

AMERICAN FORK CITY COUNCIL
SEPTEMBER 8, 2020
PUBLIC HEARING AND REGULAR SESSION AGENDA

NOTICE OF ELECTRONIC MEETING

In accordance with Resolution No. 2020-07-20R and as determined by Mayor Frost, this City Council meeting will be held electronically as conducting the meeting at City Hall presents a substantial risk to the health and safety of the public due to COVID-19. You may watch the meeting live-streamed at <https://www.americanfork.gov/AgendaCenter>. Those wishing to make comment should email their comments to zoompubliccomment@afc-city.net prior to 5:00 p.m. the day of the meeting for the comments to be read into record. Please indicate in the subject line which item your comment refers to.

The American Fork City Council will hold a public hearing in conjunction with the regular session on Tuesday, September 8, 2020, electronically, commencing at 7:00 p.m. The agenda shall be as follows:

PUBLIC HEARING

- Receiving public comment regarding the declaration of real property to be surplus and disposed of.
- Receiving public comment on amendments to the Fiscal Year 2021 budget (July 1, 2020 to June 30, 2021)

REGULAR SESSION

1. Pledge of Allegiance; Invocation by Council Member Shelton; roll call.
2. Twenty-minute public comment period - limited to two minutes per person.
3. City Administrator's Report
4. Council Reports
5. Mayor's Report

COMMON CONSENT AGENDA

(Common Consent is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda.)

1. Approval of the August 11, 2020 city council meeting minutes.
2. Approval of the August 25, 2020 city council meeting minutes.
3. Approval of the authorization to release the Improvements Durability Retainer of \$48,957.40 for THE MEADOWS AT AMERICAN FORK located at 751 West 200 South.
4. Approval of the authorization to release the Improvements Durability Retainer of \$76,562.99 for SOUTH POINT PHASE 3, located at 740 East 400 South.
5. Ratification of city payments (August 19, 2020 to September 1, 2020) and approval of purchase requests over \$25,000.

ACTION ITEMS

1. Review and action an alcoholic beverage license for Sol Agave located at 598 West Main Street, Suite A.

2. Review and action on a resolution approving the Blackhurst Property Land Use Map Amendment from the Residential Medium Density to Residential High Density designation, located at 440 South 100 East.
3. Review and action on an ordinance approving the Blackhurst Property Zone Map Amendment from the R2-7,500 to R4-7,500 Residential zone, located at 440 South 100 East.
4. Review and action on an ordinance amending Section 17.4.608 of the American Fork City Municipal Code, a relating to District Framework Plans.
5. Review and action on a reimbursement agreement with Wagscap, LLC for system improvements on 500 East and Auto Mall Drive.
6. Review and action on subdivisions, commercial projects, condominiums, and PUD's including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded.
 - a. Review and action on an ordinance approving a commercial site plan for the Bach Apartments, located in the area of 740 East 620 South in the PC Planned Community zone.
 - b. Review and action on the final plat for American Fork Apartments, located at approximately 850 West 250 South in the TOD zone.
 - c. Review and action on the final plat of Easton Park Subdivision Phase 5, located in the area of 547 South 860 East in the PC Planned Community zone.
 - d. Review and action on an ordinance approving a commercial site plan for the Ritchie American Fork 860 Apartments, located in the area of 860 East Quality Drive in the PC Planned Community zone.
7. Review and action on a Performance-in-Lieu Agreement with OZ AF EAST, LLC regarding actual construction in lieu of providing an Improvements Construction Guarantee associated with Bach Apartments located at 620 South 700 East.
8. Review and action on a Construction Contract for the 100 East Street Water Line Replacement Construction Contract.
9. Review and action on a resolution declaring real property to be surplus and disposed of.
10. Review and action on a resolution approving amendments to the Fiscal Year 2021 city budget.
11. Review and action on an ordinance repealing the temporary land use regulations prohibiting the filing of new land use and development applications and the erection or construction of buildings or structures for land south of Pioneer Crossing and southwest of I-15.
12. Adjournment.

Dated this 3 day of September, 2020.



Terilyn Lurker, City Recorder

- In accordance with the Americans with Disabilities Act, the City of American Fork will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at 801-763-3000 at least 48 hours in advance of the meeting.
- The order of agenda items may be changed to accommodate the needs of the City Council, staff, and the public.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Public Works

Director Approval Scott Sensanbaugh

AGENDA ITEM Common Consent Consideration regarding authorization to release the Improvements Durability Retainer of \$48,957.40 for THE MEADOWS AT AMERICAN FORK located at 751 West 200 South.

SUMMARY RECOMMENDATION The City Engineer recommends that the Improvements Durability Retainer be released. The improvements were found in a condition meeting City standards for workmanship and performance after one (1) year of service.

BACKGROUND Pursuant to the terms of Sections 17.9.100 and 17.9.403 of the City Development Code, the City Council may authorize the release of the Improvements Durability Retainer following the one (1) year durability testing period. The release is based on a finding that the quality of construction and materials have endured without evidence of unusual depreciation, wear, non-conformance of City standards or need for remedial action.

BUDGET IMPACT Following the release of the Improvements Durability Retainer, the City is responsible for all future maintenance and replacement costs for any publicly-owned property or improvement. In developments with Home-Owners or Unit-Owners Associations, all common area maintenance and replacement responsibilities will then fall to the Association. All privately-owned improvements will be the responsibility of the owner of the given parcel.

SUGGESTED MOTION Move to authorize the City Engineer to issue documents and/or payments to release the Improvements Durability Retainer of \$ 48,957.40 for THE MEADOWS AT AMERICAN FORK. Find that the quality of construction and materials have endured without evidence of unusual depreciation, wear, non-conformance of City standards, or need for remedial action.

SUPPORTING DOCUMENTS

| | |
|---|--------|
| Bond Release Request- Meadows at American Fork-Durability | (PDF) |
| Durability_Release_Authorization-Meadows at American Fork | (PDF) |
| Performance Bond Spreadsheet-Meadows at American Fork | (XLSX) |

Development Name: THE MEADOWS AT AMERICAN Fork
Development Address: 750 WEST 200 SOUTH
*All outstanding fees must be paid prior to any release.

☐ Partial Improvement
Assurance Release

☐ Final Improvement Assurance Release

~~X~~ Improvement Warranty Release
(10% Durability Release) _____

Bond Type: ☐ Cash Deposit ☐ Escrow Account ☒ Letter of Credit ☐ Surety Bond

Name: BOAD KEMPWICKS CONSTRUCTION

Bank (if applicable):

Address: 4804 So 1140 E

City: Salt Lake City State: UT Zip: 84117

Phone: 801-281-2200 Email: BRAD@BRADOLDSCONSTRUCTION.COM

Signature: [Signature] Date: 8/24/2020

City Official Use Only

☒ Fees paid and current

Administrative Signature:

Inspector Signature:

Date: 8.26.20

Date: 05/02/20



IMPROVEMENT WARRANTY RELEASE AUTHORIZATION

The City Council of American Fork City, a Municipal Corporation and Body Politic in the State of Utah, hereby authorizes the release of the Improvement Warranty for THE MEADOWS AT AMERICAN FORK pursuant to the terms of Section 17.9.100 and 17.9.403 of the City Development Code. The City Council finds that the quality of construction and materials have endured without evidence of unusual depreciation, wear, non-conformance to City standards, or need for remedial action.

The City Council hereby authorizes the City Engineer to issue a letter to the financial guarantee institution authorizing release of the Improvement Warranty or to issue an authorized City check as appropriate for the type of guarantee provided.

Amount Released: \$ 48,957.40

PASSED THIS 8 DAY OF SEPTEMBER, 2020.

City Representative, American Fork City

ATTEST:

Terilyn Lurker, City Recorder

Name of Development: Cottages at Lakeside

| | | | | | | | | | | | |
|----------|---------------------|-----------|--------------------|----------|-----------|----------|-----------|-----------|-----------|------|--|
| Date | | Date | | Date | Requested | Date | Requested | Date | | Date | |
| 1/9/2018 | (Requested 12/4/17) | 1/25/2018 | (Requested 1/5/18) | 7/9/2018 | 7/3/2018 | 5/4/2019 | 3/29/2019 | 9/24/2019 | 7/15/2019 | | |

| | Description of Item | Quantity | Unit | Unit Price | Total | Release #1 | Amount Requested | Release #2 | Amount Requested | Release #3 | Amount Requested | Release #4 | Amount Requested | Release #5 | Amount Requested | Release #6 | Amount Requested |
|-------------------------------|---|----------|------|------------|--------------|------------|------------------|------------|------------------|------------|------------------|------------|------------------|------------|------------------|------------|------------------|
| SWPPP | | | | | | | | | | | | | | | | | |
| | Silt Fence | 755 | LF | \$2.50 | \$1,887.50 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | 755 | \$1,887.50 | | \$0.00 |
| | Stabilized Construction Entrance | 1 | LS | \$2,200.00 | \$2,200.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | 1 | \$2,200.00 | | \$0.00 |
| | Vehicle Washdown | 1 | LS | \$2,000.00 | \$2,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | 1 | \$2,000.00 | | \$0.00 |
| SEWER | | | | | | | | | | | | | | | | | |
| | 8" PVC Sewer Line | 2464 | LF | \$28.00 | \$68,992.00 | 2464 | \$68,992.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 12" PVC Sewer Line | 1278 | LF | \$35.00 | \$44,730.00 | | \$0.00 | | \$0.00 | | \$0.00 | 1278 | \$44,730.00 | | \$0.00 | | \$0.00 |
| | 5' Sewer Manhole Precast | 11 | Each | \$3,250.00 | \$35,750.00 | 11 | \$35,750.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Sanitary Sewer Lateral Connection | 28 | Each | \$900.00 | \$25,200.00 | | \$0.00 | 28 | \$25,200.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Connect to Existing | 1 | Each | \$2,000.00 | \$2,000.00 | | \$0.00 | | \$0.00 | 1 | \$2,000.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| CULINARY WATER | | | | | | | | | | | | | | | | | |
| | 8" DI Culinary Water | 2972 | LF | \$35.00 | \$104,020.00 | 2000 | \$70,000.00 | 972 | \$34,020.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 8" Gate Valve | 12 | Each | \$1,100.00 | \$13,200.00 | 10 | \$11,000.00 | 2 | \$2,200.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Connect to Existing Water | 2 | Each | \$3,200.00 | \$6,400.00 | | \$0.00 | 2 | \$6,400.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Fire Hydrant Assembly | 10 | Each | \$4,200.00 | \$42,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | 10 | \$42,000.00 | | \$0.00 | | \$0.00 |
| | 1.5" Water Service Lateral | 28 | Each | \$1,500.00 | \$42,000.00 | | \$0.00 | 28 | \$42,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 2" Poly Fireline with FDC | 18 | Each | \$1,000.00 | \$18,000.00 | | \$0.00 | 18 | \$18,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| PRESSURIZED IRRIGATION | | | | | | | | | | | | | | | | | |
| | 6" PVC Pipe | 75 | LF | \$20.00 | \$1,500.00 | | \$0.00 | 75 | \$1,500.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 6" Gate Valve | 1 | Each | \$950.00 | \$950.00 | | \$0.00 | 1 | \$950.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Connect to Existing PI | 1 | Each | \$2,800.00 | \$2,800.00 | | \$0.00 | 1 | \$2,800.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | PI Water Meter | 1 | Each | \$2,500.00 | \$2,500.00 | | \$0.00 | | \$0.00 | | \$0.00 | 1 | \$2,500.00 | | \$0.00 | | \$0.00 |
| STREETS | | | | | | | | | | | | | | | | | |
| | Asphalt 4" - Standard Road | 6141 | SF | \$1.80 | \$11,053.80 | | \$0.00 | | \$0.00 | 6141 | \$11,053.80 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Roadbase 8" Hauled, Placed & Compacted | 6141 | SF | \$0.65 | \$3,991.65 | | \$0.00 | | \$0.00 | 6141 | \$3,991.65 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 24" Curb & Gutter (4" untreated base course included) | 657 | LF | \$15.00 | \$9,855.00 | | \$0.00 | | \$0.00 | 657 | \$9,855.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 5' Sidewalk 4" Thick (4"untreated base course included) | 3085 | SF | \$4.00 | \$12,340.00 | | \$0.00 | | \$0.00 | 3085 | \$12,340.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | 6' Sidewalk 4" Thick (4"untreated base course included) | 162 | SF | \$4.00 | \$648.00 | | \$0.00 | | \$0.00 | 162 | \$648.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | ADA Ramp (6" concrete 6" base course included) | 3 | Each | \$1,500.00 | \$4,500.00 | | \$0.00 | | \$0.00 | 3 | \$4,500.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| | Asphalt Patches in Road | 5092 | SF | \$5.50 | \$28,006.00 | | \$0.00 | | \$0.00 | 5092 | \$28,006.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| CONSTRUCTION MANAGEMENT/MISC. | | | | | | | | | | | | | | | | | |
| | As Builts Mylar & Disks | 1 | Each | \$250.00 | \$250.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | 1 | \$250.00 | | \$0.00 |
| | Testing, Cleaning, Inspections | 1 | LS | \$2,500.00 | \$2,500.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | 1 | \$2,500.00 | | \$0.00 |
| | Traffic Sign | 1 | Each | \$300.00 | \$300.00 | | \$0.00 | | \$0.00 | 1 | \$300.00 | | \$0.00 | | \$0.00 | | \$0.00 |

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| 10% Durability - retained at ICG release | \$48,957.40 | Released 9/8/2020 |
|--|-------------|-------------------|

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|------------|--------------|
| ICG Amount | \$538,531.35 |
|------------|--------------|

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| Street Lights | \$0.00 |
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|-------------|---------------|
| Fees | \$0.00 |
|-------------|---------------|



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Public Works **Director Approval** Scott Sensanbauger

AGENDA ITEM Common Consideration regarding authorization to release the Improvements Durability Retainer of \$76,562.99 for SOUTH POINT PHASE 3, located at 740 East 400 South.

SUMMARY RECOMMENDATION The City Engineer recommends that the Improvements Durability Retainer be released. The improvements were found in a condition meeting City standards for workmanship and performance after one (1) year of service.

BACKGROUND Pursuant to the terms of Sections 17.9.100 and 17.9.403 of the City Development Code, the City Council may authorize the release of the Improvements Durability Retainer following the one (1) year durability testing period. The release is based on a finding that the quality of construction and materials have endured without evidence of unusual depreciation, wear, non-conformance of City standards or need for remedial action.

BUDGET IMPACT Following the release of the Improvements Durability Retainer, the City is responsible for all future maintenance and replacement costs for any publicly-owned property or improvement. In developments with Home-Owners or Unit-Owners Associations, all common area maintenance and replacement responsibilities will then fall to the Association. All privately-owned improvements will be the responsibility of the owner of the given parcel.

SUGGESTED MOTION Move to authorize the City Engineer to issue documents and/or payments to release the Improvements Durability Retainer of \$ 76,562.99 for SOUTH POINT PHASE 3. Find that the quality of construction and materials have endured without evidence of unusual depreciation, wear, non-conformance of City standards, or need for remedial action.

SUPPORTING DOCUMENTS

Bond Release Request-South Point Ph 3 (PDF)
South Point 3 Performance Guarantee (XLSX)
Durability Release Authorization-South Point Ph 3 (PDF)

Development Name: South Point Phase 3

Development Address: 348 S 780 E American Fork, UT 84003

*All outstanding fees must be paid prior to any release.

☐ Partial Improvement Assurance Release☐ Final Improvement Assurance Release

☒ Improvement Warranty Release
(10% Durability Release)

| | | | | | Inspector Use Only |
|---------------------------------|----------|-------|--------------|-------------|--------------------|
| | | | | | Complete? |
| Description of Item | Quantity | Units | Unit Price | Total | Yes/No |
| Phase 3 Durability Bond Release | 1 | 1 | \$76,562.99 | \$76,562.99 | |
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| | | | Total | \$76,562.99 | |

Bond Type: ☒ Cash Deposit ☐ Escrow Account ☐ Letter of Credit ☐ Surety Bond

Please send check/bank letter to:

Name: Oakwood Homes of Utah CC/Landon Larsen

Bank (if applicable):

Address: 206 E Winchester St

City: Murray State: Utah Zip: 84107

Phone: 2083717381 Email: llarsen@oakwoodhomesco.com

Signature: Landon J. Larsen Date: 08/30/20

City Official Use Only

☒ Fees paid and current

Administrative Signature:

Inspector Signature:

Date: 8.31.20

Date: 6/9/20

Name of Development: South Point 3

| | | | | | | | | | | | |
|------|--|------|--|------|--|------|--|------|--|------|--|
| Date | | Date | | Date | | Date | | Date | | Date | |
| | | | | | | | | | | | |

| Description of Item | Quantity | Unit | Unit Price | Total | Release #1 | Amount Requested | Release #2 | Amount Requested | Release #3 | Amount Requested | Release #4 | Amount Requested | Release #5 | Amount Requested | Release #6 | Amount Requested |
|---|----------|------|------------|--------------|------------|------------------|------------|------------------|------------|------------------|------------|------------------|------------|------------------|------------|------------------|
| MOBILIZATION | | | | | | | | | | | | | | | | |
| Mobilization | 1.00 | LS | \$5,000.00 | \$5,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| EARTHWORK | | | | | | | | | | | | | | | | |
| Strip Topsoil & stock pile on site | 9412 | CY | \$2.85 | \$26,824.20 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Place Structural fill for roadway and driveways | 9686 | Ton | \$1.55 | \$15,013.30 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Finish subgrade roadway | 33454 | SF | \$0.15 | \$5,018.10 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Finish grade lot pads & driveways | 32 | Each | \$250.00 | \$8,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Grade and place 6" roadbase for curb & gutter | 1283 | LF | \$3.85 | \$4,939.55 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Grade and place 6" roadbase for 5' sidewalk | 8670 | SF | \$2.15 | \$18,640.50 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Roadway & driveways import structural fill | 9686 | Ton | \$11.25 | \$108,967.50 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Sewer trench import structural fill | 3165 | Ton | \$11.25 | \$35,606.25 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Storm drain trench import structural fill | 512 | Ton | \$11.25 | \$5,760.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Water trench import structural fill | 815 | Ton | \$11.25 | \$9,168.75 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Irrigation trench import structural fill | 648 | Ton | \$11.25 | \$7,290.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| ASPHALT AND CONCRETE | | | | | | | | | | | | | | | | |
| Asphalt 3" - Standard Road | 33454 | SF | \$1.17 | \$39,141.18 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Roadbase 8" Hauled, Placed & Compacted | 33454 | SF | \$0.69 | \$23,083.26 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 24" Curb & Gutter (4" untreated base course incld | 1283 | LF | \$18.00 | \$23,094.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 5' wide Sidewalk 4" Thick (4" untreated base cou | 8670 | SF | \$4.25 | \$36,847.50 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| CULINARY WATER | | | | | | | | | | | | | | | | |
| 8" DI Culinary Water | 408 | LF | \$28.00 | \$11,424.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 8" Gate Valve | 2 | Each | \$1,383.00 | \$2,766.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Connect to Existing Water | 2 | Each | \$1,027.00 | \$2,054.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Fire Hydrant Assembly | 1 | Each | \$4,355.00 | \$4,355.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 1" Water Service Lateral | 32 | Each | \$1,135.00 | \$36,320.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 2" Blowoff | 2 | Each | \$1,703.00 | \$3,406.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Cover Collar for Water Valve Boxes | 6 | Each | \$200.00 | \$1,200.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| SEWER | | | | | | | | | | | | | | | | |
| 8" PVC Sewer Line | 599 | LF | \$29.00 | \$17,371.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 4' Sewer Manhole Precast | 3 | Each | \$2,610.00 | \$7,830.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Cover Collar for Sewer Manhole Lids | 4 | Each | \$250.00 | \$1,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 4" Sewer lateral | 32 | Each | \$850.00 | \$27,200.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Connect to existing | 1 | Each | \$2,650.00 | \$2,650.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Air test sewer pipe | 599 | LF | \$0.75 | \$449.25 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Air test manholes | 3 | Each | \$125.00 | \$375.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| TV sewer main | 599 | LF | \$3.75 | \$2,246.25 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| DRAINAGE | | | | | | | | | | | | | | | | |
| 30" RCP Storm Drain | 337 | LF | \$45.75 | \$15,417.75 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 24" RCP Storm Drain | 45 | LF | \$40.50 | \$1,822.50 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 15" RCP Storm Drain | 102 | LF | \$32.80 | \$3,345.60 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Curb Inlet 2' x 3' x 4' | 3 | Each | \$1,904.00 | \$5,712.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Storm Drain Manhole 5' | 5 | Each | \$3,208.00 | \$16,040.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 21" RCP Storm Drain | 242 | LF | \$39.00 | \$9,438.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Air test storm drain pipe | 726 | LF | \$1.50 | \$1,089.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| TV storm drain pipe | 726 | LF | \$3.75 | \$2,722.50 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Collar manholes | 5 | Each | \$450.00 | \$2,250.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| PRESSURIZED IRRIGATION | | | | | | | | | | | | | | | | |
| 6" PVC Pipe | 796 | LF | \$25.00 | \$19,900.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 6" Gate Valve | 5 | Each | \$1,027.00 | \$5,135.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |

Attachment: South Point 3 Performance Guarantee (Durability Release - SOUTH POINT PHASE 3)

| | | | | | | | | | | | | | | | | |
|------------------------------------|------|------|------------|--------------|----------------------------------|--------|--|--------|--|--------|--|--------|--|--------|--|--------|
| 2" Blowoff Pressurized Irrigation | 2 | Each | \$1,578.00 | \$3,156.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 1" Irrigation Service | 32 | Each | \$655.00 | \$20,960.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Cover Collar for Water Valve Boxes | 5 | Each | \$200.00 | \$1,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| 6" Tee | 2 | Each | \$450.00 | \$900.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| SWPPP | | | | | | | | | | | | | | | | |
| Silt Fence | 1450 | LF | \$2.00 | \$2,900.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Curb Inlet Protection | 3 | Each | \$225.00 | \$675.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Construction Entrance | 2 | Each | \$3,500.00 | \$7,000.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Performance Guarantee Subtotal = | | | | | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 | | \$0.00 |
| Performance Guarantee Subtotal = | | | | \$612,503.94 | Performance Guarantee Subtotal = | | | | | | | | | | | |

25% Contingency per Ordinance Section 17.9.301 = \$ 153,125.99

25% Contingency per Ordinance Section 17.9.301 =

Performance Guarantee Total = \$ 765,629.93

Performance Guarantee Total =

10% Durability - Retained at ICG Release = \$ 76,562.99 ased 9/22/2020

Street Lights Installation Fees = \$ 5,000.00

Street Trees Fees = \$ 9,900.00

Inspection Fees = \$ 6,500.00

| Date |
|--------------|
| |
| |
| Balance |
| |
| \$5,000.00 |
| |
| \$26,824.20 |
| \$15,013.30 |
| \$5,018.10 |
| \$8,000.00 |
| \$4,939.55 |
| \$18,640.50 |
| \$108,967.50 |
| \$35,606.25 |
| \$5,760.00 |
| \$9,168.75 |
| \$7,290.00 |
| |
| \$39,141.18 |
| \$23,083.26 |
| \$23,094.00 |
| \$36,847.50 |
| |
| \$11,424.00 |
| \$2,766.00 |
| \$2,054.00 |
| \$4,355.00 |
| \$36,320.00 |
| \$3,406.00 |
| \$1,200.00 |
| |
| \$17,371.00 |
| \$7,830.00 |
| \$1,000.00 |
| \$27,200.00 |
| \$2,650.00 |
| \$449.25 |
| \$375.00 |
| \$2,246.25 |
| |
| \$15,417.75 |
| \$1,822.50 |
| \$3,345.60 |
| \$5,712.00 |
| \$16,040.00 |
| \$9,438.00 |
| \$1,089.00 |
| \$2,722.50 |
| \$2,250.00 |
| |
| \$19,900.00 |
| \$5,135.00 |

| |
|--------------|
| \$3,156.00 |
| \$20,960.00 |
| \$1,000.00 |
| \$900.00 |
| |
| \$2,900.00 |
| \$675.00 |
| \$7,000.00 |
| |
| \$612,503.94 |

| |
|---------------|
| \$ 153,125.99 |
|---------------|

| |
|----------------------|
| \$ 765,629.93 |
|----------------------|



IMPROVEMENT WARRANTY RELEASE AUTHORIZATION

The City Council of American Fork City, a Municipal Corporation and Body Politic in the State of Utah, hereby authorizes the release of the Improvement Warranty for SOUTH POINT PHASE 3 pursuant to the terms of Section 17.9.100 and 17.9.403 of the City Development Code. The City Council finds that the quality of construction and materials have endured without evidence of unusual depreciation, wear, non-conformance to City standards, or need for remedial action.

The City Council hereby authorizes the City Engineer to issue a letter to the financial guarantee institution authorizing release of the Improvement Warranty or to issue an authorized City check as appropriate for the type of guarantee provided.

Amount Released: \$ 76,562.99

PASSED THIS 8 DAY OF SEPTEMBER, 2020.

City Representative, American Fork City

ATTEST:

Terilyn Lurker, City Recorder



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Recorder **Director Approval** Terilyn Lurker

AGENDA ITEM Review and action on an alcoholic beverage license for Sol Agave located at 598 West Main Street Suite A.

SUMMARY RECOMMENDATION

Staff recommends approval.

BACKGROUND

Sol Agave is applying for an alcoholic beverage license. This is a new business located at 598 West Main Street, Suite A (the old Rubios location).

BUDGET IMPACT

\$300 application fee (revenue).

SUGGESTED MOTION

I move to approve an alcoholic beverage license for Sol Agave located at 598 West Main Street, Suite A.

SUPPORTING DOCUMENTS

Sol Agave Alcoholic Beverage License (PDF)

Printed: 09/01/2020

American Fork

SOL AGAVE

09/01/2020 - 12/30/2020

Beer/Alcoholic Beverage Business License
Application

General

Application Status

Awaiting Payment

Permit/License #

7835184

Reference Number

0721eb00-ec9f-11ea-9634-95cbdb463e95

Status

Active

Application Review Status

Final-Review

Approved

Date Submitted

09/01/2020

Date Approved/Denied

09/01/2020

Fees

New Beer/Alcoholic Beverage Application Fee \$300.00

Total Fees \$300.00**Amount Paid \$0.00**

Payments

There are no payments

Application Form Data

(Empty fields are not included)

Applicant First Name

JESUS

Applicant Last Name

GALVEZ

Phone Number

Email Address

Date of Birth

Age

Are you a US Citizen?

Yes

Social Security #

Home Address (Street)

City

State

Attachment: Sol Agave Alcoholic Beverage License (Sol Agave - Alcohol license application)

CA

Zip

Name of Business to be Licensed

SOL AGAVE

DBA

SOL AGAVE

Business Address

598 W. MAIN ST

City

AMERICAN FORK

State

UT

Zip

84003

Business Phone

(801) 692-1758

Type of American Fork City License

Alcoholic Beverage License

Type of DABC License Applying for

ALCOHOLIC BEVERAGE LICENSE

Upload Local Consent Form

☐ LOCAL COSENT - SOL AGAVE.pdf

Signature

I hereby certify that I have complied with the requirements and possess the qualifications specified in the Alcoholic Beverage Control Act, and that all the information I have provided in this application is true. I hereby certify that I have never been convicted of a felony, or any misdemeanor involving moral turpitude, or of any violation of any law or ordinance relating to alcoholic beverages, including DUI offenses. I agree that if a license is issued, it shall be subject to suspension or revocation as provided in Chapter 5.08 of the American Fork City Code. I further agree to post any bonds required by the City pursuant to the terms of Chapter 5.08 of the City Code. No business license shall be transferred from one person to another, nor from one location to another.

Electronically Signed

JESUS E GALVEZ - 09/01/2020 4:03 pm

Attachment: Sol Agave Alcoholic Beverage License (Sol Agave - Alcohol license application)

Printed: 09/01/2020

American Fork

SOL AGAVE

09/01/2020 - 12/30/2020

Commercial Business License Application

General

Permit/License #

6524878

Reference Number

fa2116e0-ec9b-11ea-9634-95cbdb463e95

Application Status

Under Review

Status

Active

Application Review Status

| | |
|---------------------|--------------|
| Pre-Review | Approved |
| Fire Department | Not Reviewed |
| Zoning Department | Approved |
| Building Department | Not Reviewed |
| TSSD | Not Reviewed |
| Final-Review | Not Reviewed |

Date Submitted

09/01/2020

Fees

| | |
|--------------------------------|-----------------|
| New Commercial Application Fee | \$200.00 |
| Total Fees | \$200.00 |
| Amount Paid | \$0.00 |

Payments

There are no payments

Application Form Data

(Empty fields are not included)

Business Name

SOL AGAVE

DBA

SOL AGAVE

Is this a Nonprofit?

No

Is your business currently open and operating.

No

Is your business an Insurance Company?

No

Local Business Phone

(385) 387-1150

Corporate Business Phone

(949) 395-6051

Website

WWW.SOLAGAVE.COM

Business Email

INFO@SOLAGAVE.COM

Attachment: Sol Agave Alcoholic Beverage License (Sol Agave - Alcohol license application)

Business Activity

Restaurant/Bakery

Applicant First Name

JESUS

Applicant Last Name

GALVEZ

Phone Number

(949) 395-6051

Email Address

Reason For Application

New Application

Business Address (Street)

398 W MAIN ST SUITE A

City

AMERICAN FORK

State

UT

Zip

84003

Mailing Address Attn

SOL AGAVE

Mailing Address (Street)

398 W. MAIN ST SUITE A

City

AMERICAN FORK

State

UT

Zip

84003

Ownership Type

Proprietorship

State Sales Tax No. *(Required if you are selling anything)

15152503-003-STC

Federal EIN

838091935

Business/Entity Registration No.

SOL AGAVE

Employer Withholding No.

0

State License No.

15152503-003-SPF

Short description of your business (This will print on your license)

Attachment: Sol Agave Alcoholic Beverage License (Sol Agave - Alcohol license application)

UPSCALE MEXICAN RESTAURANT

Provide a FULL DETAILED description of your business in detail

WE ARE AN UPSCALE MEXICAN RESTAURANT, SERVING ORGANIC VEGGIES, FRESH SUSTAINABLE SEAFOOD, PRIME STEAKS IN A FRIENDLY FAMILY ENVIRONMENT.

Food Establishment

false

Alarm System

true

I HAVE SCHEDULED AN INSPECTION WITH THE AMERICAN FORK CITY FIRE DEPARTMENT

Yes

| Name | Title | Contact Name | Phone Number | Email Address | Home Address | Drivers License Number |
|----------------|-------|--------------|----------------|---------------|--------------|------------------------|
| JESUS E GALVEZ | OWNER | JESUS GALVEZ | (949) 395-6051 | | | |

Please upload a Pretreatment Survey for Timpanogos Special Services District

☐ WATER D - UTAH.pdf

Signature

I/we hereby agree to conduct said business strictly in accordance with all American Fork City codes governing such business, and swear under penalty of law that the information contained herein is true and correct. I/we also understand that to falsify any information on this application is grounds for denial and/or revocation of this license and other penalties as provided by law. No business license shall be transferred from one person to another, nor from one location to another.

Electronically Signed

JESUS E GALVEZ - 09/01/2020 3:42 pm

Attachment: Sol Agave Alcoholic Beverage License (Sol Agave - Alcohol license application)

Internal Notes

09/01/2020 16:04 pm - David Land

The address shows 398 here, but my pretreatment survey shows 598, which was a rubios before. Can you confirm 598 or 398?



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Review and action on a resolution approving the Blackhurst Property Land Use Map Amendment from the Residential Medium Density to Residential High Density designation, located at 440 South 100 East.

SUMMARY RECOMMENDATION The planning commission recommended approval of the amendment to the land use element of the general plan with one opposing vote as stated in the attached minutes of the August 19, 2020 planning commission meeting.

BACKGROUND The applicant proposes a land use map amendment in order to develop the Blackhurst property with a multi-family project. For further analysis, please refer to the attached application, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to adopt the resolution approving the Blackhurst Property Land Use Map Amendment from the Residential Medium Density to Residential High Density designation, located at 440 South 100 East.

