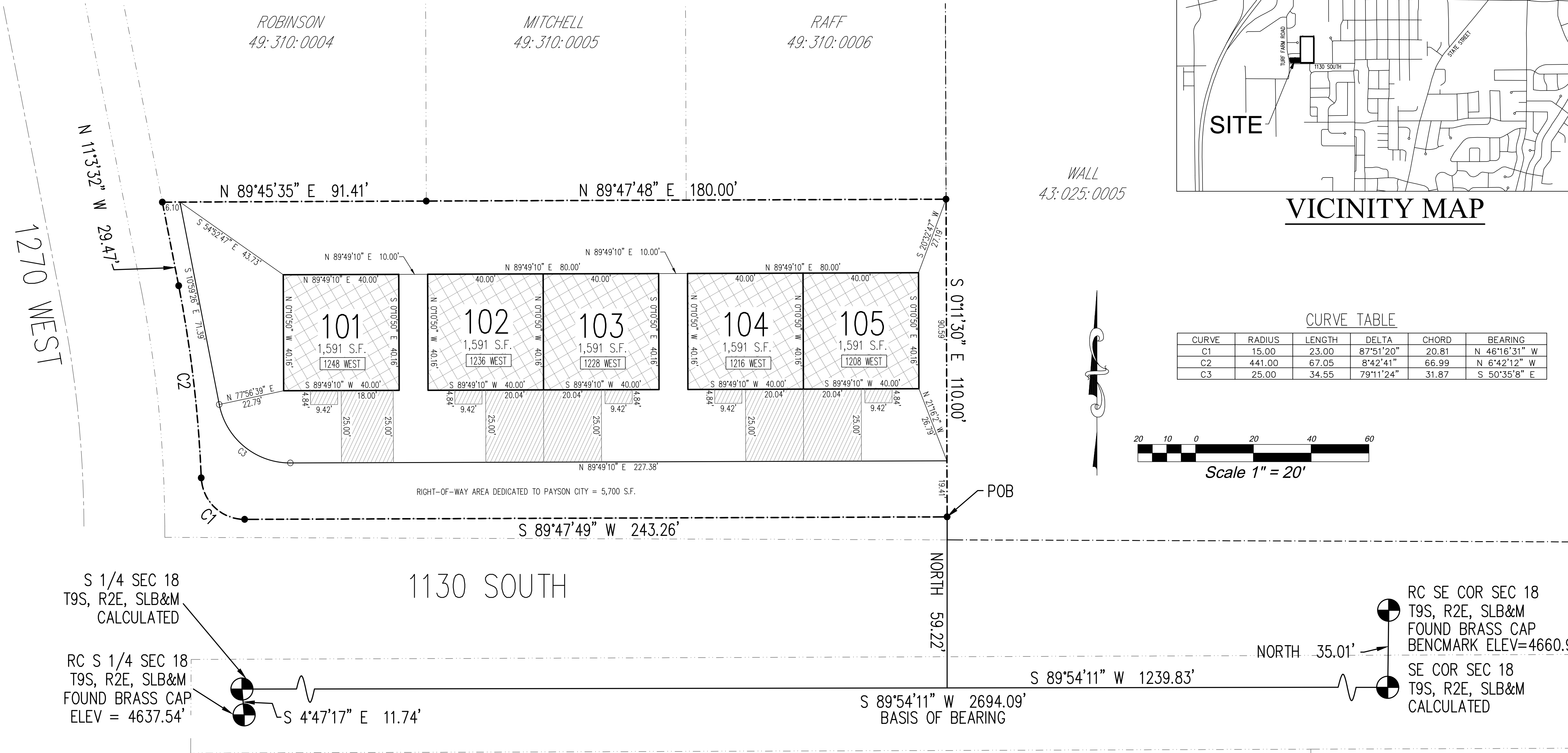


# IRON HORSE - PLAT "A"

## A PLANNED RESIDENTIAL COMMUNITY



### SURVEYOR'S CERTIFICATE

I, AARON D. THOMAS, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE #6418780 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND IN LOTS, STREETS AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

DATE

SURVEYOR (See Seal Below)

### BOUNDARY DESCRIPTION

Beginning at a point located South 89°54'11" West along section line 1239.83 feet and North 59.22 feet from the Southeast Corner of Section 18, Township 9 South, Range 2 East, Salt Lake Base and Meridian; thence South 89°47'49" West 243.26 feet; thence along the arc of a 15.00 foot radius curve to the right 23.00 feet through a central angle of 87°51'20" (chord bears North 46°16'31" West 20.81 feet); thence along the arc of a 441.00 foot radius curve to the left 67.05 feet through a central angle of 8°42'41" (chord bears North 6°42'12" West 66.99 feet); thence North 11°03'32" West 29.47 feet; thence North 89°45'35" East along the southerly boundary of Lot 4, Payson Meadows Plat "A" a distance of 91.41 feet; thence North 89°47'48" East along the southerly boundary of Lots 5 and 6 of said Payson Meadows Plat "A" a distance of 180.00 feet; thence South 0°11'30" East 110.00 feet to the point of beginning.

Area = 0.662 Acres

### OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_

### ACKNOWLEDGMENT

STATE OF UTAH S.S.  
COUNTY OF UTAH

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC (See Seal Below)

### ACCEPTANCE BY LEGISLATIVE BODY

THE MAYOR OF PAYSON CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC. THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

MAYOR

APPROVAL AS TO FORM

CITY ATTORNEY

APPROVED

ENGINEER (SEE SEAL BELOW)

ATTEST

CITY RECORDER (SEE SEAL BELOW)

### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY THE PAYSON CITY PLANNING COMMISSION.

DIRECTOR - SECRETARY

CHAIRPERSON, PLANNING COMMISSION.

PLAT "A"

## IRON HORSE

A PLANNED RESIDENTIAL COMMUNITY

CONTAINING 5 UNITS AND 0.662 ACRES  
LOCATED IN THE SOUTHEAST CORNER OF SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, UTAH COUNTY, UTAH.

CITY OF PAYSON, UTAH COUNTY, UTAH  
SCALE: 1" = 20 FEET

Surveyor's Seal

City Recorder Seal

City Engineer Seal

Utah County Recorder Seal

# IRON HORSE PHASE 1 FINAL PLANS

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## PLANNED RESIDENTIAL COMMUNITY

ADDRESS: 1130 SOUTH 1150 WEST

LOCATED IN SOUTHEAST CORNER OF SECTION 18  
TOWNSHIP 9 SOUTH, RANGE 2 EAST, SLB&M  
PAYSON, UTAH

CONSTRUCTION NOTES:

1. THE CONSTRUCTION DETAILS WILL NEED TO BE CONSISTENT WITH THE RECOMMENDATIONS IDENTIFIED IN THE GEOTECHNICAL REPORT PREPARED FOR THE PROJECT. THE GEOTECHNICAL REPORT INCLUDES A SOILS REPORT AND PAVEMENT DESIGN THAT WILL NEED TO BE INCORPORATED ALONG WITH THE DESIGN GUIDELINES AND STANDARD SPECIFICATIONS OF PAYSON CITY.

3. LIMITS OF DISTURBANCE INCLUDES THE ENTIRE PROPERTY.

4. ALL IMPROVEMENTS MUST BE COMPLETED IN ACCORDANCE WITH THE ADOPTED REGULATIONS, AND POLICIES OF PAYSON CITY. ANY PROPOSED CHANGES TO THE PROJECT DRAWINGS DURING THE CONSTRUCTION PHASE MUST BE APPROVED BY PAYSON CITY BEFORE THE WORK IS COMPLETED.

5. PRIOR TO THE IMPROVEMENT OF THE SITE AND CONSTRUCTION OF ANY STRUCTURES, ALL DEBRIS AND WASTE, INCLUDING UNUSED CONSTRUCTION MATERIALS AND ASPHALT WILL NEED TO BE REMOVED FROM THE SITE AND MAY NOT BE USED AS FILL MATERIAL.

6. ALL CONSTRUCTION TO CONFORM TO PAYSON CITY OR APWA  
STANDARD DETAILS & SPECIFICATIONS.

7. THIS IS AN PLANNED RESIDENTIAL COMMUNITY. THEREFORE, THERE WILL BE AN HOA AND CC&Rs.

FEMA FLOOD PLAIN

THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE WHICH IS THE 1% ANNUAL 100-YR FLOOD PLAIN WITH A BASE FLOOD ELEVATION DETERMINED IN THE NAVD88 VERTICAL DATUM. THE VERTICAL DATUM OF THIS SITE PLAN IS NVGD29 WHICH PUTS THE BASE FLOOD ELEVATIONS 3.5' LOWER IN COMPARISON. BASE FLOOD ELEVATIONS SHOWN ON THIS PLAN HAVE BEEN ADJUSTED TO THE NVGD29 DATUM.

