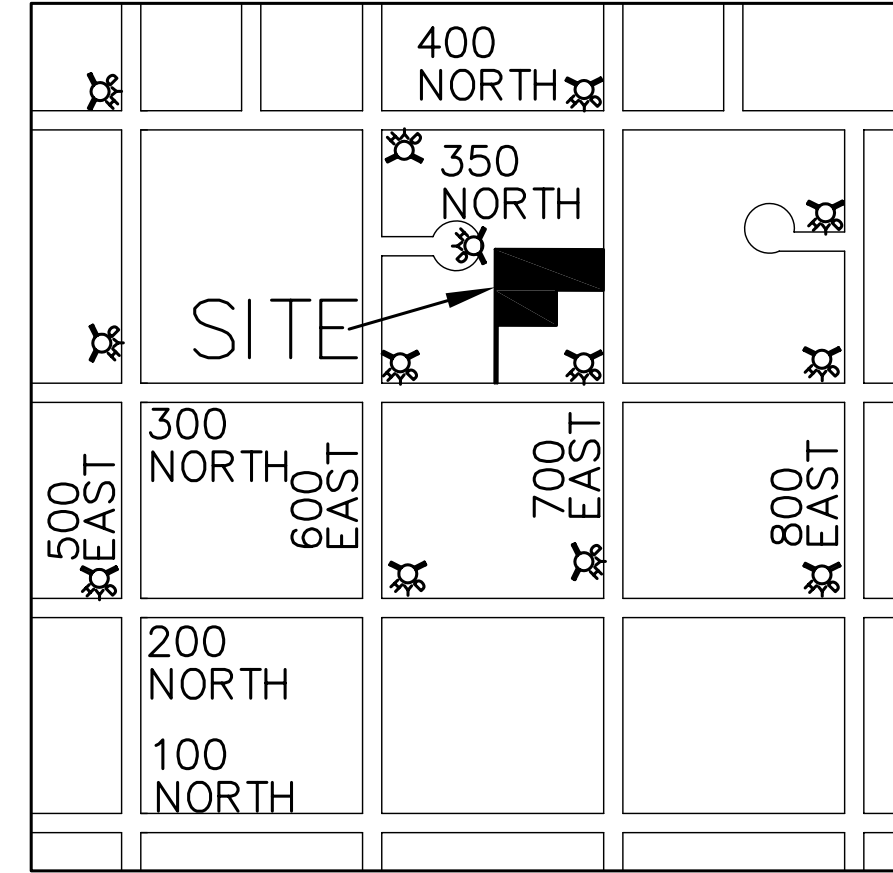
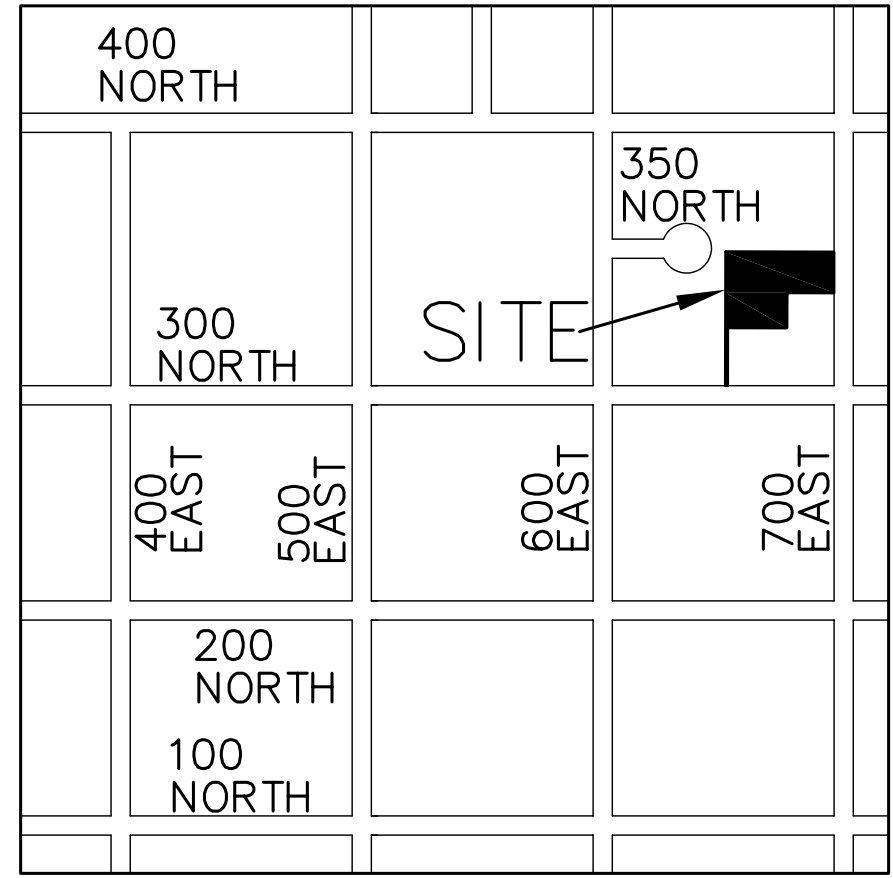
