



CITY of HOLLADAY

PLANNING COMMISSION MEETING AGENDA *Tuesday August 4th 2020*

The Planning Commission of the City of Holladay will hold their regularly scheduled meeting by electronic means, in accordance with the *Utah Open and Public Meetings Act*, as currently modified by Executive Order of the Governor of the State of Utah.

Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay's Facebook page. Participation in public comment portions can do so in any of the following ways:

- Email your comments in to the Community Development Department during regular business hours;
pallred@cityofholladay.com OR rhobbs@cityofholladay.com
- During the meeting, go to www.zoom.us in your web browser and join a meeting:
Meeting ID is:
- During the meeting, call Zoom on your telephone: 699-900-6833 or 346-248-7799 or 301-715-8592 or 253-215-8782
Meeting ID is:

6:00 PM **WORK SESSION** – All agenda items may be discussed. No decisions or voting during this portion of the meeting.

6:30 PM **CONVENE ELETRONIC MEETING** – Public Welcome & Chair Opening Statement

PUBLIC HEARINGS

1. **“IDI Real Estate Office” – Concept Site Plan – 1990 Ease 5290 South – (NC Zone)**
Applicant Kasey Kershaw, to present new professional office building development plans as per Holladay Ordinance § 13.08.080
File #20-9-05

ACTION ITEMS

2. **“Fairfield Hotel” – Preliminary Site Plan - 6417 S through 6433 S Highland Drive - (ORD zone)**
Agent for applicant, Steve Lovell will present preliminary site layout and related development improvements as per ORD zone standards. Consideration as per procedures set forth Holladay Ordinance § 13.08 & 13.45 *File #19-9-16*
3. **Schreyer Residential Site Plan – Extension request – 2806 E Kentucky (R-1-10 zone)**
Property owners Stan and Jennifer Schreyer requesting extension to approved site grading approvals as per Holladay Ordinance § 13.08.140(G) *File #19-9-04-1*

DISCUSSION

4. a) Presentation of updated text amendments to Chapter 2: Land Use, City of Holladay General Plan
b) Accessory Dwelling Unity ordinance (ADU) for upcoming
c) Planning Commission Calendar for November 10th – moving meeting date to the 24th

ADJOURN

CERTIFICATE OF POSTING

I, Stephanie N. Carlson, the City Recorder of the City of Holladay, certify that the above agenda notice was posted at City Hall, the City website www.cityofholladay.com, the Utah Public Notice website www.utah.gov/pmn, and was emailed to the Salt Lake Tribune and Desert News and others who have indicated interest.

DATE POSTED: *

Stephanie N. Carlson MMC, City Recorder
City of Holladay

Reasonable accommodations for individuals with disabilities or those in need of language interpretation service can be provided upon request. For assistance, please call the City Recorder's office at 272-9450 at least three days in advance. TTY/TDD number is (801)270-2425 or call Relay Utah at #7-1-1

**ORDER ON PUBLIC MEETINGS OF THE
CITY OF HOLLADAY PLANNING COMMISSION**

I, Marianne Ricks, as the Chair of the City of Holladay Planning Commission, do hereby find and declare as follows:

1. Due to the Emergency conditions which currently exist in the State of Utah, and specifically in Salt Lake County and the City of Holladay as a result of the COVID-19 Pandemic and the recent surge in COVID-19 infections across the state and in Salt Lake County, the holding of public meetings with an anchor location as defined in the *Utah Open and Public Meetings Act*, presents a substantial risk to the health and safety of those who may be present at the anchor location; and
2. The risk to those who may be present at an anchor location can be substantially mitigated by holding public meetings of the Planning Commission pursuant to electronic means that allow for public participation via virtual means; and
3. The City has the means and ability to allow virtual participation in the public meetings in accordance with the *Utah Open and Public Meetings Act*;

NOW THEREFORE, BASED UPON THE FOREGOING,

For thirty days from the date of this Order, meetings of the City of Holladay Planning Commission, shall be conducted by virtual means, without an anchor location.

By: _____
Marianne Ricks, Chair

ATTEST:

Stephanie N. Carlson, MMC
City Recorder

Rules of the City of Holladay Planning Commission for Public Hearings

The Planning Commission Chair or Vice Chair is the Presiding Officer and will conduct the hearing.

1. **Introduction.** The Presiding Officer informs those attending of the procedure and order of business for the hearing.
2. **Staff Presentation.** City Staff briefly introduces the request that prompted the public hearing. The presentation shall not last more than five minutes.
3. **Sponsor Presentation.** If desired, the applicant or his/her representative may also make a presentation. The presentation shall not last more than fifteen minutes.
4. **Public Comment.** The Presiding Officer asks for public comment on the matter before the Commission. Comments are limited to three minutes and speakers are allowed to speak only once. Speakers are requested to:
 - (a) Complete the Citizen Comment Form
 - (b) Wait until recognized before speaking
 - (c) Come to the microphone and state their name and address for the record
 - (d) Be brief and to the point
 - (e) Not restate points made by other speakers
 - (f) Address questions through the Presiding Officer
 - (g) Confine remarks to the topic
 - (h) Avoid personalities

After each citizen has spoken, Commission members may ask questions of the participant before the Presiding Officer resumes or closes the hearing.

5. **Applicant Summation/Response.** Following citizen comment and questions by the Commission, the applicant shall be given an opportunity to give up to fifteen minutes summation and/or response prior to closing of the public hearing.
6. **Closing the Hearing.** If there is no further public comment, questions by Commission members, or final response by the applicant, the Presiding Officer shall conclude the hearing at least ten minutes in advance of a subsequently scheduled public hearing. The Commission may vote to extend the public hearing past the starting time of a subsequent public hearing.
7. **Consideration of Item.** At the close of the public hearing, the Commission shall consider the item, discuss its merits and vote on the matter or vote to continue it at a future meeting.



Request: **PERMITTED USE SITE PLAN – CONCEPTUAL**
Project: “IDI Real Estate Law Office”
Address: 1990 East 5290 South (hereinafter, collectively, the “Property”)
Applicant: Kasey Kershaw – Applicant./Developer, SCS Cheyenne LLC -- Property Owner
File No: 20-9-05
Notice: Mailed at least 10-days prior to PC hearing
N. Mtg: Held Prior to Hearing
Staff: Robert Hobbs

PROPERTY ACREAGE:	Per SL County Assessor: .45 (19,602 sq. ft.)
CURRENT ZONE(S):	Neighborhood Commercial (NC)
CURRENT USE(S):	Vacant, Undeveloped Land
GOVERNING ORDINANCE(S):	§§ 13.55, 13.08.080, 13.80.030 & 14.12.110

BACKGROUND & SUMMARY

- The Property was rezoned approximately one year ago from Public (P) to Neighborhood Commercial (NC) purposely to facilitate construction of the Applicant’s contemplated office building thereon.
- Typical site plan review issues for an office project include -- in no specific order:
 - Project conformance with required setbacks and easements
 - Project conformance with maximum impervious coverage ratio(s)
 - Adequate on-site parking provision
 - On-site circulation, queuing, parking lot striping/wayfinding, and, access/cross-access
 - Positioning of, and screening method for, a trash enclosureOptionally – where details are provided:
 - Provision of adequate, code compliant landscaping
 - Review of any proposed lighting plan
- The Applicant applied to the City for combined Site Plan Review on, or before, July 07, 2020.
- Plans analysis findings are hereafter iterated.
- The Applicant has provided the City with a “conceptual site plan”. The PC has authority under § 13.08.080.D (5) (a) & § 13.08.080.E(c) to require and/or approve site plan layouts/arrangements that vary from code standards without triggering a need for review via the Variance process save for any Property approach(es) which is/are governed (in terms design and location) by Title 14 of the City municipal code.

PLAN ANALYSIS BY LISTED CODE STANDARDS

- **Buildable Property:** The NC Zone has no minimum lot [property] area, width, or frontage requirements; and,
- **Setback and Easement Restrictions:** Plan conforms with required setbacks; no known easements; and,
- **Landscaping:** The concept site plan has some basic landscaping callouts thereon. Landscaping is proposed within the required setback areas, around the building footprint, and, within the single landscape planter interrupt in the parking bank. The plan suggests that ~ 26% of the parking lot will be landscaped (which exceeds a/the 5% minimum parking lot landscape coverage required by code). The plan appears to be code compliant in this regard; and,
- **Impervious Lot Coverage:** Up to 90% (17,843 sq. ft.) allowed; Actual coverage reported as 55.1% (impervious surfacing/material). The plan appears code compliant in this regard; and,
- **Building Height and Architecture:** Elevations drawings have been not provided to the City. Design review does not apply to the NC Zone -- although there are design standards associated therewith. The building is proposed to be built at a height less than the NC Zone’s 35’ height allowance; and,
- **Parking Space Count/Layout:** All parking spaces appropriately proposed to be on-site. Stall quantity rightly pre-figured at 2 + 1/200 net leasable sq. ft. of building per adopted policy pending a future code amendment/clarification. Twenty-three (23) spaces are required (including one van-accessible ADA space and loading/unloading aisle. Twenty-four spaces are provided including one van space. Eight (8) spaces are proposed to be enclosed within garages. Spaces are oriented 90 degrees to the service drive they access and are sized correctly at 9’ x 18’. The service drive is 24’ + in width in all places and thus code compliant.
- **Property Ingress/Egress/Approach:** Proposed, acceptably at 25’ wide. The approach is the only one proposed along the Property’s Highland Drive frontage (which exceeds 100’). The approach was caused by Council to ingress/egress off Highland versus 5290 South. **While code compliant, Staff would prefer that the Property’s singular approach be shifted 15’ to the north to provide for adequate back-up/maneuvering space behind the parking spaces labeled as 6&7 (given the presence and dimension of the landscape island end-cap behind them) to avoid on-site vehicle conflicts.** A traffic study (executive summary hereto attached) further suggested moving the approach as far from the intersection of Highland Drive and 5290 South as possible to [basically] line up with intersection of Highland Drive and E. Monarch Woods Lane. Note, however, that this would cause a complete re-design of the Applicant’s plans and the traffic

engineer was not adamant about said arrangement. Also note that while the Commission does not have authority to supersede requirements of Title 14 of the City of Holladay municipal code respecting commercial driveway approach locations, moving the approach would not constitute an exception to the code as the approach meets, or would meet code, in either its proposed or the Staff suggested position and is, therefore, considered by Staff as an allowable action); and,

- **Circulation:** Project proposes to provide two-way in/out access off Highland Drive as already noted. The on-site service drive is fully intended to provide two-way circulation. Staff believes the proposed system will function agreeably –better if the approach is moved as afore-stated. Pedestrian circulation will be facilitated by a five-foot (5') sidewalk and small plaza are in front of the office's main doors/lobby area that fronts the entry area of the building [between the structure and parking]. Staff recommends that the stub sidewalk be extended to connect to future sidewalk intended for emplacement along the Property's Highland Drive frontage and that said sidewalk section be made ADA accessible; and,
- **Lighting.** No yet details provided – expected on any forthcoming preliminary site plan; and,
- **Fencing.** None noted; Code requires a six-foot (6') wall between the Property and the property to the east, as well as [arguably] the property to the south. The wall may not be closer than 20' to either 5290 South or the newly aligned Highland Drive road section abutting the Property; and,
- **Site Grading & Drainage.** No details yet provided – expected on any forthcoming preliminary site plan; and,
- **Public safety.** There are no concerns with providing adequate emergency response and protection to the Property. No hazards are expected to be created by allowing development of a/the office on the Property...
- **Right-of-Way Dedication.** Already provided – expectedly in conjunction with the rezone that took place on/to the Property in August of last year save a for a small triangular shaped sliver of land demarcated by Staff (at the southwest corner of the Property) on the Applicant's submitted concept plan; and,
- **Technical Review Committee:** Site Plan [approval] Application reviewed by TRC – deemed eligible for Commission consideration, with possible findings below.

STAFF RECOMMENDATION(S)

Staff recommends the concept site plan [application] for a contemplated office building development with an accessory parking garage structure, landscaping, and parking improvements, be approved based..:

a) Upon the following summary findings...

Findings:

- 1) The site has been rezoned to Neighborhood Commercial, especially to facilitate an office use as proposed by the Applicant of/for the project made the subject of this report; and,
- 2) The concept site improvement/layout plan and associated landscape plan elements thereon substantially complies with relevant zoning standards that appertain to the same, or, will comply contingent upon actions being taken by the developer (see conditions below) as conditioned by the Commission; and,
- 3) The queuing and circulation plan provide customary ingress/egress with flow through the Property [again – shifting of the site's approach preferred]; and,
- 4) The proposed use will not add expectedly an undue burden to public infrastructure nor introduce nuisance or hazardous conditions to the Property, its surrounds, or the public; and,
- 5) Utility and emergency services are available to the Property; and,
- 6) The conceptual site plan provides buffering to/for the residential property(ies) east of the Property and the Publicly zoned land to its south...

And:

b) Upon Applicant/development compliance with the following recommended "Conditions of Approval"...

Recommended] Conditions of Approval (Precedent to Applying for Preliminary Plan Approval):

A. (In no particular order as pertaining to a/the forthcoming preliminary site plan set...)

- 1) Depict a solid six-foot (6') decorative wall on the plan between the Property and a/the abutting parcel of land to the east of the Property addressed as 1994 E 5290 S. The wall shall not be any closer than twenty-feet (20') to the Property's northern line/right-of-way line of/for 5290 South; and,
- 2) Street trees depicted as lining both Highland Drive and 5290 South shall be shown as fully on the Property (not in the City's rights-of-way) and spacing of trees along Highland Drive as shown on the concept plan shall be increased to reasonable levels (e.g., 30' between trunks); and,
- 3) The width of the garage bays' vehicle overhead doors shall be called out on the preliminary plan; and,
- 4) Architectural elevation drawings shall be provided for both the office and the accessory garage building [note: the accessory garage building may not have a blank wall façade facing the residential property to the east of the Property that is longer than 75'; and,
- 5) A grading/drainage plan shall be submitted to the City in conjunction with any application for Preliminary Site Plan Approval applied for through the City; and,
- 6) The position/alignment of future curb, gutter and sidewalk along Highland Drive shall be depicted on any application plan pages associated with any Preliminary Site Plan Approval applied for through the City. Relatedly, re-define the scope of the landscape strip proposed along Highland Drive to be only five-feet (5') in width/depth post improvements emplacement; and,
- 7) Dedicate, if not already so executed, to the City land confined with the triangle-shaped area at the southwest corner of the Property. The right triangle is roughly 10' long by 4' wide at the base; and,

- 8) Depict the short sidewalk section in front of the proposed office as extending to intersect, perpendicularly, the sidewalk (or any future re-aligned sidewalk) along Highland Drive. Cause that said extension is built to an allowable Americans with Disabilities Act (ADA) slope for the traversing of wheel chairs thereon; and,
- 9) Depict the landscape scheme intended to occupy the five-foot (5') landscape buffers that line the east and south sides of the Property; and,
- 10) Shift the location (centerline) of the proposed Property approach fifteen-feet (15') to the north along Highland [note: this may necessitate losing one parking space and narrowing the end-cap landscape planter depicted adjacent to the current northern side of the approach; and...

B. Applicant/project shall comply with City Engineering [recommended] conditions, including the following requirements:

- 1) Construct a 30" wide barrier curb 26.5' from road centerline to lip of gutter (abutting edge of pavement); and,
- 2) Widen asphalt pavement structure with 7" hot-mix asphalt over 6" untreated base course over 12" granular borrow; and,
- 3) Construct a 4' wide park strip; and,
- 4) Construct a 5' wide concrete sidewalk...

ATTACHMENTS

- Copy of Hearing Notice (page/Exhibit 4)
- Copy of General Land Use Development Application – Concept Site Plan review request (page/Exhibit 5)
- Copy of aerial photo of the Property and surrounds (page/Exhibit 6)
- Copy of traffic analysis executive summary (pages/Exhibits 7-9)
- Copy of neighborhood meeting information (pages/Exhibits 10-16)
- Copy of any agency/departments/citizen correspondence (pages/Exhibits 17+)

NOTICE OF A PUBLIC HEARING For a Concept Site Plan Approval for Commercial Building

Date: Tuesday, July 21st, 2020
Time: As close to 6:30pm as possible
Hearing Body: Planning Commission
Project Name: IDI Real Estate Office
Property Owner: SCS Cheyenne, LLC

Notice is hereby given that the City of Holladay Planning Commission will review and consider a request to approve a concept site plan for a small commercial office building at **1990 East 5290 South**, City of Holladay, Utah.

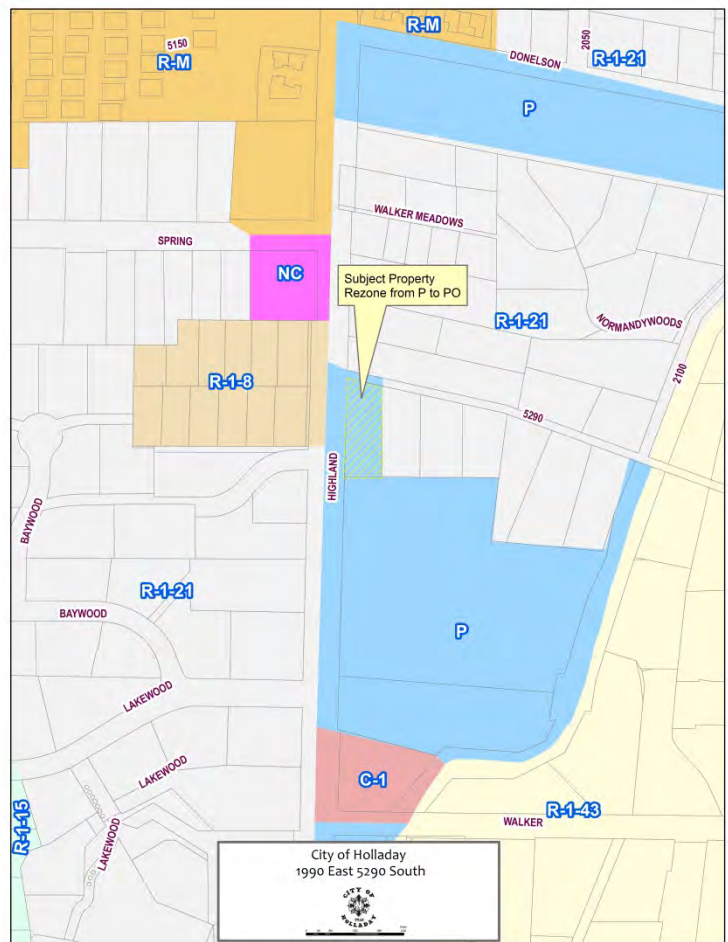
**Due to the current declared State of Emergency, the Planning Commission will hold virtual meetings until further notice as public gatherings are currently prohibited. This hearing will be held electronically. Information on how to join the meeting can be found on the City's website and on the posted agenda. Interested parties are encouraged to watch the video stream of the meeting on the City of Holladay Facebook page.*

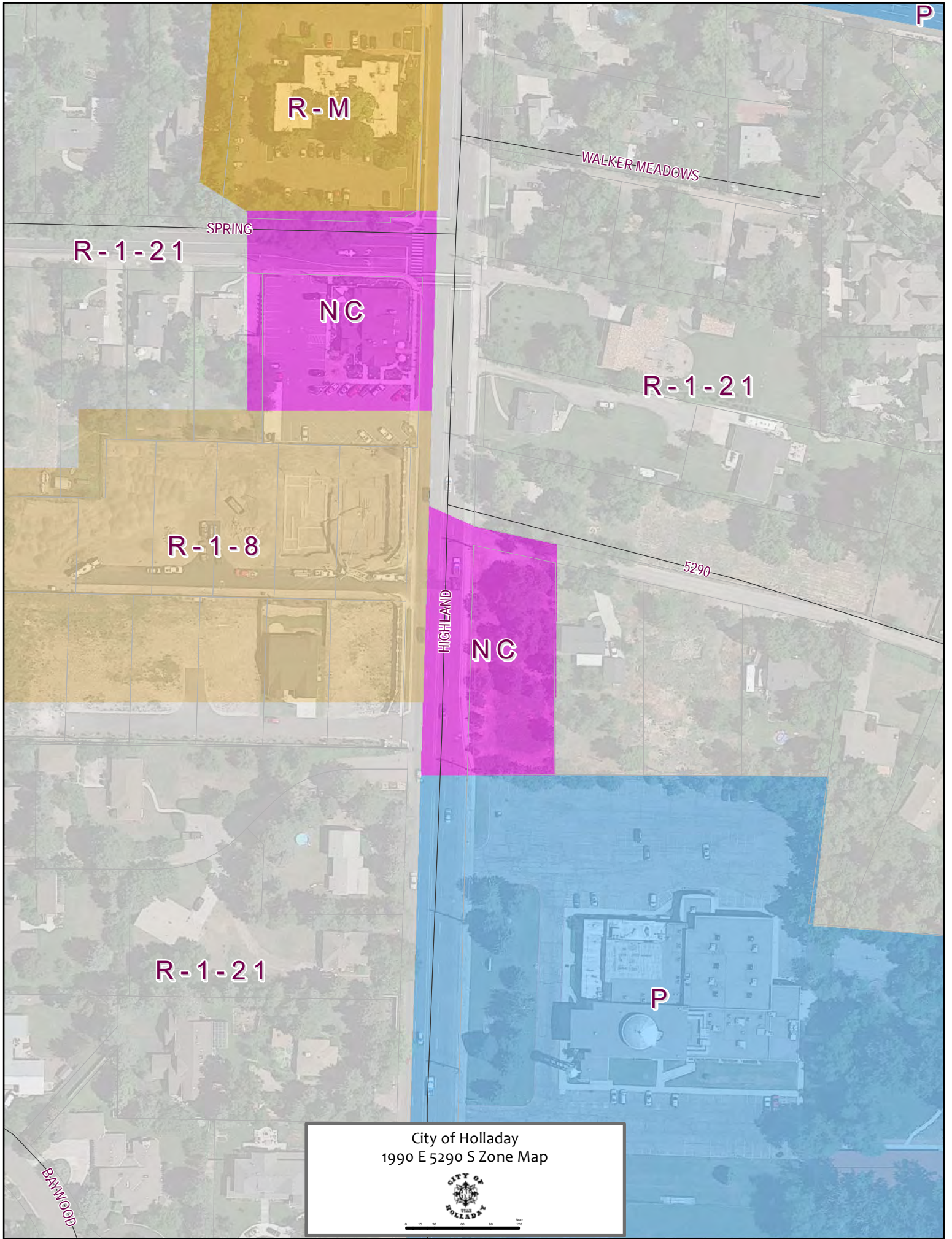
**Please submit any written comment via email to Paul Allred, pallred@cityofholladay.com or Jon Teerlink, jteerlink@cityofholladay.com by 5:00 pm 7/21/2020. Public comments received by the designated times will be read and evaluated by the Commission.*

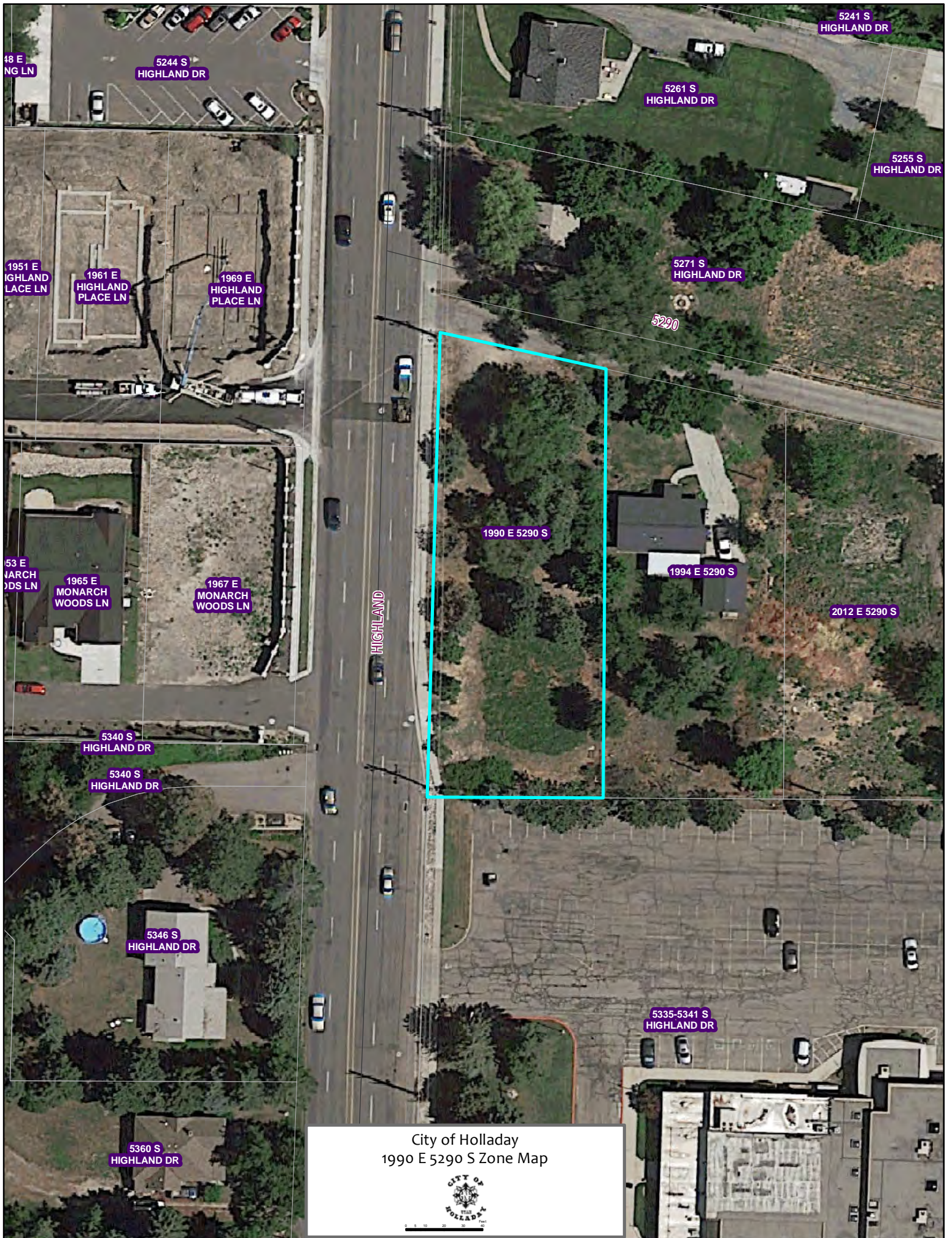
**The Staff report will be available on the City's website, www.cityofholladay.com no later than 5:00pm on Friday 07/31/20. If you have questions please contact either Paul Allred or Jonathan Teerlink at 801-527-3890 during regular business hours.*

Mailed by order of the Community Development Department, Paul Allred, Director



ATTENTION: This notice has been delivered to all residents within an area extending approximately 500 feet from the subject property. If you know of anyone who may not have received a notice but may have an interest in the meeting, please pass along the information. If you are not the owner of your residence, please notify the owner regarding this matter. Thank you.







City of Holladay
1990 E 5290 S Zone Map





City of Holladay
COMMUNITY DEVELOPMENT DEPARTMENT
4580 S 2300 E, Holladay, Utah 84117
Phone: 801-527-3890

GENERAL LAND USE DEVELOPMENT APPLICATION

Name of Proposed Project:	IDI REAL ESTATE OFFICE
Address of Project:	1990 EAST 5290 SOUTH

TYPE OF REQUEST: (mark all that apply)	
ADMINISTRATIVE PROCEDURES APPLY (ORD. 13.08)	LEGISLATIVE PROCEDURES APPLY (ORD. 13.07)
<input checked="" type="checkbox"/> SITE PLAN <input checked="" type="checkbox"/> PERMITTED of <input type="checkbox"/> CONDITIONAL	REZONE of PROPERTY
<input type="checkbox"/> SUBDIVISION PLAT	GENERAL PLAN AMENDMENT
<input type="checkbox"/> CONDOMINIUM PLAT	CODE AMENDMENT
<input type="checkbox"/> CONDITIONAL USE PERMIT	PUBLIC STREET: NAME CHANGE, VACATION / CLOSURE or DESIGNATION
<input type="checkbox"/> SPECIAL EXCEPTION	HISTORIC SITE DESIGNATION
<input type="checkbox"/> NON-CONFORMING USE DECLARATION	DEVELOPMENT AGREEMENT AMENDMENT
<input type="checkbox"/> OTHER:	ANNEXATION

Applicant Name: (Please Print) KASEY KEESHAW		Property Owners Name: (Please Print) **ATTACH SIGNED "OWNER AFFIDAVIT"	
Applicant's Mailing Address: 4949 COTTONWOOD LANE		City: HOLLADAY	State: UT
Applicant Phone: 801 953-6004		Applicant's Email Address: idirealestate@gmail.com	
Main Contact Person (Please Print): KASEY KEESHAW		Phone: 801 953-6004	email: idirealestate@gmail.com
Brief summary of proposal / request: 4,500 SF 2 STORY OFFICE BUILDING			

FILING FEES: (ORD 3.35)		OFFICE USE ONLY	
SITE PLAN REVIEW	\$600.00	REZONE of PROPERTY	\$900.00 + \$85.00/acre
SITE PLAN AMENDMENT	\$250.00	CODE AMENDMENT	\$600.00
SUBDIVISION: Final = 6% of the cost of improvements	\$2,000.00 + \$100.00/lot	GENERAL PLAN AMENDMENT	\$300.00 + \$50.00/acre
CONDOMINIUM	\$1,000.00 + \$100.00/unit	HISTORIC SITE DESIGNATION	\$600.00
CONDITIONAL USE PERMIT - COMMERCIAL	\$1,000.00 + \$35.00/acre	PUBLIC STREET:	\$300.00 - vacation \$500.00 - dedication \$250.00 - namechange
CONDITIONAL USE PERMIT - RESIDENTIAL	\$900.00 + \$50.00/unit	ANNEXATION	
CONDITIONAL USE PERMIT - HOME BUSINESS	\$100.00	DEVELOPMENT AGREEMENT AMENDMENT	
CONVERSION TO CONDOMINIUM	\$50.00/unit	LOT LINE ADJUSTMENT / COMBINATION:	\$75.00
SPECIAL EXCEPTION	\$600.00	OTHER:	
SUBDIVISION AMENDMENT	\$500.00		
FINAL TOTAL DUE:		FILE NUMBER: _____	
		PARCEL NUMBER: _____	
		GENERAL PLAN: _____	
		ZONE: _____ ACREAGE: _____	
		PC ACTION: _____ DATE: _____	
		CC ACTION: _____ DATE: _____	
		FILE DATE: _____	

NEXT STEPS:

1. To be considered COMPLETE, this form must be accompanied by all applicable "project tracking" checklist(s)/submittals or it will not be accepted.
2. Complete applications must be submitted 3 week prior to the desired Planning Commission date
2. Applications are reviewed every Tuesday by the Holladay TRC. You will be notified of any deficiencies, decisions and/or meetings dates at that time
3. Planning Commission convenes each month on the 1st and 3rd Tuesday. City Council convenes the 1st and 3rd Thursday of each month
4. Your Attendance at the Planning Commission and/or City Council meetings is required by the applicant or a representative of the applicant.