SUPPORTING DOCUMENTS

1. Res (PDF)
2. Application (PDF)
3. Staff Report (PDF)
4. Minutes (PDF)

RESOLUTION NO.

A RESOLUTION APPROVING AN AMENDMENT TO THE LAND USE ELEMENT OF THE GENERAL PLAN LOCATED IN THE VICINITY OF 440 SOUTH 100 EAST FROM THE RESIDENTIAL MEDIUM DENSITY TO THE RESIDENTIAL HIGH DENSITY DESIGNATION.

WHEREAS, Section 10-9a-401(1), Utah Code Annotated, 1953, as amended, requires each municipality in the State of Utah to prepare and adopt a comprehensive, long range general plan for: (1) present and future needs of the municipality; and (2) growth and development of the land within the municipality; and

WHEREAS, Section 10-9a-403, Utah Code Annotated, 1953, as amended, recommends and describes the general content of each of the major elements typically included within a general plan including, but not limited to, a Land Use Element that designates the long term goals and the proposed extent, general distribution, and location of land for housing, business, industry, agriculture, recreation, education, public buildings and grounds, open space and other categories of public and private uses of land; and

WHEREAS, Section 10-9a-403, Utah Code Annotated, 1953, as amended, anticipated that the Land Use Element will, from time to time, be amended and updated to reflect changes in condition or policy within the City; and

WHEREAS, the Planning Commission has reviewed the proposed amendment to the Land Use Element, advertised and held a public hearing thereon, duly considered the comments received at the hearing, and provided a positive recommendation regarding this request; and

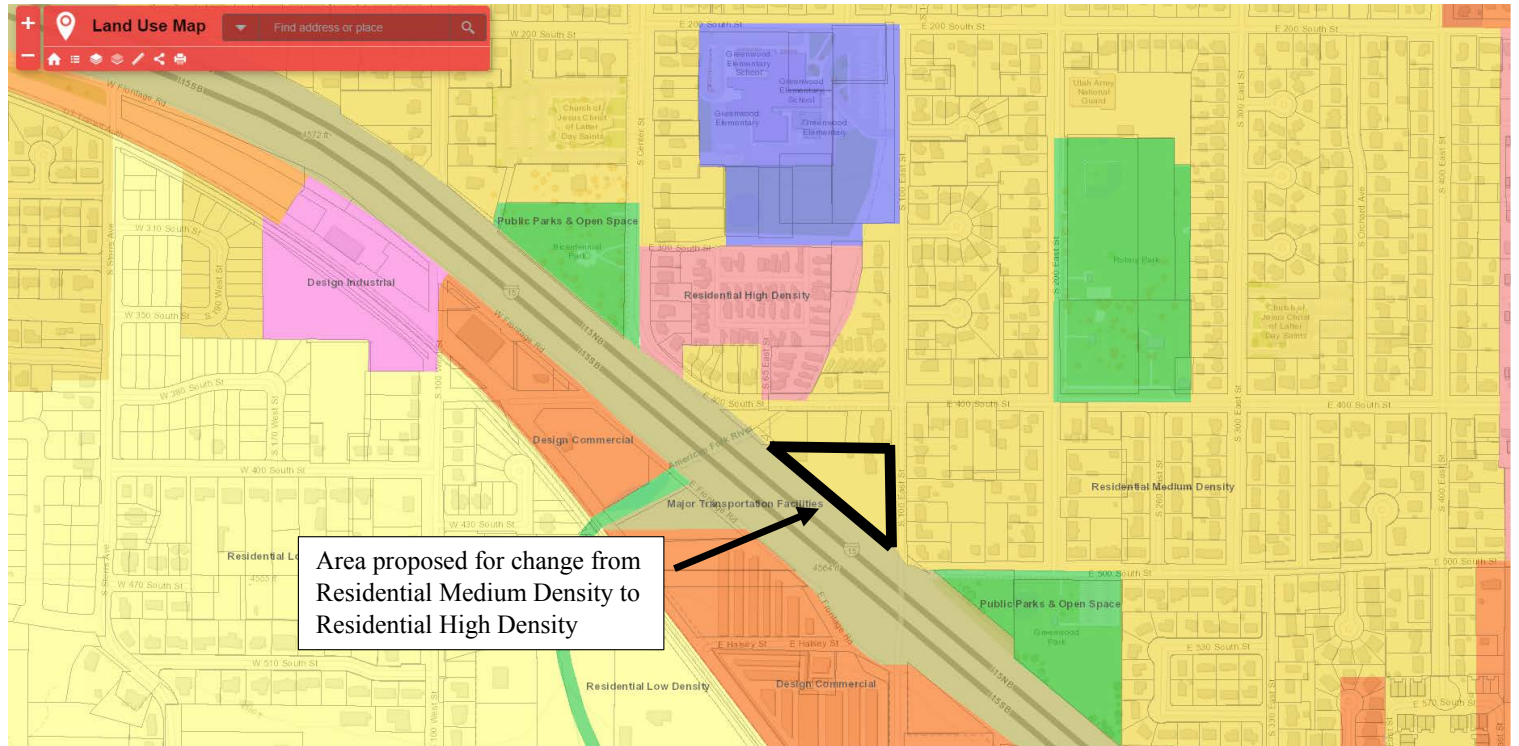
WHEREAS, the City Council has received a positive recommendation from the Planning Commission, and has reviewed the request further, all in accordance with Utah State law.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

SECTION 1. That certain map entitled AMERICAN FORK CITY - LAND USE PLAN is hereby amended to show that the parcels located in the vicinity of 440 South 100 East be amended from the Residential Medium Density to the Residential High Density designation as shown in Exhibit A below. Said change in designation is hereby adopted as an amendment to the Land Use Element of the General Plan of American Fork, Utah.

SECTION 2. The City Council hereby directs that the American Fork Land Use Plan Map be modified to incorporate the changes approved by this Resolution.

Exhibit A



Attachment: 1. Res (Blackhurst Land Use)

SECTION 3. It is the express intent of the City Council that said plan be followed, complied with, and otherwise adhered to.

SECTION 4. The Planning Commission and City Staff are hereby directed to recommend such ordinances and policies as recommended under the plan and deemed essential for its implementation.

PASSED AND ADOPTED THIS 8th DAY OF SEPTEMBER, 2020.

Brad Frost, Mayor

ATTEST:

Terilyn Lurker, Recorder

Attachment: 1. Res (Blackhurst Land Use)

07/20/20

To who it may concern,

We are asking that the property located at 440 south 100 East be changed from an R2-7500 residential medium density, to an R4-7500 residential high density zone. We feel this will better serve the community and the property, because of the current shape of the ground and the proximity to the free way. With the current shape of the ground the frontage serves better to larger lots because as the property goes back it goes into a triangular piece, and it would be difficult to put a road into the property with a cue-de-sac. It works better to use the current frontage and have more ground per lot. Being in close proximity to the free way it serves better as higher density residential for rental properties and having storage units on the south side of the free way, it works as a buffer zone between the residential and light industrial.

We are also requesting a general plan land use map amendment. With the current classification of residential medium density, which we will be changing to residential high density.

Sincerely,



Jared DeHart

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: August 19, 2020
STAFF PRESENTATION: Adam Olsen

AGENDA TOPICS: Hearing, review and action on the Blackhurst property land use map amendment, from the Residential Medium Density to the Residential High-Density designation, located at 440 S. 100 E.

Hearing, review and action on the Blackhurst property zone map amendment, from the R2-7,500 to R4-7,500 Residential zone, located at 440 S. 100 E.

ACTION REQUESTED: Recommendations of approval for land use and zone map amendments.

| BACKGROUND INFORMATION | | | | |
|--|-------|---------------------------------|--------------------|----|
| Location: | | 440 S. 100 E. | | |
| Applicants: | | Mathew Blackhurst, Jared DeHart | | |
| Existing Land Use: | | Residential | | |
| Proposed Land Use: | | Residential | | |
| Surrounding Land Use: | North | Residential | | |
| | South | I-15 | | |
| | East | Residential | | |
| | West | I-15 | | |
| Existing Zoning: | | R2-7,500 | | |
| Proposed Zoning: | | R4-7,500 | | |
| Surrounding Zoning: | North | R2-7,500 | | |
| | South | PF (Public Facilities) | | |
| | East | R2-7,500 | | |
| | West | PF (Public Facilities) | | |
| Land Use Plan Designation: | | Medium Density Residential | | |
| Zoning within Land Use Plan Designation? | | x | Yes (current zone) | No |

Background

The applicant proposes to amend the land use and zone map designations at 440 S. 100 E. from a residential medium density to a residential high-density designation. The property is located adjacent to I-15. If approved, the applicants wish to construct at least one 4-plex on the property; potentially more through a subdivision plat. Surrounding zoning consists of R2-7,500, which allows single-family and duplex uses.

POTENTIAL MOTIONS:

LAND USE MAP AMENDMENT

APPROVAL

Mr. Chairman, I move that we recommend approval of the land use map amendment.

DENIAL

Mr. Chairman, I move that we recommend denial of the land use map amendment.

TABLE

Mr. Chairman, I move that we table action on the land use map amendment.

ZONE MAP AMENDMENT

APPROVAL

Mr. Chairman, I move that we recommend approval of the zone map amendment.

DENIAL

Mr. Chairman, I move that we recommend denial of the zone map amendment.

TABLE

Mr. Chairman, I move that we table action on the zone map amendment.

UNAPPROVED MINUTES

2. Hearing, review and action on a land use map amendment from the General Commercial to the Public Facilities designation, located in the area of 1730 N. North County Blvd. (9826 North 4800 West)

Mr. Olsen told commissioners that the city-initiated land use map amendment proposes a change from commercial to public facilities, in anticipation of a future fire station. The amendment will bring into congruence the zoning and land use map designations of “Public Facilities” as the property annexes into the City. The “Public Facilities” designation encompasses institutional, school and public (City, County, State, Federal) uses.

Public Hearing Opened

No public comments received

Public Hearing Closed

Ms. Anderson moved to approve the land use amendment.

Mr. Ryan Hunter seconded the motion. Voting was as follows:

| | |
|--------------------|-----|
| Chairman Woffinden | Aye |
| Chris Christiansen | Aye |
| Christine Anderson | Aye |
| Ryan Hunter | Aye |
| Harold Dudley | Aye |
| Rod Brocious | Aye |

The motion passed.

Chairman Woffinden noted that items 3 and 4 will be discussed together and voted on separately.

3. Hearing, review and action on the Blackhurst Property Land Use Map Amendment from the Residential Medium Density to Residential High Density designation, located at 440 South 100 East

Mr. Olsen stated that the applicant proposes to amend the land use and zone map designations at 440 S. 100 E. from a residential medium density to a residential high-density designation. The property is located adjacent to I-15. If approved, the applicants wish to construct at least one 4-plex on the property; potentially more through a subdivision plat. Surrounding zoning consists of R2-7,500, which allows single-family and duplex uses.

UNAPPROVED MINUTES

- 1 Ms. Anderson asked what the final density would be if approved.
- 2 Mr. Olsen said that the limiting factor would be the underlying property size, as it is under two
3 acres. At most it could potentially could have 12 units per acre, but it would probably be closer to
4 8 units.
- 5 Ms. Anderson asked if there would be visibility from I-15, and Mr. Olsen replied that there would
6 not be visibility as there is already a barrier.
- 7 Mr. Brocious asked what the purpose of the desired density change is, and he wondered if it would
8 it be an enhancement of the neighborhood if approved.
- 9 Mr. Olsen indicated that there is a high-density parcel to the north in a mobile home park, and the
10 property owner feels that it makes sense as a buffer since it is next to the freeway.
- 11 Ms. Anderson asked if it is possible to grant a high-density allowance with a limited number.
- 12 Mr. Olsen replied that there are self-limiting factors such as lot size, width and depth requirements
13 for a 4-plex. The shape of the lots limits how many units they can fit and meet the requirements.
14 Greenwood Elementary and the river and the trailer park are existing features in the area.

15

Public Hearing Opened

17 **No public comments received**

Public Hearing Closed

19

20 **Mr. Dudley moved to approve the land use map amendment.**

21 **Ms. Anderson seconded the motion. Voting was as follows:**

| | | |
|----|---------------------------|------------|
| 22 | Chairman Woffinden | Aye |
| 23 | Chris Christiansen | Nay |
| 24 | Christine Anderson | Aye |
| 25 | Ryan Hunter | Aye |
| 26 | Harold Dudley | Aye |
| 27 | Rod Brocious | Aye |

28 **The motion passed.**

29

30

31



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Review and action on an ordinance approving the Blackhurst Property Zone Map Amendment from the R2-7,500 to R4-7,500 Residential zone, located at 440 South 100 East.

SUMMARY RECOMMENDATION The planning commission recommended approval of the zone map amendment with one dissenting vote as stated in the attached minutes of the August 19, 2020 planning commission meeting.

BACKGROUND The applicant proposes a zone map amendment from the R2-7,500 Residential to the R4-7,500 Residential zone in order to develop the Blackhurst property with a multi-family project. For further analysis, please refer to the attached application, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to adopt the ordinance approving the Blackhurst Property Zone Map Amendment from the R2-7,500 to R4-7,500 Residential zone, located at 440 South 100 East.

SUPPORTING DOCUMENTS

1. Ord (PDF)
2. Application (PDF)
3. Staff Report (PDF)
4. Minutes (PDF)

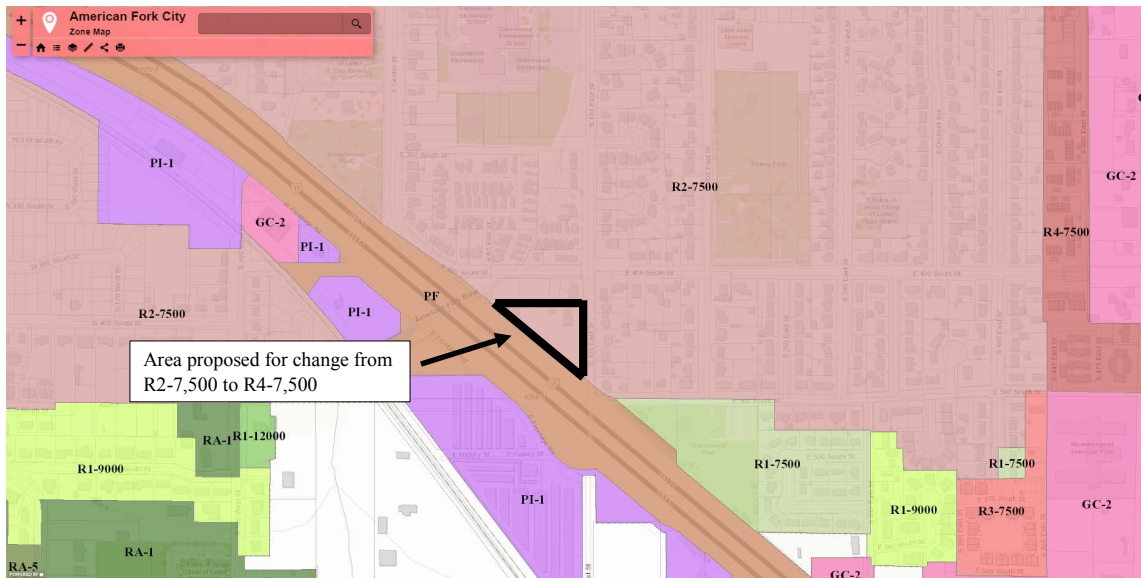
ORDINANCE NO.

AN ORDINANCE AMENDING THE OFFICIAL ZONE MAP OF AMERICAN FORK, UTAH. BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

PART I

That the Official Zone Map of American Fork, Utah, is hereby amended from the R2-7,500 Residential to the R4-7,500 Residential zone located in the vicinity of 440 South 100 East as shown on the map below.

Zone Map



Attachment: 1. Ord (Blackhurst Zoning)

PART II

That said territory shall hereafter be subject to all requirements and conditions applicable with said zone.

PART III

That this Ordinance shall be in force and effect upon its passage and first publication.

**PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF
AMERICAN FORK, UTAH, THIS 8th DAY OF SEPTEMBER, 2020.**

Brad Frost, Mayor

ATTEST:

Terilyn Lurker, Recorder

Attachment: 1. Ord (Blackhurst Zoning)

07/20/20

To who it may concern,

We are asking that the property located at 440 south 100 East be changed from an R2-7500 residential medium density, to an R4-7500 residential high density zone. We feel this will better serve the community and the property, because of the current shape of the ground and the proximity to the free way. With the current shape of the ground the frontage serves better to larger lots because as the property goes back it goes into a triangular piece, and it would be difficult to put a road into the property with a cue-de-sac. It works better to use the current frontage and have more ground per lot. Being in close proximity to the free way it serves better as higher density residential for rental properties and having storage units on the south side of the free way, it works as a buffer zone between the residential and light industrial.

We are also requesting a general plan land use map amendment. With the current classification of residential medium density, which we will be changing to residential high density.

Sincerely,



Jared DeHart

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: August 19, 2020
STAFF PRESENTATION: Adam Olsen

AGENDA TOPICS: Hearing, review and action on the Blackhurst property land use map amendment, from the Residential Medium Density to the Residential High-Density designation, located at 440 S. 100 E.

Hearing, review and action on the Blackhurst property zone map amendment, from the R2-7,500 to R4-7,500 Residential zone, located at 440 S. 100 E.

ACTION REQUESTED: Recommendations of approval for land use and zone map amendments.

| BACKGROUND INFORMATION | | | | |
|--|-------|---------------------------------|--------------------|----|
| Location: | | 440 S. 100 E. | | |
| Applicants: | | Mathew Blackhurst, Jared DeHart | | |
| Existing Land Use: | | Residential | | |
| Proposed Land Use: | | Residential | | |
| Surrounding Land Use: | North | Residential | | |
| | South | I-15 | | |
| | East | Residential | | |
| | West | I-15 | | |
| Existing Zoning: | | R2-7,500 | | |
| Proposed Zoning: | | R4-7,500 | | |
| Surrounding Zoning: | North | R2-7,500 | | |
| | South | PF (Public Facilities) | | |
| | East | R2-7,500 | | |
| | West | PF (Public Facilities) | | |
| Land Use Plan Designation: | | Medium Density Residential | | |
| Zoning within Land Use Plan Designation? | | x | Yes (current zone) | No |

Attachment: 3. Staff Report (Blackhurst Zoning)

Background

The applicant proposes to amend the land use and zone map designations at 440 S. 100 E. from a residential medium density to a residential high-density designation. The property is located adjacent to I-15. If approved, the applicants wish to construct at least one 4-plex on the property; potentially more through a subdivision plat. Surrounding zoning consists of R2-7,500, which allows single-family and duplex uses.

POTENTIAL MOTIONS:

LAND USE MAP AMENDMENT

APPROVAL

Mr. Chairman, I move that we recommend approval of the land use map amendment.

DENIAL

Mr. Chairman, I move that we recommend denial of the land use map amendment.

TABLE

Mr. Chairman, I move that we table action on the land use map amendment.

ZONE MAP AMENDMENT

APPROVAL

Mr. Chairman, I move that we recommend approval of the zone map amendment.

DENIAL

Mr. Chairman, I move that we recommend denial of the zone map amendment.

TABLE

Mr. Chairman, I move that we table action on the zone map amendment.

UNAPPROVED MINUTES

4. Hearing, review and action on the Blackhurst Property Zone Map Amendment from R2-7,500 to R4-7,500 Residential zone, located at 440 South 100 East

Public Hearing Opened

No public comments received

Public Hearing Closed

Mr. Dudley moved to approve the zone map amendment.

Ms. Anderson seconded the motion. Voting was as follows:

| | |
|---------------------------|------------|
| Chairman Woffinden | Aye |
| Chris Christiansen | Nay |
| Christine Anderson | Aye |
| Ryan Hunter | Aye |
| Harold Dudley | Aye |
| Rod Brocious | Aye |

The motion passed.

5. Hearing, review and action on the Rawlings Zone Map Amendment from the R1-7,500 to R2-7,500 Residential zone located at 165 East 300 North

Mr. Olsen stated that the applicant proposes to change the zone on his property from R1-7,500 to R2-7,500. The underlying land use map designates the area as “medium-density residential” and a change to the R2-7,500 is supported by the underlying land use designation. Single-family and duplex uses are allowed in the R2-7,500 zone. The applicant would like the ability to convert his single-family use to a duplex use; provided his property meets the parameters for duplex use.

Mr. Dudley asked if the applicant should be encouraged to speak with their neighbor and square it off, so there is not an island left that is zoned R1.

Mr. Olsen indicated that the zone can’t be changed without a property owner’s consent. Changing the zone is not a guarantee that the applicant will put a duplex in, it is currently single-family.

Mr. Christiansen felt like the property owner should bring forward a plan when he has the need, not preemptively.

Ms. Anderson doesn’t like the island being left over, but the owner’s request seems fair.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Public Works

Director Approval Scott Sensanbauger

AGENDA ITEM Review and action on an ordinance amending Section 17.4.608 of the American Fork City Municipal Code, a relating to District Framework Plans

SUMMARY RECOMMENDATION

Staff recommends approval of the amendments to Sec 4 of Section 17.4.608 of the American Fork City Municipal Code relating to District Framework Plans

BACKGROUND

The District Framework Plan establishes minor thoroughfares. The amendment is to this section provides clarification to the Operational Overlay and its intent.

BUDGET IMPACT

None.

SUGGESTED MOTION

I move to adopt the ordinance amending Sec 4 of Section 17.4.608 of the American Fork City Municipal Code relating to District Framework Plans.

SUPPORTING DOCUMENTS

17.4.608 - Sec 4 District Framework Plan (DOCX)
District Framework Plans - changes (PDF)

ORDINANCE NO. 2020-08-_____

AN ORDINANCE AMENDING SECTION 17.4.608, Sec 4, H OF THE MUNICIPAL CODE OF AMERICAN FORK CITY, UTAH, RELATING TO THE TRANSIT ORIENTED DEVELOPMENT (TOD) ZONE, DISTRICT FRAMEWORK PLANS.

WHEREAS, Chapter 17.4.608, Sec 4, H of the American Fork Municipal Code relating to the Transit Oriented Development (TOD) Zone;

WHEREAS, City Council desires to amend Sec 4 District Framework Plans, H;

WHEREAS, it is in the best interest and general welfare of residents of American Fork to amend the Code relating to District Framework Plans; and

NOW THEREFORE, be it ordained by the City Council of American Fork, Utah, that:

PART I**TEXT OF ORDINANCE**

SECTION 1. Chapter 17.4.608, Sec 4, H of the Municipal Code of American Fork City, relating to the Transit Oriented Development (TOD) Zone District Framework Plans is hereby amended to read as follows:

H. Operational Overlay

1. A district framework plan must demonstrate general compliance with Table 4A – Operational Overlays.
2. A district framework plan shall illustrate the minor thoroughfares network and must demonstrate how it will maintain connectivity of pedestrian and vehicular thoroughfares to all properties adjacent to the proposed district framework plan. Minor thoroughfares shall also provide for the future extension of public thoroughfares to all adjacent properties.

PART II**CONFLICTING ORDINANCES, SEVERABILITY, AND ADOPTION**

SECTION 1. Conflicting Provisions. Whenever the provisions of this Ordinance conflict with the provisions of any other ordinance, resolution, or part thereof, the more stringent shall prevail.

SECTION 2. Provisions Severable. This Ordinance and the various sections, clauses and paragraphs are hereby declared to be severable. If any part, sentence, clause, or phrase is adjudged to be unconstitutional or invalid, it is hereby declared that the remainder of the ordinance shall not be affected thereby.

EFFECTIVE DATE

This amended ordinance shall take effect immediately upon its passage and publication as prescribed by law.

Passed by the American Fork City Council this 8th day of September, 2020.

ATTEST:

Bradley J. Frost
American Fork City Mayor

Terilyn Lurker
City Recorder

Sec 4 District Framework Plans

Instructions

1. Within character *districts* a landowner is subject to a *district framework plan* in accordance with Section 4. The landowner, their agents, or designee must prepare a district framework plan to guide future development.
 - a. A *district framework plan* must be prepared in a manner consistent with a governing development area plan.
 - b. The landowner, their agents, or designee must consult with American Fork City, all affected municipal entities, transit authority, and the local school district for input and feedback in the preparation of a district framework plan.
2. A *district framework plan* is subject to approval by the City Council, after review and recommendation by the Planning Commission.
3. *District framework plans* shall expire 24 months after approval if not acted upon further through the submittal of a block plan. Time extensions may be granted by the City Council upon request.
4. A *district framework plan* must show conformance with Table 4A - Operational Overlays.
5. A *district framework plan* must assign land within the *character district* to sub-districts, block types, and thoroughfares. Regional open space and thoroughfares, located adjacent to and outside of the subject character district, must also be assigned when applicable.
6. A district framework plan submitted for approval must demonstrate compliance with:
 - a. *Block type standards* (subsection C)
 - b. *Sub-district standards* (subsection D)
 - c. Transportation network standards (subsection E)
 - d. Special requirements, if any (subsection F)
 - e. Phasing standards (subsection G)
 - f. Operational Overlay (subsection H)

B. Submission Requirements

1. A *district framework plan* submittal must include the following exhibits:
 - a. Exhibit 1: Legal Description, including a legal description of the property.
 - b. Exhibit 2: Boundary Survey.
 - c. Exhibit 3: *Development Area Plan*, including the governing development area plan, where appropriate, and indicating the character district subject to this district framework plan.
 - d. Exhibit 4: Boundary Map, including:
 1. Name and ownership of the property or properties,
 2. Acreage of the property or properties,
 3. Boundary of the property or properties with dimensions,
 4. Existing land use of all properties within 500 feet of the character district boundaries.
 - e. Exhibit 5: Constraints Map, including:

1. Portions of the property or properties currently designated as flood plain and wetlands, water bodies, and other sensitive lands. If future action is to be taken to modify or mitigate these constraints, this map should be updated to reflect any changes.
- f. Exhibit 6: District Framework Plan, including:
 1. *Block type* boundaries and IDs and a data table including block type assignment, net acreage and gross acreage of each block type.
 2. *Civic district* boundaries, and a data table including types, acreages, and any assigned uses.
 3. A data table including the gross acreage and net acreage of the district, net acres of developable land and total acreage assigned to thoroughfares.
 4. A data table indicating the total aggregated gross acreage of each block type and *civic district* (e.g. 50.03 acres of BT-2) and percentage of the gross character district acreage (e.g. BT-2 is 20% of the gross *character district* acreage).
- g. Exhibit 7: Transportation Network Plan, including:
 1. A key showing the thoroughfare network of the governing *development area plan* and the transportation master plan.
 2. Existing, new, and modified thoroughfares as required in Section 7.
 3. New and modified intersections, identifying the type.
 4. Existing, new, and relocated major utility easements.
 5. A data table including all thoroughfares within the *character district*, indicating ownership, Right-of-Way width, number of vehicular lanes, thoroughfare type, and transportation provisions.
- h. Exhibit 8: Thoroughfare Naming Plan, including:
 1. Names for each thoroughfare within the *character district* in accordance with the City's street naming ordinance.
- i. Exhibit 9: Bicycle Network Plan, including:
 1. Existing and new bicycle networks.
- j. Exhibit 10: Traffic Study, including:
 1. Street system within the applicable *character district*,
 2. Adjacent streets outside of character district,
 3. Connecting streets to other *character districts* (if applicable)
- k. Exhibit 11: Civic District Plan, including:
 1. Regional open space network,
 2. Trail network,
 3. Schools,
 4. Public safety facilities,
 5. Any additional *civic districts*.
- l. Exhibit 12: Thoroughfare Assemblies, including:
 1. Thoroughfare assemblies for new and modified existing thoroughfares, in compliance with Section 7.
- m. Exhibit 13: Intersection Assemblies, including:
 1. *Intersection* assemblies for all new or modified intersections, in compliance with Section 7.

- n. Exhibit 14: Phasing Plan, including:
 - 1. Phase boundaries, acreages, and sequence for each phase as required in Section 5.09.
 - o. Exhibit 15: Detailed Architectural Standards providing for architectural regulation in addition to those required by Section 6.
 - p. Exhibit 16: Special Requirements, including:
 - 1. A graphic depiction of special requirements according to subsection G.
 - 2. All exhibits must include:
 - a. North arrow, graphic scale, and date.
 - b. Existing land use of all properties within 500 feet of the *character district* boundaries. Exhibits 12 - 15 may exclude this item.
 - 3. All documents must be submitted digitally in portable document format (PDF) and hard copy format, including both a submission booklet at 11' x 17' and each exhibit at 24' x 36'.
 - 4. Application forms and fees must be submitted according to the Municipality Fee Schedule.
 - 5. A plan identifying the funding and phasing according to unit absorption for all civic open spaces must be submitted as an addendum to the required exhibits.
- C. Block Type Standards**
- 1. Each *block* defined by the thoroughfare network grid must be assigned a single *block type*.
 - 2. *Block type* assignments are limited by *character district* according to Table 4B - Block Type & Sub-District Assignments and Table 4D - Block type Location.
 - a. The percentage of each block type is calculated as the sum of the *gross block type* area for each block type designation divided by the gross acreage of the *character district*.
 - 3. Blocks containing *civic districts* may exceed 15 acres.
- D. Sub-District Standards**
- 1. Each *block* defined by the thoroughfare network grid must be assigned to a sub-district.
 - 2. Sub-district assignments are limited by character district according to Table 4B - Block Type & Sub-District Assignments.
 - 3. Sub-districts identify allowable uses by general category according to Table 4C - Sub- District & Permitted Uses.
 - a. Uses that are not identified by Sub-District are considered prohibited.
- E. Transportation Network Standards**
- 1. *District framework plans* must map existing and planned thoroughfares including the following:
 - a. The major thoroughfare network as mapped in the *development area plan*,
 - b. The minor *thoroughfare network* as represented in the *district framework plan* Table 4A - Operational Overlays.
 - c. Existing thoroughfares not mapped on the major thoroughfare network.
 - 2. *District framework plans* must map a future minor *thoroughfare network*, consisting of the following:
 - a. Modifications to existing thoroughfares,

- b. New thoroughfares,
 - c. Modifications to existing intersections,
 - d. New *intersections*.
 - 3. The thoroughfare network must be configured as a grid creating blocks according to the following:
 - a. *Blocks* must be sized according to Table 4D - Block Characteristics.
 - b. *Blocks* must be shaped according to Table 4D - Block Characteristics.
 - c. The thoroughfare network may deviate from these requirements to accommodate natural conditions, to intersect major thoroughfares at right angles, at character district boundaries and outside of the *pedestrian shed*.
 - 4. Thoroughfares and intersections must be configured according to the following:
 - a. All thoroughfares must connect to other thoroughfares, forming a network,
 - b. New thoroughfares must connect wherever possible to thoroughfares outside of a character district,
 - 5. Thoroughfare assemblies and *intersection* assemblies must be included for each mapped thoroughfare and intersection in accordance with the American Fork City Public Improvement Specifications, Standards, and Drawings.
 - 6. Minor thoroughfare assemblies (external to blocks) may be proposed, but must (at a minimum) meet the following:
 - a. 32 feet of asphalt on a two-way thoroughfare;
 - b. Proposed thoroughfare must accommodate drainage;
 - c. Proposed thoroughfare must accommodate pedestrians.
 - 7. *District framework plans* must map a future bicycle network, consistent with the governing development area plan, indicating the following:
 - a. Existing and future bicycle facilities and network,
 - b. *Bicycle lanes*, routes and trails connecting to the existing bicycle network, regional open space, existing and future trail networks, schools, and *civic districts*.
 - 8. *District framework plans* must map existing and future major utility easements for utilities with a continuous easement traversing more than the subject district.
 - a. Major utility easements should be assigned to thoroughfare rights-of-way.
 - b. Future major utility easements should avoid entering districts when possible.
- F. Civic Districts Standards**
- 1. Land designated *civic district* is reserved for public open space and *civic buildings*.
 - 2. A *district framework plan* must assign *civic districts* in the amount required in Table 4B - Block Type & Sub-District Assignments.
 - 3. A designation of civic open space (CS) may be applied to any *civic district*, restricting its use to those *civic* space types specified in Table 7D - Civic Open Space Types, and associated structures.
 - 4. *Civic* open space must be publicly accessible.
 - 5. *Civic* open space less than 5 contiguous acres will not be managed by the City; a management authority will need to be assigned in coordination with the City.
 - a. Open space maintenance shall comply with Section 12.12 of the American Fork City Code.

