



Millcreek Township Planning Commission

Public Meeting Agenda

July 10, 2013 4:00 P.M.

**THE MEETING WILL BE HELD AT SALT LAKE COUNTY GOVERNMENT CENTER
2001 SOUTH STATE STREET, NORTH BUILDING, MAIN FLOOR, COUNCIL CHAMBERS,
ROOM N1100**

ANY QUESTIONS, CALL (385) 468-6700

REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 468-2120 OR 468-2351: TDD 468-3600.

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

OTHER BUSINESS ITEMS

Introduction – New Boards and Commissions Coordinator, Wendy Gurr

PUBLIC HEARINGS

Exceptions (From standards for: roadway & public improvements; & ditch piping or fencing)

28565 Cash Delahunty is requesting approval of an Exception from Curb, Gutter, and Sidewalk requirements. This request is associated with Board of Adjustment application 28343, requesting approval to relocate/reconstruct an existing non-conforming single-family residence. **Location:** 3153 South Imperial Street (1700 East). **Zone:** R-1-8 (Residential, Single-family, 8,000 square feet minim lot size). **Community Council:** Not Subject to Community Council Review. **Planner:** Lyle Gibson.

28547 Rick Plewe and Steve Davies are requesting approval of an Exception from Roadway Standard 14.12.120.C.1, which requires, "whenever possible," local streets be offset by a minimum of 150 Feet. This request is associated with Conditional Use application 28368 Creekside at Honeycut, 7-lot Single-family PUD. **Location:** 3548 South Honeycut Road. **Zone:** R-1-10, Residential, Single-family, 10,000 square foot minimum lot size. **Community Council:** East Mill Creek. **Planner:** Spencer G. Sanders.

PUDs Subdivisions

28368 Rick Plewe and Steve Davies are requesting Conditional Use and Preliminary Plat approval for Creekside at Honeycut PUD, a 7-lot (formerly 8-lot), single-family PUD Subdivision. **Location:** 3548 South Honeycut Road (1850-1860 East). **Zone:** R-1-10 (Residential, Single-family, 10,000 square feet minim lot size). **Community Council:** East Mill Creek. **Planner:** Spencer G. Sanders

28038 Nathan Anderson is requesting Preliminary Plat approval for Millcreek Townhomes PUD, a 14-Lot PUD Townhome Subdivision. The project received Conditional Use approval from the Planning Commission in February 2013, but the Preliminary Plat was not part of that original approval. **Location:** 1431 East 3900 South **Zone:** R-M (Multi-family and Office). **Community Council:** Millcreek. **Planner:** Spencer G. Sanders

Conditional Uses

28372 Dimitrios Tsagaris is requesting approval of a Conditional Use Permit for an Apartment Development. The proposal is for 37 apartments located in two buildings; each five stories (approximately 57 feet) high. **Location:** 3658 – 3668 South 900 East. **Zone:** C-2 (Commercial and Multi-family). **Community Council:** Millcreek. – **Planner:** Spencer G. Sanders.

28532 Jason and Rachel Witzel are requesting approval of a Conditional Use to convert an existing Two-family dwelling into a three-family dwelling. The applicants are proposing to add a third unit in the basement of the existing building. **Location:** 729 East 2910 South. **Zone:** Existing – R-1-6; Proposed R-4-8.5. **Community Council:** Millcreek. **Planner:** Spencer G. Sanders.

BUSINESS MEETING

The Business Meeting will begin immediately following the Public Hearings.

Previous Meeting Minutes Review and Approval

- 1) April 10, 2013
- 2) May 15, 2013
- 3) June 12, 2013

Work Session

- 4) **Curb, Gutter, and Sidewalk Project** – Potential General Plan & Ordinance Amendments – An approximate 15 minute presentation and discussion regarding the draft public outreach presentation/survey – **Planners:** Spencer G. Sanders

Other Business Items (as needed)

ADJOURN

Rules of Conduct for the Planning Commission Meeting

- First: Applications will be introduced by a Staff Member.
- Second: The applicant will be allowed up to 15 minutes to make their presentation.
- Third: The Community Council representative can present their comments.
- Fourth: Persons in favor of, or not opposed to, the application will be invited to speak.
- Fifth: Persons opposed to the application will be invited to speak.
- Sixth: The applicant will be allowed 5 minutes to provide concluding statements.

- Speakers will be called to the podium by the Chairman.
- Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
- All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
- For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 2 minutes per person, or 5 minutes for a group spokesperson.
- After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.

This Page Intentionally Left Blank



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	5	6	5	
Applicant Name:	Cash Delahunty	Request:	Special Exception						
Description:	Exception to Curb, Gutter and Sidewalk								
Location:	3153 S. Imperial St.								
Zone:	R-1-8 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Staff Recommendation:	Approval								
Planner:	Lyle Gibson								

1.0 BACKGROUND

1.1 Summary

Cash Delahunty is requesting an exception to the installation of curb gutter and sidewalk in order to rebuild a non-conforming structure that has previously been approved by the board of adjustments under file number 28343.

2.0 ANALYSIS

2.1 Applicable Ordinances

Title 18 - Subdivision Regulations

18.24.090. C. - Curbs and gutters, requires curbs, gutters and sidewalks to be installed with all subdivision. It states:

The subdivider shall install curbs, gutters and sidewalks on existing and proposed streets in all subdivisions.

18.08.020 - Exceptions --Permitted when, allows the Mayor or his designee, upon recommendation of the Planning Commission, to grant exceptions to subdivision requirements, including the requirement for curbs, gutters and sidewalks, based on aesthetic, public interest and safety. It states:

In cases where unusual topographic, aesthetic or other exceptional conditions exist or the welfare, best interests and safety of the general public will be usefully served or protected, variations and exceptions of this title may be made by the county mayor after the recommendation of the planning commission, provided, that such variations and exceptions may be granted without substantial detriment to the public good and without substantially impairing the intent and purpose of this title.

Title 19 - Zoning Regulations

19.76.210 - Off-site improvements.

C. Exceptions.

1. The planning commission may grant exception to installation of the sidewalk in industrial areas where the planning commission determines that the sidewalk is not necessary to serve the public need, and the elimination of the sidewalk does not jeopardize the public health, safety or welfare.

2.2 Exception Request

Exception to the installation of curb gutter and sidewalk.

2.3 Other Agency Recommendations or Requirements

Traffic Engineer is providing a recommendation to approve the exception to the installation of curb gutter and sidewalk as the proposed design will still improve the site and create a controlled flow of traffic into the new parking area.

Hydrology Engineer - Recommends approval of the exception to curb gutter and sidewalk because the installation of the improvements would change the historic flow of water on the site and cause it to gather in front of the property immediately south of the subject property. Leaving the site without the curb, gutter, and sidewalk will allow the historic flow to continue which has not been detrimental to surrounding properties.

2.4 Other Issues

Requiring the installation of the improvements not only creates an issue with drainage, but would be ill timed as it doesn't connect to existing sidewalk along Imperial street. At the time sidewalk is installed to make the full connection it is possible that the sidewalk on this site would be torn out and re-done with the rest at that time.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Special Exception .

3.2 Reasons for Recommendation

- 1) Staff finds that the site plan as proposed would create a burden to surrounding property owners and feels that the improvements being proposed to the site without the curb, gutter, and sidewalk will meet the intent of the board of adjustment approval for rebuilding and relocation of the existing non-conforming structure.







Planning and Development
Interactive GIS Map

Layer Options Basemaps

E 3150 S

E 3150 S

E 3170 S

E Woodland Ave

R-1-8

Imperial St

Imperial Park

Imperial Park Sq

E Lahar Dr

E Lahar Dr

R-M

E 3300 S

171 E 3300 S 171

R-1-6

Latitude: 40.702427 Longitude: -111.840539

esri

Enhanced Search

Parcels Selected: 1 Zoom Clear

ID 10: 1628405001
ID 14: 16284050010000
Address: 3153 S IMPERIAL ST
Acreage: 0.07999999
Owner: DELAHUNTY, J CASH; ETAL
Owner Address: 1583 E 3115 S



HI STYLE SALON

3153 SOUTH IMPERIAL STREET (1700 EAST)

100% REVIEW SET

MARK	DATE	DESCRIPTION
	Issue Date	

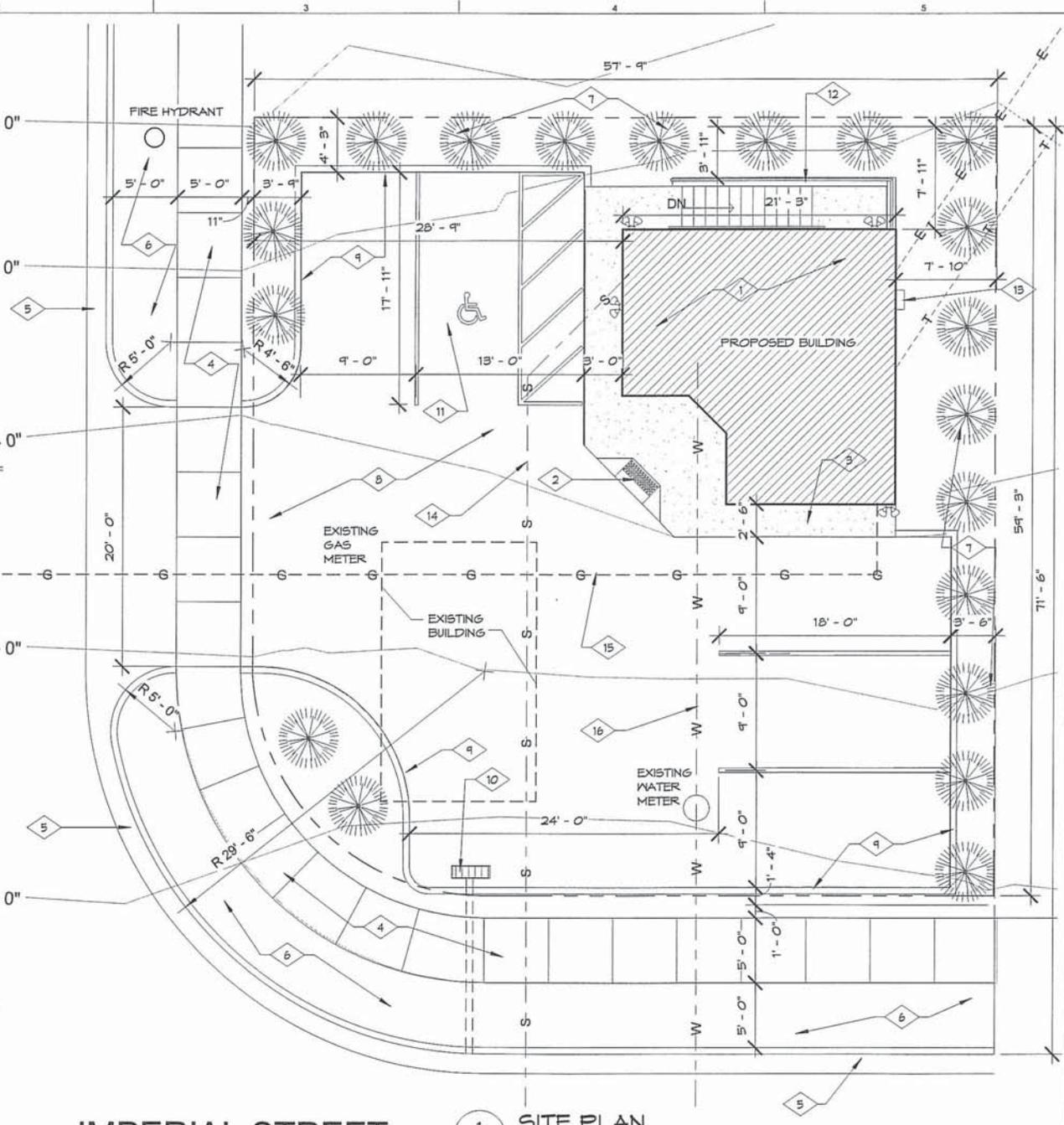
PROJECT NUMBER: _____ Project
DRAWING FILE: _____
DRAWN BY: _____
CHECKED BY: _____
COPYRIGHT 2009 EATON ARCHITECTU

SHEET TITLE

SITE PLAN

REFERENCE NOTES

- 1 BUILDING FOOTPRINT. SEE FLOOR PLAN
- 2 SLOPED WHEELCHAIR RAMP WITH TRUNCATED DOME PAD. SEE DETAIL.
- 3 NEW 4" CONCRETE SIDEWALK WITH BROOM FINISH SLOPED AWAY FROM BUILDING AT 2% SLOPE.
- 4 NEW 4" CONCRETE SIDEWALK CONSTRUCTED AS PER SALT LAKE COUNTY STANDARDS.
- 5 NEW CONCRETE CURB AND GUTTER CONSTRUCTED AS PER SALT LAKE COUNTY STANDARDS.
- 6 PARKSTRIP WITH SOD AND IRRIGATION.
- 7 LANDSCAPING STRIP WITH LOW-WATER SHRUBS, MULCH, AND DRIP IRRIGATION.
- 8 4" ASPHALT PAVING OVER COMPACTED ROADBASE FILL.
- 9 6" CONCRETE LANDSCAPE CURB.
- 10 DRAIN CATCHMENT W/ GRILL & PIPED TO CURB FACE.
- 11 HANDICAP PARKING STALL WITH PAINTED SYMBOL AND STRIPING.
- 12 CONCRETE STAIRWAY TO BASEMENT DOOR. SEE STAIR SECTION.
- 13 POWER METER AND SWITCH AS PER ROCKY MOUNTAIN POWER
- 14 EXTEND EXISTING SEWER LINE TO BASEMENT TOILET RM. AS PER CITY REQUIREMENTS.
- 15 EXTEND EXISTING GAS LINE TO NEW METER ON EAST SIDE OF BUILDING. AS PER QUESTAR GAS REQUIREMENTS
- 16 INSTALL NEW WATER LINE FROM EXISTING METER TO NEW BUILDING. PROVIDE STOP & WASTE VALVE AND



IMPERIAL STREET 1 SITE PLAN

This Page Intentionally Left Blank



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	5	4	7	
Applicant Name:	Steve Davies & Rick Plewe	Request:	Exception Request						
Description:	Exception from County Roadway Off-set Intersection Standard 14.12.120.C.1								
Location:	3548 South Honeycut Road								
Zone:	R-1-10 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not Applicable								
Staff Recommendation:	Approval								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

The applicants are requesting approval of an Exception from Roadway Standard 14.12.120.C.1, which requires, "whenever possible," local streets be offset by a minimum of 150 Feet. This request is associated with Conditional Use application 28368 Creekside at Honeycut, 7-lot Single-family PUD.

In addition, the applicants are requesting an exception from Subdivision regulations 18.24.090.C. that require the installation of curb, gutter and sidewalk with the subdivision. Specifically, they are requesting an exception from the requirement to install sidewalk. The applicants have indicated that the request for a sidewalk exception was submitted in response to neighborhood residents' concern that installing sidewalk in front of the subject property, when it does not exist to the north or the south, would be more of a hazard than an improvement. The applicants have indicated that they are not apposed to installing the required street improvements and have shown these improvements on their recently revised plans.

1.2 Hearing Body Action

This application is on the Millcreek Township Planning Commission's agenda for consideration and recommendation to the County Deputy Mayor who makes the final decision on exception requests.

1.3 Neighborhood Response

As of this writing, staff has received correspondence from one resident, Mr. Craig Poulton. He is requesting the entire project be continued in order for him to complete his own Traffic Study consult an attorney. Mr. Poulton is an adjacent property owner directly to the south of the subject property. The e-mail from Mr. Poulton is attached to this report.

It is also important to note here that there have been a number of comments regarding traffic and street imorvements raised in the emails sent in to the Commission regarding the proposed PUD Development associated with this application.

2.0 ANALYSIS

2.1 Applicable Ordinances

County Ordinance 14.12.120.C states, "*Offset intersections shall be avoided whenever possible and offsets shall be provided with minimum distances as follows: 1. Local streets: one hundred fifty feet; ...*"

The applicants have submitted a traffic study prepared by Randy Whalen, PE licensed in the State of Utah and President of Falcon Traffic Engineering. The study address the proposed non-complying offset intersection for the proposed development with Honeycut Road. In the study, Mr. Wahlen indicates that the traffic concerns raised by residents in the area, "...(*i.e.*, speed and pedestrian safety) should not be significantly changed by the addition of the proposed development." It recommends the Exception for the non-compliant offset be approved. (See attached study)

County Ordinance 18.24.090 C. states, "*The subdivider shall install curbs, gutters and sidewalks on existing and proposed streets in all subdivisions.*"

The traffic study does not address the sidewalk exception request. However, in the the study Mr. Wahlen indicates that there is an existing pedestrian and bicycle safety concern in the area and that the applicant should work with the County to improve pedestrian and bicycle safety in the area.

2.2 Other Agency Recommendations or Requirements

The County's Transportation Engineer, Ms. Jena Carver, has reviewed the study and concurs with Mr. Wahlen's conclusion that the development should not add to the existing traffic concerns in the vicinity either by the development's design or by the anticipated traffic from the development. She further concurs with the study that the proposed Exception to the offset intersection requirement should be granted.

Ms. Carver does not recommend that the sidewalk exception be granted. She cites Mr. Walhen's acknowledgement in the study of an existing pedestrian and cycling safety issue in the area and his recommendation the applicant work with the County to help address this issue. She also indicates that there is no evidence submitted by the applicant or the public that installing sidewalk at this location adjacent to the subject property would be unsafe, even if it is not connected.

Ms. Carver notes that the County is in the process of conducting a preliminary design for an improvement project along Honeycut Road. However, the project does not include curb, gutter and sidewalk installation on the west side of Honeycut Road adjacent to the subject property.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Exception Request .

3.2 Reasons for Recommendation

- 1) The submitted transportation study, accepted by the County Transportation Engineer, indicates that there should be no increase to traffic hazards in the area over what currently exists with this development or with the proposed offset intersection.

3.3 Other Recommendations

Staff recommends that the exception request for sidewalk not be granted for the reasons noted in the Transportation Engineers comments above.

June 5, 2013

Salt Lake County Public Works Department
Planning and Development Services Division
2001 S. State Street, #n-3600
Salt Lake City, Utah 84190-4050

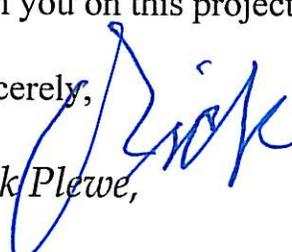
**RE: Exception Request, 3548 S. Honeycut, SLC. Ut. 84106
Creekside at Honeycut, 8 unit PUD**

Salt Lake County Planning Dept.

- 1. We are applying for an exception request for sidewalks along Honeycut Road, since there are currently **NO other sidewalks on Honeycut Road at this time**. Our goal to have the project fit into the existing neighborhood as easily as possible.*
- 2. We are requesting that the entry to the Creekside at Honeycut, PUD have access to the project as indicated on the proposed site plan in the middle of the current project. **We are consulting with Randy Wahlen, 801 395-4054 Falcon Traffic Engineering, to analyze this request and determine the actual traffic consequences of this entry. Randy Wahlen will be presenting data to substantiate this request and consult with Jenna Walker with his conclusions. Randy Wahlen, is currently a UDOT consultant and we believe is very qualified to give pertinent advice on the correct impact of this entry to the site. His data will be available at the upcoming Planning Commission Meeting in June. Jenna Walker is authorized to speak with Falcon Engineering on this matter.***

Your consideration of these request would be appreciated and we look forward to working with you on this project in East Millcreek.

Sincerely,


Rick Plewe,

Associate Developer

Spencer G Sanders

From: Craig Poulton <cpoulton@poulton.com>
Sent: Friday, June 21, 2013 8:14 AM
To: Spencer G Sanders
Subject: RE: Plewe and Quinn Millcreek PUD Application

Spencer,

Thanks again for your help. I would like to ask that the Planning Commission delay the reconsideration of this project until August as and in that regard, I would ask the following questions:

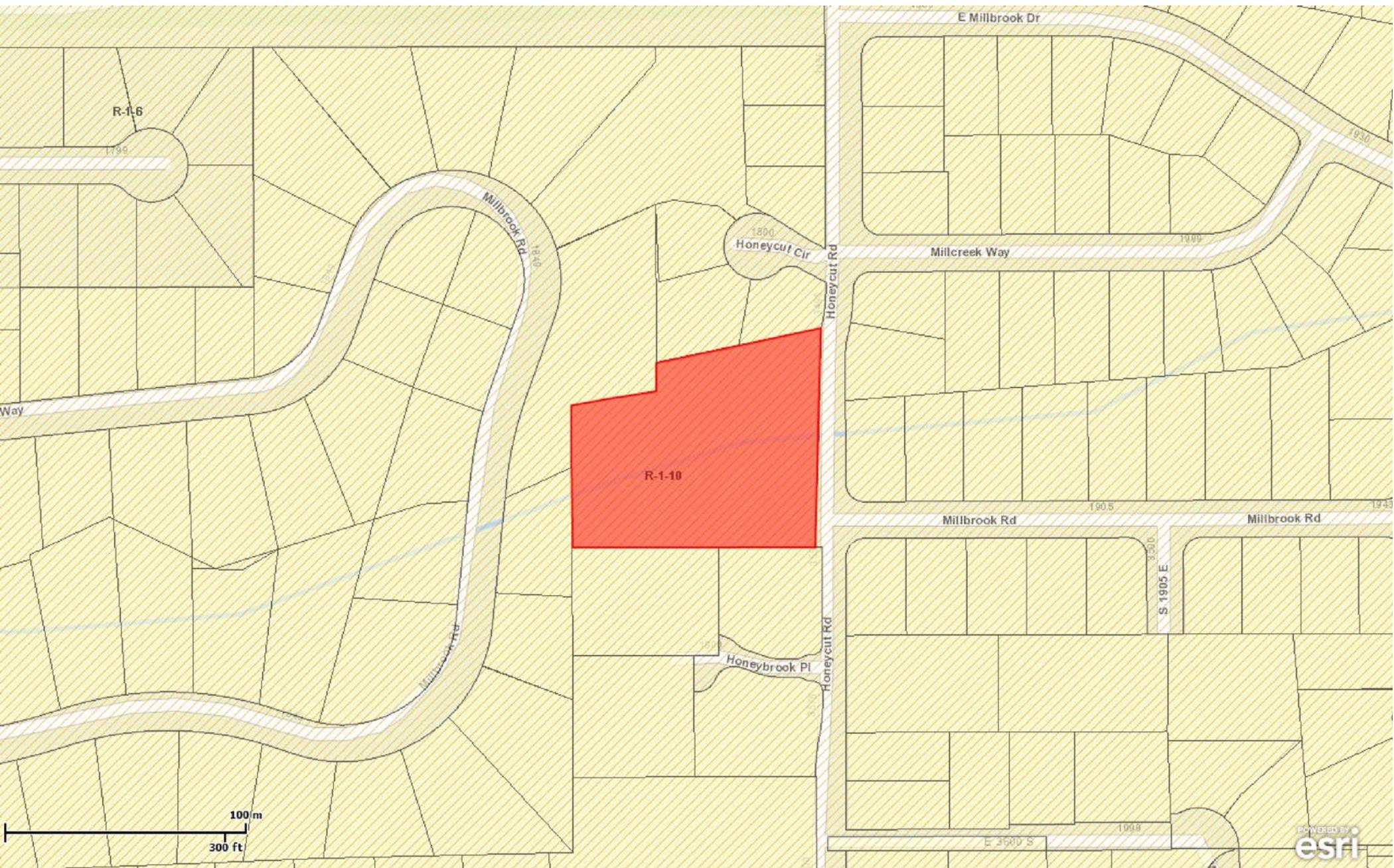
- 1- May I have a copy of the new plat map showing the intended set backs, especially those on the south side of the project and could I get those showing my lot as well as the developers lot so that I might know where the exactly where the buildings are located in relation to our home? I was promised this by developers but was never provided with such.
- 2- Shouldn't the all of the revised information be made available to the neighbors for more than 15 days or so before the reconsideration is scheduled?
- 3- I would like time to allow me time to obtain legal advice and to commission my own traffic impact report; will the staff and/or the commission consider those valid reasons for a further continuance? If so is there an official filing of some kind beyond this email that I need to make?
- 4- Does the fact that I was told by developers at the first community meeting in the Millcreek Community Center that there would be a 23 foot setback from my north property line and then they filed for a 12 foot setback along that line without informing me contribute to the weight of my request for a delay in the scheduling of the reconsideration by the planning commission?

There are other issues I would bring up but I feel I need the advice of qualified legal counsel. The only qualified attorney I have been able to identify has been out of town and out of contact for the past week and I fear that the July 12 consideration date will make it impossible to obtain the benefit of his advice. Thanks for your time in considering all of this and thanks in advance for the creation of your response.

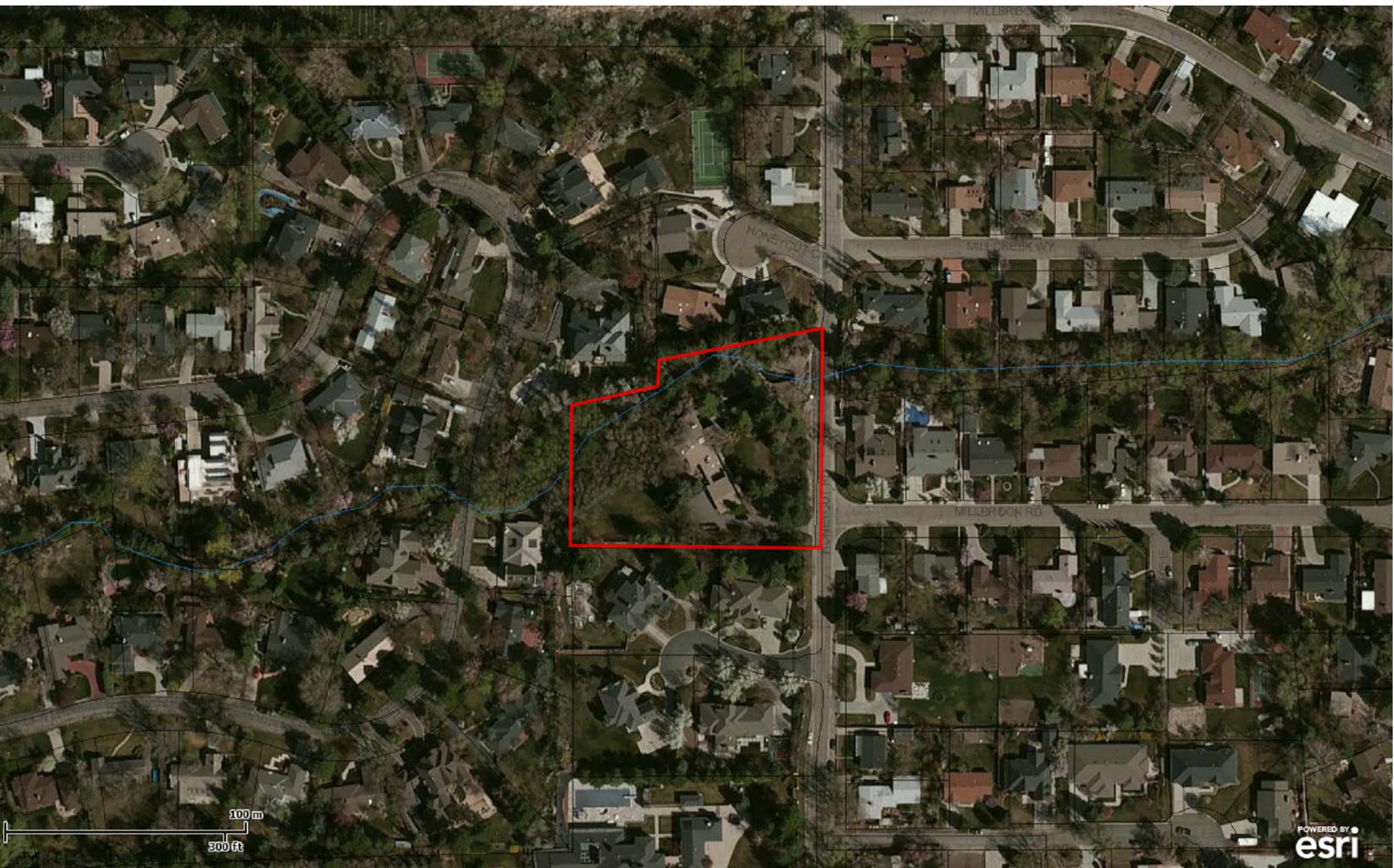
Best regards,
Craig

Craig Poulton, CIC, CPIA, CEO | POULTON ASSOCIATES, INC.
3785 South 700 East, Second Floor, Salt Lake City, UT 84106 Direct (801) 290-7126 | Fax (801) 268-2674 |
cpoulton@poulton.com California License: 688011

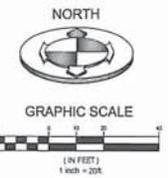
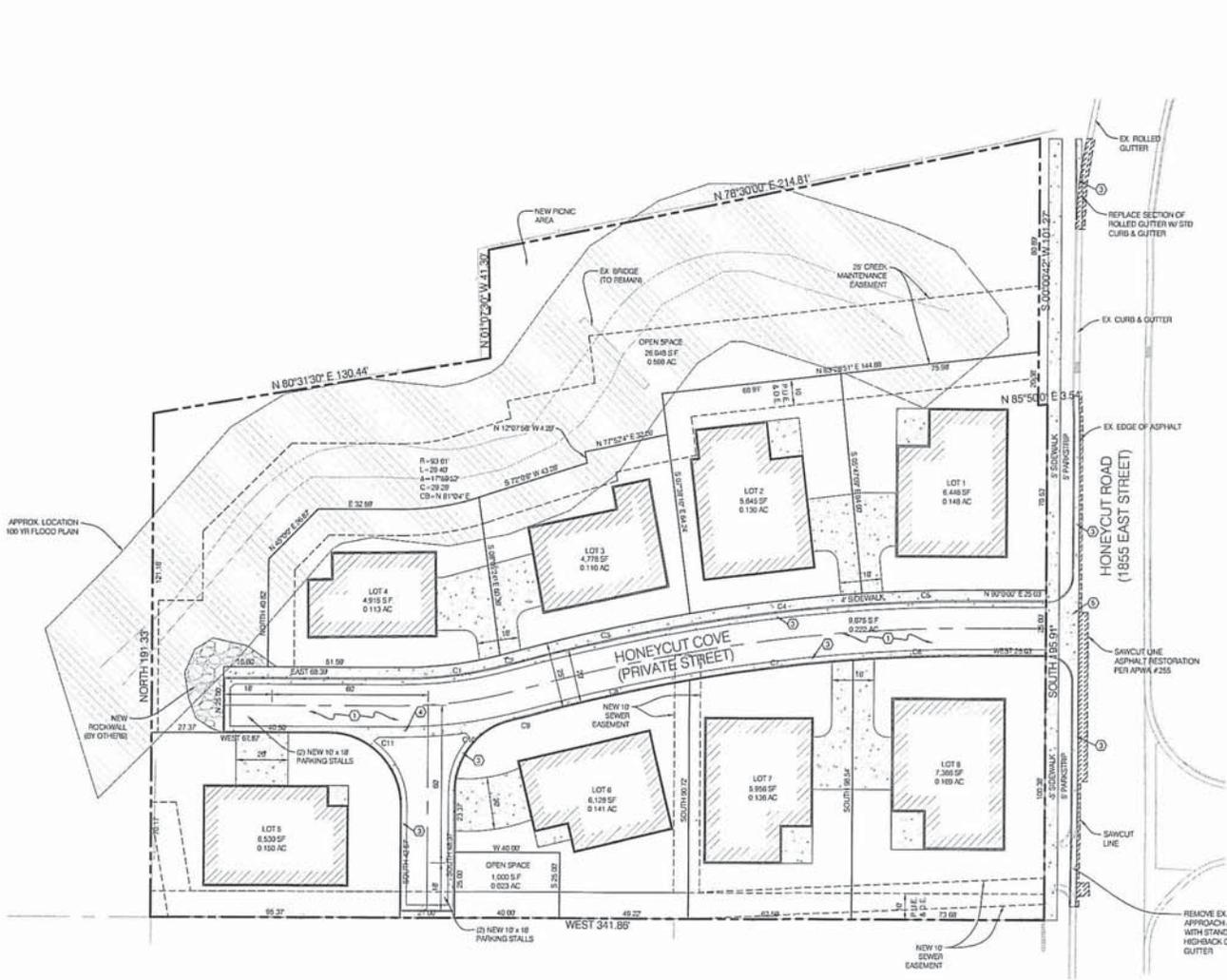
28368 Creekside at Honeycut PUD - Zoning Map



28368 Creekside at Honeycut PUD - Aerial



Thu May 2 2013 05:05:08 PM.



CONSTRUCTION KEY NOTES REFERENCE

NO	DESCRIPTION	DETAIL
1	STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE	3/COT 01
2	CONCRETE PAVEMENT WITH GRANULAR BASE	3/COT 01
3	2.5 HIGH-BACK CURB & GUTTER	3/COT 01
4	CONCRETE WATERWAY	3/COT 02
5	NEW DRIVEWAY APPROACH PER APWA # 225	4/COT 02

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA
C1	17.06	154.42	N 17° 52' 4" E	17.31	14° 05' 4"
C2	1.81	154.42	N 17° 52' 4" E	1.82	0° 25' 0"
C3	17.07	154.18	N 17° 52' 4" E	17.32	14° 05' 4"
C4	18.12	170.29	N 42° 14' 4" E	18.13	0° 25' 0"
C5	17.07	154.18	N 17° 52' 4" E	17.32	14° 05' 4"
C6	22.26	240.18	S 83° 30' 12" W	48.03	34° 17' 17"
C7	22.26	240.18	S 83° 30' 12" W	48.03	34° 17' 17"
C8	22.26	240.18	S 83° 30' 12" W	48.03	34° 17' 17"
C9	22.26	240.18	S 83° 30' 12" W	48.03	34° 17' 17"
C10	22.26	240.18	S 83° 30' 12" W	48.03	34° 17' 17"
C11	43.26	27.26	S 47° 00' 0" W	38.89	37° 00' 0"

AREA TABLE

PARTICULARS	S.F.	%
BUILDING	16,243	19.2
HARDSCAPE	14,192	16.8
LANDSCAPE	34,264	64.0
TOTAL	64,699	100

OPEN AREA TABLE

PARTICULARS	S.F.	%
BUILDING	16,243	19.2
ROADS & DRIVEWAYS	12,887	18.3
OPEN AREA	35,569	65.5
TOTAL	64,699	100

PROJECT NO.	DATE
DESIGNED BY	DATE
CHECKED BY	DATE
SCALE	1:30000
SCALE BASED ON UNCORRECTED AIR PHOTO	
ACROSS ACCORDING TO RECORDED SURVEYS	



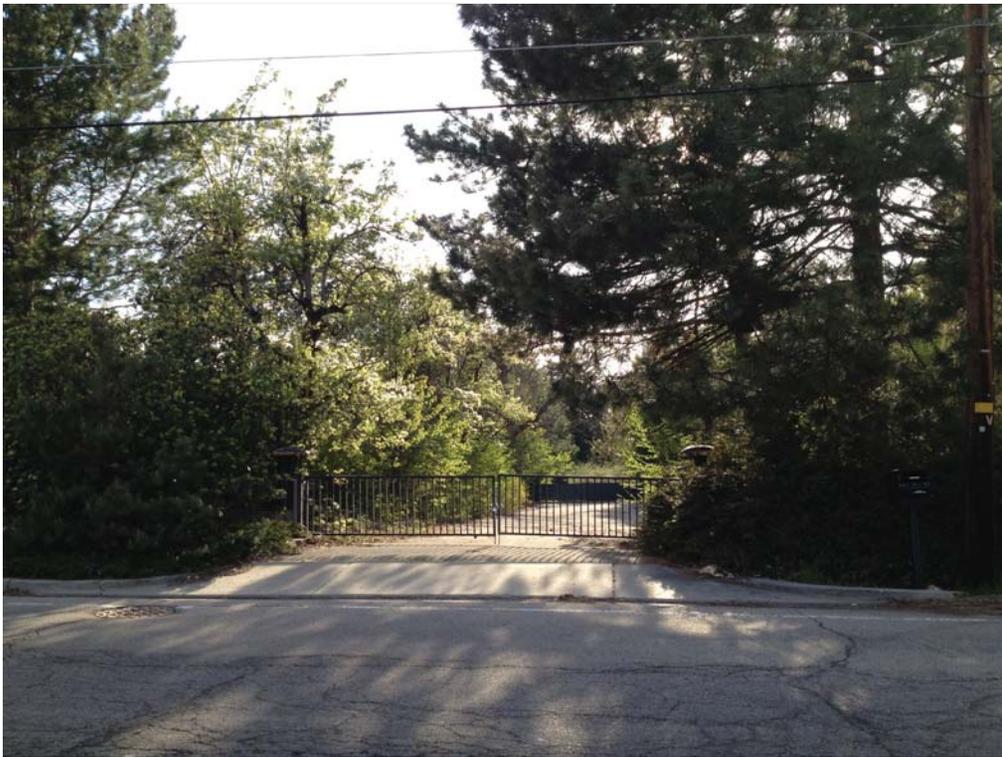
BENCHMARK ENGINEERING & LAND SURVEYING
 3547 WEST 4000 SOUTH
 SALT LAKE CITY, UT 84119
 www.benchmarkcivil.com

CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

CALL BEFORE YOU DIG.
 IT'S FREE & IT'S THE LAW.
 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER
 1-800-662-4111
 www.bluestakes.org

PRELIMINARY
 SITE PLAN
 CSP.01
 3 OF 9

This Page
Intentionally Blank





June 5, 2013

Ms. Jenna Carver
Traffic Engineer
Salt Lake County



Dear Jenna:

The purpose of this letter is to address the existing and projected traffic conditions along Honeycutt Road at Millbrook Road (approximately 3600 South) in Salt Lake County, Utah. Steve Davies Development is proposing to construct an eight lot subdivision (Creekside at Honeycutt, PUD) with a new street which would be approximately 60 feet to the north of the intersection Honeycutt Road and Millbrook Road. To accomplish this, the developer would demolish an existing single family residence which has an existing driveway on the west side of Honeycutt Road which is almost directly across from Millbrook Road. The site plan for the development is attached as an appendix.

The focus of this traffic report is analyze the proposed subdivision road and use traffic engineering analysis to evaluate how the offset intersection will operate with the additional subdivision traffic. The report will address whether a variance to Salt Lake County standards should be granted to allow for the offset intersection (Salt Lake County requires that streets be at least 150 feet apart so that offset intersections do not create conflicts between opposing left turn movements).

Existing Traffic Counts

To develop this report Falcon Traffic performed traffic counts on the intersection of Honeycutt Road and Millbrook Road during the PM Peak Hours (4:00 p.m. to 6:00 p.m.) of Wednesday, June 5th and the AM Peak Hours (7:00 a.m. to 9:00 a.m.) on Thursday, June 6th. The traffic counts are listed in the following tables:

Traffic Counts for Honeycutt Road and Millbrook Road AM Peak Hour						
	Honeycutt Road				Millbrook Road	
AM Counting Periods	Southbound Left	Southbound Thru	Northbound Thru	Northbound Right	Westbound Left	Westbound Right
7:00 a.m. to 7:15 a.m.	0	4	5	0	0	2
7:15 a.m. to 7:30 a.m.	0	2	5	2	1	2
7:30 a.m. to 7:45 a.m.	0	4	6	0	0	1
7:45 a.m. to 8:00 a.m.	0	6	6	3	1	1
8:00 a.m. to 8:15 a.m.	0	10	9	2	2	0
8:15 a.m. to 8:30 a.m.	0	17	11	5	7	1
8:30 a.m. to 8:45 a.m.	0	12	19	3	9	2
8:45 a.m. to 9:00 a.m.	0	11	12	3	6	1
AM Peak Hour						
8:00 a.m. to 9:00 a.m.	0	50	51	13	25	4

Traffic Counts for Honeycutt Road and Millbrook Road PM Peak Hour						
PM Counting Periods	Honeycutt Road				Millbrook Road	
	Southbound Left	Southbound Thru	Northbound Thru	Northbound Right	Westbound Left	Westbound Right
4:00 p.m. to 4:15 p.m.	0	12	10	2	1	0
4:15 p.m. to 4:30 p.m.	1	14	17	0	0	1
4:30 p.m. to 4:45 p.m.	1	9	8	1	3	0
4:45 p.m. to 5:00 p.m.	1	13	10	0	5	1
5:00 p.m. to 5:15 p.m.	1	11	5	3	0	2
5:15 p.m. to 5:30 p.m.	0	13	3	4	0	1
5:30 p.m. to 5:45 p.m.	1	8	14	0	4	1
5:45 p.m. to 6:00 p.m.	0	7	8	0	0	1
PM Peak Hour						
4:00 p.m. to 5:00 p.m.	3	48	45	3	9	2

It was estimated that traffic from the new proposed development would follow similar traffic patterns. For the AM Peak Hour, the traffic counts above show that approximately 40 percent of the traffic is going to/coming from the north and 60 percent of the traffic is going to/coming from the south. For the PM Peak Hour, the traffic counts above show that approximately 50 percent of the traffic is going to/coming from the north and 50 percent of the traffic is going to/coming from the south.

Trip Generation for New Development

The Institute of Transportation Engineers (ITE) Trip Generation (8th Edition) handbook was used to estimate trips for the land uses. For single family residential homes, the proposed land use is ITE Land Use 210 (i.e., Single-Family Detached Housing).