CITY OF HOLLADAY
AFFIDAVIT OF PROPERTY OWNERSHIP
FOR PROPERTY LOCATED AT

ADDRESS: 1990 E. 5240 S.

SUBDIVISION _____ PLAT _____ LOT _____

PROPERTY OWNER

I (WE), SES CHRYSTINE, LLC BEING DULY SWORN, DEPOSE AND SAY THAT I (WE) AM (ARE) THE OWNER(S) OF THE PROPERTY IDENTIFIED IN THE ATTACHED APPLICATION AND THAT THE STATEMENT HEREIN CONTAINED AND THE INFORMATION PROVIDED IN THE ATTACHED PLANS AND OTHER EXHIBITS ARE IN ALL RESPECTS TRUE AND CORRECT TO THE BEST OF MY (OUR) KNOWLEDGE.

SES CHRYSTINE, LLC
PROPERTY OWNER [Signature]

PROPERTY OWNER

ACKNOWLEDGMENT

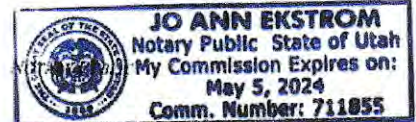
STATE OF UTAH)

COUNTY OF Salt Lake) SS.

THE FOREGOING AFFIDAVIT WAS ACKNOWLEDGED BEFORE ME THIS 22 DAY OF June, 2020 WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES: 5-5-2024

JO ANN EKSTROM



PROPERTY OWNER'S
AGENT AUTHORIZATION

I (WE), _____, THE OWNER(S) OF THE REAL PROPERTY DESCRIBED ABOVE, DO AUTHORIZE AS MY AGENT(S) _____ TO REPRESENT ME (US) REGARDING THE ATTACHED APPLICATION AND TO APPEAR ON MY (OUR) BEHALF BEFORE ANY ADMINISTRATIVE OR LEGISLATIVE BODY IN THE CITY OF HOLLADAY CONSIDERING THIS APPLICATION AND TO ACT IN ALL RESPECTS AS OUR AGENT IN MATTERS PERTAINING TO THE ATTACHED APPLICATION.

ACKNOWLEDGMENT

STATE OF UTAH)

COUNTY OF)) SS.

THE FOREGOING AFFIDAVIT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC

June 24, 2020



RE: Kershaw Office Building – Holladay, UT

The following is a trip generation memo for a proposed Kershaw Office Building development for the property at the future southeast corner of 5290 South and Highland Drive in Holladay, UT. The proposed site is up to 4,500 square feet of office space. Figure One identifies the site location and Figure Two shows the proposed site plan.



Figure 1: Proposed Site Location

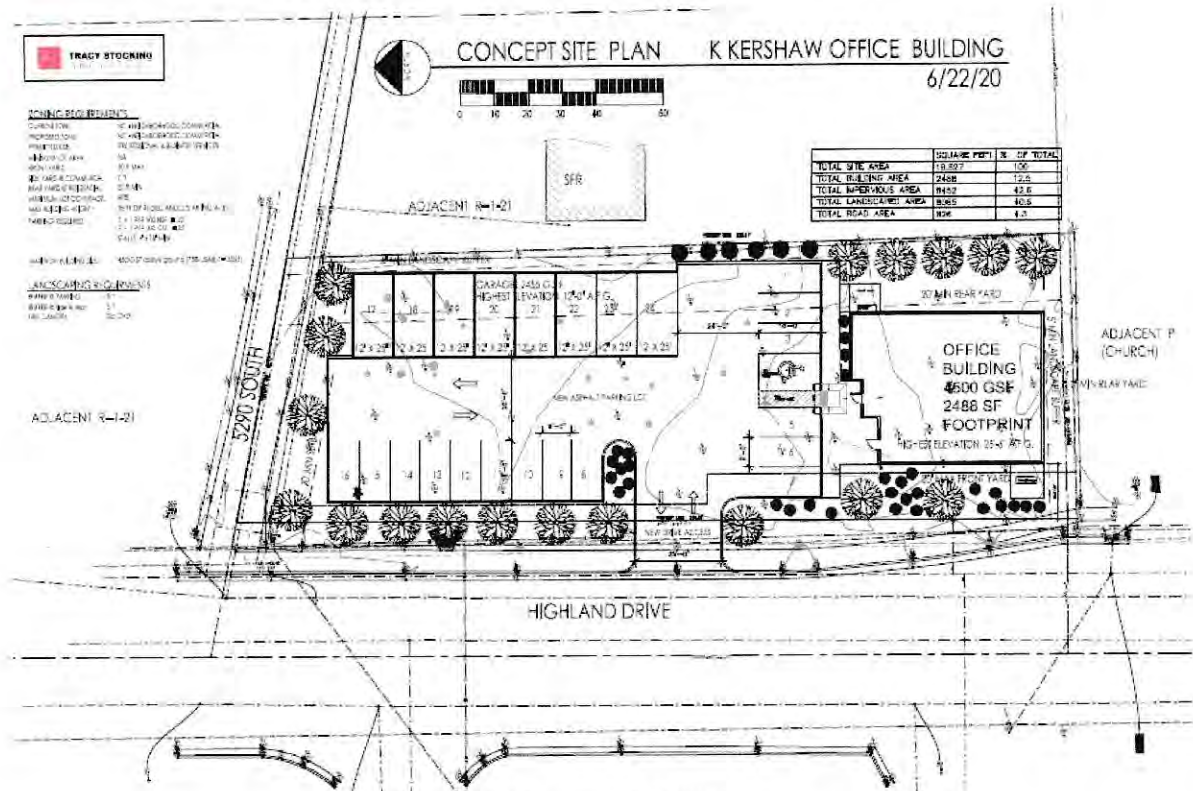


Figure 2: Proposed Site Layout

Trip Generation

Trip generation for the site was done using the Institute of Transportation Engineers (ITE) *Trip Generation* handbook. Based on the land use assumptions and size of the building, the projected traffic generated by the site is determined.

Table 1: Site Trip Generation

ITE 10th Ed	Size	Land Use	Trip Rate			Trips		
			AM	PM	Daily	AM	PM	Daily
Kershaw Office	4,500	710	1.16	1.15	9.74	5	5	44

The results indicate that the proposed development is projected to generate a projected 5 AM peak, 5 PM peak trips and 44 daily trips. Highland Drive carries 17,000 ADT in this section of road and based on the four lane cross section has a projected capacity of 36,500 ADT. Therefore the road has the capacity for the project will utilize approximately 0.12% off the roadway capacity and increase traffic by 0.26% above the current traffic volumes.

Access

The site is proposing to be served by a single access connecting to Highland Drive. Ideally, the site would access 5290 South the side street. The next best connection would be to align with an existing access to the west and placed as far from the 5290 South / Highland intersection as possible. Currently, the site plan shows the access placed on Highland, between the existing two accesses to the west. Fortunately, the site is only projected to generate 5 AM and 5 PM trips based on the size of the facility.

Please let me know if you have any questions.

Sincerely,
A-Trans Engineering

A handwritten signature in black ink, appearing to read "Joseph Perrin, Jr.", with a stylized flourish at the end.

Joseph Perrin, PhD, PE, PTOE
Principal

Neighborhood Meeting Results:

Showed up:

Chris Meyer (only adjacent neighbor)

Cecie Scharman

Raegan Scharman

Richard Quist

Anna Lee Quist

Mrs. Knudson

Called in:

Richard Browning

Comments:

In general the meeting was positive and no real objections to site plan were given. Chris Meyer, who lives next door, loved the idea of the garages because they create a barrier from her and Highland Drive. She suggested we move the back of garages right onto property line, instead of 5' setback, in lieu of a block wall. I think that is a great idea if Holladay is open to it.

SITE APPLICATION

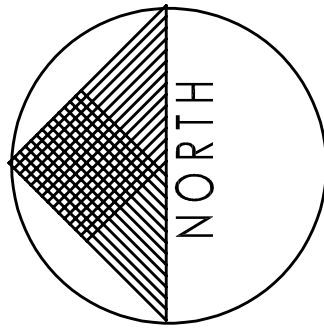
1990 South (Highland Drive) 5290 East

My name is Kasey Kershaw. I have been a Holladay resident for nearly 14 years. I live at 4949 S. Cottonwood Lane. I own a real estate brokerage, IDI Real Estate, which I currently run from my home. I also develop and hold real estate investments. I have purchased the land located at 1990 East (Highland Drive) 5290 South, which is adjacent (North) to The Greek Orthodox Church. I am looking to construct a small office building on site. I have been looking for a site to build a commercial office in Holladay for many years. There is far more demand for office space than there is space available, especially if you are looking to own, rather than lease. This stretch of Highland Drive has seen professional office development in the past and I believe this is an ideal spot for additional small office inventory.

With your help I was able to get this property rezoned to NC, which allows for a 4,500 sf office building. The site plan I am looking to get approved is exactly that... a 2 story office building that is 4,500 sf. I will occupy a portion of the building and lease out the balance. Many of my neighbors, also Holladay residents, have shown great interest in occupying a portion of this building for their respective businesses.

I am sensitive to the way development affects the surrounding neighbors. The seller of this site is the Greet Orthodox Church. They are very agreeable to my proposed use for the site. My hours of operation (normal business weekday hours, very limited or no weekend hours) works great with their use of the Church site. I have cut off access to 5290 South, as suggested by neighbors and you. I have set the building as far to the South as possible to offer the best privacy to the adjacent neighbor and allow for the best site lines for neighbors pulling in and out of 5290 South.

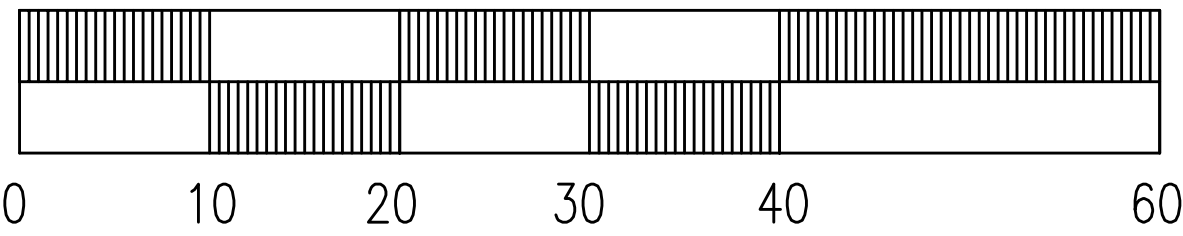
This is a long-term hold for me. I plan to run my business from this site for the foreseeable decades. With that in mind, construction, landscaping, and office finishes will be of the highest, Holladay quality. This small, professional office building will be a welcome addition to Holladay.



CONCEPT SITE PLAN

K KERSHAW OFFICE BUILDING

REV-1 7/14/20



ZONING REQUIREMENTS

CURRENT ZONE: NC - NEIGHBORHOOD COMMERCIAL
PROPOSED ZONE: NC - NEIGHBORHOOD COMMERCIAL
PERMITTED USE: PROFESSIONAL & BUSINESS SERVICES
MINIMUM LOT AREA: NA
FRONT YARD: 20 ft MAX
SIDE YARD @ COMMERCIAL: 0 ft
REAR YARD @ RESIDENTIAL: 20 ft MIN.
MAXIMUM LOT COVERAGE: 90%
MAX BUILDING HEIGHT: 35 FT OR 45 DEG ANGLE STARTING AT 8 FT
PARKING REQUIRED: 2 + 1 PER 200 NSF = 20
2 + 1 PER 200 GSF = 25
STALLS: 9' x 18' MIN.

MAXIMUM BUILDING SIZE: 4500 SF above ground (75% USABLE = 3565)

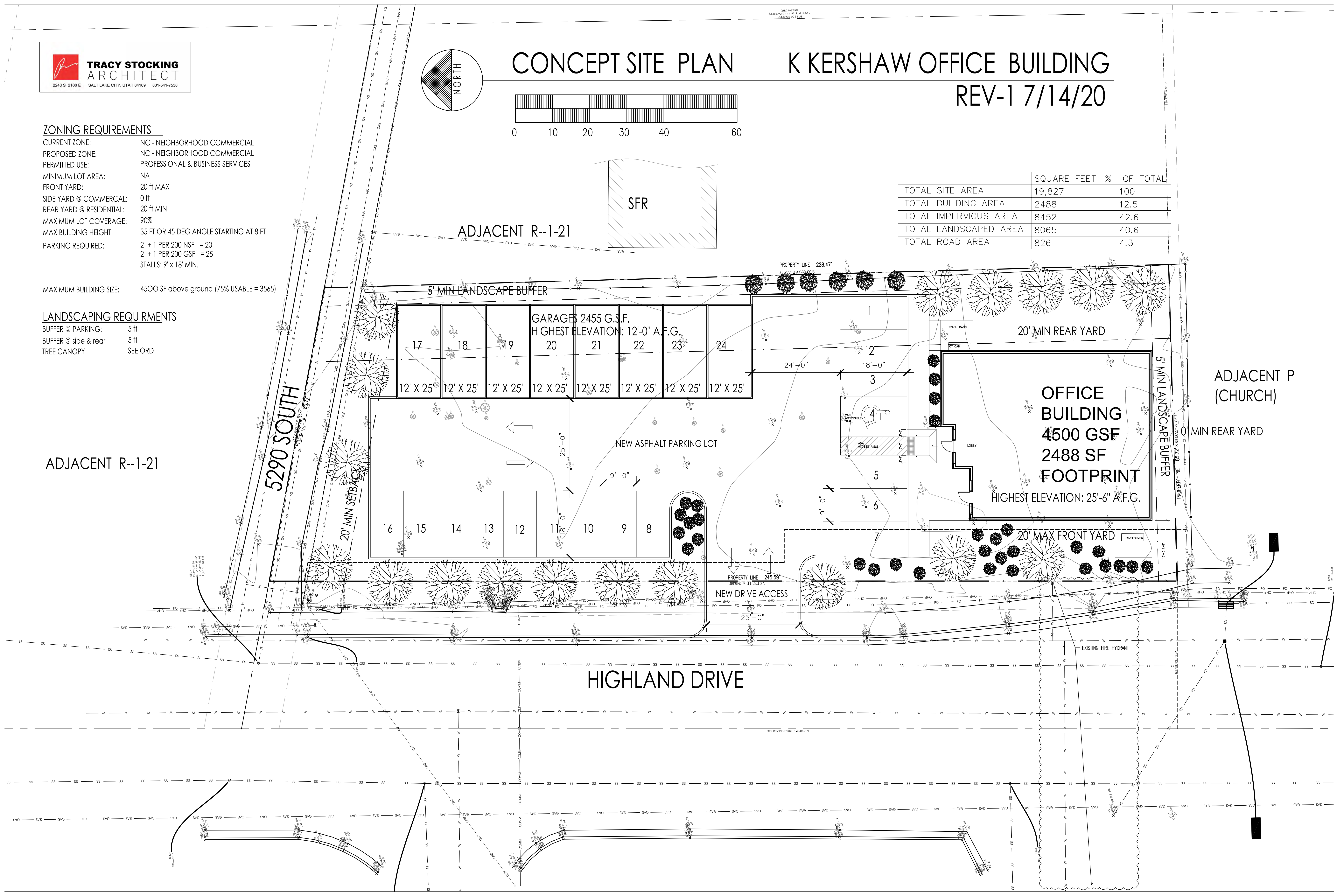
LANDSCAPING REQUIRMENTS

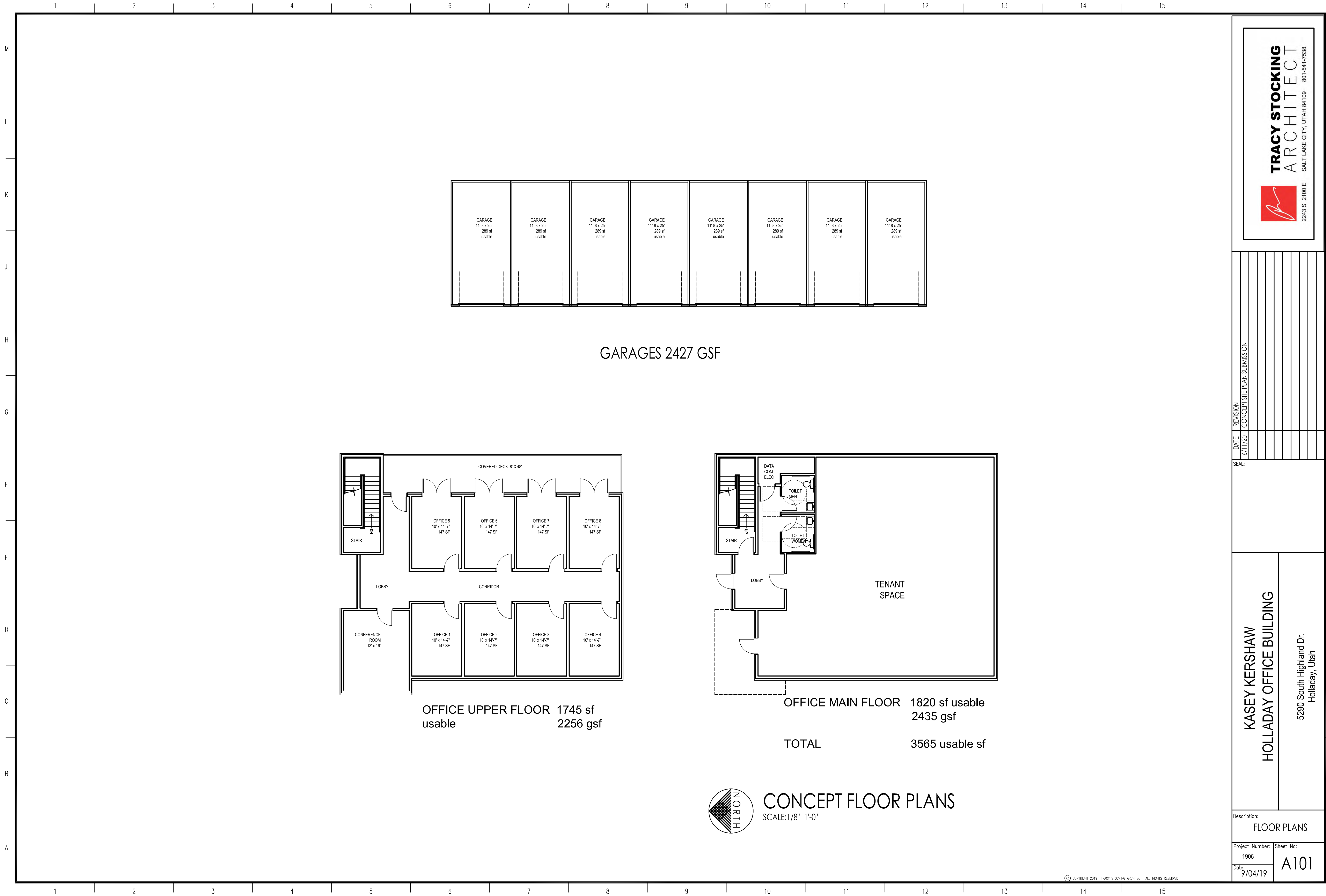
BUFFER @ PARKING: 5 ft
BUFFER @ side & rear: 5 ft
TREE CANOPY: SEE ORD

	SQUARE FEET	% OF TOTAL
TOTAL SITE AREA	19,827	100
TOTAL BUILDING AREA	2488	12.5
TOTAL IMPERVIOUS AREA	8452	42.6
TOTAL LANDSCAPED AREA	8065	40.6
TOTAL ROAD AREA	826	4.3

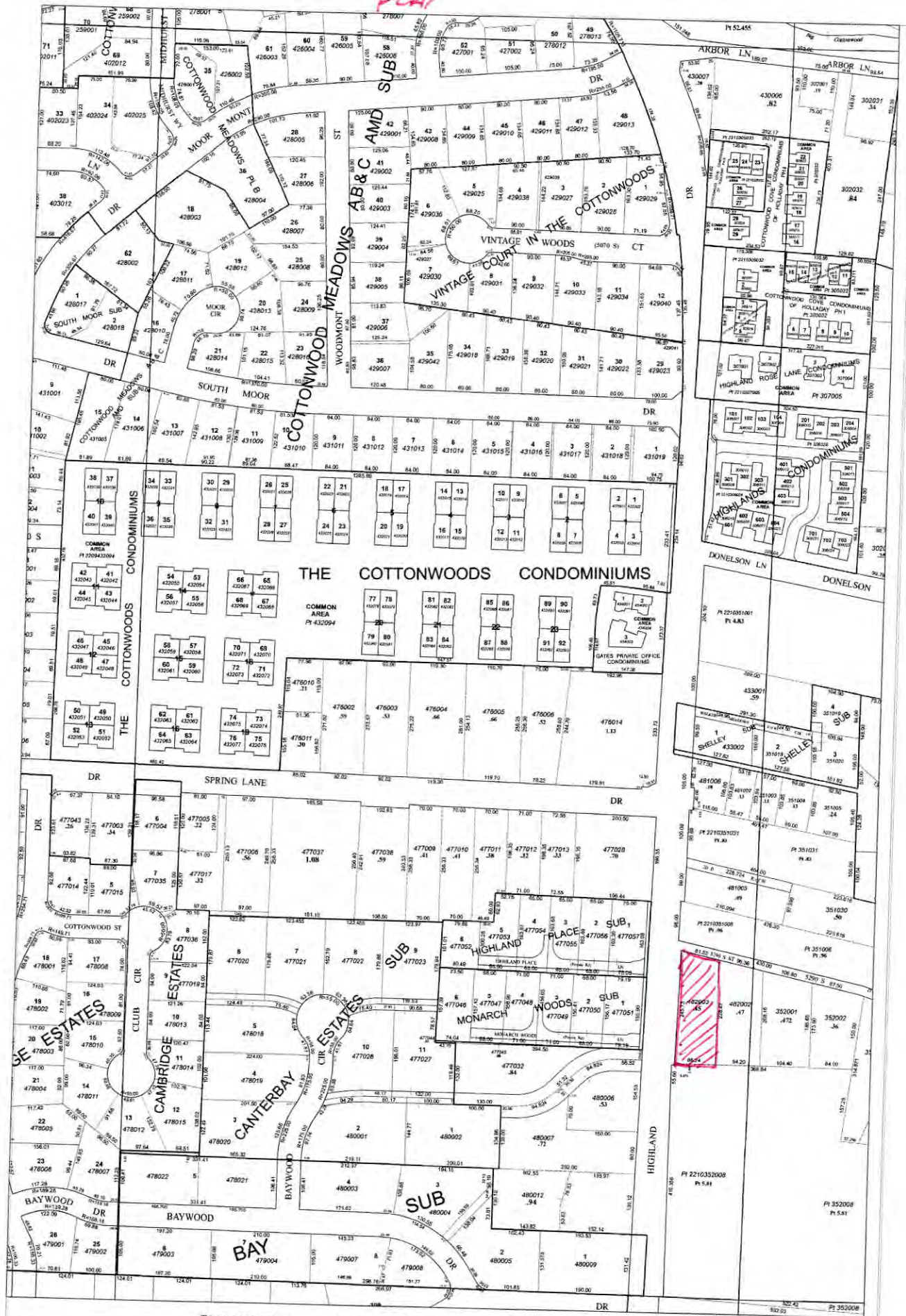
ADJACENT R--1-21

ADJACENT P
(CHURCH)





PLAT



This map is not intended to represent actual physical properties. In order to establish exact physical boundaries a survey of the property may be necessary.



Prepared and published by:
Salt Lake County Recorder
Rashelle Hobbs
3001 S State Street N1:609
Salt Lake City, Utah 84199
365-468-8145
recorder.salt.org



E 1/2 SE 1/4 Sec 09 T2S R1E
SALT LAKE COUNTY, UTAH

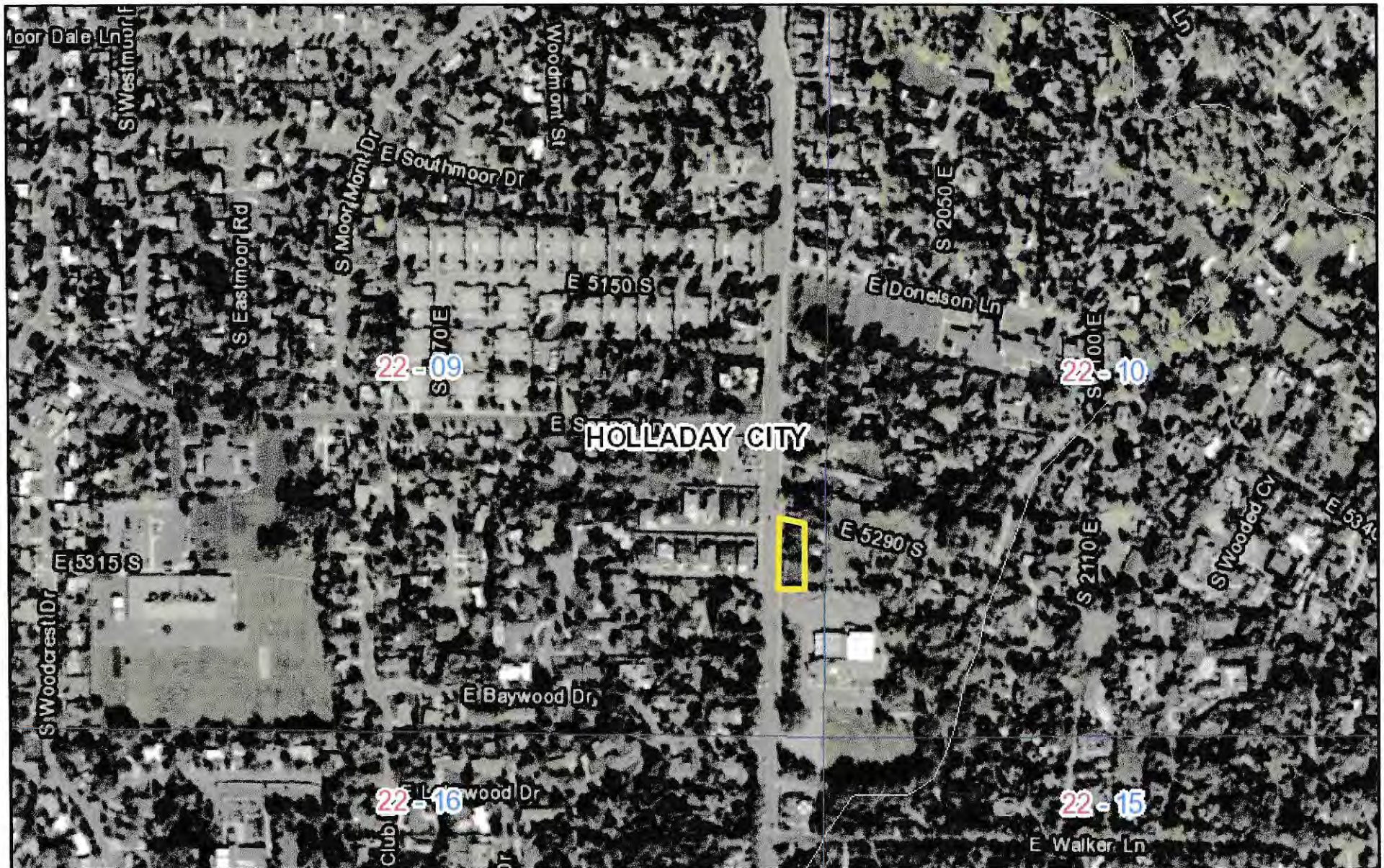
3/27/2020

Scale 1"=100'
0 100' 200'
Feet

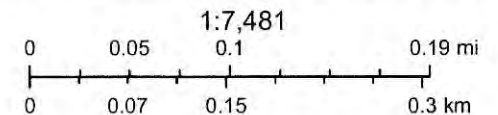
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22
23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44
45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66
67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88
89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110
111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132

Area
Square Feet
Page

VICINITY MAP



March 6, 2019



Esri, HERE, Garmin, © OpenStreetMap contributors, Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri

This map was created by the office of the Salt Lake County Assessor, in cooperation with the offices of Surveyor, Recorder, Auditor, and Information Services. Copyright 2013, Assessor GIS. The information depicted here is to be taken as an approximate fit in regards to the spatial position of the layers presented. This map is not intended to represent an actual field Survey of, nor establish the actual relation between, any of the layers depicted here.



