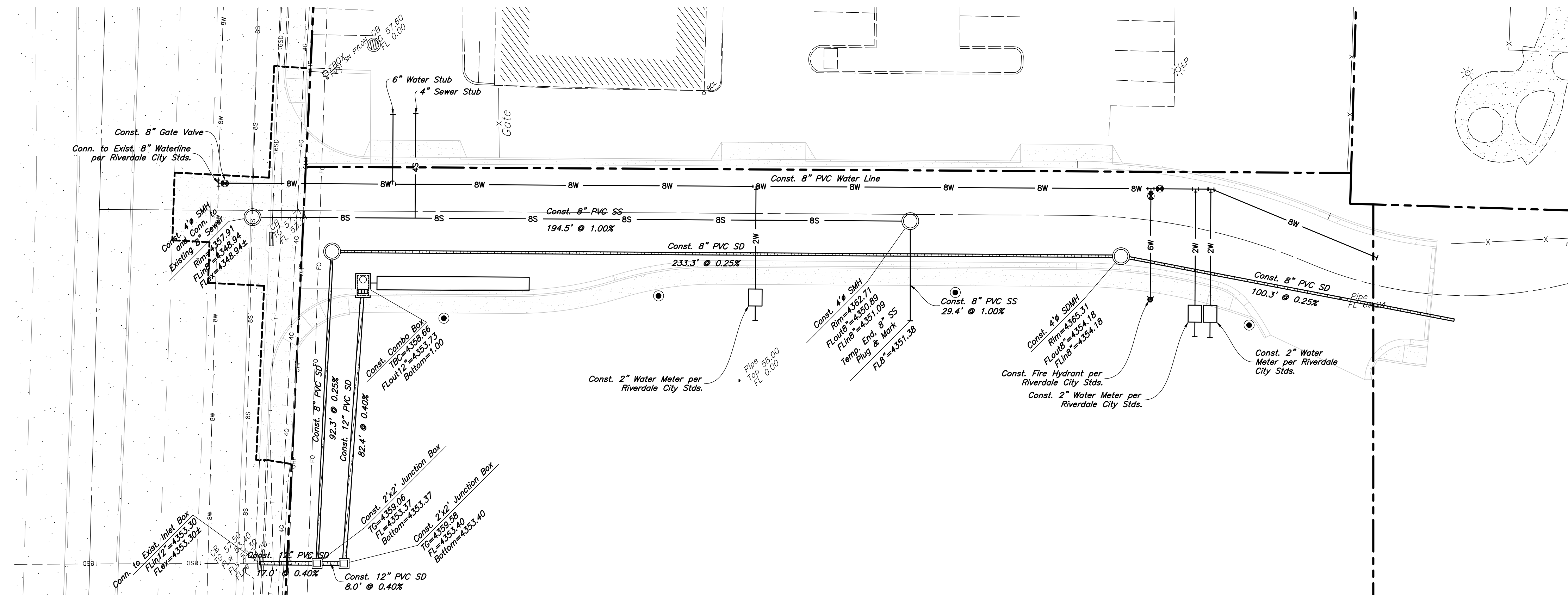
Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 PP-offsite

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| X   | XXX  | XXXX        |



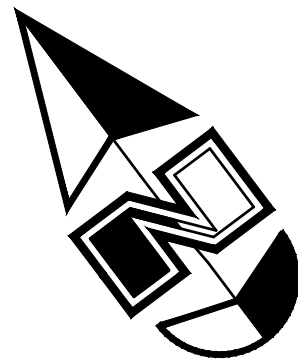


**Shared Drive (Branz Way)**  
**Grading Plan**



**Shared Drive (Branz Way)**  
**Utility Plan**

Scale: 1" = 20'



**Storm Drain & Sanitary Sewer Note:**  
All Storm Drainage & Sanitary Sewer Pipe  
Lengths and Slopes are from  
Center of Structure to Center of Structure



| REV | DATE | DESCRIPTION |
|-----|------|-------------|
| X   | XXX  | XXXX        |

Designed by: JR  
Drafted by: DJW  
Client Name:  
DRH Co.  
16-087 GRUT-offsite

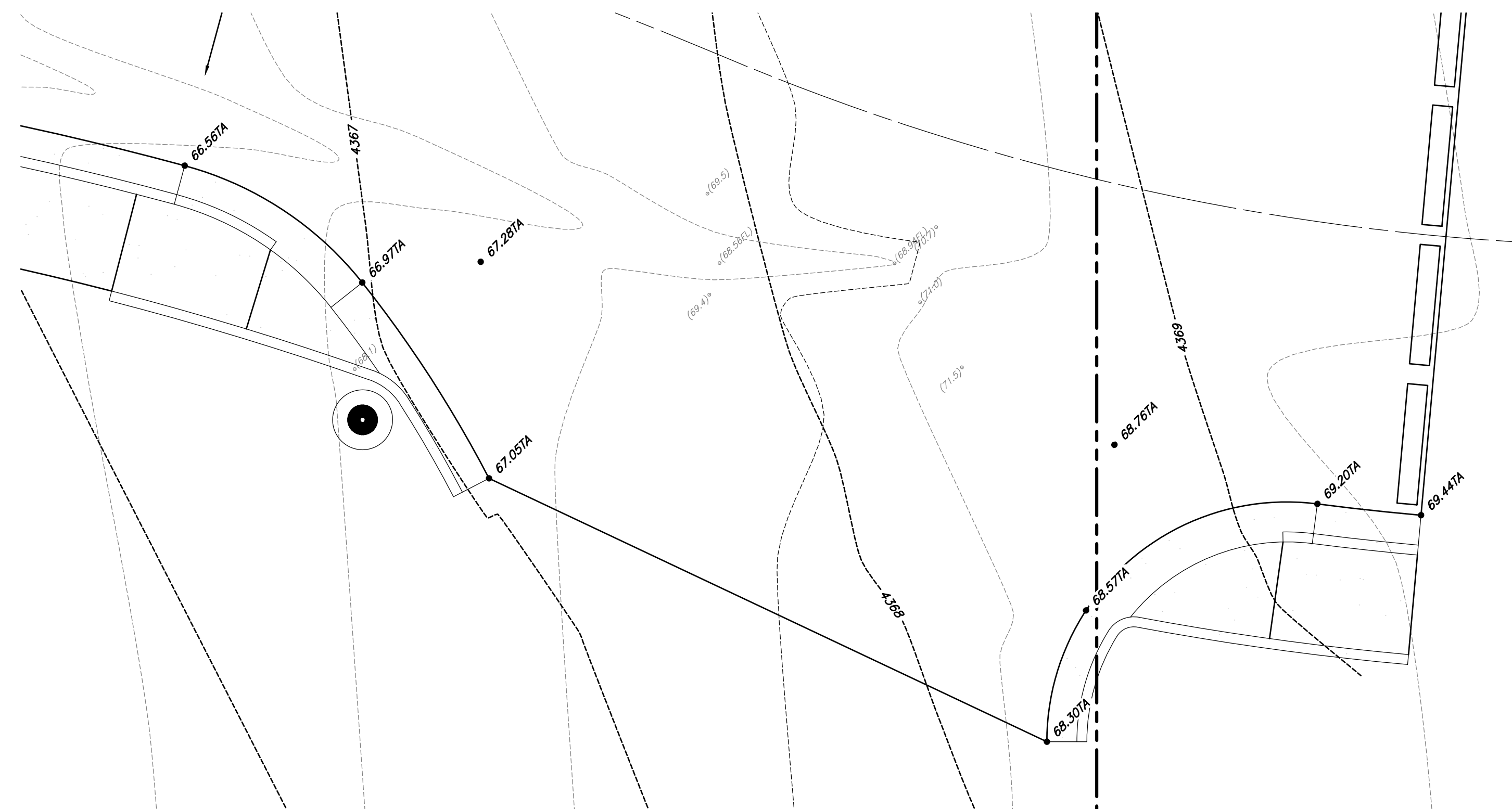
**ANDERSON WAHLEN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801.521.8529 - [AWEngineering.net](http://AWEngineering.net)

**Shared Drive Grading/Utility Plan**  
**Riverdale Landing Phase 2**  
500 West Riverdale Road  
Riverdale, Utah

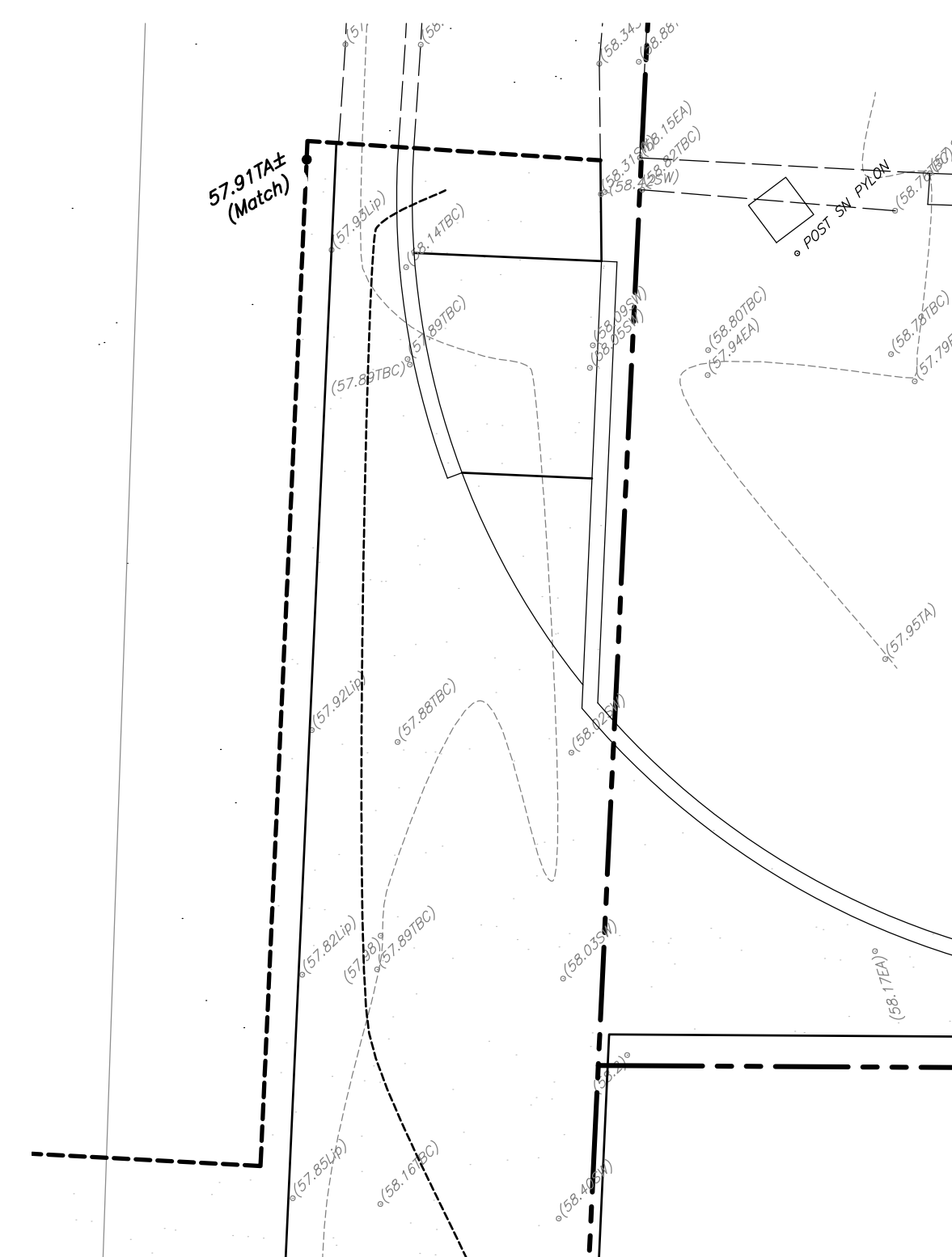


22 Sep, 2020  
SHEET NO.  
**C2.1**

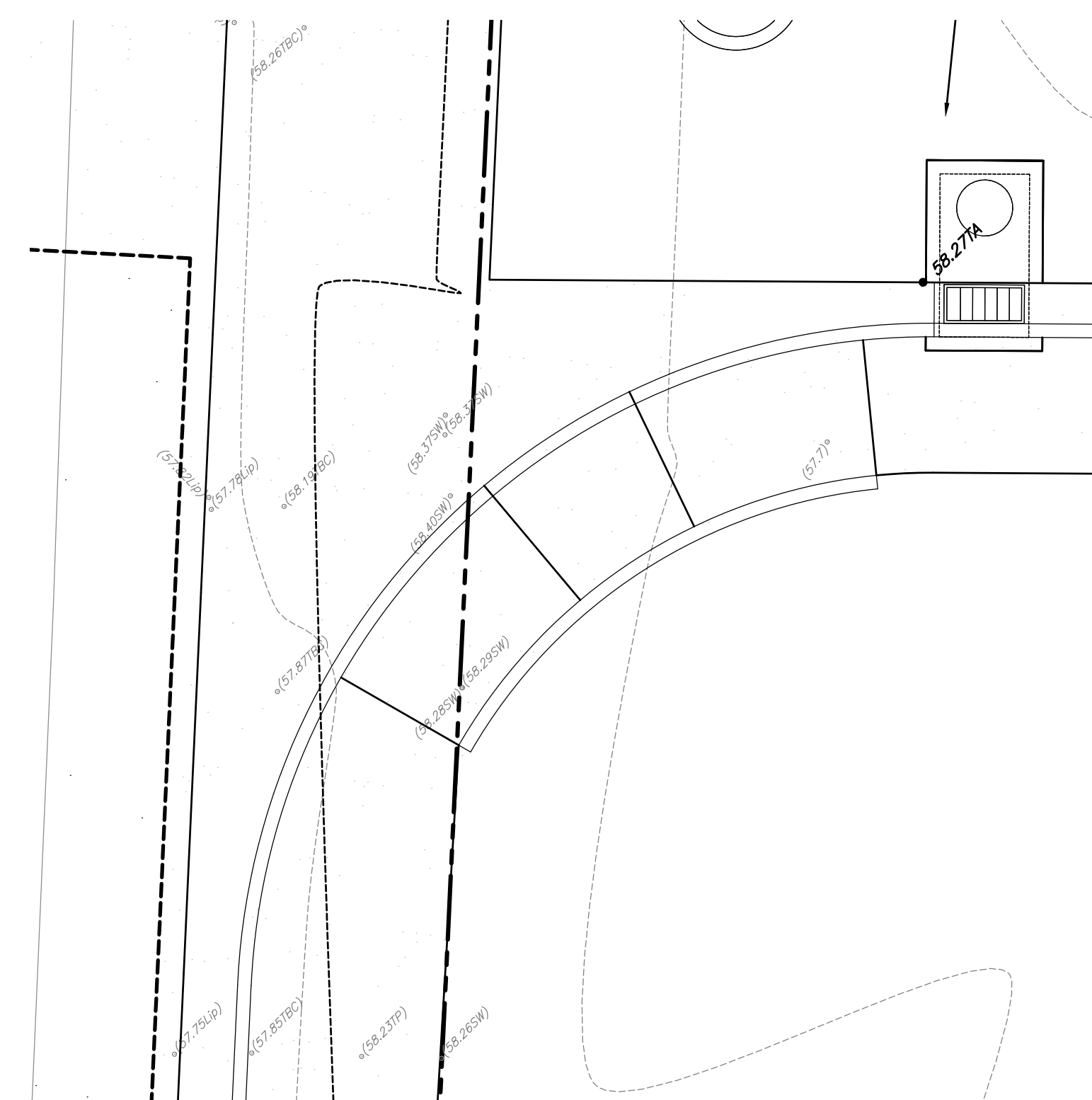




**2** *Private  
Curb Ramp Detail*  
Scale: 1' = 5'



**Public**  
**Curb Ramp Detail**  
Scale: 1" = 5'



**Public**  
**Curb Ramp Detail**  
Scale: 1' = 5'

*Prior to any construction of any Accessible Improvements, a Pre-Construction meeting shall be held between Contractor and Engineer. Contractor is Responsible to contact Engineer and Schedule Pre-Construction Meeting*

### Public Curb Ramp Construction Notes

1. *All public curb ramps shall be constructed in accordance with governing municipalities standards and specifications.*
2. *It is the contractors responsibility to obtain governing municipalities standards and specifications.*
3. *The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current state of Accessible and Usable Buildings and Facilities (ICC/ANSI A117.1—Latest Edition) and/or FHAA.*

### Private Curb Ramp Construction Notes

1. Slopes provided are per Anderson Wahlén & Associates design standards. Slopes shown are below ADA and ICC maximum requirements, unless noted otherwise in project plans.
2. The Client, Contractor and Subcontractor should immediately notify the Consultant of any conditions of the project that they believe do not comply with the current code of Accessibility for Buildings and Facilities (ICC/ANSI A117.1—Latest Edition) and/or FHAA.
3. Counter slopes of adjoining gutters & paving adjacent to the curb ramp shall not be steeper than 4.50%.
4. Accessible ramp flares shall be poured separately from ramp to ensure proper slopes.
5. Contractor to transition curb or sidewalk height from 6" to 0" of reveal. Curb or sidewalk height to match ramp throughout transition.

[illegible]

Designed by: JR

*Drafted by: DJW*

Client Name: DRH Co.

16-087 GRUT-offsite

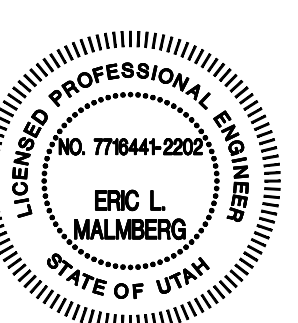


**ANDERSON WAHLEN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
801 521-8529 - [AWAengineering.net](http://AWAengineering.net)

### Shared Drive Grading Details and Notes

**Riverdale Landing Phase 2**  
500 West Riverdale Road

*Riverdale, Utah*

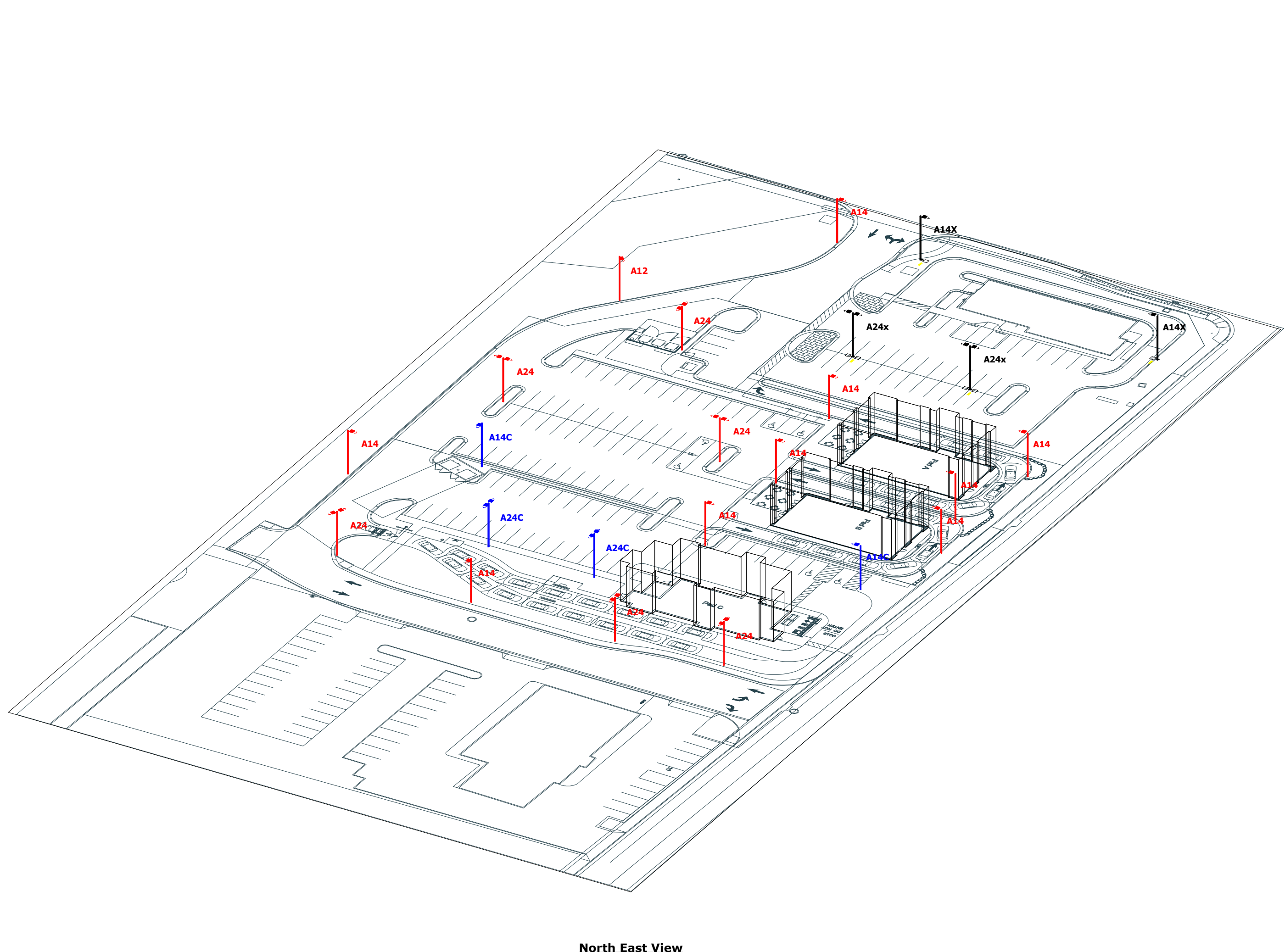


22 Sep, 2020

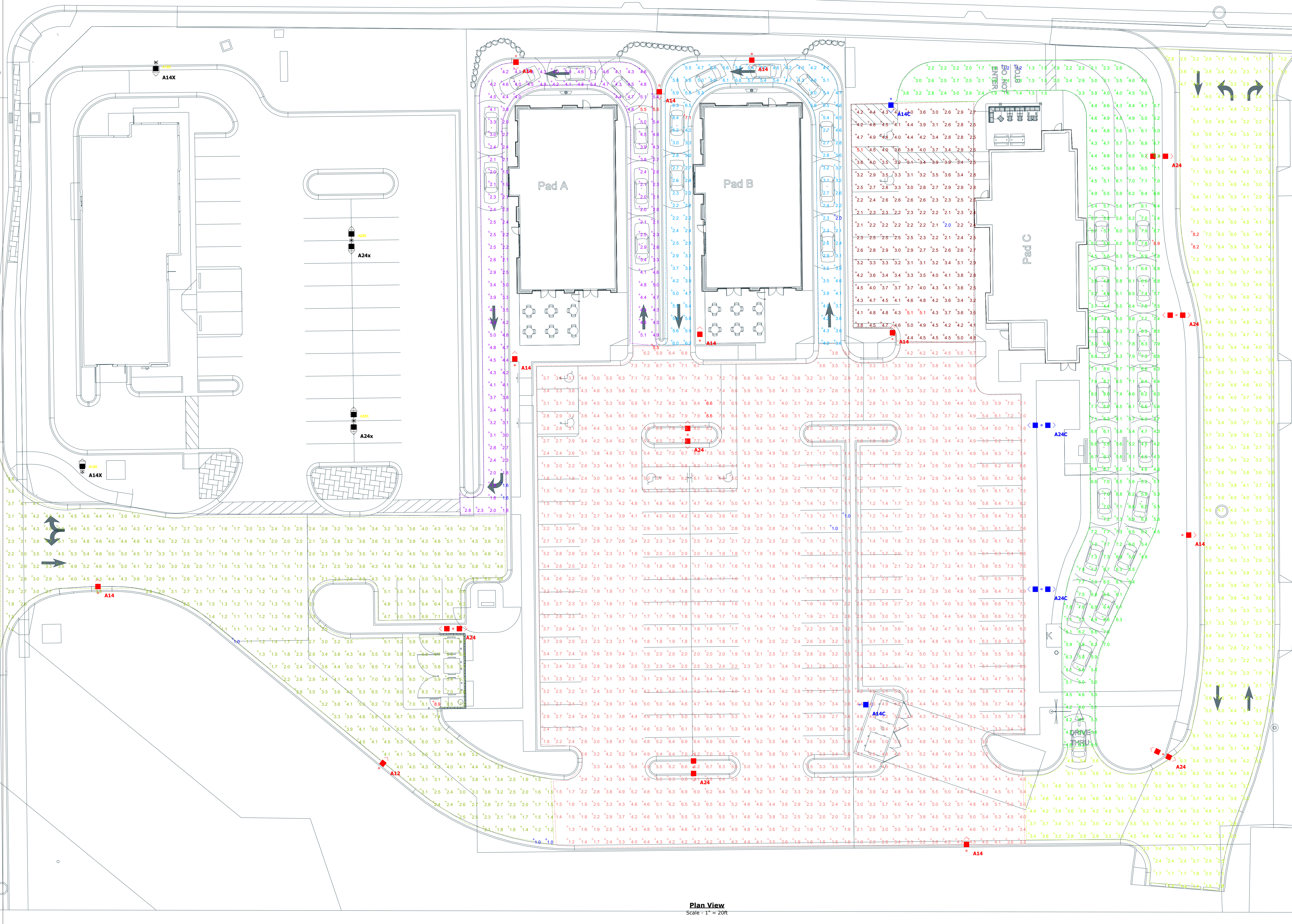
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## C2.2





North East View



Plan View

Scale: 1" = 20'

## OSQ Series

OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology – Large

### Product Description

The OSQ™ Area/Flood luminaire blends extreme optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral, weatherlight LED driver compartment. Versatile mounting configurations offer simple installation. Its slim, low-profile design minimizes wind load requirements and blends seamlessly into the site providing even, quality illumination. The T input power designator is a suitable upgrade for HID applications up to 750 Watts, and the U input power designator is a suitable upgrade for HID applications up to 1000 Watts.

**Applications:** Parking lots, walkways, campuses, auto dealerships, office complexes, tunnels, underground and internal roadways.

### Performance Summary

Utilizes Cree TrueWhite® Technology on 5000K Luminaire

NanoDip™ Precision Delivery Grid™ optics

Assembled in the U.S.A. of U.S. and imported parts

**Initial Delivered Lumens:** Up to 29,400

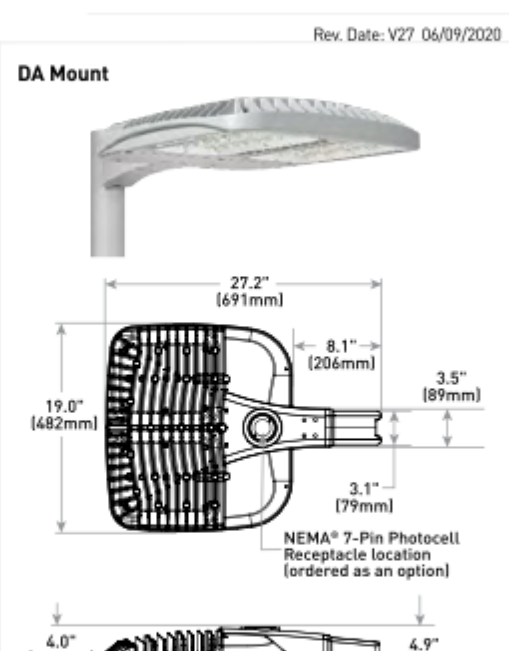
**Efficacy:** Up to 146 LPW

**CRB:** Minimum 70 CRI (3000K, 4000K & 5700K), 90 CRI (5000K)

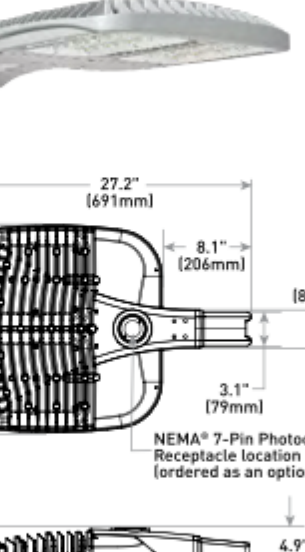
**CCT:** 3000K, 4000K, 5000K, 5700K

**Limited Warranty:** 10 years on luminaire; 10 years on Colorfast DeltaE<sub>uv</sub>™ finish; up to 5 years for Synspec™ accessories; 3 year on luminaire accessories.

\* See [www.creeled.com/warranty](#) for warranty terms. For Synspec accessories, consult Synspec spec sheets for details on warranty terms.



