

IRON HORSE

PLANNED RESIDENTIAL COMMUNITY

ADDRESS: 1130 SOUTH 1150 WEST

LOCATED IN SOUTHEAST CORNER OF SECTION 18
TOWNSHIP 9 SOUTH, RANGE 2 EAST, SLB&M
PAYSON, UTAH

CONSTRUCTION NOTES:

1. THE CONSTRUCTION DETAILS WILL NEED TO BE CONSISTENT WITH THE RECOMMENDATIONS IDENTIFIED IN THE GEOTECHNICAL REPORT PREPARED FOR THE PROJECT. THE GEOTECHNICAL REPORT INCLUDES A SOILS REPORT AND PAVEMENT DESIGN THAT WILL NEED TO BE INCORPORATED ALONG WITH THE DESIGN GUIDELINES AND STANDARD SPECIFICATIONS OF PAYSON CITY.
3. LIMITS OF DISTURBANCE INCLUDES THE ENTIRE PROPERTY.
4. ALL IMPROVEMENTS MUST BE COMPLETED IN ACCORDANCE WITH THE ADOPTED REGULATIONS, AND POLICIES OF PAYSON CITY. ANY PROPOSED CHANGES TO THE PROJECT DRAWINGS DURING THE CONSTRUCTION PHASE MUST BE APPROVED BY PAYSON CITY BEFORE THE WORK IS COMPLETED.
5. PRIOR TO THE IMPROVEMENT OF THE SITE AND CONSTRUCTION OF ANY STRUCTURES, ALL DEBRIS AND WASTE, INCLUDING UNUSED CONSTRUCTION MATERIALS AND ASPHALT WILL NEED TO BE REMOVED FROM THE SITE AND MAY NOT BE USED AS FILL MATERIAL.
6. ALL CONSTRUCTION TO CONFORM TO PAYSON CITY OR APWA STANDARD DETAILS & SPECIFICATIONS.
7. THIS IS AN PLANNED RESIDENTIAL COMMUNITY. THEREFORE, THERE WILL BE AN HOA AND CC&Rs.

FEMA FLOOD PLAIN

THIS SITE IS LOCATED IN FEMA FLOOD ZONE AE WHICH IS THE 1% ANNUAL 100-YR FLOOD PLAIN WITH A BASE FLOOD ELEVATION DETERMINED IN THE NAVD88 VERTICAL DATUM. THE VERTICAL DATUM OF THIS SITE PLAN IS NVGD29 WHICH PUTS THE BASE FLOOD ELEVATIONS 3.5' LOWER IN COMPARISON. BASE FLOOD ELEVATIONS SHOWN ON THIS PLAN HAVE BEEN ADJUSTED TO THE NVGD29 DATUM.
MAP NUMBER: 49049C0744F, REVISED PRELIMINARY JANUARY 30, 2018.

BUILDINGS SHALL BE AT LEAST 1' ABOVE THE BASE FLOOD ELEVATION. THE LOWEST ELEVATION OF A PROPOSED BUILDING ON THIS SITE IS 4646.5. NO BASEMENTS ARE ALLOWED.

GENERAL SUBDIVISION NOTES

1. PROPOSED ZONE: R1-9000 WITH RMO-1 TWO-FAMILY RESIDENTIAL OVERLAY
2. ALL CONSTRUCTION TO CONFORM TO PAYSON CITY STANDARDS AND SPECIFICATIONS.
3. ANY EXISTING WELLS ON THIS PROPERTY ARE TO BE ABANDONED & CAPPED BY A LICENSED WELL DRILLER.

WATER, SEWER, & STORM DRAIN DETAILS:

SEE PAYSON STANDARD DRAWINGS FOR DETAILS ON CULINARY & SECONDARY WATER, SEWER, AND STORM DRAIN.

TABULATIONS

TOTAL AREA:	267,241 S.F. = 6.135 ACRES
ROADWAY AREA:	70,126 S.F. = 1.610 ACRES
BUILDABLE LOT AREA:	197,115 S.F. = 4.525 ACRES
EXISTING LOT 28 AREA:	36,845 S.F. = 0.846 ACRES
PARK/RETENTION AREA:	13,504 S.F. = 0.310 ACRES
TOTAL UNITS INCLUDING LOT 28:	33
AVERAGE LOT AREA USING TOTAL AREA:	8,098 S.F. = 0.186 ACRES
AVERAGE LOT AREA USING BUILDABLE AREA:	5,973 S.F. = 0.137 ACRES
AVERAGE LOT AREA USING TOTAL AREA MINUS LOT 28:	7,200 S.F. = 0.165 ACRES
AVERAGE LOT AREA MINUS LOT 28 & ROADWAYS:	5,008 S.F. = 0.115 ACRES

PROPOSED ZONE: R1-9000 WITH RMO-1 TWO-FAMILY RESIDENTIAL OVERLAY

VICINITY MAP



PROJECT PHASING:

1. THE ENTIRE SITE IS TO BE CONSTRUCTED IN TWO PHASES. SEE SITE PLAN FOR PHASE DELINEATION.

CIVIL SHEET INDEX

C1	PRELIMINARY TITLE SHEET
C2	PRELIMINARY SITE PLAN
U1	PRELIMINARY UTILITY PLAN
U2	PRELIMINARY FIRE & RESCUE PLAN
G1	PRELIMINARY GRADING & DRAINAGE PLAN
D1	PRELIMINARY DETAIL SHEET

NOTES TO CONTRACTOR

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

LEGAL DESCRIPTION

Beginning at a point located South 89°54'11" West along section line 890.23 feet and North 49.55 feet from the Southeast Corner of Section 18, Township 9 South, Range 2 East, Salt Lake Base and Meridian; thence North 89°49'00" West 349.57 feet; thence North 0°11'30" West 7.96 feet; thence South 89°47'49" West 243.26 feet; thence along the arc of a 15.00 foot radius curve to the right 23.00 feet through a central angle of 87°51'20" (chord bears North 46°16'31" West 20.81 feet); thence along the arc of a 441.00 foot radius curve to the left 67.05 feet through a central angle of 8°42'41" (chord bears North 6°42'12" West 66.99 feet); thence North 11°03'32" West 29.47 feet; thence North 89°45'35" East along the southerly boundary of Lot 4, Payson Meadows Plat "A" a distance of 91.41 feet; thence North 89°47'48" East along the southerly boundary of Lots 5 and 6 of said Payson Meadows Plat "A" a distance of 180.00 feet; thence North 0°11'30" West along the easterly boundary of said Payson Meadows Plat "A" a distance of 562.28 feet; thence along the southerly boundary of AFFCU Payson Subdivision the following two courses and distances: 1) North 0°11'33" West 0.27 feet, and 2) North 89°59'06" East 60.22 feet; thence North 0°45'53" West 0.08 feet; thence North 89°37'43" East along a fence line 289.35 feet; thence South 0°11'30" East 683.60 feet to the point of beginning.

Area = 6.135 Acres

ABBREVIATION TABLE

FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RIM	RIM ELEVATION
FL	FLOWLINE
LP	LOW POINT
HP	HIGH POINT
EG	EXIST GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
SF	SQUARE FOOTAGE
P.U.E.	PUBLIC UTILITY EASEMENT
SLB&M	SALT LAKE BASE & MERIDIAN
COR	CORNER
N	NORTH
S	SOUTH
E	EAST
W	WEST
P.I.	PRESSURIZED IRRIGATION
SS	SANITARY SEWER
SD	STORM DRAIN
T	TOWNSHIP
R	RANGE
RCP	REINFORCED CONCRETE PIPE
WM	WATER METER
CB	CATCH BASIN
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
FH	FIRE HYDRANT
L.F.	LINEAR FEET
S=%	SLOPE
IE	INVERT ELEVATION
C.O.	CLEAN OUT
SL	SEWER LATERAL

GEOTECHNICAL ENGINEER:

EarthTec Engineering
1497 West 40 South
Lindon, Utah 840042
Phone: 801-225-5711

LAND SURVEYOR:

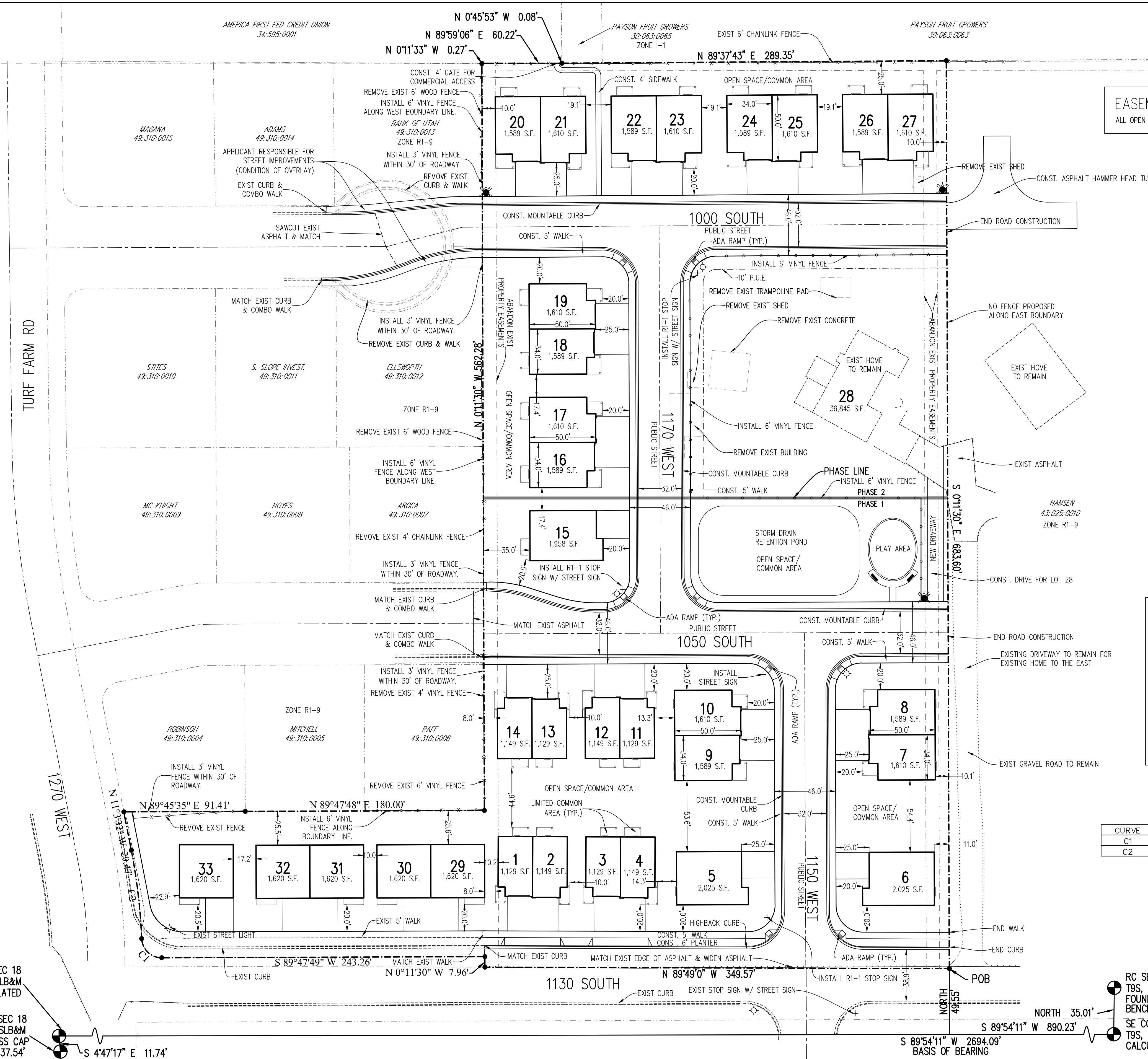


AZTEC ENGINEERING INC.
732 N. 780 W.
AMERICAN FORK, UT. 84003
AZTECENGINEERING@GMAIL.COM



Know what's below.
Call before you dig.

BENCH MARK			REVISIONS			Developer: SWIFT CREEK PROPERTIES		IRON HORSE		
SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29			Rev.	Date	Description	<div>Rob McNeil Phone: 801-960-5500 Email: swiftcreekproperties@gmail.com</div> <div>EXCEC ENGINEERING David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excecivil.com</div>		PAYSON		UTAH
			1	06/12/20	REVISED PER CITY COMMENTS			Drawn by:	NTS	
			2	07/07/20	REVISED PER CITY COMMENTS			Designed by:	Date: 04/17/20	
								Checked by:	C1	
								D.W.P.		

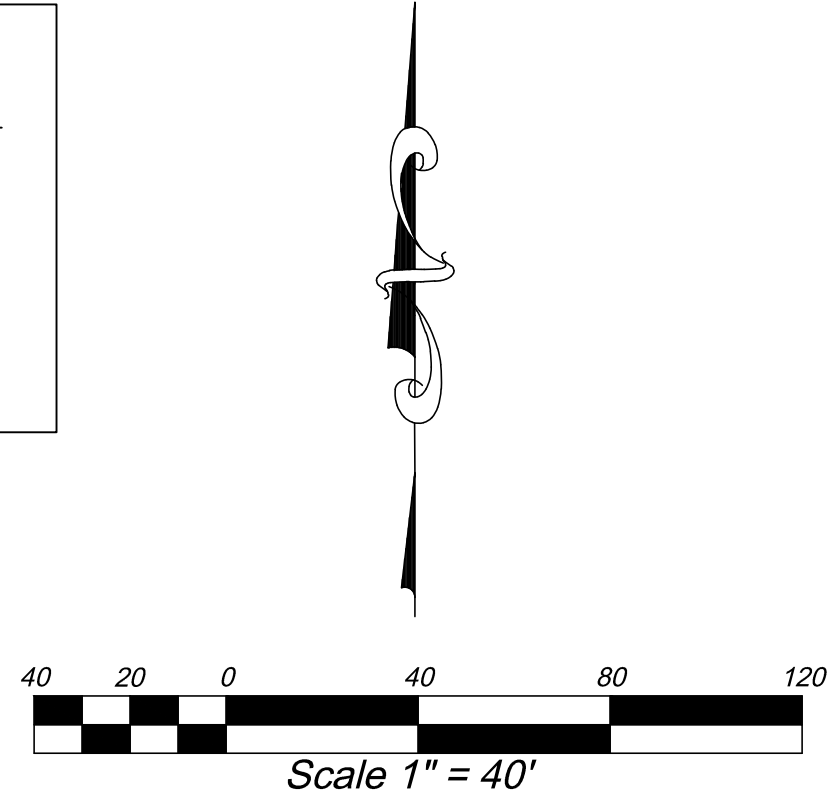


EASEMENT NOTE
ALL OPEN SPACE IS A PUBLIC UTILITY EASEMENT.