6. No more than 20% of the land area of a character district may be assigned to civic open space.
7. A *district framework plan* may designate *civic districts* reserved for school sites and other buildings of *civic* importance, to be used as *civic* open space temporarily.
8. Designation of *civic building* (CB) may be applied to any *civic district*, or portion thereof, less than 2 acres in area, restricting its use to those *civic building types* specified in Table 7D - Civic Open Space Types.

G. Special Requirements

1. A *district framework plan* must demonstrate compliance with any special requirements designated in the development area plan.
2. A *district framework plan* may designate the following special requirements:
 - a. A mandatory connection requiring block plans provide a vehicular or pedestrian thoroughfare along a provided trajectory.
 - b. A mandatory zoning restriction requiring block plans assign a specified category for lots along an edge of a block type.

H. Operational Overlay

1. A district framework plan must demonstrate general compliance with Table 4A - Operational Overlays.
2. A district framework plan shall illustrate the minor thoroughfares network and must demonstrate how it will maintain connectivity of pedestrian and vehicular thoroughfares to all properties adjacent to the proposed district framework plan. Minor thoroughfares shall also provide for the future extension of public thoroughfares to all adjacent properties.

Table 4A - OPERATIONAL OVERLAYS

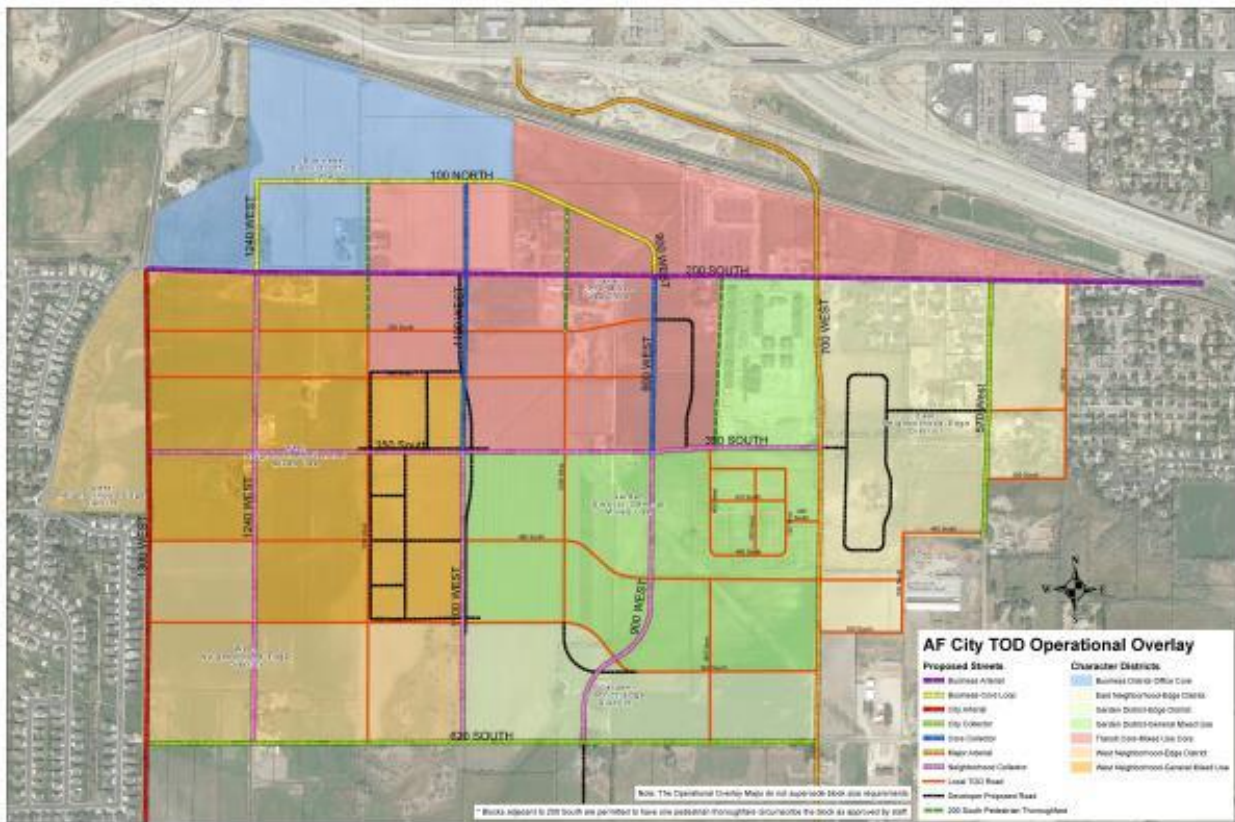


Table 4B - BLOCK TYPE AND SUB-DISTRICT ASSIGNMENTS

| District | | Block Type Percentages | | | | | | Civic Spaces | Open |
|-------------------|------|------------------------|--------|--------|-------|--------|--------|--------------|------|
| | | BT-1 | BT-2 | BT-3 | BT-4 | BT-5 | BT-6 | | |
| Business District | | | | | | | | | |
| Neighborhood Edge | ED-R | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| General Mixed-Use | MU-G | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Office Core | OF-C | N/A | N/A | N/A | 0-20% | 15-30% | 20-50% | 5-10% | |
| Mixed-Use | MU-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Transit Core | | | | | | | | | |
| Neighborhood Edge | ED-R | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| General Mixed-Use | MU-G | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Office Core | OF-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Mixed-Use | MU-C | N/A | N/A | N/A | N/A | 30-60% | 0-50% | 5-10% | |
| West Neighborhood | | | | | | | | | |
| Neighborhood Edge | ED-R | 0-40% | 10-60% | N/A | N/A | N/A | N/A | 10-20% | |
| General Mixed-Use | MU-G | N/A | 20-50% | 10-40% | 0-25% | N/A | N/A | 10-20% | |
| Office Core | OF-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Mixed-Use | MU-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Garden District | | | | | | | | | |
| Neighborhood Edge | ED-R | 20-40% | 10-40% | 0-25% | N/A | N/A | N/A | 10-20% | |
| General Mixed-Use | MU-G | N/A | 20-50% | 10-40% | 0-25% | N/A | N/A | 10-20% | |
| Office Core | OF-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| Mixed-Use | MU-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A | |
| East Neighborhood | | | | | | | | | |

| | | | | | | | | |
|-------------------|------|-------|---------|-----|-----|-----|-----|--------|
| Neighborhood Edge | ED-R | 0-60% | 40-100% | N/A | N/A | N/A | N/A | 10-20% |
| General Mixed-Use | MU-G | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| Office Core | OF-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A |
| Mixed-Use | MU-C | N/A | N/A | N/A | N/A | N/A | N/A | N/A |

Table 4C - SUB-DISTRICT AND PERMITTED USES

| | SUB-DISTRICT | | | |
|---------------------------------|--------------|------|------|------|
| PERMITTED USES | ED-R | MU-G | OF-C | MU-C |
| A. Residential | | | | |
| Mixed Use | | X | | X |
| Multi-Family | | X | | X |
| Single Family: Attached | X | X | | X |
| Single Family: Detached | X | | | |
| Senior Housing | X | X | | X |
| Work/Live Unit | | X | | X |
| Accessory Dwelling Unit | X | X | | |
| Dormitory | | X | | X |
| B. Lodging | | | | |
| Hotel (no room limit) | | | X | X |
| Inn (up to 12 rooms) | | X | | X |
| Bed & Breakfast (up to 5 rooms) | X | | | |
| C. Business | | | | |
| Office Building | | | X | X |
| Home Occupation | X | X | | |
| D. Retail | | | | |
| Open Market | | X | | X |
| Neighborhood Retail | | X | X | X |
| Display Gallery | | X | | X |
| Restaurant | | X | X | X |
| Food Truck | X | X | X | X |
| Drive-Through | | X | | X |
| Kiosk | | X | X | X |

| | | | | |
|--------------------------|---|---|---|---|
| Push Cart | | X | X | X |
| E. Automotive | | | | |
| Gas Station | | X | | |
| Automobile Service | | | | |
| Drive-Through | | X | | |
| F. Civil Support | | | | |
| Assembly | X | X | X | X |
| Cemetery | X | X | | |
| Funeral Home | | X | | X |
| Hospital | | X | X | X |
| Medical Clinic | | X | X | X |
| Library | | X | | X |
| Musem | | X | X | X |
| Post Office | | X | X | X |
| Public Safety | X | X | X | X |
| Laboratory | | | X | |
| Transit Stop/Station | X | X | X | X |
| G. Education | | | | |
| College | | | X | X |
| Trade School | | X | X | X |
| High School | X | X | | |
| Junior High School | X | X | | |
| Elementary School | X | X | | X |
| Child Care Center | X | X | X | X |
| Charter School | X | X | | X |
| H. Infrastructure | | | | |
| Parking Lot | | X | X | X |
| Parking Structure | | X | X | X |
| Utility & Infrastructure | X | X | X | X |
| Open Space | X | X | X | X |

Table 4D - BLOCK TYPE LOCATION

| BLOCK TYPE | LOCATION | ADJACENCIES |
|------------|----------|-------------|
|------------|----------|-------------|

| | | |
|------|--|--|
| BT-1 | <i>BT-1</i> Should be located towards the edge of character districts, within or outside of the <i>pedestrian shed</i> . | <i>BT-1</i> may be located adjacent to existing single-family residentially zoned properties |
| BT-2 | <i>BT-2</i> should be located towards the edge of character districts, within or outside of the <i>pedestrian shed</i> | <i>BT-2</i> may be located adjacent to existing single-family residentially zoned properties. Where this occurs a special requirement map must assign LT-2 and/or LT-3 at adjacent edges |
| BT-3 | <i>BT-3</i> should be located within <i>pedestrian sheds</i> . | <i>BT-3</i> may be located adjacent to existing single-family residentially zoned properties. Where this occurs a special requirement map must assign LT-3 at adjacent edges. |
| BT-4 | <i>BT-4</i> should be located within <i>pedestrian sheds</i> , along major thoroughfares. | <i>BT-4</i> should not be located adjacent to existing single family residentially zoned properties |
| BT-5 | <i>BT-5</i> should be located within <i>pedestrian sheds</i> , along major thoroughfares or at the edge of the <i>pedestrian shed</i> , along major thoroughfares. | <i>BT-5</i> must not be located adjacent to existing single family residentially zoned properties. |
| BT-6 | <i>BT-6</i> should be located within <i>pedestrian sheds</i> , along major thoroughfares or at the edge of the <i>pedestrian shed</i> , along major thoroughfares. | <i>BT-6</i> must not be located adjacent to existing single family residentially zoned properties. |

Table 4E - BLOCK CHARACTERISTICS

| CHARACTER DISTRICTS | Block Size (net acres) | Block Shape |
|---------------------|--|-----------------------------------|
| Business District | 4 acre min. 8 acre max. 12 acre for sensitive lands | Orthogonal or Rhomboidal |
| Transit Core | 4 acre min. 8 acre max. 12 acre for sensitive lands | Orthogonal or Rhomboidal |
| West Neighborhood | 4 acre min. 8 acre max. 12 acre for sensitive lands | 40% min. Orthogonal or Rhomboidal |
| Garden District | 6 acre min. 10 acre max. 12 acre for sensitive lands | 40% min. Orthogonal or Rhomboidal |
| East Neighborhood | 6 acre min. 10 acre max. 12 acre for sensitive lands | 50% min. Orthogonal or Rhomboidal |



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Public Works

Director Approval Scott Sensanbauger

AGENDA ITEM Review and action of a Reimbursement Agreement with Wagscap, LLC for 500 East and Auto Mall Drive.

SUMMARY RECOMMENDATION Wagscap LLC proposes a Reimbursement Agreement for system improvements along 500 East and Auto Mall Drive of the recently approved Truck Ranch development.

BACKGROUND The City Council approved the Truck Ranch development at the November 12, 2019 regular session meeting. Truck Ranch has been working closely with the City's Public Works Department on a plan for the upsizing of the sidewalk improvements along 500 East and Auto Mall Drive in compliance with the approved Master Plans.

A Reimbursement Agreement was drafted by the developer and reviewed by the City Attorney's office. The agreement outlines the parameters for the construction cost of the sidewalk improvements along 500 East and Auto Mall Drive.

The system improvement impact fees reimbursement adds up to \$19,385.00 for sidewalk improvements. The total cost for the system improvements adds up to \$19,385.00.

BUDGET IMPACT An amount no greater than \$19,385.00 for the upsizing of the public improvements along 500 East and Auto Mall Drive, which will be applied as a roadway impact fee reimbursement.

SUGGESTED MOTION Move to approve the Reimbursement Agreement with Wagscap, LLC for 500 East and Auto Mall Drive.

SUPPORTING DOCUMENTS

REIMBURSEMENT AGREEMENT - Truck Ranch(DOCX)

REIMBURSEMENT AGREEMENT

This Reimbursement Agreement ("*Agreement*") is entered into as of this ____ day of _____, 2020, by and between Wagscap, LLC with its principal offices located at 4421 N Thanksgiving Way, Lehi, UT 84043 ("*Developer*") and American Fork City, a municipal corporation and political subdivision of the State of Utah with its principal offices located at 51 East Main Street, American Fork, Utah 84003 ("*City*").

RECITALS

WHEREAS, Developer owns certain parcels of property located in American Fork, Utah County, Utah, specifically Parcel 34:363:0011 which consists of approximately 2.36 acres and is further described in Exhibit A attached hereto (the "*Property*").

WHEREAS, the parties have learned that there are certain mutually beneficial, cooperative and cost-cutting ways their respective properties can assist in the development of the other;

WHEREAS, pursuant to Section 13.80.030 of the American Fork Code of Ordinances and in compliance with Section 11-36a-402 of the Utah Code Annotated, the parties desire to provide for certain "system improvements," as that term defined in Section 11-36a-102 of the Utah Code Annotated, in conjunction with the development of the Property by Developer;

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and Developer hereby agree as follows:

AGREEMENT

- 1. Road.** The City seeks to have some additional off-site public improvements constructed adjacent to Truck Ranch. Each off-site improvement is a system improvement and is reimbursable to the Developer. The additional off-site improvements and associated materials and costs are set forth, and agreed to as shown, in the attached Exhibit B.
- 2. System Improvements Reimbursement.** The public improvements described above are each a System Improvement and collectively the "System Improvements." The City agrees to reimburse Developer for the System Improvements in an amount equal to the actual costs of the System Improvements, not to exceed the amounts set forth in Exhibit B.
- 3. Time of Reimbursement.** The City shall provide to Developer a single reimbursement payment within thirty days of completion of all system improvements for the Project. Completion shall mean completion of construction, inspection and acceptance by the City Council.

- 4. Choice of Law.** This Agreement shall be governed by, and construed in accordance with, the laws of the State of Utah.
- 5. Entire Agreement.** This Agreement constitutes the entire agreement between the parties regarding the subject matter hereof and supersedes all prior understandings, written or oral, regarding the subject matter hereof.
- 6. Modification.** This Agreement may only be modified or altered by a writing signed by both parties.
- 7. Attorney Fees.** In the event either party seeks to enforce the terms hereof in a lawsuit or other proceeding, the prevailing party shall be entitled to an award of the costs incurred, including reasonable attorney fees.
- 8. Execution.** This Agreement may be executed in multiple original counterparts, each of which shall be deemed to be an original and all of which, taken together, shall constitute one and the same Agreement.
- 9. Severability.** The provisions of this Agreement shall be deemed to be severable, and if any provision of this Agreement is determined to be invalid or unenforceable by any court of competent jurisdiction, such invalidity or unenforceability shall not affect or limit the validity or unenforceability of the remaining provisions hereof.
- 10. Third-Party Beneficiary Interests.** Nothing contained in this Agreement is intended to benefit any person or entity other than the parties to this Agreement and/or their respective successors and assigns; and no representation or warranty is intended for the benefit of, or to be relied upon by, any person or entity which is not a party to this Agreement and/or their respective successors and assigns.
- 11. Binding Effect.** This Agreement shall inure to the benefit of, and be binding upon, the parties hereto and their respective heirs, representatives, officers, agents, employees, members, successors and assigns.

WHEREFORE, the parties have executed the foregoing to be effective on the date appearing above.

DEVELOPER

AMERICAN FORK CITY

By: _____
Its: _____

Bradley J. Frost
Mayor, American Fork City

ATTEST:

City Recorder

Approved as to content:

City Engineer

EXHIBIT A
Parcel Legal Description

Legal Description: PART LOT 3, PLAT A, AUTO MALL BUSINESS CENTER SUB DESCRIBED AS FOLLOWS;; COM N 1084.71 FT & E 1846.13 FT FR W 1/4 COR. SEC. 25, T5S, R1E, SLB&M.; N 89 DEG 38' 28" E 20.7 FT; S 87 DEG 3' 12" E 26.04 FT; N 89 DEG 44' 21" E 53 FT; S 0 DEG 19' 29" E 91.92 FT; N 89 DEG 42' 37" E 76.4 FT; N 89 DEG 42' 54" E 3.8 FT; S 73 DEG 2' 17" E 241.49 FT; S 40 DEG 9' 56" W 156.17 FT; S 0 DEG 44' 21" E 94.68 FT; S 89 DEG 15' 39" W 274.99 FT; N 43 DEG 3' 12" W 57.9 FT; N 0 DEG 36' 7" E 150.44 FT; N 0 DEG 51' 3" E 95.9 FT; N 0 DEG 15' 28" W 91.87 FT TO BEG. AREA 2.357 AC.

EXHIBIT "B"
Description of Improvements and estimated cost (bid schedule)

| DESCRIPTION | | COST |
|--|--|---------------------|
| CONCRETE CURB, GUTTER, AND ADA RAMPS (SUB-CONTRACTOR) | | \$ 11,166.00 |
| CHANGE ORDER FOR SITE PREP (SUB-CONTRACTOR) | | \$ 5,719.00 |
| - | SILT FENCE REMOVAL, SIDEWALK DEMOLITION FOR ADA RAMP | |
| - | SUB-GRADE PREPARATION, SURVEYING AND GRADING | |
| - | BASECOURSE TRUCKING, CONDITIONING AND PLACING | |
| - | FINAL GRADING, STAKING AND SURVEYING | |
| - | COMPACTION AND QC TESTING COORDINATION | |
| - | SIGN RELOCATE (2) | |
| ENGINEERING PLAN SET AND COST ESTIMATING (JOHNSON ENGINEERING) | | \$ 2,500.00 |
| TOTAL REIMBURSEMENT | | \$ 19,385.00 |



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Review and action on an ordinance approving a commercial site plan for the Bach Apartments, located in the area of 740 East 620 South in the PC Planned Community zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the site plan for the Bach Apartments as stated in the attached minutes of the August 19, 2020 planning commission meeting.

BACKGROUND The applicant proposes a multi-family residential development project consisting of a mixture of 338 apartment and townhome units on the former Vest property. For further analysis, please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I motion to adopt the ordinance approving a commercial site plan for the Bach Apartments, located in the area of 740 East 620 South in the PC Planned Community zone, with instructions to the city recorder to withhold publication of the ordinance subject to:

- All conditions identified in the public record associated with the August 19, 2020 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ord (PDF)
2. Site Plan (PDF)
3. Staff Report (PDF)
4. Minutes (PDF)

ORDINANCE NO.**AN ORDINANCE APPROVING THE SITE PLAN FOR THE BACH APARTMENTS
LOCATED AT 740 EAST 620 SOUTH****BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,****PART I****DEVELOPMENT APPROVED - ZONE MAP AMENDED**

- A. The site plan for the Bach Apartments, as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans is hereby designated as Large-Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II**ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance, are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

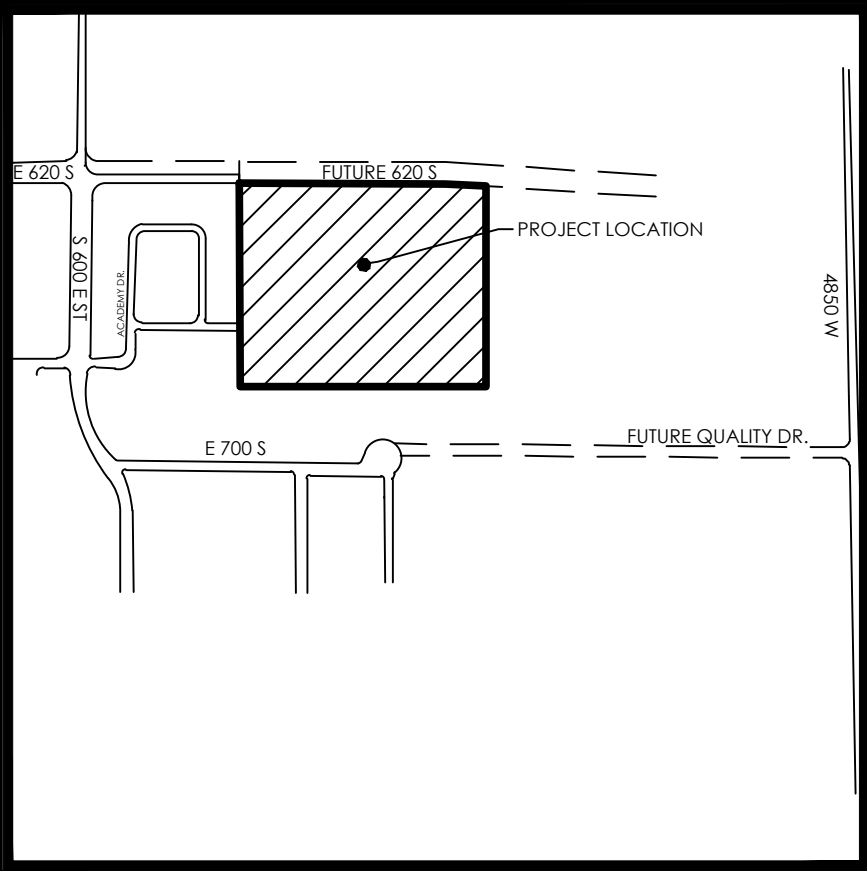
**PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN
FORK, UTAH, THIS 8th DAY OF SEPTEMBER, 2020.**

Brad Frost, Mayor

ATTEST:

Terilyn Lurker, Recorder

Attachment: 1. Ord (Bach 740 E Site Plan)



VICINITY MAP

| Sheet List Table | |
|------------------|--------------------------------|
| Sheet Number | Sheet Title |
| C1 | COVER SHEET |
| C3 | SITE PLAN |
| C3.1 | SITE PLAN |
| C3.2 | E 620 S ACCESS |
| C4.0 | GRADING PLAN |
| C4.1 | GRADING PLAN |
| C4.2 | GRADING PLAN |
| C4.3 | GRADING PLAN |
| C4.4 | RETAINING WALL PLAN |
| C5.0 | DRAINAGE PLAN |
| C5.1 | OVERALL DRAINAGE PLAN |
| C5.2 | PIPE SIZING PLAN |
| C5.3 | STORM WATER STORAGE |
| C6.0 | SEWER PLAN |
| C7.0 | WATER PLAN |
| C8 | EROSION CONTROL PLAN |
| D1.0 | DETAILS |
| D1.1 | DETAILS |
| D1.2 | STORMTECH DETAILS |
| D1.3 | HYDRODYNAMIC SEPARATOR DETAILS |
| L1 | LANDSCAPE PLAN |
| L2 | LANDSCAPE SCHEDULE & DETAILS |

ADDITIONAL NOTES:

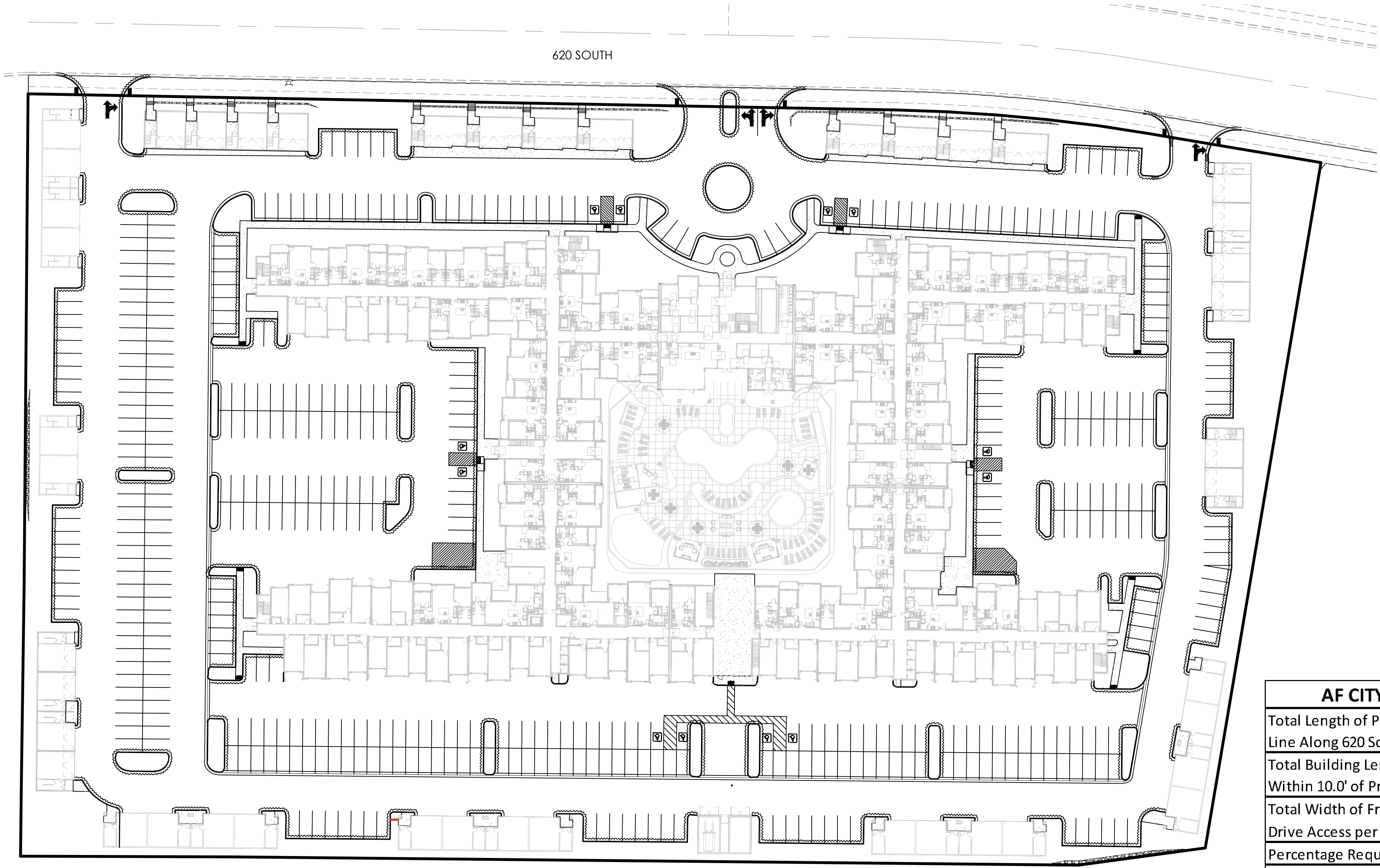
- IF RUTTING AND PUMPING OCCUR DURING CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE CITY ENGINEER. GEOTECHNICAL ENGINEER'S RECOMMENDATION SHALL BE FOLLOWED TO MITIGATE AREAS OF RUTTING AND PUMPING.
- ALL GEOTECHNICAL RECOMMENDATIONS FOR PAVEMENTS THAT WILL BE HANDLING CONSTRUCTION EQUIPMENT SHALL BE FOLLOWED. IDENTIFY PATHS FOR CONSTRUCTION EQUIPMENT. UNLESS THIS WILL BE ALL PAVEMENT AREAS, IN WHICH CASE ALL PAVEMENT SHALL FOLLOW THE RECOMMENDATIONS.
- THE GEOTECHNICAL ENGINEER'S REPORT AND RECOMMENDATIONS HAVE BEEN COMPILED BY EARTHTEC ENGINEERING, PROJECT #198210, DATED MAY 8 2019.