DA Mount



NEMA 7-Pin Photocell

Recessed into luminaire (ordered as an option)

Weight: 33.4 lbs (15.2 kg)

### Ordering Information

Each assembled luminaire is composed of two components that must be ordered separately:

Example: Mount: OSQ-B-A12J - Luminaire: OSQ-A-NM-24M-T-20W-U-57

| Mount Luminaire must be ordered separately*                            |  |
|--|--|
| OSQ  |  |
| OSQ-B-A12J Adjustable Arm  |  |
| OSQ-B-A12J Fixed Arm   |  |
| OSQ-U-T2P Transportation Mount (stainless steel, do not specify color) |  |
| OSQ-W-T2P Transport Mount  |  |

\* Refer to CRI and pole configuration suitability data beginning on page 9

| Luminaire (Mount must be ordered separately) |         |          |  |   |   |   |               |         |  |
|--|---------|----------|--|---|---|---|---------------|---------|--|
| OSQ  | A       | NM       |  |   |   |   |               |         |  |
| Product                                      | Version | Mounting | Optic  | Input Power Designator  | CCT   | Voltage   | Color Options | Options |  |
| OSQ  | A       | NM       | Asymmetric<br>NEMA 7-Pin Photocell<br>Type III<br>Type IV<br>Type V<br>Type VI<br>Type VII<br>Type VIII<br>Type IX<br>Type X<br>Type XI<br>Type XII<br>Type XIII<br>Type XIV<br>Type XV<br>Type XVI<br>Type XVII<br>Type XVIII<br>Type XIX<br>Type XX<br>Type XXI<br>Type XXII<br>Type XXIII<br>Type XXIV<br>Type XXV<br>Type XXVI<br>Type XXVII<br>Type XXVIII<br>Type XXIX<br>Type XXX | 20W<br>30W<br>40W<br>50W<br>60W<br>70W<br>80W<br>90W<br>100W<br>110W<br>120W<br>130W<br>140W<br>150W<br>160W<br>170W<br>180W<br>190W<br>200W<br>210W<br>220W<br>230W<br>240W<br>250W<br>260W<br>270W<br>280W<br>290W<br>300W<br>310W<br>320W<br>330W<br>340W<br>350W<br>360W<br>370W<br>380W<br>390W<br>400W<br>410W<br>420W<br>430W<br>440W<br>450W<br>460W<br>470W<br>480W<br>490W<br>500W<br>510W<br>520W<br>530W<br>540W<br>550W<br>560W<br>570W<br>580W<br>590W<br>600W<br>610W<br>620W<br>630W<br>640W<br>650W<br>660W<br>670W<br>680W<br>690W<br>700W<br>710W<br>720W<br>730W<br>740W<br>750W<br>760W<br>770W<br>780W<br>790W<br>800W<br>810W<br>820W<br>830W<br>840W<br>850W<br>860W<br>870W<br>880W<br>890W<br>900W<br>910W<br>920W<br>930W<br>940W<br>950W<br>960W<br>970W<br>980W<br>990W<br>1000W | UL<br>ULX<br>ULY<br>ULZ<br>UL1<br>UL2<br>UL3<br>UL4<br>UL5<br>UL6<br>UL7<br>UL8<br>UL9<br>UL10<br>UL11<br>UL12<br>UL13<br>UL14<br>UL15<br>UL16<br>UL17<br>UL18<br>UL19<br>UL20<br>UL21<br>UL22<br>UL23<br>UL24<br>UL25<br>UL26<br>UL27<br>UL28<br>UL29<br>UL30<br>UL31<br>UL32<br>UL33<br>UL34<br>UL35<br>UL36<br>UL37<br>UL38<br>UL39<br>UL40<br>UL41<br>UL42<br>UL43<br>UL44<br>UL45<br>UL46<br>UL47<br>UL48<br>UL49<br>UL50<br>UL51<br>UL52<br>UL53<br>UL54<br>UL55<br>UL56<br>UL57<br>UL58<br>UL59<br>UL60<br>UL61<br>UL62<br>UL63<br>UL64<br>UL65<br>UL66<br>UL67<br>UL68<br>UL69<br>UL70<br>UL71<br>UL72<br>UL73<br>UL74<br>UL75<br>UL76<br>UL77<br>UL78<br>UL79<br>UL80<br>UL81<br>UL82<br>UL83<br>UL84<br>UL85<br>UL86<br>UL87<br>UL88<br>UL89<br>UL90<br>UL91<br>UL92<br>UL93<br>UL94<br>UL95<br>UL96<br>UL97<br>UL98<br>UL99<br>UL100 | PHL Programmable Multi-Level, up to 40° Mounting Height<br>PHL2 Programmable Multi-Level, up to 40° Mounting Height<br>PHL3 Programmable Multi-Level, up to 40° Mounting Height<br>PHL4 Programmable Multi-Level, up to 40° Mounting Height<br>PHL5 Programmable Multi-Level, up to 40° Mounting Height<br>PHL6 Programmable Multi-Level, up to 40° Mounting Height<br>PHL7 Programmable Multi-Level, up to 40° Mounting Height<br>PHL8 Programmable Multi-Level, up to 40° Mounting Height<br>PHL9 Programmable Multi-Level, up to 40° Mounting Height<br>PHL10 Programmable Multi-Level, up to 40° Mounting Height<br>PHL11 Programmable Multi-Level, up to 40° Mounting Height<br>PHL12 Programmable Multi-Level, up to 40° Mounting Height<br>PHL13 Programmable Multi-Level, up to 40° Mounting Height<br>PHL14 Programmable Multi-Level, up to 40° Mounting Height<br>PHL15 Programmable Multi-Level, up to 40° Mounting Height<br>PHL16 Programmable Multi-Level, up to 40° Mounting Height<br>PHL17 Programmable Multi-Level, up to 40° Mounting Height<br>PHL18 Programmable Multi-Level, up to 40° Mounting Height<br>PHL19 Programmable Multi-Level, up to 40° Mounting Height<br>PHL20 Programmable Multi-Level, up to 40° Mounting Height<br>PHL21 Programmable Multi-Level, up to 40° Mounting Height<br>PHL22 Programmable Multi-Level, up to 40° Mounting Height<br>PHL23 Programmable Multi-Level, up to 40° Mounting Height<br>PHL24 Programmable Multi-Level, up to 40° Mounting Height<br>PHL25 Programmable Multi-Level, up to 40° Mounting Height<br>PHL26 Programmable Multi-Level, up to 40° Mounting Height<br>PHL27 Programmable Multi-Level, up to 40° Mounting Height<br>PHL28 Programmable Multi-Level, up to 40° Mounting Height<br>PHL29 Programmable Multi-Level, up to 40° Mounting Height<br>PHL30 Programmable Multi-Level, up to 40° Mounting Height<br>PHL31 Programmable Multi-Level, up to 40° Mounting Height<br>PHL32 Programmable Multi-Level, up to 40° Mounting Height<br>PHL33 Programmable Multi-Level, up to 40° Mounting Height<br>PHL34 Programmable Multi-Level, up to 40° Mounting Height<br>PHL35 Programmable Multi-Level, up to 40° Mounting Height<br>PHL36 Programmable Multi-Level, up to 40° 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| OSQ  | A       | NM       | Symmetric<br>NEMA 7-Pin Photocell<br>Type III<br>Type IV<br>Type V<br>Type VI<br>Type VII<br>Type VIII<br>Type IX<br>Type X<br>Type XI<br>Type XII<br>Type XIII<br>Type XIV<br>Type XV<br>Type XVI<br>Type XVII<br>Type XVIII<br>Type XIX<br>Type XX<br>Type XXI<br>Type XXII<br>Type XXIII<br>Type XXIV<br>Type XXV<br>Type XXVI<br>Type XXVII<br>Type XXVIII<br>Type XXIX<br>Type XXX  | 20W<br>30W<br>40W<br>50W<br>60W<br>70W<br>80W<br>90W<br>100W<br>110W<br>120W<br>130W<br>140W<br>150W<br>160W<br>170W<br>180W<br>190W<br>200W<br>210W<br>220W<br>230W<br>240W<br>250W<br>260W<br>270W<br>280W<br>290W<br>300W<br>310W<br>320W<br>330W<br>340W<br>350W<br>360W<br>370W<br>380W<br>390W<br>400W<br>410W<br>420W<br>430W<br>440W<br>450W<br>460W<br>470W<br>480W<br>490W<br>500W<br>510W<br>520W<br>530W<br>540W<br>550W<br>560W<br>570W<br>580W<br>590W<br>600W<br>610W<br>620W<br>630W<br>640W<br>650W<br>660W<br>670W<br>680W<br>690W<br>700W<br>710W<br>720W<br>730W<br>740W<br>750W<br>760W<br>770W<br>780W<br>790W<br>800W<br>810W<br>820W<br>830W<br>840W<br>850W<br>860W<br>870W<br>880W<br>890W<br>900W<br>910W<br>920W<br>930W<br>940W<br>950W<br>960W<br>970W<br>980W<br>990W<br>1000W | UL<br>ULX<br>ULY<br>ULZ<br>UL1<br>UL2<br>UL3<br>UL4<br>UL5<br>UL6<br>UL7<br>UL8<br>UL9<br>UL10<br>UL11<br>UL12<br>UL13<br>UL14<br>UL15<br>UL16<br>UL17<br>UL18<br>UL19<br>UL20<br>UL21<br>UL22<br>UL23<br>UL24<br>UL25<br>UL26<br>UL27<br>UL28<br>UL29<br>UL30<br>UL31<br>UL32<br>UL33<br>UL34<br>UL35<br>UL36<br>UL37<br>UL38<br>UL39<br>UL40<br>UL41<br>UL42<br>UL43<br>UL44<br>UL45<br>UL46<br>UL47<br>UL48<br>UL49<br>UL50<br>UL51<br>UL52<br>UL53<br>UL54<br>UL55<br>UL56<br>UL57<br>UL58<br>UL59<br>UL60<br>UL61<br>UL62<br>UL63<br>UL64<br>UL65<br>UL66<br>UL67<br>UL68<br>UL69<br>UL70<br>UL71<br>UL72<br>UL73<br>UL74<br>UL75<br>UL76<br>UL77<br>UL78<br>UL79<br>UL80<br>UL81<br>UL82<br>UL83<br>UL84<br>UL85<br>UL86<br>UL87<br>UL88<br>UL89<br>UL90<br>UL91<br>UL92<br>UL93<br>UL94<br>UL95<br>UL96<br>UL97<br>UL98<br>UL99<br>UL100 | PHL Programmable Multi-Level, up to 40° Mounting Height<br>PHL2 Programmable Multi-Level, up to 40° Mounting Height<br>PHL3 Programmable Multi-Level, up to 40° Mounting Height<br>PHL4 Programmable Multi-Level, up to 40° Mounting Height<br>PHL5 Programmable Multi-Level, up to 40° Mounting Height<br>PHL6 Programmable Multi-Level, up to 40° Mounting Height<br>PHL7 Programmable Multi-Level, up to 40° Mounting Height<br>PHL8 Programmable Multi-Level, up to 40° Mounting Height<br>PHL9 Programmable Multi-Level, up to 40° Mounting Height<br>PHL10 Programmable Multi-Level, up to 40° Mounting Height<br>PHL11 Programmable Multi-Level, up to 40° Mounting Height<br>PHL12 Programmable Multi-Level, up to 40° Mounting Height<br>PHL13 Programmable Multi-Level, up to 40° Mounting Height<br>PHL14 Programmable Multi-Level, up to 40° Mounting Height<br>PHL15 Programmable Multi-Level, up to 40° Mounting Height<br>PHL16 Programmable Multi-Level, up to 40° Mounting Height<br>PHL17 Programmable Multi-Level, up to 40° Mounting Height<br>PHL18 Programmable Multi-Level, up to 40° Mounting Height<br>PHL19 Programmable Multi-Level, up to 40° Mounting Height<br>PHL20 Programmable 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| OSQ  | A       | NM       | Asymmetric<br>NEMA 7-Pin Photocell<br>Type III<br>Type IV<br>Type V<br>Type VI<br>Type VII<br>Type VIII<br>Type IX<br>Type X<br>Type XI<br>Type XII<br>Type XIII<br>Type XIV<br>Type XV<br>Type XVI<br>Type XVII<br>Type XVIII<br>Type XIX<br>Type XX<br>Type XXI<br>Type XXII<br>Type XXIII<br>Type XXIV<br>Type XXV<br>Type XXVI<br>Type XXVII<br>Type XXVIII<br>Type XXIX<br>Type XXX | 20W<br>30W<br>40W<br>50W<br>60W<br>70W<br>80W<br>90W<br>100W<br>110W<br>120W<br>130W<br>140W<br>150W<br>160W<br>170W<br>180W<br>190W<br>200W<br>210W<br>220W<br>230W<br>240W<br>250W<br>260W<br>270W<br>280W<br>290W<br>300W<br>310W<br>320W<br>330W<br>340W<br>350W<br>360W<br>370W<br>380W<br>390W<br>400W<br>410W<br>420W<br>430W<br>440W<br>450W<br>460W<br>470W<br>480W<br>490W<br>500W<br>510W<br>520W<br>530W<br>540W<br>550W<br>560W<br>570W<br>580W<br>590W<br>600W<br>610W<br>620W<br>630W<br>640W<br>650W<br>660W<br>670W<br>680W<br>690W<br>700W<br>710W<br>720W<br>730W<br>740W<br>750W<br>760W<br>770W<br>780W<br>790W<br>800W<br>810W<br>820W<br>830W<br>840W<br>850W<br>860W<br>870W<br>880W<br>890W<br>900W<br>910W<br>920W<br>930W<br>940W<br>950W<br>960W<br>970W<br>980W<br>990W<br>1000W | UL<br>ULX<br>ULY<br>ULZ<br>UL1<br>UL2<br>UL3<br>UL4<br>UL5<br>UL6<br>UL7<br>UL8<br>UL9<br>UL10<br>UL11<br>UL12<br>UL13<br>UL14<br>UL15<br>UL16<br>UL17<br>UL18<br>UL19<br>UL20<br>UL21<br>UL22<br>UL23<br>UL24<br>UL25<br>UL26<br>UL27<br>UL28<br>UL29<br>UL30<br>UL31<br>UL32<br>UL33<br>UL34<br>UL35<br>UL36<br>UL37<br>UL38<br>UL39<br>UL40<br>UL41<br>UL42<br>UL43<br>UL44<br>UL45<br>UL46<br>UL47<br>UL48<br>UL49<br>UL50<br>UL51<br>UL52<br>UL53<br>UL54<br>UL55<br>UL56<br>UL57<br>UL58<br>UL59<br>UL60<br>UL61<br>UL62<br>UL63<br>UL64<br>UL65<br>UL66<br>UL67<br>UL68<br>UL69<br>UL70<br>UL71<br>UL72<br>UL73<br>UL74<br>UL75<br>UL76<br>UL77<br>UL78<br>UL79<br>UL80<br>UL81<br>UL82<br>UL83<br>UL84<br>UL85<br>UL86<br>UL87<br>UL88<br>UL89<br>UL90<br>UL91<br>UL92<br>UL93<br>UL94<br>UL95<br>UL96<br>UL97<br>UL98<br>UL99<br>UL100 | PHL Programmable Multi-Level, up to 40° Mounting Height<br>PHL2 Programmable Multi-Level, up to 40° Mounting Height<br>PHL3 Programmable Multi-Level, up to 40° Mounting 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| OSQ  | A       | NM       | Symmetric<br>NEMA 7-Pin Photocell<br>Type III<br>Type IV<br>Type V<br>Type VI<br>Type VII<br>Type VIII<br>Type IX<br>Type X<br>Type XI<br>Type XII<br>Type XIII<br>Type XIV<br>Type XV<br>Type XVI<br>Type XVII<br>Type XVIII<br>Type XIX<br>Type XX<br>Type XXI<br>Type XXII<br>Type XXIII<br>Type XXIV<br>Type XXV<br>Type XXVI<br>Type XXVII<br>Type XXVIII<br>Type XXIX<br>Type XXX  | 20W<br>30W<br>40W<br>50W<br>60W<br>70W<br>80W<br>90W<br>100W<br>110W<br>120W<br>130W<br>140W<br>150W<br>160W<br>170W<br>180W<br>190W<br>200W<br>210W<br>220W<br>230W<br>240W<br>250W<br>260W<br>270W<br>280W<br>290W<br>300W<br>310W<br>320W<br>330W<br>340W<br>350W<br>360W<br>370W<br>380W<br>390W<br>400W<br>410W<br>420W<br>430W<br>440W<br>450W<br>460W<br>470W<br>480W<br>490W<br>500W<br>510W<br>520W<br>530W<br>540W<br>550W<br>560W<br>570W<br>580W<br>590W<br>600W<br>610W<br>620W<br>630W<br>640W<br>650W<br>660W<br>670W<br>680W<br>690W<br>700W<br>710W<br>720W<br>730W<br>740W<br>750W<br>760W<br>770W<br>780W<br>790W<br>800W<br>810W<br>820W<br>830W<br>840W<br>850W<br>860W<br>870W<br>880W<br>890W<br>900W<br>910W<br>920W<br>930W<br>940W<br>950W<br>960W<br>970W<br>980W<br>990W<br>1000W | UL<br>ULX<br>ULY<br>ULZ<br>UL1<br>UL2<br>UL3<br>UL4<br>UL5<br>UL6<br>UL7<br>UL8<br>UL9<br>UL10<br>UL11<br>UL12<br>UL13<br>UL14<br>UL15<br>UL16<br>UL17<br>UL18<br>UL19<br>UL20<br>UL21<br>UL22<br>UL23<br>UL24<br>UL25<br>UL26<br>UL27<br>UL28<br>UL29<br>UL30<br>UL31<br>UL32<br>UL33<br>UL34<br>UL35<br>UL36<br>UL37<br>UL38<br>UL39<br>UL40<br>UL41<br>UL42<br>UL43<br>UL44<br>UL45<br>UL46<br>UL47<br>UL48<br>UL49<br>UL50<br>UL51<br>UL52<br>UL53<br>UL54<br>UL55<br>UL56<br>UL57<br>UL58<br>UL59<br>UL60<br>UL61<br>UL62<br>UL63<br>UL64<br>UL65<br>UL66<br>UL67<br>UL68<br>UL69<br>UL70<br>UL71<br>UL72<br>UL73<br>UL74<br>UL75<br>UL76<br>UL77<br>UL78<br>UL79<br>UL80<br>UL81<br>UL82<br>UL83<br>UL84<br>UL85<br>UL86<br>UL87<br>UL88<br>UL89<br>UL90<br>UL91<br>UL92<br>UL93<br>UL94<br>UL95<br>UL96<br>UL97<br>UL98<br>UL99<br>UL100 | PHL Programmable Multi-Level, up to 40° Mounting Height<br>PHL2 Programmable Multi-Level, up to 40° Mounting Height<br>PHL3 Programmable Multi-Level, up to 40° Mounting 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Mounting Height<br>PHL37 Programmable Multi-Level, up to 40° Mounting Height<br>PHL38 Programmable Multi-Level, up to 40° Mounting Height<br>PHL39 Programmable Multi-Level, up to 40° Mounting Height<br>PHL40 Programmable Multi-Level, up to 40° Mounting Height<br>PHL41 Programmable Multi-Level, up to 40° Mounting Height<br>PHL42 Programmable Multi-Level, up to 40° Mounting Height<br>PHL43 Programmable Multi-Level, up to 40° Mounting Height<br>PHL44 Programmable Multi-Level, up to 40° Mounting Height<br>PHL45 Programmable Multi-Level, up to 40° Mounting Height<br>PHL46 Programmable Multi-Level, up to 40° Mounting Height<br>PHL47 Programmable Multi-Level, up to 40° Mounting Height<br>PHL48 Programmable Multi-Level, up to 40° Mounting Height<br>PHL49 Programmable Multi-Level, up to 40° Mounting Height<br>PHL50 Programmable Multi-Level, up to 40° Mounting Height<br>PHL51 Programmable Multi-Level, up to 40° Mounting Height<br>PHL52 Programmable Multi-Level, up to 40° Mounting Height<br>PHL53 Programmable Multi-Level, up to 40° Mounting Height<br>PHL54 Programmable Multi-Level, up to 40° Mounting Height<br>PHL55 Programmable Multi-Level, up to 40° Mounting Height<br>PHL56 Programmable Multi-Level, up to 40° Mounting Height<br>PHL57 Programmable Multi-Level, up to 40° Mounting Height<br>PHL58 Programmable Multi-Level, up to 40° Mounting Height<br>PHL59 Programmable Multi-Level, up to 40° Mounting Height<br>PHL60 Programmable Multi-Level, up to 40° Mounting Height<br>PHL61 Programmable Multi-Level, up to 40° Mounting Height<br>   |               |         |  |

\* Available with Backlight Shield when ordered with full-adjustable accessory (see table above)

UL US LISTED  
ULC CANADA LISTED  
ULX EUROPE LISTED  
ULY ASIA LISTED  
ULZ AUSTRALIA LISTED  
UL1 NORTH AMERICA LISTED  
UL2 SOUTH AMERICA LISTED  
UL3 AFRICA LISTED  
UL4 MIDDLE EAST LISTED  
UL5 INDIA LISTED  
UL6 CHINA LISTED  
UL7 JAPAN LISTED  
UL8 KOREA LISTED  
UL9 TAIWAN LISTED  
UL10 HONG KONG LISTED  
UL11 MACAU LISTED  
UL12 SINGAPORE LISTED  
UL13 MALAYSIA LISTED  
UL14 THAILAND LISTED  
UL15 VIETNAM LISTED  
UL16 PHILIPPINES LISTED  
UL17 INDONESIA LISTED  
UL18 AUSTRALIA LISTED  
UL19 NEW ZEALAND LISTED  
UL20 SOUTH AFRICA LISTED  
UL21 ISRAEL LISTED  
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UL23 GREECE LISTED  
UL24 ITALY LISTED  
UL25 SPAIN LISTED  
UL26 FRANCE LISTED  
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UL28 POLAND LISTED  
UL29 CZECH REPUBLIC LISTED  
UL30 SLOVAKIA LISTED  
UL31 HUNGARY LISTED  
UL32 ROMANIA LISTED  
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UL38 LATVIA LISTED  
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UL40 FINLAND LISTED  
UL41 SWEDEN LISTED  
UL42 DENMARK LISTED  
UL43 NORWAY LISTED  
UL44 SWITZERLAND LISTED  
UL45 AUSTRIA LISTED  
UL46 BELGIUM LISTED  
UL47 NETHERLANDS LISTED  
UL48 LUXEMBOURG LISTED  
UL49 PORTUGAL LISTED  
UL50 GERMANY LISTED  
UL51 ITALY LISTED  
UL52 SPAIN LISTED  
UL53 FRANCE LISTED  
UL54 GERMANY LISTED  
UL55 ITALY LISTED  
UL56 SPAIN LISTED  
UL57 FRANCE LISTED  
UL58 GERMANY LISTED  
UL59 ITALY LISTED  
UL60 SPAIN LISTED  
UL61 FRANCE LISTED  
UL62 GERMANY LISTED  
UL63 ITALY LISTED  
UL64 SPAIN LISTED  
UL65 FRANCE LISTED  
UL66 GERMANY LISTED  
UL67 ITALY LISTED  
UL68 SPAIN LISTED  
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UL70 GERMANY LISTED  
UL71 ITALY LISTED  
UL72 SPAIN LISTED  
UL73 FRANCE LISTED  
UL74 GERMANY LISTED  
UL75 ITALY LISTED  
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UL77 FRANCE LISTED  
UL78 GERMANY LISTED  
UL79 ITALY LISTED  
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UL81 FRANCE LISTED  
UL82 GERMANY LISTED  
UL83 ITALY LISTED  
UL84 SPAIN LISTED  
UL85 FRANCE LISTED  
UL86 GERMANY LISTED  
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UL97 FRANCE LISTED  
UL98 GERMANY LISTED  
UL99 ITALY LISTED  
UL100 SPAIN LISTED

CREE LIGHTING

## Statistics

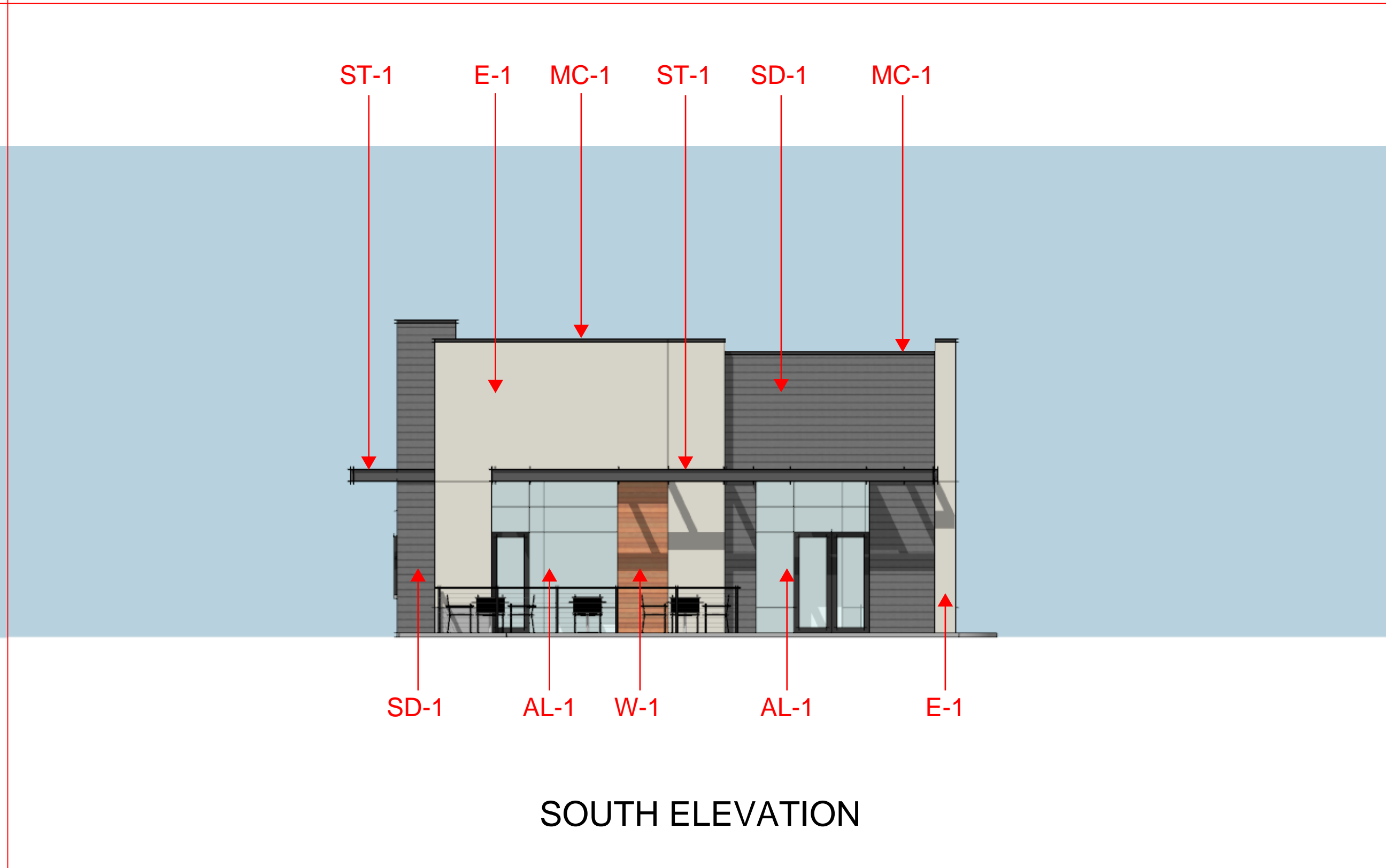
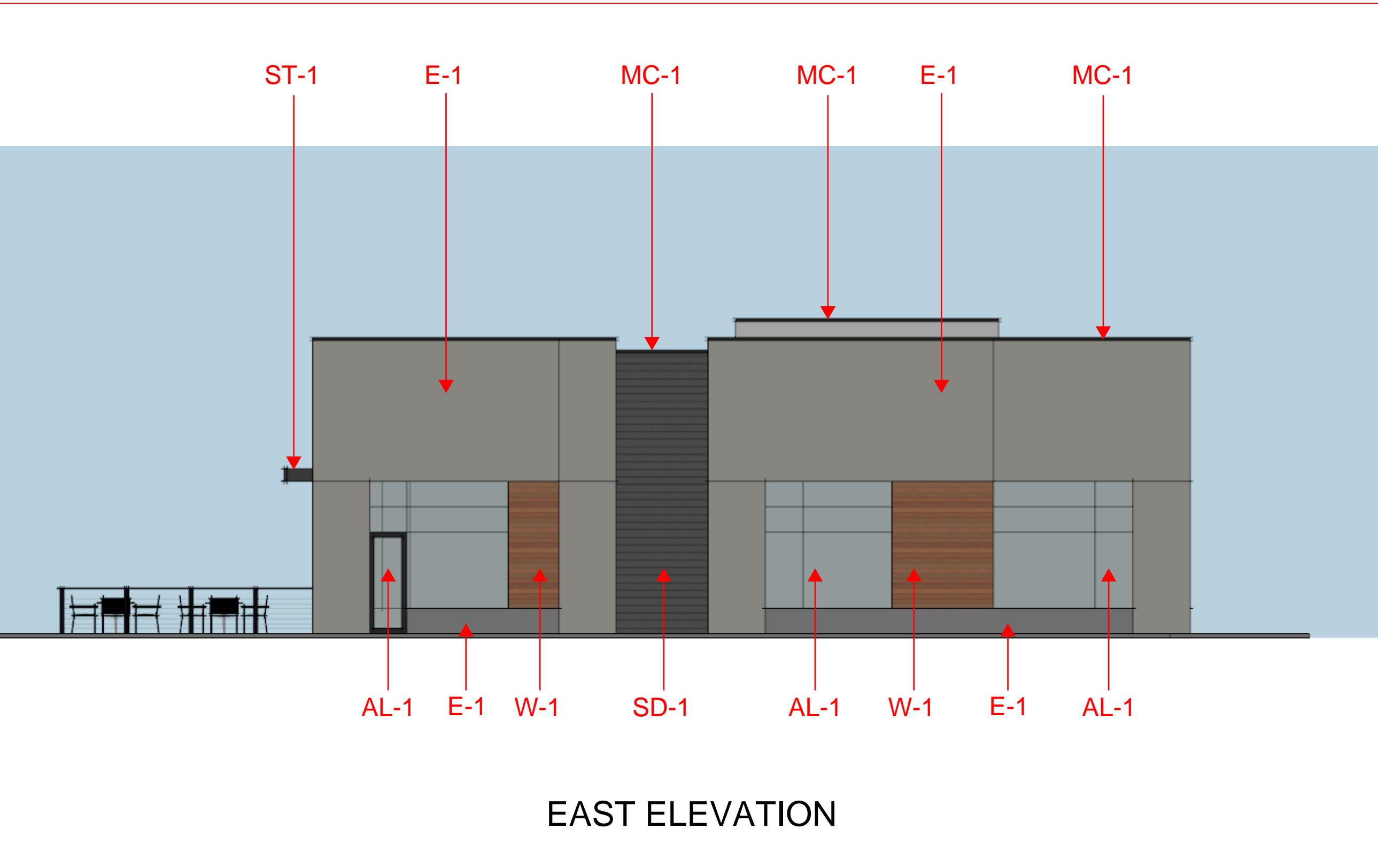
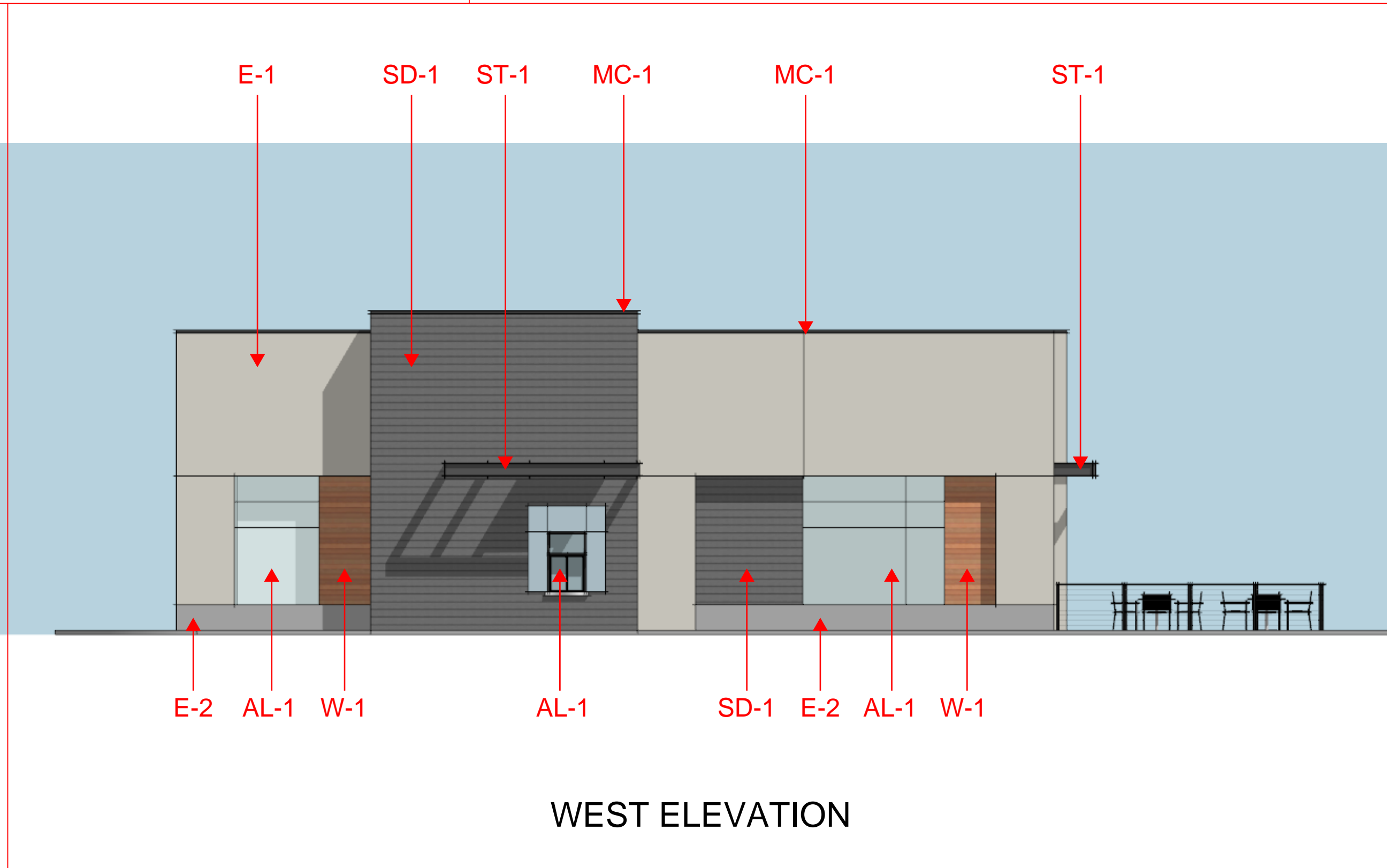
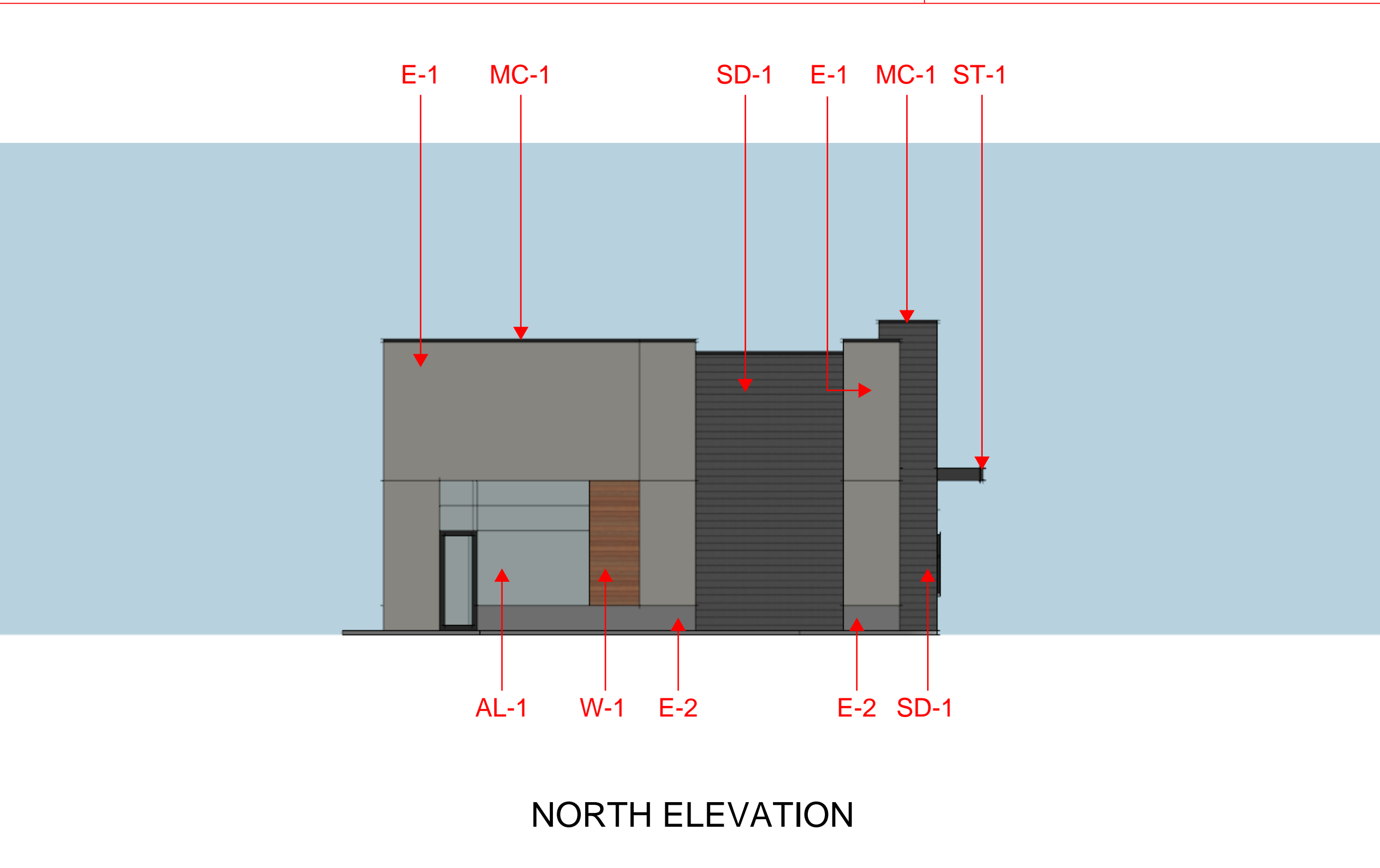
| Description         | Avg    | Max    | Min    | Max/Min | Avg/Min | Symbol |
|---------------------|--------|--------|--------|---------|---------|--------|
| Existing Entrance   | 3.7 fc | 8.9 fc | 1.0 fc | 8.9:1   | 3.7:1   | +      |
| North New Drive     | 4.1 fc | 8.2 fc | 0.9 fc | 9.1:1   | 4.6:1   | +      |
| PAD A Drive Thru    | 3.5 fc | 5.5 fc | 1.6 fc | 3.4:1   | 2.2:1   | +      |
| PAD A,B,C Parking   | 3.8 fc | 8.6 fc | 1.0 fc | 8.6:1   | 3.8:1   | +      |
| PAD B Drive Thru    | 4.1 fc | 7.1 fc | 2.0 fc | 3.6:1   | 2.1:1   | +      |
| PAD C Drive Thru    | 5.5 fc | 8.9 fc | 1.2 fc | 7.4:1   | 4.6:1   | +      |
| PAD C Extra Parking | 3.4 fc | 5.1 fc | 2.0 fc | 2.6:1   | 1.7:1   | +      |