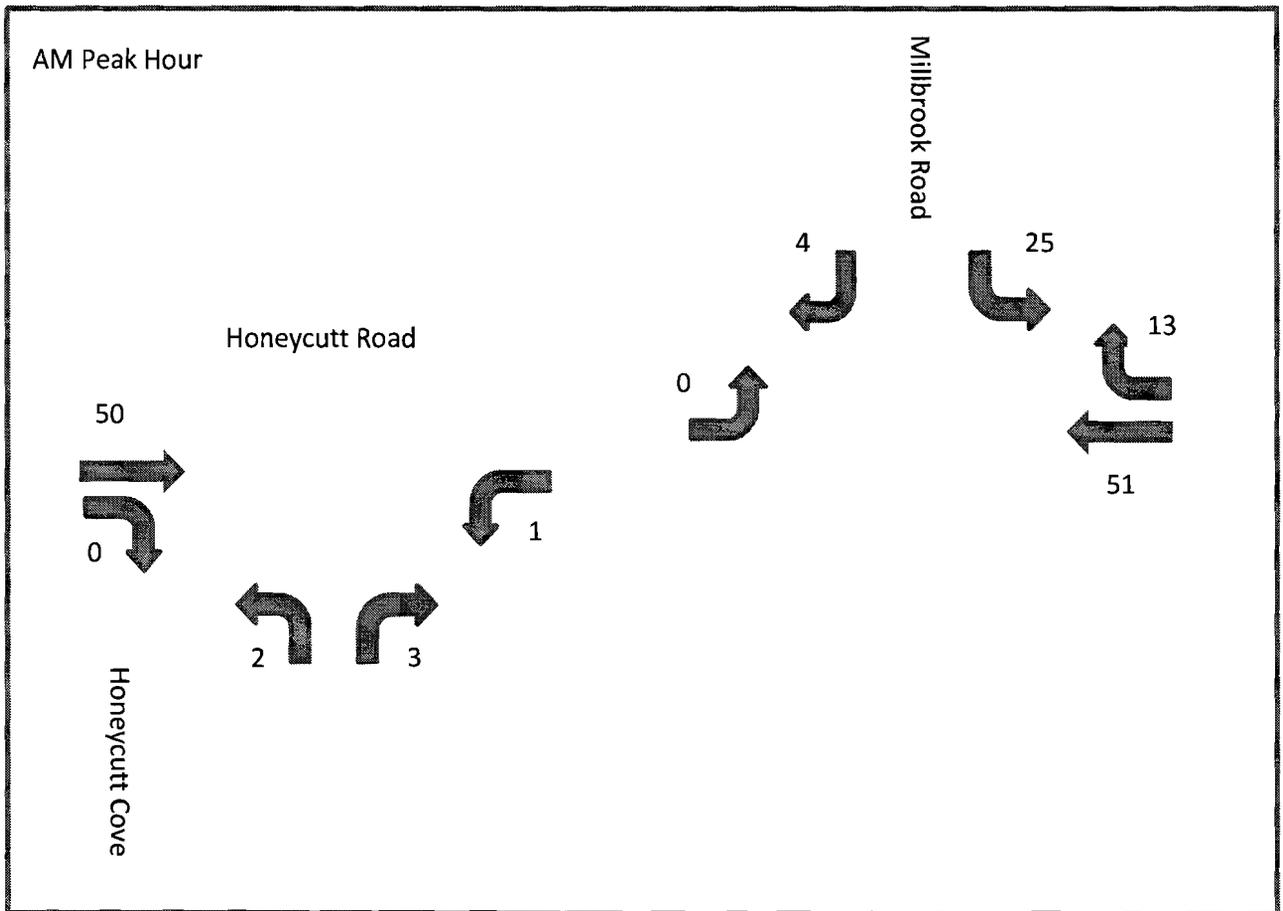
For Land Use 210, the AM Peak Hour is projected to generate 0.75 trips per unit with a directional distribution of 25 percent entering and 75 percent exiting. Similarly, the PM Peak Hour generates 1.01 trips per unit with a directional distribution of 63 percent entering and 37 percent exiting.

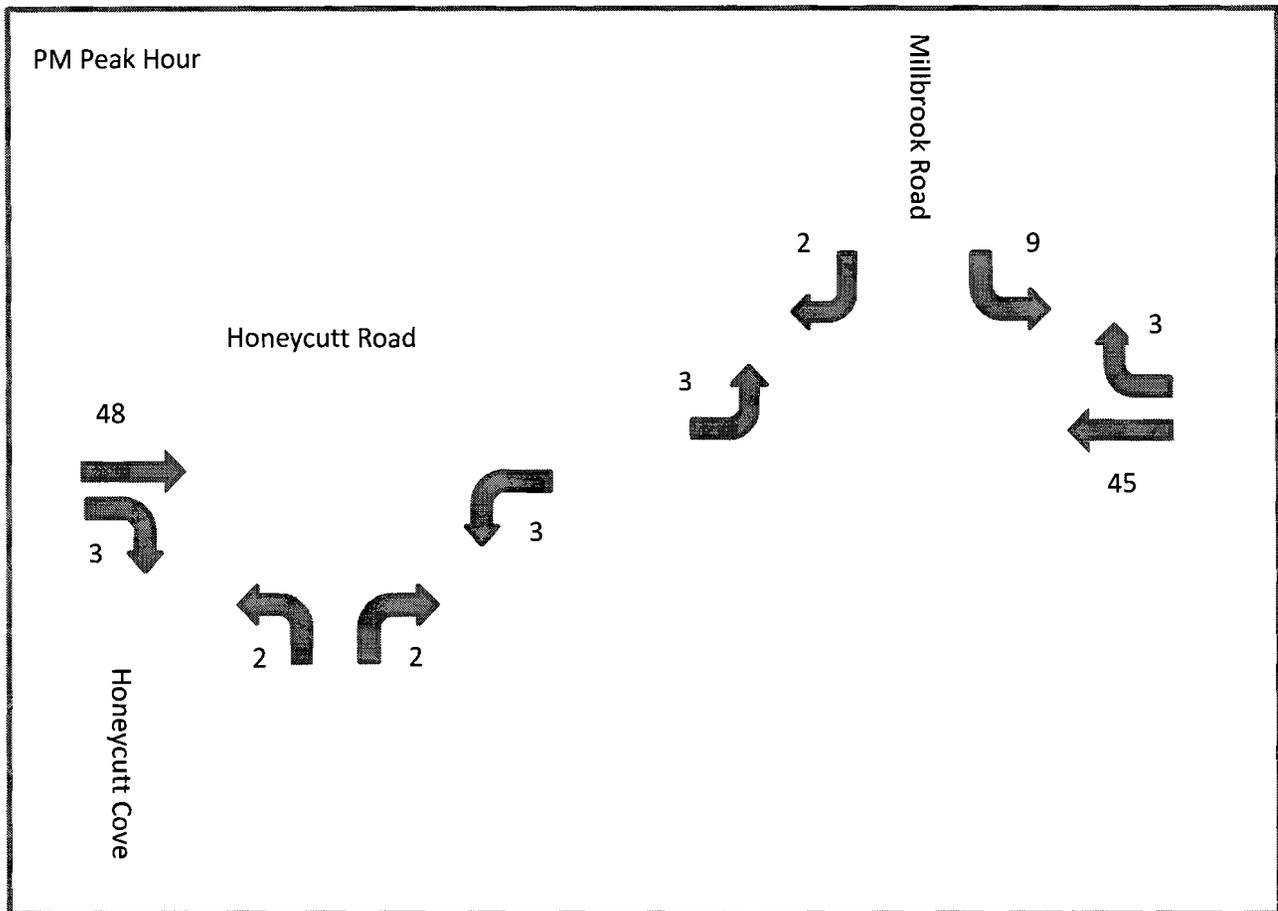
Based on the above ITE trip rates and directional distributions, it is projected that the proposed subdivision will generate 6 AM Peak Hour trips (8 units x 0.75 trips/unit) and 8 PM Peak Hour Trips (8 units x 1.01 trips/unit). The AM Peak Hour is projected to have 1 trip entering and 5 trips exiting. The PM Peak Hour is projected to have 5 trips entering and 3 trips exiting.

Based on the traffic patterns that were estimated based on the existing traffic counts (and their directional distribution shown just below the traffic counts table), the proposed development is projected to generate the following:

	AM Peak Hour (60 % SB, 40% NB)	PM Peak Hour (50% SB, 50% NB)
Southbound Right Turn –	0	3
Northbound Left Turn –	1	3
Eastbound Left Turn –	2	2
Eastbound Right Turn –	3	2

Based on above projections and combining the projections with the existing traffic, the intersection is projected to have the traffic shown in the following two figures:





Based on the above figures, the amount of additional traffic can be calculated. If both the AM and PM Peak hours are considered and the additional traffic south of Millbrook as well as north of the proposed access is considered, the proposed development will add 3.5 percent of additional traffic. The following Highway Capacity Analysis will show that this additional traffic is nearly negligible with regards to Level-of-service and delay.

There were a number of pedestrians and bicyclists observed during the traffic counts. As the roadway is narrow, this was a concern, particularly for school children. The pedestrian/bicycle issue is an existing issue that will not be significantly impacted by the proposed development. It is our understanding that Salt Lake County Public Works has a sidewalk project under design for this area. It is recommended that Salt Lake County master planning address the issue and that the developer of this subdivision coordinate with that planning effort where possible.

Highway Capacity Manual Software Analysis

Using the Highway Capacity Analysis Software, the existing and proposed intersections were analyzed to determine their Level-of-Service (LOS) and delay. LOS is a rating of the intersection with grades from A –

F based on volume to capacity ratios and delay. An intersection with an A “grade” would have “free flow” and little delay. An intersection with an F “grade” would have congestion and queuing throughout the intersection. The following tables show the results of this analysis. Printouts from the software are included in the appendix. It was assumed that for the developed condition that the two intersections would operate as one. This is a conservative assumption for this type of offset condition:

Highway Capacity Analysis for Unsignalized Intersections Delay and Level-of-Service (LOS) Honeycutt and Millbrook				
	AM Peak Hour Existing Delay (seconds)/LOS	AM Peak Hour With Development Delay (seconds)/LOS	PM Peak Hour Existing Delay (seconds)/LOS	PM Peak Hour With Development Delay (seconds)/LOS
Southbound	7.3/A	7.3/A	7.3/A	7.3/A
Northbound	N/A	7.3/A	N/A	7.3/A
Eastbound	N/A	8.8/A	N/A	8.9/A
Westbound	9.2/A	9.3/A	9.0/A	9.1/A

It can be seen that the proposed street has little to no effect on LOS or delay and that all movements are LOS A. This LOS indicates a nearly free flow condition. Therefore, based on the HCS analysis above, the development is recommended for approval from a traffic analysis standpoint.

Offset Intersection Discussion

Salt Lake County requires that opposing streets be lined up or that 150 foot offset be provided. To address other site issues, the developer is proposing a 60 foot offset and requesting a variance from the County offset ordinance. It is my opinion that the offset requirements were developed for roadways where a center shared median lane existed. In these cases, left turns in the median can conflict due to short offset distances. That case does not exist for the proposed offset as there is not a center shared median. As northbound and southbound left turns on Honeycutt Road would occur from the through lane, then the offset is not an issue, as long as the turning vehicles do not have projected queues that would be long enough to block a left turn vehicle (i.e., the offset variance should be approved as long as projected left turn queue lengths on Honeycutt Road do not exceed 60 feet). From the HCS analysis above left turn queue lengths for the 95th percentile queue are available. This worst case queue is shown below. The queue length in feet is based on 25 feet per queued vehicle:

AM Peak Hour

Northbound Left - 0.00 cars or 0 feet
 Southbound Left - 0.00 cars or 0 feet

PM Peak Hour

Northbound Left – 0.01 cars or 0.25 feet
 Southbound Left – 0.01 cars or 0.25 feet

Therefore, it can be seen from the above projected queue lengths that the queues are nowhere near the offset distance and the offset will not adversely impact the intersection. **It is recommended that the offset variance be approved.**

Traffic Calming

While observing traffic along Honeycutt Road, it was noted that some vehicles tend to travel faster than 25 miles per hour and some even ignore the speed signs (that include their actual speed). Neighbors that live on Honeycutt Road have expressed their frustration with the speeding vehicles. As the new development will not add enough traffic to significantly impact the roadway, speeds along Honeycutt Road will not likely be impacted either up or down.

Traffic calming involves a variety of approaches that attempt to discourage speeding and cut-through traffic through neighborhoods. Traffic calming can work well when there is cut-through traffic and that traffic can be discouraged in residential neighborhoods (through speed bumps, enforcement, and other traffic calming devices). When cut-through traffic is not the issue and traffic calming is aimed mainly at the residents of the area, it has mixed results. In watching the traffic on Honeycutt Road, it is felt that these vehicles are not using the road to "cut-through" and that using traffic calming will not redirect speeders to other alternative roadways.

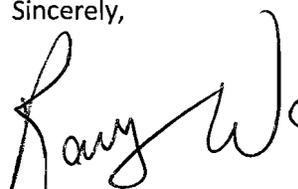
If traffic calming devices were implemented on Honeycutt Road, then it is felt that they would perform similarly to the existing speed signs on Honeycutt Road. While many vehicles will slow down at the signs, they will often speed up when there are no signs. Speed bumps tend to have this problem and unless there are a series of speed bumps, similar to Siggard Road, then they are likely to slow traffic only immediate to the speed bump area.

Therefore, if a speed bump were implemented on Honeycutt Road near the new development, it would likely slow traffic and satisfy residents near the speed bump, but speeds on either side of the bump would possibly increase and the majority of the residents in the area will typically complain about the speed bumps. It is the recommendation of this report that the new development is not creating the impact and that Salt Lake County Traffic Engineering may want to further study this area to see if traffic calming measures are appropriate.

Conclusion

In conclusion, the traffic analysis showed that the LOS, delay and queue lengths are acceptable and that the project and offset variance should be approved. Furthermore, traffic calming is something that could be considered in the area, but the issues that have been raised by neighbors to the development (i.e., speed and pedestrian safety) should not be significantly changed by the addition of the proposed development.

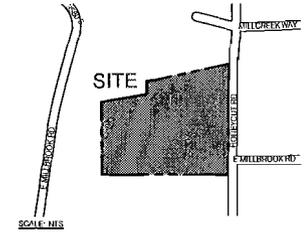
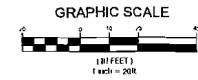
Sincerely,


Randy Wahlen, PE
President, Falcon Traffic



CREEKSIDE AT HONEYCUT P.U.D.

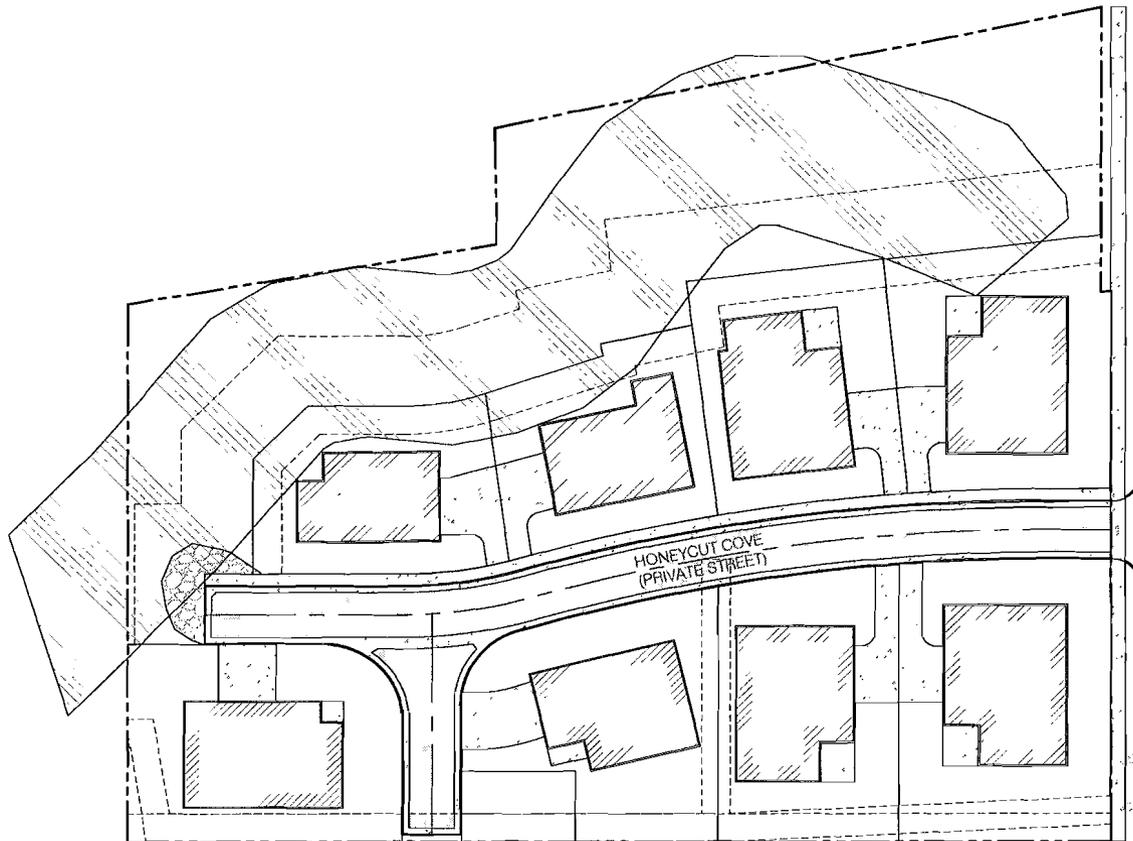
LOCATED IN THE NORTHEAST QUARTER OF
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1
EAST, SALT LAKE BASE AND MERIDIAN



DEVELOPER:
NAME: DAVIES DEVELOPMENT, INC
CONTACT: STEVE DAVIES
TELEPHONE: (801) 763-9901
EMAIL: STEVE@DAVIESDEVELOPMENT.COM

DRAWING INDEX

- COV COVER SHEET
- CGN.01 GENERAL NOTES, LEGEND & ABBREVIATIONS
- CSP.01 SITE PLAN
- CUP.01 UTILITY PLAN
- CGD.01 GRADING AND DRAINAGE PLAN
- CDP.01 DEMOLITION PLAN
- CDT.01 DETAILS & NOTES
- CDT.02 DETAILS & NOTES
- CDT.03 DETAILS & NOTES



HONEYCUT ROAD
(1855 EAST STREET)

PRELIMINARY CIVIL CONSTRUCTION PLANS

		BENCHMARK ENGINEERING & LAND SURVEYING <small>8130 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com</small>		PROJECT NO: 1320223
		<small>CREEKSIDE AT HONEYCUT P.U.D. 3649 SOUTH HONEYCUT ROAD SALT LAKE COUNTY, UTAH</small>		DATE: 11/21/22 DATE PREPARED: 11/21/22 DRAWN BY: DKB CHECKED BY: DKB
NO.	DATE	DESCRIPTION		COV 1 OF 9

BENCHMARK ENGINEERING CONTACT: DALE K. BENNETT, PLS PE (PRINCIPAL)

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	<i>Falcon Traffic</i>			Intersection	<i>Honeycutt and Millbrook</i>			
Agency/Co.				Jurisdiction				
Date Performed	<i>6/7/2013</i>			Analysis Year	<i>2013 Existing</i>			
Analysis Time Period	<i>AM Peak</i>							
Project Description								
East/West Street: <i>Millbrook</i>				North/South Street: <i>Honeycutt</i>				
Intersection Orientation: <i>North-South</i>				Study Period (hrs): <i>0.25</i>				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume	0	51	13	0	50	0		
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90		
Hourly Flow Rate, HFR	0	56	14	0	55	0		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	<i>Undivided</i>							
RT Channelized			0				0	
Lanes	0	1	0	0	1	0		
Configuration			TR	LT				
Upstream Signal		0			0			
Minor Street	Westbound			Eastbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume	25	0	4	0	0	0		
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90		
Hourly Flow Rate, HFR	27	0	4	0	0	0		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0			0		
Lanes	0	0	0	0	0	0		
Configuration		LR						
Delay, Queue Length, and Level of Service								
Approach	NB	SB	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration		LT		LR				
v (vph)		0		31				
C (m) (vph)		1544		897				
v/c		0.00		0.03				
95% queue length		0.00		0.11				
Control Delay		7.3		9.2				
LOS		A		A				
Approach Delay	--	--		9.2				
Approach LOS	--	--		A				

Rights Reserved

HCS2000™

Version 4.1f

Copyright © 2003 University of Florida, All Rights Reserved

Version 4.1f

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	Falcon Traffic			Intersection	Honeycutt and Millbrook		
Agency/Co.				Jurisdiction			
Date Performed	6/7/2013			Analysis Year	2013 with Site		
Analysis Time Period	AM Peak						
Project Description							
East/West Street: Millbrook				North/South Street: Honeycutt			
Intersection Orientation: North-South				Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments							
Major Street	Northbound			Southbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume	1	51	13	0	50	0	
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90	
Hourly Flow Rate, HFR	1	56	14	0	55	0	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0			0	
Lanes	0	1	0	0	1	0	
Configuration	LTR			LTR			
Upstream Signal		0			0		
Minor Street	Westbound			Eastbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume	25	0	4	2	0	3	
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90	
Hourly Flow Rate, HFR	27	0	4	2	0	3	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)	0			0			
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	0	0	0	0	0	
Configuration		LR			LR		
Delay, Queue Length, and Level of Service							
Approach	NB	SB	Westbound			Eastbound	
Movement	1	4	7	8	9	10	11
Lane Configuration	LTR	LTR	LR			LR	
v (vph)	1	0	31			5	
C (m) (vph)	1563	1544	873			945	
v/c	0.00	0.00	0.04			0.01	
95% queue length	0.00	0.00	0.11			0.02	
Control Delay	7.3	7.3	9.3			8.8	
LOS	A	A	A			A	
Approach Delay	--	--	9.3			8.8	
Approach LOS	--	--	A			A	

Rights Reserved

HCS2000™

Version 4.1f

Copyright © 2003 University of Florida, All Rights Reserved

Version 4.1f

TWO-WAY STOP CONTROL SUMMARY							
General Information				Site Information			
Analyst	Falcon Traffic			Intersection	Honeycutt and Millbrook		
Agency/Co.				Jurisdiction			
Date Performed	6/7/2013			Analysis Year	2013 Existing		
Analysis Time Period	PM Peak						
Project Description							
East/West Street: Millbrook				North/South Street: Honeycutt			
Intersection Orientation: North-South				Study Period (hrs): 0.25			
Vehicle Volumes and Adjustments							
Major Street	Northbound			Southbound			
Movement	1	2	3	4	5	6	
	L	T	R	L	T	R	
Volume	0	45	3	3	48	0	
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90	
Hourly Flow Rate, HFR	0	50	3	3	53	0	
Percent Heavy Vehicles	0	--	--	0	--	--	
Median Type	Undivided						
RT Channelized			0			0	
Lanes	0	1	0	0	1	0	
Configuration			TR	LT			
Upstream Signal		0			0		
Minor Street	Westbound			Eastbound			
Movement	7	8	9	10	11	12	
	L	T	R	L	T	R	
Volume	9	0	2	0	0	0	
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90	
Hourly Flow Rate, HFR	10	0	2	0	0	0	
Percent Heavy Vehicles	0	0	0	0	0	0	
Percent Grade (%)	0			0			
Flared Approach		N			N		
Storage		0			0		
RT Channelized			0			0	
Lanes	0	0	0	0	0	0	
Configuration		LR					
Delay, Queue Length, and Level of Service							
Approach	NB	SB	Westbound			Eastbound	
Movement	1	4	7	8	9	10	11
Lane Configuration		LT		LR			
v (vph)		3		12			
C (m) (vph)		1566		909			
v/c		0.00		0.01			
95% queue length		0.01		0.04			
Control Delay		7.3		9.0			
LOS		A		A			
Approach Delay	--	--		9.0			
Approach LOS	--	--		A			

Rights Reserved

HCS2000™

Version 4.1f

Copyright © 2003 University of Florida, All Rights Reserved

Version 4.1f

TWO-WAY STOP CONTROL SUMMARY								
General Information				Site Information				
Analyst	Falcon Traffic			Intersection	Honeycutt and Millbrook			
Agency/Co.				Jurisdiction				
Date Performed	6/7/2013			Analysis Year	2013 with Site			
Analysis Time Period	PM Peak							
Project Description								
East/West Street: Millbrook				North/South Street: Honeycutt				
Intersection Orientation: North-South				Study Period (hrs): 0.25				
Vehicle Volumes and Adjustments								
Major Street	Northbound			Southbound				
Movement	1	2	3	4	5	6		
	L	T	R	L	T	R		
Volume	3	45	3	3	48	3		
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90		
Hourly Flow Rate, HFR	3	50	3	3	53	3		
Percent Heavy Vehicles	0	--	--	0	--	--		
Median Type	Undivided							
RT Channelized			0				0	
Lanes	0	1	0	0	1	0		
Configuration	LTR			LTR				
Upstream Signal		0			0			
Minor Street	Westbound			Eastbound				
Movement	7	8	9	10	11	12		
	L	T	R	L	T	R		
Volume	9	0	2	2	0	2		
Peak-Hour Factor, PHF	0.90	0.90	0.90	0.90	0.90	0.90		
Hourly Flow Rate, HFR	10	0	2	2	0	2		
Percent Heavy Vehicles	0	0	0	0	0	0		
Percent Grade (%)	0			0				
Flared Approach		N			N			
Storage		0			0			
RT Channelized			0				0	
Lanes	0	0	0	0	0	0		
Configuration		LR			LR			
Delay, Queue Length, and Level of Service								
Approach	NB	SB	Westbound			Eastbound		
Movement	1	4	7	8	9	10	11	12
Lane Configuration	LTR	LTR	LR			LR		
v (vph)	3	3	12			4		
C (m) (vph)	1562	1566	880			932		
v/c	0.00	0.00	0.01			0.00		
95% queue length	0.01	0.01	0.04			0.01		
Control Delay	7.3	7.3	9.1			8.9		
LOS	A	A	A			A		
Approach Delay	--	--	9.1			8.9		
Approach LOS	--	--	A			A		

Rights Reserved

HCS2000™

Version 4.1f

Copyright © 2003 University of Florida, All Rights Reserved

Version 4.1f

This Page Intentionally Left Blank



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	3	6	8	
Applicant Name:	Steve Davies & Rick Plewe	Request:	Conditional Use						
Description:	8-lot Single-Family Planned Unit Development Subdivision								
Location:	3548 South Honeycut Road (1850-1860 East)								
Zone:	R-1-10 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Approval with Conditions								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1. Previous Commission Action

This application was continued from the Millcreek Township Planning Commission's June 12, 2013 meeting. Staff was recommending continuance for insufficient information. In addition, the applicants presented at the meeting a revised plan that reduced the number of lots from 8 to 7. There was insufficient information and time for staff to evaluate and make a recommendation on the revised plan or for the Commission to take action. Further, the applicants had submitted an application for an Exception to County Roadway Standards pertaining to the proposed access for the project. However, it had not been submitted in time to be posted on the Commission's June agenda for action.

1.1.2 Revised Application

The applicants have revised the proposal and is now requesting approval of a 7-lot, single-family PUD. The layout is similar to the previous one and more information on the current plans has been provided. Please refer to the Zoning Analysis Table in the ANALYSIS section of this report for more details.

1.1.3 Exception Request

The applicants are requesting approval of an Exception from County Roadway Standards under application 28547. The requested exception is from County Ordinance 14.12.120.C.1, which requires, "whenever possible," local streets be offset by a minimum of 150 Feet or aligned. The applicants' proposed private road into the project is not lined up or off-set 150 feet. The Exception must receive a recommendation from the Planning Commission prior to County Deputy Mayor review. Please refer to the separate staff report for the Exception application, the Conditional Use Standards Table and the Transportation Engineer Review under the ANALYSIS section of this report for further information.

1.1.4. Property Info

Existing Zoning - The subject property and surrounding area is zoned R-1-10, Residential, Single-Family, 10,000 square foot minimum lot size for a standard subdivision.

Surrounding Land Use - The primary use around the area is Single-Family Residential homes.

Subject Property Size - The subject property is 2.21 acres according to a certified survey prepared by the applicants' engineer. Initially, the applicants' submitted Preliminary Plat reflected a legal description that indicated less than 2 acres. However, this was in error, it was reflecting the size of the property after potential additional dedication of right-of-way for Honeycut Road. County regulations require the use of the property's area prior to dedication for calculating density.

Existing & Required Improvements - There is an existing home and residential pool on the site that are proposed to be removed. Honeycut Road is paved with some curb and gutter on the east side. There is no curb, gutter or sidewalk on the west side adjacent to the subject property.

1.2 Hearing Body Action

This application is on the Commission's agenda for final action.

1.3 Neighborhood Response

1.3.1 May 2, 2013, East Mill Creek Community Council Meeting

As number of neighbors were in attendance at the East Mill Creek Community Council Meeting held on May 2, 2013. The majority of the residents present were opposed to the proposal. Some of the issues sited are as follows:

- 1) Too dense;
- 2) Increased traffic on a small residential street;
- 3) Increased traffic conflicts with cars exiting and entering the subject property;
- 4) Insufficient on-site parking;
- 5) Inappropriate on-street parking due to narrow shoulder on both sides of street;
- 6) Safety issues with pedestrians along Honeycut Road, especially children passing through the area on their way too and form school;
- 7) Resulting lots and home sizes are inconsistent with the surrounding neighborhood;
- 8) Contamination and sedimentation of the creek;
- 9) Increased flooding issues for up and down stream property owners.

1.3.2 May 9, 2013, Meeting with Residents and Staff

Staff held a meeting with the residents of the area to go over the information know about the proposal and to explain the approval process and the ordinances that apply to the project, including floodplain, water quality, PUD requirements, density, etc. This was an information only meeting. Clearly residents had concerns about the proposal, but staff did not document specific comments from the residents at that time.

1.3.3 Written Correspondence

At the Commission's June 12, 2013 meeting, Staff distributed a large number of e-mails received from surrounding residents. Additional e-mails submitted since June 12th for the Commission's consideration at the July 10, 2013 meeting are attached to this report. Any further correspondence received after this report is posted and distributed to the Commission will be provided to the Commission at the July 10, 2013 meeting.

1.4 Community Council Response

1.4.1 May 2, 2013

The East Millcreek Community Council reviewed this application at their May meeting, taking over 1-1/2 hours testimony from residents, the applicants and staff. At the end of the public input portion of the meeting, the Council voted to continue the proposed application to their June 6th meeting and requested the Millcreek Township Planning Commission continue their review of the application for one month to give the Community Council more time to review the proposal and make a recommendation. This resulted in the applicants withdrawing the application from the May Planning Commission meeting in order to meet with the residents and to meet again with the Community Council as requested.

1.4.2 June 6, 2013

The application was reviewed again by the East Mill Creek Community Council at their regularly scheduled June 6th meeting. A letter from the Community Council recommending approval subject to a number of conditions was presented to the Commission at their June 12, 2013 meeting, by a representative of the Community Council.

There were concerns raised by the Community Council's representative at the Commission's June 12th meeting. They indicated that the revised proposal (reduced from 8 to 7 lots) had not been reviewed by the Community Council. The representative then suggested that the revised plan should be forwarded back to the Community Council for further consideration and recommendations.

The Commission decided not to send the application back for additional Community Council review. They felt that the change from 8 lots to 7 lots did not warrant additional review. Indicating that the concerns noted and approval recommended in the Community Council's letter of approval, would likely not change significantly with the one-lot reduction.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		The applicants' proposal will comply with all applicable provisions of the zoning ordinance including allowed PUD modifications if approved by the Commission. Please refer to Zoning Analysis Table included in this report.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		If the Exception to roadway standards is approved, the proposed application will comply with all applicable laws and ordinances.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i></p>
		<p>The applicants Traffic Study concludes that the proposed development will not add to the existing traffic concerns raised by the residents along Honeycut road (speed and pedestrian safety). It recommends approval of the applicants' proposed Exception form County Roadway Standards, application 28547, for a non-compliant offset intersection of the projects entrance with Honeycut Road. The study also recommends that the applicant work with the County to improved pedestrian and bicycle safety in the immediate area. The County's Transportation Engineer concurs with the study's recommendations.</p> <p>The applicant's requested exception to installation of curb, gutter and side walk along the frontage of the property is not recommended for approval by the Transportation Engineer. The applicant has indicated that this request was submitted in response to neighborhood residents' concerns that installing curb, gutter and sidewalk in front of the subject property, when it does not exist to the north or the south, would be more of a hazard than an improvement. The applicants have indicated that they are not apposed to installing the required street improvements and have shown these improvements on their recently revised plans. Please refer to the separate staff report for the proposed Exception application 28547.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i></p>
		<p>The preliminary plans indicate that this standard can be adequately met, including all of the issues noted in this standard. Staff anticipates that the issues in this standard can be adequately addressed during the Technical Review and building permit processes.</p> <p>If there are significant changes in the proposal, such as reduction in open space, setbacks, or items that are not approved by the Commission, the project would be brought back to the Commission for further consideration at a noticed public meeting. If the Technical Review results in further lot reduction or reconfiguration, yet still complies with County requirements, the PUD standards and the Commission's approvals, the application would not be brought back to the Commission for further review, unless it was required by the Commission as part of their approval.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i></p>
		<p>It is staff's opinion that the proposed development will be compatible with the surrounding varied nature of the single-family homes in the neighborhood and with the Community General Plan standards. The proposal is for custom single-family detached homes. The proposed home sizes will likely range between the larger homes adjacent to the property to the south, west and northwest; and the smaller homes to the north and to the east across Honeycut Road. The design of the project takes into consideration the sensitive lands on the site and complies with the County's PUD requirements and development standards. This includes compliance with the underlying zone's maximum density and the 30-foot maximum building height allowed in RCOZ.</p>

The Millcreek Township General Plan designates this area as a "Blue" or a stable area, which anticipates little change to the land uses or density in the area. The proposed use is consistent with the existing General Plan designation. It is a single-family development that does not exceed the maximum density allowed in the zone. Further, the general plan discusses protection of the township's natural resources. Mill Creek is one of the primary natural resources in Millcreek Township. The proposed developments clustering of the homes onto smaller lots, placing the stream and the associated riparian floodplain in common area, is consistent with the natural resource protection provisions in the General Plan. It is also consistent with housing provisions in the General Plan that encourage diverse housing types and sizes, for residents in all stages of life.

2.2 Zoning Requirements

2.2.1 Zoning Analysis Table

On the following pages is a summary table comparing the zoning, development standards and policy requirements with the applicants' revised proposal for 7 lots. The table also indicates whether or not the propose standard meets base standard requirements, exceeds these requirements, or needs approval of a modification under the PUD. The table along with the plans constitute the majority of the applicants' proposal.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
Minimum PUD Project Area	1 acre	2.21 Acres / 96,267 square feet	Complies with Ordinance Exceeds Minimum
R-1-10 Maximum Density	4 dwelling units per acre	7 dwelling units / 2.21 acres = 3.17 dwelling units per acre	Complies with Ordinance Less than Maximum
LOT DIMENSIONS Based on R-1-10 zone			
*Minimum Area	10,000 square feet	5,607 to 7,182 square feet Roadway not included in lots.	Needs PUD Approval Less than Minimum
Minimum Width			
Lot 1	80 feet at 30-foot setback	81 feet	Complies with Ordinance Exceeds Minimum
*Lot 2		67 feet	Needs PUD Approval Less than Minimum
Lot 3		87 feet	Complies with Ordinance Exceeds Minimum
Lot 4		87 feet - measured per ordinance; 71 feet - 90 degrees to side lines	Complies with Ordinance Exceeds Minimum
*Lot 5		76 feet	Needs PUD Approval Less than Minimum
*Lot 6		63 feet	Needs PUD Approval Less than Minimum
*Lot 7		74 feet	Needs PUD Approval Less than Minimum
Maximum Building Height (Per RCOZ)	30 feet to ridge line from original grade below ridge line	All homes will comply with RCOZ Max. Building Height. Custom homes on each lot; therefore, compliance confirmation at building permit application.	Complies with Ordinance RCOZ Maximum Building Height confirmed at building permit application can be established by PUD Approval.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
MINIMUM BUILDING SETBACKS			
Setbacks established with PUD Approval			
Project Perimeter			
Based on R-1-10 Zone Minimum Yard Requirements			
*East (Honeycut)	Front - 30 feet Street Side - 20 feet	15 feet	Needs PUD Approval Less than Minimum
North	Side - 8 feet Rear - 15 feet	66 to 80	Complies with Ordinance Exceeds Minimum
South	Side - 8 feet Rear - 15 feet	15 feet	Complies with Ordinance Meets Minimum
West	Rear - 15 feet	30 feet total 24 feet from perimeter to Lot 4 side property line; and 6 feet min. lot setback	Complies with Ordinance Exceeds Minimum
Individual Lot Setbacks			
Based on R-1-10 Zone Minimum Yard Requirements			
*Front	30 feet	10 feet	Needs PUD Approval Less than Minimum
*Interior Side	8 feet	6 feet (12 feet Min. between structures) Shared driveways for lots 1 & 2 and Lots 6 & 7 result in larger setbacks.	Needs PUD Approval Less than Minimum
*Street Side	20 feet	Lots 1 and Lot 7 - 15 feet	Needs PUD Approval Less than Minimum
*Rear	15 feet with Garage	Lots 1-3 - 6 feet or floodplain Lots 4-7 15 feet	1-3 Need PUD Approval Less than Minimum 4-7 Comply with Ordinance Meets Minimum
From 100 Yr Floodplain	FEMA allows construction in floodplain. Finished floor must be 1-foot above. If in floodplain Certificate of No Effect and Flood Certificate required.	Build up to floodplain boundary, but no foundations within boundary.	Complies with FEMA & FFIP Exceeds Minimum All lots will require Elevation Certificate with Construction.
From Top of Bank (Flood Control)	Flood Control requires 20-foot maintenance and emergency access easement along creek. Location approved by County Flood Control.	20-foot proposed easement shown on the proposed plans.	Complies with Flood Control Requirements Flood Control approved subject to easement legal description on Final Plat
OPEN SPACE AND RECREATIONAL FACILITY (OS&RF) STANDARDS			
Recreational Facilities			
Proposal Needs PUD Approval			
Quantity	1 Playground + 1 Additional for total project bedrooms between 10 & 75	2	Complies with OS&RF Standards Meets Minimum
*Type 1	Playground 1,000 sq. ft. w/play equipment Fencing required if adjacent to road or other safety issue.	Playground 1,000 sq. ft., Play equipment to be provided.	Needs PUD Approval Meets Min. Size Recreation improvements & fencing details not yet provided. Can be worked out during Technical Review.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
*Type 2	One other per policy standards list or proposed by applicant.	Creek Area 26,060 square feet / 0.59 acres Improvements to include walking paths, seating benches and replaced bridge.	Needs PUD Approval Meets acceptable types & sensitive lands as common open space. Recreation improvements can be worked out during Technical Review.
Open Space			
Types of Open Space	Landscape, Natural Areas, Recreational Areas, Yards, Patios	Playground, Creek Area, Yards of proposed homes	Complies with OS&FR Standards Proposed Acceptable
Square feet/Acres	21,780 / 0.5 acre per 1 acre (43,560 square feet for the project)	54,702 square feet	Complies with OS&FR Standards Exceeds Minimum
Percent of Site	50%	64%	Complies with OS&FR Standards Exceeds Minimum
PARKING			
*Total	2 per dwelling + possible guest spaces required; quantity approved by Commission	18 spaces minimum 14 minimum in garages 4 guest spaces off lots	Needs PUD Approval
Per Unit	2 per dwelling	2 per dwelling in garage	Complies with Parking Ordinance Meets Minimum
*In Driveway	None, but can count towards guest parking	Current proposal does not include plans for how additional parking may be allowed on the lots.	Needs PUD Approval May be opportunity for additional parking on lots. Custom homes concept - for all lot, difficult to determine. Min. requirement per lot could be established with Approval.
*Guest (Not on the lots)	Determined by Planning Commission (1/2 space per unit has been used for higher density developments in the past.)	4 off lots , See Site Plan Attached (Sheet CSP.01 3 of 8)	Needs PUD Approval Meets Minimum policy standard used previously with higher density developments.

2.2.2 Development Plan Items that can be Modified Under PUD

Under the PUD ordinance some standard provisions can be modified through PUD approval, others can't. For example, the Commission can't approve density higher than the maximum allowed in the underlying zone or approve land uses not listed in the underlying zone. The items available for modification under a PUD include: lot size; lot layout; building setbacks; building height; typical architecture; recreational facilities and open space plan; fencing plan; typical lot landscaping plan; common area landscaping; and parking.

2.2.3 PUD Ordinance

The following is a summary and analysis of the PUD provisions applicable to Planning Commission Review.

19.78.010 Scope of Approval - The PUD ordinance does not guarantee approval. The PUD should only be approved if it meets the intent and purpose and applicable requirements of the zoning ordinance.

The proposed information submitted by the applicant is sufficient to determine if the proposal

can comply with the PUD and other zoning regulations, subject to the Technical Review process with staff.

19.78.020 Purpose - The main purposes of the PUD ordinance are:

1. Allow diversification of uses and structures to their site;
2. Encourage good neighbor, housing, or area design to ensuring substantial compliance with the base zone and the provisions of the zoning ordinance related to health, safety, and general welfare; and
3. Take advantage of larger scale site planning.

It is staff's opinion that the proposal will achieve the Purpose of the PUD ordinance through: the diversity that will be achieved through custom home designs; proposed protection of the sensitive lands within common area ownership; the proposed development plan; and the staff recommendations.

19.78.090 Effect on adjacent properties - Site design to ensure adjacent properties will not be adversely affected. The Planning Commission can address building height; building location; lot area, lot width, yard, and coverage. Density shall be the same as the underlying zone.

The applicant's proposed density is less than the allowed density in the R-1-10 zone. While lot size is smaller than surrounding lots, the overall density falls within the R-1-10 zone and the plan allows a significant riparian area on the property to be preserved in a common ownership parcel rather than inside individual lots.

The lot layout, perimeter setbacks, lot setbacks and proposed compliance with RCOZ building height, will ensure that the adjacent neighbors will not be adversely affected by health, safety and general welfare concerns. The smallest setback from adjacent properties is 15 feet from the south property line. This setback complies with the rear and side yard setbacks of the standard R-1-10 zone and with RCOZ setback requirements.

The applicant proposes to provide perimeter fencing around the project with adjacent neighbors, working out the details of the type of fencing with each of the neighbors.

The proposed homes will be compatible with surrounding homes. Their size will be somewhere between the larger size of homes adjacent to the property and the smaller homes adjacent and across Honeycut Road from the property.

19.78.100 Preservation of open space - Preservation and maintenance of common open space can be accomplished in one of three ways:

1. Dedication as a public park;
2. Granting the County a permanent open space easement to guarantee preservation; or
3. Dedicate into a common area that is owned and maintained by the homeowners association with provisions for the payment of common fees for upkeep.

The applicant is proposing the common areas be located within a common ownership parcel, owned and maintained by the homeowners association. Fees will be required under the covenants of the project, in compliance with state law related to common ownership within a condominium or plat. This is in compliance with this requirement. In addition, the applicant will be providing a flood control easement to the county for flood control maintenance and emergency access. The proposed location of the easement has been approved by County Flood Control subject to a detailed legal description on the Final Plat.

19.78.110 Landscaping - Landscaping must comply with Chapter 19.77 Water Efficient Landscape requirements. This is usually verified by staff during the Technical Review Process.

The applicant has not submitted landscape plans with the proposal at this time. Landscaping under 19.77 is usually reviewed and approved by staff, complying with the provisions of the

ordinance. The Commission can include special landscape provisions in their conditions of approval if deemed necessary.

19.78.120 Signs and floodlighting - Signage and area lighting if any needs to be identified and approved.

The applicant has not proposed any signage, but has indicated that the entrance will be gated, with a wrought-iron style automatic gate with gas lanterns on the pilasters. A specific design has not been provided.

