



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, July 10, 2013	04:00 PM	File No:	2	8	3	6	8	
Applicant Name:	Steve Davies & Rick Plewe	Request:	Conditional Use						
Description:	8-lot Single-Family Planned Unit Development Subdivision								
Location:	3548 South Honeycut Road (1850-1860 East)								
Zone:	R-1-10 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Approval with Conditions								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1. Previous Commission Action

This application was continued from the Millcreek Township Planning Commission's June 12, 2013 meeting. Staff was recommending continuance for insufficient information. In addition, the applicants presented at the meeting a revised plan that reduced the number of lots from 8 to 7. There was insufficient information and time for staff to evaluate and make a recommendation on the revised plan or for the Commission to take action. Further, the applicants had submitted an application for an Exception to County Roadway Standards pertaining to the proposed access for the project. However, it had not been submitted in time to be posted on the Commission's June agenda for action.

1.1.2 Revised Application

The applicants have revised the proposal and is now requesting approval of a 7-lot, single-family PUD. The layout is similar to the previous one and more information on the current plans has been provided. Please refer to the Zoning Analysis Table in the ANALYSIS section of this report for more details.

1.1.3 Exception Request

The applicants are requesting approval of an Exception from County Roadway Standards under application 28547. The requested exception is from County Ordinance 14.12.120.C.1, which requires, "whenever possible," local streets be offset by a minimum of 150 Feet or aligned. The applicants' proposed private road into the project is not lined up or off-set 150 feet. The Exception must receive a recommendation from the Planning Commission prior to County Deputy Mayor review. Please refer to the separate staff report for the Exception application, the Conditional Use Standards Table and the Transportation Engineer Review under the ANALYSIS section of this report for further information.

1.1.4. Property Info

Existing Zoning - The subject property and surrounding area is zoned R-1-10, Residential, Single-Family, 10,000 square foot minimum lot size for a standard subdivision.

Surrounding Land Use - The primary use around the area is Single-Family Residential homes.

Subject Property Size - The subject property is 2.21 acres according to a certified survey prepared by the applicants' engineer. Initially, the applicants' submitted Preliminary Plat reflected a legal description that indicated less than 2 acres. However, this was in error, it was reflecting the size of the property after potential additional dedication of right-of-way for Honeycut Road. County regulations require the use of the property's area prior to dedication for calculating density.

Existing & Required Improvements - There is an existing home and residential pool on the site that are proposed to be removed. Honeycut Road is paved with some curb and gutter on the east side. There is no curb, gutter or sidewalk on the west side adjacent to the subject property.

1.2 Hearing Body Action

This application is on the Commission's agenda for final action.

1.3 Neighborhood Response

1.3.1 May 2, 2013, East Mill Creek Community Council Meeting

As number of neighbors were in attendance at the East Mill Creek Community Council Meeting held on May 2, 2013. The majority of the residents present were opposed to the proposal. Some of the issues sited are as follows:

- 1) Too dense;
- 2) Increased traffic on a small residential street;
- 3) Increased traffic conflicts with cars exiting and entering the subject property;
- 4) Insufficient on-site parking;
- 5) Inappropriate on-street parking due to narrow shoulder on both sides of street;
- 6) Safety issues with pedestrians along Honeycut Road, especially children passing through the area on their way too and form school;
- 7) Resulting lots and home sizes are inconsistent with the surrounding neighborhood;
- 8) Contamination and sedimentation of the creek;
- 9) Increased flooding issues for up and down stream property owners.

1.3.2 May 9, 2013, Meeting with Residents and Staff

Staff held a meeting with the residents of the area to go over the information know about the proposal and to explain the approval process and the ordinances that apply to the project, including floodplain, water quality, PUD requirements, density, etc. This was an information only meeting. Clearly residents had concerns about the proposal, but staff did not document specific comments from the residents at that time.

1.3.3 Written Correspondence

At the Commission's June 12, 2013 meeting, Staff distributed a large number of e-mails received from surrounding residents. Additional e-mails submitted since June 12th for the Commission's consideration at the July 10, 2013 meeting are attached to this report. Any further correspondence received after this report is posted and distributed to the Commission will be provided to the Commission at the July 10, 2013 meeting.

1.4 Community Council Response

1.4.1 May 2, 2013

The East Millcreek Community Council reviewed this application at their May meeting, taking over 1-1/2 hours testimony from residents, the applicants and staff. At the end of the public input portion of the meeting, the Council voted to continue the proposed application to their June 6th meeting and requested the Millcreek Township Planning Commission continue their review of the application for one month to give the Community Council more time to review the proposal and make a recommendation. This resulted in the applicants withdrawing the application from the May Planning Commission meeting in order to meet with the residents and to meet again with the Community Council as requested.

1.4.2 June 6, 2013

The application was reviewed again by the East Mill Creek Community Council at their regularly scheduled June 6th meeting. A letter from the Community Council recommending approval subject to a number of conditions was presented to the Commission at their June 12, 2013 meeting, by a representative of the Community Council.

There were concerns raised by the Community Council's representative at the Commission's June 12th meeting. They indicated that the revised proposal (reduced from 8 to 7 lots) had not been reviewed by the Community Council. The representative then suggested that the revised plan should be forwarded back to the Community Council for further consideration and recommendations.

The Commission decided not to send the application back for additional Community Council review. They felt that the change from 8 lots to 7 lots did not warrant additional review. Indicating that the concerns noted and approval recommended in the Community Council's letter of approval, would likely not change significantly with the one-lot reduction.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		The applicants' proposal will comply with all applicable provisions of the zoning ordinance including allowed PUD modifications if approved by the Commission. Please refer to Zoning Analysis Table included in this report.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		If the Exception to roadway standards is approved, the proposed application will comply with all applicable laws and ordinances.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i></p>
		<p>The applicants Traffic Study concludes that the proposed development will not add to the existing traffic concerns raised by the residents along Honeycut road (speed and pedestrian safety). It recommends approval of the applicants' proposed Exception form County Roadway Standards, application 28547, for a non-compliant offset intersection of the projects entrance with Honeycut Road. The study also recommends that the applicant work with the County to improved pedestrian and bicycle safety in the immediate area. The County's Transportation Engineer concurs with the study's recommendations.</p> <p>The applicant's requested exception to installation of curb, gutter and side walk along the frontage of the property is not recommended for approval by the Transportation Engineer. The applicant has indicated that this request was submitted in response to neighborhood residents' concerns that installing curb, gutter and sidewalk in front of the subject property, when it does not exist to the north or the south, would be more of a hazard than an improvement. The applicants have indicated that they are not apposed to installing the required street improvements and have shown these improvements on their recently revised plans. Please refer to the separate staff report for the proposed Exception application 28547.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i></p>
		<p>The preliminary plans indicate that this standard can be adequately met, including all of the issues noted in this standard. Staff anticipates that the issues in this standard can be adequately addressed during the Technical Review and building permit processes.</p> <p>If there are significant changes in the proposal, such as reduction in open space, setbacks, or items that are not approved by the Commission, the project would be brought back to the Commission for further consideration at a noticed public meeting. If the Technical Review results in further lot reduction or reconfiguration, yet still complies with County requirements, the PUD standards and the Commission's approvals, the application would not be brought back to the Commission for further review, unless it was required by the Commission as part of their approval.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `E`:</u> <i>The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.</i></p>
		<p>It is staff's opinion that the proposed development will be compatible with the surrounding varied nature of the single-family homes in the neighborhood and with the Community General Plan standards. The proposal is for custom single-family detached homes. The proposed home sizes will likely range between the larger homes adjacent to the property to the south, west and northwest; and the smaller homes to the north and to the east across Honeycut Road. The design of the project takes into consideration the sensitive lands on the site and complies with the County's PUD requirements and development standards. This includes compliance with the underlying zone's maximum density and the 30-foot maximum building height allowed in RCOZ.</p>

The Millcreek Township General Plan designates this area as a "Blue" or a stable area, which anticipates little change to the land uses or density in the area. The proposed use is consistent with the existing General Plan designation. It is a single-family development that does not exceed the maximum density allowed in the zone. Further, the general plan discusses protection of the township's natural resources. Mill Creek is one of the primary natural resources in Millcreek Township. The proposed developments clustering of the homes onto smaller lots, placing the stream and the associated riparian floodplain in common area, is consistent with the natural resource protection provisions in the General Plan. It is also consistent with housing provisions in the General Plan that encourage diverse housing types and sizes, for residents in all stages of life.

2.2 Zoning Requirements

2.2.1 Zoning Analysis Table

On the following pages is a summary table comparing the zoning, development standards and policy requirements with the applicants' revised proposal for 7 lots. The table also indicates whether or not the propose standard meets base standard requirements, exceeds these requirements, or needs approval of a modification under the PUD. The table along with the plans constitute the majority of the applicants' proposal.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
Minimum PUD Project Area	1 acre	2.21 Acres / 96,267 square feet	Complies with Ordinance Exceeds Minimum
R-1-10 Maximum Density	4 dwelling units per acre	7 dwelling units / 2.21 acres = 3.17 dwelling units per acre	Complies with Ordinance Less than Maximum
LOT DIMENSIONS Based on R-1-10 zone			
*Minimum Area	10,000 square feet	5,607 to 7,182 square feet Roadway not included in lots.	Needs PUD Approval Less than Minimum
Minimum Width			
Lot 1	80 feet at 30-foot setback	81 feet	Complies with Ordinance Exceeds Minimum
*Lot 2		67 feet	Needs PUD Approval Less than Minimum
Lot 3		87 feet	Complies with Ordinance Exceeds Minimum
Lot 4		87 feet - measured per ordinance; 71 feet - 90 degrees to side lines	Complies with Ordinance Exceeds Minimum
*Lot 5		76 feet	Needs PUD Approval Less than Minimum
*Lot 6		63 feet	Needs PUD Approval Less than Minimum
*Lot 7		74 feet	Needs PUD Approval Less than Minimum
Maximum Building Height (Per RCOZ)	30 feet to ridge line from original grade below ridge line	All homes will comply with RCOZ Max. Building Height. Custom homes on each lot; therefore, compliance confirmation at building permit application.	Complies with Ordinance RCOZ Maximum Building Height confirmed at building permit application can be established by PUD Approval.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
MINIMUM BUILDING SETBACKS Setbacks established with PUD Approval			
Project Perimeter Based on R-1-10 Zone Minimum Yard Requirements			
*East (Honeycut)	Front - 30 feet Street Side - 20 feet	15 feet	Needs PUD Approval Less than Minimum
North	Side - 8 feet Rear - 15 feet	66 to 80	Complies with Ordinance Exceeds Minimum
South	Side - 8 feet Rear - 15 feet	15 feet	Complies with Ordinance Meets Minimum
West	Rear - 15 feet	30 feet total 24 feet from perimeter to Lot 4 side property line; and 6 feet min. lot setback	Complies with Ordinance Exceeds Minimum
Individual Lot Setbacks Based on R-1-10 Zone Minimum Yard Requirements			
*Front	30 feet	10 feet	Needs PUD Approval Less than Minimum
*Interior Side	8 feet	6 feet (12 feet Min. between structures) Shared driveways for lots 1 & 2 and Lots 6 & 7 result in larger setbacks.	Needs PUD Approval Less than Minimum
*Street Side	20 feet	Lots 1 and Lot 7 - 15 feet	Needs PUD Approval Less than Minimum
*Rear	15 feet with Garage	Lots 1-3 - 6 feet or floodplain Lots 4-7 15 feet	1-3 Need PUD Approval Less than Minimum 4-7 Comply with Ordinance Meets Minimum
From 100 Yr Floodplain	FEMA allows construction in floodplain. Finished floor must be 1-foot above. If in floodplain Certificate of No Effect and Flood Certificate required.	Build up to floodplain boundary, but no foundations within boundary.	Complies with FEMA & FFIP Exceeds Minimum All lots will require Elevation Certificate with Construction.
From Top of Bank (Flood Control)	Flood Control requires 20-foot maintenance and emergency access easement along creek. Location approved by County Flood Control.	20-foot proposed easement shown on the proposed plans.	Complies with Flood Control Requirements Flood Control approved subject to easement legal description on Final Plat
OPEN SPACE AND RECREATIONAL FACILITY (OS&RF) STANDARDS			
Recreational Facilities Proposal Needs PUD Approval			
Quantity	1 Playground + 1 Additional for total project bedrooms between 10 & 75	2	Complies with OS&RF Standards Meets Minimum
*Type 1	Playground 1,000 sq. ft. w/play equipment Fencing required if adjacent to road or other safety issue.	Playground 1,000 sq. ft., Play equipment to be provided.	Needs PUD Approval Meets Min. Size Recreation improvements & fencing details not yet provided. Can be worked out during Technical Review.

* = Needs PUD Approval	Base Standard	Proposed	PUD Modification
*Type 2	One other per policy standards list or proposed by applicant.	Creek Area 26,060 square feet / 0.59 acres Improvements to include walking paths, seating benches and replaced bridge.	Needs PUD Approval Meets acceptable types & sensitive lands as common open space. Recreation improvements can be worked out during Technical Review.
Open Space			
Types of Open Space	Landscape, Natural Areas, Recreational Areas, Yards, Patios	Playground, Creek Area, Yards of proposed homes	Complies with OS&FR Standards Proposed Acceptable
Square feet/Acres	21,780 / 0.5 acre per 1 acre (43,560 square feet for the project)	54,702 square feet	Complies with OS&FR Standards Exceeds Minimum
Percent of Site	50%	64%	Complies with OS&FR Standards Exceeds Minimum
PARKING			
*Total	2 per dwelling + possible guest spaces required; quantity approved by Commission	18 spaces minimum 14 minimum in garages 4 guest spaces off lots	Needs PUD Approval
Per Unit	2 per dwelling	2 per dwelling in garage	Complies with Parking Ordinance Meets Minimum
*In Driveway	None, but can count towards guest parking	Current proposal does not include plans for how additional parking may be allowed on the lots.	Needs PUD Approval May be opportunity for additional parking on lots. Custom homes concept - for all lot, difficult to determine. Min. requirement per lot could be established with Approval.
*Guest (Not on the lots)	Determined by Planning Commission (1/2 space per unit has been used for higher density developments in the past.)	4 off lots , See Site Plan Attached (Sheet CSP.01 3 of 8)	Needs PUD Approval Meets Minimum policy standard used previously with higher density developments.

2.2.2 Development Plan Items that can be Modified Under PUD

Under the PUD ordinance some standard provisions can be modified through PUD approval, others can't. For example, the Commission can't approve density higher than the maximum allowed in the underlying zone or approve land uses not listed in the underlying zone. The items available for modification under a PUD include: lot size; lot layout; building setbacks; building height; typical architecture; recreational facilities and open space plan; fencing plan; typical lot landscaping plan; common area landscaping; and parking.

2.2.3 PUD Ordinance

The following is a summary and analysis of the PUD provisions applicable to Planning Commission Review.

19.78.010 Scope of Approval - The PUD ordinance does not guarantee approval. The PUD should only be approved if it meets the intent and purpose and applicable requirements of the zoning ordinance.

The proposed information submitted by the applicant is sufficient to determine if the proposal

can comply with the PUD and other zoning regulations, subject to the Technical Review process with staff.

19.78.020 Purpose - The main purposes of the PUD ordinance are:

1. Allow diversification of uses and structures to their site;
2. Encourage good neighbor, housing, or area design to ensuring substantial compliance with the base zone and the provisions of the zoning ordinance related to health, safety, and general welfare; and
3. Take advantage of larger scale site planning.

It is staff's opinion that the proposal will achieve the Purpose of the PUD ordinance through: the diversity that will be achieved through custom home designs; proposed protection of the sensitive lands within common area ownership; the proposed development plan; and the staff recommendations.

19.78.090 Effect on adjacent properties - Site design to ensure adjacent properties will not be adversely affected. The Planning Commission can address building height; building location; lot area, lot width, yard, and coverage. Density shall be the same as the underlying zone.

The applicant's proposed density is less than the allowed density in the R-1-10 zone. While lot size is smaller than surrounding lots, the overall density falls within the R-1-10 zone and the plan allows a significant riparian area on the property to be preserved in a common ownership parcel rather than inside individual lots.

The lot layout, perimeter setbacks, lot setbacks and proposed compliance with RCOZ building height, will ensure that the adjacent neighbors will not be adversely affected by health, safety and general welfare concerns. The smallest setback from adjacent properties is 15 feet from the south property line. This setback complies with the rear and side yard setbacks of the standard R-1-10 zone and with RCOZ setback requirements.

The applicant proposes to provide perimeter fencing around the project with adjacent neighbors, working out the details of the type of fencing with each of the neighbors.

The proposed homes will be compatible with surrounding homes. Their size will be somewhere between the larger size of homes adjacent to the property and the smaller homes adjacent and across Honeycut Road from the property.