Types A12, A14, A14C, A14X, A24, A24C, A24X

POLE HEIGHT IS 25', POLE BASE IS 2' = TOTAL 27'

| Schedule |       |       |     |              |   |  |                     |              |  |                 |                |     |         |
|----------|-------|-------|-----|--------------|---|--|---------------------|--------------|--|-----------------|----------------|-----|---------|
| Symbol   | Label | Image | QTY | Manufacturer | Catalog Number  | Description  | Lamp                | Number Lamps | Filename                                   | Lumens per Lamp | Lumen Multiple | LLF | Wattage |
| A12      |       |       | 1   | Cree Inc     | OSQ-A-xx-2ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-2ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type II Medium, T Input Power Designator, 5700K Series Area Luminaire, Type II Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-2ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 166     |
| A14      |       |       | 9   | Cree Inc     | OSQ-A-xx-4ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-4ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type IV Medium, T Input Power Designator, 5700K Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-4ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 166     |
| A14C     |       |       | 2   | Cree Inc     | OSQ-A-xx-4ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-4ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type IV Medium, T Input Power Designator, 5700K Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-4ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 166     |
| A14X     |       |       | 2   | Cree Inc     | OSQ-A-xx-4ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-4ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type IV Medium, T Input Power Designator, 5700K Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-4ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 166     |
| A24      |       |       | 6   | Cree Inc     | OSQ-A-xx-4ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-4ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type IV Medium, T Input Power Designator, 5700K Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-4ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 332     |
| A24C     |       |       | 2   | Cree Inc     | OSQ-A-xx-4ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-4ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type IV Medium, T Input Power Designator, 5700K Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-4ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 332     |
| A24x     |       |       | 2   | Cree Inc     | OSQ-A-xx-4ME-T-57K-ULXXXXX CONFIGURED FROM OSQ-A-xx-4ME-T-40K-ULXXXXX | Cree OSQ Series Area Luminaire, Type IV Medium, T Input Power Designator, 5700K Series Area Luminaire, Type IV Medium, U Input Power Designator, 4000K | CONFIGURED FROM MDA | 1            | OSQ-A-XX-4ME-T-57K-ULXXXXX, CONFIGURED.ies | 22331           | 1              | 0.9 | 332     |





## RIVERDALE LANDING PHASE II - PAD A RETAIL BUILDING (2,600 SF)

### EXTERIOR FINISH LEGEND

- E-1: EIFS  
SANDPEBBLE FINE FINISH, BM OC-23 CLASSIC GRAY
- E-2: EIFS  
SANDPEBBLE FINE FINISH, SW 6233 SAMOVAR SILVER
- SD-1: PAINTED HARDIE BOARD LAP SIDING  
SHERWIN WILLIAMS - SW 6235 Foggy Day
- W-1: SIMULATED WOOD SIDING  
NICHHA, VINTAGE WOOD, CEDAR
- MC-1: PREFINISHED METAL CAP FLASHING  
BLACK COLOR
- ST-1: PAINTED STEEL CANOPY  
SHERWIN WILLIAMS - SW 6993 BLACK OF NIGHT
- AL-1: ALUMINUM STOREFRONT SYSTEM  
SATIN BLACK FINISH



**RIVERDALE CITY  
PLANNING COMMISSION AGENDA  
October 13, 2020**

**AGENDA ITEM: E5**

**SUBJECT:** Consideration of Preliminary Site Plan approval for Raising Cane's Restaurant, property located approximately 4168 South Riverdale Road, Riverdale, Utah 84405, as requested by Kimley-Horn and Raising Cane's Restaurants, LLC.

**PRESENTER:** Mike Eggett, Community Development

**INFORMATION:**

- a. [Exec Summ Raising Canes Prelim Site Plan – PC \[20201013\]](#)
- b. [Raising Canes Bldg Prelim Site Plan Review – 20201007](#)
- c. [Dept Staff Reports – Raising Canes Prelim PC \[20201006\]](#)
- d. [City Engineer's Report](#)
- e. [App Raising Canes Site Plan 20200929](#)
- f. [Raising Cane's Riverdale Site Plans 20200929](#)
- g. [C614 Riverdale Rendered Elevations](#)
- h. [C614 Riverdale, UT Signage 2020.09.21](#)

**[BACK TO AGENDA](#)**



## Planning Commission Executive Summary

For the Commission meeting on: 10-13-2020

Petitioner: *Kimley-Horn/Raising Cane's Restaurants*  
represented by Maurissa Muha and Chris Bick

### Summary of Proposed Action

Kimley-Horn/Raising Cane's Restaurants, as represented by Maurissa Muha and Chris Bick, has applied for a Preliminary Site Plan review of a new restaurant building with drive-thru and supporting facilities development project for real estate located at approximately 4168 South Riverdale Road (to the direct south of the old Farmers Insurance building). The affected parcels are zoned in the Community Commercial (C-2) zone and, therefore, this request would need to go through a conditional use review process at a later date in this project's timeline. This site plan is being proposed for development on property that is adjacent to a café/restaurant, a vacant building, an apartment complex, and across the street from a commercial center. The property is currently owned by DRH Properties, LLC. A public hearing is not required to consider this site plan proposal. Following the presentation and discussion of the proposal, the Planning Commission may make a motion giving preliminary approval of the Raising Cane's site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not giving preliminary approval of the proposed site plan with the appropriate findings of facts. If preliminary approval is provided, then this matter could move forward to a future Final Site Plan recommendation consideration process with the Planning Commission.

### Title 10 Ordinance Guidelines (Code Reference)

This Preliminary Site Plan review is regulated under City Code 10-25 "Development in All Zones", and is affected by City Codes 10-10A "Community Commercial Zones (C-2)", 10-14 "Regulations Applicable to All Zones", 10-15 "Parking, Loading Space; Vehicle Traffic and Access", 10-16 "Sign Regulations", and 10-19 "Conditional Uses".

The proposed development parcels are located on property east of Riverdale Road and north of 500 West on property currently owned by DRH Properties, LLC. The property is located in a C-2 zoned area and the requested use of restaurants with drive-thru access is a conditional use in this zone.

Attached with this executive summary is a document entitled "Preliminary Site Plan Review - Raising Cane's (Riverdale Landing Phase 2)"; this is a supplementary document addressing items on the Preliminary Site Plan application document. Also attached, following this executive summary, are comments from the Public Works Director, the Police Chief, the Fire Department, and contracted City Engineer. The Planning Commission should discuss any concerns raised by these summaries.

The Planning Commission is encouraged to briefly discuss signage and lighting plans with the petitioner to better understand how site lighting and signage will work in this area; signage is regulated per City Code 10-16 (specifically section 8.(b.) for Commercial Districts); the applicant should be directed to adhere to this Code when contemplating signage. Signage information for this site has been provided in your packet. No site lighting plan has been provided as part of this submission.

Staff would encourage the Planning Commission to review this matter and then discuss with the petitioner concerns raised by staff and/or the Planning Commission. Staff would then recommend that the Planning Commission make a motion giving preliminary approval of the Raising Cane's site plan proposal, approval of the proposed site plan with any requested modifications, tabling the matter to a later date, or not giving preliminary approval of the proposed site plan with the appropriate findings of facts.

#### General Plan Guidance (Section Reference)

The General Plan use for this area is currently set as "Planned Commercial - High" and this proposed project would comply with this land use.

#### Legal Comments - City Attorney

\_\_\_\_\_  
Steve Brooks, Attorney

#### Administrative Comments - City Administrator

\_\_\_\_\_  
Steve Brooks, Acting City  
Administrator



## Preliminary Site Plan Review – Raising Cane’s (Riverdale Landing Phase 2), 4168 South Riverdale Road

Completed by Mike Eggett, Community Dev. Director on 10/6-7/2020

**Recommendation:** City staff recommends that the Planning Commission examine and review items associated with this proposed preliminary site plan review. Items of consideration or note (if any) have been highlighted in yellow for potential discussion purposes. City staff recommends that the Planning Commission act accordingly to approve the preliminary site plan or not approve the proposed Raising Cane’s pad site plan with any additional comments, requirements or concerns to be addressed by the developer.

|   |  |
|---|--|
| Date Plan Submitted to City:<br>(Must be at least two weeks prior to Planning Commission meeting) | September 29, 2020   |
| Date Application Submitted to City:   | September 29, 2020   |
| Date Fee Paid:  | Paid on Sept. 29, 2020 (see receipt for detail)  |
| <b>Site Plan – Preliminary Requirements</b>   | <b>Departmental Review Comments</b>  |
| COVER SHEET   | Provided   |
| Title Block   |  |
| Project name and address  | Project name and address location shown; address location needs to be updated to reflect new address of 4168 South Riverdale Road  |
| Property Owner’s name, address, and phone number  | Shown on cover page and application: DRH Properties LLC, 5445 South Highland Drive, Salt Lake City, Utah 84117, 801-654-0120   |
| Property Developer’s name, address, and phone number  | Shown on cover page and application: Raising Cane’s Restaurants LLC, 6800 Bishop Road, Plano, Texas 75024, 972-769-3364  |
| Approving agency’s name and address: Utility companies if applicable                              | Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405; other utility agencies name and address provided as well  |
| Consulting Engineer’s name, address, and phone number   | Kimley-Horn, 111 East Broadway, Suite 400, Salt Lake City, Utah 84111, 385-235-6536  |
| Licensed Land Surveyor’s name, address, phone number, signature, and seal                         | Diamond Land Surveying, 6891 South 700 West, Suite 150, Midvale, Utah 84047, 801-266-5099; seal and signature not provided at this time, may not be applicable to this application |

|   |   |
|---|---|
| Date  | Yes – 9/21/2020   |
| Revision block with date and initials   | Revision blocks shown and notes provided  |
| Sheet number and total sheets   | Shown (25 total sheets)   |
| <u>General</u>  |   |
| Street names  | Shown – 300 West and Riverdale Road   |
| Layouts of lots with lot numbers  | Yes, shown; one lot shown   |
| Adjacent tract ownership and tax identification numbers                                   | Tract ownership names and tax ID not shown or provided on any sheets  |
| Scale (minimum 1"=50' to 1"=10')  | Yes, scale is shown, 1" = 20'   |
| North arrow   | Yes   |
| Existing easements, structures, and utility lines:<br>Approval to cross, use, or relocate | No existing easements identified on site plan drawings, no existing structures currently on site, existing utility lines shown on sheet C7.0; <u>unknown if approvals provided to cross, use, relocate</u>  |
| Space for notes   | Yes, provided   |
| Contours  | Yes, shown on multiple sheets   |
| Public areas  | Existing and planned sidewalks and curb/gutter shown on multiple sheets   |
| <u>Vicinity Map</u>   |   |
| Street names  | Yes   |
| Site location   | Yes - project location shown is the wrong location for the project site, should be one lot to the southwest in the map  |
| North arrow   | Yes   |
| Scale   | Note of "Not to Scale"  |
| <u>Layout</u>   |   |
| Landscaping (location and type with area calculations)                                    | Yes, provided on sheets L1.0-IR2.1  |
| Location of exterior lighting devices, signs, and outdoor advertising                     | Yes, location of existing lighting shown in packet; no existing signs or outdoor advertising; location of proposed on site lighting devices not shown; signage to be used for outdoor advertising provided with submission; architectural elevations provided; <u>planned building lighting unknown</u> |

|   |  |
|---|--|
| Location of underground tanks, dumpsters, etc         | Underground storm water chambers location identified on C7.0 and details on C8.3-8.5, no other tanks present on site; dumpster and dumpster enclosure location shown in packet |
| <u>Additional Information</u>                         |  |
| Benchmark   | Note "see survey" however no ALTA survey provided  |
| Basis of bearings                                     | Note "see survey" however no ALTA survey provided  |
| Legend  | Note "see survey" however no ALTA survey provided  |
| <i>PLAN AND PROFILE SHEETS</i>                        | Site plan and profile sheets provided  |
| <u>Title Block</u>                                    |  |
| Project name and address                              | Project name and address location shown; address location needs to be updated to reflect new address of 4168 South Riverdale Road  |
| Approving Agency's name and address                   | Riverdale City, 4600 So. Weber River Drive, Riverdale, Utah 84405  |
| Consulting Engineer's name, address, and phone number | Kimley-Horn, 111 East Broadway, Suite 400, Salt Lake City, Utah 84111, 385-235-6536  |
| Date  | Yes – 9/21/2020  |
| Scale   | Yes, scale is showing  |
| Revision block with date and initials                 | Revision blocks shown and notes provided   |
| Sheet number and total sheets                         | Shown (25 total sheets)  |
| <u>General</u>  |  |
| North arrow   | Yes  |
| Street names  | Shown – 300 West and Riverdale Road  |
| Lot numbers   | Yes, shown; one lot shown  |
| Reference to sheets showing adjacent areas            | Not applicable   |
| Center line stationing                                | Shown on plans   |
| Existing natural ground                               | Not shown or provided  |
| <u>Signage</u>  | Building signage concepts shown on arch drawings and in sign packet; <u>may inquire more regarding future signage intent if desired</u>  |
| Height  | <i>Shown in packet</i>   |
| Size  | <i>Shown in packet</i>   |

|  |   |
|--|---|
| Locations  | <i>Shown in packet</i>  |
| Colors   | <i>Shown in packet</i>  |
| Lighting   | <i>Shown in packet</i>  |
| <u>New and Existing Buildings</u>  |   |
| Height and Size  | New building - Height = <b>Unknown at this time</b> ;<br>Building size = approx. 3,598 sq. ft.  |
| Location, setbacks, and all dimensions   | Yes, shown on dimensional control plan (Sheet C5.1); approximates: front setback – minimum 29.7 feet at nearest point; rear setback – minimum large distance exceeds minimum requirement at nearest point; south side setback – 47.8 feet at nearest point; north side setback – approx. 75 feet at nearest point |
| Type of construction   | Materials for structure, texture, color appearance provided on architectural drawings; <u>DRC will be needed for this site plan</u>   |
| Type of occupancy and proposed uses  | Regional commercial restaurant and drive-thru   |
| Show handicapped access  | ADA accessible ramp and access areas shown and handicapped parking stalls shown   |
| <u>New and Existing Landscaping &amp; Percentage</u>                                       | <b>Percentage of landscaping provided for site is 17.6% and does not meet requirement of 20% or more landscaping coverage per City Code 10-14-12(B.)(2.)</b>  |
| Number of trees  | 12 trees, 217 shrubs  |
| Landscape plan showing all planting, hardscaping, berming, and watering                    | Planting, hardscaping shown; <b>gentle berming locations, as required in 10-14-12 (B.)(2.), not identified in landscaping plan</b> ; irrigation plan identified on L1.0-IR2.1   |
| Xeriscaping alternatives being considered  | Yes, xeriscaping seems to be applied in the rock mulch areas of landscape plan; for more, inquire of the developer  |
| <u>New and Existing Walls and Fences</u>   |   |
| Location, design, and height   | No existing fences on site; no new fences appear to be planned for site   |
| Materials proposed for construction  | No new fences planned for site  |
| <u>New and Existing Parking</u>  |   |
| Location, area, and layout of off-street parking (size of stalls, regular and handicapped) | 33 dedicated stalls are provided and shown; handicapped parking space provided and shown; size meets city requirements; per code adequate parking for use concepts  |

|  |   |
|--|---|
| Location of employees' parking, customer parking, and handicapped parking                    | Established as shown in drawings; employee parking and customer parking appear shared   |
| Internal circulation pattern   | Drive thru shown; parking area circulation shown  |
| <u>New and Existing Ingress and Egress</u>   |   |
| Location and size of points of ingress and egress for motor vehicles and internal use        | Yes, shown  |
| Circulation pattern  | Yes, internal access and circulation shown with arrows; inquire more if desired   |
| <u>New and Existing Streets</u>  |   |
| All access points  | Yes, this is shown  |
| Center lines   | Yes, this is shown  |
| Right-of-way lines   | Shown, "right-of-way" not identified  |
| Face of curb lines   | Yes, this is shown  |
| Centerline slope   | Shown on drawings and established per previous and other project road development   |
| Signing and striping   | Signing installation should be coordinated with public works dept and paid for by applicant; roadway striping should be coordinated with public works if applicable |
| Light poles  | Yes, location of existing light poles and power equipment shown; location of proposed light poles/equipment not shown in packet                                     |
| Street lights  | Yes, location of existing street light poles and power equipment shown; <u>no newly proposed street light poles or devices appear to be planned</u>                 |
| Street name signs  | Location of street name signs on site not applicable to this location   |
| Stop signs   | Location of stop signs on site shown  |
| UDOT approval (if required for project)  | No UDOT approval required for this project; all internal access   |
| Sidewalk (4' side with 4" of road base or 6' side with 6" of road base through the approach) | Yes, shown and defined on sheet C8.0  |
| Planting Strip   | No planting strips planned or available along Riverdale Road and internal private drive   |
| <u>New and Existing Storm Drainage</u>   |   |
| Top of curb elevations   | Shown on C6.0, in detail on sheet C8.0  |
| Slope of gutter  | Shown on C6.0, in detail on sheet C8.0  |
| Manholes   | Existing shown on multiple sheets; new shown on multiple sheets;  |



|   |  |
|---|--|
| Invert elevations   | Shown on C6.0, in detail on sheet C8.0-8.5, <u>defer to City Engineer</u>  |
| Length, size, slope, and type of mains and laterals                 | Shown on C6.0-C7.0, in detail on sheet C8.0-8.5, <u>defer to City Engineer</u>   |
| Location of catch basins  | Shown on sheets C6.0-C7.0  |
| Ditches, location and ownership                                     | Waterway detail shown on C8.0  |
| Approval to pipe, reroute or use                                    | Other than future City approval, <u>unknown if other UDOT approval required, defer to City Engineer</u>  |
| Calculations for retention system                                   | Shown on C6.0; defer to City Engineer  |
| Method of storm water clean-up                                      | Shown on sheets C3.0-3.2, C6.0, C7.0, C8.0-8.5   |
| <u>New and Existing Sanitary Sewers</u>                             |  |
| Manholes  | Existing shown on multiple sheets; new shown on multiple sheets;   |
| Invert elevations   | Shown on C6.0-C7.0, in detail on sheet C8.0-8.5, <u>defer to City Engineer</u>   |
| Length, size, type, and slope of mains and laterals                 | Shown on C6.0-C7.0, in detail on sheet C8.0-8.5, <u>defer to City Engineer</u>   |
| <u>New and Existing Water Lines</u>                                 |  |
| Length, size, type, and slope of mains and laterals                 | Shown on C6.0-C7.0, in detail on sheet C8.0-8.5, <u>defer to City Engineer</u>   |
| Location, size, and type of water meters, valves, and fire hydrants | Shown on C6.0-C7.0, 1.5" water meter identified, type per public works; Location of new and existing valves shown on C6.0-C7.0; no existing fire hydrants on site; new hydrant locations in Riverdale Landing Phase 2 project shown for site |
| <u>New and Existing Gas Lines</u>                                   |  |
| Size and type   | Existing and new gas lines shown on C7.0, size shown; <u>type not shown</u>  |
| <u>New and Existing Electrical Lines</u>                            |  |
| Size, location, and type  | Existing and new power lines locations shown, <u>size and type not identified</u> ;  |
| Location of power poles   | Existing power poles and overhead lines location shown on sheets C6.0 and C7.0; <b>new power poles location not identified, where applicable</b>   |
| <u>New and Existing Telephone Lines</u>                             |  |
| Location of poles, junction boxes, and manholes                     | <b>Existing location of telephone boxes and new telephone utility lines not shown, poles and associated manholes not shown if applicable</b>   |
| <u>New and Existing Cable TV Lines</u>                              |  |
| Location of lines (if applicable)                                   | <b>Cable TV lines not shown (if applicable)</b>  |

|  |   |
|--|---|
| <i>DETAILED DRAWINGS</i>   |   |
| Cross section of roadway (minimum 8" road base and 3" asphalt)   | Refer to sheet C8.0 for roadway cross section connection to curb, gutter, and sidewalk areas  |
| Cross section of curb and gutter (standard 30" high back)  | Shown on sheet C8.0, defer to City Engineer   |
| Gutter inlet box with bicycle safe grate   | Detail shown on sheet C8.2, locations identified on multiple sheets; identified as bicycle safe grates on gutter inlet boxes; <u>defer to City Engineer</u>   |
| Cleanout box   | Detail shown on sheets C8.1, location identified on multiple sheets; <u>defer to City Engineer</u>  |
| Thrust blocking  | Detail shown on sheets C8.3; <u>defer to City Engineer</u>  |
| Special energy dissipating or drop manholes  | None showing and may not be applicable; <u>defer to City Engineer</u>   |
| <i>ADDITIONAL INFORMATION</i>  |   |
| Soils report   | Geotechnical report has been provided as completed by CMT Engineering Laboratories on September 10, 2019 for this site  |
| Drainage and runoff calculations   | Shown on C6.0; defer to City Engineer   |
| Water right transfer documentation   | Applicant needs to work with Public Works Department to provide adequate water rights for this site per 8-6-3 of City Code  |
| Copy of protective covenants, codes, and regulations for development   | None provided or anticipated with this project  |
| Three (3) total 11" X 17" copies of plan drawings, one large full set of plan drawings, and one digital full set copy of plan drawings | Yes, provided as requested  |
| Building elevation renderings  | Provided as last sheet in packet  |
| Corp of Engineers approval (if required)   | Noted as FEMA flood zone determination outside of the 0.2% annual floodplain; no approval req.  |
| Zoning compliance  | Yes, Community Commercial (C-2) meets intended uses for site design; conditional use permit approval will need to be provided by Planning Commission for proposed usage in C-2 zone, this is anticipated the same night as PC final review of project would occur |
| RDA compliance (if applicable)   | In 550 West RDA area, but no applicable RDA regulations for this project  |
| Use compliance   | Yes, with understanding that Community Commercial (C-2) conditional use approval is needed for this development request   |
| Engineering comments and letter of approval recommendation   | Engineering comments, along with Public Works, Police Department, Fire Department provided  |

|  |  |
|--|--|
| Traffic study  | Not currently required   |
| All Planning Commission and City Staff conditions for approval have been met | <u>Currently Preliminary Submission approval consideration being reviewed by Planning Commission</u> |



## DEPARTMENTAL STAFF REPORTS – 10/1/2020 to 10/6/2020

**From:** Shawn Douglas  
**Sent:** Tue 10/6/2020 8:02 AM  
**To:** Mike Eggett  
**Subject:** Raising Cane's

Mike,

Attached is my review for Raising Cane's. Thanks

### Plan Review For Raising Cane's

#### **Storm Water**

- 1-Drainage system operation and maintenance plan and BMPS approved and recorded with plat.
- 2-Orifice size, location and plan detail, free board on detention/retention structure, free board on structure, and emergency overflow. Orifice needs to be adjacent to connection to Riverdale City system.
- 3-Hydraulic separator or BMP's to treat storm water before water enters underground retention/detention or city system.
- 4-Provide proposed flows gpm/gpd. Retention to the 85<sup>th</sup> percentile will be required.
- 5-Grading and drainage plan including direction of flows and slope percentages.
- 6-Storm water prevention plan for construction site including BMP's with restroom. All storm water inspections will need to be completed on Compliance Go.
- 7-Notice of intent filed with state.
- 8-Note to certify retention/detention structure size after construction.
- 9-Retention/Detention structure design and materials shown.
- 10-Injection well permit if required.

#### **Water**

- 1-Fire line needs a valve at connection to mainline.
- 2--Water line sizes need to match, two different sizes shown on plans.
- 3-Provide water usage peak demands.
- 4-Provide what water shares will be used to meet water requirements.

#### **Sewer**

- 1-Proposed sewer flows daily and peak. Including peak demand time.
- 2-Show existing sewer mains and laterals with correct sizes.

#### **Other**

- 1-Note requiring all missing, nonfunctioning, and or damage surface improvements shall be replaced. (sidewalk, curb and gutter, fencing, etc.)
- 2-Dimensions and square footage of each lot.
- 3-Square footage of impervious surface for each lot.