CITY OF HOLLADAY

February 25, 2020

Dear Mr. Kershaw:

The City Council of the City of Holladay met in regular council session on August 22, 2019 to consider amending the City of Holladay Zoning Map for Property Located at 1990 E 5290 S from the P (public) zone to the NC (neighborhood commercial) zone. The requested amendment was approved by unanimous vote of the City Council. A copy of the adopted ordinance is enclosed.

If you should have any questions regarding this matter, please call me at 801-272-9450 and I will be happy to assist you.

Sincerely,

Stephanie N. Carlson, MMC
Holladay City Recorder

Enc



Request: Preliminary Site Plan Approval

Applicant: Holladay Hotel LLC, Steve Lovell, agent for applicant

File No: 19-9-16

Planner: Paul Allred

Zone: ORD

GOVERNING POLICIES/ORDINANCES:

- 13.45 ORD zone
- 13.08 Administrative Procedures

ACTION REQUIRED

- Consideration of proposed Preliminary Site Plan
-

SUMMARY AND BACKGROUND

- The Planning Commission gathered significant public comment and APPROVED the conceptual site plan on 11-19-19. **(See attached minutes)**
- One item mentioned in the minutes was the recommendation by the Commission that “City leaders work to develop a solution that would allow the project to be built in accordance with Plan A (Ingress/egress aligned with the traffic signal)”
- The applicant will likely report to the PC that they have not been able to get consent from all property owners to the relocation of the road to the north as was unanimously supported by all in November 2019.
- And, as there is not unanimous consent by all property owners along the existing private lane to allow their easement to be relocated to the north to the preferred location, the Planning Commission is obligated to allow the access as proposed to be approved.
- Staff recommends approval of the Preliminary Site plan with the findings and conditions as listed below and with the condition that any other minor, technical items that need resolution in both engineering and planning be addressed and resolved prior to any final approval.
- Staff further recommends the Commission delegate final site plan approval at the TRC level to make sure all items have been resolved and that the project will be allowed to proceed to construction permitting.

FINDINGS FOR APPROVAL

- This use complies with the General Plan and the ORD zone.
- The hotel complies with Development Agreement requirements as per City Council for setback and building height and for the ORD zone.
- TRC finds very good overall compliance with requirements for Preliminary Site Plan.
- UDOT has previously approved ingress/egress at *existing* ingress/egress location instead of relocating it to align with 6400 South as previously planned due to opposition to its relocation by property owners on the private lane.
- The Site Plan proposes:
 - 30% landscaping with an abundance of new trees that will eventually provide a lush vegetative ambience for both the hotel and the nearby residents. No building, parking stall or lighting fixture will right against the property line next to neighbors. **(See attached site plan)**
 - A building with maximum height of building at 53’ for a small portion of the building and the rest at no more than 47 feet. The split of maximum height to the remainder of the roof line is 40% at 53’ and 60% at 47’.
 - An estimated number of rooms at 106 with corresponding parking stalls to comply with code
 - Minimal setbacks from Highland Drive and maximum distance of the building to abutting residential property to the east. (126 feet to nearest residential property line) The building has been placed on the site to minimize its visual and other impacts on the residential properties to the east and north.

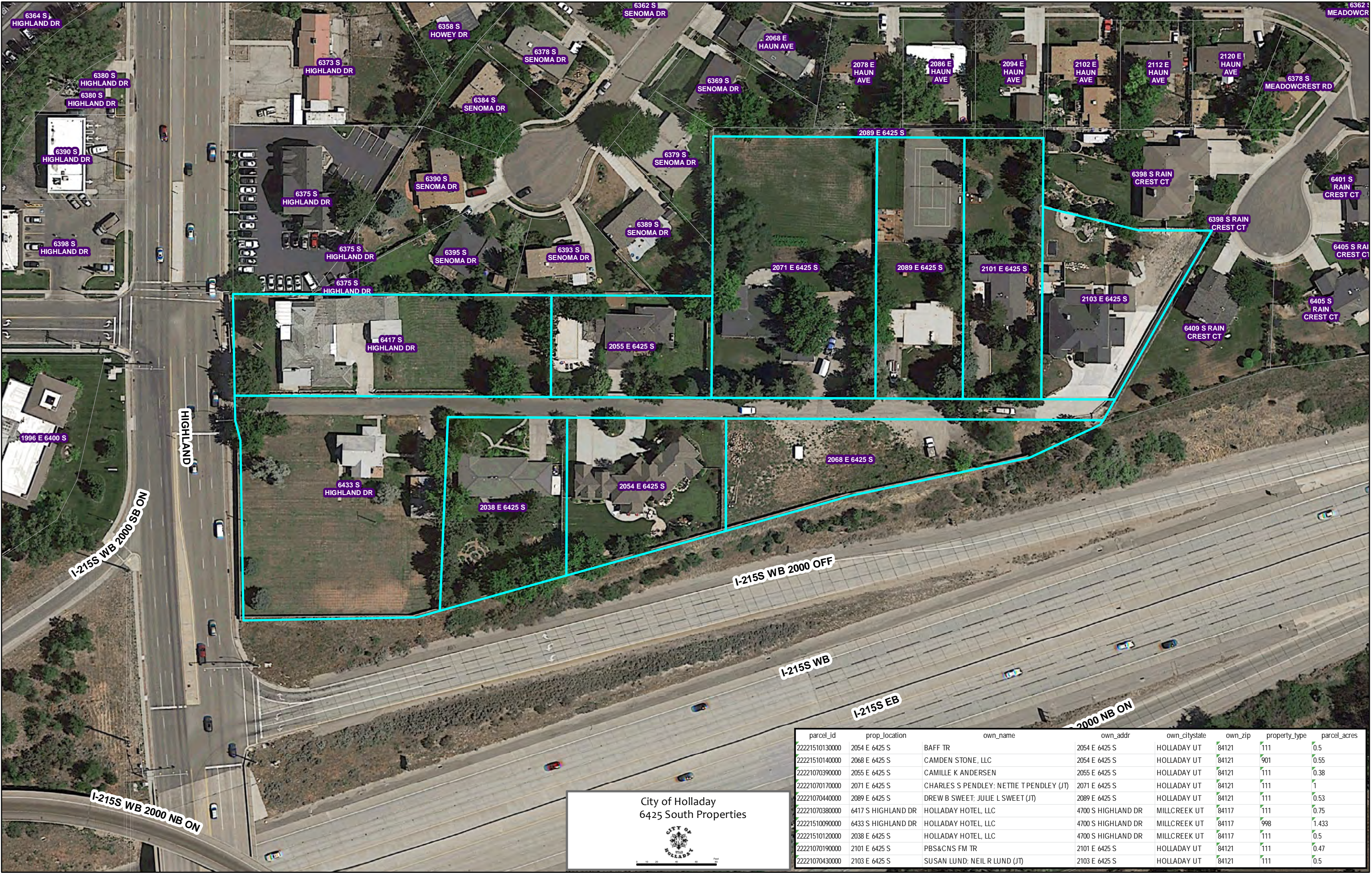
- Keeping the ingress/egress for the site at the present location and incorporating the hotel site plan around it
- The applicants have obtained a permit from UDOT to retain and improve the present location of the vehicular access.
- The lighting plan complies with requirements to operate in a way that minimizes impact on abutting residential property by shutting off lights and dimming lights per code. **(See overall light plan)**
- The previous plan to move the access to the north to align with 6400 South could implemented if unanimous support from the easement holders is eventually obtained and UDOT approves the change in location. (An amended site plan would need to be evaluated by the Commission)
- The building materials are high quality. **(Please see attached building elevations/materials)**
- More complex items such as grading, utilities and drainage, landscaping and lighting have been amply addressed by the TRC and with a few clarifications and corrections are acceptable.
- Staff will raise a few issues at the meeting for Commission discussion and for the applicant to respond to as listed below.

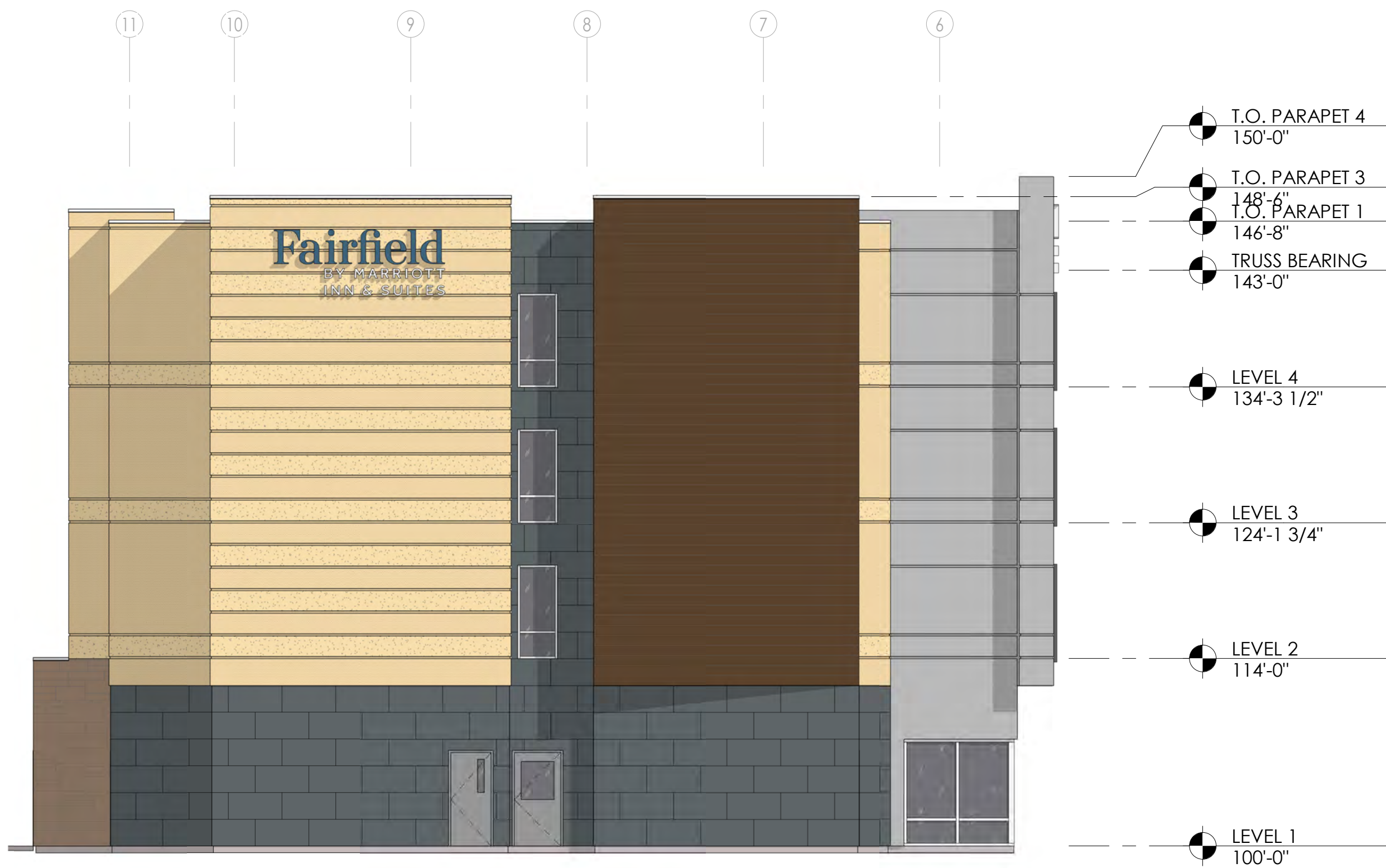
ITEMS FOR DISCUSSION AND RESOLUTION FROM TECHNICAL REVIEW COMMITTEE

1. Height of wall on east side of the site. Proposed is 6' feet masonry wall. Should this be increased to 8' feet for better visual and noise attenuation?
2. The lights on the east side of the site next to two homes fairly tall and have shields to block light. However, they are about 30 feet tall. Is there a way to reduce the height and protect the neighbors and still have ample light for security?
3. Some lights in the plan are 3000K (color scale) and others are 4000k. Is there a reason that there cannot be color compatibility with all lighting on the property? If not, what is the difference between these two color values?
4. City Engineer indicates that the development must meet storm water quality requirements as specified in city ordinance 17.24.020.H.

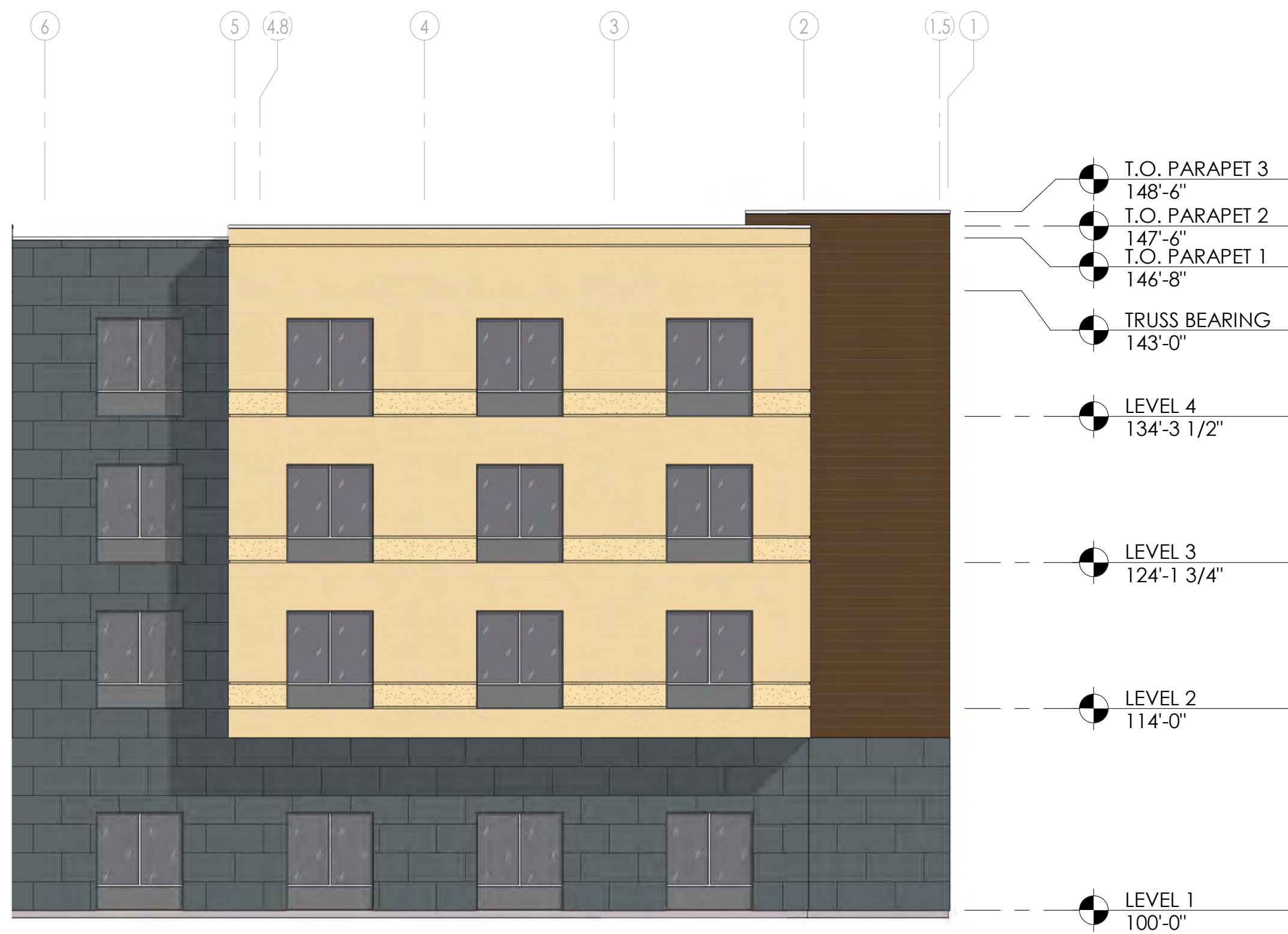
SUPPORTING MATERIALS

- Building Elevations
- Site Plan
- Landscaping Plan
- Main site lighting plan
- Approved concept site plan minutes from 11/19/19





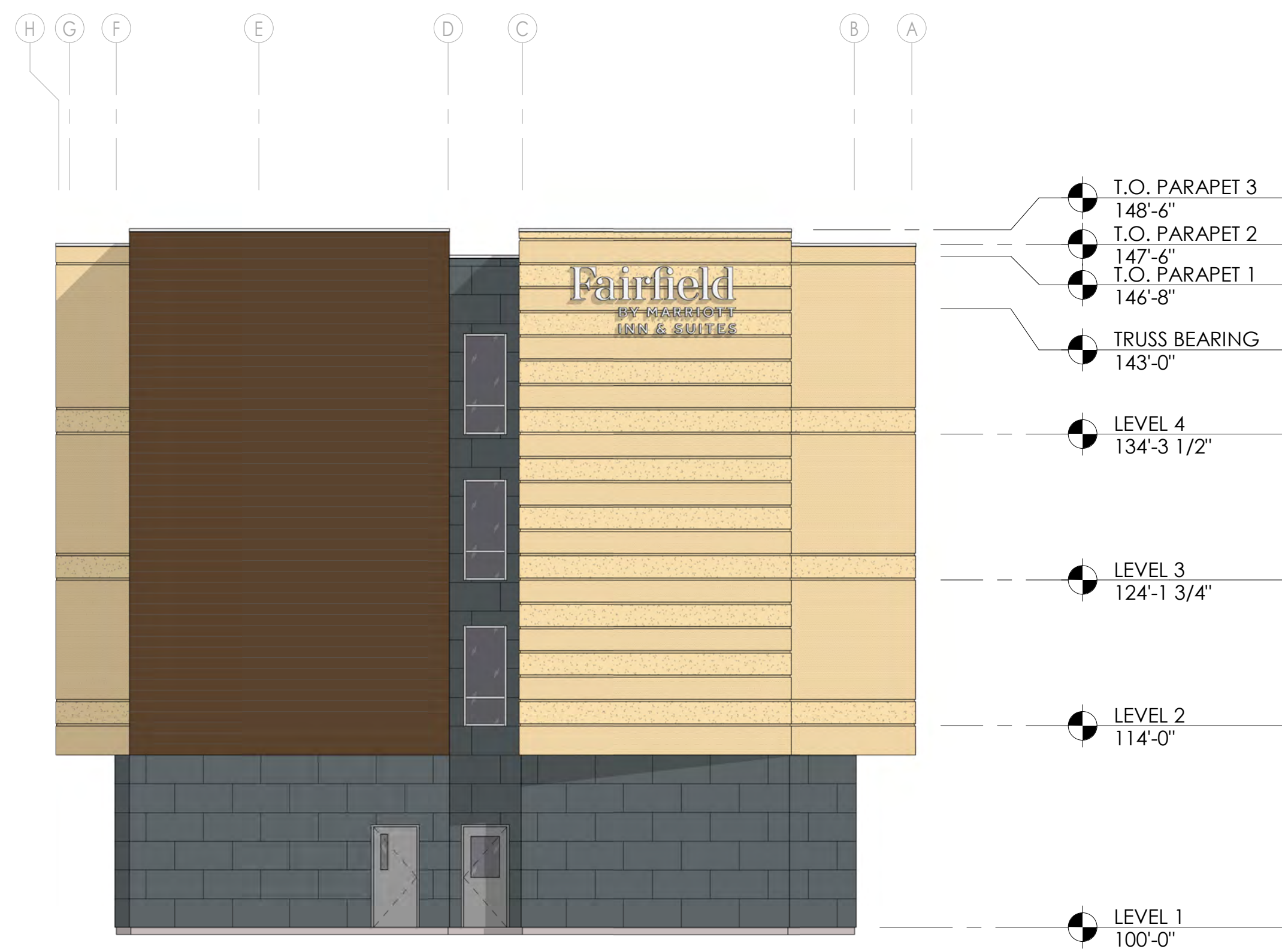
1 EAST ELEVATION A
A210 1/8" = 1'-0"



2 EAST ELEVATION B
A210 1/8" = 1'-0"



4 NORTH ELEVATION A
A210 1/8" = 1'-0"



3 NORTH ELEVATION B
A210 1/8" = 1'-0"

EXTERIOR MATERIALS AREA CALCULATIONS

** AREA CALCULATIONS ARE APPROXIMATE, ARE SUBJECT TO CHANGE, AND INCLUDE AREA OF SURFACES BEYOND

EAST ELEVATION A

STONE	126 SF	4%
METAL COMPOSITE PANEL	466 SF	14%
SLATE GRAY (TILE)	800 SF	24%
FIBER CEMENT (BROWN)	722 SF	21%
EIFS (YELLOW)	1,269 SF	37%
TOTAL	3,383 SF	

EAST ELEVATION B

STONE	0 SF	0%
METAL COMPOSITE PANEL	0 SF	0%
SLATE GRAY (TILE)	1,012 SF	41%
FIBER CEMENT (BROWN)	356 SF	15%
EIFS (YELLOW)	1,066 SF	44%
TOTAL	2,434 SF	

NORTH ELEVATION A

STONE	199 SF	4%
METAL COMPOSITE PANEL	1,285 SF	27%
SLATE GRAY (TILE)	694 SF	14%
FIBER CEMENT (BROWN)	918 SF	19%
EIFS (YELLOW)	1,723 SF	36%
TOTAL	4,819 SF	

NORTH ELEVATION B



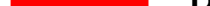

STONE	0 SF	0%
METAL COMPOSITE PANEL	0 SF	0%
SLATE GRAY (TILE)	739 SF	27%
FIBER CEMENT (BROWN)	813 SF	30%
EIFS (YELLOW)	1,179 SF	43%
TOTAL	2,731 SF	

WEST ELEVATION

STONE	0 SF	0%
METAL COMPOSITE PANEL	1,457 SF	32%
SLATE GRAY (TILE)	1,390 SF	31%
FIBER CEMENT (BROWN)	273 SF	6%
EIFS (YELLOW)	1,422 SF	31%
TOTAL	4,547 SF	

SOUTH ELEVATION

STONE	547 SF	8%
METAL COMPOSITE PANEL	2,158 SF	31%
SLATE GRAY (TILE)	567 SF	8%
FIBER CEMENT (BROWN)	1,610 SF	24%
EIFS (YELLOW)	1,974 SF	29%
TOTAL	6,856 SF	

- | | |
|---|--|
|  | PROPOSED LOCATION OF RECESSED CAN LIGHTS AT UNDERSIDE OF PORTE COCHERE |
| | PROPOSED LOCATION OF RECESSED CAN LIGHTS AT UNDERSIDE OF SECOND LEVEL OVERHANG |
|  | PROPOSED LOCATION OF RECESSED CAN LIGHTS AT UNDERSIDE OF SECONDARY ENTRANCE CANOPY |
|  | PROPOSED LOCATION OF BLUE LED ACCENT LIGHTING (FAIRFIELD SIGNATURE ELEMENT) |
|  | PROPOSED LOCATION OF WALL SCONCE |



1 EAST ELEVATION
A211
1/8" = 1'-0"



2 NORTH ELEVATION
A211 1/8" = 1'-0"

EXTERIOR MATERIALS AREA CALCULATIONS

** AREA CALCULATIONS ARE APPROXIMATE, ARE SUBJECT TO CHANGE, AND INCLUDE AREA OF SURFACES BEYOND

EAST ELEVATION A

STONE	126 SF	4%
METAL COMPOSITE PANEL	466 SF	14%
SLATE GRAY (TILE)	800 SF	24%
FIBER CEMENT (BROWN)	722 SF	21%
<u>EIFS (YELLOW)</u>	<u>1,269 SF</u>	<u>37%</u>
TOTAL	3,383 SF	

EAST ELEVATION B

STONE	0 SF	0%
METAL COMPOSITE PANEL	0 SF	0%
SLATE GRAY (TILE)	1,012 SF	41%
FIBER CEMENT (BROWN)	356 SF	15%
<u>EFS (YELLOW)</u>	<u>1,066 SF</u>	<u>44%</u>
TOTAL	2,434 SF	

NORTH ELEVATION A

STONE	199 SF	4%
METAL COMPOSITE PANEL	1,285 SF	27%
SLATE GRAY (TILE)	694 SF	14%
FIBER CEMENT (BROWN)	918 SF	19%
EIFS (YELLOW)	1,723 SF	36%
TOTAL	4,819 SF	

NORTH ELEVATION B

STONE	0 SF	0%
METAL COMPOSITE PANEL	0 SF	0%
SLATE GRAY (TILE)	739 SF	27%
FIBER CEMENT (BROWN)	813 SF	30%
<u>EIFS (YELLOW)</u>	<u>1,179 SF</u>	<u>43%</u>
TOTAL	2,731 SF	

WEST ELEVATION

STONE	0 SF	0%
METAL COMPOSITE PANEL	1,457 SF	32%
SLATE GRAY (TILE)	1,390 SF	31%
FIBER CEMENT (BROWN)	273 SF	6%
<u>EIFS (YELLOW)</u>	<u>1,427 SF</u>	<u>31%</u>
TOTAL	4,547 SF	

SOUTH ELEVATION

STONE	547 SF	8%
METAL COMPOSITE PANEL	2,158 SF	31%
SLATE GRAY (TILE)	567 SF	8%
FIBER CEMENT (BROWN)	1,610 SF	24%
<u>FIFS (YELLOW)</u>	<u>1,974 SF</u>	<u>29%</u>
TOTAL	6,856 SF	

MATERIALS LEGEND

	STONE
	METAL COMPOSITE PANEL COLOR: SILVER
	TILE COLOR: GRAY TEXTURE: SLATE
	FIBER CEMENT COLOR: BROWN TEXTURE: SMOOTH
	EIFS COLOR: YELLOW TEXTURE: FINE
	EIFS COLOR: YELLOW TEXTURE: COARSE



1
A212 **WEST ELEVATION**
1/8" = 1'-0"



2 SOUTH ELEVATION
A212 1/8" = 1'-0"

EXTERIOR MATERIALS AREA CALCULATIONS

** AREA CALCULATIONS ARE APPROXIMATE, ARE SUBJECT TO CHANGE, AND INCLUDE AREA OF SURFACES BEYOND

EAST ELEVATION A

STONE	126 SF	4%
METAL COMPOSITE PANEL	466 SF	14%
SLATE GRAY (TILE)	800 SF	24%
FIBER CEMENT (BROWN)	722 SF	21%
EIFS (YELLOW)	1,269 SF	37%
TOTAL	3,383 SF	

EAST ELEVATION B

STONE	0 SF	0%
METAL COMPOSITE PANEL	0 SF	0%
SLATE GRAY (TILE)	1,012 SF	41%
FIBER CEMENT (BROWN)	356 SF	15%
<u>EIFS (YELLOW)</u>	<u>1,066 SF</u>	<u>44%</u>
TOTAL	2,434 SF	

NORTH ELEVATION A

METAL COMPOSITE PANEL	1,285 SF	27%
SLATE GRAY (TILE)	694 SF	14%
FIBER CEMENT (BROWN)	918 SF	19%
EIFS (YELLOW)	1,723 SF	36%
TOTAL	4,819 SF	

NORTH ELEVATION B

STONE	0 SF	0%
METAL COMPOSITE PANEL	0 SF	0%
SLATE GRAY (TILE)	739 SF	27%
FIBER CEMENT (BROWN)	813 SF	30%
<u>EIFS (YELLOW)</u>	<u>1,179 SF</u>	<u>43%</u>
TOTAL	2,731 SF	




WEST ELEVATION

STONE	0 SF	0%
METAL COMPOSITE PANEL	1,457 SF	32%
SLATE GRAY (TILE)	1,390 SF	31%
FIBER CEMENT (BROWN)	273 SF	6%
<u>EIFS (YELLOW)</u>	<u>1,427 SF</u>	<u>31%</u>
TOTAL	4,547 SF	

SOUTH ELEVATION

STONE	547 SF	8%
METAL COMPOSITE PANEL	2,158 SF	31%
SLATE GRAY (TILE)	567 SF	8%
FIBER CEMENT (BROWN)	1,610 SF	24%
<u>EFS (YELLOW)</u>	<u>1,974 SF</u>	<u>29%</u>
TOTAL	6,856 SF	

MATERIALS LEGEND

	STONE
	METAL COMPOSITE PANEL COLOR: SILVER
	TILE COLOR: GRAY TEXTURE: SLATE
	FIBER CEMENT COLOR: BROWN TEXTURE: SMOOTH
	EIFS COLOR: YELLOW TEXTURE: FINE
	EIFS COLOR: YELLOW TEXTURE: COARSE