TABULATIONS	
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PROPOSED ZONE: R1-9000 WITH RMO-1 TWO-FAMILY RESIDENTIAL OVERLAY	

LEGEND:

- STREET/PARKING LOT LIGHT
- SECTION MONUMENT
- PROPERTY LINE
- PROPERTY CORNER
- FIRE HYDRANT



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Area = 6.135 Acres

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	15.00	23.00	87°51'20"	20.81	N 46°16'31" W
C2	441.00	67.05	8°42'41"	66.99	N 6°42'12" W

PAVEMENT DESIGN

ASPHALT:
3" ASPHALT CONCRETE
6" UNTREATED ROAD BASE
0" COMPACTED SUBBASE*

*SEE GEOTECH REPORT FOR SUBGRADE PREPARATION

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THE LOWEST ELEVATION OF A PROPOSED BUILDING ON THIS SITE IS 4646.5.
NO BASEMENTS ARE ALLOWED.

S 1/4 SEC 18
T9S, R2E, SLB&M
CALCULATED

RC S 1/4 SEC 18
T9S, R2E, SLB&M
FOUND BRASS CAP
ELEV = 4637.54'

RC SE COR SEC 18
T9S, R2E, SLB&M
FOUND BRASS CAP
BENCHMARK ELEV=4660.98

SE COR SEC 18
T9S, R2E, SLB&M
CALCULATED



REVISIONS		
Rev.	Date	Description
1	06/12/20	REVISED PER CITY COMMENTS
2	07/07/20	REVISED PER CITY COMMENTS

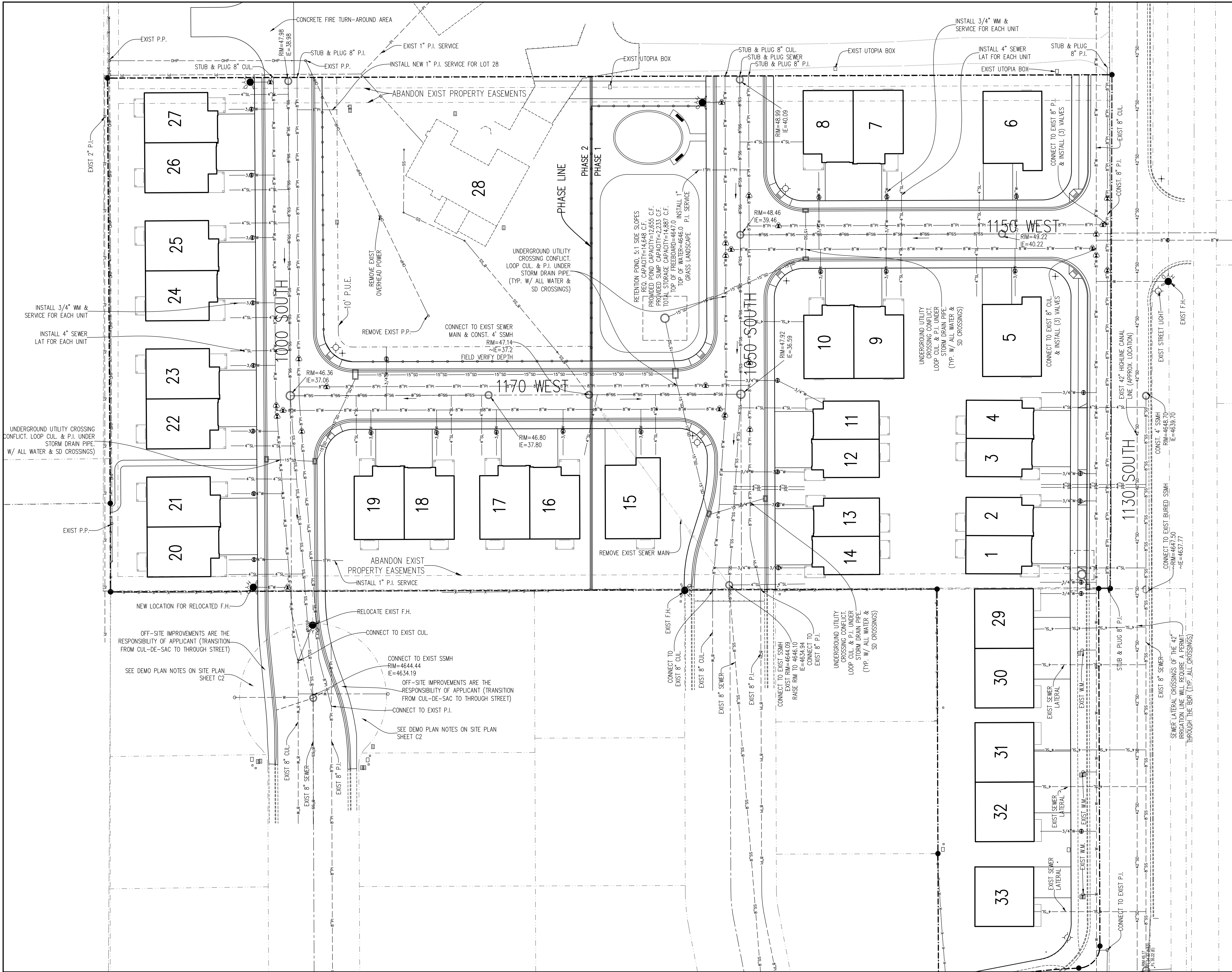
Developer: SWIFT CREEK PROPERTIES

Rob McNeil
Phone: 801-960-5500
Email: swiftcreekproperties@gmail.com

EXCE ENGINEERING

David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excecivil.com

IRON HORSE		UTAH
PAYSON	Drawn by: D.W.P.	Scale: 1"=40'
	Designed by: D.W.P.	Date: 04/17/20
	Checked by: D.W.P.	C2
PRELIMINARY SITE PLAN		

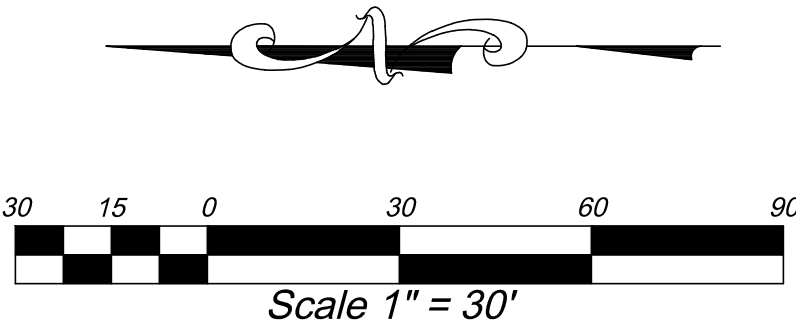


UTILITY LEGEND

- FIRE HYDRANT
- CULINARY/P.I. WATER VALVE
- CULINARY WATER PVC C-900
- P.I. WATER PVC C-900
- SEWER PIPE PVC SDR-35
- STORM DRAIN PIPE ADS
- EDGE OF ASPHALT
- EXIST FENCE
- NEW FENCE
- OVERHEAD POWER LINE
- BURIED POWER LINE
- TELEVISION LINE
- TELEPHONE LINE
- GAS LINE



CONSTRUCTION NOTE
ALL CONSTRUCTION TO CONFORM TO PAYSON CITY OR APWA STANDARDS AND SPECIFICATIONS.



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BENCH MARK

SOUTHEAST REFERENCE CORNER, SECTION 18, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ELEVATION = 4660.98 DATUM=NVGD29

Developer: SWIFT CREEK PROPERTIES
Rob McNeel
Phone: 801-860-5500
Email: swiftcreekproperties@gmail.com
EXCELSIOR ENGINEERING
David W. Peterson, P.E. License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excelsiorcivil.com

REVISIONS		
Rev.	Date	Description
1	06/12/20	REVISED PER CITY COMMENTS
2	07/07/20	REVISED PER CITY COMMENTS
IRON HORSE		
PAYSON		UTAH
Drawn by: D.W.P.	PRELIMINARY UTILITY PLAN	Scale: 1"=30'
Designed by: D.W.P.		Date: 04/17/20
Checked by: D.W.P.		U1

BUILDING INFO
TYPE OF BUILDING: WOOD FRAME – RESIDENTIAL
TYPE OF CONSTRUCTION: TYPE VB
TYPE OF OCCUPANCY: R2
NUMBER OF STORIES ABOVE GRADE PLANE: TWO
BUILDING HEIGHT ABOVE GRADE PLANE: 35' MAX HEIGHT
FIRE SPRINKLERS IN BUILDINGS: NO
FIRE FLOW DEMAND CALCULATIONS: 1500 GPM

SNOW REMOVAL STORAGE NOTE:
SNOW WILL BE PUSHED INTO AVAILABLE LANDSCAPE AREAS FOR STORAGE.

UTILITY LEGEND

- FIRE HYDRANT
- CULINARY/P.I. WATER VALVE
- CULINARY WATER PVC C-900
- P.I. WATER PVC C-900
- EDGE OF ASPHALT
- EXIST FENCE
- NEW FENCE