MAP NUMBER: 49049C0744F, REVISED PRELIMINARY JANUARY 30, 2018.

BUILDINGS SHALL BE AT LEAST 1' ABOVE THE BASE FLOOD ELEVATION.  
THE LOWEST ELEVATION OF A PROPOSED BUILDING ON THIS SITE IS 4646.5.  
NO BASEMENTS ARE ALLOWED.

### GENERAL SUBDIVISION NOTES

1. PROPOSED ZONE: R1-9000 WITH RMO-1 TWO-FAMILY RESIDENTIAL OVERLAY
2. ALL CONSTRUCTION TO CONFORM TO PAYSON CITY STANDARDS AND SPECIFICATIONS.
3. ANY EXISTING WELLS ON THIS PROPERTY ARE TO BE ABANDONED & CAPPED BY A LICENSED WELL DRILLER.

WATER, SEWER, & STORM DRAIN DETAILS:

SEE PAYSON STANDARD DRAWINGS FOR DETAILS ON CULINARY & SECONDARY WATER,  
SEWER, AND STORM DRAIN.

## PHASE 1 TABULATIONS

TOTAL AREA:	28,854 S.F.	0.662 ACRES	100%
ROADWAY AREA:	5,700 S.F.	0.131 ACRES	19.6%
BUILDABLE LOT AREA:	7,955 S.F.	0.183 ACRES	27.6%
DRIVES/PORCHES	2,759 S.F.	0.063 ACRES	9.6%
OPEN SPACE	5	--	
TOTAL UNITS	12,440 S.F.	0.286 ACRES	
AVERAGE LOT AREA USING TOTAL AREA:	5,771 S.F.	0.132 ACRES	
AVERAGE LOT AREA USING BUILDABLE AREA:	1,591 S.F.	0.037 ACRES	

PROPOSED ZONE: R1-9000 WITH RMO-1 TWO-FAMILY RESIDENTIAL OVERLAY

## VICINITY MAP



PROJECT PHASING:

THE ENTIRE SITE IS TO BE CONSTRUCTED IN THREE PHASES.  
SEE PRELIMINARY PLAN FOR FUTURE PHASE DELINEATION.

## CIVIL SHEET INDEX

C1	TITLE SHEET
C2	SITE/HORIZONTAL CONTROL PLAN
U1	WATER, SEWER, POWER, LIGHT & UTILITY PLAN
U2	FIRE & RESCUE PLAN
G1	GRADING & DRAINAGE PLAN
SWP1	EROSION CONTROL PLAN
D1	DETAIL SHEET


## NOTES TO CONTRACTOR

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

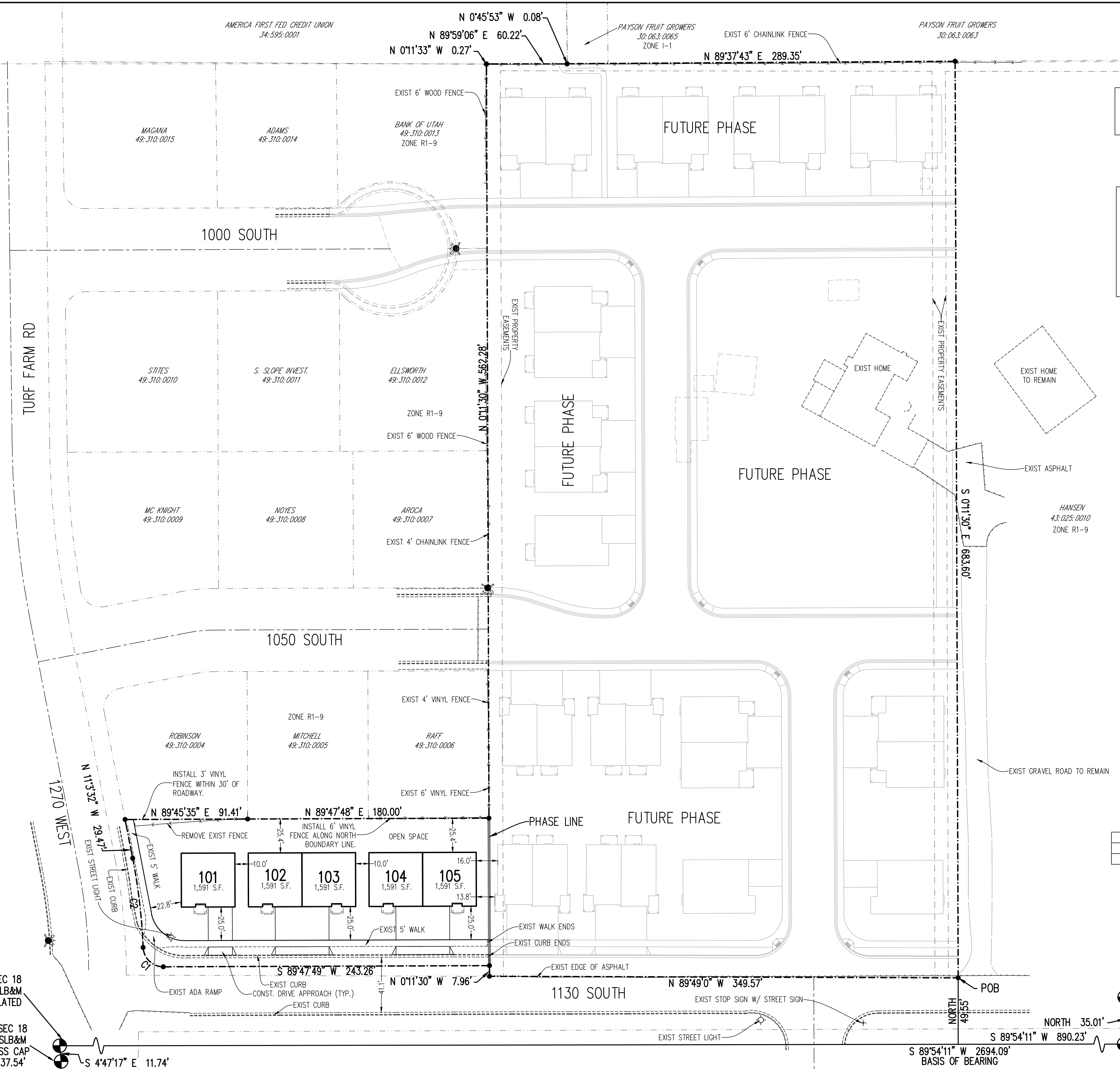
## OVERALL LEGAL DESCRIPTION

Beginning at a point located South 89°54'11" West along section line 890.23 feet and North 49.55 feet from the Southeast Corner of Section 18, Township 9 South, Range 2 East, Salt Lake Base and Meridian; thence North 89°49'00" West 349.57 feet; thence North 0°11'30" West 7.96 feet; thence South 89°47'49" West 243.26 feet; thence along the arc of a 15.00 foot radius curve to the right 23.00 feet through a central angle of 87°51'20" (chord bears North 46°16'31" West 20.81 feet); thence along the arc of a 441.00 foot radius curve to the left 67.05 feet through a central angle of 8°42'41" (chord bears North 6°42'12" West 66.99 feet); thence North 11°03'32" West 29.47 feet; thence North 89°45'35" East along the southerly boundary of Lot 4, Payson Meadows Plat "A" a distance of 91.41 feet; thence North 89°47'48" East along the southerly boundary of Lots 5 and 6 of said Payson Meadows Plat "A" a distance of 180.00 feet; thence North 0°11'30" West along the easterly boundary of said Payson Meadows Plat "A" a distance of 562.28 feet; thence along the southerly boundary of AFFCU Payson Subdivision the following two courses and distances: 1) North 0°11'33" West 0.27 feet, and 2) North 89°59'06" East 60.22 feet; thence North 0°45'53" West 0.08 feet; thence North 89°37'43" East along a fence line 289.35 feet; thence South 0°11'30" East 683.60 feet to the point of beginning.