/22/2020 11:02:22 AM

FAIRFIELD INN & SUITES
HOLLADAY HOTEL, LLC
HOLLADAY, UT

Revision Schedule	
MARK	DESCRIPTION
	Revision Date

AE2019.296

LEVATIONS

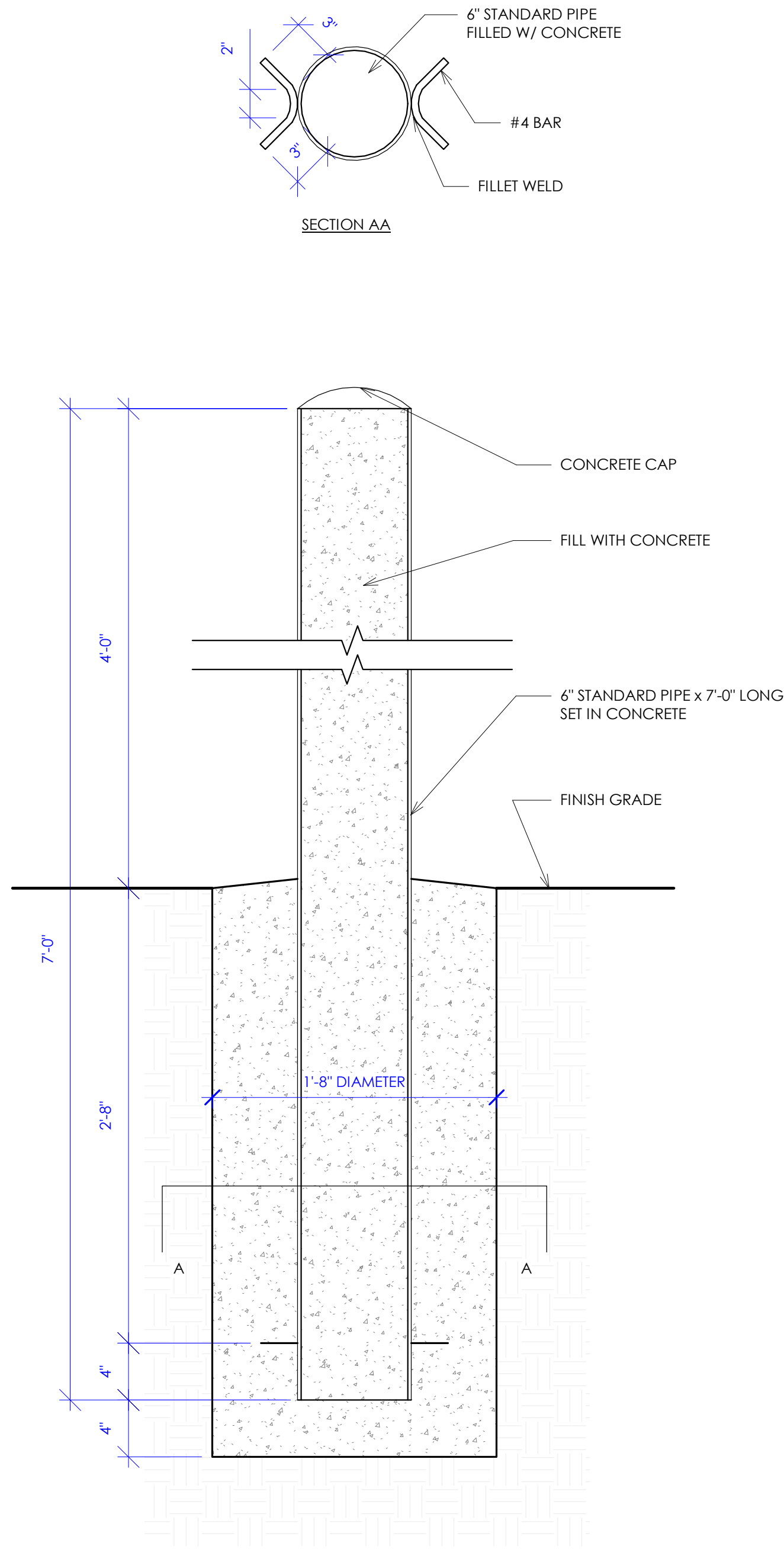
DATE: 03.20.2020

EET #:

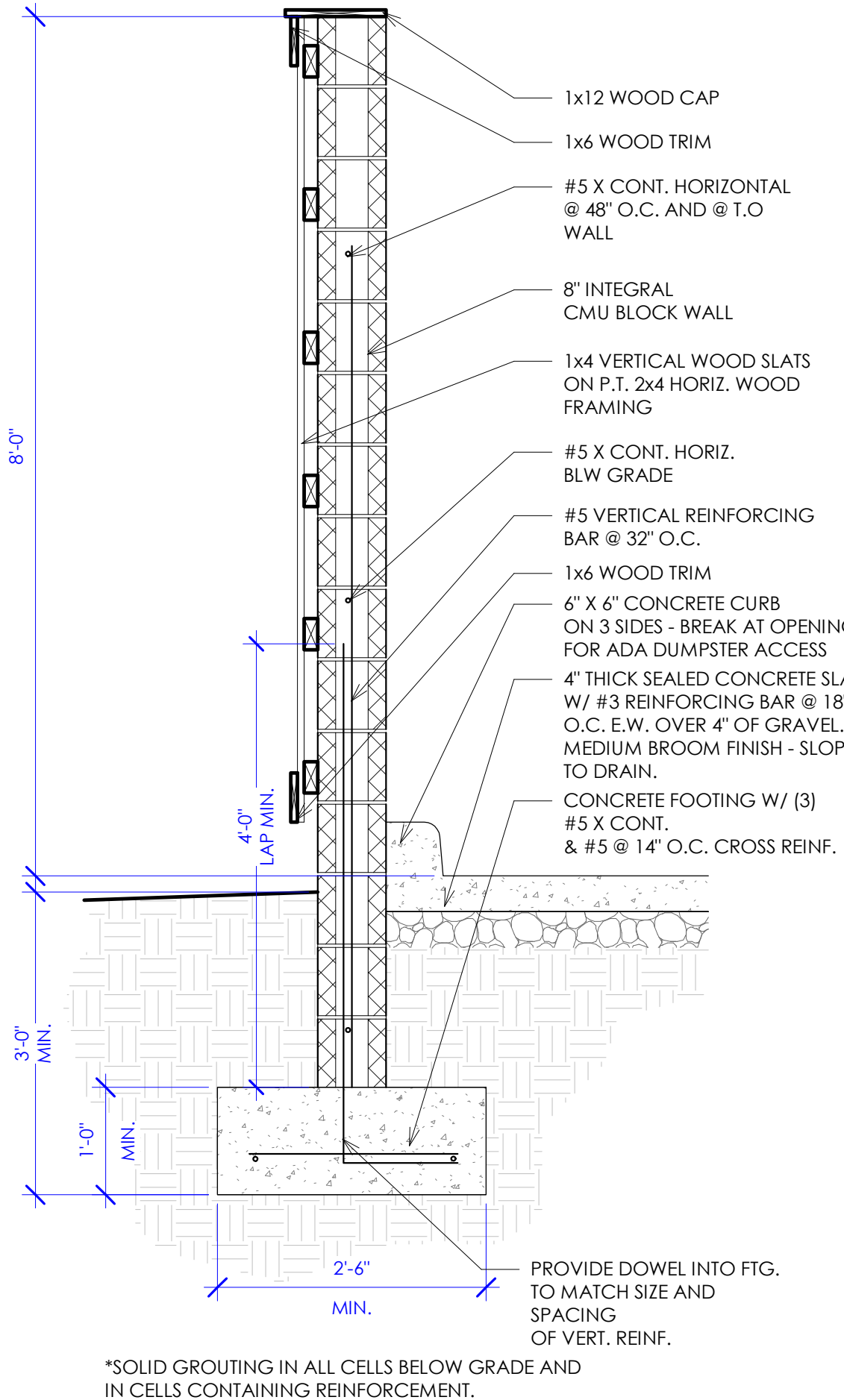
A212

COPYRIGHT ©
AE URBIA, LLC.

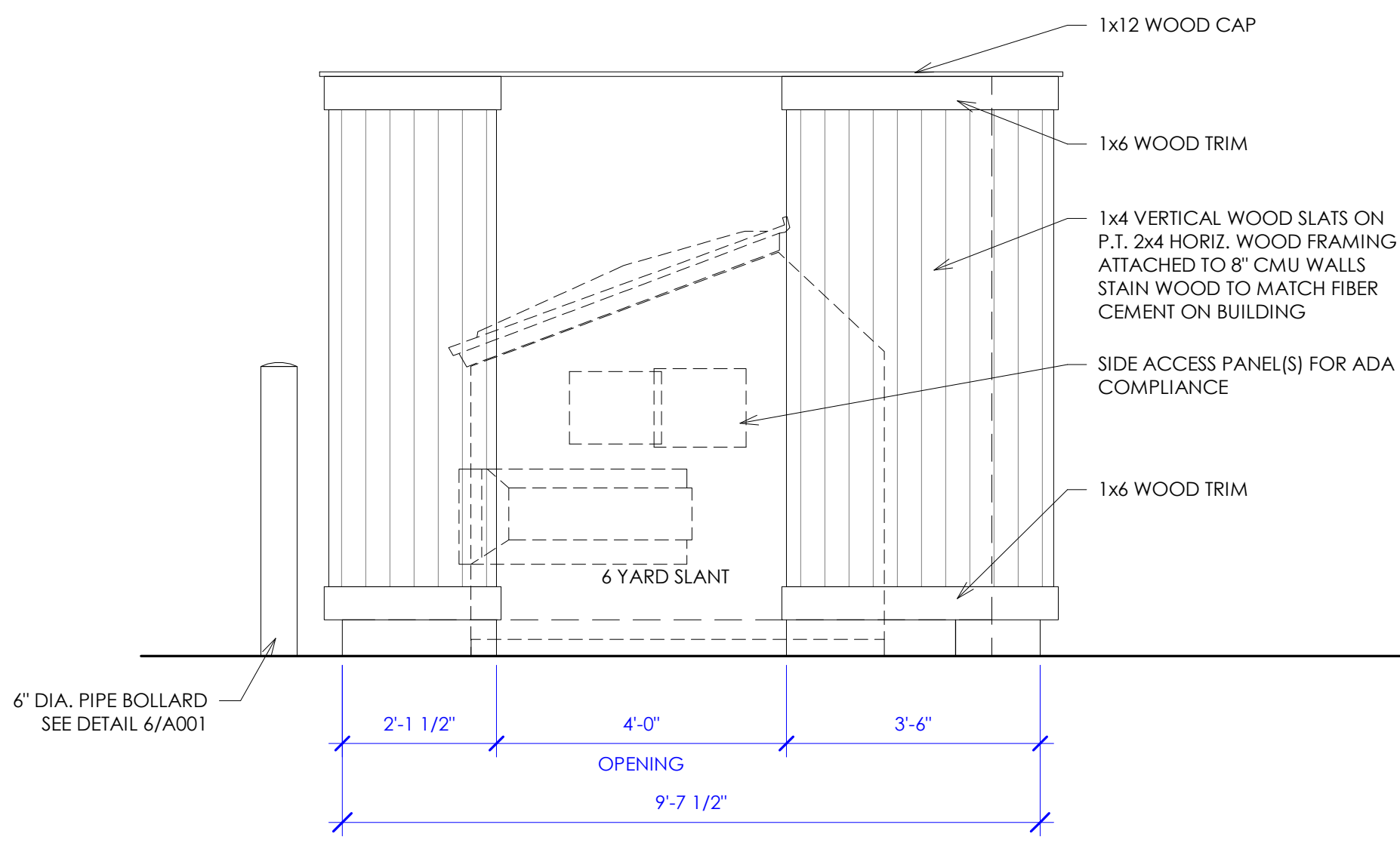
7/30/2020 4:43:31 PM
D
C
A
5



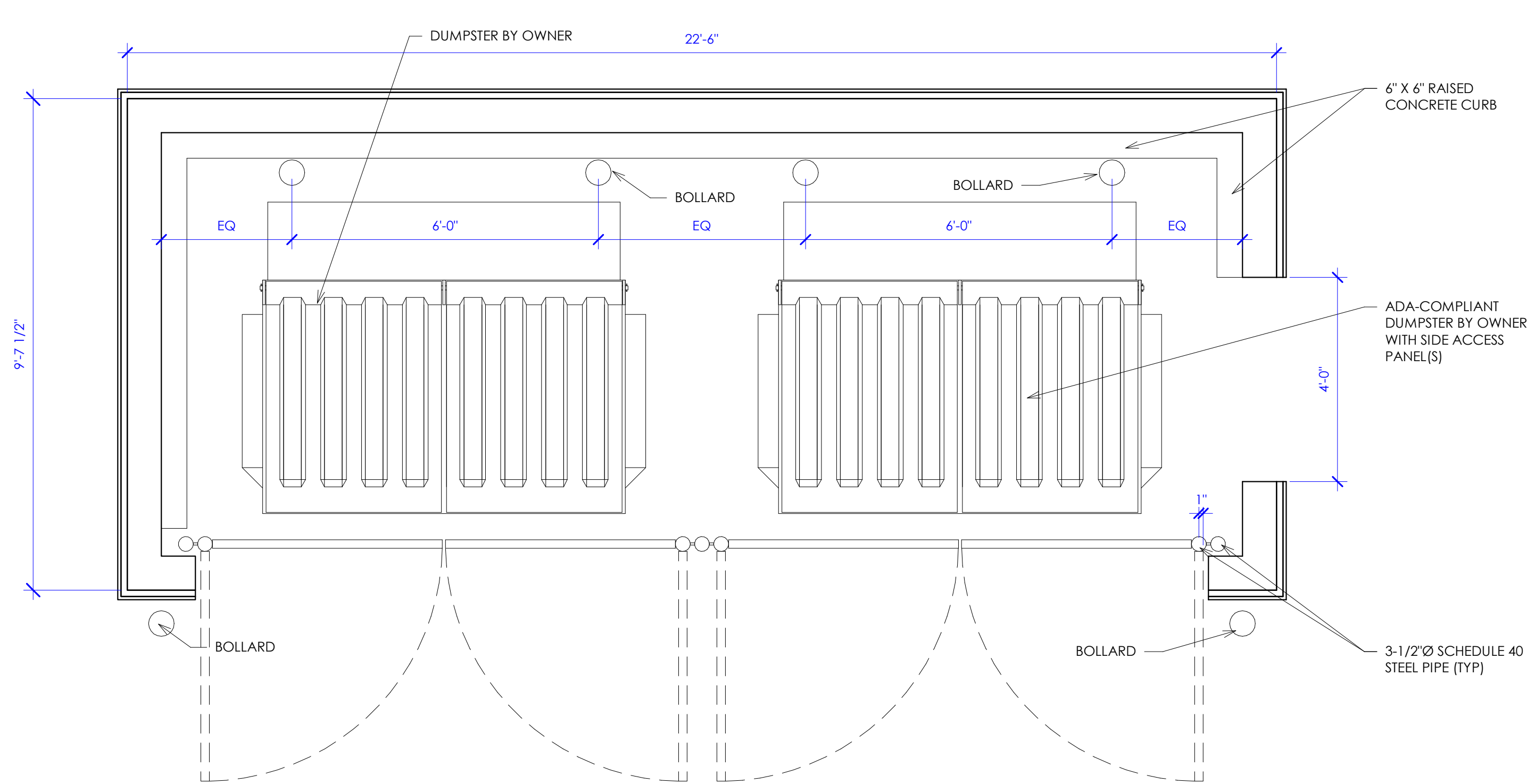
4
A120
PIPE BOLLARD DETAIL (DUMPSTER AREA)
1 1/2" = 1'-0"



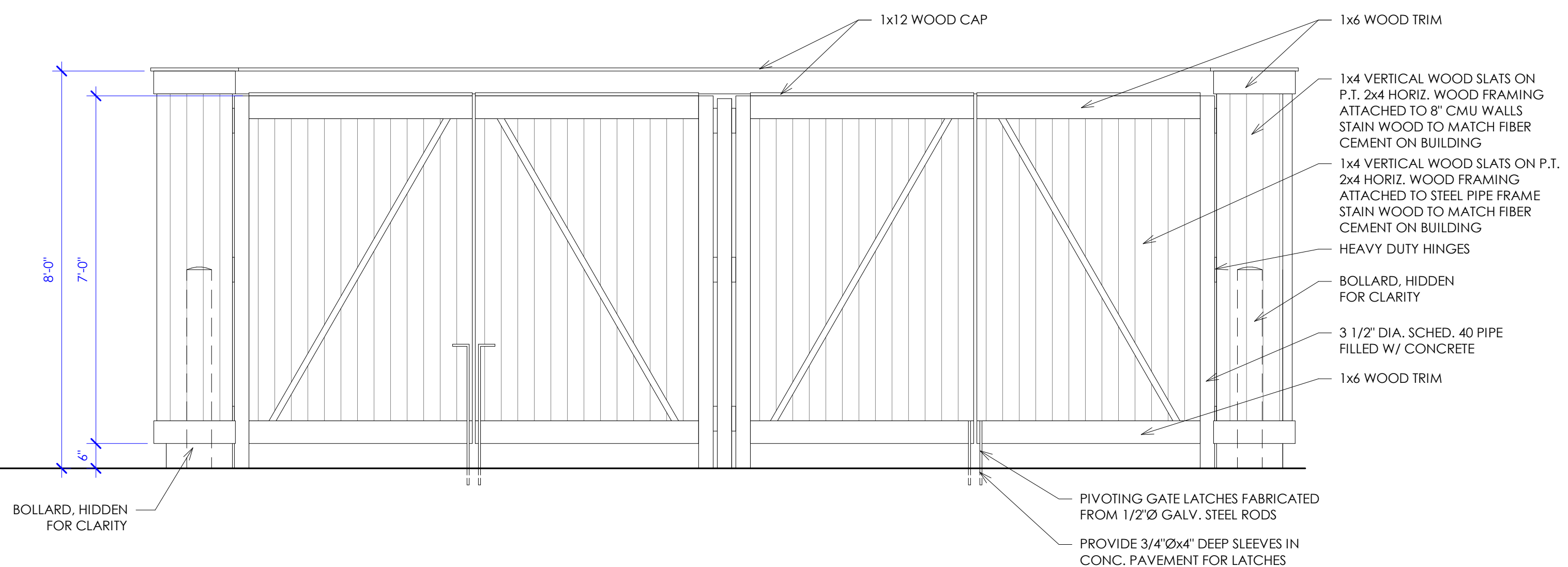
2
A120
DUMPSTER ENCLOSURE WALL SECTION - CMU
3/4" = 1'-0"



3
A120
DUMPSTER ENCLOSURE ELEVATION
1/2" = 1'-0"



1
A120
DUMPSTER ENCLOSURE PLAN
1/2" = 1'-0"



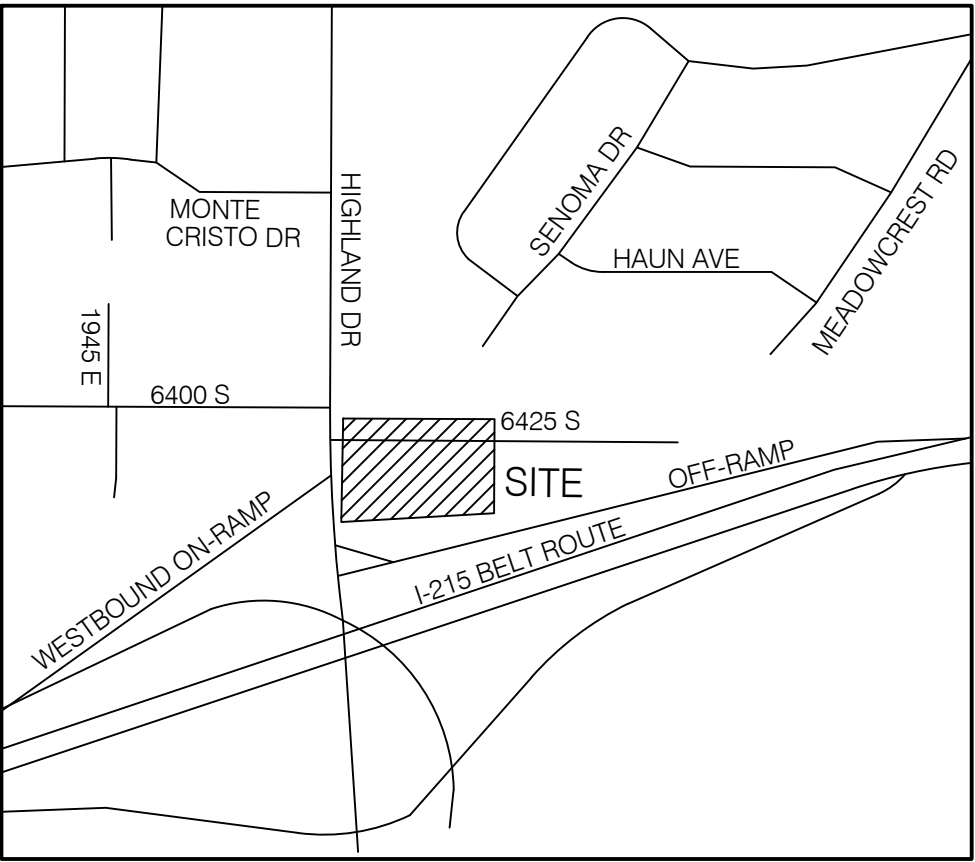
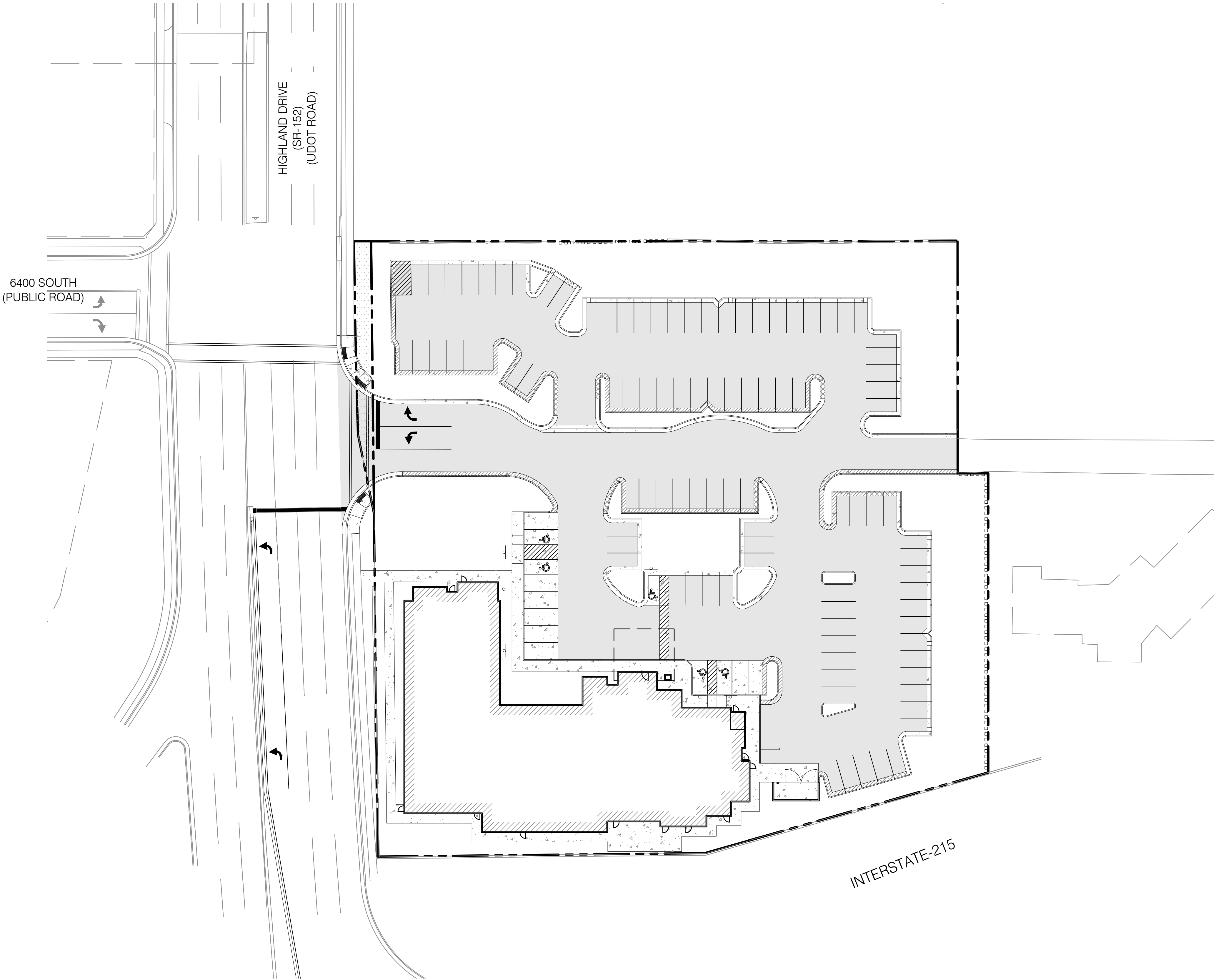
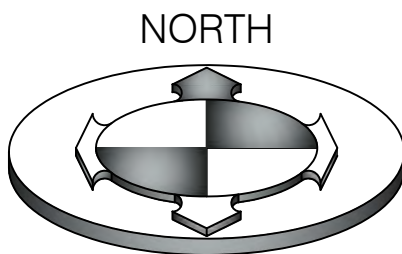
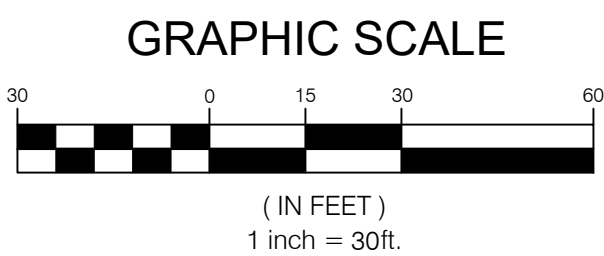
FRONT ELEV.

SIDE ELEV.

Revision Schedule	DESCRIPTION	Revision Date
1	SITE PLAN COMMENT RESPONSES	2020/07/28

HOLLADAY HOTEL

LOCATED IN THE NORTHWEST QUARTER OF SECTION 22,
TOWNSHIP 2 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
HOLLADAY CITY, SALT LAKE COUNTY, UTAH



VICINITY MAP
N.T.S.