19.78.130 Site plan requirements - The applicant shall submit a site plan, including phasing if any. The plan needs to show the following:

1. Use, dimensions, sketch elevations and location of proposed structures;
2. Areas and locations of vehicle access, pedestrian access, parking, public uses playgrounds, landscaping and open space;
3. General architecture design including physical relationship of the use
4. Other pertinent information including, but not limited to: density, coverage, open space characteristics, as needed to determine if the proposal is better than standard regulations

Refer to the Zoning Analysis Table and the plans that indicate the applicant's development plan. If the Commission is acceptable to having staff work out the details of landscaping and recreational facilities, it is staff's opinion that the information provided is sufficient to make a decision on the project.

19.78.160 Plan review at public meeting - Preliminary development plans are to be submitted for staff analysis and Planning Commission Review at a public meeting.

The required plans have been submitted for review by staff and are attached to this report for review by the Planning Commission.

19.78.170 Scope of planning commission action - Planning Commission to consider the following:

1. Plans shall be prepared by designer or team that has professional competence in the type of PUD proposed;
2. Control of the design by the Planning Commission not to be so rigid to stifle initiative and incur substantial additional expense, but the control exercised shall be the minimum necessary to achieve the purpose of the PUD Chapter; and
3. Planning Commission may approve or disapprove an application and if approved, attached conditions it deems necessary achieve the Conditional Use Criteria.

The applicants are professional developers/home builders. They have provided professionally prepared plans. The applicants' proposal is to set parameters for construction of the homes including typical architectural style, setbacks, building height, etc. rather than to establish specific homes on each lot. The proposal with staff recommendations should achieve the appropriate control.

2.2.4 Items Not Yet Submitted

The following items have not been submitted: detailed open space improvements; playground improvements; sight lighting; fencing and typical landscape plan for the lots; a detailed landscape plan for the common areas; and an updated tree preservation plan. These items could be provided, and approved by Staff, during the Technical Review process, if the Commission is amenable. Otherwise, the Commission could continue the application in order for the applicant to supply the information for review by the Commission; or request the final designs be provided to the Commission for final approval before the Preliminary Plat is issued by staff.

2.3 Other Agency Recommendations or Requirements

2.3.1 Transportation Engineer

The Transportation Engineer Jena Carver reviewed the applicants' original proposal and indicated that the project's private road intersection with Honeycut Road does not comply with County Highway Standards. The applicant has submitted an Exception application 28547 previously noted in this report requesting an exception from this requirement, the application was also seeking approval of an exception from subdivision standards requiring curb, gutter and sidewalk (CG&S) improvements.

The Transportation Engineer concurs with the applicants' Traffic Study which recommends approval of the proposed Exception from County Roadway Standards for the non-complying off-set intersection. The study does not address specifically the requested exception from CG&S requirements, but notes there are pedestrian and bicycle safety concerns that already exist and the applicants should work with the County to improve these concerns. The Transportation Engineer does not recommend approval of Exception from Subdivision Requirements for CG&S improvements. (Please refer to the separate Exception Staff Report for more details regarding the request.)

2.3.2 Grading Review & Storm Water Pollution Prevention & FEMA

Final grading plans are required to be provided for the overall development of the subdivision as part of the Technical Review Process. Plans will need to include a geotechnical report, including a soils analysis. Each lot will require separate grading review at time of building permit. The overall project, as well as the individual lots are subject to grading standards, erosion control requirements and storm water pollution prevention requirements. These requirements include silt fencing, revegetation and other erosion control measures both during and after construction. Proposed work will also have to comply with FEMA requirements, administered under the County's Flood Insurance Program. Confirmation of these requirements occur during the Technical Review and Building Permit processes.

2.3.3 Geology Review

The County Geologist has approved the project as proposed with no further review required. Geology is looking at Faulting, and liquefaction issues. The subject property is not near a fault study area and is located in a Very Low Liquefaction area.

2.3.4 Urban Hydrology Review

The County Hydrologist has indicated that the applicants preliminary proposal for addressing drainage is acceptable. Final drainage plans detailing the drainage proposal are required for the Technical Review Process and must be approved prior to recordation of the Final Plat.

2.3.5 Flood Control Review

County Flood Control has completed their review of the proposed plans. They support the proposed flood control access easement as shown with a final legal description included on the Final Plat. They are also requiring a Technical Review of proposed stream bank stabilization plans, and any other improvements within 20 feet of the stream. The existing bridge will have to be replaced and comply with Flood Control and FEMA regulations to ensure that it does not create flooding issues during an event. Cost of reconstruction of the bridge may prove to be prohibitive. If this is the case, the passive recreation improvements proposed within the creek area open space may need to be reconfigured. This can be refined during the Technical Review Process.

2.3.6 Unified Fire Authority Review

The Unified Fire Authority UFA has completed their review of the Preliminary Plans. They have indicated preliminary approval subject to a Technical Review. The proposed access meets UFA requirements.

Technical Review will confirm final location of the hydrants and fire flow for the area. The fire file will determine whether or not the home need to be fire sprinkled.

2.3.7 Army Corps. and State Stream Alteration Review

In the case of Mill Creek, the Federal Army Corps. of Engineers has assigned review of work along the creek to the State of Utah, Department of Natural Resources, Division of Water Rights, Stream Alteration permit program; except in cases where, jurisdictional wetlands.

The State has reviewed the site and proposed preliminary plans and has approved the preliminary plans subject to Technical Review. There are no wetlands on the site so the Army Corps. will not be involved with this review. Any work within the 20 feet of the stream will require a Stream Alteration Permit from the State.

2.3.8 Salt Lake Valley Health Department Review

The Health Department requires verification of water and sewer availability. This is confirmed during the Technical Review process. The Health Department requires availability letters from the water and sewer providers before they will send the County final approval and sign the Final Plat.

2.3.9 Water and Sewer Providers

The applicant is in the process of obtaining water and sewer availability letters form the applicable providers. It is anticipated that water and sewer will be available subject to final design of the connections and payment of final connection fees. This is verified during the Technical Review process.

2.4 Other Issues

2.4.1 Rear Lot Lines adjacent to the Creek

The applicant's current submittal shows the rear lot lines of lots 1-3 partially located within the FEMA floodplain boundary. In the case of lot three, almost the entire rear lot line is located approximately 18-20 feet into the floodplain. This places the rear lot line for Lot 3 very close to the edge of the ordinary high water level of the stream. (Please refer to the attached site plan.)

Staff has suggested to the applicants that these rear lot lines be relocated to the floodplain boundary. The slope from the floodplain boundary down to the creek is steep, particularly on Lot 3. It would be more appropriate to retain the floodplain area in the common open space rather than in individual lots. The applicants have agreed to make this change. Staff would recommend that that the rear setback for the homes on these lots be allowed to go to the new property line, with a small maintenance and construction easement, if needed, for home construction on these lots. Disturbance within this easement would be required to be restored.

2.4.2 Rear Yard Fencing adjacent to the Creek

The applicant is proposing no fencing between the lots and fencing only around the perimeter of the property with the adjacent residents. Staff supports this proposal, except staff is recommending that a low, open-style fence be placed along the revised rear lot lines of Lots 1-3 to help protect the slope down to the creek. Gates could be provided for access from the lots down to the pathway and seating areas planned along the creek. An open fence would allow visibility of the creek area from the rear of the homes, yet control the access and avoid damage to the slope over time with uncontrolled access. It will also make maintenance of the more sensitive lands the responsibility of the HOA instead of individual property owners.

2.4.3 Trash Removal

The applicant has indicated that trash will be picked up inside the development with individual trash

receptacles for each home. The roadways will be designed to handle the weight of a trash vehicle. The applicant will either need to arrange an agreement with County Sanitation or a private waste disposal company. Nevertheless, this will ensure that trash removal will not cause traffic issues by have trash pick-up for the project along Honeycut Road.

2.4.4 Final Recreational Facility Improvements

The applicant has indicated that there will be playground equipment, a picnic area, pathways along the creek, a bridge replacement; and seating near the creak along the pathways. However, the applicant has not provided details of these improvements. Staff can work with the applicant to finalize these improvements during Technical Review, if the Commission is amenable. These items will need to be commercial grade and located to be sensitive to adjacent neighbors and to the creek area. Pathways design and location will also be important to preservation of the area. Further, fencing around the playground area will be important for safety purposes of keeping children safe.

2.4.5 Tree Preservation

The applicant submitted with the original application a proposed existing tree removal & preservation plan. However, in recent conversations with the applicant they have indicated that there will be more trees preserved than originally proposed, citing recent modifications and more detailed analysis. A revised plan will need to be submitted for review during the Technical Review process.

2.5 Subdivision Requirements

2.5.1 Preliminary Plat

The proposed preliminary plat, with staff recommendations, will comply with Preliminary Plat requirements at completion of the Technical Review process.

2.5.2 Covenants and Restrictions

A copy of the covenants will need to be provided prior to final Preliminary Plat approval to verify consistency with the PUD approval.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) The applicant complete with staff complying with all applicable requirements of staff and outside agencies.
- 2) The lot lines for lots 1-3 be moved to the flood plain boundary.
- 3) The Setbacks for the project shall be as proposed, except that the setback from the rear lot lines of lots 1-3 shall be 0 (the floodplain boundary).
- 4) The building height for all structure shall comply with the Residential Compatibility Overlay Zone Option A requirement of 30 feet.
- 5) All homes shall comply with RCOZ building envelope requirements in RCOZ from the perimeter of the subject property.
- 6) All other standards noted by the applicant or staff in this report shall be part of the PUD.
- 7) A 6-foot construction and maintenance easement shall be provided in the open space area immediately adjacent to the rear lot lines of 1-3 on the final plat. This area shall be reclaimed and revegetated after any construction or any maintenance activities that may damage the easement area. Reclamation and revegetation shall be the responsibility of the adjacent lot owner.

- 8)A final lighting plan shall be submitted for review and approval by staff during the Technical Review process that indicates all exterior lighting to be utilized within the project, including street lighting, common area lighting, entrance feature lighting and exterior home lighting. The plan will need to indicate how lighting will be designed to prevent impact on the adjacent neighbors and meet County development standards.
- 9 Recreational Facility improvements and landscaping shall be finalized with staff prior to Preliminary Plat approval
- 10) A final fencing plan shall be submitted for review and approval with staff prior to final preliminary plat approval. The plan shall included details on all proposed permieter fencing, a site plan showing where al fencing will be located, and address screening of neighboring properties and fencing along rear yards for lots 1-3 as recommended by staff.
- 11)An Exception for from County Roadway Standards for the non-conforming off-set intersections be approved by the Deputy Mayor.

3.2 Reasons for Recommendation

- 1)The proposal complies with PUD requirements
- 2) The proposal complies with Conditional Use Standards
- 3) The proposal is consistent with the Millcreek Township General Plan

This Page Intentionally Left Blank

A Development Narrative

For the Development of

Creekside at Honeycut Road

A Planned Unit Development

Background:

The Property: In January 2013, Davies Development, Inc. was approached by Rick Plewe, a Salt Lake Realtor and Developer, regarding a lot in the Millcreek area of Salt Lake City. It was a 2.21 acre lot located at 3548 South Honeycut Road. The Millcreek area is one of the premier residential areas in the Salt Lake Valley and properties large enough to develop into multiple lots are extremely rare, in fact, they are usually larger lots such as this one that are available because of the death of the family members.

The property is bordered on the north by Millcreek and on the east by Honeycut Road. The lot has a large single **story home on it that was build in the 1950's**. Mr. Plewe became aware of the availability of the property due to a long term family relationship with the owners.

The Developers: The Developer of the property, Creekside at Honeycut Road, LLC, is a joint venture between Rick Plewe and Associates and Davies Development, Inc.

Mr. Plewe is a 1979 graduate of the University of Utah with a major in Management and Finance. In the past he has developed 838 Condominiums, a upscale condo project located on historic South Temple Street in Salt Lake City as well as the Cherrington Place Apartments in Bountiful, the Country Club Ridge Condominiums in Sugarhouse and numerous other apartment and condo projects throughout the Western and Southwestern United States.

Davies Development has been involved in the construction of high end custom homes and small to medium commercial projects for the last forty-two years. Its president, Steve Davies, is a 1971 graduate from Brigham Young University with an MBA degree and its Vice-president, Edward Axley is also a BYU graduate with a degree in Marketing. The company has constructed in excess of 400 individually styled custom homes during its lifetime.

Building Philosophy: The Developers are committed to constructing efficient and environmentally sensitive dwellings. Upon reviewing the property, the developers decided that the best way to develop the property was to request a conditional use approval for a Planned Unit Development. By using the PUD option, the property could be developed in a manner that would allow the minimum disturbance of the wonderful mature trees and shrubbery that cover the property. Upon meeting with the neighborhood, the Developers agreed to reduce the density of the project from the allowable 8 units to 7 units, thus providing more green space and lessening the impact on the existing neighboring homes.

The project will keep hard surfacing to a minimum by allowing narrower streets and requiring sidewalks on only one side of the street as well as using shared driveways where possible. All surfacing, i.e. driveways, walkways, gutter systems, and recreational areas, **that doesn't need to have heavy equipment such as garbage trucks, fire equipment, etc.** drive on it will be constructed of brick pavers that will allow rain, etc. to seep through and not end up in the storm drainage system. Generally, homeowners will be urged to keep

exterior patio and other hard surface areas to a minimum and when they are constructed, it be restricted by the CC&Rs to be constructed with pervious materials.

It is intended to cause as little disturbance to the natural vegetation around the creek as possible. The creek is a valuable asset that is best utilized by its natural setting.

The residences to be constructed will be constructed with ultra high insulation techniques and all heating and cooling elements shall be 90% plus efficient furnaces and at least 15 SEER cooling units. The homes shall be equipped with air exchangers to insure healthful and fresh interior air with a minimum of heat loss. All the windows will be super high efficiency windows with very low **glass "u" ratings**. **It has long been the Developer's policy** to employ environmentally sensitive construction techniques wherever possible.

The Market: It is intended that the target market for the project will be families to middle aged with the units designed to allow for "in place aging" by providing elevator shafts in each unit to provide full usage of the home as the residents age. In addition, hallways will be wider, and generally provisions will be made as the homes are designed to provide for eventual wheelchair use.

The marketing process will be to sell the available lots to prospective residents and then **work with them to "design/Build" each residence**. **This will allow prospective buyers to be** able to develop plans and elevations that meet their individual tastes but will conform to the standards and overall style and design that will be outlined in the CC&Rs. It is not the **intent to create a "Cookie Cutter" project where each residence looks like the other, but to** create a neighborhood that reflects an overall style and design with a lot of individual input.

We assume there will be a considerable interest in the project from existing residents who feel the need to down size the yard, design a house to fit future needs and live in a gated community that will provide yard care, security, and assurance if they chose to travel or leave for an extended period of time.

Style and Architecture: The overall style of the project will be Country French. This style is characterized by Aged Stucco and Stone exteriors, steeply pitched roofs, and tall/slim fenestration. The interiors are light and airy with the look of grace and elegance while maintaining a feel of rough sawn woodwork and interior masonry. The wall surfaces will be aged and the woodwork stressed to create a patina of age and timelessness. Hand crafted plasterwork will be employed to give an old world sophistication to each home.

Specific architectural standards and requirements will be outlined in the CC &Rs.

Amenities: The project amenities will include green space and an abundance of mature fir, pine and oak trees. In addition, there will be walking paths carefully crafted along the side of the creek to minimize the impact to existing vegetation, but allow the residents to walk along the creek and enjoy the sound and effect of the flowing water that will attract them to purchase in the community. Small wrought iron benches will be place along the path to allow for a contemplative rest among the trees. A BBQ area and picnic area will be constructed next to the right hand side of the hammer head turnaround along with a fenced in play area for children.

A gate will be installed in the entrance to the project that will be remotely controlled to provide security and privacy. The gate will be constructed with wrought iron and have operating gas lanterns.



June 12, 2013

To: Members of the Millcreek Planning Commission

Subject: Application 28368 PUD Conditional Use
Property Address 3548 Honeycut, Salt Lake City, Utah 84106

At the June 6, 2013 meeting of the East Mill Creek Community Council (EMCCC), Application 28368, Conditional Use for PUD from R-1-10 zoning, located at 3548 Honeycut Drive, Salt Lake City, Utah 84106, Steve Davies of Davies Development, 1909 West State Road #250, Pleasant Grove, Utah 84062, applicant, was presented by Spencer Sanders of Planning and Developing. This was a continuation from the May 2, 2013 EMCCC meeting with regards to this application.

Mr. Sanders presented the application request and addressed questions from the Council. The council did allow discussion and public comments regarding the zoning and the conditions that apply to this change.

East Mill Creek Community Council forwards a positive recommendation for Application 28368 PUD Development (3548 S. Honeycut) Applicant, pending approval of all required signoffs by Federal, State and local laws and Codes (*including street alignment variance*) with the following recommendations/conditions :

1. Pending street variance, Federal, State and local approvals .
2. Density of eight (8) small lots.
3. Fencing: East fencing to be of masonry and see through material and design, south fence to be repaired with the adjoining neighbors, no interior fencing. Gate will be set back 1 1/2 car lengths or about 20 feet.
4. Landscaping: Open space landscaping plan for north side of creek to be better defined.
5. Pervious surfaces: Driveways and guest parking to be of pervious construction as well as rolled gutter and street if possible.
6. Garbage Collection: Garbage collection to be on site, included in CCRs and maintained by the HOA.

Included are the primary concerns from the public and an extraction from the minutes.

1. High density in an area that is single family and lot sizes are .25 acres and larger. This property is given to us as 2.2 acres, PUD code is 4 units / acre; density is .27 and can include area around the creek. This is a unique property and sensitive property.

2. Impact to Mill Creek stream including erosion, closeness to stream and that State of Utah Water Rights requirements for setbacks in relation to width of stream and public access.
3. Not enough guest parking to keep cars off neighboring streets.
4. Flood plane in this application site plan does not meet FEMA requirements.
5. More negative impacts than positive that need mitigating.
6. Pedestrian thoroughfare for students walking to and from William Penn Elementary and Ever Green Jr. High.

There were positive comments from residents:

1. Retirees and empty nesters want smaller lots and times have changed warranting for larger homes on smaller lots.
2. Eight homes will provide more tax revenue.

Lee Ann Hansen
Vice Chair
Municipal Services/Planning and Zoning

Nancy Carlson- Gotts
Chair

Spencer G Sanders

From: Craig Poulton <cpoulton@poulton.com>
Sent: Friday, June 21, 2013 8:14 AM
To: Spencer G Sanders
Subject: RE: Plewe and Quinn Millcreek PUD Application

Spencer,

Thanks again for your help. I would like to ask that the Planning Commission delay the reconsideration of this project until August as and in that regard, I would ask the following questions:

- 1- May I have a copy of the new plat map showing the intended set backs, especially those on the south side of the project and could I get those showing my lot as well as the developers lot so that I might know where the exactly where the buildings are located in relation to our home? I was promised this by developers but was never provided with such.
- 2- Shouldn't the all of the revised information be made available to the neighbors for more than 15 days or so before the reconsideration is scheduled?
- 3- I would like time to allow me time to obtain legal advice and to commission my own traffic impact report; will the staff and/or the commission consider those valid reasons for a further continuance? If so is there an official filing of some kind beyond this email that I need to make?
- 4- Does the fact that I was told by developers at the first community meeting in the Millcreek Community Center that there would be a 23 foot setback from my north property line and then they filed for a 12 foot setback along that line without informing me contribute to the weight of my request for a delay in the scheduling of the reconsideration by the planning commission?

There are other issues I would bring up but I feel I need the advice of qualified legal counsel. The only qualified attorney I have been able to identify has been out of town and out of contact for the past week and I fear that the July 12 consideration date will make it impossible to obtain the benefit of his advice. Thanks for your time in considering all of this and thanks in advance for the creation of your response.

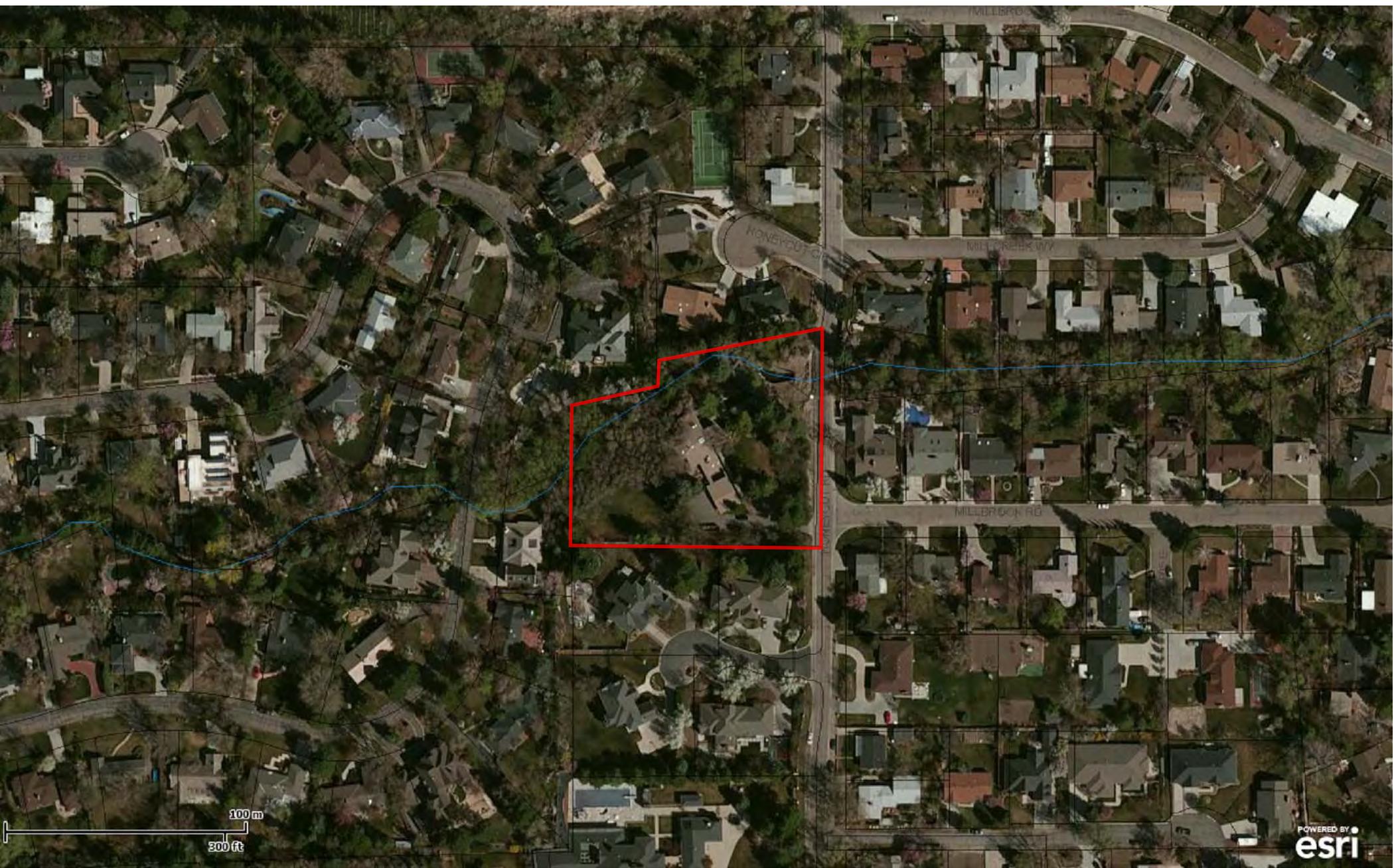
Best regards,
Craig

Craig Poulton, CIC, CPIA, CEO | POULTON ASSOCIATES, INC.
3785 South 700 East, Second Floor, Salt Lake City, UT 84106 Direct (801) 290-7126 | Fax (801) 268-2674 |
cpoulton@poulton.com California License: 688011

This Page Intentionally Left Blank

28368 Creekside at Honeycut PUD - Aerial

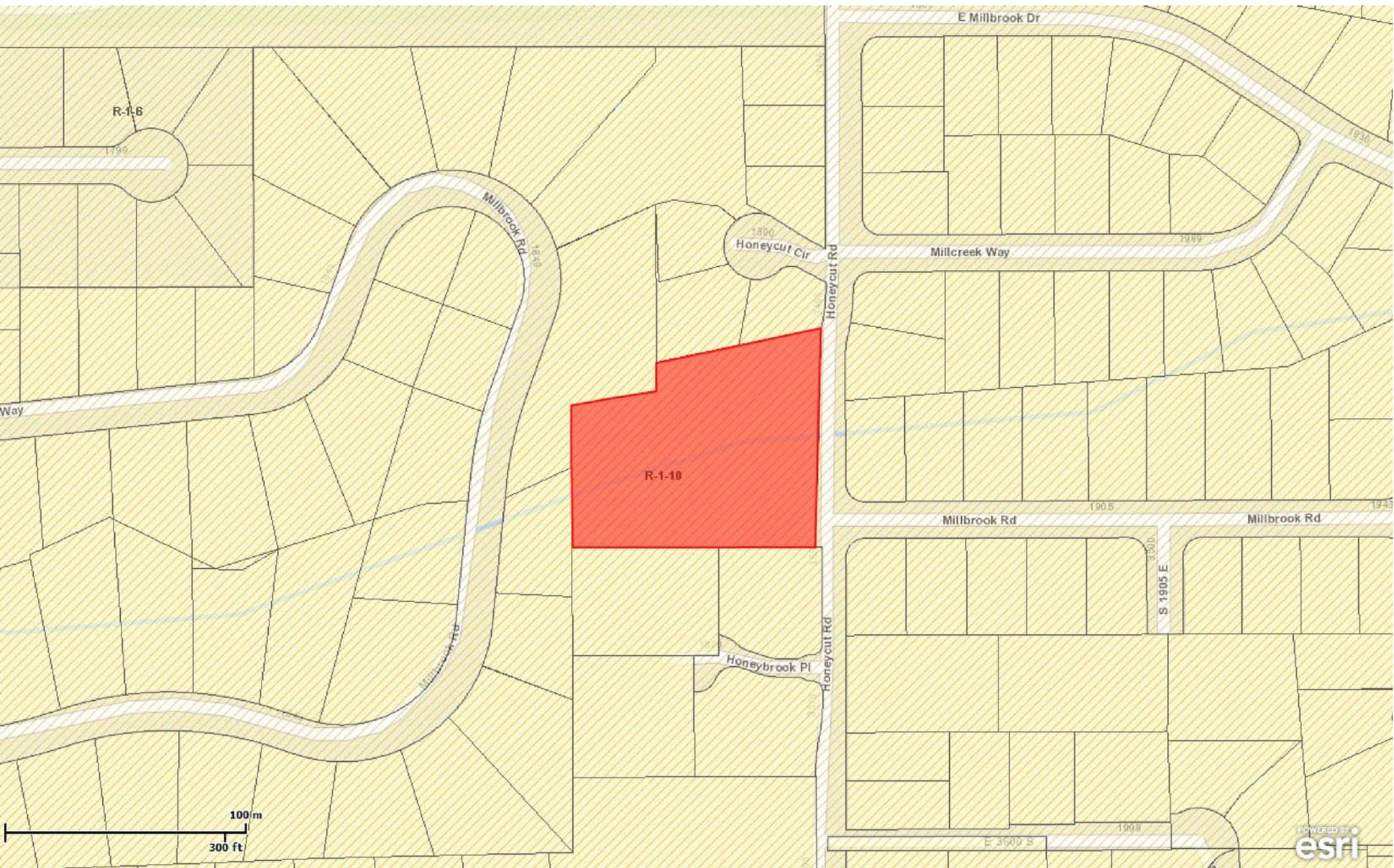
Conditional Use/PUD/Subdivision - Steve Davies



Thu May 2 2013 05:05:08 PM.

28368 Creekside at Honeycut PUD

Conditional Use/PUD/Subdivision - Steve Davies



CREEKSIDE AT HONEYCUT P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

"PRELIMINARY PLAT"

NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN FOUND BRASS CAP MONUMENT, (RING AND LID)

N 89°53'47" W 2610.91' MEAS. BASIS OF BEARINGS 1304.80'

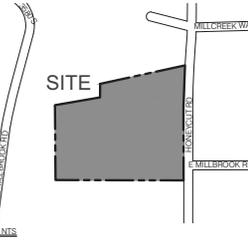
NORTHEAST CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN, FOUND BRASS CAP MONUMENT, (RING AND LID)



GRAPHIC SCALE

(IN FEET)

1 inch = 20 ft.

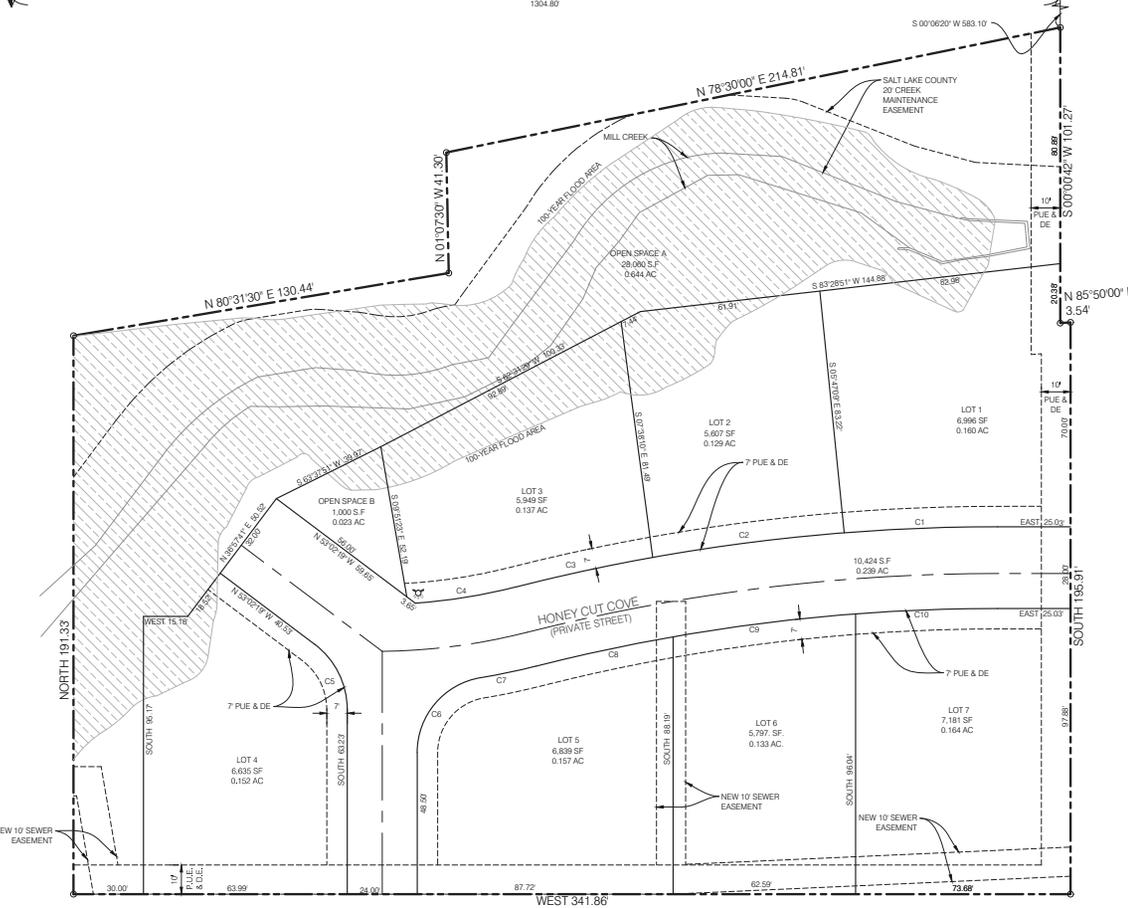


LEGEND

- SECTION CORNER (FOUND)
- SET 24" x 58" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT
- LOT LINE
- PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
- FIRE HYDRANT

NOTE: FIRE TURNAROUND IS TO BE KEPT OPEN AT ALL TIMES.

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	52.60	671.08	52.59	S 87°42'16" W
C2	66.23	671.08	66.21	S 82°40'53" W
C3	48.00	671.08	48.00	S 77°48'08" W
C4	34.91	197.00	34.88	S 80°49'28" W
C5	25.92	28.00	25.00	S 26°31'10" E
C6	36.60	26.00	33.66	N 40°19'50" E
C7	19.30	225.00	19.29	N 78°12'20" E
C8	48.14	643.08	48.12	N 77°54'42" E
C9	63.11	643.08	63.08	N 82°51'02" E
C10	48.69	643.08	48.68	N 87°49'51" E



SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC, HAS BEEN FILED AS # _____ IN THE SALT LAKE COUNTY SURVEYORS OFFICE. AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

CREEKSIDE AT HONEYCUT P.U.D.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT SOUTH 89°53'47" EAST 1304.80 FEET AND SOUTH 00°06'20" WEST 583.10 FEET FROM THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN; AND RUNNING, THENCE SOUTH 00°00'42" WEST 101.27 FEET; THENCE NORTH 85°50'00" EAST 3.54 FEET; THENCE SOUTH 195°91' FEET; THENCE WEST 341.86 FEET; THENCE NORTH 191.30 FEET; THENCE NORTH 80°31'30" EAST 130.44 FEET; THENCE N 01°07'30" W 41.30 FEET; THENCE NORTH 79°30'00" EAST 214.81 FEET TO BEGINNING.

CONTAINS 84,488 SQUARE FEET
1.940 ACRES, MORE OR LESS, INCLUDING OPEN AREAS
8 LOTS



FOR REVIEW ONLY

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____ THE _____ (UNDERSIGNED OWNER) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE:

CREEKSIDE AT HONEYCUT P.U.D.

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY _____ HAVE HERETO SET THIS _____ DAY OF _____ A.D. 20____

ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Salt Lake }
ON THE _____ DAY OF _____ A.D., 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN SAID STATE OF UTAH, THE SIGNER(S) OF THE ABOVE OWNERS DEDICATION, IN NUMBER WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

CREEKSIDE AT HONEYCUT P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

SHEET 1 OF 1

RECORD OF SURVEY RSC NO. : S _____ SIGNED _____ DATE _____	UNIFIED FIRE AUTHORITY APPROVAL SIGNED _____ DATE _____
-------------------------------------------------------------------------	-------------------------------------------------------------------

BENCHMARK ENGINEERING & LAND SURVEYING & CIVIL
 9130 SOUTH STATE STREET SUITE # 100
 SANDY, UTAH 84070 (801) 542-7192
 www.benchmarkcivil.com
 DATE: 07/21/2011

CHECKED FOR ZONING COMPLIANCE

ZONE: _____ LOT AREA: _____
 LOT WIDTH: _____ FRONT YARD: _____
 SIDE YARD: _____ REAR YARD: _____

SIGNED _____ DATE _____

HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D., 20____

SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE SALT LAKE COUNTY PLANNING COMMISSION.

SALT LAKE COUNTY PLANNING COMMISSION

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

PLAN REVIEW SECTION MANAGER _____ DATE _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____

SALT LAKE COUNTY DISTRICT ATTORNEY _____

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR _____ A.D., 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTEDED.

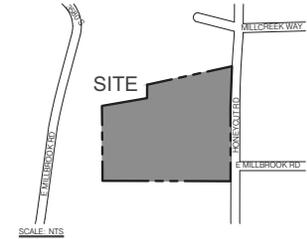
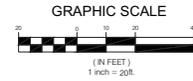
MAYOR OR DESIGNEE _____

SALT LAKE COUNTY RECORDER

RECORDED # _____
 DATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
 TIME _____ BOOK _____ PAGE _____
 FEE \$ _____
 SALT LAKE COUNTY RECORDER

CREEKSIDE AT HONEYCUT P.U.D.

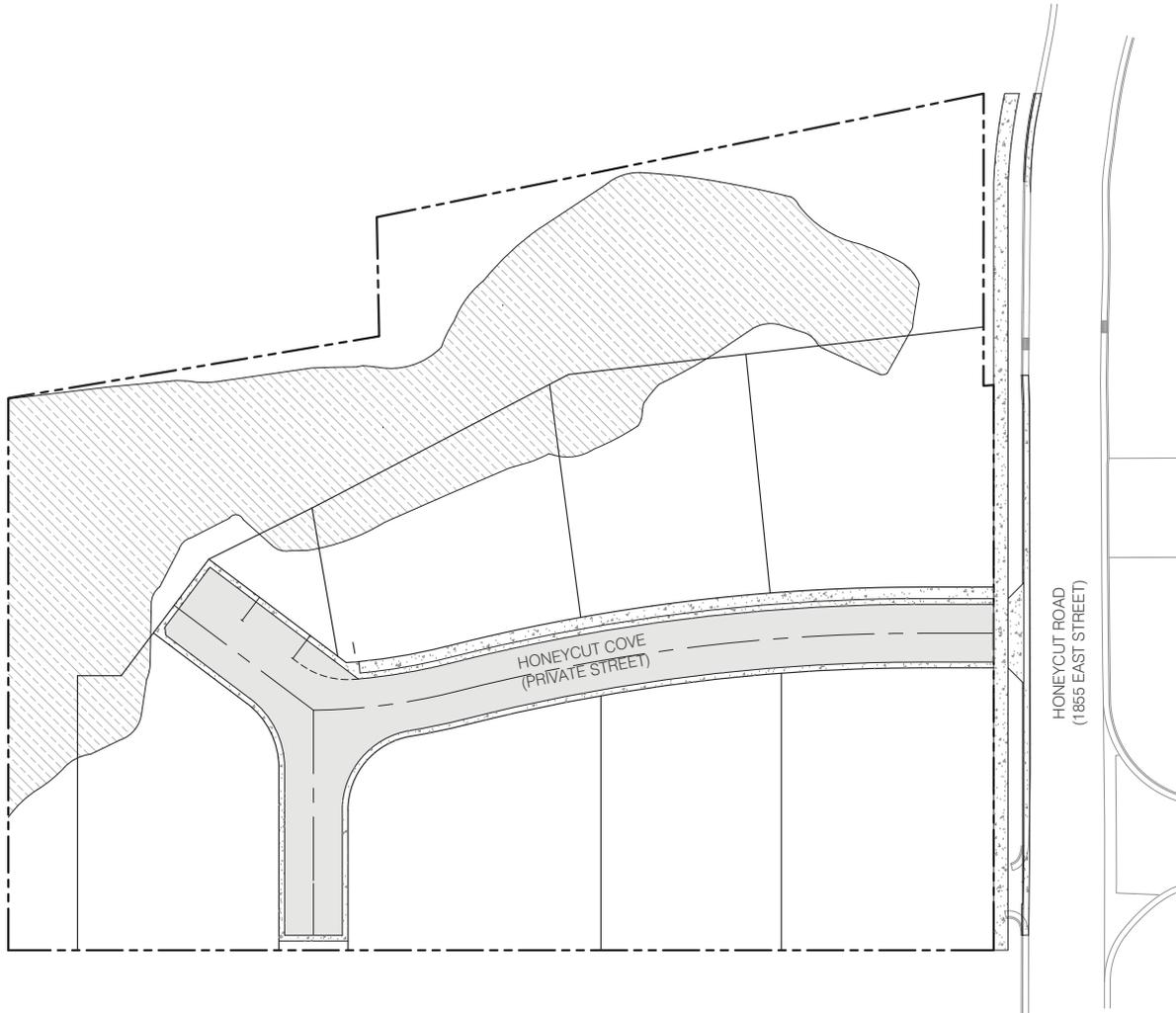
LOCATED IN THE NORTHEAST QUARTER OF
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1
EAST, SALT LAKE BASE AND MERIDIAN



DEVELOPER:
NAME: DAVIES DEVELOPMENT, INC
CONTACT: STEVE DAVIES
TELEPHONE: (801) 763-9901
EMAIL: STEVE@DAVIESDEVELOPMENT.COM

DRAWING INDEX

- COV COVER SHEET
- CGN.01 GENERAL NOTES, LEGEND & ABBREVIATIONS
- CSP.01 SITE PLAN
- CUP.01 UTILITY PLAN
- CGD.01 GRADING AND DRAINAGE PLAN
- CDP.01 DEMOLITION PLAN
- CDT.01 DETAILS & NOTES
- CDT.02 DETAILS & NOTES



PRELIMINARY CIVIL CONSTRUCTION PLANS



**BENCHMARK
ENGINEERING &
LAND SURVEYING**

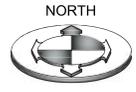
9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 562-7192
www.benchmarkcivil.com

PROJECT NO. 1302023

NO.	DATE	DESCRIPTION	DATE ISSUED	DATE REVISED	DATE REVISED
1	06/18/13	REMBED PER COUNTY & CLIENT COMMENTS			
2	06/24/13	REMBED PER COUNTY & CLIENT COMMENTS			

COV

1 OF 8



NO.	DESCRIPTION	DETAIL
1	STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE	2/COT.01
2	CONCRETE PAVEMENT WITH GRANULAR BASE	2/COT.01
3	ROLLED GUTTER	5/COT.01
4	PAVERS	
5	NEW DRIVEWAY APPROACH PER APWA# 221	

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	52.60	671.98	52.59	S 87°45'16" W
C2	66.23	671.08	66.21	S 82°40'53" W
C3	48.06	671.08	48.05	S 77°48'08" W
C4	34.91	197.00	34.86	S 80°49'38" W
C5	25.92	28.00	25.00	S 26°31'10" E
C6	36.60	26.00	33.66	N 40°19'55" E
C7	19.30	225.00	19.29	N 78°12'26" E
C8	48.14	643.08	48.12	N 77°52'42" E
C9	63.11	643.08	63.08	N 82°51'02" E
C10	48.69	643.08	48.68	N 67°49'51" E

PARTICULARS	S.F.	%
BUILDING	16,800	19.9
HARDSCAPE	12,865	15.2
LANDSCAPE	54,824	64.9
TOTAL	84,489	100

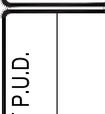
PARTICULARS	S.F.	%
BUILDING	16,800	19.9
ROADS & DRIVEWAYS	11,967	14.2
OPEN AREA	55,702	65.9
TOTAL	84,469	100

	BASE STANDARD	PROPOSED	PUD MODIFICATION
MIN. PUD PROJECT AREA	1 AC.	2.21 AC. / 96,267 SF	EXCEEDS STANDARD
R-1-10 MAXIMUM DENSITY	4 UNITS / ACRE	3.17 UNITS / ACRE	MEETS STANDARD
LOT DIMENSIONS			
MINIMUM AREA	10,000 SF	5,607 - 7,182 SF	NEEDS PUD APPROVAL
MINIMUM WIDTH	80' @ 30' SETBACK	VARIES: -50-74'	NEEDS PUD APPROVAL
RECREATIONAL FACILITIES			
QUANTITY	2	2	MEETS STANDARD
TYPE	PLAYGROUND 1,000 SF W/ PLAY EQUIPMENT, PLUS 1 OTHER	PLAYGROUND 1,000 SF CREEK AREA 28,060 SF	MEETS STANDARD
OPEN SPACE			
TYPES OF OPEN SPACE	LANDSCAPE, NATURAL AREAS, REC. AREAS, YARDS, PATIOS	PLAYGROUND, CREEK AREA, YARDS OF PROPOSED HOMES	MEETS STANDARD
SQUARE FEET / ACRES	21,780 SF/0.5 AC PER 1 ACRE DEVELOPMENT (48,134 SF FOR PROJECT)	55,702 SF	EXCEEDS STANDARD
PERCENT OF SITE	52%	65.9%	EXCEEDS STANDARD
MAX. BUILDING HEIGHT	30' TO RIDGELINE PER RCOZ	30'	MEETS STANDARD
MINIMUM BUILDING SETBACK			
EAST (HONEYCUT)	20-30' (FRONT OR SIDE)	15'	NEEDS PUD APPROVAL
NORTH	15'	VARIES: -60-80'	EXCEEDS STANDARD
SOUTH	15'	15'	MEETS STANDARD

NO.	DATE	REVISION
1	09/13	REVISION PER COUNTY ALLEGE COMMENTS
2	09/13	REVISION PER COUNTY ALLEGE COMMENTS



BENCHMARK ENGINEERING & LAND SURVEYING
 500 S. 200 W. SALT LAKE CITY, UT 84115
 SANDY, UT 84073 (801) 642-7102
 www.benchmarkcivil.com



CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

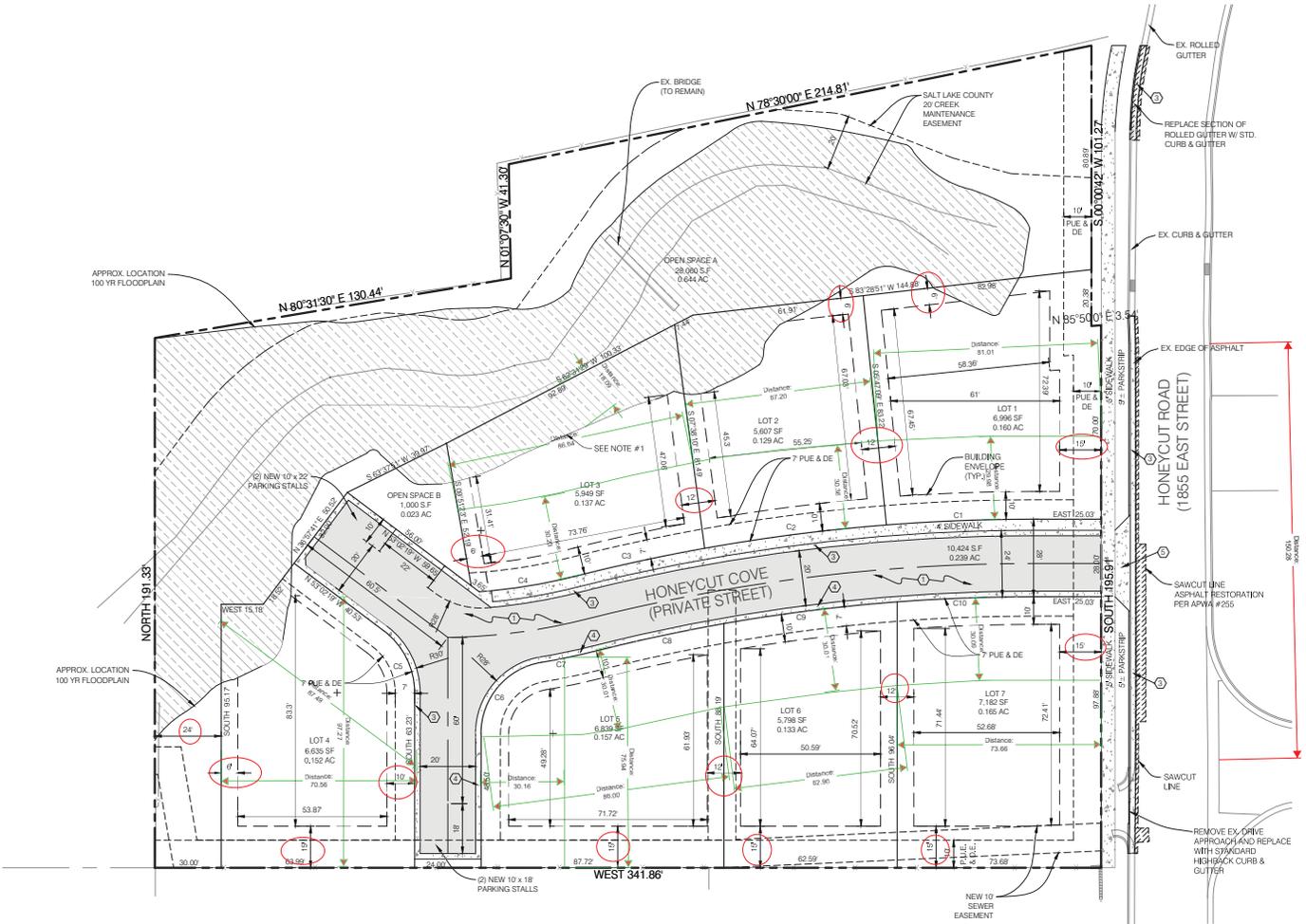
PROJECT NO. 1303030

PRELIMINARY SITE PLAN
 CSP.01
 3 OF 8

NOTES:
 1. FOUNDATIONS SHALL BE BUILT OUTSIDE OF THE 100-YEAR FLOODPLAIN AREA UNLESS APPROVAL FROM FEMA IS GRANTED.