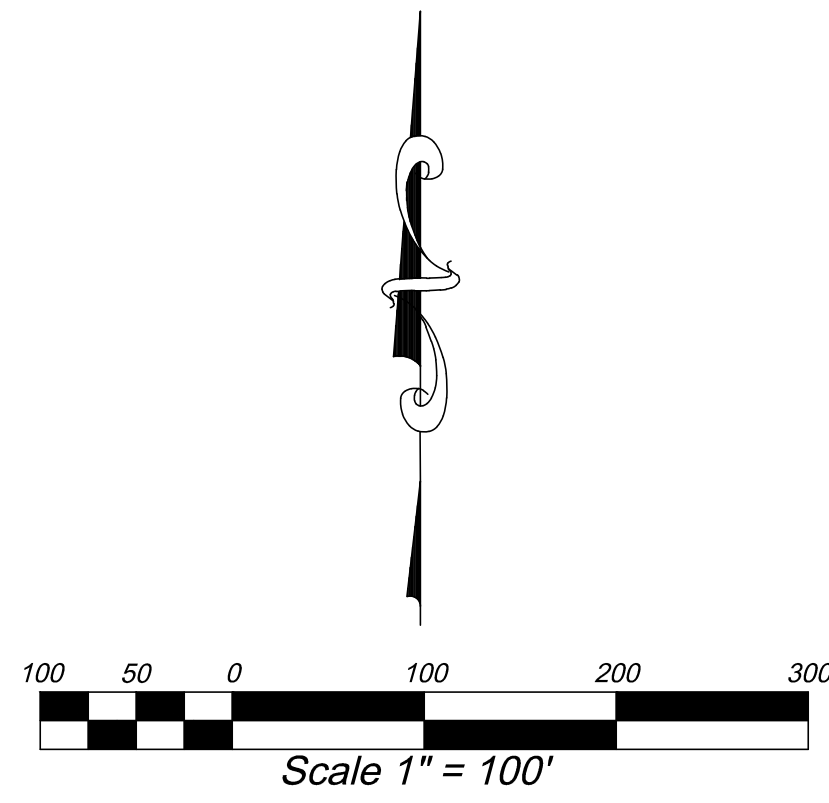
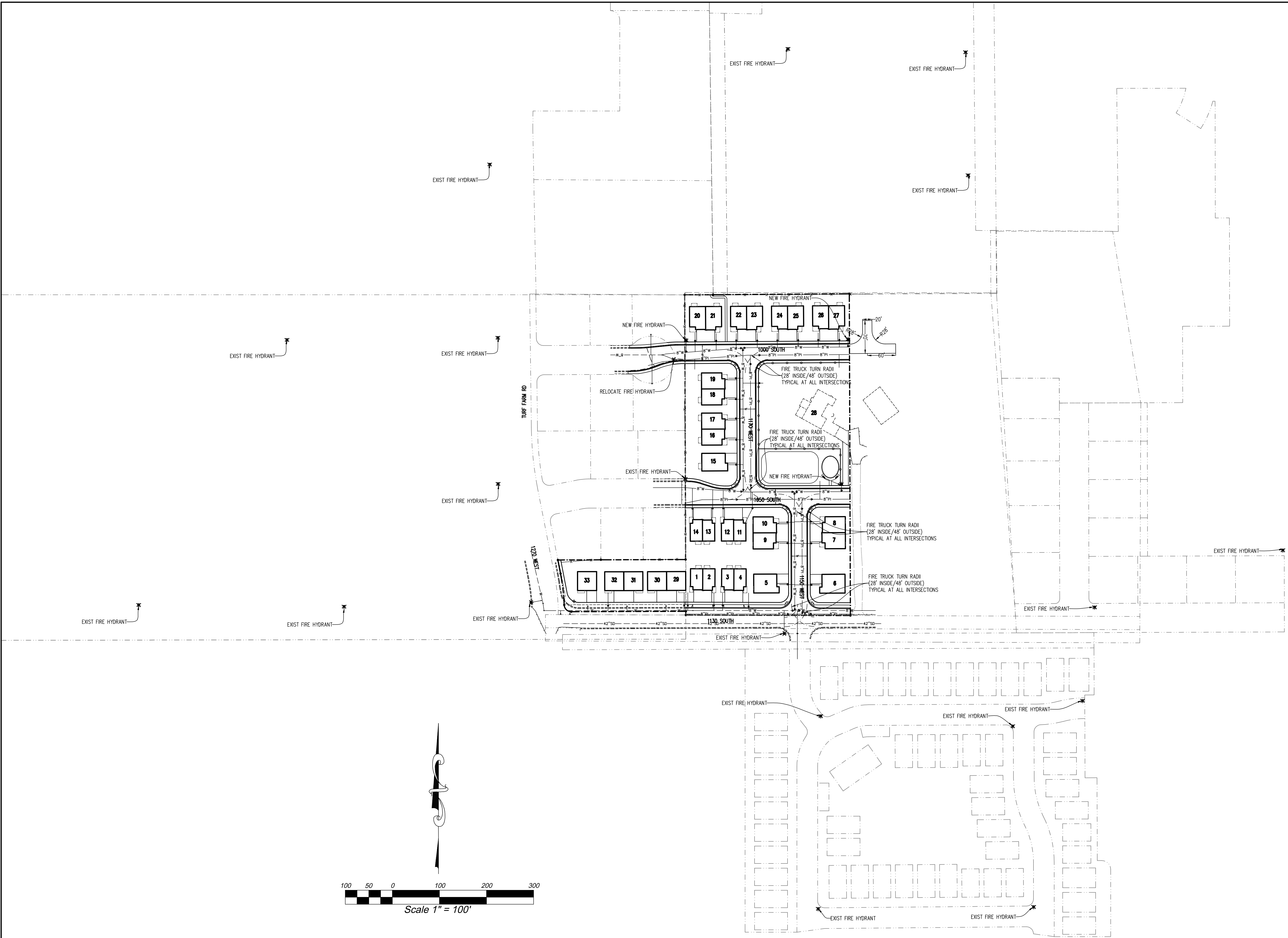
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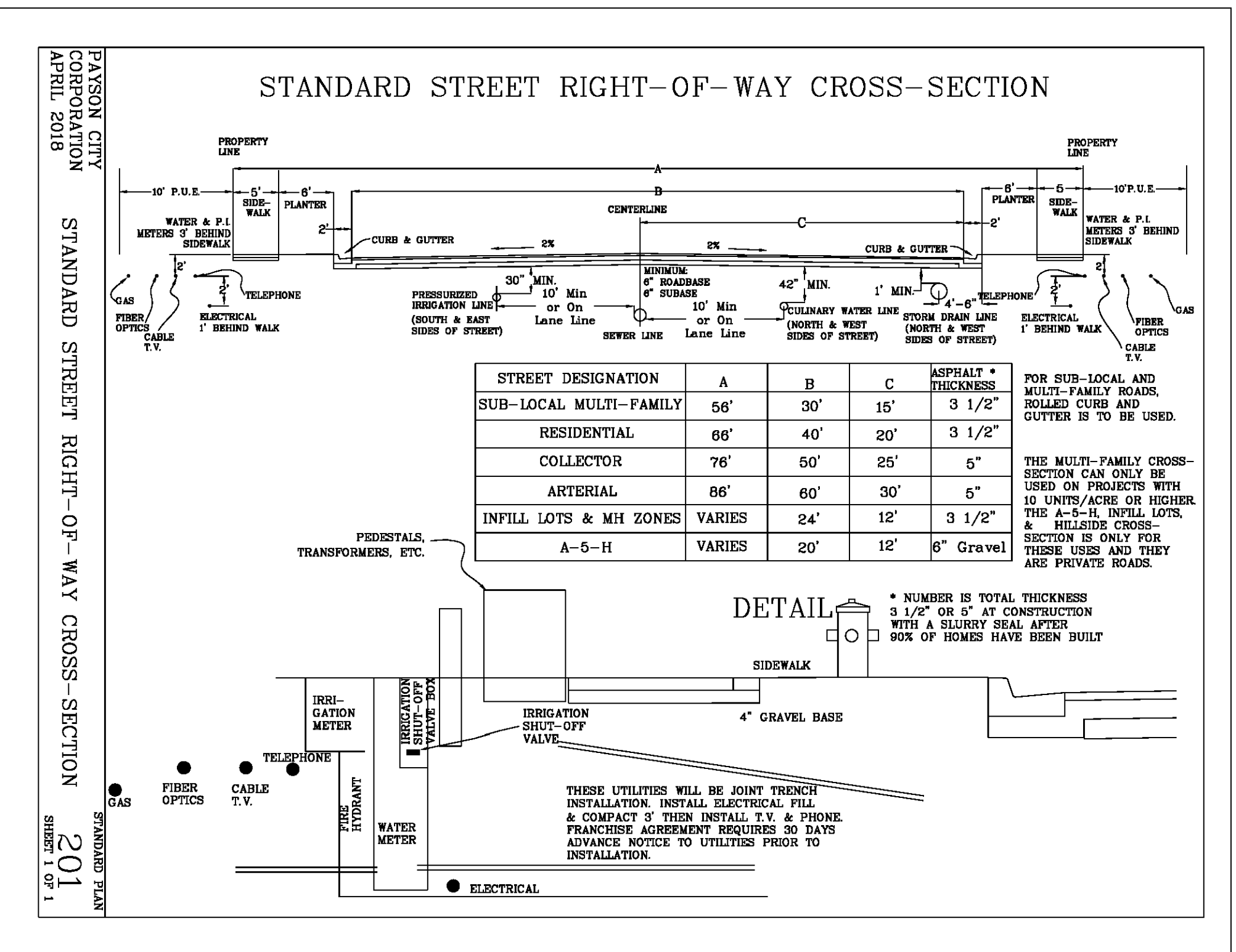
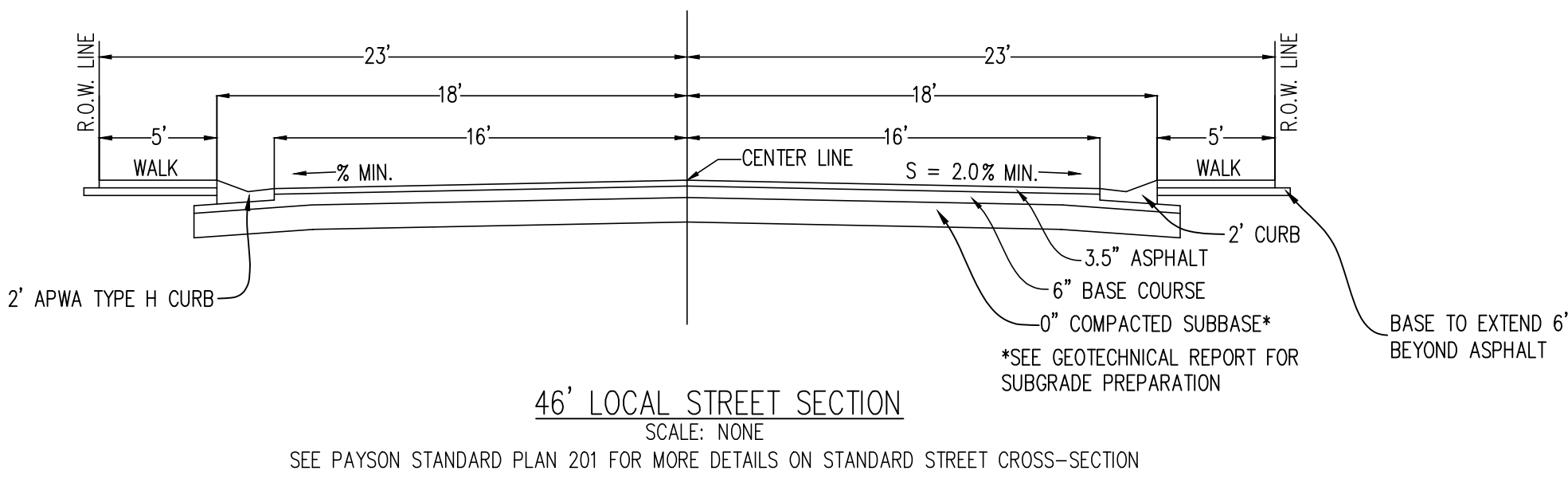
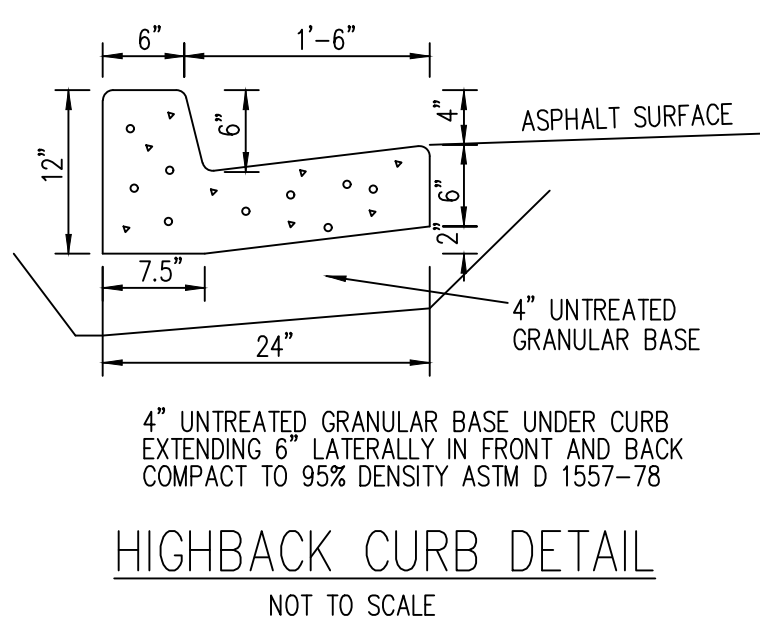
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		1	07/07/20	REVISD PER CITY COMMENTS		UTAH	
						Scale: 1"=100'	
						Date: 06/12/20	
						U2	
				 David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; david@excecivil.com		PRELIMINARY FIRE & RESCUE PLAN	



REVISIONS				Developer: SWIFT CREEK PROPERTIES		IRON HORSE			
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1	06/12/20	REVISED PER CITY COMMENTS		<div>EXCEL ENGINEERING</div> <div>David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504 dwp@excelengr.com</div>		Drawn by: D.W.P.	PRELIMINARY DETAIL SHEET		Scale: NTS
			Designed by: D.W.P.			Date: 04/17/20			
			Checked by:			D1			
			D.W.P.						

LANDSCAPE PLAN SPECIFICATIONS

- PART I - GENERAL
- 1.1 SUMMARY
- A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:
1. Soil Amendments
 2. Fine Grading
 3. Cultivation
 4. Landscape Edging
 5. Turf Planting
 6. Furnish and Installing Plant
 7. Maintenance
 8. Mowing
 9. Weeding
- 1.2 SITE CONDITIONS
- A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents are at a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Representative and the necessary changes shall be accomplished by Addendum.
- B. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.
- C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.
- 1.3 PERMITS
- A. Blue Stake/ Dig Line: When digging is required, "Blue Stake" or "Dig Line" the work site and identify the approximate location of all known underground utilities or structures.
- 1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY
- A. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unobtainable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.
- 1.5 FINAL INSPECTION
- A. All plants will be inspected at the time of Final Inspection prior to receiving a Landscape Substantial Completion for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Representative will be rejected and replaced immediately.
- 1.6 LANDSCAPE SUBSTANTIAL COMPLETION
- A. A Substantial Completion Certificate will only be issued by the Project Representative for "landscape and irrigation" in their entirety. Substantial Completion will not be proportioned to be designated areas of a project.
- 1.7 MAINTENANCE
- A. Plant Material: The Contractor is responsible to maintain all planted materials in a healthy and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-guying and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due to improper application of water.
- 1.8 GUARANTEE
- A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs, and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any plant will only need to be replaced once during the guarantee period. Contractor to provide documentation showing where each plant to be replaced is located. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be part of the guarantee
- PART II - PRODUCTS
- 2.1 LANDSCAPE MATERIALS
- A. Tree Staking: All trees shall be staked for one year warranty period. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.
- B. Tree Wrap: Tree wrap is not to be used.
- C. Mulch/Rock: See Plans. All planter beds to receive a minimum 3" layer for trees, shrubs, and perennials and 1" for groundcovers.
- D. Weed Barrier: DeWitt 5 oz. weed barrier fabric. Manufactured by DeWitt Company, dewittcompany.com or approved equal.
- E. Tree, Shrub, and Grass Backfill Mixture: Backfill mixture to be 50% native soil and 50% topsoil, thoroughly mixed together prior to placement.
- F. Topsoil: Required for turf areas, planter beds and Backfill Mixture. Acceptable topsoil shall meet the following standards:
- a. PH: 5.5-7.5
 - b. EC (electrical conductivity): < 2.0 mmhos per centimeter
 - c. SAR (sodium absorption ratio): < 3.0
 - d. % OM (percent organic matter): >1%
 - e. Texture (particle size per USDA soil classification): Sand <70%; Clay <30%; Silt <70%; Stone fragments (gravel or any soil particle greater than two (2) mm in size) <5% by volume.
- G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Only use sod from a single source.
- H. Landscape Edging: Headers and Edging six (6) inches by four (4) inches extruded concrete curb made up of the following materials:
- a. Washed mortar sand free of organic material.
 - b. Portland Cement (see concrete spec. below for type)
 - c. Reinforced fiber - Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites.
 - d. Only potable water for mixing.
- PART III - EXECUTION