Shawn Douglas  
Riverdale City Public Works  
[Sdouglas@Riverdalecity.com](mailto:Sdouglas@Riverdalecity.com)  
801-394-5541 ext.1217

---

**From:** Scott Brenkman  
**Sent:** Thu 10/1/2020 10:14 AM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - Raising Canes (Riv Landing Ph 2) Site Plan Proposal

I have no concerns. Thanks,

Chief Scott Brenkman  
Riverdale Police Department  
4580 S. Weber River Dr.  
Riverdale, UT 84405  
(801)394-6616  
[sbrenkman@riverdalecity.com](mailto:sbrenkman@riverdalecity.com)

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**From:** Jared Sholly  
**Sent:** Thu 10/1/2020 9:44 AM  
**To:** Mike Eggett  
**Subject:** RE: PC Mtg dept review request - Raising Canes (Riv Landing Ph 2) Site Plan Proposal

I don't have any issues.

*Jared Sholly  
Fire Chief  
Riverdale City Fire Department  
Cell: 801-628-6562  
Office: 801-394-7481*

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**From:** Randy Koger  
**Sent:**  
**To:** Mike Eggett

**CC:** Jared Sholly

**Subject:** RE: PC Mtg dept review request - Raising Canes (Riv Landing Ph 2) Site Plan Proposal

*No comments provided.*

**Fire Marshal/Code Enforcement Officer**

**Riverdale City**

**801-436-1241**





5141 South 1500 West  
Riverdale City, Utah 84405  
801-866-0550

8<sup>th</sup> October 2020

Riverdale City  
4600 South Weber River Drive  
Riverdale, Utah 84405

Attn: Mike Eggett, Community Development Director/RDA Deputy Executive Director  
Proj: **Raising Cane's – Chicken Fingers**  
Subj: Site Improvement Drawings Review

Dear Mike,

The submittal for the above referenced site plan will need to be placed on hold. I cannot begin my review until there is an approved subdivision and an approved building lot for this future development.

If you have, any questions feel free to contact our office.

Sincerely,

**CEC, Civil Engineering Consultants, PLLC.**

A handwritten signature in black ink, appearing to read 'N. Scott Nelson', is written over a horizontal line.

N. Scott Nelson, PE.  
*City Engineer*

Cc. Shawn Douglas, Public Work Director  
Jeff Woody, Building Official  
Steve Brooks, City Attorney



# Riverdale City

Community Development  
4600 So. Weber River Drive  
Riverdale, Utah 84405

## RIVERDALE CITY PLANNING COMMISSION APPLICATION FOR COMMERCIAL OR MANUFACTURING SITE PLAN APPROVAL

CASE NO: 2020-08 DATE SUBMITTED: 9-28-2020

APPLICANT'S NAME: Maurissa Muha & Chris Bick

ADDRESS: 111 East Broadway STE 600 Salt Lake City, Utah 84111

PHONE: 303-223-4864 (Maurissa) TAX I.D. NO: 060310049

ADDRESS OF SITE: Near approximately 400 North Riverdale Road

APPLICANT'S INTEREST: Site Plan Approval

Application is hereby made to the Riverdale City Planning Commission requesting that the following permitted use, be approved on 53,712 SF / 1.23 AC of property in the Commercial (C-2) zone in (sq. ft./acreage)

accordance with the attached site plan.

*Chris Bick*

Signature of Applicant

*Dee R. Hansen*

Signature of Property Owner

I authorize Maurissa Muha & Chris Bick to act as my representative in all matters relating to this application.

*Dee R. Hansen*

Signature of Property Owner

NOTE: A fee will be charged at the time the site plan is submitted for review - \$200 per acre or portion of

Fee: \$ \$246.00 Date paid: 9/29/2020

Planning Commission set public hearing: Yes ☐ No ☒ Date of Public Hearing: N/A

Planning Commission scheduled to hear this application for site plan approval on:

Date: 10-13-2020 Decision of Commission: \_\_\_\_\_

City Council set public hearing: Yes ☐ No ☐ Date of Public Hearing: \_\_\_\_\_

City Council scheduled to hear this application for site plan approval on:

Date: \_\_\_\_\_ Decision of Council: \_\_\_\_\_



Riverdale City  
4600 South Weber River Drive  
Riverdale, UT 84405  
801-394-5541

XBP Confirmation Number: 86758308

|   |                           |                                |             |
|---|---------------------------|--------------------------------|-------------|
| Transaction detail for payment to Riverdale City.   |                           | Date: 09/29/2020 - 12:48:32 PM |             |
| Transaction Number: 134084156PT<br>Mastercard — XXXX-XXXX-XXXX-1561<br>Status: Successful |                           |                                |             |
| Account #   | Item                      | Quantity                       | Item Amount |
| 10-34-1500  | Zoning ampamp Subdiv. Fee | 1                              | \$246.00    |
| 10-36-9000  | Sundry Revenues           | 1                              | \$75.00     |
| Notes: CONDITIONAL USE PERMIT FEE   |                           |                                |             |

**TOTAL: \$321.00**

**Billing Information**  
MAURISSA MUHA  
, 84405

Transaction taken by: cjacobsen

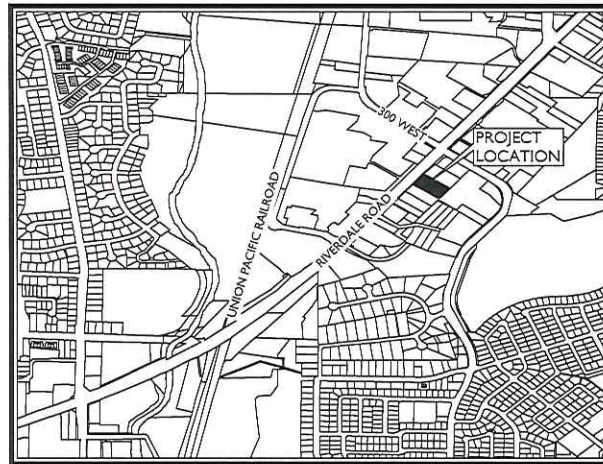


# CIVIL CONSTRUCTION PLANS FOR



## RESTAURANT #614

RIVERDALE ROAD (SR 26) AND 500 WEST  
RIVERDALE, UTAH



VICINITY MAP

NOT TO SCALE

### SHEET INDEX

|              |  |
|--------------|--|
| C1.0         | COVER SHEET                            |
| C2.0         | GENERAL NOTES                          |
| SHEET 1 OF 1 | ALTA SURVEY (FOR REFERENCE ONLY)       |
| C3.0         | DEMOITION CONTROL COVER SHEET          |
| C3.1         | DEMOITION CONTROL PLAN                 |
| C3.2         | DEMOITION CONTROL CONSTRUCTION DETAILS |
| C4.0         | NOT USED                               |
| C5.0         | SITE KEYNOTE PLAN                      |
| C5.1         | DEMOLITION CONTROL PLAN                |
| C6.1         | EXISTING AND PROPOSED PLAN             |
| C6.2         | GRADING PLAN                           |
| C7.0         | UTILITY PLAN                           |
| C8.0         | CONSTRUCTION DETAILS                   |
| C8.1         | CONSTRUCTION DETAILS                   |
| C8.2         | CONSTRUCTION DETAILS                   |
| C8.3         | CONSTRUCTION DETAILS                   |
| C8.4         | CONSTRUCTION DETAILS                   |
| C8.5         | CONSTRUCTION DETAILS                   |
| C8.6         | CONSTRUCTION DETAILS                   |
| C9.0         | LANDSCAPE PLAN                         |
| C9.1         | LANDSCAPE NOTES                        |
| C9.2         | LANDSCAPE DETAILS                      |
| IR1.0        | IRIGATION PLAN                         |
| IR2.0        | IRIGATION NOTES AND DETAILS            |
| IR2.1        | IRIGATION DETAILS                      |

### GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION OF THE IMPROVEMENTS SHALL BE TO COMPLY WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY FEDERAL, STATE AND LOCAL, REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE RULES AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE MORE STRINGENT STANDARD SHALL APPLY. PUBLIC WORKS OR EXISTING CONDITIONS SHALL BE INSPECTED AND APPROVED BY THE RIVERDALE CITY PUBLIC WORKS INSPECTOR AND WITH THE DEPARTMENT OF TRANSPORTATION INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION PUBLICATION TO BE PROVIDED BY ENGINEER OF RECORD.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/or ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE MANUSCRIPT COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY POTENTIAL LOCATIONS AND ELEVATIONS ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE RIVERDALE CITY PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH RIVERDALE CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATION OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY MANNER AND WITH A MINIMAL DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARDS UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY, OR STATE) FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED IF THE CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED. UNCONSTRUCTED, REMOVED AND RELOCATED UTILITIES SPECIFICALLY NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE AND AVAILABLE TO THE RIVERDALE CITY PUBLIC WORKS DIRECTOR AT ALL TIMES. AS-BUILT INFORMATION TO BE GIVEN TO ENGINEER UPON PROJECT COMPLETION.
- DEVELOPMENT FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF ANY DISCREPANCIES ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION AND ANNOTATE THE DISCREPANCY ON THE AS-BUILT RECORD DRAWINGS.
- ALL STRUCTURAL BROWN CONSTRUCTION MEASURES SHALL BE INSTALLED AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL PROPOSED CONTROL HEADS SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR UNTIL SUCH TIME AS THE ENTIRE, BEST MAINTAINED AS-BUILT SHALL BE IN PLACE AND LANDSCAPING.
- THE CONTRACTOR SHALL SECURE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS IN GENERAL. STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
- ALL OPERATIONS CONDUCTED ON THE PREMISES INCLUDING THE WARMING UP, REPAIR, ANNUAL DEPARTURE OR REMOVAL OF TRUCKS, EARTH MOVING, EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL BE LIMITED TO THE PERIOD BETWEEN 6:00 A.M. AND 6:00 P.M. EVERYDAY UNLESS OTHERWISE APPROVED BY THE CITY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS EXISTENT WITH THE CONSTRUCTION SCHEDULE FOR THIS PROJECT. WHETHER SHOWN OR NOT SHOWN AS-BUILT RELATES TO THE CONSTRUCTION ACTIVITIES CONTAINED IN THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE DURING ALL PHS INCLUDING TAPFEE AND COST DEVELOPMENT FEE. REFERENCE TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND OPERATIONS OF BUILDING DATA, TAPFEE, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS.
- THE CONTRACTOR SHALL SUBMIT TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND OPERATIONS OF BUILDING DATA, TAPFEE, TRUCK DOCKS, PEDESTAL BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.

### PLANS SUBMITTAL/REVIEW LOG

| NO. | DESCRIPTION | DATE       | MILESTONE    |
|-----|-------------|------------|--------------|
| 1   | 80% SET     | 08/15/2023 | PROGRESS SET |
| 2   |             |            |              |
| 3   |             |            |              |
| 4   |             |            |              |
| 5   |             |            |              |

### BASIS OF BEARING

SEE SURVEY

### BENCHMARK

SEE SURVEY

### LEGAL DESCRIPTION

SEE SURVEY

### CONSULTANTS

**PROPERTY OWNER:**  
1015 FROSTBELL BLVD.  
3440 S HIGHLAND DR  
SALT LAKE CITY UT 84117  
CONTACT: SPONDER CONNELLY  
PHONE: (801) 664-0133

**DEVELOPER:**  
RAISING CANE'S RESTAURANTS LLC  
8800 REDBUSH ROAD  
PLANA, TX 79024  
CONTACT: LIAISON FOSTER  
PHONE: (772) 769-3364

**CIVIL ENGINEER:**  
DESIGNER:  
111 EAST BROADWAY, SUITE 400  
SALT LAKE CITY UT 84111  
CONTACT: OWEN BOK, P.E.  
PHONE: (801) 533-8028

**SURVEYOR:**  
DESIGNER/DR: SURVEYING  
6801 SOUTH 700 WEST, SUITE 150  
MERRILL, UT 84047  
CONTACT: NATHAN WELSH  
PHONE: (801) 596-0099

**ARCHITECT:**  
INTERIOR DESIGN:  
7200 SOUTH ALTON WAY SUITE B-270  
EDMONTON, CO 80121  
CONTACT: MAUREN MUIR  
PHONE: (303) 233-3444

**DRY UTILITY CONSULTANT:**  
UTILITY DESIGN:  
254 ANDREA DE LA ESTRELLA, STE. B  
SAN CLEMENTE, CA 92673  
CONTACT: NICOLE CARLIN  
PHONE: (949) 362-2755

### AGENCY CONTACTS

**PLANNING:**  
CITY OF RIVERDALE PLANNING DIVISION  
4600 SOUTH WILSON RIVER DRIVE  
RIVERDALE, UT 84403  
CONTACT: MICHAEL COSETT  
PHONE: (801) 364-5541 EXT 1225

**FIRE DEPARTMENT:**  
RIVERDALE FIRE AND RESCUE  
4334 SOUTH PARKWAY DRIVE  
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PHONE: (801) 364-7481

**GAS SERVICE:**  
CORNWALL ENERGY  
PO BOX 40300  
SALT LAKE CITY, UT 84148-0300  
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PHONE: (801) 324-3446

**ELECTRIC:**  
SOUTH UTAH POWER  
13040 SOUTH PONY EXPRESS  
SPRING, UT 84603  
CONTACT: LOUIS LOPPE  
PHONE: (801) 576-8327

**TELEPHONE:**  
CITY OF RIVERDALE  
1425 WEST 3100 SOUTH  
SALT LAKE CITY, UT 84119  
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**WATER DEPARTMENT:**  
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4600 SOUTH WILSON RIVER DRIVE  
RIVERDALE, UT 84403  
CONTACT: SHAWN DOUGLAS  
PHONE: (801) 364-5541 EXT 1217

**SANITARY SEWER:**  
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4600 SOUTH WILSON RIVER DRIVE  
RIVERDALE, UT 84403  
CONTACT: SHAWN DOUGLAS  
PHONE: (801) 364-5541 EXT 1217

**STORM DRAIN:**  
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RIVERDALE, UT 84403  
CONTACT: SHAWN DOUGLAS  
PHONE: (801) 364-5541 EXT 1217



Restaurant Support Group  
1015 Frostbell Blvd.  
Salt Lake City, UT 84117  
Tel: 801-664-0133 Fax: 801-664-0133

RC614 - RIVERDALE &  
500 WEST  
RIVERDALE, UT

Architect/Builder  
**PM DESIGN**  
Architectural  
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twosday@pmdesign.com

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PRELIMINARY  
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CONSTRUCTION  
**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

Revisions:

| # | Rev | Description |
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Sheet 1 of 1

### COVER SHEET

Date: 07/10/2020  
Project Number: 0330-10000  
Drawn by: CPE  
Sheet Number:

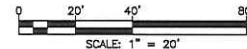
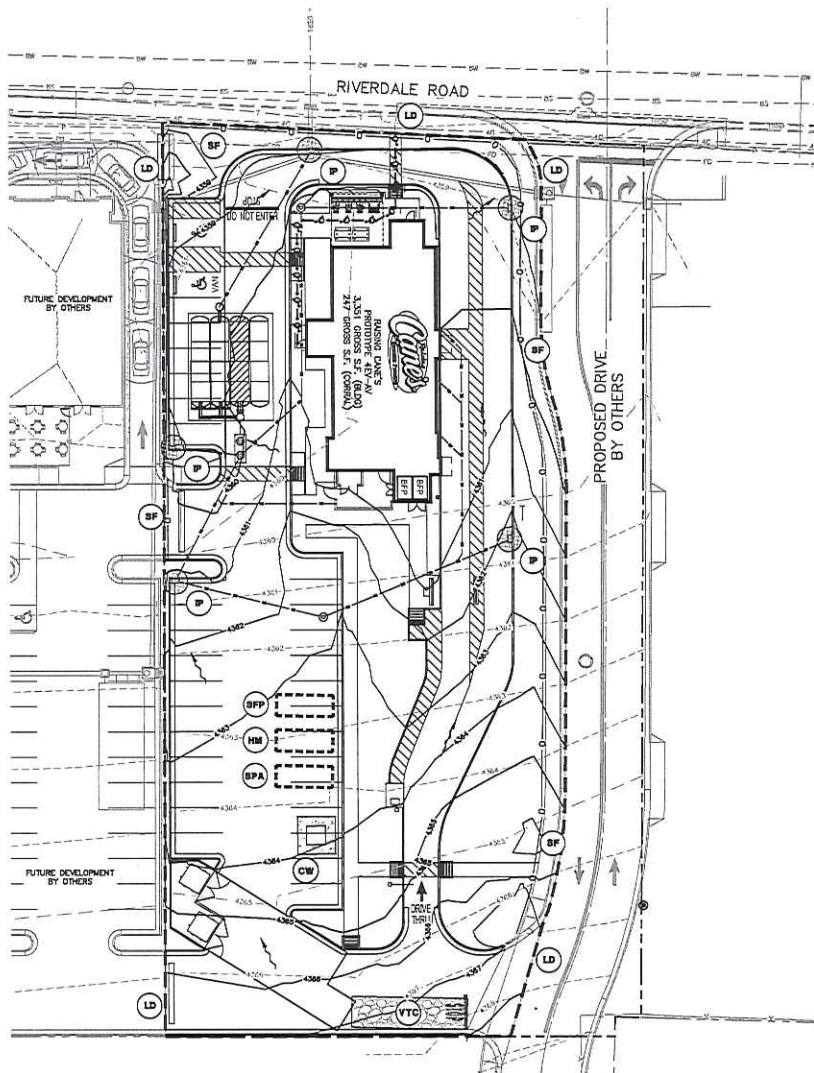
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## GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURAL IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING UNDERGROUND UTILITIES BEFORE CONSTRUCTION AND PROTECT IN PLACE UNLESS NOTED ON THE PLAN.
5. THE CONTRACTOR SHALL EXERCISE CAUTION AND USE CONSTRUCTION TECHNIQUES TO PROTECT AND PRESERVE EXISTING FOREMANET SURVEY MONUMENTS. ALL SURVEY MONUMENTS DISTURBED (PROPOSED AND EXISTING) SHALL BE REPLACED AND/OR REHABILITATED IN ACCORDANCE WITH STANDARDS BY A PROFESSIONAL LAND SURVEYOR RETAINED BY THE CONTRACTOR.

## SEQUENCE OF CONSTRUCTION

1. INSTALL PERIMETER BOUNDARY SEDIMENT CONTROLS INCLUDING STABILIZED CONSTRUCTION EXITS, SWPPP INFORMATION SIGN, HYDRAULIC CONTROL STRUCTURES (DRALES, CHECK DAMS, SEDIMENT POND, ETC.) AND SILT FENCING.
2. PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRUCKS, PARKING, LAY DOWN PORTA-POTTIES, WHEEL WASH, CONCRETE WASHOUT, HAZARDOUS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., ROUTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
3. DEMOLITION OF EXISTING IMPROVEMENTS PER SITE PLAN.
4. START MAINTAINING THE SITE AND CONSTRUCTION OF ROADS.
5. TEMPORARILY SEED ANY EXPOSED AREAS. MAINTAIN SITE PROTECTION AND STABILIZED CONSTRUCTION EXITS.
6. EXCAVATE AND INSTALL FOUNDATIONS, BUILDING FOUNDATION, ETC.
7. START VERTICAL CONSTRUCTION OF THE BUILDING.
8. FINAL GRADING OF THE SITE.
9. INSTALL CURBS AND EDGES AND SIDEWALKS.
10. INSTALL ASPHALT PARKING LOT.
11. FINAL STABILIZATION AND LANDSCAPING.

## MAINTENANCE

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. ALL SEEDING AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
2. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
3. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
4. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITION AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

## LEGEND

|  |   |
|--|---|
|  | EXISTING CONTOUR  |
|  | PROPOSED CONTOUR  |
|  | LIMITS OF DISTURBANCE   |
|  | DIRECTION OF EXISTING STORMWATER FLOW   |
|  | INSTALL VEHICLE TRACKING CONTROL - SEE DETAIL 3, SHEET C3.2   |
|  | INSTALL SILT FENCE - SEE DETAIL 1 & DETAIL 2, SHEET C3.2  |
|  | PROPOSED CONCRETE WASHOUT AREA - SEE DETAIL 4, SHEET C3.2   |
|  | CONSTRUCT DROP INLET PROTECTION - SEE DETAIL 8 & 7, SHEET C3.2  |
|  | STAGING, FUELING, PARKING, AND MAINTENANCE AREA-EXACT LOCATION AND SIZE MAY VARY OR BE RELOCATED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR UPDATING THIS PLAN TO INDICATE ANY AND ALL MODIFICATIONS. |
|  | HAZARDOUS MATERIALS AND SOLID WASTE AREA-EXACT LOCATION AND SIZE MAY VARY OR BE RELOCATED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR UPDATING THIS PLAN TO INDICATE ANY AND ALL MODIFICATIONS.        |
|  | STOCKPILE AREA-EXACT LOCATION AND SIZE MAY VARY OR BE RELOCATED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR UPDATING THIS PLAN TO INDICATE ANY AND ALL MODIFICATIONS.                                  |



### CAUTION: ADVISE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, RECONNAISSANCE TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST CRAFT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Reliable Fence Office  
4000 Filling Road, Suite 100, N. 1000  
Toll: 877-894-3107 Fax: 877-894-3101

Date:

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RIVERDALE, UT

Architect/Engineer:



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Revisions:

| # | Date | Description |
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Client Title:

**EROSION CONTROL  
PLAN**

Date:

10/22/2020

Project Number:

003010000

Location:

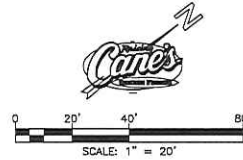
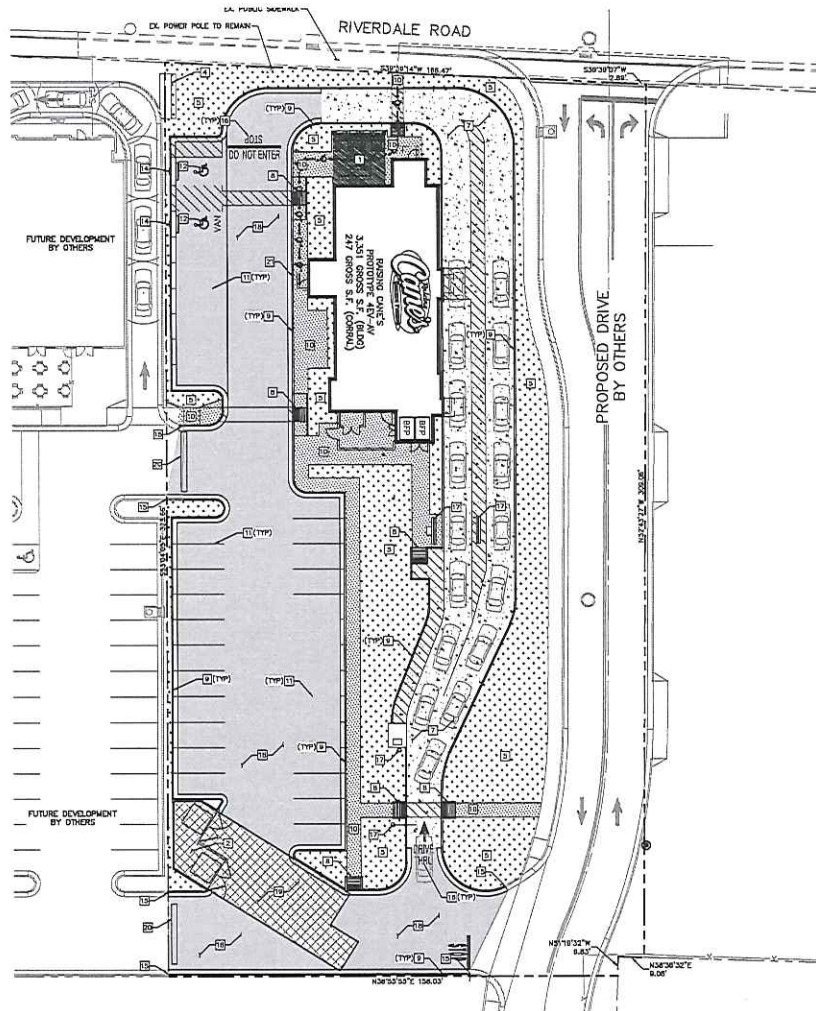
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Sheet Number:

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## GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING & ELECTRICAL PLAN.
- REFERENCE ARCHITECTURAL PLANS FOR DUMPSTER ENCLOSURE DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BIDDING.
- ALL PROPOSED PAVING IN CITY R.O.W., EASEMENTS AND FIRE LANE TO CONFORM TO CITY OF SOUTH JORDAN DETAILS AND STANDARDS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLES, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.
- PER FEMA MAP NUMBER 48057004367 DATED JUNE 2, 2015, THIS PROPERTY IS WITHIN ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- BUILDING IS FIRE SPRINKLED.

## SITE KEYNOTES

- PROPOSED COVERED PATIO.
- RECYCLING/TRASH DUMPSTER LOCATION. REFER TO ARCHITECTURAL PLANS FOR DETAILS OF SCREENING, GATES, BOLLARDS, AND MASONRY.
- PROPOSED MONUMENT SIGN LOCATION. REFER TO SIGNAGE PLAN FOR DETAIL.
- LANDSCAPE AREA (TYP.), REFER TO LANDSCAPE PLANS FOR DETAILS.
- CONSTRUCT LIGHT DUTY ASPHALT CONCRETE PAVEMENT FOR DETAIL ON SHEET C5.0.
- CONSTRUCT STANDARD DUTY PORTLAND CEMENT CONCRETE PAVEMENT FOR DETAIL ON SHEET C5.0.
- CONSTRUCT SIDEWALK RAMP AND DETECTABLE WARNING SYSTEM FOR DETAIL ON SHEET C5.1.
- CONSTRUCT 8" TYPE A VERTICAL CURB AND GUTTER FOR DETAIL ON SHEET C5.0.
- CONSTRUCT CONCRETE SIDEWALK FOR DETAIL ON SHEET C5.0.
- PAVING STRIPING. REFERENCE C5.2 - STRIPING AND SIGNAGE PLAN.
- ADA PARKING STALL FOR DETAIL ON SHEET C5.0.
- FURNISH AND INSTALL ADA SIGN AND POST. REFERENCE C5.0.
- FURNISH AND INSTALL ADA ACCESSIBLE ADA SIGN AND POST. REFERENCE C5.0.
- THE PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER WITH SMOOTH, CONTIGUOUS TRANSITION.
- DIRECTIONAL PAVEMENT MARKINGS. REFERENCE SHEET C5.2 - STRIPING AND SIGNAGE PLAN.
- DRIVE THRU ORDER BOARD, PRE-ORDER BOARD OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- CONSTRUCT STANDARD DUTY ASPHALT CONCRETE PAVEMENT FOR DETAIL ON SHEET C5.0.
- CONSTRUCT HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT FOR DETAIL ON SHEET C5.0.
- FURNISH AND INSTALL JERSEY BARRIERS.
- FURNISH AND INSTALL HANDRAIL.

## SITE INFORMATION

|                        |                     |
|------------------------|---------------------|
| SITE AREA              | 53,712 SF (1.33 AC) |
| LANDSCAPING PROVIDED   | 9,237 SF (0.21 AC)  |
| BUILDING AREA          | 3,351 SF            |
| PARKING PROVIDED       | 33 STALLS           |
| ADA ACCESSIBLE PARKING | 2 STALLS            |
| VAN ACCESSIBLE PARKING | 2 STALLS            |

## LEGEND

|  |  |
|--|--|
|  | PROPERTY LINE  |
|  | RIGHT-OF-WAY LINE  |
|  | ADJACENT PROPERTY LINE   |
|  | ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)  |
|  | STANDARD DUTY PORTLAND CEMENT CONCRETE PAVEMENT. PAVEMENT TO BE INTEGRAL BLACK COLOR. REFER TO PAVEMENT DETAILS ON SHEET C5.0. |
|  | HEAVY DUTY PORTLAND CEMENT CONCRETE PAVEMENT. PAVEMENT TO BE INTEGRAL BLACK COLOR. REFER TO PAVEMENT DETAILS ON SHEET C5.0.    |
|  | LIGHT DUTY ASPHALT CONCRETE PAVEMENT. REFER TO PAVEMENT DETAILS ON SHEET C5.0.   |
|  | STANDARD DUTY ASPHALT CONCRETE PAVEMENT. REFER TO PAVEMENT DETAILS ON SHEET C5.0.  |
|  | PROPOSED SIDEWALK PAVEMENT PER DETAIL ON SHEET C5.0.   |
|  | PROPOSED LANDSCAPE   |
|  | PROPOSED PATIO SIDEWALK PAVEMENT. REFERENCE ARCH. PLANS FOR DETAILS.   |



## CAUTION NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASURED/LOCATED TIES IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTERS AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



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Drawn

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Architectural  
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PRELIMINARY

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Revisions

| # | Date | Description |
|---|------|-------------|
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Sheet Title

**SITE KEYNOTE PLAN**

Date: 07/10/2020

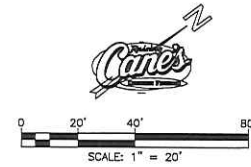
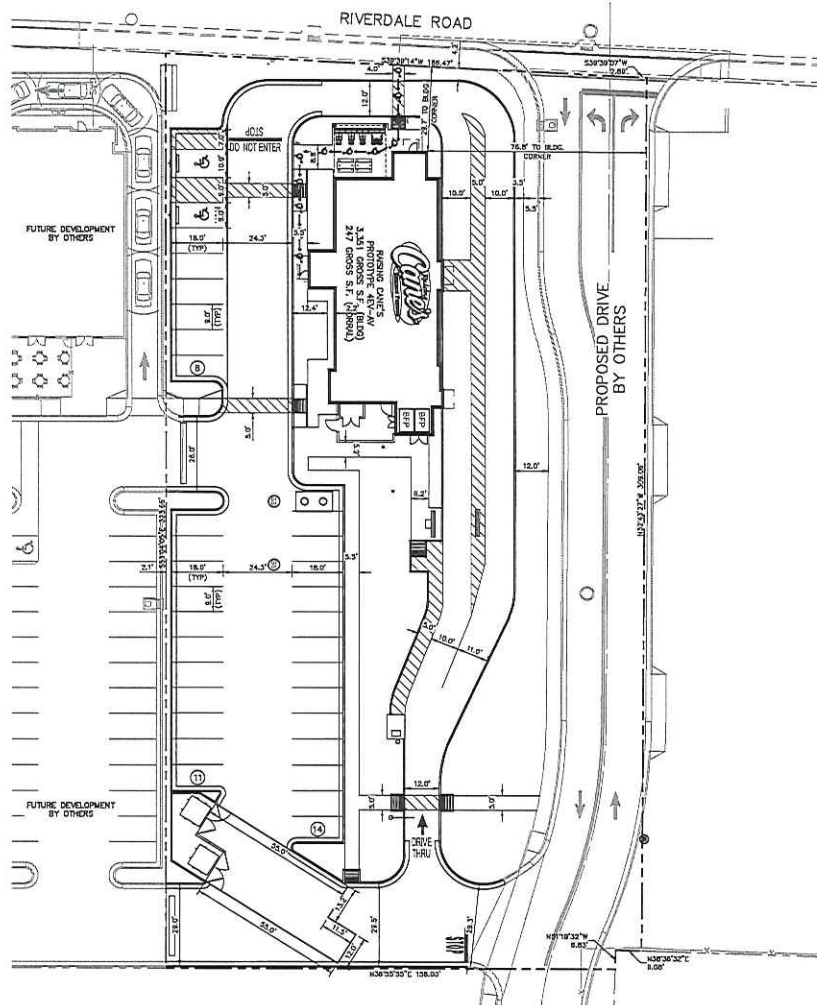
Project Number: 003810000

Drawn by: CPG

Sheet Number

**C5.0**





#### GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
2. CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
3. ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
4. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
5. ALL CURBS SHALL BE 8" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
6. REFERENCE LANDSCAPE PLANS FOR PROPOSED BUFFERS, SCREENING, AND PLANTING.