1-800-662-4111
 www.bluestakes.org



APPROX. LOCATION 100 YR FLOODPLAIN

APPROX. LOCATION 100 YR FLOODPLAIN

EX. ROLLED GUTTER
 REPLACE SECTION OF ROLLED GUTTER W/ STD. CURB & GUTTER

EX. CURB & GUTTER

EX. EDGE OF ASPHALT

SAWCUT LINE ASPHALT RESTORATION PER APWA #255

REMOVE EX. DRIVE APPROACH AND REPLACE WITH SPARKARD HIGHBACK CURB & GUTTER

HONEYCUT ROAD (1855 EAST STREET)

WEST 341.86'

NORTH 191.33'

N 80°31'30" E 130.44'

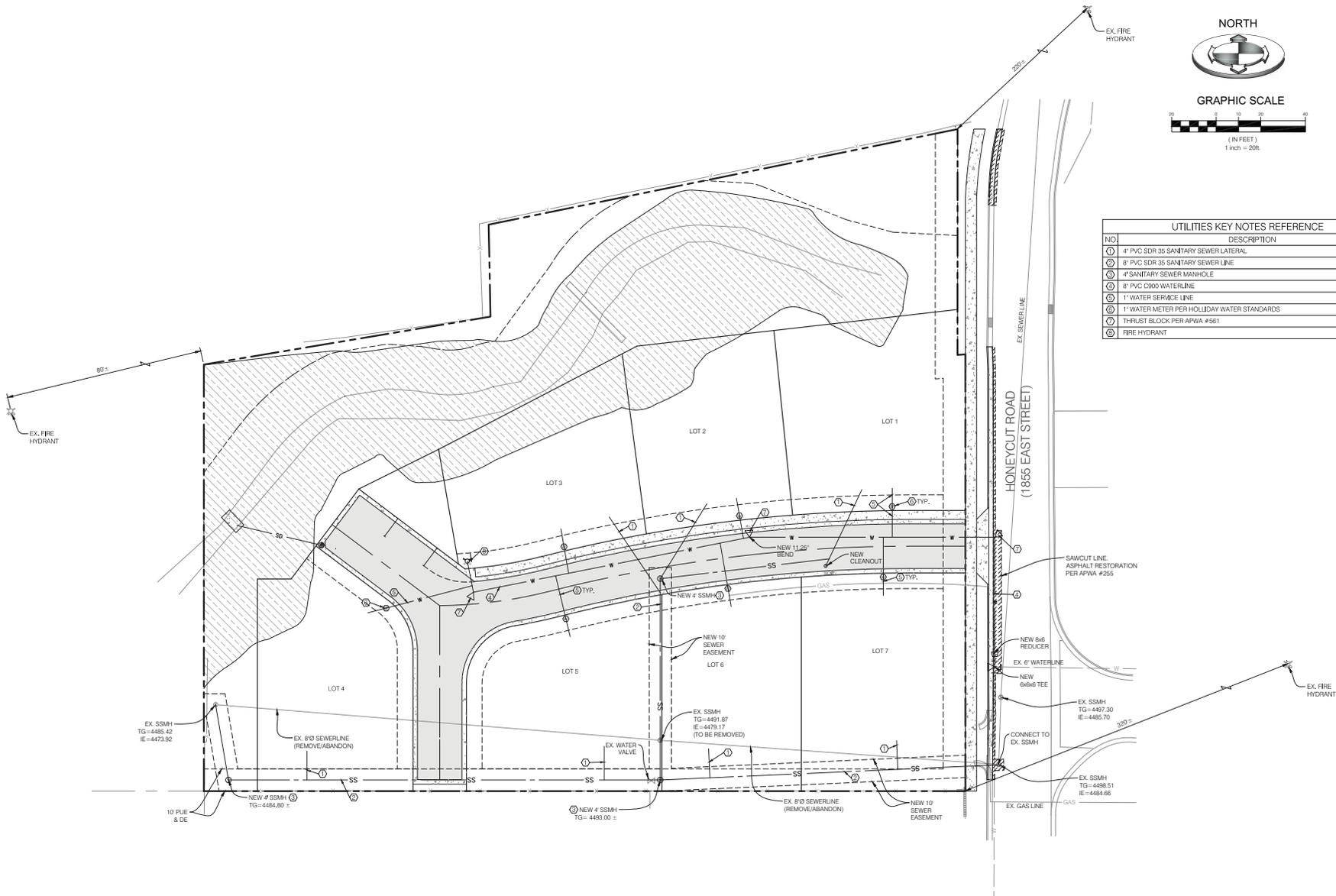
N 78°30'00" E 214.81'

S 10°10'42" W 101.27'

N 01°52'30" W 41.80'

N 85°50'00" E 103.33'

S 81°51'00" E 105.91'



GRAPHIC SCALE
(IN FEET)
1 inch = 20'

NO.	DESCRIPTION	DETAIL
①	4" PVC SDR 35 SANITARY SEWER LATERAL	3/CDT.01
②	8" PVC SDR 35 SANITARY SEWER LINE	
③	4" SANITARY SEWER MANHOLE	1/CDT.01
④	8" PVC CR80 WATERLINE	
⑤	1" WATER SERVICE LINE	
⑥	1" WATER METER PER HOLIDAY WATER STANDARDS	2/CDT.02
⑦	THRUST BLOCK PER APWA #561	
⑧	FIRE HYDRANT	4/CDT.01

DATE	10/30/2018
BY	DLH
CHECKED	DLH
SCALE	AS SHOWN
PROJECT NO.	1303030406



BENCHMARK ENGINEERING & LAND SURVEYING
 3548 S HONEYCUTT ROAD
 SALT LAKE COUNTY, UTAH 84111
 (801) 462-7102
 www.benchmarkcivil.com

CREEKSIDE AT HONEYCUTT P.U.D.
 3548 S HONEYCUTT ROAD
 SALT LAKE COUNTY, UTAH

CALL BEFORE YOU DIG
 IT'S FREE & IT'S THE LAW
 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER
 1-800-682-4111
 www.bluestakes.org

PRELIMINARY
 UTILITY PLAN
 CUP.01
 4 OF 8



NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.	
②	15"Ø RCP CLASS III STORM DRAIN LINE	3/CDT.02
③	4"x 4" CATCH BASIN	1/CDT.02
④	SNOUT	1/CDT.02

Storm Drainage Calculations

Rational Method (Q=CiA)

Where:
 Q = Peak flow (cfs)
 C = Rational Coefficient (0.9 for impervious, 0.2 for vegetation)
 i = Rainfall intensity (in/hr)
 A = Tributary area (acres)

The total area of the existing lot is 1.94 acres

Post Development Conditions

The project involves constructing 7 lanes, driveways and a private road. The existing site drains to the southwest into Mill Creek. The proposed development will collect the stormwater from the road and runoff of the new lanes to a catch & gutter system, as illustrated by Drainage Area #1. This catch & gutter flow will be collected by a catch basin at the west end of the private road. The stormwater will be treated by a house before flowing through a 15" RCP pipe and collecting into Mill Creek. A concrete splash guard will be installed at the outlet to prevent erosion.

Drainage Area #1
 Building: 12,000 sf
 Warehouse: 12,000 sf
 Landscaping: 12,000 sf
 Total: 42,750 sf (0.969 ac)

C Value
 Area C = 0.81

Velocity (ft/min)
 V = 14 inches
 Run = 12'

Flow (cfs) = (1.486)(0.969)(14) = 2.50 cfs

Hydraulic Calculations (Manning's Equation)

Pipe capacity calculations for the new 15" diameter pipe:

$$Q = \frac{1.486}{n} A R^{2/3} S^{1/2}$$

$$Q = \frac{1.486}{0.013} (4.71) (0.625)^{2/3} (0.0015)^{1/2} = 1.23 \text{ cfs}$$

$$Q = \frac{1.486}{0.013} (4.71) (0.625)^{2/3} (0.0015)^{1/2} = 1.23 \text{ cfs}$$

- NOTES:**
1. THE DEVELOPER SHALL BE REQUIRED TO PERMANENTLY CONTAIN ALL GENERATED WATER ON HIS OWN PROPERTY OR ROUTED TO AN APPROVED SALT LAKE COUNTY STORM DRAINAGE SYSTEM.
 2. THE DEVELOPER SHALL GRADE THIS PROPERTY IN ACCORDANCE WITH THE APPROVED SITE GRADING AND LOT DRAINAGE PLAN SO AS NOT TO DISCHARGE ANY ADDITIONAL STORM WATER ONTO ADJACENT PROPERTIES.
 3. SALT LAKE COUNTY WILL NOT ASSUME ANY RESPONSIBILITY FOR THE MAINTENANCE OF THE PONDS OR PRIVATE STORM DRAIN SYSTEMS.

NO.	DATE	REVISION
1	09/13	REVISION PER COUNTY ALERT COMMENTS
2	09/13	REVISION PER COUNTY ALERT COMMENTS
3	04/03/13	DATE OF ISSUE
4	10/02/2016	DATE OF REVISION



BENCHMARK ENGINEERING & LAND SURVEYING
 3548 S HONEYCUT ROAD
 SANDY, UTAH 84070 (801) 562-7102
 www.benchmarkcivil.com



CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

PROJECT NO. 130330

GRADING & DRAINAGE PLAN

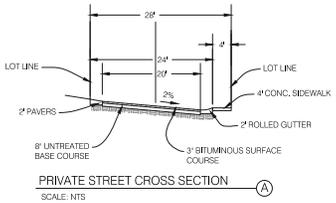
CGD.01
 5 OF 8

PRELIMINARY

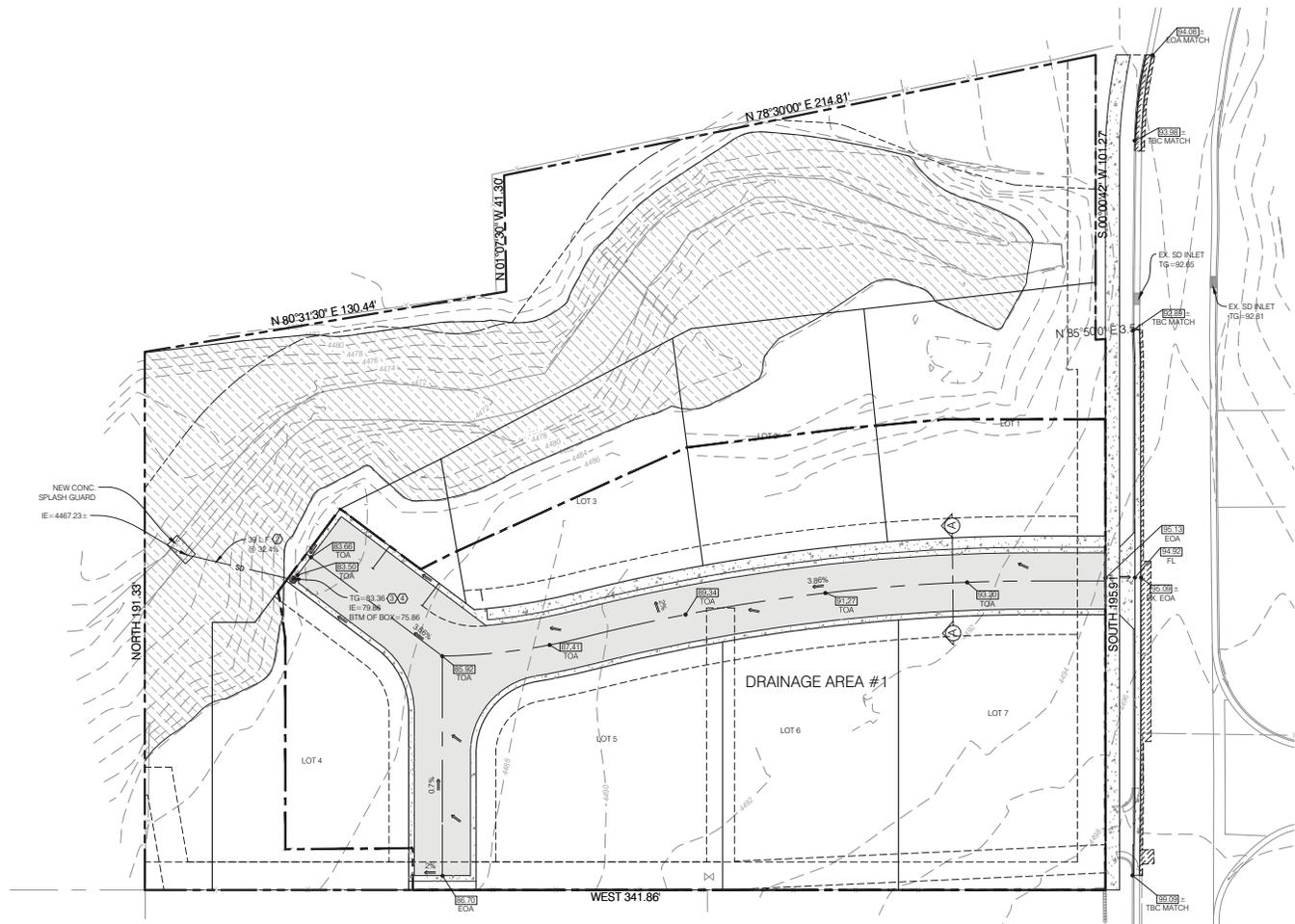
CALL BEFORE YOU DIG
 IT'S FREE & IT'S THE LAW

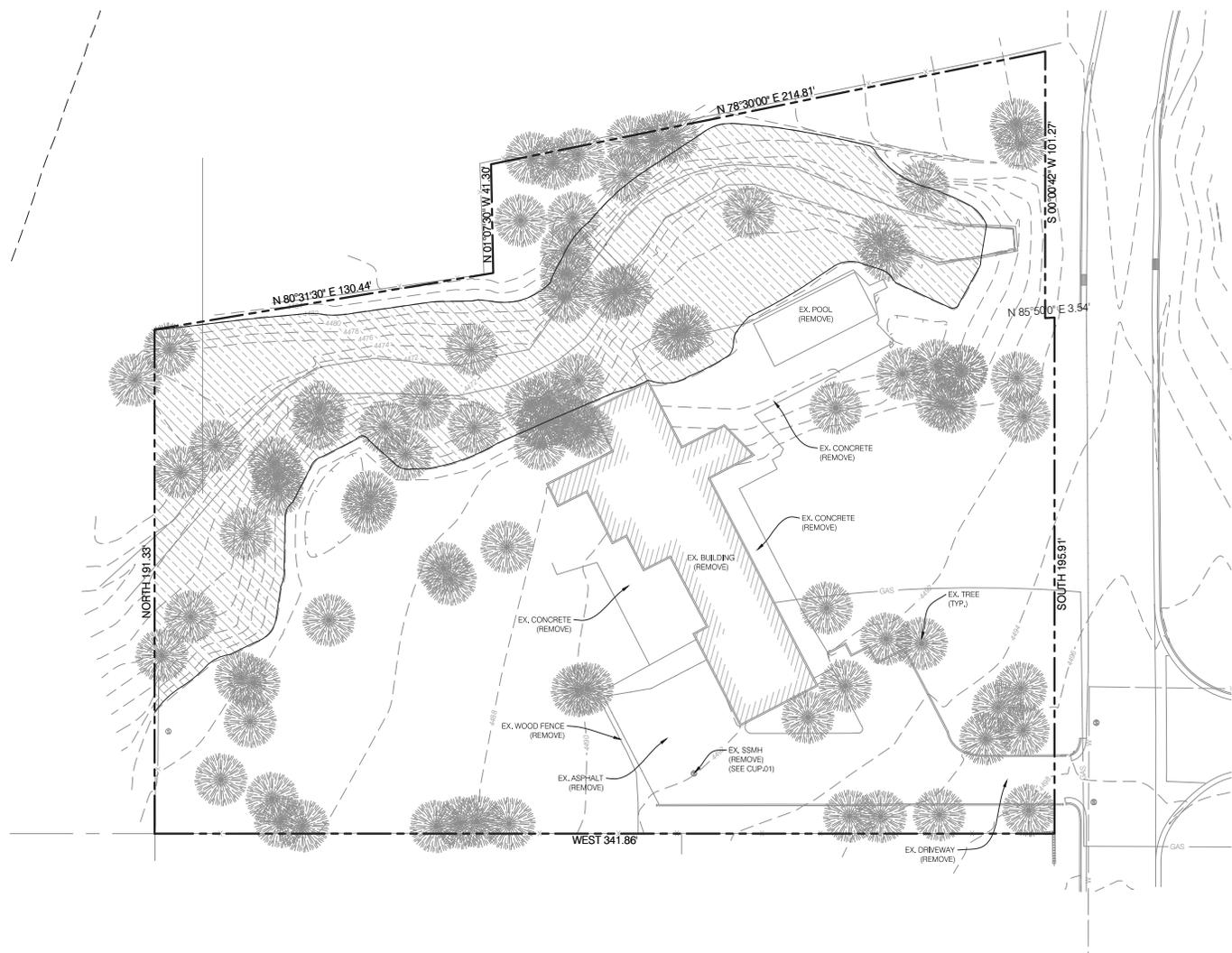
BLUe STAKES OF UTAH
 UTILITY NOTIFICATION CENTER

1-800-962-4111
 www.bluestakes.org

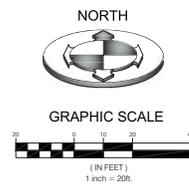


SURVEY CONTROL NOTE:
 THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED, STAMPED AND SIGNED, PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.





NOTES:
 1. SEE LANDSCAPE PLANS FOR INFORMATION REGARDING EXISTING TREES.
 2. CONSULT OWNER & LANDSCAPE PLANS BEFORE REMOVAL OR RELOCATION OF ANY TREES.



NO.	DATE	REVISION
1	08/13	REDESIGNED PER COUNTY ALLEGE COMMENTS
2	08/13	REDESIGNED PER COUNTY ALLEGE COMMENTS



BENCHMARK ENGINEERING & LAND SURVEYING
 CIVIL
 3548 S HONEYCUT ROAD
 SANDY, UTAH 84070 (801) 562-7102
 www.benchmarkcivil.com

CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

PROJECT NO. 1303030

DEMOLITION PLAN

CDP.01
 6 OF 8

CALL BEFORE YOU DIG
 IT'S FREE & IT'S THE LAW
 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER
 1-800-682-4111
 www.bluestakes.org

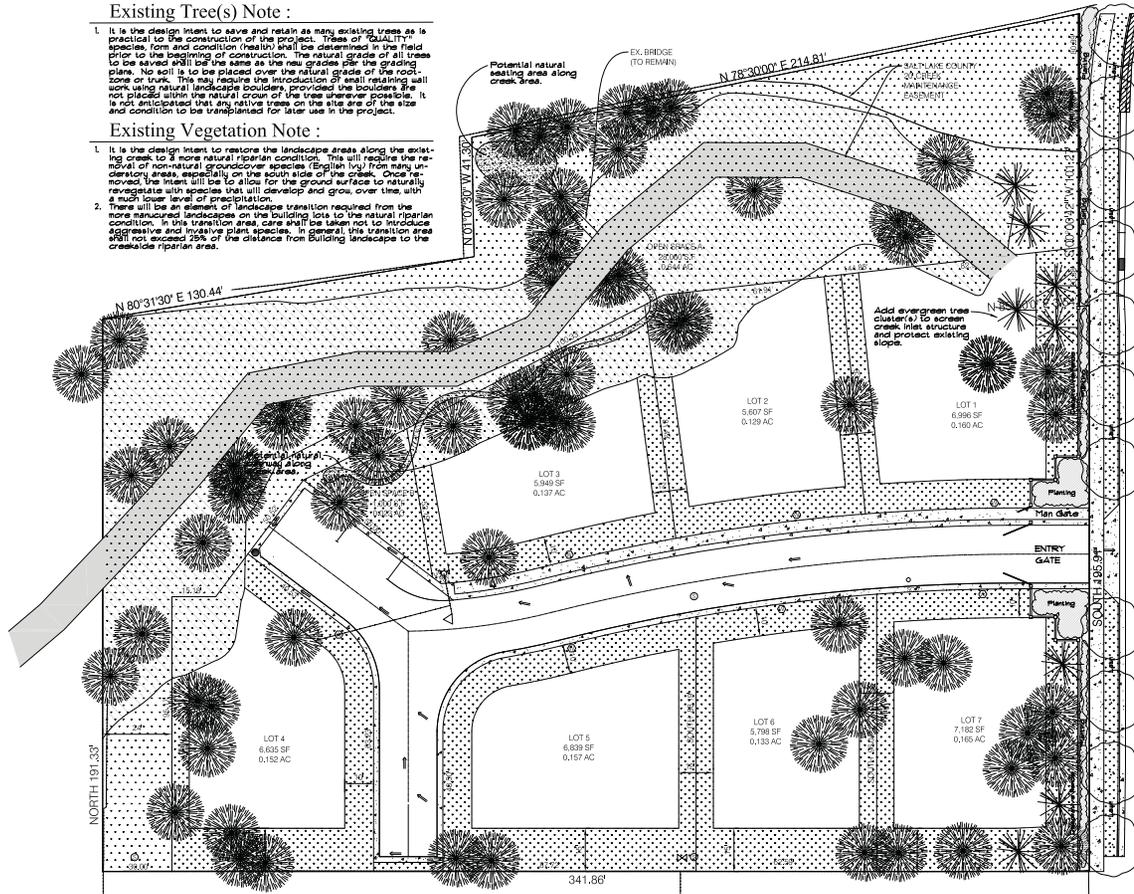
PRELIMINARY

Existing Tree(s) Note :

1. It is the design intent to save and retain as many existing trees as is practical to the construction of the project. Trees of QUALITY, species form and condition (health) shall be determined in the field prior to the beginning of construction. The natural grade of all trees to be saved shall be the same as the natural grade of the grading plan. No soil is to be placed over the natural grade of the root zone. It may require the introduction of soil retaining wall work using natural landscape boulders, provided the boulders are placed on a concrete foundation. If the contractor determines it is not anticipated that any native trees on the site are of the size and condition to be transplanted for later use in the project.

Existing Vegetation Note :

1. It is the design intent to restore the landscapes areas along the existing creek to a more natural riparian condition. This will require the removal of non-native groundcover species (English Ivy) from many under-story areas, especially on the south side of the creek. Once removed, the intent will be to allow for the ground surface to naturally revegetate with species that will develop and grow over time, with a much lower level of prescription.
2. There will be a transition of landscape transition required from the more manicured landscape on the building lots to the natural riparian condition. In this transition area, care shall be taken not to introduce aggressive and invasive plant species. In general, this transition area shall not exceed 20% of the distance from building landscape to the creekside riparian area.



Suggested Plant List (TREES)

#/20	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2-Med	NA	(Symbol)	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	2' Calliper 8'-10' Height	Matched Heads Straight Trunks
2-Med	NA	(Symbol)	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2 1/2' Calliper 10'-12' Height	Matched Heads Straight Trunks
2-Med	NA	(Symbol)	Picea abies 'Cupressita'	Cupressita Columar Spruce	6' Min. Height B x B	Matched Full Width
2-Med	NA	(Symbol)	Flyas calleryana 'Chanticleer'	Chanticleer Flowering Pear	2' Calliper 8'-10' Height	Matched Heads Straight Trunks
2-Med	NA	(Symbol)	Zelcova serrata 'Massequino'	Massequino Columar Zelcovas	2 1/2' Calliper 10'-12' Height	Matched Heads Straight Trunks

Suggested Plant List (SHRUBS)

#/20	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1-Low	NA	(Symbol)	Cornus alba 'Ivory Halo'	Variiegated Red Dogwood	9 Gallon	18"-24" Height
1-Low	NA	(Symbol)	Physocarpus opul. 'Summer Wine'	Summer Wine Ninebark	9 Gallon	18"-24" Height
1-Low	NA	(Symbol)	Rhus aromatica 'Glow Low'	Glow Low Sumac	9 Gallon	18"-24" Spread
2-Med	NA	(Symbol)	Rosa species 'Knockout Red'	Red Knockout Rose	9 Gallon	18"-24" Height
2-Med	NA	(Symbol)	Spiraea Japonica 'Little Princess'	Little Princess Spiraea	9 Gallon	15"-18" Height
2-Med	NA	(Symbol)	Spiraea Japonica 'Neon Flash'	Neon Flash Spiraea	9 Gallon	15"-18" Height
0-Low	NA	(Symbol)	Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	9 Gallon	15"-18" Height

Suggested Plant List (GRASSES/PERENNIALS)

#/20	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1-Low	NA	(Symbol)	Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	9 Gallon	24"-30" Height
1-Low	NA	(Symbol)	Calamagrostis acutiflora 'Overdan'	Overdan Feather Grass	9 Gallon	24"-30" Height
1-Low	NA	(Symbol)	Festuca ovina 'Boulder Blue'	Boulder Blue Fescue	2 Gallon	12"-15" Height
2-Med	NA	(Symbol)	Hemerocallis x. 'Stella d'Oro'	Stella d'oro Day Lily	2 Gallon	12"-15" Height
1-Low	NA	(Symbol)	Panicum virgatum 'Shenandoah'	Shenandoah Dutch Grass	9 Gallon	24"-30" Height
0-Low	NA	(Symbol)	Pennisetum alopecuroides 'Hemeln'	Hemeln Dwarf Fountain Grass	2 Gallon	12"-15" Height

** Plant material quantities are provided for convenience ONLY. The contractor shall supply all items specified, whether shown or noted on the drawings.

Suggested Planting Notes

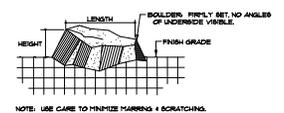
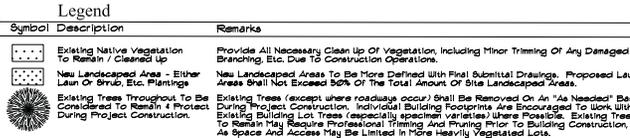
- All shrub planting areas shall receive as 8 inch depth of topsoil, all lawn areas a 4 inch depth of topsoil. Topsoil is not available at the site and must be imported from an approved source. All topsoil shall be of a sandy loam consistency. The contractor shall supply a sample and chemical analysis from the supplier and comply with topsoil quality guidelines as specified.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a 6 inch depth by the use of mechanical means. In order to create a transition layer between soils and promote root penetration in compacted soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper (2 inches for trees). Scarify planting pit bottom and sides to promote root penetration in compacted soils. Excavated materials not to be re-used on site shall be removed from site.
- Backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation. A pre-mixed soil medium can be used as an alternative.
- Plant fertilizer shall be Agriform brand 21 gram tablets used as per recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of the ground bark mulch cover. The actual bed area shall receive a 4 inch depth of shredded bark mulch. The tree shall receive a granular pre-emergent herbicide prior to placement. All planting areas shall receive "Dearth" Pro-B used barrier fabric beneath shredded bark mulch.
- All trees located in lawn areas shall receive an arbor guard turf protector arbor or equal. Provide a plant-free mulched area with a minimum radius of four (4) feet around the trunk. In order to protect the trunk from turf maintenance operations and expedite tree root establishment.
- All lawn areas shall be installed using a water conservative mixture, and shall be composed of "Bella Blue" seedling material, supplied by Biodiverse Seed Farm, Inc. Bandy, Utah contact phone number (801) 862-3000.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days min) and shall include mowing, weeding, pruning and one fertilization. In addition to any irrigation adjustments will may be needed during the period.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if necessary, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than (1) year following the date of completion and project acceptance by the Owner.

Following General Notes

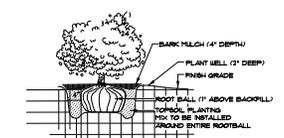
- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscapes and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified tools.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate the work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

Open Space Area B (Play Area)

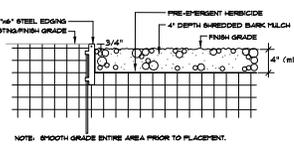
- The design intent of this area is to provide for a natural play experience, retaining the existing trees where possible. In addition to introducing play features using natural materials.
- The proposed natural pathway shall be incorporated into the play area, providing access to the other areas along the creek.
- The exact design of proposed play features will depend on the available area outside the envelope of any existing trees and natural vegetation to remain. This will also depend on the coordination of design with the landscape areas during building lot 13.



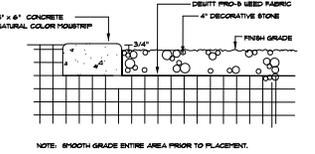
1 Landscape Boulder
N.T.S.



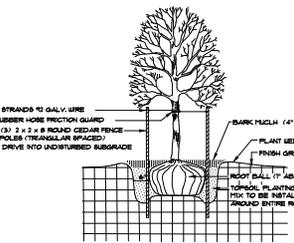
2 Shrub Planting
N.T.S.



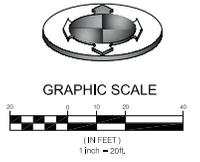
3 Steel Edging / Bark Mulch
N.T.S.



4 Mowstrip / Stone Mulch
N.T.S.



5 Tree Planting
N.T.S.



Landscape Architect
rdl Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-641-3114
Email : raldesign@comcast.net

CALL BEFORE YOU DIG,
IT'S FREE & IT'S THE LAW!
BLUE STAINES OF UTAH
UTILITY NOTIFICATION CENTER
1-800-562-4111
www.ubns.org

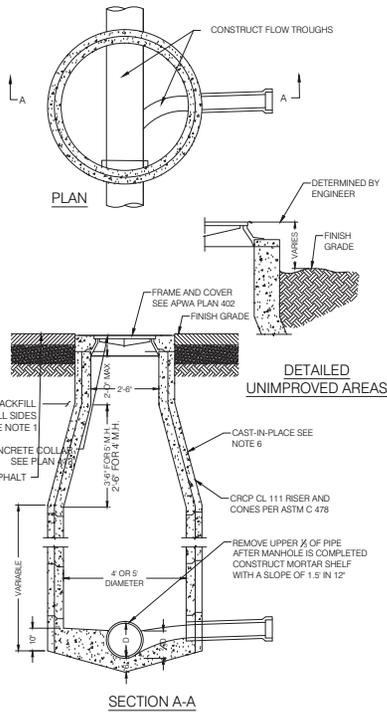
PROFESSIONAL SEAL
NO. 106300
ROBERT D. LIEN
STATE OF UTAH
LANDSCAPE ARCHITECT
SALT LAKE COUNTY, UTAH
ADULT ACCOUNTANT FOR RECORDING PURPOSES

BENCHMARK ENGINEERING & LAND SURVEYING
100 SOUTH MAIN STREET SUITE 100
SALT LAKE CITY, UTAH 84111
www.benchmark.com

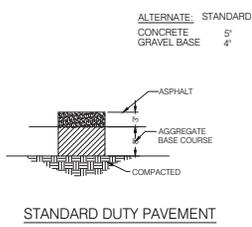
BENCHMARK CIVIL

CREEKSIDE AT HONEYCUT P.U.D.
3548 HONEYCUT ROAD
SALT LAKE COUNTY, UTAH

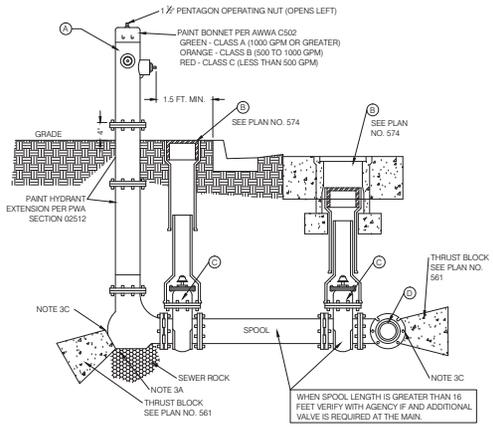
CONCEPTUAL LANDSCAPE PLAN
L101



SEWER MANHOLE
SCALE: N.T.S. (APWA PLAN NO. 411) ①



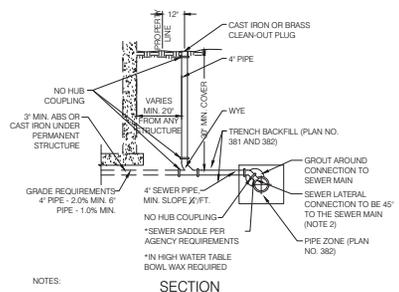
PAVEMENT SECTIONS
SCALE: N.T.S. ②



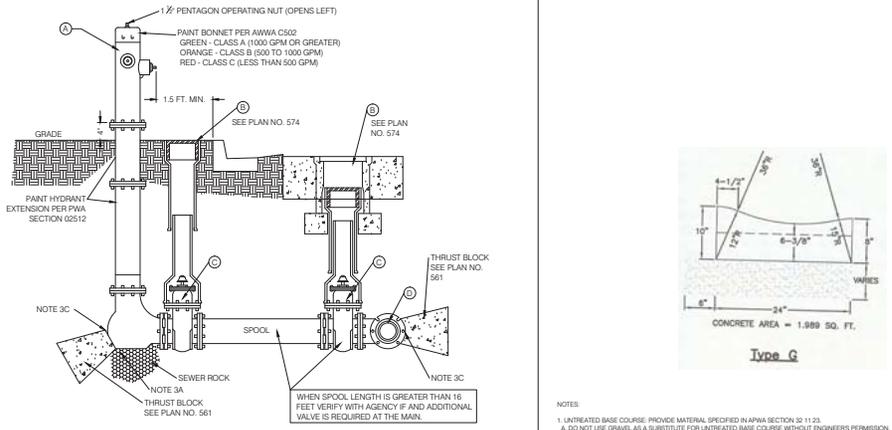
NO.	ITEM	DESCRIPTION
(A)	FIRE HYDRANT	AWWA C502
(B)	2 PC VALVE BOX	CAST IRON
(C)	GATE VALVE WITH 2"x2" NUT	AWWA C506
(D)	TEE WITH 125 # FLANGE	AWWA C110

- NOTES: * FURNISHED BY UTILITY AGENCY
- INSPECTION: PRIOR TO BACKFILLING, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
 - BACKFILL: PROVIDE AND PLACE PER APWA SECTION 02321. COMPACT PER APWA SECTION 02324 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8 INCHES BEFORE COMPACTION.
 - HYDRANT: DRY BARREL PER AWWA C502. ADDITIONAL WATER SYSTEM REQUIREMENTS ARE SPECIFIED IN APWA SECTION 02310.
 - PROVIDE AT LEAST 1 CUBIC YARD OF APWA SECTION 02306 SEWER ROCK AROUND DRAIN HOLE AT BASE OF HYDRANT. WRAP PLASTIC OVER SEWER ROCK TO PREVENT SILTING.
 - PAINT FIRE HYDRANT TO AGENCY'S FIRE HYDRANT PAINT CODE.
 - APPLY POLY-EM GREASE TO ALL BURIED METAL SURFACES. WRAP WITH #8 MIL. THICK POLYETHYLENE SHEET AND TAPE WRAP.
 - NOTIFY FIRE DEPARTMENT AS SOON AS HYDRANT IS PLACED IN SERVICE.
 - THRUST BLOCKS:
 - PRIOR TO POURING CONCRETE, WRAP PIPE SYSTEM WITH #8 MIL. THICK PLASTIC SHEET TO PREVENT BONDING OF CONCRETE TO PIPE SYSTEM.
 - NOT REQUIRED FOR FLANGE OR WELDED PIPE SYSTEMS.

FIRE HYDRANT DETAIL
SCALE: N.T.S. (APWA PLAN NO. 511) ④



SEWER LATERAL CONNECTION
SCALE: N.T.S. (APWA PLAN NO. 431) ③



- NOTES:
- UNTREATED BASE COURSE: PROVIDE MATERIAL SPECIFIED IN APWA SECTION 02112.
 - DO NOT USE GRAVEL AS A SUBSTITUTE FOR UNTREATED BASE COURSE WITHOUT ENGINEER'S PERMISSION.
 - IF FLOW LINE GRADE IS GREATER THAN 0.5 PERCENT (5-0.005), PROVIDE 8 INCHES UNCOMPACTED THICKNESS. IF LESS, PROVIDE 6 INCHES UNCOMPACTED THICKNESS.
 - PLACE MATERIAL PER APWA SECTION 02110.
 - COMPACT PER APWA SECTION 02110 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS BEFORE COMPACTION IS 8 INCHES WHEN USING HAND HELD COMPACTION EQUIPMENT.
 - CONCRETE: CLASS 400 PER APWA SECTION 02104.
 - IF NECESSARY, PROVIDE CONCRETE THAT ACHIEVES DESIGN STRENGTH IN LESS THAN 7 DAYS. CAUTION: CONCRETE CRACKING SPREADER.
 - CRACKS MAY DEVELOP IF AIR TEMPERATURE EXCEEDS 90 DEGREES F.
 - PLACE CONCRETE PER APWA SECTION 02104.
 - PROTECT CONCRETE FROM WEATHER. EXPOSED EDGES TO BE PROTECTED.
 - IF NECESSARY, MATCH LOCATION OF CONTRACTION JOINTS IN PORTLAND CEMENT CONCRETE ROADWAY PAVEMENTS.
 - REINFORCEMENT: ASTM A615, GRADE 60, GALVANIZED OR EPOXY COATED DEFORMED STEEL. SEE APWA SECTION 02104 REQUIREMENTS.
 - FINISH: BROUDES.
 - PROTECTION AND REPAIR:
 - FILL JOINTS WITH WATER. REPAIR CONSTRUCTION THAT DOES NOT DRAIN.
 - PROTECT CONCRETE FROM DEICING CHEMICALS DURING CURE.

