



City of Hurricane

Mayor
John W. Bramall

City Manager
Clark R. Fawcett

Planning Commission
Mark Borowiak, on leave
Michelle Cloud
Paul Farthing, Chairman
Rebecca Bronemann
Chris Christensen
Ralph Ballard
Shelley Goodfellow
Mark Sampson
Dayton Hall, Vice Chairman

AGENDA OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION 6:00 p.m. Wednesday, August 26, 2020

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting commencing at 6:00 p.m. in the **147 N 870 W, Hurricane, UT**. A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

6 p.m. Public Hearing to take comments on the following:

1. A Zoning Map amendment request on 5200 W Turf Sod Road from RA-1, residential agriculture 1 unit per acre, to R1-10, residential 1 unit per 10,000 square feet, to build houses on 10,000 to 12,000 square foot lots.
2. A proposed Land Use Code amendment to Title 10 Chapter 13 and Chapter 14 regarding side yard street setbacks for accessory buildings within Residential Agriculture and Residential zones.

Details on these applications are available in the Planning Department at the City Office, 147 N. 870 West

Old Business:

2020-ZC-27	Consideration and possible recommendation to the City Council on A Zoning Map amendment request located on the southeast corner of 600 N & 2260 W from M-1, light industrial, to RM-3, multifamily 15 units per acre, for affordable housing. GVS Holdings, LLC Applicant. Dave Nasal Agent
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New Business:

2020-ZC-28	Consideration and possible recommendation to the City Council A Zoning Map amendment request on 5200 W Turf Sod Road from RA-1, residential agriculture 1 unit per acre, to R1-10, residential 1 unit per 10,000 square feet. James, Gregory C Trust Applicant, Oren Bless Agent.
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2020-CUP-06	Consideration and possible approval of a conditional use permit for an accessory building 21' 6" tall located in a R1-10 Zone, at 2734 S 3970 W. Mark Stephenson Applicant.
2020-PP-15 2020-PSP-07	Consideration and possible recommendation to the City Council on a Preliminary Plat and Preliminary Site Plan for Zion Vista Phase 2, a PDO Development located at Arlington Parkway and 650 S. RR Penga Applicant. Psomas Agent
2020-FSP-12	Consideration and possible approval of a final site plan for Lone Rock Condo's, located at Old Hwy 91 and Foothills Canyon Drive. Lone Rock Condominiums LLC Applicant.
2020-FSP-13	Consideration and possible approval of a final site plan for Hurricane Views and Village Plat A, located at 2180 W and around 300 S. Hurricane Views, LLC Applicant, Clark Colledge Agent.
2020-LUCA-04	Consideration and possible recommendation to the City Council on a proposed Land Use Code amendment to Title 10 Chapter 13 and Chapter 14 regarding side yard street setbacks for accessory buildings within Residential Agriculture and Residential zones.

Planning Commission Business:

Approval of Minutes: July 22, 2020

Adjournment

HURRICANE CITY PLANNING COMMISSION

SIGN IN SHEET

DATE: 8/26/2020

Name (please print)

Name (please print)

KARL RASMUSSEN

RICK HANSEN

Mark Stephenson

Lesly Stephenson

DAVID NASTA

Dunnie Green

BJ

KARISA VAUGHN

ZONE CHANGE APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:
File No. 2020-ZC-27
Receipt No. 6-141374

Name: GVS HOLDINGS, LLC Telephone: 435-705-4474

Address: 1999 W. CANYON VIEW DR Fax No. _____

Agent (If Applicable): DAVE NASAL Telephone: _____

Email: DAVENASAL@GMAIL.COM Agent Email: _____

Address/Location of Subject Property: SEWTHEAST CORNER OF 600 N & 2260 W

Tax ID of Subject Property: H-3-1-32-1105-RD Existing Zone District: M-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)
RM-3 PROPERTY IS BORDERED BY TWO MAIN ROADS, STORAGE
UNITS AND RM-3. NEED MORE AFFORDABLE HOUSING

Submittal Requirements: The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: _____ Application Complete: YES NO

Date application deemed to be complete: _____ Completion determination made by: _____

STAFF COMMENTS

Agenda: August 26, 2020 **File Number:** 2020-ZC-27

Type of Application: Zone Change, Legislative

Applicant: GVS Holdings

Agent: Dave Nasal

Request: Zone Change from Light Industrial (M-1) to Multi-Family 15 Units an Acre (RM-3)

Location: 600 N and 2260 W

General Plan: Commercial

Existing Zoning: M-1

Discussion: The applicant is seeking to change the zoning on the property from M-1 to RM-3, which would change the zoning from light industrial uses to residential and allow up to 15 units of multi-family an acre. The application has stated that “Property is bordered by two main roads, storage units, and RM-3. Need more affordable housing”.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	R1-8 PDO	Sky Mountain Golf Course and Development
East	RM-3	Apartment Buildings
South	M-1	Storage Units and Industrial Uses
West	M-1	Industrial Uses

Zoning

To change the zoning on any parcel of land within the City of Hurricane, the following questions need to be addressed:

1. *Is the proposed amendment consistent with the goals, objectives, and policies of the City's General Plan?*

Response: The General Plan Map shows the area as future commercial uses. The area adjacent to the property to the north and east is shown as multi-family development. However, there has been a concern from some on the City Council and staff that there is too high concentration of multi-family in the area.

The zoning is located in an area the meets the general guidelines set out by the General Plan and Moderate Income Housing Plan.

While the City cannot control the housing market, it can take steps to ensure housing options continue to be available for all residents of all income ranges and ages. These include locating appropriate land use designations for multi-family housing, manufactured home communities, and townhome development. Ensuring these land use designations are located in areas convenient to shopping, transportation, and jobs will help families keep transportation costs lower. (Hurricane, Moderate-Income Housing Plan, 2019, p. 6)

It may be appropriate to review if this parcel should be considered to be made multi-family on the general plan map before approving a zone change. With the City currently working on the General Plan Map, staff would recommend that it be considered during this process, and the rezone wait until the City approves the new map.

2. Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?

Response: The proposed zoning will match the development to the east and is surrounded by industrial uses. Development to the north has been approved as a multi-family development as part of the Front Nine and Back Nine Developments.

3. Will the proposed amendment affect the adjacent property?

Response: The change may or may not have an increased impact on the area as opposed to industrial uses. Some light industrial uses may have a more significant impact, or less depending on what is developed on the property.

Are public facilities and services adequate to serve the subject property?

Response: There are adequate facilities in the area to support the rezone. There will need to be sewer piped under 600 N. There are a couple of water pressure zones in the area, and the applicant will need to design accordingly. There is power at 500 N and 2260 W, and the developer would need to bring power across the street to the development.

There is a concern from staff about the impact on 2260 W and other roads in the area with the increased traffic load and believes it needs further consideration.

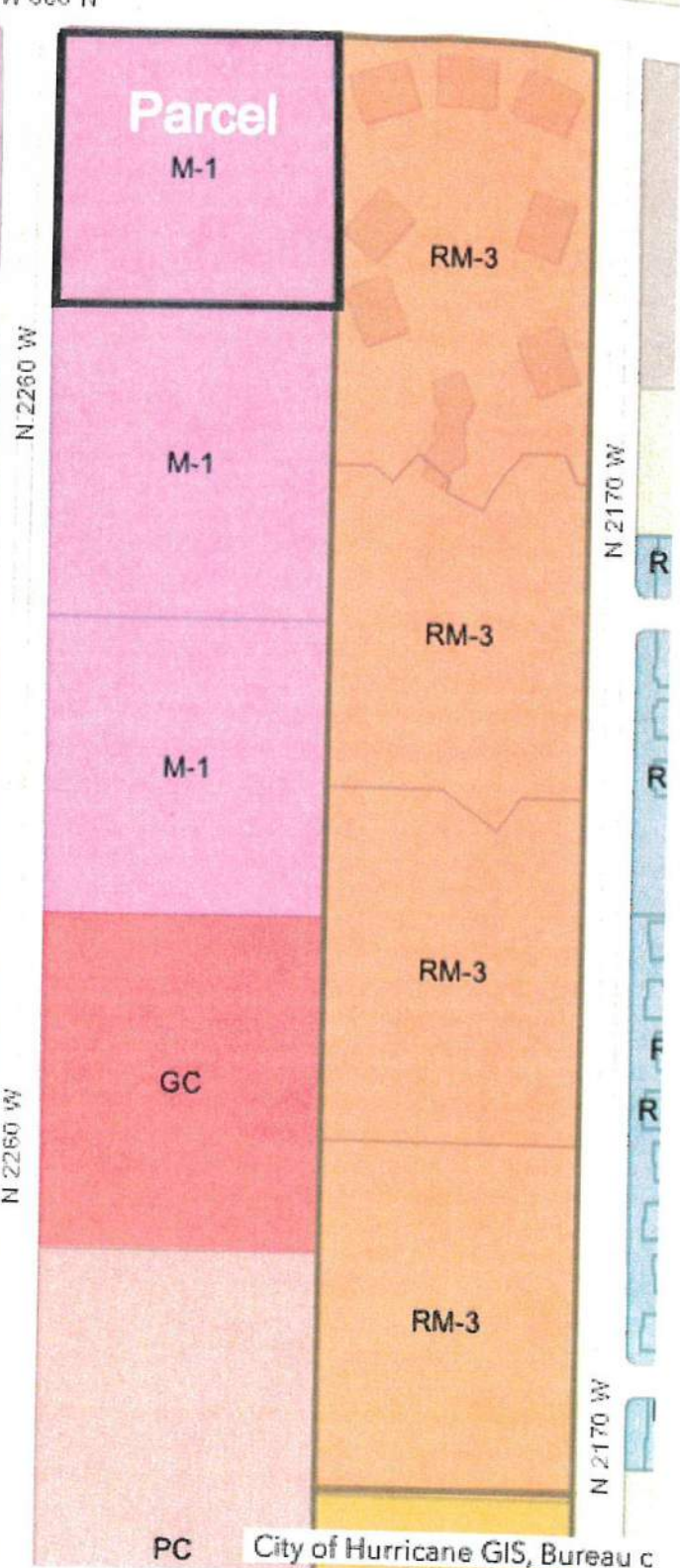
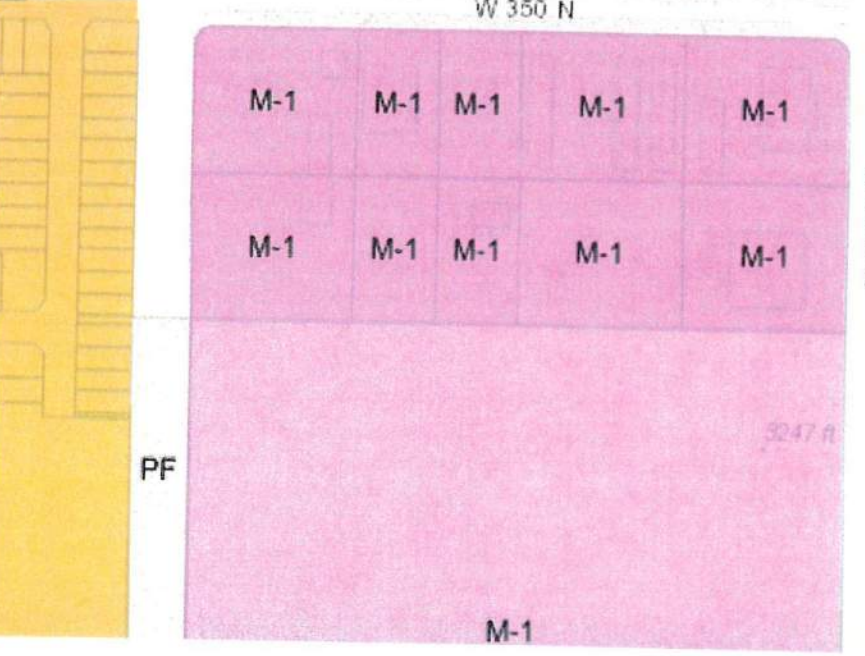
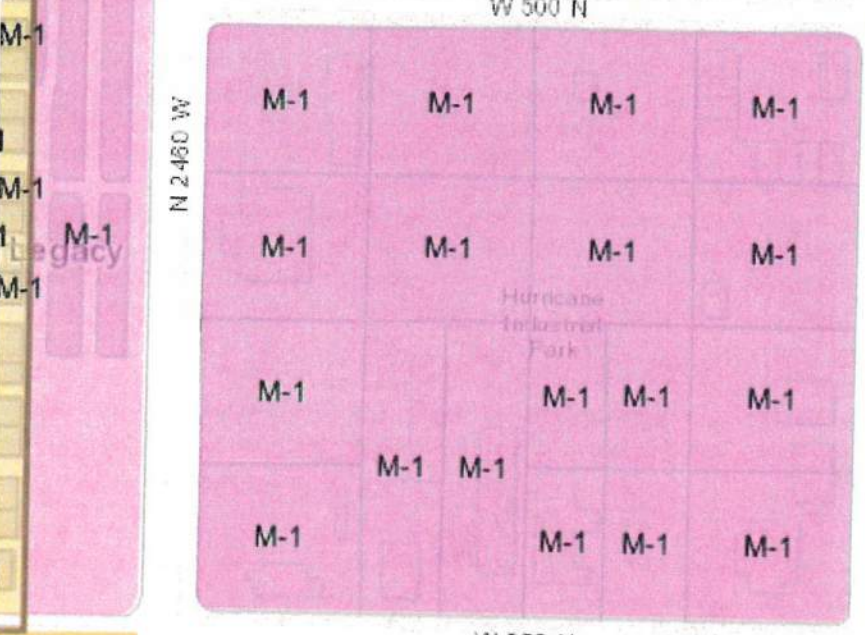
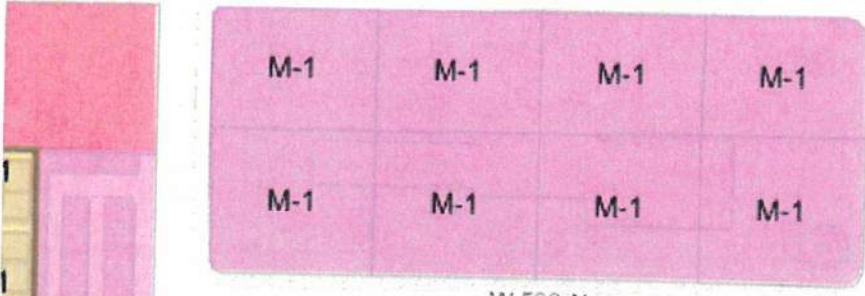
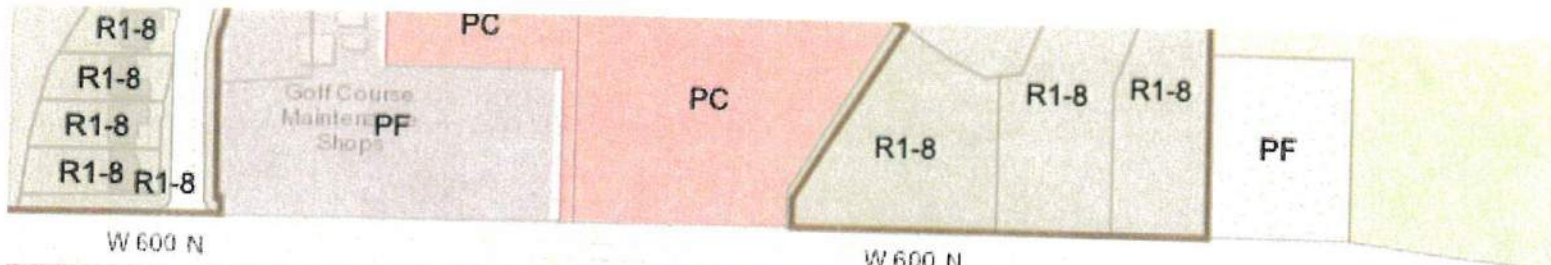
Findings:

Staff makes the following findings:

1. The proposed amendment is not generally compatible with the goals and policies of the current General Plan.
2. The proposed amendment is generally in harmony with the overall character of existing development in the area.

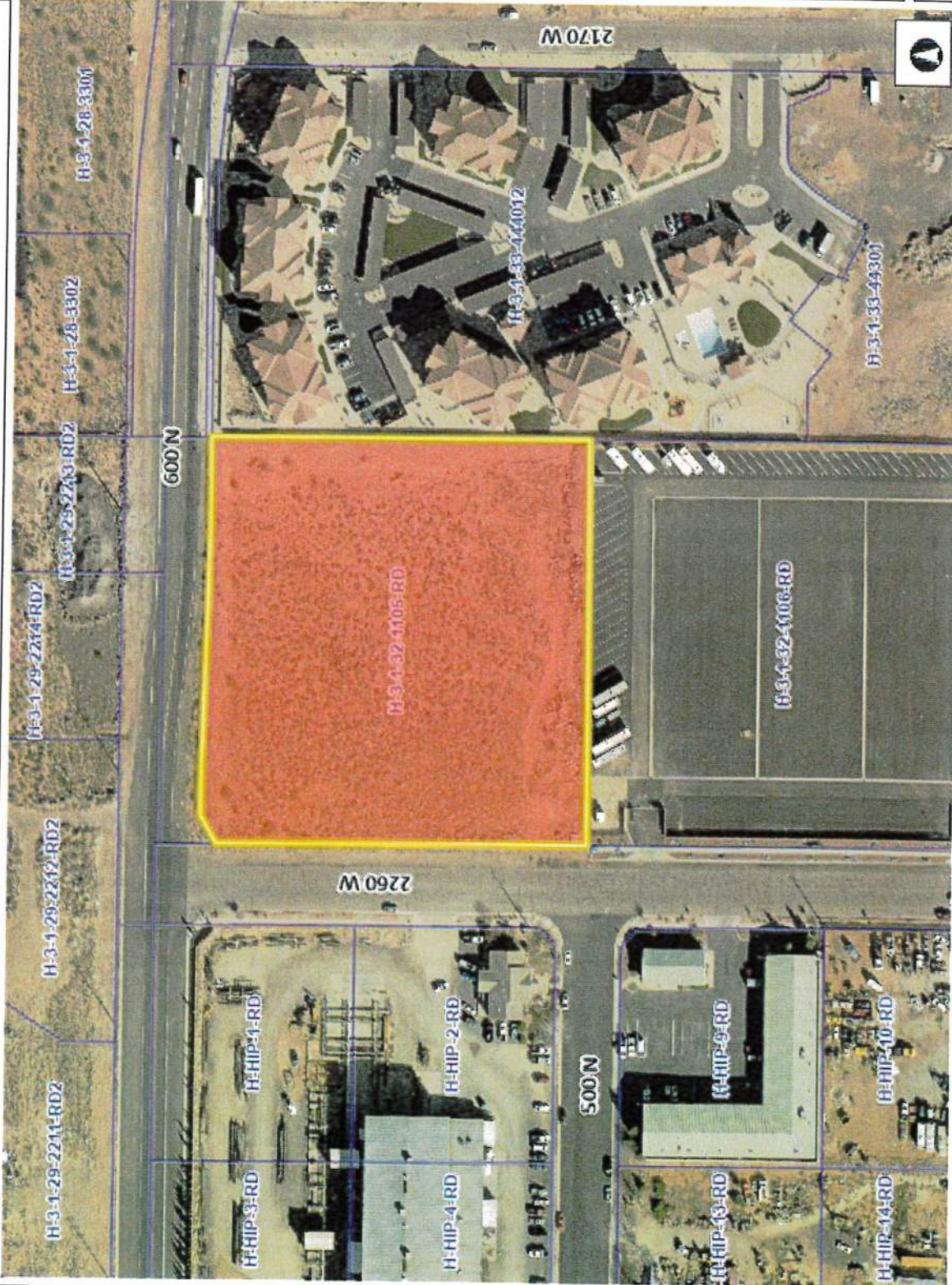
3. Public facilities are adequate to provide service to the development, but roadway may need a traffic impact study.
4. The proposed amendment will have a noticeable increased impact on the area, but is comparable to the development around the parcels.

Recommendation: Staff recommends the Planning Commission review this application and the zone change based on standards as well as take into consideration the comments from residents. Staff does not recommend approval of the proposed zone change without a change of the General Plan Map to take place first.





GVS Holdings Zone Change



- ### Legend
- Parcels
 - County Boundary Outline
 - CountyMask
 - Building Outlines
 - Roads
 - Interstate
 - Slate Route
 - Major
 - Minor
 - Dirt
 - Waterbodies
 - Watercourses
 - <all other values>
 - Santa Clara River
 - Virgin River
 - Hillshade
 - High : 238
 - Low : 4
 - Ownership
 - U.S. Forest Service
 - U.S. Forest Service Wilderness
 - Bureau of Land Management
 - Bureau of Land Management Wildlife
 - National Park Service
 - Shiwiits Reservation

Notes

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.



WGS_1984_Web_Mercator_Auxiliary_Sphere

Brienna Spencer

From: Bill Zitting <bill@zittingconstruction.com>
Sent: Wednesday, August 26, 2020 4:11 PM
To: Brienna@cityofhurricane.com
Subject: 8-26-20 planning commission meeting

I'm writing to oppose idem 2020-ZC-27

1- we are property owner's to the east of the subject land and there is plenty of multifamily in this area

2- I tried to get more multifamily east one block of the applicant's land and the city staff told me there is to much multifamily in this area.

3- the plan for years has been to have a light industrial (storage units and RV parking) buffer between heavy industrial and multifamily . I think there will be big problems if you have heavy industrial and multifamily on the same street

Best Regards,

Bill Zitting

Zitting Construction Companies
256 W 100 S, Hurricane UT 84737
Office: (435) 635-4068
Cell: (435) 691-4060
bill@zittingconstruction.com



Teach InfoWest Spam Trap if this mail is spam:

[Spam](#)

[Not spam](#)

[Forget previous vote](#)

REMEMBER: Never give out your account information, password, or other personal information over e-mail.

ZONE CHANGE APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:
File No. 2020-2C-28
Receipt No. 7-659248

Name: JAMES, GREGORY C TRUST Telephone: 435-703-3092
Address: 3799 W 240 N, Hurricane Fax No. _____
Agent (If Applicable): ORON BLISS Telephone: 435-201-2018
Email: o.bliss45@gmail.com Agent Email: o.bliss45@gmail.com
Address/Location of Subject Property: 5200 W TURF SOD ROAD
Tax ID of Subject Property: H-4127-B Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)
R1-10 => TO BUILD HOUSES ON 10K TO 12,000 SQUARE FOOT LOTS

Submittal Requirements: The zone change application shall provide the following:

- a. The name and address of every person or company the applicant represents;
- b. An accurate property map showing the existing and proposed zoning classifications;
- c. All abutting properties showing present zoning classifications;
- d. An accurate legal description of the property to be rezoned;
- e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
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(Office Use Only)

Date Received: _____ Application Complete: YES NO

Date application deemed to be complete: _____ Completion determination made by: _____

STAFF COMMENTS

Agenda: August 26, 2020 **File Number:** 2020-ZC-28

Type of Application: Zone Change, Legislative

Applicant: James Gregory C Trust

Agent: Oren Bliss

Request: A zone change from Residential Agriculture-1 (RA-1) to Residential Agriculture -0.5 (RA-0.5)

Location: 5200 W and Turf Sod Road

General Plan: Low-Density Single Family 1-4 Units an acre

Existing Zoning: RA-1

Discussion: The applicant is seeking to rezone their 10-acre parcel from RA-1, single acre lots, to R1-10, which would allow 10,000 sq. ft. lots. The standards for R1-10 can be found in [Hurricane City Code 10-13](#).

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1	Farm Fields and Open Space
East	RA-1 Ag. Protection	Ash Creek Ag. Projection Area
South	R1-10	Single Family Development
West	RA-1	Farm Land and Open Space

To change the zoning on any parcel of land within the City of Hurricane, the following questions need to be addressed:

1. *Is the proposed amendment consistent with the City's General Plan's goals, objectives, and policies?*

Response: The General Plan Map shows the area as a future low-density single-family 1-4 units an acre. An R1-10 would allow around 3.5 – 4 units an acre depending on right-of-way dedication. The R1-10 Zoning would comply with the General Plan.

The City is currently evaluating the General Plan and General Plan Map. Though the property aligns presently with the General Plan, that may change when the Plan is updated.

2. Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?

Response: The properties directly south of the proposal, Pecan Valley, is a combination of R1-10 Development and Recreation Resort Zoning. However, most of the surrounding area is farmland, and directly to the east of the property is active farmland within an ag. protection overlay. Ash Creek has mentioned they would like lighter density adjacent to their property.

3. Will the proposed amendment affect the adjacent property?

Response: If the zoning request is granted, the applicant would have some impact on the area. Most of Turf Sod Road is not fully developed but has adequate capacity to handle the likely impact of rezone. The applicant would also be required to fence the property line adjacent to the agriculture protection zone and uses as required in [Hurricane City Code 10-39-11 Subdivision Streets and Fencing](#).

4. Are public facilities and services adequate to serve the subject property?

Response: Access and shape of the parcel would limit some of the parcel's developability without the partnership of neighboring land. Roadways and any subdivision would need to take into account the overall width of the property. The applicant would not be able to put in a long cul-de-sac down the center but would have to ensure the roadway ties into the surrounding properties. There is limited Power in the area, and the applicant would likely need to upgrade the power system to the property. Sewer will not gravity feed into the surrounding system, and the applicant would probably need to install a pump station. There is water in the area, but the applicant would need to perform a water model to ensure there is enough capacity.

Findings:

Staff makes the following findings:

1. The proposed amendment is compatible with the goals and policies of the General Plan. However, the City is currently updating the General Plan and Mapping.
2. The proposed amendment is generally in harmony with the residential subdivision to the south but may conflict with other uses in the area.
3. Public facilities will need to be upgraded to serve any subdivision of the property.
4. The proposed amendment will have a slight increase impact on the area, but that impact is anticipated within the General Plan.

Recommendation: Staff recommends that the Planning Commission review this application and the zone change based on standards and consider the comments from residents. Staff recommends approval based on the findings above.



James Gregory C Trust Zone Change



- Legend**
- Parcels
 - County Boundary Outline
 - CountyMask
 - Building Outlines
 - Roads**
 - Interstate
 - State Route
 - Major
 - Minor
 - Dirt
 - Waterbodies**
 - Watercourses
 - Hillshade**
 - <all other values>
 - Santa Clara River
 - Virgin River
 - High : 238
 - Ownership**
 - Low : 4
 - U.S. Forest Service
 - U.S. Forest Service Wilderness
 - Bureau of Land Management
 - Bureau of Land Management Wilde
 - National Park Service
 - Shiwits Reservation

Notes

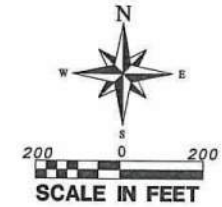
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WGS_1984_Web_Mercator_Auxiliary_Sphere

EXISTING ZONE EXHIBIT FOR: JAMES GREGORY C TR

LOCATED IN SECTION 10, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH



OWNER LEGEND:

A1	ASH CREEK SPECIAL SERVICE DISTRICT- PARCEL: H-4128
A2	ASH CREEK SPECIAL SPECIAL DISTRICT- PARCEL: H-4120-A-1
B	BLAKE JEFFREY R- PARCEL: H-4127-V
C1	JAMES GREGORY C TR- PARCEL: H-4127-C
C2	JAMES GREGORY C TR- PARCEL: H-4127-B
D1	BLAKE BEN R- PARCEL: H-4127-U
D2	BLAKE BEN R- PARCEL: H-4127-T
E	BLAKE ROYAL W- PARCEL: H-4127-S
F	LARSEN LAYNA B- PARCEL: H-4127-R
G	BETTRIDGE DANI J- PARCEL: H-4127-O
H	BLAKE JEFFREY R- PARCEL: H-4127-P
I1	JORGENSEN KEENAA- PARCEL: H-4127-N
I2	JORGENSEN KEENAA- PARCEL: H-4127-M
J	THOMAS STUART & MARCI- PARCEL: H-PEV-1-7
K	PETERSEN DANEN & LUCILLE- PARCEL: H-PEV-1-6
L	JENSEN DOUGLAS M & SONYA- PARCEL: H-PEV-1-5
M1	PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-4
M2	PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-10
M3	PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-11
M4	PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-12
M5	PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-13
N	HALTERMAN WAYNE O & TIMA J- PARCEL: H-PEV-1-3
O	STEINECKERT BRANDEN L- PARCEL: H-PEV-1-2
P	WYLER CHRISTOPHER W- PARCEL: H-PEV-1-1
Q	CHENEY FINANCIAL SERVICES INC- PARCEL: H-PEV-1-9
R	PROWS REED M & STEPHANIE- PARCEL: H-PEV-1-14

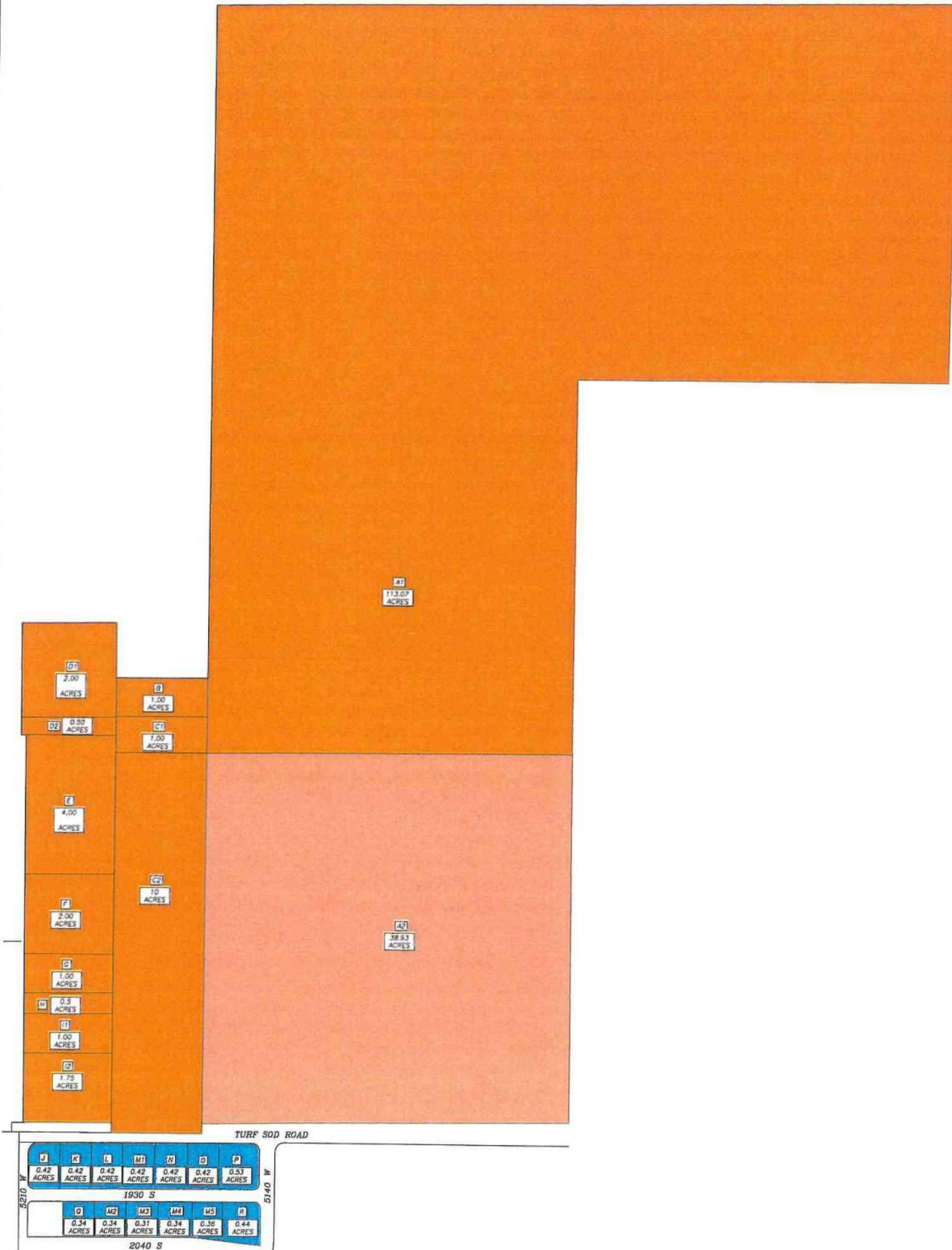
LEGAL DESCRIPTION

SECTION 10, TOWNSHIP 42 SOUTH, RANGE 14 WEST AS A PUBLIC ROADWAY BEGINNING AT A POINT BEING NORTH 01°11'02" EAST, 1330.36 FEET ALONG THE EAST SECTION LINE OF SAID SECTION 10, FROM THE SOUTHEAST CORNER OF SAID SECTION 10, AND RUNNING THENCE NORTH 88°33'11" WEST, 342.46 FEET; THENCE NORTH 01°11'00" EAST, 35.00 FEET; THENCE SOUTH 88°33'11" EAST, 342.46 FEET TO A POINT ON THE SAID EAST LINE OF SECTION 10; THENCE SOUTH 01°11'02" WEST, 35.00 FEET ALONG SAID LINE TO THE POINT OF BEGINNING

TOTAL ACREAGE: 10 ACRES

EXISTING ZONE LEGEND:

	RA-1: RESIDENTIAL AGRICULTURAL - 1 UNIT PER ACRE
	R1-10: RESIDENTIAL - 1 UNIT PER 10,00 Sq.Ft.
	A-5: AGRICULTURAL - 1 UNIT PER 5 ACRE



NO	REVISIONS	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
100 South Main Street, Suite 100
Hurricane, Utah 84757
Phone: (435) 668-8387



EXISTING ZONE EXHIBIT FOR:
JAMES GREGORY C TR
LOCATED IN SECTION 10, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 8-6-2010
SCALE: 1"=200'
JOB NO:
999-001
SHEET NO:
2 OF 2

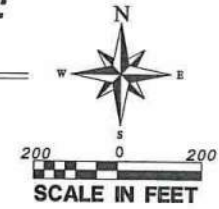
Know what's below.
Call 811 before you dig.

NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

EXISTING ZONE EXHIBIT

PROPOSED ZONE CHANGE EXHIBIT FOR: JAMES GREGORY C TR

LOCATED IN SECTION 10, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH



OWNER LEGEND:

- A1. ASH CREEK SPECIAL SERVICE DISTRICT- PARCEL: H-412B
- A2. ASH CREEK SPECIAL SPECIAL DISTRICT- PARCEL: H-4120-A-1
- B. BLAKE JEFFREY R- PARCEL: H-4127-V
- C1. JAMES GREGORY C TR- PARCEL: H-4127-C
- C2. JAMES GREGORY C TR- PARCEL: H-4127-B
- D1. BLAKE BEN R- PARCEL: H-4127-U
- D2. BLAKE BEN R- PARCEL: H-4127-T
- E. BLAKE ROYAL W- PARCEL: H-4127-S
- F. LARSEN LAYNA B- PARCEL: H-4127-R
- G. BETTRIDGE DANI J- PARCEL: H-4127-Q
- H. BLAKE JEFFREY R- PARCEL: H-4127-P
- I1. JORGENSON KEENAA- PARCEL: H-4127-N
- I2. JORGENSON KEENAA- PARCEL: H-4127-M
- J. THOMAS STUART & MARCI- PARCEL: H-PEV-1-7
- K. PETERSEN DANEN & LUCILLE- PARCEL: H-PEV-1-6
- L. JENSEN DOUGLAS M & SONYA- PARCEL: H-PEV-1-5
- M1. PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-4
- M2. PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-10
- M3. PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-11
- M4. PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-12
- M5. PECAN VALLEY DEV LLC- PARCEL: H-PEV-1-13
- N. HALTERMAN WAYNE O & TIMA J- PARCEL: H-PEV-1-3
- O. STEINECKERT BRANDEN L- PARCEL: H-PEV-1-2
- P. WYLER CHRISTOPHER W- PARCEL: H-PEV-1-1
- Q. CHENEY FINANCIAL SERVICES INC- PARCEL: H-PEV-1-9
- R. PROWS REED M & STEPHANIE- PARCEL: H-PEV-1-14

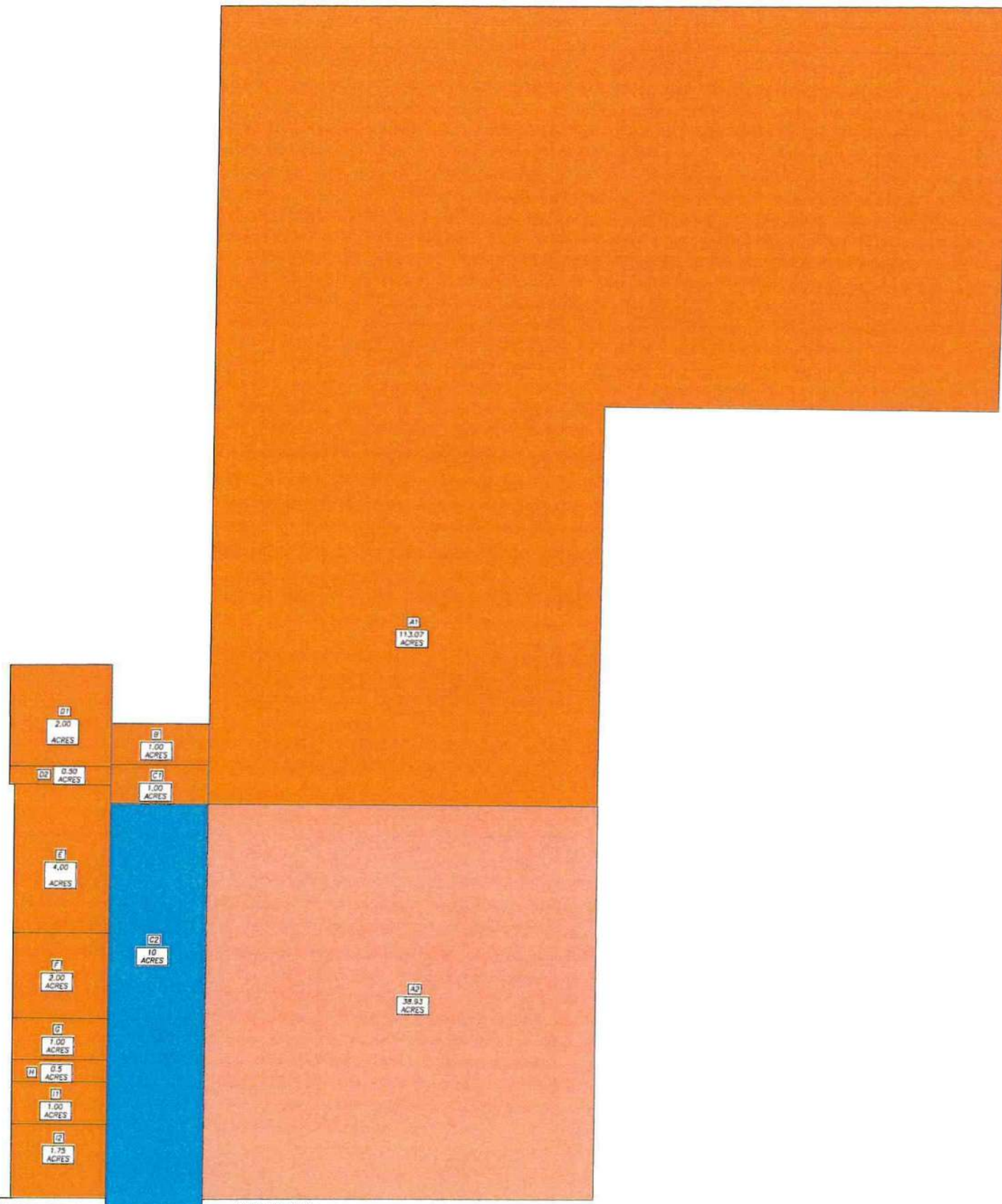
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TOTAL ACREAGE: 10 ACRES

PROPOSED ZONE LEGEND:

- RA-1: RESIDENTIAL AGRICULTURAL - 1 UNIT PER ACRE
- R1-10: RESIDENTIAL - 1 UNIT PER 10.00 SQ.FT.
- A-5: AGRICULTURAL - 1 UNIT PER 5 ACRE



J	K	L	M1	N	O	P
0.42 ACRES	0.42 ACRES	0.42 ACRES	0.42 ACRES	0.42 ACRES	0.42 ACRES	0.51 ACRES
1930 S						
Q	M2	M3	M4	M5	R	
0.34 ACRES	0.34 ACRES	0.31 ACRES	0.34 ACRES	0.36 ACRES	0.44 ACRES	
2040 S						

NO	REVISIONS DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.
Engineers - Land Surveyors - Land Planners
50 South Main Street
Hurricane, UT 84757
Phone: (435) 468-8307



PROPOSED ZONE CHANGE MAP FOR:
JAMES GREGORY C TR
LOCATED IN SECTION 10, T42S, R14W, S.L.B.&M.
HURRICANE, WASHINGTON COUNTY, UTAH

DATE: 8-6-2010
SCALE: 1"=200'
JOB NO: 559-001
SHEET NO:
1 OF 2

Make sure below. Call 811 before you dig.

NOTICE!
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BUREL OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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August 25, 2020

Planning Commission
147 North 870 West
Hurricane, Ut 84737

Subject: Zoning Map request at 5200 W Turf Sod road

Dear Commissioners,

Recently Ash Creek Special Service District requested a change in zoning for an Agricultural Protection Overlay (APO) Zone associated with our property surrounding our wastewater treatment facility and our agricultural operation. This Overlay was requested specifically with the intent to protect the best interest of the public by continuing to keep our agricultural operation as a physical, vegetative buffer between our wastewater operations and adjacent homes and businesses. We recognize the inevitability of development in near proximity to our operations. We also recognize that continued re-zoning requests are introducing significantly higher densities in our immediate vicinity. We feel that the existing zoning of the parcel located at 5200 W Turf Sod Road (RA-1) or an increase in density to RA-0.5 (maintaining the residential agricultural zone) is appropriate given the proximity to our operations. While we can appreciate a landowner's desire to maximize their profit on converting rural parcels for residential use, we feel that re-zoning without consideration for surrounding property owner's interests can be detrimental.

When considering a zone change request for a property adjacent to an APO we would encourage the commission to allow the highest density allowed by the code under the Residential Agricultural Zone (RA-0.5). This accommodates the desire for added density without putting the owner of the APO in a position of conflict with neighbors. As Ash Creek Special Service District can attest, regardless of zoning measures designed to protect agricultural interests, high density housing increases the likelihood of complaints about farming, livestock, wastewater odors, etc.

Permitted and Conditional Uses allowed within Residential Zones, per Hurricane City code (10-13-3), prevent any sort of Agriculture, Agricultural Business, or Industry. Although the code does not enumerate the reasons for the exclusion of these uses from residential zones it can easily be surmised that they are not compatible with higher density residential uses, create conflict between neighbors, and can be a source of complaint and harassment. We appreciate your consideration in this matter.

Sincerely,

A handwritten signature in black ink that reads "Mike Chandler, P.E.".

Mike Chandler, P.E.
Superintendent
Ash Creek Special Service District

1350 South Sandhollow Road, Hurricane, UT 84737
phone: 435.635.2348
email: ashcreek@infowest.com

CONDITIONAL USE PERMIT

City of Hurricane
147 N 870 W
Hurricane, Utah 84737
(435) 635-2811
FAX (435) 635-4831

Fee: \$ 250

<i>For Office Use Only:</i> File No. <u>2020-CUP06</u> Receipt No. <u>8-14-19</u>

APPLICATION & SUBMITTAL CHECKLIST

Name: Mark Stephenson Telephone: 435-669-4053

Address: 2734 S. 3970 W Fax No. _____

Email: markstephenson19@gmail.com Agent Email: _____

Agent (If applicable): _____ Agent's Phone: _____

Address of Subject Property: 2734 S. 3970 W, Hurricane, UT 84737

Tax ID of Subject Property: _____ Zone District: _____

Proposed Conditional Use: (Describe, use extra sheet if necessary) Build an RV Garage (18.5' x 40')
I am the owner/builder

This application shall be accompanied by the following:

- 1) A vicinity map showing the general location of the application.
- 2) Three (3) copies of a plot plan showing the following:
 - Property boundaries, dimensions and existing streets.
 - Location of existing and proposed buildings, parking, landscaping and utilities.
 - Adjoining property lines and uses within one hundred (100) feet of subject property.
- 3) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- 4) Building elevations for new construction, noting proposed materials and colors.
- 5) Traffic impact analysis, if required by the City Engineer or the Planning Commission.
- 6) Applicant's responses to the Conditional Use Permit standards for review (attached)
- 7) A statement indicating whether the applicant will require a variance in connection with the proposed conditional use permit. (If required, the variance should be filed with the conditional use permit submittal.)
- 8) Warranty deed, preliminary title report, or other document (see Affidavit of Property owner attached) showing evidence that the applicant has control of the property;

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.

(Office Use Only)

Date Received: _____ Received by: _____

Date application deemed to be complete: _____ Completion determination made by: _____

Conditional Use Permit Standards for Review

Please provide responses to the following for the Commissions review:

- a. The harmony and compliance of the proposed use with the objectives and requirements of the City's General Plan and the Land Use Code;
There are numerous other RV Garages in the subdivision of similar size & style and I would like to build one to house my RV. The color will match my home.
- b. The suitability of the specific property for the proposed use;
There is ample space on my lot to accommodate the RV Garage with the required set backs.
- c. The development or lack of development adjacent to the proposed site and the harmony of the proposed use with existing uses in the vicinity;
My existing neighbor already has an RV garage of similar style & size.
- d. Whether or not the proposed use or facility may be injurious to potential or existing development in the vicinity;
The proposed RV garage should not be injurious to the potential or existing development.
- e. The economic impact of the proposed facility or use on the surrounding area;
This proposed RV Garage should not negatively impact the surrounding area.
- f. The aesthetic impact of the proposed facility or use on the surrounding area;
The aesthetic impact will not negatively impact the surrounding area.
- g. The number of other similar conditional uses in the area and the public need for the proposed conditional use;
I am not aware of other conditional uses in the area.
- h. The present and future requirements for transportation, traffic, water, sewer, and other utilities, for the proposed site and surrounding area;
The present and future requirements for these items will not be affected.
- i. The safeguards proposed or provided to insure adequate utilities, transportation access, drainage, parking, loading space, lighting, screening, landscaping, open space, fire protection, and pedestrian and vehicular circulation;
The same safeguards will be adhered to upon building the RV Garage.
- j. The safeguards provided or proposed to prevent noxious or offensive emissions such as noise, glare, dust, pollutants and odor from the proposed facility or use;
The same safeguards will be met to prevent these items as well.
- k. The safeguards provided or proposed to minimize other adverse effects from the proposed facility or use on persons or property in the area; and
Safeguards will be provided to minimize any adverse effects from my RV garage.
- l. The impact of the proposed facility or use on the health, safety, and welfare of the City, the area, and persons owning or leasing property in the area.
There will be no impacts of these items on neighbors or the city.

STAFF COMMENTS

Agenda: August 26, 2020 **File Number:** 2020-CUP-06
Type of Application: Conditional Use Permit
Applicant: Mark Stephenson
Request: A Conditional Use Permit for an accessory building in an R1-10 zone
Location: 2734 S 3970 W
General Plan: N/A
Existing Zoning: Single Family Residential R1-10

Discussion: The applicant is proposing to construct an 18.5' x 40' (740 sq. ft.), with a 21' 6" accessory building height. Hurricane City Code (HCC) 10-13-4 allows the max square feet and height of an accessory building to be 1,200 sq. ft. and 16' tall. A property owner may apply for a conditional use permit to be able to build a taller building. The standards to obtain a conditional use permit are as follows:

10-7-9: CONDITIONAL USE PERMIT E. Approval Standards: The following standards shall apply to the issuance of a conditional use permit:

1. A conditional use permit may be issued only when the proposed use is shown as conditional in the zone where the conditional use will be located, or by another provision of this title.