OWNER/DEVELOPER:
HOLLADAY HOTEL LLC.
JACOB LARSEN
4700 S HIGHLAND DRIVE SUITE "B"
SALT LAKE CITY, UTAH 84117
801-550-0849
jake@magnusproperties.com

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATION
CGN.02	SLCPU GENERAL NOTES
CDP.01	DEMO PLAN
CSP.01	SITE PLAN
CSP.02	UDOT SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING & DRAINAGE PLAN
CEP.01	EROSION CONTROL PLAN
CEP.02	EROSION CONTROL DETAILS
CDT.01	DETAILS & NOTES
CDT.02	DETAILS & NOTES
CDT.03	DETAILS & NOTES
CDT.04	DETAILS & NOTES

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

PRELIMINARY PLAN

PROFESSIONAL ENGINEER

6/16/20

No. 11366633

ALLISON G. ALBERT

STATE OF UTAH

NOT FOR CONSTRUCTION

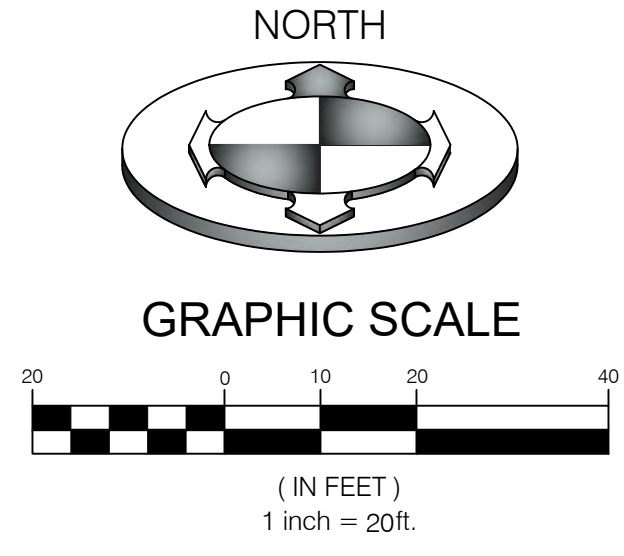
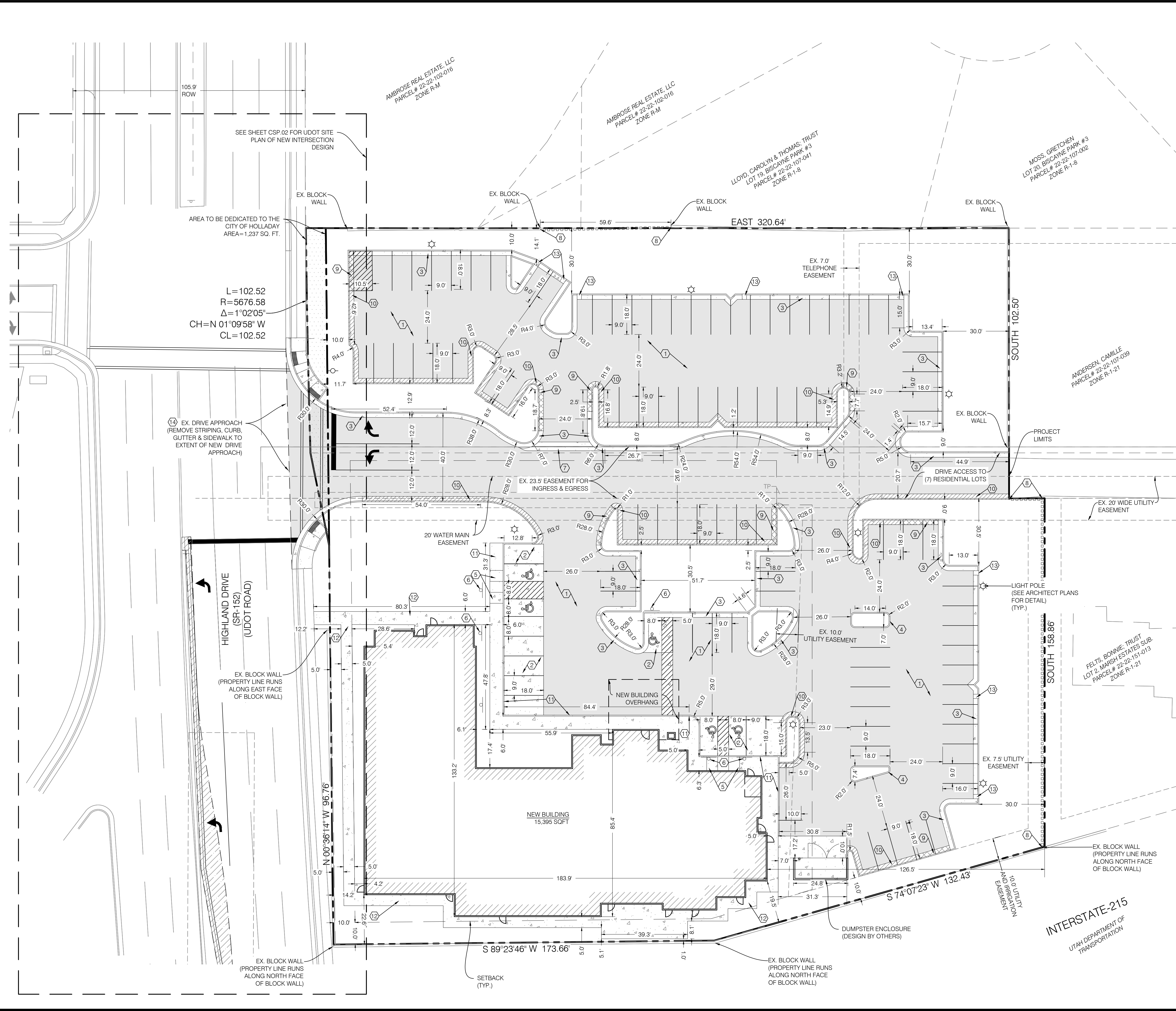
BENCHMARK ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

HOLLADAY HOTEL 6433 S. HIGHLAND DRIVE HOLLADAY CITY, UTAH		DRAFT HT DATE: 05/20/2019	DESIGN TJE DATE: 05/20/2019	CHECK MCP DATE: 05/20/2019	PROJECT NO: 1901006
No.	DATE	DESCRIPTION			
1	07/30/19	REVISED PER UDOT COMMENTS			
2	09/04/19	REVISED PER UDOT COMMENTS			
3	09/16/19	REVISED PER UDOT COMMENTS			
4	09/23/19	REVISED PER UDOT COMMENTS			
5	12/30/19	REVISED NORTHERN INTERSECTION			
6	06/16/20	REVISED SITE LAYOUT			

COVER

1 OF 14



CONSTRUCTION KEY NOTES REFERENCE		
NO	DESCRIPTION	DETAIL
1	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01
2	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
3	30" HIGH BACK CURB & GUTTER PER HOLLADAY CITY STD. ST-2	2/CDT.01
4	CURB WALL	6/CDT.01
5	ADA RAMP	1/CDT.02
6	ADA SIGN	1/CDT.02
7	4" WATERWAY PER APWA #211	
8	6.0' CONCRETE OR MASONRY WALL (DESIGNED BY OTHERS)	
9	TRANSITION CURB AND GUTTER	3/CDT.02
10	RELEASE CURB AND GUTTER	
11	INTEGRAL SIDEWALK	4/CDT.02
12	SIDEWALK PER APWA #231	
13	2.0' CURB CUT	
14	SAWCUT PER HOLLADAY STD. STA-11A	5/CDT.01

NOTE:
SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE SHALL NOT EXCEED A 1:48 (2.08%) SLOPE. THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH WHEN BEVELED. THE ACCESSIBLE MEANS OF EGRESS INCLUDING THE DRIVEWAY PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%) & A CROSS SLOPE OF 1:48 (2.0%). ALL EXTERIOR DOOR WAY ACCESS REQUIRE AN EXTERIOR LANDING 60 INCHES IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.0%) SLOPE

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	15,395	15.4
HARDSCAPE	54,463	54.0
LANDSCAPE	31,020	30.8
TOTAL	100,878	100

TOTAL PROJECT ACREAGE: 2.32

PARKING COUNT		
PARTICULARS	STANDARD	PROVIDED
PARKING STALLS	106	5
TOTAL		111

NOTE:
SEE SHEET CSP.02 FOR IMPROVEMENTS ON HIGHLAND DRIVE

NOTE:
ALL WORK WITHIN PUBLIC ROADS TO BE DONE IN STRICT ACCORDANCE WITH CURRENT HOLLADAY CITY AND UDOT STANDARDS AND SPECIFICATIONS

PROJECT ZONE: O-R-D



DESCRIPTION

DATE

TJE

NO.

1

07/30/19

REVIS

2

08/04/19

REVIS

3

08/16/19

REVIS

4

08/23/19

REVIS

5

12/30/19

REVIS

6

08/16/20

REVIS

7

08/16/20

REVIS

8

08/16/20

REVIS

9

08/16/20

REVIS

10

08/16/20

REVIS

11

08/16/20

REVIS

12

08/16/20

REVIS

13

08/16/20

REVIS

14

08/16/20

REVIS

15

08/16/20

REVIS

16

08/16/20

REVIS

17

08/16/20

REVIS

18

08/16/20

REVIS

19

08/16/20

REVIS

20

08/16/20

REVIS

21

08/16/20

REVIS

22

08/16/20

REVIS

23

08/16/20

REVIS

24

08/16/20

REVIS

25

08/16/20

REVIS

26

08/16/20

REVIS

27

08/16/20

REVIS

28

08/16/20

REVIS

29

08/16/20

REVIS

30

08/16/20

REVIS

31

08/16/20

REVIS

32

08/16/20

REVIS

33

08/16/20

REVIS

34

08/16/20

REVIS

35

08/16/20

REVIS

36

08/16/20

REVIS

37

08/16/20

REVIS

38

08/16/20

REVIS

39

08/16/20

REVIS

40

08/16/20

REVIS

41

08/16/20

REVIS

42

08/16/20

REVIS

43

08/16/20

REVIS

44

08/16/20

REVIS

45

08/16/20

REVIS

46

08/16/20

REVIS

47

08/16/20

REVIS

48

08/16/20

REVIS

49

08/16/20

REVIS

50

08/16/20

REVIS

51

08/16/20

REVIS

52

08/16/20

REVIS

53

08/16/20

REVIS

54

08/16/20

REVIS

55

08/16/20

REVIS

56

08/16/20

REVIS

57

08/16/20

REVIS

58

08/16/20

REVIS

59

08/16/20

REVIS

60

08/16/20

REVIS

61

08/16/20

REVIS

62

08/16/20

REVIS

63

08/16/20

REVIS

64

08/16/20

REVIS

65

08/16/20

REVIS

66

08/16/20

REVIS

67

08/16/20

REVIS

68

08/16/20

REVIS

69

08/16/20

REVIS

70

08/16/20

REVIS

71

08/16/20

REVIS

72

08/16/20

REVIS

73

08/16/20

REVIS

74

08/16/20

REVIS

75

08/16/20

REVIS

76

08/16/20

REVIS

77

08/16/20

REVIS

78

08/16/20

REVIS

79

08/16/20

REVIS

80

08/16/20

REVIS

81

08/16/20

REVIS

82

08/16/20

REVIS

83

08/16/20

REVIS

84

08/16/20

REVIS

85

08/16/20

REVIS

86

08/16/20

REVIS

87

08/16/20

REVIS

88

08/16/20

REVIS

89

08/16/20

REVIS

90

08/16/20

REVIS

91

08/16/20

REVIS

92

08/16/20

REVIS

93

08/16/20

REVIS

94

08/16/20

REVIS

95

08/16/20

REVIS

96

08/16/20

REVIS

97

08/16/20

REVIS

98

08/16/20

REVIS

99

08/16/20

REVIS

100

08/16/20

REVIS

101

08/16/20

REVIS

102

08/16/20

REVIS

103

08/16/20

REVIS

104

08/16/20

REVIS

105

08/16/20

REVIS

106

08/16/20

REVIS

107

08/16/20

REVIS

108

08/16/20

REVIS

109

08/16/20

REVIS

110

08/16/20

REVIS

111

08/16/20

REVIS

112

08/16/20

REVIS

113

08/16/20

REVIS

114

08/16/20

REVIS

115

08/16/20

REVIS

116

08/16/20

REVIS

117

08/16/20

REVIS

118

08/16/20

REVIS

119

08/16/20

REVIS

120

08/16/20

REVIS

121

08/16/20

REVIS

122

08/16/20

REVIS

123

08/16/20

REVIS

124

08/16/20

REVIS

125

08/16/20

REVIS

126

08/16/20

REVIS

127

08/16/20

REVIS

128

08/16/20

REVIS

129

08/16/20

REVIS

130

08/16/20

REVIS

131

08/16/20

REVIS

132

08/16/20

REVIS

133

08/16/20

REVIS

134

08/16/20

REVIS

135

08/16/20

REVIS

136

08/16/20

REVIS

137

08/16/20

REVIS

138

08/16/20

REVIS

139

08/16/20

REVIS

140

08/16/20

REVIS

141

08/16/20

REVIS

142

08/16/20

REVIS

143

08/16/20

REVIS

144

08/16/20

REVIS

145

08/16/20

REVIS

146

08/16/20

REVIS

147

08/16/20

REVIS

148

08/16/20

REVIS

149

08/16/20

REVIS

150

08/16/20

REVIS

151

08/16/20

REVIS

152

08/16/20

REVIS

153

08/16/20

REVIS

154

08/16/20

REVIS

155

08/16/20

REVIS

156

08/16/20

REVIS

157

08/16/20

REVIS

158

08/16/20

REVIS

159

08/16/20

REVIS

160

08/16/20

REVIS

161

08/16/20

REVIS

162

08/16/20

REVIS

163

08/16/20

REVIS

164

08/16/20

REVIS

165

08/16/20

REVIS

166

08/16/20

REVIS

167

08/16/20

REVIS

168

08/16/20

REVIS

169

08/16/20

REVIS

170

08/16/20

REVIS

171

08/16/20

REVIS

172

08/16/20

REVIS

173

08/16/20

REVIS

174

08/16/20

REVIS

175

08/16/20

REVIS

176

08/16/20

REVIS

177

08/16/20

REVIS

178

08/16/20

REVIS

179

08/16/20

REVIS

180

08/16/20

REVIS

181

08/16/20

REVIS

182

08/16/20

REVIS

183

08/16/20

REVIS

184

08/16/20

REVIS

185

08/16/20

REVIS

186

08/16/20

REVIS

187

08/16/20

REVIS

188

08/16/20

REVIS

189

08/16/20

REVIS

190

08/16/20

REVIS

191

08/16/20

REVIS

192

08/16/20

REVIS

193

08/16/20

REVIS

194

08/16/20

REVIS

195

08/16/20

REVIS

196

08/16/20

REVIS

197

08/16/20

REVIS

198

08/16/20

REVIS

199

08/16/20

REVIS

200

08/16/20

REVIS

201

08/16/20

REVIS

202

08/16/20

REVIS

203

08/16/20

REVIS

204

08/16/20

REVIS

205

08/16/20

REVIS

206

08/16/20

REVIS

207

08/16/20

REVIS

208

08/16/20

REVIS

209

08/16/20

REVIS

210

08/16/20

REVIS

211

08/16/20

REVIS

212

08/16/20

REVIS

213

08/16/20

REVIS

214

08/16/20

REVIS

215

08/16/20

REVIS

216

08/16/20

REVIS

217

08/16/20

REVIS

218

08/16/20

REVIS

219

08/16/20

REVIS

220

08/16/20

REVIS

221

08/16/20

REVIS

222

08/16/20

REVIS

223

08/16/20

REVIS

224

08/16/20

REVIS

225

08/16/20

REVIS

226

08/16/20

REVIS

227

08/16/20

REVIS

228

08/16/20

REVIS

229

08/16/20

REVIS

230

08/16/20

REVIS

231

08/16/20

REVIS

232

08/16/20

REVIS

233

08/16/20

REVIS

234

08/16/20

REVIS

235

08/16/20

REVIS

236

08/16/20

REVIS

237

08/16/20

REVIS

238

08/16/20

REVIS

239

08/16/20

REVIS

240

08/16/20

REVIS

241

08/16/20

REVIS

242

08/16/20

REVIS

243

08/16/20

REVIS

244

08/16/20

REVIS

245

08/16/20

REVIS

246

08/16/20

REVIS

247

08/16/20

REVIS

248

08/16/20

REVIS

249

08/16/20

REVIS

250

08/16/20

REVIS

251

08/16/20

REVIS

252

08/16/20

REVIS

253

08/16/20

REVIS

254

08/16/20

REVIS

255

08/16/20

REVIS

256

08/16/20

REVIS

257

08/16/20

REVIS

258

08/16/20

REVIS

259

08/16/20

REVIS

260

08/16/20

REVIS

261

08/16/20

REVIS

262

08/16/20

REVIS

263

08/16/20

REVIS

264

08/16/20

REVIS

265

08/16/20

REVIS

266

08/16/20

REVIS

267

08/16/20

REVIS

268

08/16/20

REVIS

269

08/16/20

REVIS

270

08/16/20

REVIS

271

08/16/20

REVIS

272

08/16/20

REVIS

273

08/16/20

REVIS

274

08/16/20

REVIS

275

08/16/20

REVIS

276

08/16/20

REVIS

277

08/16/20

REVIS

278

08/16/20

REVIS

279

08/16/20

REVIS

280

08/16/20

REVIS

281

08/16/20

REVIS

282

08/16/20

REVIS

283

08/16/20

REVIS

284

08/16/20

REVIS

285

08/16/20

REVIS

286

08/16/20

REVIS

287

08/16/20

REVIS

288

08/16/20

REVIS

289

08/16/20

REVIS

290

08/16/20

REVIS

291

08/16/20

REVIS

292

08/16/20

REVIS

293

08/16/20

REVIS

294

08/16/20

REVIS

295

08/16/20

REVIS

296

08/16/20

REVIS

297

08/16/20

REVIS

298

08/16/20

REVIS

299

08/16/20

REVIS

300

08/16/20

REVIS

301

08/16/20

REVIS

302

08/16/20

REVIS

303

08/16/20

REVIS

304

08/16/20

REVIS

305

08/16/20

REVIS

306

08/16/20

REVIS

307

08/16/20

REVIS

308

08/16/20

REVIS

309

08/16/20

REVIS

310

08/16/20

REVIS

311

08/16/20

REVIS

312

08/16/20

REVIS

313

08/16/20

REVIS

314

08/16/20

REVIS

315

08/16/20

REVIS

316

08/16/20

REVIS

317

08/16/20

REVIS

318

08/16/20

REVIS

319

08/16/20

REVIS

320

08/16/20

REVIS

321

08/16/20

REVIS

322

08/16/20

REVIS

323

08/16/20

REVIS

324

08/16/20

REVIS

325

08/16/20

REVIS

326

08/16/20

REVIS

327

08/16/20

REVIS

328

08/16/20

REVIS

329

08/16/20

REVIS

330

08/16/20

REVIS

331

08/16/20

REVIS

332

08/16/20

REVIS

333

08/16/20

REVIS

334

08/16/20

REVIS

335

08/16/20

REVIS

336

08/16/20

REVIS

337

08/16/20

REVIS

338

08/16/20

REVIS

339

08/16/20

REVIS

340

08/16/20

REVIS

341

08/16/20

REVIS

342

08/16/20

REVIS

343

08/16/20

REVIS

344

08/16/20

REVIS

345

08/16/20

REVIS

346

08/16/20

REVIS

347

08/16/20

REVIS

348

08/16/20

REVIS

349

08/16/20

REVIS

350

08/16/20

REVIS

351

08/16/20

REVIS

352

08/16/20

REVIS

353

08/16/20

REVIS

354

08/16/20

REVIS

355

08/16/20

REVIS

356

08/16/20

REVIS

357

08/16/20

REVIS

358

08/16/20

REVIS

359

08/16/20

REVIS

360

08/16/20

REVIS

361

08/16/20

REVIS

362

08/16/20

REVIS

363

08/16/20

REVIS

364

08/16/20

REVIS

365

08/16/20

REVIS

366

08/16/20

REVIS

367

08/16/20

REVIS

368

08/16/20

REVIS

369

08/16/20

REVIS

370

08/16/20

REVIS

371

08/16/20

REVIS

372

08/16/20

REVIS

373

08/16/20

REVIS

374

08/16/20

REVIS

375

08/16/20

REVIS

376

08/16/20

REVIS

377

08/16/20

REVIS

378

08/16/20

REVIS

379

08/16/20

REVIS

380

08/16/20

REVIS

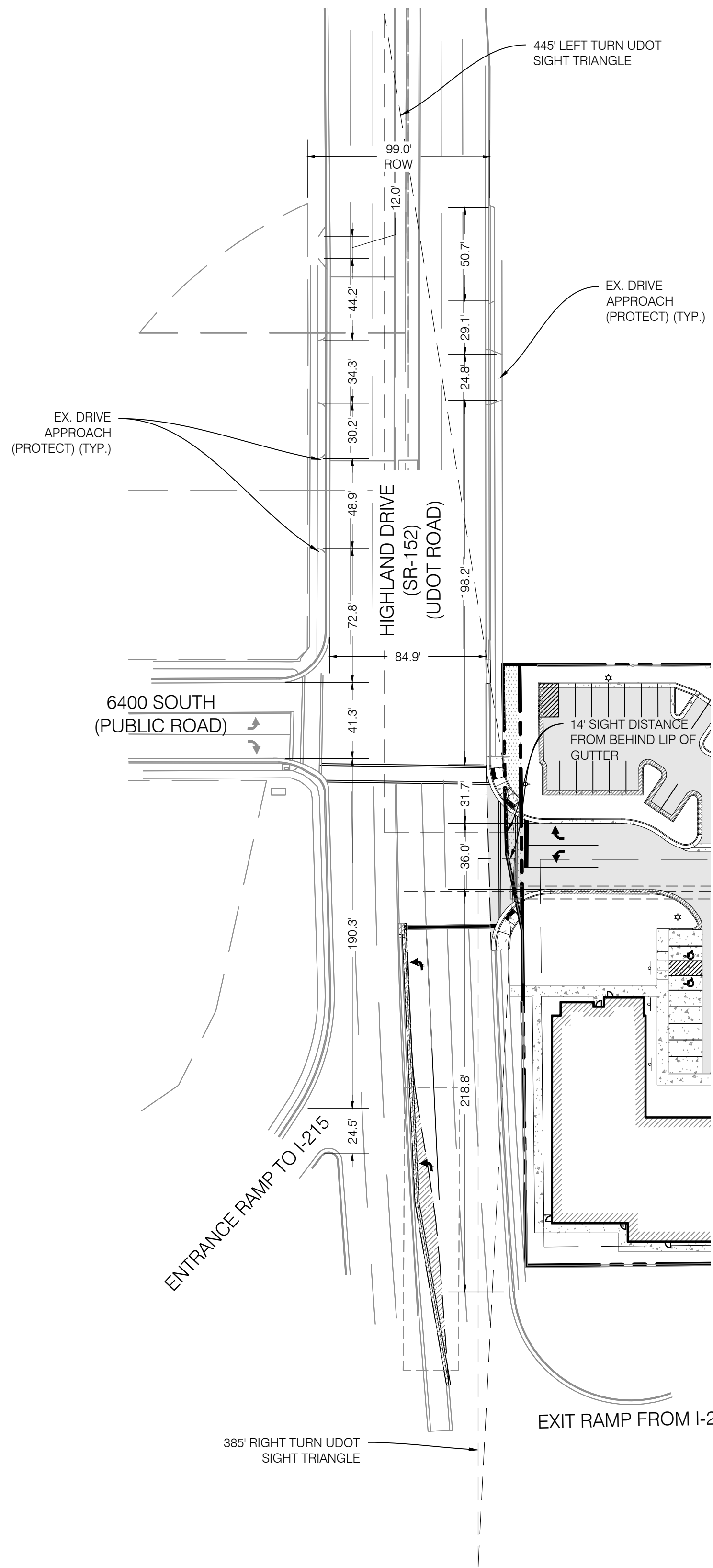
381

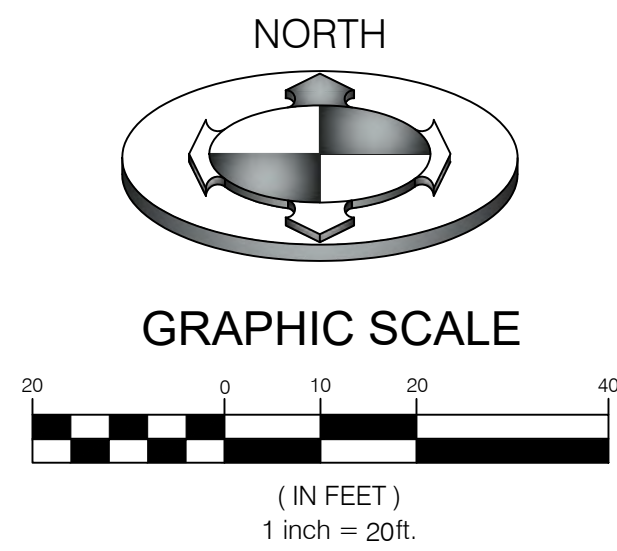
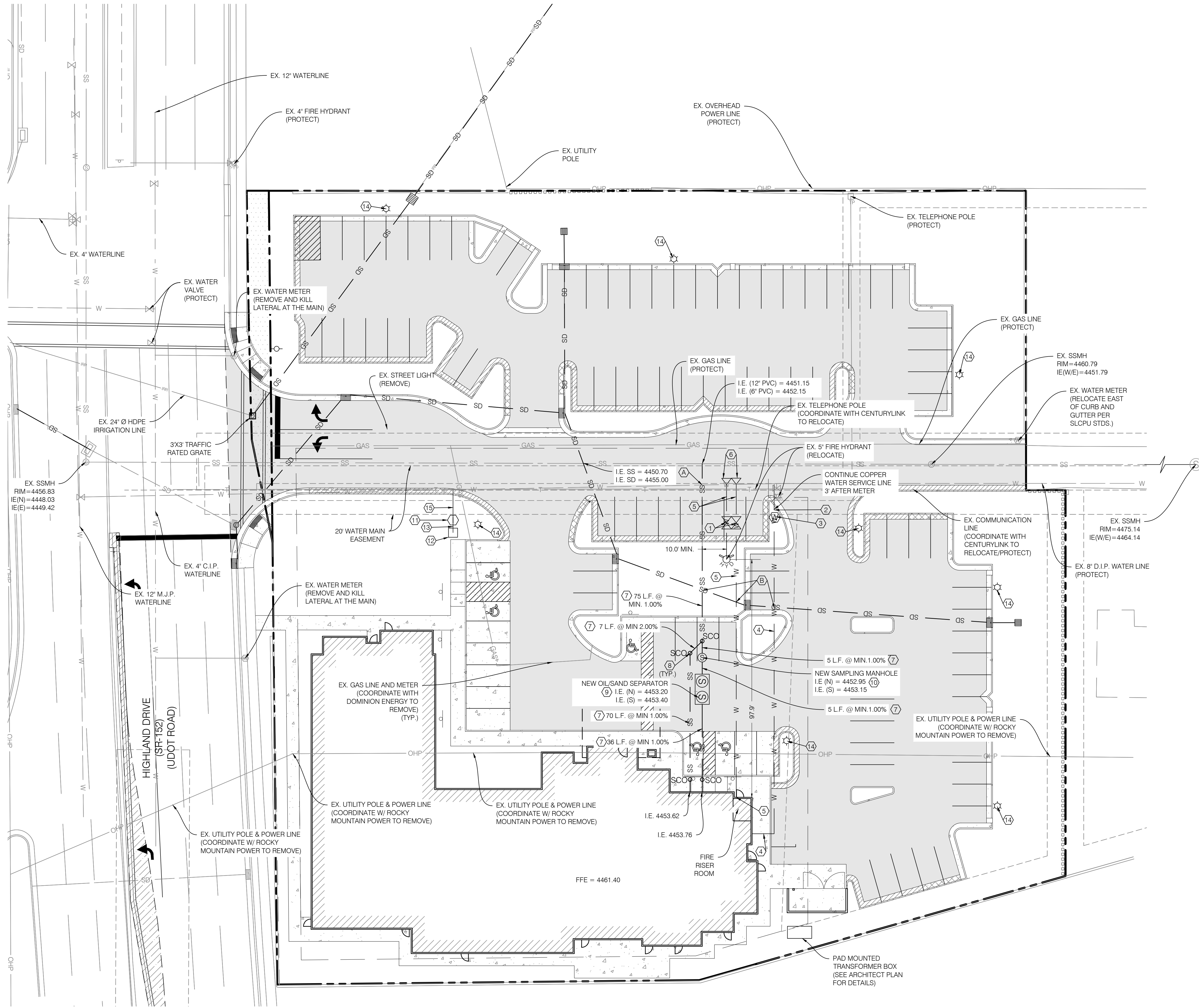
08/16/20

REVIS

382

08/16/20





CONSTRUCTION KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
1	GATE VALVE PER SLCPU STDS.	
2	2" TYPE K COPPER WATER SERVICE LINE	
3	2" WATER METER & VAULT PER APWA #523	
4	3" POLY WATER SERVICE LINE	
5	6" PVC C-900 FIRELINE	
6	THRUST BLOCK PER APWA #561	
7	6" PVC SDR-35 SEWER LATERAL (SLOPE @ 1.00% MIN.)	
8	SEWER CLEAN OUT PER APWA #431 (SEE CLEANOUT NOTE)	
9	OIL/SAND SEPARATOR (DESIGNED BY OTHERS)	
10	SAMPLING MANHOLE PER MOLD SDT.	5/CDT.04
11	1" IRRIGATION METER & VAULT PER APWA #521	
12	1" IRRIGATION BACKFLOW PREVENTER PER APWA #523	
13	1" POLY IRRIGATION SERVICE LINE	
14	LIGHT POLE (SEE ARCHITECT PLAN FOR DETAILS)	
15	1" TYPE K COPPER WATER SERVICE LINE	

NOTE:
PRIOR TO FABRICATION OR CONSTRUCTION, BEGIN AT THE LOW END OF ALL GRAVITY UTILITY LINES AND VERIFY THE INVERT ELEVATION OF THE POINT OF CONNECTION AND NOTIFY ENGINEER IF THIS POINT IS HIGHER THAN SHOWN ON THE PLANS FOR A REDESIGN.

NOTE:
POTHOLE TO IDENTIFY ANY CONFLICTS BEFORE ANY PIPE INSTALLATION. CONTACT ENGINEER IF ANY CONFLICTS ARE IDENTIFIED.

WATER NOTE:
1. WATER SERVICE MATERIAL CANNOT CHANGE FROM COPPER TO PVC UNTIL THREE FEET AFTER THE WATER METER.
2. 36" OF HORIZONTAL SEPARATION IS REQUIRED BETWEEN STORM AND WATER LINES.
3. A MINIMUM OF THREE FEET OF SEPARATION IS REQUIRED BETWEEN THE WATER METER BOX AND ALL OTHER UTILITIES.

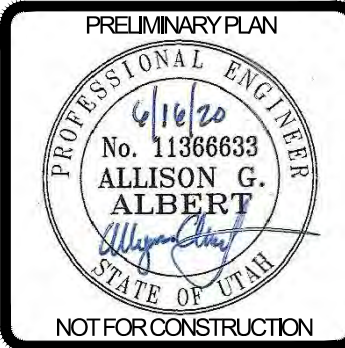
UTILITY CLEARANCE NOTE:
SEWER LATERALS MUST BE PLACED 3' AWAY FROM OTHER SEWER LATERALS, 5' FROM STORM DRAINS AND 10' FROM WATER LINES. ADDITIONALLY, FIVE FEET OF SEPARATION MUST BE PROVIDED FROM THE SEWER LATERAL TO ANY UNDERGROUND UTILITY INFRASTRUCTURE INCLUDING STORM DRAIN BOXES.