#### LEGEND

|     |                        |
|-----|------------------------|
| --- | PROPERTY LINE          |
| --- | RIGHT-OF-WAY LINE      |
| --- | ADJACENT PROPERTY LINE |
| --- | PROPOSED PARKING COUNT |



Date:

RC614 - RIVERDALE &  
500 WEST  
RIVERDALE, UT

ARCHITECT FIRM:

**PM  
DESIGN**

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twoody@pmdesign.com

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Revisions:

| # | Date | Description |
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Sheet Title:

**DIMENSION CONTROL  
PLAN**

Date:

9/7/2020

Project Number:

033610000

Drawn By:

CPS

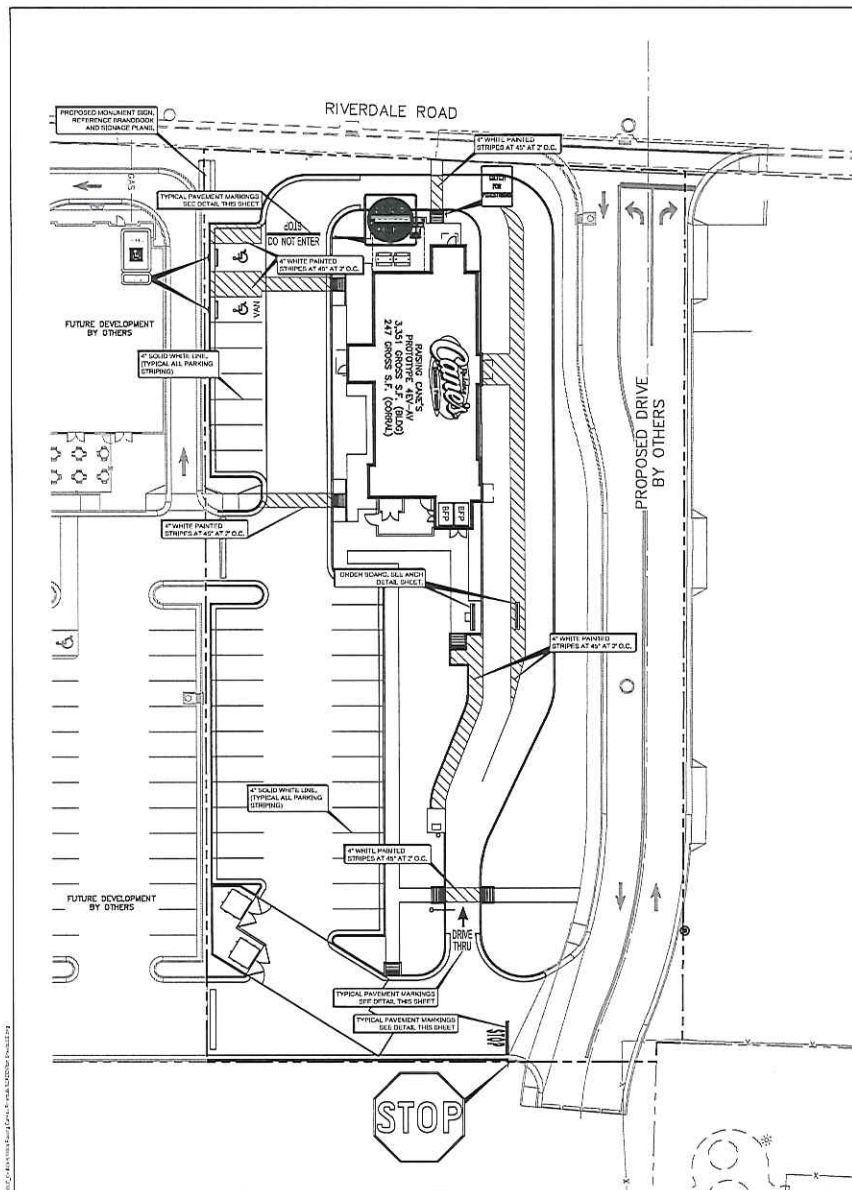
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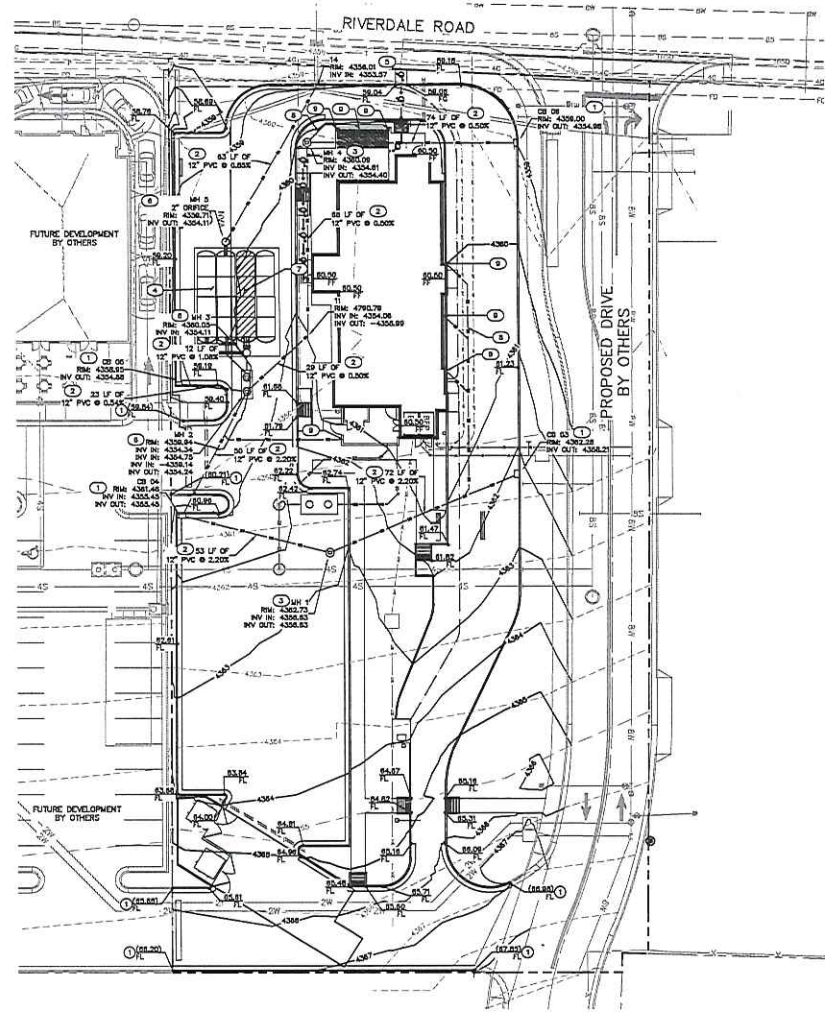


#### CAUTION NOTICE TO CONTRACTOR

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# GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH THESE PLANS AND RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERTINENT AUTHORITIES.
- THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY THE SATISFACTORY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, MINOR ADJUSTMENTS TO FINISH GRADE TO ACCOMPLISH SPOT DRAINAGE ARE ADJUSTABLE. IF NECESSARY, UPON APPROVAL OF DESIGNER, PAVING INSTALLER SHALL "FILL" OUT AT ANY JUNCTURE WITH EXISTING PAVING.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL CUT OR FILL SLOPES SHALL BE 4:1 ON FLATTER UNLESS OTHERWISE NOTED.
- EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL REGULATIONS, POINT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTIGUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT DELAY, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER FOR REVIEW.
- ALL UNSURFACED AREAS DETERMINED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPED AREAS OR STORMP. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXISTING BUILDING FOOTPRINT DIMENSIONS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND FINAL GEOTECH REPORT FOR BUILDING SUBGRADE PREPARATION REQUIREMENTS.
- CONTRACTOR SHALL ADJUST EXISTING VALVES, MANHOLE RIMS, ETC. AS NECESSARY TO MATCH FINISHED GRADE.
- ALL ELEVATIONS ARE TOP OF PAVEMENT UNLESS NOTED OTHERWISE. TO GET TOP OF CURB ELEVATIONS ADD 6" TO THE ELEVATION SHOWN.
- GRADING FOR ALL SIDEWALKS AND ACCESSIBLE ROUTES INCLUDING CROSSING DRIVEWAYS SHALL CONFORM TO ADA STANDARDS. SLOPES SHALL NOT EXCEED SIX LONGITUDINAL SLOPE OR SIX CROSS SLOPE. SIDEWALK ACCESS TO EXTERNAL BUILDING DOORS SHALL BE ADA COMPLIANT. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ADA CRITERIA CANNOT BE MET AT ANY LOCATION.
- ANY PROPOSED CONTOURS SHOWN ARE APPROXIMATE. PROPOSED SPOT ELEVATIONS AND DESIGNATED GRADIENT ARE TO BE USED IN THE EVENT OF ANY DISCREPANCIES.
- REFER TO DESIGN CONTROL PLAN FOR DESIGN CONTROL DEVICES TO BE INSTALLED PRIOR TO COMMENCING GRADING OPERATIONS.
- ALL VEGETATION SHALL BE CLEARED AND GRUBBED FOR ALL AREAS TO BE DISTURBED.
- ALL FILL TO BE PLACED SHALL BE IN ACCORDANCE WITH THE CURRENT APPLICABLE GEOTECHNICAL REPORT RECOMMENDATIONS.
- REFER TO CITY OF RIVERDALE STANDARD DETAILS FOR CONSTRUCTION OF STORM INLETS AND MANHOLES.
- CONTRACTOR TO VERIFY ALL EXISTING FLOW LINES PRIOR TO START OF CONSTRUCTION AND NOTIFY ENGINEER OF DISCREPANCIES.
- CAST-IN-PLACE STRUCTURES SHALL BE USED FOR PUBLIC STORM PER CITY REQUIREMENTS. PRE-CAST JUNCTION BOXES AND STRUCTURES IN PUBLIC EASEMENTS AND ROW REQUIRE SHIELD AND BUILT-UP JOINTS AND SHALL BE SUBMITTED TO THE CITY FOR REVIEW PRIOR TO INSTALLATION.
- ALL STORM SEWER PIPE SHALL BE 12" MIN. IN CITY EASEMENTS PER CITY CODE.
- PIPE MATERIALS RCP, HDPE, OR OTHER AS APPROVED BY RIVERDALE CITY & ECR.

# GRADING NOTES

- MATCH EXISTING.

# STORM DRAIN NOTES

- FURNISH AND INSTALL CURB INLET PER DETAIL ON SHEET C6.2.
- FURNISH AND INSTALL STORM DRAIN PIPE, SIZE, MATERIAL, AND SLOPE PER PLAN.
- FURNISH AND INSTALL STORM DRAIN MANHOLE WITH SHOUT PER DETAIL ON SHEET C6.2.
- FURNISH AND INSTALL 3.0% SLOPE UNDERGROUND STORAGE. SEE DETAILS ON SHEETS C6.2-C6.5.
- CONNECT TO EXISTING STORM DRAIN STRUCTURE. CONTRACTOR TO FIELD VERIFY INVERT ELEVATION AND NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES. CONTRACTOR TO ADJUST EX. DATE TO PROPOSED GRADE.
- FURNISH AND INSTALL STORM DRAIN MANHOLE OUTFALL WITH SHOUT PER DETAIL ON SHEET C6.2.
- UNDERGROUND DETENTION SYSTEM ISOLATOR ROW FOR REFERENCE ONLY. DO NOT PAINT.
- FURNISH AND INSTALL 8" PVC STORM DRAIN PIPE AT 1.0% MIN. SLOPE. FURNISH AND INSTALL CLEANOUTS AS SHOWN ON SHEET C6.2.
- CONTRACTOR TO COORDINATE ROOF DRAIN CONNECTIONS, REFERENCE ARCHITECTURAL ROOF PLAN.

# DETENTION CALCULATIONS

| 1.0" PER HOUR STORM RAINFALL |              |                |  |                 |
|------------------------------|--------------|----------------|--|-----------------|
| A =                          | 0.82         | ac             | Total project area                         |                 |
| Parent Area                  | 23,131       | sq             | C (Curve Number)                           | 94              |
| Building                     | 3,351        | sq             | C (Curve Number)                           | 94              |
| Landscape                    | 9,727        | sq             | C (Curve Number)                           | 75              |
| CH =                         | 52.74        |                | Weighted for development                   |                 |
| Q <sub>peak</sub> =          | 0.16         | cfs            | Allowable discharge based on 0.20 cfs/acre |                 |
| S                            | 5.79         | feet           |  |                 |
| Required Storage             |              |                |  |                 |
| Time Elapsed (min.)          | Runoff (cfs) | Runoff (cu ft) | Storage (cu ft)                            | Storage (cu ft) |
| 5                            | 0.57         | 2056           | 49   | 2057            |
| 15                           | 1.28         | 2015           | 148  | 3067            |
| 30                           | 1.40         | 2313           | 295  | 3418            |
| 60                           | 1.80         | 4058           | 560  |                 |
| 120                          | 2.00         | 4173           | 1181                                       | 2292            |
| 180                          | 2.05         | 4208           | 1771                                       | 2435            |
| 300                          | 2.27         | 4339           | 3542                                       | 756             |
| 720                          | 2.81         | 4552           | 7055                                       | 2463            |
| 1440                         | 3.12         | 4705           | 14170                                      | 2465            |
| Required Storage =           |              |                |  | 3426 cu ft.     |

# LEGEND

|     |                               |
|-----|-------------------------------|
| --- | PROPERTY LINE                 |
| --- | RIGHT-OF-WAY LINE             |
| --- | ADJACENT PROPERTY LINE        |
| --- | EXISTING IMPROVEMENTS         |
| --- | SAWTOOTH LINE                 |
| --- | GRADE BREAK                   |
| --- | EXISTING MAJOR CONTOUR        |
| --- | EXISTING MINOR CONTOUR        |
| --- | PROPOSED MAJOR CONTOUR        |
| --- | PROPOSED MINOR CONTOUR        |
| --- | EXISTING GRADE SPOT ELEVATION |
| --- | PROPOSED GRADE SPOT ELEVATION |

# ABBREVIATIONS

|       |                               |
|-------|-------------------------------|
| 72.00 | FINISHED GRADE SPOT ELEVATION |
| 71.00 | FINISHED FLOOR SPOT ELEVATION |
| 70.00 | TOP OF CURB SPOT ELEVATION    |
| 69.00 | FLOW LINE SPOT ELEVATION      |
| 68.00 | HIGH POINT SPOT ELEVATION     |

CAUTION: NOTICE TO CONTRACTOR  
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Know what's below. Call before you dig.

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Kimley-Horn and Associates, Inc.

Revisions

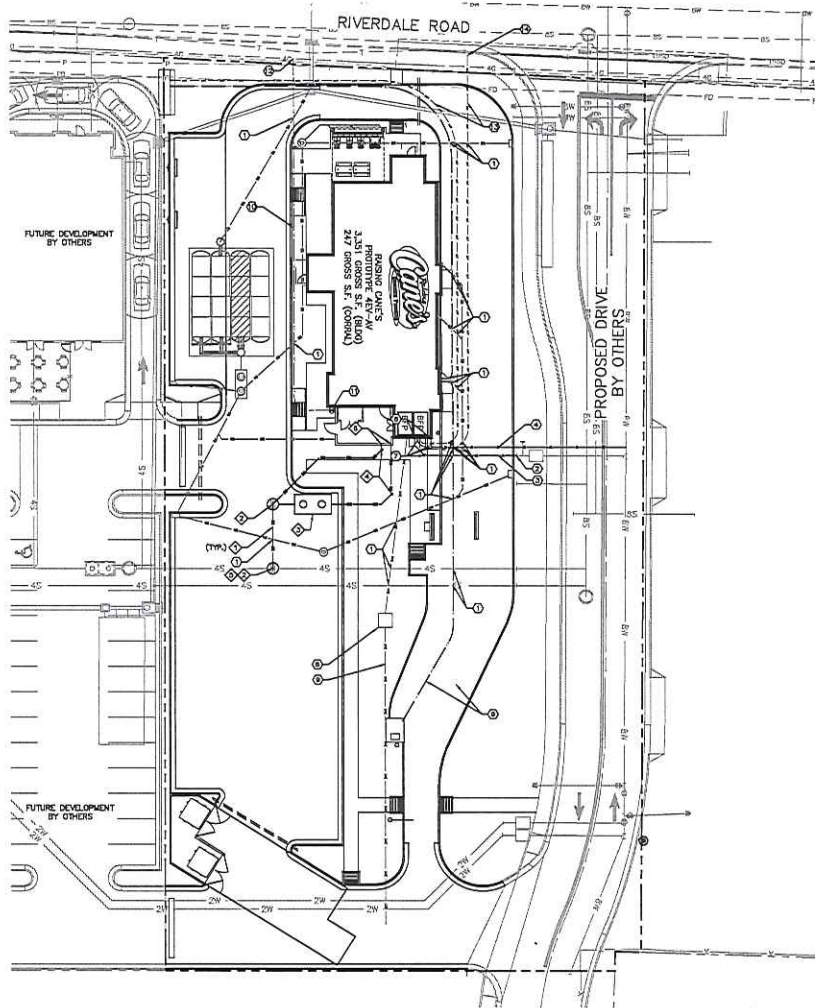
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Sheet Title:  
**GRADING AND DRAINAGE PLAN**

Date: 02/10/2020  
PROJECT NUMBER: 005010000  
Drawing by: CPB  
Sheet Number:

C6.0





SCALE: 1" = 20'



#### GENERAL NOTES

1. ALL ABOVE GROUND UTILITY APPURTENANCES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED GRADE ELEVATIONS.
2. CONTRACTOR TO FIELD VERIFY EXISTING INVERT ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
3. PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO BACKFLOW PREVENTION AND CROSS CONNECTION PREVENTION.
4. PROJECT SHALL COMPLY WITH ALL THE APWA AND RIVERDALE CITY SPECIFICATIONS AND REQUIREMENTS.
5. ALL CONSTRUCTION IN THE ORDINARY WATERLINE AND SANITARY SEWER LINE PIPE ZONE SHALL COMPLY WITH APWA AND RIVERDALE CITY SPECIFICATIONS AND REQUIREMENTS.
6. SEE MEP PLANS FOR ALL UTILITY CONNECTIONS INTO BUILDING.
7. REFER TO RIVERDALE CITY STANDARDS AND DETAILS FOR TRENCHING, BEDDING, BACKFILL, AND TRENCH COMPACTION REQUIREMENTS.
8. REFER TO ARCHITECTURE PLANS FOR LOCATION AND SIZING OF SLEEVES FOR FRANCHISE UTILITIES, IRRIGATION, ETC.
9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
11. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:  
PRIVATE: PVC SDR 35 FOR ASTM D 3034
12. WATER LINES SHALL BE AS FOLLOWS:  
PRIVATE (LARGER THAN 3 INCHES): PVC DR-18 (C-900) FOR ASTM D 2241 WITH POLYMER COATED CAST IRON OR DUCTILE IRON FITTINGS (CLASS 200).  
PRIVATE (3 INCHES OR SMALLER): TYPE "K" SOFT CORREL, ASTM B88 OR PVC DR-18 (C-900) FOR ASTM D 2241 OR ADS POTABLE WATER SERVICE TUBING (POURABLE - CTS PICKUP) (AS ALLOWED BY THE CITY, SEE NOTE 10).
13. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE RIVERDALE CITY OF WITH REGARDS TO MATERIALS AND INSTALLATION OF THE WATER LINE AND WITH UTAH DEC GUIDELINES FOR UTILITY CROSSINGS.
14. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DEFLECT ELECTRICAL, GAS, CABLE, AND TELEPHONE CONDUIT AND PIPING AS REQUIRED TO AVOID UTILITY CONFLICTS.
15. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
16. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CITY CODES AND/OR UTILITY SERVICE COMPANIES.
17. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS IN REGARDS TO TAPS, HYDRANTS, VALVES, ETC.
18. CONTRACTOR IS RESPONSIBLE FOR PAYMENT REPLACEMENT REQUIRED FOR ALL UTILITY INSTALLATIONS FOR RIVERDALE CITY STANDARDS.
19. WATER TIGHT CONNECTION SHALL BE MADE USING A RESILIENT CONNECTOR "SEAL BOOT" FOR ASTM C-923.
20. CONTRACTOR SHALL MAINTAIN A MINIMUM OF A FEET COVER ON ALL WATER LINES.
21. POLYMER BY ADS TO BE USED IN PLACE OF COVER WHEN ALLOWED BY CITY. CONTRACTOR TO VERIFY WITH CITY WHETHER IT CAN BE USED AND VERIFY WITH MEP REGARDING INTERNAL DRAINAGE FOR SUFFICIENT WATER FLOW TO BUILDING.
22. ALL SANITARY SEWER AND WATER WORK DESIGNATED AS "PRIVATE" IN THIS SET OF PLANS SHALL BE INSTALLED IN ACCORDANCE WITH THE INTERNATIONAL PLUMBING CODE, PERMITTED AND INSPECTED BY THE CITY BUILDING INSPECTION DIVISION AND INSTALLED BY A LICENSED PLUMBER.

#### UTILITY NOTES

1. CAUTION - POSSIBLE UTILITY CROSSING - FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION AND INFORM ENGINEER OF ANY DISCREPANCIES. REFER TO UTILITY CROSSING TABLE ON THIS SHEET.
2. CONNECT TO EXISTING 12" WATER METER PER APWA AND RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
3. FURNISH AND INSTALL 2" WATER LINE PER APWA AND RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
4. FURNISH AND INSTALL 6" FIRE WATER LINE PER APWA AND RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
5. NOT USED.
6. STUB AND CAP SERVICE. SEE MEP PLANS BY OTHERS FOR CONTINUATION.
7. FURNISH AND INSTALL BEDD WITH THRUST BLOCK PER APWA STANDARDS AND SPECIFICATIONS.
8. PROPOSED TRANSFORMER. CONTRACTOR SHALL COORDINATE CONNECTION AND LINE WITH RUSTY MOUNTAIN POWER.
9. FURNISH AND INSTALL (1) 8" PVC CONDUIT FOR ELECTRICAL SERVICE.
10. PROPOSED GAS LINE.
11. PROPOSED GAS METER.
12. CONNECT TO EXISTING GAS LINE TO BE INSTALLED BY OTHERS. COORDINATE CONNECTION WITH COMMON CORDCO.
13. FURNISH AND INSTALL (2) 4" PVC CONDUIT FOR TELEPHONE SERVICE.
14. CONNECT TO EXISTING TELEPHONE SERVICE. CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING SERVICE AND INFORM ENGINEER OF ANY DISCREPANCIES.

#### SANITARY SEWER NOTES

- 1. FURNISH AND INSTALL 6" PVC SANITARY SEWER LINE PER RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- 2. FURNISH AND INSTALL SANITARY SEWER MANHOLE FOR RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- 3. FURNISH AND INSTALL GREASE INTERCEPTOR FOR RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- 4. FURNISH AND INSTALL SANITARY SEWER CLEANOUT FOR RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- 5. CONNECT TO EXISTING RIVERDALE CITY SANITARY SEWER FOR RIVERDALE CITY STANDARDS AND SPECIFICATIONS.
- 6. STUB AND CAP SERVICE. SEE PLUMBING PLANS BY OTHERS FOR CONTINUATION.

#### LEGEND

|       |                              |
|-------|------------------------------|
| ---   | PROPERTY LINE                |
| ---   | PROPOSED CURB IMPROVEMENTS   |
| W---  | EXISTING WATER LINE          |
| ---   | PROPOSED WATER LINE          |
| S---  | EXISTING SANITARY SEWER LINE |
| ---   | PROPOSED SANITARY SEWER LINE |
| G---  | EXISTING GAS LINE            |
| ---   | PROPOSED GAS LINE            |
| E---  | EXISTING POWER LINE          |
| ---   | PROPOSED POWER LINE          |
| SD--- | EXISTING STORM DRAIN LINE    |
| ---   | PROPOSED STORM DRAIN LINE    |
| PO--- | PROPOSED POWER POLE          |

CALL BEFORE YOU DIG.  
811  
Know where below.  
Call before you dig.

CAUTION NOTICE TO CONTRACTOR  
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Date:

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Architect/Engineer:

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Revisions:

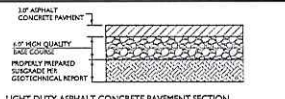
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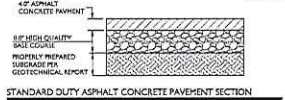
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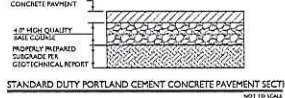
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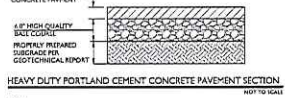
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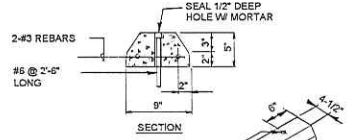


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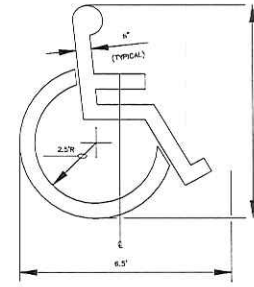
NOTE:  
1. PORTLAND CEMENT CONCRETE SHALL BE PROPERLY PLACED AND COMPACTED ACCORDING TO THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED SEPTEMBER 1, 2004.  
2. PORTLAND CEMENT CONCRETE PAVEMENT TO BE STAINED BLACK, PRICING TO BE INCLUDED IN BID AS PER ITEM CONFORM WITH THE CONSTRUCTION MANUAL PRIOR TO CONSTRUCTION.

1 PAVEMENT SECTIONS

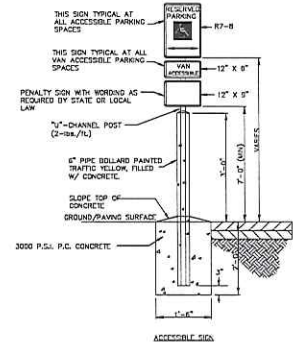
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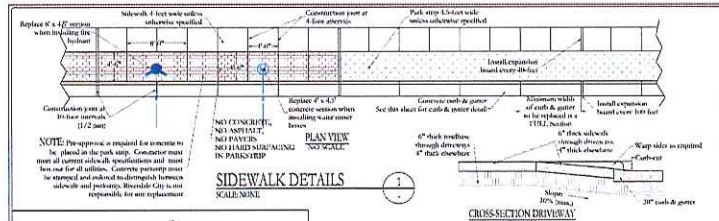
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4 ADA PAVEMENT MARKING DETAIL

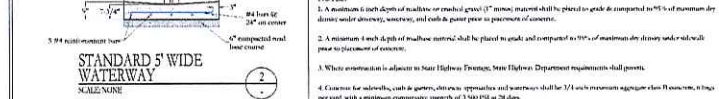
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5 ADA PARKING SIGN DETAIL

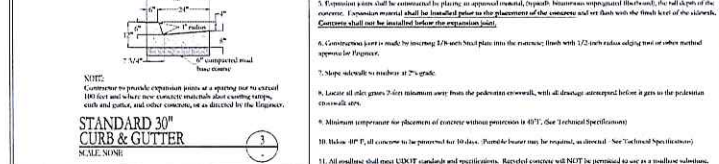
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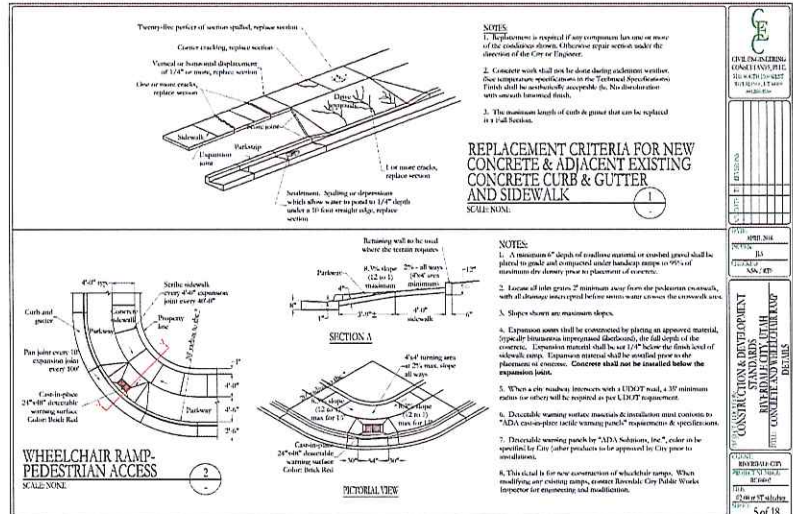
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SCALE: NINE

- NOTES:
1. A minimum 1 inch depth of sealcoat or crushed gravel (3\"/>

CONSTRUCTION AND DEVELOPMENT STANDARDS  
SALT LAKE CITY  
5 of 18



SCALE: NINE

- NOTES:
1. Replacement is required if any component has one or more of the conditions shown. Otherwise repair section under the direction of the City or Engineer.
  2. Concrete work shall not be done during inclement weather. One temperature specification in the Technical Specifications. Finish shall be aesthetically acceptable. No discoloration with overall finished finish.
  3. The maximum length of curb & gutter that can be replaced is 1 full block.

