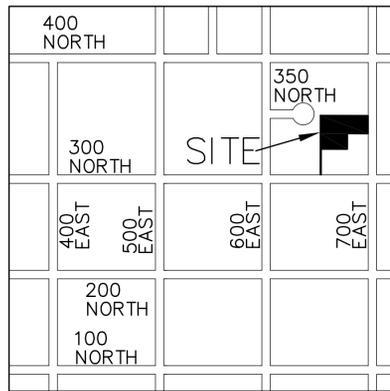
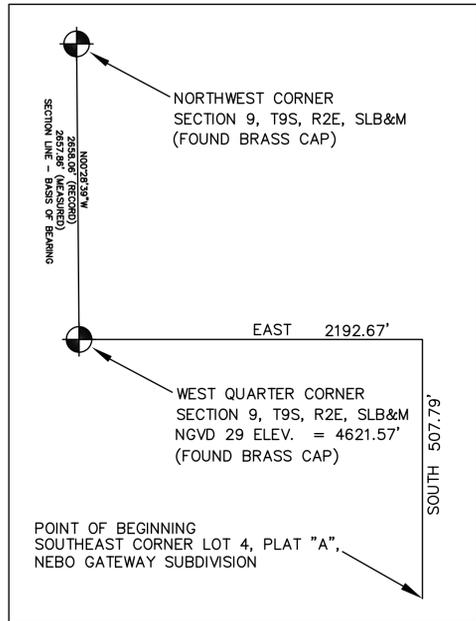
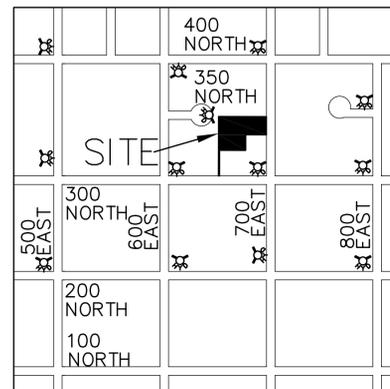