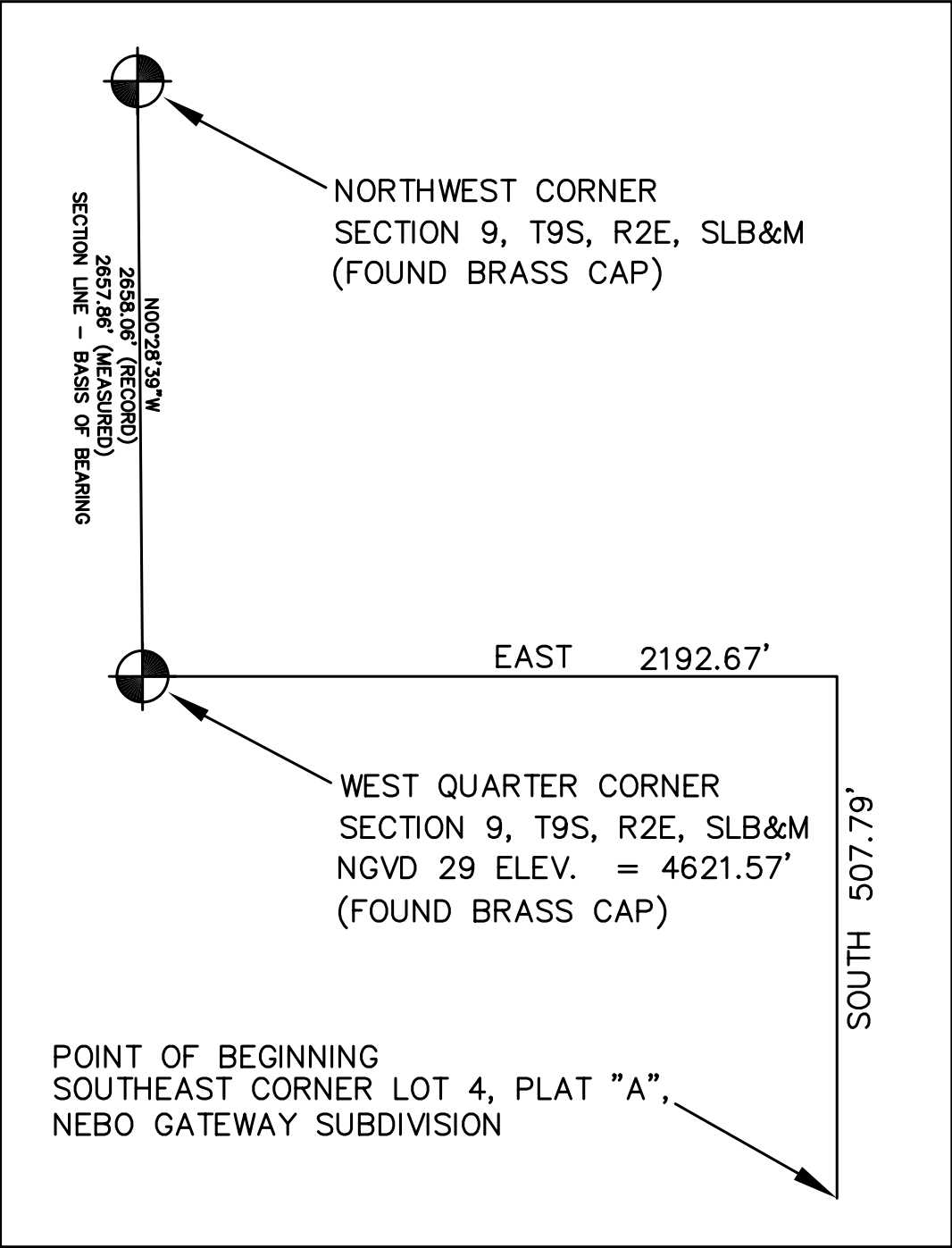