Area = 6.135 Acres

BENCH MARK		REVISIONS			Developer: SWIFT CREEK PROPERTIES		IRON HORSE - PHASE 1			
SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29	Rev.	Date	Description	<div>Rob McNeel Phone: 801-860-5500 Email: swiftcreekproperties@gmail.com</div> <div> David W. Peterson, P.E., License #2703581 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; dwp@excel-eng.com</div>	PAYSON PLANNED RESIDENTIAL COMMUNITY UTAH		Drawn by: D.W.P.	TITLE SHEET	Scale: NTS	
					Designed by: D.W.P.	Date: 08/18/20				
					Checked by: D.W.P.	C1				





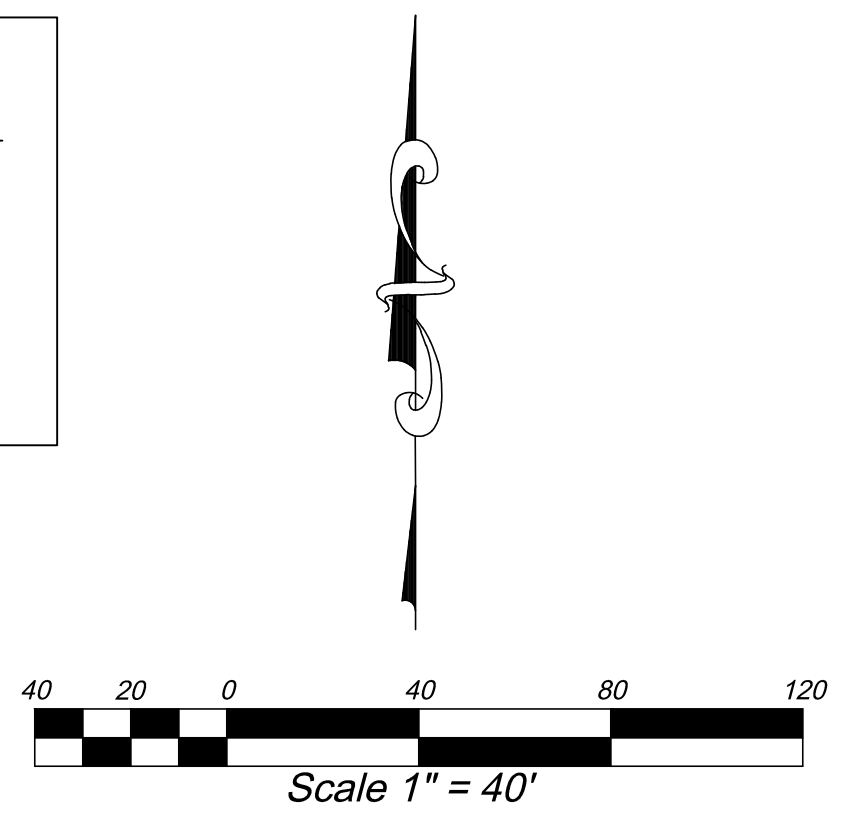
**EASEMENT NOTE**  
ALL OPEN SPACE IS A PUBLIC UTILITY EASEMENT.

**BUILDING INFO**  
TYPE OF BUILDING: WOOD FRAME - RESIDENTIAL  
TYPE OF CONSTRUCTION: TYPE VB  
TYPE OF OCCUPANCY: R2  
NUMBER OF STORIES ABOVE GRADE PLANE: TWO  
BUILDING HEIGHT ABOVE GRADE PLANE: 35' MAX HEIGHT  
FIRE SPRINKLERS IN BUILDINGS: NO  
FIRE FLOW DEMAND CALCULATIONS: 1500 GPM

PHASE 1 TABULATIONS			
TOTAL AREA:	28,854 S.F.	0.662 ACRES	100%
ROADWAY AREA:	5,700 S.F.	0.131 ACRES	19.8%
BUILDABLE LOT AREA:	7,955 S.F.	0.183 ACRES	27.6%
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PROPOSED ZONE: R1-9000 WITH RMO-1 TWO-FAMILY RESIDENTIAL OVERLAY			

**LEGEND:**

- STREET/PARKING LOT LIGHT
- SECTION MONUMENT
- PROPERTY LINE
- PROPERTY CORNER
- EXIST FIRE HYDRANT



**OVERALL LEGAL DESCRIPTION**  
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Area = 6.135 Acres

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	15.00	23.00	87°51'20"	20.81	N 46°16'31" W
C2	441.00	67.05	8°42'41"	66.99	N 6°42'12" W

**PAVEMENT DESIGN**  
ASPHALT:  
3" ASPHALT CONCRETE  
6" UNTREATED ROAD BASE  
0" COMPACTED SUBBASE\*  
  
\*SEE GEOTECH REPORT FOR SUBGRADE PREPARATION

**FEMA FLOOD PLAIN**  
THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE WHICH IS THE 1% ANNUAL 100-YR FLOOD PLAIN WITH A BASE FLOOD ELEVATION DETERMINED IN THE NAVD88 VERTICAL DATUM. THE VERTICAL DATUM OF THIS SITE PLAN IS NVGD29 WHICH PUTS THE BASE FLOOD ELEVATIONS 3.5' LOWER IN COMPARISON. BASE FLOOD ELEVATIONS SHOWN ON THIS PLAN HAVE BEEN ADJUSTED TO THE NVGD29 DATUM.  
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S 1/4 SEC 18  
T9S, R2E, SLB&M  
CALCULATED  
  
RC S 1/4 SEC 18  
T9S, R2E, SLB&M  
FOUND BRASS CAP  
ELEV = 4637.54'

RC SE COR SEC 18  
T9S, R2E, SLB&M  
FOUND BRASS CAP  
BENCHMARK ELEV=4660.98  
  
SE COR SEC 18  
T9S, R2E, SLB&M  
CALCULATED



REVISIONS		
Rev.	Date	Description

Developer: SWIFT CREEK PROPERTIES  
Rob McNeil  
Phone: 801-968-5500  
Email: swiftcreekproperties@gmail.com

**EXCE ENGINEERING**  
David W. Peterson, P.E., License #270393  
12 West 100 North, Suite 201, American Fork, UT 84003  
P: (801) 756-4504; david@excecivil.com

IRON HORSE - PHASE 1		UTAH
PAYSON		
Drawn by: D.W.P.	SITE PLAN/ HORIZONTAL CONTROL	Scale: 1"=40'
Designed by: D.W.P.		Date: 08/18/20
Checked by: D.W.P.		C2



UTILITY LEGEND

- FIRE HYDRANT
- CULINARY/P.I. WATER VALVE
- CULINARY WATER PVC C-900
- P.I. WATER PVC C-900
- SEWER PIPE PVC SDR-35
- STORM DRAIN PIPE ADS
- EDGE OF ASPHALT
- EXIST FENCE
- NEW FENCE
- OVERHEAD POWER LINE
- BURIED POWER LINE
- TELEVISION LINE
- TELEPHONE LINE
- GAS LINE

CONSTRUCTION NOTE

ALL CONSTRUCTION TO CONFORM TO PAYSON CITY OR APWA STANDARDS AND SPECIFICATIONS.