- 3.1 GRADING
- A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.
- B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of one (1) inches for planters below grade of adjacent paved surfaced. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site.
- C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.
- 3.2 TURF GRADING
- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.
- 3.3 PLANTING OPERATIONS
- A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Prepare all holes according to the details on the drawings.
- B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.
- C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines.
- D. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball.
- E. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- G. Plant immediately after removal of container for container plants.
- H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.
- I. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.
- J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added. It should be a course mix as required to establish finish grade as indicated on the drawings.
- K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.
- L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.
- 3.4 TURF - SOD LAYING
- A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.
- B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of ½ pound of nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
- C. Sod Availability and Condition: The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so as too completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to commencing the work.
- D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified above. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.
- E. Sod shall be tamped lightly as each piece is set to insure that good contact is made between edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.
- F. Apply water directly after laying sod. Rainfall is not acceptable.
- G. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner to the end of the Maintenance period. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system. It is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.
- H. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with strings or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc. until such time as the lawn is accepted by the Owner.
- I. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.
- 3.5 WEED BARRIER
- A. Cut a slit or x at each plant location no larger than necessary to install plant.
- B. Overlap rows of fabric min. 6"
- C. Stable fabric edges and overlaps to ground.
- END OF SECTION



LANDSCAPE GENERAL NOTES

- INSTALLER RESPONSIBILITIES AND LIABILITIES
1. THESE PLANS ARE FOR BASIC DESIGN LAYOUT AND INFORMATION. THE INSTALLER IS REQUIRED TO REFER TO THEIR INDIVIDUAL TRADE - SCOPE OF WORK. OWNER ASSUMES NO LIABILITIES FOR INADEQUATE ENGINEERING CALCULATIONS, MANUFACTURER PRODUCT DEFECTS, INSTALLATION OF ANY LANDSCAPING AND COMPONENTS, OR TIME EXECUTION.
 2. THE INSTALLER OF ALL LANDSCAPING AND IRRIGATION SYSTEMS ARE LIABLE AND RESPONSIBLE FOR ALL JURISDICTIONAL AND CODE REQUIREMENTS, TIME EXECUTIONS, AND INSTALLED PRODUCTS AND MATERIALS.
- GRADING AND DRAINAGE REQUIREMENTS
1. ALL GRADING IS TO SLOPE AWAY FROM THE STRUCTURE PER CODE.
 2. FINISHED GRADE IS NOT PERMITTED BY CODE TO DRAIN ON NEIGHBORING PROPERTIES
 3. 6" MIN. FOUNDATION LEFT EXPOSED AT ALL CONDITIONS
 4. LANDSCAPER TO MAINTAIN OR IMPROVE EXISTING FINAL GRADE AND PROPER DRAINAGE ESTABLISHED BY THE EXCAVATOR'S FINAL GRADE ACTIVITIES INCLUDING ANY MAINTENANCE, PRESERVATION, OR EXAGGERATION OF SLOPES, BERMS, AND SWALES.
 5. IF ANY SWALE, BERM, OR GRADE HAS BEEN DAMAGED OR IS INCORRECT TO ENSURE CORRECT WATER FLOW THE TRADE CONTRACTOR IS RESPONSIBLE TO FIX STATED ISSUE.
 6. ROOF RUN-OFF DEVICES SHOULD BE INSTALLED TO COLLECT AND DISCHARGE ALL ROOF RUNOFF A MINIMUM OF 10 FEET FROM FOUNDATION ELEMENTS OR BEYOND THE LIMITS OF BACKFILL AROUND THE FOUNDATION WALLS, WHICHEVER DISTANCE IS GREATER.
 7. THE GROUND SURFACE WITHIN 10 FEET OF THE FOUNDATIONS SHOULD BE SLOPED TO DRAIN AWAY FROM THE STRUCTURE WITH A MINIMUM FALL OF 6 INCHES.
- LANDSCAPING REQUIREMENTS
1. ALL LANDSCAPING IS TO BE INSTALLED PER ALL GOVERNING JURISDICTIONS I.E. INTERNATIONAL BUILDING CODE, CITY CODES.
 2. NON-COMPLIANCE TO ALL GOVERNING JURISDICTION REQUIREMENTS AND REGULATION ARE THE RESPONSIBILITY OF THE LANDSCAPING INSTALLER.
 3. ALL PLANTED LANDSCAPING IS TO BE INSTALLED ACCORDING TO THE NURSERY CARE AND INSTALLATION INSTRUCTIONS WHERE PURCHASED AND BASED ON INDIVIDUAL SOIL CONDITIONS AND SITE CONDITIONS.

SITE REQUIREMENT CALCULATIONS

TREE COUNT:	REQUIRED:	PROVIDED:
2 TREES / RESIDENCE	64	64
3 SHRUBS / RESIDENCE	96	346

10% SITE AREA LANDSCAPING REQUIREMENT

DEVELOPMENTS THAT INCORPORATE LIMITED WATER USE LANDSCAPING INTO THE DEVELOPMENT ARE ELIGIBLE FOR UP TO A TWO (2) PERCENT DENSITY INCREASE

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
AGA	AGA	16	Amelanchier x grandiflora 'Autumn Brilliance'	20 gal.	Multi-trunked
MSS	MSS	17	Malus x 'Spring Snow'	2" Cal	
ULP	ULP	10	Ulmus parvifolia	2" Cal	
ZSV	ZSV	12	Zelkova serrata 'Village Green'	2" Cal	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
PAP	PAP	9	Picea abies 'Pendula'	6' MIN.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
BO	BO	22	Berberis thunbergii 'Golden Rocket'	5 gal	
BM	BM	72	Buxus microphylla japonica 'Winter Gem'	5 gal	
Cs	Cs	9	Cornus stolonifera 'Arctic Fire'	5 gal	
CP	CP	23	Cytisus purgans 'Spanish Gold'	5 gal	
Ha2	Ha2	8	Hibiscus syriacus 'DVPazzuri' TM	5 gal	
JC	JC	16	Juniperus chinensis 'Daub's Frosted'	5 gal	
PH	PH	72	Pennisetum alopecuroides 'Harmeln'	5 gal	
OL	OL	17	Prunus laurocerasus 'Otto Luyken'	5 gal	
TD	TD	21	Taxus x media 'Densiformis'	5 gal	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
EP	EP	42	Echinacea purpurea	1 gal	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
C	C	44	Calamagrostis x acutiflora 'Karl Foerster'	1 gal	

REFERENCE NOTES SCHEDULE

SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
1-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 16% "BLUESTAR KENTUCKY BLUEGRASS, 16% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NEWPORT" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 16% "APM PERENNIAL RYEGRASS, 13% "ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR (FOOT) 1/4" DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH. NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	42,488 sf
1-03	STONE MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF STONE MULCH TOP DRESSING.	24,152 sf
1-08	5.5" DEEP STEEL EDGING - INSTALL PER MANUFACTURER SPECIFICATION.	4,405 lf

LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
3. NEW LAWN AREAS TO BE SODDED WITH DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
4. SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW LAWN AREAS AND 4" IN ALL PLANTER AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE.
5. 4"XB" EXTRUDED CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. ANY TREES LOCATED IN LAWN MUST HAVE A 4" CONCRETE TREE RING.
6. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN.
7. ROCK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL. PULL BARK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
8. CONTRACTOR TO PROVIDE NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED IN ALL LANDSCAPE AREAS. ALL LAWN AREA TO RECEIVE 100% HEAD TO HEAD COVERAGE WITH SPRAY AND ROTARY SPRINKLER HEADS. ALL PLANTER AREAS NEED TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB ON PROJECT. SEE IRRIGATION PLAN.

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION
07/07/2020	UT20051	<div>811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org</div> <div> 0' 25' 50' 100' 200' GRAPHIC SCALE: 1" = 50'</div>	
NO.	REVISION	DATE	
1	XXXX	XX-XX-XX	
2			
3			
4			
5			
6			
7			

IRON HORSE
1130 SOUTH 1150 WEST
PAYSON, UT

DEVELOPER / PROPERTY OWNER / CLIENT

Developer / Property Owner:

SWIFT CREEK PROPERTIES
C/O ROB MCNEEL
801-860-5500
SWIFTCREEKPROPERTIES.COM

Client / Engineer:

DAVID W. PETERSON, P.E.
12 West 100 North, SUITE # 201
AMERICAN FORK, UTAH 84003 (801) 756-4504

LANDSCAPE ARCHITECT / PLANNER

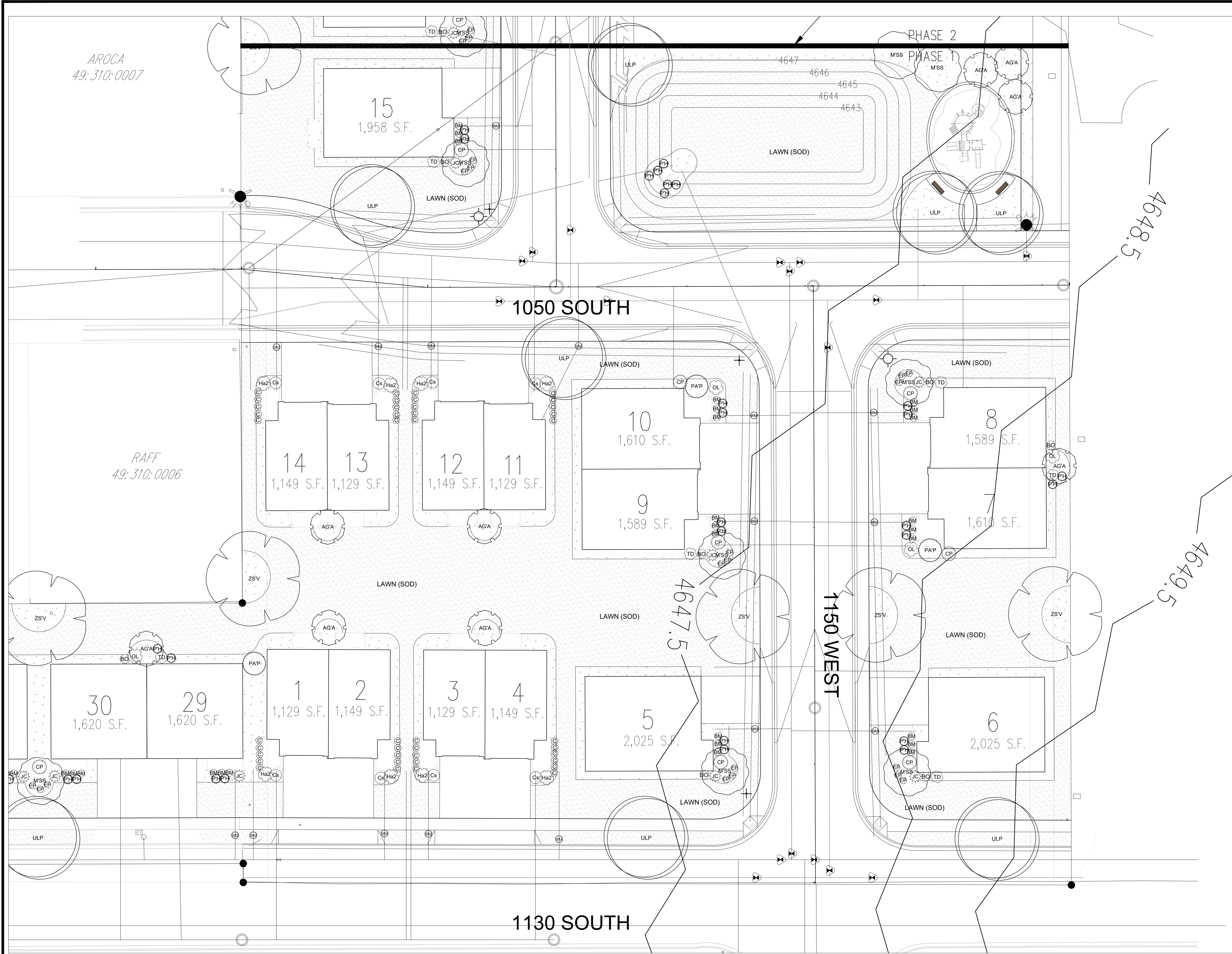
LANDSCAPE ARCHITECT: PKJ DESIGN GROUP
Landscape Architecture • Planning & Visualization
3450 N. TRIUMPH BLVD, SUITE 102
LEHI, UTAH 84043 (801) 960-2698
www.pkjdesigngroup.com

LICENSE STAMP

DRAWING INFO

PM: JTA
DRAWN: KBA
CHECKED: TM
PLOT DATE: 7/7/2020

LANDSCAPE PLAN
PRELIMINARY PLANS NOT FOR CONSTRUCTION
LP-100



PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
AGA	AGA	16	Amelanchier x grandiflora 'Autumn Brilliance' 'Autumn Brilliance' Serviceberry	20 gal.	Multi-trunked
MSS	MSS	17	Malus x 'Spring Snow' Spring Snow Crab Apple	2" Cal	
ULP	ULP	10	Ulmus parvifolia Lacebark Elm	2" Cal	
ZSV	ZSV	12	Zelkova serrata 'Village Green' Sawleaf Zelkova	2" Cal	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
PAP	PAP	9	Picea abies 'Pendula' Weeping Norway Spruce	6" MIN.	
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
BO	BO	22	Berberis thunbergii 'Golden Rocket' Golden Rocket Barberry	5 gal	
BM	BM	72	Buxus microphylla japonica 'Winter Gem' Winter Gem Boxwood	5 gal	
Cs	Cs	9	Cornus stolonifera 'Arctic Fire' Arctic Fire Dogwood	5 gal	
CP	CP	23	Cytisus purgans 'Spanish Gold' Spanish Gold Broom	5 gal	
Ha2	Ha2	8	Hibiscus syriacus 'DVPazzuri' TM Azuri Blue Satin Hibiscus	5 gal	
JC	JC	16	Juniperus chinensis 'Daub's Frosted' Daub's Frosted Juniper	5 gal	
PH	PH	72	Pennisetum alopecuroides 'Haineln' Haineln Fountain Grass	5 gal	
OL	OL	17	Prunus laurocerasus 'Otto Luyken' Luykens Laurel	5 gal	
TD	TD	21	Taxus x media 'Densiformis' Dense Yew	5 gal	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
EP	EP	42	Echinacea purpurea Purple Coneflower	1 gal	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
C	C	44	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal	