**SECTION TIE GRAPHIC**



**VICINITY MAP**  
NOT TO SCALE



**EXISTING FIRE HYDRANTS**  
NOT TO SCALE

**OWNER/DEVELOPER:**  
CHASE ADAMS  
345 NORTH 700 EAST  
PAYSON, UT 84645  
(435) 896-3097

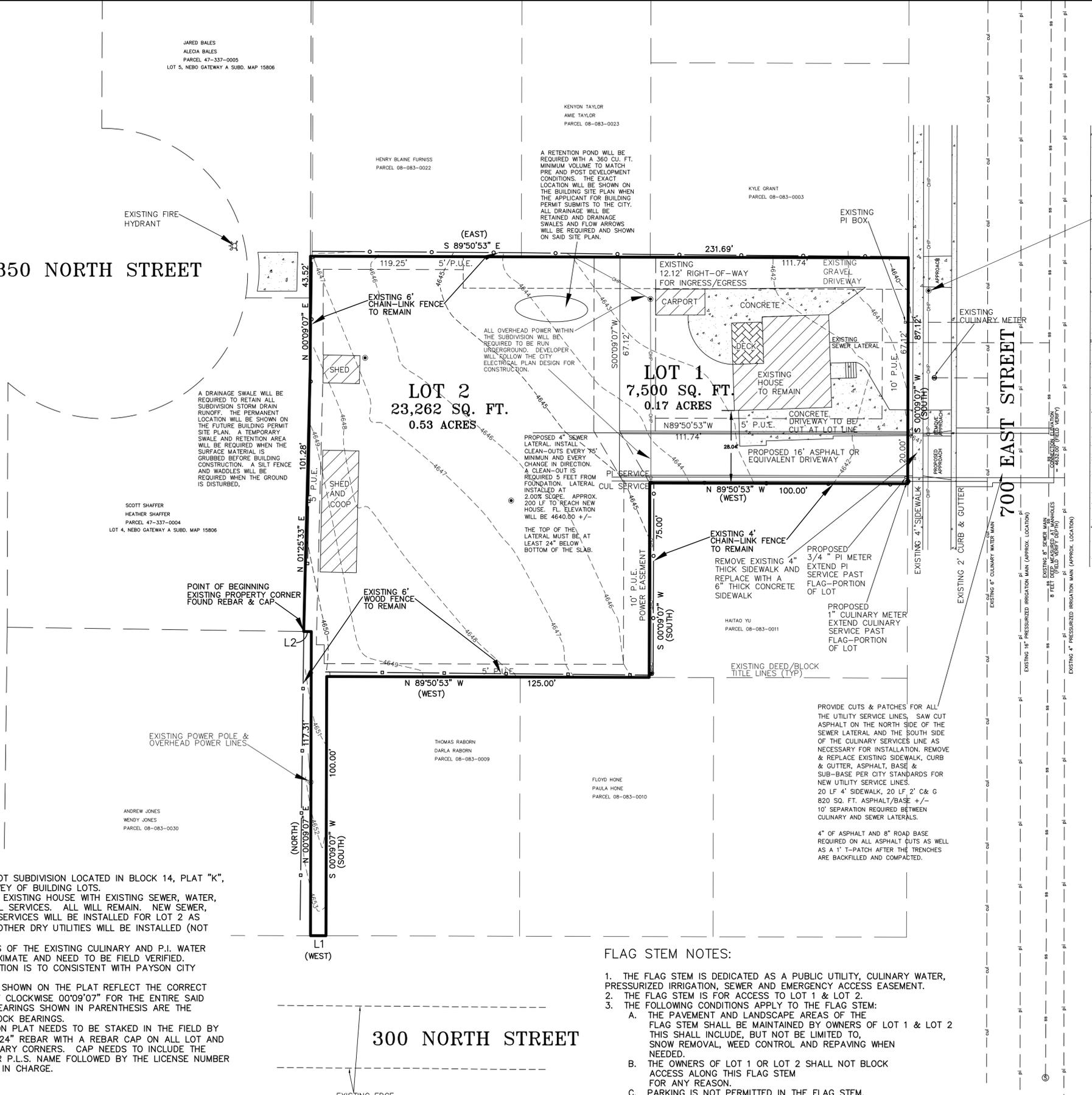
**SURVEYOR/DESIGNER**  
LEVEL OF FOCUS, INC.  
DAVID F. HUNT, PLS  
1334 EAST 1150 SOUTH  
SPANISH FORK, UT 84660  
(801) 319-5441

**NOTES:**

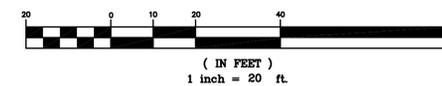
- THIS IS A 2-LOT SUBDIVISION LOCATED IN BLOCK 14, PLAT "K", PAYSON CITY SURVEY OF BUILDING LOTS.
- LOT 1 HAS AN EXISTING HOUSE WITH EXISTING SEWER, WATER, PI, AND ELECTRICAL SERVICES. ALL WILL REMAIN. NEW SEWER, CULINARY AND PI SERVICES WILL BE INSTALLED FOR LOT 2 AS SHOWN HEREON. OTHER DRY UTILITIES WILL BE INSTALLED (NOT SHOWN)
- THE LOCATIONS OF THE EXISTING CULINARY AND P.I. WATER MAINS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.
- ALL CONSTRUCTION IS TO CONSISTENT WITH PAYSON CITY STANDARDS.
- THE BEARINGS SHOWN ON THE PLAT REFLECT THE CORRECT FIELD ROTATION OF CLOCKWISE 00'09'07" FOR THE ENTIRE SAID BLOCK 14. THE BEARINGS SHOWN IN PARENTHESIS ARE THE ORIGINAL DEED/BLOCK BEARINGS.
- THE SUBDIVISION PLAT NEEDS TO BE STAKED IN THE FIELD BY USING A 5/8" BY 24" REBAR WITH A REBAR CAP ON ALL LOT AND SUBDIVISION BOUNDARY CORNERS. CAP NEEDS TO INCLUDE THE BUSINESS NAME OR P.L.S. NAME FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE.