EASEMENT NOTE

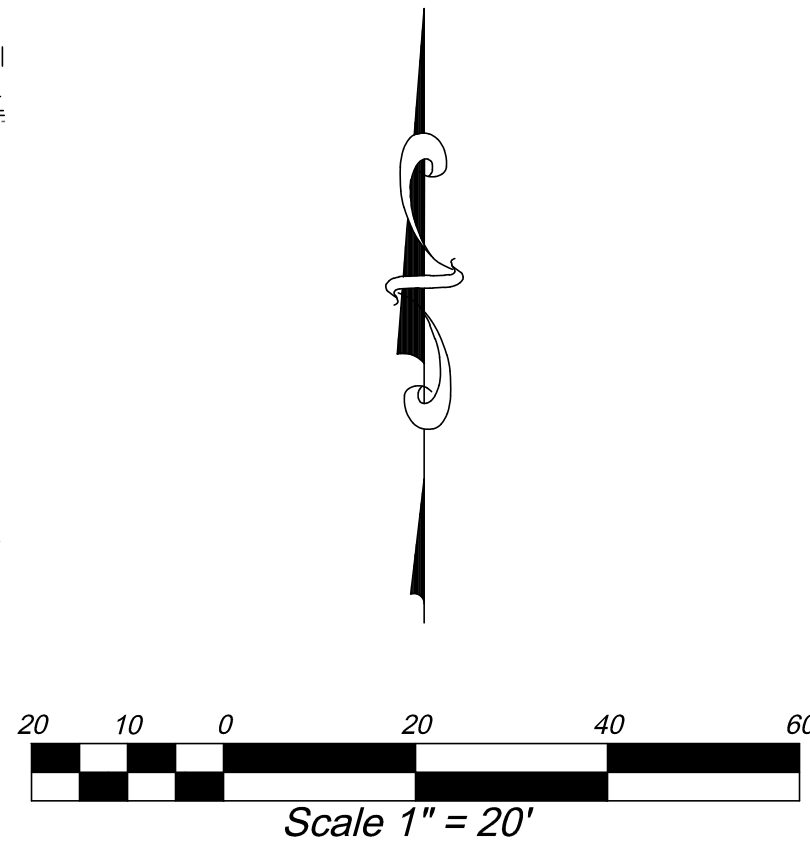
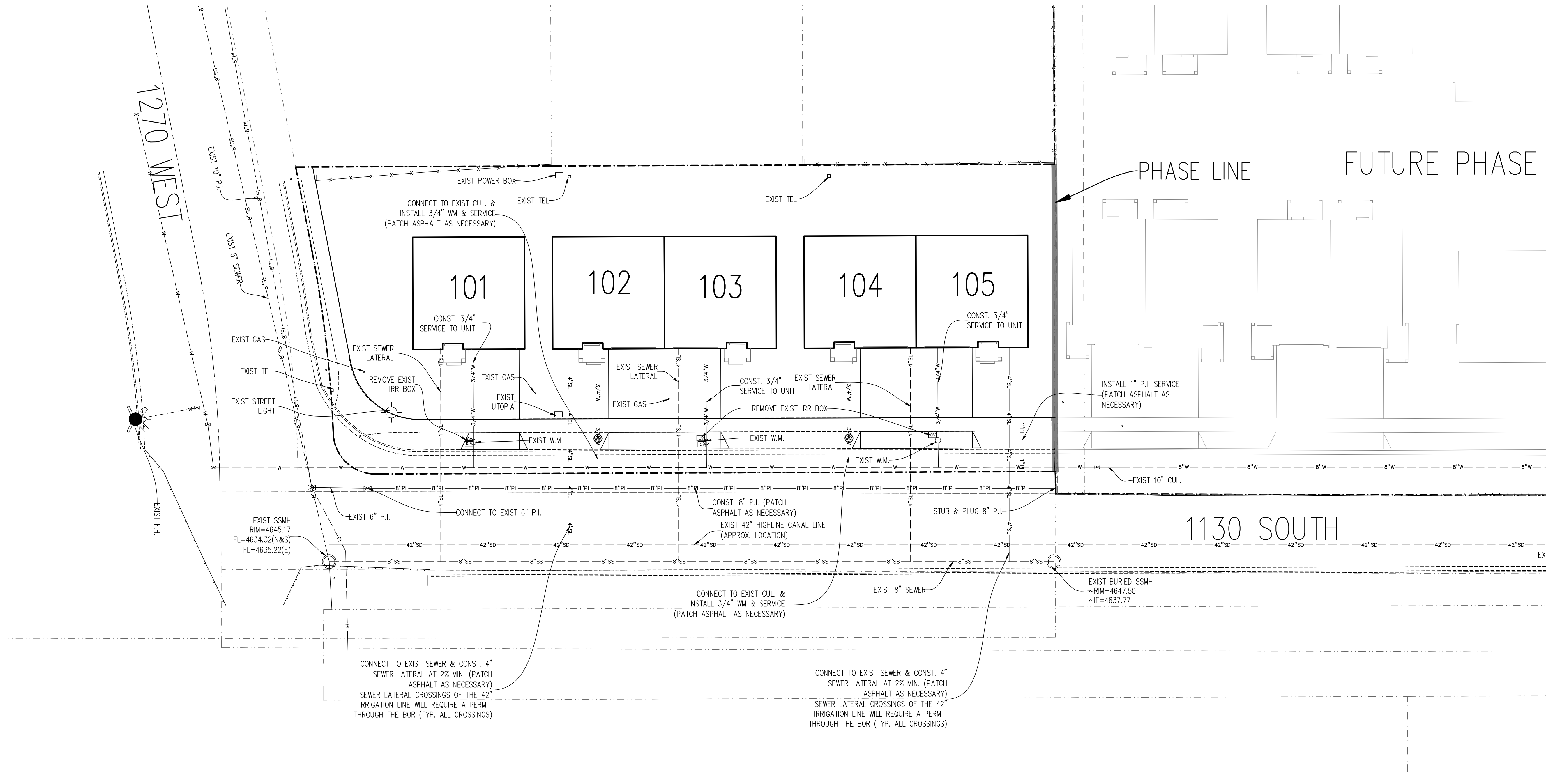
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BENCH MARK		REVISIONS	
SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29		Rev.	Date
		Description	

Developer: SWIFT CREEK PROPERTIES

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Phone: 801-960-5500  
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IRON HORSE - PHASE 1		
PAYSON		UTAH
Drawn by: D.W.P.	WATER, SEWER, POWER, LIGHT & UTILITY PLAN	Scale: 1"=20'
Designed by: D.W.P.		Date: 08/18/20
Checked by: D.W.P.		U1

**BUILDING INFO**  
TYPE OF BUILDING: WOOD FRAME – RESIDENTIAL  
TYPE OF CONSTRUCTION: TYPE VB  
TYPE OF OCCUPANCY: R2  
NUMBER OF STORIES ABOVE GRADE PLANE: TWO  
BUILDING HEIGHT ABOVE GRADE PLANE: 35' MAX HEIGHT  
FIRE SPRINKLERS IN BUILDINGS: NO  
FIRE FLOW DEMAND CALCULATIONS: 1500 GPM

**SNOW REMOVAL STORAGE NOTE:**  
SNOW WILL BE PUSHED INTO AVAILABLE LANDSCAPE AREAS FOR STORAGE.

**UTILITY LEGEND**

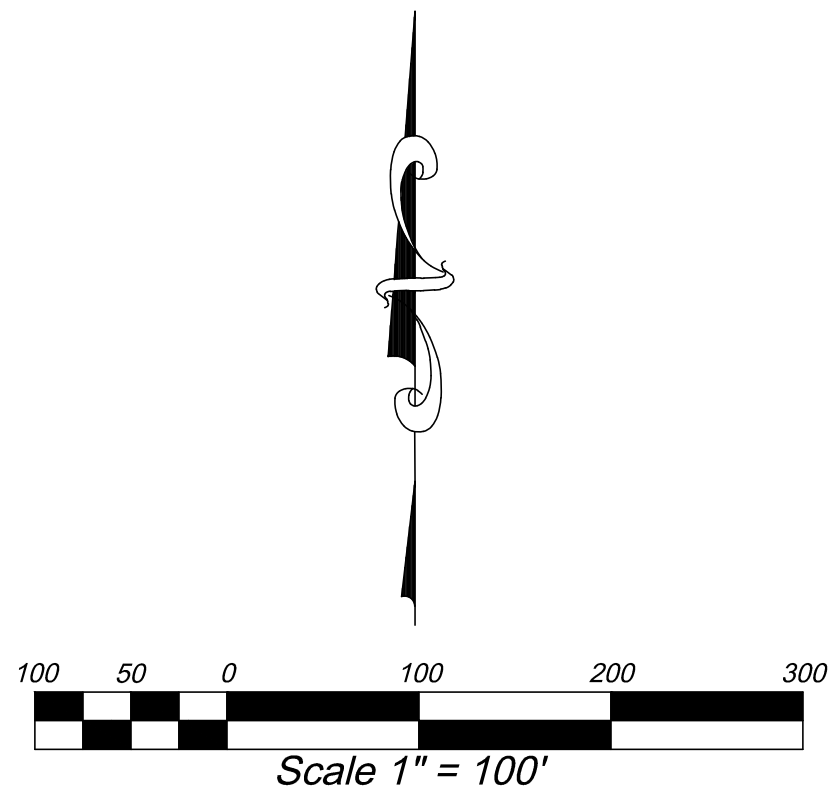
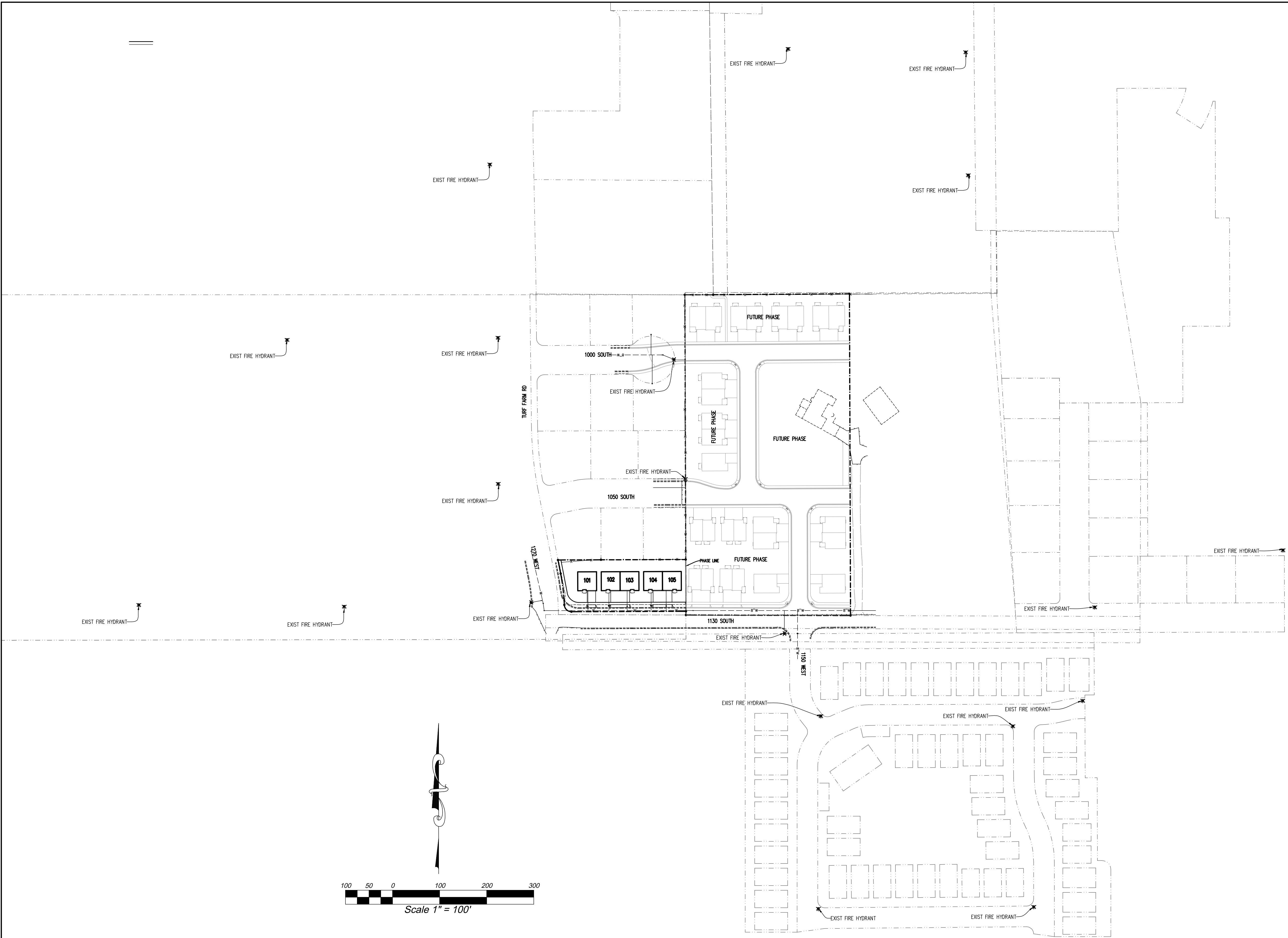
- FIRE HYDRANT
- CULINARY/P.I. WATER VALVE
- CULINARY WATER PVC C-900
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- EDGE OF ASPHALT
- EXIST FENCE
- NEW FENCE