2. Standards for each use must be reviewed. Specific standards are set forth for each use in subsections E2a through E2g of this section:...

e. Standards for greater heights and size than permitted by this Code:

(1) The height may not be greater than two (2) stories or 1.5 times the average height of the immediately adjacent buildings, whichever is greater and the building must be of compatible architecture with immediately adjacent buildings.

(2) When a greater height accessory building is approved, the building must be set back a minimum of five feet (5') from side and rear property lines when the adjoining property is for single family residential use.

(3) The greater size building desired must be of compatible architecture with immediately adjacent buildings, must leave at least fifty percent (50%) of the lot on which it is located free of buildings, and must be for a use permitted in the zone in which it is located. (Ord. 2018-14, 12-20-2018)

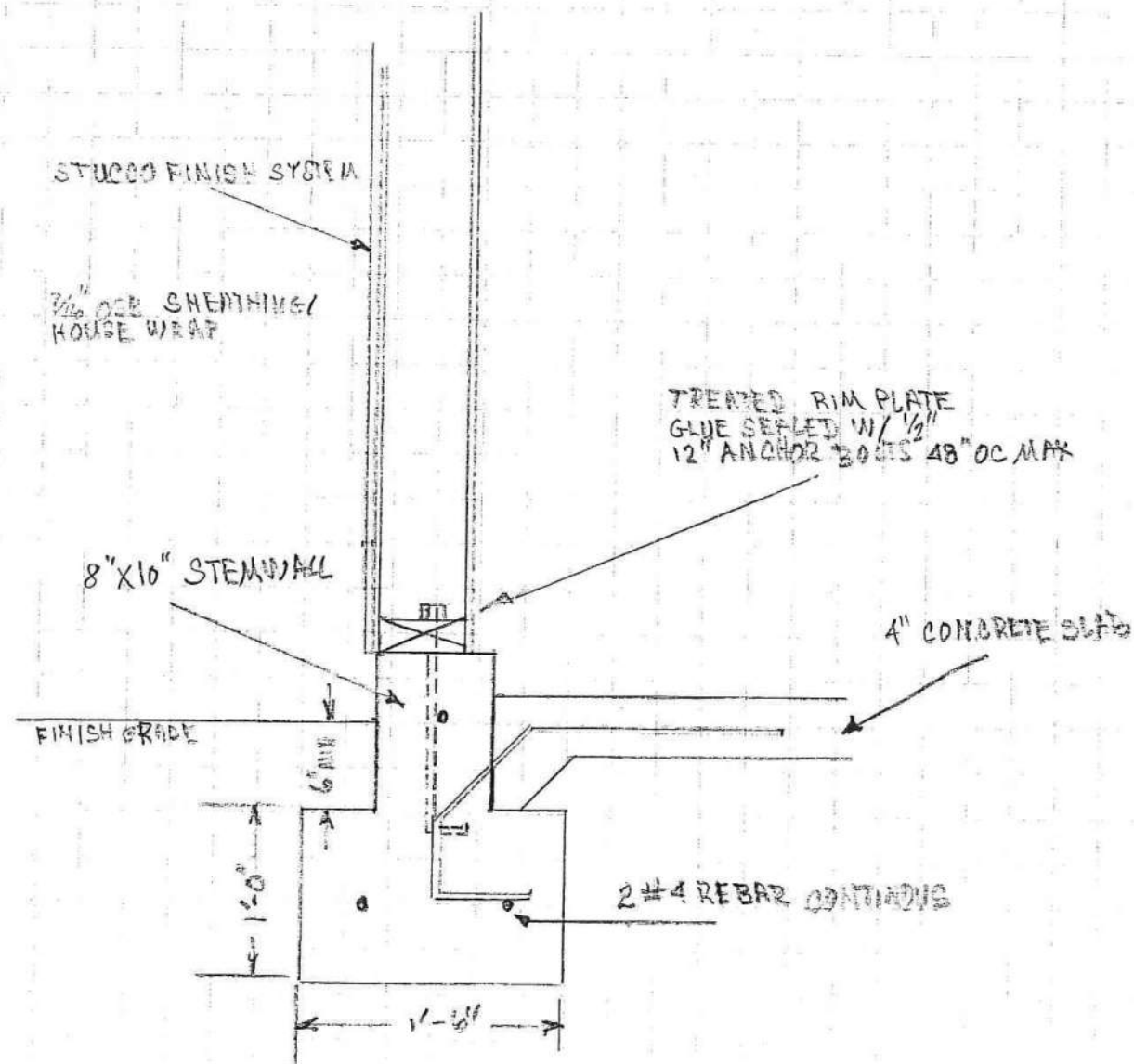
Findings:

1. The proposed building is not greater than two stories at 21' 6".
2. The proposed building is planned to have an exterior composed of stucco.

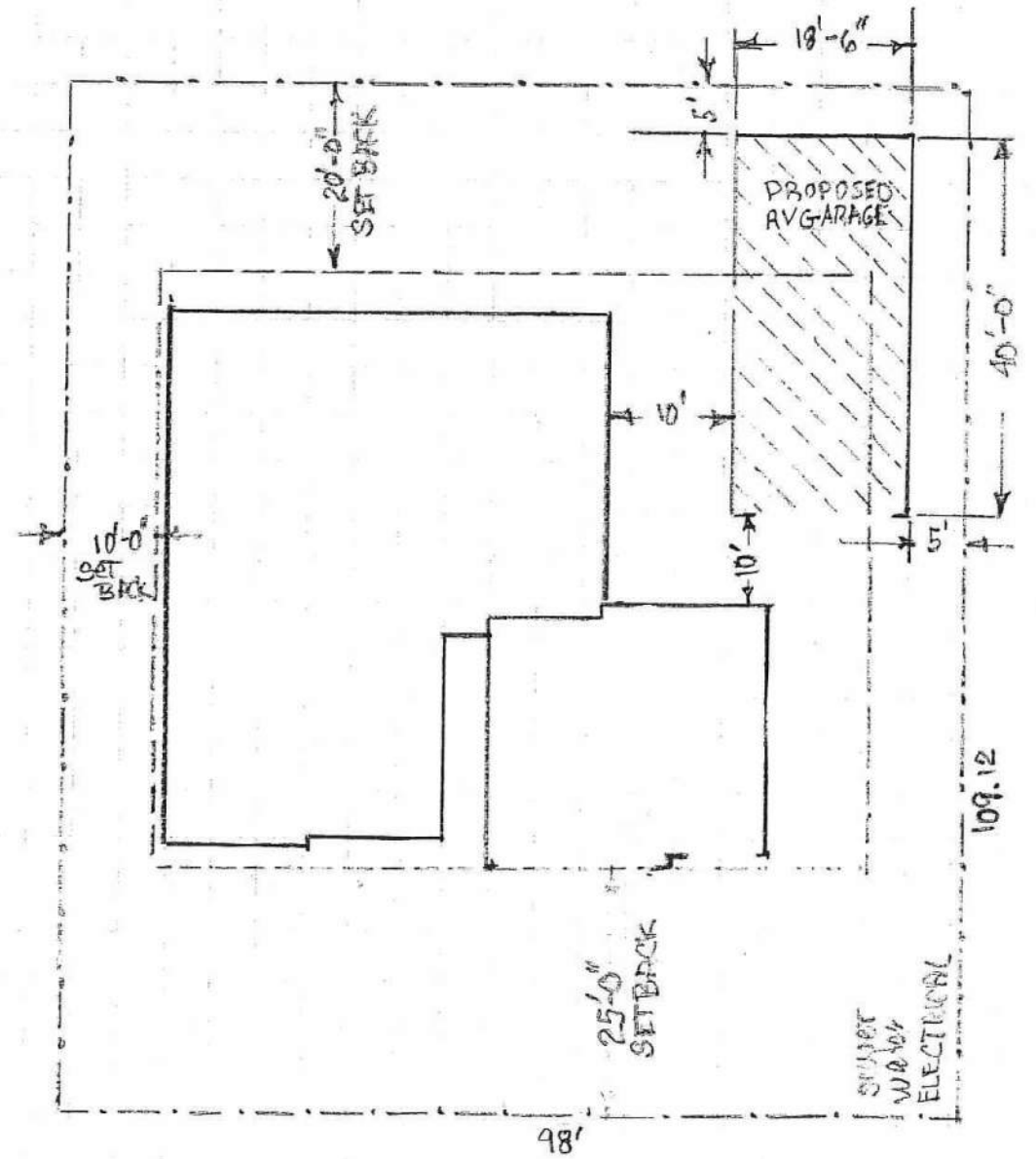
3. The building is set back a minimum of 5' from the side property lines and 5' off the back.

Recommendation: Based on the above findings, staff recommends approval of a conditional use permit for the proposed accessory building as presented.

MARK STEPHENSON RESIDENCE RV-GARAGE
 LOT #53 DIXIE SPRINGS PLAT G



FOOTING DETAIL
 SCALE 1" = 1'-0"



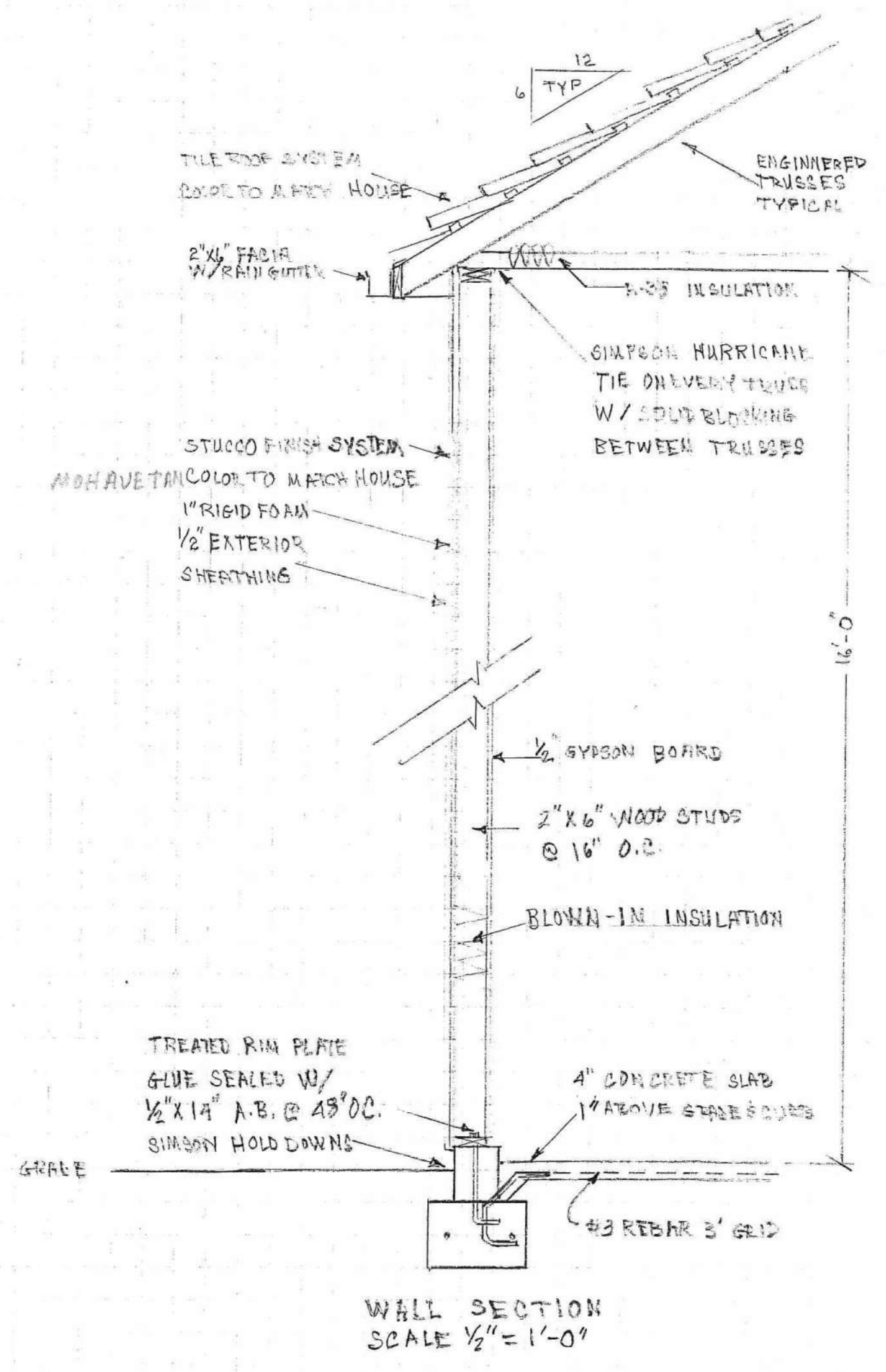
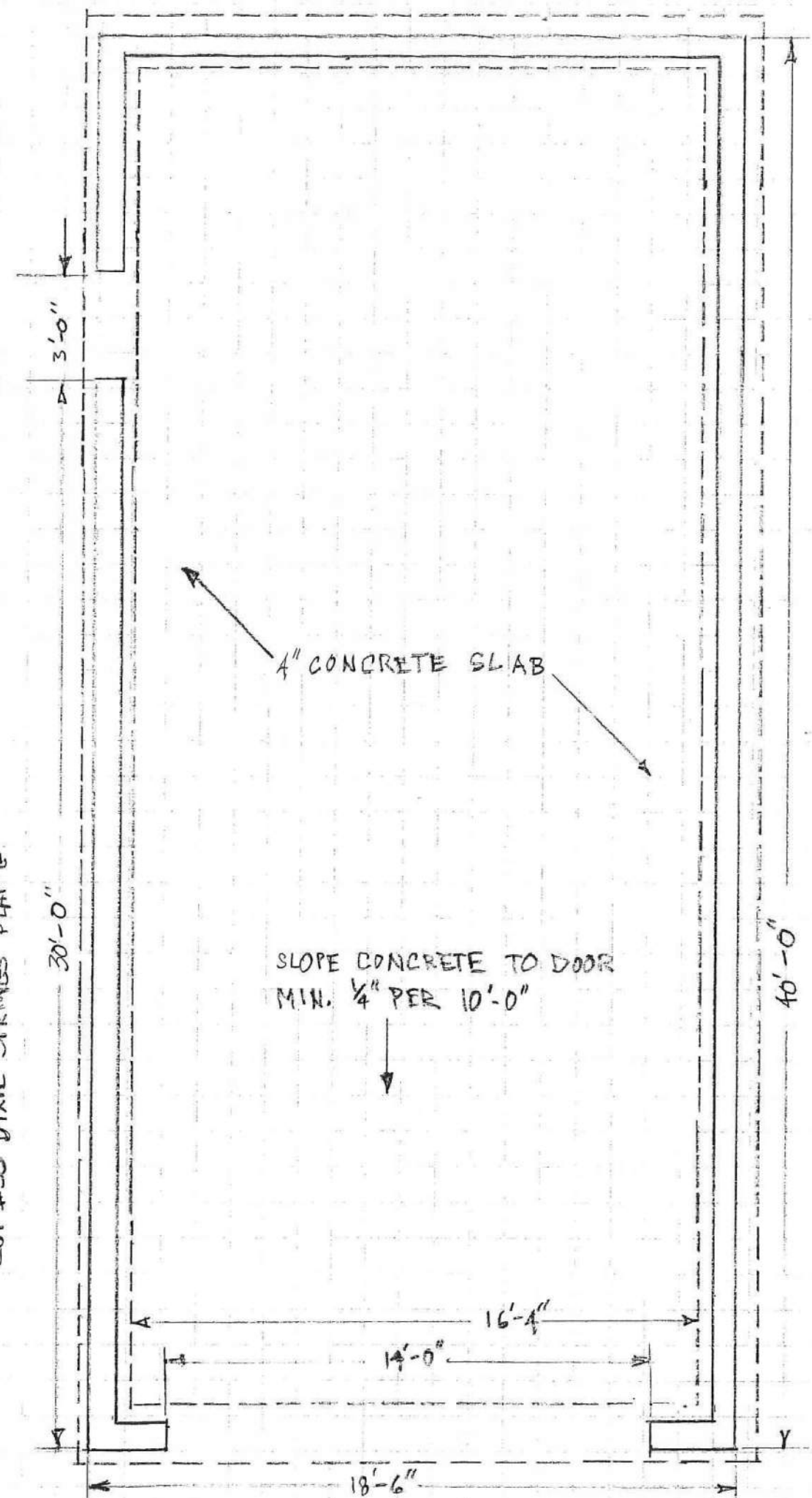
3970 WEST

PLOT PLAN
 SCALE 1" = 20'

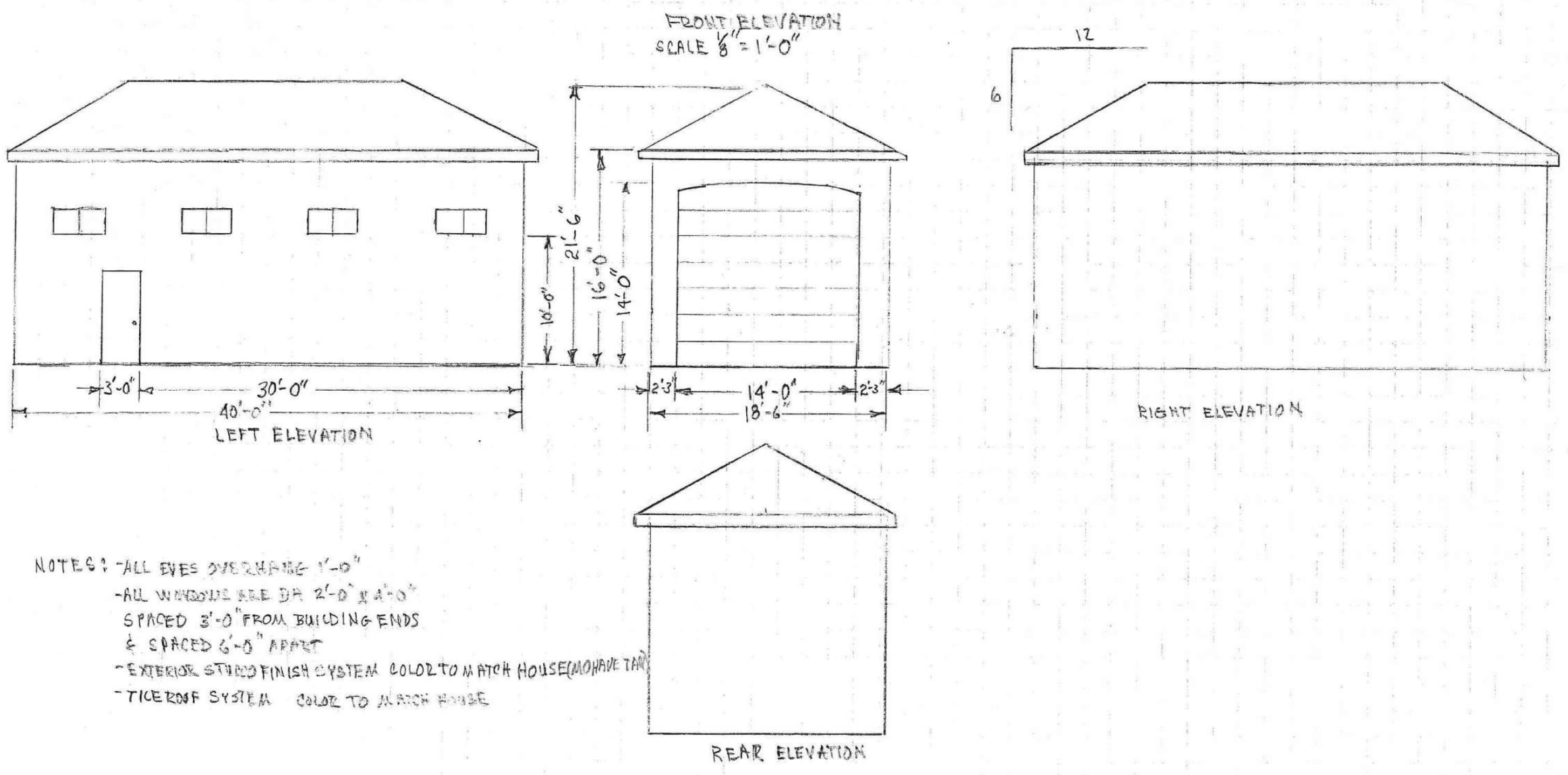
LOT #56

DIXIE SPRINGS PLAT G
 HURRICANE UTAH

MARK STEPHENSON RESIDENCE RV GARAGE
 LOT #53 DIXIE SPRINGS PLAT G



MARK STEPHENSON RESIDENCE RV-GARAGE
 LOT # 53 DIXIE SPRINGS PLANT 5



- NOTES:
- ALL EAVES OVERHANG 1'-0"
 - ALL WINDOWS ARE DR 2'-0" X 4'-0" SPACED 3'-0" FROM BUILDING ENDS & SPACED 6'-0" APART
 - EXTERIOR SIDING FINISH SYSTEM COLOR TO MATCH HOUSE (MOHAVE TAN)
 - TIGER ROOF SYSTEM COLOR TO MATCH HOUSE

Preliminary

~~FINAL~~ SITE PLAN APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$250.00 2020-PSP-07

For Office Use Only:	
File No.	2020-11
Receipt No.	_____

Name: RR PENGA Telephone: 801-631-4998

Address: 3507 KIRK CIRCLE SALT LAKE CITY, UT 84106 Fax No. _____

Agent (If Applicable): PSOMAS Telephone: 801-270-5777

Email: RHMAIL@COMCAST.NET Agent Email: LMORTON@PSOMAS.COM

Address/Location of Subject Property: 1760 WEST RLINGTON PARKWAY

Tax ID of Subject Property: _____ Zone District: _____

Proposed Use: (Describe, use extra sheet if necessary) _____

37 LOT SINGLE FAMILY SUBDIVISION

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- b) Layout, dimensions, and names of existing and future road rights-of-way;
- c) Project name, North arrow, and tie to a section monument;
- d) The boundary lines of the project site with bearings and distances;
- e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- g) Location of man-made features including irrigation facilities, bridges, and buildings
- h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- i) Identification of property, if any, not proposed for development, and;
- j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

STAFF COMMENTS

Agenda: August 26, 2020 **File Number:** 2020-PP-15 and 2020-PSP-07

Type of Application: Preliminary Plat and Preliminary Site Plan

Applicant: RR PENGA

Agent: PSOMAS

Request: Preliminary Plat and Site Plan for Zion Vista Phase 2, a 37-lot subdivision, and a part of the Collina Tinta PDO

Location: Arlington Parkway and 650 S

General Plan: Planned Community

Current Zoning: R1-10 PDO

Discussion: This plat is for 5.97 acres located on Arlington Parkway and around 650 S. This development is part of the Collin Tinta PDO, but will likely need to have an update in the development agreement to match the Zion Vista Phase 1. Staff is currently reviewing the full development agreement will have a recommendation on the meeting.

JUC Comments:

The following must be addressed during the construction drawing phase:

1. Construction drawings must be reviewed and approved before final plat and final site plan application
2. Water lines and sewer lines have been installed and left vacant for more than ten years. Both sewer and water departments have concerns about the development using the infrastructure that has been previously installed. Both systems need to be reviewed and most likely replaced.
3. The development will need a second access for fire access since it is greater than 30 units. The applicant has proposed that the utility access to the north could be utilized as an emergency access. This plan is being reviewed by the fire Marshall and engineering. The access would need to be a minimum of 26'.
4. Power is in the area and a full design will need to be submitted as part of the construction drawings.
5. Gas, Phone, and Cable are located in Arlington Parkway.

6.

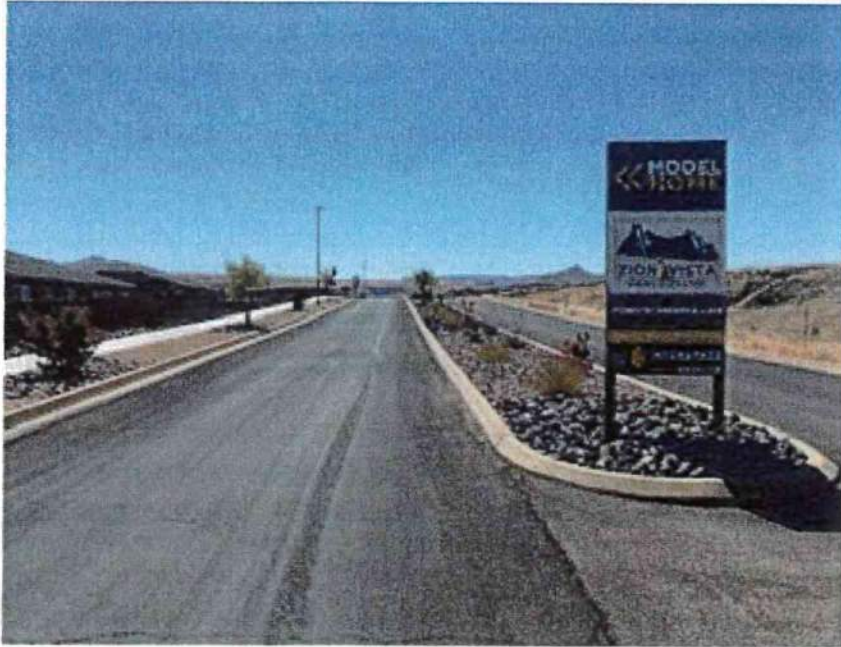
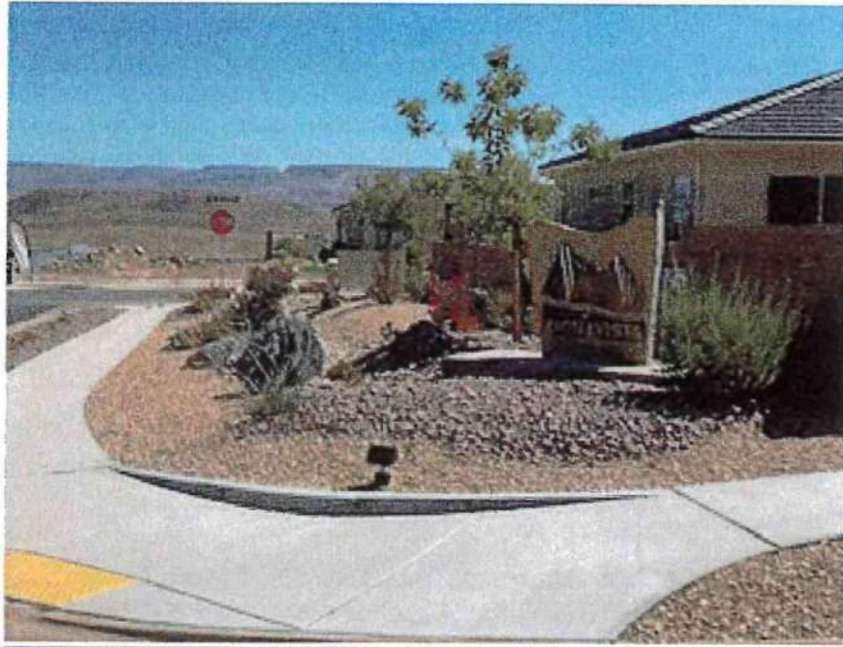
Staff Comments on preliminary plat:

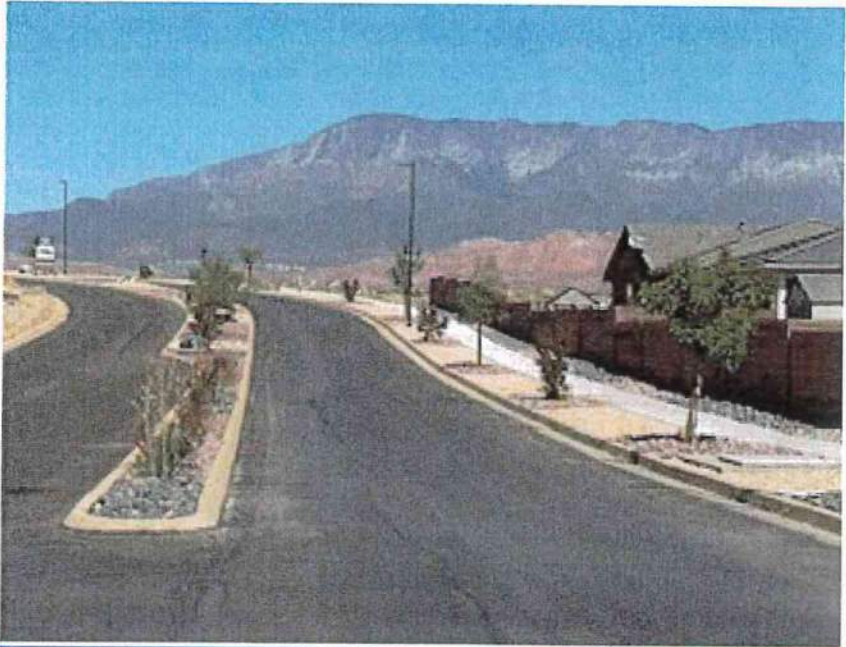
1. Access: Once the development reaches 30 lots or more, there needs to be two functioning and fire-rated access.
2. Since the development is part of a PDO, there is no minimum lot size or width. Lots do need to match the setbacks listed in Hurricane City Code 10-23-9.
3. The layout of the development is in compliance with the PDO Master Plan.
4. The proposed street cross section does not match City standard cross section, but do comply with the Collina Tinta PDO street cross sections.
5. The developer needs to identify potential geotechnical constraints on the project site HCC 10-39-7 (B)(8). Can supply a letter or a note on the plat.
6. The plat needs to identify whether the property is located in the desert tortoise take area.
7. The developer will need to provide a letter from both the local sanitary sewer provider and culinary water provider, indicating the availability of service.
8. The applicant may need to enter into an altered development agreement for this project that would need to be reviewed and approved by the City Council, similar to the first phase. The applicant is not proposing all of the original standards as the approved PDO, but to match the altered standards in Zion Vista, which is also a part of the Collina Tinta PDO.

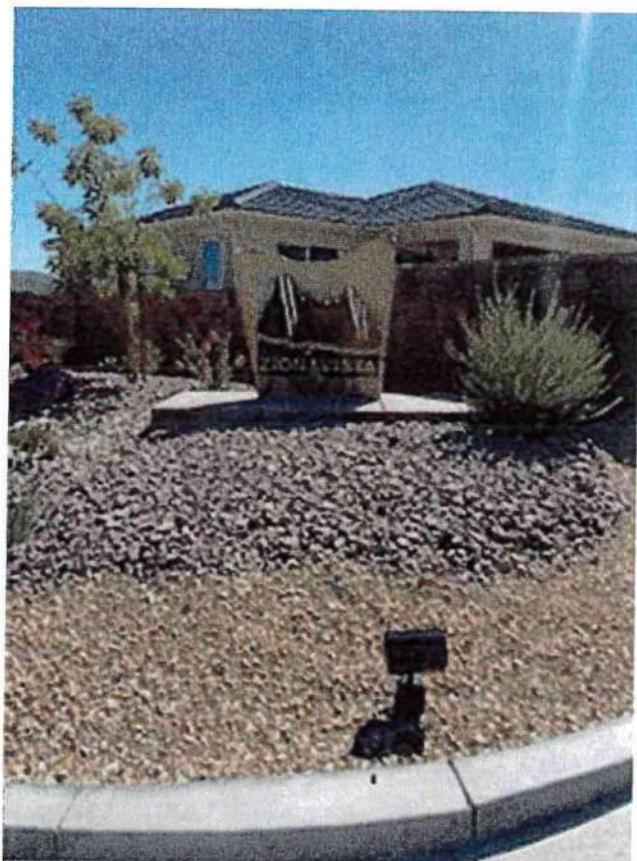
Recommendation: Staff recommends approval of the preliminary plat and preliminary site plan based on the conditions that the applicant fully address the comments listed within this report.

Zion Vista Landscaping









ZION VISTA

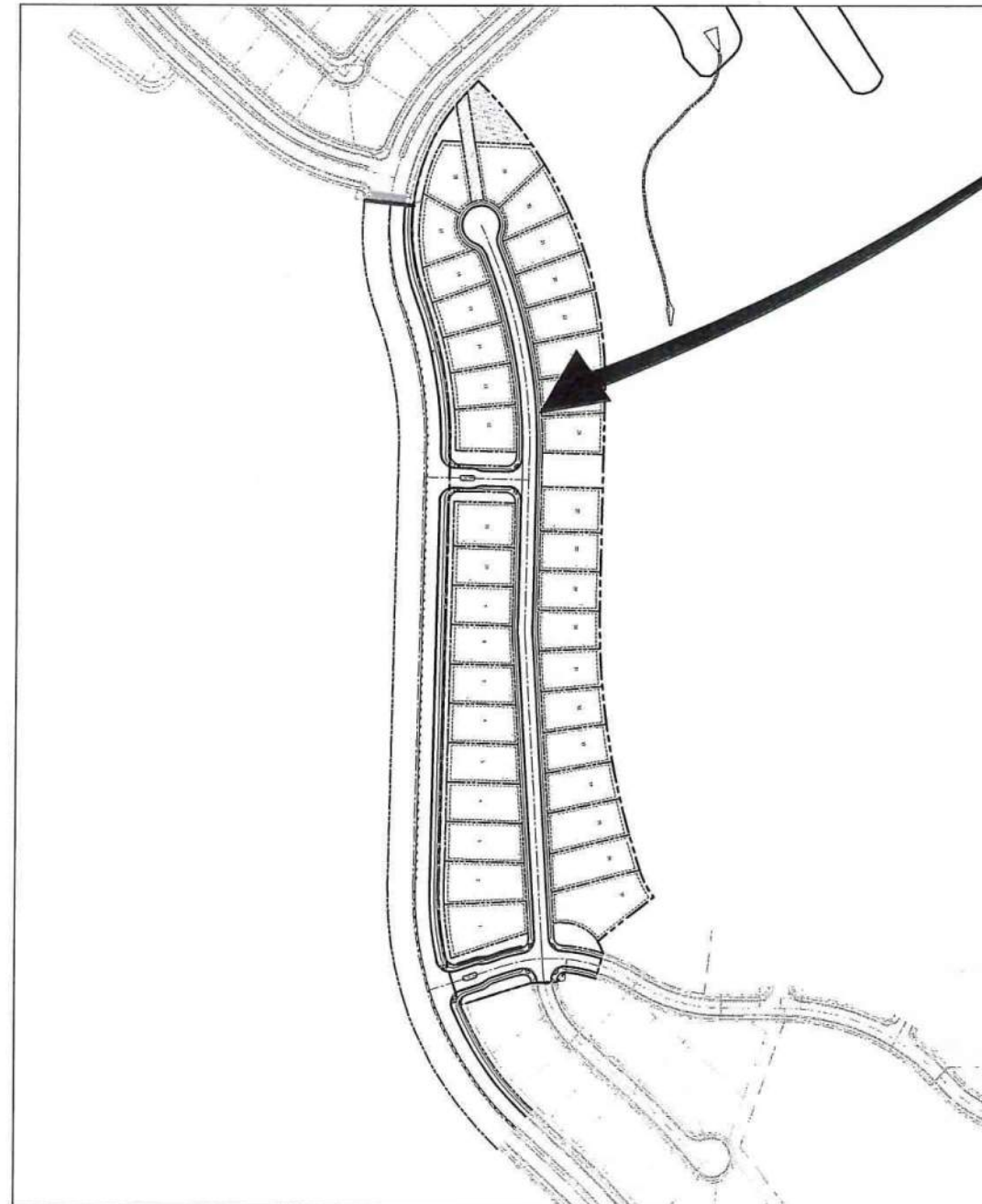
PHASE 2

FINAL SITE PLAN REVIEW

LOCATED IN SECTION 4, TOWNSHIP 42 SOUTH, RANGE 13 WEST
SALT LAKE BASE AND MERIDIAN
IN THE CITY OF HURRICANE, WASHINGTON COUNTY, UTAH



VICINITY MAP
NOT TO SCALE



PROJECT MAP
NOT TO SCALE



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
CG100	COVER
CS100	SITE PLAN
CS101	SITE PLAN
CG100	GRADING & DRAINAGE PLAN
CG101	GRADING & DRAINAGE PLAN
CU100	UTILITY PLAN - SEWER, WATER & POWER
CU101	UTILITY PLAN - SEWER, WATER & POWER
CU102	UTILITY PLAN - CABLE, GAS & TELEPHONE
CU103	UTILITY PLAN - CABLE, GAS & TELEPHONE

DEVELOPER:

RR PENGA
3507 KIRK CIRCLE
SALT LAKE CITY, UT 84106

CIVIL ENGINEER:

PSOMAS
4179 RIVERBOAT ROAD, SUITE 200
SALT LAKE CITY, UT 84106

SITE DATA :

ZION VISTA PHASE 2
TOTAL GROSS ACRES: 11.79
TOTAL ROAD R.O.W.: 98,328 SQ. FT.
BUILDING PAD AREA: 37 UNITS-301,641 SQ. FT.
DENSITY: 3.1 UNITS/ACRE

NO.	REVISION DESCRIPTION	DATE



SUBMITTAL	DRAWN BY:	CHECKED BY:	APPROVED BY:	PLOT DATE:
				8/10/20

PSOMAS
Balancing the Natural and Built Environment
4179 Riverboat Road, Suite 200
Salt Lake City, UT 84123
(801) 270-5777 (801) 270-5782 fax
www.psomas.com
PROJECT NUMBER: BBCL010200

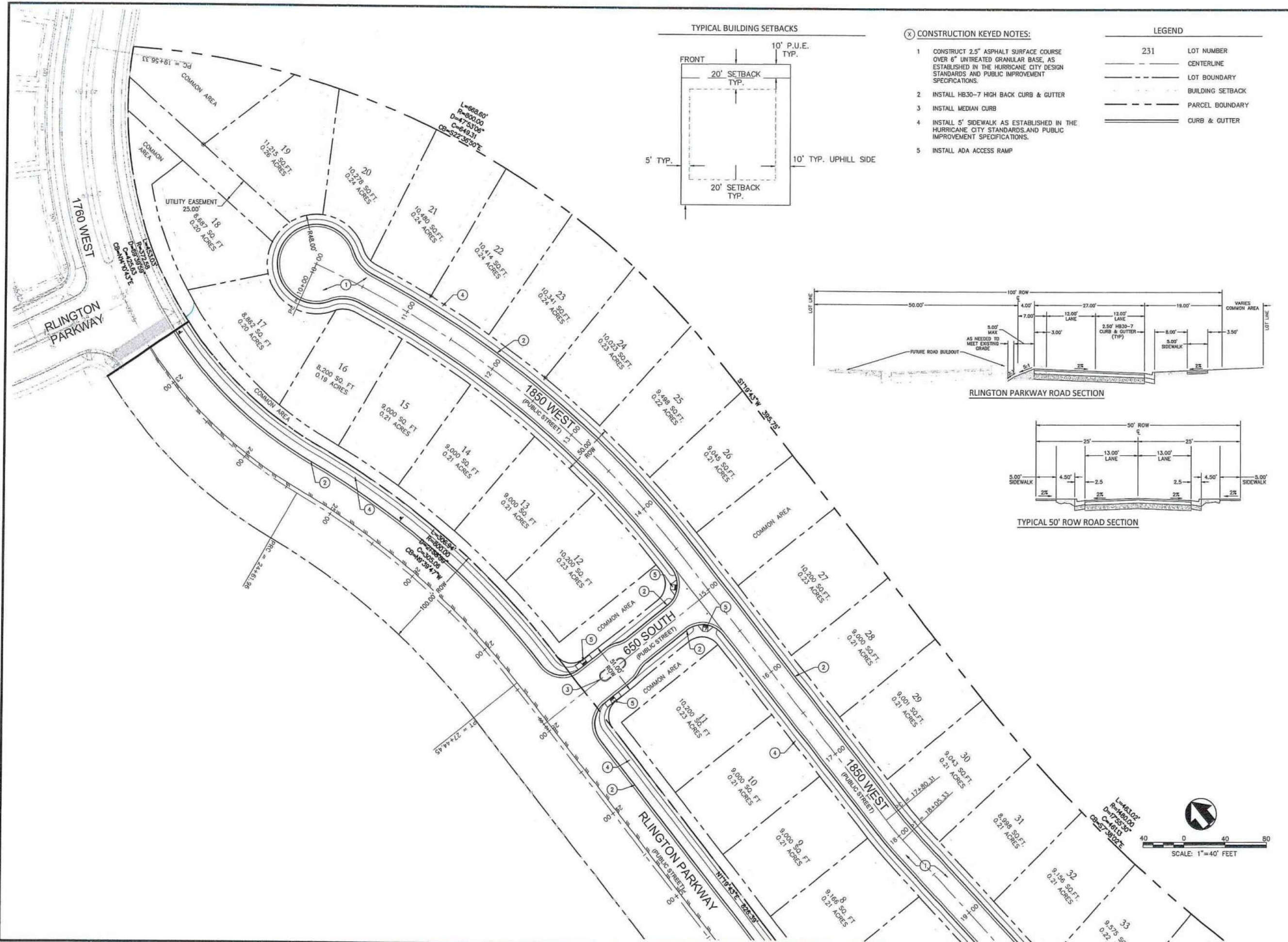
ZION VISTA PHASE 2
FINAL SITE PLAN REVIEW

COVER

CGI100



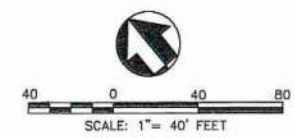
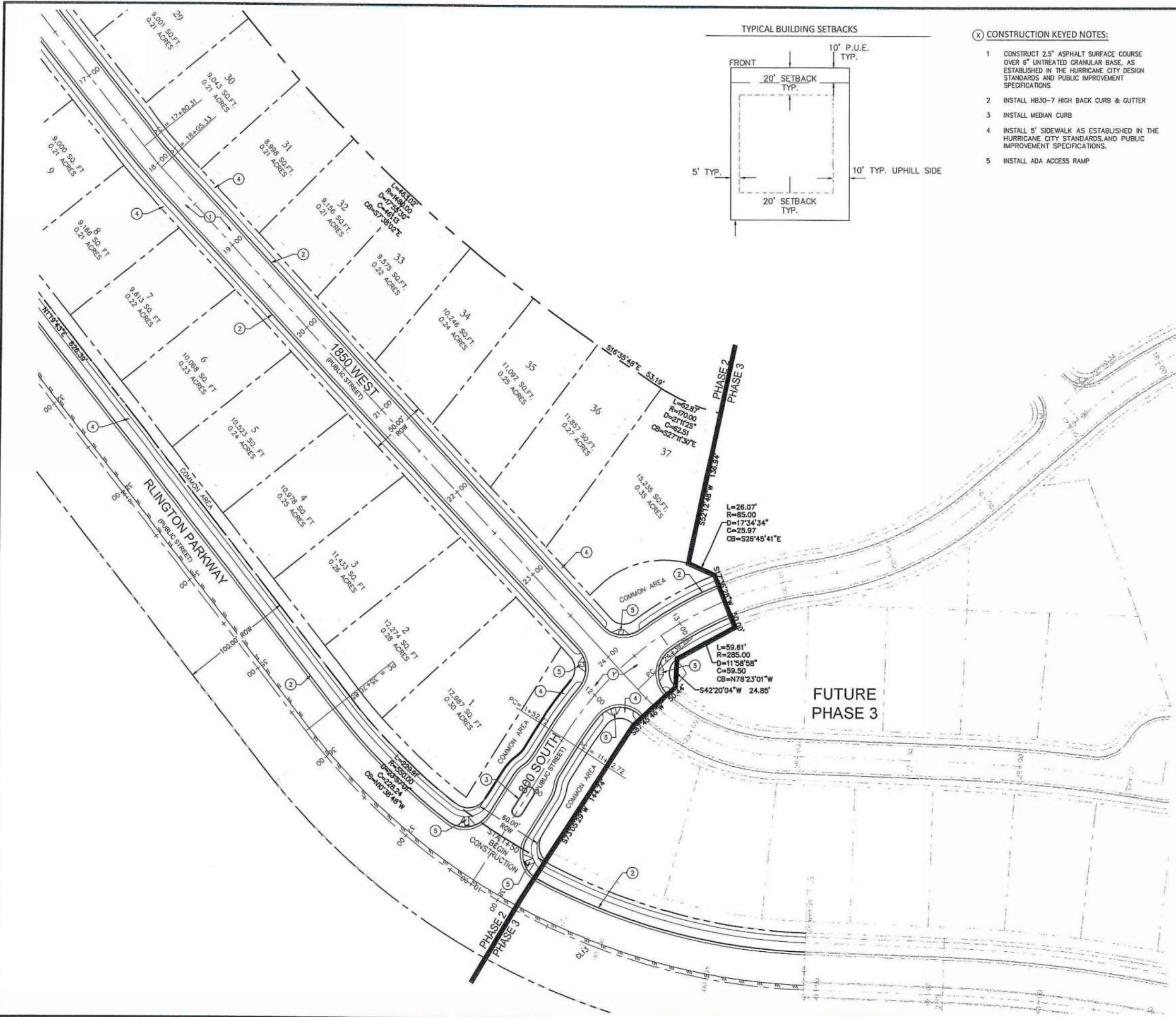
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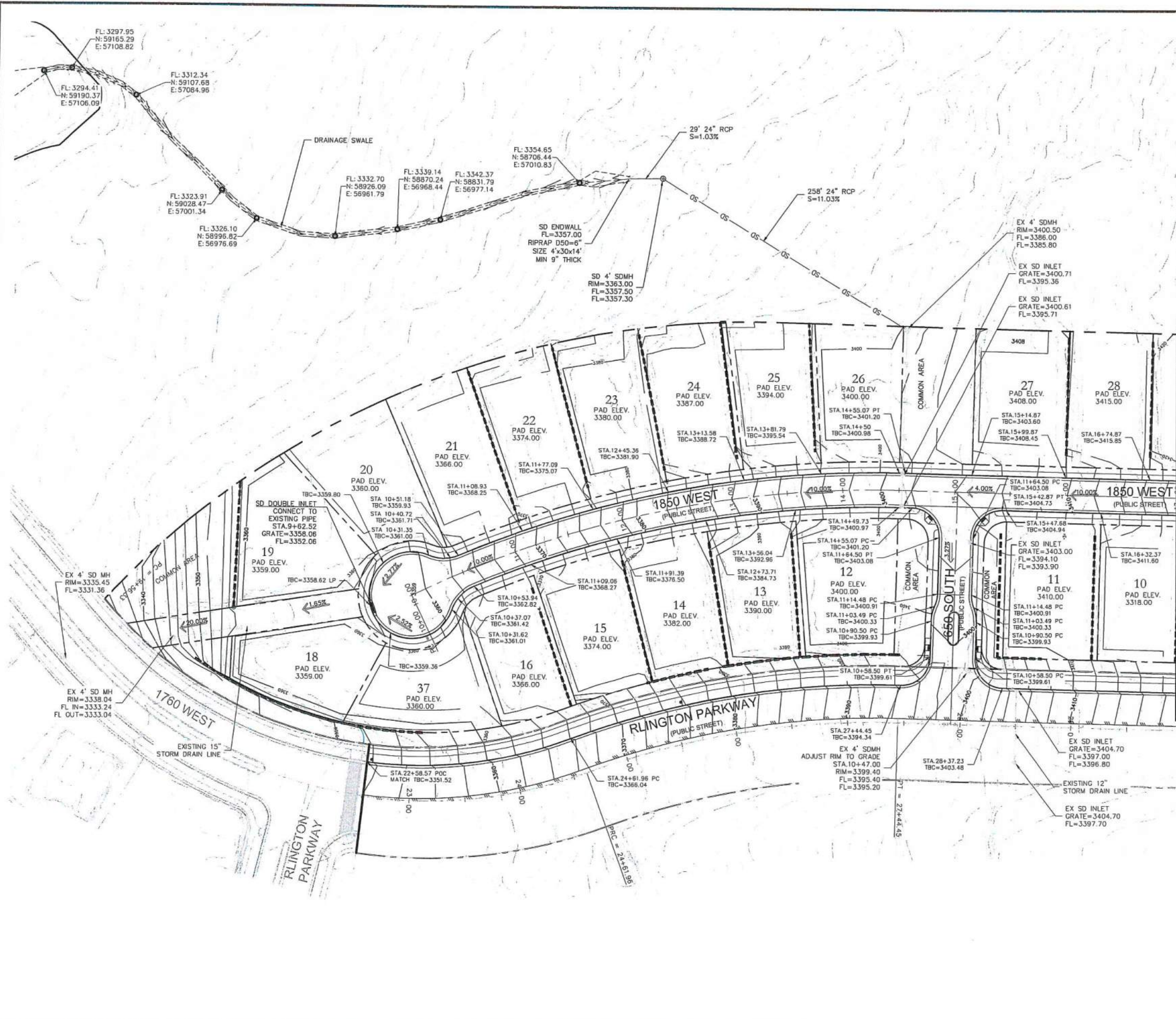
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ZION VISTA PHASE 2 FINAL SITE PLAN REVIEW	
SITE PLAN	
CS100	