CLEANOUT NOTE:
CLEANOUTS IN THE HARDSCAPE ARE REQUIRED TO BE TRAFFIC RATED PER SALT LAKE CITY PUBLIC UTILITIES STANDARDS

NOTE A:
18" OF VERTICAL SEPARATION BETWEEN SEWER AND WATER LINES

NOTE B:
12" OF VERTICAL SEPARATION BETWEEN STORM DRAIN, WATER AND SEWER LINES

NO.	DATE	DESCRIPTION
1	07/30/19	REVISED PER UDOT COMMENTS
2	08/04/19	REVISED PER UDOT COMMENTS
3	08/16/19	REVISED PER UDOT COMMENTS
4	08/23/19	REVISED PER UDOT COMMENTS
5	12/30/19	REVISED NORTHERN INTERSECTION
6	08/16/20	REVISED SITE LAYOUT
7	01/27/21	SCALE MEASURED HATCH ON FULL SIZE SHEETS
8	03/03/21	ADJUST ACCORDING TO REDESIGNED SIDE SHEETS



BENCHMARK

ENGINEERING & LAND SURVEYING

9308 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

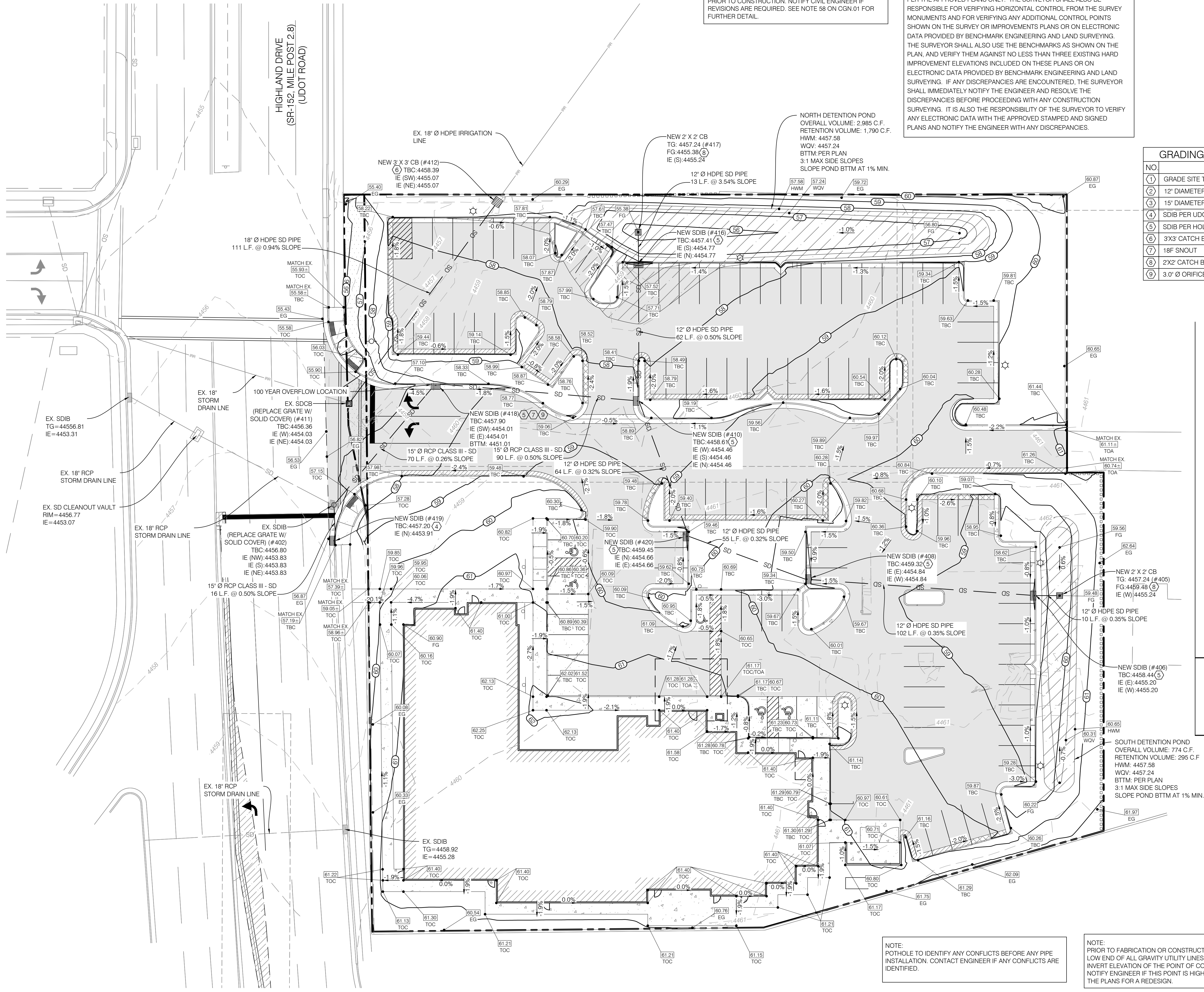
BENCHMARK

CIVIL

HOLLADAY HOTEL

6433 S. HIGHLAND DRIVE
HOLLADAY CITY, UTAH





NO.	DATE	DESCRIPTION
1	07/30/19	REVISED PER UDOT COMMENTS
2	08/04/19	REVISED PER UDOT COMMENTS
3	08/16/19	REVISED PER UDOT COMMENTS
4	08/23/19	REVISED PER UDOT COMMENTS
5	12/30/19	REVISED NORTHERN INTERSECTION
6	08/16/20	REVISED SITE LAYOUT
7	08/16/20	SCALE MEASURED HATCH ON FULL SIZE SHEETS
8	08/16/20	ADJUST ACCORDING TO REDESIGNED SHEETS

PRELIMINARY PLAN
PROFESSIONAL ENGINEER
No. 11386833
ALLISON G. ALBERT
STATE OF UTAH
NOT FOR CONSTRUCTION

BENCHMARK
ENGINEERING &
LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

BENCHMARK
CIVIL

HOLLADAY HOTEL

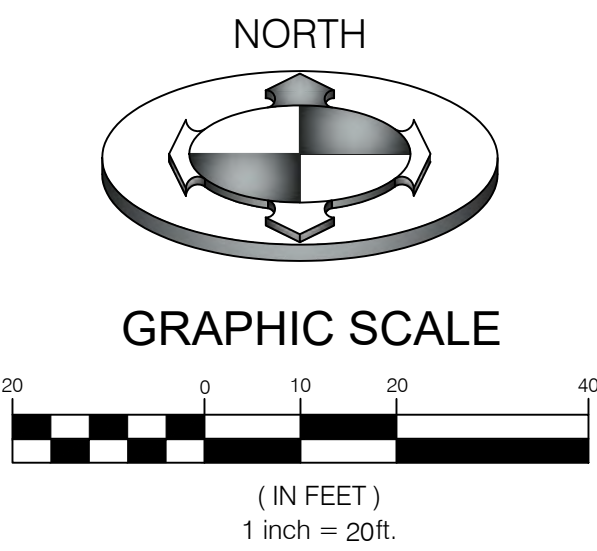
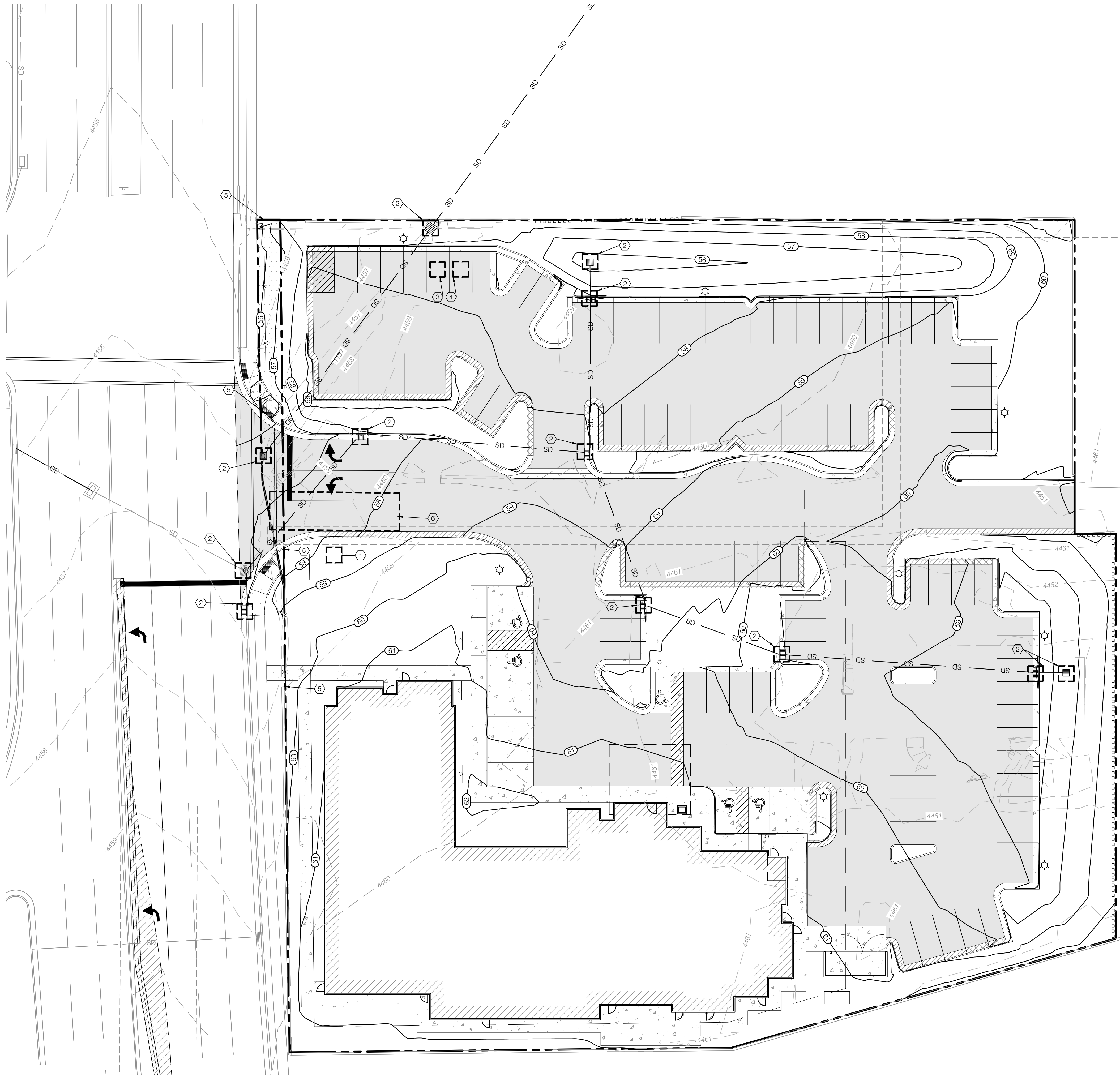
6433 S. HIGHLAND DRIVE
HOLLADAY CITY, UTAH

PROJECT NO. 1901006

GRADING &
DRAINAGE
PLAN

CGD.01
8 OF 14





SWPPP KEY NOTES REFERENCE		
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.		
NO.	DESCRIPTION	DETAIL
1	CONCRETE WASTE MANAGEMENT	1/CEP.02
2	SEDIMENT BARRIER	2/CEP.02
3	MATERIALS STORAGE	3/CEP.02
4	PORTABLE TOILETS	4/CEP.02
5	SILT FENCE	6/CEP.02
6	TEMPORARY CONSTRUCTION ENTRANCE	7/CEP.02

NOTE: CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL PLACEMENT ON SITE. STRAW BALES SHOWN ON THESE DRAWINGS ARE INTENDED AS A MINIMUM REQUIREMENT. ADDITIONAL CONTROLS REQUESTED BY AGENCY INSPECTORS SHALL BE REQUIRED. DUST CONTROL SHALL BE PROVIDED AT ALL TIMES, AT THE CONTRACTOR'S EXPENSE, TO MINIMIZE ANY DUST NUISANCE AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.



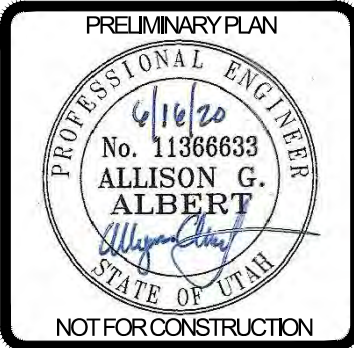
DATE	DESCRIPTION
07/30/19	REVISED PER UDOT COMMENTS
08/04/19	REVISED PER UDOT COMMENTS
08/16/19	REVISED PER UDOT COMMENTS
08/23/19	REVISED PER UDOT COMMENTS
12/30/19	REVISED NORTHERN INTERSECTION
08/16/20	REVISED SITE LAYOUT
01/27	1901006.SWP

PROJECT NO.

1901006

SCALE MEASURED HATCH ON FULL SIZE SHEETS

AS SHOWN FOR THESE SHEETS



BENCHMARK

CIVIL

ENGINEERING & LAND SURVEYING

9138 SOUTH STATE STREET SUITE #100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

HOLLADAY HOTEL

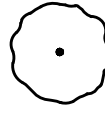


6433 S. HIGHLAND DRIVE
HOLLADAY CITY, UTAH

EROSION CONTROL PLAN

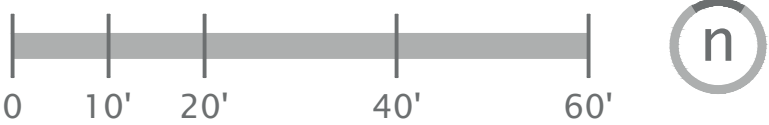
CEP.01
9 OF 14



TREE REMOVAL SCHEDULE

-  EXISTING TREE TO REMAIN
-  EXISTING DEAD, DYING, OR INVASIVE TREE TO BE REMOVED
-  EXISTING TREE TO BE REMOVED (INCLUDES A SIGNIFICANT NUMBER OF TREES THAT HAVE BEEN TOPPED FOR UTILITIES)

*SEE TREE INVENTORY ON LT102 FOR ADDITIONAL INFORMATION



MAGNUS PROPERTIES
HOLLADAY HOTEL
2038 E 6425 S
HOLLADAY, UT

REVISIONS	
NO.	DESCRIPTION

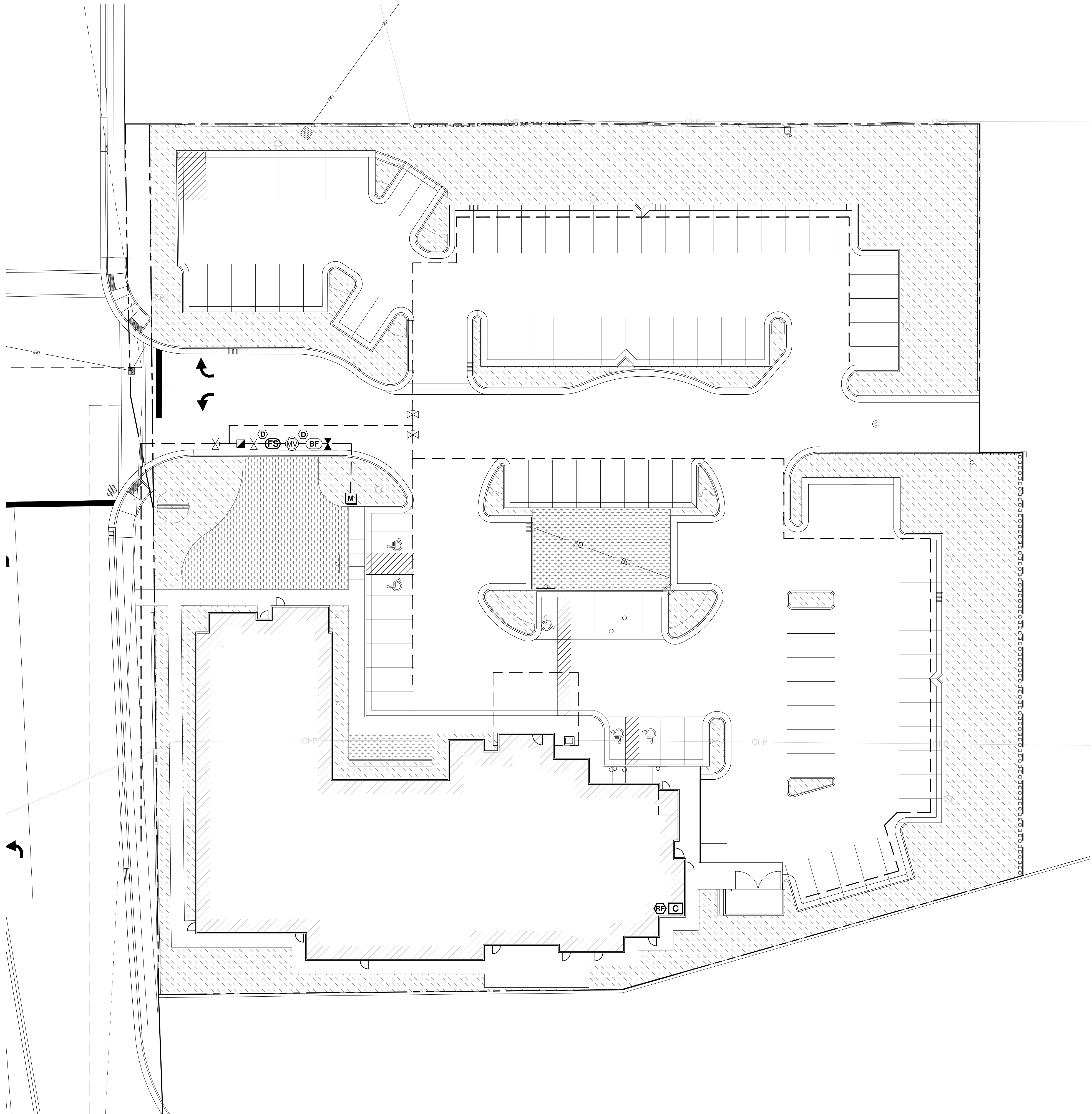
Stamp

STATE OF UTAH
CORP A
[Signature]
Lic# 00445301
Landscape Architect
07/31/2020

Designed By: ss
Drawn By: ss
Date: 7/31/20
Checked By: cs
Project No: 19-143

Drawing Title
TREE
REMOVAL PLAN

Drawing number
LT101



IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION
	SHRUB AREA DRIP
	POINT SOURCE EMITTER
	TURF AREA IRRIGATION
	OVERHEAD SPRAY/ROTAR HEADS

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	HUNTER HQ-44LRC QUICK COUPLER VALVE, YELLOW RUBBER LOCKING COVER, RED BRASS AND STAINLESS STEEL, WITH 1" NPT INLET, 2-PIECE BODY.
	ISOLATION VALVE - APOLLO 77C
	STOP & WASTE VALVE - MUELLER MARK II ORISEAL
	MASTER VALVE - HUNTER ICV-G 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.
	MANUAL DRAIN - FORD B11-333
	BACKFLOW PREVENTER - ZURN 375XLVSR 1" INSTALL IN INSULATED VIT STRONGBOX ALUMINUM ENCLOSURE - SIZE TOFIT
	HUNTER HCC-1600-M 16 STATION OUTDOOR WI-FI ENABLED, FULL-FUNCTIONING CONTROLLER WITH TOUCHSCREEN & ONE ICM-800 MODULE. COMMERCIAL USE. METAL CABINET.
	HUNTER WRF-CLIK RAIN/FREEZE SENSOR, INSTALL WITHIN 1000 FT OF CONTROLLER, IN LINE OF SIGHT. 22-28 VAC/VDC 100 MA POWER FROM TIMER TRANSFORMER. MOUNT AS NOTED. INCLUDES GUTTER MOUNT.
	HUNTER HC-100-FLOW 1" FLOW METER FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM.
	WATER METER 1"
	IRRIGATION MAINLINE: PVC SCHEDULE 40
	Valve Callout
	Valve Number
	Valve Flow
	Valve Size

Scale: 1" = 20'-0"



OFFICIAL MINUTES FROM CONCEPTUAL APPROVAL NOVEMBER 19, 2019

ACTION ITEMS

1. Conceptual Site Plan – “Holladay Hotel” – 6417 South through 6433 South Highland Drive (ORD Zone).

Community Development Director, Paul Allred, reminded the Commission that the above matter was continued but that the public hearing closed at the last meeting.

There was discussion regarding whether there was information that warranted reopening the public hearing.

Mr. Allred reported that the matter was on the agenda at the request of the applicant who indicated that he had been unable to reach an agreement with the hold-out on the release of private lane easement right in favor of moving the access to the existing traffic signal. Staff's recommendation for approval of the conceptual site plan remained unchanged. Staff previously recommended approval of the Conceptual Site plan subject to the findings and conditions set forth in the staff report.

Steve Lovell, the applicant's agent, gave a recap of the November 9 meeting where access issues were addressed. Knowing there was an easement in place, the applicant spent several months trying to discuss with the neighbors the easement and the proposed improvements to the site. After several months, an agreement was reached with all but one of the neighbors. Given the time constraints, the applicant explained that they had to move forward with the project or be forced to redo all of the previous work.

The applicant met with UDOT engineers several times to discuss the efficiency of the intersection of the proposed private lane with Highland Drive. UDOT ultimately issued a Conditional Access Permit indicating that the improvements would meet and exceed their standards of safety and efficiency. The applicant then returned to the neighbors to offer one last chance to obtain the needed signatures. The applicant secured eight of the nine signatures needed but reached an impasse with the last neighbor. At the previous meeting, that neighbor, Neal Lund, addressed the Commission and admitted that the proposed access would be better at the intersection. The Commission then directed the applicant to again reach out to the Mr. Lund which he did. Mr. Lund still refused to sign.

Despite failing to secure the final signature, the applicant reminded the Commission that the proposed site plan with the current private lane connection to Highland Drive as the ingress/egress point instead of at a preferable location at the traffic signal was approved by UDOT's Conditional Access Permit. All of the other conditions in the Code will include additional safety measures. He noted what all conditions were and then requested Conceptual Site Plan approval.

Commissioner Lloyd moved to reopen the public hearing for individuals who were unable to address the Commission at the previous meeting. Commissioner Layton seconded the motion. The motion passed with the unanimous consent of the Commission.

Chair Ricks opened the public hearing.

Dan Gibbons gave his address as 6289 Howie Drive and stated that he reviewed the minutes from the public hearings before the Planning Commission and City Council held on January 22 and February 4 and 5, March 28, and April 4. He reported that there was not a single comment by any neighbor in favor of the project. He suggested that it be noted that the project is overwhelmingly unpopular with residents. He also discovered that there were specific detailed statements made by 10 individuals involved in the process. He stated that the intent is to align the access with 6400 South. Mr. Gibbons disagreed that the Commission's hands are tied by the threat of litigation and stated that the Commission has the discretion to scrutinize the application and determine whether it is acceptable.

Bonnie Felts gave her address as 2854 East 6425 South, which is adjacent to the hotel project. She stated that the Commission should not approve the site plan because it will increase traffic in the area. She invited the Commission to visit her home to see for how traffic will be impacted. She stated that District 5 has not had recent representation on the City Council. She suggested the proposal be put on hold until District 5 has representation. It was noted that Mark Stewart was the most recent City Council representative of District 5. Chair Ricks recalled that Councilman Stewart voted against the rezone proposal at the City Council level. Jim Carter was identified as the District 5 representative on the Planning Commission. Ms. Felts considered the site plan to be a death trap for everyone who travels on Highland Drive.

Susan Lund gave her address as 2103 East 6425 South and asked for a continuation in order to review the traffic study that was only provided recently. She disagreed with some of the findings in the traffic study. It was noted that the traffic study was conducted for this project just in the last few months. Ms. Lund suggested that another traffic study be completed. It was noted that the traffic study was conducted by Hales Engineering.

Julie Sweet gave her address as 2089 East 6425 South expressed her support for the hotel project but was opposed to the site plan. She questioned why the applicant is not addressing the original and better plan. One person did not agree to the original site plan and has stated previously that he does not care, which is his right. However, Ms. Sweet's concern was with the rights of those who do care. She questioned why they would allow one-half of a household, since the property owner's wife has signed, to determine what is safest and best for the neighborhood? She stated that one person should not be allowed to jeopardize the safety of the entire community. She suggested the Planning Commission consider what the majority of the lane residents want. Ms. Sweet considered herself to be an expert on the traffic situation as she has lived in her home for 25 years. She stressed that the lane is dangerous and a hotel will only magnify the problem. She requested that the Commission continue the matter to allow a resolution to be reached with respect to aligning the lane.

Diana Glismeier gave her address as 6384 Sonoma Drive and stated that the proposed placement of the hotel will negatively impact the privacy of her neighborhood. She reported that there are 18 children who live on the circle. She was also concerned about the impact on property values.

Dan Moss gave his address as 6393 Sonoma Drive and agreed with Ms. Glismeier that the project will have a significant impact on the neighborhood. He was concerned about the routing of traffic and asked for a continuance to allow for better plans to be developed.

Camille Anderson gave her address as 6425 South 2055 East and asked the Commission if the issue of eminent domain had been explored for this project. She was infuriated by the one man who refuses to cooperate but is unable to articulate a solid reason for not agreeing to what is proposed. She suggested the matter be continued due to new information that is critical to the project.

Chair Ricks commented that the City is pursuing all options to ensure a favorable result.

Mr. Lovell agreed that they all want the same thing and indicated that there really are no other plans to consider. The compromise that Ms. Felts proposed involved paying a sizable amount of money to each lane resident. Doing so is infeasible and makes no sense since they have permitted access. He also stated that the traffic impact study is being misinterpreted. He reported that the study that was conducted previously was updated based on new information. He stressed that it met all UDOT standards for safety and efficiency. Finally, Mr. Lovell indicated that the applicant is addressing safety and efficiency. He did not think a continuance will change any of the data.

Drew Sweet, a resident of the lane, commented that the area is dangerous currently and the proposed project will make it even more hazardous.

Sean Shumfeld gave his address as 6344 South Howie Drive. He agreed that traffic is a significant issue. He commented that the hotel will be intrusive to the neighborhood.

There were no further public comments. Chair Ricks closed the public hearing.

Chair Ricks remarked that as Commissioners, they all care very deeply for Holladay. They look at projects as if they were residents of the impacted neighborhood. They also want to encourage quality development in the appropriate location. Often, the Planning Commission is a recommending body while the City Council makes the final decision. Guidelines and restrictions direct the actions of the Planning Commission. She added that the Planning Commission must defer to UDOT and other experts.

Commissioner Carter suggested that the Commission focus on what it can do. The Commission Members believe Plan A will work and is the best option. The proposed application has been determined to meet all of the requirements and therefore there is no legal basis in the Code to deny the proposed Site Plan. He hoped that additional opportunities to return to Plan A would be explored.

Commissioner Layton had positive feelings about the project but thought the original design was better. He was not sure how to change the current proposal back to the original plan.

Commissioner Lloyd was concerned but had faith in the process. She recommended the City Council be encouraged to pursue other options on alternatives to grant approval of the original plan. Given the Commission's parameters, she did not see how the Commission can deny the project.

Commissioner Carter moved to approve the Conceptual Site Plan for the Holladay Hotel located at 6417 South through 6433 South Highland Drive in the ORD zone subject to the following:

Conditions:

- 1. The Site Plan complies with the requirements of the City's Site Plan ordinance for Conceptual approval including corrections made to the Site Plan with input from the TRC.***
- 2. The City and the applicant have held the respective meeting with the residents.***
- 3. The use is permitted in the ORD zone.***
- 4. The height and setback of the proposed hotel meet the ORD zone requirements.***
- 5. Increase landscaping to no less than 30% of the total area of the site.***
- 6. Request that City leaders work to develop a solution that would allow the project to be built in accordance with Plan A.***

The motion was seconded by Commissioner Lloyd. Vote on motion: Chris Layton-Aye, Jim Carter-Aye, Alyssa Lloyd-Aye, and Chair Marianne Ricks-Aye. The motion passed unanimously.



Request(s): **SPECIAL EXCEPTION TO GRADING STANDARDS (H.C.C. § 13.76.700)**
Project: Schreyer Retaining Wall Special Exception Permit (extension request)
Property Location: Addressed as 2806 E. Kentucky Avenue, Holladay, UT 84117 being also identified as County Assessor Parcel/Acct. # 22023540100000
Zoning District(s): R-1-8
Applicant(s): Stan and Jennifer Schreyer Family Trust
File No(s): 19-9-04
Staff Analyst: Robert Hobbs

GOVERNING ORDINANCES: 13.08.140 SPECIAL EXCEPTIONS

REQUIRED PLANNING COMMISSION ACTION(S)

Approve or Deny Requested One-Year Extension: Special Exception Permits expire after one calendar year if a project associated with the same is not initiated in that time interval. Extensions of Special Exception Permits may be sought prior to their expiration....

APPLICABLE CITY STANDARDS (§ 13.08.140(IG) & (K)):

“13.08.140: SPECIAL EXCEPTIONS:

...

G. Extensions: No special exception shall be valid for a period longer than one year unless a building permit is issued or complete building plans have been submitted to the Division of Building Services and Licensing within that period.

1. The Planning Commission may grant an extension of a special exception for up to one additional year when the applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact.

2. Extension requests must be submitted to the Planning Commission in writing prior to the expiration of the exception.

Violation of any such condition or limitation shall be a violation of this title and shall constitute grounds for revocation of the special exception.

...

K. Expiration: A special exception issued pursuant to this section shall expire and have no further force or effect if the exception authorized by the approval is not commenced within one year.”

BACKGROUND & SUMMARY

In October of 2018, the City Council approved an amendment to 13.76.700, a section of the Supplementary Regulations dealing with grading activity, specifically on residential property. This amendment included a requirement to submit to the Planning Commission for approval any retaining wall details designed to hold backfilled grades within a required setback.