**LEVEL OF FOCUS, INC.**  
DAVID F. HUNT, P.L.S.  
1334 EAST 1150 SOUTH  
SPANISH FORK, UTAH 84660  
(801) 319-5441 LEVELOFFOCUS@GMAIL.COM

**350 NORTH STREET**



**GRAPHIC SCALE**



EXISTING POWER POLE (TYP) & OVERHEAD POWER LINES

LINE TABLE		
LINE	LENGTH	BEARING
L1	6.00'	N89°50'53"W
L2	2.95'	N89°11'02"W

**SYMBOL LEGEND**

- SS --- EXISTING 8" PVC SANITARY SEWER LINE
- (S)--- EXISTING SEWER MANHOLE
- 4" LAT. PROPOSED 4" SEWER LATERAL
- PROPOSED PI METER LOCATION
- PI--- EXISTING PI MAIN
- W--- EXISTING WATER VALVE
- CUL--- EXISTING WATER MAIN
- M--- EXISTING WATER METER
- (M)--- PROPOSED WATER SERVICE & METER
- (F)--- EXISTING FIRE HYDRANT
- (R)--- PROPOSED A.D.A. HANDICAP RAMP
- (M)--- EXISTING SURVEY MONUMENT
- (P)--- EXISTING POWER POLE & OVERHEAD POWER LINES (TYP)
- (S)--- EXISTING STREET LIGHT
- (M)--- EXISTING STORM DRAIN MANHOLE
- (M)--- EXISTING STORM DRAIN CATCH BASIN
- (F)--- EXISTING STORM DRAINAGE FLOW

**BOUNDARY DESCRIPTION**

BEGINNING AT SOUTHEAST CORNER OF LOT 4, PLAT "A", NEBO GATEWAY SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE, SAID POINT ALSO BEING LOCATED EAST 2192.67 FEET AND SOUTH 507.79 FEET FROM THE WEST QUARTER CORNER OF SECTION 9, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 01°25'33" EAST 101.28 FEET ALONG SAID SUBDIVISION; THENCE NORTH 00°09'07" EAST 43.52 FEET ALONG SAID SUBDIVISION; THENCE SOUTH 89°50'53" EAST (EAST) 231.69 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 87.12 FEET; THENCE NORTH 89°50'53" WEST (WEST) 100.00 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 75.00 FEET; THENCE NORTH 89°50'53" WEST (WEST) 125.00 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 100.00 FEET; THENCE NORTH 89°50'53" WEST (WEST) 6.00 FEET; THENCE NORTH 00°09'07" EAST (NORTH) 117.31 FEET; THENCE NORTH 89°11'02" WEST 2.95 FEET TO THE POINT OF BEGINNING.

AREA = 30,762 OR 0.7062 ACRES



**SITE TABULATIONS**

ZONE = R-1-7.5  
# OF LOTS = 2  
TOTAL AREA = 30,762 SQ. FT. OR 0.7062 ACRES  
STREET DEDICATED AREA = 0 ACRES  
OPEN SPACE AREA = 0 ACRES  
DENSITY = 2.83 LOTS/ACRE  
LANE MILES = 0.0176 MILES

**BLUE STAKES**  
**CALL 811**  
**BEFORE YOU DIG**

**FLAG STEM NOTES:**

- THE FLAG STEM IS DEDICATED AS A PUBLIC UTILITY, CULINARY WATER, PRESSURIZED IRRIGATION, SEWER AND EMERGENCY ACCESS EASEMENT.
- THE FLAG STEM IS FOR ACCESS TO LOT 1 & LOT 2.
- THE FOLLOWING CONDITIONS APPLY TO THE FLAG STEM:
  - THE PAVEMENT AND LANDSCAPE AREAS OF THE FLAG STEM SHALL BE MAINTAINED BY OWNERS OF LOT 1 & LOT 2 THIS SHALL INCLUDE, BUT NOT BE LIMITED TO SNOW REMOVAL, WEED CONTROL AND REPAVING WHEN NEEDED.
  - THE OWNERS OF LOT 1 OR LOT 2 SHALL NOT BLOCK ACCESS ALONG THIS FLAG STEM FOR ANY REASON.
  - PARKING IS NOT PERMITTED IN THE FLAG STEM.

**LONE PINE PLAT B**

**PRELIMINARY PLAT**

**PAYSON 2-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION UTAH**

<b>DESIGNER</b> DFH	<b>DRAWN BY</b> DFH	<b>CHECKED BY</b> DFH	<b>SHEET</b>
<b>DATE</b> 01-02-2020	<b>SCALE</b> 1" = 20'	<b>PROJECT NO.</b>	<b>1 OF 1</b>
<b>ADDRESS</b> 345 NORTH 700 EAST PAYSON, UT			