### REPLACEMENT CRITERIA FOR NEW CONCRETE & ADJACENT EXISTING CONCRETE CURB & GUTTER AND SIDEWALK

SCALE: NINE

- NOTES:
1. A minimum 6\"/>



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| Revisions | Date | Description |
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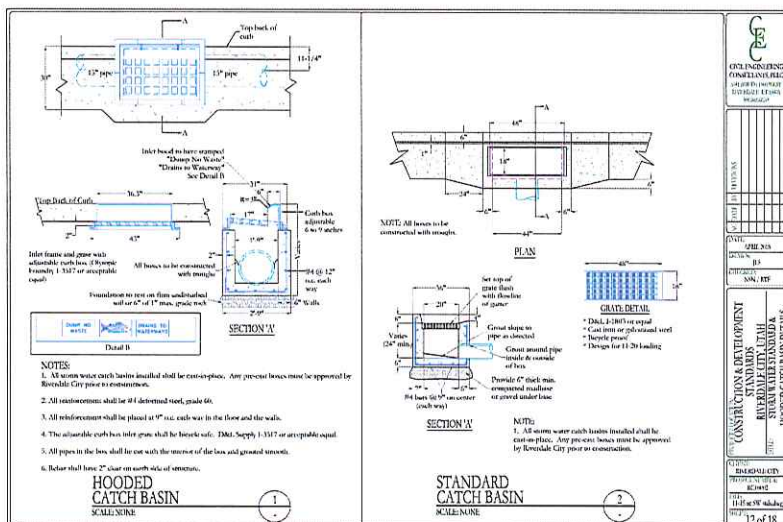
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Project Number: 033010003  
Client: CPE  
Sheet Number:

C8.0









**Raising Cane's**  
CHICKEN FINGERS

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**P/M**  
**DESIGN**  
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Solutions Group

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Suite B-270  
Centennial, CO 80112  
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E-MAIL:  
twoody@pmdginc.com

**Kimley»Horn**

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SUITE 600  
SALT LAKE CITY, UT 84111  
PH: 385-212-3170

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CONSTRUCTION  
**Kimley-Horn**  
Kimley-Horn and Associates, Inc.

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CONSTRUCTION  
DETAILS

|                |           |
|----------------|-----------|
| Date           | 9/21/2020 |
| Project Number | 033510000 |
| Drawn by       | CPB       |

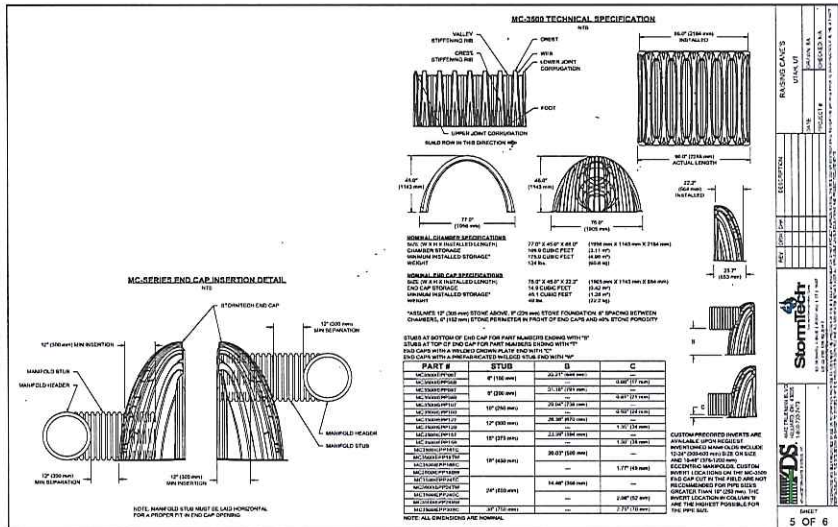
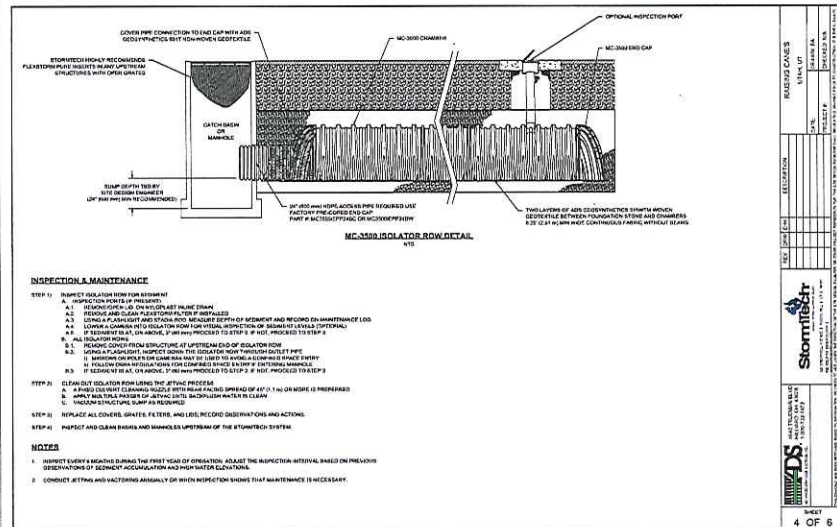
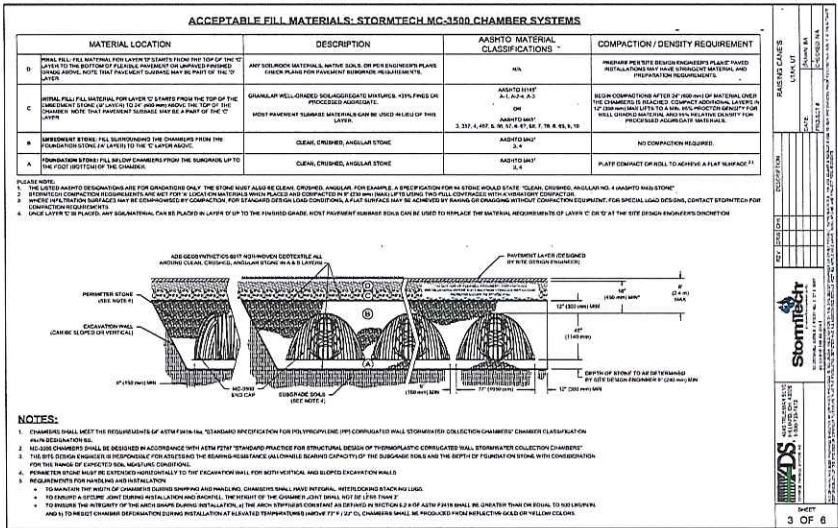
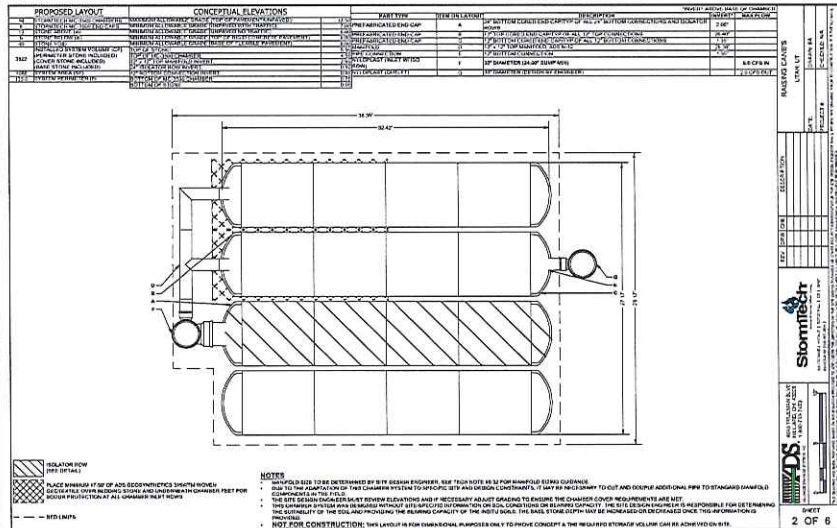
**Credit Number:**

Chief Nurse:

C8.2







**Reliable Concrete**

Reliable Concrete Co., Inc.  
4000 E. 10th Ave., Suite 100  
Denver, CO 80231  
Tel: 303-733-1000 Fax: 303-733-1001

**RC614 - RIVERDALE & 500 WEST RIVERDALE, UT**

**PM DESIGN**  
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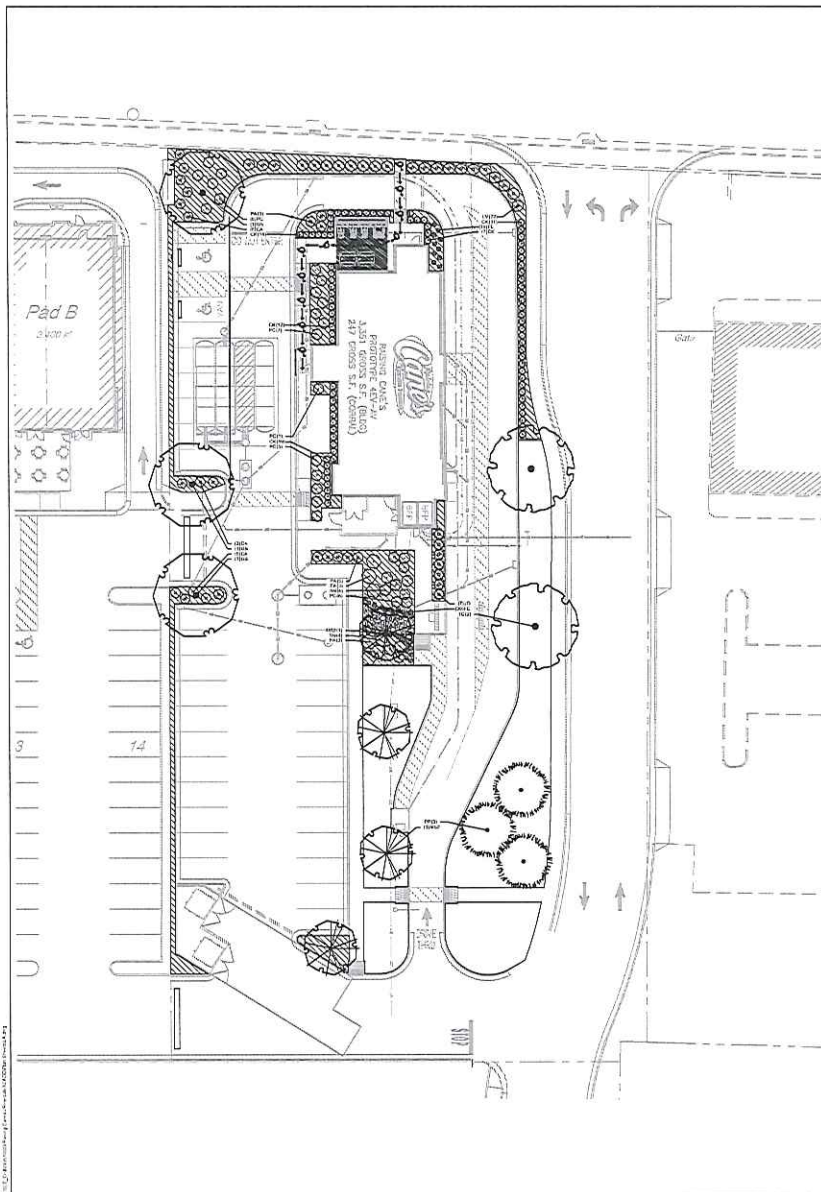
**CONSTRUCTION DETAILS**

Date: 07/19/2020  
Project Number: 00310000  
Client: CPE

**C8.4**







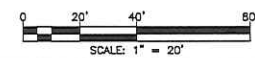
# PLANT SCHEDULE

| PERENNIAL TREES | CODE     | QTY | BOTANICAL NAME                              | COMMON NAME              | CONT. | CAL.       | SPC.               |
|-----------------|----------|-----|---|--------------------------|-------|------------|--------------------|
| OS              | 3        |     | OLESTIA THACANTHOS 'SKYLARK'                | SKYLARK HONEYLOCUST      | 9.0.0 | 2" CAL MIN | 8' - 10' HT. MIN.  |
| TC              | 3        |     | TELA CORDATA                                | LITTLE FLAT LINDEN       | 9.0.0 | 2" CAL MIN | 12' - 14' HT. MIN. |
| DECIDUOUS TREES | CODE     | QTY | BOTANICAL NAME                              | COMMON NAME              | CONT. | CAL.       | SPC.               |
| PP              | 3        |     | PRUNUS PANDOROSA                            | PANDOROSA PRUNE          | 9.0.0 | 2" CAL MIN | 6' HT. MIN.        |
| PERENNIAL TREES | CODE     | QTY | BOTANICAL NAME                              | COMMON NAME              | CONT. | CAL.       | SPC.               |
| MS2             | 4        |     | MALUS 'SPRING SNOW'                         | SPRING SNOW CRABAPPLE    | 9.0.0 | 2" CAL MIN | 12' - 14' HT. MIN. |
| SHRUBS          | CODE     | QTY | BOTANICAL NAME                              | COMMON NAME              | CONT. | CAL.       | SPC.               |
| GA              | 14       |     | CORNUS SERICEA 'ARCTIC FIRE'                | ARCTIC FIRE DOGWOOD      | 5.0.0 | SEE PLAN   | 24" FULL           |
| OK              | 87       |     | ORNITHOGLOSSUM X ACUTIFLORUM 'KARL FOULSTY' | FEATHER REED GRASS       | 5.0.0 | SEE PLAN   | 18" HT. MIN.       |
| FA              | 8        |     | FORSYTHIA X 'ANNOLD'S DWARF'                | ANNOLD'S DWARF FORSYTHIA | 5.0.0 | SEE PLAN   | 18" FULL           |
| FE              | 40       |     | FERTUGA QUACA 'ELIAN BLUE'                  | BLUE VESICUE             | 1.0.0 | SEE PLAN   | 12" FULL           |
| JO              | 7        |     | JANPERULIS X 'MEDA 'OLD GOLD''              | OLD GOLD JUMPER          | 5.0.0 | SEE PLAN   | 24" FULL           |
| LV              | 22       |     | LOQUETUM VULGARIS 'LOOSE'                   | LOOSE PRIVET             | 5.0.0 | SEE PLAN   | 24" FULL           |
| PA              | 8        |     | PACHYCLADIA 'RUGOSA'                        | RUGOSA SAGE              | 5.0.0 | SEE PLAN   | 18" FULL           |
| PC              | 25       |     | PRUNUS MUSA 'COMPACTA'                      | DWARF MUSA PRUNE         | 5.0.0 | SEE PLAN   | 24" FULL           |
| SH              | 8        |     | SPIRAEA 'SHONAMOUNT'                        | SHONAMOUNT SPIRAEA       | 5.0.0 | SEE PLAN   | 18" FULL           |
| GROUND COVER    | CODE     | QTY | BOTANICAL NAME                              | COMMON NAME              | CONT. | CAL.       | SPC.               |
| RM              | 3,000 SF |     | ROCK MULCH                                  | 1" - 2" DEEP ROCK MULCH  | -     | -          | -                  |
| RM2             | 120 SF   |     | ROCK MULCH                                  | 2" - 4" DEEP ROCK MULCH  | -     | -          | -                  |
| SOD             | 5,181 SF |     | Poa PRATENSIS                               | KENTUCKY BLUEGRASS       | 5.0.0 | 5.0.0      | -                  |

| NET SITE AREA (SF) | PERCENT MINIMUM LANDSCAPE AREA (%) | LANDSCAPE AREA (SF)  | TREES (1/5,000 SF OF LOT AREA) REQ. / PROV. |
|--------------------|------------------------------------|----------------------|---|
| 52,483             | 20%                                | 10,497 SF / 5,248 SF | 13 TREES / 21 TREES                         |

## LANDSCAPE REQUIREMENTS

1. RAISING CANES SITE NEEDS TO BE 100 PERCENT READY FOR LANDSCAPE INSTALLATION AND LANDRY'S LANDSCAPE WILL MAKE A SITE VISIT THE WEEK BEFORE THE SCHEDULED INSTALL TO CONFIRM THAT THE SITE IS COMPLETED AND READY FOR INSTALLATION.
2. LANDRY'S LANDSCAPE WILL PERFORM FINAL FINE GRADING OF THE SITE'S TOP 4 INCH OF LANDSCAPE AREAS PRIOR TO SOD INSTALLATION. ALL OTHER SITE GRADING TO BE DONE BY THE GENERAL CONTRACTOR.
3. BEFORE INITIAL LANDSCAPE INSTALLATION AND FINAL FINE GRADING, ALL DEBRIS IS TO BE REMOVED FROM THE SITE'S LANDSCAPE AREAS BY THE GENERAL CONTRACTOR (INCLUDING BUT NOT LIMITED TO) ALL CONCRETE DEBRIS, TRASH, AND WOOD FORMS.
4. FINAL SITE CLEANUP AND PRESSURE WASHING IS TO BE CONDUCTED BY THE GENERAL CONTRACTOR. LANDRY'S LANDSCAPE WILL REMOVE ALL TRASH AND MATERIAL RELATED TO THE LANDSCAPE INSTALL ALONG WITH PRESSURE WASHING ANY DISTURBED AREAS DUE TO THE INSTALL AND BLOW THE SITE CLEAN UPON COMPLETION. ANY ADDITIONAL PRESSURE WASHING SERVICES LANDRY'S CAN PROVIDE FOR AN ADDITIONAL CHARGE.
5. CONTRACTOR TO REPLACE ANY DAMAGED EXISTING LANDSCAPE IN KIND.



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**CAUTION: NOTICE TO CONTRACTOR**

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REDUCE EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROVIDED INFORMATION SHOWN ON THE PLANS.



**RC614 - RIVERDALE & 500 WEST RIVERDALE, UT**

Architectural:

**PM DESIGN**

Architectural Solutions Group

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**PRELIMINARY**

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Kimley-Horn and Associates, Inc.

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Residential Support Office  
8800 Bishop Road, Reno, NV 89521  
TEL: 775-785-3333 Fax: 775-785-1811

Date:

RC614 - RIVERDALE &  
500 WEST  
RIVERDALE, UT

Architect/Engineer



Architectural  
Solutions Group

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Revisions:

| # | Date | Description |
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Draw Title:

LANDSCAPE DETAILS

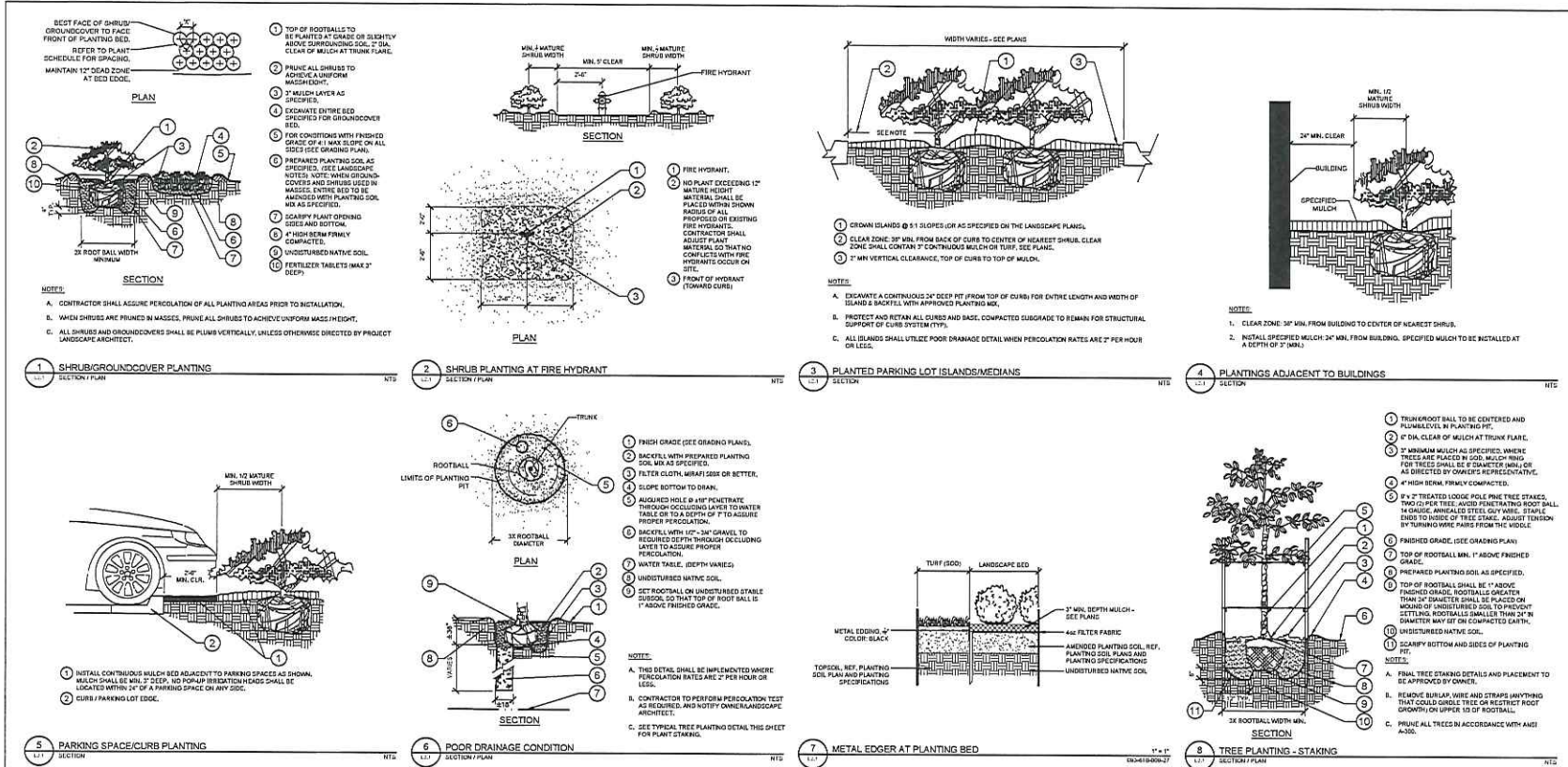
Date: 9/7/2020

Project Number: 032019039

Drawn by: CFS

Draw Number:

L2.1



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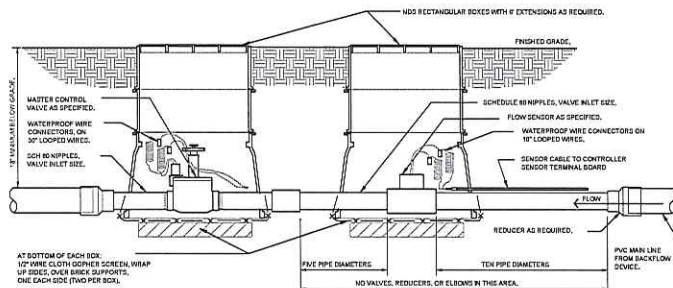


# GENERAL IRRIGATION SPECIFICATIONS AND NOTES

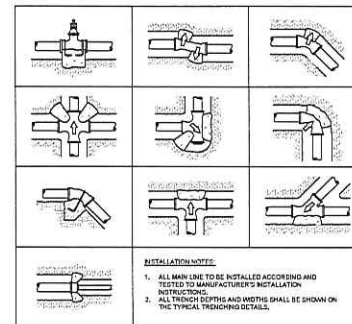
- THE SYSTEM SHALL BE DESIGNED TO PROVIDE 100% COVERAGE. ANY CHANGES MADE IN THE LAYOUT DUE TO FIELD CONDITIONS SHALL BE IN ACCORDANCE WITH THESE STANDARDS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CHANGES IN PLANS OR SPECIFICATIONS PRIOR TO BEGINNING OR CONTINUING WORK. THIS PLAN IS SCHEMATIC AND DUE TO THE NATURE OF CONSTRUCTION SLIGHT FIELD MODIFICATIONS MAY BE NECESSARY TO IMPLEMENT PLAN.
- THE CONTRACTOR SHALL MAKE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS TO THIS PLAN WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION SHALL CONFORM TO TOWN, COUNTY, STATE, AND FEDERAL REQUIREMENTS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF IRRIGATION SYSTEM. ALL UTILITIES AND STRUCTURES MAY NOT BE SHOWN ON THESE PLANS-CONTRACTOR SHALL FIELD VERIFY.
- CONTRACTOR TO VERIFY ACTUAL AVAILABLE WATER PRESSURE BEFORE BEGINNING INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF AVAILABLE WATER PRESSURE EXCEEDS 5 PSI HIGHER OR LOWER THAN AVAILABLE WATER PRESSURE. REFER TO CRITICAL ANALYSIS FOR ASSUMED STATIC PRESSURE.
- CONTRACTOR TO FIELD VERIFY ALL POINT OF CONNECTION SOURCE INFORMATION INCLUDING PSI AND GPM PRIOR TO CONSTRUCTION.
- IRRIGATION DESIGN IS SCHEMATIC ONLY. FULL AND COMPLETE SHOP DRAWINGS SHALL BE SUBMITTED FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL COORDINATE WITH THE PLANTING PLAN FOR PLANTER BEDS AND TREE LOCATIONS TO ENSURE ALL PLANT MATERIAL IS COVERED BY 100% HAD-TO-HAD IRRIGATION.
- CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS OF THE FINAL INSTALLATION TO OWNER AT SUBSTANTIAL COMPLETION BEFORE RECEIVING FINAL PAYMENT.
- IRRIGATION CONTRACTOR TO COORDINATE POWER SUPPLY TO ELECTRIC CONTROLLERS WITH ELECTRICAL CONTRACTOR.
- IRRIGATION CONTRACTOR SHALL SECURE ANY AND ALL NECESSARY PERMITS FOR THE WORK PRIOR TO COMMENCEMENT OF THE IRRIGATION CONTRACTOR TO ENSURE THAT ALL IRRIGATION EQUIPMENT MEETS GOVERNMENT REGULATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS OR APPROVALS.
- IRRIGATION LATERAL LINES, MAIN LINES AND EQUIPMENT ARE TO BE WITHIN AND INSTALLED WITHIN THE LIMITS OF THE PROPERTY LINE.
- LOCATE ALL IRRIGATION LINES WITHIN LANDSCAPED AREAS WHENEVER POSSIBLE. ALL LINES UNDER PAVEMENT MUST BE SLEEVED. ALL VALVES SHALL BE LOCATED WITHIN LANDSCAPED AREAS AS SPECIFIED.
- IRRIGATION SYSTEMS CONNECTED TO POTABLE WATER SUPPLY SHALL HAVE A BACKFLOW PREVENTER INSTALLED.
- SUPPLY LINE AND METER TO BE PROVIDED BY GENERAL CONTRACTOR. BACKFLOW PREVENTER TO BE PROVIDED BY IRRIGATION CONTRACTOR. IRRIGATION CONTRACTOR'S POINT OF CONNECTION TO BEGIN AFTER THE IRRIGATION WATER METER.
- INSTALL ALL BACKFLOW PREVENTION DEVICES AND ALL PIPING BETWEEN THE POINT OF CONNECTION AND THE BACKFLOW PREVENTER AS PER LOCAL CODES. FINAL LOCATION SHALL BE DETERMINED BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR TO COORDINATE LOCATION OF ALL METERS AND BACKFLOW ASSEMBLIES WITH PROJECT OWNER.
- THE IRRIGATION CONTRACTOR SHALL BE DIRECTLY RESPONSIBLE FOR SLEEVING AND DIRECTIONAL BORES.
- EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM DAMAGE. DO NOT TRIM OR EXCAVATE WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- ALL SLEEVES UTILIZED BY THE IRRIGATION CONTRACTOR WHETHER INSTALLED BY HAND OR NOT, SHALL BE LOCATED ON THE NEAREST SIDEWALK OR DRIVE. THE DEPTH BELOW GRADE TO THE NEAREST FOOT OF EACH END OF THE SLEEVE SHALL BE NOTED AT EACH SLEEVE LOCATION ON THE "AS-BUILT" DRAWINGS. ALL SLEEVES ON MAIN OR LATERAL LINES AND UNDER EXISTING PAVEMENT SHALL BE 2" MIN. DEEPER THAN THE PIPE IT CARRIES. ALL IRRIGATION SLEEVES TO BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR. ELECTRICAL WIRES FOR IRRIGATION VALVES AND IRRIGATION LINES ARE TO BE PLACED IN SEPARATE SLEEVES. SEE SLEEVING DETAIL.
- ALL PRESSURIZED MAINLINE AND LATERALS UNDER PAVEMENT SHALL BE WITHIN SLEEVES AS NOTED. WHERE ELECTRIC OR HYDRAULIC VALVE CONTROL LINES PASS THROUGH A SLEEVE WITH OTHER MAIN OR LATERAL LINES THEY SHALL BE CONTAINED WITHIN A SEPARATE, SMALLER CONDUIT.
- SLEEVES UNDER EXISTING PAVEMENT MUST BE DIRECTIONAL BORE, OPEN CUT IS NOT AN OPTION.
- NUMBER THE TOP OF ALL VALVE BOX LIDS WITH MINIMUM 1" HEIGHT BLACK LETTERS TO CORRESPOND TO AUTOMATIC AND GATE VALVE DESIGNATIONS. ALL THESE BORE VALVE BOXES SHALL BE LABELED IN A CLEAR MANNER WITH THE DESIGNATION "V" LETTER OUTSIDE OF THE CLOCK CASKETS TO CORRESPOND WITH IRRIGATION CLOCK PROGRAM DESIGNATION.
- THE IRRIGATION CONTRACTOR SHALL INSTALL A COLOR CODED METAL DETECTABLE MARKING TAPE WHICH CLEANSY NOTES "CAUTION IRRIGATION LINE BORED BELOW". THE TAPE SHALL BE INSTALLED THE FULL LENGTH OF THE IRRIGATION MAINLINE.
- ALL VALVES, SPLICES WITHIN CONTROL LINES, AND QUICK COUPLERS SHALL BE LOCATED WITHIN VALVE BOXES.
- ALL UNIZED PIPE SHALL BE 3/4" UNLESS OTHERWISE NOTED ON PLAN. SEE LATERAL PIPE SIZING REQUIREMENTS.
- LOCATE ALL VALVES IN PLANTING BEDS WITH A MINIMUM OF 3/4" FROM BACK OF CURB OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED. PIPE LIES ON OTHER SIDE OF SECTION VALVES CONNECTING MAINLINE TO SECTION LATERAL. SHALL BE ONE (1) PIPE SIZE LARGER THAN VALVE SIZE. WIDE MAINLINES RUN PARALLEL TO PROXIMITY OR CURBING. THE MAINLINE SHALL BE OFFSET 2" FROM THE EDGE OF PAVEMENT OR CURB.
- IRRIGATION ZONES SHALL BE SEPARATED FOR HIGH AND LOW WATER USE REQUIREMENTS AND OPERATED ON DIFFERENT WATERING CYCLES. SUBSILERS, DROPSIE, AND SPRAY HEADS SHALL BE SEPARATED ON DIFFERENT VALVES. AT THE SAME TIME MULTIPLE IRRIGATION HEAD TYPES BE LOCATED ON THE SAME VALVE.
- ALL DRIP ZONES SHALL BE INSTALLED WITH A FLUSH VALVE AND DRIP INDICATOR.
- IRRIGATION CONTRACTOR TO COORDINATE WITH OWNER FOR FINAL CONTROLLER AND RAIN SENSOR LOCATIONS. THE CONTROLLER SHALL BE PLACED IN A LOCKING CABINET APPROPRIATE FOR ITS LOCATION (INDOOR VS. OUTDOOR USE).
- IRRIGATION CONTRACTOR SHALL REVIEW WATERIZATION PROCEDURES FOR IRRIGATION SYSTEM WITH OWNERS REPRESENTATIVE.
- LOCATE THE AUTOMATIC RAIN / FREEZE SENSOR SHUTOFF DEVICE IN AN AREA THAT IS UNOCCUPIED BY TREES, ROOF OVERHANGS, OR ANY OTHER OVERHEAD OBJECT. THE SENSOR SHALL NOT BE PLACED WITHIN THE SPRAY ZONE OF ANY SPRINKLER HEAD. INCLUDING OPPOSITE SITE. IRRIGATION CONTRACTOR SHALL LOCATE SENSOR WITHIN CLOSE PROXIMITY TO THE IRRIGATION CONTROLLER.
- CONTRACTOR SHALL PERFORM HYDRO-TESTING OF MAIN LINES.