ROLLED GUTTER
SCALE: N.T.S. (APWA 2007 PLAN NO. 205) ⑤

NO.	DATE	REVISION
1		DESIGNED PER COUNTY ALBERT COMMENTS
2		REVISED PER COUNTY ALBERT COMMENTS

SCALE: 1/8" = 1'-0" ON ALL SHEETS
ADJUST ACCORDINGLY FOR REDUCED SHEETS



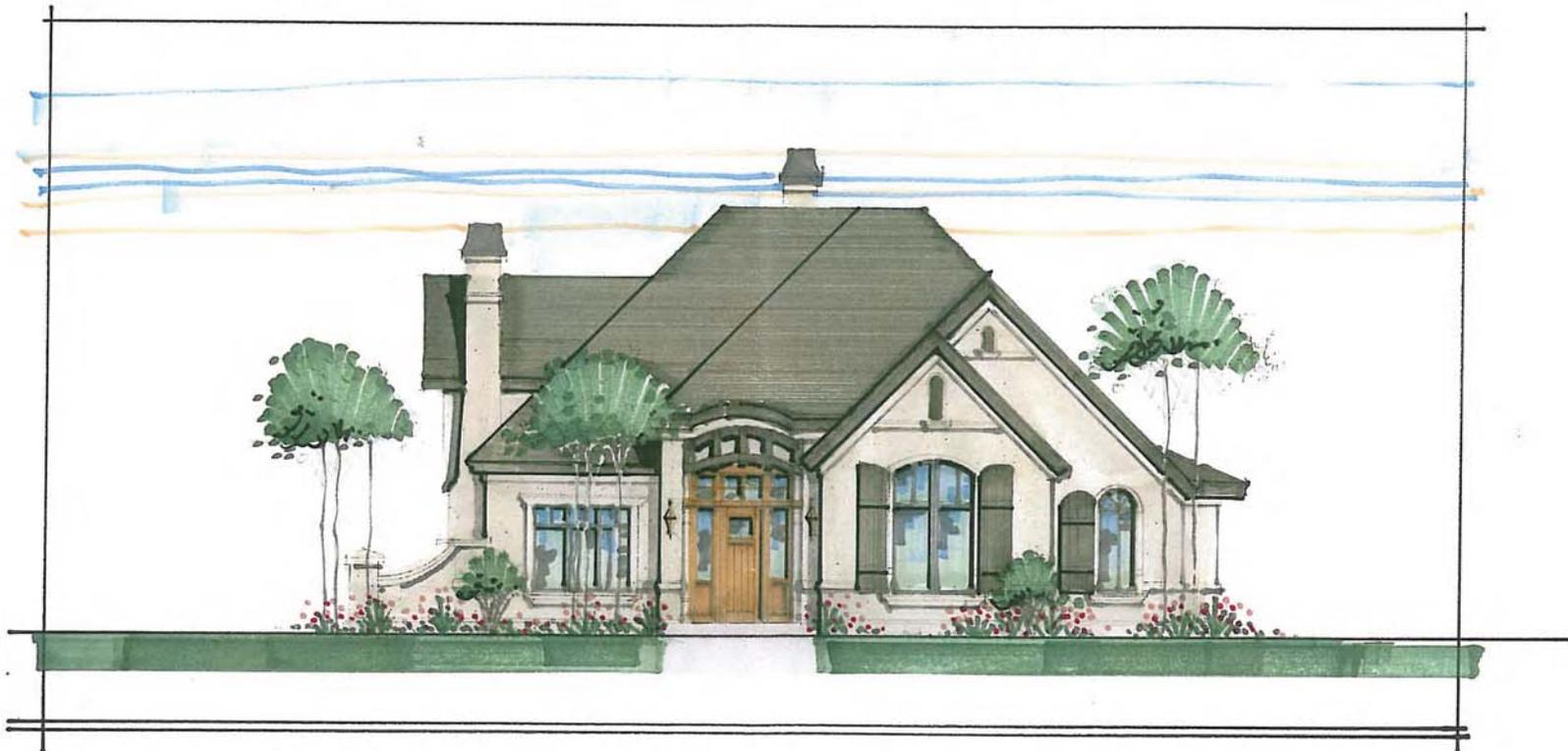
BENCHMARK ENGINEERING & LAND SURVEYING
1000 S. STATE STREET, SUITE 100
SANDY, UTAH 84070 (801) 642-7102
www.benchmarkinc.com



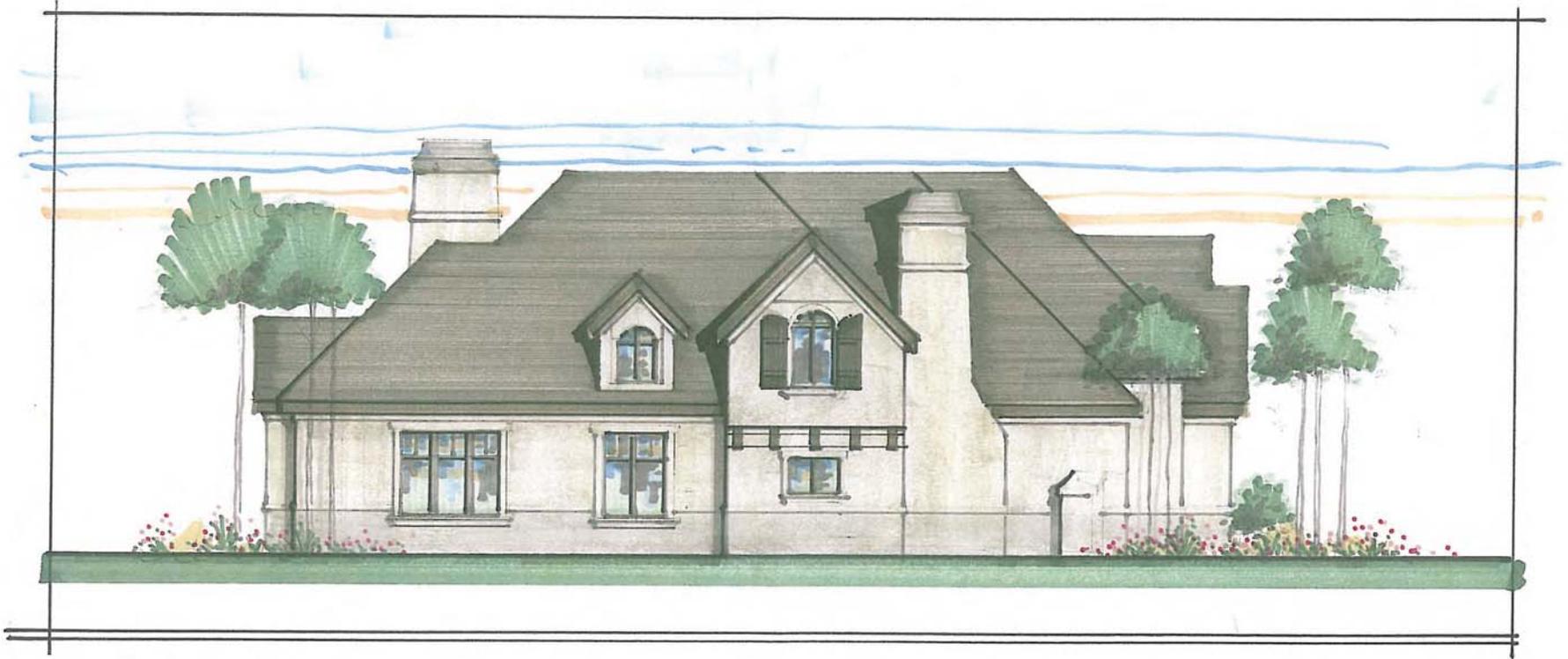
CREEKSIDE AT HONEYCUT P.U.D.
3548 S HONEYCUT ROAD
SALT LAKE COUNTY, UTAH

PRELIMINARY
PROJECT NO. 130330

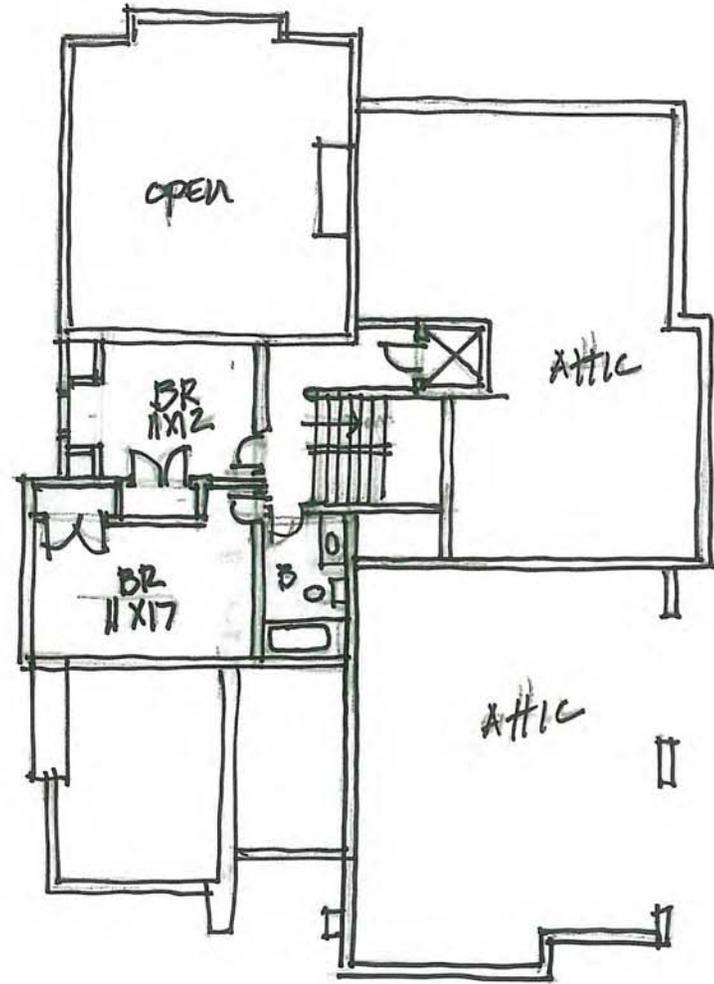
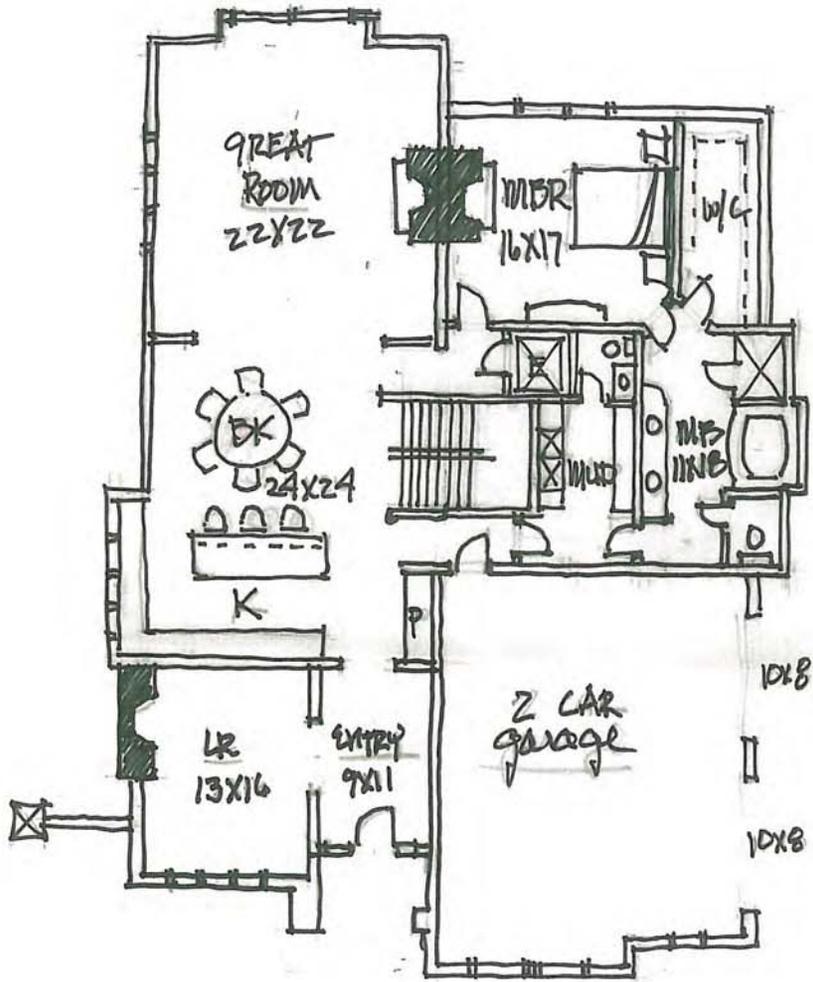
DETAILS & NOTES
CDT.01
7 OF 8



HONEYCUT RESIDENCE



HONEYCUT RESIDENCE



2500 SF

HONEYCUT RESIDENCE

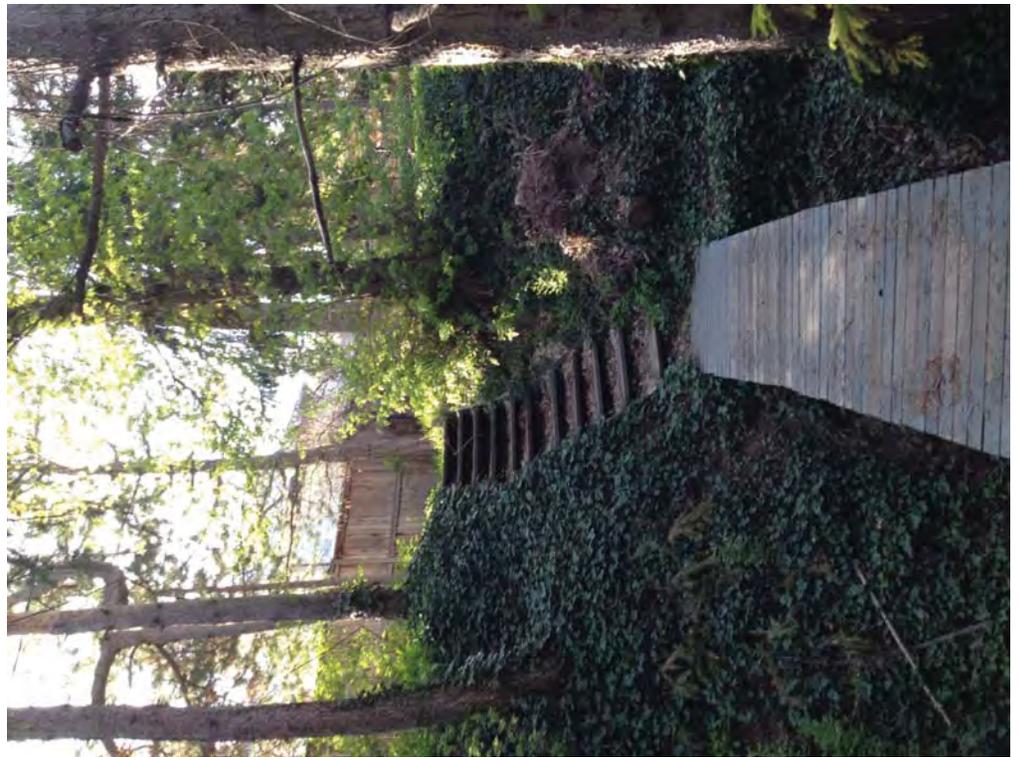
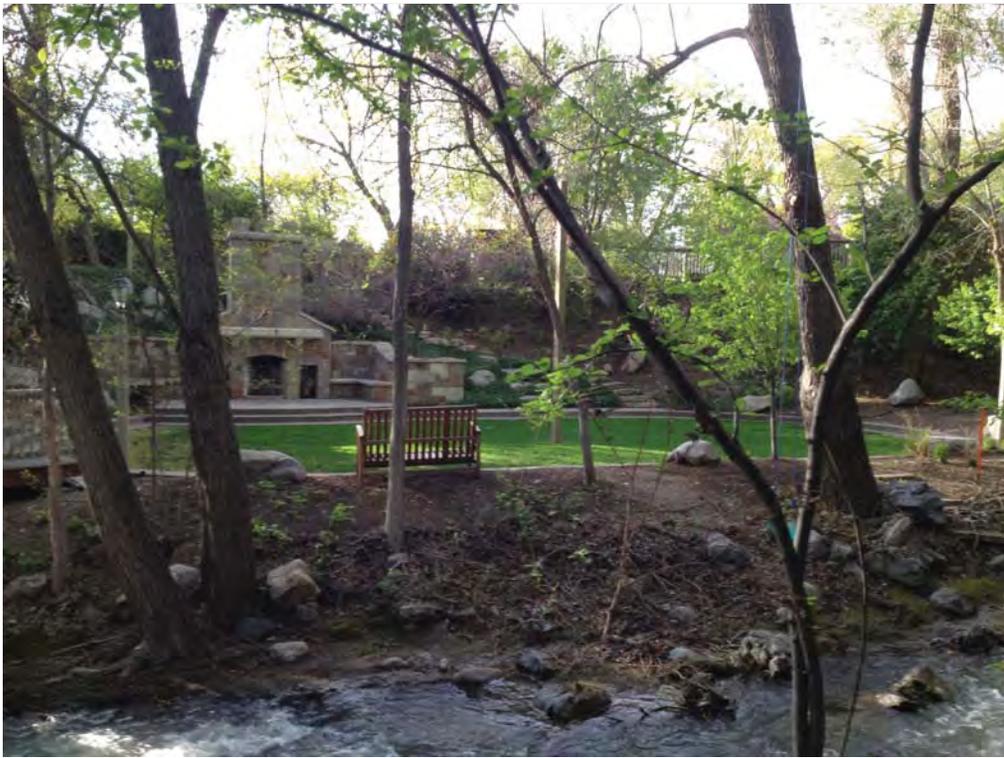
This Page
Intentionally Blank

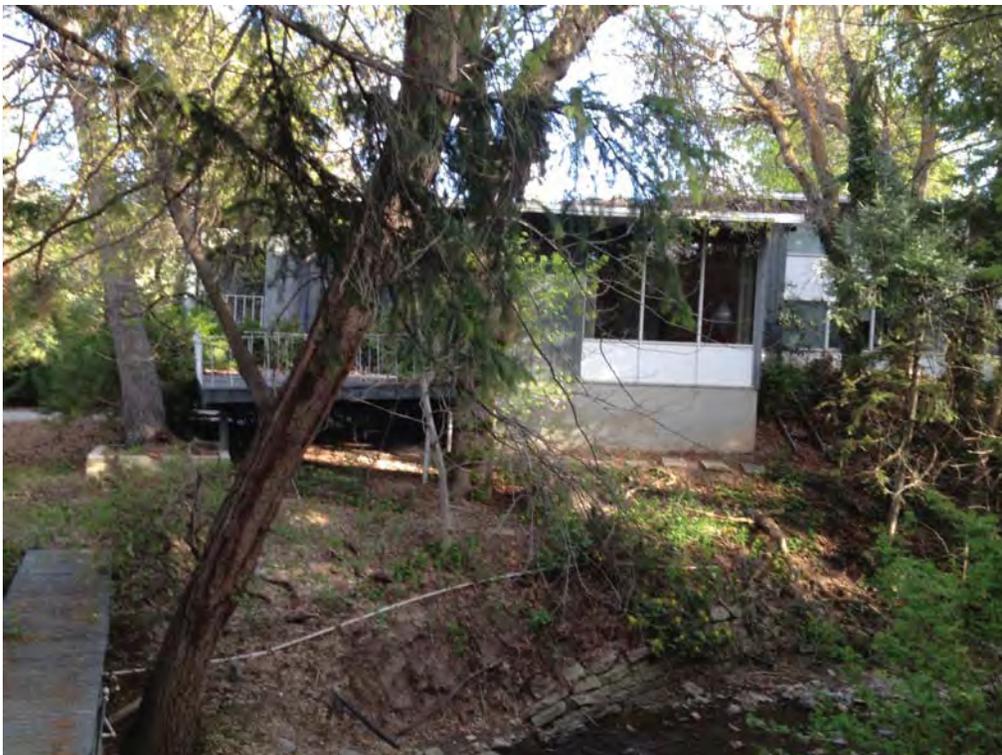














STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	0	3	8	
Applicant Name:	Nathan Anderson	Request:	Subdivision						
Description:	Preliminary Plat for previously approved 14-unit Townhome PUD								
Location:	1431 East 3900 South								
Zone:	R-M Residential Multi-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not Applicable								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1 Proposal

The applicant is requesting Preliminary Plat approval for Millcreek Townhomes PUD, a 14-Lot PUD Townhome Subdivision. The project received Conditional Use/PUD approval in February 2013, but the Preliminary Plat was not part of that original approval.

The Preliminary Plat was not included at the Commission's February meeting due to a complete redesign of the project from a 24-unit, 4-story, condominium project, to the current 14-unit, townhome project. This redesign occurred between January and February of this year, in response to residents' concerns. The change occurred so quickly and the Commission's response to the revisions was unknown, so the applicant did not want to prepare a full Preliminary Plat in the event the Commission was going to deny or significantly modify the revised proposal. The Commission's approval of the current project was subject to review and approval of the Preliminary Plat by the Commission.

1.1.2 Revisions Forthcoming

The attached Preliminary Plat shows the property divided up into 14 lots with the front, side and rear landscape setbacks and all of the common areas, including the driveways, incorporated into the proposed lots as easements. Staff met with the applicant recently and explained that the commonly used and maintained areas needed to be separated from the lots into a common ownership parcel to meet PUD requirements. The applicant agreed to make the change; however, there was not enough time to make the necessary modifications and be included with this report. The applicant will be submitting the revised Preliminary Plat document to staff before the meeting. Staff will either forward it to the Commission prior to the meeting or provided it at the meeting. Staff is supportive of proceeding forward, since the other elements of Preliminary Plat review submittal have been provided and reviewed and should not be affected by this change. In addition, the site plan and use have already been approved and the needed changes affect only one sheet of the submitted documents.

1.2 Hearing Body Action

The Preliminary Plat is on the Commissions Agenda for final action.

1.3 Neighborhood Response

Preliminary Plats are not normally noticed to the public except by placement on an Agenda. In addition, the PUD was already reviewed and approved by the Commission at a fully noticed public meeting. It is not necessary for the Preliminary Plat for this project to be noticed. The use and layout of the project is not changing from what was presented and approved in February of this year.

1.4 Community Council Response

The proposal is for approval of the Preliminary Plat for a previously approved PUD. The PUD did go to the Community Council for review and comment. The Preliminary Plat is part of the formalization of the already approved project and subdivision plats are not subject to Community Council review. Further, the proposed PUD site plan, building height and use are not changing from what the Community Council has already seen and recommended approval of.

2.0 ANALYSIS

2.1 Applicable Ordinances

PUD Requirements.

The PUD Regulations indicate that common areas need to be provided for in one of three ways. Dedication of the land for public use; dedication of a permanent open space easement for preservation of sensitive lands; or incorporated into a common area parcel owned in common and maintained by the Homeowner's Association. The applicant is in the process of revising the preliminary plat sheet, that currently shows these areas as part of the lots with easements, to meet this requirement.

2.2 Subdivision Requirements

Preliminary Plat Requirements - the following Preliminary Plat requirements will need to be addressed on the final Preliminary Plat during the Technical Review Process.

- 1) The names and addresses of the owner and the subdivider (if different than the owner) need to be added.
- 2) The date of preparation needs to be added.
- 3) Nearest Installed Fire Hydrants need to be shown.
- 4) The lots need to be modified to create a Common Area parcel, or parcels for all commonly used and maintained areas on the site, e.g. front, side and rear yards of the project from the property lines to the buildings or private courtyards, the common driveway and parking, and the recreational facilities.
- 5) The emergency services turn around has been approved by Unified Fire Department, it needs to be reflected on the Preliminary and Final Plats and noted no parking.

These items can be corrected during the Technical Review process prior to final Preliminary Plat approval.

2.3 Other Agency Recommendations or Requirements

In regard to the Preliminary Plat, all final Technical Review requirements from internal staff and outside agencies will be incorporated into the final Preliminary Plat as part of the Technical Review process. At this point there appear to be no major concerns raised by the reviewers that can't be adequately addressed in the Technical Review. The site layout as currently provided should not change. Only

Technical requirements such as final grading and drainage will need to be fulfilled prior to issuance of the final Preliminary Plat approval documents.

2.4 Other Issues

Final approval of site improvements and landscaping for the project are still in process. These will be finalized as part of the Technical Review process.

For the Commission's information, the applicant has obtained approval from the County Sanitation Department to have individual trash and recycling cans provided for each unit and that these cans be brought out to 3900 South for pickup. This complies with one of the Conditions of Approval imposed by the Planning Commission on the PUD.

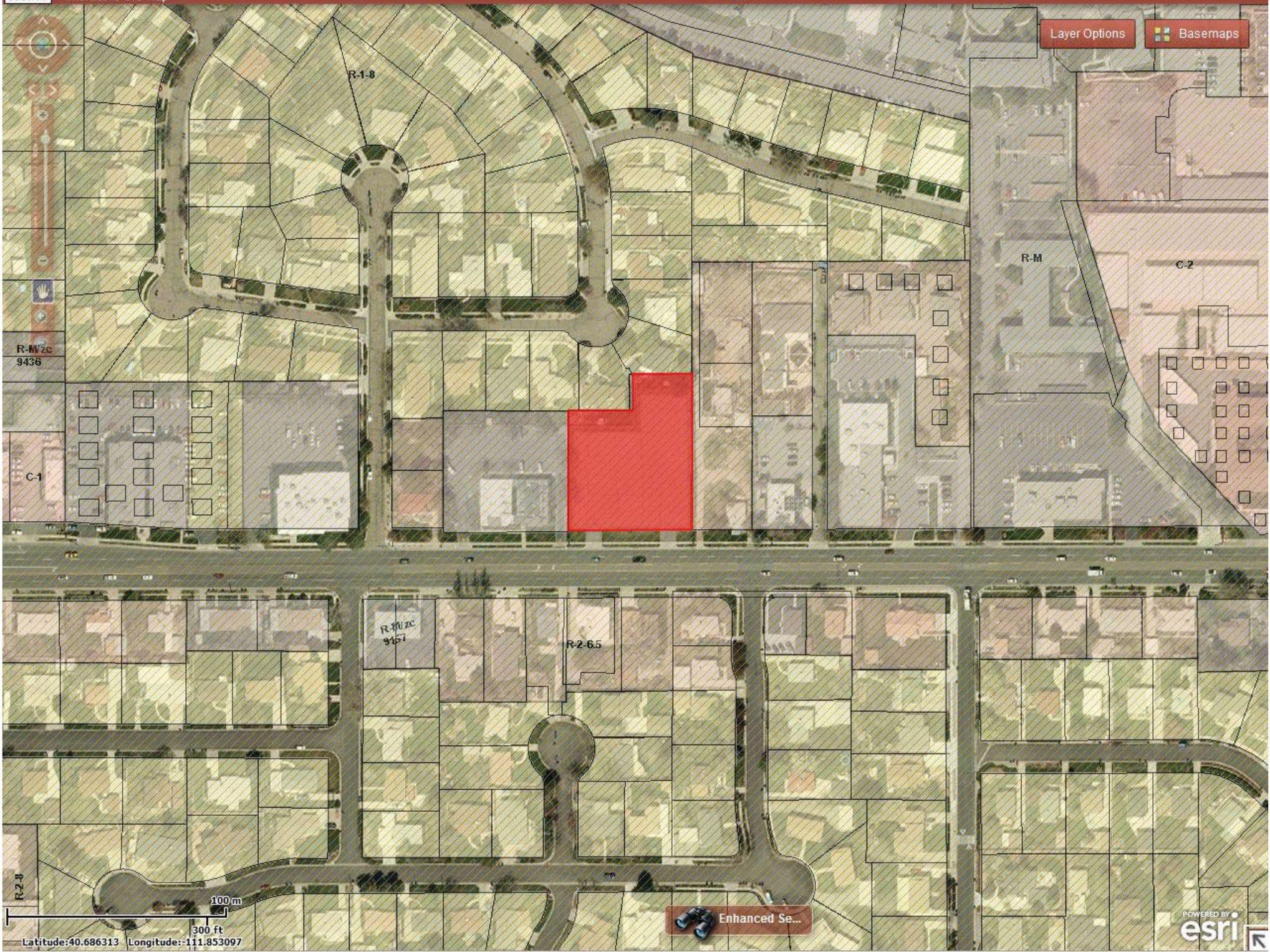
3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

- 1) The applicant complete the Technical Review, Preliminary Plat and Final Plat review processes with staff, complying with all requirements deemed applicable and necessary by the staff and outside reviewers.
- 2) The lots be revised to place all commonly owned and maintained areas within a common ownership parcel or parcels.
- 3) The other corrections noted in this report be incorporated into a final Preliminary Plat.

3.2 Reasons for Recommendation

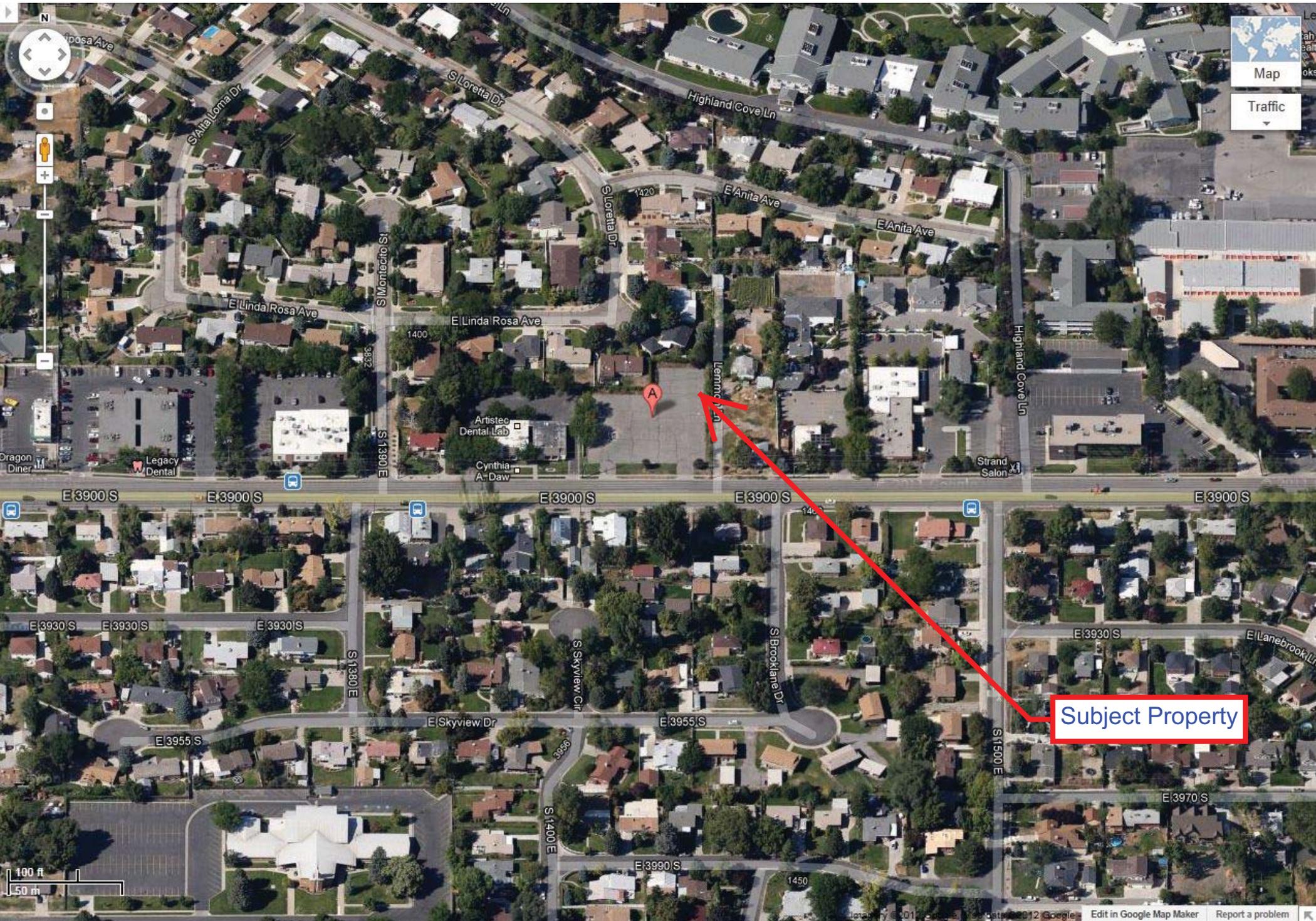
- 1) With staff's recommendations the proposed Preliminary Plat will comply with all applicable ordinance provisions.
- 2) With staff's recommendations the proposed Preliminary Plat will comply with the Commissions Conditional Use Permit approval for the PUD



Layer Options Basemaps

Enhanced Se...

POWERED BY
esri



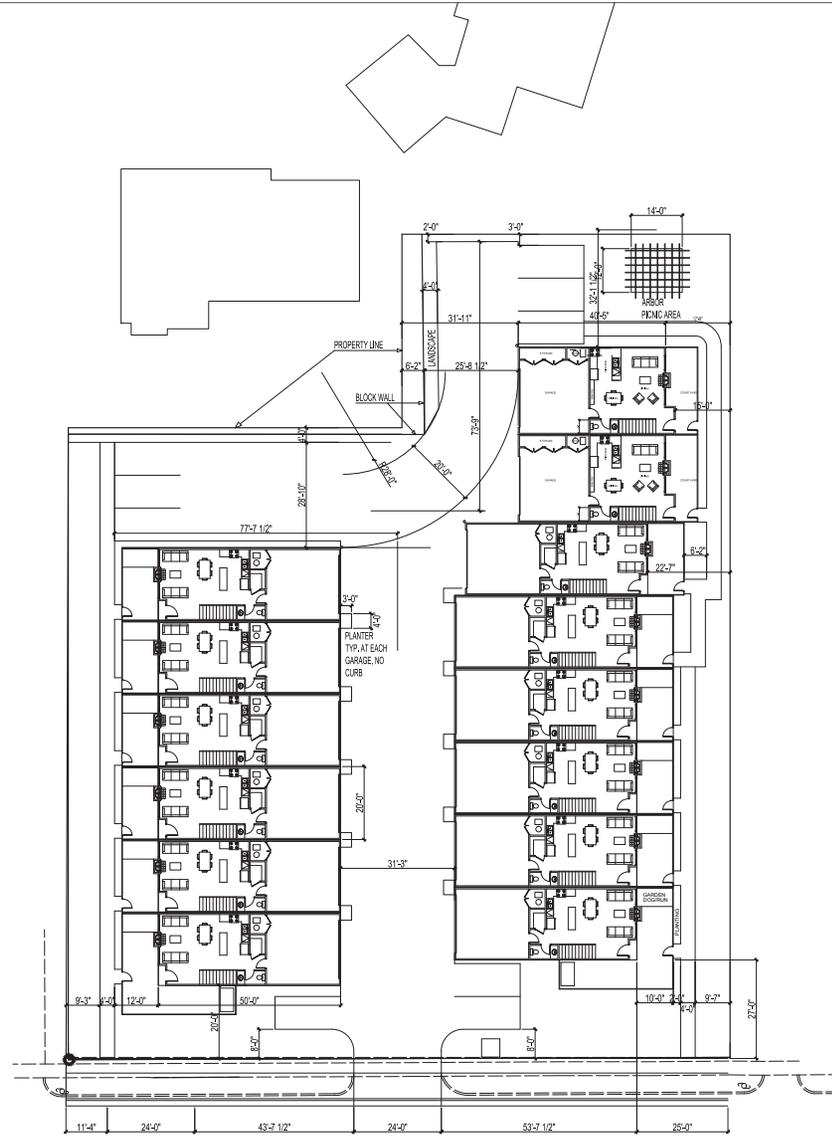
Map
Traffic

Subject Property





2 RENDERINGS
SCALE NTS



3900 SOUTH

SITE PLAN
SCALE 1/16"=1'-0"



RPA
RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111
HOLLADAY, UTAH 84117

807-580-0181

MILLCREEK TOWN HOMES

DATE: 4-1-13

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE

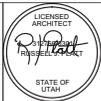
ARCHITECTURAL

SITE PLAN

RENDERING

SHEET NUMBER

AS-1



807-580-0181

4141 HIGHLAND DRIVE SUITE 111
HOLLADAY, UTAH 84117

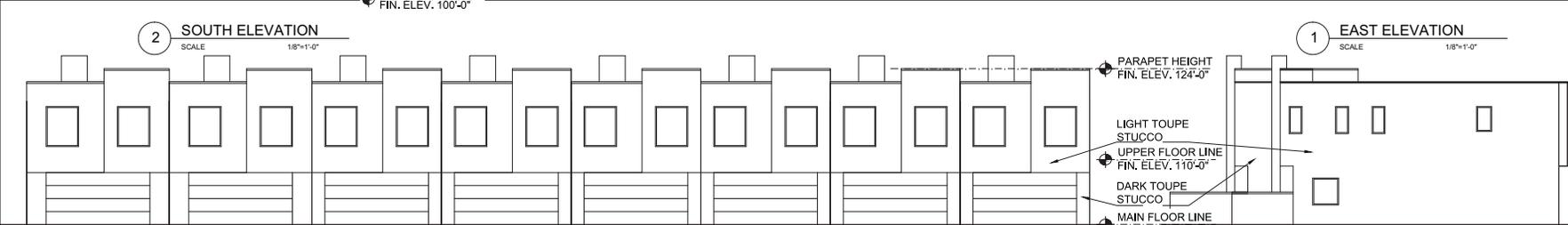
RPA
RUSSELL PLATT ARCHITECTURE

3900 SOUTH TOWN HOMES



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"

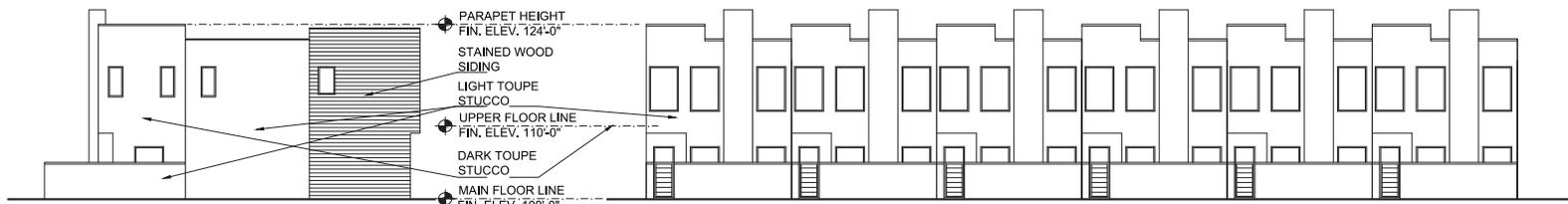
1 EAST ELEVATION
SCALE 1/8"=1'-0"



4 WEST ELEVATION
SCALE 1/8"=1'-0"

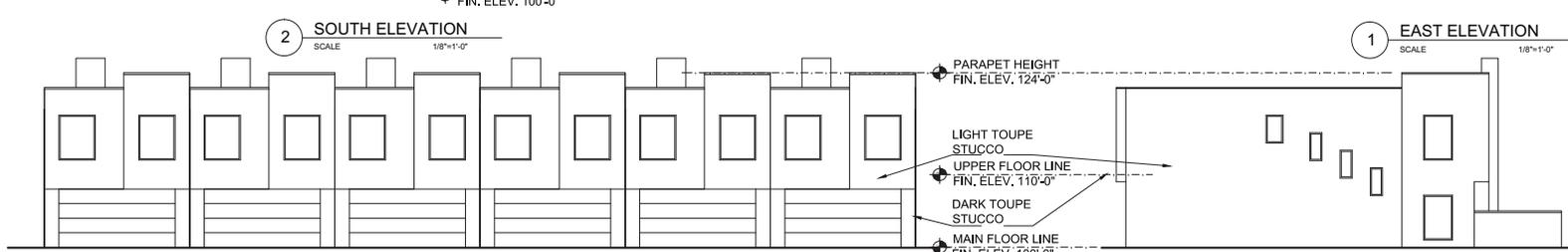
3 NORTH ELEVATION
SCALE 1/8"=1'-0"

EAST UNITS



2 SOUTH ELEVATION
SCALE 1/8"=1'-0"

1 EAST ELEVATION
SCALE 1/8"=1'-0"



4 WEST ELEVATION
SCALE 1/8"=1'-0"

3 NORTH ELEVATION
SCALE 1/8"=1'-0"

WEST UNITS

DATE: 1-9-13

REVISIONS:

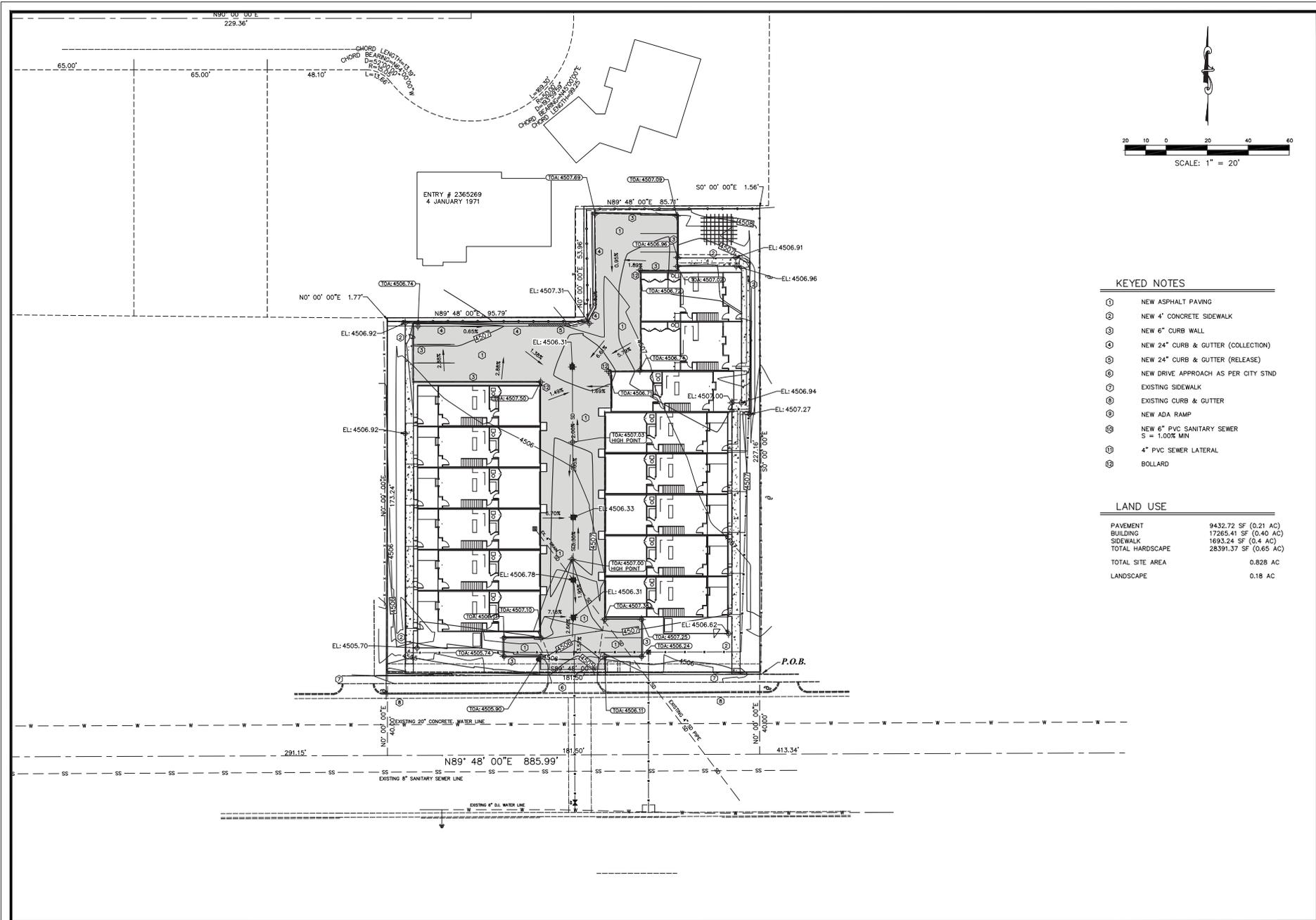
NO.	DATE	REVISIONS

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-2



KEYED NOTES

- ① NEW ASPHALT PAVING
- ② NEW 4" CONCRETE SIDEWALK
- ③ NEW 6" CURB WALL
- ④ NEW 24" CURB & GUTTER (COLLECTION)
- ⑤ NEW 24" CURB & GUTTER (RELEASE)
- ⑥ NEW DRIVE APPROACH AS PER CITY STD
- ⑦ EXISTING SIDEWALK
- ⑧ EXISTING CURB & GUTTER
- ⑨ NEW ADA RAMP
- ⑩ NEW 6" PVC SANITARY SEWER
S = 1.00% MIN
- ⑪ 4" PVC SEWER LATERAL
- ⑫ BOLLARD