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SITE PLAN		
CS101		

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LEGEND

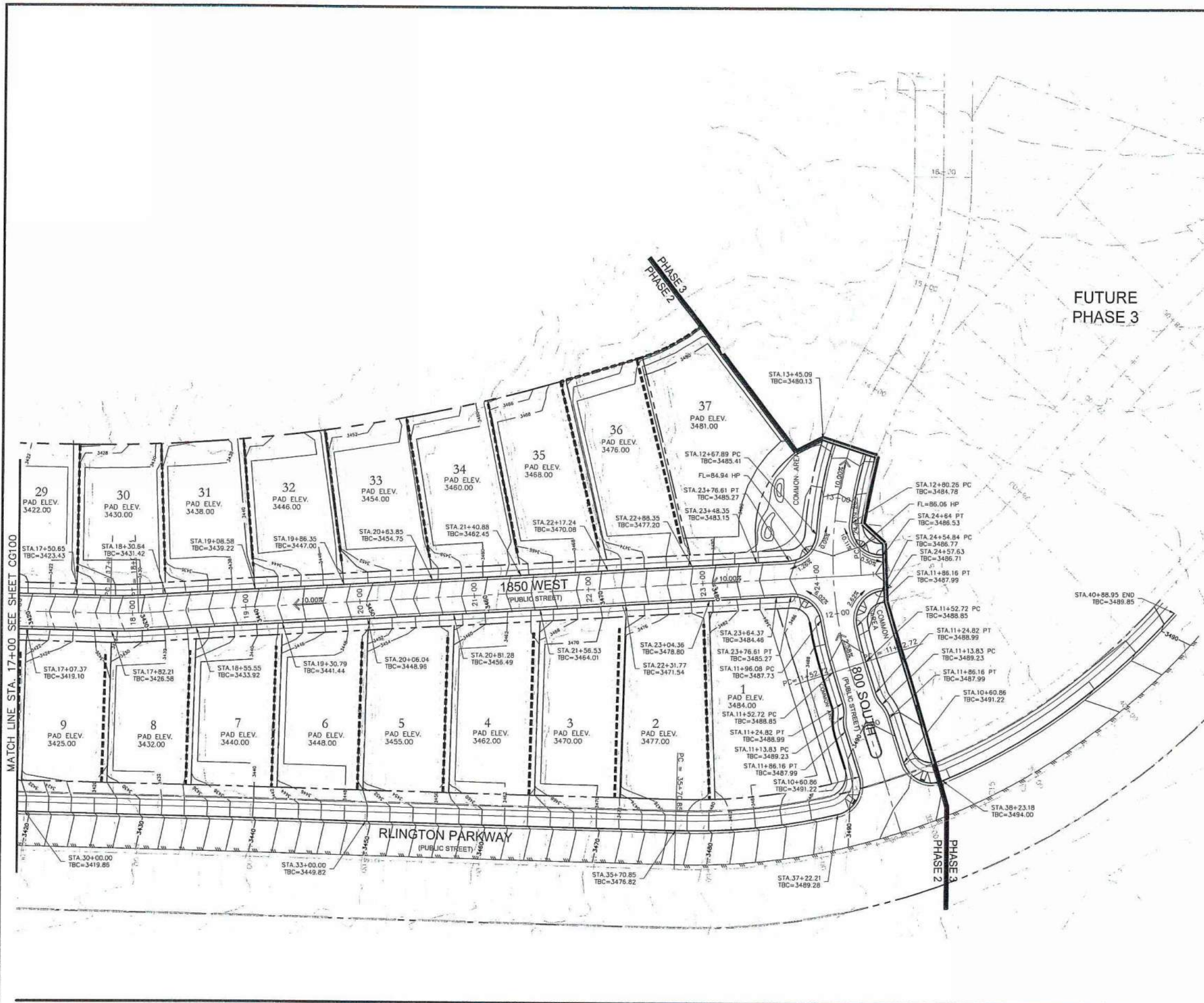
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN CURB INLET
- PROPOSED STORM DRAIN DOUBLE CURB INLET
- EXISTING 10' CONTOURS
- EXISTING 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED 2' CONTOURS
- RETAINING WALL
- CENTERLINE
- LOT BOUNDARY
- PARCEL BOUNDARY
- BUILDING SETBACK
- FLOW & SLOPE

MATCH LINE STA. 17+00 SEE SHEET CG101

<p>REVISION DESCRIPTION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 45%;">DESCRIPTION</th> <th style="width: 50%;">DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION	DATE													<div style="text-align: center;"> <p>8/11/2020</p> </div> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">SUBMITTAL</td> <td style="width: 25%;">DRAWN BY:</td> <td style="width: 25%;">CHECKED BY:</td> <td style="width: 25%;">APPROVED BY:</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table> <p style="text-align: right;">PLOT DATE: 8/11/20</p> <hr/> <p>PSOMAS Balancing the Natural and Built Environment 4179 Riverboat Road, Suite 200 Salt Lake City, UT 84123 (801) 270-5777 (801) 270-5782 fax www.psomas.com</p> <p style="text-align: right;">PROJECT NUMBER: 88CL010200</p> <hr/> <p style="text-align: center;">ZION VISTA PHASE 2 FINAL SITE PLAN REVIEW</p> <p style="text-align: center;">GRADING & DRAINAGE PLAN</p> <hr/> <p style="text-align: center; font-size: 24pt; font-weight: bold;">CG100</p>	SUBMITTAL	DRAWN BY:	CHECKED BY:	APPROVED BY:				
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SCALE: 1"=40' FEET

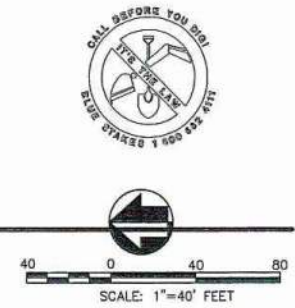
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LEGEND

	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	EXISTING STORM DRAIN MANHOLE
	EXISTING STORM DRAIN CURB INLET
	PROPOSED STORM DRAIN DOUBLE CURB INLET
	EXISTING 10' CONTOURS
	EXISTING 2' CONTOURS
	PROPOSED 10' CONTOURS
	PROPOSED 2' CONTOURS
	RETAINING WALL
	CENTERLINE
	LOT BOUNDARY
	PARCEL BOUNDARY
	BUILDING SETBACK
	FLOW & SLOPE

DATE	
REVISION DESCRIPTION	
NO.	
8/11/2020	
SUBMITTAL	8/10/20
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	
PSOMAS Beautifying the Natural and Built Environment 4179 Riverbend Road, Suite 200 Salt Lake City, UT 84123 (801) 270-5777 (801) 270-5782 fax www.psomas.com	
PROJECT NUMBER: BSC1010200	
ZION VISTA PHASE 2 FINAL SITE PLAN REVIEW	
GRADING & DRAINAGE PLAN	
CG101	



WATER NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF HURRICANE STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE UNIFORM PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF HURRICANE.
- CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
- THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW PER THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 608.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (IPC) 608.16.4.
- 14 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
- THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. USE MEGA-LUG ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.
- ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
- CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MARK), ALL EXISTING SERVICE LINES OR UNUSED STUB LINES THAT WILL BE ABANDONED.
- ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE CITY OF HURRICANE WATER SERVICES.
- ALL WATER VALVE INSTALLED TO SERVICE THE SITE SHALL BE FIELD TESTED AND REPLACED IF NECESSARY.
- ALL PIPES SHALL BE PRESSURE TESTED AND CHLORINATED.

**GENERAL NOTES
(ALSO SEE CONSTRUCTION NOTES ON SHEET 2)**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
- ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- SEE GRADING AND DRAINAGE SHEETS FOR STORM DRAIN DATA.
- NO BASEMENTS WHERE SEWER IS LESS THAN 9' FEET BELOW PROPOSED GROUND SURFACE.
- SEWER LATERALS TO BE 15' BEHIND BACK OF WALL.
- ALL PVC PIPE THAT HAS BEEN EXPOSED TO SUN SHALL BE REPLACED.

HURRICANE CITY POWER NOTES:

- DEVELOPER RESPONSIBLE FOR ALL COSTS, UNLESS OTHERWISE STATE ON PRINT.
- ONLY A PRE-APPROVED CONTRACTOR SHALL WORK ON AND INSTALL ANY PART OF THE ELECTRICAL SYSTEM.
- PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. 435-635-5536.
- LINES ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE POWER SPECS.
- EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
- NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
- ALL CONDUITS TO BE FORMED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
- ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
- THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MANUS FROM THE BOTTOM TO THE TOP OF THE TRENCH. ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
- DEVELOPER WILL BE BILLED A TERMINATION FEE OF \$99.00 PER PRIMARY ELBOW TERMINATIONS.
- HURRICANE POWER HAS CHANGED OUR STREETLIGHT SPEC. TO LED'S. SEE HURRICANE POWER FOR NEW SPEC.
- FRESH INSTALLING ALL STREET LIGHTS ALONG RINGTON PARKWAY AND ALONG 1760 WEST. MATCH EXISTING STREET LIGHTS.
- ALL UNDERGROUND POWER LINES WILL NEED TO BE ALONGSIDE A PERMANENT ROADWAY AND THE POWER LINE NEEDS TO BE INSTALLED ON THE WEST AND NORTH SIDE OF THE ROAD.
- DEVELOPER WILL BE BILLED \$1083.00 FOR SWITCH MAKE-UP FEE FOR EACH SWITCH THAT HAS BEEN INSTALLED.
- DEVELOPER WILL BE BILLED \$1690.00 FUSE BAY FEE FOR EACH 3-PHASE FUSE BAY USED.

UTILITY SEPARATION

- WATER TO PHONE LINES/CABLE TV- 5 FT.
- GAS TO WATER OR WASTEWATER- 5 FT.
- WATER TO POWER- 10 FT.
- WATER TO IRRIGATION- 5 FT.
- WATER TO WASTEWATER- 10 FT. HORIZONTAL AND 18 INCHES VERTICAL
- GAS TO POWER- 3 FT.

POWER PROVIDED BY HURRICANE CITY
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

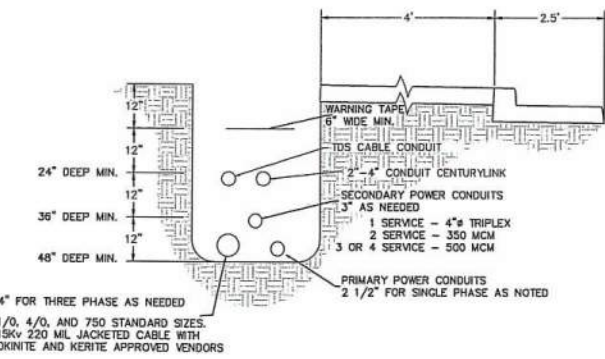
NATURAL GAS PROVIDED BY DOMINION ENERGY
1155 EAST 350 NORTH
ST. GEORGE, UTAH 84770
(435) 673-7514

TELEPHONE PROVIDED BY CENTURYLINK COMMUNICATIONS
596 N. 1400 E. (TRAILER)
ST. GEORGE, UTAH 84770
(435) 673-9639

POWER PROVIDED BY HURRICANE CITY POWER SERVICES
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

DEVELOPER:
RR PENGA
3507 KIRK CIRCLE
SALT LAKE CITY, UT 84106
(435) 635-2811

CIVIL ENGINEER:
PSOMAS
4179 RIVERBOAT ROAD
SUITE 200
SALT LAKE CITY, UT 84106
CONTACT: LESLIE MORTON
801-284-1331



(X) UTILITY KEYED NOTES:

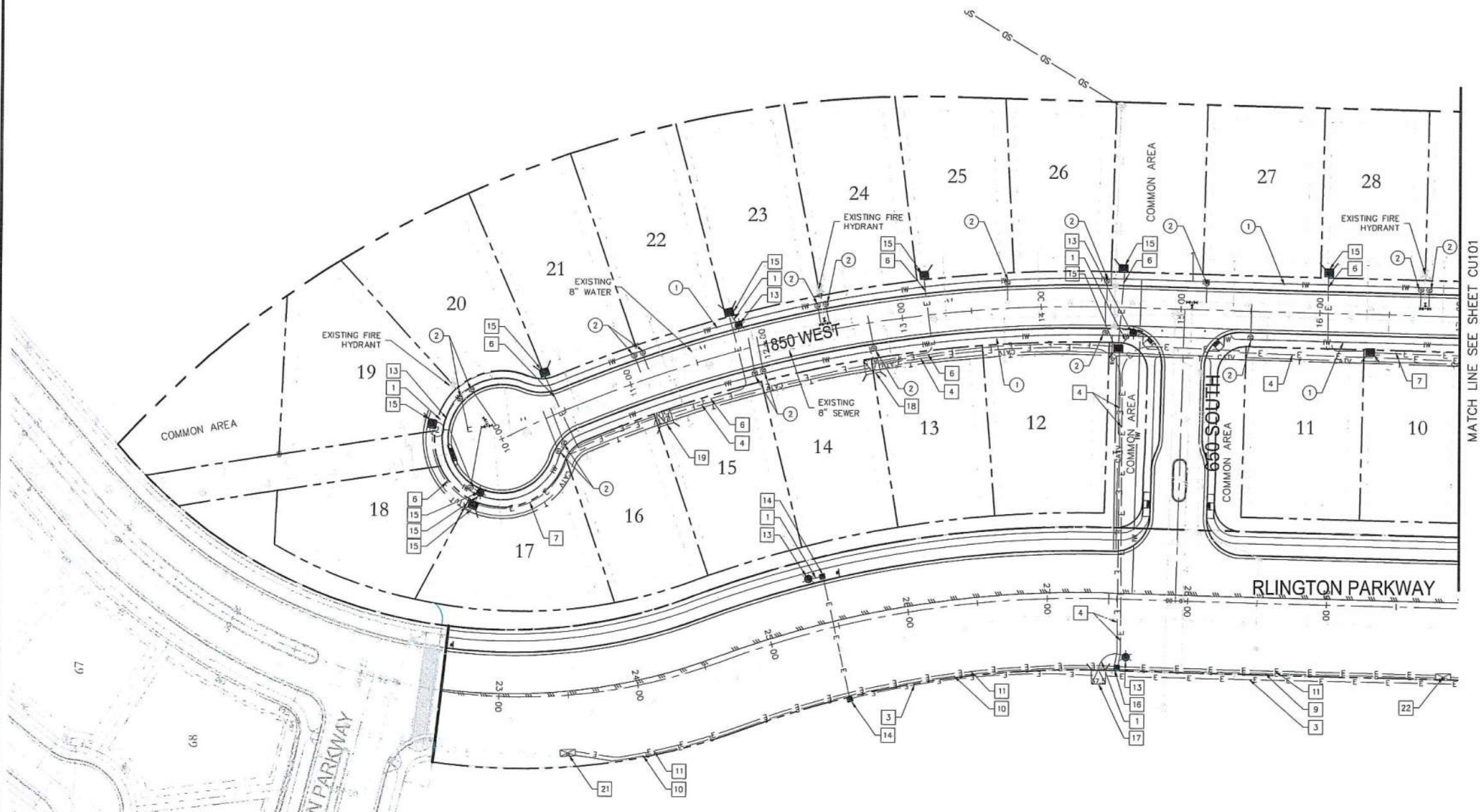
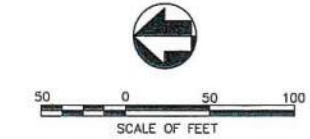
- INSTALL 6" HDPE PRESSURIZED IRRIGATION
- REPLACE EXISTING WATER SERVICE LATERAL WITH 3/4" COPPER WATER SERVICE LATERAL PER HURRICANE CITY STANDARDS SEE DETAIL.
- PREPARE TRENCH FOR DRY UTILITIES TO BE INSTALLED BY OTHERS SEE DETAIL.
- GAS LINE TO BE INSTALLED BY OTHERS

(X) POWER KEYED NOTES:

- INSTALL 1" PVC WITH NO. 10 COPPER
- INSTALL 2" PVC WITH NO. 4 TRIPEX
- INSTALL 2" PVC WITH 1-0 TRIPEX
- INSTALL 2.5" PVC WITH 1-0 15KV
- INSTALL 2.5" PVC FOR FUTURE
- INSTALL 3" PVC WITH 350 MCM TRIPEX
- INSTALL 3" PVC WITH 500 MCM TRIPEX
- INSTALL 4" PVC WITH 1-0 15KV THREE PHASE
- INSTALL 4" PVC WITH 4-0 15KV THREE PHASE
- INSTALL 4" PVC FOR FUTURE
- INSTALL 6" PVC WITH 750 MCM 15KV THREE PHASE
- INSTALL 6" PVC FOR FUTURE
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- INSTALL THREE PHASE VAULT
- INSTALL 25KVA TRANSFORMER
- INSTALL 37.5KVA TRANSFORMER
- INSTALL 50KVA TRANSFORMER
- INSTALL 75KVA TRANSFORMER
- INSTALL PMH-11 SWITCH
- INSTALL PMH-9 SWITCH

LEGEND

- EXISTING SEWER MAIN
- EXISTING 8" SOR-21 CLASS 200 PVC CULINARY WATER PIPE
- EXISTING STORM DRAIN
- EXISTING SEWER MANHOLE
- EXISTING HYDRANT W/VALVE
- EXISTING WATER VALVE & TEE
- EXISTING 3/4" WATER LATERAL WITH METER
- EXISTING SEWER LATERAL
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN CURB INLET
- PROPOSED STORM DRAIN DOUBLE CURB INLET
- CATV PROPOSED CABLE TV
- T PROPOSED TELEPHONE
- G PROPOSED GAS
- IW PROPOSED IRRIGATION
- E E E PROPOSED UNDERGROUND POWER
- SECONDARY FEEDER
- TRANSFORMER
- SWITCH PAD
- VAULT/STREETLIGHT BOX
- STREET LIGHT
- PARCEL BOUNDARY
- LOT BOUNDARY
- ROAD CENTERLINE
- BUILDING SETBACK
- FLOW & SLOPE
- 231 LOT NUMBER



DATE	
REVISION DESCRIPTION	
NO.	
<p>8/11/2020</p>	
SUBMITTAL	8/11/20
DRAWN BY:	
CHECKED BY:	
APPROVED BY:	
<p>PSOMAS Balancing the Natural and Built Environment 4179 Riverboat Road, Suite 200 Salt Lake City, UT 84123 (801) 270-5777 (801) 270-5782 fax www.psomas.com</p>	
<p>ZION VISTA PHASE 2 FINAL SITE PLAN REVIEW</p>	
<p>UTILITY PLAN - SEWER, WATER & POWER</p>	
<p>CU100</p>	

WATER NOTES:

1. ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF HURRICANE STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE UNIFORM PLUMBING CODE", AND "THE UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF HURRICANE.
2. CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
3. THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW PER THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 608.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (IPC) 608.16.4.
4. 14 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
5. THURST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. USE MEGA-LUG ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.
6. ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
7. CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UNUSED STUB LINES THAT WILL BE ABANDONED.
8. ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE CITY OF HURRICANE WATER SERVICES.
9. ALL WATER VALVE INSTALLED TO SERVICE THE SITE SHALL BE FIELD TESTED AND REPLACED IF NECESSARY.
10. ALL PIPES SHALL BE PRESSURE TESTED AND CHLORINATED.

GENERAL NOTES
(ALSO SEE CONSTRUCTION NOTES ON SHEET 2)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
3. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
4. ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
5. SEE GRADING AND DRAINAGE SHEETS FOR STORM DRAIN DATA.
6. NO BASEMENTS WHERE SEWER IS LESS THAN 9' FEET BELOW PROPOSED GROUND SURFACE.
7. SEWER LATERALS TO BE 15' BEHIND BACK OF WALL.
8. ALL PVC PIPE THAT HAS BEEN EXPOSED TO SUN SHALL BE REPLACED.

HURRICANE CITY POWER NOTES:

1. DEVELOPER RESPONSIBLE FOR ALL COSTS, UNLESS OTHERWISE STATE ON PRINT.
2. ONLY A PRE-APPROVED CONTRACTOR SHALL WORK ON AND INSTALL ANY PART OF THE ELECTRICAL SYSTEM.
3. PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. 435-635-5536.
4. LINES ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE POWER SPECS.
5. EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
6. NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
7. ALL CONDUITS TO BE FORMED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
8. ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
9. THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH, ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
10. DEVELOPER WILL BE BILLED A TERMINATION FEE OF \$99.00 PER PRIMARY ELBOW TERMINATIONS.
11. HURRICANE POWER HAS CHANGED OUR STREETLIGHT SPEC. TO LED'S. SEE HURRICANE POWER FOR NEW SPEC.
12. FINISH INSTALLING ALL STREET LIGHTS ALONG RNLINGTON PARKWAY AND ALONG 1760 WEST. MATCH EXISTING STREET LIGHTS.
13. ALL UNDERGROUND POWER LINES WILL NEED TO BE ALONGSIDE A PERMANENT ROADWAY AND THE POWER LINE NEEDS TO BE INSTALLED ON THE WEST AND NORTH SIDE OF THE ROAD.
14. DEVELOPER WILL BE BILLED \$1083.00 FOR SWITCH MAKE-UP FEE FOR EACH SWITCH THAT HAS BEEN INSTALLED.
15. DEVELOPER WILL BE BILLED \$1690.00 FUSE BAY FEE FOR EACH 3-PHASE FUSE BAY USED.

WATER PROVIDED BY
HURRICANE CITY
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

NATURAL GAS PROVIDED BY
DOMINION ENERGY
1155 EAST 350 NORTH
ST. GEORGE, UTAH 84770
(435) 673-7514

TELEPHONE PROVIDED BY
CENTURYLINK COMMUNICATIONS
596 N. 1400 E. (TRAILER)
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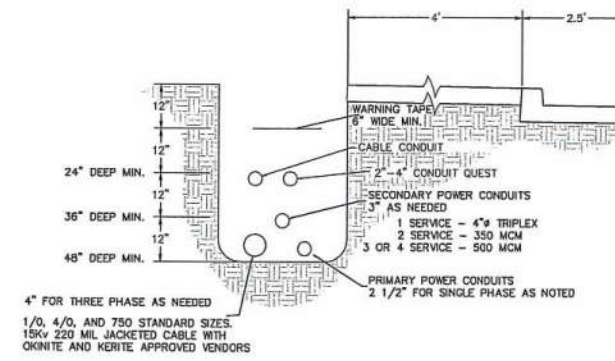
DEVELOPER:
RR PANGA
3507 KIRK CIRCLE
SALT LAKE CITY, UT 84106

CIVIL ENGINEER:
PSOMAS
4179 RIVERBOAT ROAD
SUITE 200
SALT LAKE CITY, UT 84106
CONTACT: LESLIE MORTON
801-284-1331

UTILITY SEPARATION

- WATER TO PHONE LINES/CABLE TV- 5 FT.
- GAS TO WATER OR WASTEWATER- 5 FT.
- WATER TO POWER- 10 FT.
- WATER TO IRRIGATION- 5 FT.
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- GAS TO POWER- 3 FT.

WATER PROVIDED BY
HURRICANE CITY
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811



JOINT UTILITIES TRENCH DETAIL

CONSTRUCTION NOTES:

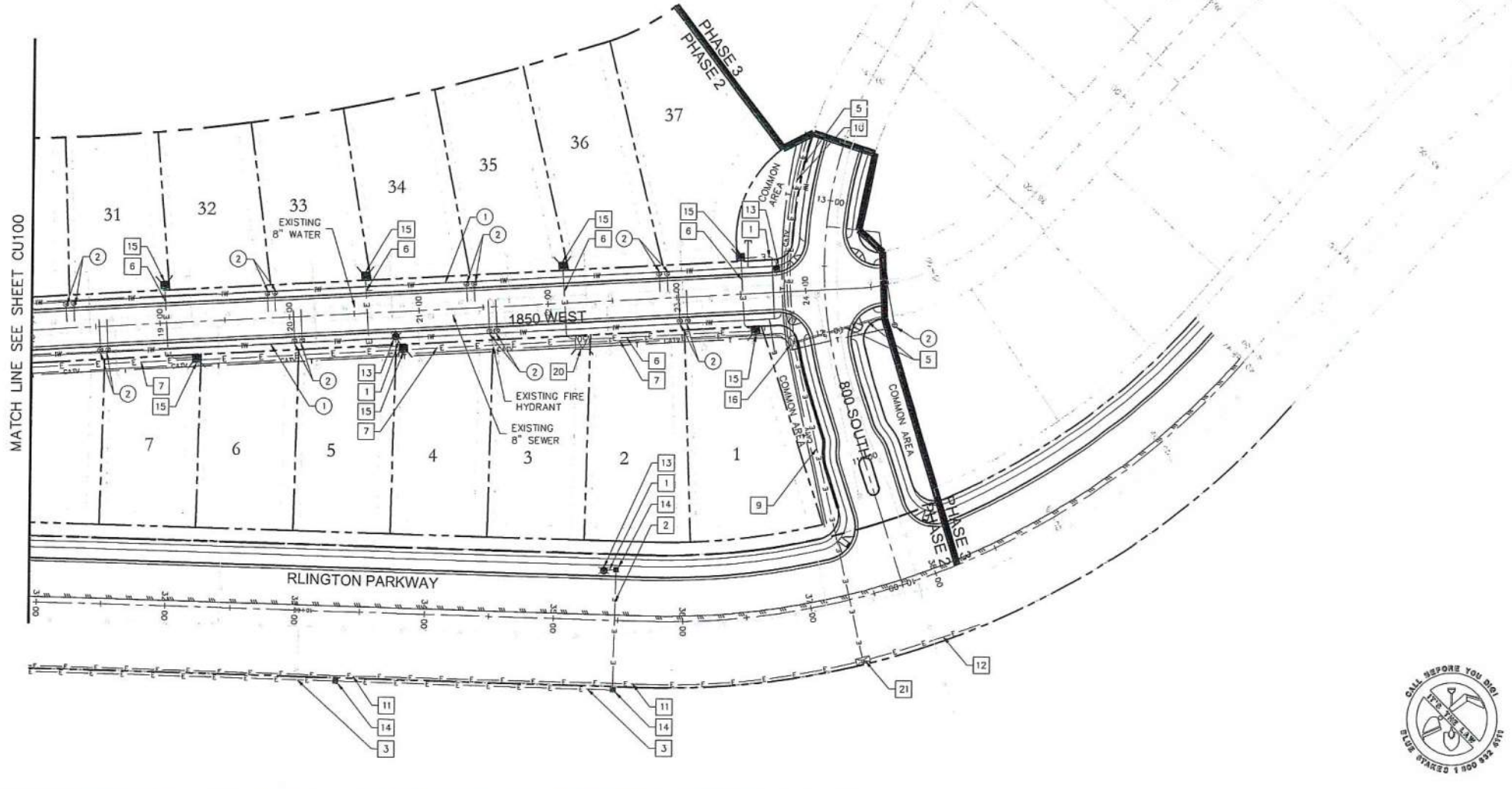
1. INSTALL 6" HDPE PRESSURIZED IRRIGATION
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3. PREPARE TRENCH FOR DRY UTILITIES TO BE INSTALLED BY OTHERS SEE DETAIL
4. GAS LINE TO BE INSTALLED BY OTHERS

POWER KEYED NOTES:

1. INSTALL 1" PVC WITH NO. 10 COPPER
2. INSTALL 2" PVC WITH NO. 4 TRIPEX
3. INSTALL 2" PVC WITH 1-0 TRIPEX
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5. INSTALL 2.5" PVC FOR FUTURE
6. INSTALL 3" PVC WITH 350 MCM TRIPEX
7. INSTALL 3" PVC WITH 500 MCM TRIPEX
8. INSTALL 4" PVC WITH 1-0 15KV THREE PHASE
9. INSTALL 4" PVC WITH 4-0 15KV THREE PHASE
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11. INSTALL 6" PVC WITH 750 MCM 15KV THREE PHASE
12. INSTALL 6" PVC FOR FUTURE
13. INSTALL STREETLIGHT
14. INSTALL STREETLIGHT BOX
15. INSTALL SECONDARY BOX
16. INSTALL THREE PHASE VAULT
17. INSTALL 25KVA TRANSFORMER
18. INSTALL 37.5KVA TRANSFORMER
19. INSTALL 50KVA TRANSFORMER
20. INSTALL 75KVA TRANSFORMER
21. INSTALL PMH-11 SWITCH
22. INSTALL PMH-9 SWITCH

LEGEND

- (Symbol) EXISTING SEWER MAIN
- (Symbol) EXISTING 8" SDR-21 CLASS 200 PVC CULINARY WATER PIPE
- (Symbol) EXISTING STORM DRAIN
- (Symbol) EXISTING SEWER MANHOLE
- (Symbol) EXISTING HYDRANT W/VALVE
- (Symbol) EXISTING WATER VALVE & TEE
- (Symbol) EXISTING 3/4" WATER LATERAL WITH METER
- (Symbol) EXISTING SEWER LATERAL
- (Symbol) EXISTING STORM DRAIN MANHOLE
- (Symbol) EXISTING STORM DRAIN CURB INLET
- (Symbol) PROPOSED STORM DRAIN DOUBLE CURB INLET
- (Symbol) PROPOSED CABLE TV
- (Symbol) PROPOSED TELEPHONE
- (Symbol) PROPOSED GAS
- (Symbol) PROPOSED IRRIGATION
- (Symbol) PROPOSED UNDERGROUND POWER
- (Symbol) SECONDARY FEEDER
- (Symbol) TRANSFORMER
- (Symbol) SWITCH PAD
- (Symbol) VAULT/STREETLIGHT BOX
- (Symbol) STREET LIGHT
- (Symbol) PARCEL BOUNDARY
- (Symbol) LOT BOUNDARY
- (Symbol) ROAD CENTERLINE
- (Symbol) BUILDING SETBACK
- (Symbol) FLOW & SLOPE
- (Symbol) LOT NUMBER



	REVISION DESCRIPTION	DATE
	NO.	
	<p style="font-weight: bold; font-size: 1.2em;">SUBMITTAL</p> DRAWN BY: CHECKED BY: APPROVED BY: PLOT DATE: 8/11/20	
<p style="font-weight: bold; font-size: 1.5em;">PSOMAS</p> Balancing the Natural and Built Environment 4179 Riverboat Road, Suite 200 Salt Lake City, UT 84123 (801) 270-5777 (801) 270-5782 fax www.psomas.com		
<p style="font-weight: bold; font-size: 1.2em;">ZION VISTA PHASE 2</p> <p style="font-weight: bold; font-size: 1.1em;">FINAL SITE PLAN REVIEW</p>		PROJECT NUMBER: 88CLO10200 UTILITY PLAN - SEWER, WATER & POWER
CU101		

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GENERAL NOTES
(ALSO SEE CONSTRUCTION NOTES ON SHEET 2)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
3. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
4. ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
5. SEE GRADING AND DRAINAGE SHEETS FOR STORM DRAIN DATA.
6. NO BASEMENTS WHERE SEWER IS LESS THAN 9' FEET BELOW PROPOSED GROUND SURFACE.

TELEPHONE NOTES (CENTURYLINK):

1. CENTURYLINK WILL PROVIDE ALL 2" AND 4" PVC AND WILL DELIVER IT TO THE SITE. PLEASE CALL 313-1388 TO SCHEDULE DELIVERY.
2. THE DEVELOPER IS RESPONSIBLE TO PLACE ALL PVC AS NOTED, IN THE DEVELOPER PROVIDED TRENCH. ALL PVC IS 2" UNLESS OTHERWISE NOTED.
3. THE DEVELOPER IS TO PROVIDE ALL STREET NAMES AND LOT ADDRESSES WITHIN TWO WEEKS OF UTILITY PLAN APPROVAL.
4. FAILURE TO COMPLY WITH THE ABOVE NOTES COULD RESULT IN DELAY OF SERVICE TO THIS PROJECT. CONTACT TACH MATHIAS (CENTURYLINK ENG. 673-5859) WITH QUESTIONS.
5. CONTRACTOR TO INSTALL PULL TAPE IN ALL NEW CONDUIT.
6. CONTRACTOR TO COORDINATE WITH PHONE COMPANY TO VERIFY EACH UNIT HAS PHONE SERVICE.

CABLE NOTES (TDS):

1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
2. TDS WILL PROVIDE CONDUITS. PLEASE CONTACT DAVID AT 435-703-8932 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
3. ANY QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO DAVID TRAUTMANN WITH TDS AT 435-703-8932.
4. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

NATURAL GAS NOTES (DOMINION ENERGY)

1. DEVELOPER NEEDS TO CONTACT BECKY MARCHAL AT 674-6116 QUESTAR'S GAS MARKETING DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP.
2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPER'S EXPENSE.
3. IF CASINGS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT HIS/HER COST. A MAP WILL BE AVAILABLE AT QUESTAR GAS FOR CASINO LOCATIONS. (1155 E. 350 N).
4. ALL OF THE 10' UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED.
5. *****DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION*****
6. ALL TRENCHES SHALL BE BACK FILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
7. PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY THE DEVELOPER.
8. GAS STRUB-IN DRIVEWAY LOCATIONS (HIGH SIDE OF LOTS). 1 STUB PER LOT.
9. GAS MUST BE INSTALLED UNDER SIDEWALK AS SHOWN.
10. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF SERVICE TO THIS PROJECT. CONTACT SCOTT 335-674-8154 FOR SCHEDULING.

*****IMPORTANT NOTICE*****

GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED. STREETS ARE TO BE WITHIN 6" OF SUBGRADE AND THE 10' UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.

UTILITY SEPARATION

- WATER TO PHONE LINES/CABLE TV- 5 FT.
- GAS TO WATER OR WASTEWATER- 5 FT.
- WATER TO POWER- 10 FT.
- WATER TO IRRIGATION- 5 FT.
- WATER TO WASTEWATER- 10 FT. HORIZONTAL AND 18 INCHES VERTICAL
- GAS TO POWER- 3 FT.

WATER PROVIDED BY HURRICANE CITY
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

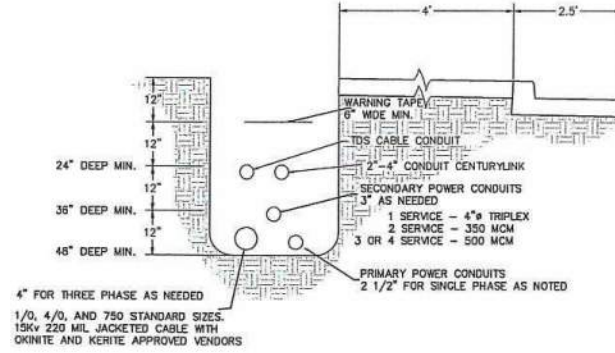
NATURAL GAS PROVIDED BY DOMINION ENERGY
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ST. GEORGE, UTAH 84770
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TELEPHONE PROVIDED BY CENTURYLINK COMMUNICATIONS
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ST. GEORGE, UTAH 84770
(435) 673-9639

POWER PROVIDED BY HURRICANE CITY POWER SERVICES
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

DEVELOPER:
RR PENGA
3507 KIRK CIRCLE
SALT LAKE CITY, UT 84106

CIVIL ENGINEER:
PSOMAS
4179 RIVERBOAT ROAD
SUITE 200
SALT LAKE CITY, UT 84106
CONTACT: LESLIE MORTON
801-284-1331



JOINT UTILITIES TRENCH DETAIL

(X) CONSTRUCTION NOTES:

1. INSTALL 6" HOPE PRESSURIZED IRRIGATION
2. REPLACE EXISTING WATER SERVICE LATERAL WITH 3/4" COPPER WATER SERVICE LATERAL PER HURRICANE CITY STANDARDS SEE DETAIL
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LEGEND

- EXISTING SEWER MAIN
- EXISTING 8" SDR-21 CLASS 200 PVC CULINARY WATER PIPE
- EXISTING STORM DRAIN
- EXISTING SEWER MANHOLE
- EXISTING HYDRANT W/VALVE
- EXISTING WATER VALVE & TEE
- EXISTING 3/4" WATER LATERAL WITH METER
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- SECONDARY FEEDER
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- PARCEL BOUNDARY
- LOT BOUNDARY
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8/11/2020

NO.	REVISION DESCRIPTION	DATE

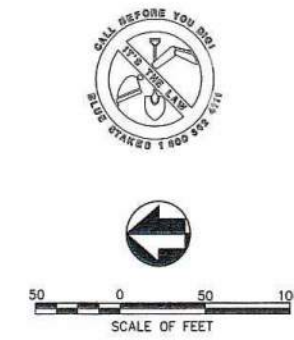
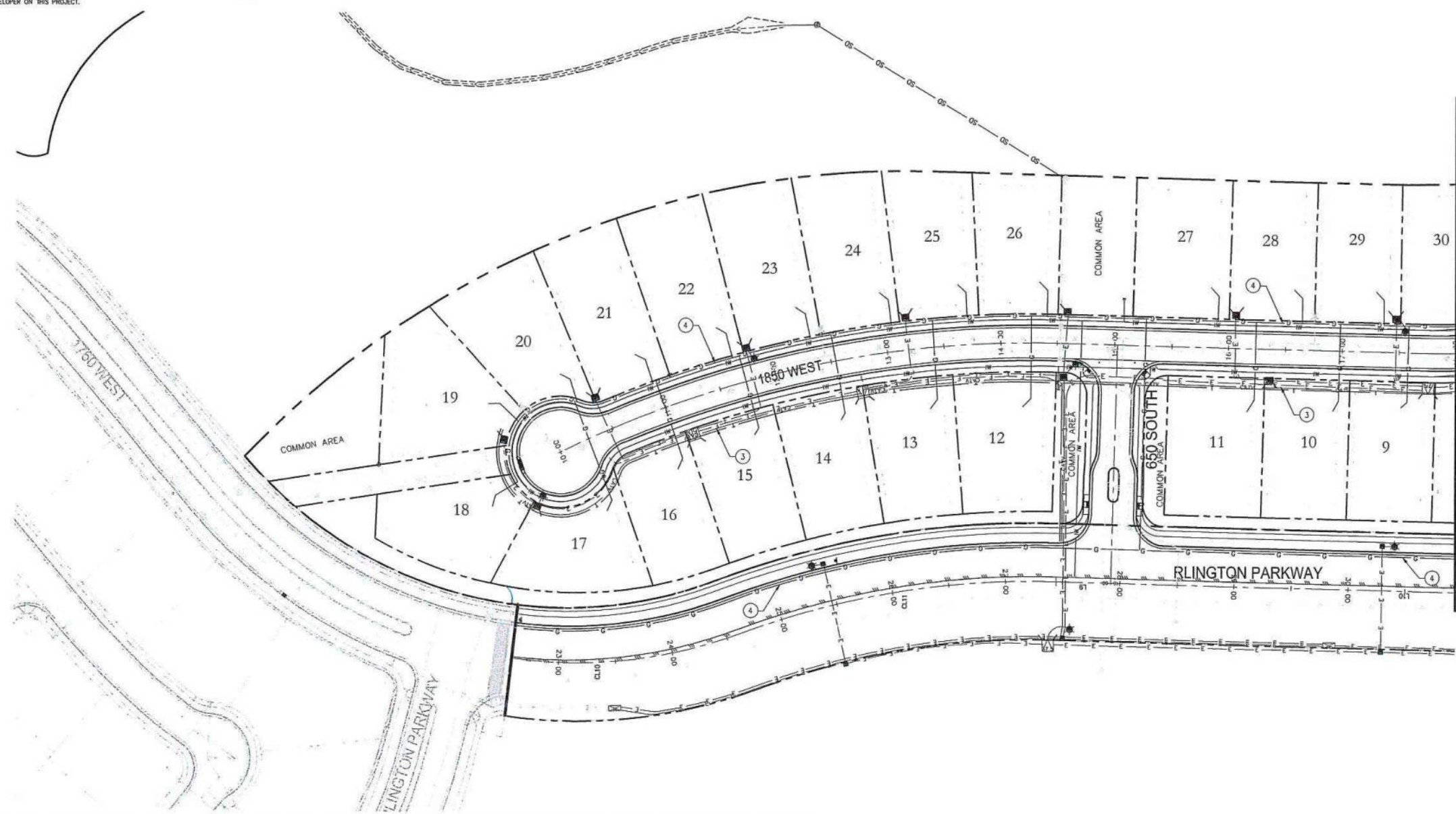
PSOMAS
Balancing the Natural and Built Environment
4179 Riverboat Road, Suite 200
Salt Lake City, UT 84123
(801) 270-5777 (801) 270-5782 fax
www.psomas.com

PROJECT NUMBER: 88C010200

8/11/20

ZION VISTA PHASE 2
FINAL SITE PLAN REVIEW
UTILITY PLAN - CABLE, GAS & TELEPHONE

CU102



GENERAL NOTES

(ALSO SEE CONSTRUCTION NOTES ON SHEET 2)

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
3. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
4. ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
5. SEE GRADING AND DRAINAGE SHEETS FOR STORM DRAIN DATA.
6. NO BASEMENTS WHERE SEWER IS LESS THAN 9' FEET BELOW PROPOSED GROUND SURFACE.

TELEPHONE NOTES (CENTURYLINK):

- 1. CENTURYLINK WILL PROVIDE ALL 2" AND 4" PVC AND WILL DELIVER IT TO THE SITE. PLEASE CALL 313-1389 TO SCHEDULE DELIVERY.
2. THE DEVELOPER IS RESPONSIBLE TO PLACE ALL PVC AS NOTED, IN THE DEVELOPER PROVIDED TRENCH. ALL PVC IS 2" UNLESS OTHERWISE NOTED.
3. THE DEVELOPER IS TO PROVIDE ALL STREET NAMES AND LOT ADDRESSES WITHIN TWO WEEKS OF UTILITY PLAN APPROVAL.
4. FAILURE TO COMPLY WITH THE ABOVE NOTES COULD RESULT IN DELAY OF SERVICE TO THIS PROJECT. CONTACT ZACH MATTHEWS (CENTURYLINK ENG. 673-9639) WITH QUESTIONS.
5. CONTRACTOR TO INSTALL PULL TAPE IN ALL NEW CONDUIT.
6. CONTRACTOR TO COORDINATE WITH PHONE COMPANY TO VERIFY EACH UNIT HAS PHONE SERVICE.

CABLE NOTES (TDS):

- 1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
2. TDS WILL PROVIDE CONDUITS. PLEASE CONTACT DAVID AT 435-703-8932 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
3. ANY QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO DAVID TRAUTNITZ WITH TDS AT 435-703-8932.
4. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
5. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

NATURAL GAS NOTES (DOMINION ENERGY)

- 1. DEVELOPER NEEDS TO CONTACT BECKY MARCHEL AT 674-6116 QUESTAR'S GAS MARKETING DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP.
2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPER'S EXPENSE.
3. IF CASINGS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT HIS/HER COST. A MAP WILL BE AVAILABLE AT QUESTAR GAS FOR CASINGS LOCATIONS. (1155 E. 350 N).
4. ALL OF THE 10' UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED.
5. *****DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION*****
6. ALL TRENCHES SHALL BE BACK FILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
7. PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY THE DEVELOPER.
8. GAS STUB-IN DRIVEWAY LOCATIONS (HIGH SIDE OF LOTS). 1 STUB PER LOT.
9. GAS MUST BE INSTALLED UNDER SIDEWALK AS SHOWN.
10. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF SERVICE TO THIS PROJECT. CONTACT SCOTT 435-674-8194 FOR SCHEDULING.

IMPORTANT NOTICE

GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED. STREETS ARE TO BE WITHIN 6" OF SUBGRADE AND THE 10' UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.

UTILITY SEPARATION

- WATER TO PHONE LINES/CABLE TV- 5 FT.
- GAS TO WATER OR WASTEWATER- 5 FT.
- WATER TO POWER- 10 FT.
- WATER TO IRRIGATION- 5 FT.
- WATER TO WASTEWATER- 10 FT. HORIZONTAL AND 18 INCHES VERTICAL.
- GAS TO POWER- 3 FT.