## HYDRO-TESTING TO BE PERFORMED AS LISTED:

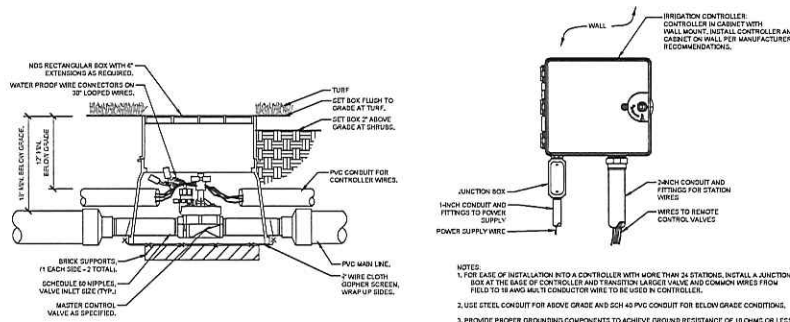
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FORTY-EIGHT (48) HOURS IN ADVANCE OF TESTING. PRIOR TO BACKFILLING, CONTRACTOR SHALL FILL PIPING WITH WATER. IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE, TAKE CARE TO PUMP THE AIR FROM THE PIPING. CONTRACTOR SHALL PRESSURE PUMP OR OTHER MEANS OF MAINTAINING A CONTINUOUS WATER SUPPLY SHALL BE CONNECTED TO THE PIPING AND SET 50 AS TO MAINTAIN 125 PSI FOR TWO (2) HOURS WITHOUT INTERUPTION. CONTRACTOR SHALL MAKE ANY NECESSARY CORRECTIONS AND RETEST THE SYSTEM UNTIL THE OWNER'S REPRESENTATIVE IS SATISFIED THAT THE SYSTEM IS READY FOR CONSTRUCTION.
- ALL WIRING FOR CONNECTION OF THE VALVES TO THE CONTROLLER SHALL FOLLOW MANUFACTURERS SPECIFICATIONS.
- ALL CONTROL WIRE SHALL BE INSTALLED IN A 1/2" ELECTRICAL CONDUIT.
- CONTRACTOR TO MINIMIZE IRRIGATION OVERTHROW TO IMPERVIOUS AND NATURAL AREAS THROUGH FIELD ADJUSTMENTS TO INDIVIDUAL HEADS.
- ALL UNIMPROVED AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION BY THE CONTRACTOR.
- ALL PLANT MATERIAL IN TREE HOLDING AREAS SHALL BE MANUALLY WATERED/IRRIGATED TO KEEP MOIST UNTIL PLANTED.



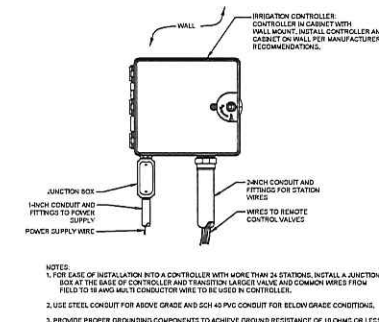
1 MASTER CONTROL VALVE / FLOW SENSOR ASSEMBLY



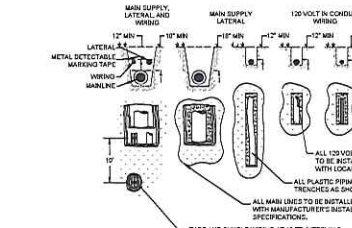
2 TYPICAL THRUST BLOCK



3 MASTER CONTROL VALVE



4 IRRIGATION CONTROLLER - WALL MOUNT



5 TYPICAL TRENCHING



RC614 - RIVERDALE &  
500 WEST  
RIVERDALE, UT

Architect/Owner

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twoody@pmaghc.com

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PH: 365-212-3176

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**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

| Revision | Date | Description |
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## IRRIGATION NOTES AND DETAILS

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| Date:           | 07/10/2010 |
| Project Number: | 003510000  |
| Quantity:       | 000        |
| Sheet Number:   |            |

IR2.0



CAUTION NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH COME UP WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.





Rising Canes Irrigation  
800 Bishop Road, Reno, NV 89504  
Tel: 775-784-0303 Fax: 775-784-0301

Class

RC614 - RIVERDALE &  
500 WEST  
RIVERDALE, UT

Architect/Manufacturer

**PM  
DESIGN**

Architectural  
Solutions Group  
7200 South Allon Way  
Suite B-200  
Centennial, CO 80112  
Ph: 303.222.7921  
E-mail:  
hwoody@pmdginc.com

**Kimley»Horn**

111 EAST BROADWAY  
SUITE 600  
SALT LAKE CITY, UT 84111  
Ph: 353-1123/1776

FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION  
**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

Revisions

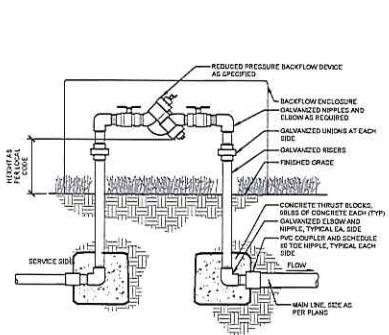
| # | Date | Description |
|---|------|-------------|
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |
|   |      |             |

Sheet Title:

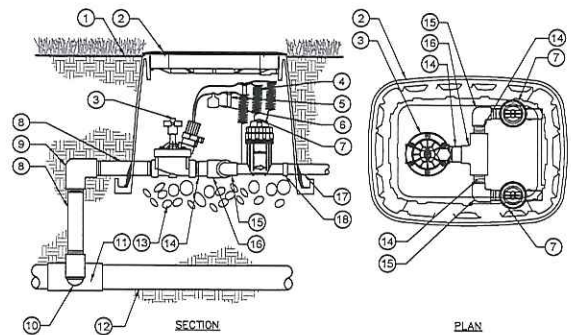
**IRRIGATION DETAILS**

Date: 02/10/2010  
Project Number: 003010000  
Drawn by: CPH  
Check Number:

IR2.1

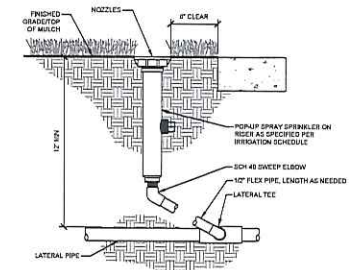


6 BACKFLOW PREVENTER  
SECTION

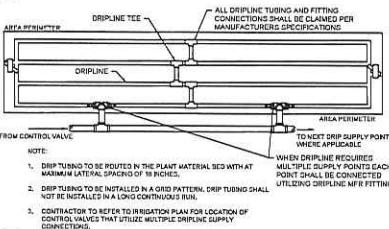


7 DRIP ZONE VALVE KIT  
SECTION/PLAN

- 1 FINISH GRADE TOP OF MULCH
- 2 VALVE BOX WITH LOCKING COVER
- 3 REMOTE CONTROL VALVE
- 4 3/4" LINEAR LENGTH OF WIRE, COILED
- 5 WATERPROOF CONNECTION
- 6 DI TAG
- 7 PRESSURE REGULATING QUICK CHECK BACKET FILTER
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (RANCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 11 PVC SCH 40 TEE OR ELL
- 12 6" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 13 PVC SCH 80 NIPPLE, CLOSE
- 14 PVC SCH 40 TEE
- 15 PVC SCH 40 TEE
- 16 LATERAL PIPE
- 17 PVC SCH 40 FEMALE ADAPTOR

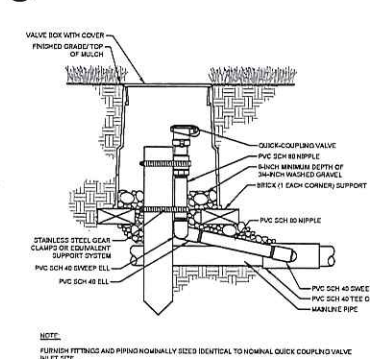


8 TYPICAL SPRAY / ROTAR HEAD  
SECTION

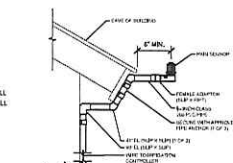


9 TYPICAL DRIPLINE  
PLAN

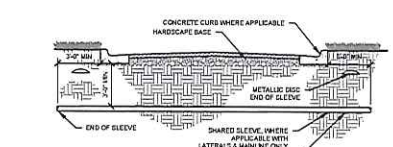
- 1 FINISH GRADE TOP OF MULCH
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- 14 PVC SCH 40 TEE
- 15 PVC SCH 40 TEE
- 16 LATERAL PIPE
- 17 PVC SCH 40 FEMALE ADAPTOR



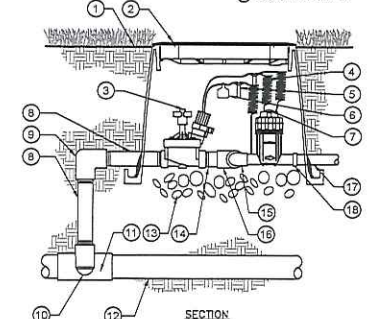
10 TYPICAL QUICK COUPLER  
SECTION



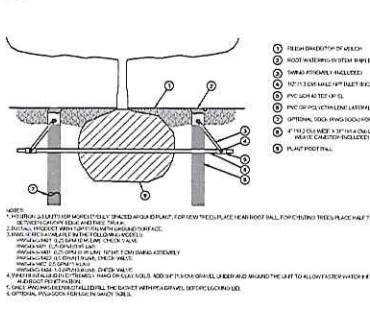
11 RAIN SENSOR - BUILDING MOUNT  
SECTION



12 TYPICAL SLEEVING  
SECTION



13 1" DRIP ZONE VALVE KIT  
SECTION



14 ROOT WATERING SYSTEM  
SECTION

- 1 FINISH GRADE TOP OF MULCH
- 2 ROOT WATERING SYSTEM
- 3 REMOTE CONTROL VALVE
- 4 3/4" LINEAR LENGTH OF WIRE, COILED
- 5 WATERPROOF CONNECTION
- 6 DI TAG
- 7 PRESSURE REGULATING QUICK CHECK BACKET FILTER
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 ELL
- 10 PVC SCH 80 NIPPLE (RANCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
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- 13 PVC SCH 80 NIPPLE, CLOSE
- 14 PVC SCH 40 TEE
- 15 PVC SCH 40 TEE
- 16 LATERAL PIPE
- 17 PVC SCH 40 FEMALE ADAPTOR

**CALL BEFORE YOU DIG!**  
IT'S FREE AND IT'S THE LAW!  
811  
1-800-463-4111  
Dig Safely. Call before you dig.

**CAUTION: NOTICE TO CONTRACTOR**  
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P4 HV V iiF Elevations



FRONT ENTRY ELEVATION  
SCALE: 1" = 12'-0"



DRIVE THRU ELEVATION  
SCALE: 1" = 12'-0"



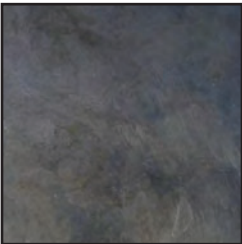
SIDE ENTRY ELEVATION  
SCALE: 1" = 12'-0"



REAR ELEVATION  
SCALE: 1" = 12'-0"

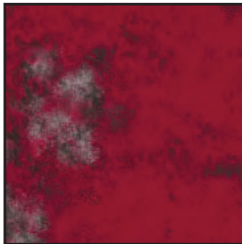
MATERIAL FINISHES

EM-3



HOT ROLLED STEEL W/ CARBON  
GRADE FINISH - W/ CLEAR,  
MATTE POWDER COAT FINISH

EM-4



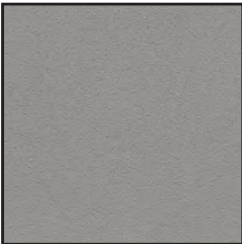
RECLAIMED METAL PANEL:  
VINTAGE CAR HOOD  
OCCURS AT FACE OF THE  
'1' ELEMENT ONLY

EWF-1



BELDEN NORMAN BRICK MASONRY  
MEDIUM RANGE, SMOOTH, IRON  
SPOT. MORTAR TO MATCH  
SOLOMON PRODUCTS IO H.  
WEATHERED HORIZONTAL STRIKE.  
VERTICAL JOINTS ARE FLUSH

EWF-2



"SW 7669 SUMMIT GRAY" PORTLAND  
CEMENT STUCCO

EWF-4



BORAL: "ALAMO" MODULAR  
BRICK. MORTAR TO MATCH  
SOLOMON PRODUCTS IO H.  
LIGHT BUFF SACK RUB FINISH.

EWF-5



"132 MOUNTAIN FOG" PORTLAND  
CEMENT STUCCO

EWF-6



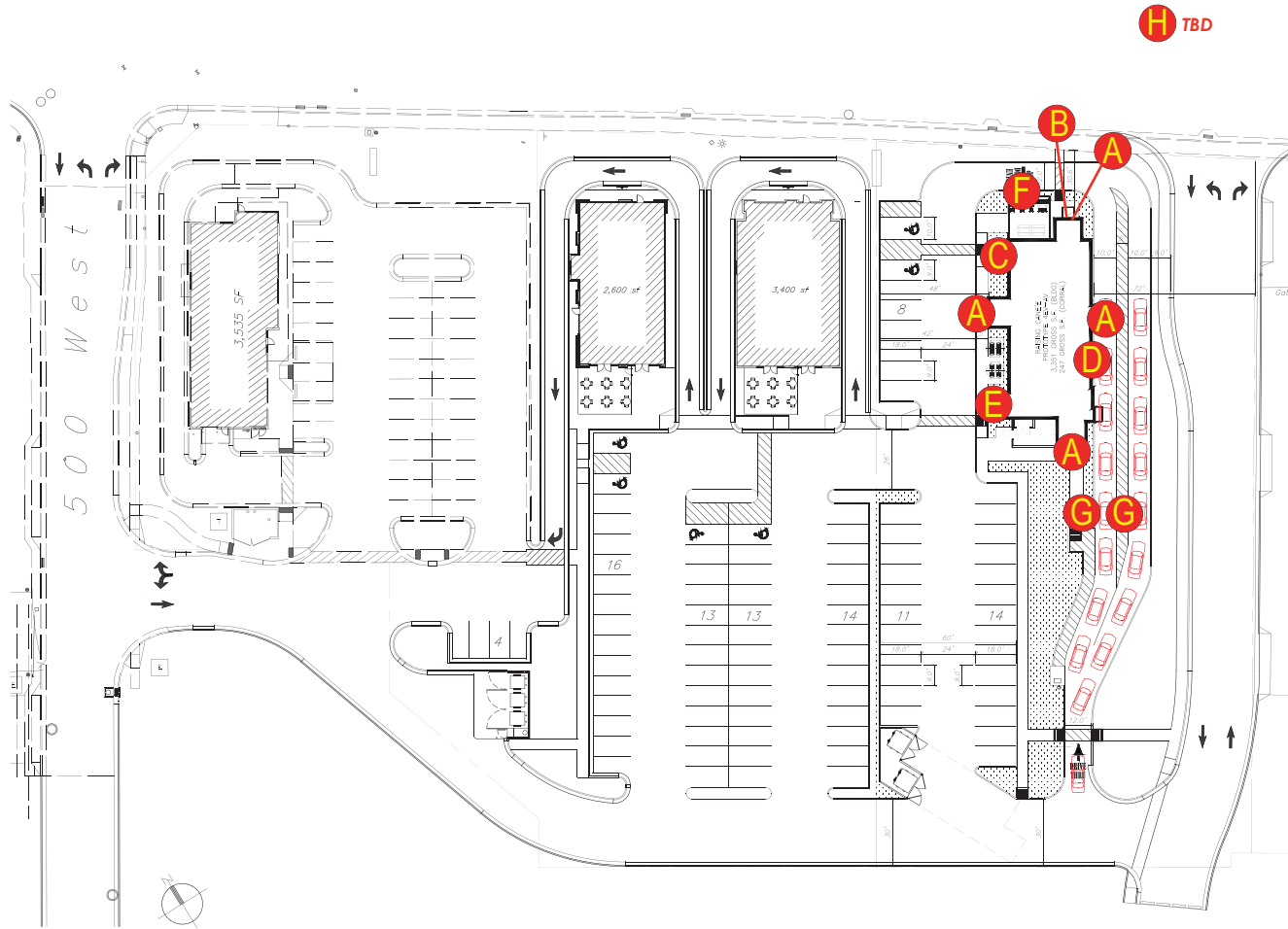
"456 OYSTER SHELL"  
CEMENT STUCCO

EWS-2



ALUMINUM STOREFRONT SYSTEM  
FINISH: ANODIZED BLACK





|          | QTY. | CODE   | DESCRIPTION               |
|----------|------|--------|---------------------------|
| <b>A</b> | 4    | WS-8FT | 4x8 Wall Sign             |
| <b>B</b> | 1    | ONS    | Open Sign                 |
| <b>C</b> | 1    | CFNS   | Chicken Fingers Neon Sign |
| <b>D</b> | 1    | PMRL   | Painted Mural             |
| <b>E</b> | 1    | BD-1   | Blue Dog                  |
| <b>F</b> | 1    | CAN    | One Love Canopy Letters   |
| <b>G</b> | 2    | DTMB   | DT Menuboard              |
| <b>H</b> | 1    | TEN    | Tenant                    |

No development or LL restrict as of 7/29/20. MSP is currently underway and approx. approval is Sept./Oct 2020.

Likely have a multi-tenant panel instead of freestanding sign per city

Aggregate SF allowance for lot is 3xLF of building front, max 138.75 SF

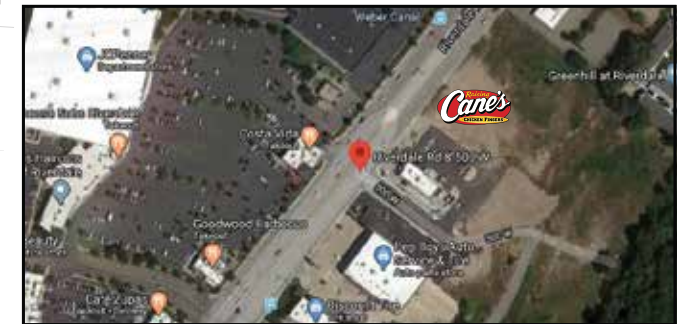
Per city, submit all signage desired and they will review

Mural painted on the wall may require design review committee

Art, Blue Dog on substrate and cove lighting are subject to review

Menu boards count in SF allowance for lot

|          | YES                                 | NO                                  |
|----------|-------------------------------------|-------------------------------------|
| BLUE DOG | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| MURAL    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| FLAGS    | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| OLH      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |



**Location:** Riverdale, UT

**Site ID:** RC0614

**Date:** 08/03/2020

**AGI Rep:** G.W.

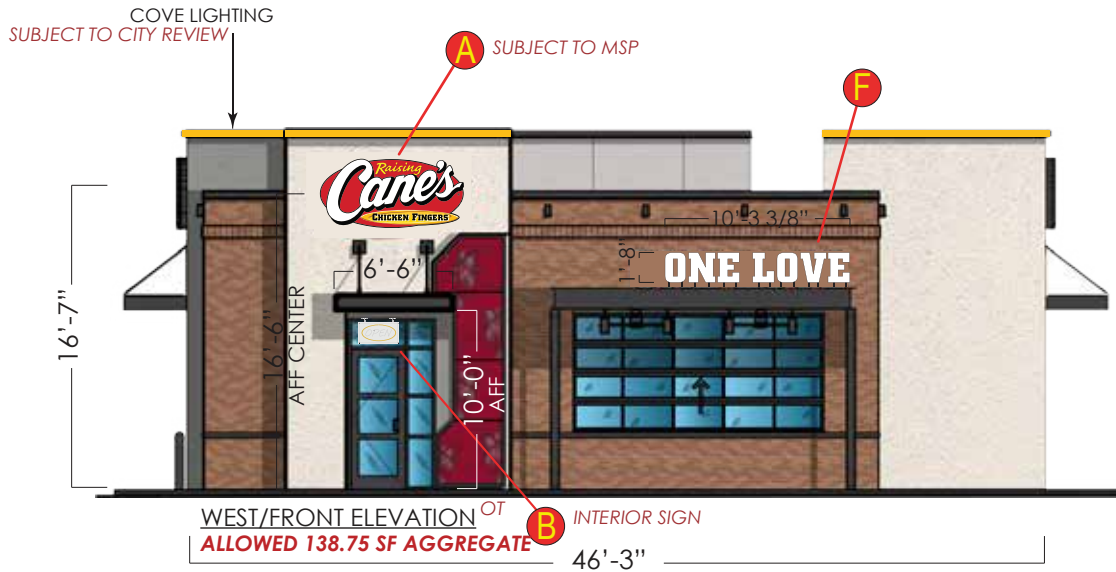
**AGI PM:** Anthony Molina

**Drawn by:** M. Folden

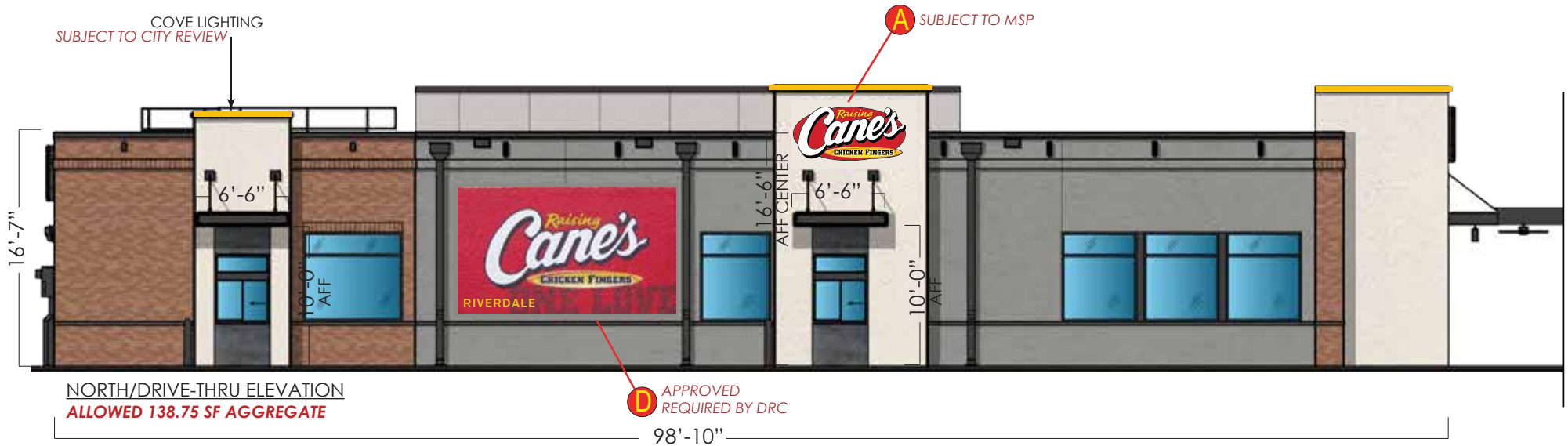
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# ELEVATIONS



|   | QTY. | CODE   | DESCRIPTION               |
|---|------|--------|---------------------------|
| A | 4    | WS-8FT | 4x8 Wall Sign             |
| B | 1    | ONS    | Open Sign                 |
| C | 1    | CFNS   | Chicken Fingers Neon Sign |
| D | 1    | PMRL   | Painted Mural             |
| E | 1    | BD-1   | Blue Dog                  |
| F | 1    | CAN    | One Love Canopy Letters   |
| G | 2    | DTMB   | DT Menuboard              |
| H | 1    | TEN    | Tenant                    |



Scale: 3/32"=1'



Location: Riverdale, UT

Site ID: RC0614

Date: 08/03/2020

AGI Rep: G.W.

AGI PM: Anthony Molina

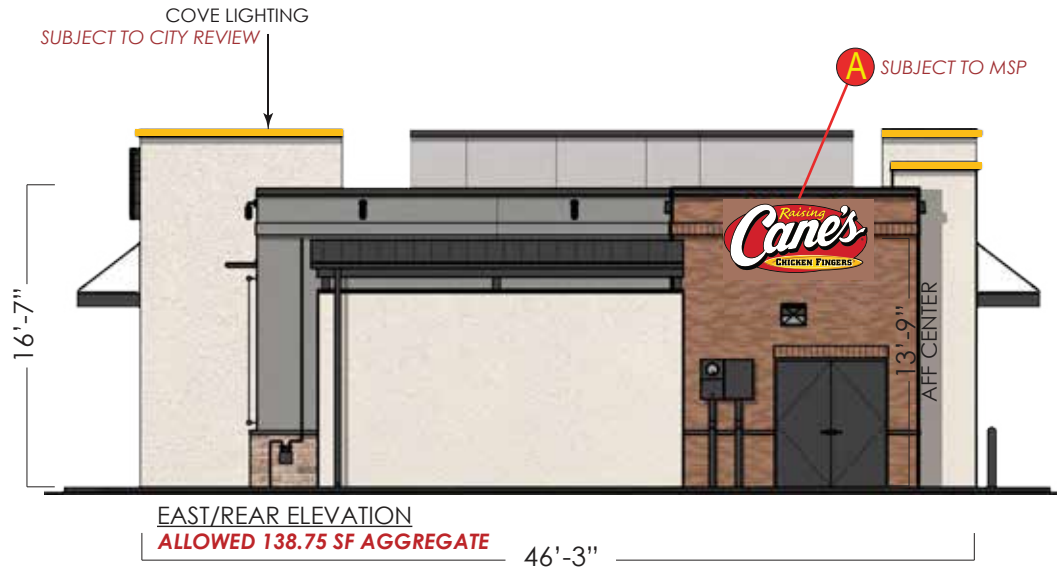
Drawn by: M. Folden

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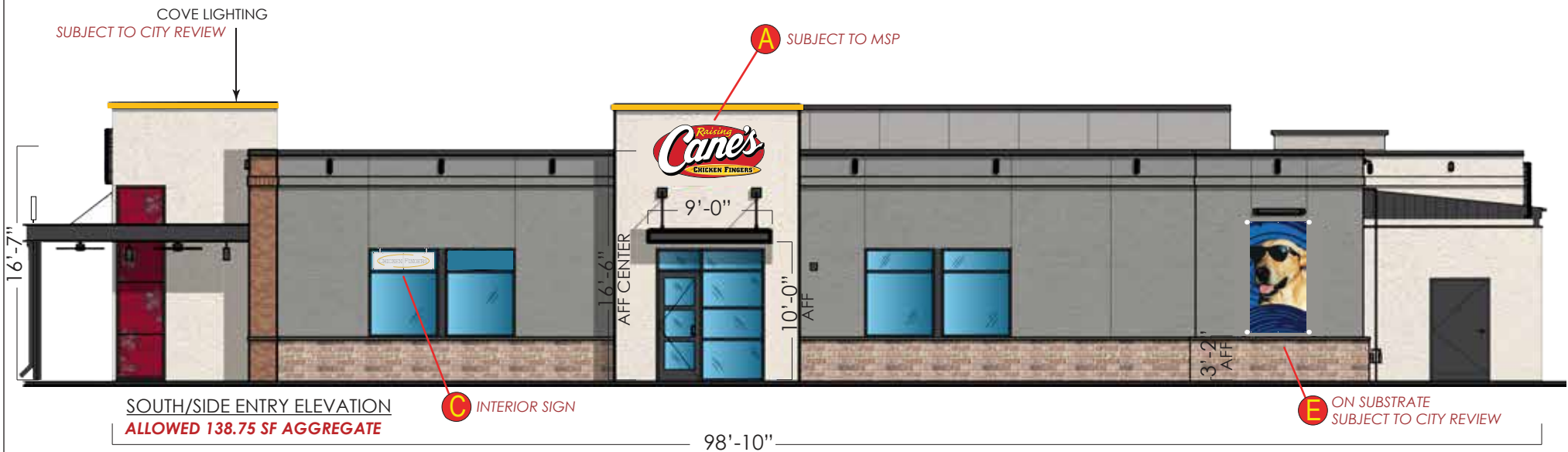
PAGE 7



# ELEVATIONS



|          | QTY. | CODE   | DESCRIPTION               |
|----------|------|--------|---------------------------|
| <b>A</b> | 4    | WS-8FT | 4x8 Wall Sign             |
| <b>B</b> | 1    | ONS    | Open Sign                 |
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| <b>G</b> | 2    | DTMB   | DT Menuboard              |
| <b>H</b> | 1    | TEN    | Tenant                    |



Scale: 3/32"=1'



**Location:** Riverdale, UT

**Site ID:** RC0614

**Date:** 08/03/2020

**AGI Rep:** G.W.

**AGI PM:** Anthony Molina

**Drawn by:** M. Folden

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PAGE 8



COPY & DROP SHADOW ARE AS FOLLOWS: **'RAISING' IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-015 'YELLOW', DROP SHADOW IS FIRST SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-53 'CARDINAL RED'**

BORDER IS **PAINTED 'BLACK'**

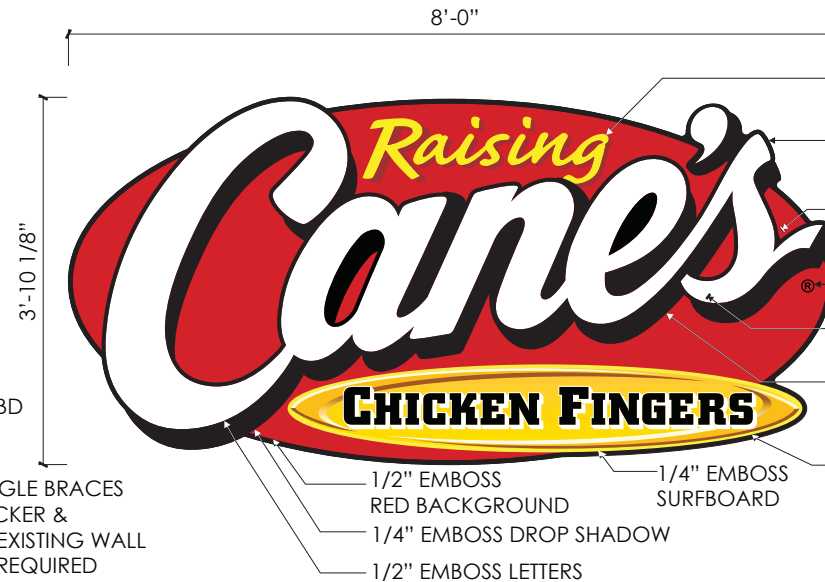
BACKGROUND IS **SURFACE APPLIED TRANSLUCENT VINYL 3M #3630-73 'RED'**

.150" THERMO FORMED CLEAR POLYCARBONATE FACE  
REGISTER MARK IS **PAINTED 'BLACK'**

DOUBLE EMBOSSED LETTERS ARE **PAINTED SECOND SURFACE 'WHITE'**

EMBOSS AROUND LETTERS IS **PAINTED SECOND SURFACE 'BLACK'**

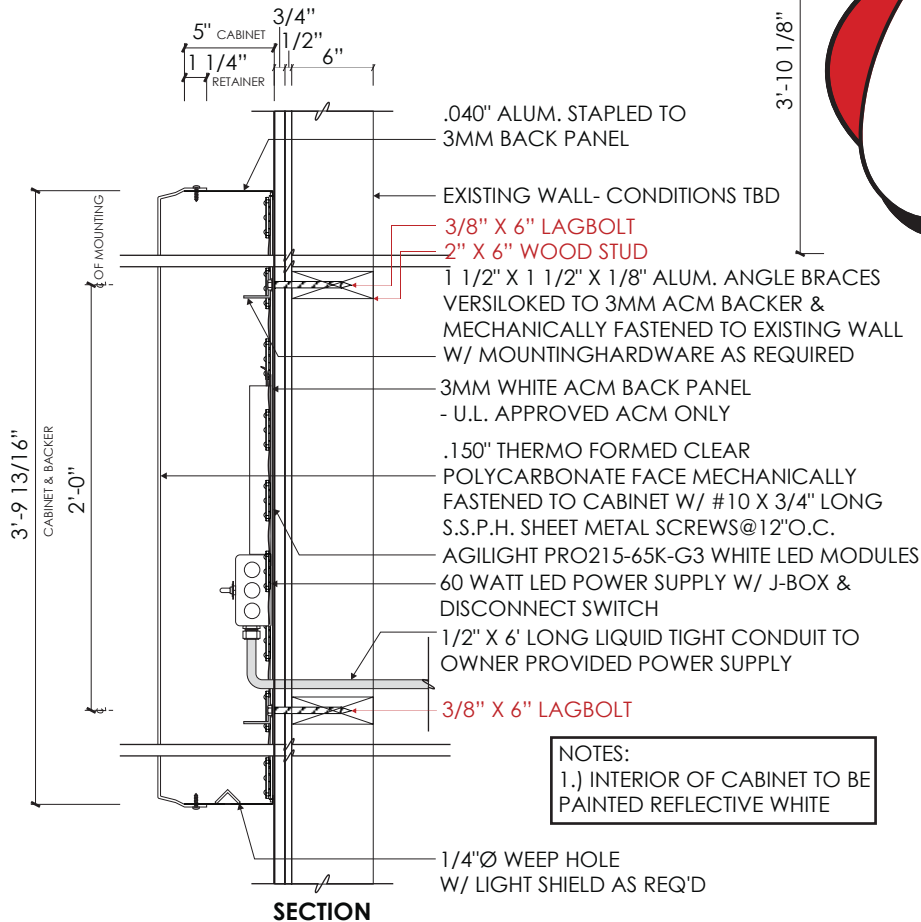
EMBOSSED SURFBOARD IS AS FOLLOWS:  
-SIDES ARE **PAINTED TO MATCH PANTONE #109C 'YELLOW'**  
-GRAPHICS ARE **SECOND SURFACE APPLIED DIGITAL PRINT**



FRONT ELEVATION

30.75

Square Footage



## NOTES:

1.) INTERIOR OF CABINET TO BE PAINTED REFLECTIVE WHITE

## ELECTRICAL DATA

|          |     |
|----------|-----|
| VOLTAGE  | 120 |
| AMPERAGE | 1.8 |

## COLOR CHART

|  |                            |
|--|----------------------------|
|  | 3M #3630-15 'YELLOW'       |
|  | 3M #3630-73 'RED'          |
|  | 3M #3630-53 'CARDINAL RED' |



Location: Riverdale, UT

Site ID: RC0614

Date: 08/03/2020

AGI Rep: G.W.