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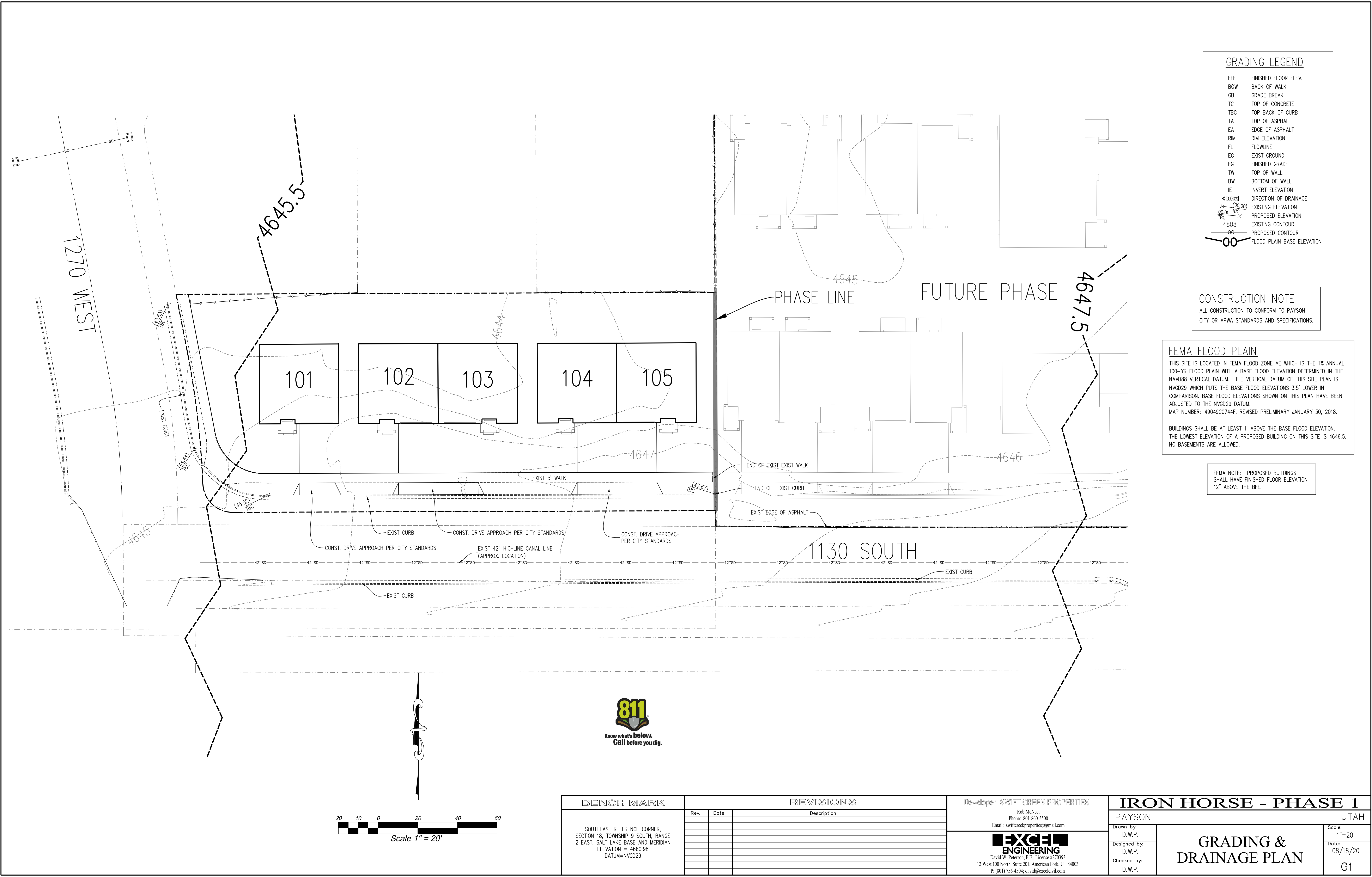
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SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29		Rev.	Date
		Description	

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Rob McNeil  
Phone: 801-868-5500  
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P: (801) 756-4504; david@excecivil.com

IRON HORSE - PHASE 1		
PAYSON		UTAH
Drawn by: D.W.P.	FIRE & RESCUE PLAN	Scale: 1"=100'
Designed by: D.W.P.		Date: 08/18/20
Checked by: D.W.P.		U2



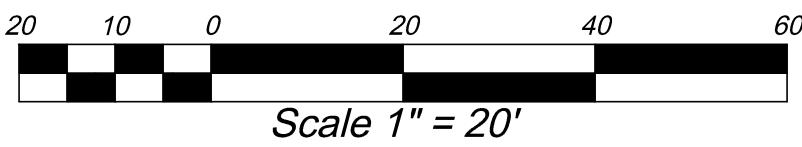


GRADING LEGEND	
FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
IE	INVERT ELEVATION
<0.00%	DIRECTION OF DRAINAGE
-(00.00)	EXISTING ELEVATION
00.00 TBC	PROPOSED ELEVATION
-4808	EXISTING CONTOUR
00	PROPOSED CONTOUR
00	FLOOD PLAIN BASE ELEVATION

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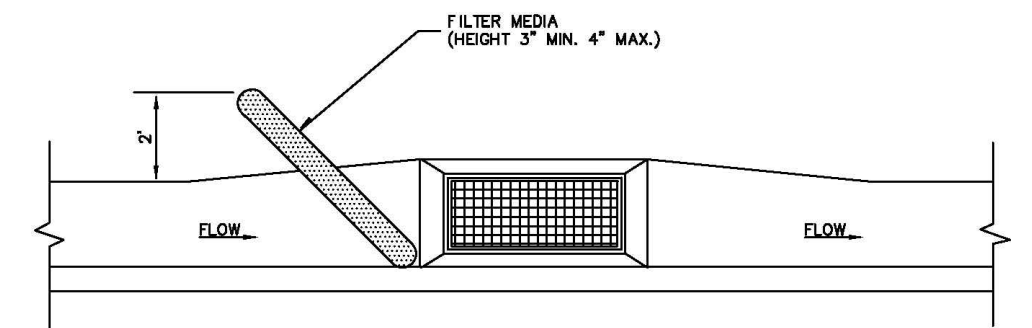
FEMA NOTE: PROPOSED BUILDINGS SHALL HAVE FINISHED FLOOR ELEVATION 12" ABOVE THE BFE.