Company
American Fork City Public Works
Culinary Water/Pressurized Irrigation
Sewer/Storm Water
City Inspector
SWPPP Inspector
American Fork City Fire Marshal
AF Fiber
American Fork Irrigation Company
Century Link
Comcast
Dominion Energy
Rocky Mountain Power
Timpanogos Special Service District

| Contact | Number |
|----------------|---------------|
| Jay Brems | (801)763-3060 |
| Ashton Hardy | (801)763-3060 |
| Dee Howard | (801)763-3060 |
| Harlan Nielson | (801)763-3060 |
| Mat Sacco | (801)763-3045 |
| Will Davis | (801)897-9826 |
| Ernie John | (801)471-6576 |
| Bill Westfall | (432)623-4252 |
| Elysia Valdez | (801)401-3017 |
| Trent Johnson | (801)853-6548 |
| Teria Walker | (801)756-1310 |
| David Barlow | (801)756-5231 |

BACH APARTMENTS

PREPARED FOR:
BACH HOMES
LOCATED IN:
AMERICAN FORK, UT



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO AMERICAN FORK STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

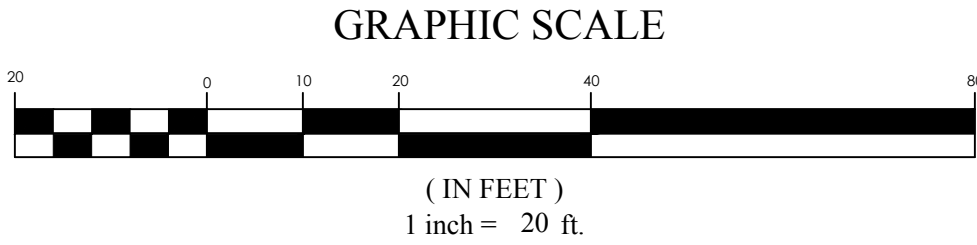
ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: MIKE WINTERS
SURVEY MANAGER: SPENCER LLEWELYN

OWNER/DEVELOPER
BACH HOMES
11650 S. STATE STREET
DRAPER, UTAH 84020
(801) 727-9500
CONTACT: JAMES MCLAUGHLIN



FLOOD ZONE

SUBJECT PROPERTY LIES WITHIN
ZONE X ACCORDING TO FEMA
(FEDERAL EMERGENCY MANAGEMENT AGENCY)
FIRM (FLOOD INSURANCE RATE MAP) #4955170120
B MAP REVISION DATE: JULY 17, 2002

BENCHMARK

PROJECT BENCHMARK TAKEN FROM WATER
VALVE CAP AT APPROX. 195 MANET DR
AF CITY 84003
40.361 N, -111.77 EAST
ELEV: 4545.7'

BACH APARTMENTS

AMERICAN FORK, UT

COVER SHEET



FOR
REVIEW
ONLY

| REVISION BLOCK | | DESCRIPTION |
|----------------|------|-------------|
| # | DATE | |
| 1 | ---- | ---- |
| 2 | ---- | ---- |
| 3 | ---- | ---- |
| 4 | ---- | ---- |
| 5 | ---- | ---- |
| 6 | ---- | ---- |

COVER SHEET

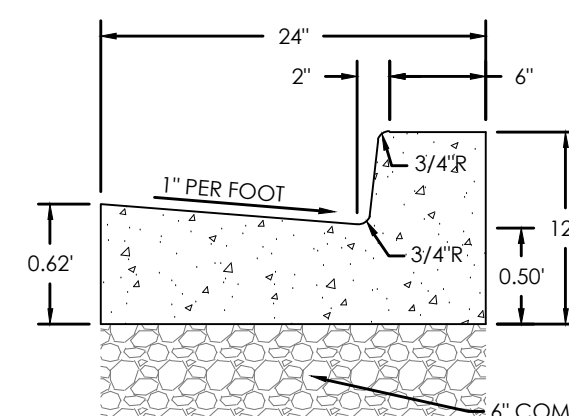
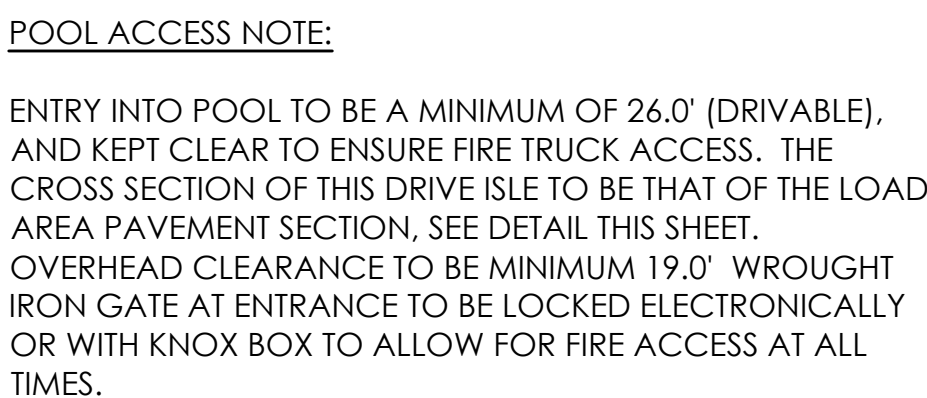
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Date: 07/30/20
Sheet:
Drawn: MW
Job #: 19-0440

C1

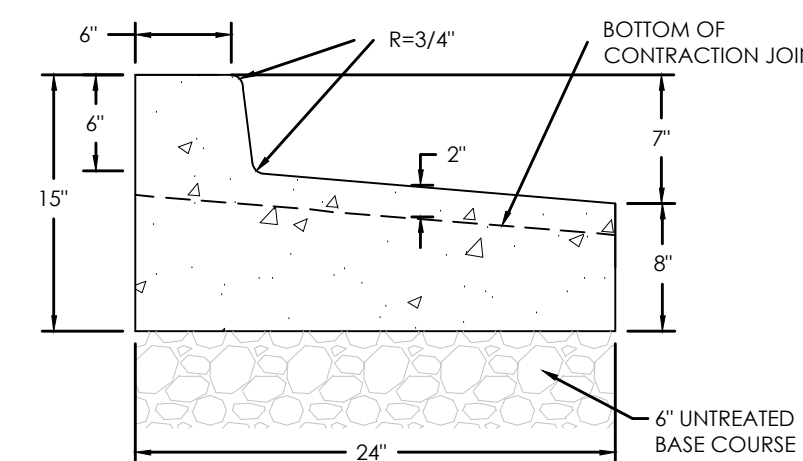


NOTE:

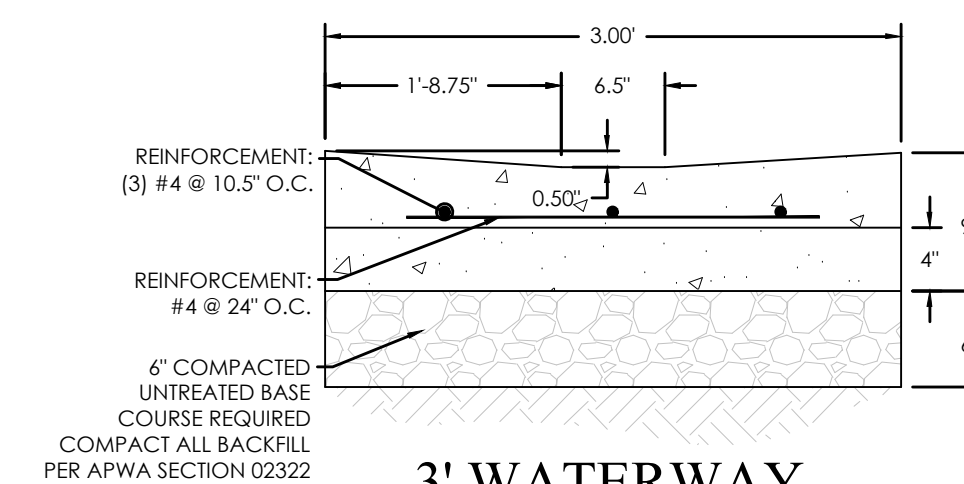
- ALL RADII CALLED OUT ARE FOR TBC
- SEE SHEET C3.1 FOR CURB & GUTTER AND WATERWAY CALLOUTS
- SEE SHEET C3.2 FOR SIGHT TRIANGLES



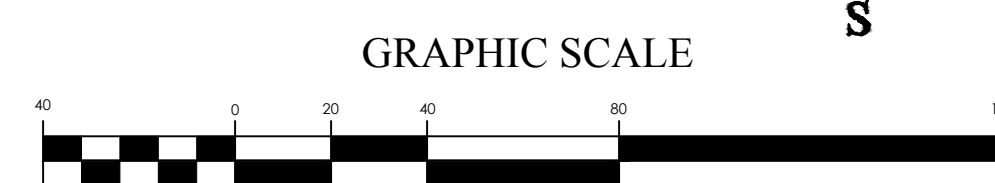
24" CURB AND GUTTER
NTS



24" FALLOUT CURB & GUTTER



3' WATERWAY



FOR
REVIEW
ONLY

BACH APARTMENTS

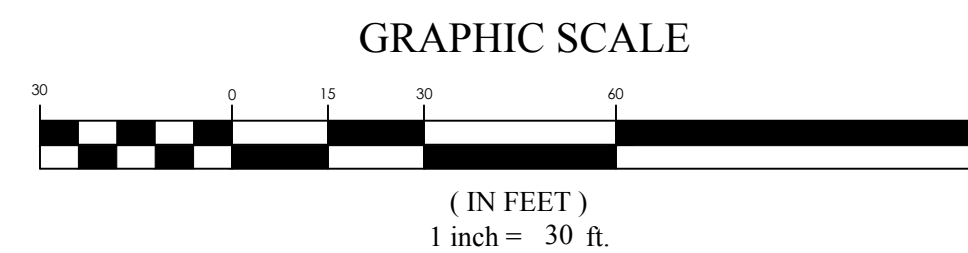
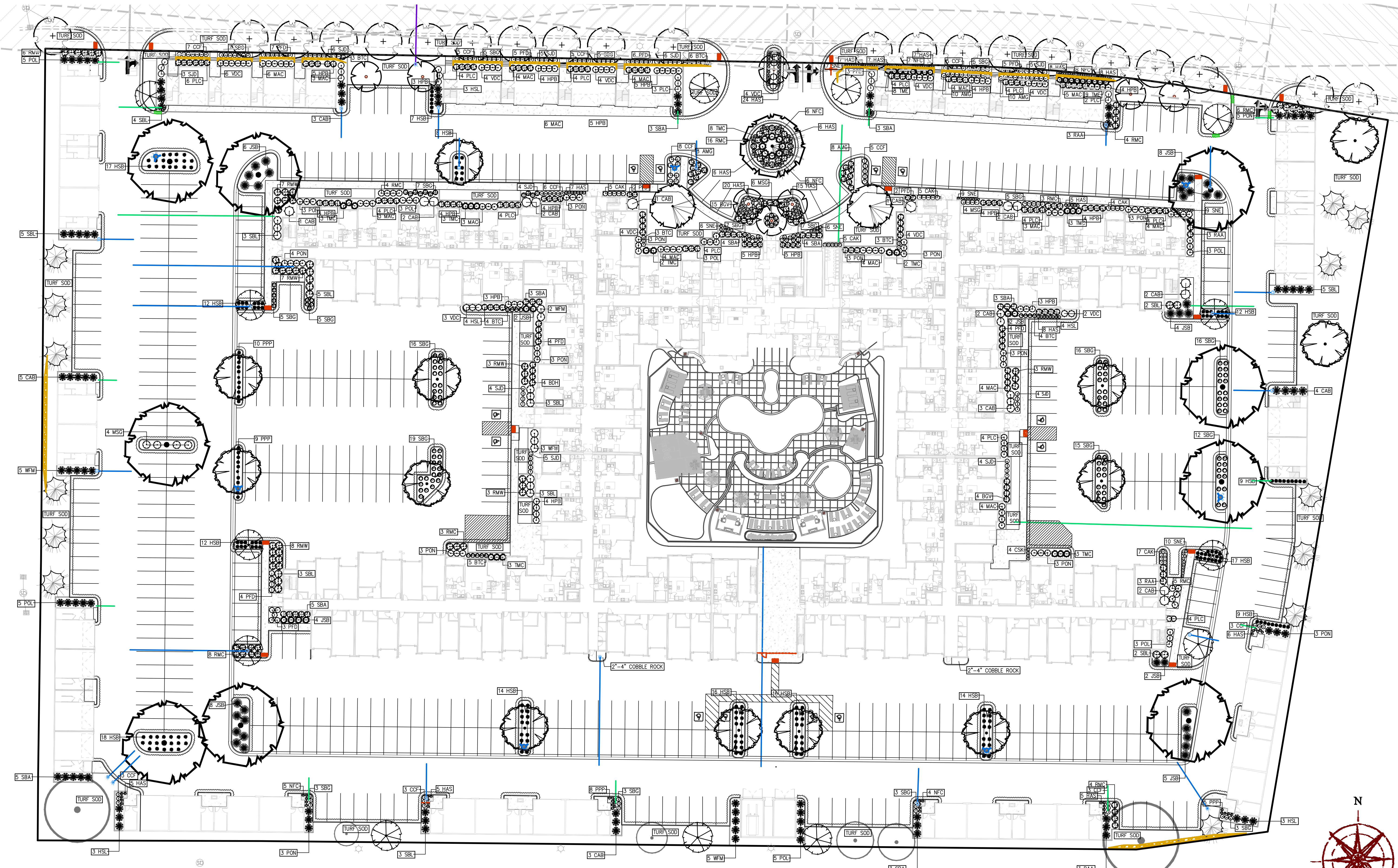
AMERICAN FORK, UT

SITE PLAN

| REVISION BLOCK | | |
|----------------|-----------|-------------|
| # | DATE | DESCRIPTION |
| 1 | 11-1-2010 | 11-1-2010 |
| 2 | 11-1-2010 | 11-1-2010 |
| 3 | 11-1-2010 | 11-1-2010 |
| 4 | 11-1-2010 | 11-1-2010 |
| 5 | 11-1-2010 | 11-1-2010 |
| 6 | 11-1-2010 | 11-1-2010 |

SITE PLAN

| | |
|----------------|----------------|
| Scale: 1"=40' | Drawn: MW |
| Date: 07/30/20 | Job #: 19-0440 |
| Sheet: | |



FOCUS
ENGINEERING AND SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com



BACH APARTMENTS
AMERICAN FORK, UT
LANDSCAPE PLAN

| REVISION BLOCK | |
|----------------|-------------|
| # | DESCRIPTION |
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |

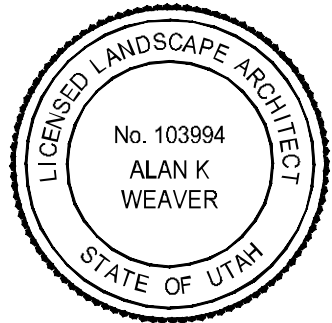
LANDSCAPE PLAN

| | |
|----------------|----------------|
| Scale: 1"=30' | Drawn: AW |
| Date: 07/30/20 | Job #: 19-0440 |
| Sheet: | |

L1

Attachment: 2. Site Plan (Bach 740 E Site Plan)

20_2019\19-0440-Bach-AFC-Arch\Design-19-0440-Bach\Drawings\Sheet\L1 - LANDSCAPE PLAN.dwg



BACH APARTMENTS
AMERICAN FORK, UT
LANDSCAPE SCHEDULE & DETAILS

Attachment: 2. Site Plan (Bach 740 E Site Plan)

PLANT SCHEDULE

| Symbol | Scientific Name | Common Name | Size | Quantity | Waterwise |
|---|--|------------------------------|-------|----------|-----------|
| SHRUBS | | | | | |
| AMG | Aronia melanocarpa 'Ground Hog' | Ground Hog Aronia | 2 Gal | 56 | No |
| BDH | Buddleia davidii 'Buzz Hot Raspberry' | Hot Raspberry Butterfly Bush | 2 Gal | 4 | Yes |
| BGV | Buxus 'Green Velvet' | Green Velvet Boxwood | 5 Gal | 15 | No |
| BTC | Berberis thunbergii 'atraz 'Concorde' | Dark Red-Purple Barberry | 2 Gal | 26 | No |
| CCF | Caryopteris clandonensis 'First Choice' | First Choice Bluebeard | 2 Gal | 53 | Yes |
| CAB | Cornus alba 'Bailhala' | Variegated Dogwood | 5 Gal | 31 | No |
| CSK | Cornus sericea 'Kelsey' | Redtwig Dogwood | 2 Gal | 6 | No |
| HSL | Hibiscus syriacus 'Lil Kim' | Dwarf Rose of Sharon | 2 Gal | 17 | Yes |
| HPB | Hydrangea paniculata 'Bobo' | Bobo Hydrangea | 2 Gal | 70 | No |
| JSB | Juniperus sabina 'Broadmoor' | Broadmoor Juniper | 2 Gal | 37 | Yes |
| MAC | Mahonia aquifolium 'Compacta' | Compact Oregon Grape | 5 Gal | 61 | Yes |
| POL | Physocarpus opulifolius 'Donna May' | Little Devil Ninebark | 5 Gal | 34 | Yes |
| PON | Physocarpus opulifolius 'Nugget' | Dwarf Ninebark | 5 Gal | 45 | Yes |
| PFD | Potentilla fruticosa 'Dakota Sunspot' | Dakota Sunspot Potentilla | 2 Gal | 44 | Yes |
| PLC | Prunus laurocerasus 'Chestnut Hill' | Chestnut Hill Laurel | 5 Gal | 55 | No |
| RAA | Ribes alpinum | Alpine Currant | 5 Gal | 12 | No |
| RMC | Rosa 'Meidiland Crimson' | Crimson Meidiland Rose | 5 Gal | 51 | No |
| RMW | Rosa 'Meidiland White' | White Meidiland Rose | 5 Gal | 19 | No |
| SBA | Spiraea bumalda 'Anthony Waterer' | Anthony Waterer Spiraea | 2 Gal | 28 | No |
| SBG | Spiraea bumalda 'Goldmound' | Goldmound Spiraea | 2 Gal | 175 | No |
| SJD | Spiraea japonica 'Doozie' | Doozie Spiraea | 2 Gal | 47 | No |
| SBL | Syringa x 'Bloomerang' | Dark Purple Blooming Lilac | 5 Gal | 36 | No |
| TMC | Taxus x media 'Chadwickii' | Chadwick Yew | 5 Gal | 29 | No |
| TME | Taxus media 'Everlow' | Everlow Yew | 5 Gal | 17 | Yes |
| VDC | Viburnum dentatum 'Christom' Blue Muffin | Arrowwood | 5 Gal | 40 | No |
| WFM | Weigela florida 'Minuet' | Dwarf Weigela | 5 Gal | 15 | No |
| PERENNIALS, ORNAMENTAL GRASSES & GROUNDCOVERS | | | | | |
| CAK | Calamagrostis acutiflora 'Karl Foerster' | Feather Reed Grass | 1 Gal | 22 | Yes |
| FBSB | Helictotrichon sempervirens | Blue Oat (Avena) Grass | 1 Gal | 181 | Yes |
| HAS | Hemerocallis 'Apricot Sparkles' | Light Apricot Daylily | 1 Gal | 134 | Yes |
| MSC | Miscanthus sinensis 'Graziella' | Maiden Grass | 1 Gal | 15 | Yes |
| NFC | Nepeta x faassenii 'Cat's Pajamas' | Catmint | 1 Gal | 36 | Yes |
| PPP | Penstemon pinifolius | Pineleaf Beardtongue | 1 Gal | 32 | Yes |
| SNE | Salvia nemorosa 'East Friesland' | East Friesland Salvia | 1 Gal | 49 | Yes |

LANDSCAPE NOTES:

1. LAWN AREAS WILL BE SODDED WITH KENTUCKY BLUEGRASS BLEND OVER 4" INCHES GOOD GRADE TOPSOIL.
2. ALL PLANTING BEDS WILL HAVE 3" DARK BROWN LONG STRAND SHREDDED BARK MULCH.
3. INSTALL 4"x6" CONCRETE EDGING BETWEEN LAWN AREAS AND PLANTING BEDS.

TREE LEGEND

Acer truncatum □A. □atanoides 'Urban Sunset'
Sunset Maple 2" cal. (13 total)

Carpinus betulus 'Fastigiata'
Pyramidal European Hornbeam 2" cal. (21 total)

Cercis canadensis 'Forest Pansy'
Forest Pansy Eastern Redbud 2" cal. (3 total)

Gleditsia triacanthos var. inermis 'Harve'
Northern Acclaim Honeylocust 2" cal. (13 total)

Malus 'Snowdrift'
Flowering Crabapple 2" cal. (8 total)

Picea canadensis 'Blue'
Blue Spruce 6" ht. (13 total)

Ulmus americana 'Lancelotti and Clar'
Prairie Edition American Elm 2" cal. (9 total)

Existing Tree

A SHRUB PLANTING
NOT TO SCALE

PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.

REMOVE STRING & BURLAP FROM TOP 2/3 OF BALL WHEN BARE.

BACKFILL PLANTING MIX TO PARTIAL TOP SOIL. IF PARTIAL TOP SOIL, WATER AND TAMP TO REMOVE AIR POCKETS. BRING LEVEL TO FINISH GRADE.

EXISTING SOIL

MULCH FORM SAUCER

COMPACTED BACKFILL BELOW ROOTBALL TO BE 1/2 DEPTH OF ROOTBALL (6" MIN).

2" X BALL DIA.

B TREE PLANTING & STAKING
NOT TO SCALE

PLANT SO THAT ROOT FLAIR IS AT OR 1" ABOVE GRADE.

PROVIDE 3" DIA. CLEARANCE AT BASE OF TREE, FREE OF ROCK AND TURF.

RUBBER CINCH SECURED TO STAKE

(2) HARDWOOD STAKES 2"x 2" DRIVEN (MIN. 18") FIRMLY INTO SUBGRADE.

REMOVE BURLAP FROM TOP 2/3 OF TREE BALL WHEN BARE. REMOVE WIRE BASKET. REMOVE STRING FROM TRUNK & BALL.

3" MULCH. KEEP MULCH 8" BACK FROM TRUNK.

FORM SAUCER

BACKFILL PLANTING MIX TO PARTIAL TOP SOIL. IF PARTIAL TOP SOIL, WATER AND TAMP TO REMOVE AIR POCKETS. BRING LEVEL TO FINISH GRADE.

EXISTING SOIL

3" X BALL DIA.

LANDSCAPE SCHEDULE & DETAILS

Scale: NTS Drawn: AW
Date: 07/30/20 Job #: 19-0440
Sheet:





Attachment: 2. Site Plan (Bach 740 E Site Plan)





② REAR ELEVATION
3/16" = 1'-0"



① FRONT ELEVATION
3/16" = 1'-0"

3 BED 2 CAR REAR LOAD TOWNHOMES
AMERICAN FORK

TYPICAL ELEVATION



② FRONT ELEVATION
3/16" = 1'-0"



① REAR ELEVATION
3/16" = 1'-0"

3 BED 3 CAR GARAGE TOWNHOME
AMERICAN FORK

TYPICAL ELEVATION



Conceptual Design - Not for Construction

Attachment: 2. Site Plan (Bach 740 E Site Plan)



AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: August 19, 2020
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on a site plan for Bach Apartments, located in the area of 740 East 620 South, in the PC (Planned Community) zone.

ACTION REQUESTED: Recommendation of approval of the site plan.

| BACKGROUND INFORMATION | | | | |
|------------------------------|-------|----------------------------------|-----|----|
| Location: | | Approximately 740 East 620 South | | |
| Applicants: | | Bach Homes | | |
| Existing Land Use: | | Agriculture | | |
| Proposed Land Use: | | Residential | | |
| Surrounding Land Use: | North | Agriculture | | |
| | South | Commercial | | |
| | East | Agriculture | | |
| | West | Residential | | |
| Existing Zoning: | | PC (Planned Community) | | |
| Proposed Zoning: | | N/A | | |
| Surrounding Zoning: | North | PC (Planned Community) | | |
| | South | PI-1 (Planned Industrial) | | |
| | East | PC (Planned Community) | | |
| | West | PC (Planned Community) | | |
| Land Use Plan Designation: | | Planned Community | | |
| Zoning within density range? | | x | Yes | No |

Attachment: 3. Staff Report (Bach 740 E Site Plan)

Background

The property was annexed in 2019 as part of the Vest Annexation. A concept plan approval followed, designating this area as high density residential. A subsequent development agreement was approved, allowing the overall development a parking ratio of 1.8 stalls per unit.

The site plan proposes 338 apartment and townhome units, a combination of studio and 1-3 bedroom units. 626 parking stalls are provided, which is slightly above the 1.8 ratio required in the memorandum of understanding approved by the Council and master developer. Access to the project will be off 620 South. Townhome units will be located at the perimeter of the development and apartments will be located at the interior.

Renderings of the townhome and apartment units are included in the submittal materials; as are landscape plans.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Planned Community”. The proposed subdivision is consistent with the Land Use Plan designation.

FINDING OF FACT

After reviewing the application for final plat approval, the following finding of fact is offered for consideration:

1. The site plan meets the criteria as found in Section 17.7.507 (Planned Community Development Projects) of the Development Code.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we recommend approval of the site plan for the Bach Apartments, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the site plan.

TABLE

Mr. Chairman, I move that we table action on the site plan.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 8/19/2020

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Bach Apartments

Project Address: 742 East 620 South

Developer / Applicant's Name: Bach Homes

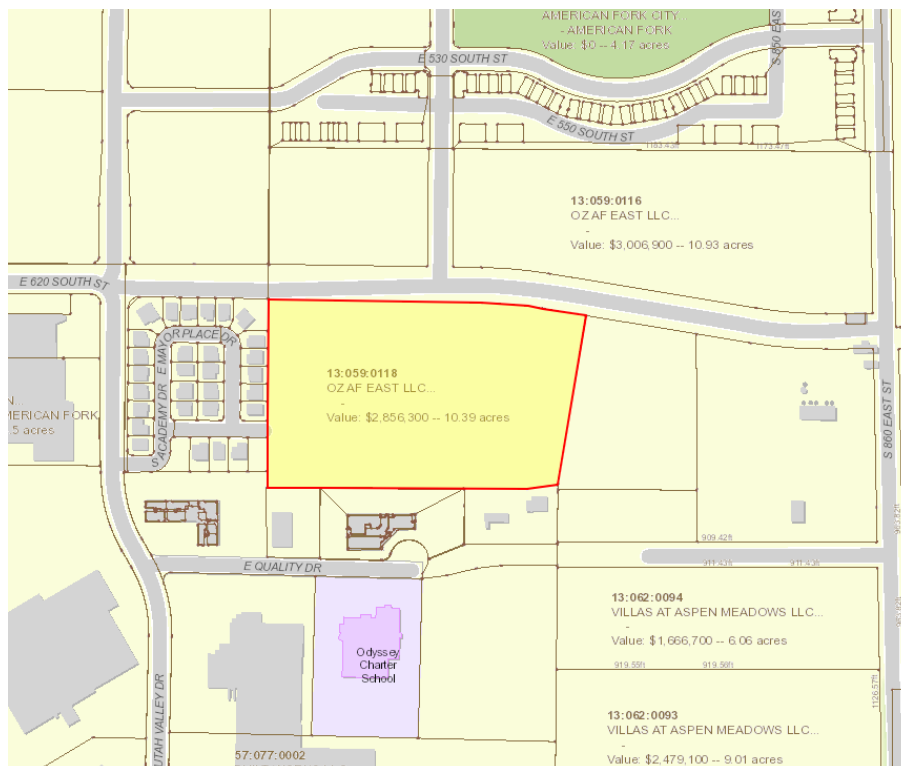
Type of Application:

- | | | |
|--|--|--------------------------------------|
| <input type="checkbox"/> Subdivision Final Plat | <input type="checkbox"/> Subdivision Preliminary Plan | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Code Text Amendment | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zone Change |
| <input checked="" type="checkbox"/> Commercial Site Plan | <input type="checkbox"/> Residential Accessory Structure Site Plan | |

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 8/19/2020 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

Project Map:



STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
3. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
4. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
5. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
6. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
7. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
8. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
9. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
10. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
11. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.

Plan Modifications Required:

- 1.

UNAPPROVED MINUTES

6. Hearing, review and action on a site plan for the Bach Apartments, located in the area of 740 East 620 South in the PC Planned Community zone

Mr. Olsen said that this property was annexed in 2019 as part of the Vest Annexation. A concept plan approval followed, designating this area as high density residential. A subsequent development agreement was approved, allowing the overall development a parking ratio of 1.8 stalls per unit.

The site plan proposes 338 apartment and townhome units, a combination of studio and 1-3 bedroom units. 626 parking stalls are provided, which is slightly above the 1.8 ratio required in the memorandum of understanding approved by the Council and master developer. Access to the project will be off 620 South. Townhome units will be located at the perimeter of the development and apartments will be located at the interior. Renderings of the townhome and apartment units are included in the submittal materials, as are landscape plans.

Mr. Ben Hunter said that the primary access is 620 South, which is under construction at present. All requirements and upsizing have been met, Engineering Division recommends approval. 620 South will connect to 860 East.

Mr. Brocious asked for clarification regarding one of the notes to the contractor regarding Quality Drive and storm water discharge.

Mr. Ben Hunter replied that this note pertains to the Ritchie Apartments, not the Bach Apartments. Storm drain discharge from the Bach Apartments will tie into Quality Drive, and that is part of the project that Ritchie will be constructing. If this isn't finished before the Bach Apartments are ready, they may discharge into a ditch depending on timing. There is a contingency plan for additional flows which may require additional work on the ditch.

Mr. Brocious asked if this item should be part of the approval process in case Ritchie doesn't come through with the project.

Mr. Ben Hunter said that the developer will need to show that the ditch has the necessary capacity, they are aware and we have noted it on their plans.

Mr. Brocious asked if they need to get any approval from ditch owner.

Mr. Ben Hunter replied that the ditch property owner is who Bach Homes bought the property from, and it is in all parties' best interests to make sure that each of the storm drain pieces are in place.

Public Hearing Opened

No public comments received

Public Hearing Closed

UNAPPROVED MINUTES

1 **Mr. Ryan Hunter moved to approve the site plan for the Bach Apartments, with the finding**
 2 **listed in the staff report and subject to any findings, conditions and modifications listed in**
 3 **the engineering report.**

4 **Mr. Brocious seconded the motion. Voting was as follows:**

5 **Chairman Woffinden Aye**

6 **Chris Christiansen Aye**

7 **Christine Anderson Aye**

8 **Ryan Hunter Aye**

9 **Harold Dudley Aye**

10 **Rod Brocious Aye**

11 **The motion passed.**

12
 13 7. Hearing, review and action on the Ritchie American Fork 860 Apartments, located in the
 14 area of 860 East Quality Drive in the PC Planned Community zone

15 Mr. Olsen informed commissioners that the property was annexed in 2019 as part of the Vest
 16 Annexation. A concept plan approval followed, designating this area as high density
 17 residential/potential mixed use. A subsequent development agreement was approved, allowing the
 18 overall development a parking ratio of 1.8 stalls per unit.

19 The site plan proposes 513 apartment units, a combination of studio and 1-3 bedroom units. 949
 20 parking stalls are provided, which is slightly above the 1.8 ratio required in the memorandum of
 21 understanding approved by the Council and master developer. Access to the project will be off
 22 Quality Drive and 860 East. This development will frame the southwest corner of Quality Drive
 23 and 860 East.

24 Mr. Ryan Hunter asked what leeway and input commissioners have regarding design and
 25 appearance. He is concerned that this area surrounding the Deseret Industries will not look
 26 appealing in 20 years.

27 Mr. Olsen replied that all comments will be forwarded to the city council. The developers are
 28 meeting requirements in materials, etc, but commissioners' concerns can be added into a motion.

29 Chairman Woffinden said that design standards can become a problem very quickly, we have to
 30 be aware of and careful with that.

31 Mr. Olsen said that most renderings of new developments are rectangular with clean lines, this is
 32 the time to air concerns about appearance if commissioners have such concerns.

33 Mr. Ryan Hunter did not feel that this plan is visually appealing, especially if it's repeated for
 34 many acres.

35 Chairman Woffinden called this the "Ikea look."



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Review and action on the final plat for American Fork Apartments, located at approximately 850 West 250 South in the TOD zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the final plat for American Fork Apartments as stated in the attached minutes of the August 5, 2020 planning commission meeting.

BACKGROUND The applicant proposes a plat for a multi-family project in the Castlewood District Framework Plan which is located in the TOD Mixed Use Core immediately west of the Brad Reynolds Apartments. For further analysis, please refer to the attached final plat, staff report and planning commission minutes.

This had been tabled from the August 25, 2020, city council meeting. A new map has been provided.

BUDGET IMPACT No direct budgetary impact is anticipated as part of this final plat approval.

SUGGESTED MOTION I move to approve the final plat for American Fork Apartments, located at approximately 850 West 250 South in the TOD zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat subject to:

- All conditions identified in the public record associated with the August 5, 2020 planning commission meeting.

SUPPORTING DOCUMENTS

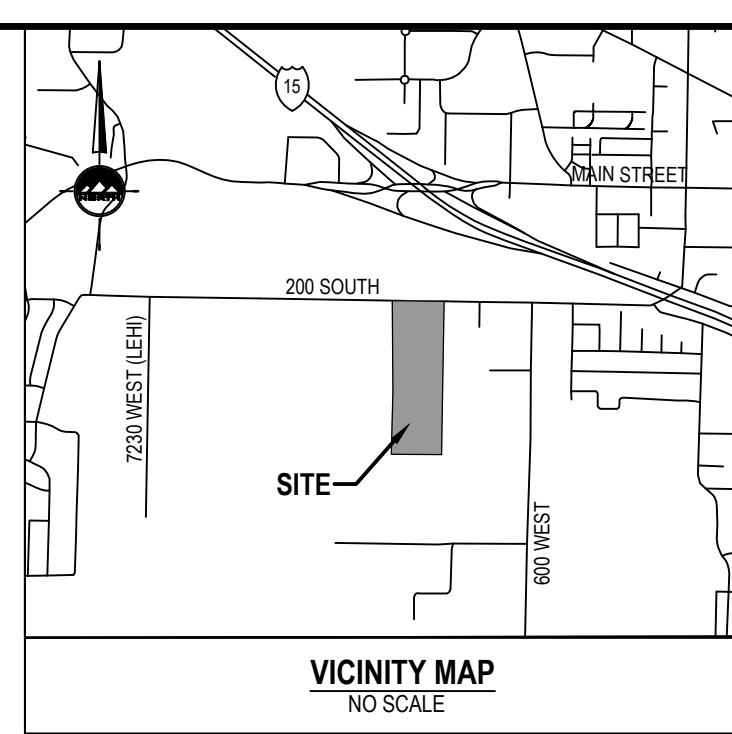
- American Fork Apartments - revised map (PDF)
- 2. Staff Report (PDF)
- 3. Minutes (PDF)

AMERICAN FORK APARTMENTS

LOCATED IN THE SE1/4 NW1/4, SW1/4 NE1/4, NW1/4 SE1/4 AND THE NE1/4 SW1/4 OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH
ZONING TOD

NORTHEAST QUARTER CORNER
SECTION 22,
T5S, R1E, SLB&M
(FOUND)

EAST QUARTER CORNER
SECTION 22,
T5S, R1E, SLB&M
(FOUND 2.5' ROUND
BRASS CAP)



SURVEYOR'S CERTIFICATE

I, SURVEYOR NAME, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD A LICENSE IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT, UTAH CODE ANNOTATED, 1953 AS AMENDED CERTIFICATE NUMBER NO. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT IN ACCORDANCE WITH SECTION 17-23-17, UTAH CODE ANNOTATED, 1953 AS AMENDED, HAVE VERIFIED ALL MEASUREMENTS, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT. I FURTHER CERTIFY THAT PER TITLE REPORT SUPPLIED BY TITLE COMPANY, UNDER COMMITMENT NO. DATED EFFECTIVE, EVERY EXISTING RIGHT OF WAY EASEMENT GRANT OF RECORD FOR UNDERGROUND FACILITIES, AS DEFINED IN SECTION 54-8a-2, UTAH CODE ANNOTATED, 1953 AS AMENDED, AND FOR OTHER UTILITY FACILITIES, IS ACCURATELY DESCRIBED ON THIS PLAT, AND FOR THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

Beginning at a point on the south line of 200 South Street said point being South 89°59'22" West 2465.02 feet and North 1022.37 feet from the East Quarter Corner of Section 22 Township 5 South, Range 1 East and running

thence South 02°24'06" West 1,069.47 feet to the North line of 350 South Street;
thence North 89°28'52" West 71.77 feet along the North line of said 350 South Street;
thence Westerly 80.65 feet along the arc of a 553.00 foot radius curve to the left (center bears South 00°31'08" West and the chord bears South 87°03'53" West 60.61 feet with a central angle of 06°54'29");
thence South 83°36'38" West 33.48 feet along the North line of said 350 South Street;
thence Westerly 54.59 feet along the arc of a 447.00 foot radius curve to the right (center bears North 06°23'22" West and the long chord bears South 87°06'34" West 54.55 feet with a central angle of 06°59'51") along the North line of said 350 South Street;
thence North 89°23'31" West 139.42 feet along the North line of said 350 South Street;
thence Northwesterly 31.47 feet along the arc of a 20.00 foot radius curve to the right (center bears North 00°36'29" East and the long chord bears North 44°18'43" West 28.32 feet with a central angle of 90°09'36") along the North line of said 350 South Street to the East line of 900 West Street;
thence North 00°46'05" East 1,031.88 feet along East line of said 900 West Street;
thence Northeasterly 47.17 foot along the arc of a 30.00 foot radius curve to the right (center bears South 89°13'55" East and the chord bears North 45°48'43" East 42.46 feet with a central angle of 90°05'15") along the East line of said 900 West Street to the South line of 200 South Street;
thence South 89°08'40" East 379.83 feet along the Southeasterly line of 200 South Street to the point of beginning.