REFERENCE NOTES SCHEDULE

SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
1-01	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% "BLUESTAR KENTUCKY BLUEGRASS, 19% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NEWPORT" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 16% "APM PERENNIAL RYEGRASS, 13% "ACCENT PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4") DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	42,488 sf
1-03	STONE MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF STONE MULCH TOP DRESSING.	24,152 sf
1-08	5.5" DEEP STEEL EDGING - INSTALL PER MANUFACTURER SPECIFICATION.	4,405 lf

ISSUE DATE

07/07/2020

PROJECT NUMBER

UT20051

PLAN INFORMATION

811

BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
1-800-662-4111
www.bluestakes.org

GRAPHIC SCALE: 1" = 20'

PROJECT INFORMATION

IRON HORSE

1130 SOUTH 1150 WEST

PAYSON, UT

DEVELOPER / PROPERTY OWNER / CLIENT

Developer / Property Owner:

SWIFT CREEK PROPERTIES
C/O ROB MCNEEL
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Client / Engineer:

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LANDSCAPE ARCHITECT / PLANNER

Landscape Architecture / Planning & Visualization
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LICENSE STAMP

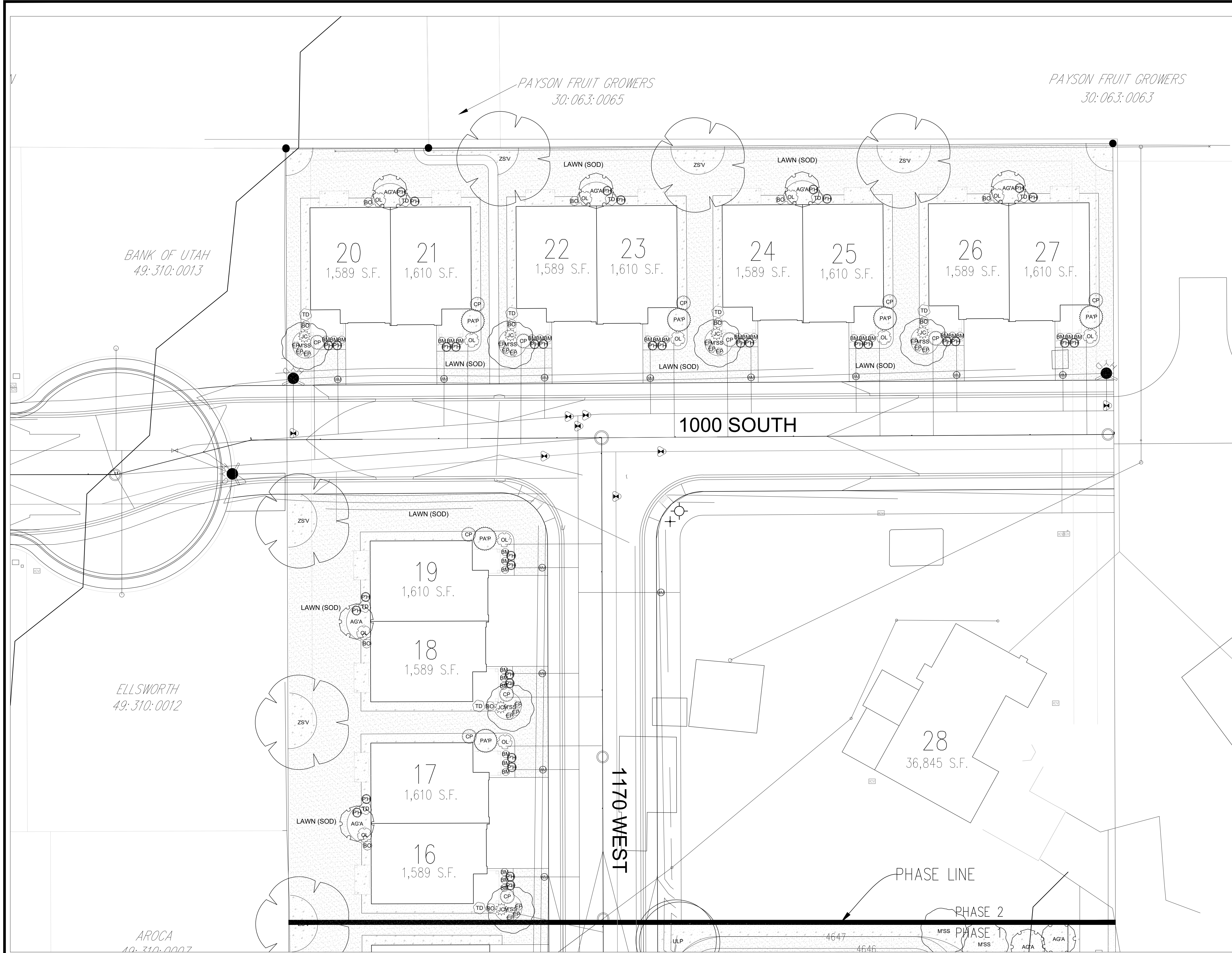
DRAWING INFO

PM: JTA
DRAWN: KBA
CHECKED: TM
PLOT DATE: 7/7/2020

LANDSCAPE PLAN

PRELIMINARY PLANS NOT FOR CONSTRUCTION

LP-101




PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL
	AGA	16	Amelanchier x grandiflora 'Autumn Brilliance' 'Autumn Brilliance' Serviceberry	20 gal.	Multi-trunked
	MSS	17	Malus x 'Spring Snow' Spring Snow Crab Apple	2" Cal	
	ULP	10	Ulmus parvifolia Lacebark Elm	2" Cal	
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	CP	23	Cytisus purgans 'Spanish Gold' Spanish Gold Broom	5 gal	
	Ha2	8	Hibiscus syriacus 'DVPazzuri' TM Azuri Blue Satin Hibiscus	5 gal	
	JC	16	Juniperus chinensis 'Daub's Frosted' Daub's Frosted Juniper	5 gal	
	PH	72	Pennisetum alopecuroides 'Hamel' Hamel Fountain Grass	5 gal	
	OL	17	Prunus laurocerasus 'Otto Luyken' Luykens Laurel	5 gal	
	TD	21	Taxus x media 'Densiformis' Dense Yew	5 gal	
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
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GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	
	C	44	Calamagrostis x acutiflora 'Karl Foerster' Feather Reed Grass	1 gal	

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SYMBOL	1 LANDSCAPE DESCRIPTION	QTY
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	STONE MULCH PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS. PROVIDE 3" DEPTH OF STONE MULCH TOP DRESSING.	24,152 sf
	5.5" DEEP STEEL EDGING - INSTALL PER MANUFACTURER SPECIFICATION.	4,405 lf

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811

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0' 10' 20' 40' 80'

GRAPHIC SCALE: 1" = 20'