19.78.100 Preservation of open space - Preservation and maintenance of common open space can be accomplished in one of three ways:

1. Dedication as a public park;
2. Granting the County a permanent open space easement to guarantee preservation; or
3. Dedicate into a common area that is owned and maintained by the homeowners association with provisions for the payment of common fees for upkeep.

The applicant is proposing the common areas be located within a common ownership parcel, owned and maintained by the homeowners association. Fees will be required under the covenants of the project, in compliance with state law related to common ownership within a condominium or plat. This is in compliance with this requirement. In addition, the applicant will be providing a flood control easement to the county for flood control maintenance and emergency access. The proposed location of the easement has been approved by County Flood Control subject to a detailed legal description on the Final Plat.

19.78.110 Landscaping - Landscaping must comply with Chapter 19.77 Water Efficient Landscape requirements. This is usually verified by staff during the Technical Review Process.

The applicant has not submitted landscape plans with the proposal at this time. Landscaping under 19.77 is usually reviewed and approved by staff, complying with the provisions of the

ordinance. The Commission can include special landscape provisions in their conditions of approval if deemed necessary.

19.78.120 Signs and floodlighting - Signage and area lighting if any needs to be identified and approved.

The applicant has not proposed any signage, but has indicated that the entrance will be gated, with a wrought-iron style automatic gate with gas lanterns on the pilasters. A specific design has not been provided.

19.78.130 Site plan requirements - The applicant shall submit a site plan, including phasing if any. The plan needs to show the following:

1. Use, dimensions, sketch elevations and location of proposed structures;
2. Areas and locations of vehicle access, pedestrian access, parking, public uses playgrounds, landscaping and open space;
3. General architecture design including physical relationship of the use
4. Other pertinent information including, but not limited to: density, coverage, open space characteristics, as needed to determine if the proposal is better than standard regulations

Refer to the Zoning Analysis Table and the plans that indicate the applicant's development plan. If the Commission is acceptable to having staff work out the details of landscaping and recreational facilities, it is staff's opinion that the information provided is sufficient to make a decision on the project.

19.78.160 Plan review at public meeting - Preliminary development plans are to be submitted for staff analysis and Planning Commission Review at a public meeting.

The required plans have been submitted for review by staff and are attached to this report for review by the Planning Commission.

19.78.170 Scope of planning commission action - Planning Commission to consider the following:

1. Plans shall be prepared by designer or team that has professional competence in the type of PUD proposed;
2. Control of the design by the Planning Commission not to be so rigid to stifle initiative and incur substantial additional expense, but the control exercised shall be the minimum necessary to achieve the purpose of the PUD Chapter; and
3. Planning Commission may approve or disapprove an application and if approved, attached conditions it deems necessary achieve the Conditional Use Criteria.

The applicants are professional developers/home builders. They have provided professionally prepared plans. The applicants' proposal is to set parameters for construction of the homes including typical architectural style, setbacks, building height, etc. rather than to establish specific homes on each lot. The proposal with staff recommendations should achieve the appropriate control.

2.2.4 Items Not Yet Submitted

The following items have not been submitted: detailed open space improvements; playground improvements; sight lighting; fencing and typical landscape plan for the lots; a detailed landscape plan for the common areas; and an updated tree preservation plan. These items could be provided, and approved by Staff, during the Technical Review process, if the Commission is amenable. Otherwise, the Commission could continue the application in order for the applicant to supply the information for review by the Commission; or request the final designs be provided to the Commission for final approval before the Preliminary Plat is issued by staff.

2.3 Other Agency Recommendations or Requirements

2.3.1 Transportation Engineer

The Transportation Engineer Jena Carver reviewed the applicants' original proposal and indicated that the project's private road intersection with Honeycut Road does not comply with County Highway Standards. The applicant has submitted an Exception application 28547 previously noted in this report requesting an exception from this requirement, the application was also seeking approval of an exception from subdivision standards requiring curb, gutter and sidewalk (CG&S) improvements.

The Transportation Engineer concurs with the applicants' Traffic Study which recommends approval of the proposed Exception from County Roadway Standards for the non-complying off-set intersection. The study does not address specifically the requested exception from CG&S requirements, but notes there are pedestrian and bicycle safety concerns that already exist and the applicants should work with the County to improve these concerns. The Transportation Engineer does not recommend approval of Exception from Subdivision Requirements for CG&S improvements. (Please refer to the separate Exception Staff Report for more details regarding the request.)

2.3.2 Grading Review & Storm Water Pollution Prevention & FEMA

Final grading plans are required to be provided for the overall development of the subdivision as part of the Technical Review Process. Plans will need to include a geotechnical report, including a soils analysis. Each lot will require separate grading review at time of building permit. The overall project, as well as the individual lots are subject to grading standards, erosion control requirements and storm water pollution prevention requirements. These requirements include silt fencing, revegetation and other erosion control measures both during and after construction. Proposed work will also have to comply with FEMA requirements, administered under the County's Flood Insurance Program. Confirmation of these requirements occur during the Technical Review and Building Permit processes.

2.3.3 Geology Review

The County Geologist has approved the project as proposed with no further review required. Geology is looking at Faulting, and liquefaction issues. The subject property is not near a fault study area and is located in a Very Low Liquefaction area.

2.3.4 Urban Hydrology Review

The County Hydrologist has indicated that the applicants preliminary proposal for addressing drainage is acceptable. Final drainage plans detailing the drainage proposal are required for the Technical Review Process and must be approved prior to recordation of the Final Plat.

2.3.5 Flood Control Review

County Flood Control has completed their review of the proposed plans. They support the proposed flood control access easement as shown with a final legal description included on the Final Plat. They are also requiring a Technical Review of proposed stream bank stabilization plans, and any other improvements within 20 feet of the stream. The existing bridge will have to be replaced and comply with Flood Control and FEMA regulations to ensure that it does not create flooding issues during an event. Cost of reconstruction of the bridge may prove to be prohibitive. If this is the case, the passive recreation improvements proposed within the creek area open space may need to be reconfigured. This can be refined during the Technical Review Process.

2.3.6 Unified Fire Authority Review

The Unified Fire Authority UFA has completed their review of the Preliminary Plans. They have indicated preliminary approval subject to a Technical Review. The proposed access meets UFA requirements.

Technical Review will confirm final location of the hydrants and fire flow for the area. The fire file will determine whether or not the home need to be fire sprinkled.

2.3.7 Army Corps. and State Stream Alteration Review

In the case of Mill Creek, the Federal Army Corps. of Engineers has assigned review of work along the creek to the State of Utah, Department of Natural Resources, Division of Water Rights, Stream Alteration permit program; except in cases where, jurisdictional wetlands.

The State has reviewed the site and proposed preliminary plans and has approved the preliminary plans subject to Technical Review. There are no wetlands on the site so the Army Corps. will not be involved with this review. Any work within the 20 feet of the stream will require a Stream Alteration Permit from the State.

2.3.8 Salt Lake Valley Health Department Review

The Health Department requires verification of water and sewer availability. This is confirmed during the Technical Review process. The Health Department requires availability letters from the water and sewer providers before they will send the County final approval and sign the Final Plat.

2.3.9 Water and Sewer Providers

The applicant is in the process of obtaining water and sewer availability letters form the applicable providers. It is anticipated that water and sewer will be available subject to final design of the connections and payment of final connection fees. This is verified during the Technical Review process.

2.4 Other Issues

2.4.1 Rear Lot Lines adjacent to the Creek

The applicant's current submittal shows the rear lot lines of lots 1-3 partially located within the FEMA floodplain boundary. In the case of lot three, almost the entire rear lot line is located approximately 18-20 feet into the floodplain. This places the rear lot line for Lot 3 very close to the edge of the ordinary high water level of the stream. (Please refer to the attached site plan.)

Staff has suggested to the applicants that these rear lot lines be relocated to the floodplain boundary. The slope from the floodplain boundary down to the creek is steep, particularly on Lot 3. It would be more appropriate to retain the floodplain area in the common open space rather than in individual lots. The applicants have agreed to make this change. Staff would recommend that that the rear setback for the homes on these lots be allowed to go to the new property line, with a small maintenance and construction easement, if needed, for home construction on these lots. Disturbance within this easement would be required to be restored.

2.4.2 Rear Yard Fencing adjacent to the Creek

The applicant is proposing no fencing between the lots and fencing only around the perimeter of the property with the adjacent residents. Staff supports this proposal, except staff is recommending that a low, open-style fence be placed along the revised rear lot lines of Lots 1-3 to help protect the slope down to the creek. Gates could be provided for access from the lots down to the pathway and seating areas planned along the creek. An open fence would allow visibility of the creek area from the rear of the homes, yet control the access and avoid damage to the slope over time with uncontrolled access. It will also make maintenance of the more sensitive lands the responsibility of the HOA instead of individual property owners.

2.4.3 Trash Removal

The applicant has indicated that trash will be picked up inside the development with individual trash

receptacles for each home. The roadways will be designed to handle the weight of a trash vehicle. The applicant will either need to arrange an agreement with County Sanitation or a private waste disposal company. Nevertheless, this will ensure that trash removal will not cause traffic issues by have trash pick-up for the project along Honeycut Road.

2.4.4 Final Recreational Facility Improvements

The applicant has indicated that there will be playground equipment, a picnic area, pathways along the creek, a bridge replacement; and seating near the creak along the pathways. However, the applicant has not provided details of these improvements. Staff can work with the applicant to finalize these improvements during Technical Review, if the Commission is amenable. These items will need to be commercial grade and located to be sensitive to adjacent neighbors and to the creek area. Pathways design and location will also be important to preservation of the area. Further, fencing around the playground area will be important for safety purposes of keeping children safe.

2.4.5 Tree Preservation

The applicant submitted with the original application a proposed existing tree removal & preservation plan. However, in recent conversations with the applicant they have indicated that there will be more trees preserved than originally proposed, citing recent modifications and more detailed analysis. A revised plan will need to be submitted for review during the Technical Review process.

2.5 Subdivision Requirements

2.5.1 Preliminary Plat

The proposed preliminary plat, with staff recommendations, will comply with Preliminary Plat requirements at completion of the Technical Review process.

2.5.2 Covenants and Restrictions

A copy of the covenants will need to be provided prior to final Preliminary Plat approval to verify consistency with the PUD approval.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) The applicant complete with staff complying with all applicable requirements of staff and outside agencies.
- 2) The lot lines for lots 1-3 be moved to the flood plain boundary.
- 3) The Setbacks for the project shall be as proposed, except that the setback from the rear lot lines of lots 1-3 shall be 0 (the floodplain boundary).
- 4) The building height for all structure shall comply with the Residential Compatibility Overlay Zone Option A requirement of 30 feet.
- 5) All homes shall comply with RCOZ building envelope requirements in RCOZ from the perimeter of the subject property.
- 6) All other standards noted by the applicant or staff in this report shall be part of the PUD.
- 7) A 6-foot construction and maintenance easement shall be provided in the open space area immediately adjacent to the rear lot lines of 1-3 on the final plat. This area shall be reclaimed and revegetated after any construction or any maintenance activities that may damage the easement area. Reclamation and revegetation shall be the responsibility of the adjacent lot owner.

- 8)A final lighting plan shall be submitted for review and approval by staff during the Technical Review process that indicates all exterior lighting to be utilized within the project, including street lighting, common area lighting, entrance feature lighting and exterior home lighting. The plan will need to indicate how lighting will be designed to prevent impact on the adjacent neighbors and meet County development standards.
- 9 Recreational Facility improvements and landscaping shall be finalized with staff prior to Preliminary Plat approval
- 10) A final fencing plan shall be submitted for review and approval with staff prior to final preliminary plat approval. The plan shall included details on all proposed permieter fencing, a site plan showing where al fencing will be located, and address screening of neighboring properties and fencing along rear yards for lots 1-3 as recommended by staff.
- 11)An Exception for from County Roadway Standards for the non-conforming off-set intersections be approved by the Deputy Mayor.

3.2 Reasons for Recommendation

- 1)The proposal complies with PUD requirements
- 2) The proposal complies with Conditional Use Standards
- 3) The proposal is consistent with the Millcreek Township General Plan

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A Development Narrative

For the Development of

Creekside at Honeycut Road

A Planned Unit Development

Background:

The Property: In January 2013, Davies Development, Inc. was approached by Rick Plewe, a Salt Lake Realtor and Developer, regarding a lot in the Millcreek area of Salt Lake City. It was a 2.21 acre lot located at 3548 South Honeycut Road. The Millcreek area is one of the premier residential areas in the Salt Lake Valley and properties large enough to develop into multiple lots are extremely rare, in fact, they are usually larger lots such as this one that are available because of the death of the family members.

The property is bordered on the north by Millcreek and on the east by Honeycut Road. The lot has a large single **story home on it that was build in the 1950's**. Mr. Plewe became aware of the availability of the property due to a long term family relationship with the owners.

The Developers: The Developer of the property, Creekside at Honeycut Road, LLC, is a joint venture between Rick Plewe and Associates and Davies Development, Inc.

Mr. Plewe is a 1979 graduate of the University of Utah with a major in Management and Finance. In the past he has developed 838 Condominiums, a upscale condo project located on historic South Temple Street in Salt Lake City as well as the Cherrington Place Apartments in Bountiful, the Country Club Ridge Condominiums in Sugarhouse and numerous other apartment and condo projects throughout the Western and Southwestern United States.

Davies Development has been involved in the construction of high end custom homes and small to medium commercial projects for the last forty-two years. Its president, Steve Davies, is a 1971 graduate from Brigham Young University with an MBA degree and its Vice-president, Edward Axley is also a BYU graduate with a degree in Marketing. The company has constructed in excess of 400 individually styled custom homes during its lifetime.

Building Philosophy: The Developers are committed to constructing efficient and environmentally sensitive dwellings. Upon reviewing the property, the developers decided that the best way to develop the property was to request a conditional use approval for a Planned Unit Development. By using the PUD option, the property could be developed in a manner that would allow the minimum disturbance of the wonderful mature trees and shrubbery that cover the property. Upon meeting with the neighborhood, the Developers agreed to reduce the density of the project from the allowable 8 units to 7 units, thus providing more green space and lessening the impact on the existing neighboring homes.

The project will keep hard surfacing to a minimum by allowing narrower streets and requiring sidewalks on only one side of the street as well as using shared driveways where possible. All surfacing, i.e. driveways, walkways, gutter systems, and recreational areas, **that doesn't need to have heavy equipment such as garbage trucks, fire equipment, etc.** drive on it will be constructed of brick pavers that will allow rain, etc. to seep through and not end up in the storm drainage system. Generally, homeowners will be urged to keep

exterior patio and other hard surface areas to a minimum and when they are constructed, it be restricted by the CC&Rs to be constructed with pervious materials.

It is intended to cause as little disturbance to the natural vegetation around the creek as possible. The creek is a valuable asset that is best utilized by its natural setting.

The residences to be constructed will be constructed with ultra high insulation techniques and all heating and cooling elements shall be 90% plus efficient furnaces and at least 15 SEER cooling units. The homes shall be equipped with air exchangers to insure healthful and fresh interior air with a minimum of heat loss. All the windows will be super high efficiency windows with very low **glass "u" ratings**. **It has long been the Developer's policy** to employ environmentally sensitive construction techniques wherever possible.

The Market: It is intended that the target market for the project will be families to middle aged with the units designed to allow for "in place aging" by providing elevator shafts in each unit to provide full usage of the home as the residents age. In addition, hallways will be wider, and generally provisions will be made as the homes are designed to provide for eventual wheelchair use.

The marketing process will be to sell the available lots to prospective residents and then **work with them to "design/Build" each residence**. **This will allow prospective buyers to be** able to develop plans and elevations that meet their individual tastes but will conform to the standards and overall style and design that will be outlined in the CC&Rs. It is not the **intent to create a "Cookie Cutter" project where each residence looks like the other, but to** create a neighborhood that reflects an overall style and design with a lot of individual input.

We assume there will be a considerable interest in the project from existing residents who feel the need to down size the yard, design a house to fit future needs and live in a gated community that will provide yard care, security, and assurance if they chose to travel or leave for an extended period of time.

Style and Architecture: The overall style of the project will be Country French. This style is characterized by Aged Stucco and Stone exteriors, steeply pitched roofs, and tall/slim fenestration. The interiors are light and airy with the look of grace and elegance while maintaining a feel of rough sawn woodwork and interior masonry. The wall surfaces will be aged and the woodwork stressed to create a patina of age and timelessness. Hand crafted plasterwork will be employed to give an old world sophistication to each home.

Specific architectural standards and requirements will be outlined in the CC &Rs.