WATER PROVIDED BY HURRICANE CITY
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

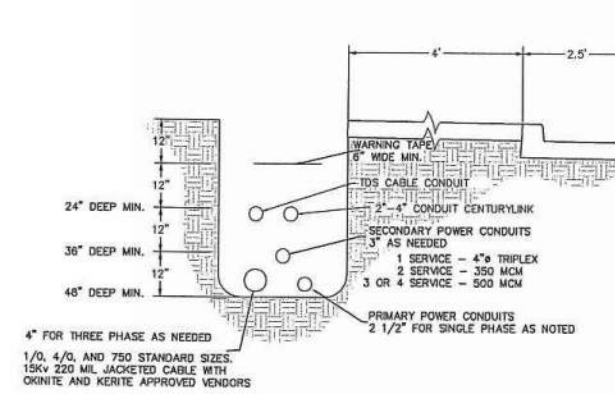
NATURAL GAS PROVIDED BY DOMINION ENERGY
1155 EAST 350 NORTH
ST. GEORGE, UTAH 84770
(435) 673-7514

TELEPHONE PROVIDED BY CENTURYLINK COMMUNICATIONS
596 N. 1400 E. (TRAILER)
ST. GEORGE, UTAH 84770
(435) 673-9639

POWER PROVIDED BY HURRICANE CITY POWER SERVICES
147 NORTH 870 WEST
HURRICANE, UT 84737
(435) 635-2811

DEVELOPER:
RR PENGA
3507 KIRK CIRCLE
SALT LAKE CITY, UT 84106

CIVIL ENGINEER:
PSOMAS
4179 RIVERBOAT ROAD
SUITE 200
SALT LAKE CITY, UT 84106
CONTACT: LESLIE MORTON
801-284-1331



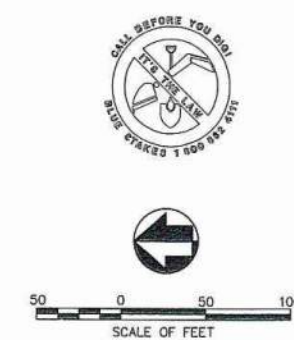
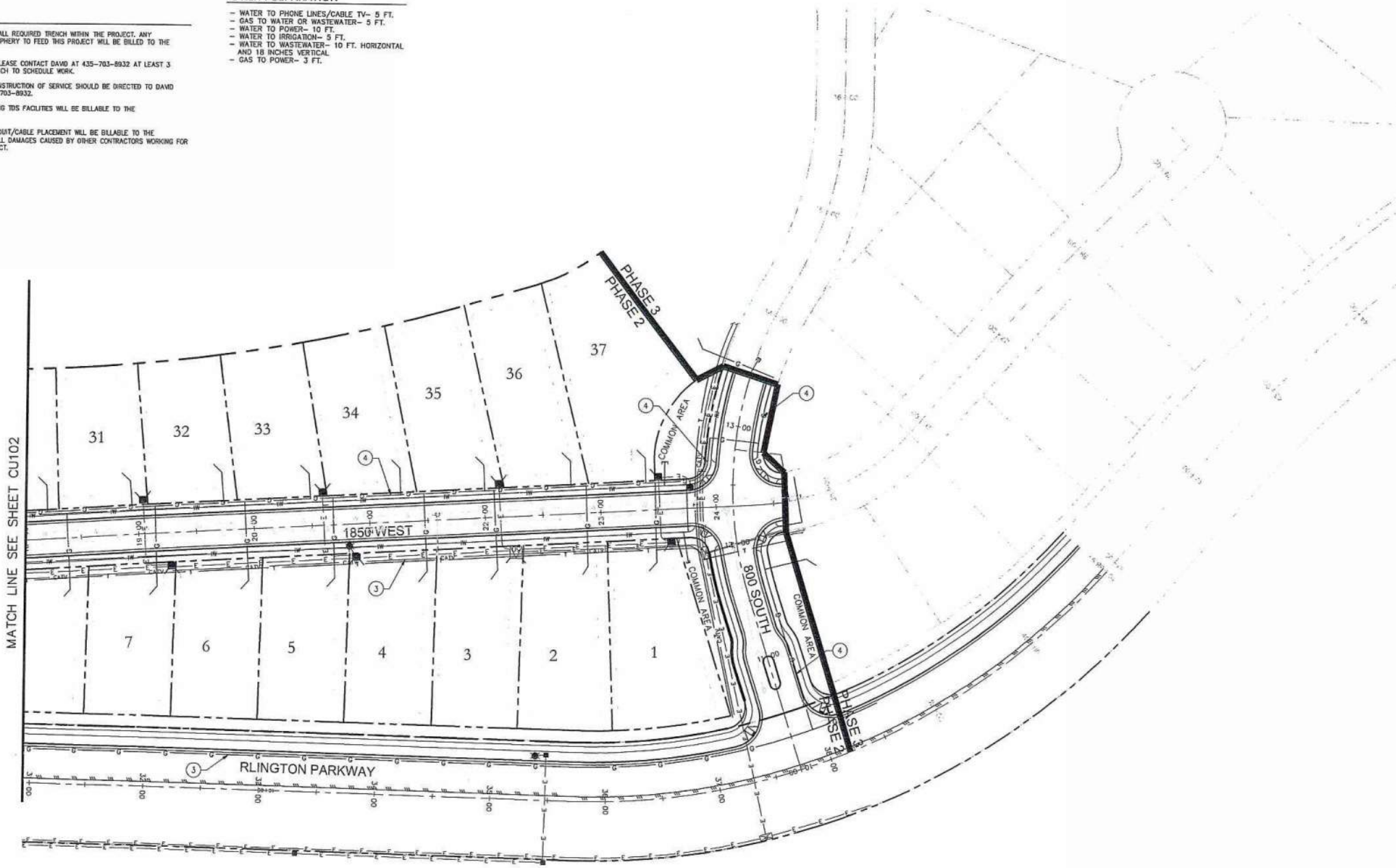
JOINT UTILITIES TRENCH DETAIL

CONSTRUCTION NOTES:

- 1. INSTALL 6" HDPE PRESSURIZED IRRIGATION
2. REPLACE EXISTING WATER SERVICE LATERAL WITH 3/4" COPPER WATER SERVICE LATERAL PER HURRICANE CITY STANDARDS SEE DETAIL
3. PREPARE TRENCH FOR DRY UTILITIES TO BE INSTALLED BY OTHERS SEE DETAIL
4. GAS LINE TO BE INSTALLED BY OTHERS

LEGEND

- EXISTING SEWER MAIN
EXISTING 8" SDR-21 CLASS 200 PVC CULINARY WATER PIPE
EXISTING STORM DRAIN
EXISTING SEWER MANHOLE
EXISTING HYDRANT W/VALVE
EXISTING WATER VALVE & TEE
EXISTING 3/4" WATER LATERAL WITH METER
EXISTING SEWER LATERAL
EXISTING STORM DRAIN MANHOLE
EXISTING STORM DRAIN CURB INLET
PROPOSED STORM DRAIN DOUBLE CURB INLET
PROPOSED CABLE TV
PROPOSED TELEPHONE
PROPOSED GAS
PROPOSED IRRIGATION
PROPOSED UNDERGROUND POWER
SECONDARY FEEDER
TRANSFORMER
SWITCH PAD
VAULT/STREETLIGHT BOX
STREET LIGHT
PARCEL BOUNDARY
LOT BOUNDARY
ROAD CENTERLINE
BUILDING SETBACK
FLOW & SLOPE
LOT NUMBER



Professional Engineer seal for Leslie Morton, State of Utah, No. 44616. Project information: ZION VISTA PHASE 2 FINAL SITE PLAN REVIEW, UTILITY PLAN - CABLE, GAS & TELEPHONE, CU103. Includes submission and approval dates.

PRELIMINARY PLAT APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only: File No. <u>2020-PP-15</u> Receipt No. <u>7-659686</u>

Name: RR PENGA Telephone: 801-631-4998

Address: 3507 KIRK CIRCLE SALT LAKE CITY, UT 84106 Fax No. _____

Email: RHMAIL@COMCAST.NET Agent Email: LMORTON@PSOMAS.COM

Agent (If Applicable): PSOMAS Telephone: 801-270-5777

Address/Location of Subject Property: 1760 WEST RLINGTON PARKWAY

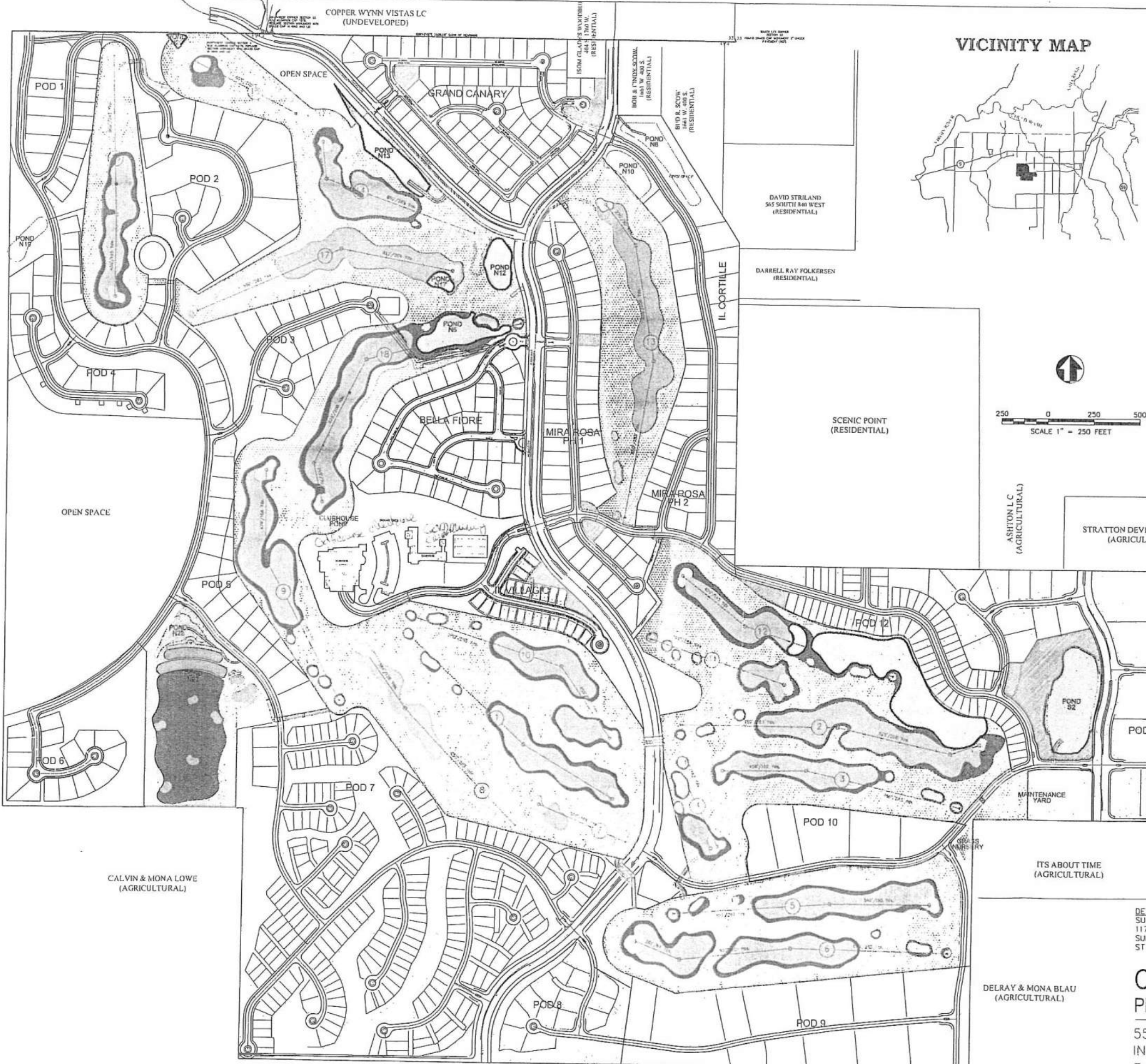
Tax ID of Subject Property: _____ Zone District: _____

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) _____
37 LOT SINGLE FAMILY SUBDIVISION

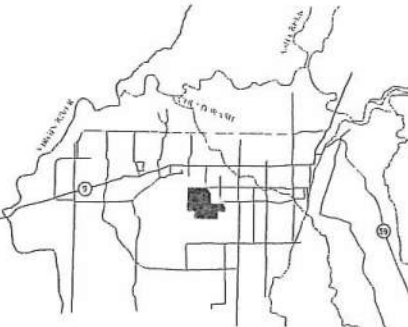
Submittal Requirements: The preliminary plat application shall provide the following:

- _____ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
 - a. The proposed name of the subdivision.
 - b. The location of the subdivision, including the address and section, township and range.
 - c. The names and addresses of the owner or subdivider, if other than the owner.
 - d. Date of preparation, and north point.
 - e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.

- _____ 2. Existing Conditions: The preliminary plat shall show:
 - a. The location of the nearest monument.
 - b. The boundary of the proposed subdivision and the acreage included.
 - c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
 - d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
 - e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
 - f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.



VICINITY MAP



COLLINA TINTA

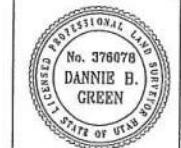
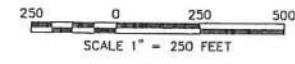
Collina Tinta Land Use Table

Name	Size (ac.)	# of Units	Type
Grande Canary	20.35	79	Single Family
Mira Rosa Phase 1	12.05	37	Single Family
Mira Rosa Phase 2	11.43	33	Single Family
Il Cortile	13.82	54	Multi Family Resort Rental
Bella Fiore	14.49	47	Single Family Gated/Rental
Il Villaggio	4.28	24	Single Family Resort Rental
Pod 1	9.2	15	Single Family
Pod 2	24.9	34	Single Family
Pod 3	11.1	19	Single Family Gated
Pod 4	10.1	18	Single Family Gated
Pod 5	9.1	16	Single Family
Pod 6	11.5	36	Multi Family Gated
Pod 7	39.0	231	Single Family Gated/Rental*
Pod 8	8.1	33	Multi Family
Pod 9	19.6	431	Multi Family
Pod 10	7.7	169	Multi Family Resort Rental
POD 11	25.2	540	Multi Family
POD 12	11.3	70	Single Family
Total	283.2	1886	

*Only portions of pod 7 will be Gated and/or Resort Rental

Collina Tinta Land Use Summary

	Size (ac.)	# of Units	% of Total Site
Total Single Family	197.3	623	
Total Multi Family	85.9	1263	
Clubhouse	12.4		
Commercial	1.0		
Total Open Space	262.4		47%
Golf Course	202.2		36%
Trails	16.5		3%
Parks and Lake	6.0		1%
Other Open Space	37.7		7%



DATE	JAN. 2008
SCALE	1" = 250' (-24X36)
PROJECT NO.	65DM010100

COLLINA TINTA
EXHIBIT
COLLINA TINTA
SITE PLAN
HURRICANE, UTAH

PSOMAS

1173 SOUTH 250 WEST, SUITE 308
ST GEORGE, UTAH, 84770
(435) 628-6912 (435) 674-0236 (FAX)

DEVELOPER:
SUMMIT-HURRICANE
1173 SOUTH 250 WEST
SUITE 310
ST GEORGE, UTAH 84770

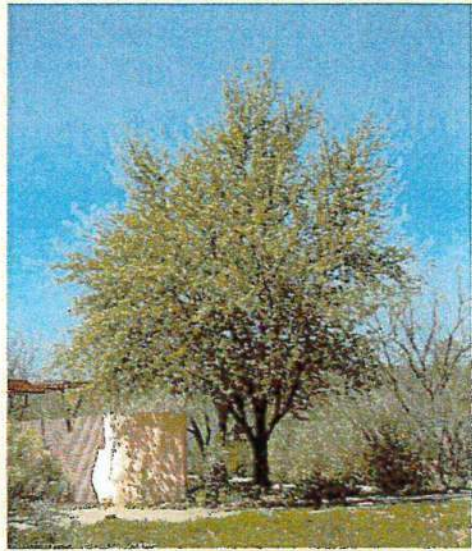
CIVIL ENGINEERS:
PSOMAS
1173 SOUTH 250 WEST
SUITE 308
ST GEORGE, UTAH 84770
(435) 628-6912

COLLINA TINTA
PLANNED DEVELOPMENT OVERLAY

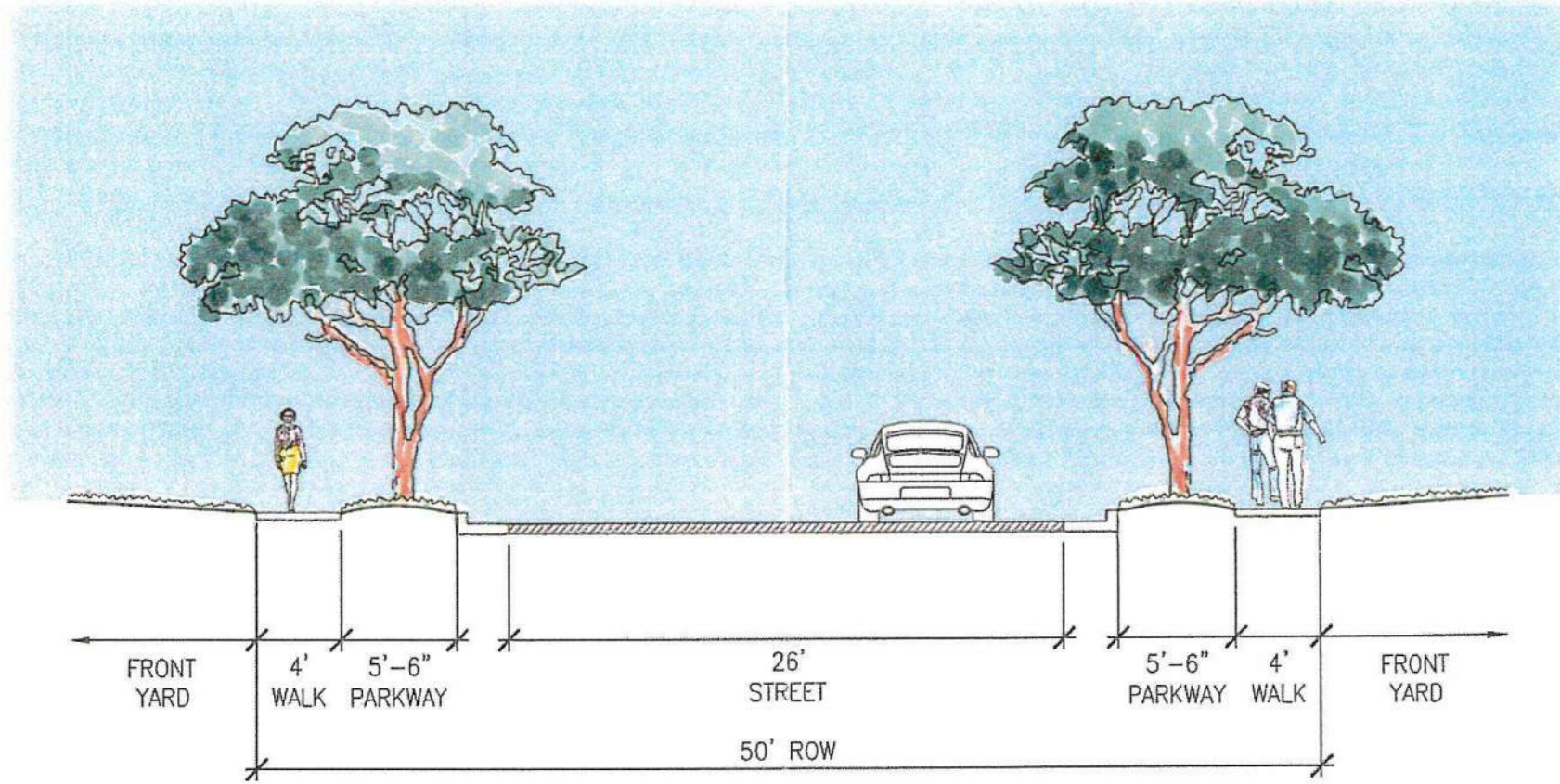
559.68 ACRES
IN SEC. 4 & 5, T. 32 S., R. 13 W.,
SALT LAKE BASE AND MERIDIAN.

DESIGNED	JCD
DRAWN	JCD
CHECKED	CRD
SHEET	
1	
OF	
1	

11a2



Quercus virginiana



scale: 1/8" = 1' - 0"

Collina Tinta
Landscape Street Sections

Residential Street

ima design

SUMMIT
DEVELOPMENT
& MANAGEMENT



Yucca glauca



Lagerstroemia indica



Cupressus glabra 'Silver Smoke'



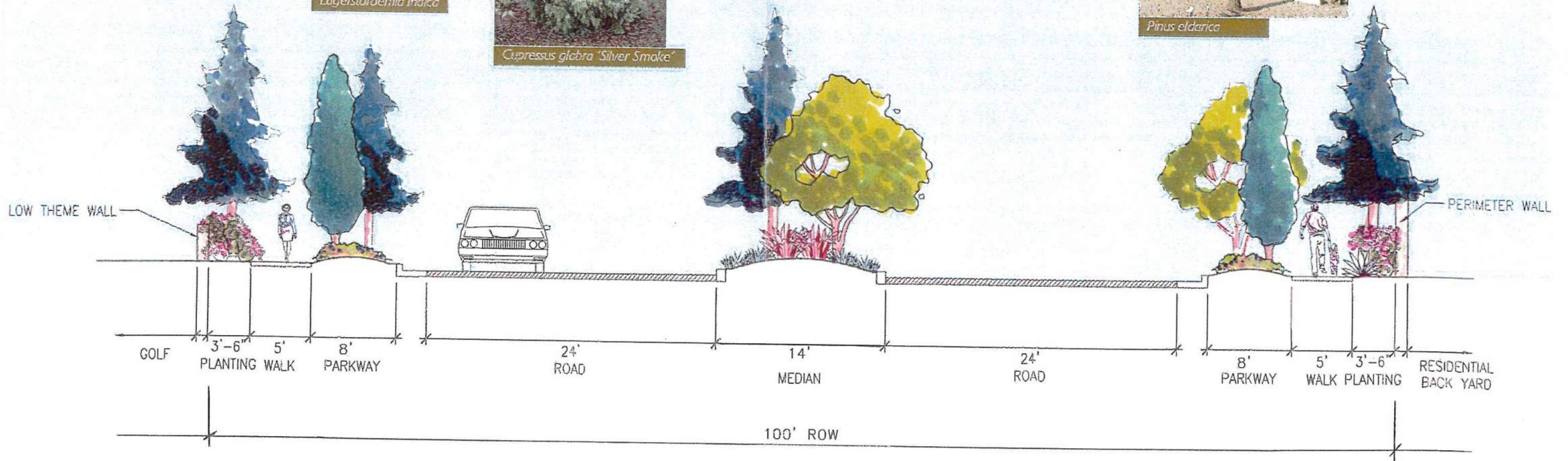
Thuja 'Green Giant'



Spiraea x bumalda 'Freibelli'



Pinus eldarica



scale: 1/8" = 1' - 0"

Collina Tinta
Landscape Street Sections

1760 Road

ima design

SUMMIT
DEVELOPMENT
& MANAGEMENT



Yucca glauca



Sedum x Brilliant



Lagerstroemia indica



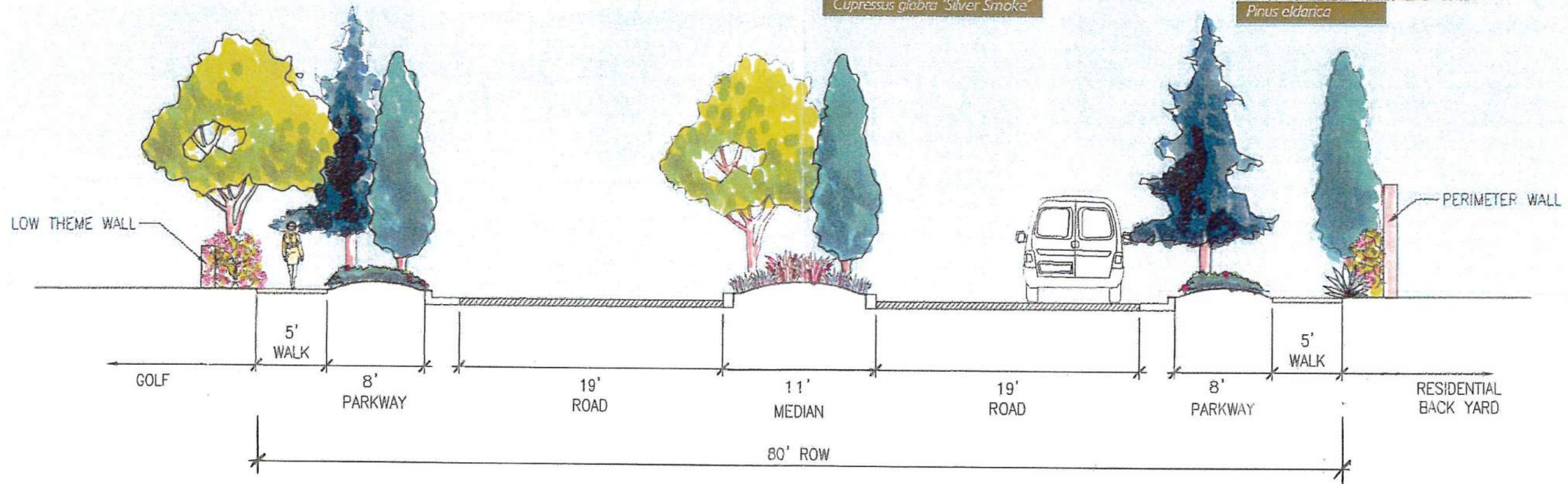
Cupressus glabra 'Silver Smoke'



Thuja 'Green Giant'



Pinus eldarica



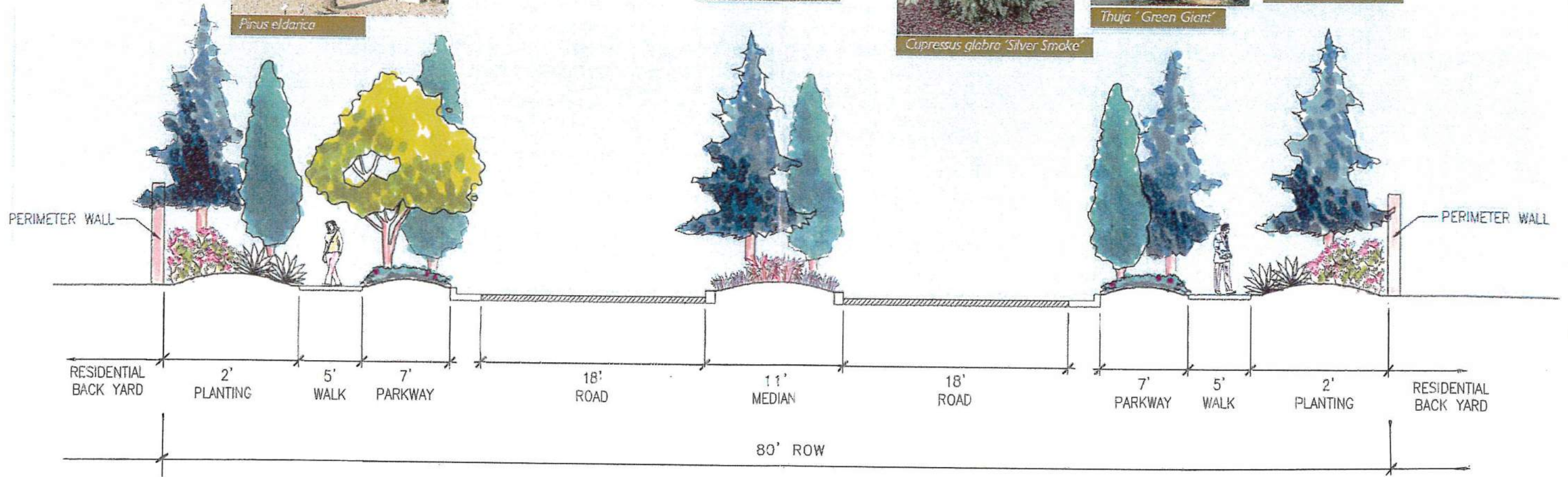
scale: 1/8" = 1' - 0"

Collina Tinta
Landscape Street Sections

Rlington Road

ima design

SUMMIT
DEVELOPMENT
& MANAGEMENT



scale: 1/8" = 1'-0"

Collina Tinta
Landscape Street Sections

1760 Road

ima design

SUMMIT
DEVELOPMENT
& MANAGEMENT

ZION VISTA

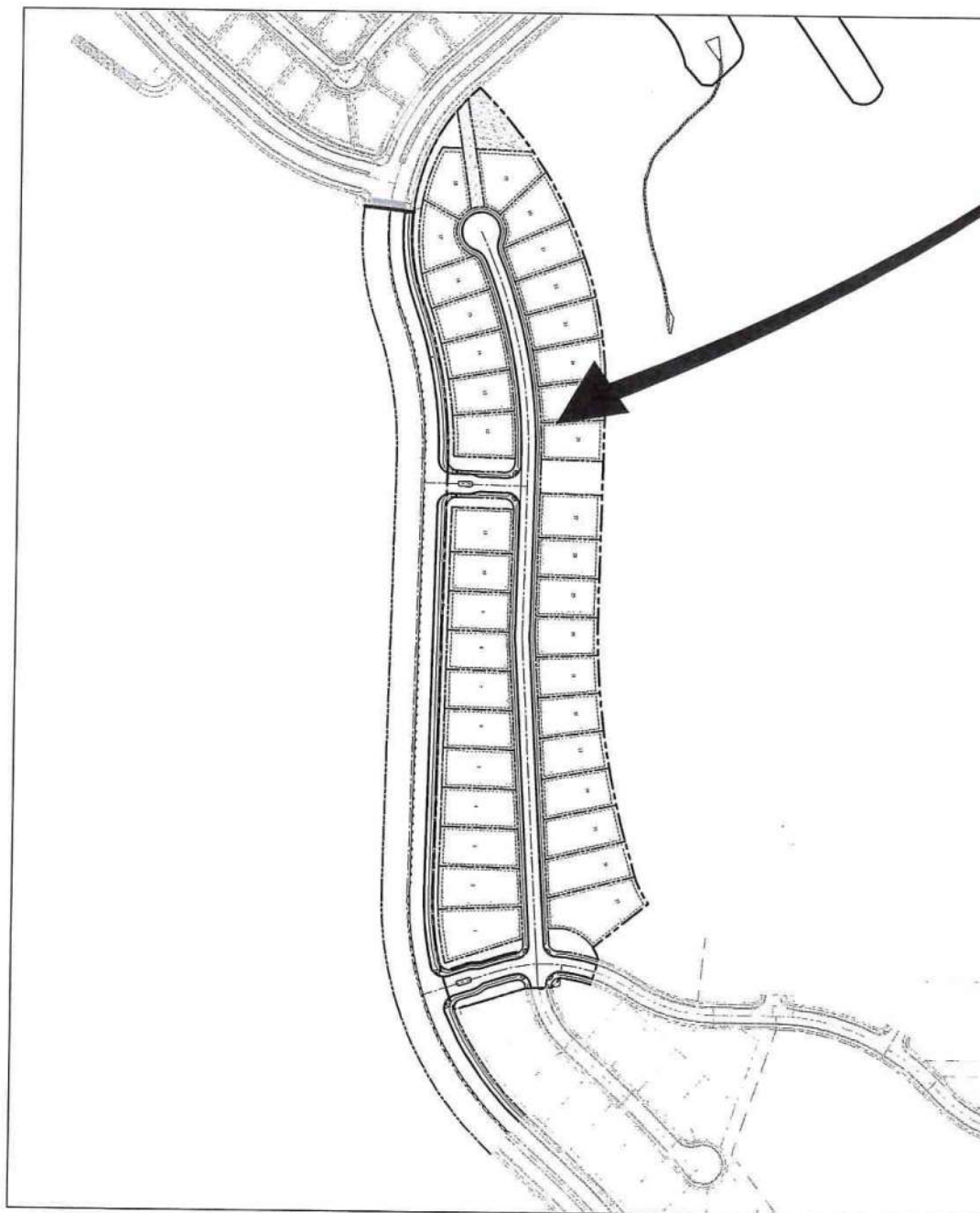
PHASE 2

PRELIMINARY PLAT REVIEW

LOCATED IN SECTION 4, TOWNSHIP 42 SOUTH, RANGE 13 WEST
SALT LAKE BASE AND MERIDIAN
IN THE CITY OF HURRICANE, WASHINGTON COUNTY, UTAH



VICINITY MAP
NOT TO SCALE



PROJECT MAP
NOT TO SCALE



NO.	REVISION DESCRIPTION	DATE



8/12/20	MWC	LHM	DG	8/11/20
SUBMITTAL	DRANN BY:	CHECKED BY:	APPROVED BY:	PLOT DATE:

PSOMAS
 Benefiting the Natural and Built Environment
 4179 Riverboat Road, Suite 200
 Salt Lake City, UT 84123
 (801) 270-5777 (801) 270-5782 fax
 www.psomas.com
 PROJECT NUMBER: BBL010200

ZION VISTA PHASE 2
 PRELIMINARY PLAT REVIEW
 COVER

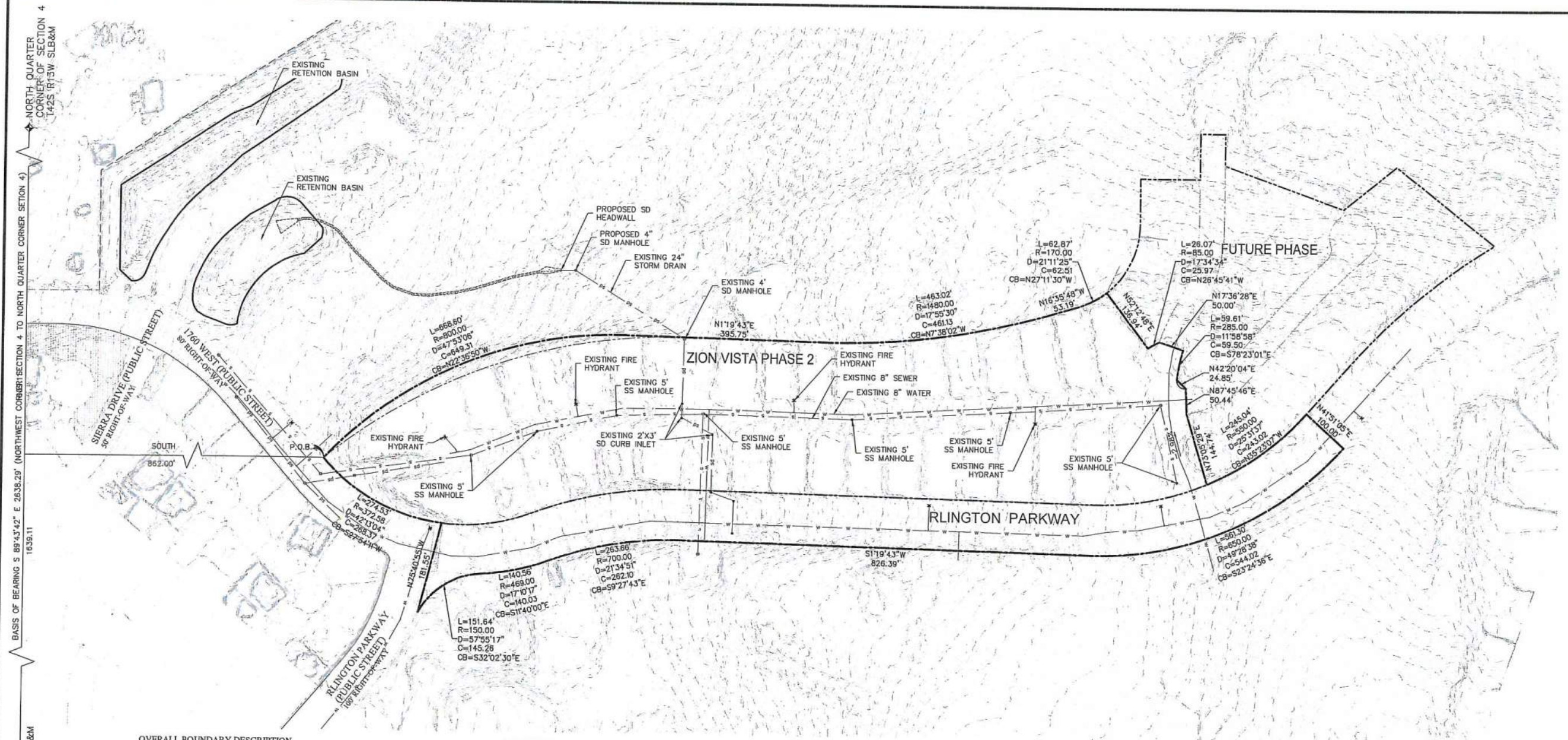
8/11/2020 11:25 PM U:\BBL010200\SURVEY\DRAWINGS\COVER.DWG MICHAEL COOK

DEVELOPER:
 RR PENA
 3507 KIRK CIRCLE
 SALT LAKE CITY, UT 84106

CIVIL ENGINEER:
 PSOMAS
 4179 RIVERBOAT ROAD, SUITE 200
 SALT LAKE CITY, UT 84106

SITE DATA :
 ZION VISTA PHASE 2
 TOTAL GROSS ACRES: 11.79
 TOTAL ROAD R.O.W.: 98,328 SQ. FT.
 BUILDING PAD AREA: 37 UNITS-301,641 SQ. FT.
 DENSITY: 3.1 UNITS/ACRE

8/11/2020 11:24 AM U:\BBL010200\SURVEY\DRAWINGS\EXISTING CONDITIONS-ZION VISTA PHASE 2.DWG MICHAEL COOK



OVERALL BOUNDARY DESCRIPTION

Commencing at the Northwest Corner of Section 4, Township 42 South, Range 13 West, Salt Lake Base and Meridian, then along the northerly line of said Section 4 South 89°43'42" East 1,639.11 feet; then along the northerly line of said Section 4 South 89°43'42" East 852.00 feet; then South 852.00 feet to the True Point of Beginning, said point being the beginning of an 800.00 foot radius curve to the right, from which a radial point bears South 43°26'37" West; then Southerly along the arc of said curve 668.60 feet, through a central angle of 47°53'06" (chord bears South 22°36'50" East 649.31 feet); then South 01°19'43" West 395.75 feet to a point on a 1480.00 foot radius curve to the left; then Southerly along said curve 463.02 feet through a central angle of 17°55'30" (chord bears South 07°38'02" East 461.13 feet); then South 16°35'48" East 53.19 feet to a point on a 170.00 foot radius curve to the left; then Southeasterly along said curve 62.87 feet through a central angle of 21°11'25" (chord bears South 27°11'30" East 62.51 feet); then South 52°12'48" West 136.94 feet to a point on a 85.00 foot radius curve to the right; then Southeasterly along said arc 26.07 feet through a central angle of 17°34'34" (chord bears South 28°45'41" East 25.97 feet); then South 17°36'28" West 50.00 feet to a point on a non-tangent 285.00 foot radius curve to the left, from which a radius point bears South 17°36'28" West; then along said curve 59.61 feet through a central angle of 11°28'58" (chord bears North 78°23'01" West 59.50 feet); then South 42°20'04" West 24.85 feet; then South 87°45'46" West 50.44 feet; then South 73°05'29" West 144.74 feet to a point on a non-tangent 550.00 foot radius curve to the left, from which a radius point bears North 67°22'42" East; then along said curve 245.04 feet through a central angle of 25°31'37" (chord bears South 35°23'07" East 243.02 feet); then radial to said curve South 41°51'05" West 100.00 feet to a point on a non-tangent 650.00 foot radius curve to the right, from which a radius point bears North 41°51'05" East; then along said curve 561.30 feet through a central angle of 49°28'38" (chord bears North 23°24'36" West 544.02 feet); then North 01°19'43" East 826.39 feet to a point on a 700.00 radius curve to the left; then Northerly 263.66 feet along the arc of said curve through a central angle of 21°34'51" (chord bears North 09°27'43" West 262.10 feet) to the point of a reverse curve to the right having a radius of 469.00 feet; then along the arc of said curve 140.56 feet through a central angle of 17°10'17" (chord bears North 11°40'00" West 140.03 feet) to the point of a reverse curve to the left having a radius of 150.00 feet; then along the arc of said curve 151.64 feet through a central angle of 57°55'17" (chord bears North 32°02'30" West 145.26 feet) to the general Southerly right of way line of Rlington Parkway and 1760 West Street; then along said general Southerly right of way line the following two courses and distances:

1. South 75°40'55" East 181.55 feet to a point on a non-tangent 372.58 foot radius curve to the right of which the radius point lies South 83°12'21" East;
2. 274.53 feet along the arc of said curve through a central angle of 42°13'04" (chord bears North 27°54'11" East 268.37 feet) to the True Point of Beginning.

FUTURE PHASE BOUNDARY DESCRIPTION

Commencing at the Northwest Corner of Section 4, Township 42 South, Range 13 West, Salt Lake Base and Meridian, then along the northerly line of said Section 4 South 89°43'42" East 1985.06 feet; then South 2419.02 feet to the True Point of Beginning, said point being the beginning of a 170.00 foot radius curve to the left, of which the radius point lies North 52°12'39" East; then Southeasterly along the arc of said curve 154.25 feet through a central angle of 51°59'11" (chord bears South 63°46'52" East 149.01 feet); then South 89°46'32" East 91.30 feet; then South 00°13'28" West 120.02 feet; then South 89°46'32" East 90.00 feet; then South 00°13'28" West 50.00 feet; then North 89°46'32" West 62.18 feet; then South 19°35'36" West 252.12 feet; then South 38°07'49" East 136.31 feet; then South 37°49'32" West 250.43 feet to a point on a non-tangent 1250.00 foot radius curve to the left, of which the radius point lies South 59°18'06" West; then along the arc of said curve 380.70 feet through a central angle of 17°27'00" (chord bears North 39°25'25" West 379.23 feet); then North 48°08'55" West 123.75 feet to a point on a 550.00 foot radius curve to the right; then along said arc of said curve 245.06 feet through a central angle of 25°31'44" (chord bears North 87°45'46" East 50.44 feet); then North 73°05'29" East 144.75 feet; then North 35°23'03" West 243.04 feet; then North 42°20'04" East 24.85 feet to a point on a non-tangent 285.00 foot radius curve to the right, of which the radius point lies South 05°37'29" West; then along said curve 59.61 feet through a central angle of 11°59'01" (chord bears South 78°23'01" East 59.50 feet); then North 17°36'28" East 50.00 feet to a point on a non-tangent 80.00 foot radius curve to the left of which the radius point lies South 72°34'47" West; then along the arc of said curve 25.09 feet (chord bears North 26°45'41" West 25.97 feet); then North 52°12'48" East 136.94 feet to the True Point of Beginning.

Containing 260,335 Square Feet or 5.977 acres, more or less.

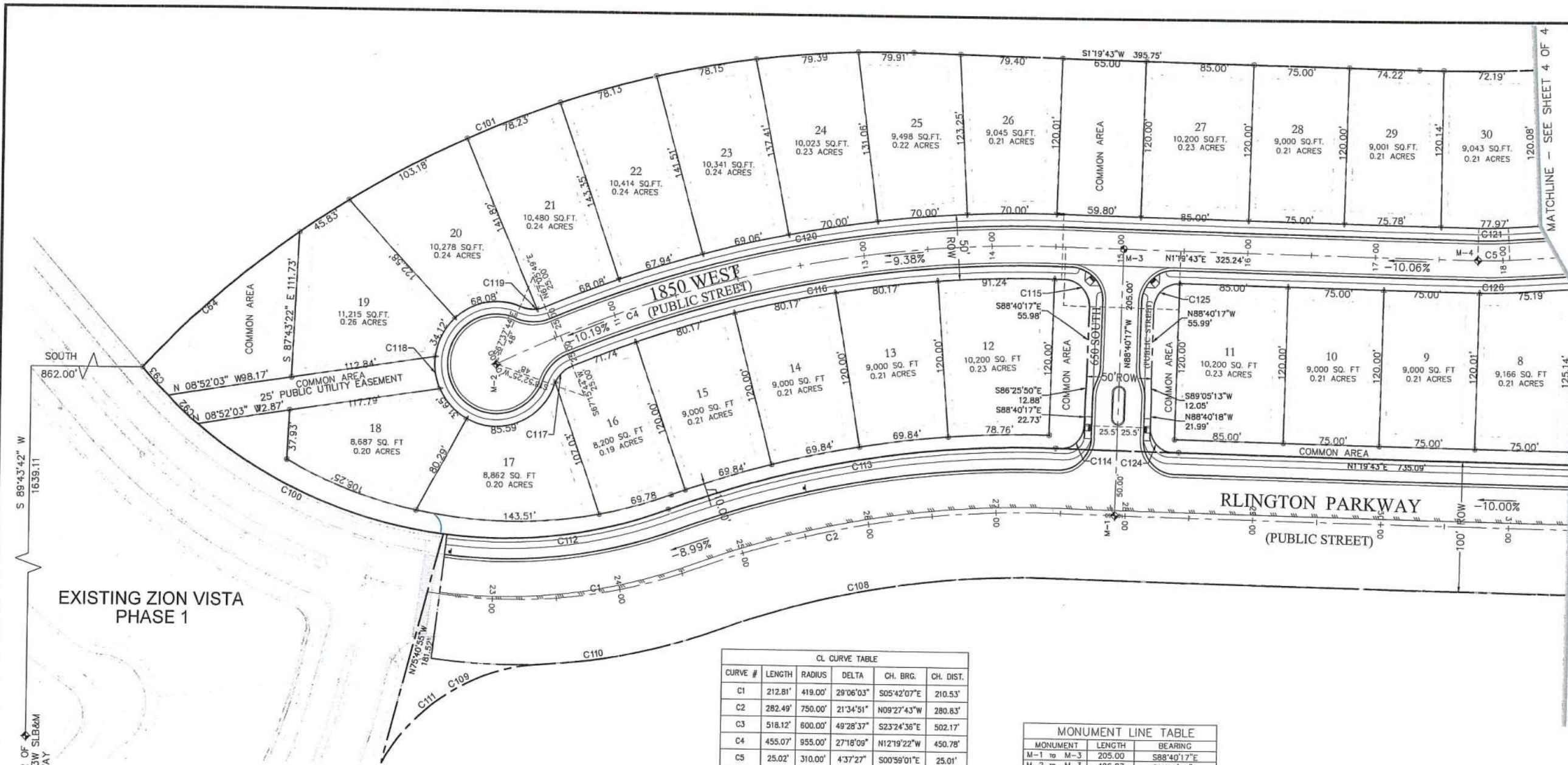
- NOTES:
1. All structures shall be built entirely within their respective lot/pad. Garage vehicle entrance minimum setback is measured 20 feet from the back of sidewalk (but always within their respective pad). Minimum front building setback shall be 20 feet from the back of sidewalk. Minimum rear building setback shall be 10 feet and minimum building side separation shall be 10 feet on the uphill side and 5 feet on the downhill side. Building setback from all public streets shall be 20 feet.
 2. No lots shall have direct access to 1760 West or Rlington Parkway.