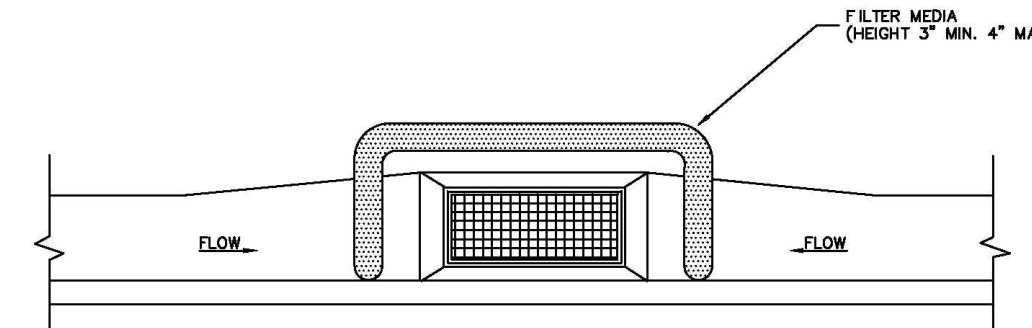
BENCH MARK		REVISIONS		Developer: SWIFT CREEK PROPERTIES		IRON HORSE - PHASE 1	
SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29		Rev.	Date	Rob McNeil Phone: 801-960-5500 Email: swiftcreekproperties@gmail.com		PAYSON	UTAH
				 David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excecivil.com		Drawn by: D.W.P.	GRADING & DRAINAGE PLAN
						Designed by: D.W.P.	
						Checked by: D.W.P.	
							Scale: 1"=20'
							Date: 08/18/20
							G1



NARRATIVE: THIS PLAN MAY BE USED FOR THE CONSTRUCTION OF A STORM WATER BEST MANAGEMENT PRACTICE (BMP). IT IS NOT INCLUSIVE OF ALL PRACTICES AVAILABLE AND IS ONLY SPECIFIC TO THE CONSTRUCTION OF THIS TYPE. MAINTENANCE OF THIS TYPE OF INSTALLATION IS IMPORTANT AND SHOULD BE CONTINUOUSLY MONITORED BY THE CONTRACTOR AND ENGINEER. DETAILS SHOWN HERE HIGHLIGHT IMPORTANT PARTS OF CONSTRUCTION, AND SHOULD BE MODIFIED AS NEEDED.




ON-GRADE INLET PROTECTION DETAIL



DROP INLET PROTECTION DETAIL

September 2006 11  
Inlet protection - gravel sock  
Plan No. 124  
Drawing 1 of 3

**BMP: Concrete Waste Management**  
CWM



**OBJECTIVES**

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

**DESCRIPTION:**  
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

**APPLICATIONS:**  
This technique is applicable to all types of sites.

**INSTALLATION/APPLICATION CRITERIA:**

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information sheet.)
- Train employees and subcontractors in proper concrete waste management.

**LIMITATIONS:**

- Off-site washout of concrete wastes may not always be possible.

**MAINTENANCE:**

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

**TARGETED POLLUTANTS**


- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Flammable Materials
- Other Waste

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Maintenance
- Training

Adapted from Salt Lake County BMP Fact Sheet

**BMP: Catch Basin Cleaning**  
CBC



**PROGRAM ELEMENTS**

- New Development
- Residential
- Commercial Activities
- Industrial Activities
- Municipal Facilities
- Illegal Discharges

**DESCRIPTION:**  
Maintain catch basin and stormwater inlets on a regular basis to remove pollutants, reduce high pollutant concentrations during the first flush of storms, prevent clogging of the downstream conveyance system, and restore the catch basin's sediment trapping capacity. A catch basin is distinguished from a stormwater inlet by having at its base a sediment sump designed to catch and retain sediments below the overflow point. This information sheet focuses on the cleaning of accumulated sediments from catch basins.

**APPROACH:**  
Regular maintenance of catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the key to effective catch basins are:

- At least annual inspections.
- Prioritize maintenance to clean catch basins and inlets in areas with the highest pollutant loading.
- Clean catch basins in high pollutant load areas just before the wet season to remove sediments and debris accumulated during the summer.
- Keep accurate logs of the number of catch basins cleaned.
- Record the amount of waste collected.

**LIMITATIONS:**  
There are no major limitations to this best management practice.

**MAINTENANCE:**  
Regular maintenance of public and private catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the keys to effective catch basins are:

- Annual/monthly inspection of public and private facilities to ensure structural integrity, a clean sump, and a stenciling of catch basins and inlets.
- Keep logs of the number of catch basins cleaned.
- Record the amount of waste collected.

**TARGETED POLLUTANTS**

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oxygen Demanding Substances
- Oil & Grease
- Flammable Materials
- Bacteria & Viruses

**IMPLEMENTATION REQUIREMENTS**

- Capital Costs
- O&M Costs
- Regulatory
- Training
- Staffing
- Administrative

Adapted from Salt Lake County BMP Fact Sheet

INSTALL INLET PROTECTION (TYP. ALL INLETS)  
PER APWA PLAN NO. 124

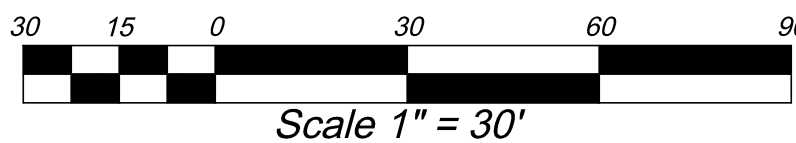
INSTALL CONCRETE WASHOUT AREA

INSTALL PORT-A-POTTY

LIMITS OF DISTURBANCE

#### EROSION CONTROL PLAN NOTES:

- CONTRACTOR IS TO READ AND UNDERSTAND ALL BMP PRACTICES PRIOR TO ANY CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO FOLLOW ALL BMP PRACTICES CONTAINED IN THESE PLANS.
- CONSTRUCT STORM DRAIN FACILITIES AND INSTALL INLET PROTECTION ON ALL INLETS AFTER INSTALLATION. SEE APWA PLAN NO. 124.
- THE SITE IS TO BE WATERED AT LEAST TWICE A WEEK TO CONTROL DUST OR MORE FREQUENT AS DETERMINED BY THE CONTRACTOR.
- CONTRACTOR IS TO REMOVE INLET PROTECTION FROM CATCH BASINS AND CLEAN-OUT ALL CATCH BASINS BEFORE LEAVING THE SITE. SEE BMP CBC.
- CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION.