Amenities: The project amenities will include green space and an abundance of mature fir, pine and oak trees. In addition, there will be walking paths carefully crafted along the side of the creek to minimize the impact to existing vegetation, but allow the residents to walk along the creek and enjoy the sound and effect of the flowing water that will attract them to purchase in the community. Small wrought iron benches will be place along the path to allow for a contemplative rest among the trees. A BBQ area and picnic area will be constructed next to the right hand side of the hammer head turnaround along with a fenced in play area for children.

A gate will be installed in the entrance to the project that will be remotely controlled to provide security and privacy. The gate will be constructed with wrought iron and have operating gas lanterns.



June 12, 2013

To: Members of the Millcreek Planning Commission

Subject: Application 28368 PUD Conditional Use
Property Address 3548 Honeycut, Salt Lake City, Utah 84106

At the June 6, 2013 meeting of the East Mill Creek Community Council (EMCCC), Application 28368, Conditional Use for PUD from R-1-10 zoning, located at 3548 Honeycut Drive, Salt Lake City, Utah 84106, Steve Davies of Davies Development, 1909 West State Road #250, Pleasant Grove, Utah 84062, applicant, was presented by Spencer Sanders of Planning and Developing. This was a continuation from the May 2, 2013 EMCCC meeting with regards to this application.

Mr. Sanders presented the application request and addressed questions from the Council. The council did allow discussion and public comments regarding the zoning and the conditions that apply to this change.

East Mill Creek Community Council forwards a positive recommendation for Application 28368 PUD Development (3548 S. Honeycut) Applicant, pending approval of all required signoffs by Federal, State and local laws and Codes (*including street alignment variance*) with the following recommendations/conditions :

1. Pending street variance, Federal, State and local approvals .
2. Density of eight (8) small lots.
3. Fencing: East fencing to be of masonry and see through material and design, south fence to be repaired with the adjoining neighbors, no interior fencing. Gate will be set back 1 1/2 car lengths or about 20 feet.
4. Landscaping: Open space landscaping plan for north side of creek to be better defined.
5. Pervious surfaces: Driveways and guest parking to be of pervious construction as well as rolled gutter and street if possible.
6. Garbage Collection: Garbage collection to be on site, included in CCRs and maintained by the HOA.

Included are the primary concerns from the public and an extraction from the minutes.

1. High density in an area that is single family and lot sizes are .25 acres and larger. This property is given to us as 2.2 acres, PUD code is 4 units / acre; density is .27 and can include area around the creek. This is a unique property and sensitive property.

2. Impact to Mill Creek stream including erosion, closeness to stream and that State of Utah Water Rights requirements for setbacks in relation to width of stream and public access.
3. Not enough guest parking to keep cars off neighboring streets.
4. Flood plane in this application site plan does not meet FEMA requirements.
5. More negative impacts than positive that need mitigating.
6. Pedestrian thoroughfare for students walking to and from William Penn Elementary and Ever Green Jr. High.

There were positive comments from residents:

1. Retirees and empty nesters want smaller lots and times have changed warranting for larger homes on smaller lots.
2. Eight homes will provide more tax revenue.

Lee Ann Hansen
Vice Chair
Municipal Services/Planning and Zoning

Nancy Carlson- Gotts
Chair

Spencer G Sanders

From: Craig Poulton <cpoulton@poulton.com>
Sent: Friday, June 21, 2013 8:14 AM
To: Spencer G Sanders
Subject: RE: Plewe and Quinn Millcreek PUD Application

Spencer,

Thanks again for your help. I would like to ask that the Planning Commission delay the reconsideration of this project until August as and in that regard, I would ask the following questions:

- 1- May I have a copy of the new plat map showing the intended set backs, especially those on the south side of the project and could I get those showing my lot as well as the developers lot so that I might know where the exactly where the buildings are located in relation to our home? I was promised this by developers but was never provided with such.
- 2- Shouldn't the all of the revised information be made available to the neighbors for more than 15 days or so before the reconsideration is scheduled?
- 3- I would like time to allow me time to obtain legal advice and to commission my own traffic impact report; will the staff and/or the commission consider those valid reasons for a further continuance? If so is there an official filing of some kind beyond this email that I need to make?
- 4- Does the fact that I was told by developers at the first community meeting in the Millcreek Community Center that there would be a 23 foot setback from my north property line and then they filed for a 12 foot setback along that line without informing me contribute to the weight of my request for a delay in the scheduling of the reconsideration by the planning commission?

There are other issues I would bring up but I feel I need the advice of qualified legal counsel. The only qualified attorney I have been able to identify has been out of town and out of contact for the past week and I fear that the July 12 consideration date will make it impossible to obtain the benefit of his advice. Thanks for your time in considering all of this and thanks in advance for the creation of your response.

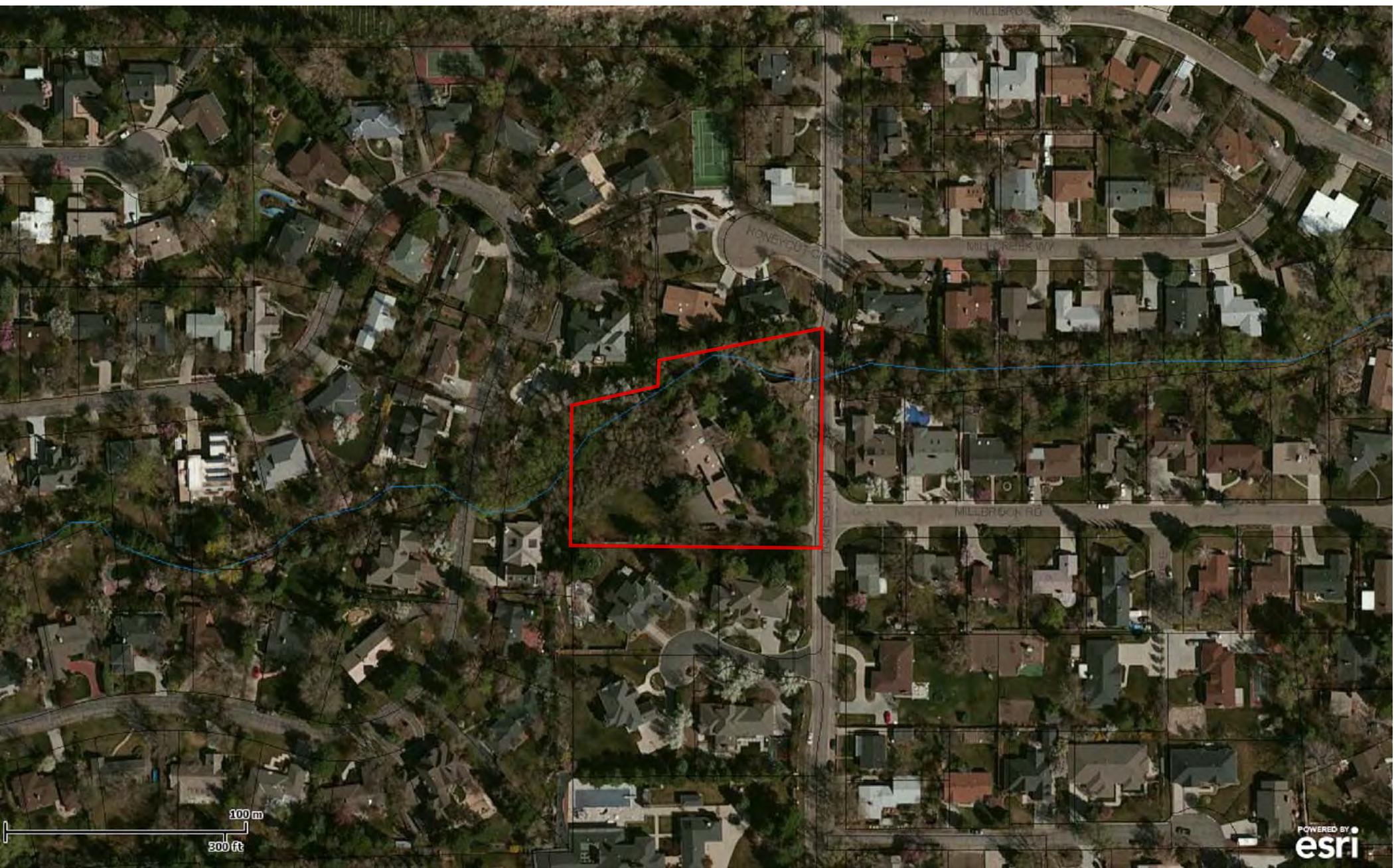
Best regards,
Craig

Craig Poulton, CIC, CPIA, CEO | POULTON ASSOCIATES, INC.
3785 South 700 East, Second Floor, Salt Lake City, UT 84106 Direct (801) 290-7126 | Fax (801) 268-2674 |
cpoulton@poulton.com California License: 688011

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28368 Creekside at Honeycut PUD - Aerial

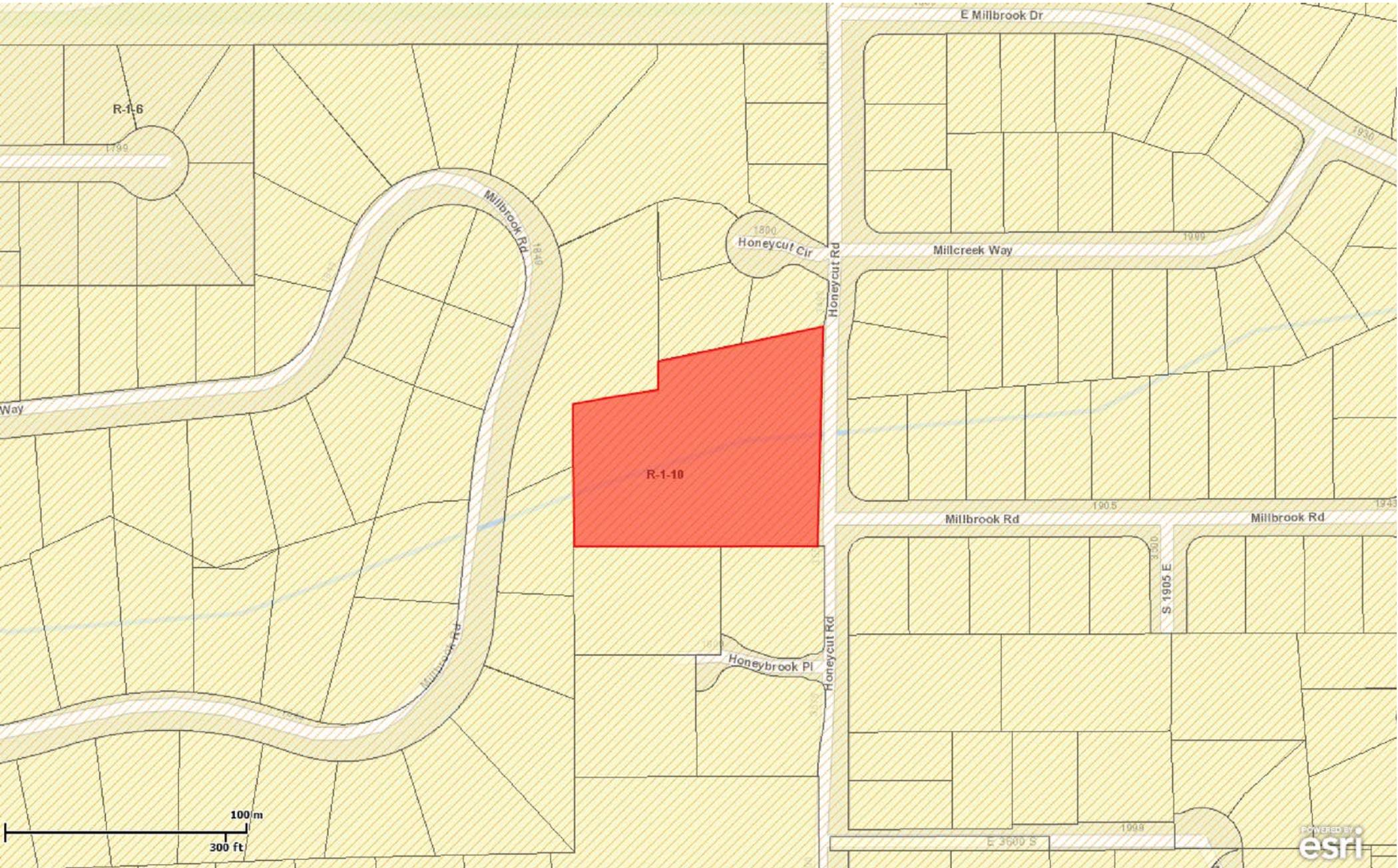
Conditional Use/PUD/Subdivision - Steve Davies



Thu May 2 2013 05:05:08 PM.

28368 Creekside at Honeycut PUD

Conditional Use/PUD/Subdivision - Steve Davies



CREEKSIDE AT HONEYCUT P.U.D.

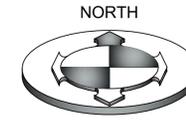
LOCATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

"PRELIMINARY PLAT"

NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN. FOUND BRASS CAP MONUMENT. (RING AND LID)

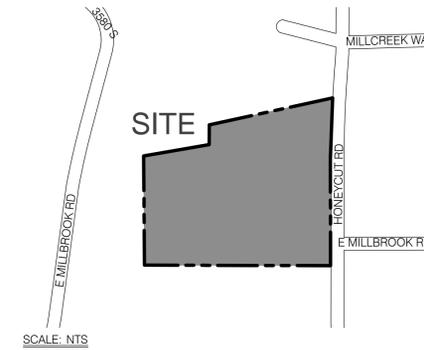
N 89°53'40" W 2610.91' MEAS. BASIS OF BEARINGS
1304.80'

NORTHEAST CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN. FOUND BRASS CAP MONUMENT. (RING AND LID)



GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.

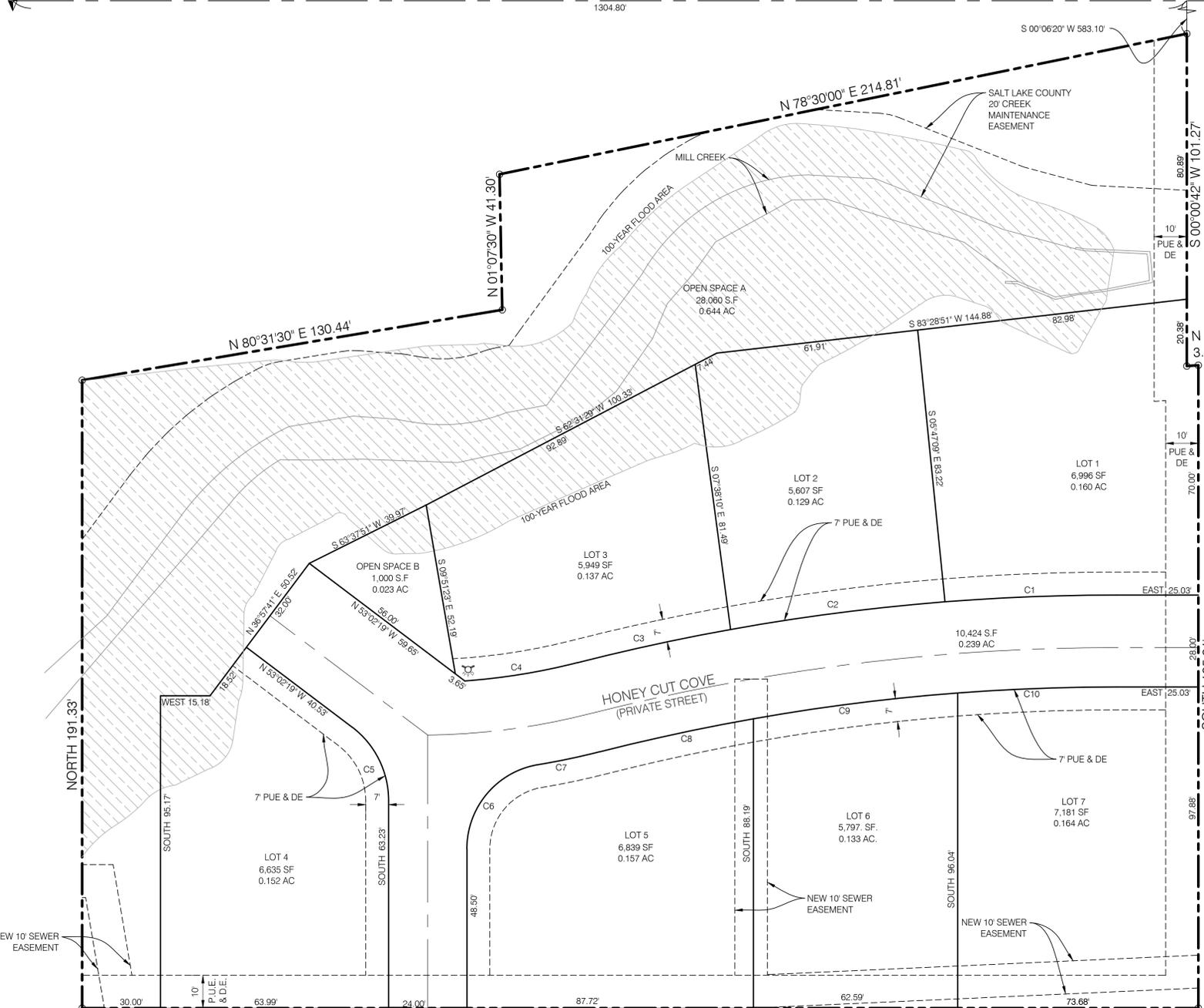


LEGEND

- SECTION CORNER (FOUND)
- SET 24" x 5/8" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT
- LOT LINE
- PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
- FIRE HYDRANT

NOTE: FIRE TURNAROUND IS TO BE KEPT OPEN AT ALL TIMES.

CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	52.60	671.08'	52.59'	S 87°45'16" W
C2	66.23	671.08'	66.21'	S 82°40'53" W
C3	48.06	671.08'	48.05'	S 77°48'08" W
C4	34.91	197.00'	34.86'	S 80°49'38" W
C5	25.92	28.00'	25.00'	S 26°31'10" E
C6	36.60	26.00'	33.66'	N 40°19'55" E
C7	19.30	225.00'	19.29'	N 78°12'26" E
C8	48.14	643.08'	48.12'	N 77°53'42" E
C9	63.11	643.08'	63.08'	N 82°51'02" E
C10	48.69	643.08'	48.68'	N 87°49'51" E



SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC. HAS BEEN FILED AS # _____ IN THE SALT LAKE COUNTY SURVEYOR'S OFFICE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

CREEKSIDE AT HONEYCUT P.U.D.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT SOUTH 89°53'40" EAST 1304.80 FEET AND SOUTH 00°06'20" WEST 583.10 FEET FROM THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN AND RUNNING, THENCE SOUTH 00°00'42" WEST 101.27 FEET; THENCE NORTH 85°50'00" EAST 3.54 FEET; THENCE SOUTH 195°91 FEET; THENCE WEST 341.86 FEET; THENCE NORTH 191.33 FEET; THENCE NORTH 80°31'30" EAST 130.44 FEET; THENCE N 01°07'30" W 41.30 FEET; THENCE NORTH 78°30'00" EAST 214.81 FEET TO BEGINNING

CONTAINS 84,489 SQUARE FEET
1.940 ACRES, MORE OR LESS, INCLUDING OPEN AREAS
8 LOTS



FOR REVIEW ONLY

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____ THE _____ UNDERSIGNED OWNER() OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

CREEKSIDE AT HONEYCUT P.U.D.

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY _____ HAVE HEREUNTO SET THIS _____ DAY OF _____ A.D., 20__.

ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Salt Lake

ON THE _____ DAY OF _____ A.D., 20__, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN SAID STATE OF UTAH, THE SIGNER() OF THE ABOVE OWNERS DEDICATION, _____ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

CREEKSIDE AT HONEYCUT P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

SHEET 1 OF 1

RECORD OF SURVEY

RSC NO.: S _____

SIGNED _____ DATE _____

UNIFIED FIRE AUTHORITY APPROVAL

SIGNED _____ DATE _____



BENCHMARK ENGINEERING & LAND SURVEYING
9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com
DATE: 07/21/2011

CHECKED FOR ZONING COMPLIANCE

ZONE: _____ LOT AREA: _____
LOT WIDTH: _____ FRONT YARD: _____
SIDE YARD: _____ REAR YARD: _____
SIGNED _____ DATE _____

HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D., 20__
SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D., 20__, BY THE SALT LAKE COUNTY PLANNING COMMISSION.
SALT LAKE COUNTY PLANNING COMMISSION

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
PLAN REVIEW SECTION MANAGER _____ DATE _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20__
SALT LAKE COUNTY DISTRICT ATTORNEY

MAYOR

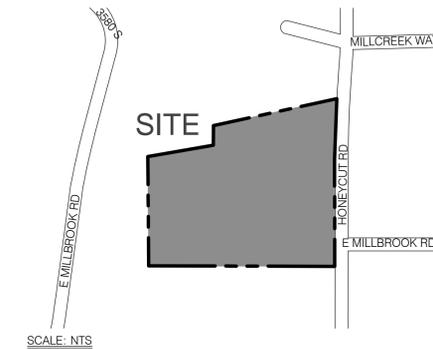
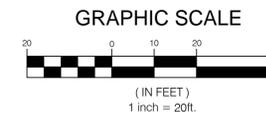
PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D., 20__, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
MAYOR OR DESIGNEE _____

SALT LAKE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
FEE \$ _____
SALT LAKE COUNTY RECORDER

CREEKSIDE AT HONEYCUT P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF
SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1
EAST, SALT LAKE BASE AND MERIDIAN



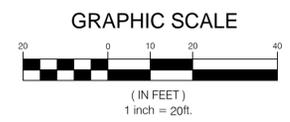
DEVELOPER:
NAME: DAVIES DEVELOPMENT, INC
CONTACT: STEVE DAVIES
TELEPHONE: (801) 763-9901
EMAIL: STEVE@DAVIESDEVELOPMENT.COM

DRAWING INDEX

COV	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATIONS
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING AND DRAINAGE PLAN
CDP.01	DEMOLITION PLAN
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES

PRELIMINARY CIVIL CONSTRUCTION PLANS

		BENCHMARK ENGINEERING & LAND SURVEYING 9130 SOUTH STATE STREET SUITE # 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com		PROJECT NO. 1302023
		CREEKSIDE AT HONEYCUT P.U.D. 3548 SOUTH HONEYCUT ROAD SALT LAKE COUNTY, UTAH		DRAFT DATE: 04/03/13
No.	DATE	DESCRIPTION		
1	06/19/13	REVISED PER COUNTY & CLIENT COMMENTS		
2	06/24/13	REVISED PER COUNTY & CLIENT COMMENTS		



CONSTRUCTION KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE	2/CDT.01
②	CONCRETE PAVEMENT WITH GRANULAR BASE	2/CDT.01
③	2' ROLLED GUTTER	5/CDT.01
④	2' PAVERS	
⑤	NEW DRIVEWAY APPROACH PER APWA# 221	

CURVE TABLE				
CURVE	LENGTH	RADIUS	CHORD	CHORD BEARING
C1	52.60'	671.08'	52.59'	S 87°45'16" W
C2	66.23'	671.08'	66.21'	S 82°40'53" W
C3	48.06'	671.08'	48.05'	S 77°48'08" W
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C9	63.11'	643.08'	63.08'	N 82°51'02" E
C10	48.69'	643.08'	48.68'	N 87°49'51" E

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	16,800	19.9
HARDSCAPE	12,865	15.2
LANDSCAPE	54,824	64.9
TOTAL	84,489	100

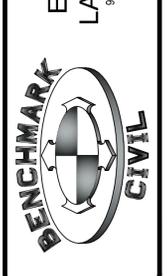
OPEN AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	16,800	19.9
ROADS & DRIVEWAYS	11,987	14.2
OPEN AREA	55,702	65.9
TOTAL	84,489	100

DATA TABLE			
	BASE STANDARD	PROPOSED	PUD MODIFICATION
MIN. PUD PROJECT AREA	1 AC.	2.21 AC. / 96,267 SF	EXCEEDS STANDARD
R-1-10 MAXIMUM DENSITY	4 UNITS / ACRE	3.17 UNITS / ACRE	MEETS STANDARD
LOT DIMENSIONS			
MINIMUM AREA	10,000 SF	5,607 - 7,182 SF	NEEDS PUD APPROVAL
MINIMUM WIDTH	80' @ 30' SETBACK	VARIES: ~50-74'	NEEDS PUD APPROVAL
RECREATIONAL FACILITIES			
QUANTITY	2	2	MEETS STANDARD
TYPE	PLAYGROUND 1,000 SF W/ PLAY EQUIPMENT, PLUS 1 OTHER	PLAYGROUND 1,000 SF CREEK AREA 28,060 SF	MEETS STANDARD
OPEN SPACE			
TYPES OF OPEN SPACE	LANDSCAPE, NATURAL AREAS, REC. AREAS, YARDS, PATIOS	PLAYGROUND, CREEK AREA, YARDS OF PROPOSED HOMES	MEETS STANDARD
SQUARE FEET / ACRES	21,780 SF / 0.5 AC. PER 1 ACRE DEVELOPMENT (48,134 SF FOR PROJECT)	55,702 SF	EXCEEDS STANDARD
PERCENT OF SITE	50%	65.9%	EXCEEDS STANDARD
MAX. BUILDING HEIGHT	30' TO RIDGELINE PER RCOZ	30'	MEETS STANDARD
MINIMUM BUILDING SETBACK			
EAST (HONEYCUT)	20-30' (FRONT OR SIDE)	15'	NEEDS PUD APPROVAL
NORTH	15'	VARIES: ~60-80'	EXCEEDS STANDARD
SOUTH	15'	15'	MEETS STANDARD

NO.	DATE	DESCRIPTION
1	06/19/13	REVISED PER COUNTY & CLIENT COMMENTS
2	06/24/13	REVISED PER COUNTY & CLIENT COMMENTS

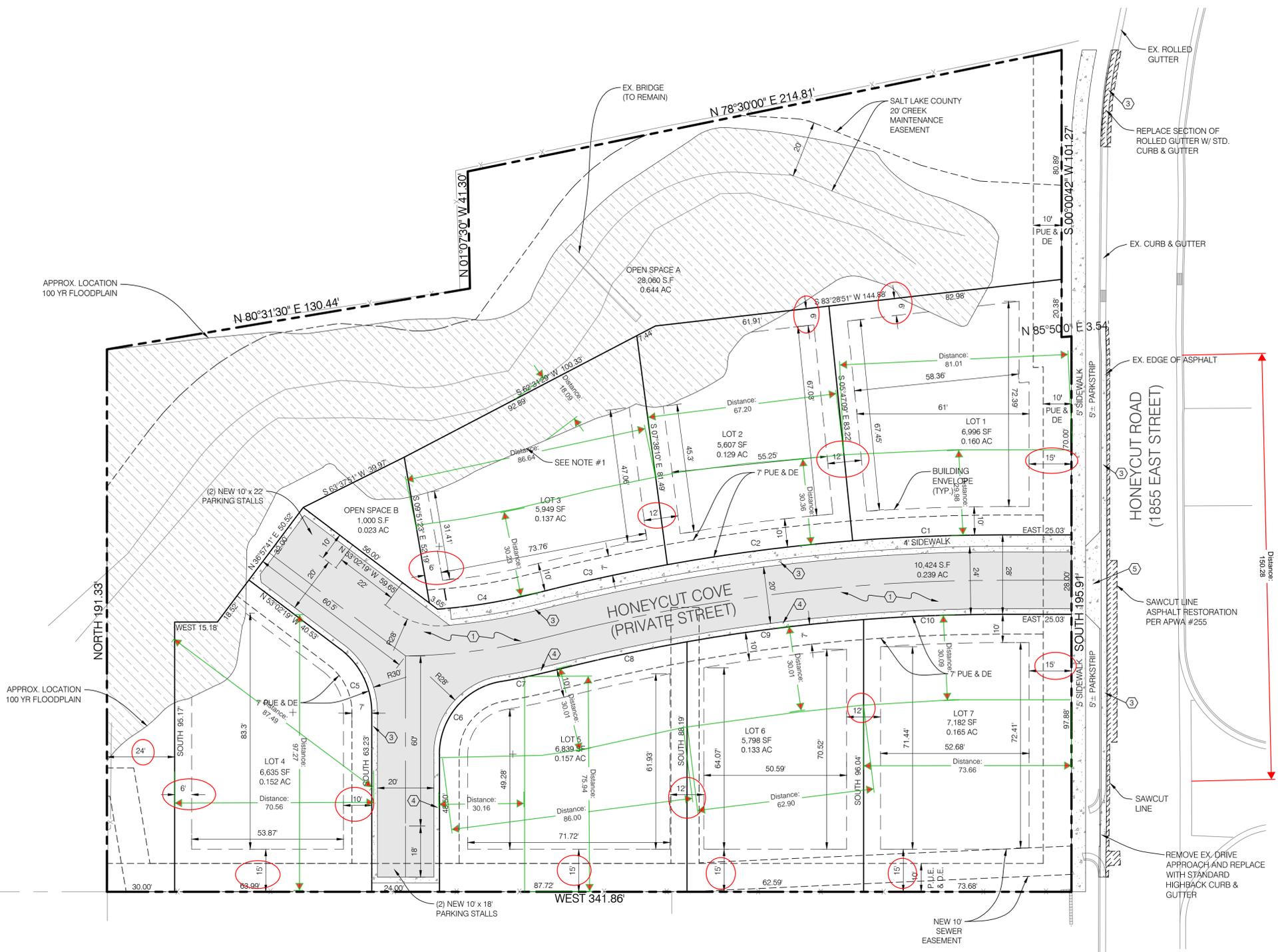


BENCHMARK ENGINEERING & LAND SURVEYING
 9130 SOUTH STATE STREET SUITE # 100
 SANDY, UTAH 84070 (801) 542-7192
 www.benchmarkut.com



CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

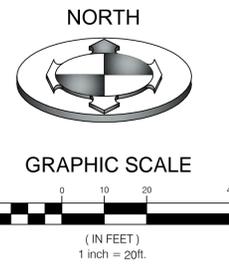
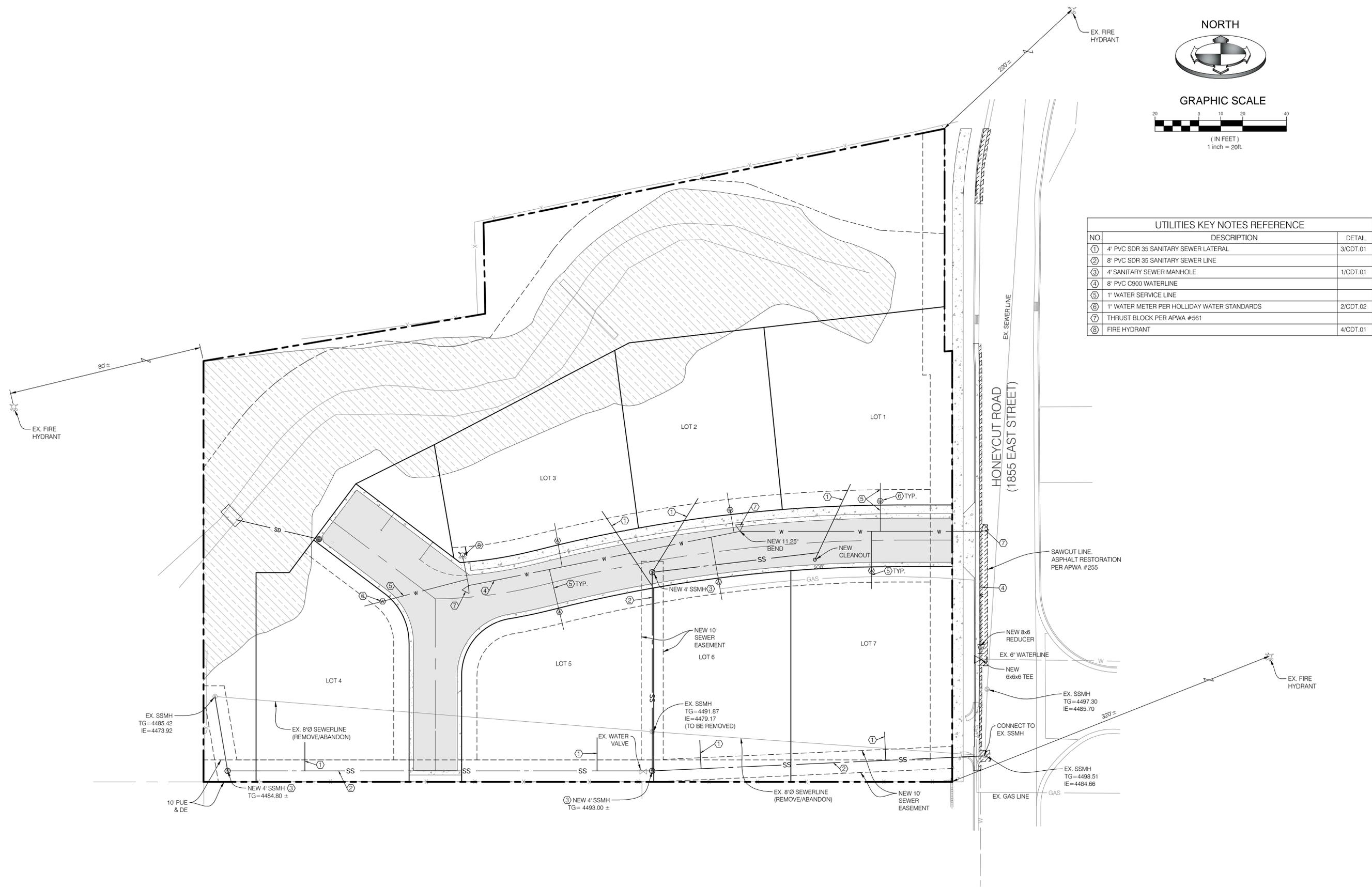
PROJECT NO. 1303030
SITE PLAN
 CSP.01
 3 OF 8



NOTES:
 T FOUNDATIONS SHALL BE BUILT OUTSIDE OF THE 100-YEAR FLOODPLAIN AREA UNLESS APPROVAL FROM FEMA IS GRANTED.