SUBDIVISION: RR PENGA
OWNER: 3507 KIRK CIRCLE
SALT LAKE CITY, UT 84106

Zion Vista Phase 2
1760 W. RLINGTON PARKWAY
NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 42 SOUTH, RANGE 13 WEST,
SALT LAKE BASE AND MERIDIAN
HURRICANE, UTAH WASHINGTON COUNTY

DATE	
REVISION DESCRIPTION	
NO.	
8/1/20	8/1/20
MWC	LM
OG	OG
PROJECT NUMBER: BBL010200	
ZION VISTA PHASE 2 PRELIMINARY PLAT REVIEW EXISTING CONDITIONS PLAN	
2 OF 4	



MATCHLINE - SEE SHEET 4 OF 4

NO.	REVISION DESCRIPTION	DATE



8/12/20	MWC	LHM	DC	8/11/20
SUBMITTAL	DRAWN BY:	CHECKED BY:	APPROVED BY:	PLOT DATE:

PSOMAS
 Balancing the Natural and Built Environment
 4179 Riverboat Road, Suite 200
 Salt Lake City, UT 84123
 (801) 270-5777 (801) 270-5782 fax
 www.psomas.com
 PROJECT NUMBER: BBL010200

EXISTING ZION VISTA PHASE 1

NORTHWEST CORNER OF SECTION 4, T42S, R13W, SLB66M IN RLINGTON PARKWAY

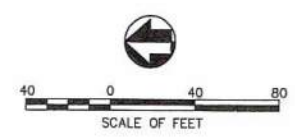
CURVE #	LENGTH	RADIUS	DELTA	CH. BRG.	CH. DIST.
C1	212.81'	419.00'	29°06'03"	S05°42'07"E	210.53'
C2	282.49'	750.00'	21°34'51"	N09°27'43"W	280.83'
C3	518.12'	600.00'	49°28'37"	S23°24'36"E	502.17'
C4	455.07'	955.00'	27°18'09"	N12°19'22"W	450.78'
C5	25.02'	310.00'	4°37'27"	S00°59'01"E	25.01'
C6	20.84'	185.00'	6°27'11"	S06°31'19"E	20.82'
C7	192.40'	310.00'	35°33'39"	S89°49'58"W	189.33'

MONUMENT	LENGTH	BEARING
M-1 to M-3	205.00'	S88°40'17"E
M-2 to M-3	496.87'	S11°02'07"E
M-3 to M-4	277.94'	N01°19'43"E
M-4 to M-5	634.42'	S03°12'16"E
M-6 to M-5	231.35'	N74°32'59"E

CURVE #	LENGTH	RADIUS	DELTA	CH. BRG.	CH. DIST.
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C105	26.09'	80.00'	18°40'58"	N26°45'41"W	25.97'
C106	245.05'	550.00'	25°31'41"	N35°23'10"W	243.03'
C107	561.32'	650.00'	49°28'44"	S23°24'39"E	544.04'
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C114	29.06'	18.50'	90°00'00"	S43°40'17"E	26.16'
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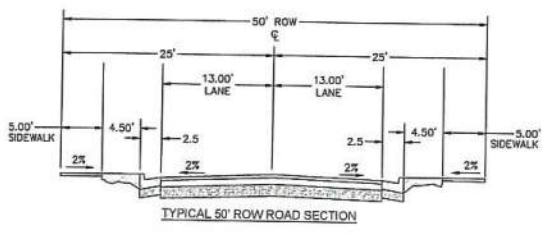
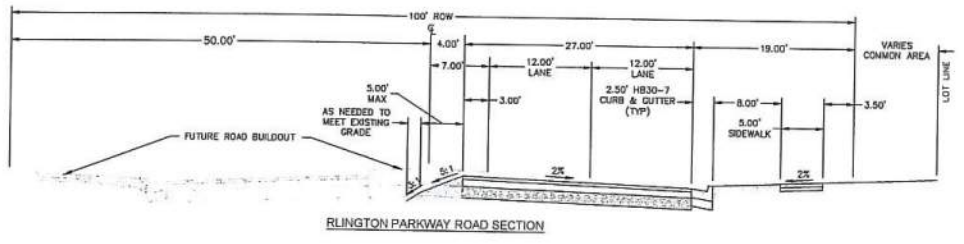
CURVE #	LENGTH	RADIUS	DELTA	CH. BRG.	CH. DIST.
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C129	7.40'	18.00'	23°33'23"	N83°49'50"E	7.35'
C130	17.27'	42.00'	23°33'23"	S83°49'50"W	17.15'
C131	30.75'	18.50'	95°14'08"	S60°19'48"E	27.33'
C132	134.78'	550.00'	14°02'26"	S05°41'31"E	134.44'
C133	28.83'	15.50'	106°34'51"	S42°20'04"W	24.85'
C134	25.34'	15.50'	93°39'10"	N54°56'27"W	22.61'
C135	30.74'	285.00'	6°10'50"	S75°08'33"W	30.73'
C136	7.40'	18.00'	23°33'23"	S60°16'27"W	7.35'
C137	17.27'	42.00'	23°33'23"	N60°16'27"E	17.15'
C138	30.75'	18.50'	95°14'08"	S24°26'04"W	27.33'
C142	59.61'	285.00'	11°59'01"	S78°23'01"E	59.50'

- Notes:
- All structures shall be built entirely within their respective lot/pod. Garage vehicle entrance minimum setback is measured 20 feet from the back of sidewalk (but always within their respective pad). Minimum front building setback shall be 20 feet from the back of sidewalk. Minimum rear building setback shall be 10 feet and minimum building side separation shall be 10 feet on the uphill side and 5 feet on the downhill side. Building setback from all public streets shall be 20 feet.
 - No lots shall have direct access to 1760 West or Rlington Parkway.



SUBDIVISION RR PENA
 OWNER: 3507 KIRK CIRCLE
 SALT LAKE CITY, UT 84106

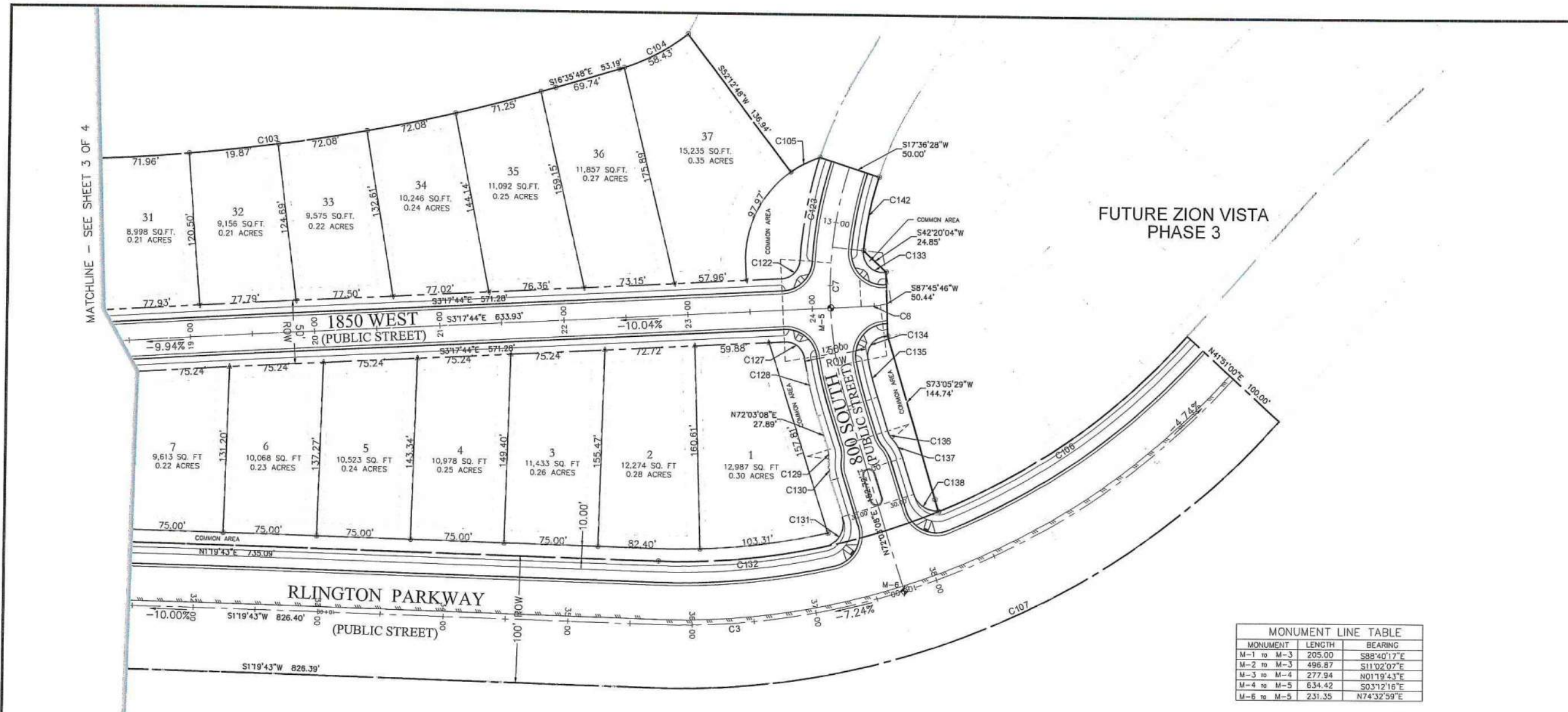
Zion Vista Phase 2
 1760 W. RLINGTON PARKWAY
 NORTHWEST QUARTER OF SECTION 4,
 TOWNSHIP 42 SOUTH, RANGE 13 WEST,
 SALT LAKE BASE AND MERIDIAN
 HURRICANE, UTAH WASHINGTON COUNTY



ZION VISTA PHASE 2
 PRELIMINARY PLAT REVIEW

PROPOSED PLAN

8/11/2020 1:46 PM U:\BCL010200\SURVEY\DRAWINGS\PROPOSED PLAN-ZION VISTA PHASE 2.DWG MICHAEL COOK



FUTURE ZION VISTA PHASE 3

MONUMENT LINE TABLE

MONUMENT	LENGTH	BEARING
M-1 to M-3	205.00	S88°40'17"E
M-2 to M-3	496.87	S11°02'07"E
M-3 to M-4	277.94	N01°19'43"E
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CL CURVE TABLE

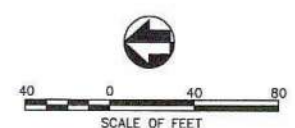
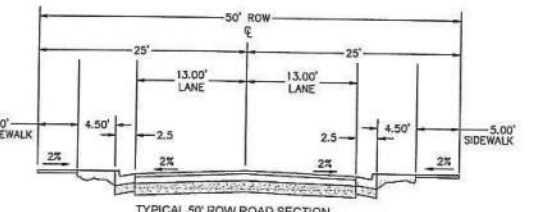
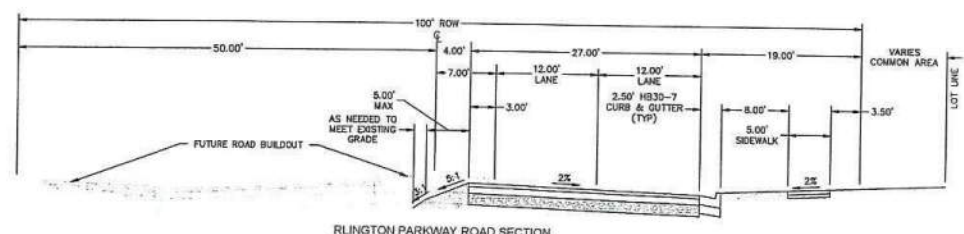
CURVE #	LENGTH	RADIUS	DELTA	CH. BRG.	CH. DIST.
C1	212.81'	419.00'	29°06'03"	S05°42'07"E	210.53'
C2	282.49'	750.00'	21°34'51"	N09°27'43"W	280.83'
C3	518.12'	600.00'	49°28'37"	S23°24'36"E	502.17'
C4	455.07'	955.00'	27°18'09"	N12°19'22"W	450.78'
C5	25.02'	310.00'	4°37'27"	S00°59'01"E	25.01'
C6	20.84'	185.00'	6°27'11"	S06°31'19"E	20.82'
C7	192.40'	310.00'	35°33'39"	S89°49'58"W	189.33'

CURVE TABLE

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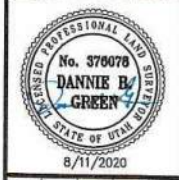
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SUBDIVISION: RR PENGA
OWNER: 3507 KIRK CIRCLE, SALT LAKE CITY, UT 84106

Zion Vista Phase 2
1760 W. RLINGTON PARKWAY
NORTHWEST QUARTER OF SECTION 4,
TOWNSHIP 42 SOUTH, RANGE 13 WEST,
SALT LAKE BASE AND MERIDIAN
HURRICANE, UTAH WASHINGTON COUNTY

NO.	REVISION DESCRIPTION	DATE



DATE	BY	FOR
8/11/20	MWC	DC
8/11/20	LHM	DC
8/11/20	DC	DC

P S O M A S
Balancing the Natural and Built Environment
4179 Riverboat Road, Suite 200
Salt Lake City, UT 84123
(801) 270-5777 (801) 270-5782 fax
www.psommas.com

PROJECT NUMBER: BCL010200

ZION VISTA PHASE 2
PRELIMINARY PLAT REVIEW

PROPOSED PLAN

FINAL SITE PLAN APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:
File No. 2020-FSP-12
Receipt No. 7-660146

Name: Lone Rock Condominiums LLC Telephone: 801-757-3073

Address: 270 E 930 S, Orem, UT 84058 Fax No. _____

Agent (If Applicable): _____ Telephone: _____

Email: _____ Agent Email: _____

Address/Location of Subject Property: Approx 13.344 acres Hwy 91

Tax ID of Subject Property: Parcel # H-4-24-422 Zone District: PDO

Proposed Use: (Describe, use extra sheet if necessary) Parcel # H. 4-24-133

condominiums

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- b) Layout, dimensions, and names of existing and future road rights-of-way;
- c) Project name, North arrow, and tie to a section monument; Horizontal Control
- d) The boundary lines of the project site with bearings and distances;
- e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- g) Location of man-made features including irrigation facilities, bridges, and buildings
- h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- i) Identification of property, if any, not proposed for development, and;
- j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

STAFF COMMENTS

Agenda: August 26, 2020 **File Number:** 2020-FSP-12

Type of Application: Final Site Plan Approval, Administrative

Applicant: Lone Rock Condominiums LLC

Agent: N/A

Request: Final Site Plan Lone Rock Condominims

Location: Located on Old Highway 91 and Foothills Canyon Drive

General Plan: Multi-Family Res 6-15 Units/Acres

Current Zoning: RM-3 PDO

Discussion: This is the final site plan for the Lone Rock Condominiums, which was granted preliminary approval in December of 2019. There are several conditions listed within the Development Agreement that need to be addressed within the final site plan. Below are listed the main nine terms within the development agreement with staff comments on each item in red.

1. To provide no more than 200 units. *The final site plan contains a total of 200 units.*
2. To provide 420 parking spaces, or 2.10 spaces per unit. *The applicant has provided a total of 437 parking spaces.*
3. To maintain as part of this agreement in the project CC&Rs an owner-occupancy ratio of approximately 60%. *It is addressed in the CC&Rs.*
4. To limit the adult occupancy per unit to 2 adults. *It is addressed in the CC&Rs.*
5. To maintain FHA certification and renew it before handing HOA over to residents. *It is addressed in the CC&Rs.*
6. To designate owner-occupied units and rental units and ensure owner-occupied units are not changed to rental units. *It is addressed in the CC&Rs.*
7. To limit the height of the three buildings north of Knollwood Townhomes, designated as 8, 9, and 11 on the Preliminary Site Plan, to no more than two stories and 25' in height. *The proposed two-story buildings are just over 29' tall, which is a violation of the Development Agreement. Buildings need to be more clearly labeled for their location.*
8. To permit a maximum height of the three-building on the east side of the property – designated as 3, 4, and 5 on the Preliminary Site Plan, to no more than four stories and 50 feet in height. *These buildings are on the site plan as H.2., L.4, and M.4. Building Elevation has been submitted that would match these restrictions. Buildings need to be more clearly labeled for their location.*

9. To separate Project from Knollwood Townhomes by a fence, wall, landscaping, or other barrier or a combination thereof as approved with a final site plan. *There is a border wall along the property boundary.*

JUC Comments:

The JUC signed the full construction set in August 2020.

Staff Comments on Final Site Plan:

1. The placement and general layout of the site plan comply with the preliminary site plan.
2. The applicant will need to take steps to resolve issues with items number 7 and 8 above.
3. The three-story buildings are taller than the permitted use within the zone, limiting the max height to 35', and the proposed buildings are 39' tall.
4. There is no lighting plan within the final site plan as required by Hurricane City Code.
5. Landscaping meets the standards.

Recommendation: Staff recommends approval of the final site plan subject to the following comments:

1. A full outdoor lighting plan is submitted that complies with Hurricane City Code 10-33-5 (F)
2. Proposed building heights are modified to meet City standards and the signed development agreement.

**DEVELOPMENT AGREEMENT
FOR
LONE ROCK CONDOMINIUMS LLC**

THIS DEVELOPMENT AGREEMENT ("Agreement") is made and entered into as of the 6th day of February, 2020 (the "Effective Date"), by and between the CITY OF HURRICANE, a Utah municipal corporation, hereinafter referred to as "City," and Lone Rock Condominiums LLC, a Utah limited liability company, hereinafter referred to as "Developer." The City and Developer are hereinafter collectively referred to as "Parties."

RECITALS

- A. Developer is the owner of approximately 13.34 acres of land located within the City of Hurricane as is more particularly described on EXHIBIT A, attached hereto and incorporated herein by reference (the "Property").
- B. On Dec. 19, 2019, the City Council approved a Planned Development Overlay for Property vesting zoning based on the Preliminary Site Plan set forth on EXHIBIT B ("Site Plan"), attached hereto and incorporated herein by reference, which will govern the density, development and use of the Property (said density, development, and use constituting the "Project").
- C. Developer is willing to design and construct the Project in a manner that is in harmony with and intended to promote the long range policies, goals, and objectives of the City's general plan, zoning and development regulations in order to receive the benefit of vesting for certain uses and zoning designations under the terms of this Agreement as more fully set forth below.
- D. The City Council accepted Developer's proffer to enter into this Agreement to memorialize the intent of Developer and City and decreed that the effective date of the Vesting for the zoning be the date of the execution and delivery of this Agreement and the recording thereof as a public record on title of the Property in the office of the Washington County Recorder.
- E. The City Council further authorized the Mayor of the City to execute and deliver this Agreement on behalf of the City.
- F. The City has the authority to enter into this Agreement pursuant to Utah Code Section 10-9a-102(2) and relevant municipal ordinances, and desires to enter into this Agreement with the Developer for the purpose of guiding the development of the Property in accordance with the terms and conditions of this Agreement and in accordance with applicable City Ordinances.
- G. This Agreement is generally consistent with, and all preliminary and final plats within the Property are subject to and shall conform with, the City's General Plan, Zoning Ordinances, and Subdivision Ordinances, and any permits issued by the City pursuant to City Ordinances and regulations.

H. The Parties desire to enter into this Agreement to specify the rights and responsibilities of the Developer to develop the Property as expressed in this Agreement and the rights and responsibilities of the City to allow and regulate such development pursuant to the requirements of this Agreement.

I. The Parties understand and intend that this Agreement is a "development agreement" within the meaning of, and entered into pursuant to, the terms of Utah Code Ann., §10-9a-102.

J. The Parties intend to be bound by the terms of this Agreement as set forth herein.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and the Developer hereby agree as follows:

1. Incorporation of Recitals. The foregoing Recitals are hereby incorporated into this Agreement, as a substantive part hereof.

2. Zoning. The Property shall be developed in accordance with (i) the requirements of the Planned Development Overlay zone combined with an underlying RM-3 zone, (ii) all other features as generally shown on the Final Plat, and (iii) this Agreement. The Developer shall not seek to develop the Property in a manner that deviates materially from the attached Preliminary Site Plan as permitted by the aforementioned zoning designations for the Property.

3. Governing Standards. The Preliminary Site Plan, the record of the City Council meeting, and this Agreement (together the "Approval Documents") establish the development rights for the Project, including the use, maximum density, intensity and general configuration for the Project. The Project shall be developed by the Developer in accordance with the Approval Documents. All Developer submittals must comply generally with the Approval Documents. Non-material variations to the Preliminary Site Plan, as defined and approved by the City's Zoning Administrator, such as exact building locations, exact locations of open space and parking may be varied by the Developer without official City Council or Planning Commission approval. Such variations however shall in no way change the maximum density, use and intensity of the development of the Project.

4. Additional Specific Developer Obligations. As an integral part of the consideration for this agreement, the Developer voluntarily agrees as follows:

- a. To provide no more than 200 units
- b. To provide 420 parking spaces, or 2.10 spaces per unit.
- c. To maintain as part of this agreement and in project CC&Rs an owner-occupancy ratio of approximately 60%.

- d. To limit the adult occupancy per unit to 2 adults.
- e. To maintain FHA certification and renew it before handing HOA over to residents
- f. To designate owner occupied units and rental units and ensure owner occupied units are not changed to rental units
- g. To limit the height of the three buildings north of Knollwood Townhomes, designated as 8,9, and 11 on the Preliminary Site Plan, to no more than 2 stories and 25 feet in height.
- h. To permit a maximum height of the three building on the east side of the property – designated as 3, 4, and 5 on the Preliminary Site Plan, to no more than 4 stories and 50 feet in height.
- i. To separate Project from Knollwood Townhomes by a fence, wall, landscaping or other barrier or combination thereof as approved with a final site plan.

5. Construction Standards and Requirements. All construction on the Property at the direction of the Developer shall be conducted and completed in accordance with the City Ordinances, including, but not limited to setback requirements, building height requirements, lot coverage requirements and all off-street parking requirements.

- a. This project contains FHA approved condominiums that range from 2-story, 10 unit buildings to 4-story, 24 unit buildings with a total of 200 units. A single water connection per building, sized per water engineering standards, that limits the number of meter boxes and feed lines on common areas is more desirable for a quality product. Therefore, it is hereby agreed that impact fees for individual residential units will be paid per unit but the building will be designed and built with one meter per building. Water billing will be through the Homeowners Association. Landscape water will be provided through a separate meter.
- b. As a vehicle to begin an FHA case number for final FHA approvals, City will grant a temporary certificate of occupancy for individual unit to the developer when interior units meet all code requirements but do not yet have floor coverings. Developer understands they will not be given final occupancy until it meets conventional City standards. No closing of individual units will take place until final Occupancy Permits have been issued from the City.

6. Vested Rights and Reserved Legislative Powers.

- a. Vested Rights. As of the Effective Date, Developer shall have the vested right to develop and construct the Project in accordance with the uses, maximum permissible densities, intensities, and general configuration of development established in the Approval Documents, subject to compliance with the City

Ordinances in existence on the Effective Date. The Parties intend that the rights granted to Developer under this Agreement are contractual and also those rights that exist under statute, common law and at equity. The Parties specifically intend that this Agreement grants to Developer "vested rights" as that term is construed in Utah's common law and pursuant to Utah Code Ann., §10-9a-509.

- i. Examples of Exceptions to Vested Rights. The Parties understand and agree that the Project will be required to comply with future changes to City Laws that do not limit or interfere with the vested rights granted pursuant to the terms of this Agreement. The following are examples for illustrative purposes of a non-exhaustive list of the type of future laws that may be enacted by the City that would be applicable to the Project:
 1. Developer Agreement. Future laws that Developer agrees in writing to the application thereof to the Project;
 2. Compliance with State and Federal Laws. Future laws which are generally applicable to all properties in the City and which are required to comply with State and Federal laws and regulations affecting the Project;
 3. Safety Code Updates. Future laws that are updates or amendments to existing building, plumbing, mechanical, electrical, dangerous buildings, drainage, or similar construction or safety related codes, such as the International Building Code, the APWA Specifications, AAHSTO Standards, the Manual of Uniform Traffic Control Devices or similar standards that are generated by a nationally or statewide recognized construction/safety organization, or by the State or Federal governments and are required to meet legitimate concerns related to public health, safety or welfare; or,
 4. Taxes. Taxes, or modifications thereto, so long as such taxes are lawfully imposed and charged uniformly by the City to all properties, applications, persons and entities similarly situated.
 5. Fees. Changes to the amounts of fees for the processing of Development Applications that are generally applicable to all development within the City (or a portion of the City as specified in the lawfully adopted fee schedule) and which are adopted pursuant to State law.
 6. Impact Fees. Impact Fees or modifications thereto which are lawfully adopted, imposed and collected.

- b. Reserved Legislative Powers. The Developer acknowledges that the City is restricted in its authority to limit its police power by contract and that the limitations, reservations and exceptions set forth herein are intended to reserve to the City all of its police power that cannot be so limited. Notwithstanding the retained power of the City to enact such legislation of the police powers, such legislation shall not modify the Developer's vested right as set forth herein unless facts and circumstances are present which meet the exceptions to the vested rights doctrine as set forth in Section 10-9a-509 of the Municipal Land Use, Development, and Management Act, as adopted on the Effective Date, *Western Land Equities, Inc. v. City of Logan*, 617 P.2d 388 (Utah 1980), its progeny, or any other exception to the doctrine of vested rights recognized under state or federal law.

7. Default. An "Event of Default" shall occur under this Agreement if any party fails to perform its obligations hereunder when due and the defaulting party has not performed the delinquent obligations within sixty (60) days following delivery to the delinquent party of written notice of such delinquency. Notwithstanding the foregoing, if the default cannot reasonably be cured within that 60-day period, a party shall not be in default so long as that party commences to cure the default within that 60-day period and diligently continues such cure in good faith until complete.

a. Remedies. Upon the occurrence of an Event of Default, the non-defaulting party shall have the right to exercise all of the following rights and remedies against the defaulting party:

1. All rights and remedies available at law and in equity, including injunctive relief, specific performance, and termination, but not including damages or attorney's fees.

2. The right to withhold all further approvals, licenses, permits or other rights associated with the Project or development activity pertaining to the defaulting party as described in this Agreement until such default has been cured.

3. The right to draw upon any security posted or provided in connection with the Property or Project by the defaulting party.

The rights and remedies set forth herein shall be cumulative.

8. Notices. Any notices, requests and demands required or desired to be given hereunder shall be in writing and shall be served personally upon the party for whom intended, or if mailed, by certified mail, return receipt requested, postage prepaid, to such party at its address shown below:

To the Developer: Lone Rock Condominiums LLC
270 East 930 South
Orem, UT 84058
Phone: (801) 592-8393

To the City: City of Hurricane
 Attention: Fay Reber, City Attorney
 68 S. 700 W.
 Hurricane, UT 84737

9. General Term and Conditions.

- a. Headings. The headings contained in this Agreement are intended for convenience only and are in no way to be used to construe or limit the text herein.
- b. Binding Effect. This Agreement shall inure to the benefit of, and be binding upon, the parties hereto and their respective heirs, representatives, officers, agents, employees, members, successors and assigns (to the extent that assignment is permitted). Without limiting the generality of the foregoing, a "successor" includes a party that succeeds to the rights and interests of the Developer as evidenced by, among other things, such party's submission of land use applications to the City relating to the Property or the Project.
- c. Non Liability of City Officials and Employees. No officer, representative, consultant, attorney, agent or employee of the City shall be personally liable to the Developer, or any successor in interest or assignee of the Developer, for any default or breach by the City, or for any amount which may become due to the Developer, or its successors or assignees, or for any obligation arising under the terms of this Agreement. Nothing herein will release any person from personal liability for their own individual acts or omissions.
- d. Third Party Rights. Except for the Developer, the City and other parties that may succeed the Developer on title to any portion of the Property, all of whom are express intended beneficiaries of this Agreement, this Agreement shall not create any rights in and/or obligations to any other persons or parties. The Parties acknowledge that this Agreement refers to a private development and that the City has no interest in, responsibility for, or duty to any third parties concerning any improvements to the Property unless the City has accepted the dedication of such improvements
- e. Further Documentation. This Agreement is entered into by the Parties with the recognition and anticipation that subsequent agreements, plans, profiles, engineering and other documentation implementing and carrying out the provisions of this Agreement may be necessary. The Parties agree to negotiate and act in good faith with respect to all such future items.
- f. Relationship of Parties. This Agreement does not create any joint venture, partnership, undertaking, business arrangement or fiduciary relationship between the City and the Developer.
- g. Agreement to Run With the Land. This Agreement shall be recorded in the Office of the Washington County Recorder against the Property and is intended to and shall be deemed to run with the land, and shall be binding on and shall benefit all successors in the ownership of any portion of the Property.

h. Performance. Each party, person and/or entity governed by this Agreement shall perform its respective obligations under this Agreement in a manner that will not unreasonably or materially delay, disrupt or inconvenience any other party, person and/or entity governed by this Agreement, the development of any portion of the Property or the issuance of final plats, certificates of occupancy or other approvals associated therewith.

i. Applicable Law. This Agreement is entered into under and pursuant to, and is to be construed and enforceable in accordance with, the laws of the State of Utah.

j. Construction. This Agreement has been reviewed and revised by legal counsel for both the City and the Developer, and no presumption or rule that ambiguities shall be construed against the drafting party shall apply to the interpretation or enforcement of this Agreement.

k. Consents and Approvals. Except as expressly stated in this Agreement, the consent, approval, permit, license or other authorization of any party under this Agreement shall be given in a prompt and timely manner and shall not be unreasonably withheld, conditioned or delayed. Any consent, approval, permit, license or other authorization required hereunder from the City shall be given or withheld by the City in compliance with this Agreement and the City Ordinances.

l. Approval and Authority to Execute. Each of the Parties represents and warrants as of the Effective Date this Agreement, it/he/she has all requisite power and authority to execute and deliver this Agreement, being fully authorized so to do and that this Agreement constitutes a valid and binding agreement.

m. Termination.

i. Notwithstanding anything in this Agreement to the contrary, it is agreed by the parties hereto that in the event the final plat for the Property has not been recorded in the Office of the Washington County Recorder within five (5) years from the date of this Agreement (the "Term"), or upon the occurrence of an event of default of this Agreement that is not cured, the City shall have the right, but not the obligation, at the sole discretion of the City Council, to terminate this Agreement as to the defaulting party (*i.e.*, the Developer). The Term may be extended by mutual agreement of the Parties.

ii. Upon termination of this Agreement for the reasons set forth herein, following the notice and process required hereby, the obligations of the City and the defaulting party to each other hereunder shall terminate, but none of the licenses, building permits, or certificates of occupancy granted prior to expiration of the Term or termination of this Agreement shall be rescinded or limited in any manner.

10. Assignability. The rights and responsibilities of Developer under this Agreement may be assigned in whole or in part by Developer with the consent of the City as provided herein.

- a. Notice. Developer shall give Notice to the City of any proposed assignment and provide such information regarding the proposed assignee that the City may reasonably request in making the evaluation permitted under this Section. Such Notice shall include providing the City with all necessary contact information for the proposed assignee.
- b. Partial Assignment. If any proposed assignment is for less than all of Developer's rights and responsibilities, then the assignee shall be responsible for the performance of each of the obligations contained in this Agreement to which the assignee succeeds. Upon any such approved partial assignment, Developer shall be released from any future obligations as to those obligations which are assigned but shall remain responsible for the performance of any obligations that were not assigned.
- c. Grounds for Denying Assignment. The City may only withhold its consent if the City is not reasonably satisfied of the assignee's reasonable financial ability to perform the obligations of Developer proposed to be assigned.
- d. Assignee Bound by this Agreement. Any assignee shall consent in writing to be bound by the assigned terms and conditions of this Agreement as a condition precedent to the effectiveness of the assignment.

11. Sale or Conveyance. If Developer sells or conveys parcels of land, the lands so sold and conveyed shall bear the same rights, privileges, intended uses, configurations, and density as applicable to such parcel and be subject to the same limitations and rights of the City as when owned by Developer and as set forth in this Agreement without any required approval, review, or consent by the City except as otherwise provided herein.

12. No Waiver. Any party's failure to enforce any provision of this Agreement shall not constitute a waiver of the right to enforce such provision. The provisions may be waived only in writing by the party intended to be benefited by the provisions, and a waiver by a party of a breach hereunder by the other party shall not be construed as a waiver of any succeeding breach of the same or other provisions.

13. Severability. If any portion of this Agreement is held to be unenforceable for any reason, the remaining provisions shall continue in full force and effect.

14. Force Majeure. Any prevention, delay or stoppage of the performance of any obligation under this Agreement which is due to strikes, labor disputes, inability to obtain labor, materials, equipment or reasonable substitutes therefore; acts of nature; governmental restrictions, regulations or controls; judicial orders; enemy or hostile government actions; wars, civil commotions; fires or other casualties or other causes beyond the reasonable control of the party obligated to perform hereunder shall excuse performance of the obligation by that party for a period equal to the duration of that prevention, delay or stoppage.

15. Amendment. This Agreement may be amended only in writing signed by the Parties hereto.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement by and through their respective, duly authorized representatives as of the day and year first hereinabove written.

CITY:

CITY OF HURRICANE

ATTEST:

By: [Signature]
City Recorder



By: [Signature]
Mayor

DEVELOPER:

Lone Rock Condominiums LLC, a Utah limited liability company

By: [Signature]
Name: Bruce R. Dickerson
Title: Manager

STATE OF UTAH)
):ss
COUNTY OF UTAH)

On the 21 day of January, ~~2019~~ ²⁰²⁰, personally appeared before me ^{Bruce R.} Dickerson, who being by me duly sworn, did say that he is the Manager of Lone Rock Condominiums LLC, a Utah limited liability company, and that the within and foregoing instrument was signed on behalf of said limited liability company with proper authority and duly acknowledged to me that he executed the same.



[Signature]
Notary Public
Residing at:

Exhibit A

Legal Description Parcel 1: H-4-2-4-422

BEGINNING AT A POINT WHICH IS SOUTH 00°28'35" WEST 1343.35 FEET ALONG THE CENTER SECTION LINE FROM THE NORTH QUARTER CORNER OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 14 WEST OF THE SALT LAKE BASE AND MERIDIAN, SAID POINT ALSO BEING ON THE WESTERLY BOUNDARY LINE OF ORGILL INC. BOUNDARY, RECORDED DECEMBER 30, 2004, AS ENTRY NO. 919292, IN BOOK 1701, AT PAGE 2109, OFFICIAL WASHINGTON COUNTY RECORDS, IN SAID COUNTY, IN THE STATE OF UTAH, AND RUNNING THENCE ALONG SAID PROPERTY BOUNDARY AND LEAVING SAID CENTER SECTION LINE SOUTH 24°36'08" EAST 771.45 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF HIGHWAY 91 REALIGNMENT, RECORDED AS ENTRY NO. 579572, IN BOOK 1141, AT PAGE 84, OFFICIAL WASHINGTON COUNTY RECORDS; THENCE LEAVING SAID ORGILL INC. BOUNDARY LINE AND ALONG SAID RIGHT-OF-WAY SOUTH 70°41'29" WEST 347.50 FEET TO THE SOUTHEAST CORNER OF KNOLLWOOD TOWNHOMES PHASE 1-AMENDED, RECORDED AS ENTRY NO. 489341, IN BOOK 879, AT PAGE 76, OFFICIAL WASHINGTON COUNTY RECORDS, SAID POINT ALSO BEING ON THE SAID CENTER SECTION LINE OF SECTION 4; THENCE ALONG SAID CENTER SECTION LINE AND BOUNDARY LINE OF SAID KNOLLWOOD TOWNHOMES PHASE 1-AMENDED NORTH 00°28'35" EAST 262.54 FEET; THENCE LEAVING THE BOUNDARY LINE OF SAID KNOLLWOOD TOWNHOMES PHASE 1-AMENDED AND CONTINUING ALONG SAID CENTER SECTION LINE NORTH 00°28'35" EAST 553.81 FEET TO THE POINT OF BEGINNING; AS DESCRIBED BY SURVEY BY ALLIANCE CONSULTING UNDER DATE OF MARCH 15, 2006; SAID PROPERTY IS FORMERLY DESCRIBED AS FOLLOWS; COMMENCING AT THE CENTER QUARTER CORNER OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 00°23'16" WEST ALONG THE CENTER LINE A DISTANCE OF 483.05 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE NORTHERLY RIGHT-OF-WAY LINE OF HIGHWAY 91 RE-ALIGNMENT; THENCE CONTINUING NORTH 00°23'16" WEST ALONG SAID LINE, A DISTANCE OF 817.22 FEET; THENCE SOUTH 25°29'17" EAST, A DISTANCE OF 772.30 FEET, TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID HIGHWAY 91 RE-ALIGNMENT; THENCE SOUTH 69°49'38" WEST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 348.16 FEET TO THE POINT OF BEGINNING.

Legal Description Parcel 2: H-4-2-4-142

BEGINNING AT A POINT WHICH IS SOUTH 00°28'35" WEST 747.89 FEET ALONG THE CENTER SECTION LINE AND NORTH 90°00'00" WEST 277.59 FEET FROM THE NORTH QUARTER CORNER OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 14 WEST OF THE SALT LAKE BASE AND MERIDIAN, WHICH POINT IS ALSO THE WESTERLY CORNER OF ORGILL INC. BOUNDARY, RECORDED DECEMBER 30, 2004, AS ENTRY NO. 919292, IN BOOK 1701, AT PAGE 2109, OFFICIAL WASHINGTON COUNTY RECORDS, IN SAID COUNTY, IN THE STATE OF UTAH, AND RUNNING THENCE ALONG SAID PROPERTY BOUNDARY SOUTH 24°36'08" EAST 654.90 FEET TO A POINT ON THE SAID CENTER SECTION LINE; THENCE LEAVING SAID ORGILL INC. BOUNDARY LINE TO SAID CENTER SECTION LINE SOUTH 00°28'35" WEST 553.81 FEET TO THE NORTHEAST CORNER OF KNOLLWOOD TOWNHOMES PHASE 1-AMENDED, ENTRY NO. 489341, IN BOOK 879, AT PAGE 76, OFFICIAL WASHINGTON COUNTY RECORDS; THENCE ALONG THE BOUNDARY LINE OF SAID KNOLLWOOD TOWNHOMES PHASE 1- AMENDED AND KNOLLWOOD TOWNHOMES PHASE 2 IN THE FOLLOWING EIGHT (8) COURSES: NORTH 89°32'22" WEST 137.53 FEET; THENCE NORTH 00°27'36" EAST 8.79 FEET; THENCE NORTH 89°32'22" WEST 218.40 FEET; THENCE SOUTH 60°39'29" WEST 193.33 FEET; THENCE SOUTH 65°48'07" WEST 87.85 FEET TO THE NORTHWEST CORNER OF SAID KNOLLWOOD TOWNHOMES PHASE 2; THENCE SOUTH 19°18'31" EAST 156.71 FEET; THENCE NORTH 70°41'24" EAST 22.39 FEET; THENCE SOUTH 19°18'31"

EAST 177.82 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF HIGHWAY 91 REALIGNMENT, ENTRY NO. 579572, IN BOOK 1141, AT PAGE 84, OFFICIAL WASHINGTON COUNTY RECORDS; THENCE LEAVING KNOLLWOOD TOWNHOME PHASE 2 BOUNDARY LINE AND ALONG SAID NORTHERLY RIGHT-OF-WAY LINE IN THE FOLLOWING TWO (2) COURSES; SOUTH 70°41'29" WEST 69.25 FEET TO THE POINT OF CURVATURE OF A 650.00 FOOT RADIUS CURVE CONCAVE TO THE LEFT; THENCE SOUTHWESTERLY 134.37 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 11°50'39", TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF FOOTHILLS CANYON DRIVE; THENCE ALONG SAID FOOTHILLS CANYON DRIVE RIGHT-OF-WAY LINE IN THE FOLLOWING FOUR (4) COURSES NORTH 34°41'35" WEST 29.65 FEET TO THE POINT OF CURVATURE OF A 460.00 FOOT RADIUS CURVE CONCAVE TO THE RIGHT; THENCE NORTHEASTERLY 666.09 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 82°57'57" TO THE POINT OF REVERSE CURVATURE OF A 1040.00 FOOT RADIUS CURVE CONCAVE TO THE LEFT; THENCE NORTHWESTERLY 1025.15 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 56°28'40" TO THE POINT OF CURVATURE OF A 460.00 FOOT RADIUS CURVE CONCAVE TO THE RIGHT; THENCE NORTHEASTERLY 102.87 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 12°48'46"; THENCE LEAVING SAID RIGHT-OF-WAY LINE NORTH 90°00'00" EAST 2.32 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPTING FROM PARCEL 2 THE FOLLOWING DESCRIBED PARCELS A + B:

PARCEL A:

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 00°23'16" EAST, ALONG THE CENTER SECTION LINE, A DISTANCE OF 2154.35 FEET; THENCE NORTH 90°00'00" WEST, A DISTANCE OF 556.90 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE WESTERLY BOUNDARY LINE OF KNOLLWOOD TOWNHOMES PHASE 2 AS SHOWN BY ENTRY NO. 498612, OFFICIAL WASHINGTON COUNTY RECORDS; THENCE SOUTH 69°49'38" WEST, A DISTANCE OF 7.99 FEET; THENCE NORTH 20°10'22" WEST, A DISTANCE OF 136.57 FEET; THENCE NORTH 61°41'52" EAST, A DISTANCE OF 8.07 FEET; THENCE SOUTH 20°10'22" EAST, A DISTANCE OF 137.71 FEET, TO THE POINT OF BEGINNING.

PARCEL B:

COMMENCING AT THE NORTH QUARTER CORNER OF SECTION 4, TOWNSHIP 42 SOUTH, RANGE 14 WEST, SALT LAKE BASE AND MERIDIAN; THENCE SOUTH 00°23'16" EAST, ALONG THE CENTER SECTION LINE, A DISTANCE OF 2331.38 FEET; THENCE NORTH 90°00'00" WEST, A DISTANCE OF 469.20 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE WESTERLY BOUNDARY LINE OF KNOLLWOOD TOWNHOMES PHASE 2 AS SHOWN BY ENTRY NO. 498612, OFFICIAL WASHINGTON COUNTY RECORDS; THENCE NORTH 29°57'01" WEST, A DISTANCE OF 78.04 FEET; THENCE NORTH 28°15'43" WEST, A DISTANCE OF 68.27 FEET; THENCE NORTH 20°45'47" WEST, A DISTANCE OF 15.00 FEET, TO THE BEGINNING OF A NON TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES SOUTH 64°25'26" WEST, A RADIAL DISTANCE OF 2.91 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 75°13'49", A DISTANCE OF 3.82 FEET; THENCE NORTH 18°25'13" WEST, A DISTANCE OF 2.56 FEET; THENCE NORTH 07°28'13" WEST, A DISTANCE OF 13.5 FEET; THENCE NORTH 69°49'33" EAST, A DISTANCE OF 22.39 FEET; THENCE SOUTH 20°10'22" EAST, A DISTANCE OF 177.82 FEET, TO THE POINT OF BEGINNING.



VICINTY MAP

LAND USE SUMMARY

PARCEL AREA:	13.34 ac.
TOTAL UNITS:	200 units
UNIT TYPE:	2 bd/1 bth, 900sf
DENSITY:	15.0 du/ac
BLDG. TYPE:	3-story condos
BLDG. HEIGHT:	35' max.
PARKING:	420 stalls
OPEN SPACE REQ'D:	3.38 ac. (25%)
OPEN SPACE DESIGN:	4.45 ac. (33%)
LANDSCAPE MISC.:	1.35 ac. (10%)

PHASING PLAN

Per FHA/HUD requirements, each unit is funded and built as a stand alone phase. Therefore, the project will start with the amenity site (unit 1) and adjacent unit 4 as phase one. From that point, a minimum of one unit will be built starting on the south east corner (unit 2) and working in a counter clockwise direction. All of the utilities and mass grading will be completed in phase one with each unit being pad ready and all utilities stubbed ready for vertical construction.

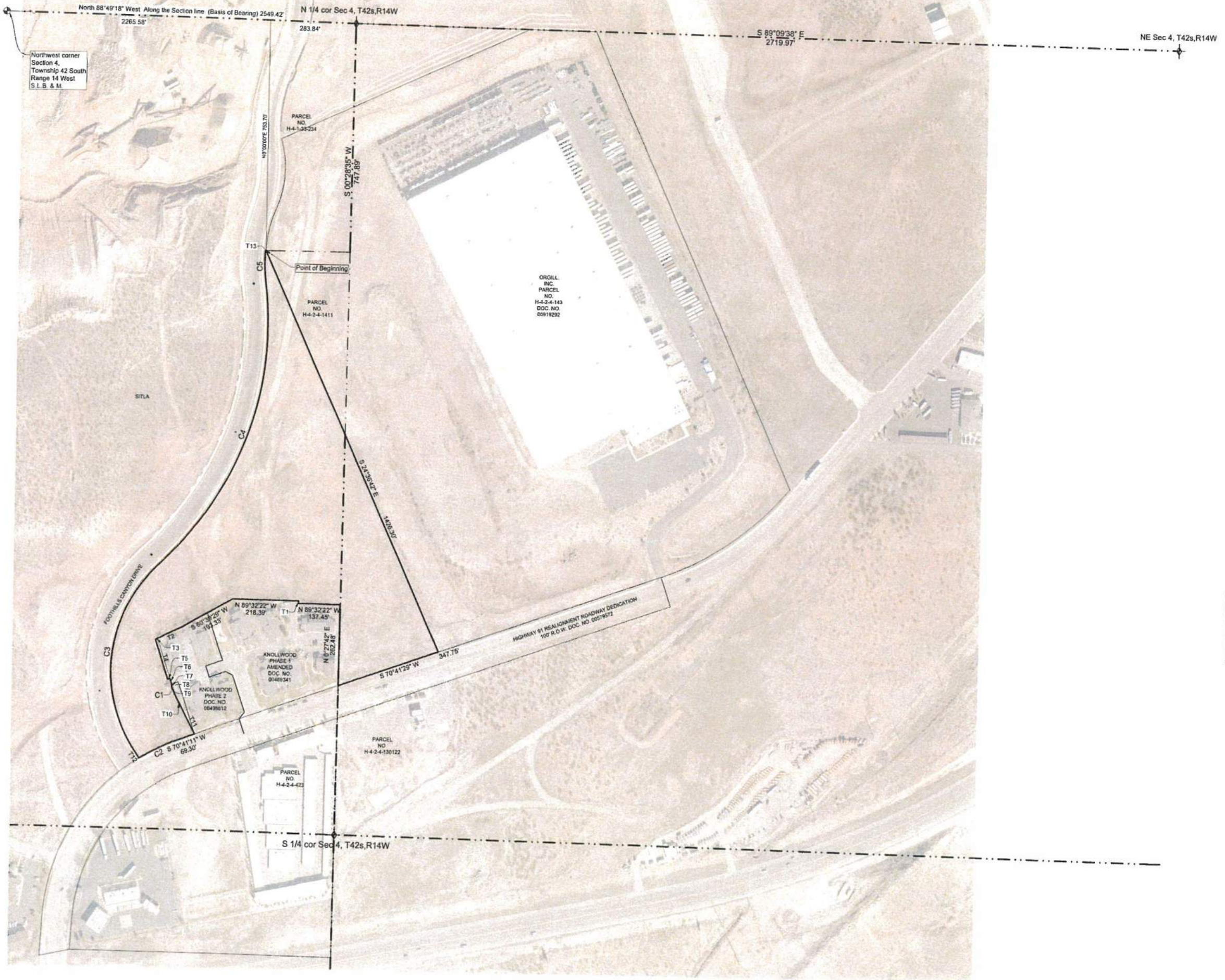
WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE
DRAWING INFO	11/26/19	
DESIGNED	BW	
DRAWN	BW	
CHECKED	AC	
PROJECT	OPP-UT-0437	

PRELIMINARY NOT FOR CONSTRUCTION

HURRICANE HUD CONDOS
 HURRICANE, UT
 PRELIMINARY SITE PLAN REVIEW
 SITE PLAN

\\AKA\02\19\Proposals - Utah\Hurricane HUD condos\Concepts\SBM 22_Hurricane site.dwg - SITE PLAN - 11/27/2019 10:23am, bwillis



Northwest corner Section 4, Township 42 South Range 14 West S.L.B. & M.