Contains 424,552 Square Feet or 9.746 Acres and 10 Lots

OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

NAME _____
COMPANY _____

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH _____ } S.S.
COUNTY OF _____ }
ON THE _____ DAY OF _____, A.D. 20____, I, _____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF _____, IN SAID STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE IS THE _____ OF _____, AND THAT HE/SHE SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS FOR THE PURPOSES THEREIN MENTIONED AND ACKNOWLEDGED TO ME THAT SAID CORPORATION EXECUTED THE SAME.
MY COMMISSION EXPIRES: _____
NAME: _____
NO: _____
A NOTARY PUBLIC COMMISSION IN UTAH _____
NOTARY PUBLIC RESIDING IN _____ COUNTY

INDIVIDUAL ACKNOWLEDGMENT

STATE OF UTAH _____ } S.S.
COUNTY OF _____ }
ON THE _____ DAY OF _____, A.D. 20____, I, _____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF _____, IN SAID STATE OF UTAH, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT THEY SIGNED THE OWNERS DEDICATION FREELY AND VOLUNTARILY AND THAT HE EXECUTED THE SAME.
MY COMMISSION EXPIRES: _____
NAME: _____
NO: _____
A NOTARY PUBLIC COMMISSION IN UTAH _____
NOTARY PUBLIC RESIDING IN _____ COUNTY

APPROVAL BY LEGISLATIVE BODY

THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____

MAYOR _____ CITY COUNCIL MEMBER _____
CITY COUNCIL MEMBER _____ CITY COUNCIL MEMBER _____
CITY COUNCIL MEMBER _____ CITY COUNCIL MEMBER _____
CITY ENGINEER _____ ATTEST: _____
CLERK - RECORDER
(SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE AMERICAN FORK CITY PLANNING COMMISSION.

PLANNER _____ PLANNING COMMISSION CHAIRMAN _____

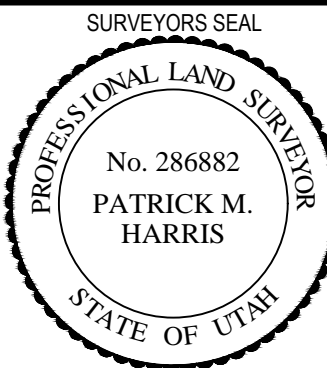
AMERICAN FORK APARTMENTS

LOCATED IN THE SE1/4 NW1/4, SW1/4 NE1/4, NW1/4 SE1/4 AND
THE NE1/4 SW1/4 OF SECTION 22,
TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN,
AMERICAN FORK CITY, UTAH COUNTY, UTAH



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449
WWW.ENSIGNENG.COM

LAYTON
Phone: 801.541.1100
TOOELE
Phone: 435.843.3600
CEDAR CITY
Phone: 435.863.1433
RICHLAND
Phone: 435.896.2983



NOTARY PUBLIC SEAL

CLERK-RECORDER SEAL

SHEET 1 OF 1

PROJECT NUMBER: 8618
MANAGER: JKF
DRAWN BY: JNW
CHECKED BY: KFW
DATE: 9/3/20

BASIS OF BEARING

THE BASIS OF BEARING IS BETWEEN THE NORTHEAST QUARTER CORNER AND THE EAST QUARTER CORNER OF SECTION 22, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, WITH A BEARING OF SOUTH 00°24'14" WEST.

FLOOD ZONE DESIGNATION

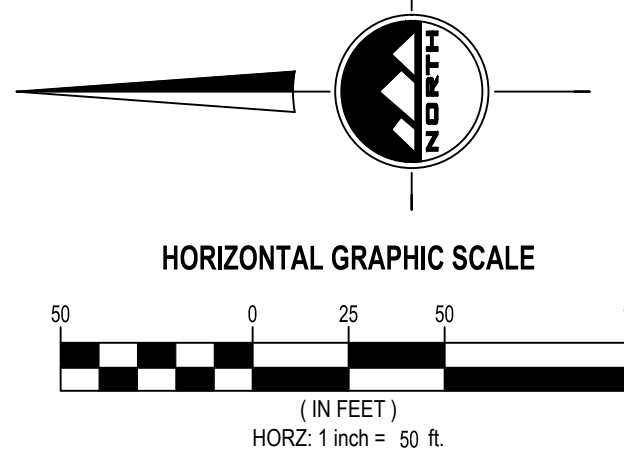
SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE X, AS DELINEATED BY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP 4903C0625G EFFECTIVE SEPTEMBER 25, 2009.

WATER AND SEWER AUTHORITY APPROVAL

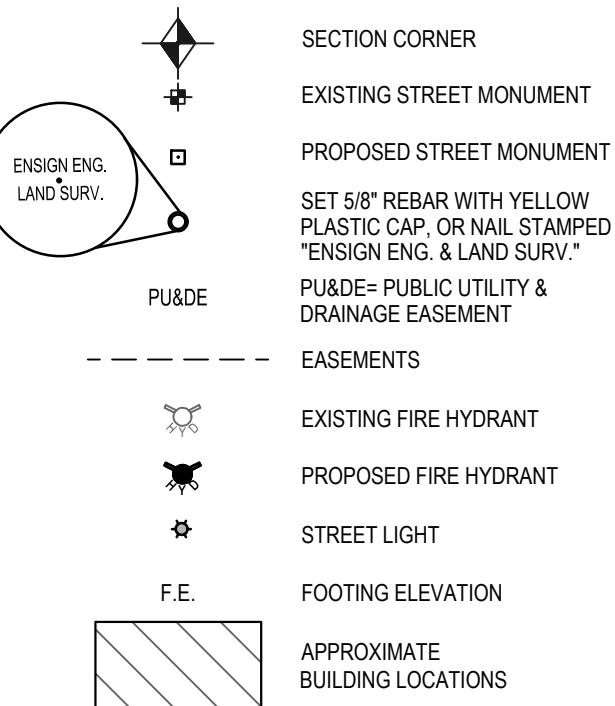
APPROVED THIS _____ DAY OF _____, 20____,
BY THE WATER AND SEWER AUTHORITY.

PUBLIC WORKS DEPARTMENT DIRECTOR _____

DEVELOPER
CASTLEWOOD DEVELOPMENT
6740 SOUTH 1300 EAST, STE. 200
SALT LAKE CITY, UTAH 84121



LEGEND



| CURVE TABLE | | | | |
|-------------|---------|---------|-----------|-------------|
| CURVE | RADIUS | LENGTH | DELTA | BEARING |
| C1 | 100.00' | 157.08' | 90°00'00" | N45°00'00"W |
| C2 | 100.00' | 34.37' | 19°41'39" | N6°50'50"E |
| C3 | 100.00' | 34.37' | 19°41'39" | S9°50'50"W |
| C4 | 77.00' | 50.13' | 37°18'04" | N45°00'00"W |
| C5 | 131.00' | 91.25' | 39°54'36" | N70°02'42"W |
| C6 | 131.00' | 45.74' | 20°00'21" | N40°05'13"W |
| C7 | 131.00' | 68.78' | 30°06'03" | N15°02'31"W |
| C8 | 131.00' | 45.03' | 19°41'39" | N9°50'50"E |
| C9 | 69.00' | 23.72' | 19°41'39" | N9°50'50"E |
| C10 | 69.00' | 23.72' | 19°41'39" | S9°50'50"W |
| C11 | 131.00' | 33.18' | 14°30'49" | S12°26'15"W |
| C12 | 131.00' | 11.84' | 5°10'50" | S2°35'25"W |
| C13 | 19.00' | 8.08' | 24°22'46" | S63°01'23"E |
| C14 | 447.00' | 22.37' | 2°52'03" | N85°02'40"E |
| C15 | 447.00' | 32.22' | 4°07'48" | N88°32'36"E |
| C16 | 5.00' | 7.91' | 90°36'28" | N45°18'14"E |
| C17 | 131.00' | 205.77' | 90°00'00" | N45°00'00"W |
| C18 | 131.00' | 45.03' | 19°41'39" | S9°50'50"W |

NOTES:

- HISTORICAL DEPTH OF HIGH WATER TABLE AND ELEVATION OF LOWEST FLOOR SLAB (MINIMUM 3 FEET ABOVE WATER LEVEL MEASURED DURING SPRING SEASON).
- OFF-SET PINS TO BE PLACED ON THE BACK OF THE CURB AND 8"x24" REBAR WITH THE SURVEYOR'S LICENSE NUMBER CAP TO BE PLACED AT ALL REAR CORNERS PRIOR TO ANY OCCUPANCY.
- BUILDING PERMITS WILL NOT BE ISSUED FOR ANY BUILDING UNTIL:
 - ASPHALT PAVING IS INSTALLED
 - FIRE HYDRANTS ARE INSTALLED, APPROVED AND CHARGED
- PARK STRIP ALONG PUBLIC RIGHT OF WAY TO BE MAINTAINED BY HOME OWNER.
- ALL LOTS WITHIN THIS SUBDIVISION SHALL BE REQUIRED TO PROVIDE RECIPROCAL CROSS ACCESS AND UTILITY ACCESS TO ADJOINING LOTS WITHIN THE SUBDIVISION.
- AREAS OUTSIDE OF THE APPROXIMATE BUILDING LOCATIONS SHOWN ON THIS PLAT ARE GRANTED AS A PUBLIC EASEMENT AND RIGHT-OF-WAY FOR CONSTRUCTION AND MAINTENANCE OF APPROVED PUBLIC UTILITIES AND APPURTENANCES TOGETHER WITH RIGHT OF ACCESS THERETO.
- LOTS NUMBER 101-110 MAY NOT BE SOLD INDIVIDUALLY WITHOUT CONSENT FROM ALL LOTS IN THE SUBDIVISION. IF ANY LOT IS SOLD SEPARATELY UNDER THE FOREGOING CONDITION, THE NEW OWNER SHALL BE RESPONSIBLE TO INSTALL AND MAINTAIN A SEPARATE SECONDARY METER FOR THE LOT THAT HAS BEEN SOLD.

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: August 5, 2020
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on a preliminary and final plat for American Fork Apartments, located at approximately 850 West 250 South, in the TOD (Transit Oriented Development) zone.

ACTIONS REQUESTED: Approval of the preliminary plan and recommendation of approval of the final plat.

| BACKGROUND INFORMATION | | | | |
|--|-------|---|-----|----|
| Location: | | 850 West 250 South | | |
| Applicants: | | Ensign Engineering/Castlewood Development | | |
| Existing Land Use: | | Vacant | | |
| Proposed Land Use: | | Residential | | |
| Surrounding Land Use: | North | Agriculture | | |
| | South | Vacant/Residential | | |
| | East | Residential | | |
| | West | Vacant | | |
| Existing Zoning: | | TOD (Transit Oriented Development) | | |
| Proposed Zoning: | | N/A | | |
| Surrounding Zoning: | North | Residential Agriculture 5 (Utah County) | | |
| | South | TOD | | |
| | East | TOD | | |
| | West | TOD | | |
| Land Use Plan Designation: | | TOD (Transit Oriented Development) | | |
| Zoning compliant with Land Use Plan Designation? | | x | Yes | No |

Background

The area of the American Fork Apartments was annexed in 2018 and is located directly west of the Meadows at American Fork Apartments (Brad Reynolds project) and south of the Front Runner station. It received approval of a district framework plan in 2019 (Castlewood District Framework Plan), followed by block plan approval (staff level review). As part of the lot plan submittal and review, subdivision plats are necessary. Further lot plan review (staff level review) will ensure placement of structures, setbacks, height, landscaping, number of units, parking, etc. be compliant with the TOD Code. The subdivision plat acts as a formal instrument in proceeding toward development of the site.

This plat anticipates multi-family development, as the highest densities within the TOD area will be located here and in the vicinity. Densities of 50 units per acre will be found within this project.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “TOD”. The proposed subdivision is consistent with the Land Use Plan designation.

Section 17.7.211 of the Development Code

The Planning Commission may act to recommend approval of a final plat upon a finding that:

- a. The final plat and supporting materials conform with the terms of the preliminary plan approval.

The final plat conforms to the terms of a preliminary plan approval.

- b. The final plat complies with all City requirements and standards relating to large scale developments.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address any concerns at the time of the Planning Commission meeting.

- d. The estimates of cost of constructing the required improvements are realistic.

Engineering will determine whether the cost estimates of constructing the required improvements are realistic.

- e. The water rights conveyance documents have been provided.

The water rights conveyance shall be satisfied prior to plat recordation.

FINDINGS OF FACT/CONDITION OF APPROVAL

After reviewing the applications for final plat approval, the following findings are offered for consideration:

- 1. The final plats are consistent with the Land Use Plan designation of “Transit Oriented Development”.

2. The final plats meet the criteria as found in Section 17.7.211 of the Development Code.
3. Water rights conveyance shall be satisfied prior to plat recordation.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we approve the preliminary plan and recommend approval of the final plat American Fork Apartments, with the findings and condition listed in the staff report and subject to any findings, conditions, and modifications listed in the engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the final plat of American Fork Apartments.

TABLE

Mr. Chairman, I move that we table action on the preliminary plan and final plat of American Fork Apartments.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 8/5/2020

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: American Fork Apartments

Project Address: 850 West 250 South

Developer / Applicant's Name: Castlewood Development

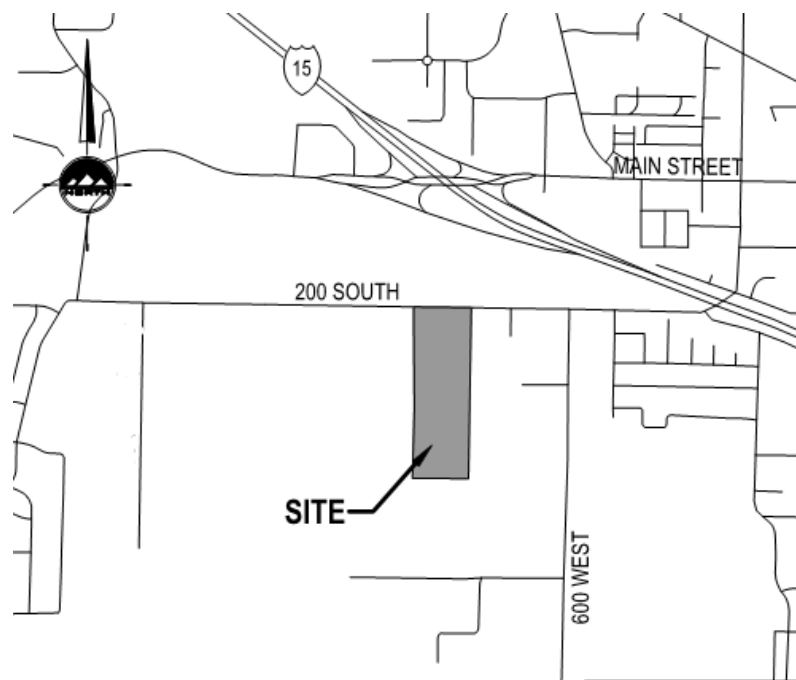
Type of Application:

- | | | |
|--|--|--------------------------------------|
| <input checked="" type="checkbox"/> Subdivision Final Plat | <input checked="" type="checkbox"/> Subdivision Preliminary Plan | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Code Text Amendment | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Commercial Site Plan | <input type="checkbox"/> Residential Accessory Structure Site Plan | |

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the [Click here to enter a date. Engineering Division Staff Report for the City Land Use Authority](#) shall be addressed on all final project documents.

Project Map:



VICINITY MAP

NO SCALE

STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Plan Modifications Required:

- 1.

UNAPPROVED MINUTES

Public Hearing Opened**Public Hearing Closed**

Mr. Chris Christiansen moved to approve the preliminary plan and recommend approval of the final plat of Searle Meadows Lot 25 Amendment, with the findings and conditions listed in the staff report and subject to any findings, conditions, and modifications listed in the engineering report.

Ms. Christine Anderson seconded the motion. Voting was as follows:

| | |
|---------------------------|------------|
| Chairman Woffinden | Aye |
| Chris Christiansen | Aye |
| Christine Anderson | Aye |
| Ryan Hunter | Aye |
| Geoff Dupaix | Aye |

The motion passed.

5. Hearing, review and action on the preliminary and final plat for American Fork Apartments, located at approximately 850 West 250 South in the TOD zone

Mr. Olsen informed commissioners that the area of the American Fork Apartments was annexed in 2018 and is located directly west of the Meadows at American Fork Apartments (Brad Reynolds project) and south of the Front Runner station. It received approval of a district framework plan in 2019 (Castlewood District Framework Plan), followed by block plan approval (staff level review). As part of the lot plan submittal and review, subdivision plats are necessary. Further lot plan review (staff level review) will ensure placement of structures, setbacks, height, landscaping, number of units, parking, etc. be compliant with the TOD Code. The subdivision plat acts as a formal instrument in proceeding toward development of the site.

This plat anticipates multi-family development, as the highest densities within the TOD area will be located here and in the vicinity. Densities of 50 units per acre will be found within this project.

Ms. Anderson asked if this is mixed-use with commercial on the bottom level.

Mr. Olsen said that it would be desirable for some units to be commercial use, especially along 200 South.

Chairman Woffinden agreed that commercial uses on the bottom level are desirable.

Ms. Anderson would like street lights to be tailored to pedestrians in this area, not just to vehicles.

UNAPPROVED MINUTES

Mr. Olsen replied that this was taken into account when the TOD code was written, and the lights will be positioned downward to illuminate sidewalks.

Mr. Ben Hunter stated that 900 West and 350 South are already constructed on the perimeter. Staff has had discussions with developer regarding the timetable for additional road improvements for 200 South, which it fronts. There is an understanding that the developer will make the necessary improvements to 200 South when the city is ready for that. This proposal meets requirements, engineering staff recommend approval.

Ms. Christine Anderson asked what the sidewalk dimensions are in this area along 200 South.

Mr. Ben Hunter said that along 200 South there is an island for bikes in the middle, an 8-foot sidewalk, and a bike trail next to the sidewalk.

Ms. Anderson asked if there will be parallel parking on the street. She said that successful areas like this have larger sidewalks that end up being used for dining, seating, etc. Extra sidewalk space would be a great thing to have here.

Mr. Ben Hunter replied that there is latitude in the code for developers to do that, and he believes that there will be limited parallel parking along the street on 200 South and more on 900 West.

Public Hearing Opened

Public Hearing Closed

Mr. Geoff Dupaix moved to approve the preliminary plan and recommend approval of the final plat of American Fork Apartments, with the findings and conditions listed in the staff report and subject to any findings, conditions, and modifications listed in the engineering report.

Ms. Christine Anderson seconded the motion. Voting was as follows:

| | |
|---------------------------|------------|
| Chairman Woffinden | Aye |
| Chris Christiansen | Aye |
| Christine Anderson | Aye |
| Ryan Hunter | Aye |
| Geoff Dupaix | Aye |

The motion passed.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Review and action on the final plat of Easton Park Subdivision Phase 5, located in the area of 547 South 860 East in the PC Planned Community zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the final plat of Easton Park Subdivision Phase 5 as stated in the attached minutes of the August 19, 2020 planning commission meeting.

BACKGROUND The applicant proposes to condominiumize the existing building by creating four lots, there are no physical changes to the existing improvements. For further analysis, please refer to the attached final plat, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as part of this final plat approval.

SUGGESTED MOTION I move to approve the final plat of Easton Park Subdivision Phase 5, located in the area of 547 South 860 East in the PC Planned Community zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat subject to:

- All conditions identified in the public record associated with the August 19, 2020 planning commission meeting.

SUPPORTING DOCUMENTS

1. Plat (PDF)
2. Staff Report (PDF)
3. Minutes (PDF)

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: August 19, 2020
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Review and action on the final plat of Easton Park Phase 5, consisting of 4 lots, located at approximately 547 S. 860 E. in the PC (Planned Community) zone.

ACTION REQUESTED: Recommendation of approval of the final plat.

| BACKGROUND INFORMATION | | | | |
|--|-------|-----------------------------|-----|----|
| Location: | | Approximately 547 S. 860 E. | | |
| Applicant: | | James Doolin | | |
| Existing Land Use: | | Residential | | |
| Proposed Land Use: | | Residential | | |
| Surrounding Land Use: | North | Residential | | |
| | South | Agriculture | | |
| | East | Vacant | | |
| | West | Residential/Commercial | | |
| Existing Zoning: | | PC (Planned Community) | | |
| Proposed Zoning: | | N/A | | |
| Surrounding Zoning: | North | PC (Planned Community) | | |
| | South | PC (Planned Community) | | |
| | East | PF (Public Facilities) | | |
| | West | PC (Planned Community) | | |
| Land Use Plan Designation: | | Planned Community | | |
| Zoning within Land Use Plan designation? | | X | Yes | No |

Background

Easton Park was approved in 2016. The four lots which constitute Phase 5 were approved as one lot in 2016 (Lot 95, Phase 3). The applicant wishes to separate the one lot into four. All other provisions of the original approval remain intact. No additional living units are being created with this plat. It is simply a condominium conversion of an existing building.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as "Planned Community". The subdivision is consistent with this designation.

Section 17.8.211 of the Development Code

The Planning Commission may act to recommend approval of a final plat upon a finding that:

- a. The final plat conforms with the terms of the preliminary plan approval.

The final plat conforms with the terms of the original preliminary plan approval.

- b. The final plat complies with all City requirements and standards relating to Subdivisions.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address concerns, if any, at the time of the Planning Commission Meeting.

- d. The estimates of cost of constructing the required improvements are realistic.

Engineering will determine whether the cost estimates of constructing any required improvements are realistic.

- e. The water rights conveyance documents have been provided.

Water rights conveyance shall be satisfied prior to plat recordation (if not already satisfied).

FINDINGS OF FACT

After reviewing the application for amended final plat approval, the following findings of fact are offered for consideration:

1. The final plat meets the criteria within Section 17.8.101 (Intent) of Chapter 17.8 (Subdivisions).
2. The final plat meets the criteria as found in Section 17.8.211 of the Development Code.

POTENTIAL MOTIONS:

APPROVAL

Mr. Chairman, I move that we recommend approval of the final plat for Easton Park Phase 5, with the findings listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the final plat for Easton Park Phase 5.

TABLE

Mr. Chairman, I move that we table action on the final plat for Easton Park Phase 5.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 8/19/2020

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: [Click here to enter text.](#)

Project Address: [Click here to enter text.](#)

Developer / Applicant's Name: [Click here to enter text.](#)

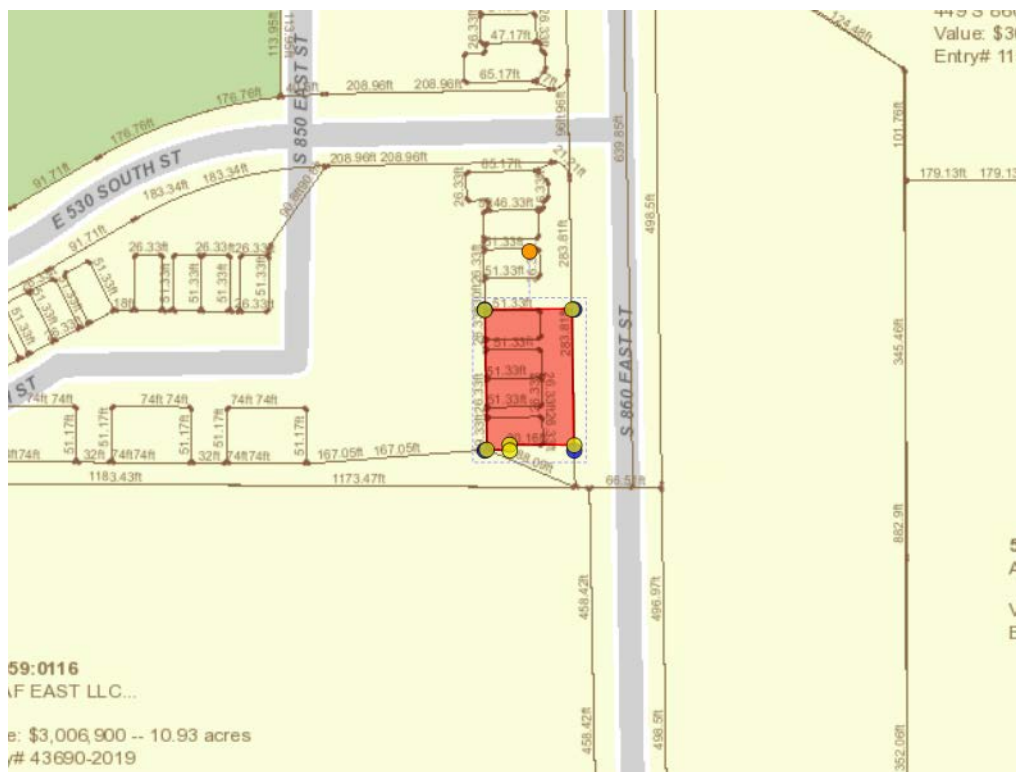
Type of Application:

- | | | |
|---|--|--------------------------------------|
| <input type="checkbox"/> Subdivision Final Plat | <input type="checkbox"/> Subdivision Preliminary Plan | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Code Text Amendment | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Commercial Site Plan | <input type="checkbox"/> Residential Accessory Structure Site Plan | |

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the [Click here to enter a date. Engineering Division Staff Report for the City Land Use Authority](#) shall be addressed on all final project documents.

Project Map:



STANDARD CONDITIONS OF APPROVAL**Standard Conditions of Approval:**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
3. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Plan Modifications Required:

- 1.

UNAPPROVED MINUTES

- 1 8. Review and action on the final plat of Easton Park Subdivision Phase 5, located in the area
 2 of 547 South 860 East in the PC Planned Community zone

3
 4 Mr. Olsen indicated that Easton Park was approved in 2016. The four lots which constitute Phase
 5 5 were approved as one lot in 2016 (Lot 95, Phase 3). The applicant wishes to separate the one lot
 6 into four. All other provisions of the original approval remain intact. No additional living units
 7 are being created with this plat. It is simply a condominium conversion of an existing building, a
 8 housekeeping item for the developer.

9 Mr. Ben Hunter stated that all infrastructure is in place, and the Engineering Division recommends
 10 approval.

11 **Ms. Anderson moved to approve the final plat for Easton Park Phase 5, with the findings**
 12 **listed in the staff report and subject to any findings, conditions and modifications listed in**
 13 **the Engineering report.**

14 **Mr. Ryan Hunter seconded the motion. Voting was as follows:**

| | | |
|----|---------------------------|------------|
| 15 | Chairman Woffinden | Aye |
| 16 | Chris Christiansen | Aye |
| 17 | Christine Anderson | Aye |
| 18 | Ryan Hunter | Aye |
| 19 | Harold Dudley | Aye |
| 20 | Rod Brocious | Aye |

21 **The motion passed.**

- 22
 23 9. Hearing, review and action on an amended site plan for Swig, located at 135 East Main
 24 Street in the CC-1 Central Commercial zone

25
 26 Mr. Olsen told commissioners that Swig proposes a small drive-through structure near the southern
 27 entrance to the Fresh Market complex. 17 parking stalls will be removed for placement of the
 28 structure and accompanying drive-through lanes. Sufficient parking remains with the removal of
 29 these 17 stalls. Additional landscape will be installed north of the proposed structure, as well as
 30 within an area currently used as a snow-cone stand in the summer. The property owner has agreed
 31 to a lease of this area with Swig.

32 Ms. Anderson expressed concerns about backups in drive-thrus. She asked if they were required
 33 to be able to fit 10 cars.

34 Mr. Olsen affirmed, saying that in normal times that is more than enough. Sometimes drive-thrus
 35 need more or less space, and commissioners are free to propose a different number.

36 Ms. Anderson indicated that she is not ready to propose a code change requiring more cars, but it
 37 will be interesting to see in the future if more space is required.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Review and action on an ordinance approving a commercial site plan for the Ritchie American Fork 860 Apartments, located in the area of 860 East Quality Drive in the PC Planned Community zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the site plan for the Ritchie American Fork 860 Apartments as stated in the attached minutes of the August 19, 2020 planning commission meeting.

BACKGROUND The applicant proposes a multi-family housing project consisting of 513 apartments units on the eastern extent of the former Vest Property. For further analysis, please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I motion to adopt the ordinance approving a commercial site plan for the Ritchie American Fork 860 Apartments, located in the area of 860 East Quality Drive in the PC Planned Community zone with instructions to the city recorder to withhold publication of the ordinance subject to:

- All conditions identified in the public record associated with the August 19, 2020 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ord (PDF)
2. Site Plan (PDF)
3. Staff Report (PDF)
4. Minutes (PDF)

ORDINANCE NO.