CALL BEFORE YOU DIG.
 IT'S FREE & IT'S THE LAW.
 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER
 1-800-662-4111
 www.bluestakes.org

PRELIMINARY



UTILITIES KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	4" PVC SDR 35 SANITARY SEWER LATERAL	3/CDT.01
②	8" PVC SDR 35 SANITARY SEWER LINE	
③	4" SANITARY SEWER MANHOLE	1/CDT.01
④	8" PVC C900 WATERLINE	
⑤	1" WATER SERVICE LINE	
⑥	1" WATER METER PER HOLIDAY WATER STANDARDS	2/CDT.02
⑦	THRUST BLOCK PER APWA #561	
⑧	FIRE HYDRANT	4/CDT.01

NO.	DATE	DESCRIPTION
1	06/19/13	REVISED PER COUNTY & CLIENT COMMENTS
2	06/24/13	REVISED PER COUNTY & CLIENT COMMENTS

DRAWN BY	FBA/RPD
CHECKED BY	DNB
FIELD CREW	DH
DATE	04/03/13
PROJECT FILE	130303061B



BENCHMARK ENGINEERING & LAND SURVEYING
9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

CREEKSIDE AT HONEYCUT P.U.D.
3548 S HONEYCUT ROAD
SALT LAKE COUNTY, UTAH

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UTILITY NOTIFICATION CENTER

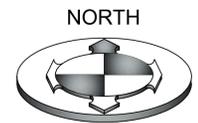
1-800-662-4111
www.bluestakes.org

PROJECT NO. 1303030

UTILITY PLAN

CUP.01
4 OF 8

PRELIMINARY



GRAPHIC SCALE
(IN FEET)
1 inch = 20ft.

GRADING AND DRAINAGE KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.	
②	15" RCP CLASS III STORM DRAIN LINE	
③	4' x 4' CATCH BASIN	3/CDT.02
④	SNOUT	1/CDT.02

Storm Drainage Calculations

Rational Method $Q=CiA$
 Where:
 Q = Peak Flow (ft^3/s)
 C = Rational Coefficient (0.9 for improvements, 0.2 for vegetation)
 i = Rainfall Intensity (in/hr)
 A = Tributary Area (acres)

The total area of the existing lot is 1.94 acres

Post Development Conditions

The project involves constructing 7 homes, driveways and a private road. The existing site drains to the northwest into Mill Creek. The proposed development will collect the stormwater from the road and much of the new homes in a curb & gutter system, as illustrated by Drainage Area #1. This curb & gutter flow will be collected by a catch basin at the west end of the private road. The stormwater will be treated by a Snout before flowing through a 15" RCP pipe and outletting into Mill Creek. A concrete splash guard will be installed at the outlet to prevent erosion.

Drainage Area #1
 Building: 12,000 sf
 Hardscape: 12,865 sf
 Landscaping: 17,841 sf
 Total: 42,706 sf (0.980 ac)

C Value
 Area - C = 0.61
 i Values (NOAA)
 T_r = 15 minutes
 $i_{10} = 4.18$
 $Flow_{Q_{100}} = (0.61)(4.18)(0.980) = 2.50 ft^3/s$

Hydraulic Calculations (Manning's Equation):

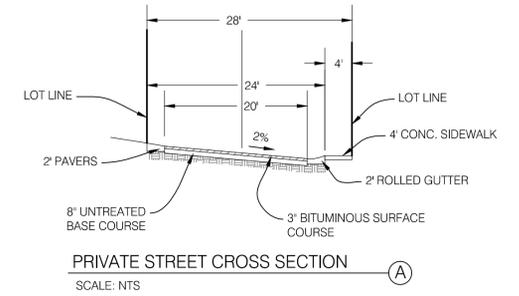
Pipe capacity calculations for the new 15" diameter pipe:

$$Q = \frac{1.486}{n} \cdot A \cdot R_h^{2/3} \cdot S^{1/2} \quad k = 1.486 \quad n = 0.013 \quad A = \pi \cdot (0.625 ft)^2 = 1.23 ft^2$$

$$R_h = \frac{\pi r^2}{2\pi r} = \frac{r}{2} = \frac{0.625 ft}{2} = 0.313 ft \quad S = 0.324 \text{ (min slope provided)}$$

$$Q = \frac{1.486}{0.013} \cdot 1.23 \cdot 0.313^{2/3} \cdot 0.324^{1/2} = 36.89 cfs$$

- NOTES:
- THE DEVELOPER SHALL BE REQUIRED TO PERMANENTLY CONTAIN ALL GENERATED WATER ON HIS OWN PROPERTY OR ROUTED TO AN APPROVED SALT LAKE COUNTY STORM DRAINAGE SYSTEM.
 - THE DEVELOPER SHALL GRADE THIS PROPERTY IN ACCORDANCE WITH THE APPROVED SITE GRADING AND LOT DRAINAGE PLAN SO AS NOT TO DISCHARGE ANY ADDITIONAL STORM WATER ONTO ADJACENT PROPERTIES.
 - SALT LAKE COUNTY WILL NOT ASSUME ANY RESPONSIBILITY FOR THE MAINTENANCE OF THE PONDS OR PRIVATE STORM DRAIN SYSTEMS.

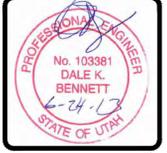


SURVEY CONTROL NOTE:
 THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

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NO.	DATE	DESCRIPTION
1	06/19/13	REVISED PER COUNTY & CLIENT COMMENTS
2	06/24/13	REVISED PER COUNTY & CLIENT COMMENTS

SCALE: MEASURES IN CHON ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



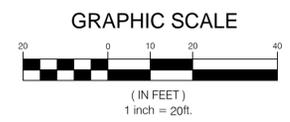
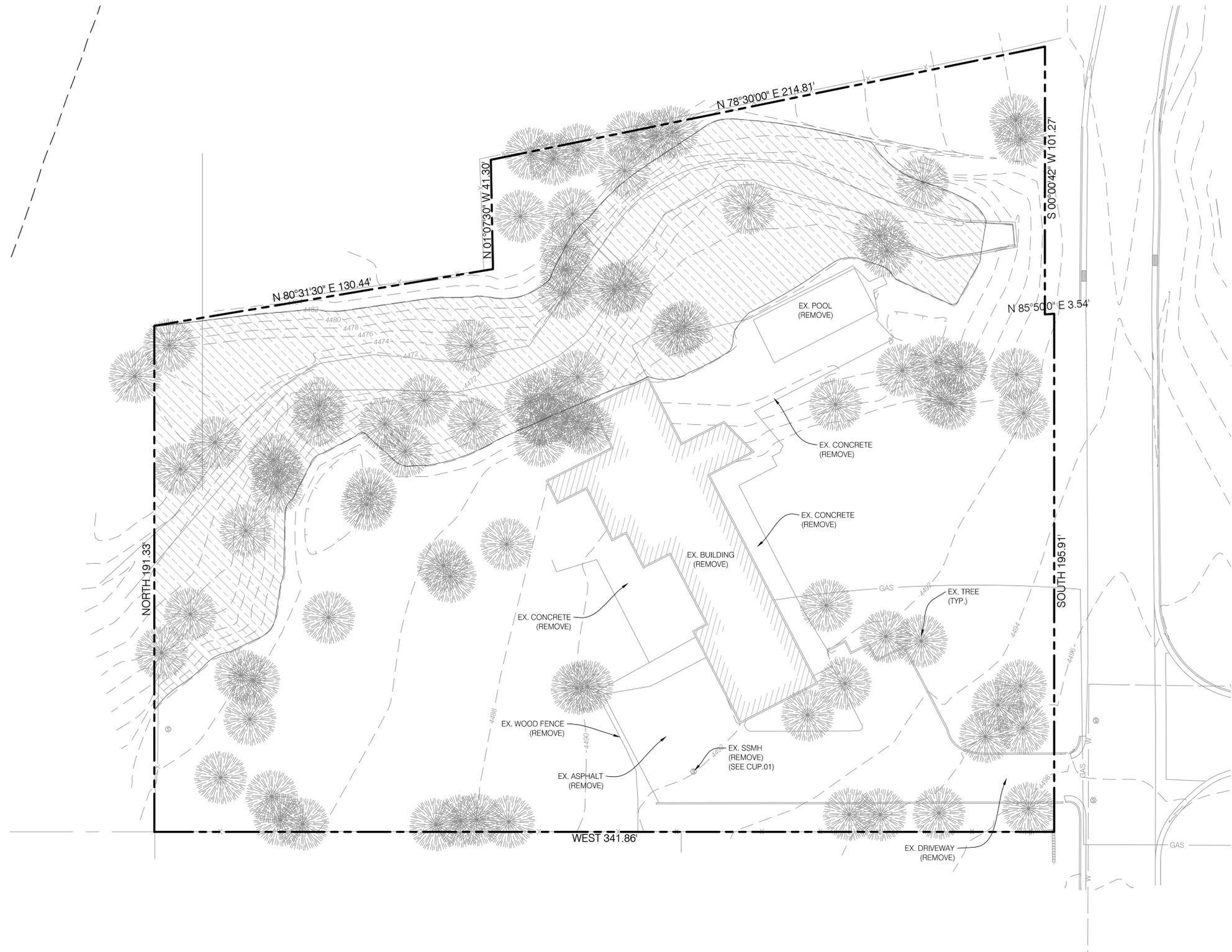
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CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

PROJECT NO. 1303030
GRADING & DRAINAGE PLAN
 CGD.01
 5 OF 8

PRELIMINARY



NOTES:
 1. SEE LANDSCAPE PLANS FOR INFORMATION REGARDING EXISTING TREES.
 2. CONSULT OWNER & LANDSCAPE PLANS BEFORE REMOVAL OR RELOCATION OF ANY TREES.

NO.	DATE	DESCRIPTION
1	06/19/13	REVISED PER COUNTY & CLIENT COMMENTS
2	06/24/13	REVISED PER COUNTY & CLIENT COMMENTS

DRAWN BY	FBA/RPD
CHECKED BY	DNB
FIELD CREW	DH
DATE	04/03/13
PROJECT FILE	130303061B



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PROJECT NO. 1303030
DEMOLITION PLAN
 CDP.01
 6 OF 8

PRELIMINARY

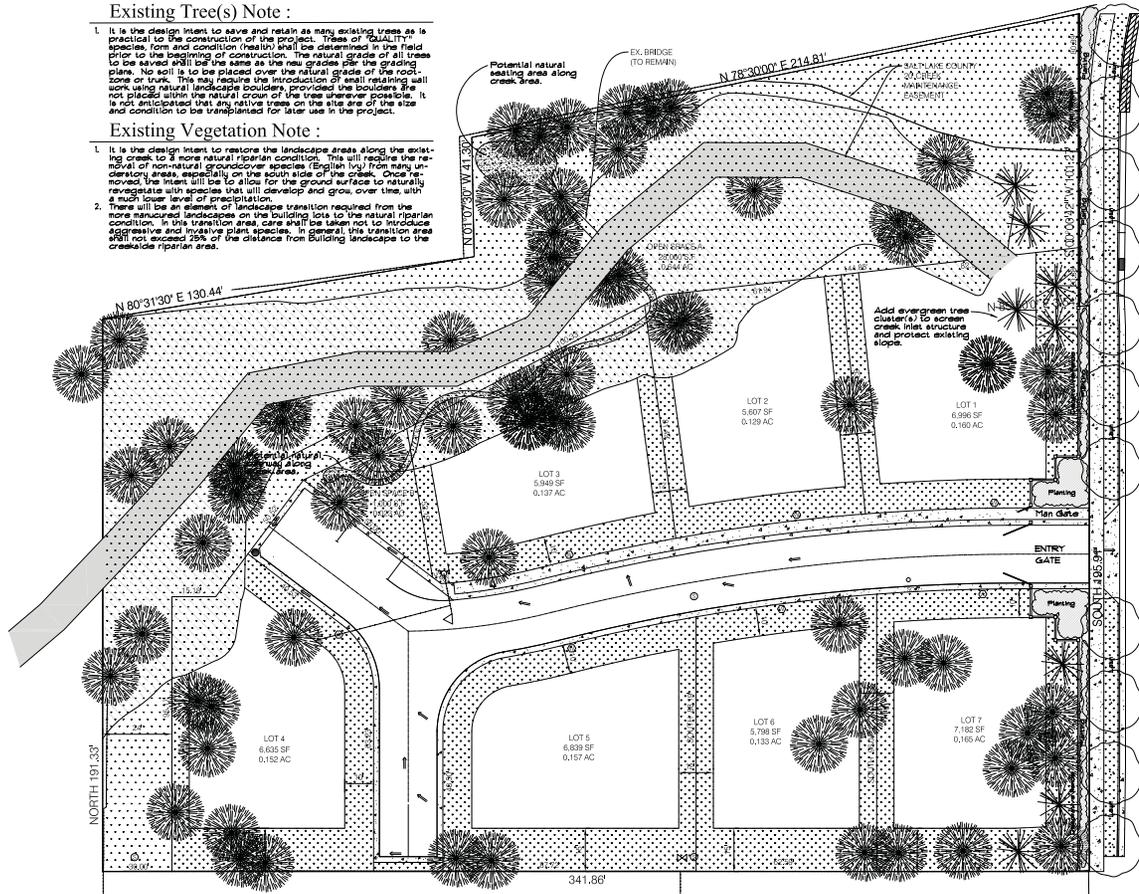
Existing Tree(s) Note:

1. It is the design intent to save and retain as many existing trees as is practical to the construction of the project. Trees of QUALITY, species form and condition (health) shall be determined in the field prior to the beginning of construction. The natural grade of all trees to be saved shall be the same as the natural grade of the grading plan. No soil is to be placed over the natural grade of the root zone. The contractor may require the introduction of soil retaining wall work using natural landscape boulders, provided the boulders are placed on the natural grade of the site. The contractor shall be responsible for the protection of existing trees. It is not anticipated that any native trees on the site are of the size and condition to be transplanted for later use in the project.

Existing Vegetation Note:

1. It is the design intent to restore the landscapes areas along the existing creek to a more natural riparian condition. This will require the removal of non-native groundcover species (English Ivy) from many under-story areas, especially on the south side of the creek. Once removed, the intent will be to allow for the ground surface to naturally revegetate with species that will develop and grow over time, with a much lower level of prescription.

2. There will be a transition of landscape transition required from the more manicured landscape on the building lots to the natural riparian condition. In this transition area, care shall be taken not to introduce aggressive and invasive plant species. In general, this transition area shall not exceed 20% of the distance from building landscape to the creekside riparian area.