LAND USE

PAVEMENT	9432.72 SF (0.21 AC)
BUILDING	17283.41 SF (0.40 AC)
SIDEWALK	1693.24 SF (0.4 AC)
TOTAL HARDSCAPE	28391.37 SF (0.65 AC)
TOTAL SITE AREA	0.828 AC
LANDSCAPE	0.18 AC

HILL & ARGYLE, Inc.
Engineering and Surveying

H A

181 West 200 West, Suite 400, Northfield, Utah 84201
(801) 298-2236, Fax: (801) 298-3883

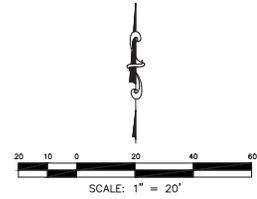
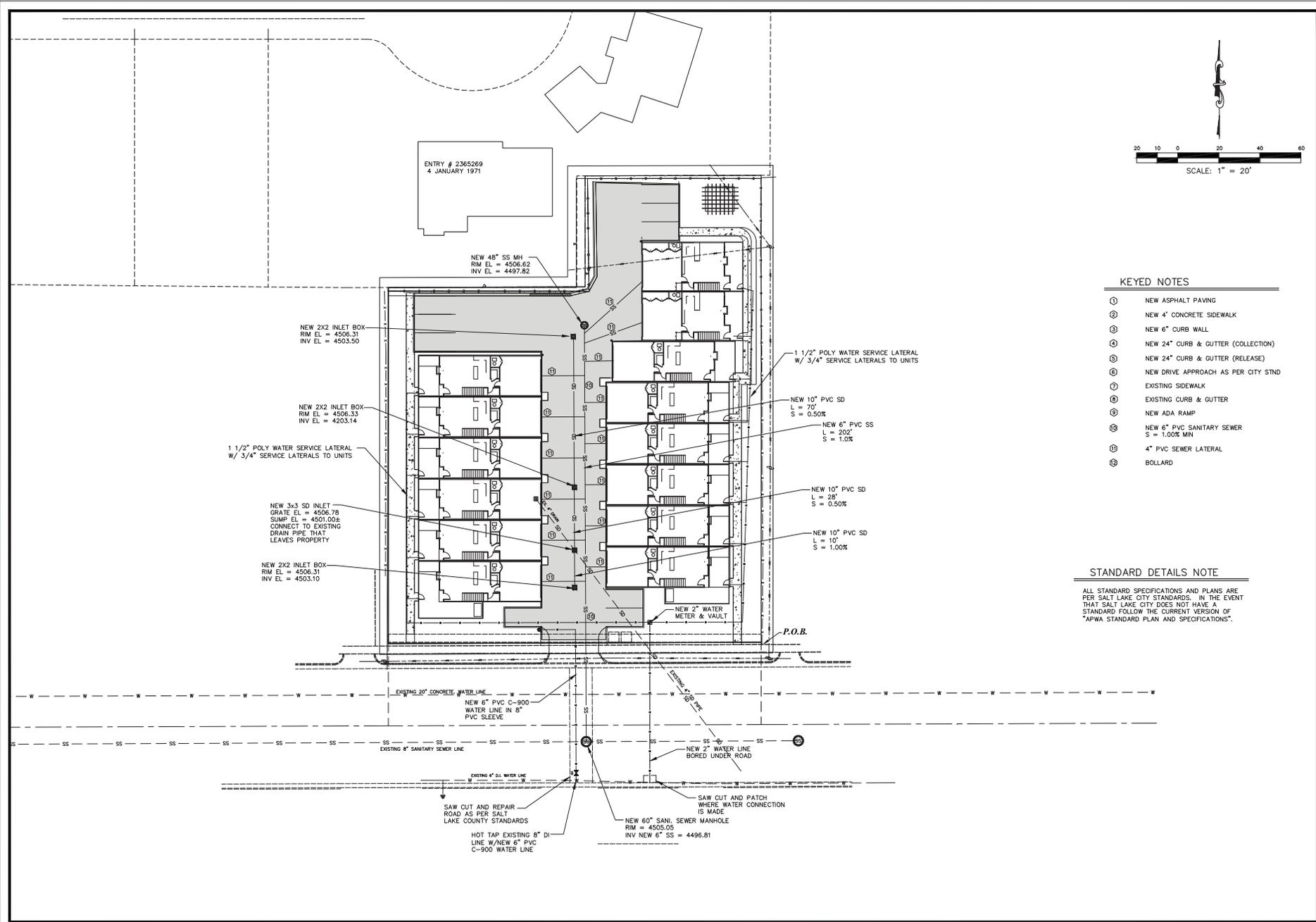
MILLCREEK TOWNHOMES
FOR: NATHAN ANDERSON

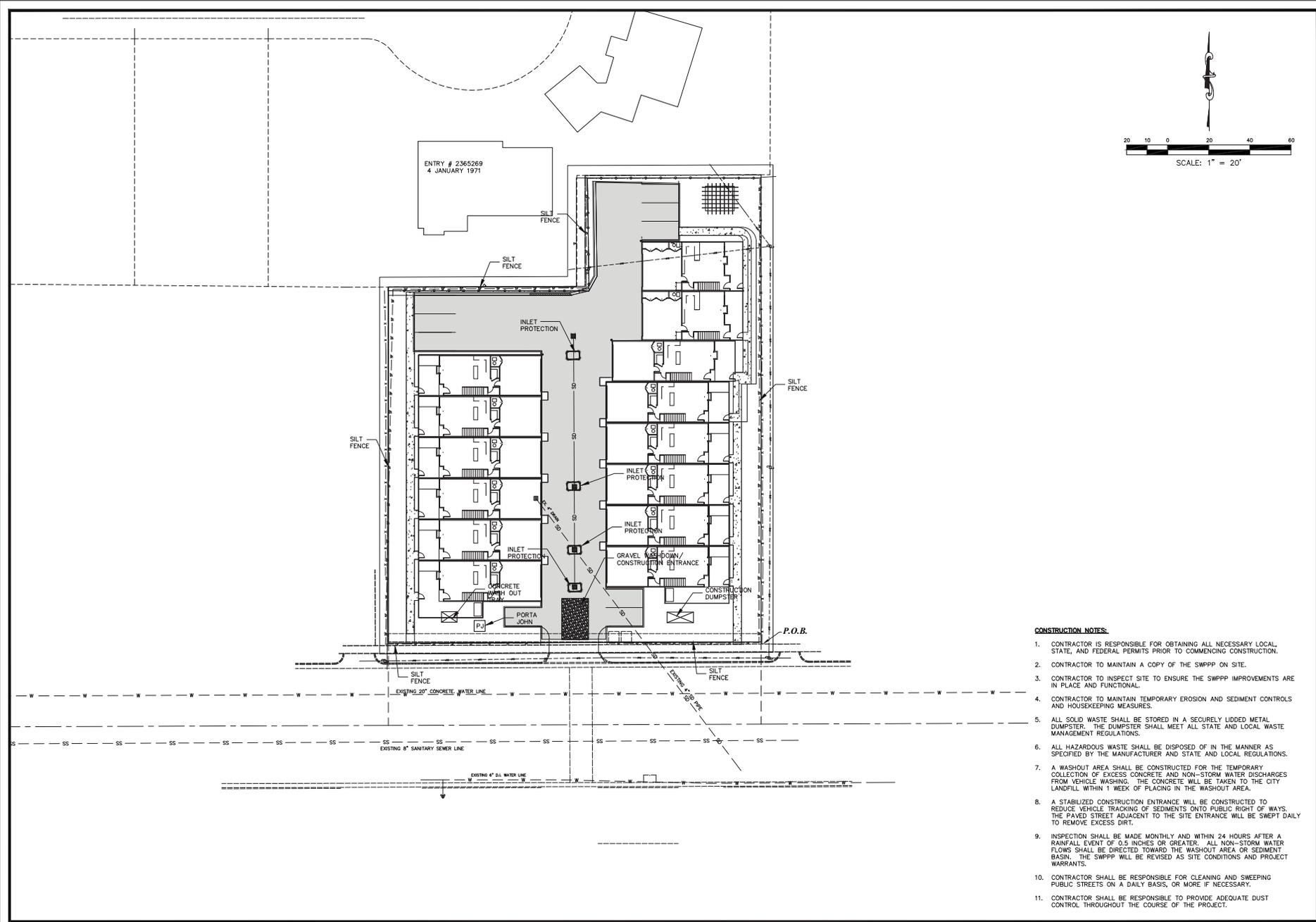
1431 EAST 3900 SOUTH
LOCATED IN THE SW 1/4 OF SECTION 33, T.15S., R.1E., S. L. B. & M.
SALT LAKE COUNTY, UTAH

DRAWN BY: DATE 1/7/13	APPROVED STA. DATE 1/7/13
REVISED: DATE	REVISED: DATE

SHEET C-4

SHEET NAME GRADING	DRAWING NAME MAIN JAN 10 2013
PROJECT NO. 12-290	





CONSTRUCTION NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.
2. CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
3. CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
4. CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
5. ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
6. ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.
7. A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.
8. A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHT OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.
9. INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROJECT WARRANTS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
11. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

HILL & ARGYLE, Inc.
Engineering and Surveying
181 West 200 West, Suite #100, Northfield, Utah 84201
(801) 298-2236 Phone, (801) 298-2883 Fax

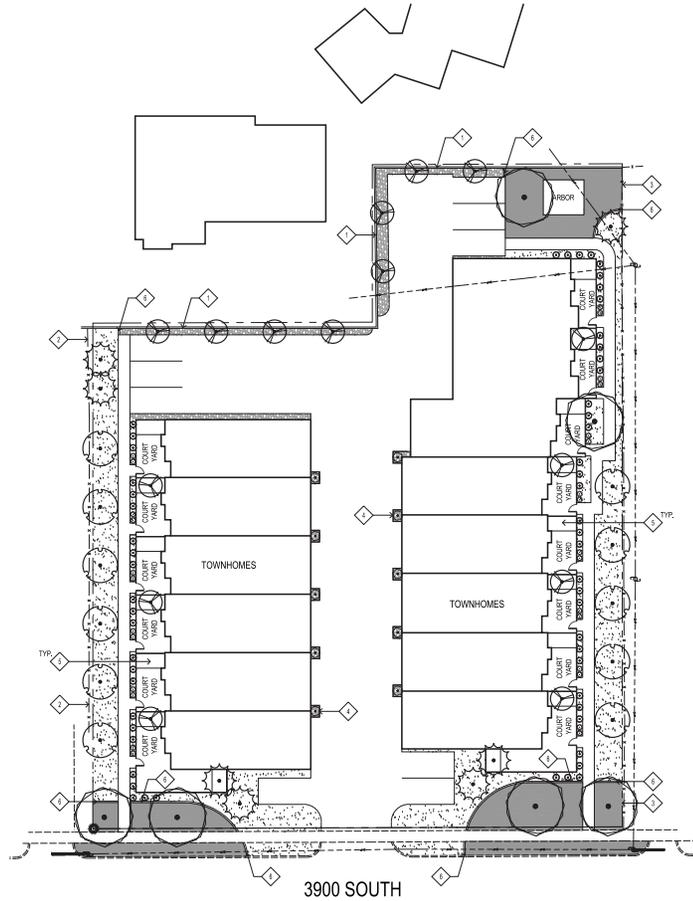
MILCREEK TOWNHOMES

FOR: **NATHAN ANDERSON**

1431 EAST 3900 SOUTH
SALT LAKE CITY, UTAH

DRAWN BY: DATE: 1/17/13 APPROVED BY: DATE: 1/17/13 REVISIONS:	SHEET C-6 SHEET NAME: EROSION CONTROL DRAWING NAME: MAIN JAN 10 2013 PROJECT NO.: 12-290
---------------------------------------------------------------------	---------------------------------------------------------------------------------------------------

LANDSCAPE SUMMARY DATA		
SALT LAKE COUNTY MUNICIPAL CODE CHAPTER 10.27 - WATER EFFICIENT LANDSCAPE DESIGN AND DEVELOPMENT STANDARDS		
GENERAL SITE INFORMATION:	REQUIRED	PROVIDED
ZONED AS	NA	R-4N RESIDENTIAL MULTI-FAMILY
TOTAL AREA ON-SITE	NA	83 AC ± 30,788 SF.
TOTAL LANDSCAPE AREA ON-SITE	NA	7,881 S.F. ± 22%
STREET FRONTAGE:		
TREES - 1 TREE PER 25' OF STREET FRONTAGE	181 L.F. / 25' = 7	8
SHRUBS - 1 SHRUB PER 4' OF BUILDING FOUNDATION	98 L.F. / 4' = 24	OVER 24
REAR & SIDE YARDS:		
TREES - 1 TREE PER 25'	635 L.F. / 25' = 25	25
SHRUBS - 1 SHRUB PER 4' OF BUILDING FOUNDATION	288 L.F. / 4' = 72	OVER 72
WATER CONSERVATION & TREE DIVERSITY:		
NATIVE & DROUGHT TOLERANT PLANTS - 80% MIN.		OVER 80%
TREE SPECIES DIVERSITY - NO MORE THAN 25% OF ONE SPECIES	38 x 25% = 10	15



PRELIMINARY LANDSCAPE PLAN
SCALE: 1" = 20'-0"

PLANTING LEGEND

SYMBOL	QNTY	COMMON NAME	BOTANICAL NAME	SIZE
TREES				
	8	SUMMIT ASH	<i>Fraxinus pennsylvanica</i> Summi [®]	2" Caliper
	11	CORYTHIAN LITTLE LEAF LINDEN	<i>Tilia cordata</i> Corythian [®]	2" Caliper
	7	BLUE ATLAS CEDAR	<i>Cedrus atlantica</i> glauca	6-7 Height
	15	COLUMNAR ENGLISH OAK	<i>Quercus robur</i> fastigiata	2" Caliper
SHRUBS				
	10	EMERALD GREEN ARBORVITAE	<i>Thuja occidentalis</i> pyramidalis 'Emerald'	10 Galton
PERENNIALS & GRASSES				
		KARL FOERSTER FEATHER GRASS	<i>Calamagrostis arundinacea</i> Karl Foerster [®]	1 Galton
		STELLA D'ORO DAYLILY	<i>Hemerocallis</i> 'Stella D'Or'	1 Galton
PLANTING BED				
	4,360 s.f.	WATER WISE PLANT MATERIAL CONSISTING OF A MIXTURE OF EVERGREEN AND DECIDUOUS SHRUBS, ORNAMENTAL GRASSES & PERENNIALS	Install 2" deep layer of shredded bark mulch over DuraPro 5 weed barrier fabric. Bark mulch shall be free of dirt, rocks and other foreign debris.	
DECORATIVE STONE				
	756 s.f.	COBBLE 3/4" DIAMETER "SOUTH TOWN" FROM NEPHE SANDSTONE (45) (E23-2032) OR APPROXIMATE EQUAL. INSTALLED A MINIMUM 4" DEEP.	Install over DuraPro 5 weed barrier fabric. Fabric shall be washed and free of dirt and other foreign debris.	
LAWN				
	2,375 s.f.	LAWN SOO, "IMPERIAL BLUE" FROM CHENNAISE FARMS (88) SOO-SOAK OR APPROVED EQUAL.		

PLANTING NOTES

- ALL QUANTITIES ARE SHOWN AS AN AID ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL QUANTITY CALCULATIONS BASED ON THE PLANTING PLAN.
- PLANT COMMON NAMES ARE SHOWN AS A REFERENCE ONLY. USE COMPLETE BOTANICAL NAMES WHEN PURCHASING ALL PLANT MATERIAL.

REFERENCE NOTES

- EXISTING # BLOCK WALL TO REMAIN
- EXISTING # WOOD FENCE TO BE REPAIRED AND EXTENDED TO THE SOUTHWEST PROPERTY CORNER
- INSTALL NEW # WOOD FENCE TO MATCH WEST PROPERTY LINE ALONG ENTIRE LENGTH OF EAST PROPERTY LINE
- ON GRADE PLANTER, 24"
- GARDEN DOGS RUN
- CONCRETE MONSTRIP - SEE DETAIL XLS.01

McNEIL GROUP
 Designing for the Future Since 1983™
 8610 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
 TEL: (801) 255-7700 FAX: (801) 255-8071
 E-MAIL: info@mcneilgroup.com WEB SITE: A: www.mcneilgroup.com

MILLBROOK TOWNHOMES
 Nathan Anderson
 1431 EAST 3900 SOUTH
 SALT LAKE COUNTY, UTAH

REV#	DATE	DESCRIPTION

PROJECT NO: 13109
 CAD DWG. FILE: 13109.plt.dwg
 DRAWN BY: BE
 PROPERTY NO:
 DESIGNED BY: SS/BE
 FIELD CREW:
 CHECKED BY: SS
 DATE: APRIL 2013

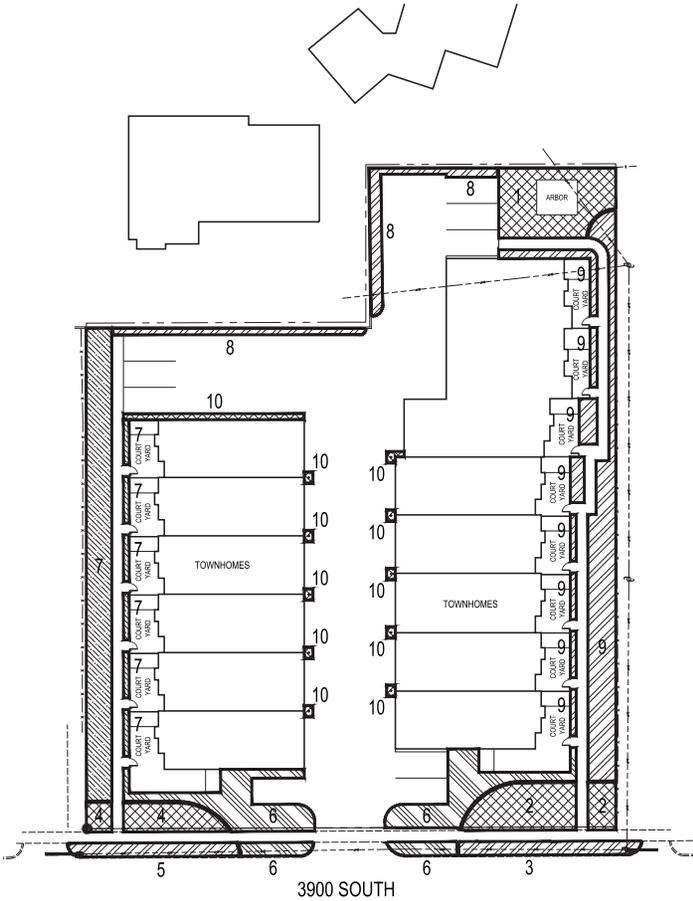
CITY REVIEW SET
APRIL 2, 2013

SHEET TITLE
PRELIMINARY LANDSCAPE PLAN
L1.01
 SHEET 1 OF 2

S:\2013\13109\13109\13109.dwg, Apr 04, 2013 - 7:00pm
 MCNEIL ENGINEERING - SURVEYING, L.C.

HAZARD CUTTING UNDERGROUND UTILITIES. IT'S COSTLY!
Call Digs
 1-800-662-4111

NOTICE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL BUIES OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.



WATER ALLOWANCE CALCULATION

VALVE NUMBER	PLANT FACTOR CLASS	AREA (S.F.)	ANNUAL ETO	PLANT FACTOR VALUE	CONVERSION TO IRRIG.	TOTAL GALLONS ANNUALLY
1	HIGH	712	31.17	1.00	0.6200	13,760
2	HIGH	711	31.17	1.00	0.6200	13,740
3	HIGH	287	31.17	1.00	0.6200	5,546
4	HIGH	398	31.17	1.00	0.6200	7,692
5	HIGH	288	31.17	1.00	0.6200	5,179
6	LOW	1,384	31.17	.50	0.6200	13,373
7	LOW	1,697	31.17	.50	0.6200	15,431
8	LOW	486	31.17	.50	0.6200	4,696
9	LOW	1,761	31.17	.50	0.6200	17,016
10	LOW	253	31.17	.50	0.6200	2,445
TOTAL AREA = 7,857 S.F.					TOTAL GALLONS = 98,878	
WATER ALLOWANCE: 98,878 / 7.857 = 12,598 GALS / S.F. / YEAR (15 IS MAX. ALLOWED)						

IRRIGATION HYDROZONE PLAN
SCALE: 1" = 20'-0"

S:\2013\13109\13109.dwg (Plot Date) 1/10/13 10:46 AM 02, 2013 - 4/2/13
MCNEIL ENGINEERING - SURVEYING, L.C.

Call Before You Dig
1-800-662-4111

NOTICE:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND RESTORATION OF ALL UTILITIES ABOVE OR BELOW GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.

McNEIL GROUP
Designing for the Future Since 1983™
8619 So. Sandy Parkway, Suite 200 Sandy, Utah 84070
TEL: (801) 255-7700 FAX: (801) 255-8071
E-MAIL: info@mcneilgroup.com WEB SITE: AT www.mcneilgroup.com

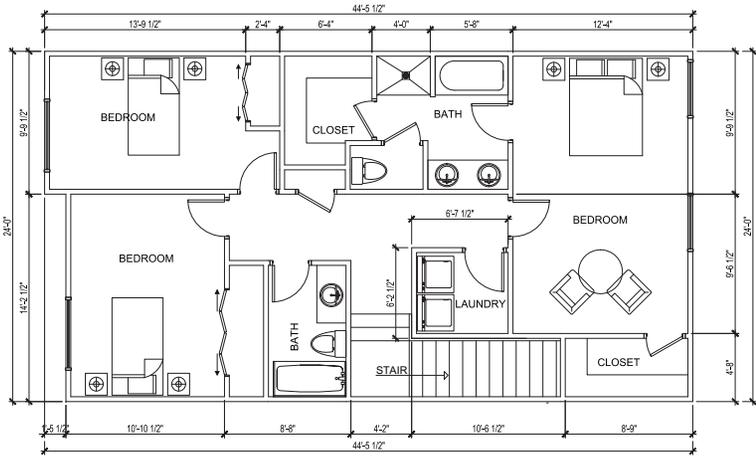
MILLBROOK TOWNHOMES
Nathan Anderson
1431 EAST 3900 SOUTH
SALT LAKE COUNTY, UTAH

REV#	DATE	DESCRIPTION

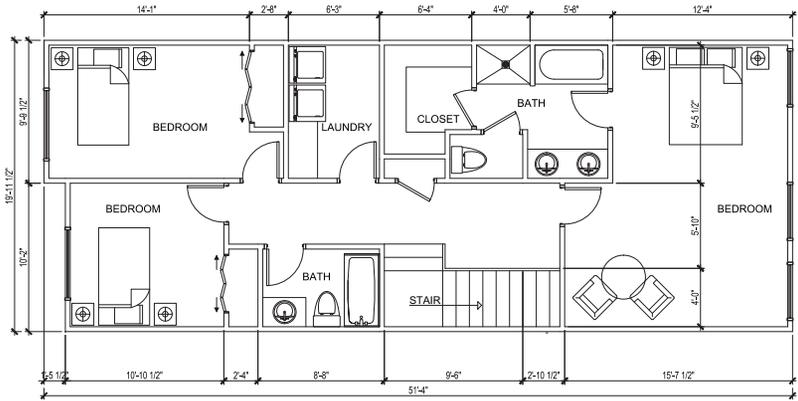
PROJECT NO: 13109
CAD DWG FILE: 13109.plt.dwg
DRAWN BY: BE
PROPERTY NO:
DESIGNED BY: SS/BE
FIELD CREW:
CHECKED BY: SS
DATE: APRIL 2013

CITY REVIEW SET
APRIL 2, 2013

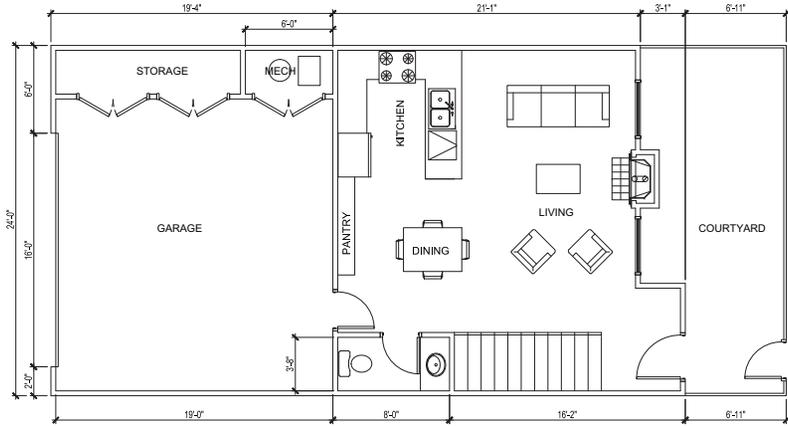
SHEET TITLE
IRRIGATION HYDROZONE PLAN
L2.01
SHEET 2 OF 2



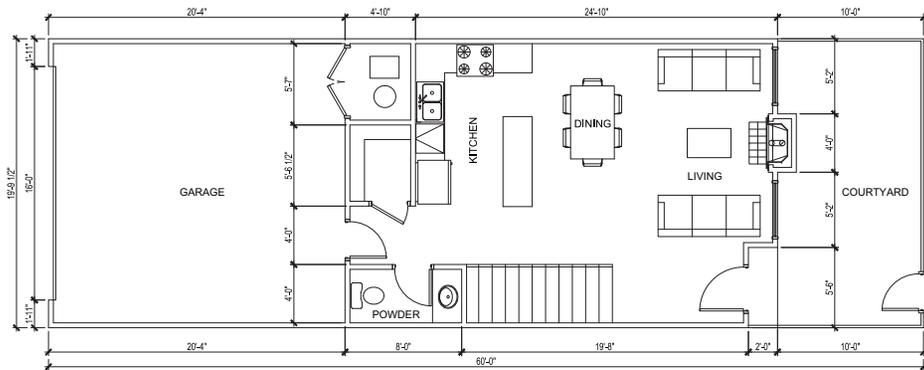
○ UPPER FLOOR 2 BEDROOM
SCALE 1/4"=1'-0"



○ UPPER FLOOR 3 BEDROOM
SCALE 1/4"=1'-0"



○ MAIN FLOOR 2 BEDROOM
SCALE 1/4"=1'-0"



○ MAIN FLOOR 3 BEDROOM
SCALE 1/4"=1'-0"



RPA
RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111
HOLLADAY, UTAH 84117
801-580-0181

3900 SOUTH TOWN HOMES

DATE: 1-9-13

REVISIONS:

NO	DATE	REVISIONS

SHEET TITLE

FLOOR PLANS

SHEET NUMBER

A-1







DECK
DIVISION
&
FENCE



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	3	7	2	
Applicant Name:	Dimitrios Tsagaris	Request:	Conditional Use						
Description:	A 37-unit Apartment Development, consisting of two 5-story buildings								
Location:	3658-3668 South 900 East								
Zone:	C-2 Community Commercial	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not yet received								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1 Proposal

The applicant is requesting Conditional Use approval of 37-unit, 5-story, apartment development. The proposed development consists of two buildings, 6 recreational facilities and 81 surface parking spaces. Thirty-five of the proposed parking spaces, located in the center of the parking lot, are covered under pitched roof carports.

The proposed recreational facilities include: a 1,000 square-foot playground; a 1,000 square-foot picnic area; a 1000 square-foot walking trail; a 1,600 square-foot sports court; a 1,285 square-foot club house/common room; and a 1,285 square-foot workout room. The proposal includes approximately 24, 443 square feet (approximately 37.5%) of open space/landscaped area. The proposed buildings have a stepped parapet around the top and result in height ranging from 53 to 57 feet; an average of 55 feet, from finished grade. The project property is 65,158 square feet or 1.49 acres, resulting in 24.8 dwelling units per gross acre density. The project is proposed to be accessed by two, gated entrances off of 900 East.

1.1.2 Requested Modifications from the Planning Commission

The proposal does include the Planning Commission consider modifications to the open space standards under the County's Recreational Facilities and Open Space Standards policy. The policy would require the project to have 50% open space, with a reduction of 2%, down to a minimum 42% open space, for each Recreational Facility over the minimum required. Based on the projects 74 bedrooms, a minimum of two facilities are required. The applicant's proposed 6 facilities, 4 more than the minimum, would result in an allowed 8% reduction down to 42% under the standards. As noted above, the project has a total of 37.5% open space.

As part of the proposal, the Commission will have to determine if the applicant's proposed parking plan for 81 spaces, is sufficient for the development. Ordinance requires 2 spaces per unit with guest parking to be established on a case by case basis based on what the commission feels is needed. The proposed 81 spaces provides 2 spaces per unit with 7 guest spaces. 35 of the total spaces are covered carports.

1.2 Hearing Body Action

This application is on the Commission's agenda for action.

1.3 Neighborhood Response

As of this writing staff has not received any correspondence from the surrounding residences or business owners. Staff did speak with the business owner to the south of the project while out visiting the site. The business owner indicated that while the proposed building were tall that since they were located on the north side of his property they should not impact his greenhouse/plant business.

1.4 Community Council Response

July 2, 2013 - Staff attended the Millcreek Community Council meeting where the subject proposal was discussed. There were no residents or property owners from the surrounding neighborhood present at the meeting even though a notice for the Planning Commission's July 10th meeting had been mailed out June 27th, several days prior to the Community Council's meeting. The notice includes information about the Community Council's meeting date, time, location and contact information. It also indicates that this application has been forward to the Community Council for their consideration.

After hearing from the applicant and staff regarding the proposal, the Commission voted to approve a motion that recommended to the Planning Commission that they consider the positive aspects of the proposal and take into consideration the potential impacts of the proposals height on the surrounding area. The Commission expressed positive comments regarding the project's overall design and well thought plan, but many of the commissioners felt that the buildings' height was out of character with the area. The indicated that, while buildings were compliant with the C-2 zone's maximum building height regulations, the buildings would be significantly taller than the surrounding development. They did acknowledge that the applicant had made efforts to address the impact of the height of the buildings with architectural materials and design and by orienting the buildings layout perpendicular to 900 East, reducing the visual impact on the street.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	Standard `A': <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		With recommendations of staff, the proposed project will comply with all applicable zoning ordinances by completion of the Technical Review with staff.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		With staff recommendations the project will comply with all other applicable regulations by the time the project completes Technical Review with the staff.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		The County's transportation engineer has indicated that 900 East can accept the anticipated traffic from the proposed development. The project's gated entrances should be able to comply with applicable traffic safety standards for setback, staking and other requirements.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		The project complies with these requirements or will do so upon completion of the Technical Review process with staff, or a final approval will not be issued.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		It is staff's opinion that the proposed development will have minimal impact on the surrounding community even though the proposed buildings will be the tallest structures in the immediate vicinity. The residential uses are set back from this property a considerable distance, and the adjacent commercial developments to the south and across the street will not be physically impacted. The development of this property would help to improve the currently unkempt property with a quality development that will be maintained over time. and it will provide another housing option for citizens of Millcreek Township consistent with the guidelines of the General Plan. Further, the applicant's use of architectural materials and design, and considered placement of the buildings on the property perpendicular to 900 East and further away from adjacent lower apartments to the north also help to reduce potential visual impact. The landscape plan can also be enhanced around the building with larger tree species and increased quantity to ultimately soften the buildings visual size. The underlying zoning allows buildings taller than these proposed structures. In addition the proposed buildings meet or exceed setback requirements.

2.2 Zoning Requirements

2.2.1 Zoning Analysis Table - Attached

In the attached table, the provisions of the zoning ordinance and applicable Development Standard policies for recreational facilities, Open Space and Multi-family development are identified and compared with the applicant's proposal. There are several items identified as "Does not Comply".

Setbacks - Correct During Technical Review

Most of these items have to do with setbacks which, can be remedied during Technical Review without significant modifications to overall proposal. There appears to be enough room on the site to achieve the requirements. Staff is recommending that these setback issues be addressed during Technical Review.

Items Needing PC Approval

There are two items in the table and noted previously in the Summary Section of this report that have to do with Policy Document requirements that can be modified by the Commission, or ordinances that give the Commission flexibility in deciding the final requirements. These provisions have to do with Open Space (policy) and Guest Parking (ordinance). A brief description for these items are as follows.

Open Space

The Recreational Facilities and Open Space Standards for Multi-family and PUD Developments, indicate that all developments subject to the policy standards shall provide a minimum of 50% open space. It further indicates that the 50% can be reduced by 2% for each Recreational Facility provided over the minimum number required. The maximum reduction allowed for facilities is 4 facilities equating to 8%. The applicant has provided 6 facilities, 2 required and 4 in exchange for open space reduction. However, the actual open space provided after building and parking requirements are eliminated is 37.51 percent, 4.49% short of the minimum 42% indicated by the standard. Since this standard is a policy and not an ordinance, the Commission can modify this requirement if they deem it appropriate. Staff is supportive of the reduction. 2 of the 6 facilities are being located inside one of the buildings and all facilities meet or exceed the minimum size requirements. The quantity and quality of the facilities warrant the 4.49% (2,926 square foot) reduction in overall open space. Further the proposed open space can be more intensely landscaped, making the outdoor facilities even more functional and useful for the residents of the project.

Guest Parking

Parking for Multi-family developments is 2 spaces per unit, plus a number of guest spaces deemed necessary to meet the needs of the project by the Planning Commission. The only guide that has been provided is another 15+ year old policy document that specifies if all required parking spaces (the 2 spaces per unit) are covered and for private use, then 1/2 space per unit must be provided for guest parking. The applicant has proposed 81 spaces, 35 of which are enclosed in covered carports. Based on the number of units proposed, this would require 74 parking spaces at 2 spaces per unit. This leaves 7 parking spaces on-site that are over the 2 per unit requirement. 43% of the parking spaces are covered, meaning that 57% or 43 spaces are open parking spaces.

The 37 units are all 2 bedroom 2 bath units, which could result in many of the units having more than one car associated with them. However, it is unlikely that all of the units will have more than one car which means there should be sufficient parking on the site for guests with the unused spaces per unit and the 7 additional spaces provided. It may be appropriate for the applicant to clarify for the Commission how parking will be assigned within the development. Staff would suggest that while the carports could be assigned to specific units, the rest of the project not have assigned parking and that the number of cars associated with each unit be established with each lease. The total number of cars within the development be tracked so that the need for parking will not exceed what is provided.

2.2.2 Other Issues

Landscaping

The applicant's preliminary landscape plans will need to be updated to final plans. Confirmation of all requirements will occur during Technical Review. Staff is recommending that the landscaping along the

front of the project be increased and that the trees used inside the development, particularly near the building or between the building and the street and the building and the adjacent residents to the west or south, but large species to help soften the appearance of the buildings over time.

Lighting

The applicant will need to provide a lighting plan for the project that provides adequate light for resident safety at night, but that will comply with County lighting requirements and development standards. This will include identifying final locations of all exterior lighting, their designs, heights, fixture types etc. to make sure that lighting will not be an issue for adjacent residents and for traffic along 3900 South. This can be finalized during the Technical Review process and will require a full lighting plan with photometric analysis, cut sheets and other pertinent information to confirm compliance.

2.3 Other Agency Recommendations or Requirements

2.3.1 Building

1. Building Permits Required for each building separately and all other items such as signage, etc.
2. All Parcels to be consolidated prior to building permit process/
3. Buildings will need to comply with all applicable building and fire code requirements, including percentage of units to be ADA accessible;

2.3.2 Grading

Technical review required. The following information to be submitted for review and approval during the Technical Review with staff:

1. Geotechnical Engineering report prepared by a qualified Geotechnical Engineer
2. Site grading and drainage plans prepared by a qualified civil engineer
3. Storm water pollution prevention plan (SWPPP)
4. State of Utah General Construction permit (UTR 300000)(At permitting)
5. Pending Design a Maintenance agreement (at permitting)

2.3.3 Hydrology

Site plan approved. Applicant will need to submit a Detailed Grading and Drainage Plan in accordance with County Hydrology requirements for Technical Review.

2.3.4 Geology

Subject property is located in Moderate Liquefaction Area. A Geotechnical Report with soils and liquefaction analysis will be required to be submitted for review and approval during Technical Review. Buildings will have to be built in accordance with Geotechnical Engineer's recommendations.

A Natural Hazards Disclosure Statement indicating a Geotechnical Report has been done and is on file with Salt Lake County needs to be acquired from the Geologist, filled out and recorded against the property after the report has been completed and accepted by the County, during the Technical Review with staff.

2.3.5 Transportation Engineer

Technical Review is required. Site Plan is approved subject to the following requirements being addressed during Technical Review:

1. Roadway dedication for a 40-foot half-width on 900 East is required. All roadway improvements must be installed at 40-foot alignment. Because of existing conditions, moving the power pole will not be

required. Hazard marking for power pole must be provided.

2. Gates must be set back a minimum of 20' from the back of new sidewalk. Gate controls must be accessible to driver of guest vehicle without crossing into oncoming parking lot traffic. One way entrance at north driveway will allow guest intercom or control box on driver side without installation of an island.

3. Provide plan and profile drawings for roadway improvements.

2.3.6 Public Improvements Review

Site Plan is approved, the following requirements will need to be addressed during Technical Review with staff:

1. All off-site improvements will be required to be bonded for.

2. If any dedication is required along 900 E e-mail the description for the dedication to djeffreys@slco.org for further processing of appropriate documents.

3. Require engineering drawings signed by a licensed engineer for improvements so that an appropriate bond can be put together.

4. After Hydrology, Traffic and Grading have given approval, 4 copies of final civil engineering drawings for all improvements that is signed by a licensed engineer will be required

5. Lot consolidation required

FYI

1. Lot consolidation is completed. Recorded under Book 10148 pages 5431-5439

2. Dedication Completed 10152 pages 2551-2552

2.3.7 Salt Lake County Unified Fire Authority

Technical Review required. All plans to comply with UFA Requirements during Technical Review Process. Access, gates and circulations will need confirmation. Applicant has met with fire and current plans are still in review but should be in compliance with emergency access requirements. Fire Department Lock box will be required on the gates.

2.3.8 Salt Lake Valley Health and Water & Sewer Providers

Water and sewer availability letters have been provided to the Salt Lake Valley Health Department. Applicant will need to comply with water and sewer providers' requirements during the construction process.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) The Planning Commission approved the open space plans as proposed and outlined in this report with final technical review to be completed with staff regarding final details.
- 2) The applicant approve the proposed parking plan as outlined in this report with 81 total parking spaces, 35 spaces in covered parking as shown and the applicant provide an proposal for tracking and managing parking on-site to avoid non-authorized parking or to many cars per unit.
- 3)The applicant complete technical review with staff complying with all of the issued noted in this report and any other requirements deemed necessary by staff or outside agencies to ensure compliance with all applicable regulations.

- 4) The applicant increase the quantity of trees and shrubs along the front landscaping and landscaping with adjacent residential properties, including using larger species of trees to help reduce the visual impact of the project over time.
- 5) The buildings retain their current orientation as proposed to reduce the mass of the buildings along 900 East.

3.2 Reasons for Recommendation

- 1) The proposal with recommended conditions from staff will comply with all applicable zoning regulations
- 2) The proposal with recommended conditions from staff will comply with the Conditional Use Criteria.
- 3) The proposal is consistent with the purposes of the Millcreek Township General Plan regarding housing, by providing an alternative housing development that provides for residents and citizens at different life stages.