The Applicants sought and obtained a Special Exception Permit from the Planning Commission on July 16, 2019 to allow for a retaining wall system, associated stairs and landscaping improvements to be emplaced in the rear yard area of their property. (The intended intrusion of the retaining wall system into the rear yard setback -- as well as the height of the main supporting walls -- are what originally triggered the system’s review by the Commission.) The Commission made their approval of the permit contingent upon future installation of the same being done in accordance with the plans

provided to the Commission [and adjusted as needful] to: a) allow the retention in some measure, of artificially backfilled grading work (particularly in the rear yard setback area of the Property); and, b) to allow your proposed retaining walls to exceed four-feet (4') in height but not eight-feet (8') in height. Specific conditions appertaining to the Applicants' proposed walls (from H.C.C. §§ 13.72.030 & 13.76.700), as pertinent to their application, included the following imperatives:

1. Terracing shall be limited to two (2) tiers. The width/depth of the terrace space between any two (2) retaining walls higher [taller] than four feet (4') shall be separated from any other retaining wall by a minimum of five (5) horizontal feet; and,
2. Retaining walls shall be faced with stone or earth colored materials similar to the surrounding natural landscape; and,
3. All retaining walls shall comply with the international building code [note: a building permit with structural engineering is required for [the] project prior to its emplacement]; and,

STAFF RECOMMENDATION(S):

Approve the requested one-year extension; no [new] conditions



GENERAL LAND USE DEVELOPMENT APPLICATION

Name of Proposed Project: Extension request of previously approved retaining wall special exception
Address of Project: 2806 E. Kentucky Avenue

TYPE OF REQUEST: (mark all that apply)	
ADMINISTRATIVE PROCEDURES APPLY (ORD. 13.08)	LEGISLATIVE PROCEDURES APPLY (ORD. 13.07)
<input type="checkbox"/> SITE PLAN () PERMITTED of () CONDITIONAL	<input type="checkbox"/> REZONE of PROPERTY
<input type="checkbox"/> SUBDIVISION PLAT	<input type="checkbox"/> GENERAL PLAN AMENDMENT
<input type="checkbox"/> CONDOMINIUM PLAT	<input type="checkbox"/> CODE AMENDMENT
<input type="checkbox"/> CONDITIONAL USE PERMIT	<input type="checkbox"/> PUBLIC STREET: NAME CHANGE, VACATION /CLOSURE or DESIGNATION
<input checked="" type="checkbox"/> SPECIAL EXCEPTION	<input type="checkbox"/> HISTORIC SITE DESIGNATION
<input type="checkbox"/> LOT LINE ADJUSTMENT or COMBINATION	<input type="checkbox"/> DEVELOPMENT AGREEMENT AMENDMENT
<input type="checkbox"/> OTHER:	<input type="checkbox"/> ANNEXATION

Applicant Name: (Please Print) <u>Stan & Jennifer Schreyer</u>		Property Owners Name: (Please Print) <u>ATTACH SIGNED "OWNER AFFIDAVIT"</u> <u>Stan & Jennifer Schreyer</u>																																							
Applicant's Mailing: Address: <u>1945 Monarch Woods Ln.</u>		City: <u>Holladay</u>	State: <u>UT</u> Zip: <u>84117</u>																																						
Applicant Phone: <u>801 403-4099</u>		Applicant's Email Address: <u>stan7390@gmail.com</u>																																							
Main Contact Person (Please Print): Name: <u>Stan Schreyer</u>		Phone: <u>801-403-4099</u>	email: <u>stan7390@gmail.com</u>																																						
Brief summary of proposal / request: <u>Replace existing asphalt, railroad tie, cement rubble wall and old stairs with a new retaining system. The request is to allow two terraced walls up to 8' in height each (replacing the existing 20' wall) by extending the special exception approved on 7-19-20</u>																																									
FILING FEES: (ORD 3.35)																																									
<table border="1"><tr><td>SITE PLAN REVIEW</td><td>\$600.00</td></tr><tr><td>SITE PLAN AMENDMENT</td><td>\$250.00</td></tr><tr><td>SUBDIVISION: Final = 6% of the cost of improvements</td><td>\$2,000.00 + \$100.00/lot</td></tr><tr><td>CONDOMINIUM</td><td>\$1,000.00 + \$100.00/unit</td></tr><tr><td>CONDITIONAL USE PERMIT - COMMERCIAL</td><td>\$1,000.00 + \$35.00/acre</td></tr><tr><td>CONDITIONAL USE PERMIT - RESIDENTIAL</td><td>\$900.00 + \$50.00/unit</td></tr><tr><td>CONDITIONAL USE PERMIT - HOME BUSINESS</td><td>\$100.00</td></tr><tr><td>CONVERSION TO CONDOMINIUM</td><td>\$50.00/unit</td></tr><tr><td>SPECIAL EXCEPTION</td><td>\$600.00</td></tr><tr><td>SUBDIVISION AMENDMENT</td><td>\$500.00</td></tr></table>		SITE PLAN REVIEW	\$600.00	SITE PLAN AMENDMENT	\$250.00	SUBDIVISION: Final = 6% of the cost of improvements	\$2,000.00 + \$100.00/lot	CONDOMINIUM	\$1,000.00 + \$100.00/unit	CONDITIONAL USE PERMIT - COMMERCIAL	\$1,000.00 + \$35.00/acre	CONDITIONAL USE PERMIT - RESIDENTIAL	\$900.00 + \$50.00/unit	CONDITIONAL USE PERMIT - HOME BUSINESS	\$100.00	CONVERSION TO CONDOMINIUM	\$50.00/unit	SPECIAL EXCEPTION	\$600.00	SUBDIVISION AMENDMENT	\$500.00	<table border="1"><tr><td>REZONE of PROPERTY</td><td>\$900.00 + \$85.00/acre</td></tr><tr><td>CODE AMENDMENT</td><td>\$800.00</td></tr><tr><td>GENERAL PLAN AMENDMENT</td><td>\$300.00 + \$50.00/acre</td></tr><tr><td>HISTORIC SITE DESIGNATION</td><td>\$600.00</td></tr><tr><td>PUBLIC STREET:</td><td>\$300.00 - vacation \$500.00 - dedication \$250.00 - namechange</td></tr><tr><td>ANNEXATION</td><td></td></tr><tr><td>DEVELOPMENT AGREEMENT AMENDMENT</td><td></td></tr><tr><td>LOT LINE ADJUSTMENT / COMBINATION:</td><td>\$75.00</td></tr><tr><td>OTHER:</td><td></td></tr></table>		REZONE of PROPERTY	\$900.00 + \$85.00/acre	CODE AMENDMENT	\$800.00	GENERAL PLAN AMENDMENT	\$300.00 + \$50.00/acre	HISTORIC SITE DESIGNATION	\$600.00	PUBLIC STREET:	\$300.00 - vacation \$500.00 - dedication \$250.00 - namechange	ANNEXATION		DEVELOPMENT AGREEMENT AMENDMENT		LOT LINE ADJUSTMENT / COMBINATION:	\$75.00	OTHER:	
SITE PLAN REVIEW	\$600.00																																								
SITE PLAN AMENDMENT	\$250.00																																								
SUBDIVISION: Final = 6% of the cost of improvements	\$2,000.00 + \$100.00/lot																																								
CONDOMINIUM	\$1,000.00 + \$100.00/unit																																								
CONDITIONAL USE PERMIT - COMMERCIAL	\$1,000.00 + \$35.00/acre																																								
CONDITIONAL USE PERMIT - RESIDENTIAL	\$900.00 + \$50.00/unit																																								
CONDITIONAL USE PERMIT - HOME BUSINESS	\$100.00																																								
CONVERSION TO CONDOMINIUM	\$50.00/unit																																								
SPECIAL EXCEPTION	\$600.00																																								
SUBDIVISION AMENDMENT	\$500.00																																								
REZONE of PROPERTY	\$900.00 + \$85.00/acre																																								
CODE AMENDMENT	\$800.00																																								
GENERAL PLAN AMENDMENT	\$300.00 + \$50.00/acre																																								
HISTORIC SITE DESIGNATION	\$600.00																																								
PUBLIC STREET:	\$300.00 - vacation \$500.00 - dedication \$250.00 - namechange																																								
ANNEXATION																																									
DEVELOPMENT AGREEMENT AMENDMENT																																									
LOT LINE ADJUSTMENT / COMBINATION:	\$75.00																																								
OTHER:																																									
FINAL TOTAL DUE: 		OFFICE USE ONLY FILE NUMBER: <u>19-904-1</u> PARCEL NUMBER: _____ GENERAL PLAN: _____ ZONE: _____ ACRAGE: _____ PL ACTION: _____ DATE: _____ CC ACTION: _____ DATE: _____ FILE DATE: _____																																							

NEXT STEPS:

1. To be considered COMPLETE, this form must be accompanied by all applicable "project tracking" checklist(s)/submittals or it will not be accepted.
2. Complete applications must be submitted 3 week prior to the desired Planning Commission date
3. Applications are reviewed every Tuesday by the Holladay TRC. You will be notified of any deficiencies, decisions and/or meetings dates at that time
3. Planning Commission convenes each month on the 1st and 3rd Tuesday. City Council convenes the 1st and 3rd Thursday of each month
4. Your Attendance at the Planning Commission and/or City Council meetings is required by the applicant or a representative of the applicant.

CITY OF HOLLADAY
AFFIDAVIT OF PROPERTY OWNERSHIP
FOR PROPERTY LOCATED AT

ADDRESS: 2806 E. Kentucky Ave.

SUBDIVISION _____ PLAT _____ LOT _____

PROPERTY OWNER

I (WE), Stan & Jennifer Schreyer BEING DULY SWORN, DEPOSE AND SAY THAT I (WE) AM (ARE) THE OWNER(S) OF THE PROPERTY IDENTIFIED IN THE ATTACHED APPLICATION AND THAT THE STATEMENT HEREIN CONTAINED AND THE INFORMATION PROVIDED IN THE ATTACHED PLANS AND OTHER EXHIBITS ARE IN ALL RESPECTS TRUE AND CORRECT TO THE BEST OF MY (OUR) KNOWLEDGE.

Stan Schreyer
PROPERTY OWNER

Jennifer Schreyer
PROPERTY OWNER

ACKNOWLEDGMENT

STATE OF UTAH)

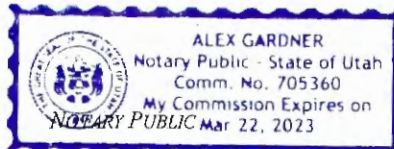
) SS.

COUNTY OF Salt Lake)

THE FOREGOING AFFIDAVIT WAS ACKNOWLEDGED BEFORE ME THIS 10 DAY OF July, 2016, WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES: Mar 22, 2023

[Signature]



PROPERTY OWNER'S
AGENT AUTHORIZATION

I (WE), _____, THE OWNER(S) OF THE REAL PROPERTY DESCRIBED ABOVE, DO AUTHORIZE AS MY AGENT(S) _____ TO REPRESENT ME (US) REGARDING THE ATTACHED APPLICATION AND TO APPEAR ON MY (OUR) BEHALF BEFORE ANY ADMINISTRATIVE OR LEGISLATIVE BODY IN THE CITY OF HOLLADAY CONSIDERING THIS APPLICATION AND TO ACT IN ALL RESPECTS AS OUR AGENT IN MATTERS PERTAINING TO THE ATTACHED APPLICATION.

ACKNOWLEDGMENT

STATE OF UTAH)

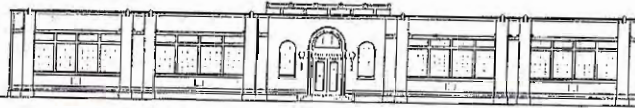
) SS.

COUNTY OF _____)

THE FOREGOING AFFIDAVIT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, _____, WHO DULY ACKNOWLEDGED TO ME THAT HE DID EXECUTE THE SAME.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC



CITY of HOLLADAY

July 19, 2019

Stan and Jennifer Schreyer
2806 E. Kentucky Avenue
Holladay, UT 84117

Re: Application for Special Exception approval to authorize emplacement of a retaining wall system in the rear yard area of property addressed as 2806 E. Kentucky Avenue and further identified as County Assessor Parcel/Acct. no. 22023540100000 (hereinafter the "Property") for, and in behalf of, Stan and Jennifer Schreyer; City case/file no. 19-9-04

Dear Mr. and Mrs. Schreyer:

The City of Holladay Planning and Zoning Commission, during their regularly scheduled public hearing of July 16, 2019, voted to approve the above referenced request. The Commission made their approval of the development/emplacement of the proposed retaining wall system and stairs and associated landscape improvements contingent upon future installation of the same being done in accordance with the plans provided to the Commission (a copy of which are hereto attached) as adjusted by their actions to provide special exceptions to: a) allow the retention in some measure, of artificially backfilled grading work (particularly in the rear yard setback area of the Property); and, b) to allow your proposed retaining walls to exceed four-feet (4') in height but not eight-feet (8') in height. Specific conditions appertaining to retaining walls (from H.C.C. §§ 13.72.030 & 13.76.700), as pertinent to your application, [still] include [extrapolating from code] the following stated standards:

1. Terracing shall be limited to two (2) tiers. The width/depth of the terrace space between any two (2) retaining walls higher [taller] than four feet (4') shall be separated from any other retaining wall by a minimum of five (5) horizontal feet; and,
2. Retaining walls shall be faced with stone or earth colored materials similar to the surrounding natural landscape; and,
3. All retaining walls shall comply with the international building code [note: a building permit with structural engineering is required for your project prior to its emplacement]; and,

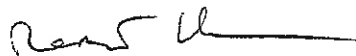
Please note that a Special Exception approval is valid for one (1) year unless a building permit is issued or complete building plans have been submitted to the City within that period. The Planning Commission may grant an extension of such for up to one (1) additional year when the applicant is able to demonstrate no change in circumstance that would result in an unmitigated impact. Extension requests must be submitted to the Planning Commission in writing prior to the expiration of the exception.

Also note that a person or party adversely affected by a decision of the Planning Commission regarding issuance of a Special Exception may appeal the Commission's decision to the City Council within ten (10) days of the date of the Commission's decision.

If you should have any questions regarding this matter, please contact me during normal business hours Monday through Friday at (801) 527-3890.



Sincerely,

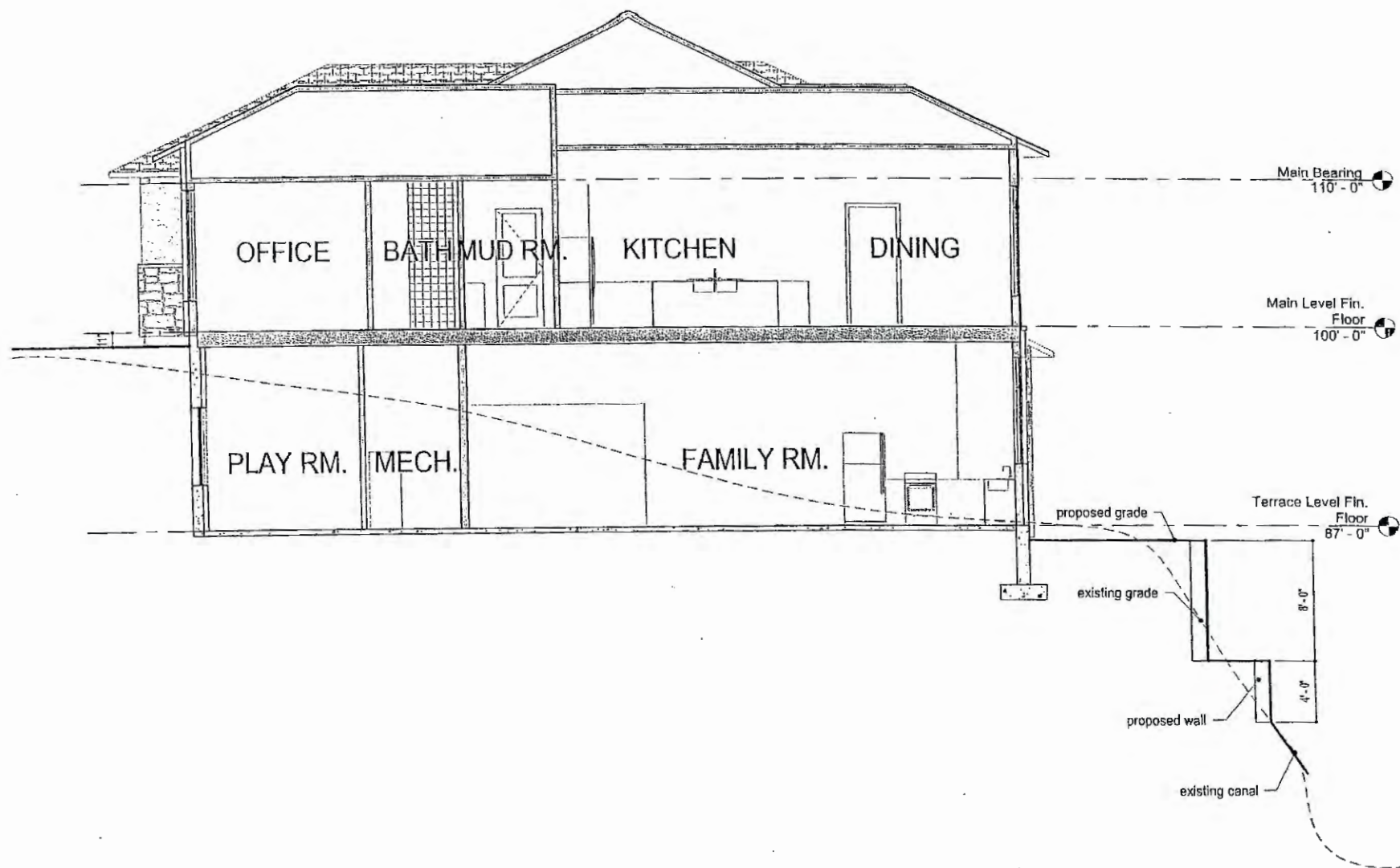


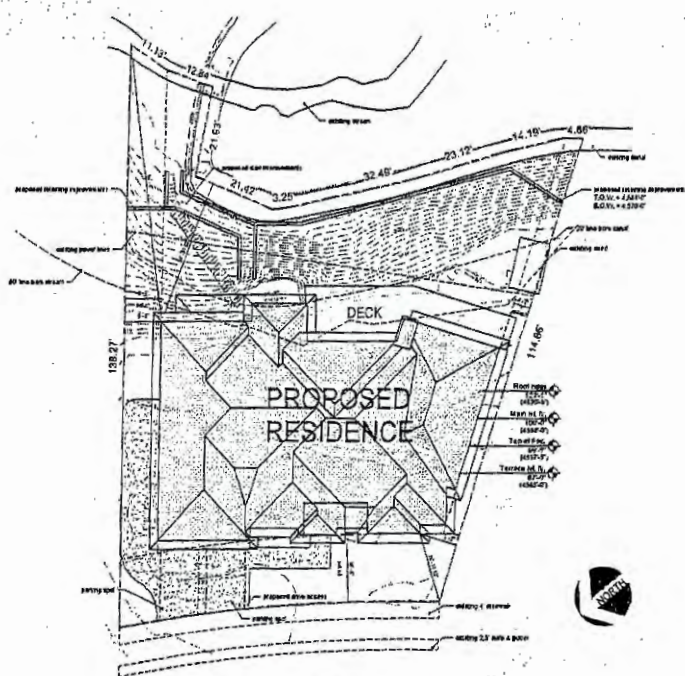
Robert Hobbs
Planner II

GRH/rh

Cc: Greg Kennard, Building Inspector
correspondence file
file no. 19-9-04

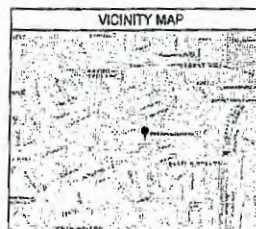
Enclosure(s)





KENTUCKY AVE.

	Square Ft.	% of Total
Total Area	10,253	100%
Total Building Area	4,387	43%
Total Impervious Area	5,331	52%
Total Landscaped Area	2,036	20%
Total Road Area	0	0%



SUBDIVISION INFORMATION	
City	Holladay
State	Utah
Address	2806 Kentucky Avenue
Zone	R-1-B

GENERAL & KEYED NOTES

Notes: Other conditions shall be as shown on the site plan.



Schreyer Residence
 801-451-4970
 schreyer@induye.com

12 x 18 (sheet size): 1"=20'-0"
 24 x 36 (sheet size): 1"=10'-0"
 Project 1919
 26 June 2019

C2.1

SITE PLAN

CHAPTER 2: LAND USE, URBAN DESIGN and NEIGHBORHOOD PRESERVATION

Jim's edits 10/7/2019, 6/12/2020 and Paul and Jim's 7-13-20

INTRODUCTION

This element of the General Plan provides policy direction and guidance for land use decisions, urban design, and neighborhood preservation. It also includes a Future Land Use Map and addresses the image, character, and livability of the City.

The goals of this element are designed to:

1. Maintain the established pattern of development in the City. ~~while allowing for some change to accommodate existing and future populations;~~
2. Ensure that new developments are high quality and compatible with the surrounding neighborhoods;
3. Retain the natural character of the City and its neighborhoods; and
4. Ensure that the zoning ordinance meets the goals expressed in this General Plan including the allowance for retention of and creation of housing opportunities for all age ranges and income levels.

Formatted: Strikethrough

A list of implementation strategies supporting these goals is included at the end of this chapter.

LAND USE AND PHYSICAL FORM OF HOLLADAY

The City of Holladay has transitioned from a lightly populated agricultural settlement to a nearly built-out bedroom community. The physical structure of the City is unique. Older neighborhoods reflect their coveted location along the edges of the Big Cottonwood Creek. Newer neighborhoods exhibit more typical suburban patterns. Other features that define the character of the City include the following:

- The lack of a discernible street grid typical of other valley centers;
- Creeks and canals that wind through the maze of lowland cottonwood forests;
- Sinuous public and private lanes that connect residential areas and commercial developments in a gentle, lived-in fashion;
- Long connecting roadways that provide access to heavily-wooded private lanes that lead to large-lot single-family estates;
- Large and deep residential lots which provide significant private open space;
- A semi-rural character with continuing agricultural uses including orchards, vegetable gardens, horses and other livestock;
- Finely-detailed walls and fences, mature vegetation, and high-quality landscaping that provide privacy and transition between neighborhoods;
- A variety of housing styles and types;
- Distinct neighborhoods; and
- Diverse commercial and mixed use districts including the historic commercial center of the city known as the Holladay Village, ~~and~~ the Cottonwood Mall redevelopment site, and the Holladay Crossroads area, among others.

Together, these features help establish the unique "sense of place" that makes Holladay one of the most desirable communities in the region.

Formatted: Indent: Left: 0"

EXISTING LAND USE

The existing land uses illustrated in Map 2.1 are dominated by low-density, single-family residential uses, which comprise slightly more than half of the total area (56.9-percent). When duplexes, planned unit developments (PUDs), and multi-family residential uses are added to the total, residential uses comprise just over 63% of the total land area uses in of the City, verifying the City's primary function as a "bedroom community." ~~Because most of an overwhelming area of the City is already developed, for use by single family homes, it is unlikely that significant or drastic change will occur in most areas neighborhoods of the City. What little change may occur will likely be redevelopment happen only where vacant and underutilized land exists, of which there is very little, along major streets or on the edge of commercial and mixed use areas.~~

Formatted: Strikethrough

Commercial uses currently comprise only three percent of existing land area, and are generally situated around key intersections along Highland Drive, Murray-Holladay Road, and 6200 South. Key commercial sites include the rapidly-transforming Holladay Village area; the Cottonwood redevelopment site with its supporting commercial areas at Highland Drive and Murray Holladay Road, and the Holladay Crossroads, the commercial area at Highland Drive and 6200 South. The Black Diamond Campus on 3900 South is an example of several smaller, more isolated commercial sites found in the northeast quadrant of the City. There are also a number of even smaller commercial office/mixed-use sites that comprise just over one percent of the total land area, the largest being the Millrock/Old Mill Village Commercial Area, which is a Class-A office complex located just east of Interstate 215 near 3000 East.

Other existing land uses include public buildings and facilities, schools, and churches, which together encompass approximately five percent of the total. Open space, such as parks and public land in the foothills cover nearly five percent, as well.

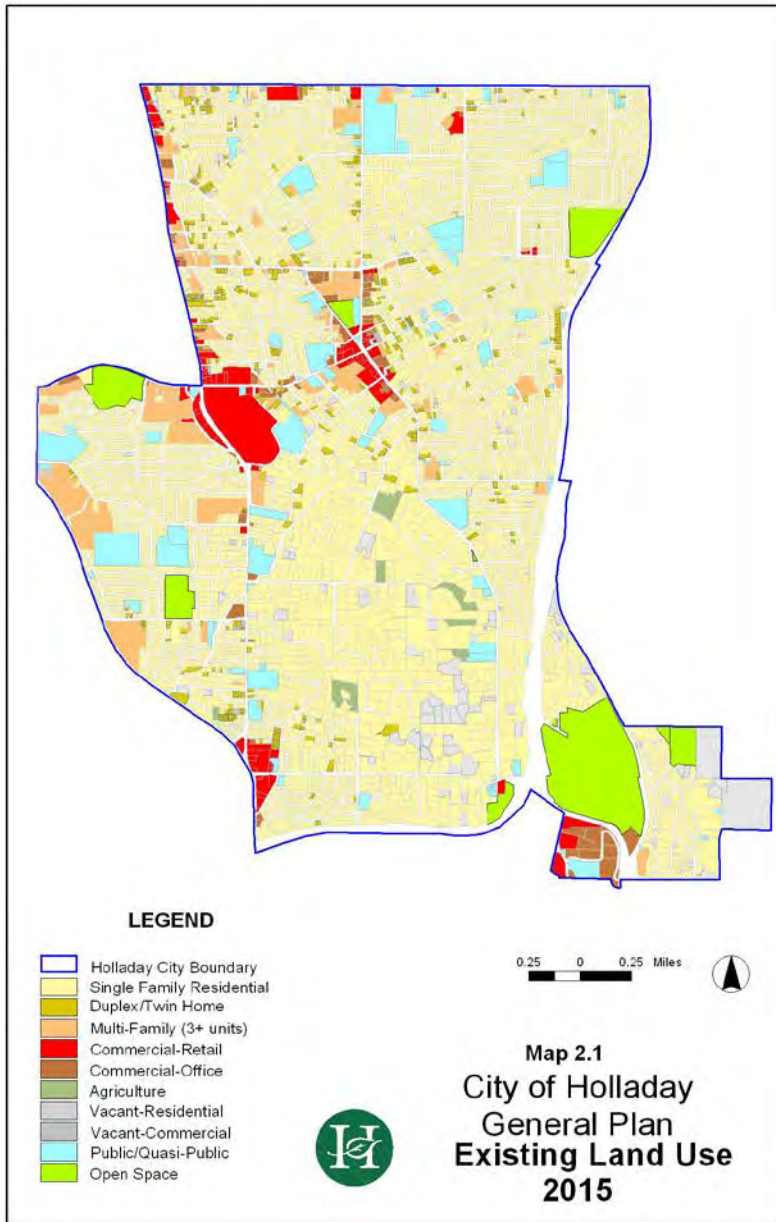
Vacant residential and commercial property, including the steep slopes of the Wasatch Mountains on the southeast edge of the community, covers just over three percent of the City.

	Land Use <u>as a portion of total land area of the City</u> *
56.9%	Single Family Development
2.1%	Duplex/Twin
4.5%	Multi-Family (3+dwelling units)
3.0%	Commercial (<i>including the Cottonwood redevelopment site; currently vacant</i>)
1.4%	Office
0.6%	Agriculture
3.2%	Vacant-Residential
0.1%	Vacant-Commercial (<i>not including the Cottonwood redevelopment site</i>)
5.4%	Public/Quasi-Public, including utilities

4.6%	Open Space (Public & Private)
20.0%+/-	Roads

* The city covers approximately 8.39 square miles. The total acreage of the City is approximately 5,400 acres, including roads. However, the acreage of roads (just over 900 acres) was excluded from the GIS data layer that was used to calculate existing land uses in the table above. Roads comprise approximately 20% ~~18 percent~~ of the total land area within the City.

1 Map 2.1, Existing Land Use



2
3

EXISTING URBAN DESIGN

Urban design describes the physical structure of the City: ~~from the function and architecture of buildings and structures; types of roadways, trails, and parks; and to the other planned and unplanned open spaces; community “branding” and the preservation of the local ecology that separate and surround them.~~

Holladay is defined by its natural cottonwood forests, riparian vegetation, as well as the nearby Mount Olympus, linear roads and meandering lanes that crisscross the City, and the street edges lined by trees, walls, and fences that buffer ~~some residential semi-rural~~ areas, manicured yards, and gardens. Sensitive design is the rule rather than the exception in Holladay, with carefully conceived monuments marking key entrances to the City and a unified signage system announcing one's arrival at Holladay Village. The various trails, pathways, and road edges provide public places to walk and cycle, connect neighborhoods, and lead to nearby commercial areas and destinations.

NEIGHBORHOOD PRESERVATION

Existing historic neighborhoods were identified by members of the public as requiring better protection and preservation. This desire for protection extends beyond the buildings, to trees, large lots, historic land uses, fences, development along private roads and lanes, walls, and the ~~semi-rural~~ small town qualities these elements exude. This is particularly important in older residential areas where there is pressure to densify. Current policies regulate the teardown of older units as well as allow homeowners to remodel or add responsible additions to their homes. ~~Again, because an overwhelming area of the City is already developed for use by single family homes, it is unlikely that significant or drastic change will occur in most neighborhoods of the City. What little change may occur will likely happen only where vacant and underutilized land exists, of which there is very little, and/or along major streets or on the edge of commercial and mixed use areas which consistently experience change over time.~~

HISTORIC AREAS AND BUILDINGS

The preservation of historic places and structures ranked high in the public involvement process, and it is an essential component of maintaining the qualities that make the City such a desirable place to live. To help ensure that Holladay's historic resources are preserved, including land uses, sites, and buildings, the Historic Preservation Committee (City Code 2.24.060) was established to make recommendations to the City Council in the creation of historic districts and adoption of standards and guidelines for historic properties.