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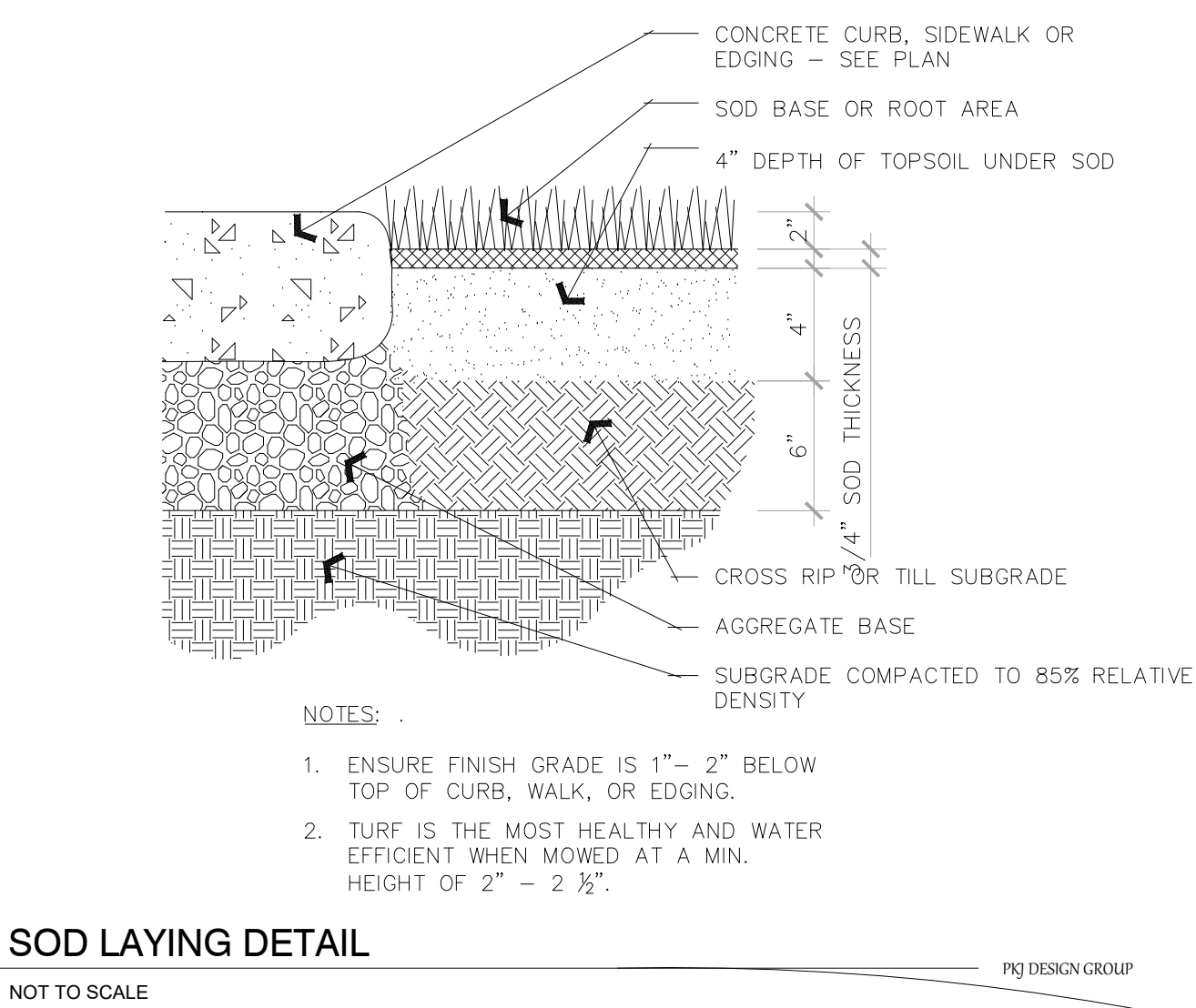
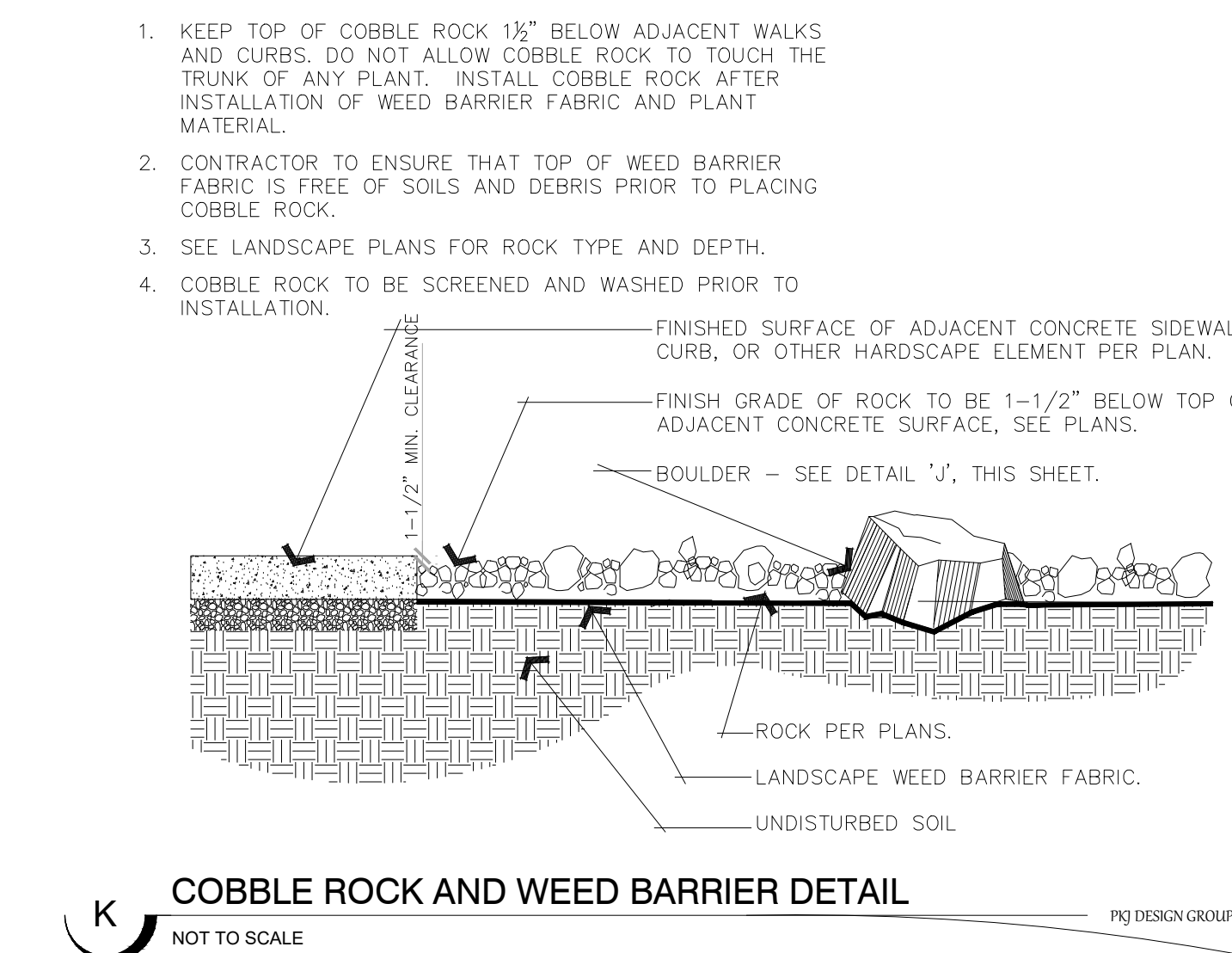
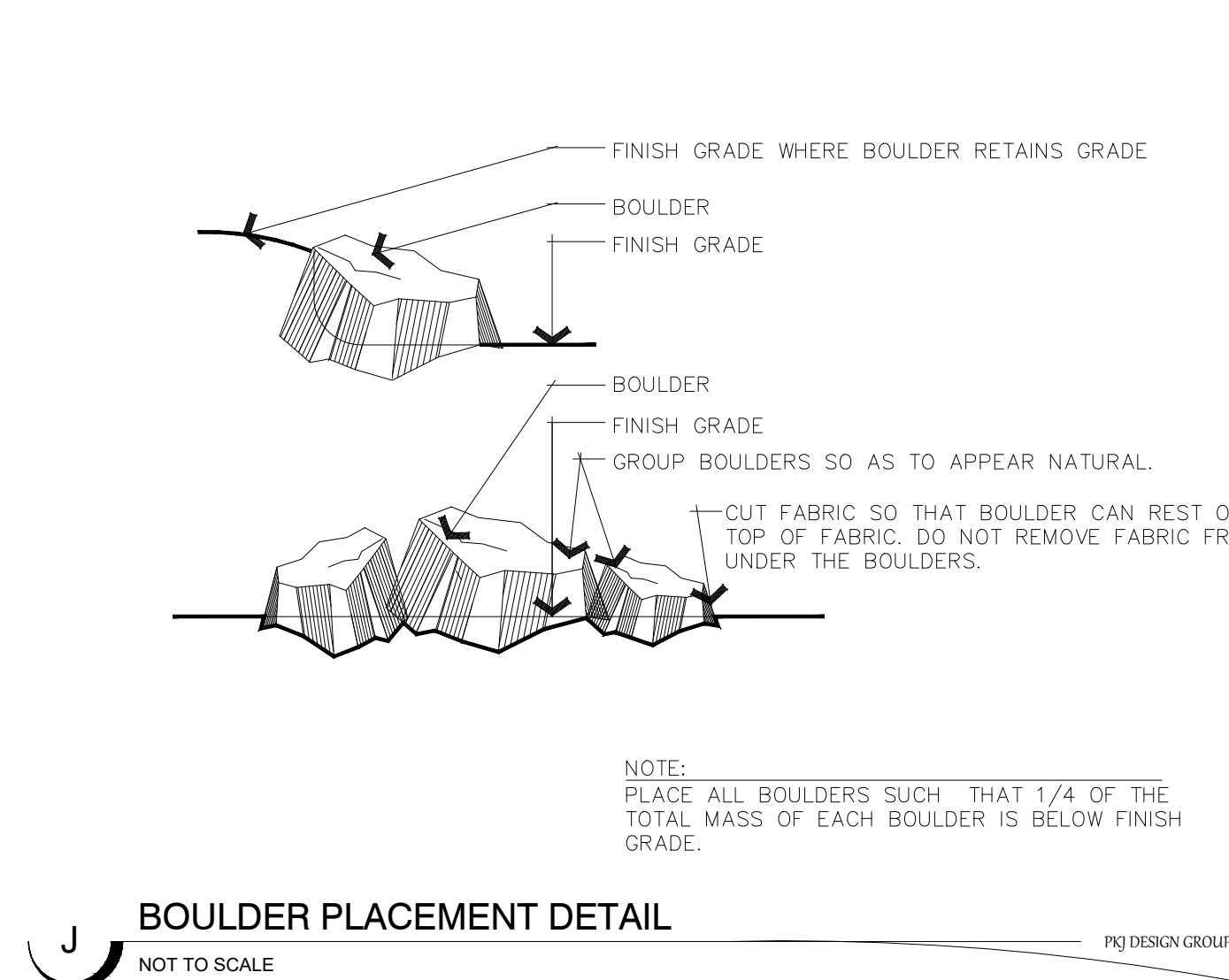
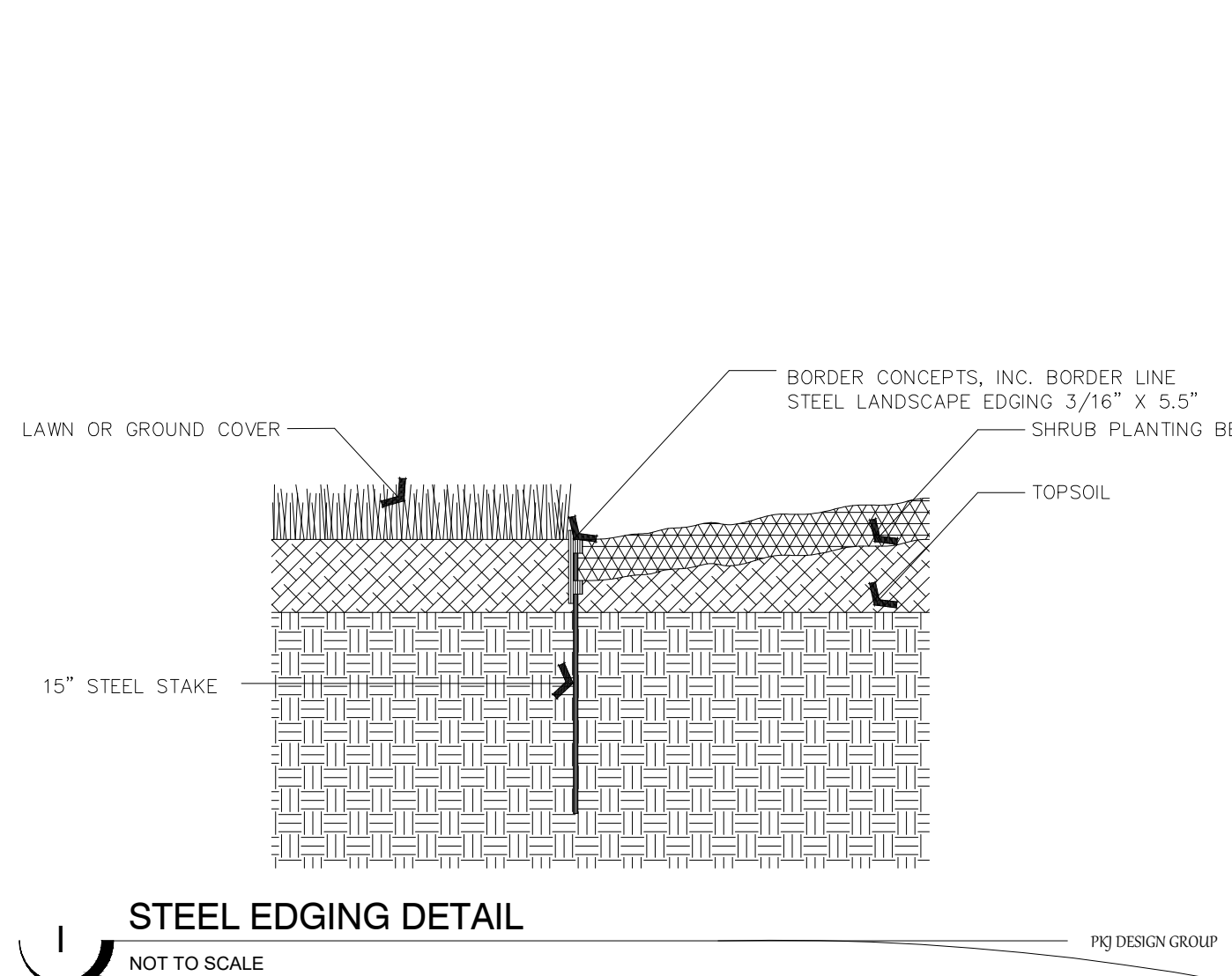
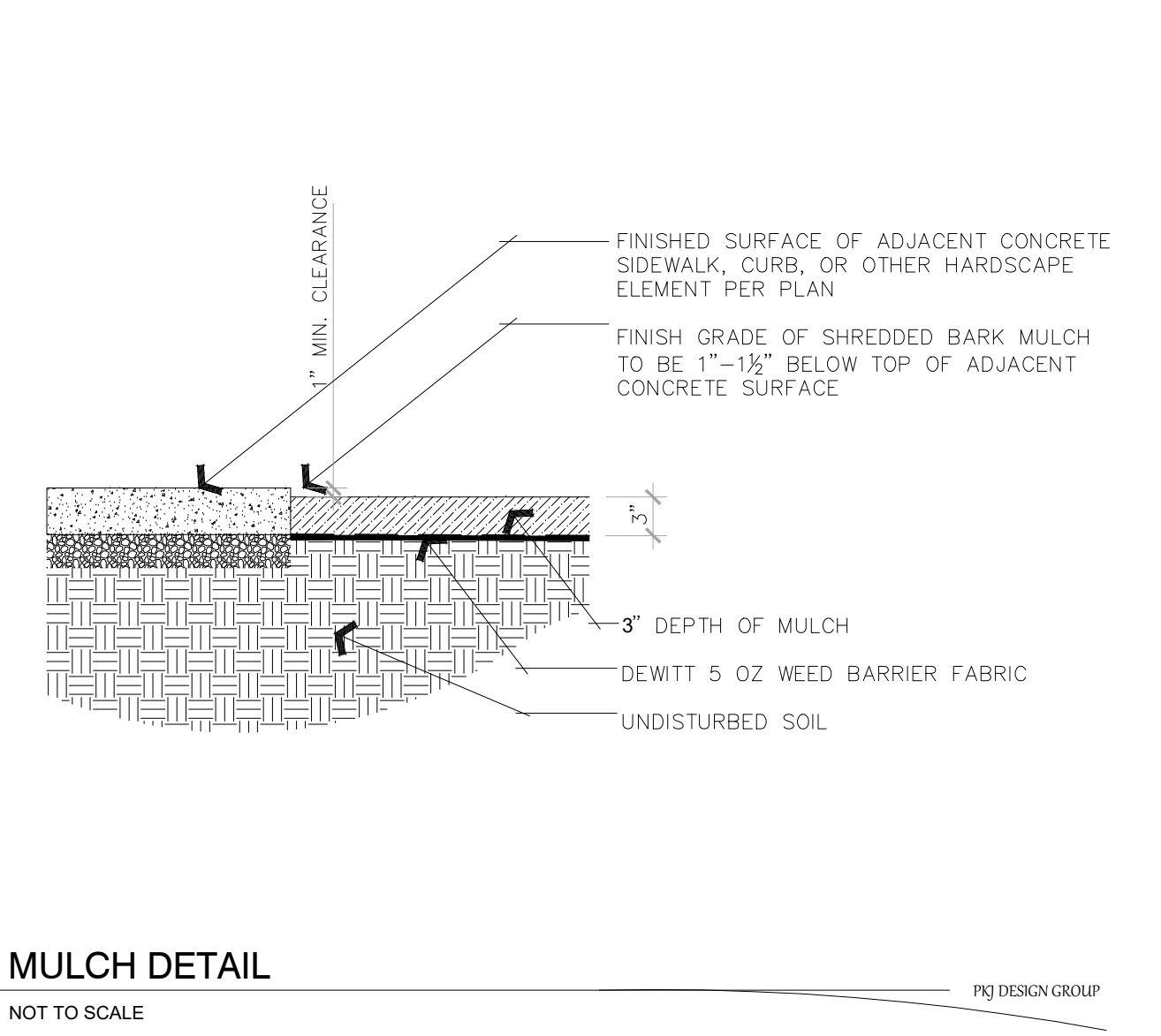
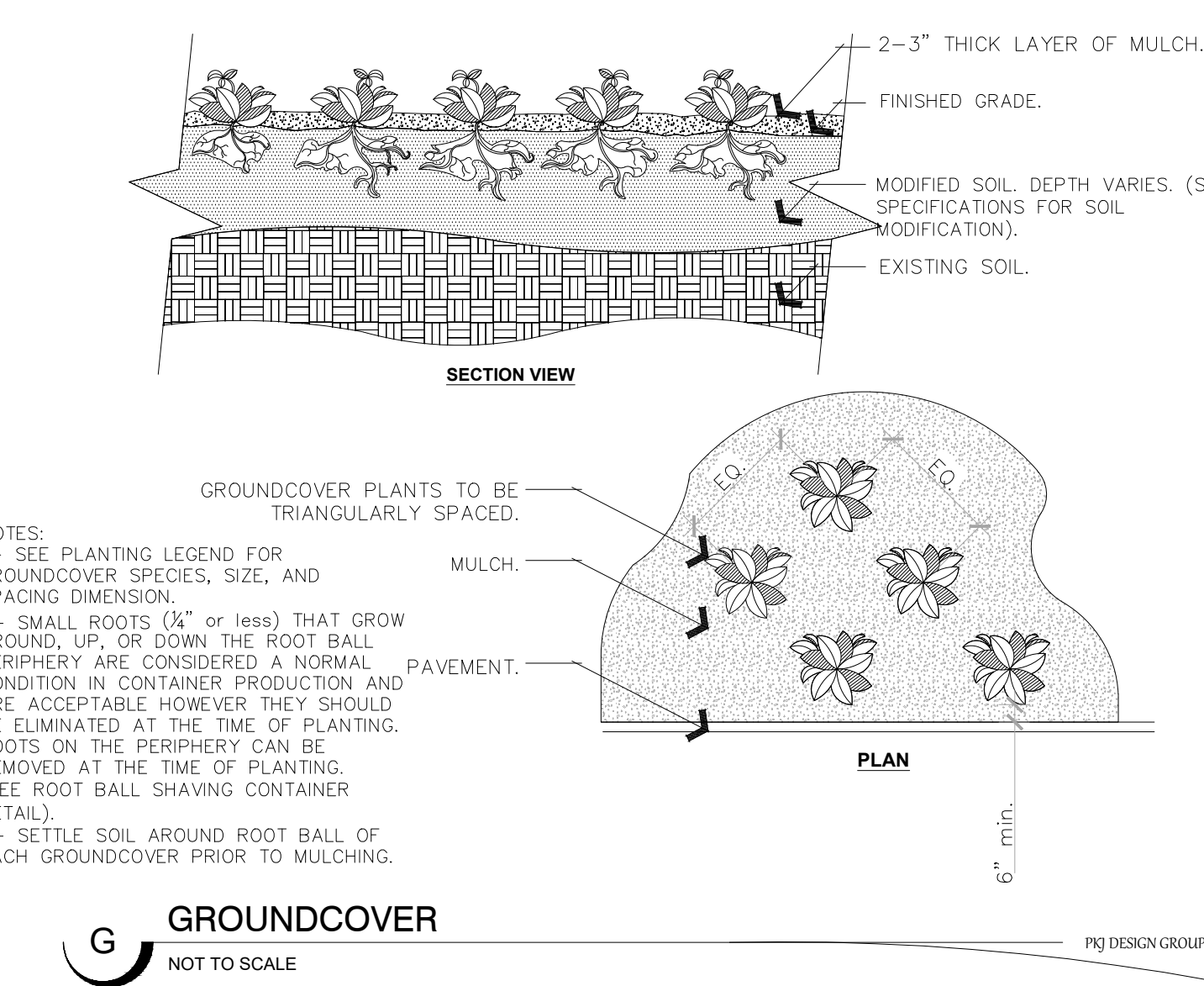