This Page Intentionally Left Blank

ZONING ANALYSIS TABLE

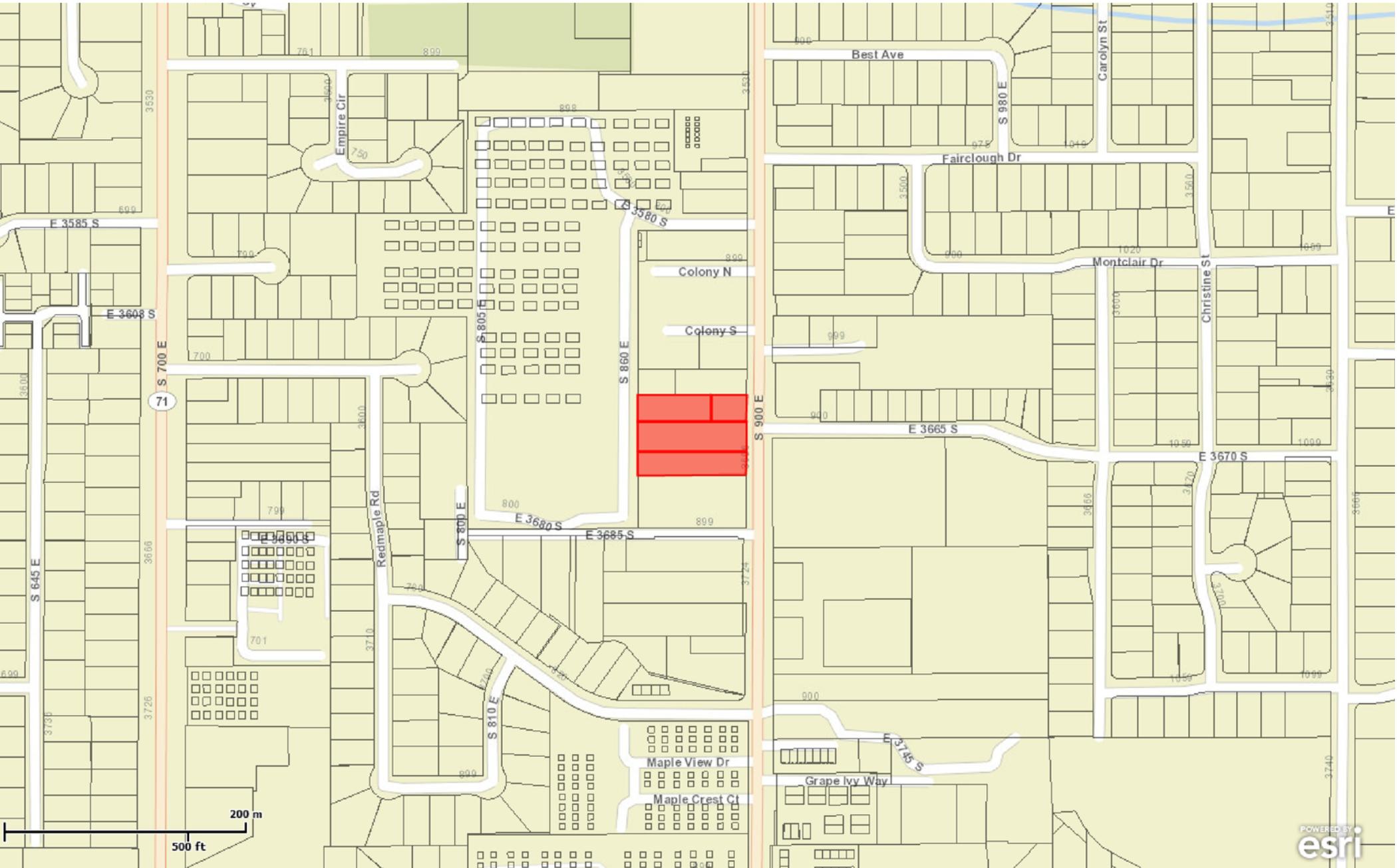
	Required/Standard	Proposed	Status (Complies or Doesn't Comply)
Density	25 Dwelling Units/Acre	24.8 Dwelling Units/Acre	Complies
Number of Units	37 on 1.49 acres	37 units	Complies
Number of Bedrooms	N/A	74 bedrooms All apartments or 2 bedroom units	N/A
Lot Area	34,250 sq. ft. min. (0.78 acres) 5,000 sq. ft. structure 1 3,3000 sq. ft. structure 2 26,250 sq. ft. ((37 units - 2) x 750 per unit)	65, 158 sq. ft. (1.49 acres)	Complies
Maximum Building Height (Per RCOZ)	6 stories/75 feet	5 stories/mixed parapet 53-57 feet, 55 feet average	Complies (However, see South Side Setback)
BUILDING SETBACKS			
Front (East)	25 feet	18 feet	<u>Doesn't Comply</u> Due to Dedication Room to Move front building back
Side (North)	19 feet = 8' + 11' [(8' Base + (57'-35')/2'=11')] 8 feet/Total 18 feet Buildings over 35 feet require 1-foot additional setback for each 2 feet over 35 feet	137 feet	Complies
Side (South)		12 feet	<u>Doesn't Comply</u> Needs 7 more feet Can move building, and/or reduce building height
Rear (West)	30 feet	30 feet	Complies
Between Structures	16 feet based on Development Standards	48 feet	Complies
LANDSCAPE SETBACKS			
Front (East) to Building	20-25 feet Base 20 feet w/Landscape Enhancement under 19.77	18 feet	<u>Doesn't Comply</u> Due to Dedication Room to Move Building Back
Front (East) to Parking	25 feet Base 15 to 8 feet w/Landscape Enhancement under 19.77	24 feet	<u>Doesn't Comply</u> Needs 1 more foot or meet 19.77 enhanced landscape requirements for less than 25 feet
Side (North)	5 feet	4.5 feet	<u>Doesn't Comply</u> Will need to increase 6 inches

ZONING ANALYSIS TABLE

	Required/Standard	Proposed	Status (Complies or Doesn't Comply)
Side (South)	19 feet Needs to meet ultimate minimum building side setback	12 feet	<u>Doesn't Comply</u> Meet ultimate setback or apply for PUD Approval
Rear (West)	30 feet	30 feet	Complies
OPEN SPACE AND RECREATIONAL FACILITY STANDARDS (Policy)			
Recreational Facilities			
Quantity	2 Facilities Minimum (based on 74 bedrooms)	6 Facilities 2 Required 4 for OS Reduction	Complies
1	Playground 1,000 sq. ft.	Playground 1,000 sq. ft.	Complies
2	Picnic Area 1,000 sq. ft.	Picnic Area 1,000 sq. ft.	Complies
3	Walking Trail 1,000 sq. ft.	Walking Trail 1,000 sq. ft.	Complies
4	Sports Court 1,600 sq. ft.	Sports Court 1,600 sq. ft.	Complies
5	Community Center 1,200 sq. ft.	Club House/Common Room 1,285 sq. ft.	Complies
6	Community Center 1,200 sq. ft.	Workout Room 1285 sq. ft.	Complies
Open Space			
Percent of Site	42% of Site 50%-8% (4 facilities x 2%)	37.51% Site	<u>Doesn't Comply</u> Needs 4.49% or PC Approval
Square Feet/Acres	27,365 sq. ft. / 0.63 acres	24,443 sq. ft./37.51%	<u>Doesn't Comply</u> Needs 2,926 sq. ft. or PC Approval
Recreational Facility Reductions	8% (or 4 facilities) Max. 8%=50% base-42% min. 4 Facilities=2% per Facility provided over Minimum.	8% Reduction Credit or 4 facilities over 2 required	Complies Maximum Total Proposed. Total Actual Open Space is Less than 42% Needs PC Approval
PARKING			
Total	74+Guest per PC Approval	81 Spaces Total FYI - 35 of 81 in Carports	<u>Guest Parking to be Approved by PC</u>
Minimum Per Unit	2 spaces per unit (2 spaces x 37 units) 74 spaces	2 spaces per unit (2 spaces x 37 units) 74 spaces	Complies
Minimum Guest	Guest Parking approved by PC FYI – Dev. Standards for MF&PUDs requires ½ space per unit, if all required parking is in a carport or garage)	7 Guest Parking	<u>Guest Parking to be Approved by PC</u>

28372 Conditional Use/Site Plan - Zoning Map

Apartments 36+ Units - Tsagaris

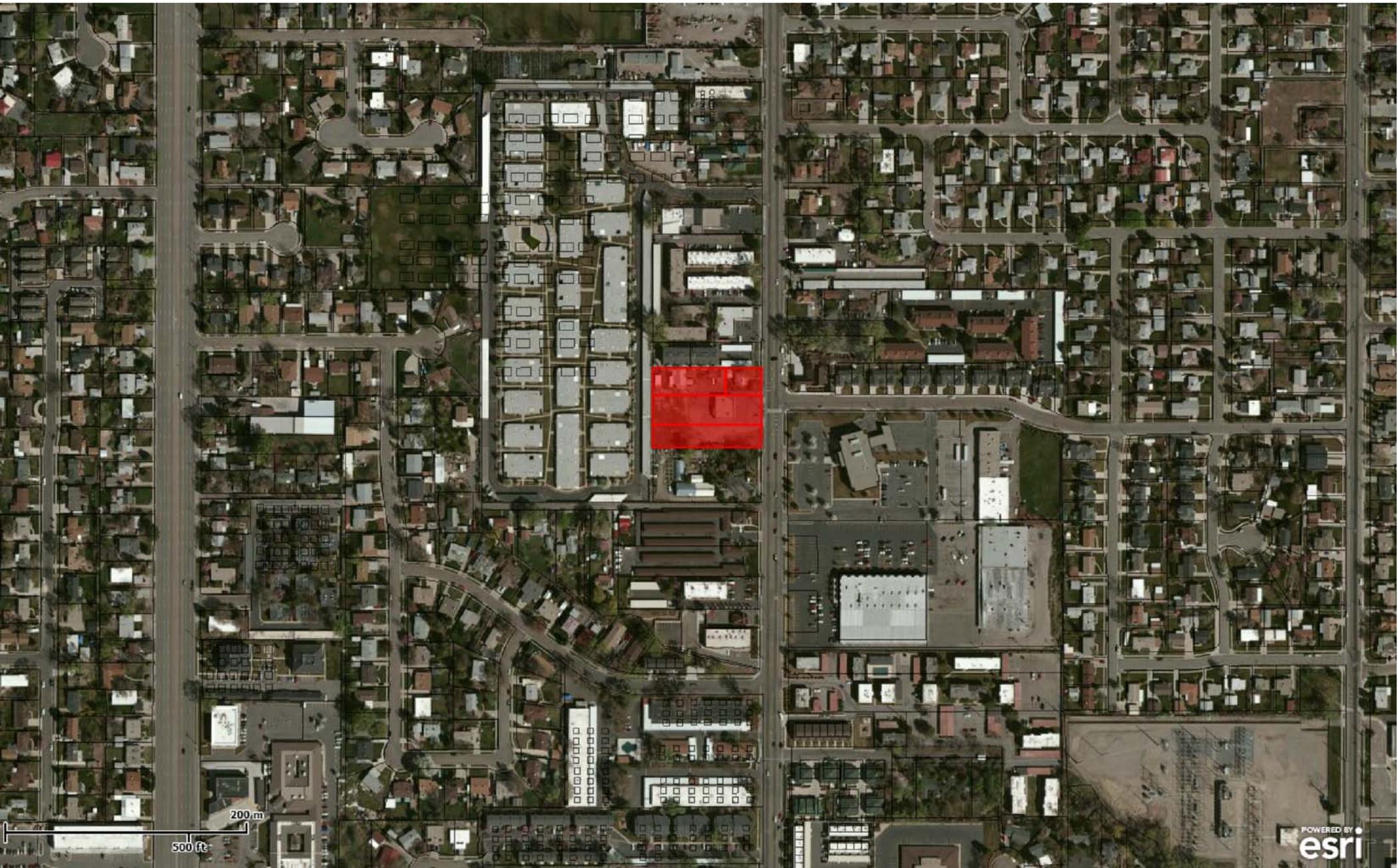


Tue Apr 16 2013 05:43:07 PM.

POWERED BY
esri

28372 Conditional Use/Site Plan -Aerial

Apartments 36+ Units - Tsagaris



200 m
500 ft

POWERED BY
esri

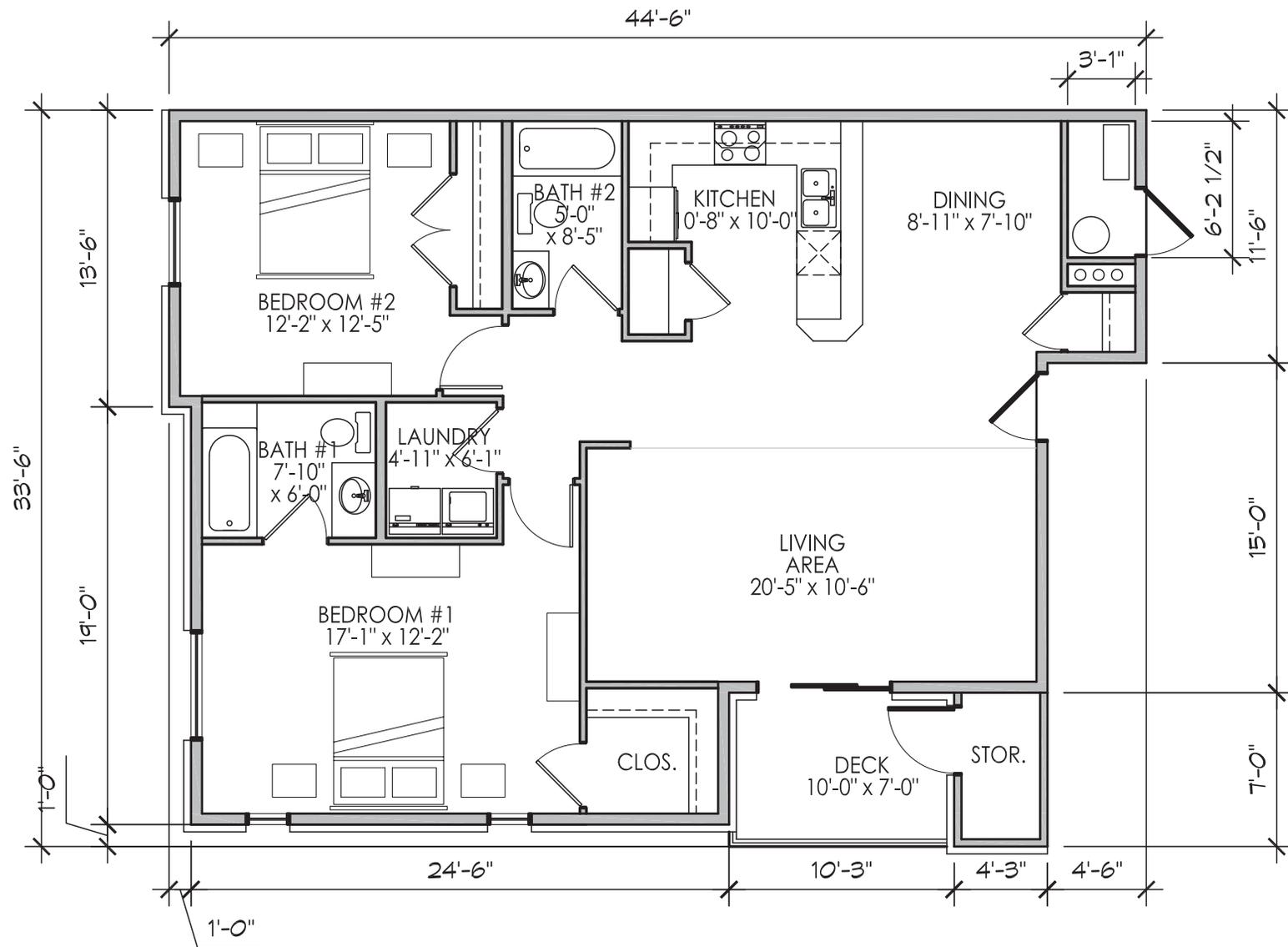
Tue Apr 16 2013 05:39:40 PM.

28372 Conditional Use/Site Plan -Aerial

Apartments 36+ Units - Tsagaris



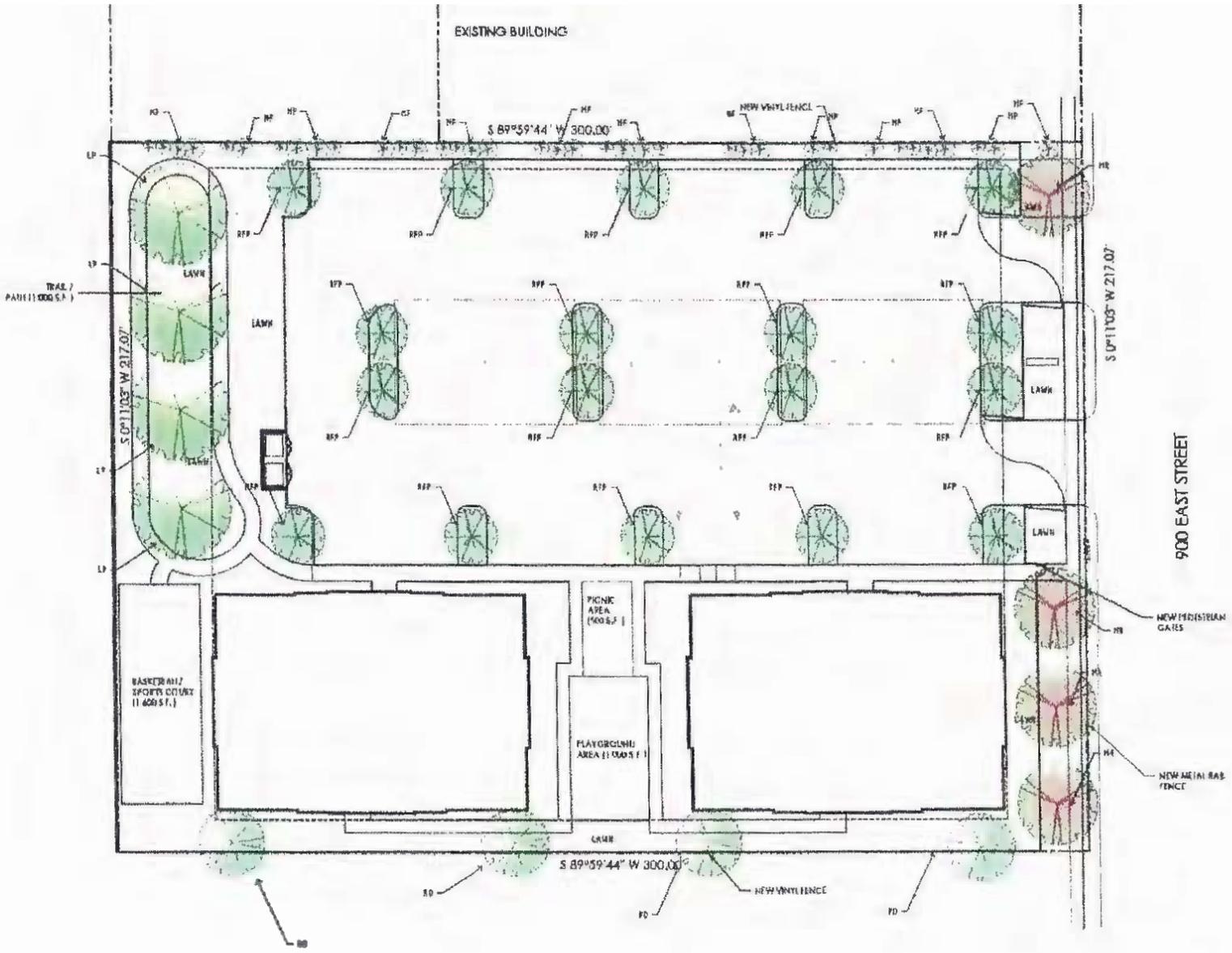
Tue Apr 16 2013 05:41:32 PM.



A ENLARGED UNIT FLOOR PLAN

SCALE: 1/4" = 1'-0"

1,282 S.F.



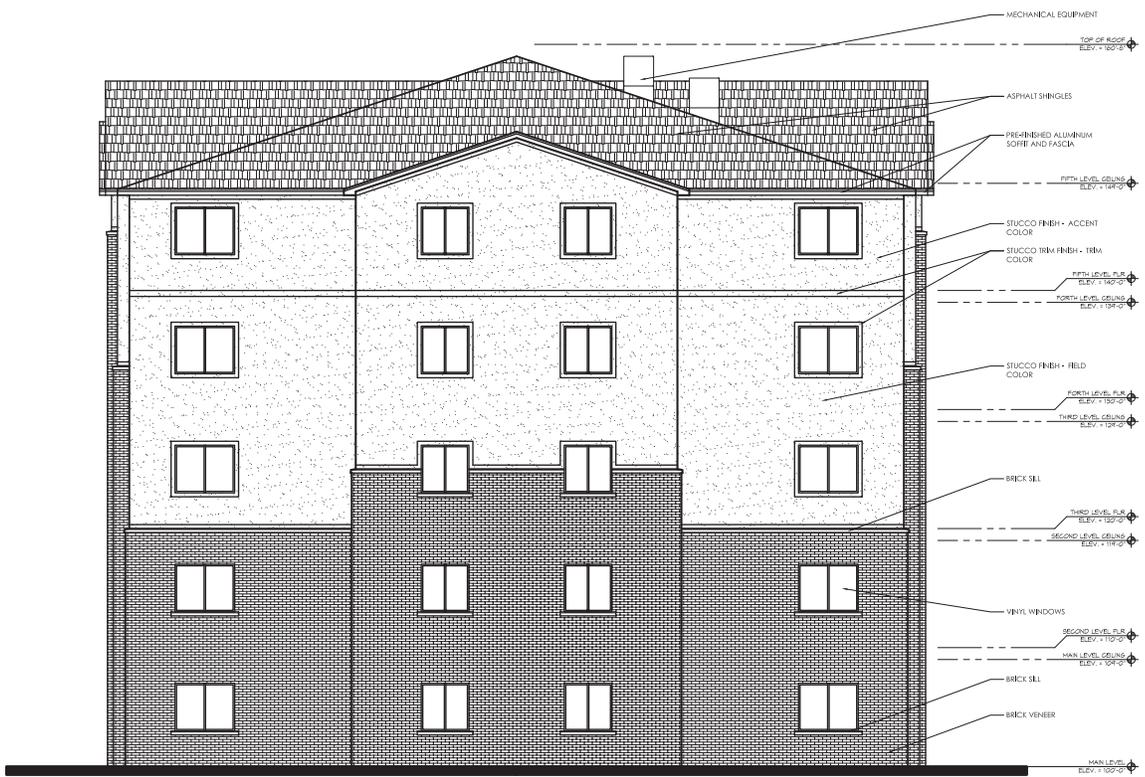
TREES & SHRUBS					
SYM	KEY	BOTANICAL NAME	QTY	SIZE	
	LP	LAWN PLANT (S-YEACHOME) <i>Paspalum leucostachyus</i>	6	10"	
	MP	MAPLE, ATRO CAROLINA <i>Acer glabrum 'atropurpureum'</i>	35	10"	
	MR	MAPLE, OCTOBER GLORY <i>Acer rubrum 'October Glory'</i>	6	10"	
	RB	REDBUD, EASTERN <i>Cercis canadensis</i>	4	10"	
	RP	REDBUD, FOREST PANSY <i>Cercis canadensis 'Forest Pansy'</i>	15	10"	

L LANDSCAPE SITE PLAN
SCALE 1" = 20'-0"





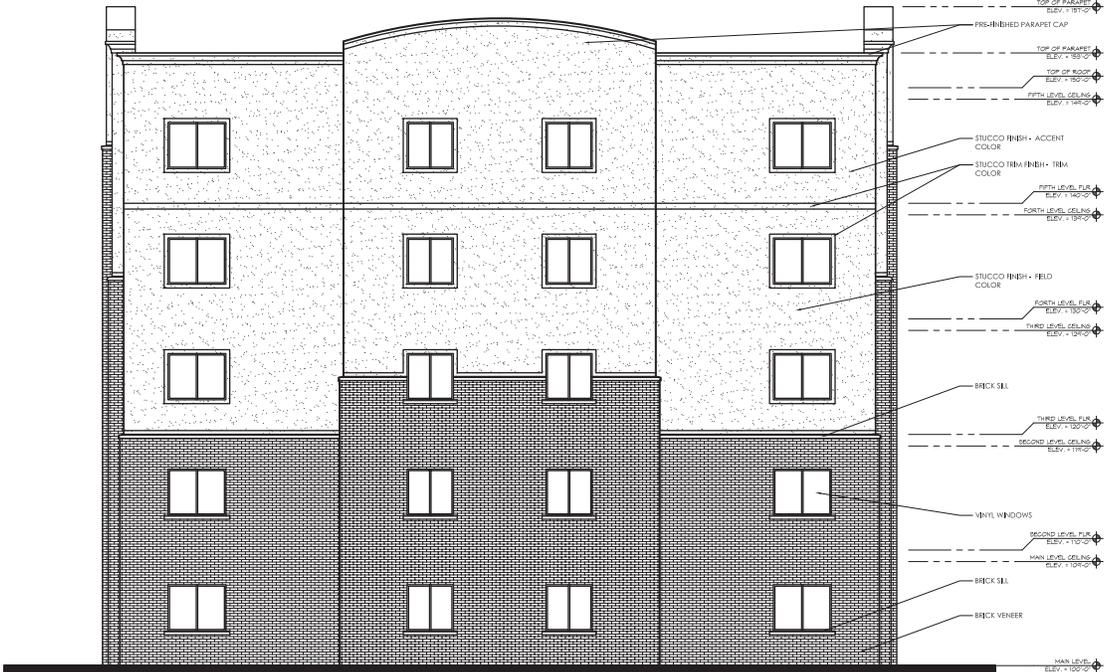
A FRONT ELEVATION
SCALE: 1/8" = 1'-0"



B RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



A FRONT ELEVATION
SCALE: 1/8" = 1'-0"

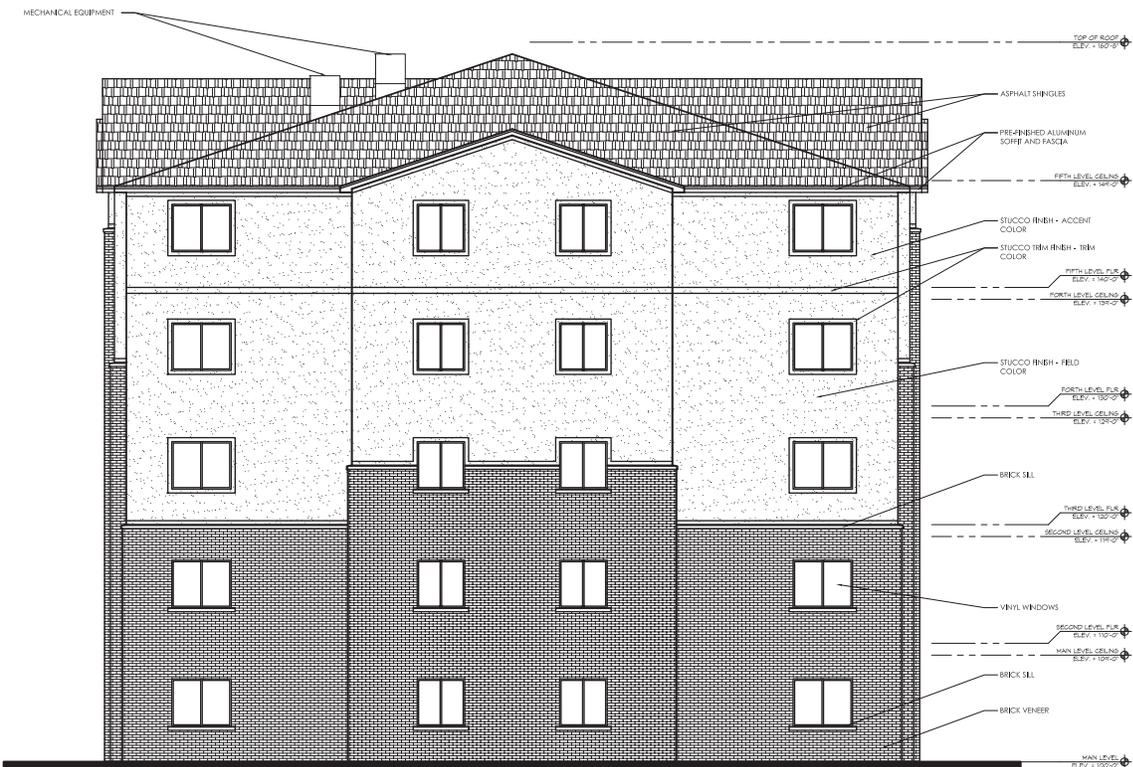


B RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



A REAR ELEVATION

SCALE: 1/8" = 1'-0"



B LEFT SIDE ELEVATION

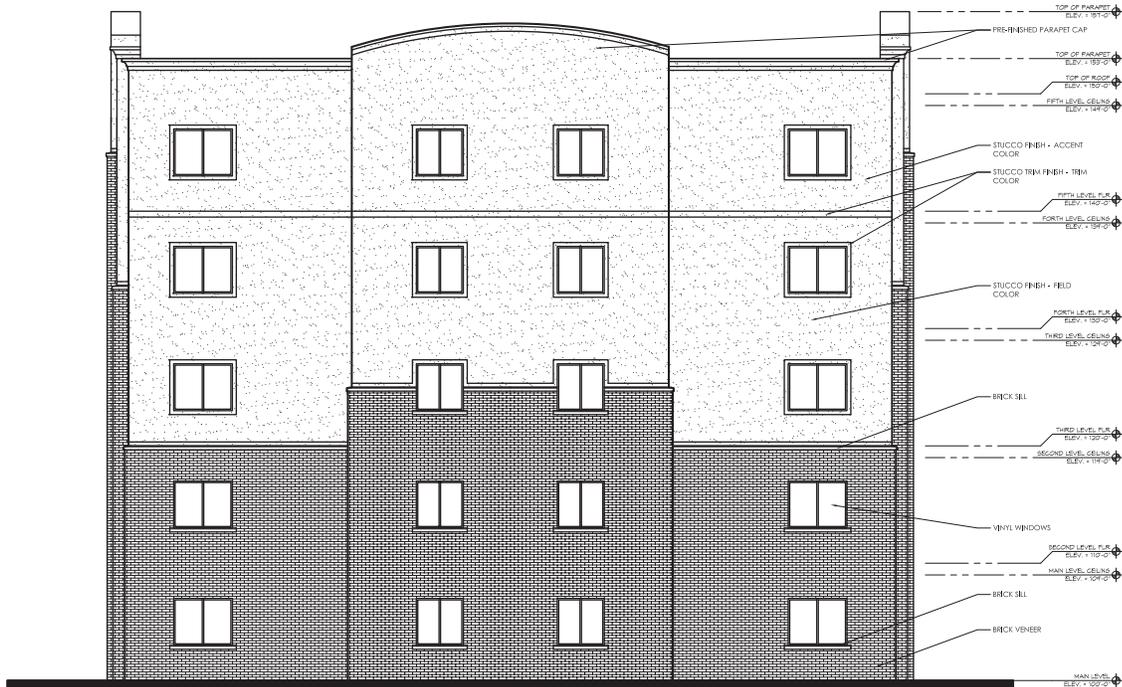
SCALE: 1/8" = 1'-0"



A

REAR ELEVATION

SCALE: 1/8" = 1'-0"



B

LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

MULTI-FAMILY HOUSING

3664 South 900 East - Salt Lake City, UT 84106



Southwest Elevation

MULTI-FAMILY HOUSING

3664 South 900 East - Salt Lake City, UT 84106



Northwest Elevation

MULTI-FAMILY HOUSING

3664 South 900 East - Salt Lake City, UT 84106



Southeast Elevation

MULTI-FAMILY HOUSING

3664 South 900 East - Salt Lake City, UT 84106



Northeast Elevation



MULTI-FAMILY HOUSING

3664 South 900 East
Salt Lake City, UT 84106

MULTI-FAMILY HOUSING

3664 South 900 East
Salt Lake City, UT 84106



TRAIL PATH
WALK PATHWAY



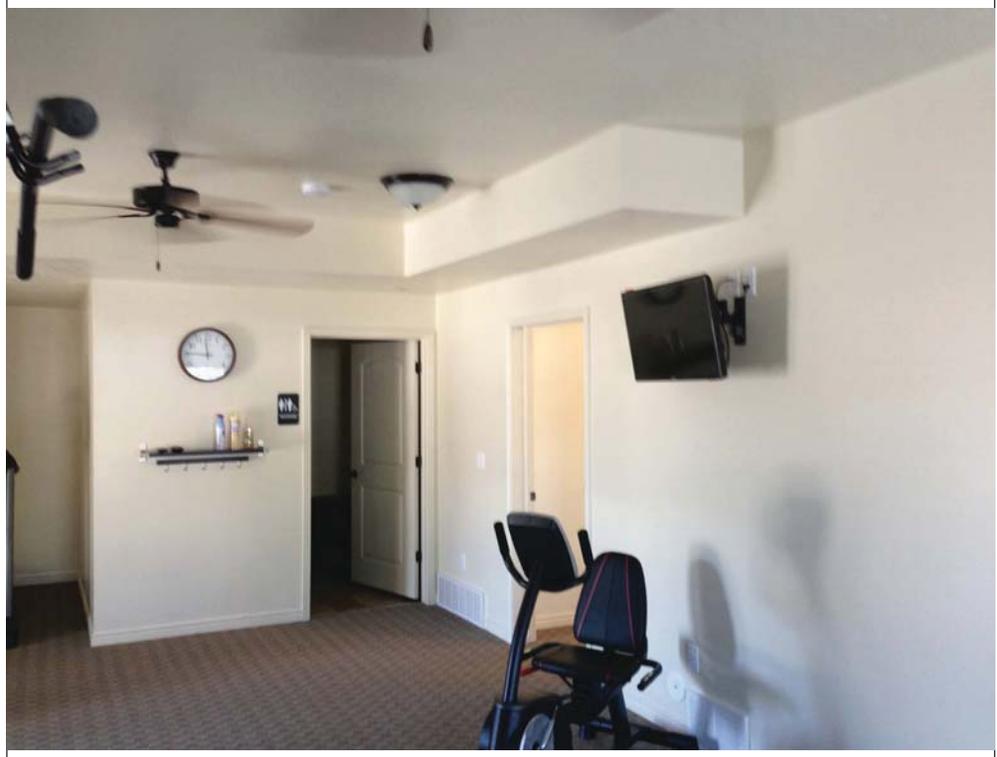


















STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	3	5	2	
Applicant Name:	Jason and Rachel Witzel	Request:	Conditional Use						
Description:	Convert an existing two-family dwelling into a three-family dwelling								
Location:	729 E. 2910 S.								
Zone:	R-4-8.5 Residential Four-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Approval with Conditions								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1 Proposal

The applicant is requesting approval of a Conditional Use Permit to convert and existing two-family dwelling to a three-family dwelling by adding an additional dwelling unit in the basement of the building. The site is already improved with 12 proposed parking spaces for the new unit. There is no anticipated additional site improvements necessary for the proposal. Only internal work to the building is anticipated.

1.1.2 Pending Zone Change Application

The subject property is currently zoned R-1-6; however, the applicant is in the final stages of the process of seeking a zone change from the R-1-6 zone to the R-4-8.5 zone. The R-4-8.5 zone is the least intense zone that allows a three-family dwelling which is a Conditional Use in the zone.

The applicant's Zone Change application has received positive recommendations from Staff, the Millcreek Community Council and the Millcreek Township Planning Commission. It must receive final approval from the County Council to take affect. Since the Zone Change application has received positive recommendations thus far, staff is able to accept and process this Conditional Use application under the pending zone. However, since the Zone Change will not be finalized by the Commission meeting date for this application, approval of this application would be subject to County Council approval of the Zone Change. If the Zone Change is not approved, approval of this Conditional Use will be moot. The applicant is aware that regardless of the Zone Change outcome, the Conditional Use application fees are nonrefundable.

1.2 Hearing Body Action

This application is on the Commission's agenda for final action.

1.3 Neighborhood Response

As of this writing staff has received one phone call regarding this application. The individual calling wanted clarification on the application process. He had received previous notifications regarding the subject property and was unsure why he was being notified again. Staff explained that previous notices were for the Zone Change application and the latest notice is for this Conditional Use application.

1.4 Community Council Response

The Community Council, when reviewing the proposed zone change, included in their recommendation of approval for the Zone Change, a recommendation to approve the whole proposal subject to the project complying with all applicable requirements.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		There are no proposed site improvements associated with this proposal. The building already exists, has an approved basement entrance and the site has four parking spaces for each dwelling unit (12 spaces total).
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		The existing site plan complies with all applicable laws, including drainage, fire, etc.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Very little additional traffic is anticipated with the proposed change in use. No additional traffic impact is anticipated and no additional improvements related to traffic are required.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		The basement finish into an additional unit must comply with all building and fire code requirements as part of the required building permit review process. No changes to the site are required.

YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard 'E':</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i>
		There are no changes planned to the existing building exterior or to the site; therefore, the impacts will essentially be the same as what they are currently. No complaints regarding the existing building or use have been received.

2.2 Zoning Requirements

19.40.040 Lot Area

Minimum Required: 7,500 sq. ft. (6,500 sq. ft. per 2-family dwelling + 1,000 sq. ft. per additional dwelling)

Existing Property: 12,632 square feet

The proposal complies, it exceeds the minimum lot area requirement.

19.40.100 Density

Maximum Allowed: 15 dwelling units per acre

Proposed: 10.34 (3 dwelling units /0.29 10.34)

The proposal complies, it is less than the maximum density allowed.

19.80.040.A.9 Parking for Multiple Dwellings

Required: 6 spaces + guest spaces if private covered parking used (guest spaces set by Commission)

Proposed: 12 spaces (4 in the two garages and up to 8 spaces in paved parking area, see site plan)

Staff supports the proposed parking arrangement. With a total of 4 parking spaces provided for each dwelling unit, there should be more than enough parking for the development.

2.3 Other Agency Recommendations or Requirements

2.3.1 Building

The applicants will need to obtain a building permit for the basement finish. The entire building may require some upgrades per international building and fire codes, including the potential for fire sprinkling the building. The applicant has discussed these issues with the County Plans Examiner and feasible solutions are possible.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Prior to issuance of the final Conditional Use Permit or a building permit, the pending Zone Change application associated with this project shall be approved by the County Council.

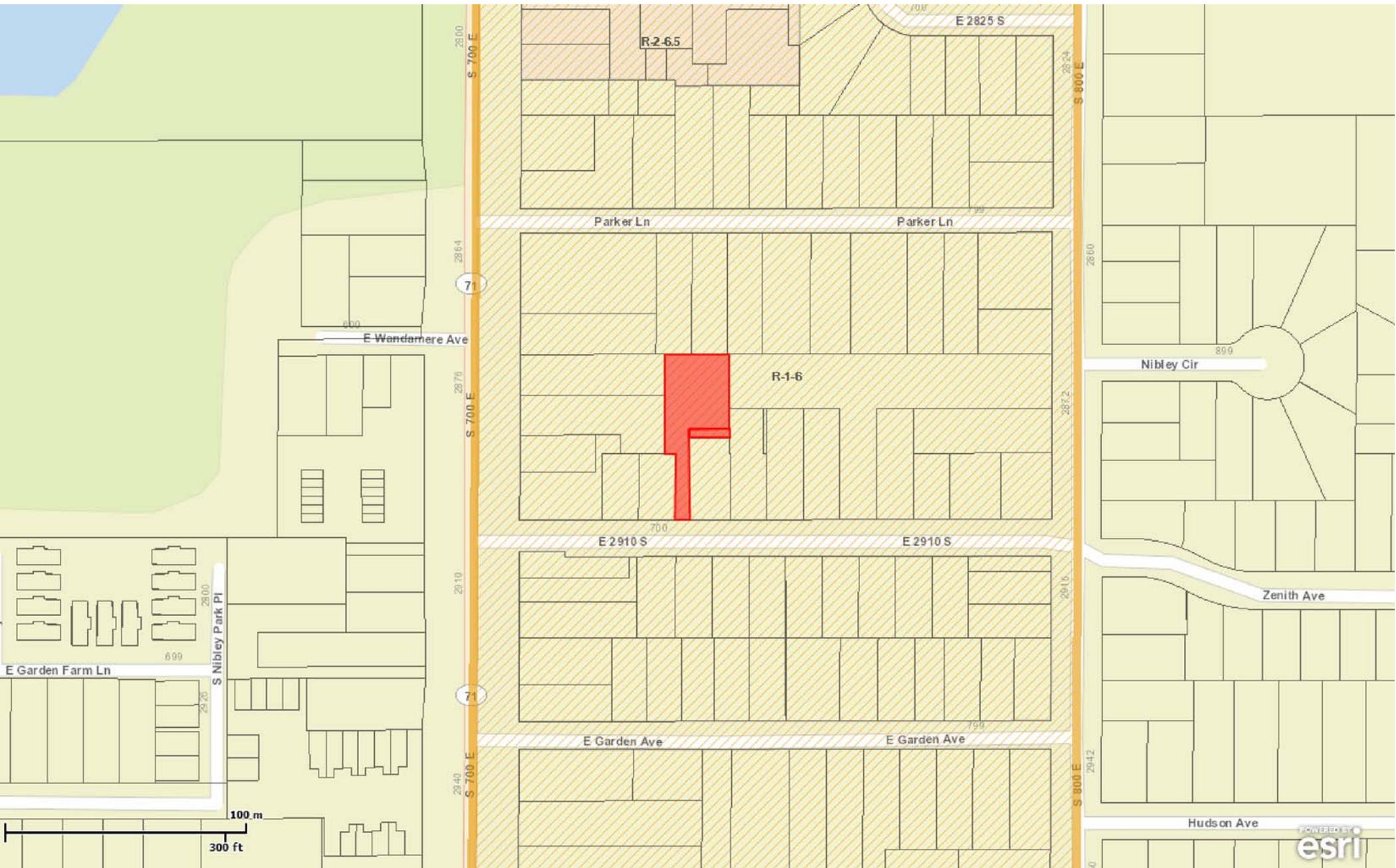
3.2 Reasons for Recommendation

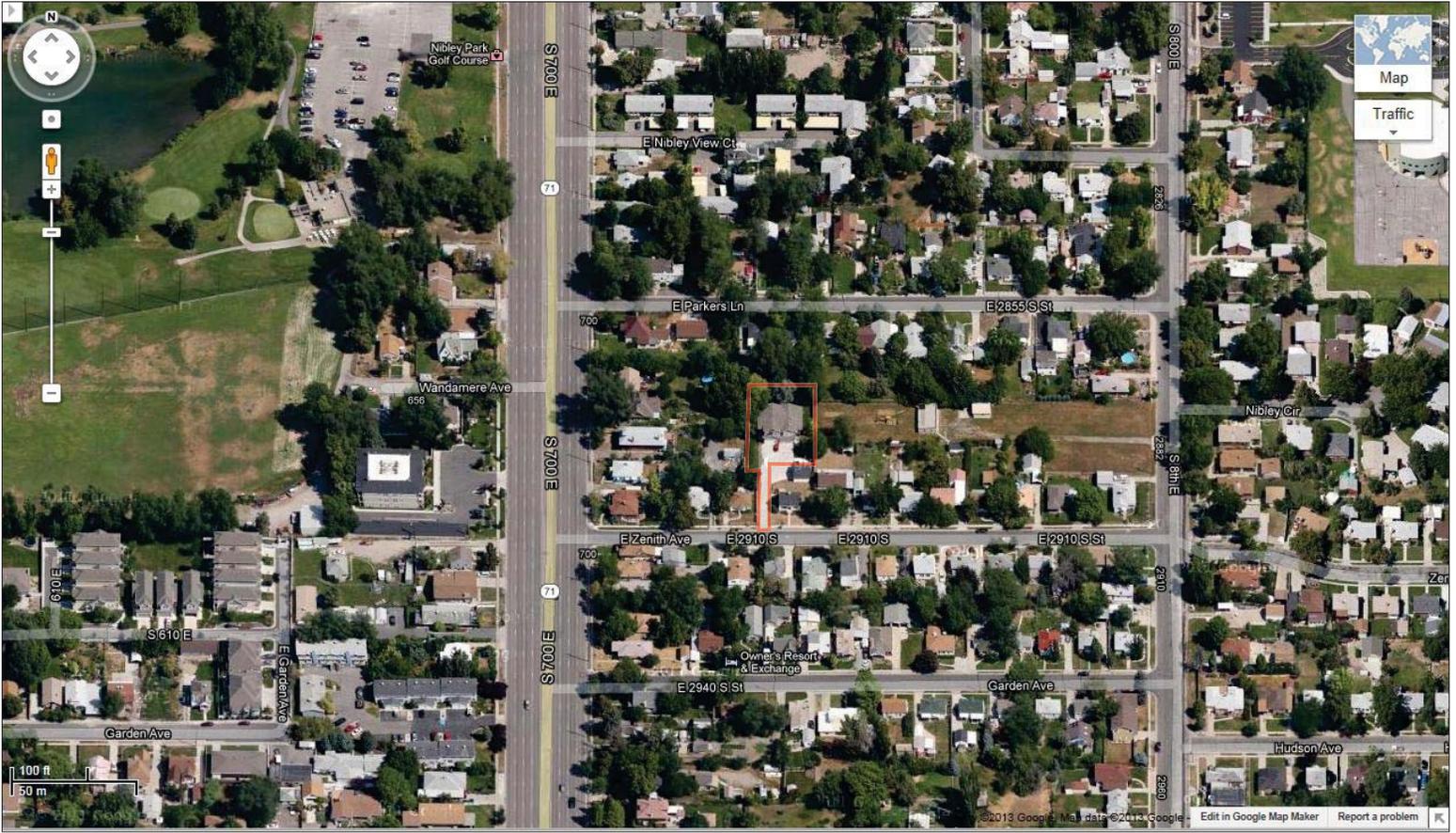
- 1) If the pending Zone Change application is approved, the proposed three-family dwelling will comply with zoning regulations and the Conditional Use Criteria as identified in this report.
- 2) There are no propose changes to the project site or exterior of the building that would increase impacts to surrounding residents.