**AN ORDINANCE APPROVING THE SITE PLAN FOR THE RITCHIE AMERICAN
FORK 860 APARTMENTS LOCATED AT 860 EAST QUALITY DRIVE**

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,

PART I

DEVELOPMENT APPROVED - ZONE MAP AMENDED

- A. The site plan for the RITCHIE AMERICAN FORK 860 APARTMENTS as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans is hereby designated as Large-Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II

ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance, are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

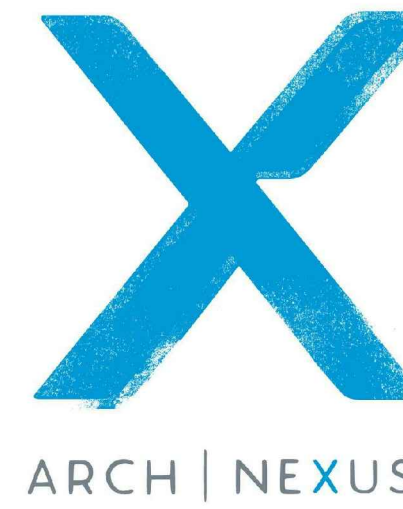
**PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN
FORK, UTAH, THIS 8th DAY OF SEPTEMBER, 2020.**

Brad Frost, Mayor

ATTEST:

Terilyn Lurker, Recorder

Attachment: 1. Ord (Ritchie AF 860 Apartments)



Architectural NEUS, Inc.
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.924.5000
http://www.archne.us.com

Ritchie Group
AMERICAN FORK 860 APARTMENTS
860 EAST QUALITY DRIVE
AMERICAN FORK, UTAH 84003

Attachment 2: Site Plan (Ritchie AF 860 Apartments)

SITE PERMIT REVIEW

NEUS PROJECT 19033.01
CHECKED BY
DRAWN BY
DATE 01.16.20
ARCHITECTURAL SITE PLAN

AS101
Packet Pg. 93

CONSTRUCTION NOTES:

- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND COMPATIBILITY WITH NEW CONSTRUCTION PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER IN WRITING OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE SITE PLAN. IN THE EVENT THE CONTRACTOR FAILS TO COMPARE EXISTING SITE CONDITIONS WITH THE SITE PLANS PRIOR TO BEGINNING WORK AND/OR FAILS TO NOTIFY THE LANDSCAPE ARCHITECT AND/OR CIVIL ENGINEER OF ANY DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REQUIRED ALTERATIONS AND ADDITIONS TO THE SITE PLAN, INCLUDING ADDITIONAL MATERIALS AT NO ADDITIONAL COST TO THE OWNER.
- DO NOT SCALE DRAWINGS.
- COORDINATE ALL EXISTING AND PROPOSED UTILITY CROSSINGS INCLUDING, BUT NOT LIMITED TO, STORM DRAIN LINES, WATER LINES AND POWER/ELECTRICAL LINES. COORDINATE DEMOLITION OF EXISTING AND INSTALLATION OF NEW UTILITY LINES WITH CIVIL AND MECHANICAL. CALL BLUE STAKES OF UTAH (811) 48 HOURS PRIOR TO COMMENCING WORK.
- QUANTITIES PROVIDED ARE FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR CALCULATING AND VERIFYING TOTAL QUANTITIES NECESSARY TO COMPLETE THE WORK AS INDICATED ON THE PLANS.
- ANY ALTERNATES AND/OR SUBSTITUTIONS PROPOSED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL. CHANGES TO THE SCOPE OF WORK AND/OR CONTRACT DOCUMENTS RESULTING FROM THE ACCEPTANCE OF THE CONTRACTOR'S ALTERNATES AND/OR SUBSTITUTIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- LANDSCAPE MULCH- ORGANIC AND MINERAL MULCH SHALL BE 3" DEPTH MINIMUM. REFERENCE LP SERIES FOR MORE INFORMATION.
- WETLAND AREA- REFERENCE WETLAND MITIGATION REPORT FOR MORE INFORMATION.
- FIRE LANE & HYDRANT- REFERENCE CIVIL FOR FIRE LANE AND HYDRANT LOCATIONS.
- FOR ADDITIONAL INFORMATION, SEE LANDSCAPE, ARCHITECTURAL, CIVIL, ELECTRICAL, MECHANICAL, DRAWINGS AND SPECIFICATIONS FOR MORE INFORMATION.

LEGEND

- ASPHALT PAVING
- CONCRETE PAVING- STANDARD
- CONCRETE PAVING- ACID ETCHED
- DECOMPOSED GRANITE
- BARK MULCH
- MINERAL MULCH- TYP. 1
- MINERAL MULCH- TYP. 2
- TURF
- SYNTHETIC LAWN
- EXISTING WETLAND
- LANDSCAPE EDGING
- PATIO RAILING
- LANDSCAPE BERM

MATERIALS LEGEND

- 1.00 PAVEMENTS, RAMPS, CURBS**
 - 1.01 ASPHALT PAVING
 - 1.02 CONCRETE PAVING- STANDARD
 - 1.03 CONCRETE PAVING- ACID ETCHED
 - 1.04a CONCRETE CURB AND GUTTER
 - 1.04b CONCRETE CURB
 - 1.05 FLUSH CURB
 - 1.06 DECOMPOSED GRANITE PAVING
 - 1.07 TACTILE WARNING PAVER
 - 1.08 ADA PARKING SIGNAGE
 - 1.09 CURB RAMP
 - 1.10 PARKING STRIPING
 - 1.11 BRICK PAVERS
- 2.00 JOINTS**
 - 2.01 SAW CUT JOINT
 - 2.02 EXPANSION JOINT
 - 2.03 STEEL JOINT- 3" STEEL EXPANSION JOINT
- 3.00 STAIRS**
 - 3.01 CONCRETE STAIR
- 4.00 SITE WALLS**
 - 4.01 CONCRETE PLANTER WALL- 8" THICK
 - 4.02 CONCRETE RETAINING WALL- 8" THICK
 - 4.03 CONCRETE SEAT WALL- 18" THICK
 - 4.04 CONCRETE FREESTANDING WALL- 8" THICK
- 5.00 RAILINGS, BARRIERS, FENCING**
 - 5.01 HANDRAIL- 3/8" FLAT BAR, PAINTED STEEL
 - 5.02 PATIO RAILING- PAINTED STEEL 42" HEIGHT
 - 5.03 POOL FENCE- PAINTED STEEL 72" HEIGHT
 - 5.04 POOL GATE- PAINTED STEEL 72" HEIGHT
 - 5.05 DOG PARK FENCE- PAINTED STEEL 48" HEIGHT
 - 5.06 DOG PARK GATE- PAINTED STEEL 72" HEIGHT
 - 5.07 BOLLARD- ILLUMINATED
- 6.00 FURNISHINGS**
 - 6.01a TABLE- TYPE 1
 - 6.01b TABLE- TYPE 2
 - 6.01c TABLE- TYPE 3
 - 6.02a CHAIR- TYPE 1
 - 6.02b CHAIR- TYPE 2
 - 6.03a SOFA- TYPE 1
 - 6.03b SOFA- TYPE 2
- 7.0 STRUCTURES**
 - 7.01a TRELLIS- TYPE 1
 - 7.01b TRELLIS- TYPE 2
 - 7.01c TRELLIS- TYPE 3
 - 7.01d TRELLIS- TYPE 4
 - 7.02 CARPORT
 - 7.03 MOVIE SCREEN- CEDAR WOOD SLAT, HSS STEEL POSTS
 - 7.04 POOL CABANA
- 8.0 LANDSCAPE ACCESSORIES**
 - 8.01 LANDSCAPE EDGING- ALUMINUM
 - 8.02a MULCH- ORGANIC BARK 1"- 3"
 - 8.02b MULCH- MINERAL MULCH, TYP. 1
 - 8.02c MULCH- MINERAL MULCH, TYP. 2
 - 8.03 TREE GRATE
 - 8.04 SYNTHETIC LAWN
 - 8.05 LANDSCAPE BERM
- 9.0 MISC.**
 - 9.01 MONUMENT SIGNAGE- PROVIDED BY OWNER
 - 9.02 VALVE BOX FOR COURTESY OUTLET- 6" X 6" ROUND NDS BOX- GREEN W/ GRAVEL BOTTOM

PARKING DATA:

PARKING STALLS REQUIRED:

| | |
|----------------------------|-----|
| - Total number of units | 513 |
| - Required standard stalls | 927 |
| - Required ada stalls | 20 |

TOTAL REQUIRED STALLS 947

PARKING STALLS PROVIDED:

| | |
|-------------------------|-----|
| - Standard | 739 |
| - ADA (standard/garage) | 20 |
| - Garage | 190 |
| - On-street | 58 |

TOTAL ON-SITE STALLS 949

TOTAL PROJECT STALLS 1,007

OVERALL PARKING RATIO 1.846

BUILDING DATA:

| BUILDING | NO. OF UNITS |
|------------------------------|--------------|
| A | 78 |
| B | 78 |
| C | 69 |
| D | 70 |
| E | 18 |
| F | 11 |
| G (parts 1 & 2) | 189 |
| TOTAL NUMBER OF UNITS | 513 |

STREET FRONTAGE DATA:

860 EAST STREET FRONTAGE

| | |
|---|----------------|
| - Street Frontage w/ Building | 528.0 lf (69%) |
| - Enhanced Landscape | 216.5 lf (28%) |
| - Frontage w/ Building & Enhanced Landscape | 744.5 lf (97%) |

TOTAL STREET FRONTAGE 770.5 LF (100%)

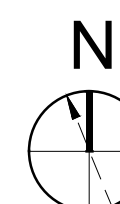
QUALITY DRIVE

| | |
|---|----------------|
| - Street Frontage w/ Building | 210.0 lf (25%) |
| - Enhanced Landscape and Wetland | 323.0 lf (40%) |
| - Frontage w/ Building & Enhanced Landscape | 533.0 lf (65%) |

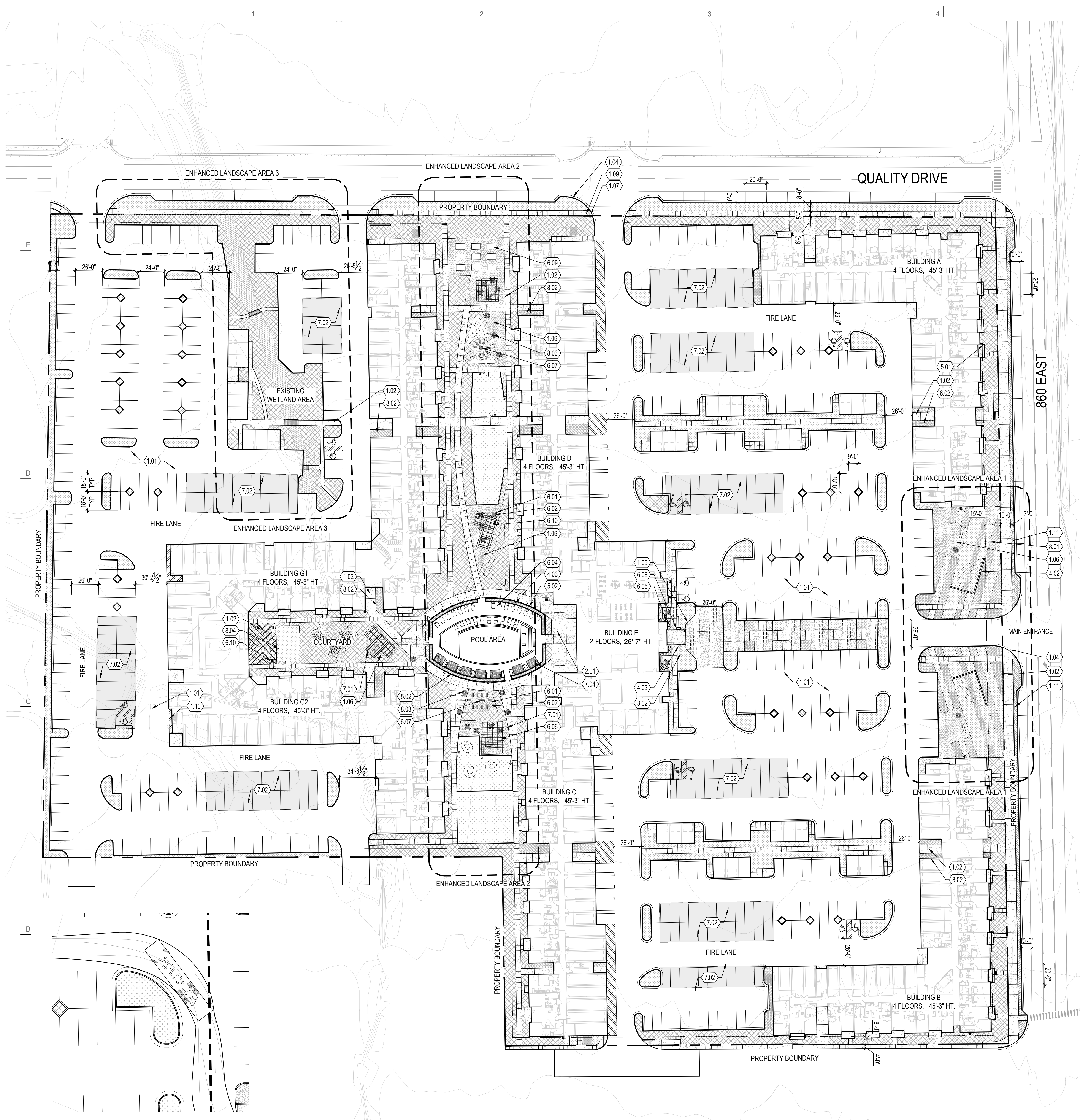
TOTAL STREET FRONTAGE 817.0 LF (100%)



Know what's below.
Call before you dig.



0' 40' 80'



A1 FIRE TRUCK TURNING RADIUS, TYP.

AS101 SCALE: 1" = 10'-0"



Architectural NEUS, Inc.
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.924.5000
httt://www.archne.us.com

Richie Group
AMERICAN FORK 860 APARTMENTS
860 EAST QUALITY DRIVE
AMERICAN FORK, UTAH 84003

Attachment 2, Site Plan (Richie AF 860 Apartments)

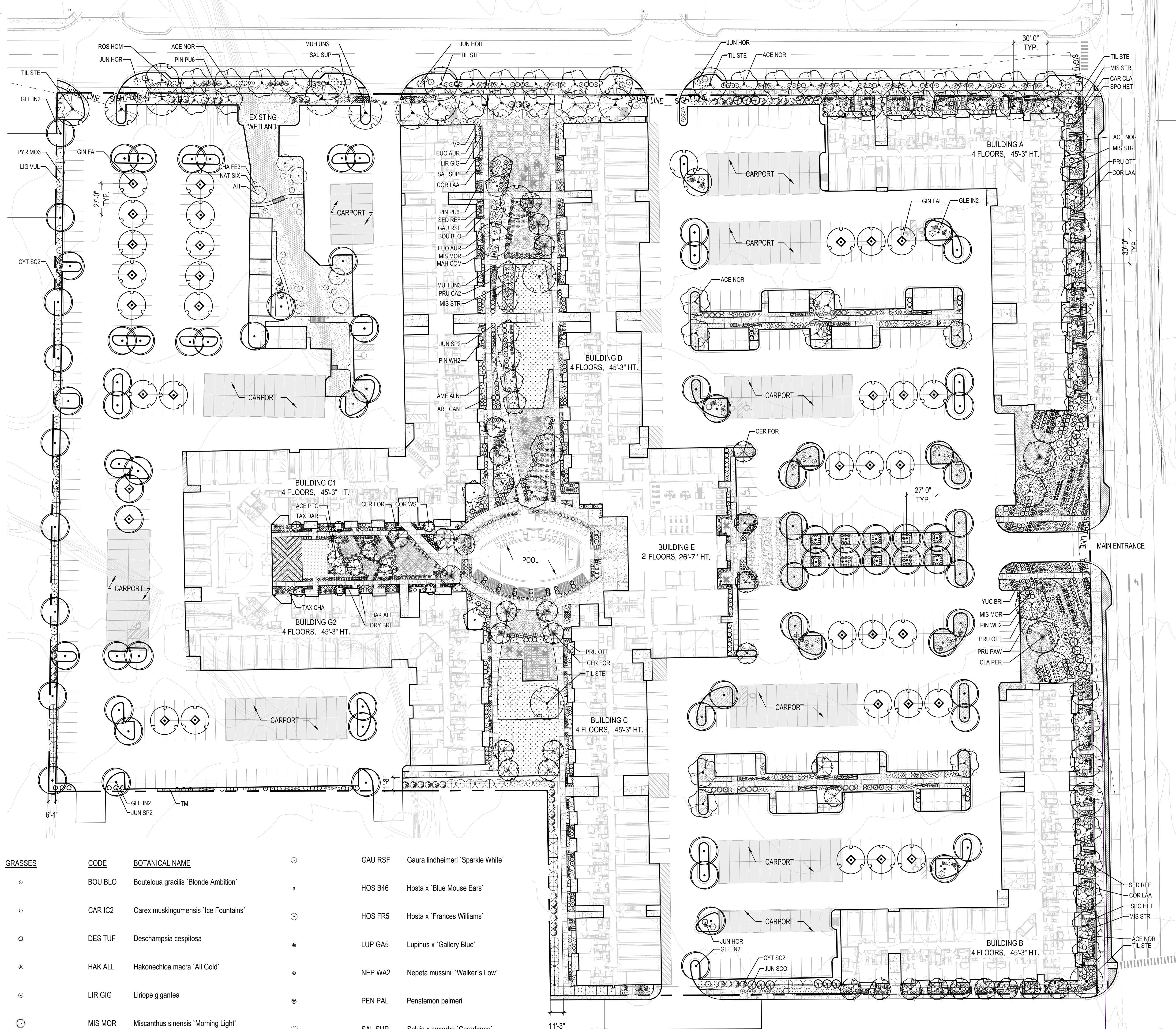
PLANT SCHEDULE

| EVERGREEN TREES | CODE | BOTANICAL NAME |
|------------------|---------|--|
| | JUN SP2 | Juniperus chinensis 'Spartan' |
| | JUN SCO | Juniperus scopulorum 'Moonglow' |
| DECIDUOUS TREES | CODE | BOTANICAL NAME |
| | ACE PTG | Acer palmatum atropurpurea 'Bloodgood' |
| | AH | Acer tataricum 'Hot Wings' |
| | ACE NOR | Acer truncatum 'Norwegian Sunset' |
| | CLA PER | Cladrastis kentukea 'Perkins Pink' |
| | COR WST | Cornus alternifolia 'Wstackman' TM |
| | GIN FAI | Ginkgo biloba 'Fairmont' |
| | GLE IN2 | Gleditsia triacanthos inermis 'Impcole' Imperial |
| | TIL STE | Tilia tomentosa 'Sterling' |
| ORNAMENTAL TREES | CODE | BOTANICAL NAME |
| | CER FOR | Cercis canadensis 'Forest Pansy' TM |
| | PRU CA2 | Prunus virginiana 'Canada Red' |
| DECIDUOUS SHRUBS | CODE | BOTANICAL NAME |
| | AME ALN | Amelanchier alnifolia 'Regent' |
| | ARO MEL | Aronia melanocarpa elata |
| | BER SGP | Berberis thunbergii 'Maria' TM |
| | CAR CLA | Caryopteris x clandonensis 'Blue Mist' |
| | COR LAA | Cornus alba 'ByBoughen' TM |
| | FOR MDY | Forsythia x 'Minifor6' TM |
| | LIG VUL | Ligustrum vulgare 'Cheyenne' |
| | PHY DON | Physocarpus opulifolius 'Donna May' TM |
| | RHU ARO | Rhus aromatica |
| | ROS WOO | Rosa woodsii ultramontana |
| | ROS HOM | Rosa x 'Home Run' |
| EVERGREEN SHRUBS | CODE | BOTANICAL NAME |
| | AUC VAR | Aucuba japonica 'Variegata' |
| | CHA FE3 | Chamaebatiaria millefolium 'Fernbush' |
| | CHA LLR | Chamaecyparis lawsoniana 'SMNCLBF' TM |
| | CHR RUB | Chrysanthemum nauseosus |
| | CYT SC2 | Cytisus scoparius |
| | EUO AUR | Euonymus japonicus 'Aureo-marginatus' |
| | JUN HOR | Juniperus horizontalis |
| | MAH COM | Mahonia aquifolium 'Compacta' |
| | NAN DOM | Nandina domestica |
| | PIN PU6 | Pinus mugo 'Pumilio' |
| | PIN WH2 | Pinus mugo 'Whitebud' |
| | PRU PAW | Prunus besseyi 'Pawnee Buttes' |
| | PRU OTT | Prunus laurocerasus 'Otto Luyken' |
| | PYR M03 | Pyracantha angustifolia 'Monon' |
| | TAX CHA | Taxus x media 'Chadwickii' |
| | TAX DAR | Taxus x media 'Dark Green Spreading' |

| GRASSES | CODE | BOTANICAL NAME |
|---------------|---------|-----------------------------------|
| | GAU RSF | Gaura lindheimeri 'Sparkle White' |
| | HOS B46 | Hosta x 'Blue Mouse Ears' |
| | HOS FR5 | Hosta x 'Frances Williams' |
| | LUP GA5 | Lupinus x 'Gallery Blue' |
| | NEP WA2 | Nepeta mussinii 'Walker's Low' |
| | PEN PAL | Penstemon palmeri |
| | SAL SUP | Salvia x superba 'Caradonna' |
| SUCCULENTS | CODE | BOTANICAL NAME |
| | YUC BRI | Yucca filamentosa 'Bright Edge' |
| | YUC COL | Yucca filamentosa 'Color Guard' |
| GROUND COVERS | CODE | BOTANICAL NAME |
| | CER TOM | Cerastium tomentosum |
| | EUO CO2 | Euonymus fortunei 'Colorata' |

| PERENNIALS | CODE | BOTANICAL NAME |
|------------|---------|-------------------------------------|
| | ART CAN | Artemisia cana |
| | ART POW | Artemisia x 'Powis Castle' |
| | DRY BRI | Dryopteris erythrosora 'Brilliance' |

| EVERGREEN TREES | CODE | BOTANICAL NAME |
|------------------|---------|--|
| | JUN SP2 | Juniperus chinensis 'Spartan' |
| | JUN SCO | Juniperus scopulorum 'Moonglow' |
| | ACE PTG | Acer palmatum atropurpurea 'Bloodgood' |
| | AH | Acer tataricum 'Hot Wings' |
| | ACE NOR | Acer truncatum 'Norwegian Sunset' |
| | CLA PER | Cladrastis kentukea 'Perkins Pink' |
| | COR WST | Cornus alternifolia 'Wstackman' TM |
| | GIN FAI | Ginkgo biloba 'Fairmont' |
| | GLE IN2 | Gleditsia triacanthos inermis 'Impcole' Imperial |
| | TIL STE | Tilia tomentosa 'Sterling' |
| ORNAMENTAL TREES | CODE | BOTANICAL NAME |
| | CER FOR | Cercis canadensis 'Forest Pansy' TM |
| | PRU CA2 | Prunus virginiana 'Canada Red' |
| DECIDUOUS SHRUBS | CODE | BOTANICAL NAME |
| | AME ALN | Amelanchier alnifolia 'Regent' |
| | ARO MEL | Aronia melanocarpa elata |
| | BER SGP | Berberis thunbergii 'Maria' TM |
| | CAR CLA | Caryopteris x clandonensis 'Blue Mist' |
| | COR LAA | Cornus alba 'ByBoughen' TM |
| | FOR MDY | Forsythia x 'Minifor6' TM |
| | LIG VUL | Ligustrum vulgare 'Cheyenne' |
| | PHY DON | Physocarpus opulifolius 'Donna May' TM |
| | RHU ARO | Rhus aromatica |
| | ROS WOO | Rosa woodsii ultramontana |
| | ROS HOM | Rosa x 'Home Run' |
| EVERGREEN SHRUBS | CODE | BOTANICAL NAME |
| | AUC VAR | Aucuba japonica 'Variegata' |
| | CHA FE3 | Chamaebatiaria millefolium 'Fernbush' |
| | CHA LLR | Chamaecyparis lawsoniana 'SMNCLBF' TM |
| | CHR RUB | Chrysanthemum nauseosus |
| | CYT SC2 | Cytisus scoparius |
| | EUO AUR | Euonymus japonicus 'Aureo-marginatus' |
| | JUN HOR | Juniperus horizontalis |
| | MAH COM | Mahonia aquifolium 'Compacta' |
| | NAN DOM | Nandina domestica |
| | PIN PU6 | Pinus mugo 'Pumilio' |
| | PIN WH2 | Pinus mugo 'Whitebud' |
| | PRU PAW | Prunus besseyi 'Pawnee Buttes' |
| | PRU OTT | Prunus laurocerasus 'Otto Luyken' |
| | PYR M03 | Pyracantha angustifolia 'Monon' |
| | TAX CHA | Taxus x media 'Chadwickii' |
| | TAX DAR | Taxus x media 'Dark Green Spreading' |



PLANTING NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE EXISTING SITE CONDITIONS WITH THE PLANTING PLAN PRIOR TO BEGINNING WORK AND IMMEDIATELY NOTIFYING THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN ACTUAL SITE CONDITIONS AND THE PLANTING PLANS. IN THE EVENT THE CONTRACTOR FAILS TO COMPARE EXISTING SITE CONDITIONS WITH THE PLANTING PLANS PRIOR TO BEGINNING WORK AND/OR FAILS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REQUIRED ALTERATIONS AND ADDITIONS TO THE PLANTING PLAN INCLUDING ADDITIONAL MATERIALS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGES CAUSED BY CONSTRUCTION OPERATIONS ON OR OFF OF THE SITE WITH NO ADDITIONAL COSTS TO THE OWNER.
- CONTRACTOR SHALL COORDINATE PLANT PLACEMENT WITH IRRIGATION SYSTEM.
- THE CONTRACTOR IS RESPONSIBLE FOR CALCULATING AND VERIFYING THE TOTAL PLANT & LANDSCAPE MATERIAL SQUARE FOOTAGES REPRESENTED ON PLAN.
- THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF ANY PLANT SUBSTITUTIONS OR CHANGES TO PLANT SIZES SPECIFIED. THE LANDSCAPE ARCHITECT SHALL APPROVE SUBSTITUTIONS AND/OR SIZE CHANGES PRIOR TO PLAN INSTALLATION.
- ALL IRRIGATED LANDSCAPE AREAS TO RECEIVE 4" DEPTH ORGANIC MULCH UNLESS OTHERWISE NOTED. REFERENCE AS101 FOR AREAS TO RECEIVE GRAVEL MULCH.
- EXISTING TREES TO REMAIN SHALL BE PROTECTED PER GUIDELINES ON THIS SHEET.
- REFER TO LP SERIES, LI SERIES AND SPECIFICATIONS FOR MORE INFORMATION.

NURSERY STOCK SIZE REQUIREMENTS:
CONTRACTOR SHALL MEET THE FOLLOWING SIZE REQUIREMENTS FOR ALL PLANT MATERIAL.

- DECIDUOUS/ORNAMENTAL- 2-INCH CALIPER
- EVERGREEN- 8-FOOT MINIMUM.
- SHRUBS- 5-GALLON.
- PERENNIAL/GROUNDCOVER- 1-GALLON

LEGEND

- IRRIGATED TURF AREA
- EXISTING WETLAND AREA
- LANDSCAPE EDGING
- LANDSCAPE BOULDERS- 2'-6"

AMERICAN FORK LANDSCAPE REQUIREMENTS:

TOTAL SF OF IMPROVED AREA:
- Building: 177,726.42 sf
- Hardscape: 358,736.66 sf
- Landscape: 105,019.66 sf
- Existing Wetland: 3,149.61 sf
Total square footage of improved area: 644,632.35 sf

TREES:
- Site: 1 tree / 2,500 sf of improved area w/ no more than twenty percent of total ornamental or evergreens
Required: 644,632.35 sf / 2,500 sf = 258 qty.
Provided:
• Deciduous- 216 qty. (84% of total)
• Evergreen- 21 qty. (8% of total)
• Ornamental- 21 qty. (8% of total)
Total Provided: 258 qty.
- Street Frontage- 1 tree / 40 lf
- 860 East
Required: 771.0 lf / 40 = 19 qty.
Provided: 20 qty.
- Quality Drive
Required: 817.0 lf / 40 = 20 qty.
Provided: 46 qty.

SHRUBS:
- Site- 1 (5-gal) shrub / 300 sf of improved area
Required: 2,149 qty.
Provided: 2,149 qty.
• Shrubs- 1,912 qty. (76% of total)
• Deciduous- 667 qty.
• Evergreen- 965 qty.
• Turf- 172 qty. or 8,611.61 sf (1 (5-gal) shrub/ 50 sf of turf, 8% of total)
• Perennial- 65 qty. (16% of total)

| CODE | BOTANICAL NAME | CODE | BOTANICAL NAME |
|---------|------------------------------|---------|----------------------------------|
| EUO COL | Euonymus fortunei 'Colorata' | BIO BLU | BIOBLUE- Kentucky blue grass mix |
| LYS NUM | Lysimachia nummularia | BIO MEA | BIOMEADOW- no mow fine fescue |
| NAT SIX | Native Seed Mix | | |
| SED REF | Sedum reflexum 'Blue Spruce' | | |
| VIN COM | Vinca minor 'Bowles' | | |

SITE PERMIT REVIEW

NEUS PROJECT 19033.01
CHECKED BY: 01.16.20
DRAWN BY: 01.16.20
DATE: 01.16.20
PLANTING PLAN



Know what's below.
Call before you dig.