In 2006, the **Cottonwood Historic Area** was established to identify and memorialize a specific portion of the Cottonwood area known as the Brinton Ward. The portion of this historic area within Holladay is shown on Map 2.2. The following structures and sites have been identified as being of historic importance within the City, regardless of whether or not they are in the Cottonwood Historic Area:

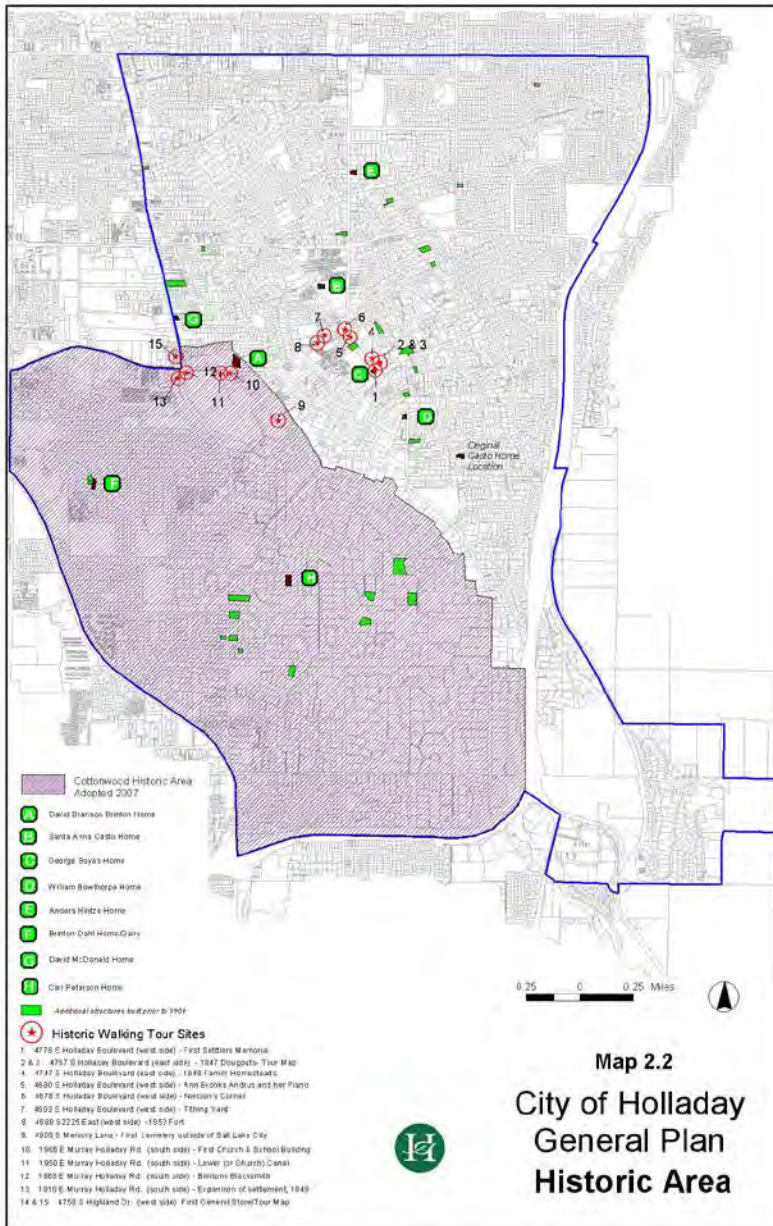
David Branson Brinton home, 1981 East Murray-Holladay Road, Holladay

- A. Santa Anna Casto home, 2731 Casto Lane, Salt Lake City, (moved to City Hall Park, 2009)
- B. George Boyes home, 4910 Holladay Boulevard, Holladay
- C. William J. Bowthorpe home, 4766 Holladay Boulevard, Holladay

- 1 D. Anders Hintze home, 4249 South 2300 East
- 2 E. Brinton-Dahl home/dairy-1501 E Spring Lane
- 3 F. David McDonald home-4659 S Highland Drive
- 4 G. Carl Peterson home-2152 E Walker Lane
- 5 An historic walking tour was developed to encourage public knowledge and awareness of the City's
- 6 historic resources. The tour locates historic locations, structures, markers and trees. Those locations are
- 7 found on Map 2.2.
- 8

1 Map 2.2, Cottonwood Historic Area

2
3



4

KEY LAND USE AND URBAN DESIGN ISSUES

After analyzing existing conditions, reviewing existing plans, and considering public input, it is clear that the key planning issues facing the community are related to stability and change. There is general satisfaction with the existing patterns, uses, and densities that currently exist, and the general direction of growth. However, a certain amount of angst exists concerning new development, densification, and the impact this might have on individual properties, neighborhoods, traffic, and the character of the City. ~~Since incorporation, Holladay has accomplished some major objectives/achievements, especially in the last few years with the development of the award winning and highly visited Holladay Village, gateway monuments, City Hall civic center and park, Knudsen Park, bike facilities, numerous adopted master plans and studies, and now the impending development of the Cottonwood Mall site into a large, mixed-use district.~~

~~Holladay is already different than it was in 1999. Its boundaries have significantly changed since that time and many new residents have been added to the community. New construction has occurred in virtually every neighborhood and commercial area of the City, representing a major reinvestment by property owners and businesses. Arguably, most of the recent change has been well received very positive even though initial reaction to most land use applications is met with opposition and concern. By and large, those concerns do not materialize as both large and small projects find their place in Holladay without having destroyed its character. Moving forward, city leaders and residents should consider the importance of today's land use decisions upon younger, future residents who will inherit Holladay. Special care must be exercised to understand the ever fluid and more rapidly changing nature of our world and Holladay's inability to exist in it as an island. City land use policies must not be made in ignorance but rather in the bright, informed light of day. Where once native people and pioneers occupied Holladay, they eventually made space for others including their offspring, who in turn made space for theirs over next 170 plus years until today. Coming decades will bring momentous change; the future always does. Will Holladay be prepared to address them?~~

It is the intent of this plan to continue that general vision, which has guided development in past decades. ~~In consideration of the fact projections that significant growth pressure in Holladay, the Salt Lake Valley and the larger region already exists and will continue as both existing and future generations and seek places to work, live, shop and recreate, is likely to occur, the General~~ The General P-plan strives to accommodate new growth ~~without fundamentally jeopardizing overhauling while protecting~~ the development patterns that have made Holladay a unique and desirable place to live and work. This plan recognizes the need for a greater variety of shopping options within existing commercial areas and an improved tax base for the community, similar to the Holladay Village model. Higher-density residential uses ~~have already could been been~~ introduced, as ~~in the Holladay Village and in the impending redevelopment of the Cottonwood Mall as~~ part of mixed-use developments along busy streets, ~~existing activity nodes~~ and adjacent to established commercial areas, in a manner that is compatible with the existing residential neighborhoods providing a greater range of housing options and creating a more diverse place over time. Although there are no simple answers, preserving what is best about Holladay and avoiding the negative impacts of ~~unplanned future~~ growth are the key issues to be resolved as the City moves forward. ~~A challenge for the city will be to comply with ever increasing requirements to plan for, implement, monitor and report progress for moderate income and affordable housing. (See Chapter 5, Housing, in this Plan) Both now and in the years to come, these new requirements will necessitate more flexibility and creativity in terms of how, what and where new dwellings, especially affordable ones, may be built in Holladay.~~

Formatted: Strikethrough

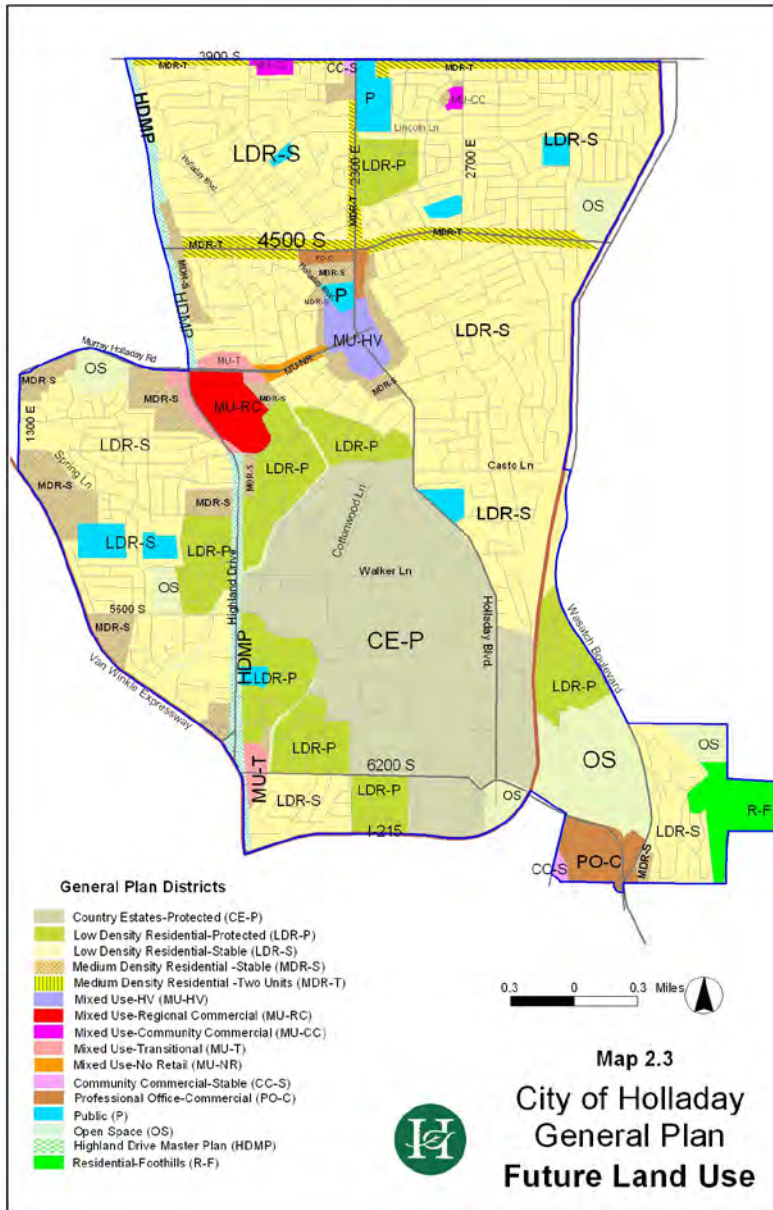
Formatted: Strikethrough

1
2
3
4
5
6
7
8
9
10
11
12

FUTURE LAND USE AND URBAN DESIGN CONCEPT

The City's future development patterns must include the preservation of low-density residential neighborhoods, protection of historic land uses, structures and places, maintenance of ~~the~~ special community character areas, and the accommodation of ~~both residential~~ growth and economic development at focused locations. This goal is supported by the land use districts as shown on Map 2.3 - Future Land Use.

1 Map 2.3, Future Land Use



2
3
4

To meet the overall goals of this chapter, future land use decisions should be built upon three core principles of growth and development:

- Principle 1 - Supporting Stable Neighborhoods
- Principle 2 - Transforming Key Commercial Districts into Better Functioning Destinations
- Principle 3 - Redeveloping Smaller Commercial Sites to Meet Future Needs

PRINCIPLE 1 – SUPPORTING STABLE NEIGHBORHOODS

Controlling change in established residential neighborhoods is particularly important. This priority is successfully supported by the existing ordinance, which includes a range of residential zones to help ensure residential growth matches the vision and expectations of the community. Future residential growth should be accommodated primarily by the utilization of current zoning and densities and not on rezoning. ~~except where determined most appropriate. The creation and implementation of new zones to accommodate changes in population, economics, energy, social and transportation trends should be considered where and when advisable.~~

The following General Plan Districts are intended as a guide to any future zoning changes. Zone change requests should be carefully considered to accommodate expected future growth, to ensure neighborhood compatibility, and to prevent the destabilization of the existing neighborhoods and loss of the existing established community character, density or intensity.

- **Country Estates-Protected (CE-P)** Suggested zones: R-1-87, R-1-43
This district is intended to preserve the existing large lot development patterns, the mature tree canopy, and the ambience created by estate type development often on private lanes. New development can should be appropriately accommodated through utilizing unclaimed density and ~~not~~ by subdivision. ~~Rezoning on the periphery of these areas should be allowed where areas of nonconforming lots sizes are presents.~~
- **Low Density Residential-Protected (CE-P)** Suggested zones: R-1-21
This district is intended to preserve existing half-acre lot development patterns, the mature tree canopy, and the ambience created by single-family development. New development can should be appropriately accommodated through utilizing unclaimed density and ~~not~~ by rezones. ~~where areas of nonconforming lots sizes are present.~~
- **Low Density Residential-Stable (LDR-S)** Suggested Zones: R-1-8, R-1-10-, R-1-15,
This district is intended to support a mix of single-family residential development that has been established by historic development patterns. New development should be accommodated through utilizing unclaimed density. Rezones within the suggested zone list may be appropriate as determined on a case by case basis, especially where nonconforming lots are present and/or land is being underutilized and/or poorly maintained. where increased density will not destabilize the existing neighborhood.
- **Medium Density Residential-Two Units (MDR-T)** Suggested Zones: R-1-4, R-2-8, R-2-10
This district is intended to accommodate small-lot single family and two-family attached unit development with slightly higher densities than the LDR-S districts. New development should be accommodated through utilizing unclaimed density where possible. Proposed rezones within

the suggested zone list may be appropriate where increased density will not destabilize the existing neighborhood.

- **Medium Density Residential-Stable (MDR-S)** Suggested Zones: RM
This district is intended to accommodate traditional multi-family developments where increased density has been previously established or where single-family development is no longer viable. New development should be accommodated through utilizing unclaimed density where possible. Proposed rezones within the suggested zone list may be appropriate where existing land use patterns support the increased density and do not conflict with other provisions of the Plan.
- **Residential-Foothills (R-F)** Suggested Zones: FR-1, FR-5 and FR-20
This district is intended to accommodate residential developments within the Foothills and Canyons Overlay Zone on properties that require special review for potential natural hazards mitigation.

The current City Code allows lots are allowed to be subdivided when there is vacant or available unclaimed density land within the zone, or where rezoning is allowed by the City Council. In recent years, pressure to subdivide properties in residential neighborhoods, particularly those with large lots near Big Cottonwood Creek, has escalated. Since the impact of such changes could have significant repercussions on the existing character and function of the City, it is envisioned that as residential development occurs, particularly in the very large-lot zones – the one and two acre minimum zones, established land use patterns should not materially change, and that existing density should remain similar to those that currently exist.

The most significant residential land use change is likely to take place in and near areas earmarked for mixed-use and multi-family development. Such development is supported at the Cottonwood redevelopment site, in and surrounding portions of the Holladay Village, and at the Holladay Crossroads area. Growth in this manner is expected to be most significant at the Cottonwood redevelopment site, which is currently vacant and redevelopment is anticipated (2019) and at the Holladay Crossroads area where the implementation of a new Holladay Crossroads zone (HCR) (2019) should eventually allow for a significant change in the land use pattern including mixed uses and more vertical development.

Higher-density housing is also supported at other under-utilized areas of the City, which can provide greater housing opportunities for a wide range of income and age groups, and perhaps allow a variety of people to reside in Holladay during all stages of their lives as the City is required to plan for by State law. Limited redevelopment of existing low density housing into two family, or multi-family attached dwelling unit alternatives might also occur along 3900 South, and 4500 South, and portions of Highland Drive and Murray Holladay Road, etc., due in large part to the increasing traffic and transit envisioned along these roadways. Although the amount and scale of such changes is likely to be relatively minor, care must be taken to ensure that modifications do not conflict with existing residential uses.

PRINCIPLE 2 –TRANSFORMING COMMERCIAL/MIXED-USE DISTRICTS INTO PLACES and DESTINATIONS

Future commercial development should be limited to existing commercial sites, office sites, and areas slated for mixed-use redevelopment such as Holladay Village, the Cottonwood redevelopment site, and

the Holladay Crossroads, the area surrounding the intersection of 6200 South and Highland Drive. Any increase in the intensity of established commercial uses should be carefully planned to ensure compatibility with the surrounding residential patterns. One of the primary purposes of this plan is to ensure that these areas develop in a manner that matches both the future vision and the established patterns. The following General Plan Districts are intended to support this principal:

- **Mixed Use-Regional Commercial (MU-RC)** Suggested zones: RMU
This district is intended to support the purpose and intent of the Cottonwood redevelopment site Development Master Plan.
- **Mixed Use-Holladay Village (MU-HV)** Suggested zone: HV
This district is intended to support the purpose and intent of the Holladay Village Master Plan.
- **Mixed Use-Transitional (MU-T) / (MU-CC)** Suggested zones: ~~TBD~~ HCR
This district is intended to support the development of a "Small Area Master Plan" for areas such as the - Holladay Crossroads commercial area, Black Diamond site on 3900 and the Oakmont Plaza on 2700 East. Future plans for the development of these areas could include a mix of residential and commercial uses in a ratio that replaces or updates ~~does not erode~~ the established commercial development already in place.
- **Mixed Use-No Retail (MU-NR)** Suggested zones: ~~TBD~~ RM, PO, TBD
This district includes the area known as the "Holladay Half-mile", that area along Murray Holladay Road between the Cottonwood redevelopment area and the Holladay Village. Future development of this area should be guided by a "Small Area Master Plan", yet to be developed. Zoning in this district should allow for the integration of residential and non-residential uses mixed across the district but should not encourage further development of retail uses along this corridor.
- **Professional Office-Commercial (PO-C)** Suggested zones: PO, ORD, ~~RM~~ RM
This district is intended to support the continued development of the city's economic sector and occurs in those areas of the city where professional offices and their associated supporting commercial uses are already established. Rezones in this district should only be considered if the proposed development enhances the existing development patterns and where any negative impacts on nearby residential uses are nominal or can be mitigated.

HOLLADAY VILLAGE

This area is located in the traditional downtown core of the City, which is centered at the intersection of Holladay Boulevard and Murray Holladay Road. As detailed in the **Holladay Village Master Plan**, the Holladay Village area is envisioned to be a local commercial center with integrated multi-family residential development to add life to the core "downtown" area. The **Holladay Village (HV)** zone was created to specifically help guide development in this area, establishing the vision for downtown Holladay. The zone includes specific standards to establish a unified and inviting overall appearance, which has worked well for the redevelopment of Block One. This zone should be maintained, with small modifications made to further implement the purpose and intent of the Holladay Village Master Plan.

COTTONWOOD REDEVELOPMENT SITE AND THE "HOLLADAY HALF-MILE"

The former Cottonwood Mall site has historically been Holladay's only regional commercial area and an important asset for the community's tax base. Located one half-mile west of Holladay Village, the mall was razed several years ago in anticipation of redeveloping the site into a new regional mixed-use destination. Development has yet to occur, although it is anticipated that interest will be rekindled soon.

The City of Holladay has approved a Site Development Master Plan (SDMP) for the Cottonwood redevelopment site, which also includes a traffic impact study. However, changes to the adopted plan are anticipated and an amended site plan will be developed. Although the site is zoned **Regional/Mixed-Use (R/M-U)**, a zone specifically crafted for this area, any future development of the site should be designed to become a major mixed-use destination including retail, entertainment, office, ~~heavy~~ residential, and other various supportive uses. The currently adopted zoning ordinance supports this general vision for the site, and describes the type of information required for the submission and/or update of a Site Development Master Plan (SDMP) for the area.

The City envisions that, once developed, the new district will be linked with Holladay Village along the short strip of Murray-Holladay Road that separates the two destinations, both visually and perceptually. Known as the "Holladay Half-mile", the roadway and adjacent properties are envisioned to be transformed into a pedestrian-oriented corridor with a mix of pedestrian-friendly, multi-family residential, and office uses. The transformation of the street may include design features, such as themed street lighting, outdoor furnishings, and coordinated landscape areas. Additionally, consistent gateway features and wayfinding elements that build upon the established stone monuments and historic walls found in other parts of the City will give this corridor a unique ambiance.

HOLLADAY CROSSROADS: INTERSECTION OF BIG COTTONWOOD ROAD/6200 SOUTH, HIGHLAND DRIVE, AND VAN WINKLE EXPRESSWAY

This district has the potential to become a premier commercial/mixed-use destination. It is the only commercial area in Holladay that has direct access to a freeway interchange. At present the area is relatively dysfunctional and dominated by aging, suburban-style strip malls and one-off "commercial pad" buildings. The area lacks continuity and the numerous parking lots are poorly coordinated, causing confusion and making it difficult to navigate from building to building. The area is poorly signed and lacks basic pedestrian amenities.

Due to its proximity to I-215, the Holladay Crossroads area has been identified as a priority improvement area for the City, with the goal of transforming it into a thriving, regional commercial, pedestrian and bike-friendly, mixed-use place. Significant changes to Highland Drive, Van Winkle Expressway and 6200 South intersection may be required. At the time of this writing, the City is investigating alternative intersection designs and has obtained approval for a triple left turn southbound from Highland Drive to Van Winkle Expressway. ~~In the near future, a~~ "Small Area Master Plan" for the area ~~will~~ has been adopted as an amendment to this General Plan and as of this writing, fall 2020; the Holladay Crossroads zone is being developed for possible implementation by the City.

MILLROCK/OLD MILL VILLAGE COMMERCIAL AREA

The Millrock/Old Mill Village Commercial Area is the dominant office use location in Holladay, and one of the most desirable, highest-rent office spaces in the state of Utah. The site is zoned **Office, Research and Development (ORD) and C-2**. The area supports a mix of commercial uses that includes office, hospitality, restaurant, banking and some retail uses, small scale medical, and an education/worship use. New office space and/or commercial spaces should continue to build upon this successful tradition, with high-quality buildings designed and located in a manner that captures the ambiance of the existing development, strengthens the local job market, and contributes to the City's overall economy. One small parcel of vacant land on Big Cottonwood Canyon Rd. may be appropriate for ~~heavy~~ multi-family residential use, as it is already zoned for such, or could be if not rezoned and developed commercially.

PRINCIPLE 3 – REDEVELOPING SMALLER SITES TO MEET FUTURE NEEDS

In addition to the transformative ideas for the larger commercial areas discussed above, there are several smaller commercial sites that are ripe for redevelopment. Examples include the Black Diamond campus on 3900 South and Oakmont Plaza on 2700 East. These sites are located in non-traditional locations for commercial operations. More evaluation is needed to determine the best use for these sites, considering residential and mixed-use redevelopment options. To assist with this process new and revised development controls are recommended to help convert these sites into improved assets for the community.

The following General Plan districts are intended to support this principle:

- **Mixed Use-Community Commercial (MU-CC)** Suggested zones: C-1, , RM, NC, RO, PO
This district is intended to support the introduction of mixed residential and non-residential uses within the established commercial areas along Highland Drive, at the Black Diamond site on 3900 South, and at ~~Oakmont~~ Oakmont Plaza on 2700 East.
- **Community Commercial-Stable (CC-S)** Suggested zones: C-1, C-2
This district is intended to support those stable, established commercial areas where redevelopment may occur but where the introduction of residential uses is not necessarily advantageous.

HIGHLAND DRIVE - LINKING DISPARATE LAND USES ALONG A BUSY STREET

A small area master plan has been adopted for Highland Drive (HDMP). The plan divides Highland Drive into three sub-corridors, each of which is slated to be developed in deference to the character of surrounding neighborhoods. The HDMP recognizes the northern portions of the corridor, Segment A, as having the greatest opportunity for commercial development including professional offices and limited retail and residential development. ~~because Segment B, limits future residential growth to no more than approximately five dwellings per acre (low density) and also calls for limited or no new commercial development. , with professional offices and limited retail uses recommended on a case-by-case basis.~~ The HDMP should continue to direct future growth and redevelopment of the Highland Drive corridor.

1 KNUDSEN'S CORNER

2
3 The Knudsen Park Master Plan for Holladay City's property in the 6200 South/Holladay Boulevard area
4 was adopted in 2011, establishing a phased conversion of the area into a beautiful, historic nature park
5 which was completed in May of 2019. ~~It is anticipated that t~~he park ~~will~~ includes natural areas, as
6 well as more traditionally developed public park areas and facilities. The existing commercial uses in the
7 area are established and should remain a part of the area's overall structure. An update of the existing
8 Knudsen Park Master Plan was completed as part of the park planning effort as well as land trades,
9 rezoning of the park land to the Public zone and the subdividing and platting of land. In 2019, the Ceity
10 issued an RFP for the development of the Cotton Bottom property, which it has owned for several years,
11 and has reached agreement with a development group to in an effort to repurpose the property is parcel
12 while maintaining the Cotton Bottom building, logo and trademark to reinforce the historic use of this
13 part of the community. The Cotton Bottom will be a key gateway use at this important location.
14 ~~is anticipated in the near future, and should be based on a respect for the natural and historic nature of~~
15 ~~the site and future needs of the community.~~

16 ACQUISITION AND REDEVELOPMENT OF AGING AND REDUNDANT PUBLIC USES

17
18 Public and institutional uses include schools, churches and public offices, all essential features of a well-
19 rounded community. The zoning ordinance includes a **Public Zone (P)**, which encompasses all public and
20 quasi-public buildings and sites in the City. If these uses are discontinued in the future, the zoning
21 classification requires future developers to seek new zoning, thereby allowing the City to review any
22 proposed changes and to determine if the proposed change will be a good fit for the surrounding
23 neighborhood. If a public school closes, State law gives the City the option to purchase the property for
24 use as public park space.

25
26
27 The following General Plan districts are intended to support this purpose:

- 28
29 • **Public (P)** Suggested zones: P
30 *This district is intended to support the continuation of those public and recreational uses*
31 *established within the district. Any zone changes within these districts should be carefully*
32 *considered in light of the overall health, welfare, and safety of the community.*
33
34 • **Open Space (OS)** Suggested zones: P
35 *This district is intended to support the overall recreational goals set out in Chapter 6, Parks,*
36 *Trails, and Open Space, of this General Plan.*
37

38 PARKS AND RECREATIONAL FACILITIES

39
40 With little available land left for new parks and recreational facility development, future
41 improvements should focus on retaining those facilities currently in place and increasing the
42 experiential qualities of those places each. A more detailed look at the goals for these uses can
43 be found in Chapter 6 of this plan.
44

45 IMPLEMENTATION MEASURES

As previously stated, the goals of this element are designed to:

- Maintain the overall established pattern of development in the City ~~while allowing for changes to accommodate present and future trends, as they arise, for residents that no longer demand or desire the same exact housing choice and lifestyle arrangements of previous generations;~~
- Remove barriers to the inclusion of affordable housing opportunities
- Ensure that new developments are high quality in location, in design, finish, energy efficiency and amenities for current and future residents of Holladay, and are compatible with the surrounding neighborhoods;
- Retain and protect the natural environmental character of the City and its neighborhoods; and
- Ensure that the zoning ordinance meets the goals expressed in this General Plan.

In order to achieve these long-term goals, the following implementation measures have been identified:

1. New development within the single-family neighborhoods should be accomplished through utilization of unclaimed density. Rezone requests should be considered only where increases in density would not negatively impact the established development patterns in the surrounding neighborhood.
2. New non-residential development should be contained within established mixed-use and commercial developments and not expanded into ~~, but rather at the edge of,~~ surrounding residential neighborhoods.
3. Identify methods and options for preserving historic buildings, and sites. Some options to be considered include inclusion on the Utah State and National Historic Registers or the creation of a Historic Conservation Area.
4. Establish peer-oriented beautification and cleanup efforts throughout the City. Support these with official City recognition programs.
5. Establish, enhance, and maintain appropriate land use, architectural and/or landscape buffers to protect neighborhoods from encroachment where uses transition or have incompatible characteristics.
6. Encourage new developments and redevelopment projects to provide significant neighborhood/community amenities where appropriate, such as local and regional trail connections, public plazas or gathering spaces, pedestrian access to public or commercial activity centers, or development of public open space.
7. Allow and encourage mixed-use development at the Cottonwood redevelopment site, Holladay Village, Holladay Crossroads redevelopment area, in addition to other key areas of the City that are transitioning from solely commercial to mixed-use.
8. Encourage better architecture, energy conservation and air quality. Expand the role of the Design Review Board to ensure that future design and development of multi-family and commercial and other ~~non-single-family~~ developments meet the goals of this General Plan. Adopt new laws within the City to encourage or require higher construction standards for all single family homes. Consider a variety of tools, or even minimum requirements for solar

[panels, wastewater and rainwater capture and treatment and other techniques to improve environmental quality city-wide.](#)

9. Consider the application of an overlay zone along Big Cottonwood Creek to preserve the environmental integrity and character of the area. Improvements should include educational efforts that encourage affected residents to voluntarily apply the tools and concepts contained in the *Salt Lake County Big Cottonwood Creek Guide*.

10. Review and strengthen where necessary the current regulations concerning the environmental integrity and character of those areas along Spring Creek, and the Salt Lake/Jordan canal systems, Upper Canal and other like waterways through the City.

11. Continue to require the planting of street trees, landscaped parking areas, and to require maintenance of those landscaped areas.

12. Create new mixed-use zones that allow higher-density residential uses in established commercial and office zones particularly where access to parks, open space and public uses is desirable.

13. Develop new standards for walls, fences, and other perimeter features, along the City's major arterials and collectors ensuring that the desire to dampen noise and enhance privacy on the private property side of these features is balanced with the need to maintain views and vistas and fit in with the historically open, green, and verdant street edges.

14. [Promote and strengthen the Tree Canopy Sustainability Ordinance throughout the City through publicity efforts by the Holladay Tree Committee and the City of Holladay. Investigate the efficacy of existing ordinances and tools for minimizing the unnecessary removal of mature trees and vegetation as a result of new development and strengthen those ordinances where necessary.](#)