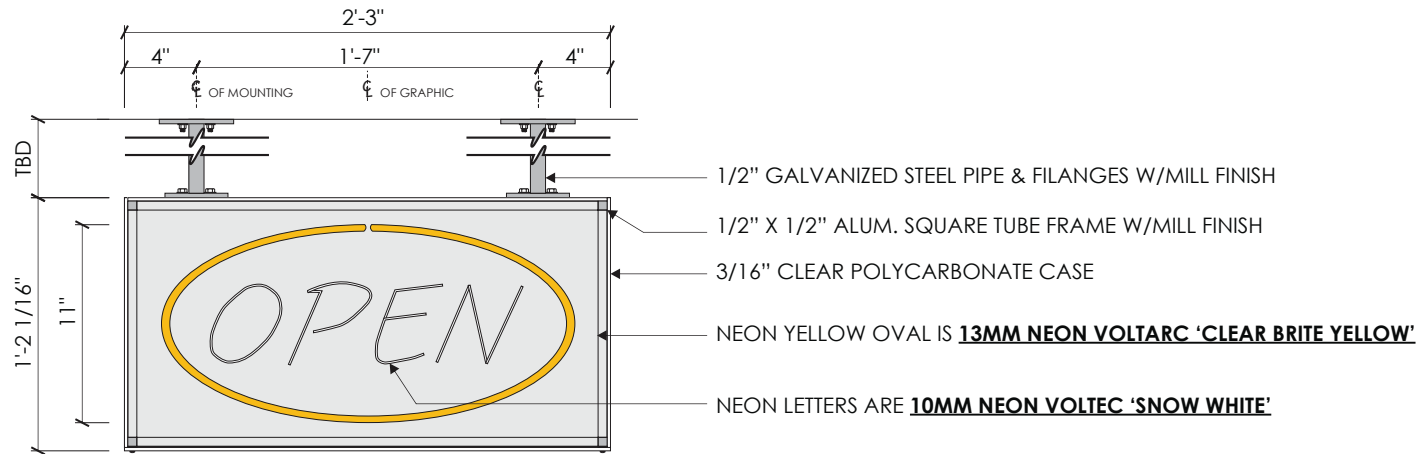
AGI PM: Anthony Molina

Drawn by: M. Folden

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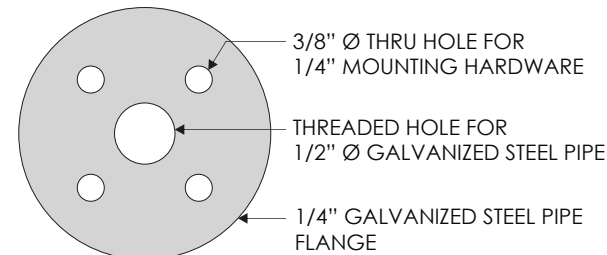
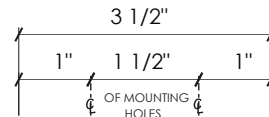


B



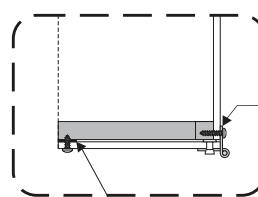
## NOTES:

1.) TRANSFORMER IS MOUNTED REMOTELY IN ATTIC.  
TRANSFORMERS ARE TO BE ELECTRONIC.

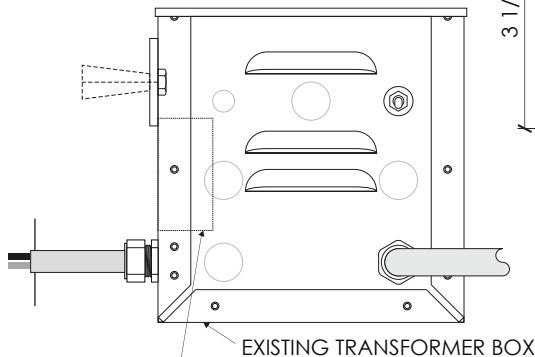


## PIPE FLANGE DETAIL

## BLOW UP DETAIL



(3) STRIPS OF 1/2" WIDE BLACK VELCRO TO CLOSE  
POLYCARBONATE DOOR @ TUBE FRAME  
-DOOR IS SECURED W/ (2) #6 S.S.P.H. SHEET METAL SCREWS



LIGHTING COMPONENTS  
LC-2-12-3-C (2,000-12,000V 30 MA)  
MOUNTED IN REMOVE TRANSFORMER BOX

ELECTRICAL PASS THRU MOUNTING TUBE ACCESS  
REMOTE POWER IN ATTIC

TECNOLUX SILIFLEX GTO 15

NEON YELLOW SWOOPS ARE  
**13MM NEON VOLTARC 'CLEAR BRITE YELLOW'**

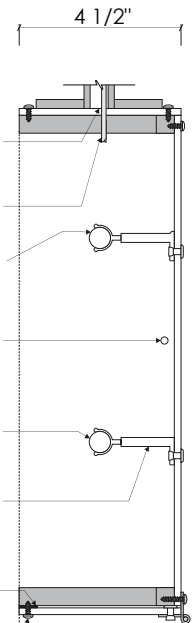
GTO WIRE

NEON LETTERS ARE **10MM VOLTEC 'SNOW WHITE'**

GRAB IT TUBE SUPPORTS ARE POP RIVETED  
TO BACK OF POLYCARBONATE CASE

1/2" WIDE VELCRO

DOOR IS SECURED WITH  
(2) #6 S.S.P.H. SHEET METAL SCREWS



## ELECTRICAL DATA

|          |     |
|----------|-----|
| VOLTAGE  | 120 |
| AMPERAGE | 2.1 |



Location: Riverdale, UT

Site ID: RC0614

Date: 08/03/2020

AGI Rep: G.W.

AGI PM: Anthony Molina

Drawn by: M. Folden

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PAGE 11



CUTSHEET  
ONS (H)  
INTERIOR SIGN  
PIPE LENGTH TO BE VERIFIED

Diagram illustrating the horizontal alignment of the mounting and graphic centers. The horizontal distance from the mounting center to the graphic center is 4'-4". The horizontal distance from the graphic center to the right edge is 3'-4". The horizontal distance from the mounting center to the right edge is 6".

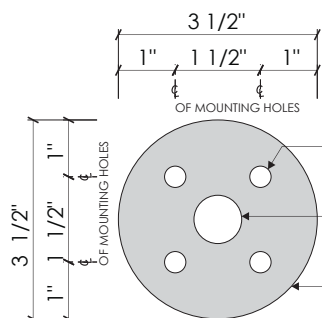
Technical drawing of a sign for "CHICKEN FINGERS". The sign is rectangular with a light gray background and a dark gray border. The text "CHICKEN FINGERS" is rendered in a large, outlined, sans-serif font. A yellow curved line, representing a chicken finger, is drawn around the text. The sign is mounted on a wall using two metal brackets. Dimensions are indicated on the left: a total height of 1'-2 1/16" and a mounting bracket height of 11 3/8". Callouts include "TBD" for the total height, "11 3/8\"

**BLOW UP DETAIL**

1 1/2" CONTINUOUS PIANO HINGE  
IS POP RIVETED TO POLYCARBONATE  
BOTTOM & MECHANICALLY FASTENED  
TO POLYCARBONATE BACKER &  
ALUM. TUBE FRAME W/ #6 S.S.P.H.  
SHEET METAL SCREWS

(1) STRIP OF 1/2" WIDE CLEAR 3M  
- DUAL LOCK POLYCARBONATE DOOR  
@ TUBE FRAME @ CENTER ONLY

3/16" POLYCARBONATE CASE W/ MATTE  
FINISH IS OPEN @ FRONT W/ #10-32 X 5/8"  
LONG 18-8 S.S. KNURLED HEAD CAPTIVE  
PANEL SCREW W/ SLOTTED DRIVE  
MCMMASTER CARR #91035A508  
W/ 18-8 S.S. RETAINER FOR 10-32 THREAD  
MCMMASTER CARR #91065A720



### PIPE FLANGE DETAIL

| ELECTRICAL DATA |     |
|-----------------|-----|
| VOLTAGE         | 120 |
| AMPERAGE        | 2.1 |

— 1/2" GALVANIZED STEEL PIPE &  
FILANGES W/MILL FINISH

— 3/16" CLEAR POLYCARBONATE CASE  
W/ MATTE FINISH

— NEON YELLOW SWOOPS ARE **13MM**  
**NEON VOLTARC 'CLEAR BRITE YELLOW'**

— NEON LETTERS ARE **10MM**  
**NEON VOLTEC 'SNOW WHITE'**

1/2" X 1/2" ALUM. SQUARE TUBE  
FRAME W/ MILL FINISH TR

### TRANSFORMER BOX

FRANCEFORMER 9030  
P5G-2UE

ELECTRICAL TO PASS THRU MOUNTING TUBE  
TO ACCESS REMOTE POWER IN ATTIC

TECNOLUX SILIFLEX BLACK GTO 15  
W/ BLACK ELECTRODE BOOTS

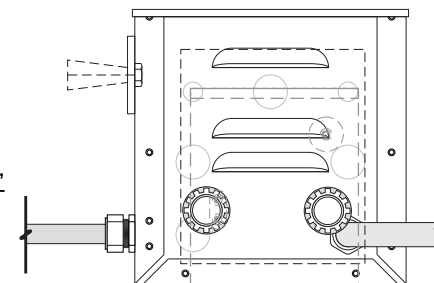
NEON YELLOW SWOOPS ARE  
**13MM NEON VOLTARC 'CLEAR BRITE YELLOW'**

NEON LETTERS ARE  
OLTEC 'SNOW WHITE'

GRAB IT TUBE SUPPORTS ARE POP RIVETED  
TO BACK OF POLYCARBONATE CASE

ALUM. HINGE MECHANICALLY FASTENED  
TO POLYCARBONATE BACK W/ #8 X 3/4" LONG  
S.S.P.H. SHEET METAL SCREWS & POP RIVETED  
TO POLYCARBONATE BOTTOM  
1/2" WIDE CLEAR 3M DUAL LOCK

DOOR IS SECURED W/  
(2) KNURLED HEAD SCREWS



## SECTION VIEW

### PIPE LENGTH TO BE VERIFIED



**Location:** Riverdale, UT

AGI Rep: G.W.

**Site ID:** RC0614

**AGI PM:** Anthony Molina

**Date:** 08/03/2020

**Drawn by:** M. Folden

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15'-6"

9'-0"



139.50

Square Footage

FOR ARTIST RENDERING USE ONLY  
MURAL PROVIDED BY OTHER VENDOR



**Location:** Riverdale, UT

**Site ID:** RC0614

**Date:** 08/03/2020

**AGI Rep:** G.W.

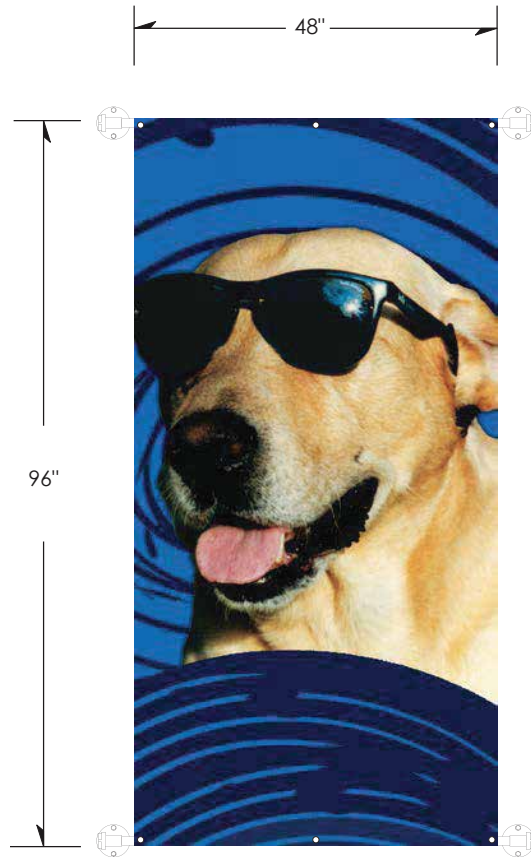
**AGI PM:** Anthony Molina

**Drawn by:** M. Folden

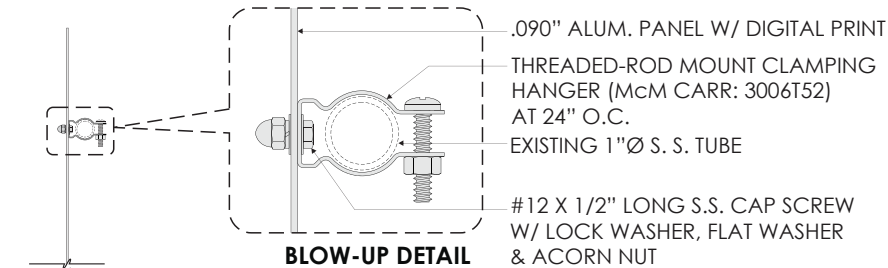
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THIS IS A DIGITAL PRINT ON ALUMINUM SUBSTRATE AND RIGID.

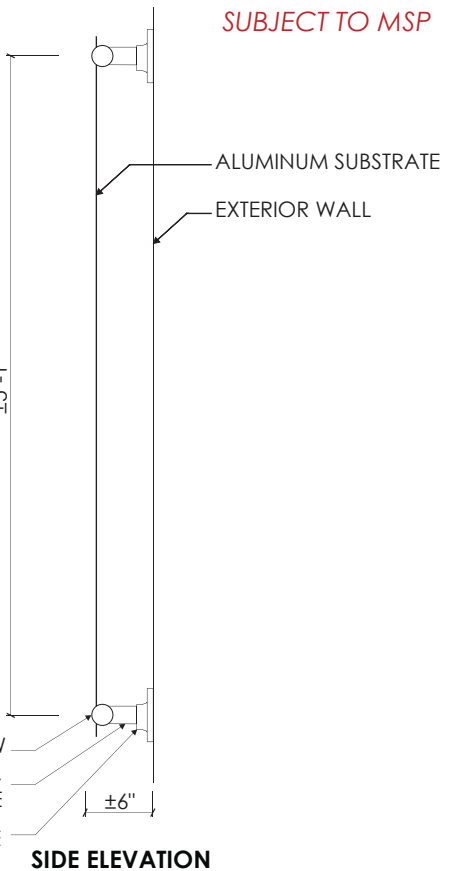


BLOW-UP DETAIL

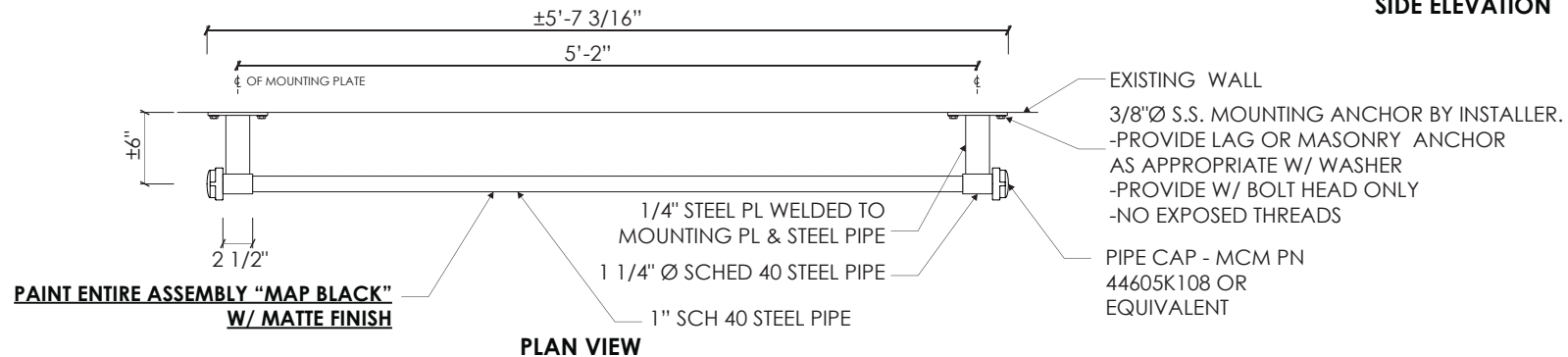
32.00

Square Footage

SIDE VIEW



SIDE ELEVATION



PLAN VIEW



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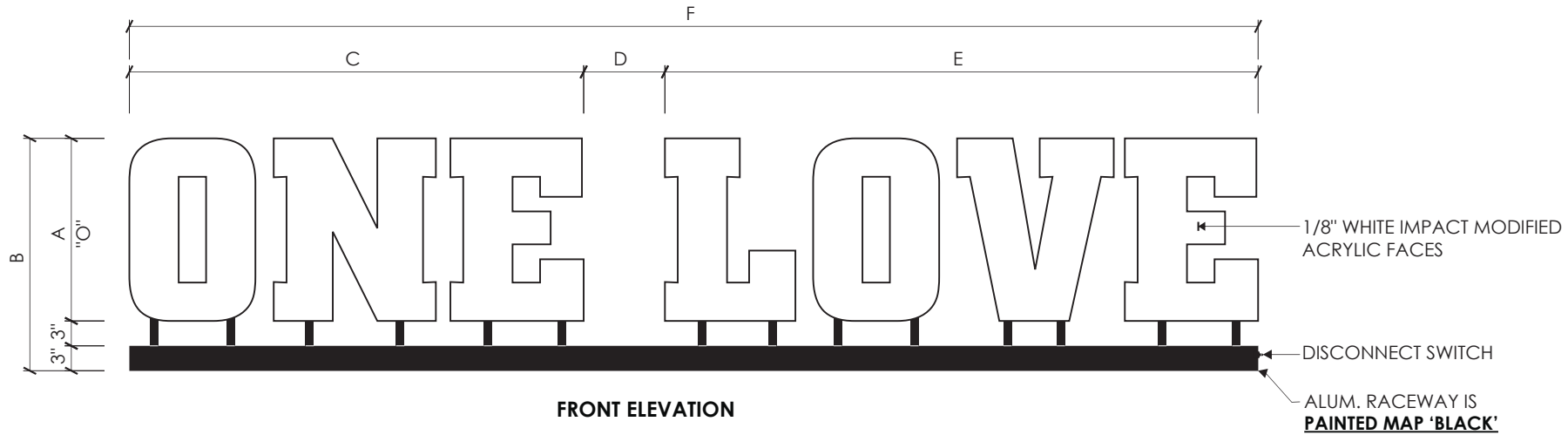
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## CUTSHEET

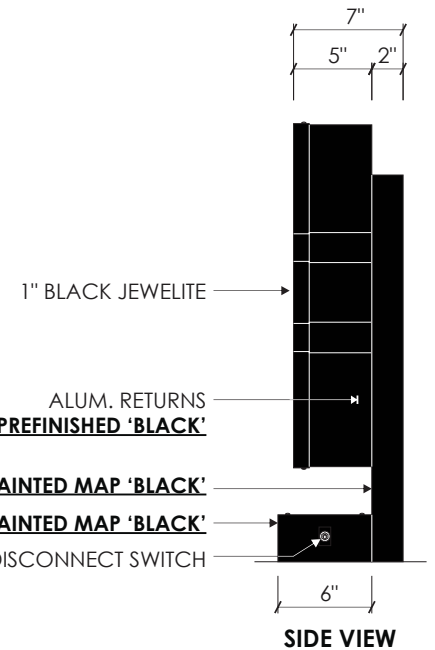
Blue Dog on Substrate  
SUBJECT TO CITY REVIEW AS ART  
SUBJECT TO MSP

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| SIGN SIZE | A   | B            | C            | D         | E           | F           | SF    |
|-----------|-----|--------------|--------------|-----------|-------------|-------------|-------|
| OL-16     | 16" | ±1'-10 9/16" | ±3'-3 13/16" | ±7 1/8"   | ±4'-4"      | ±8'-3"      | 11.22 |
| OL-18     | 18" | 2'-0"        | ±3'-8 13/16" | ±8"       | ±4'-10 1/2" | ±9'-3 3/8"  | 14.75 |
| OL-20     | 20" | 2'-2"        | ±4'-1 13/16" | ±8 15/16" | ±5'-5"      | ±10'-3 3/8" | 17.57 |
| OL-22     | 22" | 2'-4"        | ±4'-6 3/4"   | ±9 13/16" | ±5'-11 1/2" | ±11'-4 1/8" | 21.31 |



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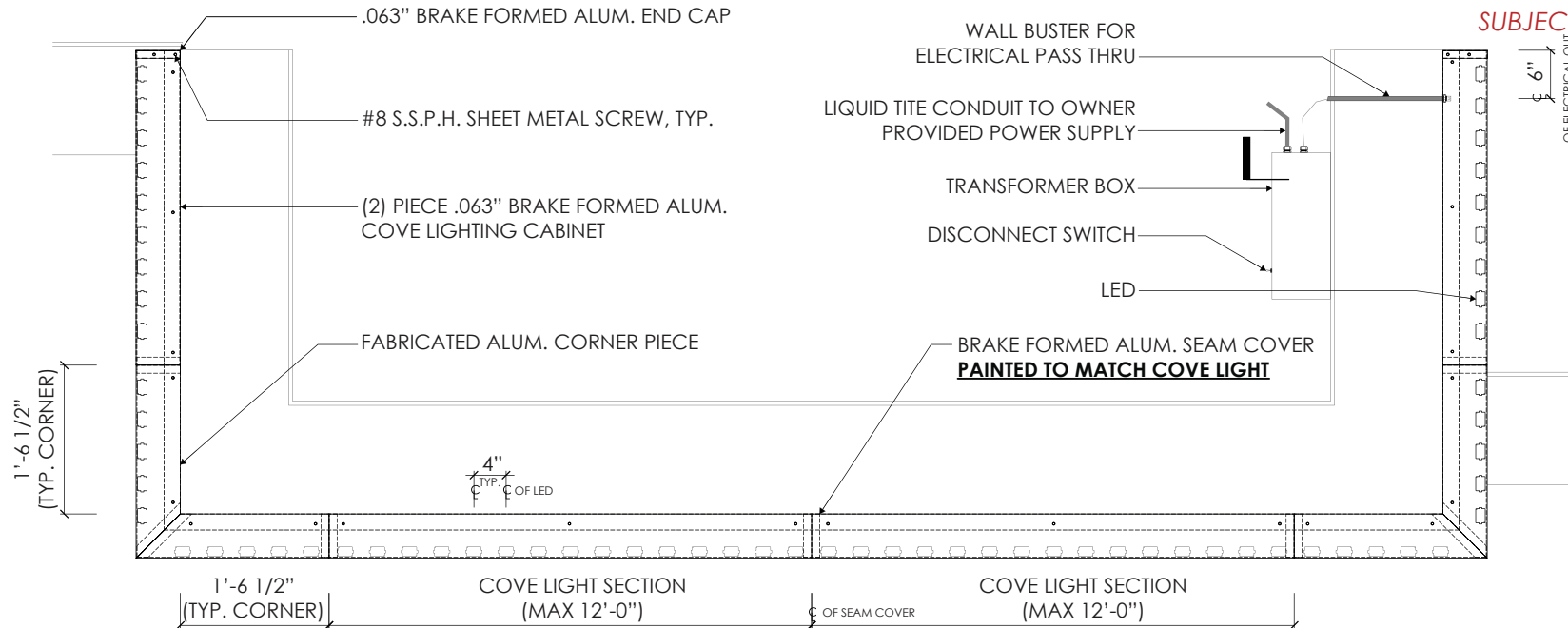
Drawn by: M. Folden

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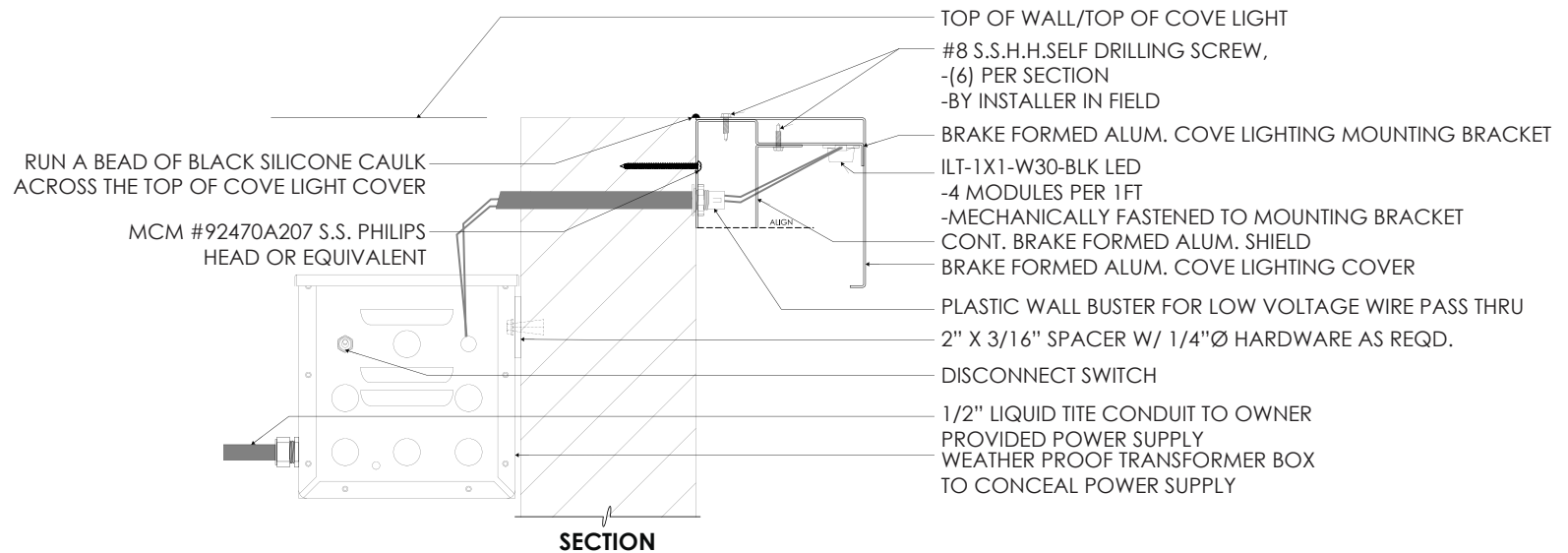
# CUTSHEET

## Cove Lighting ILT

SUBJECT TO CITY REVIEW AND MSP



STRUCTURAL PLAN VIEW



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