NOT FOR CONSTRUCTION

1

























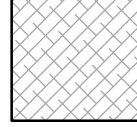
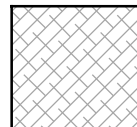
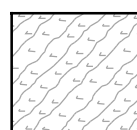
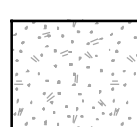
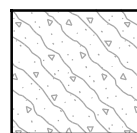
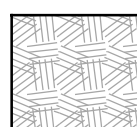
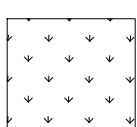
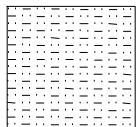
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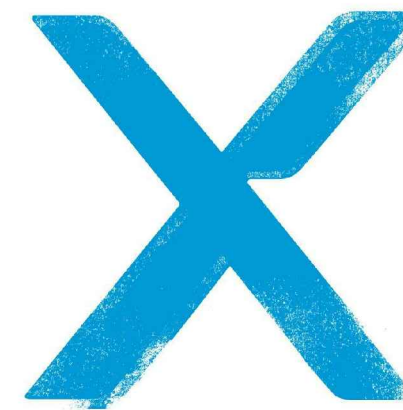
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|---|---------|---------------------------------------|--------------------------------|----------|-------------------|-----------|----------|
| 1 | 2 | 3 | | | | | |
|  | TM | Taxus x media 'Maureen' | Maureen Yew | 5 gal. | 10'x2' | Pot | 25 |
|  | VP | Viburnum x pragense | Prague Viburnum | 5 gal. | 8'x6' | Pot | 13 |
| GRASSES | | | | | | | |
|  | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | QTY |
| | BOU BLO | Bouteloua gracilis 'Blonde Ambition' | Blue Grama | 1 gal. | 30"x18" | Pot | 608 |
|  | CAR IC2 | Carex muskingumensis 'Ice Fountains' | Sedge | 1 gal. | 24"x18" | Pot | 130 |
|  | DES TUF | Deschampsia cespitosa | Tufted Hair Grass | 1 gal. | 2'x2' | Pot | 21 |
|  | HAK ALL | Hakonechloa macra 'All Gold' | All Gold Japanese Forest Grass | 1 gal. | 1'x2' | Pot | 195 |
|  | LIR GIG | Liriope gigantea | Giant Liriope | 1 gal. | 2'x2' | Pot | 475 |
|  | MIS MOR | Miscanthus sinensis 'Morning Light' | Eulalia Grass | 1 gal. | 5'x4' | Pot | 181 |
|  | MIS STR | Miscanthus sinensis 'Strictus' | Porcupine Grass | 5 gal. | 4'x3' | Pot | 250 |
|  | MUH UN3 | Muhlenbergia reverchonii 'PUND01S' TM | Undaunted Ruby Muhly | 3 gal. | 18"x24" | Pot | 367 |
|  | SPO HET | Sporobolus heterolepis | Prairie Dropseed | 1 gal. | 18"x24" | Pot | 550 |
| PERENNIALS | | | | | | | |
|  | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | QTY |
| | ART CAN | Artemisia cana | Silver sage | 5 gal. | 3'x3' | Pot | 80 |
|  | ART POW | Artemisia x 'Powis Castle' | Powis Castle Artemisia | 1 gal. | 3'x2' | Pot | 62 |
|  | DRY BRI | Dryopteris erythrosora 'Brilliance' | Autumn Fern | 3 gal. | 1.5'x1.5' | Pot | 70 |
|  | GAU RSF | Gaura lindheimeri 'Sparkle White' | Whirling Butterflies | 1 gal. | 3'x3' | Pot | 182 |
|  | HOS B46 | Hosta x 'Blue Mouse Ears' | Blue Mouse Ears Hosta | 1 gal. | 8"x12" | Pot | 61 |
|  | HOS FR5 | Hosta x 'Frances Williams' | Plantain Lily | 5 gal. | 2'x3' | Pot | 26 |
|  | LUP GA5 | Lupinus x 'Gallery Blue' | Dwarf Blue Lupine | 1 gal. | 2'x2' | Pot | 42 |
|  | NEP WA2 | Nepeta mussinii 'Walker's Low' | Walker's Low Catmint | 1 gal. | 1.5'x1.5' | Pot | 500 |
|  | PEN PAL | Penstemon palmeri | Palmer's Penstemon | 1 gal. | 4'x2' | Pot | 12 |
|  | SAL SUP | Salvia x superba 'Caradonna' | Sage | 1 gal. | 3'x3' | Pot | 71 |
| SUCCULENTS | | | | | | | |
|  | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | QTY |
| | YUC BRI | Yucca filamentosa 'Bright Edge' | Adam's Needle | 3 gal. | 4'x3' | Pot | 143 |
|  | YUC COL | Yucca filamentosa 'Color Guard' | Adam's Needle | 3 gal. | 2'x2' | Pot | 41 |
| GROUND COVERS | | | | | | | |
|  | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | QTY |
| | CER TOM | Cerastium tomentosum | Snow In Summer | 1 gal. | 6"x12" | Pot | 4,006 |
|  | EUO CO2 | Euonymus fortunei 'Colorata' | Purple-leaf Winter Creeper | 1 gal. | 6"x12" | Pot | 423 |
|  | EUO COL | Euonymus fortunei 'Colorata' | Purple-leaf Winter Creeper | 1 gal. | 6"x12" | Pot | 1,225 |
|  | LYS NUM | Lysimachia nummularia | Creeping Jenny | 1 gal. | 3"x12" | Pot | 84 |
|  | NAT SIX | Native Seed Mix | | seed | | Seed Mix | 6,894 sf |
|  | SED REF | Sedum reflexum 'Blue Spruce' | Blue Spruce-leaved Stonecrop | 1 gal. | 6"x12" | Pot | 2,574 |
|  | VIN COM | Vinca minor 'Bowles' | Bowles Common Periwinkle | 1 gal. | 6"x6" | Pot | 1,135 |
| SOD | | | | | | | |
|  | CODE | BOTANICAL NAME | MANUFACTURER | QTY | | | |
| | BIO BLU | BIOBLUE- Kentucky blue grass mix | BIOGRASS SOD FARMS | 5,426 SF | | | |
|  | BIO MEA | BIOMEADOW- no mow fine fescue | BIOGRASS SOD FARMS | 1,075 SF | | | |

| NATIVE HYDROSEED MIX | | | |
|---------------------------------------|--------------------|----------|--------------|
| BOTANICAL NAME | COMMON NAME | % OF MIX | TOTAL POUNDS |
| GRASS MIX: | | | |
| Bromus marginatus | Mountain brome | 10% | 1.00 |
| Elymus trachycaulus ssp. trachycaulus | Slender wheatgrass | 40% | 4.00 |
| Pascopyrum smithii | Western wheatgrass | 30% | 3.00 |
| Poa secunda ssp. sandbergii | Sandberg bluegrass | 20% | 2.00 |
| TOTAL | | 100% | 10.00 |

APPLY SEED MIX AT A RATE OF 30 LBS. PER ACRE

PLANT SCHEDULE

| EVERGREEN TREES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | TRUNK | QTY |
|------------------|---------|--|----------------------------------|-----------|-------------------|-----------|--------|-----|
| | JUN SP2 | Juniperus chinensis 'Spartan' | Spartan Juniper | 10' Ht. | 15'x4' | B&B | | 61 |
| | JUN SCO | Juniperus scopulorum 'Moonglow' | Moonglow Juniper | 8' Ht. | 20'x8' | B&B | Single | 22 |
| DECIDUOUS TREES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | TRUNK | QTY |
| | ACE PTG | Acer palmatum atropurpurea 'Bloodgood' | Bloodgood Red Japanese Maple | 2" Cal. | 20'x15' | B&B | | 4 |
| | AH | Acer tataricum 'Hot Wings' | Hot Wings Tatarian Maple | 2" Cal. | 20'x15' | B&B | Multi | 5 |
| | ACE NOR | Acer truncatum 'Norwegian Sunset' | Sunset Maple | 2" Cal. | 35'x25' | B&B | Single | 51 |
| | CLA PER | Cladrastis kentukea 'Perkins Pink' | Perkins Pink Yellowwood | 2" Cal. | 40'x30' | B&B | Multi | 8 |
| | COR WST | Cornus alternifolia 'Wstackman' TM | Golden Shadows Dogwood | 8' Ht. | 12'x12' | B&B | | 6 |
| | GIN FAI | Ginkgo biloba 'Fairmont' | Maidenhair Tree | 2" Cal. | 50'x25' | B&B | | 34 |
| | GLE IN2 | Gleditsia triacanthos inermis 'Impcole' Imperial | Imperial Honeylocust | 2" Cal. | 30'x25' | B&B | Single | 82 |
| | TIL STE | Tilia tomentosa 'Sterling' | Sterling Silver Linden | 2.5" Cal. | 60'x30' | B&B | Single | 26 |
| ORNAMENTAL TREES | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | TRUNK | QTY |
| | CER FOR | Cercis canadensis 'Forest Pansy' TM | Forest Pansy Redbud | 2" Cal. | 20'x25' | B&B | Single | 33 |
| | PRU CA2 | Prunus virginiana 'Canada Red' | Canada Red Chokecherry | 2" Cal. | 20'x20' | B&B | Single | 10 |
| DECIDUOUS SHRUBS | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | QTY | |
| | AME ALN | Amelanchier alnifolia 'Regent' | Saskatoon Serviceberry | 5 gal. | 5'x5' | Pot | | 27 |
| | ARO MEL | Aronia melanocarpa elata | Glossy Black Chokeberry | 5 gal. | 5'x5' | Pot | | 42 |
| | BER SGP | Berberis thunbergii 'Maria' TM | Sunjoy Gold Pillar Barberry | 5 gal. | 3'x2' | Pot | | 90 |
| | CAR CLA | Caryopteris x clandonensis 'Blue Mist' | Blue Mist Shrub | 5' Ht. | 2'x2' | Pot | | 177 |
| | COR LAA | Cornus alba 'ByBoughen' TM | Neon Burst Dogwood | 5 gal. | 4'x4' | Pot | | 101 |
| | FOR MDY | Forsythia x 'Minfor6' TM | Show Off Starlet Dwarf Forsythia | 5 gal. | 3'x3' | Pot | | 48 |
| | LIG VUL | Ligustrum vulgare 'Cheyenne' | Cheyenne Privet | 5 gal. | 8'x6' | Pot | | 26 |
| | PHY DON | Physocarpus opulifolius 'Donna May' TM | Little Devil Ninebark | 5 gal. | 3'x3' | Pot | | 9 |
| | RHU ARO | Rhus aromatica | Fragrant Sumac | 5 gal. | 6'x3' | Pot | | 33 |
| | ROS WOO | Rosa woodsii ultramontana | Woods' Rose | 5 gal. | 4'x3' | Pot | | 32 |
| | ROS HOM | Rosa x 'Home Run' | Rose | 5 gal. | 3'-4' | Pot | | 84 |
| EVERGREEN SHRUBS | CODE | BOTANICAL NAME | COMMON NAME | SIZE | MATURE SIZE (HXW) | CONTAINER | QTY | |
| | AUC VAR | Aucuba japonica 'Variegata' | Spotted Laurel | 7 gal. | 5'x5' | Pot | | 28 |
| | CHA FE3 | Chamaebatiaria millefolium 'Fernbush' | Fernbush | 5 gal. | 5'x5' | Pot | | 48 |
| | CHA LLR | Chamaecyparis lawsoniana 'SMNCLBF' TM | Pinpoint Blue False Cypress | 6' Ht. | 15'x5' | Pot | | 36 |
| | CHR RUB | Chrysothamnus nauseosus | Rubber Rabbitbrush | 5 gal. | 5'x5' | Pot | | 10 |
| | CYT SC2 | Cytisus scoparius | Scotch Broom | 5 gal. | 5'x6' | Pot | | 66 |
| | EUO AUR | Euonymus japonicus 'Aureo-marginatus' | Golden Euonymus | 5 gal. | 4'x4' | Pot | | 155 |
| | JUN HOR | Juniperus horizontalis | Creeping Juniper | 5 gal. | 1'x6' | | | 50 |
| | MAH COM | Mahonia aquifolium 'Compacta' | Compact Oregon Grape | 5 gal. | 2'x3' | Pot | | 223 |
| | NAN DOM | Nandina domestica | Heavenly Bamboo | 5 gal. | 6'x4' | Pot | | 27 |
| | PIN PU6 | Pinus mugo 'Pumilio' | Dwarf Mugo Pine | 1 gal. | 3'x5' | | | 76 |
| | PIN WH2 | Pinus mugo 'Whitebud' | Mugo Pine | 5 gal. | 3'-4' | Pot | | 37 |
| | PRU PAW | Prunus besseyi 'Pawnee Buttes' | Sand Cherry | 5 gal. | 6'x4' | Pot | | 72 |
| | PRU OTT | Prunus laurocerasus 'Otto Luyken' | Luykens Laurel | 5 gal. | 3'x6' | Pot | | 59 |
| | PYR MO3 | Pyracantha angustifolia 'Monon' | Yukon Belle Pyracantha | 5 gal. | 8'x8' | Pot | | 58 |
| | TAX CHA | Taxus x media 'Chadwickii' | Chadwick's Yew | 7 gal. | 3'-4' | Pot | | 22 |
| | TAX DAR | Taxus x media 'Dark Green Spreading' | Yew | 10 gal. | 4'x8' | Pot | | 3 |



ARCH | NEXUS

Architectural NEUS, Inc.
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.924.5000
http://www.archne.us.com

Ritchie Group
AMERICAN FORK 860 APARTMENTS
860 EAST QUALITY DRIVE
AMERICAN FORK, UTAH 84003

| □ | Date | Revision |
|---|----------|----------|
| △ | 06/16/20 | REV 01 |

SITE PERMIT
REVIEW

| | |
|--------------|----------|
| NEUS PROJECT | 19033.01 |
| CHECKED BY | |
| DRAWN BY | |
| DATE | 01.16.20 |

PLANTING LEGEND

NOT FOR CONSTRUCTION



Architectural NEXUS, Inc.
2505 East Parleys Way
Salt Lake City, Utah 84109
T 801.924.5000
http://www.archnexus.com

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The Ritchie Group
American Fork 860 Apartments
860 EAST QUALITY DRIVE
AMERICAN FORK, UTAH 84003

Attachment: 2, Site Plan (Ritchie AF 860 Apartments)

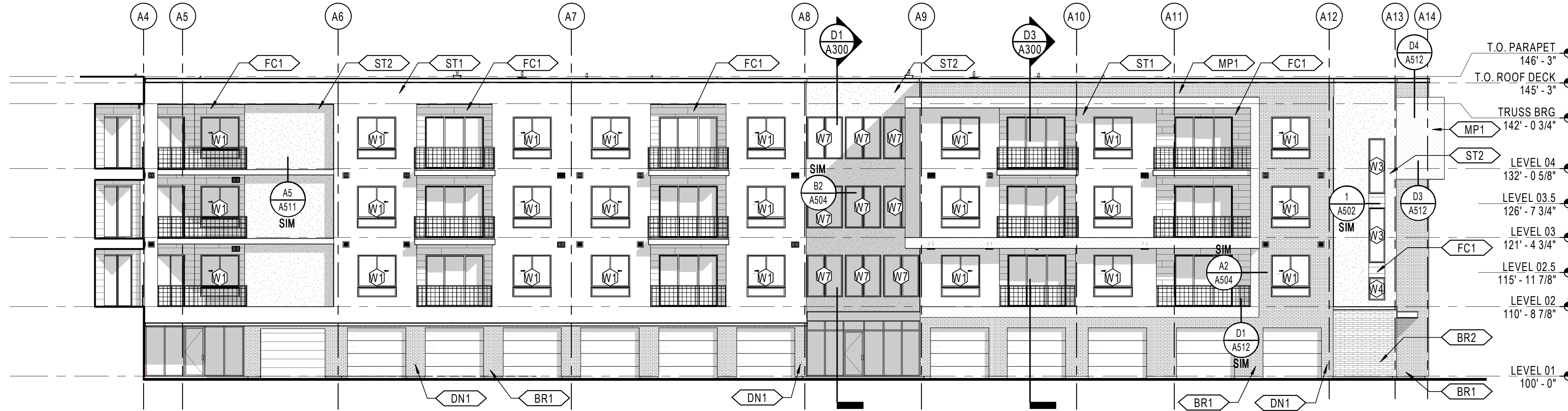
GENERAL NOTE - BUILDING ELEVATION

- A. COORDINATE GRADING SHOWN ON ELEVATIONS w/ CIVIL
- B. PROVIDE GUTTERS AND DOWN SPOUTS w/ HEAT CABLE, SNOW FENCES, AND SNOW CLIPS - SEE ROOF PLAN
- C. FOR TYPICAL WALL ASSEMBLY INCLUDING MATERIAL DESIGNATIONS AND DETAILING APPROACH, SEE A350 SERIES
- D. FOR WINDOW ELEVATIONS, SEE WINDOW TYPES
- E. WINDOW OPERATION DIRECTION TO BE INTALLED AS INDICATED ON ELEVATIONS

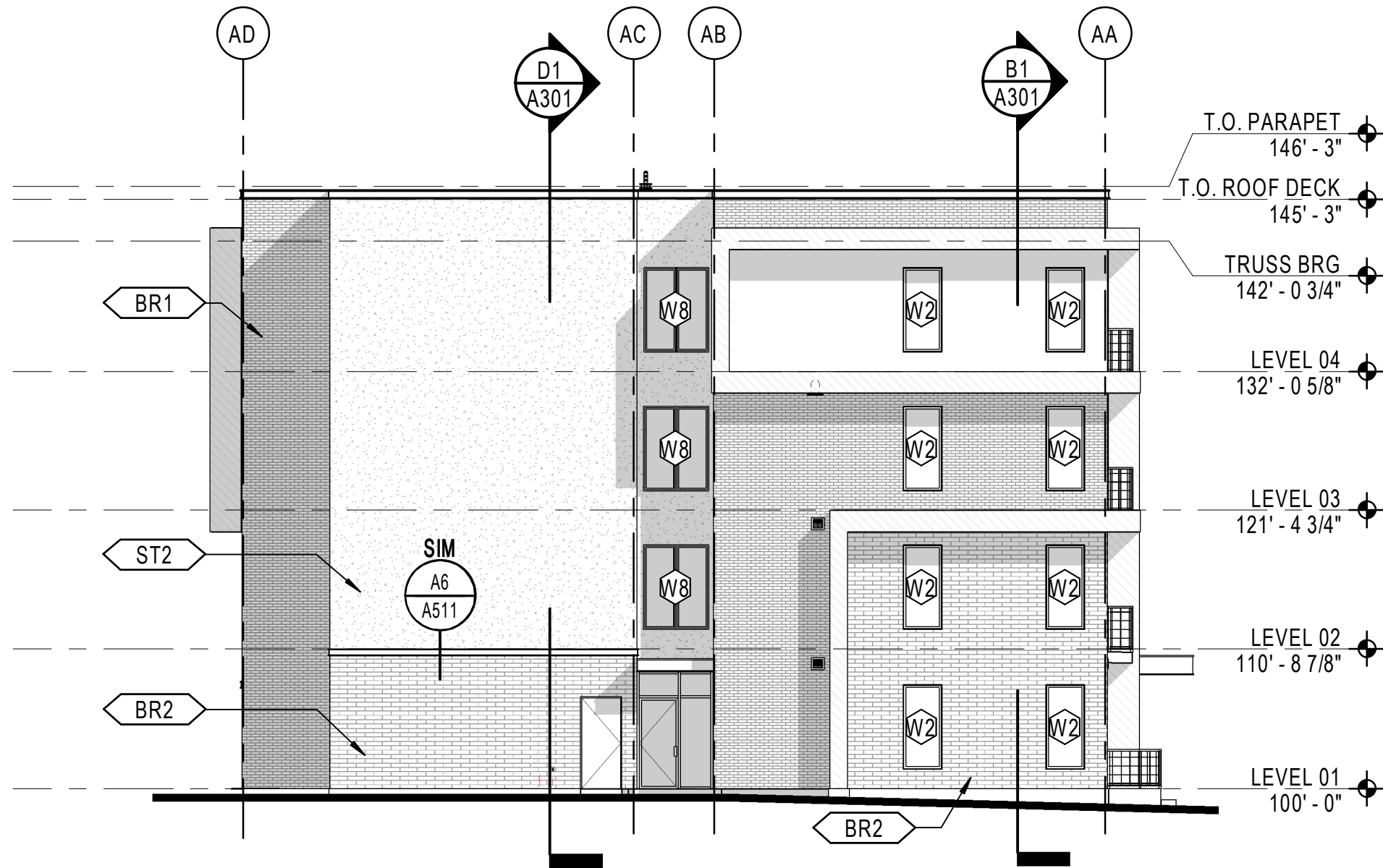
| KEYNOTE LEGEND | |
|----------------|--|
| Key Value | Keynote Text |
| BR1 | MODULAR THIN SET BRICK VENEER |
| BR2 | EMPEROR THIN SET BRICK VENEER |
| DN1 | DOWNSPOUT NOZZLE; COORDINATE WITH PLUMBING |
| FC1 | FIBER CEMENT BOARD SIDING |
| MP1 | METAL PANEL SYSTEM |
| ST1 | WHITE STUCCO |
| ST2 | GRAY STUCCO |

MATERIALS LEGEND

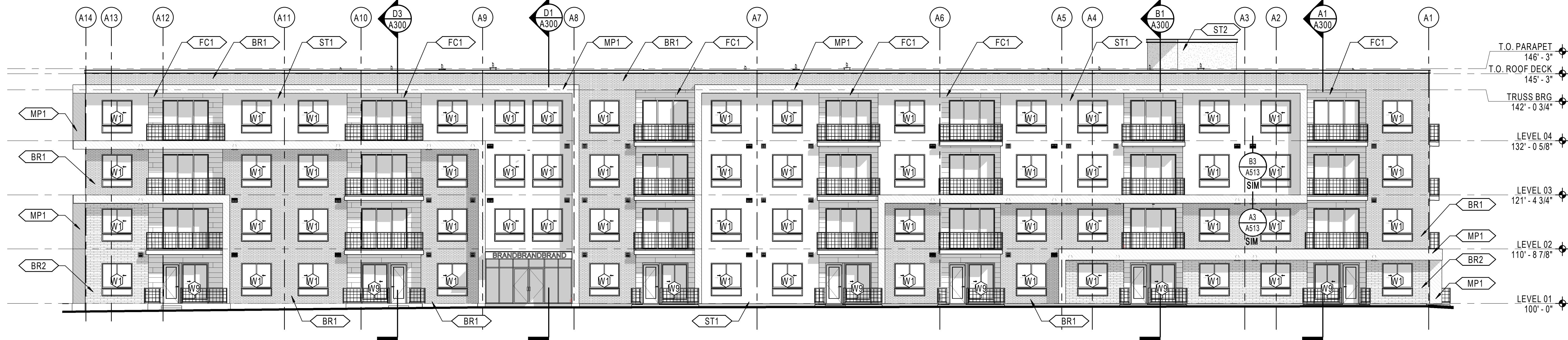
- BR1**
MATERIAL: MODULAR THIN BRICK VENEER
MANUFACTURER: INTERSTATE BRICK
COLOR: COAL
- BR2**
MATERIAL: EMPEROR THIN BRICK VENEER
MANUFACTURER: INTERSTATE BRICK
COLOR: PEWTER
- ST1**
MATERIAL: STUCCO
MANUFACTURER: MASTER WALL
COLOR: SW7006 EXTRA WHITE
FINISH: SAVANNAH
- ST2**
MATERIAL: STUCCO
MANUFACTURER: MASTER WALL
COLOR: SW7017 DORIAN GRAY
FINISH: SAVANNAH
- MP1**
MATERIAL: METAL PANEL
MANUFACTURER: BERRIDGE
COLOR: ACRYLIC-COATED GALVALUME
- FC1**
MATERIAL: FIBER CEMENT PANEL
MANUFACTURER: ALLURA
COLOR: MAPLE - COLORMAX



D3 BUILDING ELEVATION- BUILDING A- WEST 1
A201 3/32" = 1'-0"



C5 BUILDING ELEVATION- BUILDING A- SOUTH 2
A201 3/32" = 1'-0"



A1 BUILDING ELEVATION- BUILDING A- EAST 1
A201 3/32" = 1'-0"

Date Revision

CD PROGRESS SET

NEXUS PROJ. #: 19033.01
CHECKED BY: RA
DRAWN BY: SS
DATE: 02.14.2020

BUILDING ELEVATIONS - BUILDING A

A201

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: August 19, 2020
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on the Ritchie American Fork 860 Apartments, located in the area of 860 East Quality Drive, in the PC (Planned Community) zone.

ACTION REQUESTED: Recommendation of approval of the site plan.

| BACKGROUND INFORMATION | | | | |
|------------------------------|-------|---------------------------|-----|----|
| Location: | | 860 East Quality Drive | | |
| Applicants: | | The Ritchie Group | | |
| Existing Land Use: | | Agriculture | | |
| Proposed Land Use: | | Residential | | |
| Surrounding Land Use: | North | Agriculture | | |
| | South | Agriculture | | |
| | East | Agriculture | | |
| | West | Vacant | | |
| Existing Zoning: | | PC (Planned Community) | | |
| Proposed Zoning: | | N/A | | |
| Surrounding Zoning: | North | PC (Planned Community) | | |
| | South | PC (Planned Community) | | |
| | East | PC (Planned Community) | | |
| | West | PI-1 (Planned Industrial) | | |
| Land Use Plan Designation: | | Planned Community | | |
| Zoning within density range? | | x | Yes | No |

Background

The property was annexed in 2019 as part of the Vest Annexation. A concept plan approval followed, designating this area as high density residential/potential mixed use. A subsequent development agreement was approved, allowing the overall development a parking ratio of 1.8 stalls per unit.

The site plan proposes 513 apartment units, a combination of studio and 1-3 bedroom units. 949 parking stalls are provided, which is slightly above the 1.8 ratio required in the memorandum of understanding approved by the Council and master developer. Access to the project will be off Quality Drive and 860 East. This development will frame the southwest corner of Quality Drive and 860 East.

Renderings and landscape plans are included as part of the submittal materials.
Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Planned Community”. The proposed subdivision is consistent with the Land Use Plan designation.

FINDING OF FACT

After reviewing the application for final plat approval, the following finding of fact is offered for consideration:

1. The site plan meets the criteria as found in Section 17.7.507 (Planned Community Development Projects) of the Development Code.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we recommend approval of the site plan for the Ritchie American Fork 860 Apartments, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the site plan.

TABLE

Mr. Chairman, I move that we table action on the site plan.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 8/19/2020

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: American Fork 860 Apartments

Project Address: 820 East Quality Drive

Developer / Applicant's Name: The Ritchie Group

Type of Application:

- | | | |
|--|--|--------------------------------------|
| <input type="checkbox"/> Subdivision Final Plat | <input type="checkbox"/> Subdivision Preliminary Plan | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Code Text Amendment | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Zone Change |
| <input checked="" type="checkbox"/> Commercial Site Plan | <input type="checkbox"/> Residential Accessory Structure Site Plan | |

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 8/19/2020 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

Project Map:



STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
3. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
4. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
5. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
6. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
7. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
8. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
9. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
10. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
11. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
12. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Plan Modifications Required:

- 1.

UNAPPROVED MINUTES

1 **Mr. Ryan Hunter moved to approve the site plan for the Bach Apartments, with the finding**
 2 **listed in the staff report and subject to any findings, conditions and modifications listed in**
 3 **the engineering report.**

4 **Mr. Brocious seconded the motion. Voting was as follows:**

| | | |
|----|---------------------------|------------|
| 5 | Chairman Woffinden | Aye |
| 6 | Chris Christiansen | Aye |
| 7 | Christine Anderson | Aye |
| 8 | Ryan Hunter | Aye |
| 9 | Harold Dudley | Aye |
| 10 | Rod Brocious | Aye |

11 **The motion passed.**

12
 13 7. Hearing, review and action on the Ritchie American Fork 860 Apartments, located in the
 14 area of 860 East Quality Drive in the PC Planned Community zone

15 Mr. Olsen informed commissioners that the property was annexed in 2019 as part of the Vest
 16 Annexation. A concept plan approval followed, designating this area as high density
 17 residential/potential mixed use. A subsequent development agreement was approved, allowing the
 18 overall development a parking ratio of 1.8 stalls per unit.

19 The site plan proposes 513 apartment units, a combination of studio and 1-3 bedroom units. 949
 20 parking stalls are provided, which is slightly above the 1.8 ratio required in the memorandum of
 21 understanding approved by the Council and master developer. Access to the project will be off
 22 Quality Drive and 860 East. This development will frame the southwest corner of Quality Drive
 23 and 860 East.

24 Mr. Ryan Hunter asked what leeway and input commissioners have regarding design and
 25 appearance. He is concerned that this area surrounding the Deseret Industries will not look
 26 appealing in 20 years.

27 Mr. Olsen replied that all comments will be forwarded to the city council. The developers are
 28 meeting requirements in materials, etc, but commissioners' concerns can be added into a motion.

29 Chairman Woffinden said that design standards can become a problem very quickly, we have to
 30 be aware of and careful with that.

31 Mr. Olsen said that most renderings of new developments are rectangular with clean lines, this is
 32 the time to air concerns about appearance if commissioners have such concerns.

33 Mr. Ryan Hunter did not feel that this plan is visually appealing, especially if it's repeated for
 34 many acres.

35 Chairman Woffinden called this the "Ikea look."

UNAPPROVED MINUTES

Mr. Dudley would like to encourage use of varying materials and colors.

Ms. Anderson asked the about minimum number of discrete products that will be required.

Mr. Olsen stated that this proposal goes above the minimum code requirements, he thinks that code may require two or three different products.

Ms. Anderson suggests making this standard the minimum requirement.

Commissioners all agree that the proposal is bland and minimalist, and without much imagination.

Mr. Ryan Hunter said that it is appropriate for a high-density area, he just wants to make sure it is architecturally appealing.

Mr. Ben Hunter points out the ditch on the plan, where storm drainage would have to go into if the drainage project isn't finished by Ritchie. The roadway plans are ready to go, they just need to have bonding in place. Quality Drive currently ends in a dead-end cul-de-sac, but it will become a thru street along with improvements to 860 East. The Engineering Division recommends approval.

Ms. Anderson asks if this zone can accommodate commercial development on the ground level.

Mr. Olsen said that this zone does have some ground-floor commercial. The concept plan identifies this as one of the high-density residential nodes, commercial development will be in adjoining plans.

Public Hearing Opened

No public comments received

Public Hearing Closed

Mr. Ryan Hunter moved to approve the site plan for the Ritchie American Fork 860 Apartments, with the finding listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

Ms. Anderson seconded the motion. Voting was as follows:

| | |
|--------------------|-----|
| Chairman Woffinden | Aye |
| Chris Christiansen | Aye |
| Christine Anderson | Aye |
| Ryan Hunter | Aye |
| Harold Dudley | Aye |
| Rod Brocious | Aye |

The motion passed.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Public Works **Director Approval** Scott Sensanbaugher

AGENDA ITEM Review and action on a Performance-in-Lieu Agreement with OZ AF EAST, LLC regarding actual construction in lieu of providing an Improvements Construction Guarantee associated with Bach Apartments located at 620 South 700 East.

SUMMARY RECOMMENDATION Staff recommends approval of the Agreement.

BACKGROUND City ordinance provides for an option wherein a developer can petition the City Council to allow construction of improvements in lieu of providing a performance guarantee. In this instance the recording of the plat is deferred until the project improvements are deemed complete. The Council has the option to require a petitioner to prove sufficient resources to complete the project.

BUDGET IMPACT N/A

SUGGESTED MOTION Move to approve the Performance-in-Lieu Agreement with OZ AF EAST, LLC for Bach Apartments located 620 South 700 East.

SUPPORTING DOCUMENTS

Performance in Lieu Agreement - Bach Apartments (DOCX)

Agreement for Performance in Lieu

THIS AGREEMENT is made and entered as of the 8 day of September, 2020, by and between the City of American Fork (“City”), a political subdivision of the State of Utah, and OZ AF East, LLC (“Owner”), a Utah corporation.

WHEREAS, Owner owns property in the City located at approximately 742 East 620 South (the “Property”);

WHEREAS, the Owner has recently proposed to the City and obtained conditional approval to commence with the Project;

WHEREAS, the Owner desires to adhere to City Ordinance Section 17.9.600 by constructing the project’s public landscaping and public improvements (hereinafter collectively referred to as “Improvements”) in lieu of posting an Improvement Completion Assurance;

WHEREAS, the American Fork City Council finds that the developer has sufficient financial resources to accomplish the construction of the required Improvements within the time frame outlined herein;

WHEREAS, the parties desire to enter into this Agreement to specify the rights and responsibilities of Owner to construct Improvements in lieu of posting an Improvement Completion Assurance as expressed in this Agreement and the rights and responsibilities of the City to allow and regulate such construction pursuant to the requirements of this Agreement; and

WHEREAS, Owner and the City have cooperated in the preparation of this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and Owner hereby agree to the following:

1. **Incorporation of Recital.** The foregoing Recitals are hereby incorporated in this Agreement.
2. **Improvement Completion Assurance.** Owner shall be permitted to construct Improvements in lieu of posting an Improvement Completion Assurance. Such construction shall be completed in accordance with the terms set forth herein.
3. **Time for Construction of Improvements.**

3.1_ Final construction documents and permits in accordance with City Ordinances shall be provided to the City Engineer for review immediately following the execution of

this Agreement. Upon approval of the City Engineer, construction of Improvements shall commence within thirty days.

3.2_ Improvements shall be constructed in accordance with the Construction Schedule attached hereto as Exhibit A and incorporated herein.

3.3_ Improvements shall be completed no later than two hundred seventy five (275) days from the date of execution of this Agreement. Any extension of this time period shall be in accordance with City Ordinance Section 17.9.601.

3.4_ Owner agrees and acknowledges that if construction of Improvements is not complete within the specified time set forth in this Agreement, or Owner fails to obtain an authorized extension, the Project may be declared a Dormant Project by the City.

4. **Permits and Fees**

4.1_ Prior to construction, Owner shall pay to the City the following:

1. The portion of the Improvement Completion Assurance amount attributable to costs of inspection, clean-up, reimbursement of prior constructed public improvements, and other city costs; and
2. An Improvement Warranty pursuant to City Ordinance Section 17.9.400

4.2_ Prior to construction, Owner shall obtain all necessary permits, including a land disturbance permit.

5. **Payment to City for Street Tree Specific Improvement Completion Assurance.** This assurance shall be managed independent of the other required Improvements. The Improvement Warranty period shall also be enacted independent of this requirement. Planting of trees shall be deferred until the structure constructed on a given lot is ready for first occupancy inspection.

6. **Blanket Easement.** The Owner shall submit a recorded blanket easement over the entire project area, which shall expire upon the recording of the final plat, authorizing the installation of required Improvements in the locations shown on the approved final plat and engineering drawings.

7. **Recording of Final Plat.** Owner agrees and acknowledges that the final plat shall not be recorded with the Utah County Recorder until all Improvements for the Project are constructed and accepted by the City Council, who shall issue a Notice of Completion and Acceptance of Improvements and Release of Improvement Completion Assurance.

8. **Early Recording of Final Plat.** If at any point during the construction process the Owner wishes to record the plat an Improvement Completion Assurance shall be provided per the terms of City Ordinance Section 17.9 for any and all remaining required Improvements. Upon verification of this posting and any other approval condition, the City Recorder shall be authorized to record the plat.