Suggested Plant List (TREES)

#/20	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2-Med	NA	(Symbol)	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	2" Caliper 8'-10" Height	Matched Heads Straight Trunks
2-Med	NA	(Symbol)	Gleditsia triacanthos 'Shademaster'	Shademaster Honeylocust	2 1/2" Caliper 10'-12" Height	Matched Heads Straight Trunks
2-Med	NA	(Symbol)	Picea abies 'Cupressita'	Cupressita Columar Spruce	6' Min. Height B 4 B	Matched Full Width
2-Med	NA	(Symbol)	Flyas calleryana 'Chanticleer'	Chanticleer Flowering Pear	2" Caliper 8'-10" Height	Matched Heads Straight Trunks
2-Med	NA	(Symbol)	Zelcova serrata 'Massequino'	Massequino Columar Zelcovas	2 1/2" Caliper 10'-12" Height	Matched Heads Straight Trunks

Suggested Plant List (SHRUBS)

#/20	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1-Med	NA	(Symbol)	Cornus alba 'Ivory Halo'	Variiegated Red Dogwood	9 Gallon	18"-24" Height
1-Low	NA	(Symbol)	Physocarpus opul. 'Summer Wine'	Summer Wine Ninebark	9 Gallon	18"-24" Height
1-Low	NA	(Symbol)	Rhus aromatica 'Glow Low'	Glow Low Sumac	9 Gallon	18"-24" Spread
2-Med	NA	(Symbol)	Rosa species 'Knockout Red'	Red Knockout Rose	9 Gallon	18"-24" Height
2-Med	NA	(Symbol)	Spiraea Japonica 'Little Princess'	Little Princess Spiraea	9 Gallon	15"-18" Height
2-Med	NA	(Symbol)	Spiraea Japonica 'Neon Flash'	Neon Flash Spiraea	9 Gallon	15"-18" Height
0-Low	NA	(Symbol)	Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	9 Gallon	15"-18" Height

Suggested Plant List (GRASSES/PERENNIALS)

#/20	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1-Low	NA	(Symbol)	Calamagrostis a. 'Karl Foerster'	Karl Foerster Feather Grass	9 Gallon	24"-30" Height
1-Low	NA	(Symbol)	Calamagrostis acutiflora 'Overdan'	Overdan Feather Grass	9 Gallon	24"-30" Height
1-Low	NA	(Symbol)	Festuca ovina 'Boulder Blue'	Boulder Blue Fescue	2 Gallon	12"-15" Height
2-Med	NA	(Symbol)	Hemerocallis x. 'Stella d'Oro'	Stella d'oro Day Lily	2 Gallon	12"-15" Height
1-Low	NA	(Symbol)	Panicum virgatum 'Shenandoah'	Shenandoah Dutch Grass	9 Gallon	24"-30" Height
0-Low	NA	(Symbol)	Pennisetum alopecuroides 'Hemeln'	Hemeln Dwarf Fountain Grass	2 Gallon	12"-15" Height

* Plant material quantities are provided for convenience ONLY. The contractor shall supply all items specified, whether shown or noted on the drawings.

Suggested Planting Notes

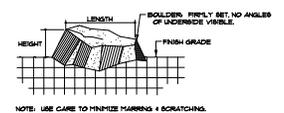
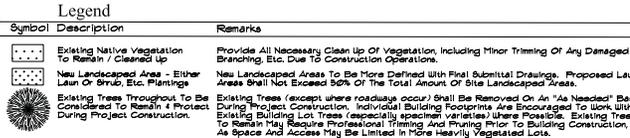
- All shrub planting areas shall receive as 8 inch depth of topsoil, all lawn areas a 4 inch depth of topsoil. Topsoil is not available at the site and must be imported from an approved source. All topsoil shall be of a sandy loam consistency. The contractor shall supply a sample and soil analysis from the supplier and comply with all topsoil quality guidelines as specified.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a 6 inch depth by the use of mechanical means in order to create a transition layer between soils and promote root penetration in compacted soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper (2 inches for trees). Scarify planting pit bottom and sides to promote root penetration in compacted soils. Excavated materials not to be re-used on site shall be removed from site.
- Soil backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation. A pre-mixed soil medium can be used as an alternative.
- Plant fertilizer shall be Agriform brand 21 gram tablets used as per recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of the ground bark mulch cover. The actual bed area shall receive a 4 inch depth of shredded bark mulch. The tree shall receive a granular pre-emergent herbicide prior to placement. All planting areas shall receive "Durofl" Pro-B used barrier fabric beneath shredded bark mulch.
- All trees located in lawn areas shall receive an arbor guard trunk protector and/or equal. Provide a plant-free mulched area with a minimum radius of four (4) feet around the trunk, in order to protect the trunk from turf maintenance operations and expedite tree root establishment.
- All lawn areas shall be installed using a water conservative mixture, and shall be composed of "Bella Blue" seedling material, supplied by Biodiverse Seed Farm, Inc. Bandy, Utah contact phone number (801) 862-3000.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days min) and shall include mowing, weeding, pruning and one fertilization, in addition to any irrigation adjustments that may be needed during the period.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if necessary, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than (1) year following the date of completion and project acceptance by the Owner.

Following General Notes

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified tools.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate the work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and show on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

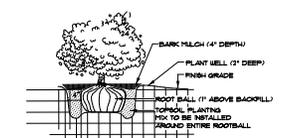
Open Space Area B (Play Area)

- The design intent of this area is to provide for a natural play experience, retaining the existing trees where possible. In addition to introducing play features using natural materials, etc.
- The proposed natural pathway shall be incorporated into the play area, providing access to the other areas along the creek.
- The exact design of proposed play features will depend on the available area outside the envelope of any existing trees and natural vegetation to remain. This will also depend on the coordination of design with the landscape areas during building lot 13.

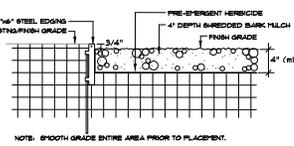


NOTE: USE CARE TO FINISH MARKING & BOUNDARIES.

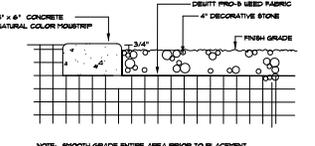
1 Landscape Boulder
N.T.S.



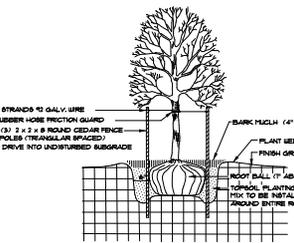
2 Shrub Planting
N.T.S.



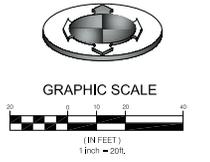
3 Steel Edging / Bark Mulch
N.T.S.



4 Mowstrip / Stone Mulch
N.T.S.



5 Tree Planting
N.T.S.



Landscape Architect
rdl Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-641-3114
Email : rdl@designconcepts.net



DESCRIPTION: [Blank]

DATE: [Blank]

PROJECT NO. 106300

ROBERT D. LIEN

STATE OF UTAH

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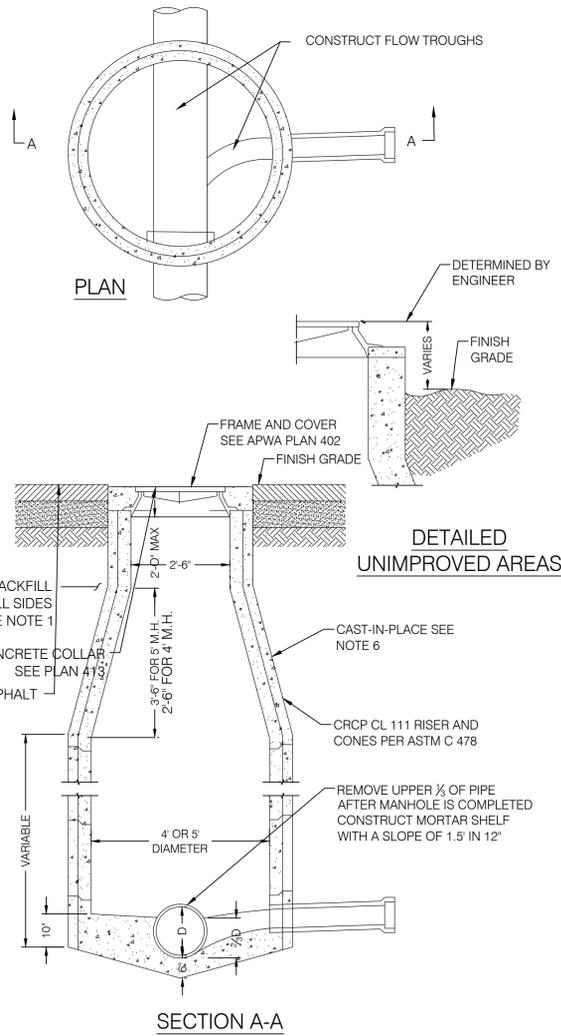
BENCHMARK CIVIL

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SALT LAKE COUNTY, UTAH

PROJECT NO. NA

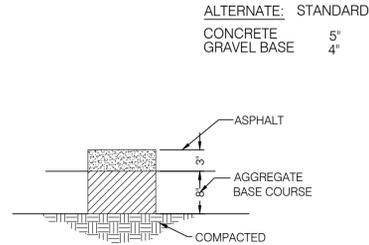
CONCEPTUAL LANDSCAPE PLAN

L101



SEWER MANHOLE
SCALE: N.T.S. (APWA PLAN NO. 411)

1



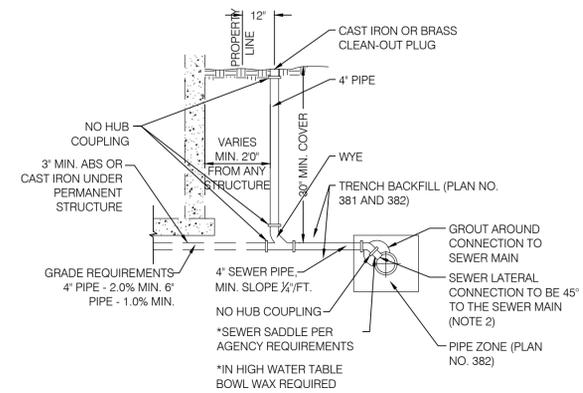
STANDARD DUTY PAVEMENT

NOTE:
1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER
2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.

PAVEMENT SECTIONS

SCALE: N.T.S.

2



SECTION

NOTES:

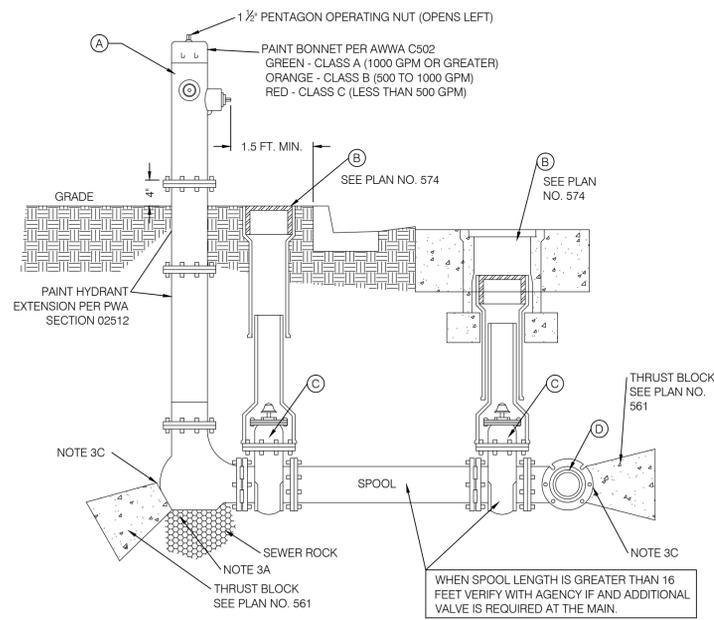
- INSPECTION:
 - PRIOR TO INSTALLATION, SECURE ACCEPTANCE BY ENGINEER FOR ALL PIPE, FITTINGS, AND COUPLINGS TO BE USED.
 - PRIOR TO BACKFILLING, SECURE INSPECTION OF INSTALLATION BY ENGINEER. GIVE AT LEAST 24 HOUR NOTICE.
- INSTALLATION:
 - PROVIDE AGENCY APPROVED WYE OR TEE WITH APPROPRIATE DONUT. VERIFY WHETHER CONTRACTOR OR AGENCY IS TO INSTALL THE WYE.
 - TAPE WRAP PIPE AS REQUIRED BY SOIL CONDITIONS.
 - REMOVE CORE PLUG FROM SEWER MAIN. DO NOT BREAK INTO SEWER MAIN TO MAKE CONNECTION.
 - STAINLESS STEEL STRAPS REQUIRED.
- BACKFILL: PROVIDE AND PLACE PER APWA SECTION 02321. COMPACT PER APWA SECTION 02324 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8 INCHES BEFORE COMPACTION.

SEWER LATERAL CONNECTION

SCALE: N.T.S.

(APWA PLAN NO. 431)

3



LEGEND			
NO.	*	ITEM	DESCRIPTION
(A)		FIRE HYDRANT	AWWA C502
(B)		2 PC VALVE BOX	CAST IRON
(C)		GATE VALVE WITH 2"x2" NUT	AWWA C509
(D)		TEE WITH 125 # FLANGE	AWWA C110

NOTES:

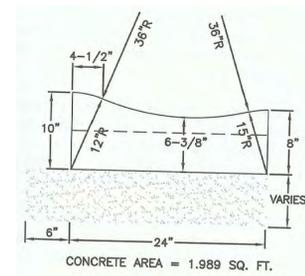
* FURNISHED BY UTILITY AGENCY

- INSPECTION: PRIOR TO BACKFILLING, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
- BACKFILL: PROVIDE AND PLACE PER APWA SECTION 02321. COMPACT PER APWA SECTION 02324 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8 INCHES BEFORE COMPACTION.
- HYDRANT: DRY BARREL PER AWWA C502. ADDITIONAL WATER SYSTEM REQUIREMENTS ARE SPECIFIED IN APWA SECTION 02510.
 - PROVIDE AT LEAST 1 CUBIC YARD OF APWA SECTION 02060 SEWER ROCK AROUND DRAIN HOLE AT BASE OF HYDRANT. WRAP PLASTIC OVER SEWER ROCK TO PREVENT SILTING.
 - PAINT FIRE HYDRANT TO AGENCY'S FIRE HYDRANT PAINT CODE.
 - APPLY POLY-FM GREASE TO ALL BURIED METAL SURFACES. WRAP WITH 8 MIL THICK POLYETHYLENE SHEET AND TAPE WRAP.
 - NOTIFY FIRE DEPARTMENT AS SOON AS HYDRANT IS PLACED IN SERVICE.
- THRUST BLOCKS:
 - PRIOR TO POURING CONCRETE, WRAP PIPE SYSTEM WITH 8 MIL THICK PLASTIC SHEET TO PREVENT BONDING OF CONCRETE TO PIPE SYSTEM.
 - NOT REQUIRED FOR FLANGE OR WELDED PIPE SYSTEMS.

FIRE HYDRANT DETAIL

SCALE: N.T.S. (APWA PLAN NO. 511)

4



Type G

NOTES:

- UNTREATED BASE COURSE: PROVIDE MATERIAL SPECIFIED IN APWA SECTION 32 11 23.
 - DO NOT USE GRAVEL AS A SUBSTITUTE FOR UNTREATED BASE COURSE WITHOUT ENGINEER'S PERMISSION.
 - IF FLOW LINE GRADE IS GREATER THAN 0.5 PERCENT (0.005), PROVIDE 6 INCHES UNCOMPACTED THICKNESS. IF LESS, PROVIDE 8 INCHES UNCOMPACTED THICKNESS.
- CONCRETE: CLASS 4000 PER APWA SECTION 03 30 04.
 - IF NECESSARY, PROVIDE CONCRETE THAT ACHIEVES DESIGN STRENGTH IN LESS THAN 7 DAYS. CAUTION: CONCRETE CRAZING (SPIDER CRACKS) MAY DEVELOP IF AIR TEMPERATURE EXCEEDS 90 DEGREES F.
 - PLACE CONCRETE PER APWA SECTION 03 30 10.
 - PROVIDE 1/2 INCH RADIUS ON CONCRETE EDGES EXPOSED TO PUBLIC VIEW.
 - CURE CONCRETE PER APWA SECTION 03 39 00 WITH TYPE ID CLASS A OR B (CLEAR WITH FUGITIVE DYE) MEMBRANE FORMING COMPOUND UNLESS SPECIFIED OTHERWISE.
- EXPANSION JOINT: MAKE EXPANSION JOINTS VERTICAL, FULL DEPTH, 1/2 INCH WIDE WITH TYPE F1 JOINT FILLER MATERIAL PER APWA SECTION 32 13 73.
 - SET TOP OF FILLER MATERIAL PER APWA SECTION 32 13 73.
 - EXPANSION JOINTS ARE REQUIRED AT THE START OR END OF A STREET INTERSECTION CURB RETURN.
 - EXPANSION JOINTS ARE NOT REQUIRED IN SLIP FORM WORK.
- CONTRACTION JOINT: MAKE CONTRACTION JOINTS VERTICAL.
 - 1/8 INCH WIDE AND 2 INCH DEEP OR 1/4 SLAB THICKNESS IF SLAB IS GREATER THAN 8 INCHES THICK.
 - IF NECESSARY, MATCH LOCATION OF CONTRACTION JOINTS IN PORTLAND CEMENT CONCRETE ROADWAY PAVEMENTS.
- REINFORCEMENT: ASTM A 615, GRADE 60, GALVANIZED OR EPOXY COATED DEFORMED STEEL. SEE APWA SECTION 03 20 00 REQUIREMENTS.
- FINISH: BROOMED.
- PROTECTION AND REPAIR:
 - FILL FLOW LINE WITH WATER. REPAIR CONSTRUCTION THAT DOES NOT DRAIN.
 - PROTECT CONCRETE FROM BEING CHEMICALLY DURING CURE.