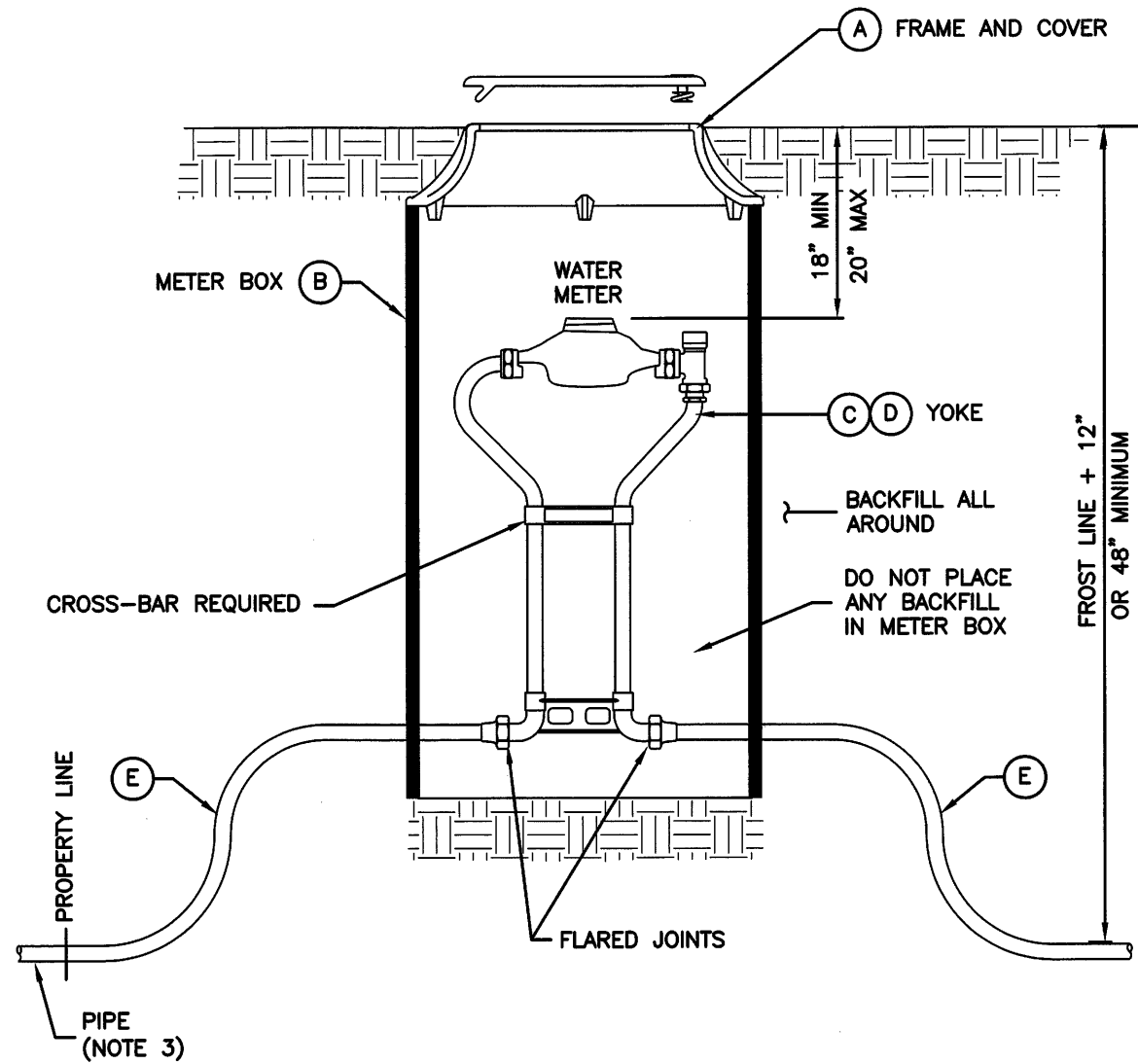


BENCH MARK		REVISIONS		Developer: SWIFT CREEK PROPERTIES		IRON HORSE - PHASE 1	
SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29	Rev.	Date	Description	Rob McNeil Phone: 801-868-5500 Email: swiftcreekproperties@gmail.com <b>EXCEC</b> ENGINEERING David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excecivil.com	UTAH	PAYSON	Scale: 1"=30'
						Drawn by: D.W.P.	Date: 08/18/20
						Designed by: D.W.P.	
						Checked by: D.W.P.	SWP1
						EROSION CONTROL PLAN	



3/4" and 1" meter

1. **GENERAL**
- A. In street surfaces or other vehicular traffic areas (like driveway approaches), Install the same type of meter box as required for 1 1/2" and 2" service meters. See Plan 522.
- B. Before backfilling, secure inspection of installation by ENGINEER.
2. **PRODUCTS**
- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
- C. Castings: Grey iron class 35 minimum per ASTM A 48, coated with asphalt based paint or better.
3. **EXECUTION**
- A. Meter Placement:
- 1) All meters are to be installed in the park strip or within 7 feet of the property line (street side).
- 2) Do not install meters under driveway approaches, sidewalks, or curb and gutter.
- B. Meter Box: Set box so grade of the frame and cover matches the grade of the surrounding surface.
- C. Pipe Outside of Right-of-Way: Coordinate with utility agency or adjacent property owner for type of pipe to be used outside of right-of-way.
- D. Inspection: Before backfilling around meter box, secure inspection of installation by ENGINEER.
- E. Base Course and Backfill Placement: Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26. Maximum lift thickness before compaction is 8-inches.



SECTION

LEGEND			
No.	*	ITEM	DESCRIPTION
A		FRAME AND COVER	CAST IRON COVER (gross) DUCTILE IRON COVER (driveway)
B		METER BOX (18" TO 21" DIAMETER) (30" TO 36" DEEP)	CORRUGATED PE, PVC, CMP OR MATERIAL ACCEPTABLE TO AGENCY
C		3/4" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
D		1" METER YOKE	OPTIONAL BACKFLOW PROTECTION PER AGENCY REQUIREMENTS
E		COPPER PIPE	TYPE K (SOFT)