9. **Improvement Warranty.** The Improvement Warranty period shall commence at the recording of the final plat.

10. **Compliance.** All construction shall comply with all applicable Federal, State and local laws, ordinances, regulations, standards, and specifications.

11. **Attorney Fees.** In the event that legal remedies are sought by either party hereto to enforce the terms of this Agreement, the prevailing party shall be entitled to costs of suit and a reasonable attorney's fee.

12. **Entire Agreement.** This Agreement constitutes the entire agreement between the two parties on the subject matter of the Improvement Completion Assurance for the Project. Any provision that may be deemed unlawful shall be removed and the balance of the agreement shall remain in full effect.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement by and through their respective, duly authorized representatives as of the day and year first herein above written.

[Signature Page Follows]

AMERICAN FORK CITY

Bradley J. Frost, Mayor

Attest:

Terilyn Lurker, City Recorder

Approved as to Form:

Approved as to Content:

American Fork City Attorney

Public Works Director

OZ AF EAST, LLC

BY: Greg Rindlisbacher

ITS: Managing member

OWNER ACKNOWLEDGMENT

STATE OF UTAH
COUNTY OF UTAH

On _____, 2020, Greg Rindlisbacher personally appeared before me, who being by me duly sworn, did say that he is the Managing member of OZ AF EAST, LLC, and that the foregoing instrument was duly authorized by the company.

NOTARY PUBLIC

Attachment: Performance in Lieu Agreement - Bach Apartments (Performance-in-Lieu Agreement for Bach Homes)

Exhibit 'A'

Construction Schedule

Water/Sewer

- Start – 9/21/2020
- Finish – 12/7/2020

Public Landscaping

- Start – 4/26/2021
- Finish – 5/31/2021



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Public Works **Director Approval** Scott Sensanbaugher

AGENDA ITEM Review and action on a Construction Contract for the 100 East Street Water Line Replacement (WA201807) Construction Contract

SUMMARY RECOMMENDATION Staff recommends approval of the 100 East Water Line Improvements project (WA201902) construction contract to R Cherrington Enterprises, LLC.

BACKGROUND The Engineering Division followed a standard procurement process by issuing an invitation for bids (IFB) through the Utah Public Procurement Place (U3P). Four different companies provided bids on the project. R Cherrington Enterprises, LLC was the lowest acceptable bid based on the criteria in the issued IFB. The project will consist of water line replacement on the East side of 100 East from 300 North to 500 North, adding fire hydrants as a safety improvement, and new service lines and meters to both sides of the road. This project has been coordinated with UDOT to be completed prior to their pavement construction project that is scheduled to begin in the Spring of 2021.

BUDGET IMPACT This contract will be issued as part of the existing, approved, water capital projects budget.

SUGGESTED MOTION Mr. Mayor, I move that we accept the bid submitted by R Cherrington Enterprises, LLC for construction of the 100 East Water Line Improvements project in the amount of \$450,900.00, and approve the construction contract as presented.

SUPPORTING DOCUMENTS

American Fork - 100 East Water Line Replacement - Bid Tabulation - Sep2020 (PDF)
Form_405_Agreement (PDF)
Form_408_Notice_of_Award (PDF)
Form_409_Notice_to_Proceed (PDF)



BID TABULATION

PROJECT: AMERICAN FORK - 100 EAST WATER LINE REPLACEMENT
BID DATE: SEPTEMBER 3, 2020

| | | | | ENGINEER'S ESTIMATE | | RC Enterprise Paving & Construction | | Knife River Corporation | | Beck Construction & Excavation | | VanCon Inc. | |
|-----------|---|-------------------|-------|---------------------|---------------|-------------------------------------|---------------|-------------------------|---------------|--------------------------------|---------------|---------------|-----------------|
| BID ITEMS | | ESTIMATE QUANTITY | UNITS | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST |
| 1 | Mobilization | 1 | LS | \$ 30,000.00 | \$ 30,000.00 | \$ 26,050.00 | \$ 26,050.00 | \$ 65,000.00 | \$ 65,000.00 | \$ 12,950.00 | \$ 12,950.00 | \$ 108,000.00 | \$ 108,000.00 |
| 2 | Traffic Control | 1 | LS | \$ 35,000.00 | \$ 35,000.00 | \$ 15,700.00 | \$ 15,700.00 | \$ 121,500.00 | \$ 121,500.00 | \$ 15,450.00 | \$ 15,450.00 | \$ 237,100.00 | \$ 237,100.00 |
| 3 | Pre-Construction Video | 1 | LS | \$ 1,000.00 | \$ 1,000.00 | \$ 1,725.00 | \$ 1,725.00 | \$ 1,300.00 | \$ 1,300.00 | \$ 210.00 | \$ 210.00 | \$ 5,850.00 | \$ 5,850.00 |
| 4 | 4-inch PVC C900 DR 18 Pipe and Fittings | 20 | Ln Ft | \$ 28.00 | \$ 560.00 | \$ 45.00 | \$ 900.00 | \$ 65.00 | \$ 1,300.00 | \$ 430.00 | \$ 8,600.00 | \$ 1,450.00 | \$ 29,000.00 |
| 5 | 8-inch PVC C900 DR 18 Pipe and Fittings | 1,680 | Ln Ft | \$ 38.00 | \$ 63,840.00 | \$ 45.00 | \$ 75,600.00 | \$ 72.00 | \$ 120,960.00 | \$ 92.00 | \$ 154,560.00 | \$ 280.50 | \$ 471,240.00 |
| 6 | 8-inch Gate Valve Assembly | 10 | Each | \$ 2,500.00 | \$ 25,000.00 | \$ 2,250.00 | \$ 22,500.00 | \$ 2,350.00 | \$ 23,500.00 | \$ 4,075.00 | \$ 40,750.00 | \$ 5,515.00 | \$ 55,150.00 |
| 7 | 10-inch Gate Valve Assembly | 2 | Each | \$ 3,000.00 | \$ 6,000.00 | \$ 3,050.00 | \$ 6,100.00 | \$ 3,250.00 | \$ 6,500.00 | \$ 6,850.00 | \$ 13,700.00 | \$ 8,203.95 | \$ 16,407.90 |
| 8 | Fire Hydrant Assembly | 5 | Each | \$ 6,000.00 | \$ 30,000.00 | \$ 7,100.00 | \$ 35,500.00 | \$ 9,000.00 | \$ 45,000.00 | \$ 11,215.00 | \$ 56,075.00 | \$ 20,550.00 | \$ 102,750.00 |
| 9 | 4-inch Line-Stop | 3 | Each | \$ 4,000.00 | \$ 12,000.00 | \$ 4,600.00 | \$ 13,800.00 | \$ 5,000.00 | \$ 15,000.00 | \$ 7,965.00 | \$ 23,895.00 | \$ 1,225.00 | \$ 3,675.00 |
| 10 | 8-inch Line-Stop | 3 | Each | \$ 8,000.00 | \$ 24,000.00 | \$ 9,200.00 | \$ 27,600.00 | \$ 7,500.00 | \$ 22,500.00 | \$ 11,050.00 | \$ 33,150.00 | \$ 1,920.00 | \$ 5,760.00 |
| 11 | 10-inch Line-Stop | 2 | Each | \$ 11,000.00 | \$ 22,000.00 | \$ 11,500.00 | \$ 23,000.00 | \$ 9,000.00 | \$ 18,000.00 | \$ 12,635.00 | \$ 25,270.00 | \$ 2,245.00 | \$ 4,490.00 |
| 12 | Install 1-inch Short Lateral | 13 | LS | \$ 1,600.00 | \$ 20,800.00 | \$ 2,425.00 | \$ 31,525.00 | \$ 2,600.00 | \$ 33,800.00 | \$ 2,715.00 | \$ 35,295.00 | \$ 7,619.00 | \$ 99,047.00 |
| 13 | Install 1-inch Long Lateral | 13 | LS | \$ 3,000.00 | \$ 39,000.00 | \$ 3,200.00 | \$ 41,600.00 | \$ 3,300.00 | \$ 42,900.00 | \$ 4,960.00 | \$ 64,480.00 | \$ 7,650.00 | \$ 99,450.00 |
| 14 | Install 2-inch Short Lateral | 1 | LS | \$ 3,900.00 | \$ 3,900.00 | \$ 3,550.00 | \$ 3,550.00 | \$ 7,500.00 | \$ 7,500.00 | \$ 4,330.00 | \$ 4,330.00 | \$ 15,175.00 | \$ 15,175.00 |
| 15 | Imported Pipe Bedding | 1,700 | Ln Ft | \$ 3.50 | \$ 5,950.00 | \$ 3.00 | \$ 5,100.00 | \$ 10.50 | \$ 17,850.00 | \$ 12.75 | \$ 21,675.00 | \$ 35.95 | \$ 61,115.00 |
| 16 | Imported Structural Backfill | 1,700 | Ln Ft | \$ 26.00 | \$ 44,200.00 | \$ 5.50 | \$ 9,350.00 | \$ 9.00 | \$ 15,300.00 | \$ 24.75 | \$ 42,075.00 | \$ 36.50 | \$ 62,050.00 |
| 17 | Bituminous Pavement Sawing | 3,400 | Ln Ft | \$ 0.75 | \$ 2,550.00 | \$ 1.25 | \$ 4,250.00 | \$ 1.60 | \$ 5,440.00 | \$ 2.00 | \$ 6,800.00 | \$ 3.60 | \$ 12,240.00 |
| 18 | Untreated Base Course (UBC) | 240 | Cu Yd | \$ 22.00 | \$ 5,280.00 | \$ 89.00 | \$ 21,360.00 | \$ 95.00 | \$ 22,800.00 | \$ 115.00 | \$ 27,600.00 | \$ 129.30 | \$ 31,032.00 |
| 19 | Bituminous Surfacing (7-inch depth) | 1,390 | Sq Yd | \$ 85.00 | \$ 118,150.00 | \$ 51.00 | \$ 70,890.00 | \$ 42.00 | \$ 58,380.00 | \$ 75.00 | \$ 104,250.00 | \$ 191.45 | \$ 266,115.50 |
| 20 | Restore Landscaping | 1 | LS | \$ 10,000.00 | \$ 10,000.00 | \$ 14,800.00 | \$ 14,800.00 | \$ 7,500.00 | \$ 7,500.00 | \$ 10,050.00 | \$ 10,050.00 | \$ 61,000.00 | \$ 61,000.00 |
| | | BASE BID TOTAL | | | \$ 499,230.00 | | \$ 450,900.00 | | \$ 652,030.00 | | \$ 701,165.00 | | \$ 1,746,647.40 |

| BID ALTERNATE #1 - BID ITEMS | | ESTIMATE QUANTITY | UNITS | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST | UNIT COST | TOTAL COST |
|------------------------------|--|-------------------|-------|-------------|--------------|-------------|--------------|-------------|--------------|-------------|--------------|-------------|---------------|
| 21 | Additive for Flowable Backfill (main line) | 100 | Ln Ft | \$ 65.00 | \$ 6,500.00 | \$ 56.50 | \$ 5,650.00 | \$ 51.00 | \$ 5,100.00 | \$ 90.00 | \$ 9,000.00 | \$ 103.50 | \$ 10,350.00 |
| 22 | Additive for Flowable Backfill (short lateral) | 14 | LS | \$ 500.00 | \$ 7,000.00 | \$ 900.00 | \$ 12,600.00 | \$ 336.00 | \$ 4,704.00 | \$ 880.00 | \$ 12,320.00 | \$ 1,540.00 | \$ 21,560.00 |
| 23 | Additive for Flowable Backfill (long lateral) | 13 | LS | \$ 1,000.00 | \$ 13,000.00 | \$ 1,600.00 | \$ 20,800.00 | \$ 1,680.00 | \$ 21,840.00 | \$ 4,900.00 | \$ 63,700.00 | \$ 5,725.00 | \$ 74,425.00 |
| | | ALT. #1 TOTAL | | | \$ 26,500.00 | | \$ 39,050.00 | | \$ 31,644.00 | | \$ 85,020.00 | | \$ 106,335.00 |

| | | | | | | | | | | | |
|-----------|--|--|---------------|--|---------------|--|---------------|--|---------------|--|-----------------|
| BID TOTAL | | | \$ 525,730.00 | | \$ 489,950.00 | | \$ 683,674.00 | | \$ 786,185.00 | | \$ 1,852,982.40 |
|-----------|--|--|---------------|--|---------------|--|---------------|--|---------------|--|-----------------|



Engineer: _____
Office: Springville, Utah

AGREEMENT

THIS AGREEMENT, made this _____ day of _____, 20____, by and between American Fork City, hereinafter called "OWNER" and R Cherrington Enterprises, LLC, doing
(CONTRACTOR's Name)

business as a _____ hereinafter called "CONTRACTOR".
(Insert Corporation, Partnership, or Individual as appropriate)

WITNESSETH: That for and in consideration of the payments and agreements hereinafter mentioned:

1. The CONTRACTOR will commence and complete the construction of:

Project includes the replacement of approximately 1,700 Lineal Feet of existing pipe with 8" C900 PVC pipe with necessary fittings, valves, hydrants and service connections. The area is encumbered with many other existing utilities. The work will be located within the road right of way with some of that being American Fork right of way and the majority being in SR-74.

2. The CONTRACTOR will furnish all of the material, supplies, tools, equipment, labor, and other services necessary for the construction and completion of the PROJECT described herein.
3. The CONTRACTOR will commence the work required by the CONTRACT DOCUMENTS within 10 calendar days after the date of the NOTICE TO PROCEED and will complete the same by October 15, 2020, unless the period for completion is extended otherwise by the CONTRACT DOCUMENTS.
4. The CONTRACTOR agrees to perform all of the WORK described in the CONTRACT DOCUMENTS and comply with the terms therein for the sum of \$ 450,900.00, or as shown otherwise in the BID schedule.
5. The term "CONTRACT DOCUMENTS" means and includes the following:
 - (A) INVITATION TO BID
 - (B) INSTRUCTION TO BIDDERS
 - (C) BID AND BID SCHEDULE
 - (D) BID BOND
 - (E) AGREEMENT
 - (F) PERFORMANCE BOND
 - (G) PAYMENT BOND
 - (H) SPECIAL PROVISIONS
 No. 02005SP No. 02020SP No. 15230SP
 No. 15234SP No. _____ No. _____
 - (I) DRAWINGS prepared by Sunrise Engineering, Inc., numbered 1 through 10 and dated August 17, 2020.
 - (J) STANDARD SPECIFICATIONS FOR CONSTRUCTION prepared or issued by Sunrise Engineering, Inc.
 - (K) ADDENDA:
 No. 1, dated August 26, 20 20.
 No. 2, dated August 31, 20 20.
 No. _____, dated _____, 20 ____.
6. The OWNER will pay to the CONTRACTOR in the manner and at such times as set forth in the General Conditions such amounts as required by the CONTRACT DOCUMENTS.

7. This Agreement shall be binding upon all parties hereto and their respective heirs, executors, administrators, successors, and assigns.

IN WITNESS WHEREOF, the parties hereto have executed, or caused to be executed by their duly authorized officials, this Agreement in _____ copies, each of which shall be deemed an original on the date first above written.

OWNER: _____

BY: _____

NAME: _____

TITLE: _____

(SEAL)
ATTEST _____

BY _____

TITLE _____

CONTRACTOR: _____

BY: _____

NAME: _____

ADDRESS: _____

(SEAL)
ATTEST _____

BY _____

TITLE _____

NOTICE OF AWARD

TO: R Cherrington Enterprises, LLC
(Insert Bidder's Name and Address)
148 W. Carnesecca St.
Mapelton, UT 84664

CONTRACT FOR: AMERICAN FORK 100 EAST WATER LINE REPLACEMENT

The OWNER has considered the BID dated September 3, 20 20, submitted by you for the above described WORK in response to its Advertisement for Bids and Information for Bidders.

You are hereby notified that your BID has been accepted for items in the amount of: \$ 450,900.00.

You are required by the Instruction to Bidders to execute the Agreement and furnish the required CONTRACTOR'S Performance BOND, Payment BOND, and Certificates of Insurance within ten (10) calendar days from the date of this Notice to you.

If you fail to execute said Agreement and to furnish said BONDS within ten (10) days from the date of this Notice, said OWNER will be entitled to consider all your rights arising out of the OWNER'S acceptance of you BID as abandoned and as a forfeiture of your BID BOND. The OWNER will be entitled to such other rights as may be granted by law.

You are required to return an acknowledged copy of this NOTICE OF AWARD to the OWNER.

Dated this 8th day of September, 20 20.

OWNER: _____
(Name of Owner)

BY: _____
(Signature)

TITLE: _____

ACCEPTANCE OF NOTICE

Receipt of the above NOTICE OF AWARD is hereby acknowledged by _____
(Contractor)
 this day of , 20 .
 By: _____
(Signature)
 Title: _____

NOTICE TO PROCEED

TO: R Cherrington Enterprises, LLC
(Insert Name of CONTRACTOR)
148 W. Carnesecca St.
Mapleton, UT 84664

CONTRACT: AMERICAN FORK 100 EAST WATER LINE REPLACEMENT

Project includes the replacement of approximately 1,700 Lineal Feet of existing pipe with 8" C900 PVC pipe with necessary fittings, valves, hydrants and service connections. The area is encumbered with many other existing utilities. The work will be located within the road right of way with some of that being American Fork right of way and the majority being in SR-74.

In accordance with the AGREEMENT dated _____, 20____, you are hereby notified to commence WORK on or before _____, 20____, and you are to complete the WORK within _____ consecutive calendar days thereafter. The date of completion of all WORK is, therefore October 15, 2020.

OWNER: _____
(Name of Owner)

BY: _____
(Signature)

TITLE: _____

DATE ISSUED _____, 20____

ACCEPTANCE OF NOTICE

Receipt of the above NOTICE TO PROCEED is hereby acknowledged by _____
(Contractor)
 this ____ day of _____, 20____.
 By: _____
(Signature)
 Title: _____



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Recorder **Director Approval** Terilyn Lurker

AGENDA ITEM Review and action on a resolution declaring real property to be surplus and disposed of.

SUMMARY RECOMMENDATION

Staff would recommend approval of the resolution declaring real property to be surplus and disposed of.

BACKGROUND

American Fork City has several small parcels of land that are not being utilized by the city. The proposal before the city council is to declare one such small parcel of land as surplus and to be disposed of. This property is located on the northeast corner of 1120 North and 150 West. The resolution includes a description and an aerial showing the location of the parcels.

BUDGET IMPACT

Any proceeds will be deposited into the general fund.

SUGGESTED MOTION

Move to adopt the resolution declaring the real property to be surplus and to be disposed of.

SUPPORTING DOCUMENTS

09-08-2020 - Surplus Real Property resolution (PDF)

RESOLUTION NO. _____**A RESOLUTION DECLARING PROPERTY TO BE SURPLUS**

WHEREAS, American Fork City provided published notice of a public hearing in the *Deseret News* on the 25 day of August, 2020; and

WHEREAS, a public hearing was held on the 8 day of September, 2020, regarding the proposed surplus of property, where public comment was entertained;

THEREFORE, BE IT RESOLVED by the City Council of American Fork, Utah as follows:

The following is hereby found to be surplus real property and to be disposed of by American Fork City:

| | |
|----------------------|---|
| Approximate Address: | 1120 North 150 West |
| Legal Description: | Beginning at a point that is South 2453.74 feet and West 87.32 feet from the North ¼ corner of Section 11, Township 5 South, Range 1 East, Salt Lake Base & Meridian: Thence N18°28'49"E 27.72 feet; S88°29'02"W 109.59 feet; thence northwesterly along a 17.15 foot curve to the right, said curve being 25.51 feet in length and the chord of which is N48°24'48"W 23.23 feet; thence S00°20'13"E 10.38 feet; thence southeasterly along a 37.10 foot curve to the left, said curve being 34.49 feet in length and the chord of which is S32°15'42"E 33.26 feet; thence S89°49'26"E 100.27 feet to the point of beginning (area = 2,886 sqft) (See Exhibit A) |

This Resolution shall become effective upon its passage.

PASSED by the American Fork City Council this 8th day of September, 2020.

Bradley J. Frost, Mayor

ATTEST:

Terilyn Lurker, Recorder

Attachment: 09-08-2020 - Surplus Real Property resolution (Surplus Real Property - 1120 N 150 W)

N 150 WEST ST

W 1120 NORTH ST



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020**

Department Finance **Director Approval** Anna Montoya

AGENDA ITEM Review and action on a resolution approving amendments to the Fiscal Year 2020-2021 city budget.

SUMMARY RECOMMENDATION

Staff recommends approval of adjustments to the fiscal year ending June 30, 2021 budget.

BACKGROUND

Utah state law allows for periodic amendments to the adopted budget to ensure budgets are not over expended and anticipated revenues cover allowable expenditures. It is in the City's best interest to maintain budgetary compliance.

BUDGET IMPACT

- General Fund -
 - Increase part-time wages for parks, recreation, and library to reflect current service levels (95% of prior year)
 - Include full-time wages, benefits, and vehicle for public works inspector
 - Include vehicle for public safety nuisance officer
- Fitness Center Fund - Increase part-time wages to reflect current service levels (80% of prior year)

SUGGESTED MOTION

I move to approve the resolution adopting budget adjustments for the fiscal year ending June 30, 2021 budget.

SUPPORTING DOCUMENTS

Budget Adjustment resolution (DOCX)
Sept 8 Budget Amendments (PDF)

RESOLUTION NO. _____

A RESOLUTION REVISING THE AMERICAN FORK CITY 2020-2021 BUDGETS.

WHEREAS, American Fork City is required by Utah State Law to maintain a balanced budget for fiscal year ending June 30, 2021; and

WHEREAS, said budget includes the General Fund, Fitness Center Fund, Fleet Capital Fund and,

WHEREAS, American Fork City has complied with all legal requirements,

NOW THEREFORE, be it resolved that the attached budget amendments are adopted for fiscal year 2020-2021.

PASSED AND SIGNED THIS 8 DAY OF SEPTEMBER, 2020.

APPROVED:

Bradley J. Frost, Mayor

ATTEST:

Terilyn Lurker, City Recorder

Attachment: Budget Adjustment resolution (FY 2020-2021 Budget Adjustments)

CITY OF AMERICAN FORK
APPROVED BUDGET AMENDMENTS
SEPTEMBER 2020

| | | | | 2021 | | | | | |
|--|----------------------|-----------------------------|--------------|-------------------------|-----------------|--------------------|----------------------|---|--|
| GL ACCOUNT | DEPARTMENT | GL ACCOUNT DESCRIPTION | 2020 BUDGET | SERVICE LEVEL ESTIMATED | APPROVED BUDGET | PROPOSED AMENDMENT | 2021 ADJUSTED BUDGET | EXPLANATION | |
| GENERAL FUND | | | | | | | | | |
| Revenues | | | | | | | | | |
| 10-3100-300 | Taxes | Sales Tax | \$ 9,000,000 | | \$ 7,700,000 | \$ 190,700 | \$ 7,890,700 | Adjust sales tax revenues upward to fund part-time wages for additional service levels and vehicles for new positions | |
| 10-3400-450 | Charges for Services | Capital Project Inspection | | | \$ 180,000 | \$ 91,800 | \$ 271,800 | Increase due to new public works inspector position | |
| TOTAL APPROVED REVENUE BUDGET ADJUSTMENTS - GENERAL FUND | | | | | | \$ 282,500 | | | |
| Expenditures | | | | | | | | | |
| 10-4520-120 | Parks | Part-time wages | 207,925 | 197,529 | 117,452 | 80,078 | 197,530 | 95% of prior year budget to match current service levels. | |
| 10-4560-120 | Recreation | Part-time wages | 136,800 | 129,960 | 90,258 | 39,702 | 129,960 | 95% of prior year budget to match current service levels. | |
| 10-4155-100 | Public Works | Full-time wages | | | 175,872 | 54,400 | 230,272 | New public works inspector for development and capital projects | |
| 10-4155-130 | Public Works | Benefits | | | 91,329 | 37,400 | 128,729 | New public works inspector for development and capital projects | |
| 10-4210-901 | Police | Internal Charges-Fleet Fund | | | 386,978 | 30,000 | 416,978 | Vehicle for Nuisance Officer | |
| 10-4430-901 | Building Inspection | Internal Charges-Fleet Fund | | | 6,700 | 35,000 | 41,700 | Vehicle for Building Inspector | |
| 10-4580-120 | Library | Part-time wages | 167,631 | 159,249 | 153,330 | 5,920 | 159,250 | 95% of prior year budget to match current service levels. | |
| | | | | | | | | | |
| TOTAL APPROVED EXPENDITURE BUDGET ADJUSTMENTS - GENERAL FUND | | | | | | \$ 282,500 | | | |
| FITNESS CENTER FUND | | | | | | | | | |
| Revenues | | | | | | | | | |
| 24-3700-100 | Fitness Center | General Admissions | 185,000 | 148,000 | 138,750 | 9,250 | 148,000 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-200 | Fitness Center | Passes | 615,000 | 489,357 | 461,250 | 30,979 | 492,229 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-250 | Fitness Center | Business Passes | 61,000 | 48,800 | 45,750 | 3,050 | 48,800 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-300 | Fitness Center | Lessons | 192,000 | 153,600 | 144,000 | 9,600 | 153,600 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-320 | Fitness Center | Swim Team Revenue | 339,000 | 271,200 | 265,000 | 6,200 | 271,200 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-340 | Fitness Center | Specialty Classes | 319,000 | 255,200 | 239,250 | 15,950 | 255,200 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-345 | Fitness Center | Gymnastics Revenue | 25,000 | 20,000 | 18,750 | 1,250 | 20,000 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-350 | Fitness Center | Personal Training | 12,500 | 10,000 | 9,375 | 625 | 10,000 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-400 | Fitness Center | Equipment Rental | 1,400 | 1,120 | 1,050 | 70 | 1,120 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-500 | Fitness Center | Jogging Track | 3,500 | 2,800 | 2,625 | 175 | 2,800 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-560 | Fitness Center | Child Care | 31,000 | 24,800 | 23,250 | 1,550 | 24,800 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-570 | Fitness Center | Resale Merchandise | 25,000 | 20,000 | 18,750 | 1,250 | 20,000 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-580 | Fitness Center | Pool Room Rental | 28,000 | 22,400 | 21,000 | 1,400 | 22,400 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| 24-3700-590 | Fitness Center | Concessions | 34,000 | 27,200 | 25,500 | 1,700 | 27,200 | Adjust Fitness Center Revenues upward to adjust for current service levels | |
| TOTAL APPROVED REVENUE BUDGET ADJUSTMENTS-FITNESS CENTER | | | | | | \$ 83,049 | | | |
| Expenditures | | | | | | | | | |
| 24-5510-120 | Fitness Center | Part-time wages | 904,044 | 723,235 | 640,186 | 83,049 | 723,235 | 80% of prior year budget to match current service levels. | |
| TOTAL APPROVED EXPENDITURE BUDGET ADJUSTMENTS - FITNESS CENTER | | | | | | \$ 83,049 | | | |
| FLEET CAPITAL EQUIPMENT FUND | | | | | | | | | |
| Revenues | | | | | | | | | |
| 76-3400-310 | Fleet Capital | Charges from General Fund | | | 750,863 | 65,000 | 815,863 | | |
| TOTAL APPROVED REVENUE BUDGET ADJUSTMENTS-FLEET CAPITAL | | | | | | \$ 65,000 | | | |
| Expenses | | | | | | | | | |
| 76-4210-200 | Fleet Capital | Police Vehicle | | | 226,690 | 30,000 | 256,690 | Vehicle for Nuisance Officer (subsidized by Alcohol Tax) | |
| 76-4430-200 | Fleet Capital | Building Inspection Vehicle | | | - | 35,000 | 35,000 | Vehicle for Building Inspector | |
| TOTAL APPROVED EXPENSE BUDGET ADJUSTMENTS-FLEET CAPITAL | | | | | | \$ 65,000 | | | |

Attachment: Sept 8 Budget Amendments (FY 2020-2021 Budget Adjustments)



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
SEPTEMBER 8, 2020

Department Public Works

Director Approval Scott Sensenbaugh

AGENDA ITEM Review and action on an ordinance repealing a temporary land use regulation prohibiting the filing of new development applications and regulating the construction of building or structures for land south of State Road 145 (Pioneer Crossing) and southwest of Interstate 15.

SUMMARY RECOMMENDATION

Staff recommends adoption of this ordinance that would repeal Ordinance No. 2020-05-20 thereby removing the land use restriction.

BACKGROUND

On May 5, 2020, the City Council enacted a land use restriction in the area of the City generally described as southwest of I-15 and south of Pioneer Crossing. This action was due to concerns with the City's ability to provide adequate water service to the area. Since this action, the City has received funding for significant water infrastructure to serve this area. When this infrastructure is completed and is operational, the water needs of growth in this area will be accommodated.

As with all development, there is a significant time differential from the moment when the City gives approval to a development, and the time when the development is fully occupied (the time where the water use projections are fully realized). The City Engineer is of the opinion that, for the area in question, this time differential for those developments currently approved and those proposed for the future will give the City adequate time to complete the projects and have the infrastructure operational. Thus, City staff recommend removing the land use restrictions currently in place.

BUDGET IMPACT

If this ordinance is enacted and the land use restrictions are removed, development will resume. This development will result in significant impact fees being paid to the city enabling repayment of the debt for the infrastructure.

SUGGESTED MOTION

I move to adopt an ordinance repealing ordinance 2020-05-20 thereby removing the temporary land use regulation for the area south of State Road 145 (Pioneer Crossing) and southwest of Interstate 15 for a period not to exceed six months.

SUPPORTING DOCUMENTS

Repeal of Temporary Land Use Regulation (PDF)

ORDINANCE NO. _____

AN ORDINANCE LIFTING THE TEMPORARY LAND USE REGULATION ENACTED BY ORDINANCE NO. 2020-04-17 PROHIBITING THE FILING OF NEW LAND USE AND DEVELOPMENT APPLICATIONS AND THE ERECTION OR CONSTRUCTION OF BUILDINGS OR STRUCTURES FOR LAND SOUTH OF STATE ROAD 145 (PIONEER CROSSING) AND SOUTHWEST OF INTERSTATE 15.

WHEREAS, on May 5, 2020, the City Council adopted Ordinance No. 2020-04-17, which, in Section 2, prohibited the acceptance of new land use or development applications, the erection or construction of any building or structure that is not a part of a previously approved subdivision plat (non-TOD Zone) or site plan (TOD Zone) for land South of State Road 145 (Pioneer Crossing) and Southwest of Interstate 15 until such time as the City is able to determine and/or secure funding sources for the necessary water infrastructure (hereinafter Temporary Land Use Regulation);

WHEREAS, the purpose of enacting the Temporary Land Use Regulation was the concern with the City's ability to provide adequate water service to the area;

WHEREAS, since the adoption of the Temporary Land Use Regulation, the City has been awarded significant funding toward the construction of the necessary water infrastructure to service the area contemplated by Ordinance No. 2020-04-17;

WHEREAS, the City Council believes the awarded funding will allow for construction of the necessary infrastructure to service the needs of current and future residents of the City;

WHEREAS, the City Council finds a compelling public interest in lifting the Temporary Land Use Regulation;

NOW, THEREFORE, be it ordained by the City Council of American Fork City, State of Utah, as follows:

Section 1. Section 2 of Ordinance No. 2020-04-17 adopted May 5, 2020 is hereby repealed, and the Temporary Land Use Regulation is lifted.

Section 2. Severability Clause. If any part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance and all provisions, clauses and words of this Ordinance shall be severable.

Section 3. Effective Date. This Ordinance shall become effective immediately upon passage.

PASSED AND ADOPTED BY THE CITY COUNCIL OF AMERICAN FORK CITY, STATE OF UTAH, ON THIS 8TH DAY OF SEPTEMBER, 2020.

Attachment: Repeal of Temporary Land Use Regulation (Repeal Ordinance 2020-05-20)

Bradley J. Frost, Mayor

ATTEST:

Terilyn Lurker, City Recorder

Attachment: Repeal of Temporary Land Use Regulation (Repeal Ordinance 2020-05-20)