SECTION TIE GRAPHIC



OWNER/DEVELOPER:
CHASE ADAMS
345 NORTH 700 EAST
PAYSON, UT 84645
(435) 896-3097

SURVEYOR/DESIGNER
LEVEL OF FOCUS, INC.
DAVID F. HUNT, PLS
1334 EAST 1150 SOUTH
SPANISH FORK, UT 84660
(801) 319-5441

NOTES:

1. THIS IS A 2-LOT SUBDIVISION LOCATED IN BLOCK 14, PLAT "K", PAYSON CITY SURVEY OF BUILDING LOTS.
2. LOT 1 HAS AN EXISTING HOUSE WITH EXISTING SEWER, WATER, PI, AND ELECTRICAL SERVICES. ALL WILL REMAIN. NEW SEWER, CULINARY AND PI SERVICES WILL BE INSTALLED FOR LOT 2 AS SHOWN HEREON. OTHER DRY UTILITIES WILL BE INSTALLED (NOT SHOWN)
3. THE LOCATIONS OF THE EXISTING CULINARY AND P.I. WATER MAINS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.
4. ALL CONSTRUCTION IS TO CONSISTENT WITH PAYSON CITY STANDARDS.
5. THE BEARINGS SHOWN ON THE PLAT REFLECT THE CORRECT FIELD ROTATION OF CLOCKWISE 00°09'07" FOR THE ENTIRE SAID BLOCK 14. THE BEARINGS SHOWN IN PARENTHESIS ARE THE ORIGINAL DEED/BLOCK BEARINGS.
6. THE SUBDIVISION PLAT NEEDS TO BE STAKED IN THE FIELD BY USING A 5/8" BY 24" REBAR WITH A REBAR CAP ON ALL LOT AND SUBDIVISION BOUNDARY CORNERS. CAP NEEDS TO INCLUDE THE BUSINESS NAME OR P.L.S. NAME FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE.

LEVEL OF FOCUS, INC.

DAVID F. HUNT, P.L.S.
1334 EAST 1150 SOUTH
SPANISH FORK, UTAH 84660
(801) 319-5441 LEVELOFFOCUS@GMAIL.COM

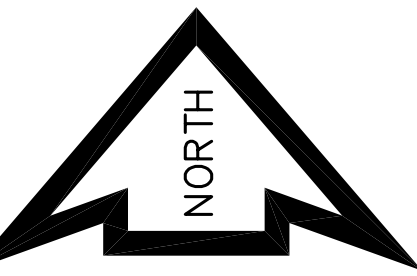
PAYSON

2-LOT SINGLE-FAMILY RESIDENTIAL SUBDIVISION

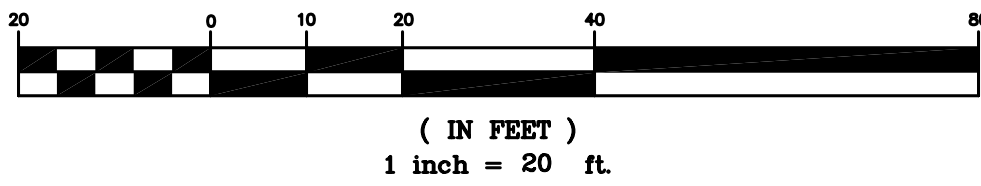
DESIGNER	DRAWN BY	CHECKED BY	SHEET
DFH	DFH	DFH	
DATE	SCALE	PROJECT NO.	
01-02-2020	1" = 20'		1 OF 1
ADDRESS	345 NORTH 700 EAST PAYSON, UT		