ROLLED GUTTER

SCALE: N.T.S.

(APWA 2007 PLAN NO. 205)

5

NO.	DATE	DESCRIPTION
1	06/19/13	REVISED PER COUNTY & CLIENT COMMENTS
2	06/24/13	REVISED PER COUNTY & CLIENT COMMENTS

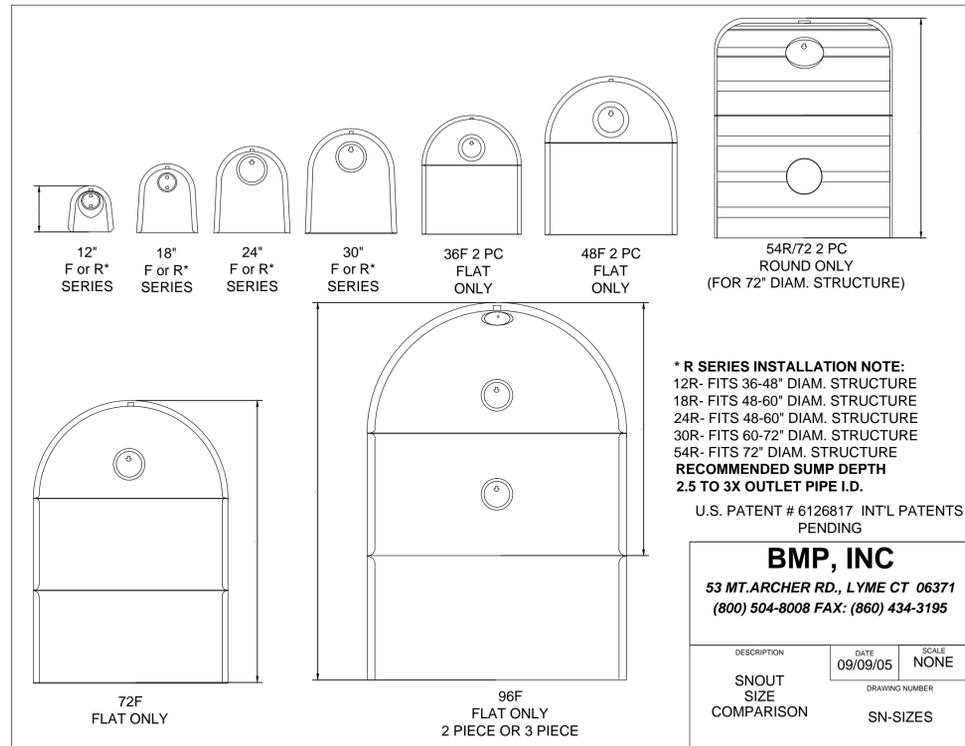


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SALT LAKE COUNTY, UTAH

PROJECT NO. 1303030
DETAILS & NOTES
CDT.01
7 OF 8

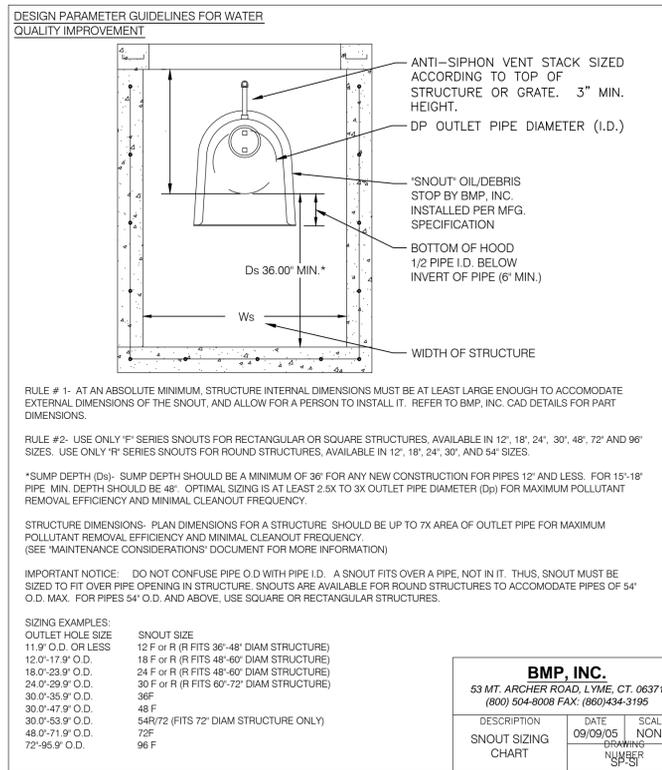
PRELIMINARY



*** R SERIES INSTALLATION NOTE:**
 12R- FITS 36-48" DIAM. STRUCTURE
 18R- FITS 48-60" DIAM. STRUCTURE
 24R- FITS 48-60" DIAM. STRUCTURE
 30R- FITS 60-72" DIAM. STRUCTURE
 54R- FITS 72" DIAM. STRUCTURE
**RECOMMENDED SUMP DEPTH
 2.5 TO 3X OUTLET PIPE I.D.**
 U.S. PATENT # 6126817 INT'L PATENTS
 PENDING

BMP, INC
 53 MT. ARCHER RD., LYME CT 06371
 (800) 504-8008 FAX: (860) 434-3195

DESCRIPTION	DATE	SCALE
SNOUT SIZE COMPARISON	09/09/05	NONE
DRAWING NUMBER		SN-SIZES



RULE # 1- AT AN ABSOLUTE MINIMUM, STRUCTURE INTERNAL DIMENSIONS MUST BE AT LEAST LARGE ENOUGH TO ACCOMMODATE EXTERNAL DIMENSIONS OF THE SNOUT, AND ALLOW FOR A PERSON TO INSTALL IT. REFER TO BMP, INC. CAD DETAILS FOR PART DIMENSIONS.

RULE #2- USE ONLY 'F' SERIES SNOUTS FOR RECTANGULAR OR SQUARE STRUCTURES, AVAILABLE IN 12", 18", 24", 30", 48", 72" AND 96" SIZES. USE ONLY 'R' SERIES SNOUTS FOR ROUND STRUCTURES, AVAILABLE IN 12", 18", 24", 30", AND 54" SIZES.

*SUMP DEPTH (Ds)- SUMP DEPTH SHOULD BE A MINIMUM OF 36" FOR ANY NEW CONSTRUCTION FOR PIPES 12" AND LESS. FOR 15"-18" PIPE MIN. DEPTH SHOULD BE 48". OPTIMAL SIZING IS AT LEAST 2.5X TO 3X OUTLET PIPE DIAMETER (Dp) FOR MAXIMUM POLLUTANT REMOVAL EFFICIENCY AND MINIMAL CLEANOUT FREQUENCY.

STRUCTURE DIMENSIONS- PLAN DIMENSIONS FOR A STRUCTURE SHOULD BE UP TO 7X AREA OF OUTLET PIPE FOR MAXIMUM POLLUTANT REMOVAL EFFICIENCY AND MINIMAL CLEANOUT FREQUENCY. (SEE 'MAINTENANCE CONSIDERATIONS' DOCUMENT FOR MORE INFORMATION)

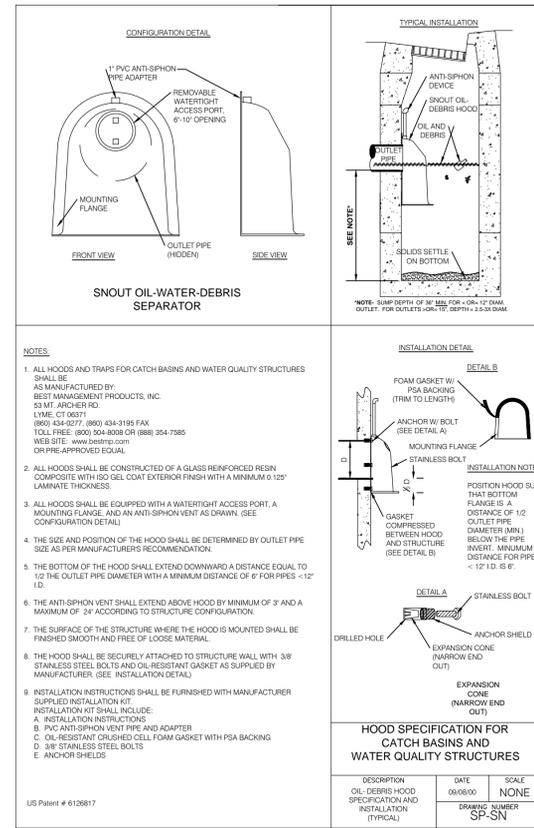
IMPORTANT NOTICE: DO NOT CONFUSE PIPE O D WITH PIPE I.D. A SNOUT FITS OVER A PIPE, NOT IN IT. THUS, SNOUT MUST BE SIZED TO FIT OVER PIPE OPENING IN STRUCTURE. SNOUTS ARE AVAILABLE FOR ROUND STRUCTURES TO ACCOMMODATE PIPES OF 54" O.D. MAX. FOR PIPES 54" O.D. AND ABOVE, USE SQUARE OR RECTANGULAR STRUCTURES.

SIZING EXAMPLES:

OUTLET HOLE SIZE	SNOUT SIZE
12.0'-17.9' O.D.	12 F or R (R FITS 36"-48" DIAM STRUCTURE)
18.0'-23.9' O.D.	18 F or R (R FITS 48"-60" DIAM STRUCTURE)
24.0'-29.9' O.D.	24 F or R (R FITS 48"-60" DIAM STRUCTURE)
30.0'-35.9' O.D.	30 F or R (R FITS 60"-72" DIAM STRUCTURE)
36.0'-41.9' O.D.	36 F
42.0'-47.9' O.D.	48 F
48.0'-53.9' O.D.	54R/72 (FITS 72" DIAM STRUCTURE ONLY)
54.0'-61.9' O.D.	72 F
60.0'-67.9' O.D.	96 F

BMP, INC.
 53 MT. ARCHER ROAD, LYME, CT. 06371
 (800) 504-8008 FAX: (860) 434-3195

DESCRIPTION	DATE	SCALE
SNOUT SIZING CHART	09/09/05	NONE
DRAWING NUMBER		SN-SIZES



NOTES:

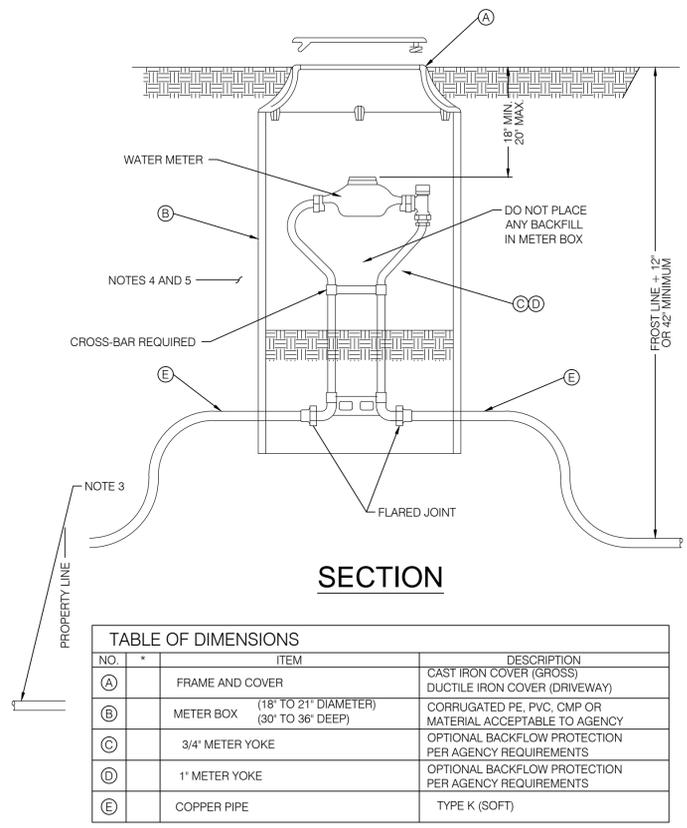
- ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY BEST MANAGEMENT PRODUCTS, INC. 33 MT. ARCHER RD. LYME, CT 06371. (860) 434-0277, (860) 434-3198 FAX. TOLL FREE: (800) 504-8008 OR (866) 354-7585. WEB SITE: www.bmpinc.com OR P.E. APPROVED ES&JAL.
- ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125" LAMINATE THICKNESS.
- ALL HOODS SHALL BE EQUIPPED WITH A WATER-TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL)
- THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
- THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 3" FOR PIPES < 12" I.D.
- THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3" AND A MAXIMUM OF 24" ACCORDING TO STRUCTURE CONFIGURATION.
- THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
- THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/16" STAINLESS STEEL BOLTS AND OIL-RESISTANT GASKET AS SUPPLIED BY MANUFACTURER (SEE INSTALLATION DETAIL).
- INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
 - INSTALLATION INSTRUCTIONS
 - PVC ANTI-SIPHON VENT PIPE AND ADAPTER
 - OIL-RESISTANT CRUSHED GELL FOAM GASKET WITH PSA BACKING
 - 3/16" STAINLESS STEEL BOLTS
 - ANCHOR SHIELDS

HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

DESCRIPTION	DATE	SCALE
OIL-DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	09/08/00	NONE
DRAWING NUMBER		SP-SN

SNOUT DETAILS
 SCALE: N.T.S.

1

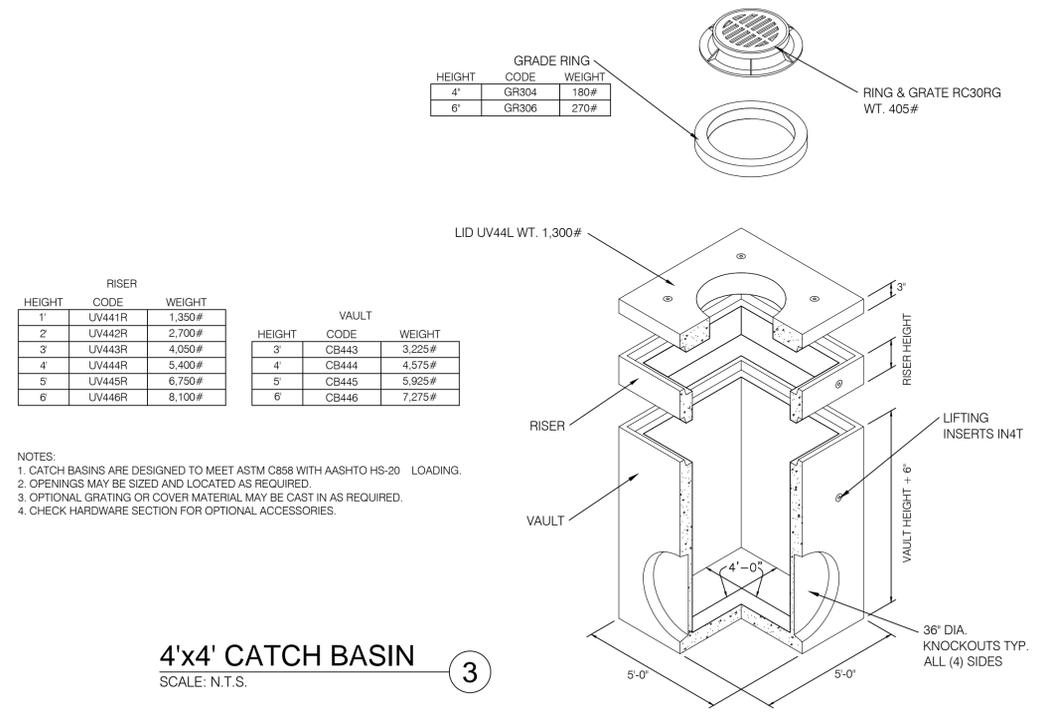


NOTES:

- METER PLACEMENT:**
 - IN NEW CONSTRUCTION, INSTALL METER AT CENTER OF LOT OR PER AGENCY REQUIREMENTS.
 - ALL METERS ARE TO BE INSTALLED IN THE PARK STRIP OR WITHIN 7 FEET OF THE PROPERTY LINE (STREET SIDE).
 - DO NOT INSTALL METERS UNDER DRIVEWAY APPROACHES, SIDEWALKS, OR CURB AND GUTTER.
- METER BOX:**
 - IN LANDSCAPED AREAS AND DRIVEWAY APPROACHES, SET BOX SO GRADE OF THE FRAME AND COVER MATCHES THE GRADE OF THE SURROUNDING SURFACE.
 - IN STREET SURFACES OR OTHER VEHICULAR TRAFFIC AREAS, PROVIDE THE SAME TYPE OF METER BOX AS REQUIRED FOR 1 1/2" AND 2" SERVICE METERS. SEE PLAN 522.
- PIPE:** COORDINATE WITH UTILITY AGENCY OR PROPERTY OWNER FOR TYPE OF PIPE TO BE USED OUTSIDE OF RIGHT-OF-WAY.
- INSPECTION:** PRIOR TO BACKFILLING AROUND METER BOX, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
- BACKFILL:** PROVIDE AND PLACE PER APWA SECTION 02321. COMPACT PER APWA SECTION 02324 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8 INCHES BEFORE COMPACTION.