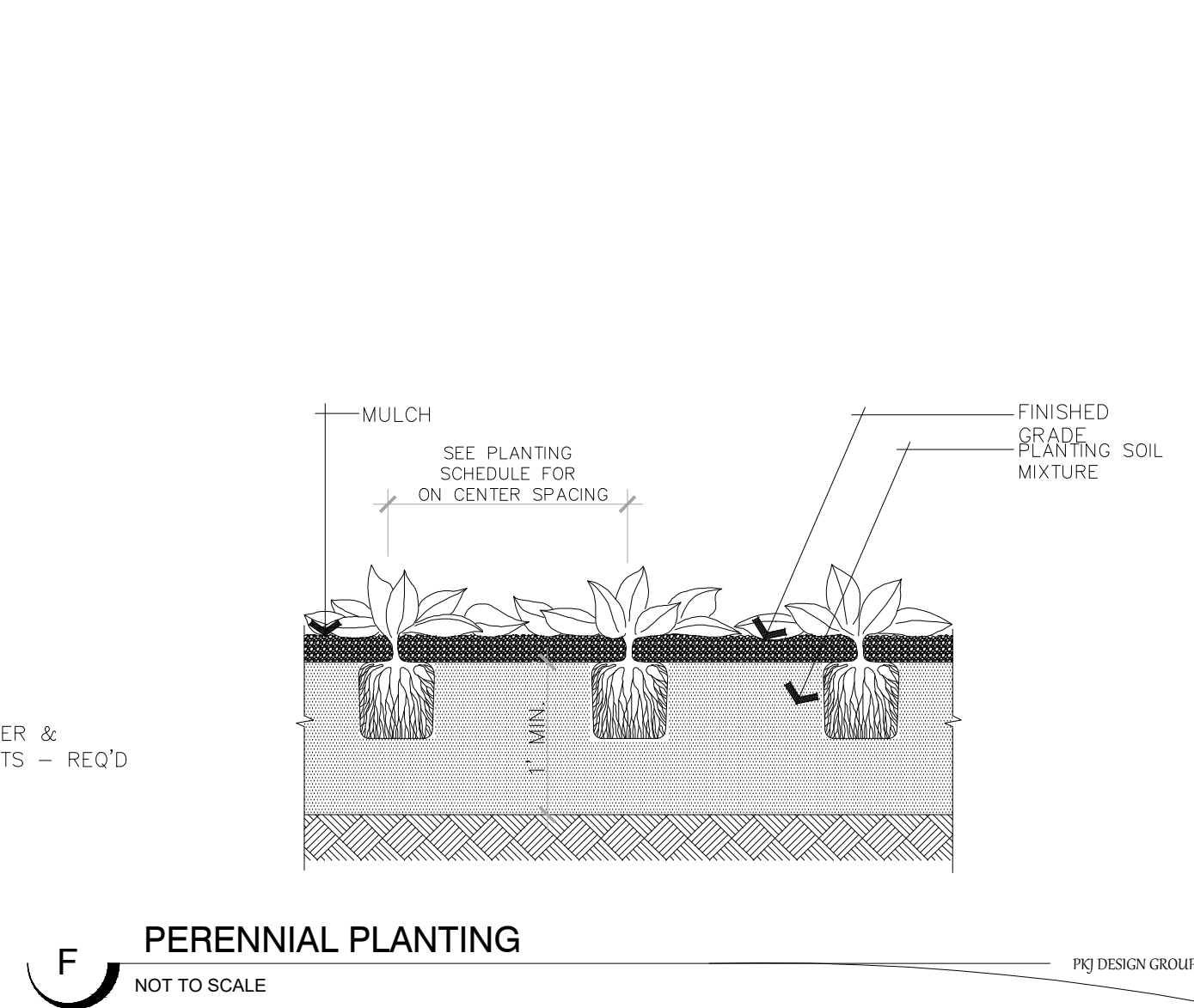
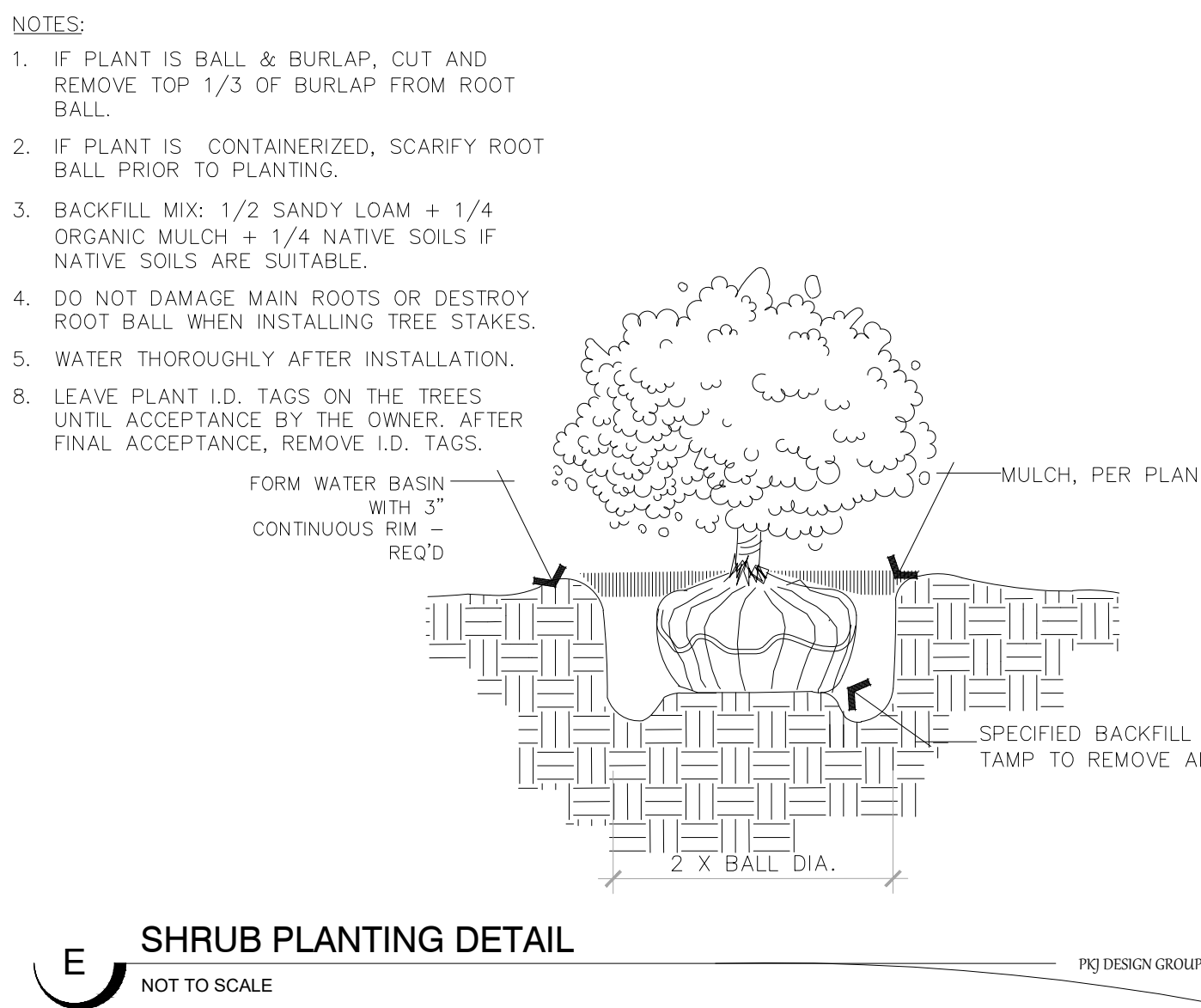
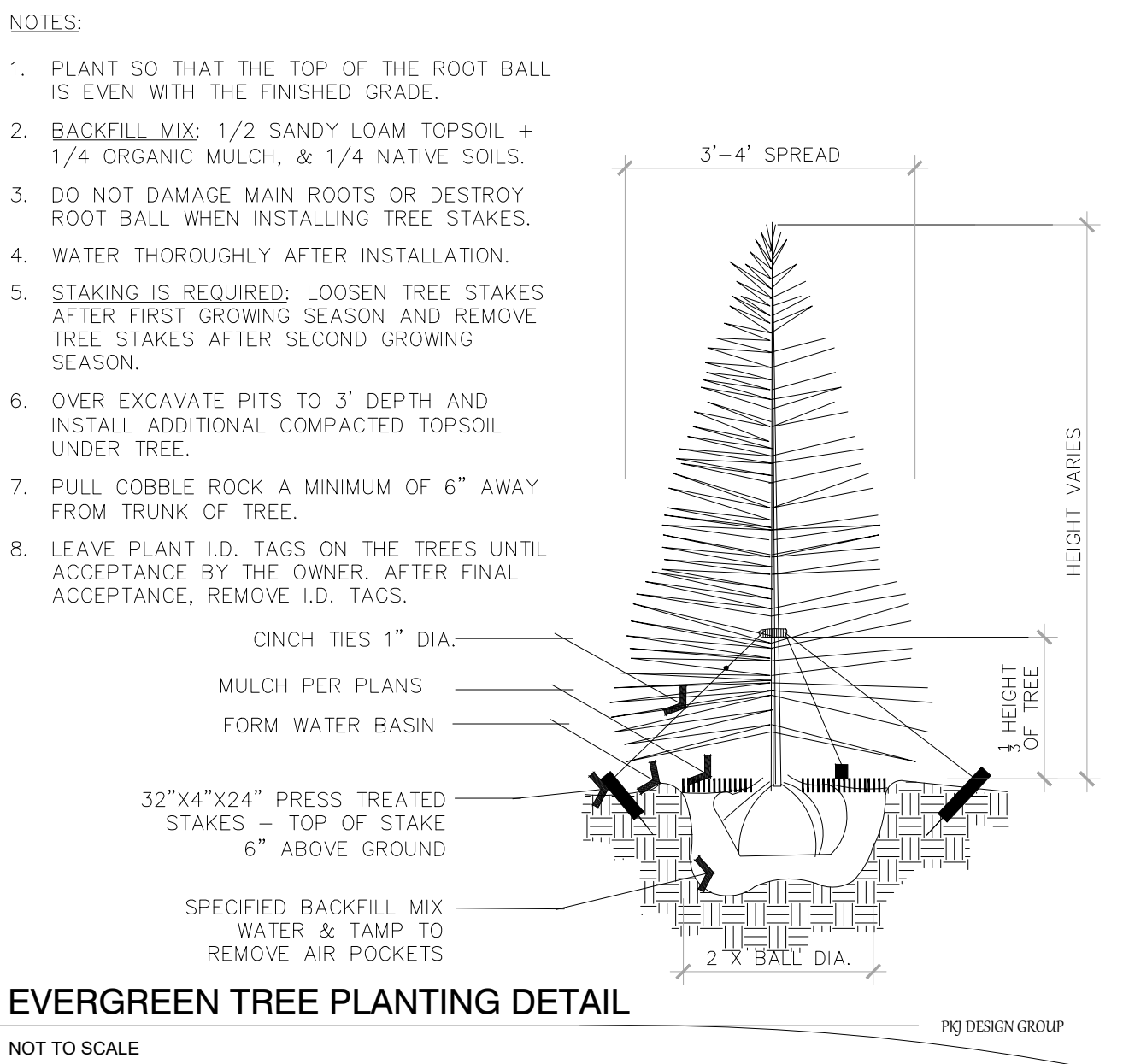
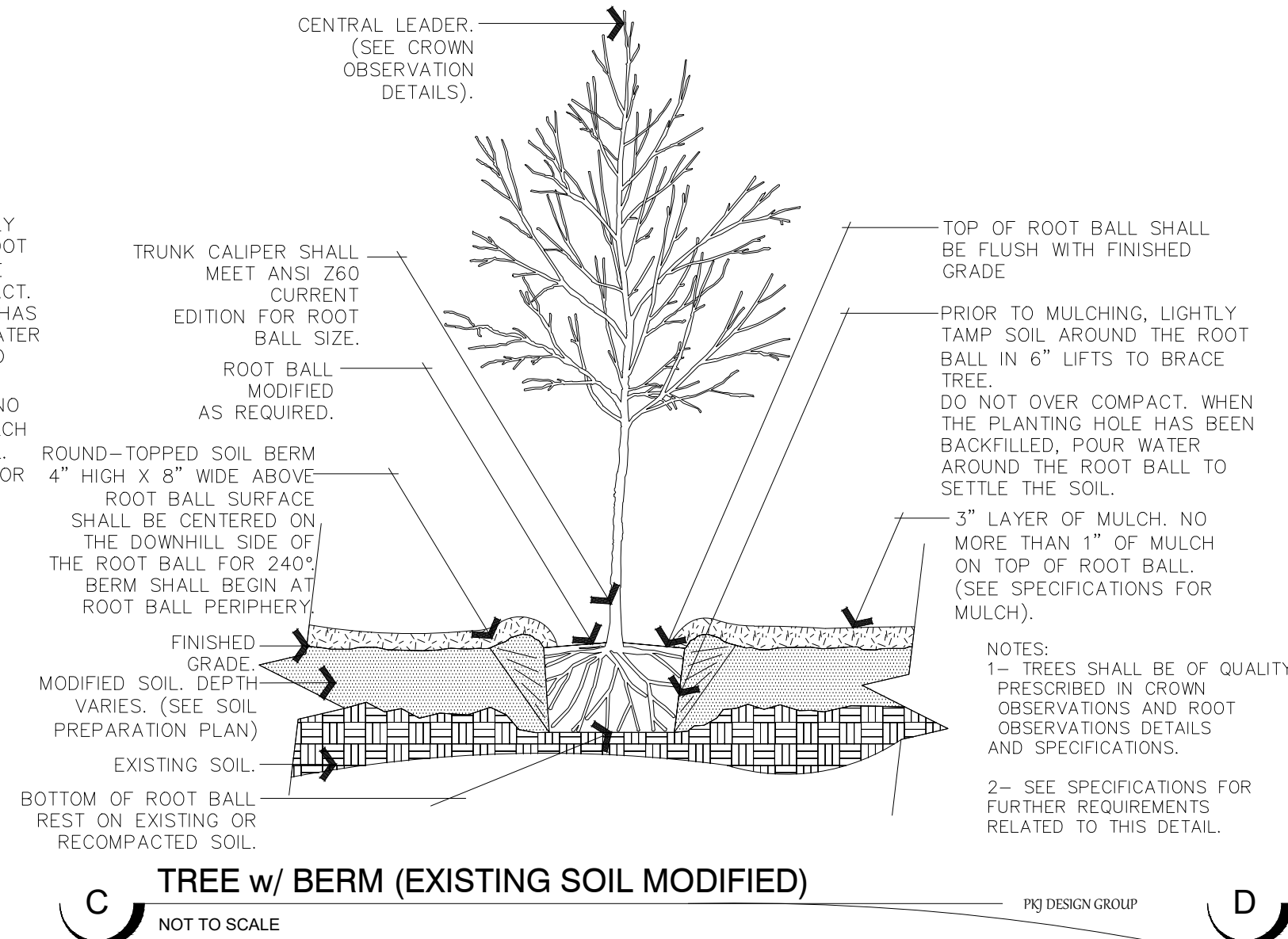
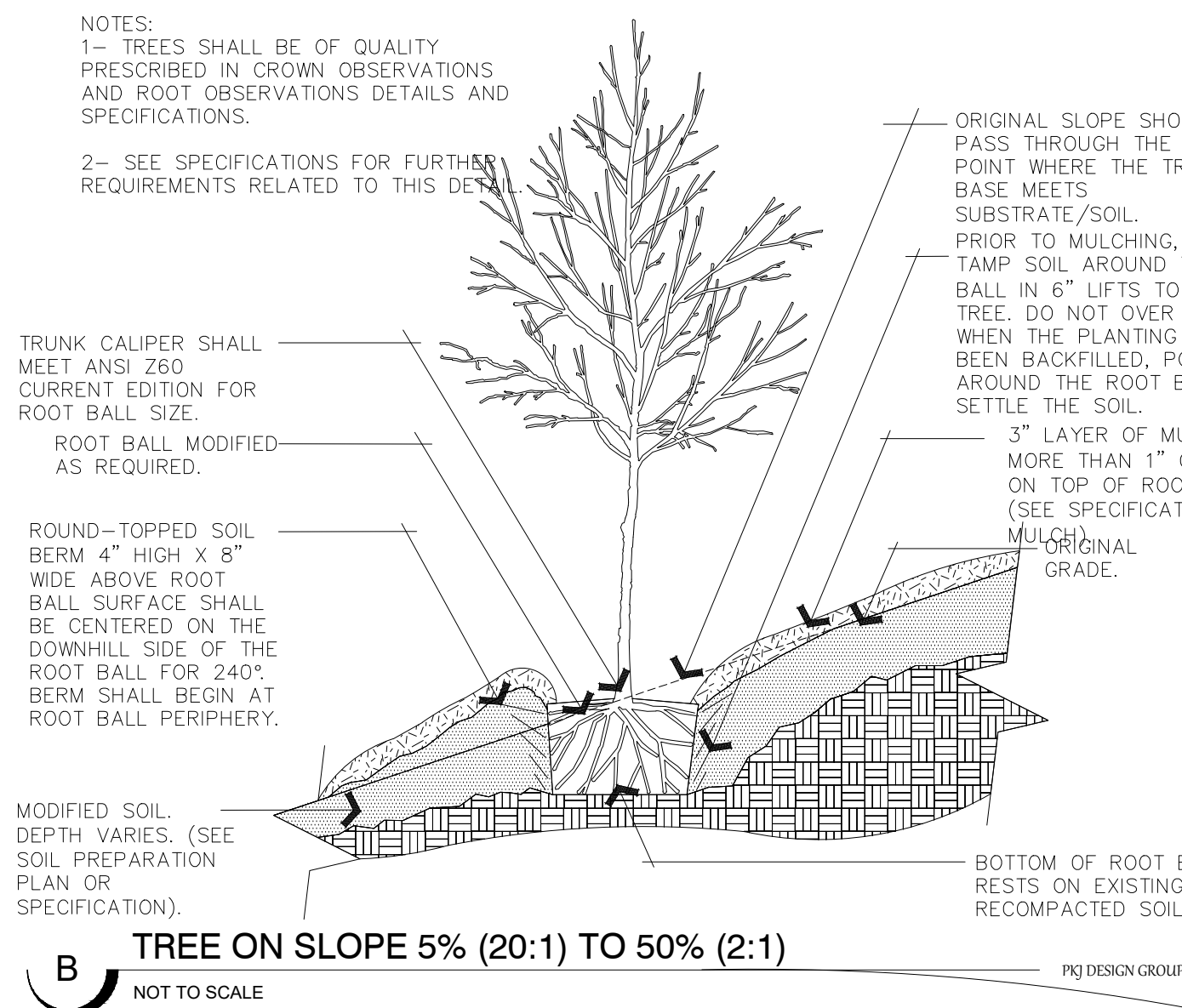
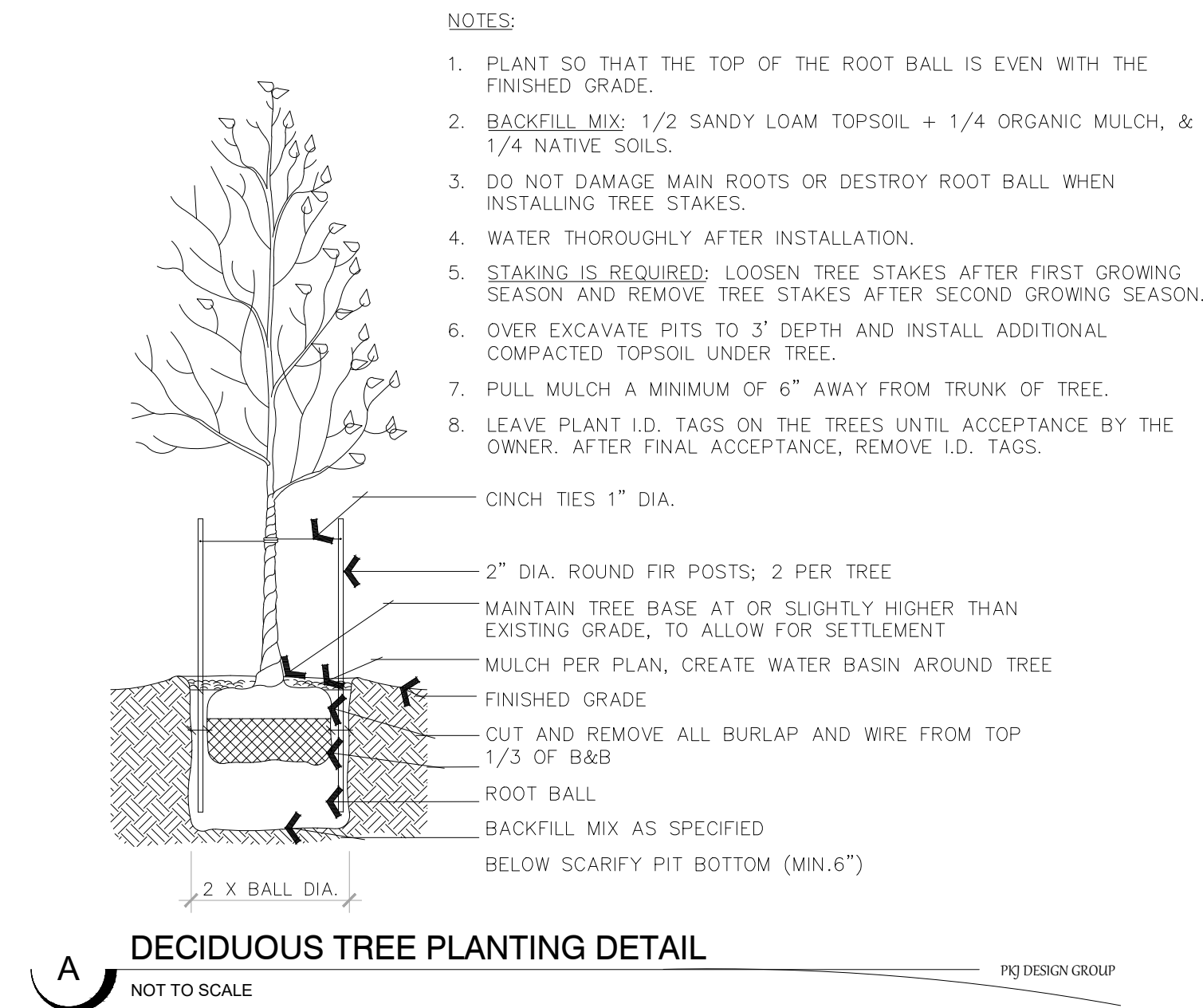
LICENSE STAMP