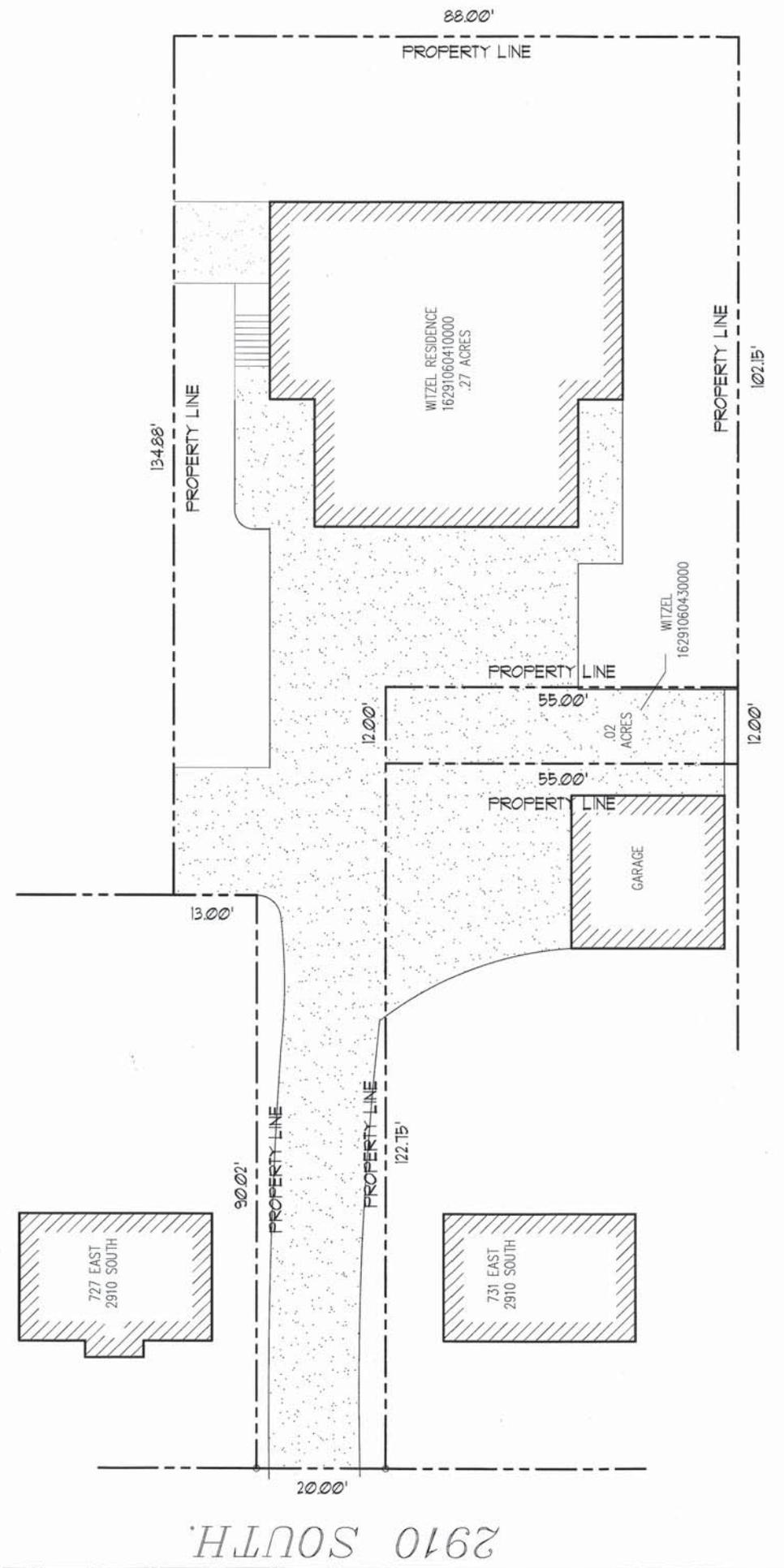
This Page Intentionally Left Blank

28338 Rezone R-1-6 to R-6.5

Applicant: Witzel



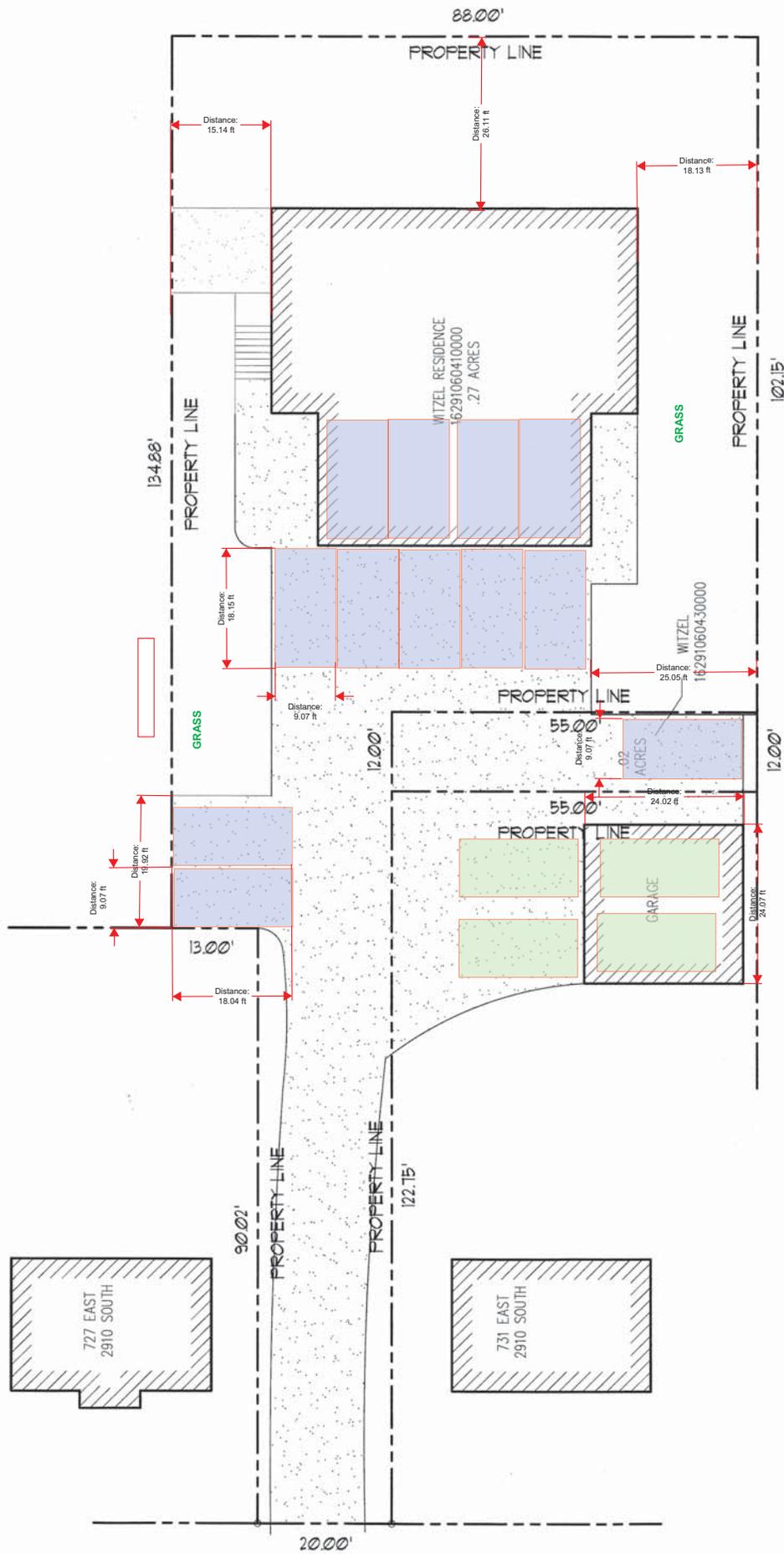




Site Plan

Scale: 1"=10'-0"





Site Plan

Scale: 1" = 10'-0"



2910 SOUTH

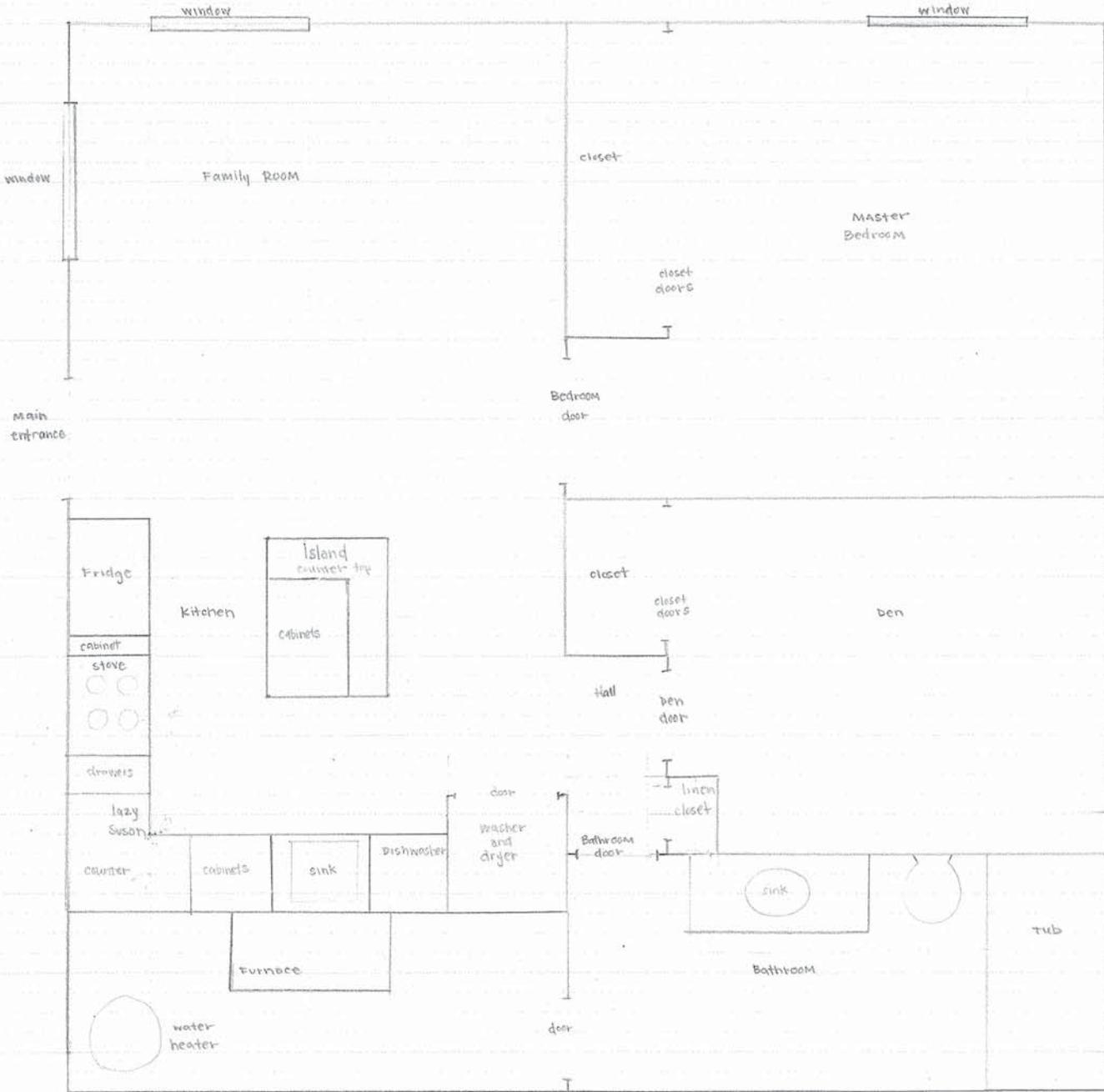
Witzel
729 E. 2nd St.
SLC, UT 84106
205-585-1301

PROPOSED WEST UNIT BASEMENT

2 squares = 1 foot

702 square feet

27 x 26 feet



This Page Intentionally Left Blank







This Page
Intentionally Blank



MEETING MINUTE SUMMARY
MILLCREEK TOWNSHIP PLANNING COMMISSION MEETING
 Salt Lake County Government Center, N1100

Wednesday, April 10, 2013 4:00 p.m.

Approximate meeting length: 2 hours 40 minutes

Number of public in attendance: 15

Summary Prepared by: Jocelyn Walsh-Magoni

Meeting Conducted by: Commissioner John Janson (Chair)

ATTENDANCE

Commissioners and Staff:

Commissioner Name	Present		Absent
	Public	Business	
John Janson – Chair	x	x	
Leslie Van Frank	x	x	
Garrett Catten	x	x	
Leslie Riddle - Vice Chair			x
Tom Stephens			x
Geralyn Parker-Perkins			x
Cole Shutjer (Alternate)	x	x	
Brandon Pace (Alternate)			x

Planning Staff:	Public Hearing	Business Meeting	Additional Attendees	Public Hearing	Business Meeting
Spencer Sanders	x	x	Chris Preston (DA)	x	x
Jocelyn Walsh-Magoni	x	x			
Max Johnson	x	x			

PUBLIC MEETING

Began at 4:05 p.m.

Zone Changes

27973 – Larry and Tara Lemmon are requesting approval of a Zone Change from the R-2-6.5 zone (Residential Two-Family, 6,500 sq. ft. min. lot size) to the RM zone (Residential Multi-Family and Office). This request is being made in order for the applicant to develop the property as a multi-family project. **Location:** 1451 E. 3900 S. & 3873 S. Lemmon Ln. (1445 E.) **Community Council:** Millcreek **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders. A conceptual plan was presented, but has not been approved in accordance with regulations; it is meant as a visual of what could potentially be developed. **Recommendations:** See Staff Report

There was a discussion between planning staff and the commission clarifying some questions about the site plan.

Speaker # 1: Applicant

Name: Tara Lemmon

Address: 1451 E 3400 S

Comments: She would like to improve the area; the rear home is condemned and the front home is currently for sale but is in bad condition. She will proceed with developing the property as multifamily if they do not get a buyer for the front home.

There were no representatives from the Millcreek Community Council present. Per Spencer Sanders who was present at the Community Council's last meeting, the council voted in favor of the application.

Speaker # 2: Citizen

Name: Neil Lemmon

Address: 3857 S Lemmon Lane

Comments: Against the rezoning because he is concerned with how the property will be developed and whether it will be a large structure. His family has lived adjacent to the applicant's property since the 1940's, and he prefers to keep the property in the family or see it developed as a single family home.

Speaker # 3: Citizen

Name: Vicki Rowland

Address: 6232 Longview Dr., Murray

Comments: She had a question about exactly what the rezoning would include. She requested to see how the property is divided and what land is owned by the applicant.

Speaker # 4: Citizen

Name: Richard Zakotnic

Address: 3809 Loretta Drive, Salt Lake City

Comments: He is opposed to the request. His property line abuts the applicant's property. He believes there may be issues with additional people exiting the property if it is developed as multi-family or business.

Speaker # 5: Applicant

Name: Tara Lemmon

Address: 1451 E 3400 S

Comments: Her desire was to keep the property in the Lemmon family and she has tried to sell it to family members, to no avail. She has two mortgages on the property and would like to move forward with development. She would like to get the property rezoned so it can be marketed appropriately.

PUBLIC PORTION OF APPLICATION CLOSED

There was a discussion between planning staff and the commission.

Motion: To recommend approval to County Council that they approve the RM zone on the majority of the lot and consider whether they can separate the "stem" part of the parcel from the zoning. If not, approval is recommended for the entire parcel.

Motion by: Commissioner Van Frank

2nd by: Commissioner Schutjer

Vote: Unanimous (of commissioners present)

28328 – Colin Strasser is requesting approval of a Zone Change from the R-1-8 Zone (Residential Single-Family 8,000 sq. ft. min. lot size) to the R-1-6 zone (Residential Single-Family 6,000 sq. ft. min. lot size). This request is being made in order for the applicant to develop a 4 lot subdivision on a private lane. **Location:** 3176 S. 2300 E. **Community Council:** Canyon Rim-**Planner:** Spencer G. Sanders.

Presentation by: Spencer Sanders. **Recommendations:** See Staff Report

There was a discussion between planning staff and the commission

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Colin Strasser

Address: 1458 E Laird Ave., Salt Lake City

Comments: He provided a PowerPoint presentation for the commission. The houses will not be larger than approximately 3000 square feet, not mansions.

There were no representatives from the Millcreek Community Council present. Per Spencer Sanders, they recommend approval. However, if the neighbors want to meet with the Community Council to discuss it further, they should have that opportunity.

Speaker # 2: Citizen

Name: Michael Heath

Address: 3174 S 2300 E

Comments: Lives next door to the property in question and is in favor of the application. He likes the fact that the homes the applicant plans to build will not be mansions, but rather, smaller single-family homes that fit into the community.

Speaker # 3: Citizen

Name: Michelle Healy

Address: 2238 E 3205 S

Comments: She is in favor of the application and prefers that the home size stays compatible with the other homes in the community. She wants to ensure that the proposed irrigation line in the middle of the property be properly maintained.

There was a discussion between planning staff and the commission

PUBLIC PORTION OF APPLICATION CLOSED

Motion: To recommend approval of application # 28328 to the County Council with the conditions listed in the Staff Report.

Motion by: Commissioner Schutjer

2nd by: Commissioner Van Frank

Vote: Unanimous in favor (of commissioners present)

28338 – Jason & Rachel Witzel are requesting approval of a Zone Change from the R-1-6 zone (Residential Single-family, 6,000 sq. ft. min. lot size) to the R-4-8.5 zone (Residential Four-family, 8,500 sq. ft. min. lot size). This request is being made in order for the applicant to add an additional basement apartment to an existing duplex. **Location:** 729 E. 2910 S. **Community Council:** Millcreek **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders **Recommendations:** See Staff Report

There was a brief discussion between staff and the commission.

PUBLIC PORTION OF APPLICATION OPENED

There were no representatives from the Millcreek Community Council present. Per Spencer Sanders, they unanimously recommend approval.

Speaker # 1: Applicant

Name: Rachel Witzel

Address: 729 E 2910 S

Issue: She bought the property in 2011 as a foreclosure and has renovated it inside and out, and beautified the landscaping. She feels the proposed apartment will be a low-impact change. Her family lives in the adjoining home.

No additional members of the public were present.

PUBLIC PORTION OF APPLICATION CLOSED

There was a discussion between the commissioners and planning staff.

Motion: To continue application #28338 until the next planning commission meeting.

Motion by: Commissioner Schutjer

2nd by: Commissioner Catten

Vote: Unanimous in favor (of commissioners present)

PUBLIC MEETING CLOSED

BUSINESS MEETING – 6:30 pm

There was a discussion between the commissioners and planning staff with regard to the Bylaw updates.

Previous Meeting Minutes Review and Approval

1) February 13, 2013

Approval of the February meeting Minutes will be continued until the May meeting because Commissioner Van Frank was not present at the February meeting.

Business Items

- 2) Current Commission Members – Appointment Status
- 3) Letter to Mayor, Council & Township Executive – Requesting County consider Sign Ordinance Evaluation and Update.

Work Session - Continued until the next meeting

- 4) Curb, Gutter, and Sidewalk Project – Potential General Plan & Ordinance Amendments – Discussion Pertaining to Public Involvement Process – **Planners:** Spencer G. Sanders
 - a) Presentation/Survey Final Draft
 - b) Public Input Opportunities
 - c) Public Review Draft Schedule

MEETING ADJOURNED - 6:40 p.m.



MEETING MINUTE SUMMARY
MILLCREEK TOWNSHIP PLANNING COMMISSION MEETING
 Salt Lake County Government Center, N1100

Wednesday, May 15, 2013 4:00 p.m.

Approximate meeting length: 2 hours 40 minutes

Number of public in attendance: 15

Summary Prepared by: Jocelyn Walsh-Magoni

Meeting Conducted by: Commissioner Leslie Riddle (Vice-Chair)

***NOTE:** Staff Reports referenced in this document can be found on the State and County websites, or from Salt Lake County Planning & Development Services.

ATTENDANCE

Commissioners and Staff:

Commissioners	Public Mtg	Business Mtg	Absent	Planning Staff / DA	Public Mtg	Business Mtg
John Janson – Chair			x	Spencer Sanders	x	x
Leslie Van Frank			x	Jocelyn Walsh-Magoni	x	x
Garrett Catten	x	x		Jim Nakamura	x	
Leslie Riddle - Vice Chair	x	x		Max Johnson		x
Tom Stephens	x	x		Chris Preston (DA)	x	x
Geralyn Parker-Perkins	x	x				
Cole Shutjer (Alternate)			x			
Brandon Pace (Alternate)			x			

PUBLIC MEETING

Began at 4:05 p.m.

Zone Changes

28338 *This item is continued from the April 10th Meeting.* Jason & Rachel Witzel are requesting approval of a Zone Change from the R-1-6 zone (Residential Single-family, 6,000 square feet minimum lot size) to the R-4-8.5 zone (Residential Four-family, 8,500 square feet minimum lot size). This request is being made in order for the applicant to add an additional basement apartment to an existing duplex. **Location:** 729 East 2910 South. **Community Council:** Millcreek **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders **Recommendations:** Approval- See Staff Report

There was a discussion between planning staff and the commission clarifying some questions about the site plan.

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Jason Witzel

Address: 729 E...

Comments: The home is located in a secluded area and he does not feel it would have much of an impact. **The additional income that a rental unit would provide would help the family**

Speaker # 2: Citizen

Name: Kevin Barlow

Address: 2875 S 700 E

Comments: In favor, it fits in with the general feel of the neighborhood. He doesn't feel the rental unit would detract from the neighborhood.

Speaker # 3: Citizen
Name: Nick Edwards
Address: 2895 S 700 E

Comments: In favor, doesn't feel it would be a problem to have additional people living in the home and there is adequate parking.

There were no representatives from the Millcreek Community Council present. Per Spencer Sanders who was present at the Community Council's last meeting, the council voted in favor of the application.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: To recommend approval of application # 28338 to the County Council, subject to the recommendation that the following conditional uses are prohibited: Boarding house; Short term rental; Bed and breakfast inn; and Bed and breakfast homestay.

Motion by: Commissioner Stephens

2nd by: Commissioner Catten

Vote: Unanimous (of commissioners present)

Conditional Uses

28327 Robert C. Miller is requesting Conditional Use approval for a concrete recycling operation, including the use of a rock crusher, in an M-2 zone. This request was originally approved in 1998 for 5 years as an interim use, and was later renewed (in 2003) for another 5 years. The applicant is now asking for approval to continue operation. **Location:** 4186 South Main Street. **Zone:** M-2. **Community Council:** Millcreek. **Planner:** Curtis Woodward

Recommendations: See Staff Report

Per Spencer Sanders, the applicant is requesting a continuance until next month to allow their legal counsel more time to review the case; the commission agreed to continue the item.

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Attorney for Applicant

Name: Robert Paulson

Address:

Comments: Applicant is requesting additional time so Mr. Paulson can review the file.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: To continue application #28327 until the June 12, 2013 meeting.

Motion by: Commissioner Stephens

2nd by: Commissioner Perkins

Vote: Unanimous (of commissioners present)

28344 Jennifer Pulley is requesting a Conditional Use approval for a Home Daycare/preschool with 7-12 children. **Location:** 3626 South 2445 East. **Zone:** R-1-10 (Single-Family Residential, 10,000 square feet minimum lot size). **Community Council:** East Millcreek. **Planner:** Jim Nakamura

Presentation by: Jim Nakamura **Recommendations:** See Staff Report

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Jennifer Pulley

Address: 3626 South 2445 East

Comments: Applicant wants to have a preschool that will be open during morning/mid-afternoon hours. She has remodeled her home to accommodate the business on the upper level. There will be a pickup/drop-off system and either she or her assistant will be available during pickup and drop-off times to move the children in and out as soon as possible.

There were no representatives from the Millcreek Community Council present. Per Jim Nakamura who was present at the Community Council's last meeting, the council voted in favor of the application.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: To approve application #28344.

Motion by: Commissioner Catten

2nd by: Commissioner Perkins

Vote: Unanimous (of commissioners present)

28351 Adam Maher is requesting Conditional Use and Preliminary Plat approval for *Millcreek 9*, a 24-unit condominium development. **Location:** 3207, 3211 & 3225 South 900 East and 3212 South 945 East. **Zone:** R-M. **Community Council:** Millcreek. **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders. **Recommendations:** No recommendation is being made at this time. Exact details on all of the amenities have not been received. There are also questions about proposed landscaping.

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Adam Maher

Address: 3273 E Renado Drive

Comments: The applicant has visited properties throughout the country that also utilize shipping containers and his property will have a number of unique architectural elements.

The commissioners would like to see examples of other completed communities that have used shipping containers. They feel it is not appropriate to make a decision without a staff report, and would prefer to have additional commissioners present prior to deciding. However, they allowed the applicant to proceed with his presentation so they could obtain as much information as possible. There were questions about fencing materials and landscaping plans.

Speaker # 2: Citizen

Name: Mitch Moorley

Address: 3208 S 945 E, SLC

Comments: He has a neighboring property to the proposed development. He has concerns with the location of his meter, and where the proposed bocci court will be. He also has concerns about some existing trees on a lot with an existing home that he thought was going to be taken down as part of the proposed project. He would like to have removed so they do not cause further damage to his property.

Speaker # 3: Citizen

Name: John Ames

Address: 932 E Millcreek Way

Comments: He is in favor of the project and feels that it fits in well with the community.

Speaker # 4: Citizen

Name: Jim Cozmus

Address: Not provided

Comments: Owns coffee shop next door to the proposed property. He is in favor with the property as it would potentially attract young professionals. He also feels the project is environmentally friendly.

Speaker # 5: Millcreek Community Council representative

Name: Sylvia Navejar

Address: 1026 Hillview Dr.

Comments: The council is in full support of the project. However, there were no residents at their meeting so they would like to take the public's views into consideration.

Speaker # 6: Applicant

Name: Adam Maher

Address: 3273 E Renado Drive

Comments: Mr. Maher very briefly responded to some of the comments made by other speakers.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: That the application be continued to the June 12, 2013 meeting

Motion by: Commissioner Stephens

2nd by: Commissioner Catten

Vote: Unanimous (of commissioners present)

Subdivision

28357 Ty Vranes is requesting Preliminary Plat approval for The Bungalows on 1100 East, a three-lot subdivision.

Location: 3589 & 3605 South 1100 East. **Zone:** R-1-8 **Community Council:** Not Subject to Community Council Review. **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders **Recommendations:** Preliminary Approval - See Staff Report

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Ty Vranes

Address: 13708 Buckeye View Way

Comments: There will be three lots within the current zoning. There are two existing homes within the site now that would be demolished.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: **28357 approve the preliminary plat as recommended by staff.**

Motion by: Commissioner Stephens

2nd by: Commissioner Perkins

Vote: Unanimous (of commissioners present)

PUD Subdivision - *Please note that the following item 28368 has been Postponed*****

At the request of the applicant, the Millcreek Township Planning Commission's consideration of application **28368** has been postponed from this meeting to **June 12, 2012, at 4:00 pm.**

28368 Steve Davies is requesting Conditional Use and Preliminary Plat approval for Creekside at Honeycutt PUD, an 8-lot, single-family PUD Subdivision. **Location:** 3548 South Honeycutt Road (1850-1860 East). **Zone:** R-1-10. **Community Council:** East Mill Creek. **Planner:** Spencer G. Sanders

Motion: To continue application # 28357 to the June 12, 2013 meeting.

Motion by: Commissioner Catten

2nd by: Commissioner Stephens

Vote: Unanimous (of commissioners present)

PUBLIC MEETING CLOSED

BUSINESS MEETING –5:50 p.m.

Previous Meeting Minutes Review and Approval

1) February 13, 2013

Motion: To approve the February 13, 2013 Minutes as presented.

Motion by: Commissioner Stephens

2nd by: Commissioner Perkins

Vote: Unanimous (of commissioners present)

2) April 10, 2013

Motion: To continue a decision until the next meeting.

Motion by: Commissioner Stephens

2nd by: Commissioner Catten

Vote: Unanimous (of commissioners present)

Other Business Items

3) **Curb, Gutter, and Sidewalk Project** – Potential General Plan & Ordinance Amendments

An approximate 15 minute discussion amongst the Planning Commission Members and Staff pertaining to the Commission's vision for final outcomes, products, and/or results of the project. – **Planners:** Spencer G. Sanders.

Planning staff is seeking insight as to what the commissioners would like to see as the end product; what do they envision with regard to curb, gutter and sidewalk throughout the community? Planning staff is considering whether it is necessary to hire an outside consultant to continue the project so it stays on track. Staff is putting together an Open House presentation to provide to the public and there will be survey questions so staff can get a sense of what the public wants. The Mayor's office is working on an active transportation fund and their focus is on improving active transportation (bicyclers, walkers, etc.). Staff is also focusing on how to deal with the issue of acquiring right-of-way and the improvements, differently from what they do now on a case-by-case basis for individual homes. That format is not working well because some homes complete curb, gutter, and sidewalk, while it could be years until neighboring homes do. Staff wants to know how they should ensure where and when the community would get curb, gutter, and sidewalk in the areas they want to see it.

Commissioner Riddle mentioned possibly surveying the public at community events and not just at Open Houses. There is also the option of surveying with online resources. The commission discussed current issues in the community with regard to some citizens wanting sidewalks and others who do not. There needs to be a way to find out how to proceed with the fractured thinking that exists in this regard. The commissioners would like to have a consultant move forward on this project and provided some thoughts as to what they would like the consultant to consider.

MEETING ADJOURNED - 6:40 p.m.

This Page Intentionally Left Blank



MEETING MINUTE SUMMARY
MILLCREEK TOWNSHIP PLANNING COMMISSION MEETING
 Salt Lake County Government Center, N1100

Wednesday, June 12, 2013 4:00 p.m.

Approximate meeting length:
Number of public in attendance:
Summary Prepared by: Jocelyn Walsh-Magoni
Meeting Conducted by: Commissioner

***NOTE:** Staff Reports referenced in this document can be found on the State and County websites, or from Salt Lake County Planning & Development Services.

ATTENDANCE

Commissioners and Staff:

Commissioners	Public Mtg	Business Mtg	Absent	Planning Staff / DA	Public Mtg	Business Mtg
John Janson – Chair	x	x		Spencer Sanders	x	x
Leslie Van Frank	x	x		Jocelyn Walsh-Magoni	x	x
Garrett Catten			x	Wendy Gurr	x	x
Leslie Riddle - Vice Chair	x	x		Max Johnson	x	x
Tom Stephens	x	x		Chris Preston (DA)	x	x
Geralyn Parker-Perkins	x	x				
Cole Shutjer (Alternate)			x			
Brandon Pace (Alternate)			x			
NEW COMMISSIONER Ann Ober	x					

PUBLIC MEETING

Began at 4:10 p.m.

Conditional Uses

28327 Continued from May 12, 2013. Robert C. Miller is requesting Conditional Use approval for a concrete recycling operation, including the use of a rock crusher, in an M-2 zone. This request was originally approved in 1998 for 5 years as an interim use, and was later renewed (in 2003) for another 5 years. The applicant is now asking for approval to continue operation. **Location:** 4186 South Main Street. **Zone:** M-2. **Community Council:** Millcreek. **Planner:** Curtis Woodward

The applicant has withdrawn their request so the item was not heard.

28351 Continued from May 12, 2013. Adam Maher is requesting Conditional Use and Preliminary Plat approval for *Millcreek 9*, a 24-unit PUD condominium development. **Location:** 3207, 3211 & 3225 South 900 East and 3212 South 945 East. **Zone:** R-M. **Community Council:** Millcreek. **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders **Recommendation:** Approval - see Staff Report

Spencer clarified some questions from the commissioners with regard to building height, landscaping, building code requirements, setback requirements, and the exterior look of the containers.

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Adam Maher

Address: 3273 E Bernada Dr.

Comments: He has worked with staff to increase the open space percentage as requested by the commission. The open space does include the rooftop gardens. The gardens would most likely be limited to the tenants, but it may be difficult to regulate that. He is not aware of any other similar projects that have received approval in Utah.

There were no representatives from the Millcreek Community Council present. Per Spencer Sanders who was present at the Community Council's last meeting, the council had not received any concerns since their last meeting.

Speaker # 2: Member of the East Millcreek Community Council

Name: Blake Keithly

Address: 3682 S 2975 E., East Millcreek

Comments: He has seen similar properties overseas and believes the containers offer affordable housing and that they are very sturdy.

There was a discussion between the commissioners and planning staff.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: To approve application #28351 with the following conditions, with respect to those listed in the Staff Report:

Condition #1: adopt as written.

Condition #2: the landscape setbacks adjacent to the Eastern building shall be increased on the North side to 10 feet, and an increase of 5 feet on the South side.

Condition #3: adopt as written.

Condition #4: the applicant shall provide a phasing plan to the planning commission for approval.

Condition #5: the setback of the East building from the North property line shall be increased by 5 feet.

Condition #6: the windows on the West side of the building on 900 E shall be a minimum of 50% windows.

Condition #7: the containers shall be refurbished so there are no dents or rust present upon completion.

Motion by: Commissioner Van Frank

2nd by: Commissioner Stephens

Vote: Unanimous (of commissioners present)

28465 Breck Fullmer is requesting Conditional Use and Site Plan approval for a Gymnastics Studio.

Location: 1462, 1464, 1470 & 1522 East 3300 South. **Zone:** C-2 **Community Council:** East Mill Creek. **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders **Recommendation:** Approval - see Staff Report

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Breck Fullmer

Address: 1855 E 3060 S

Comments: He would be more than doubling his parking and he planned to keep the "alley way" open for people to walk through since the neighboring residents had requested that. He feels there is ample parking that customers would be able to drop off.

Speaker # 2: Representative from East Millcreek Community Council

Name: LeeAnn Hanson

Address: 3507 Kirk Cir., Salt Lake City

Comments: The council is in favor of the application.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: Approve application #28465 with the recommendations listed in the staff report, with the condition that the planning commission notes for the record that the landscaped area shown on the plans, that is south of the southernmost parking spaces isn't required for the development and may be sold or transferred to an adjacent property owner.

Motion by: Commissioner Van Frank

2nd by: Commissioner Perkins

Vote: Unanimous (of commissioners present)

PUD Subdivision

28038 Nathan Anderson is requesting Preliminary Plat approval for Millcreek Townhomes PUD, a 14-Lot PUD Townhome Subdivision. The project received Conditional Use approval from the Planning Commission in February 2013, but the Preliminary Plat was not part of that original approval. **Location:** 1431 East 3900 South **Zone:** R-M. **Community Council:** Millcreek. **Planner:** Spencer G. Sanders

Per Spencer Sanders, the applicant has requested a continuance as he is currently out of town.

Motion: to continue application #28038 until the July 10, 2013 meeting.

Motion by: Commissioner Riddle

2nd by: Commissioner Stephens

Vote: Unanimous in favor (of commissioners present)

PUBLIC PORTION OF APPLICATION CLOSED

28368 Steve Davies is requesting Conditional Use and Preliminary Plat approval for Creekside at Honeycut PUD, an 8-lot, single-family PUD Subdivision. **Location:** 3548 South Honeycutt Road (1850-1860 East). **Zone:** R-1-10. **Community Council:** East Mill Creek. **Planner:** Spencer G. Sanders

Presentation by: Spencer Sanders **Recommendation:** See Staff Report

Staff is recommending a continuance of the application. The applicant has a revised plan for seven units instead of eight.

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Steve Davies

Address: 1920 S 180 W, Orem, UT

Comments: He provided a revised plan (hard copy) to the commission. He discussed the traffic impact report noting the decline in estimated traffic going down to seven units. Width between homes has been increased, and the four parking stalls will still be maintained. He plans to have no interference in the creek. Fencing will be six foot, see-through, with brick columns across Honeycutt. He is working with the other neighboring properties for acceptable fencing.

Speaker # 2: Benchmark Engineering

Name: Dale Bennett

Address: 9130 S State Street, Sandy, UT

Comments: Storm water will run down the gutter on the North side to be collected at an inlet box, where it will be treated and discharged into the creek.

Speaker #3: Home Builder

Name: Ed Axley

Address: 1947 S 50 W, Orem, UT

Comments: They would like to create a rolling curb system and paver systems from the road into the garage units. The center of the roads will be the only area with asphalt. Trash will be picked up from individual units, not via a dumpster on site.

Speaker #4: Representative from the East Millcreek Community Council

Name: LeeAnn Hanson

Address: 3507 Kirk Cir., Salt Lake City

Comments: They are unsure how to review an updated site plan with an opportunity for public comment. She feels the community council should have the opportunity to discuss the revised plan (from eight homes to seven) before the commission makes a decision.

Speaker # 5: Member of the East Millcreek Community Council

Name: Blake Keithly

Address: 3682 S 2175 E., East Millcreek

Comments: He discussed the vote that the council made at their last meeting. He stated that Ms. Hanson's comments were mainly personal opinion and not the views of the council. The development does meet density requirements so it should be considered a non-issue. He would like to see the application approved.

Speaker #6: Citizen

Name: Mike Dabble

Address: 3380 S 2130 E

Comments: He lives in the neighborhood and has considered purchasing one of the units within the proposed development. He feels he represents the community well.

Speaker #7: Citizen

Name: Homer Warner

Address: 1804 Millbrook Road

Comments: He lives on the adjacent property. He met with the developers and is pleased with what they have agreed to change. He is waiting on the details to solidify what was discussed.

Speaker #8: Citizen

Name: Karen Hevalingo

Address: 1809 E Millbrook Road

Comments: Lives near the Warner's (previous speaker). While she and her neighbors have met with the developers, she does not feel that all issues have been addressed, such as the impact on the creek. She recommends continuance.

Speaker #9: Citizen

Name: Chris Gamvroulas

Address: not given

Comments: He is neither for nor against the application. He met with the developers, builders and owners during a break from the commission meeting and they are willing to make compromises.

Speaker #10: Citizen

Name: Nick Mingo

Address: PO Box 522056

Comments: He reiterated recommendation for continuance. He would like to see an exception change to the flood plain.

Speaker #11: Citizen

Name: Richard Mingo

Address: 1809 E Millbrook Road

Comments: He is not satisfied. He has submitted written comments. He is not sure how the ¼ acre size lots are determined.

Speaker #12: Citizen

Name: Leslie Crandle

Address: 1844 Honeybrick Place

Comments: Lives to the South of the proposed development. She believes the home size is too large for the proposed lots. She feels the potential increase in traffic would be too high. Concerned about setback reports and how they can be addressed.

Speaker #13: Citizen

Name: Jeff Quinn

Address: 1839 Honeybrick Place

Comments: His property directly abuts the proposed property and he feels the PUD will increase the look of the neighborhood.

Speaker #14: Citizen

Name: Warren Nelson

Address: 1801 Countryside Drive

Comments: He lives near the proposed property and has lived there for 55 years. He feels that seven or eight homes is too many and is not in keeping with the look of the area and would be out of character. He feels strongly that four homes would fit better.

Speaker #16: Applicants

Name: Steve Davies & Dale Bennett

Address: 1920 S 180 W, Orem, UT and 9130 S State Street, Sandy, UT respectively

Comments: They stand behind their product and feel it would be beneficial to the community.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: To continue application #28368 until the July 10, 2013 meeting

Motion by: Commissioner Stephens

2nd by: Commissioner Riddle

Vote: 4 for, 1 nay (Van Frank)

28468 Greg Larsen is requesting Conditional Use and Preliminary Plat approval for Millcreek Gardens PUD, a 32-lot PUD Subdivision for 16 two-family dwellings. **Location:** 4310, 4320 & 4324 South 500 East & 430 East Doreen Street. **Zone:** R-2-10. **Community Council:** Millcreek. **Planner:** Spencer G. Sanders.

Presentation by: Spencer Sanders **Recommendation:** Approval - see Staff Report

Per Spencer Sanders, who was present at the Millcreek Community Council meeting, the council recommends approval.

PUBLIC PORTION OF APPLICATION OPENED

Speaker # 1: Applicant

Name: Greg Larsen

Address: 1042 Fort Union Blvd, #226

Comments: He discussed some of the recommendations provided in the staff report. Applicant is working with adjacent property owner over the fence line.

Speaker # 2: Citizen

Name: Russell Johnson

Address: 4342 S 500 E

Comments: His property is adjoining the last unit on 500 E. He is concerned about property being rental units and would like a brick wall separating properties.

Speaker # 3: Citizen

Name: Joe Flack

Address: 447 Bridlewood Drive

Comments: He has lived in his home for over 40 years. He is concerned with privacy in his backyard because he currently has a lot of trees in his yard and is concerned about the existing trees on the property.

Speaker # 4: Citizen

Name: Trish Frost

Address: 4316 S 420 E

Comments: She is neither for nor against the proposal. She is concerned about graffiti and the loss of sunlight into her property.

PUBLIC PORTION OF APPLICATION CLOSED

Motion: Approve application #28468 subject to conditions 1-6 in the Staff Report.

Motion by: Commissioner Stephens

2nd by: Commissioner Riddle

Vote: Unanimous (of commissioners present)

BUSINESS MEETING

The Business Meeting will begin immediately following the Public Hearings.

Previous Meeting Minutes Review and Approval

- 1) Approval of the April 10, 2013 and May 15, 2013 Minutes were continued until the next meeting.

ADJOURN