1" WATER METER
 SCALE: N.T.S. (APWA PLAN NO. 521)

2



RISER			VAULT		
HEIGHT	CODE	WEIGHT	HEIGHT	CODE	WEIGHT
1'	UV441R	1,350#	3'	CB443	3,225#
2'	UV442R	2,700#	4'	CB444	4,575#
3'	UV443R	4,050#	5'	CB445	5,925#
4'	UV444R	5,400#	6'	CB446	7,275#
5'	UV445R	6,750#			
6'	UV446R	8,100#			

NOTES:

- CATCH BASINS ARE DESIGNED TO MEET ASTM C858 WITH AASHTO HS-20 LOADING.
- OPENINGS MAY BE SIZED AND LOCATED AS REQUIRED.
- OPTIONAL GRATING OR COVER MATERIAL MAY BE CAST IN AS REQUIRED.
- CHECK HARDWARE SECTION FOR OPTIONAL ACCESSORIES.

4'x4' CATCH BASIN
 SCALE: N.T.S.

3

PROJECT NO. 1303030

DETAILS & NOTES

CDT.02
8 OF 8

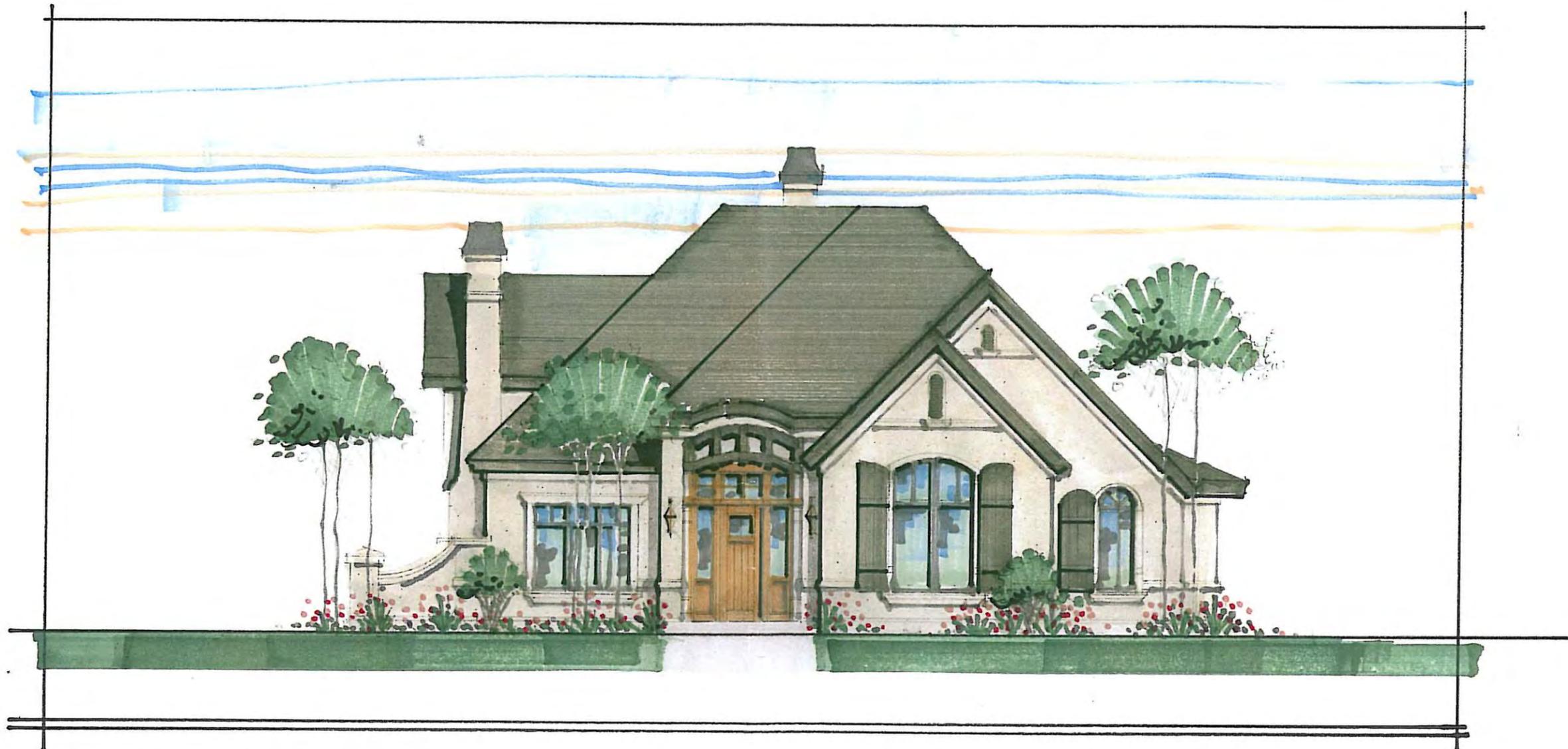
BENCHMARK ENGINEERING & LAND SURVEYING
 9130 SOUTH STATE STREET SUITE # 100
 SANDY, UTAH 84070 (801) 542-7192
 www.benchmarkcivil.com

PROFESSIONAL ENGINEER
 No. 103381
 DALE K. BENNETT
 6-24-07
 STATE OF UTAH

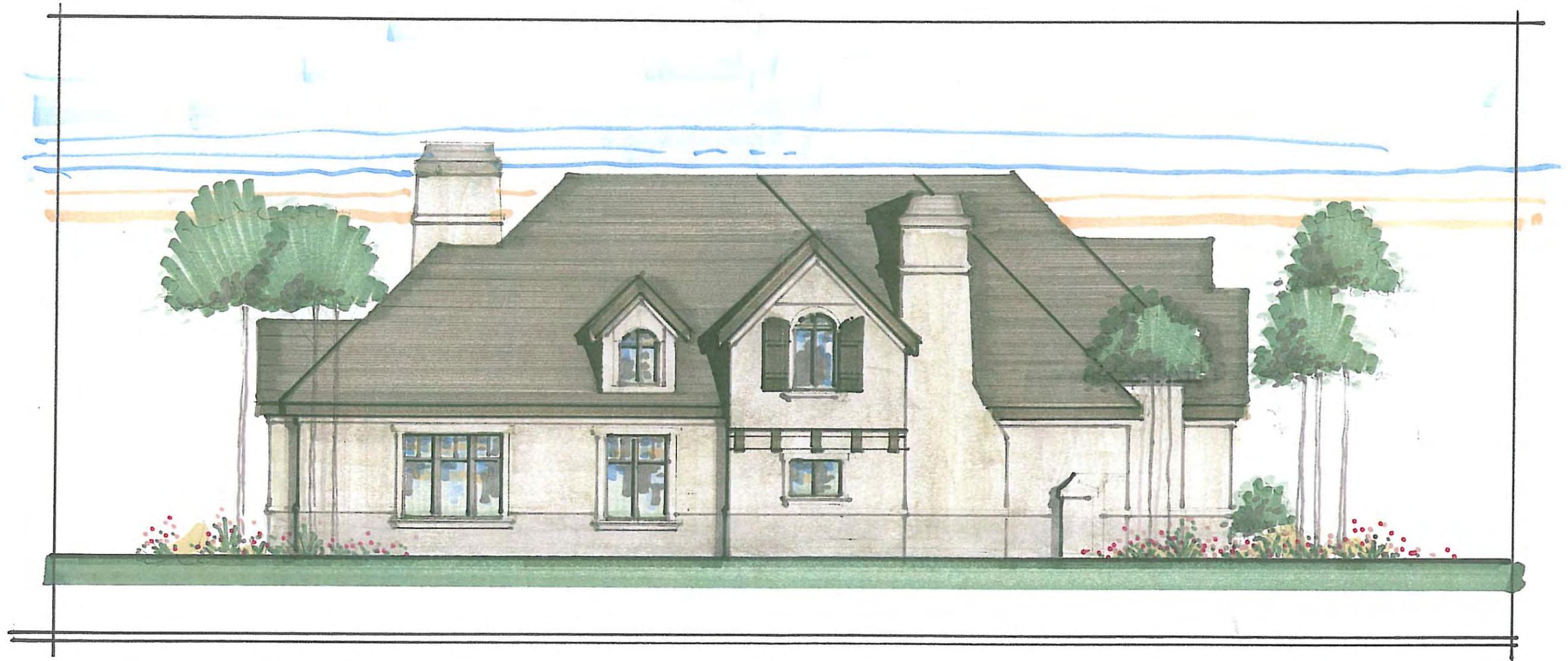
BENCHMARK CIVIL

CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

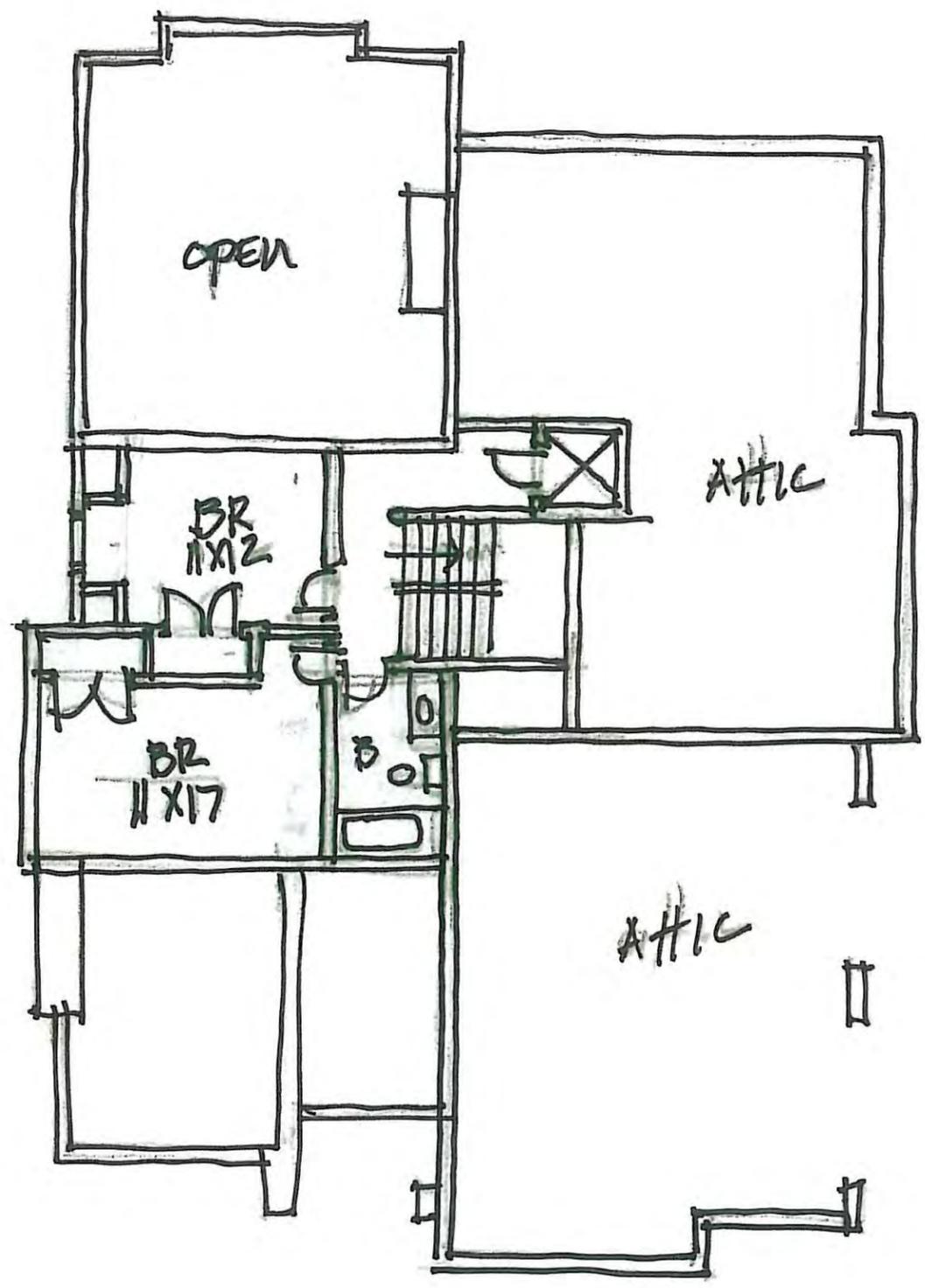
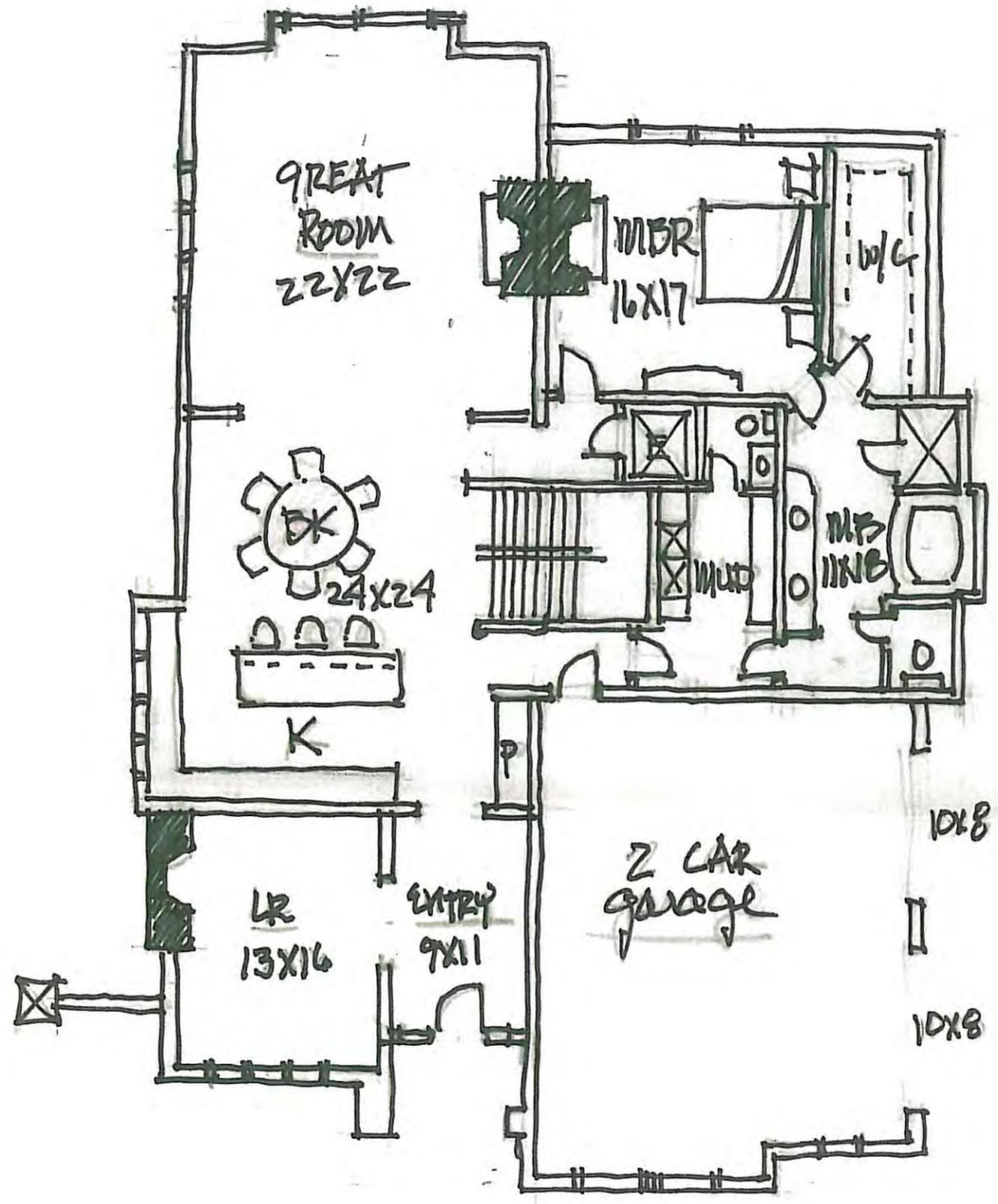
PRELIMINARY



HONEYCUT RESIDENCE



HONEYCUT RESIDENCE



2500 SF

HONEYCUT RESIDENCE

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