DRAWING INFO

PM: JTA
DRAWN: KBA
CHECKED: TM
PLOT DATE: 7/7/2020

LANDSCAPE PLAN

PRELIMINARY PLANS NOT FOR CONSTRUCTION
LP-102



ISSUE DATE			PROJECT NUMBER			PLAN INFORMATION			PROJECT INFORMATION			DEVELOPER / PROPERTY OWNER / CLIENT			LANDSCAPE ARCHITECT / PLANNER			LICENSE STAMP			DRAWING INFO		
07/07/2020			UT20051									Developer / Property Owner:			Landscape Architect / Planner:			811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org			JTA		
NO.			REVISION			DATE						SWIFT CREEK PROPERTIES C/O ROB MCNEEL 801-860-5500 SWIFTCREEKPROPERTIES.COM			PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization			81281-F-1501 STATE OF UTAH			KBA		
1			XXXX			XX-XX-XX						Client / Engineer:			3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com						TM		
2												DAVID W. PETERSON, P.E. 12 West 100 North, SUITE # 201 AMERICAN FORK, UTAH 84003 (801) 756-4504									7/7/2020		
3																							
4																							
5																							
6																							
7																							

IRON HORSE
1130 SOUTH 1150 WEST
PAYSON, UT



DAVID W. PETERSON, P.E.
12 West 100 North, SUITE # 201
AMERICAN FORK, UTAH 84003 (801) 756-4504



LANDSCAPE DETAILS
PRELIMINARY PLANS NOT FOR CONSTRUCTION
LP-501