\* FURNISHED BY UTILITY AGENCY

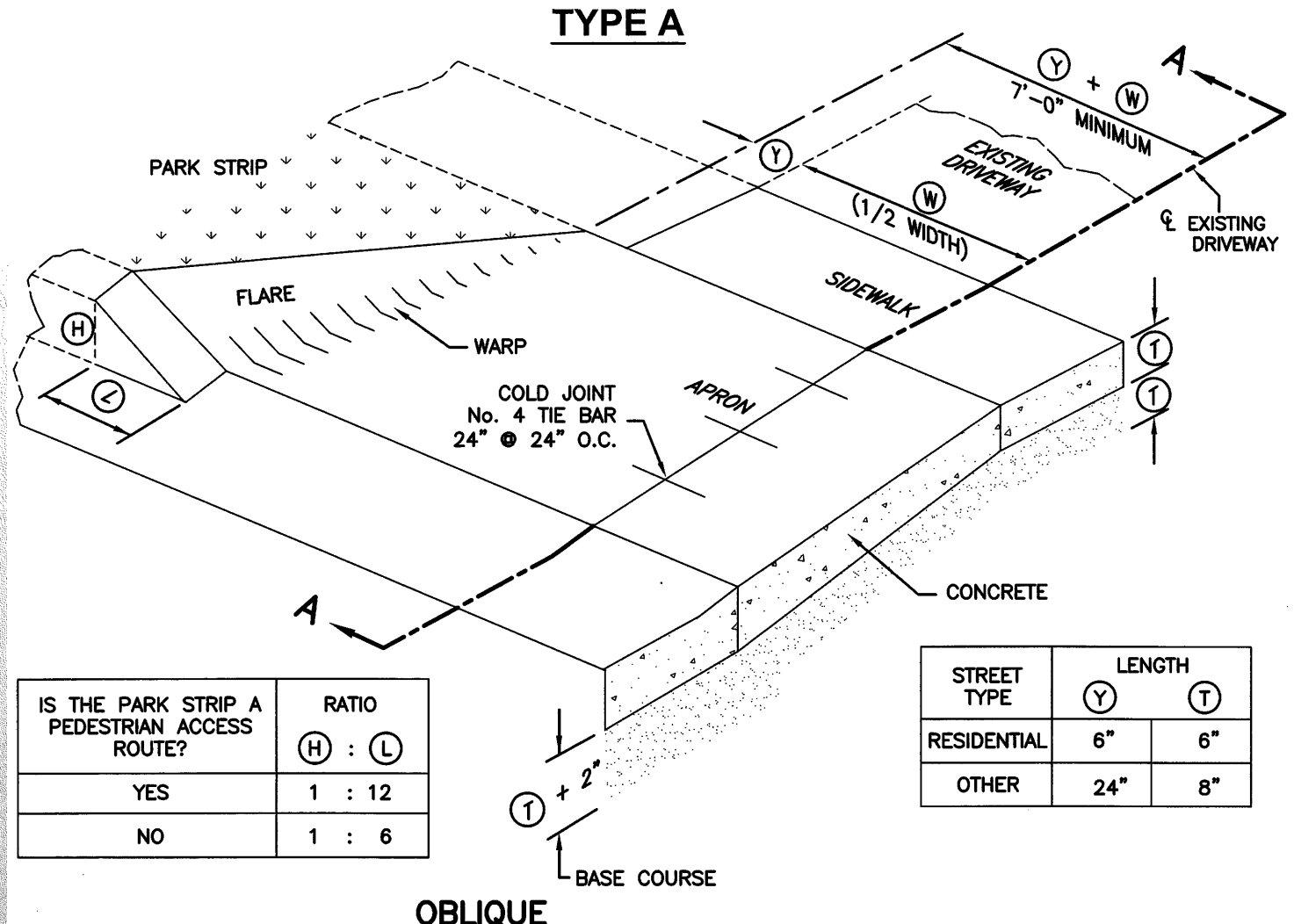
3/4" and 1" meter

Plan

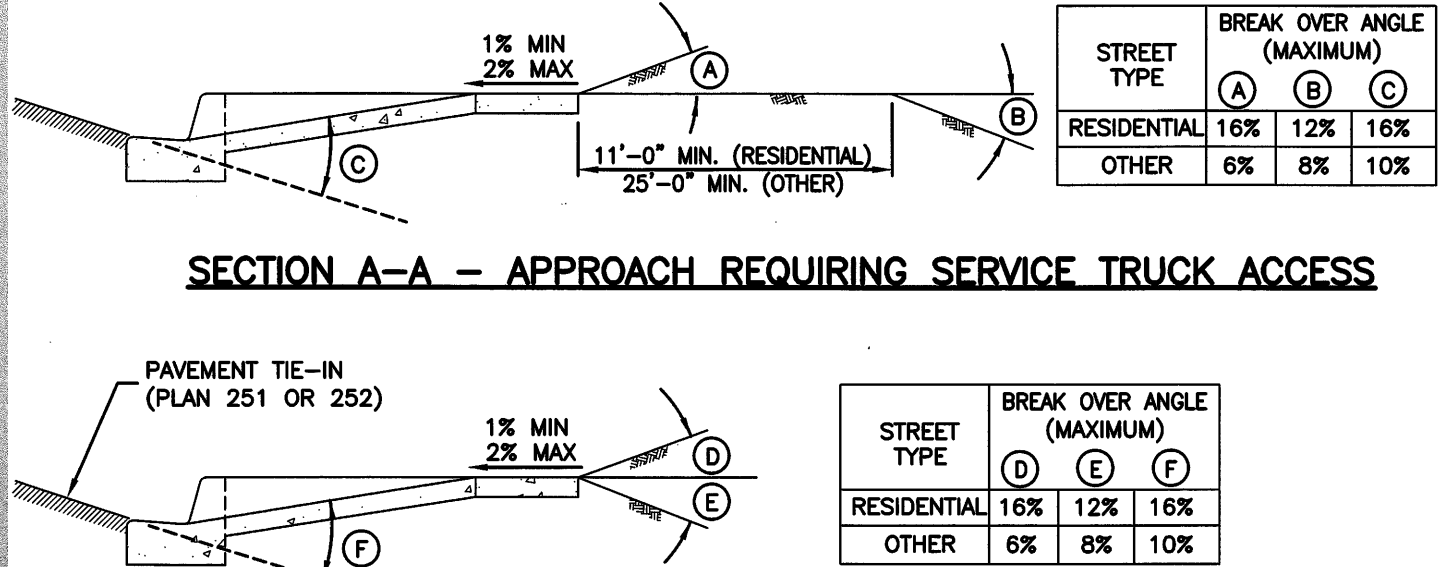
521

Flare driveway approach

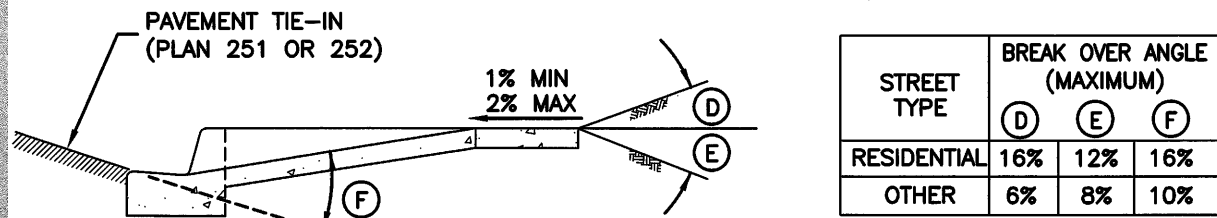
1. **GENERAL**
- A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER's discretion.
- B. Field Changes to Slope Requirements:
- 1) Grades may have a 6 percent change in slope over a 11 feet wheel base run for both crest or sag vertical curves.
- 2) Where heavy truck use and fire truck access applies, or to improve design speed, design grades should be cut in half.
- 3) Specific uses or site conditions may require profile design submittal for review and acceptance.
- C. Additional requirements are specified in APWA Section 32 16 13.
2. **PRODUCTS**
- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.
- C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.
- D. Reinforcement: Galvanized or epoxy coated, deformed, 60 ksi yield grade steel, ASTM A 615.
- E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.
3. **EXECUTION**
- A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.
- B. Reinforcement: Not required if driveway apron is constructed without a cold joint.
- C. Concrete Placement: APWA Section 03 30 10.
- 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.
- 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).
- 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.
- D. Protection and Repair: Protect concrete from deicing chemicals during cure. Repair reconstruction that does not drain. If necessary, fill flow-line with water to verify.



OBLIQUE



SECTION A-A - APPROACH REQUIRING SERVICE TRUCK ACCESS



SECTION A-A - TYPICAL DRIVEWAY APPROACH

Flare driveway approach

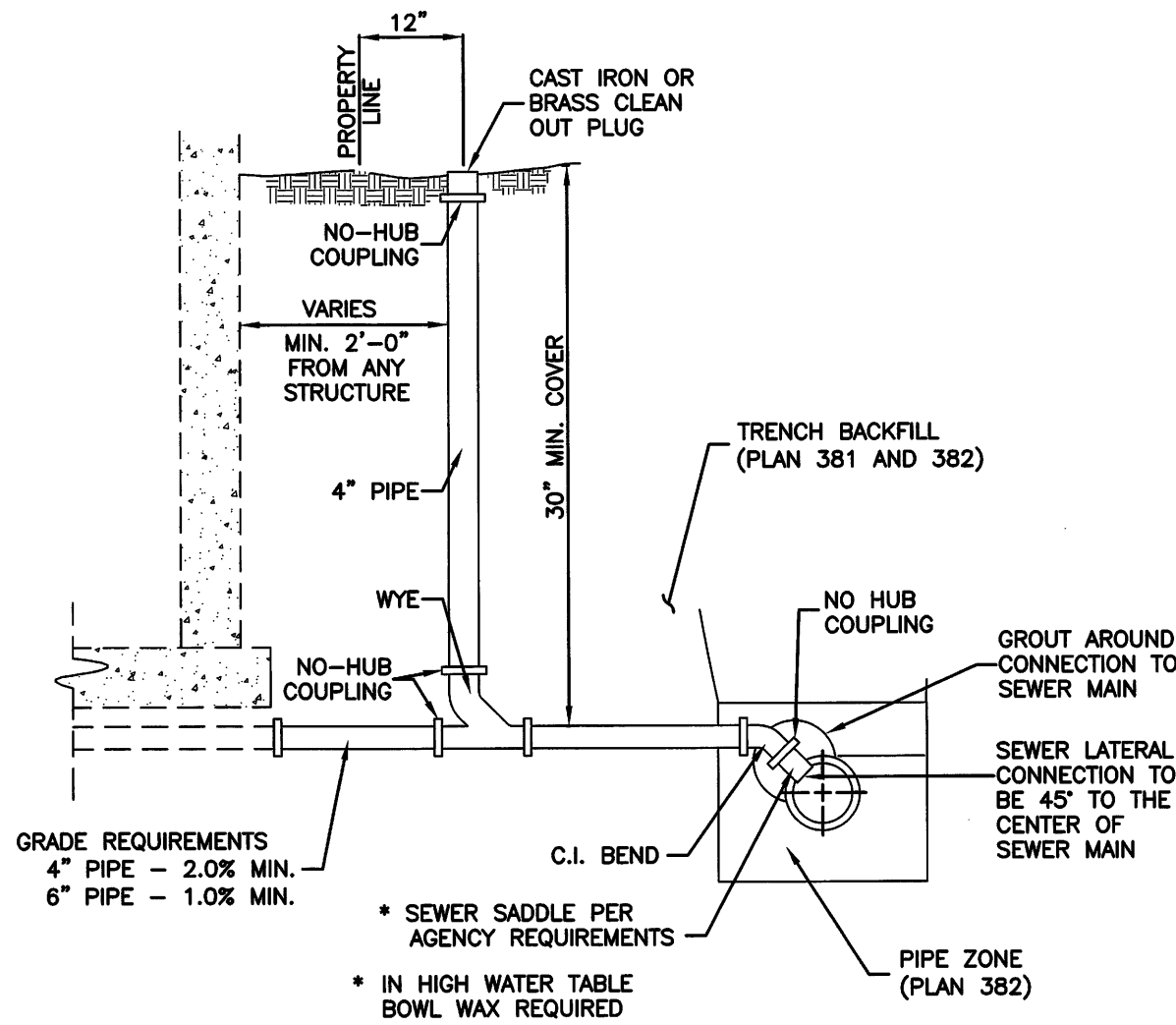
Plan

221

Sheet 1 of 2

Sewer lateral connection

1. **GENERAL**
- A. Before installation, secure acceptance by ENGINEER for all pipe, fittings, and couplings to be used.
- B. Before backfilling, secure inspection of installation by ENGINEER. Give at least 24 hours notice.
- C. Verify if CONTRACTOR or agency is to install the wye.
2. **PRODUCTS**
- A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
- B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
- C. Provide agency approved wye or tee with appropriate donut.
- D. Stainless steel straps required.
3. **EXECUTION**
- A. Tape wrap pipe as required by soil conditions.
- B. Remove core plug from sewer main. Do not break into sewer main to make connection.
- C. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a standard proctor density, APWA Section 31 23 26.



Sewer lateral connection

Plan

431

Developer: SWIFT CREEK PROPERTIES

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**EXCEC**  
**ENGINEERING**

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REVISIONS

Rev.	Date	Description

IRON HORSE - PHASE 1

PAYSON UTAH

Drawn by: D.W.P.	DETAIL SHEET	Scale: NTS
Designed by: D.W.P.		Date: 08/18/20
Checked by: D.W.P.		D1