Curve Data Table					
Curve	Radius	Length	Chord	Bearing	Delta
C1	2.91'	3.82'	3.55'	S 62°18'38" E	75°13'49"
C2	641.18'	134.33'	134.09'	S 64°44'46" W	12°00'16"
C3	460.00'	606.09'	609.40'	N 6°47'24" E	62°57'57"
C4	1040.00'	1025.15'	984.15'	N 30°02'02" E	50°28'40"
C5	460.00'	102.87'	102.65'	N 1°47'55" W	12°48'46"

Line Table		
Line	Length	Direction
T1	8.79'	N 00°22'36" E
T2	87.91'	S 65°48'07" W
T3	0.01'	S 62°32'16" W
T4	139.57'	S 19°18'29" E
T5	0.08'	N 70°41'29" E
T6	18.73'	S 19°18'31" E
T7	13.76'	S 08°30'12" E
T8	2.56'	S 17°33'22" E
T9	15.00'	S 19°53'50" E
T10	68.27'	S 27°23'52" E
T11	77.96'	S 29°05'34" E
T12	20.65'	N 34°41'35" W
T13	2.34'	N 89°55'12" E

HORROCKS ENGINEERS
 555 South Bluff St., Suite 101
 St. George, UT 84770
 (435) 966-7888
 www.horrockse.com

WARNING
 IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE

DRAWING INFO		REVISIONS	
DATE	REV #	DATE	DATE
08-13-2020			
DESIGNED: BW			
DRAWN: SA			
CHECKED: ARC			
PROJECT: UT-2163-1912			

PROFESSIONAL ENGINEER
 No. 827331
 AUSTIN REES
 CHAPMAN
 STATE OF UTAH

LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
HORIZONTAL CONTROL
 OVERALL

C.O.1
 PAGE 02

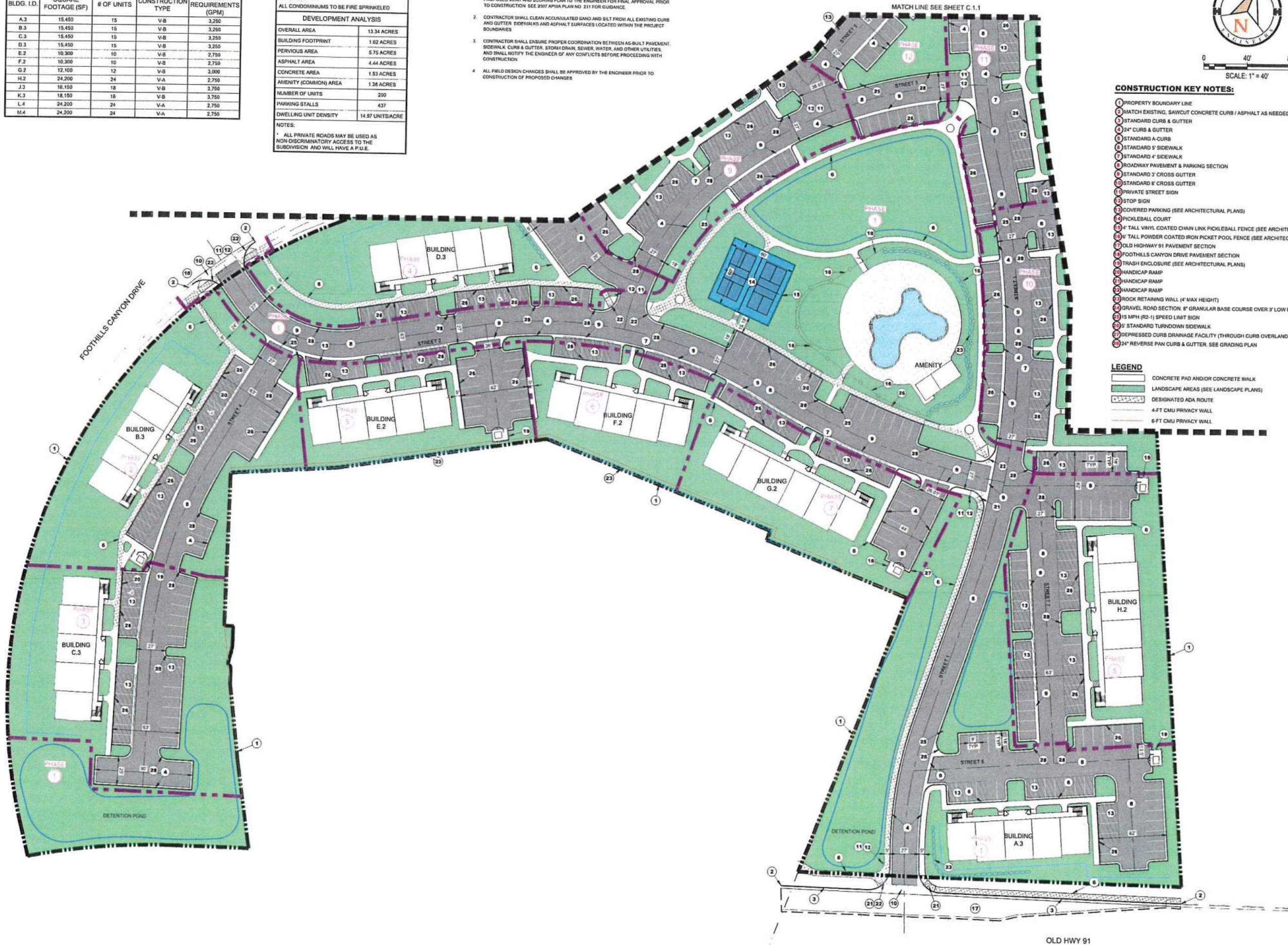
CONDOMINIUM INFORMATION				
USE & OCCUPANCY IS R-2				
BLDG. I.D.	SQUARE FOOTAGE (SF)	# OF UNITS	CONSTRUCTION TYPE	FIRE FLOW REQUIREMENTS (GPM)
A.3	15,450	15	V-B	3,250
B.3	15,450	15	V-B	3,250
C.3	15,450	15	V-B	3,250
D.3	15,450	15	V-B	3,250
E.2	10,300	10	V-B	2,750
F.2	10,300	10	V-B	2,750
G.2	12,100	12	V-B	3,000
H.2	24,200	24	V-A	2,750
J.3	18,150	18	V-B	3,750
K.3	18,150	18	V-B	3,750
L.4	24,200	24	V-A	2,750
M.4	24,200	24	V-A	2,750

NOTES:
 1. BUILDING TYPE TO BE VERIFIED WITH ARCHITECTURAL PLANS, ARCHITECTURAL PLANS TO SUPERCEDE.
 ALL CONDOMINIUMS TO BE FIRE SPRINKLED

DEVELOPMENT ANALYSIS	
OVERALL AREA	13.34 ACRES
BUILDING FOOTPRINT	1.82 ACRES
PERVIOUS AREA	5.75 ACRES
ASPHALT AREA	4.44 ACRES
CONCRETE AREA	1.53 ACRES
AMENITY (COMMON) AREA	1.38 ACRES
NUMBER OF UNITS	200
PARKING STALLS	437
DWELLING UNIT DENSITY	14.97 UNITS/ACRE

NOTES:
 1. ALL PRIVATE ROADS MAY BE USED AS NON-DISCRIMINATORY ACCESS TO THE SUBDIVISION AND WILL HAVE A P.U.E.

- GENERAL NOTES:**
- SIDEWALK & PATH JOINT SCORING PLAN NOT SHOWN. CONTRACTOR SHALL SUBMIT A PROPOSED JOINT AND SCORING PLAN TO THE ENGINEER FOR FINAL APPROVAL PRIOR TO CONSTRUCTION. SEE 2307 APWA PLAN NO. 231 FOR GUIDANCE.
 - CONTRACTOR SHALL CLEAN ACCUMULATED SAND AND SILT FROM ALL EXISTING CURB AND GUTTER, SIDEWALKS AND ASPHALT SURFACES LOCATED WITHIN THE PROJECT BOUNDARIES.
 - CONTRACTOR SHALL ENSURE PROPER COORDINATION BETWEEN AS-BUILT PAVEMENT, SIDEWALK, CURB & GUTTER, STORM DRAIN, SEWER, WATER, AND OTHER UTILITIES AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BEFORE PROCEEDING WITH CONSTRUCTION.
 - ALL FIELD DESIGN CHANGES SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION OF PROPOSED CHANGES.



- CONSTRUCTION KEY NOTES:**
- PROPERTY BOUNDARY LINE
 - MATCH EXISTING, SAWCUT CONCRETE CURB / ASPHALT AS NEEDED
 - STANDARD CURB & GUTTER
 - 24" CURB & GUTTER
 - STANDARD A-CURB
 - STANDARD 5' SIDEWALK
 - STANDARD 4' SIDEWALK
 - ROADWAY PAVEMENT & PARKING SECTION
 - STANDARD 3" CROSS GUTTER
 - STANDARD 6" CROSS GUTTER
 - PRIVATE STREET SIGN
 - STOP SIGN
 - COVERED PARKING (SEE ARCHITECTURAL PLANS)
 - PICKLEBALL COURT
 - 4" TALL VINYL COATED CHAIN LINK PICKLEBALL FENCE (SEE ARCHITECTURAL PLANS)
 - 4" TALL POWDER COATED IRON PICKET POOL FENCE (SEE ARCHITECTURAL PLANS)
 - OLD HIGHWAY 91 PAVEMENT SECTION
 - FOOTHILLS CANYON DRIVE PAVEMENT SECTION
 - TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - HANDICAP RAMP
 - HANDICAP RAMP
 - HANDICAP RAMP
 - ROCK RETAINING WALL (4' MAX HEIGHT)
 - GRAVEL ROAD SECTION: 8" GRANULAR BASE COURSE OVER 3" LOW PERMEABLE FILL
 - 15 MPH (R2-1) SPEED LIMIT SIGN
 - 5' STANDARD TURNDOWN SIDEWALK
 - DEPRESSED CURB DRAINAGE FACILITY (THROUGH CURB OVERLAND INLET / OUTLET)
 - 24" REVERSE PAN CURB & GUTTER. SEE GRADING PLAN

- LEGEND**
- CONCRETE PAD AND/OR CONCRETE WALK
 - LANDSCAPE AREAS (SEE LANDSCAPE PLANS)
 - DESIGNATED ADA ROUTE
 - 4-FT CMU PRIVACY WALL
 - 6-FT CMU PRIVACY WALL

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 555 South Bluff St., Suite 101
 St. George, UT 84770
 (435) 986-7888
 www.horrock.com

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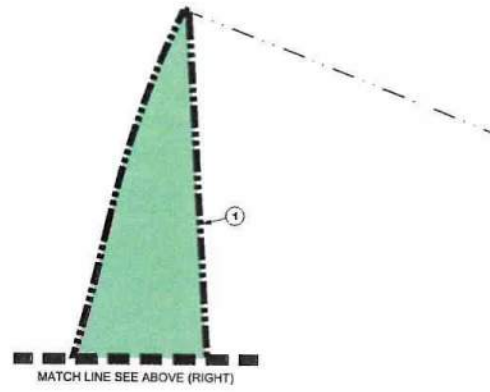
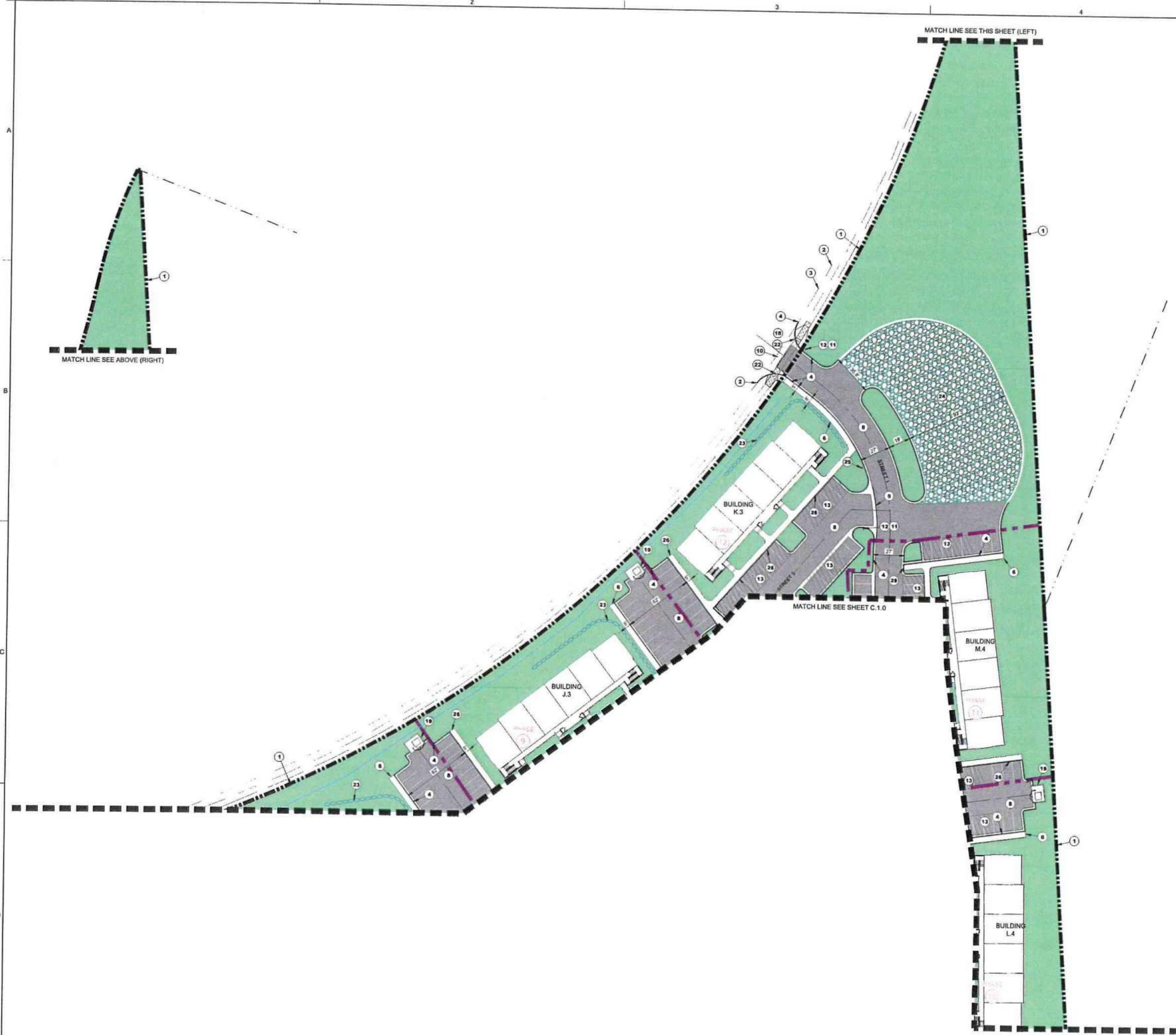
REV #	DATE	REVISIONS

DATE	DESIGNED	DRAWN	CHECKED	PROJECT
08-13-2020	BW	SA	ARC	UT-2163-1912



LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
SITE PLAN
 OVERALL

C.1.0
 PAGE 03



- CONSTRUCTION KEY NOTES:**
- 1 PROPERTY BOUNDARY LINE
 - 2 MATCH EXISTING, SAWCUT CONCRETE CURB / ASPHALT AS NEEDED
 - 3 STANDARD CURB & GUTTER
 - 4 24" CURB & GUTTER
 - 5 STANDARD A-CURB
 - 6 STANDARD 5' SIDEWALK
 - 7 STANDARD 4' SIDEWALK
 - 8 ROADWAY PAVEMENT & PARKING SECTION
 - 9 STANDARD 3' CROSS GUTTER
 - 10 STANDARD 6" CROSS GUTTER
 - 11 PRIVATE STREET SIGN
 - 12 STOP SIGN
 - 13 COVERED PARKING (SEE ARCHITECTURAL PLANS)
 - 14 PICKLEBALL COURT
 - 15 4' TALL VINYL COATED CHAIN LINK PICKLEBALL FENCE (SEE ARCHITECTURAL PLANS)
 - 16 6' TALL POWDER COATED IRON PICKET POOL FENCE (SEE ARCHITECTURAL PLANS)
 - 17 OLD HIGHWAY 91 PAVEMENT SECTION
 - 18 FOOTHILLS CANYON DRIVE PAVEMENT SECTION
 - 19 TRASH ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - 20 HANDICAP RAMP
 - 21 HANDICAP RAMP
 - 22 HANDICAP RAMP
 - 23 ROCK RETAINING WALL (4' MAX HEIGHT)
 - 24 GRAVEL ROAD SECTION, 8" GRANULAR BASE COURSE OVER 3" LOW PERMEABLE FILL
 - 25 15 MPH (R2-1) SPEED LIMIT SIGN
 - 26 5' STANDARD TURNDOWN SIDEWALK
 - 27 DEPRESSED CURB DRAINAGE FACILITY (THROUGH CURB OVERLAND INLET / OUTLET)
 - 28 24" REVERSE PAN CURB & GUTTER. SEE GRADING PLAN



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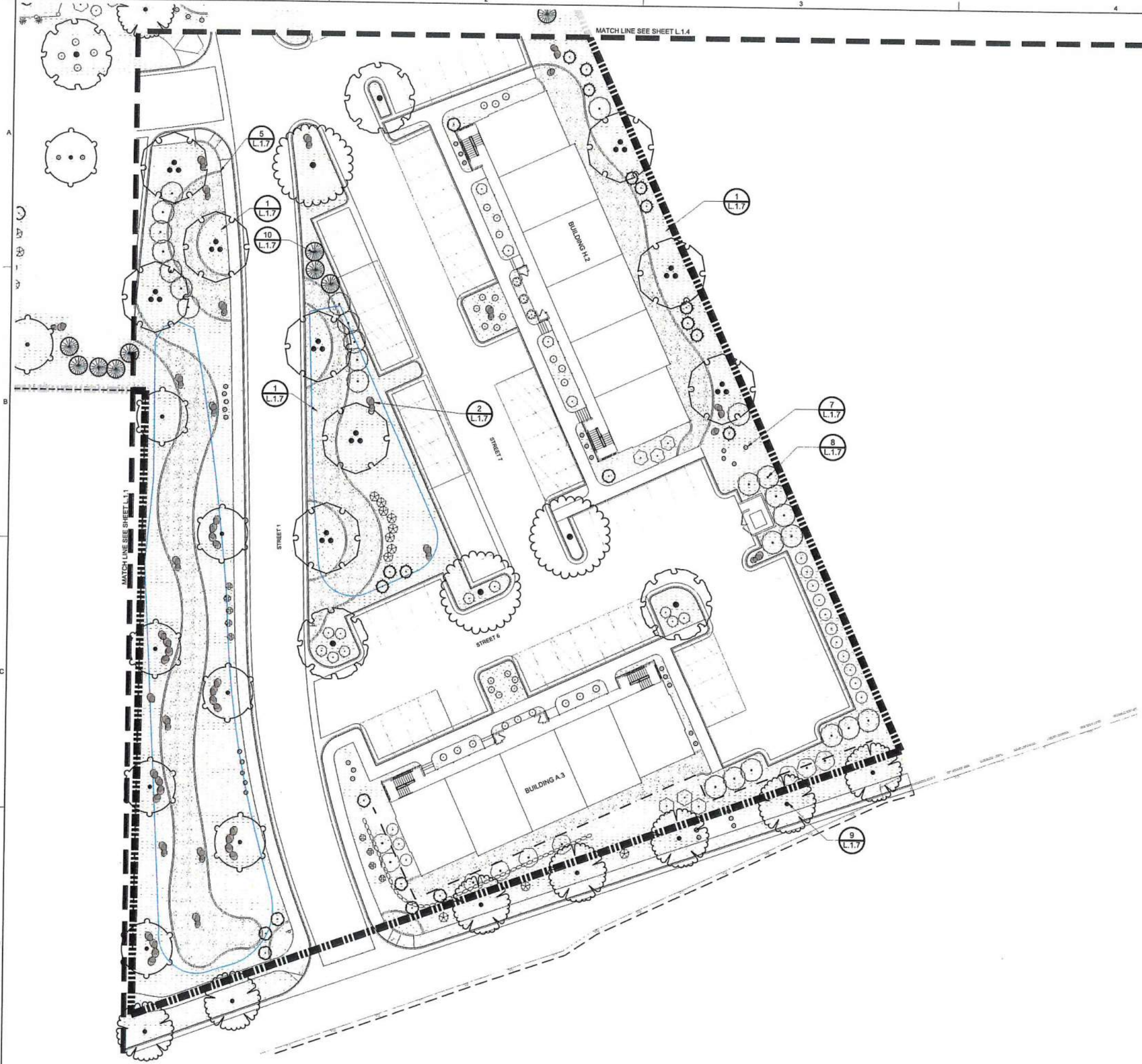
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REVISIONS	REV #	DATE	BY	SA	ARC	PROJECT
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LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
 SITE PLAN
 OVERALL

C.1.1
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PLANT SCHEDULE L.1.0

TREES	BOTANICAL / COMMON NAME	CONT.	GAL.	QTY.
●	CURCUTUS SEMPERVIRENS 'GLAUCO' ITALIAN CYPRESS	B & B	6'-7' TALL	8
●	FRAXINUS OXYCARPA 'RAYWOOD' TM RAYWOOD ASH	B & B	2"	3
●	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER	B & B	6'-7' TALL	3
●	JUNIPERUS SCOPULORUM 'MOONGLOW' MOONGLOW JUNIPER	B & B	6'-7' TALL	13
●	PISTACIA CHINESE'S CHINESE PISTACHE	B & B	2"	7
●	PISTACIA X 'RED PUEH' PISTACHE	B & B	2"	7
●	FRAXINUS CERASIFERA 'KRAUTER VERVULUS' PURPLE LEAF PLUM	B & B	2"	9
●	PYRUS CALLERYANA 'BRADFORD' BRADFORD FLOWERING PEAR	B & B	2"	3
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY.	
○	BURUS MICROPHYLLA JAPONICA 'WINTER GEM' WINTER GEM FOXGWOOD	5 GAL	18	
○	CALAMAGROSTIS X ACUTIFLORA 'MARI FOERSTER' FEATHER REED GRASS	5 GAL	31	
○	HEDISYRUS SYRACUS 'DOUBLE PURPLE' PURPLE HEDYotis of SYRACUS	5 GAL	8	
○	LIGUSTRUM JAPONICUM 'TEKANIKI' WAX LEAF PRIVET	5 GAL	14	
○	ALICE ENBERGER CAPILLARIS 'LENCA' REGAL BEST PINK RAUBLY	5 GAL	8	
○	PHYNIA X FRASER 'RED TIP' PHOTINIA	5 GAL	26	
○	PRUNUS X CERYTHA 'PURPLE LEAF SAND CHERRY'	5 GAL	3	
○	RHAPHOLEPIS INDICA 'PINKE' INDIAN HAWTHORNE	5 GAL	3	
○	ROSA X 'WHITE ICEBERG' SHRUB ROSE	5 GAL	14	
○	SCHIZACHYRIUM SCOPARIUM 'LITTLE BLUESTEM' GRASS	5 GAL	3	
○	SPARTUM JUNCEUM 'SPANISH BROOM'	5 GAL	11	
○	STIPA TENUISSIMA 'FINESTEM' NEEDLEGRASS	5 GAL	12	
○	SYRINIA VULGARIS 'COMBON LEAC'	5 GAL	3	

REFERENCE NOTES SCHEDULE L.1.0

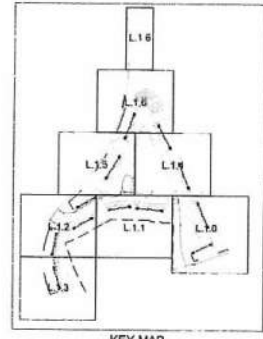
SYMBOL	DESCRIPTION	QTY.
●	3/4" DIAMETER ACCENT BOULDER - COLOR TO MATCH OTHER LANDSCAPE ROCK	81
○	2 1/4" DIAMETER CHERRY MIST LANDSCAPE ROCK - 4" DEPTH	25,518 SF
○	1" 3" RIVER ROCK - 1" DEPTH	8,532 SF
○	1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	1,047 SF

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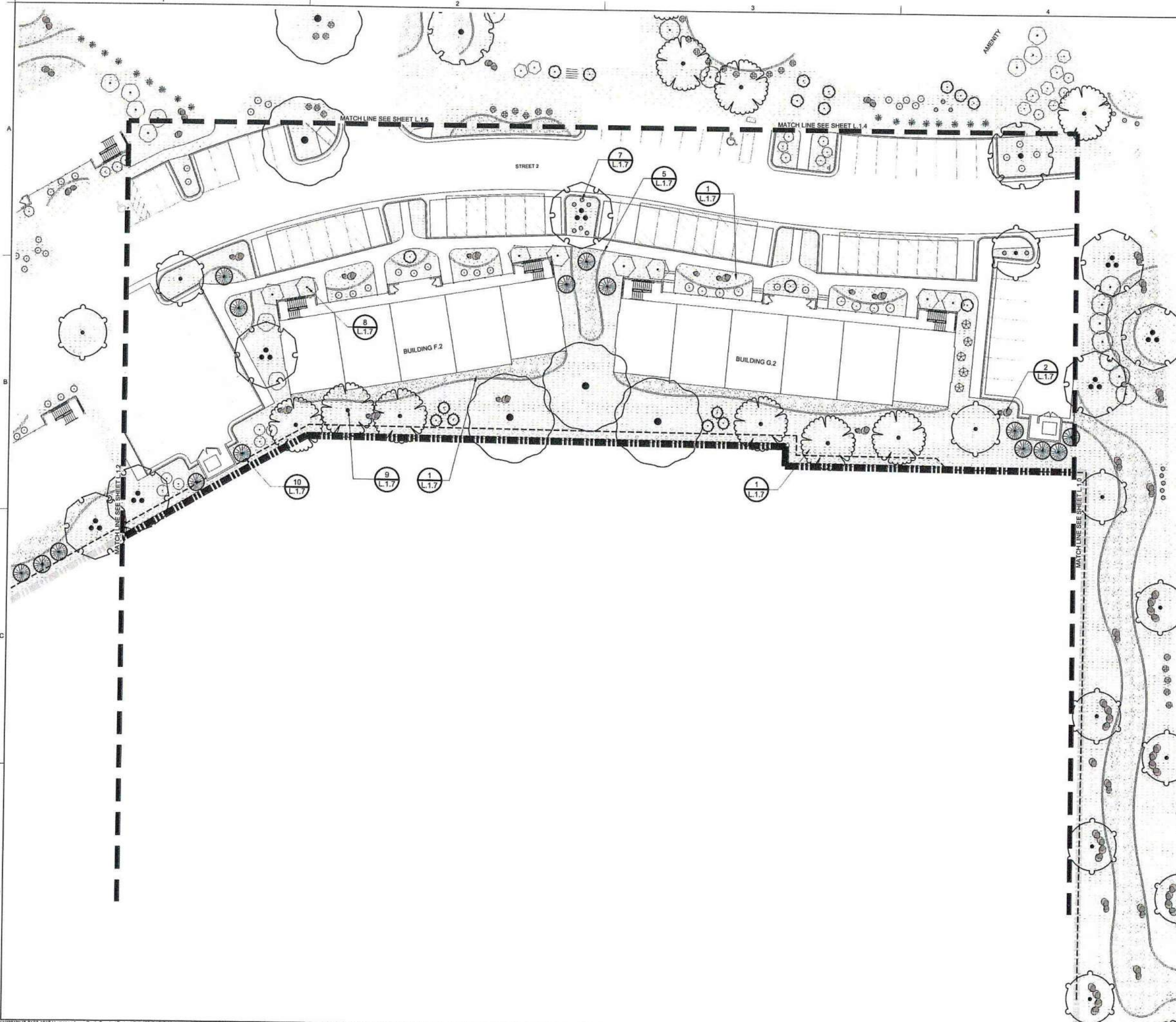
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LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
LANDSCAPE PLAN
 LANDSCAPE



L.1.0
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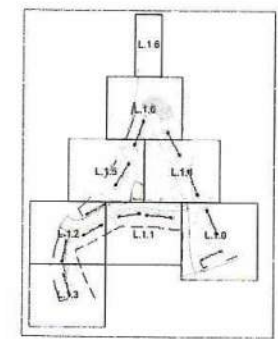


PLANT SCHEDULE L.1.1

TREES	BOTANICAL / COMMON NAME	CONT.	EQ.	QTY
	CUPRESSUS SEMPERVIRENS 'GLAUCA' ITALIAN CYPRESS	8.8 B	6'-7' TALL	3
	FRAXINUS AMERICANA JUNGINGER TM AUTUMN PURPLE WHITE ASH	8.8 D	7'	4
	JUNIPERUS CHINENSIS SPARTAN SPARTAN JUNIPER	8.8 B	6'-7' TALL	12
	JUNIPERUS SCOPULORUM MOONGLOW MOONGLOW JUNIPER	8.8 B	6'-7' TALL	8
	PISTACHIA CHINENSIS CHINESE PISTACHE	8.8 B	7'	3
	PISTACHIA X YILD PUSK PISTACHE	8.8 B	7'	6
	PRUNUS CERASPERA 'KRAUTER VESUVIUS' PURPLE LEAF PLUM	8.8 B	7'	3
	PIRUS CALLERYANA 'BRADFORD' BRADFORD FLOWERING PEAR	8.8 B	7'	1
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY	
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD	5 GAL	11	
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	5 GAL	8	
	HIBISCUS HYBRIDUS 'DOUBLE PURPLE' PURPLE ROSE OF SHARON	5 GAL	3	
	LIGULSTRUM JAPONICUM 'TEKANUM' VIAX LEAF PRIVET	5 GAL	6	
	NANDINA DOMESTICA 'KIDDEY EAY TM' HEAVENLY BIRDIE	5 GAL	4	
	PITTOSPORUM TOBIIRA 'WHEELER'S DWARF' WHEELER'S DWARF PITTOSPORUM	5 GAL	8	
	PODOCARPUS MACROPHYLLUS YEW PINE	5 GAL	8	
	ROSA X 'WHITE' ICEBERG SHRUB ROSE	5 GAL	6	
	SPARTANUM JUNCUM SPRANSH BROOK	5 GAL	5	
	UTRPA TENUISSIMA FINESTEM NEEDLEGRASS	5 GAL	2	

REFERENCE NOTES SCHEDULE L.1.1

SYMBOL	DESCRIPTION	QTY
	3-5" DIAMETER ACCENT BOLDER - COLOR TO MATCH OTHER	23
	3-4" DIAMETER CHERRY MIST LANDSCAPE ROCK - 4" DEPTH	17,860 SF
	1"-3" RIVER ROCK - 1" DEPTH	2,216 SF
	1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	1,127 SF



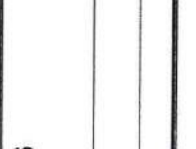
KEY MAP

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 DRAWN: SA
 CHECKED: ARC
 PROJECT: UT-2163-1912

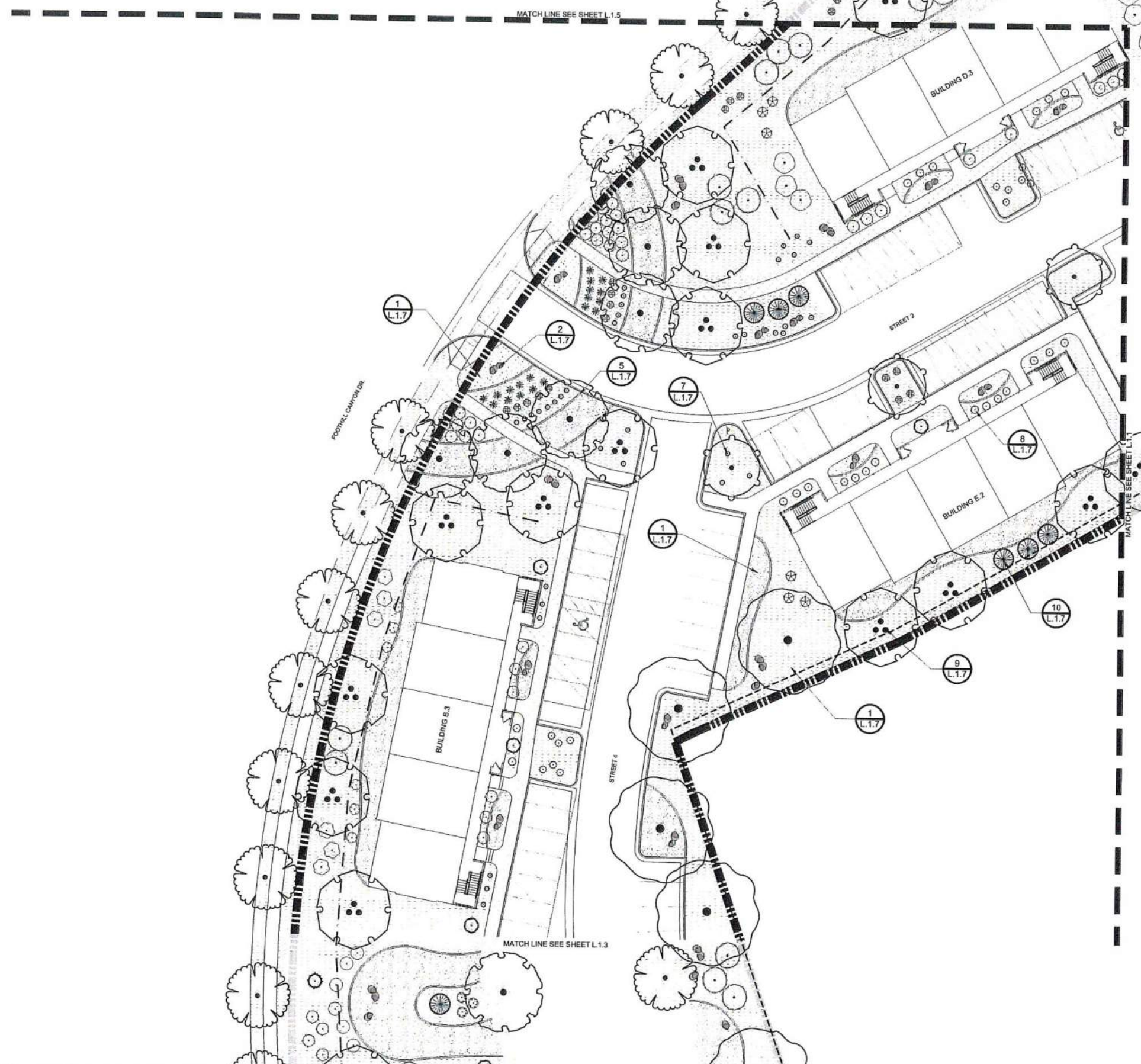


LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
 LANDSCAPE PLAN
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L.1.1
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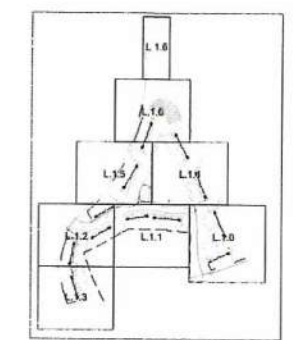


PLANT SCHEDULE L.1.2

TREES	BOTANICAL / COMMON NAME	CONT.	GAL.	QTY
	CUPRESSUS SEMPERVIRENS 'GLAUCA' ITALIAN CYPRESS	0.8.0	6'-7" TALL	4
	FRAXINUS AMERICANA 'LINDANGERI' TM AUTUMN PURPLE WHITE ASH	0.8.0	1"	4
	JUNIPERUS CHINENSIS SPARTAN SPARTAN JUNIPER	0.8.0	6'-7" TALL	6
	PISTACIA CHINENSIS CHINESE PISTACHE	0.8.0	2"	3
	PISTACIA X RED PUSH PISTACHE	0.8.0	2"	6
	PRUNUS CERASIFERA 'KRAUTER VESUVIUS' PURPLE LEAF PLUM	0.8.0	1"	12
	PYRUS CALLERYANA 'BRADFORD' BRADFORD FLOWERING PEAR	0.8.0	1"	6
SHRUBS	BOTANICAL / COMMON NAME	POT.	QTY	
	BUXUS MICROPHYLLA JAPONICA 'WINTER GEM' WINTER GEM BOXWOOD	5 GAL	0	
	CALAMAGRODITIS X ACUTIFLORA 'KARL FORSTER' FEATHER REED GRASS	5 GAL	30	
	HIBISCUS SYRACUS 'DOUBLE PURPLE' PURPLE ROSE OF SHARON	5 GAL	3	
	JUNIPERUS SABINA 'BUFFALO' BUFFALO JUNIPER	5 GAL	6	
	LIRIOPE MUSCARI 'NANA VARIEGATA' DWARF VARIEGATED LILY TURF	5 GAL	10	
	MULLEBERGIA CAPILLARIS 'LENCA' REGAL HST PINK NURS.	5 GAL	16	
	NANDINA DOMESTICA 'MOON BAY' TM HEAVENLY BARRWOOD	5 GAL	14	
	PHOTINIA X FRASERI 'RED TIP' PHOTINIA	5 GAL	6	
	ROSA X 'WHITE' 'ICEBERG' SHRUB ROSE	5 GAL	38	
	SCHIZACHYRIUM SCOPARIUM 'LITTLE BLUESTEM' GRASS	5 GAL	6	
	SPYRITUM JUNCEUM 'SPANISH BROOM'	5 GAL	6	
	STIPA TENGISSEMA 'FINESTEN' NEEDLEGRASS	5 GAL	12	
	SYRINJA VULGARIS 'COMMON LILAC'	5 GAL	6	

REFERENCE NOTES SCHEDULE L.1.2

SYMBOL	DESCRIPTION	QTY
	3/5" DIAMETER ACCENT BOULDER - COLOR TO MATCH OTHER LANDSCAPE ROCK	54
SYMBOL	DESCRIPTION	QTY
	3/4" DIAMETER CHERRY FIST LANDSCAPE ROCK - 4" DEPTH	20,817 SF
	1" RIVER ROCK - 4" DEPTH	5,910 SF
	1 1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	1,021 SF



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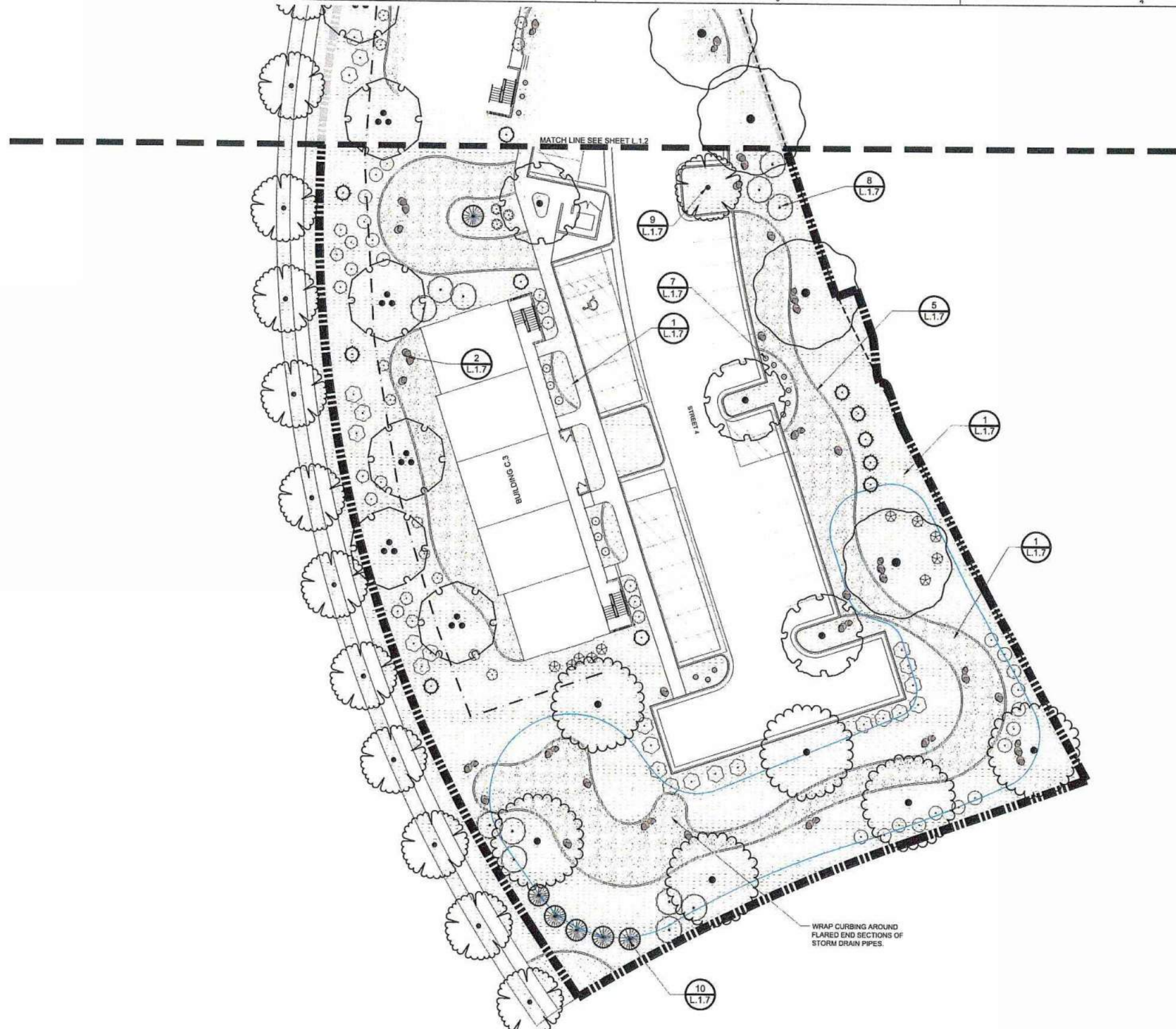
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PROJECT					UT-2163-1912



LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
 LANDSCAPE PLAN
 LANDSCAPE

L.1.2
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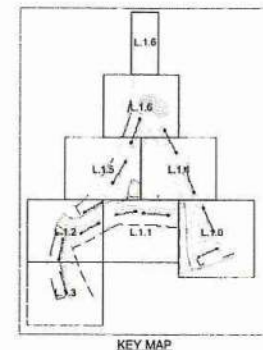


PLANT SCHEDULE L.1.3

TREE	BOTANICAL / COMMON NAME	CONT.	GAL.	QTY
	CUPRESSUS SEMPERVIRENS GLAUCA ITALIAN CYPRESS	8 & 8	6'-7" TALL	2
	FRAXINUS AMERICANA JUNGHOFER TM AUTUMN PURPLE WHITE ASH	8 & 8	7'	2
	FRAXINUS OKYCARPA RAYHOOD TM RAYHOOD ASH	8 & 8	7'	8
	JUNIPERUS CHINENSIS SPARTAN SPARTAN JUNPER	8 & 8	6'-7" TALL	6
	JUNIPERUS SCOPULORUM MOONGLOW MOONGLOW JUNPER	8 & 8	6'-7" TALL	8
	PISTACHIA X RED PUSH PISTACHE	8 & 8	7'	11
	PRUNUS CERASIFERA KRAUTER VESUVIUS PURPLE LEAF PLUM	8 & 8	7'	4
	PYRUS CALLERYANA BRADFORD BRADFORD FLOWERING PEAR	8 & 8	7'	3
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY	
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER FEATHER REED GRASS	5 GAL.	3	
	JUNIPERUS SABINA BUFFALO BUFFALO JUNPER	5 GAL.	7	
	LIGULSTRUM JAPONICUM TEXANUM WAX LEAF PRIVET	5 GAL.	20	
	NAHOHA DOMESTICA MOONBEAM TM HEAVENLY BAMBOO	5 GAL.	6	
	PHOTINIA X FRASERI RED TIP PHOTOINIA	5 GAL.	12	
	RHAPHIDOLEPIS INDICA PINKIE INDIAN HAWTHORNE	5 GAL.	3	
	ROSA X WHITE ICEBERG SHRUB ROSE	5 GAL.	17	
	SCYZACHYRIUM SCOPARIUM LITTLE BLUESTEM GRASS	5 GAL.	6	
	SPARTANUM JUNCHEUM SPARTAN BROOK	5 GAL.	10	
	SYRINGA VILGOSA COMMON LILAC	5 GAL.	20	

REFERENCE NOTES SCHEDULE L.1.3

SYMBOL	DESCRIPTION	QTY
	1.5" DIAMETER ACCENT BOULDER - COLOR TO MATCH OTHER LANDSCAPE ROCK	44
SYMBOL	DESCRIPTION	QTY
	3/4" DIAMETER CHERRY BIST LANDSCAPE ROCK - 4" DEPTH	38,014 SF
	1"-3" RIVER ROCK - 4" DEPTH	9,324 SF
	1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	819 SF



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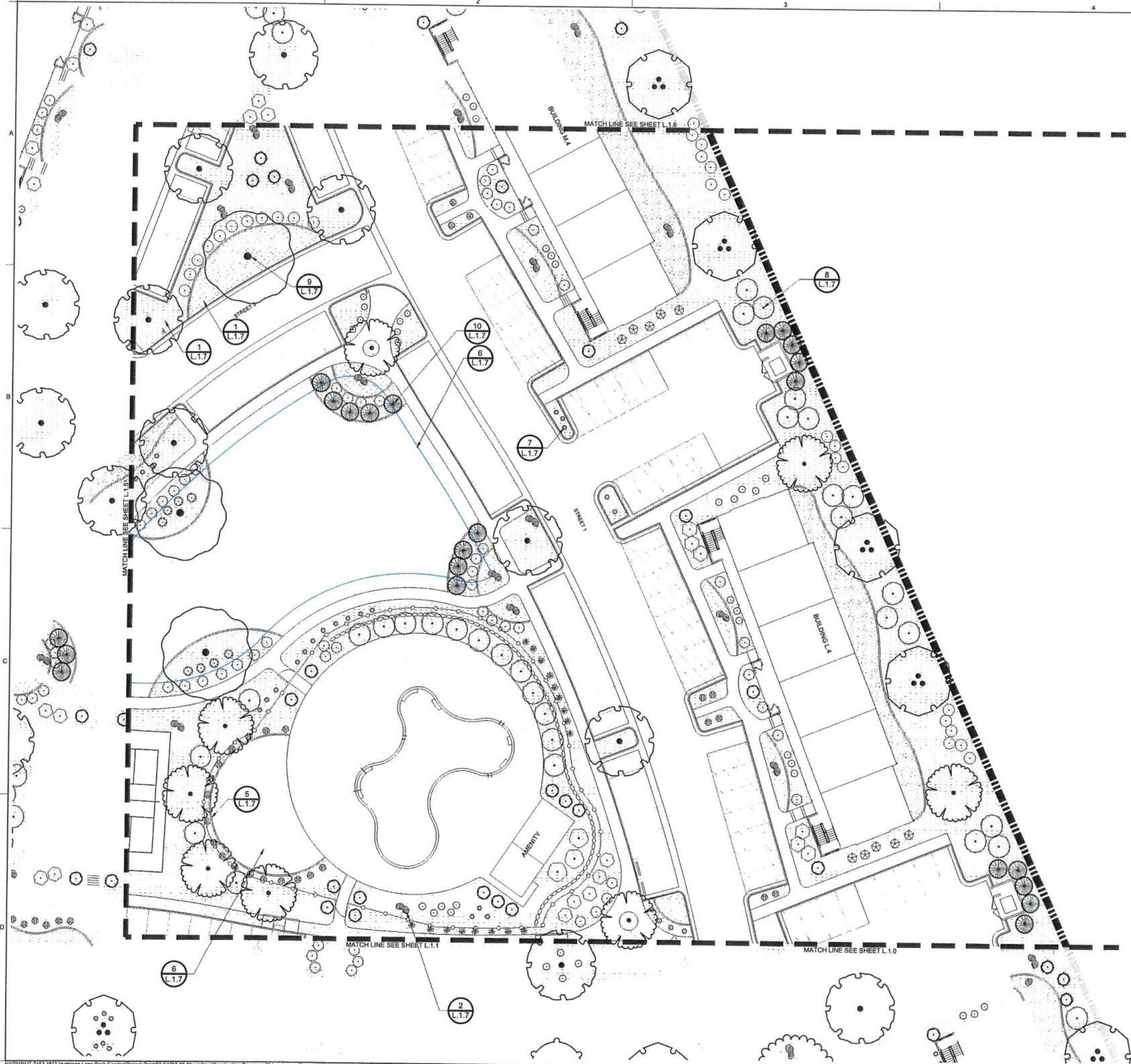
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LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
LANDSCAPE PLAN
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L.1.3
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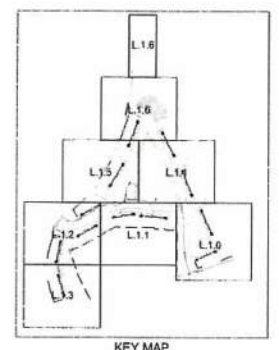
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PLANT SCHEDULE L.1.4