350 NORTH STREET

300 NORTH STREET



GRAPHIC SCALE



EXISTING POWER POLE (TYP) &
OVERHEAD POWER LINES

LINE TABLE		
LINE	LENGTH	BEARING
L1	6.00'	N89°50'53"W
L2	2.95'	N89°11'02"W

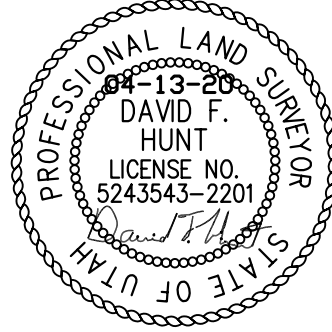
SYMBOL LEGEND

SS- - - -	EXISTING 8" PVC SANITARY SEWER LINE
- - - (S)	EXISTING SEWER MANHOLE
4" LAT.	PROPOSED 4" SEWER LATERAL
□	PROPOSED PI METER LOCATION
- - - PI - - -	EXISTING PI MAIN
⊗	EXISTING WATER VALVE
- - - CUL - - -	EXISTING WATER MAIN
⊕	EXISTING WATER METER
⊕	PROPOSED WATER SERVICE & METER
⊕	EXISTING FIRE HYDRANT
⊕	PROPOSED A.D.A. HANDICAP RAMP
⊕	EXISTING SURVEY MONUMENT
⊕	EXISTING POWER POLE & OVERHEAD POWER LINES (TYP)
⊕	EXISTING STREET LIGHT
⊕	EXISTING STORM DRAIN MANHOLE
⊕	EXISTING STORM DRAIN CATCH BASIN
↑	EXISTING STORM DRAINAGE FLOW

BOUNDARY DESCRIPTION

BEGINNING AT SOUTHEAST CORNER OF LOT 4, PLAT "A", NEBO GATEWAY SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE, SAID POINT ALSO BEING LOCATED EAST 2192.67 FEET AND SOUTH 507.79 FEET FROM THE WEST QUARTER CORNER OF SECTION 9, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 01°25'33" EAST 101.28 FEET ALONG SAID SUBDIVISION; THENCE NORTH 00°09'07" EAST 43.52 FEET ALONG SAID SUBDIVISION; THENCE SOUTH 89°50'53" EAST (EAST) 231.69 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 87.12 FEET; THENCE NORTH 89°50'53" WEST (WEST) 100.00 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 75.00 FEET; THENCE NORTH 89°50'53" WEST (WEST) 125.00 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 100.00 FEET; THENCE NORTH 89°50'53" WEST (WEST) 6.00 FEET; THENCE NORTH 00°09'07" EAST (NORTH) 117.31 FEET; THENCE NORTH 89°11'02" WEST 2.95 FEET TO THE POINT OF BEGINNING.

AREA = 30,762 OR 0.7062 ACRES



SITE TABULATIONS

ZONE = R-1-7.5
OF LOTS = 2
TOTAL AREA = 30,762 SQ. FT. OR 0.7062 ACRES
STREET DEDICATED AREA = 0 ACRES
OPEN SPACE AREA = 0 ACRES
DENSITY = 2.83 LOTS/ACRE
LANE MILES = 0.0176 MILES

BLUE STAKES

CALL 811

BEFORE YOU DIG

FLAG STEM NOTES:

1. THE FLAG STEM IS DEDICATED AS A PUBLIC UTILITY, CULINARY WATER, PRESSURIZED IRRIGATION, SEWER AND EMERGENCY ACCESS EASEMENT.
2. THE FLAG STEM IS FOR ACCESS TO LOT 1 & LOT 2.
3. THE FOLLOWING CONDITIONS APPLY TO THE FLAG STEM:
 - A. THE PAVEMENT AND LANDSCAPE AREAS OF THE FLAG STEM SHALL BE MAINTAINED BY OWNERS OF LOT 1 & LOT 2 THIS SHALL INCLUDE, BUT NOT BE LIMITED TO SNOW REMOVAL, WEED CONTROL AND REPAVING WHEN NEEDED.
 - B. THE OWNERS OF LOT 1 OR LOT 2 SHALL NOT BLOCK ACCESS ALONG THIS FLAG STEM FOR ANY REASON.
 - C. PARKING IS NOT PERMITTED IN THE FLAG STEM.