TREES	BOTANICAL / COMMON NAME	CONT.	EQAL	QTY
	CUPRESSUS SEMPERVIRENS GLAUCA ITALIAN CYPRISS	B & B	6'-7' TALL	17
	FRAXINUS AMERICANA JUNGINGER TM AUTUMN PURPLE WHITE ASH	B & B	7'	3
	JUNIPERUS CHINENSIS SPARTAN SPARTAN JUNIPER	B & B	6'-7' TALL	10
	JUNIPERUS SCOPULORUBI MOONGLOW MOONGLOW JUNIPER	B & B	6'-7' TALL	3
	PISTACIA X RED PINE PISTACHE	B & B	2'	8
	PRUNUS CERASIFERA KRAUTER VERNALIS PURPLE LEAF PLUM	B & B	2'	3
	PYRUS CALLERYANA BRADFORD BRADFORD FLOWERING PEAR	B & B	2'	6
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY	
	BUNUS MACROPHYLLA JAPONICA WINTER GEM WINTER GEM BOKWOOD	5 GAL	5	
	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER FEATHER REED GRASS	5 GAL	21	
	HIBISCUS SYRIACUS DOUBLE PURPLE PURPLE ROSE OF SHARON	5 GAL	3	
	LIQUSTRUM JAPONICUM TEKANUJI WAX LEAF PRIVET	5 GAL	27	
	LIRIOPE MUCICARI NANA VARIEGATA DWARF VAREGATED LILY TURF	5 GAL	17	
	MULLENBERGIA CAPILLARIS LENAICA REDD. BEST PINK MUILY	5 GAL	26	
	NANDINA DOMESTICA MOON BAY TM HEAVENLY EMBROID	6 GAL	14	
	PHOTINIA X FRASERI RED TIP PHOTINIA	5 GAL	31	
	FRUNUS X CESTENA PURPLE LEAF SAND CHERRY	5 GAL	6	
	RHAPHIDOLEPIS INDICA PINKIE INDIAN HAZELHEDONE	5 GAL	6	
	ROSA X WHITE ICEBERG SHRUB ROSE	6 GAL	45	
	SCHIZACHYFRUNUS SCOPARUM LITTLE BLUESTEM GRASS	5 GAL	6	
	SPARTANUM JUNCHEUM SPAND-H BROOM	5 GAL	10	
	STIPA TENUESBIVA FINESTEM NEEDLEGRASS	5 GAL	6	
	SYRINDBA VULGARIS COMMON LEAC	5 GAL	5	
GROUND COVER	BOTANICAL / COMMON NAME	QTY		
	POA PRATENSIS IMPERIAL BLUE IMPERIAL BLUE KENTUCKY BLUEGRASS	14,476 SF		

REFERENCE NOTES SCHEDULE L.1.4

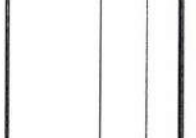
SYMBOL	DESCRIPTION	QTY
	3'-6" DIAMETER ACCENT BOULDER - COLOR TO MATCH OTHER LANDSCAPE ROCK	20
	3/4" DIAMETER CHERRY MIST LANDSCAPE ROCK - 4" DEPTH	20,342 SF
	1'-2" RIVER ROCK - 4" DEPTH	3,884 SF
	1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	2,024 SF



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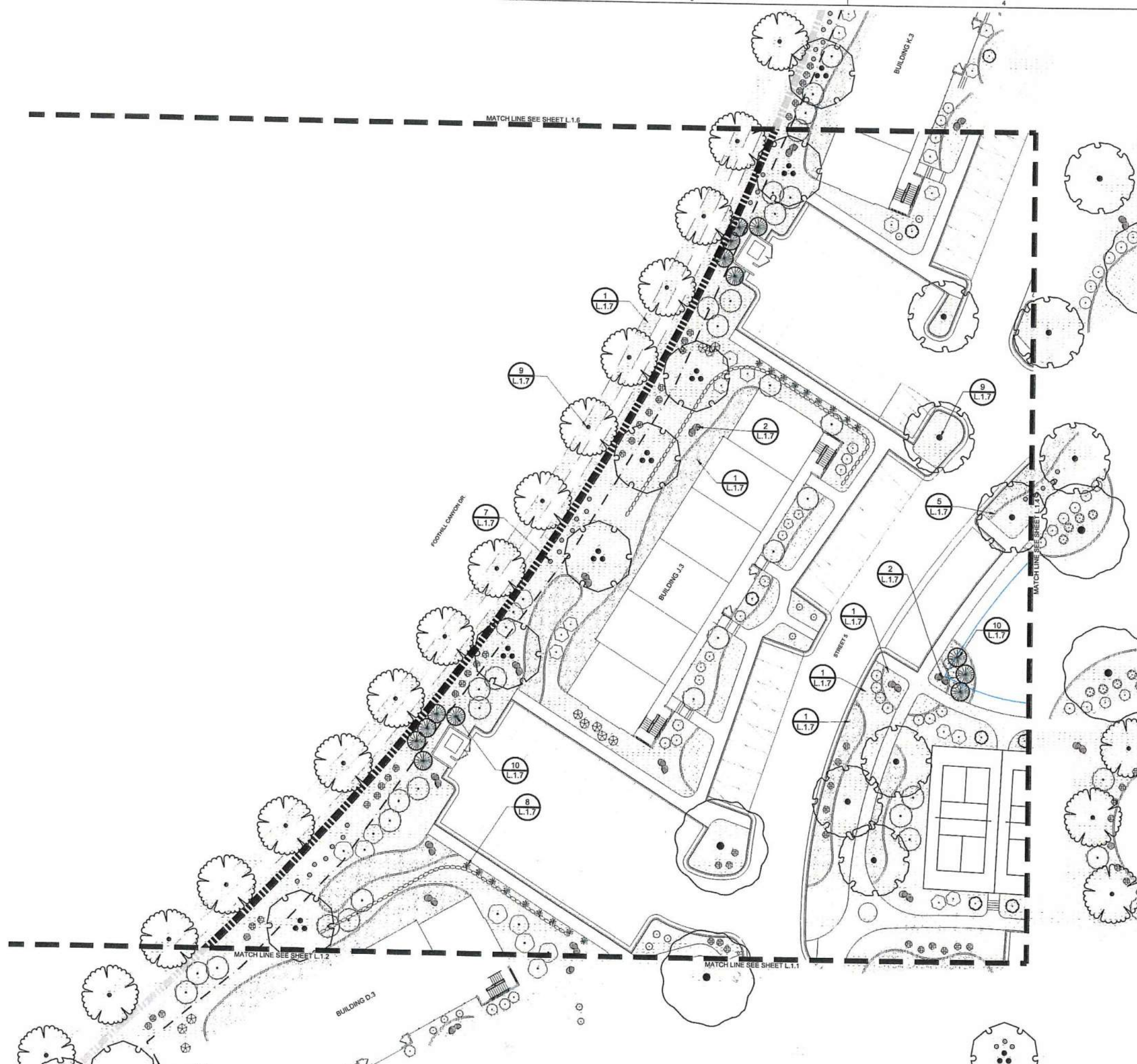
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 CHECKED: [Signature] ARC
 PROJECT: UT-2183-1912



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L.1.4
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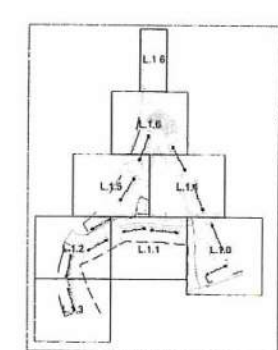


PLANT SCHEDULE L.1.5

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	QTY.
○	CUPRESSUS SEMPERVIRENS 'GLAUCO' ITALIAN CYPRESS	8 & B	6'-7' TALL	8
○	FRAXINUS AMERICANA 'LINDGINGER TM' AUTUMN PURPLE WHITE ASH	8 & B	7'	1
○	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER	8 & B	6'-7' TALL	13
○	PISTACIA X 'RED PUNCH' PISTACHE	8 & B	7'	13
○	PRUNUS CERASIFERA 'KRAUTER VESUVIUS' PURPLE LEAF PLUM	8 & B	7'	6
○	PYRUS CALLERYANA 'BRADFORD' BRADFORD FLOWERING PEAR	8 & B	7'	6
GRASSES	BOTANICAL / COMMON NAME	SIZE	QTY.	
○	CALAMAGROSTIS X ACUTIFLOIA 'KARL FOERSTER' FEATHER REED GRASS	5 GAL	10	
○	HERICUS SYRIACUS 'DOUBLE PURPLE' PURPLE ROSE OF SHARON	5 GAL	10	
○	LIRIOPE MUSCARI 'NANA VARIEGATA' DRAP' VARIEGATED LILY TURF	5 GAL	10	
○	MULLEBERGIA CAPILLARIS 'LEICA' REGAL MIST PINK MUMBY	5 GAL	28	
○	NANDINA DOMESTICA 'MOON BAY TM' HEAVENLY BAYWOOD	5 GAL	5	
○	PHOTINIA X FRASERI 'RED TIP' PHOTINIA	5 GAL	25	
○	PRUNUS X CISTENA 'PURPLE LEAF SAND CHERRY'	5 GAL	4	
○	RHAMPHOLEPS UMBELLATA 'MINOR DWARF YEDDA HAWTHORNE STANDARD'	5 GAL	8	
○	ROSA X 'WHITE ICEBERG' SHRUB ROSE	5 GAL	10	
○	SPARTIUM JUNCHEUM 'SPANISH BROOM'	5 GAL	8	
○	STIPA TENUESSIMA 'FIRESTEM' HEADQUARTERS	5 GAL	3	
○	SYRINGA VULGARIS 'COMMON LILAC'	5 GAL	6	

REFERENCE NOTES SCHEDULE L.1.5

SYMBOL	DESCRIPTION	QTY.
●	3-5 DIAMETER ACCENT BOULDER - COLOR TO MATCH OTHER LANDSCAPE ROCK	24
■	3/4" DIAMETER CHERRY MIST LANDSCAPE ROCK - 4" DEPTH	23,979 SF
■	1"-3" RIVER ROCK - 12" DEPTH	4,828 SF
■	1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	1,119 SF



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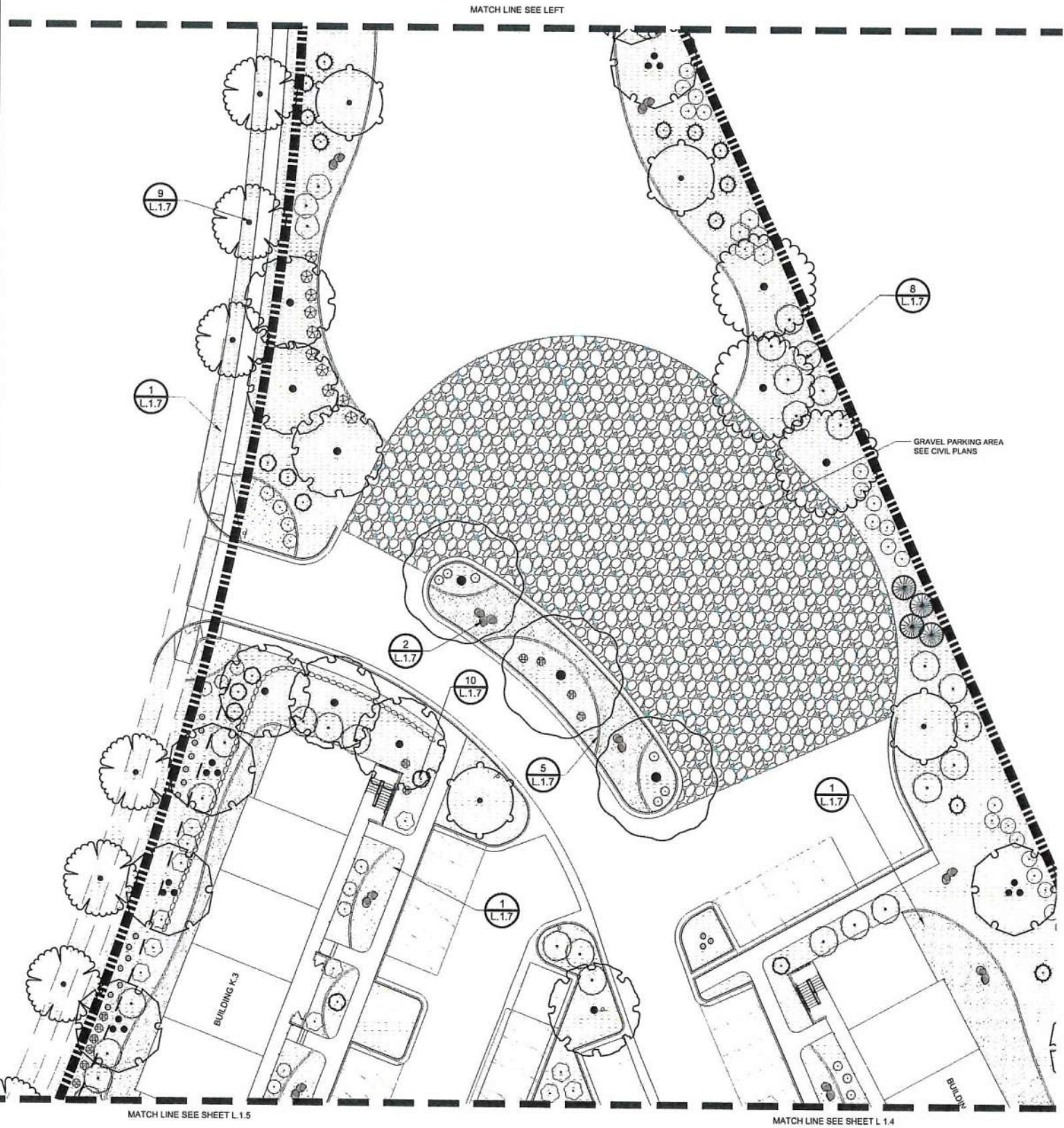
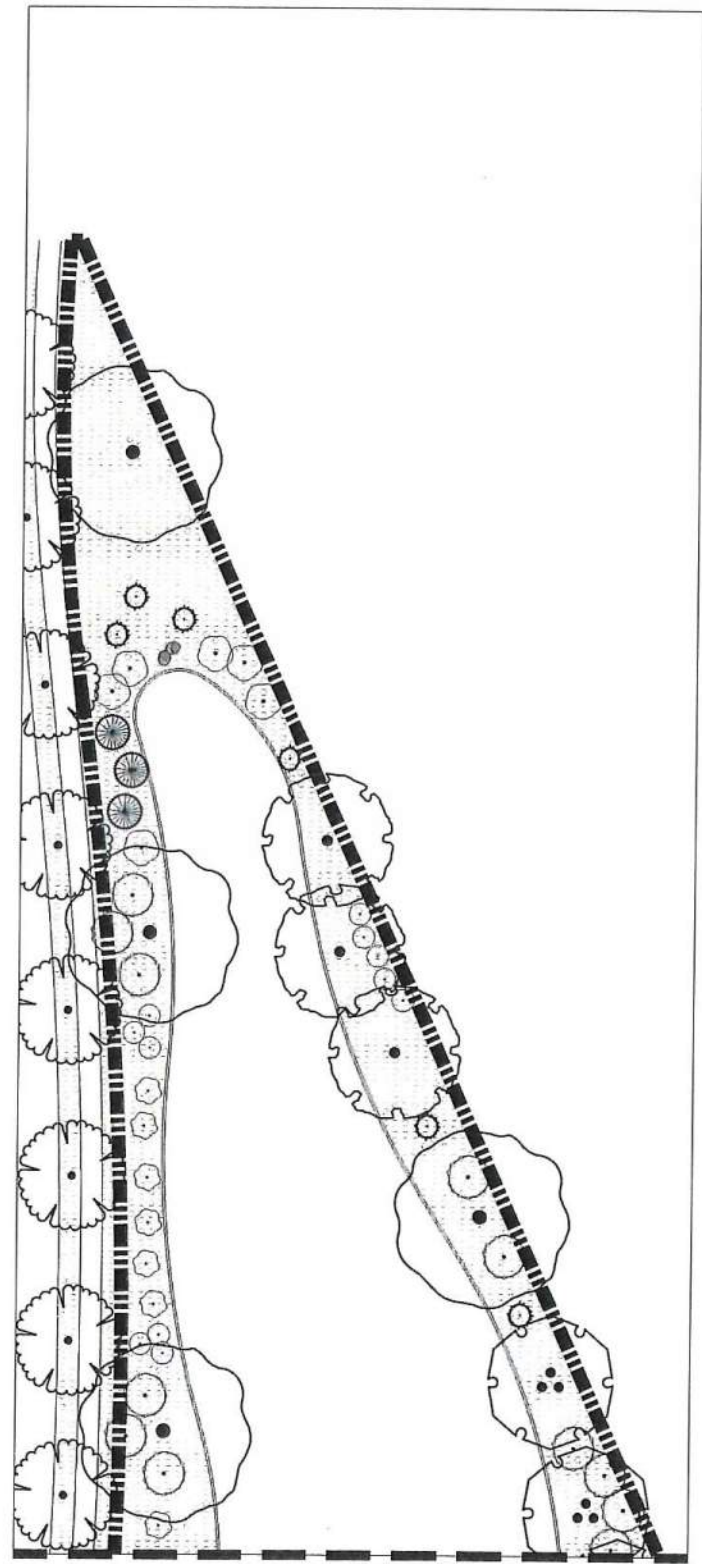
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 LANDSCAPE

L.1.5

H:\2021\UT-2163-1912 Hurricane Lone Rock Condos\Project\Drawings\09 Landscape Plan.dwg - L.1.5 LANDSCAPE PLAN - 8/19/2020 02:46pm, lscott



HORROCKS ENGINEERS
 555 South Bluff St., Suite 101
 St. George, UT 84770
 (435) 966-7888
 www.horrock.com

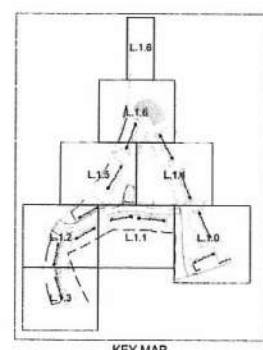


PLANT SCHEDULE L.1.6

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	QTY.
●	CUPRESSUS SENSIENSIS 'GLAUCO ITALIAN CYPRESS'	8.00	6'-7" TALL	8
●	FRAXINUS AMERICANA 'JANINGER' TM AUTUMN PURPLE WHITE ASH	8.00	2"	7
●	FRAXINUS OXYCARPA 'RAYWOOD' TM RAYWOOD ASH	8.00	2"	3
●	JUNIPERUS CHINENSIS 'SPARTAN' SPARTAN JUNIPER	8.00	6'-7" TALL	7
●	JUNIPERUS SCOPULORUM 'MOONBLOW' MOONBLOW JUNIPER	8.00	6'-7" TALL	17
●	PISTACIA CHINENSIS CHINESE PISTACHE	8.00	2"	4
●	PISTACIA X RED PUSH PISTACHE	8.00	2"	14
●	PRUNUS CERASIFERA 'KRAUTER VESUVIUS' PURPLE LEAF PLUM	8.00	2"	7
●	PYRUS CALLERYANA 'BRADFORD' BRADFORD FLOWERING PEAR	8.00	2"	10
SHRUBS	BOTANICAL / COMMON NAME	SIZE	QTY.	
●	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' FEATHER REED GRASS	5 GAL	17	
●	HEBISCUS SYRIACUS 'DOUBLE PURPLE' PURPLE ROSE OF SHARON	5 GAL	8	
●	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	5 GAL	31	
●	KUHLBERGIA CAPILLARIS 'LENCA' REGAL MIST PINK RHIZY	5 GAL	12	
●	HANDINA DOMESTICA 'MOON BAY' TM HEAVENLY BAMBOO	5 GAL	8	
●	PHOTINIA X FRASERI 'RED TIP' PHOTINIA	5 GAL	36	
●	PRUNUS X CISTENA 'PURPLE LEAF SAND CHERRY'	5 GAL	5	
●	ROSA X WHITE 'ICEBERG' SHRUB ROSE	5 GAL	12	
●	SPARTANUM 'ANCELUM' SPANISH BROOD	5 GAL	10	
●	SYRINGA VULGARIS 'CORAYON' LILAC	5 GAL	16	

REFERENCE NOTES SCHEDULE L.1.6

SYMBOL	DESCRIPTION	QTY.
●	3.5" DIAMETER ACCENT BOULDER - COLOR TO MATCH OTHER LANDSCAPE ROCK	21
SYMBOL	DESCRIPTION	QTY.
■	24" DIAMETER CHERRY MIST LANDSCAPE ROCK - 4" DEPTH	30,252 SF
■	1" 3" RIVER ROCK - 1" DEPTH	2,040 SF
■	1/2" REBEL RED LANDSCAPE ROCK - 4" DEPTH	1,477 SF
■	1/4" MINUS APACHE BROWN CHALK - 4" DEPTH	22,308 SF



WARNING
 IF THIS BAR DOES NOT MATCH THE DRAWING DRAWING IS NOT TO SCALE

REVISIONS	REV #	DATE	DESIGNED	DRAWN	CHECKED	PROJECT
			BW	SA	ARC	UT-2163-1912



LONE ROCK CONDOMINIUMS
 HURRICANE, UTAH
LANDSCAPE PLAN
 LANDSCAPE

L.1.6
 PAGE 21

architettura
 10140 West 100th Street
 Greenwood Village, Colorado
 801.310.7031
 Terry Judd
 Architect
 California
 Utah
 Hawaii
 An Architectural Firm, Inc.

New Residence For:
 Lone Rock
 Condominiums

Cory Andersen

Approx. Address:
 Old Hwy. 91 and
 Foothills Canyon Dr.

DATE: March 18, 2020
 PARCEL #: 22-051-0061



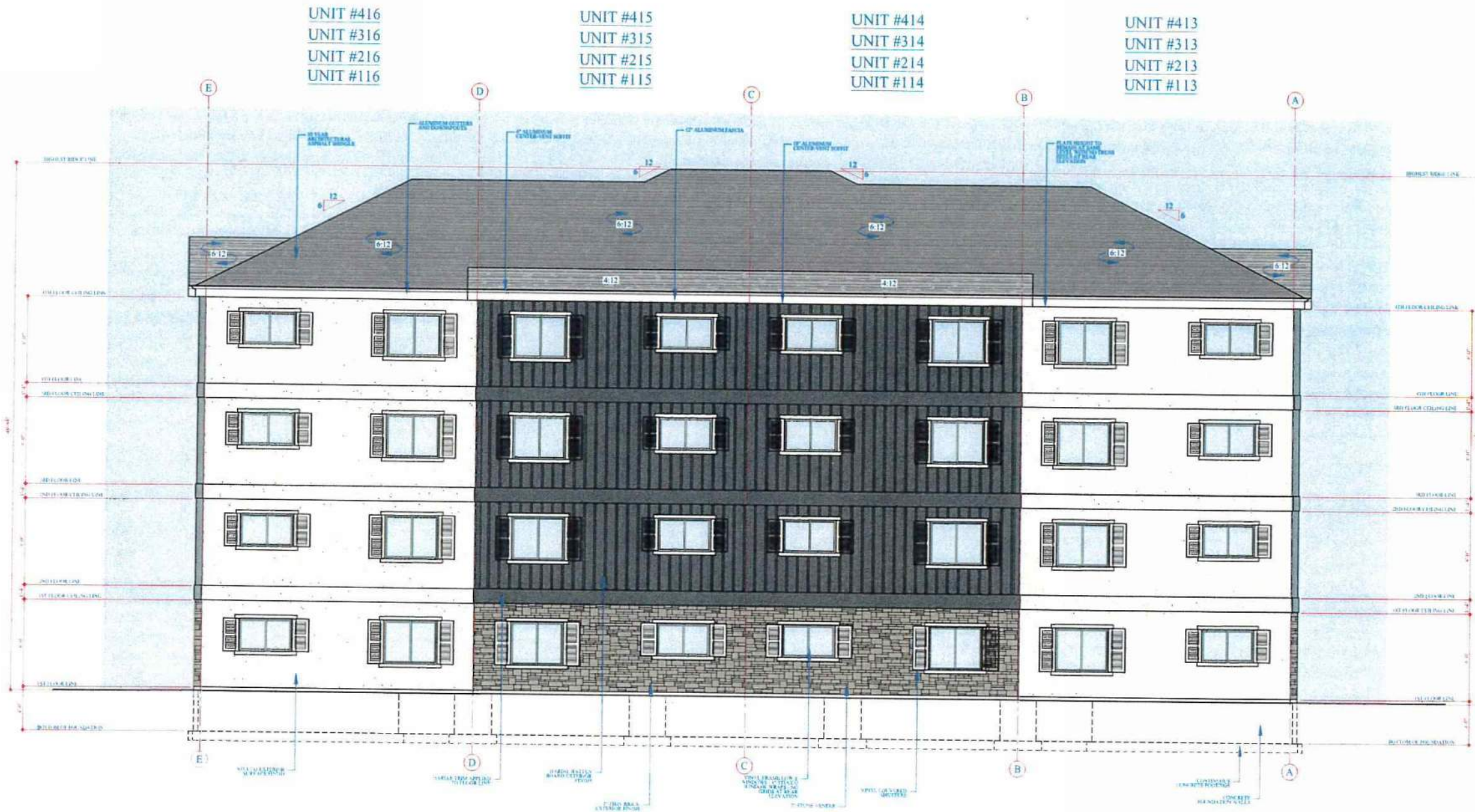
FRONT ELEVATION
 1/32" SCALE 11X17 - 1/16" SCALE 24X36

DRAWING TITLE:
FRONT ELEVATION
 11X17: 3/32" SCALE
 24X36: 1/16" SCALE



REVISIONS	
DATE	DESCRIPTION

SHEET
A.9



UNIT #416
UNIT #316
UNIT #216
UNIT #116

UNIT #415
UNIT #315
UNIT #215
UNIT #115

UNIT #414
UNIT #314
UNIT #214
UNIT #114

UNIT #413
UNIT #313
UNIT #213
UNIT #113

REAR ELEVATION
1/32" SCALE 11X17 - 1/16" SCALE 24X36

architettura
801.310.7031
Terry Judd
Architect
California
Utah
Hawaii

New Residence For:
Lone Rock
Condominiums

Cory Andersen

Approx. Address:
Old Hwy. 91 and
Foothills Canyon Dr.

DATE: March 18, 2020
PARCEL #: 22-051:0061

REAR ELEVATIONS

DRAWING TITLE:

1/16" SCALE 11X17 - 3/16" SCALE 24X36



REVISIONS	
DATE	DESCRIPTION

SHEET
A.10

architettura
 1772 Pine Street
 San Francisco, CA 94109
 801.310.7031
 Terry Judd
 Architect
 California
 Utah
 Hawaii
 Architecture, Inc. is a
 100% employee owned

New Residence For:
 Lone Rock
 Condominiums

Cory Andersen

Approx. Address:
 Old Hwy. 91 and
 Foothills Canyon Dr.

DATE: March 18, 2020

PARCEL #: 22-051-0061

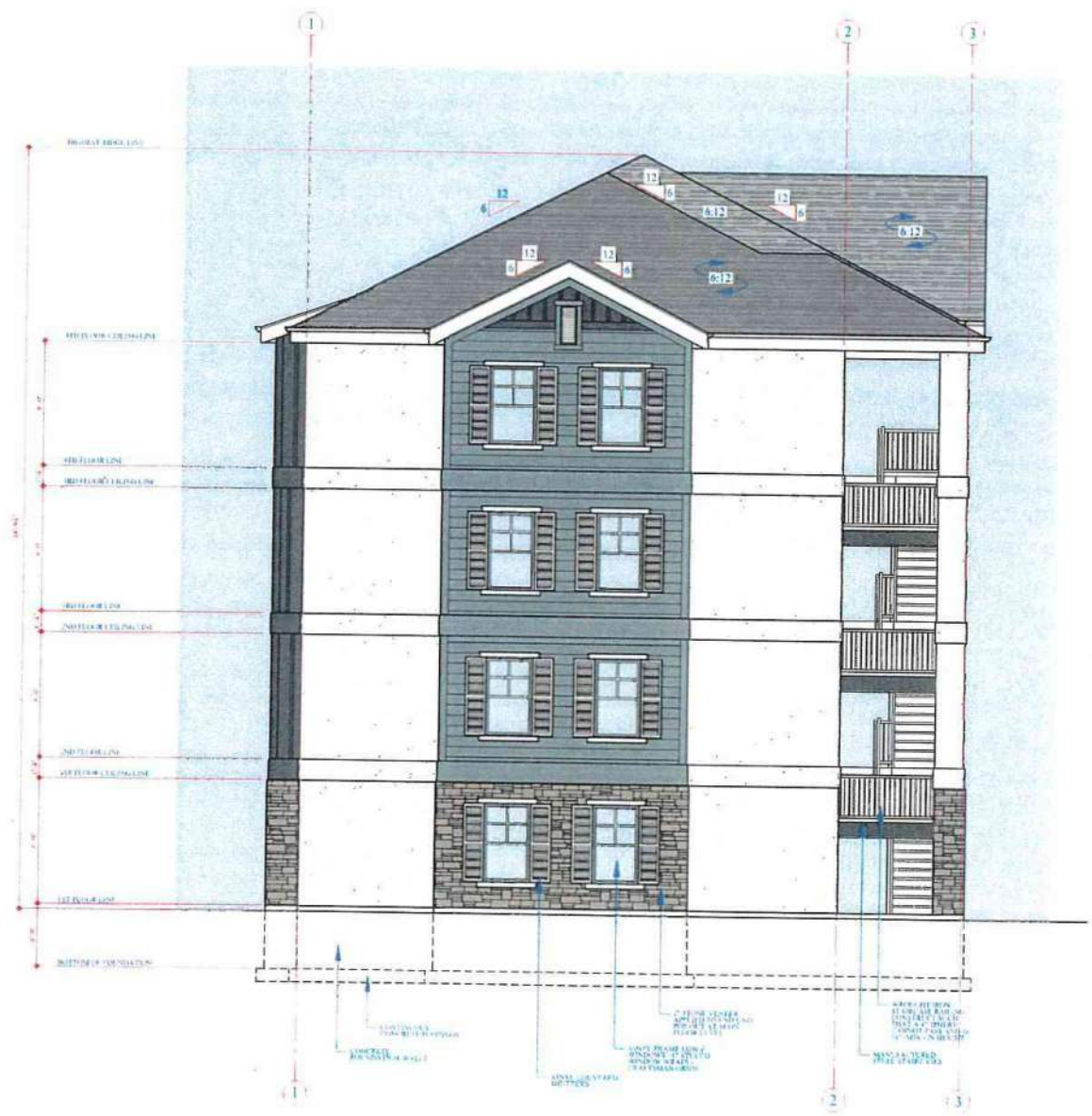
DRAWING TITLE:
LEFT/RIGHT ELEVATIONS

1/4" = 1'-0" SCALE
 3/4" = 1'-0" SCALE



REVISIONS	
DATE	DESCRIPTION

SHEET
A.11



LEFT SIDE ELEVATION
 1/4" SCALE (1/4" = 1'-0") 3/4" SCALE (3/4" = 1'-0")



RIGHT SIDE ELEVATION
 1/4" SCALE (1/4" = 1'-0") 3/4" SCALE (3/4" = 1'-0")

FINAL SITE PLAN APPLICATION

City of Hurricane
147 North 870 West
Hurricane, UT 84737
(435) 635-2811
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:

File No. 2020-FSP-13
Receipt No. 7.660323

Name: Hurricane Views, LLC Clark Colledge Telephone: 801-884-6949

Address: 1192 E Draper PKWY #477, Draper, UT 84020 Fax No. 877-395-0591

Agent (If Applicable): N/A Telephone: N/A

Email: clark@clarkcolledge.com Agent Email: N/A

Address/Location of Subject Property: Approximately 2100 West and Rlington Parkway

Tax ID of Subject Property: H-3-1-33-4402, H-3-1-33-33010 Zone District:

Proposed Use: (Describe, use extra sheet if necessary) residential subdivision containing single family homes and multi family units

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- _____ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- _____ b) Layout, dimensions, and names of existing and future road rights-of-way;
- _____ c) Project name, North arrow, and tie to a section monument;
- _____ d) The boundary lines of the project site with bearings and distances;
- _____ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- _____ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- _____ g) Location of man-made features including irrigation facilities, bridges, and buildings
- _____ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- _____ i) Identification of property, if any, not proposed for development, and;
- _____ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

STAFF COMMENTS

Agenda: August 26, 2020 **File Number:** 2020-FSP-13

Type of Application: Final Site Plan Approval, Administrative

Applicant: Hurricane Views, LLC

Agent: Clark Colledge

Request: Final Site Plan for Hurricane Views and Village

Location: Located on 2180 W and around 300 S

General Plan: High Density Single Family, 4-8 Units/Acre

Current Zoning: RM-2 PDO

Discussion: This is the final site plan for the Hurricane Views and Hurricane Village Plat A. This is the first phase of their development. During the preliminary application, the applicant submitted a sensitive lands plan that was approved by the City Council.

JUC Comments:

The full construction set has been submitted and reviewed by the JUC. However, the set is still missing the signature from Dominion Energy and Hurricane Public Works. Hurricane Public Works has approved the set but is waiting for Dominion to sign before the City gives an official approval of the construction drawings. The applicant is planning on obtaining the needed signatures before the Planning Commission Meeting.

Staff Comments on Final Site Plan:

1. The placement and general layout of the site plan comply with the preliminary site plan.
2. Grading plan and lot elevations have been provided.
3. Landscaping has been submitted and complies with Hurricane City Code. Most open space and slopes shall remain with natural landscaping, and shrubs and trees will be planted in front of the homes.
4. Building Elevations have been submitted, and they comply with Hurricane City standards.
5. Street lights are noted to meet Dark Sky and Hurricane City Standards. Lights placed on buildings will also need to follow the same standards.

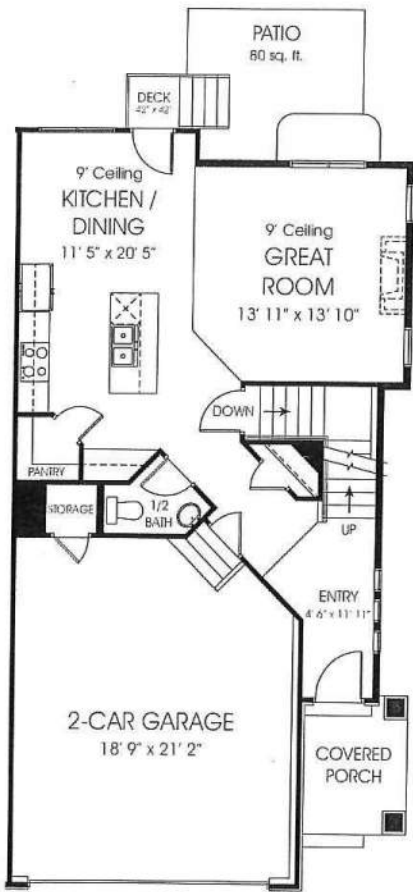
Recommendation: Staff recommends approval of the final site plan subject to the following conditions:

1. Dominion Energy and Hurricane Public Works sign off on the construction drawings
2. All outdoor lighting shall comply with Hurricane City Code 10-33-5.

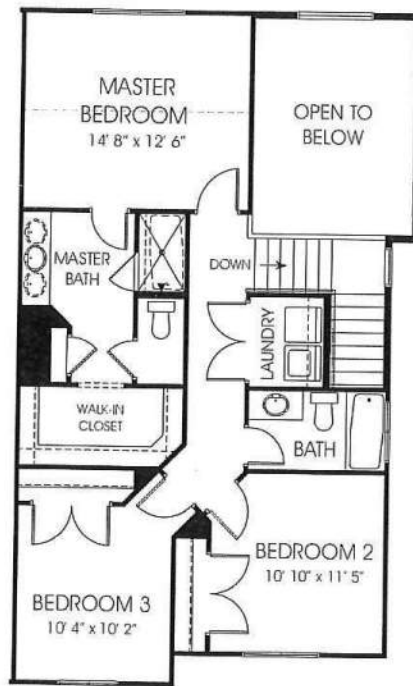
Two Story Townhomes
 Hurricane Villages Units 1-31
 Hurricane Views Units 1-~~22~~ 15; 24-29



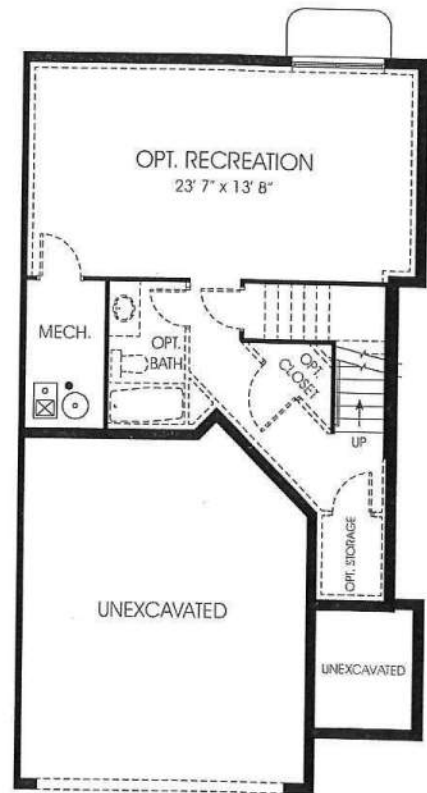
24.5' ft Tall



FIRST FLOOR



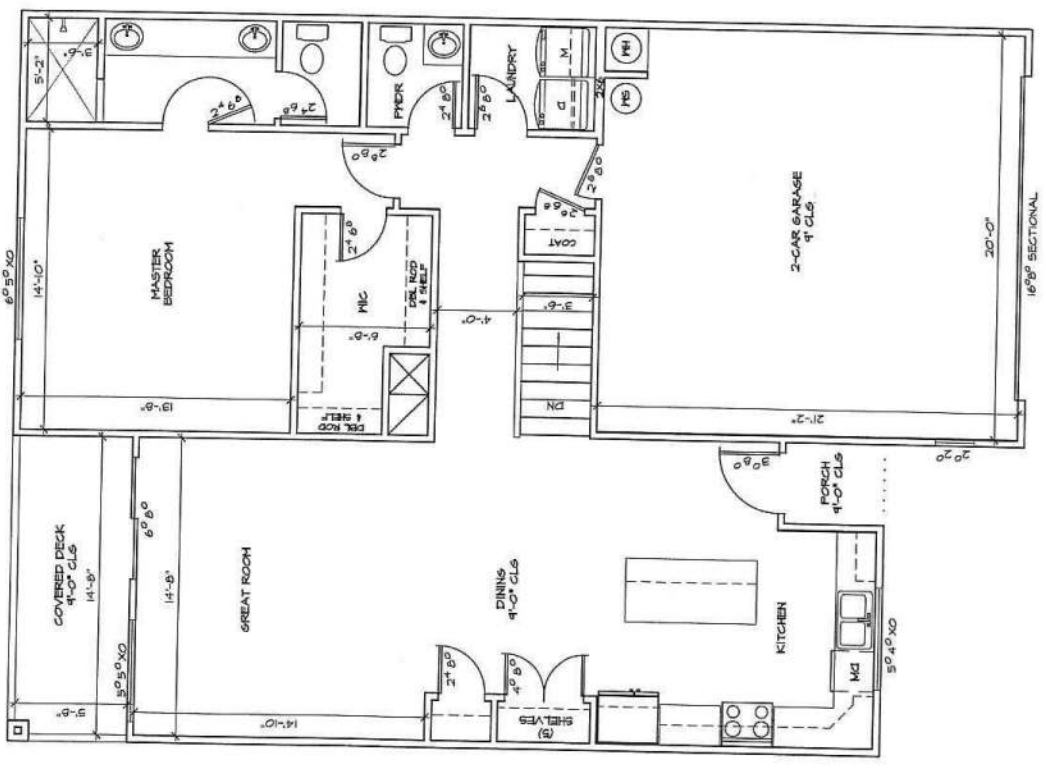
SECOND FLOOR



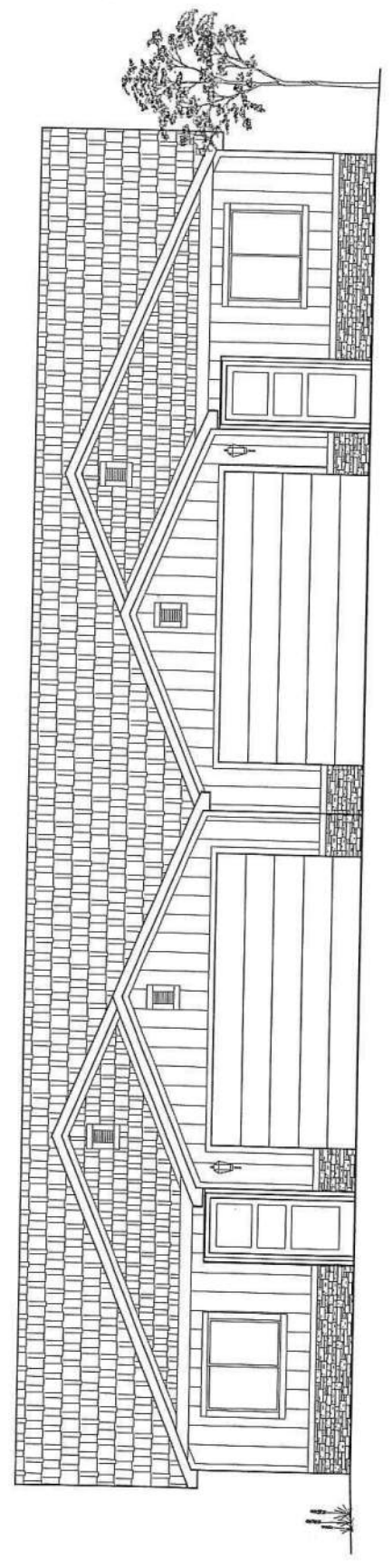
BASEMENT

First Floor	722 sq. ft.
Second Floor	896 sq. ft.
Basement*	703 sq. ft.
Total Sq. Ft.	2,321 sq. ft.
Total Finished	1,618 sq. ft.

*-Basements only if lot accommodates walkout



UNIT A
 1,182 SQ FT MAIN FL
 854 SQ FT BASEMENT
 2,036 SQ FT TOTAL



16.75' Tall

Hurricane Views Units 16-23

Hurricane Village Units 16-19

HURRICANE HOUSE
HURRICANE VIEWS
HURRICANE, UTAH
PLAN NAME
8/1/20

ddrafting

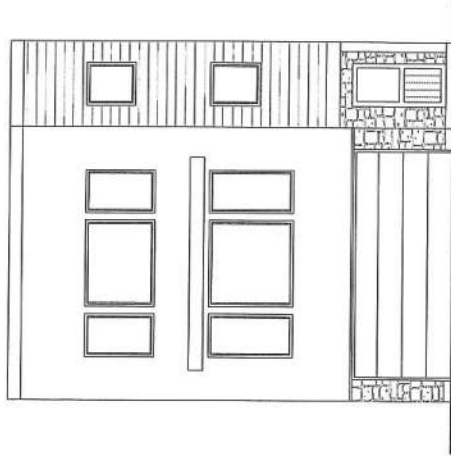
(801) 589-6768

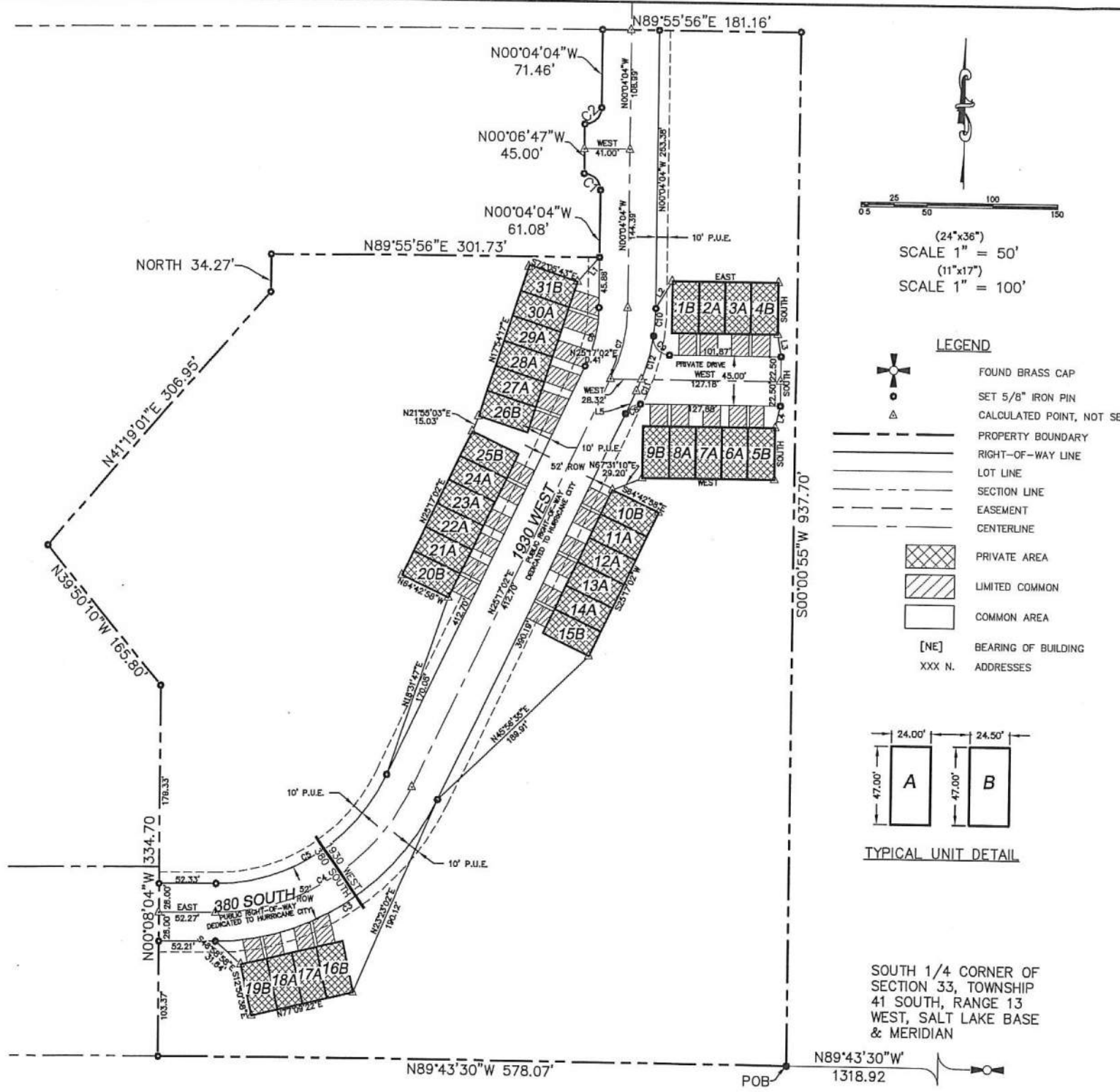


FRONT AND REAR ELEVATION

A5

29.5' Tall





DATA TABLE

TOTAL ACREAGE=10.66
 TOTAL # OF UNITS=31
 ACREAGE IN ROADS=1.08 ACRES
 TOTAL ACREAGE OF OPEN SPACE/PONDS=8.31
 % OF OPEN SPACE=77.95%
 CURRENT ZONING=R-3
 UNITS PER ACRE=2.90

GENERAL NOTE:

- FENCE ALL AREAS OUTSIDE OF DEVELOPMENT PLAN.
- HILLSIDE & VEGETATION TO REMAIN UNDISTURBED.



VICINITY MAP
-NTS-

BOUNDARY DESCRIPTION

BEGINNING AT A POINT WHICH LIES N89°43'30"W 1318.92 FEET ALONG THE SECTION LINE FROM THE SOUTH 1/4 CORNER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE N89°43'30"W 578.07 FEET; THENCE N00°08'04"W 334.70 FEET; THENCE N39°50'10"W 165.80 FEET; THENCE N41°19'01"E 306.95 FEET; THENCE NORTH 34.27 FEET; THENCE N89°55'56"E 301.73 FEET; THENCE N00°04'04"W 61.08; THENCE NORTHWESTERLY 23.54 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 89°55'56", THE CHORD BEARS N45°02'02"W 21.20 FEET; THENCE N00°06'47"W 45.00 FEET; THENCE NORTHEASTERLY 23.58 FEET ALONG THE ARC OF A 15.00 FOOT RADIUS CURVE TO THE LEFT THROUGH THE CENTRAL ANGLE OF 90°04'04", THE CHORD BEARS N44°57'58"E 21.23 FEET; THENCE N00°04'04"W 71.46 FEET; THENCE N89°55'56"E 181.16 FEET ALONG THE SOUTH LINE OF SANTA FEL HILLS P.U.D.; THENCE S00°00'55"W 937.70 FEET ALONG THE WEST LINE OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 33 TO THE POINT OF BEGINNING.

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	15.00	23.54	21.20	N 45°02'02" W	89°55'56"
C2	15.00	23.58	21.23	N 44°57'58" E	90°04'04"
C3	226.00	255.27	241.91	N 57°38'31" E	64°42'58"
C4	200.00	225.90	214.08	N 57°38'31" E	64°42'58"
C5	174.00	196.53	186.25	N 57°38'31" E	64°42'58"
C6	15.00	16.94	16.06	S 57°38'31" W	64°42'58"
C7	150.00	66.37	65.83	N 12°36'29" E	25°21'06"
C8	124.00	54.87	54.42	N 12°36'29" E	25°21'06"
C9	15.00	25.68	22.66	S 40°56'48" E	98°06'25"
C10	176.00	25.01	24.99	N 04°02'08" E	8°08'35"
C11	176.00	11.70	11.70	N 23°22'48" E	3°48'29"
C12	176.00	41.07	40.97	N 14°47'29" E	13°22'08"

LINE TABLE

LINE	LENGTH	BEARING
L1	29.72'	N 41°32'20" E
L2	29.01	N 31°02'54" E
L3	20.22	S 08°31'51" E
L4	20.44	S 11°52'29" W
L5	22.51	N 25°17'02" E

SURVEYOR'S SEAL

SURVEYOR'S CERTIFICATE

I, BARRY L. PRETTYMAN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 166406 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

SURVEYOR _____ DATE _____

OWNER'S DEDICATION

I, THE UNDERSIGNED, CLARK COLLEDGE, MANAGER OF THE HURRICANE VILLAGE HOA, HEREBY CERTIFY THAT IT IS MY INTENTION TO SUBDIVIDE THE PROPERTY AS DESCRIBED IN THE LEGAL DESCRIPTION INTO A P.U.D. (PLANNED UNIT DEVELOPMENT), KNOWN AS HURRICANE VILLAGE PLAT "A", HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO SINGLE FAMILY UNITS, COMMON AREAS, LIMITED COMMON AREAS, AND EASEMENTS, AND DO HEREBY DEDICATE TO THE COMMON USE AND ENJOYMENT OF THE HOMEOWNERS ASSOCIATION IN SAID PLANNED UNIT DEVELOPMENT, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AREAS, LIMITED COMMON AREAS, AND EASEMENTS AS SHOWN ON THIS PLAT IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE DEDICATIONS OF SAID COMMON AREAS AS MORE PARTICULARLY SET FORTH IN THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" OF SAID P.U.D. COVERING THE ABOVE DESCRIBED TRACT OF LAND AND WHICH IS RECORDED HERewith AND HEREBY INCORPORATED BY REFERENCE AND MADE A PART OF THIS PLAT. I HEREBY OFFER AND CONVEY TO ALL PUBLIC UTILITY AGENCIES, THEIR SUCCESSORS AND ASSIGNS, A PERMANENT EASEMENT AND RIGHT-OF-WAY OVER, UNDER, ACROSS, AND THROUGH THOSE AREAS DESIGNATED ON THIS PLAT AS "COMMON AREAS (INCLUDING PRIVATE DRIVEWAYS, ROADS, OR LANES)", "LIMITED COMMON AREAS", OR UTILITY EASEMENTS FOR THE CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN UTILITY LINES AND APPURTENANCES, TOGETHER WITH THE RIGHT OF ACCESS THERETO, WHICH WOULD REQUIRE THAT NO SURFACE CONSTRUCTION BE ALLOWED WHICH WOULD INTERFERE WITH NORMAL UTILITY USE. IT IS UNDERSTOOD THAT IF IT BECOMES NECESSARY TO RELOCATE SAID UTILITIES AT THE INSTANCE OR REQUEST OF ANY PUBLIC ENTITY OR THE OWNER, THE COSTS AND EXPENSES INCURRED THEREBY WILL BE BORNE BY THE OWNER OR THE ENTITY REQUIRING OR REQUESTING THE SAME, IN WITNESS WHEREOF, I HAVE SET MY HAND THIS THE _____ DAY OF _____

OWNER-HURRICANE VILLAGE HOA
 MANAGER-CLARK COLLEDGE

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH
 COUNTY OF WASHINGTON S.S.

ON THE _____ DAY OF _____, A.D. 2020 PERSONALLY APPEARED BEFORE ME _____ WHOSE IDENTITY IS PERSONALLY KNOWN TO ME OR PROVEN IN THE BASIS OF SATISFACTORY EVIDENCE AND WHO BY ME DULY SWORN/AFFIRED, DID SAY THAT HE/SHE IS THE _____ OF _____ AND THAT SAID DOCUMENT WAS SIGNED BY HIM/HER IN BEHALF OF SAID CORPORATION BY AUTHORITY OF ITS BYLAWS, OR RESOLUTION OF ITS BOARD OF DIRECTORS, AND SAID _____ ACKNOWLEDGMENT TO ME THAT SAID CORPORATION EXECUTED THE SAME.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

HURRICANE VILLAGE PLAT "A"
 HURRICANE, WASHINGTON COUNTY, UTAH
 CONTAINING 31 TOWNHOME UNITS AND 10.66 ACRES.
 LOCATED IN THE SOUTH 1/4 CORNER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE & MERIDIAN, WASHINGTON COUNTY, UTAH.

COUNTY RECORDER'S ACCEPTANCE

_____ COUNTY RECORDER

ASH CREEK SPECIAL SERVICE DISTRICT

THE HEREON SUBDIVISION HAS BEEN REVIEWED AND IT IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE THIS _____ DAY OF _____, 2020.

ASH CREEK SPECIAL SERVICE DISTRICT
 Z:\2019\19-030 The Views- Hurricane\CADD\FINAL\PHASE 1\02B-FINAL PLAT.dwg 8/5/2020 9:23:42 AM MDT

CITY ENGINEER'S CERTIFICATE

THE ABOVE SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THE OFFICE, THIS _____ DAY OF _____, 2020.

DATE _____ HURRICANE CITY ENGINEER _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 2020.

HURRICANE CITY ATTORNEY _____

APPROVAL AND ACCEPTANCE BY HURRICANE CITY

WE, THE MAYOR AND CITY COUNCIL OF HURRICANE CITY, UTAH, HAVE REVIEWED THE ABOVE FINAL PLAT AND BY AUTHORIZATION OF SAID CITY COUNCIL RECORDED IN THE MINUTES OF ITS MEETING OF THE _____ DAY OF _____, 2020, HEREBY ACCEPT IT WITH ALL COMMITMENTS AND OBLIGATIONS PERTAINING THERETO.

HURRICANE CITY RECORDER _____ HURRICANE CITY MAYOR _____

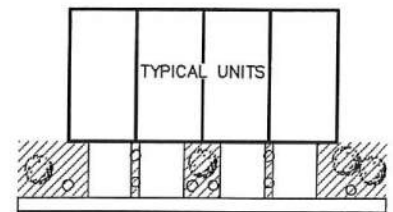
TREASURER APPROVAL

I, WASHINGTON COUNTY TREASURER, CERTIFY THIS THE _____ DAY OF _____, A.D. 2020, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES, DUE AND PENDING ON THIS SUBDIVISION PLAT HAVE BEEN PAID IN FULL.

WASHINGTON COUNTY TREASURER _____



VICINITY MAP
-NTS-



TYPICAL LANDSCAPING
-NTS-

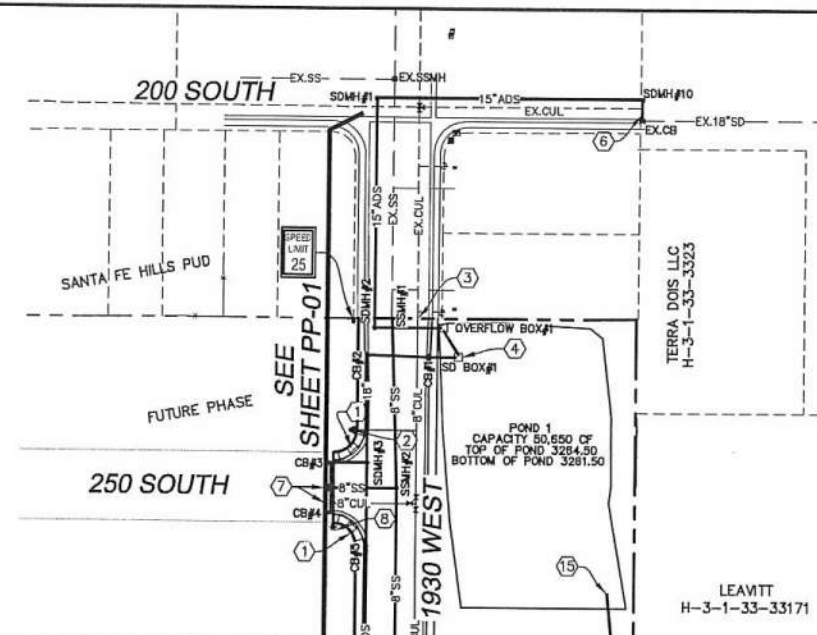
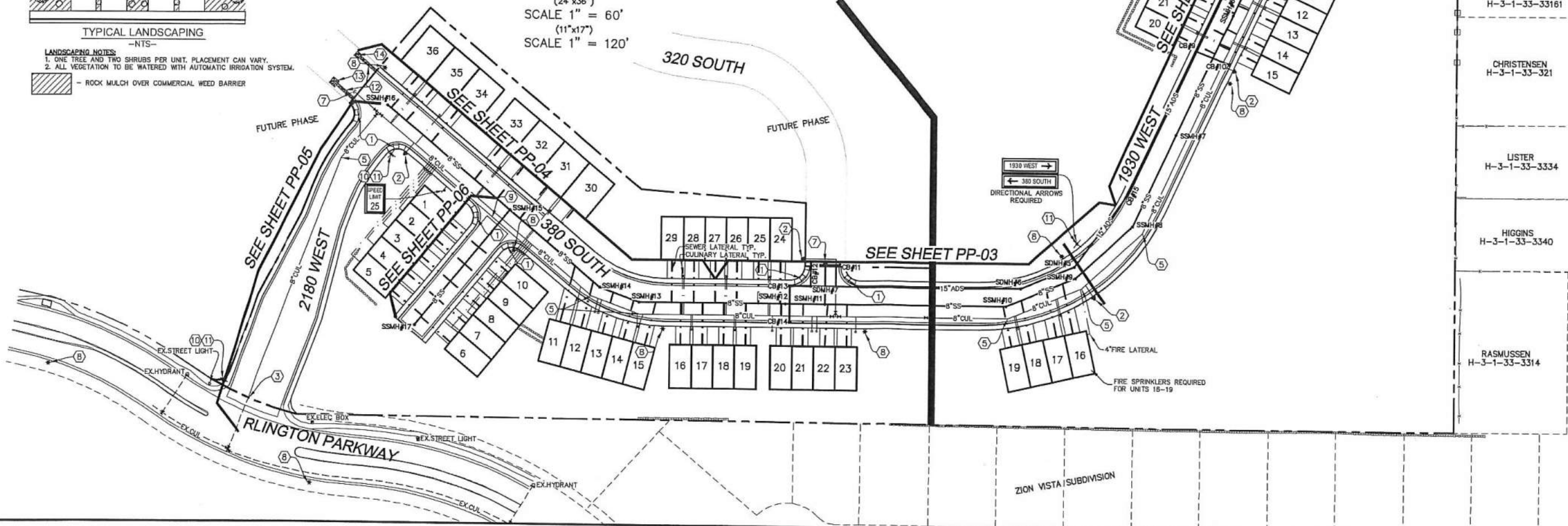
LANDSCAPING NOTES:
1. ONE TREE AND TWO SHRUBS PER UNIT. PLACEMENT CAN VARY.
2. ALL VEGETATION TO BE WATERED WITH AUTOMATIC IRRIGATION SYSTEM.
- ROCK MULCH OVER COMMERCIAL WEED BARRIER

LEGEND

	SECTION CORNER
	FOUND ALUMINUM CAP
	SET 5/8" IRON PIN
	CALCULATED POINT, NOT SET
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	PROPOSED SIGN
	PROPOSED STREET SIGN
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER W/MANHOLE
	PROPOSED STORM DRAIN
	PROPOSED PVC SDR-35 SEWER W/MH
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION

- CONSTRUCTION NOTES:**
1. INSTALL ADA RAMP PER HURRICANE CITY STANDARDS.
 2. INSTALL FIRE HYDRANT PER HURRICANE CITY STANDARDS.
 3. LOCATE AND TIE TO EXISTING CULINARY WATERLINE.
 4. INSTALL 8.5" DIAMETER ORIFICE PLATE ON OUTFLOW OF SD BOX #1.
 5. INSTALL 22.5" BEND.
 6. TIE TO EXISTING CATCH BASIN.
 7. CAP/PLUG PROPOSED AND MARK TO SURFACE.
 8. INSTALL STREET LIGHT PER HURRICANE CITY STANDARDS. MUST USE HURRICANE CITY STREET LIGHT THAT MEETS DARK SKY STANDARDS.
 9. INSTALL 3" CROSS GUTTER.
 10. INSTALL STOP SIGN PER HURRICANE CITY STANDARDS.
 11. INSTALL STREET SIGN PER HURRICANE CITY STANDARDS.
 12. CONST. 3" WIDE CHANNEL.
 13. CONST. 8'x8' RIP RAP AREA 6" DEEP.
 14. CONST. 6'x6' RIP RAP AREA 6" DEEP.
 15. INSTALL FLARED END SECTION WITH TRASH GRATE.
- GENERAL NOTE:**
1. PHASE 1 FOR HURRICANE VIEWS AND HURRICANE VILLAGE ROADS WILL NEED TO BE CONSTRUCTED AT THE SAME TIME TO ENSURE PROPER ACCESS.

(24"x36")
SCALE 1" = 60'
(11"x17")
SCALE 1" = 120'



SHEET NO. **3**

12	11	10	9	8	7	6	5	4	3	2	1	NO.	BY	DATE

UTILITY & INDEX

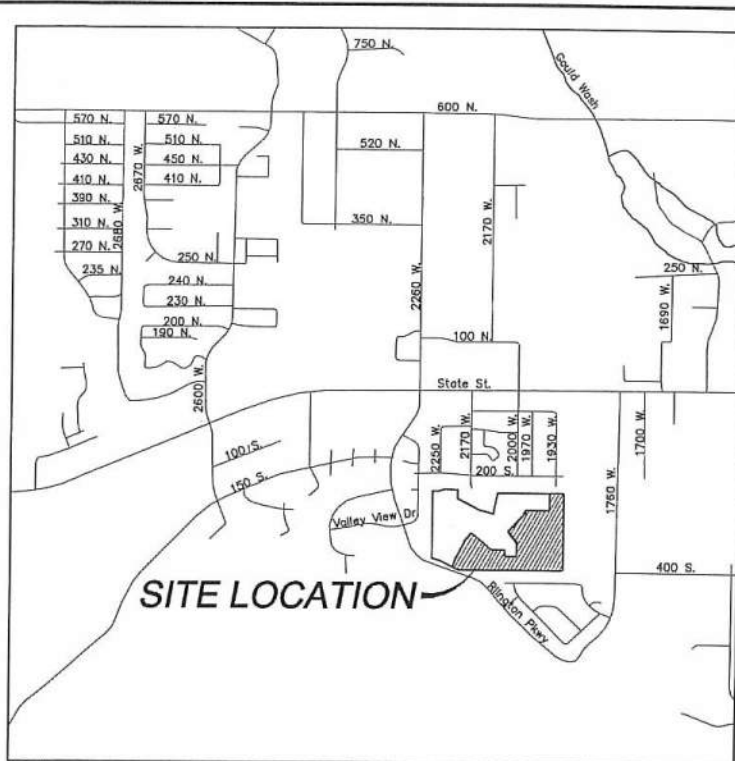
HURRICANE, UTAH

HURRICANE VIEWS & HURRICANE VILLAGE PLAT "A"

ATLAS ENGINEERING L.L.C.

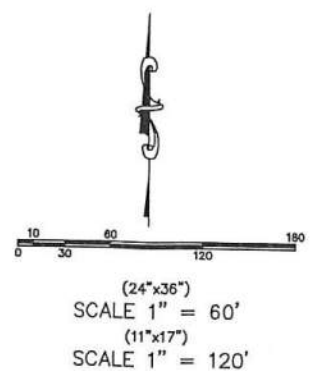
PHONE: 801-655-0566
FAX: 801-655-0109
946 E. 800 N. SUITE A
SPANISH FORK, UT 84660

DATE: 2013-05-20
DRAWN: [Name]
CHECKED: [Name]
APPROVED: [Name]

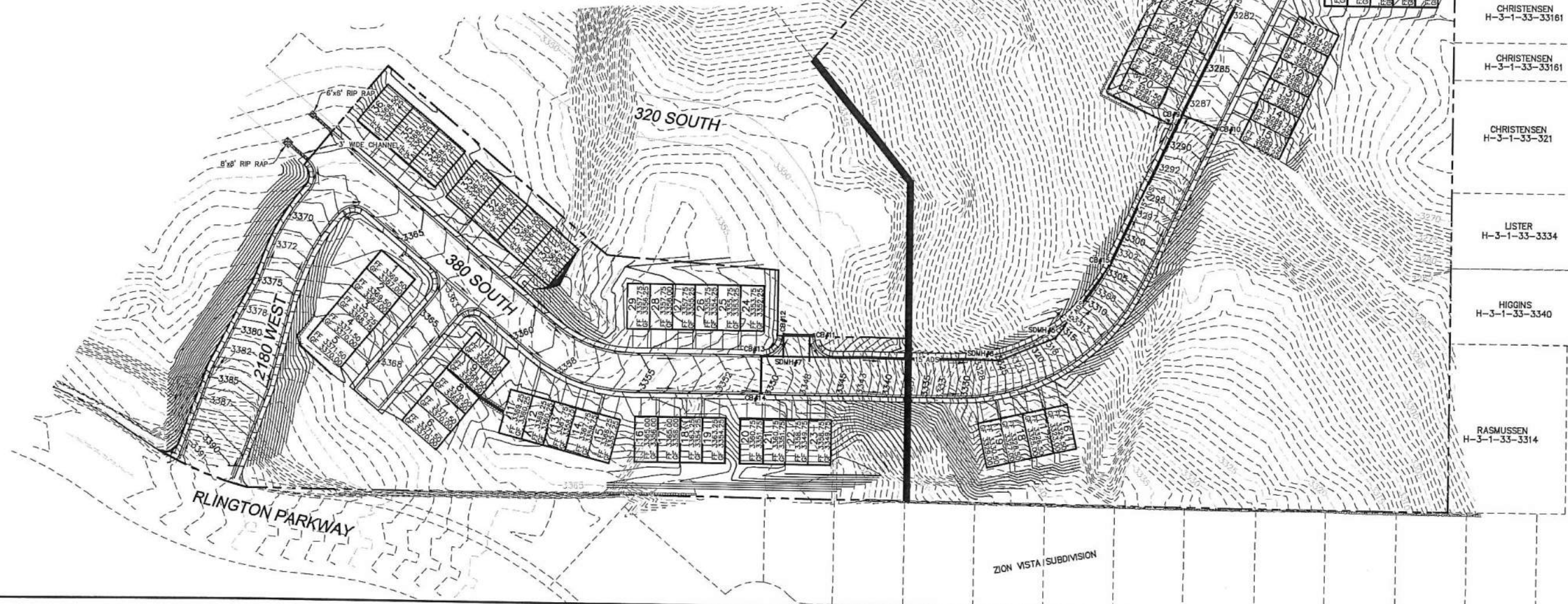


VICINITY MAP
-NTS-

- LEGEND**
- SECTION CORNER
 - FOUND ALUMINUM CAP
 - SET 5/8" IRON PIN
 - CALCULATED POINT, NOT SET
 - EXISTING POWER POLE
 - PROPOSED STREET LIGHT
 - PROPOSED FIRE HYDRANT
 - PROPOSED SIGN
 - PROPOSED STREET SIGN
 - PROPERTY BOUNDARY
 - CENTERLINE
 - RIGHT-OF-WAY LINE
 - LOT LINE
 - SECTION LINE
 - EASEMENT
 - EXISTING DEED LINE
 - EDGE OF PAVEMENT
 - EXISTING OVER HEAD POWER
 - EXISTING FENCE LINE
 - EXISTING DITCH
 - EXISTING SANITARY SEWER W/MANHOLE
 - PROPOSED STORM DRAIN
 - PROPOSED PVC SDR-35 SEWER W/MANHOLE
 - PROPOSED CULINARY WATERLINE
 - PROPOSED PRESSURIZED IRRIGATION



DATA TABLE:
 TOTAL PROJECT AREA: 673,677 SF / 15.46 ACRES / 100.00%
 RIGHT-OF-WAY AREA: 112,010 SF / 2.57 ACRES / 16.63%
 IMPERVIOUS AREA: 116,101 SF / 2.66 ACRES / 17.23%
 PERVIOUS AREA: 445,566 SF / 10.23 ACRES / 66.14%



SHEET NO. **5**

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DRAINAGE PLAN
 HURRICANE, UTAH

HURRICANE VIEWS & HURRICANE VILLAGE PLAT "A"

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
 FAX: 801-655-0109
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

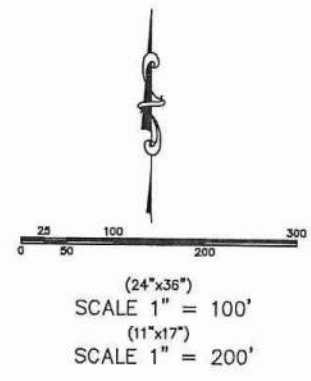
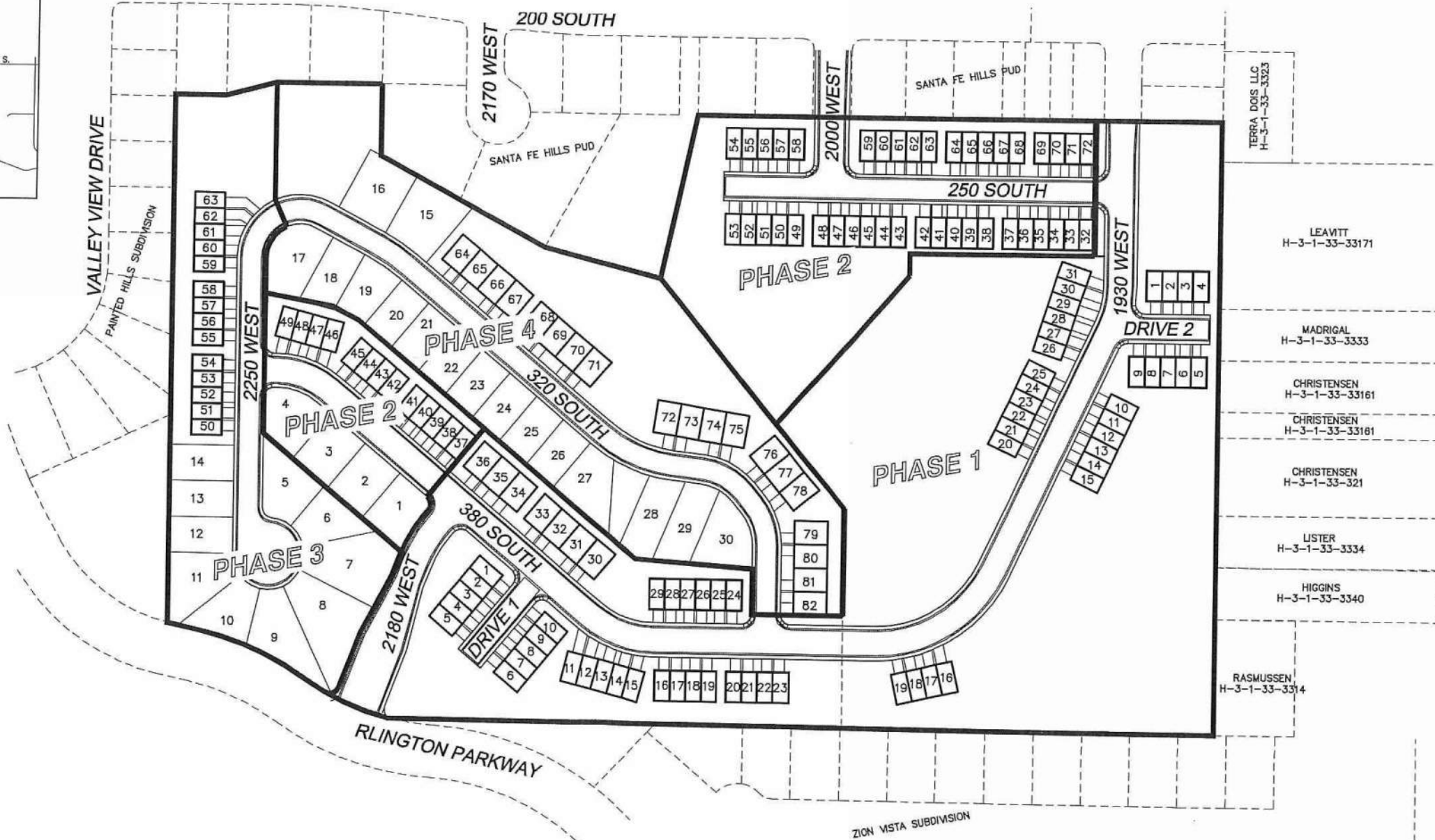
DATE: 2015.10.16 THE VIEWS & HURRICANE VILLAGE PLAT FINAL PHASE 1 URS-DRAINAGE.DWG. B.C. 2/2020 9:31:48 AM MITT



VICINITY MAP
-NTS-

LEGEND

- SECTION CORNER
- FOUND ALUMINUM CAP
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SHEET NO. 6

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PHASING PLAN
HURRICANE, UTAH

HURRICANE VIEWS & HURRICANE VILLAGE PLAT "A"

ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
 FAX: 801-655-0109
 946 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

2024/12/18 The Views - Hurricane CAD/REVISED PHASE 1 AND PHASING PLAN 8/2/2024 9:30:33 AM MDT

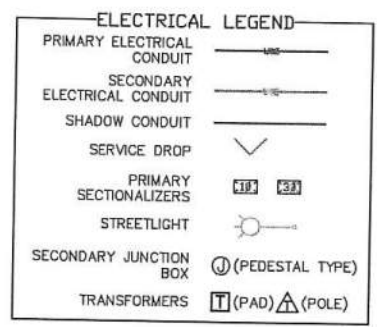


VICINITY MAP
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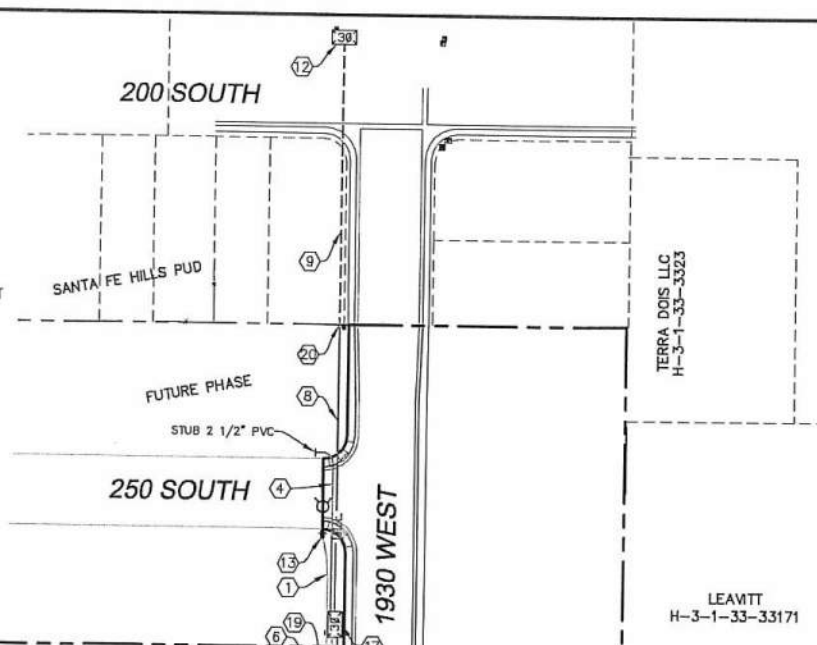
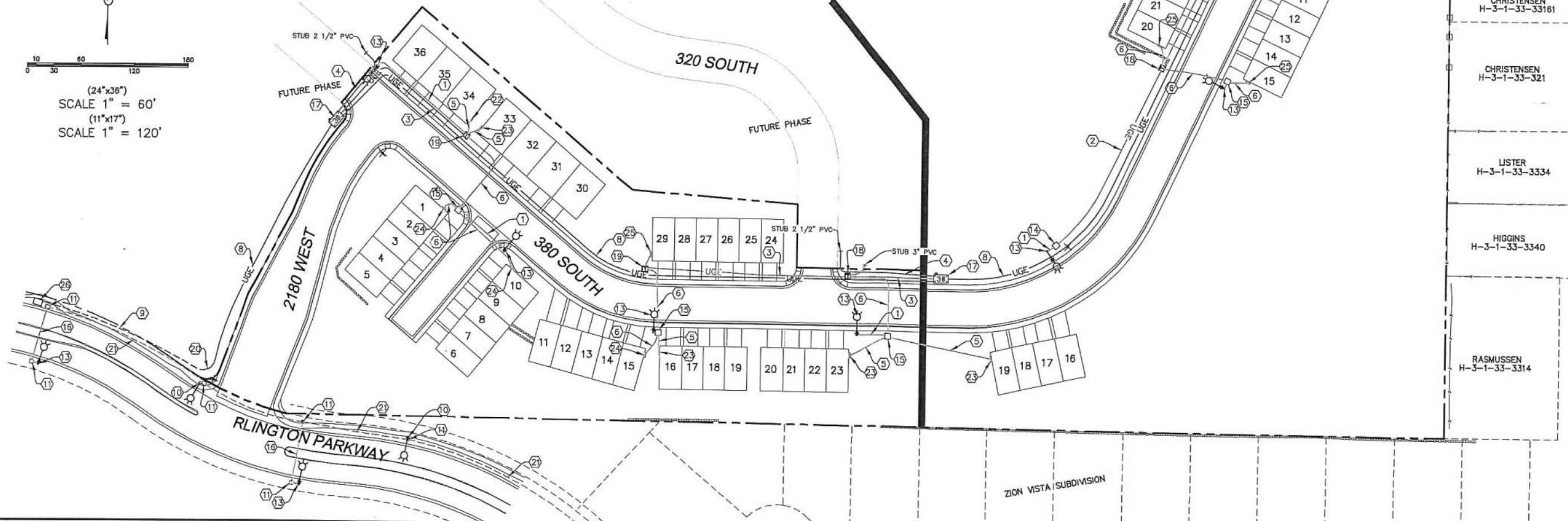
POWER NOTES FOR HURRICANE VILLAGE:
 1. DEVELOPER RESPONSIBLE FOR ALL COSTS, UNLESS OTHERWISE STATED ON PRINT.
 2. ONLY PRE-APPROVED CONTRACTOR TO WORK ON AND INSTALL ANY PART OF THE ELECTRICAL SYSTEM.
 3. PRE-APPROVED CONTRACTOR TO GO OVER PRINTS WITH HURRICANE POWER BEFORE BEGINNING WORK. CONTACT HURRICANE POWER FOR AN APPOINTMENT. 435-835-5536.
 4. LINES ARE FOR SCHEMATIC PURPOSES ONLY. ALL EQUIPMENT AND PLACEMENT OF, TO BE TO HURRICANE POWER SPECS.
 5. EASEMENTS TO BE SIGNED OVER TO HURRICANE CITY. IT IS THE DEVELOPER'S RESPONSIBILITY TO MAKE SURE EASEMENTS ARE OBTAINED FROM ANY PROPERTIES THAT MAY BE AFFECTED.
 6. NO RETAINING WALLS TO RUN INTO UTILITY EASEMENTS.
 7. ALL CONDUITS TO BE FOAMED. ANY EMPTY STUB OUTS TO HAVE A TEMPORARY PLUG INSTALLED.
 8. ANY CHANGES TO THE SIGNED SET OF PLANS MUST BE APPROVED BY HURRICANE POWER.
 9. THE ENTIRE JUC TRENCH MUST BE BACKFILLED WITH 1" MINUS FROM THE BOTTOM TO THE TOP OF THE TRENCH. ALSO AROUND ELECTRICAL BOXES AND EQUIPMENT.
 10. DEVELOPER MUST BE BILLED A TERMINATION FEE \$99.00 DOLLARS PER PRIMARY ELBO TERMINATIONS.
 11. USE LED COBRA HEAD STREETLIGHTS ALONG RINGTON PARKWAY TRY TO MATCH EXISTING STREET LIGHTS. YOU CAN USE DECORATIVE TYPE IN SUBDIVISION IF THEY MEET HURRICANE CITY SPEC.
 12. ALL UNDERGROUND POWER LINES WILL NEED TO BE ALONGSIDE A PERMANENT ROAD AND THE POWER LINE NEEDS TO BE INSTALLED ON THE WEST AND NORTH SIDE OF THE ROAD.
 13. DEVELOPER WILL BE BILLED \$1083.00 FOR SWITCH MAKE-UP FEE FOR EACH SWITCH THAT HAS BEEN INSTALLED.
 14. DEVELOPER WILL BE BILLED \$1690.00 FUSE BAY FEE. FOR EACH 3-PHASE FUSE BAY USED.
 15. IMPACT FEES TO BE COLLECTED BY BUILDING DEPARTMENT. IMPACT FEES TO BE CHARGED BY SERVICE MAIN BREAKER SIZE.

ELECTRICAL CONSTRUCTION NOTES:

- | | |
|--|---|
| ① INSTALL 1" PVC WITH #10 COPPER. | ⑭ INSTALL STREETLIGHT BOX. |
| ② INSTALL 2" PVC WITH #4 TRIPLEX. | ⑮ INSTALL SECONDARY BOX. |
| ③ INSTALL 2 1/2" PVC WITH 1/0 15 KV. | ⑯ INSTALL #4 TRIPLEX IN EXISTING 2" CONDUIT. |
| ④ INSTALL 2 1/2" PVC FOR FUTURE. | ⑰ INSTALL THREE PHASE VAULT. |
| ⑤ INSTALL 3" PVC WITH 350 MCM TRIPLEX. | ⑱ INSTALL 37.5 KVA TRANSFORMER. |
| ⑥ INSTALL 3" PVC WITH 500 MCM TRIPLEX. | ⑲ INSTALL 50 KVA TRANSFORMER. |
| ⑦ INSTALL 3" PVC FOR FUTURE BUILDING. | ⑳ CONNECT TO EXISTING 4" PVC. |
| ⑧ INSTALL 4" PVC WITH 4/0 15 KV THREE PHASE. | ㉑ EXISTING 2" PVC WITH 1/0 TRIPLEX. |
| ⑨ EXISTING 4" PVC. | ㉒ INSTALL 3 SOCKET METER PACK (125 AMP EACH.) |
| ⑩ EXISTING STREETLIGHT. | ㉓ INSTALL 4 SOCKET METER PACK (125 AMP EACH.) |
| ⑪ EXISTING STREETLIGHT BOX. | ㉔ INSTALL 5 SOCKET METER PACK (125 AMP EACH.) |
| ⑫ EXISTING THREE PHASE VAULT. | ㉕ INSTALL 6 SOCKET METER PACK (125 AMP EACH.) |
| ⑬ INSTALL STREETLIGHT. | ㉖ INSTALL PMH-9 SWITCH ON EXISTING SWITCH BASEMENT. |



SCALE 1" = 60'
 (11"x17")
 SCALE 1" = 120'
 (24"x36")



SHEET NO. 8

NO.	REVISIONS	BY	DATE
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ELECTRICAL PLAN
 HURRICANE, UTAH

HURRICANE VIEWS & HURRICANE VILLAGE PLAT "A"

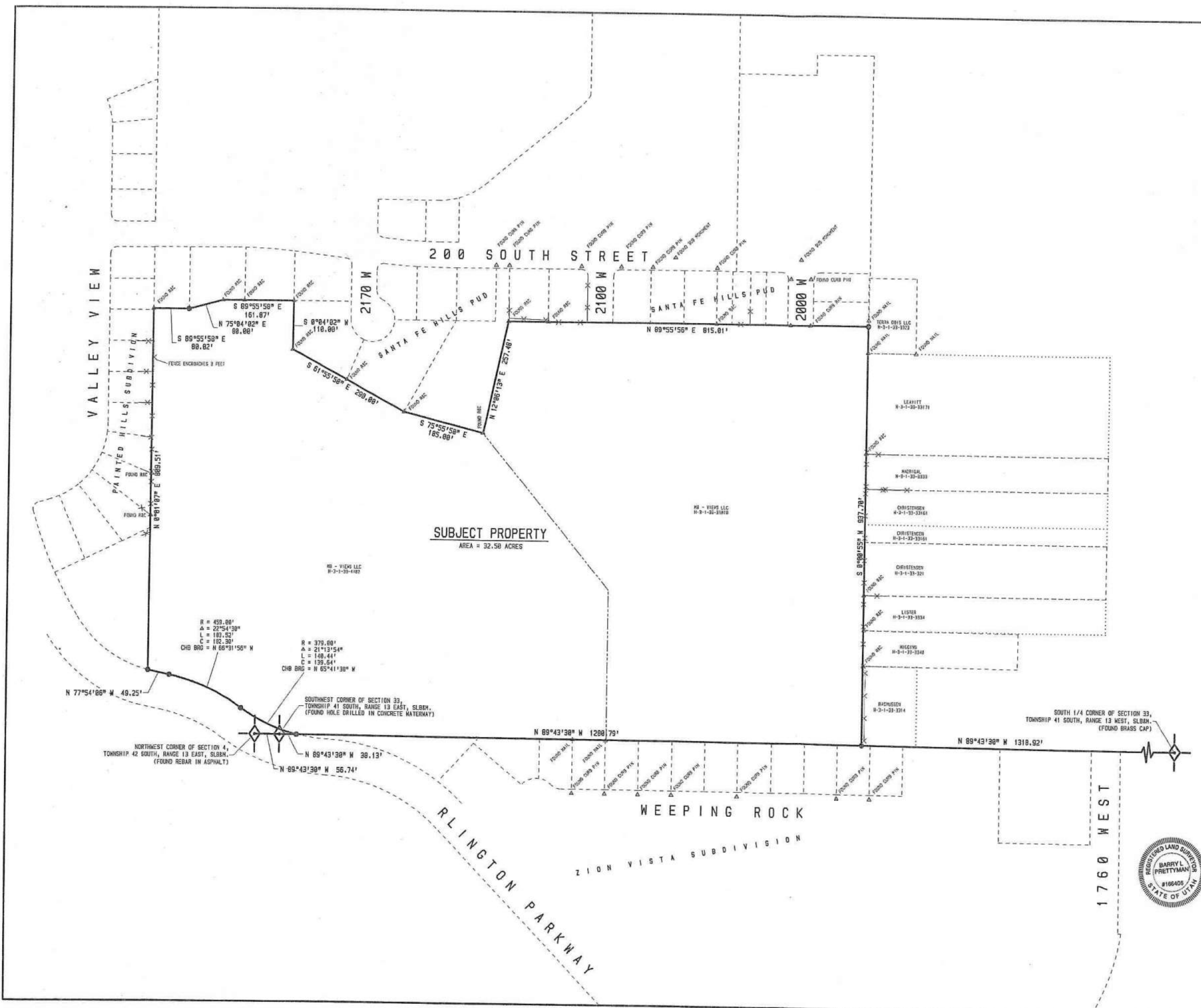
ATLAS ENGINEERING L.L.C.

PHONE: 801-655-0566
 FAX: 801-655-0109
 948 E. 800 N. SUITE A
 SPANISH FORK, UT 84660

HURRICANE POWER

LEAVITT H-3-1-33-33171
 MADRIGAL H-3-1-33-33333
 CHRISTENSEN H-3-1-33-33161
 CHRISTENSEN H-3-1-33-33161
 CHRISTENSEN H-3-1-33-321
 LISTER H-3-1-33-33334
 HIGGINS H-3-1-33-3340
 RASMUSSEN H-3-1-33-3314

ZION VISTA SUBDIVISION



SURVEYED BOUNDARY DESCRIPTION:
 BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 CORNER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN, WHICH POINT LIES NORTH 89°43'38" WEST 1318.92 FEET ALONG THE SECTION LINE FROM THE SOUTH 1/4 CORNER OF SAID SECTION 33; AND RUNNING THENCE NORTH 89°43'38" WEST 1208.79 FEET ALONG SAID SECTION LINE TO THE NORTHERLY LINE OF RLINGTON PARKWAY; THENCE ALONG SAID STREET THE FOLLOWING (3) COURSES TO WIT: (1) NORTHWESTERLY 148.44 FEET ALONG THE ARC OF A 375.00 FOOT RADIUS CURVE TO THE RIGHT THROUGH A CENTRAL ANGLE OF 21°13'54"; THE CHORD BEARS NORTH 85°41'38" WEST 128.84 FEET; (2) NORTHWESTERLY 183.52 FEET ALONG THE ARC OF A 459.00 FOOT RADIUS CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 22°54'28"; THE CHORD BEARS NORTH 65°31'56" WEST 102.38 FEET; (3) NORTH 77°54'08" WEST 49.25 FEET; THENCE NORTH 0°01'07" EAST 889.51 FEET ALONG THE EAST LINE OF PAINTED HILLS SUBDIVISION; THENCE ALONG THE SOUTH LINE OF SANTA FE HILLS, PUD THE FOLLOWING (8) COURSES TO WIT: (1) SOUTH 89°55'58" EAST 88.82 FEET; (2) NORTH 75°04'02" EAST 88.82 FEET; (3) SOUTH 89°55'58" EAST 161.67 FEET; (4) SOUTH 0°04'02" WEST 118.00 FEET; (5) SOUTH 61°00'58" EAST 298.00 FEET; (6) SOUTH 75°55'58" EAST 185.00 FEET; (7) NORTH 12°06'13" EAST 257.48 FEET; (8) NORTH 89°55'58" EAST 915.01 FEET TO THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 33; THENCE SOUTH 89°55'58" WEST 897.78 FEET ALONG SAID SIXTEENTH LINE TO THE POINT OF BEGINNING. CONTAINING 32.50 ACRES.

NARRATIVE:
 BASIS OF BEARING IS NORTH 89°43'38" WEST BETWEEN THE SOUTH 1/4 CORNER AND THE SOUTHWEST CORNER OF SECTION 33, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN.
 PURPOSE OF SURVEY IS TO DETERMINE THE BOUNDARIES OF THE SUBJECT PROPERTY FOR FUTURE DEVELOPMENT.

SURVEYORS CERTIFICATE:
 I, BARRY L. PRETTYMAN, A LICENSED SURVEYOR HOLDING CERTIFICATE NO. 166405, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY DIRECTION AND CORRECTLY SHOWS THE DIMENSIONS AND MONUMENTS OF THE ABOVE DESCRIBED PARCEL OF LAND TO THE BEST OF MY KNOWLEDGE AND BELIEF.
Barry L. Prettyman April 8, 2019
 BARRY L. PRETTYMAN DATE

LEGEND:
 ● = 5/8" REBAR WITH ORANGE CAP MARKED PLS 166405.
 --- = VIEWS LLC DEED LINES
 --- = ADJACENT LAND OWNER DEED LINES
 --- = EXISTING FENCES



SHEET No. **1 OF 1**

DATE: APR. 5, 2019

DRAWN BY: B.L.P.

APPROVED BY: B.L.P.

SCALE: 1" = 100'

M B VIEWS LLC
RECORD OF SURVEY PLAT
HURRICANE, UTAH

COLE SURVEYING
 846 EAST 880 NORTH - SUITE 68
 SPANISH FORK, UTAH - 84568
 PHONE: (888) 423-1848

STAFF COMMENTS

Agenda: August 26, 2020 **File Number: 2020-LUCA-04**

Action Type: Code Change, Legislative

Applicant: Staff

Request:

Discussion

The City Council voted to change the accessory building street side yard setback in residential agriculture zones to match that in the zones contained within HCC 10-13. Staff recommended that the side yard street setback be set at 10' to match the required Public Utility Easement. During the discussion, the Council directed staff to bring back a proposal to match the PUE for both Residential Agriculture and Residential Zones.

There is a concern from staff about allowing building within the current or even future public utility easements. Right now, the City requires that each subdivision provide a 10' public utility easement in each lot along the roadway frontages. The proposed change would allow a building to be built within 2' of the property line next to the right-of-way. This could lead to conflict with any easements and any future easement that might arise from a future subdivision or construction of a master-planned road.

Now, at the City Council's direction, the staff is bringing back the changes for further consideration.

As the Planning Commission considered the item last time, there was discussion about not putting a tighter restriction on all of the lots because some of the lots would not have a public utility easement in conflict with the setback. Though staff's recommendation is 10', the Planning Commission recommended on July 22 that a note be added that no accessory building shall be built within a PUE. Staff has made that update and has brought to the Planning Commission for their consideration.

Recommendation: Review the proposed code change and consider any public comment, make recommendation to the City Council.

**Proposed Changes:TABLE 10-13-2
DEVELOPMENT STANDARDS IN RESIDENTIAL ZONES**

Development Standard	R1-15	R1-10	R1-8	R1-6	RM-11	RM-2	RM-3
Setback standards - street side yard:							
Accessory building, including private garage	See note 6'	See note 6'	See note 6'	See note 6'	See note 6'	See note 6'	See note 6'

6. If located at least 10 feet from main building, 2 feet. Otherwise, same as for main building. **No accessory building shall be built within an established Public Utility Easement.**

10-14-2

Development Standard	RA-1	RA-.5
Accessory building	'If located 10 feet from main building: 2 feet. If not, same as main building. No accessory building shall be built within an established Public Utility Easement.	