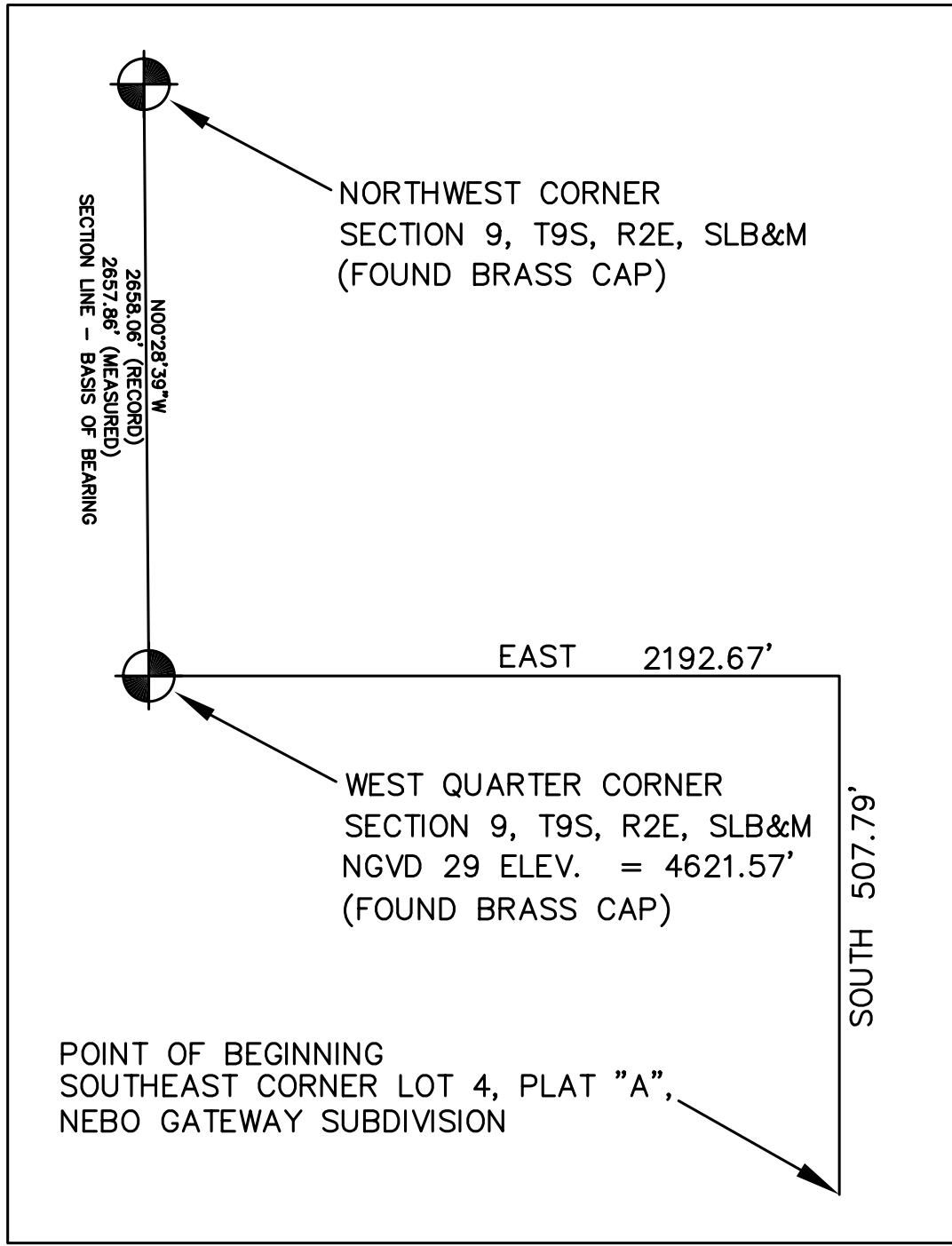


SECTION TIE GRAPHIC



SYMBOL LEGEND

- FOUND UTAH COUNTY MONUMENT
- SET NEW REBAR & CAP
(OR FOUND EXISTING REBAR & CAP)
- SET PLUG OR MADE ETCH ON
LOT LINE EXTENSION
- NOTHING SET

LINE TABLE

LINE	LENGTH	BEARING
L1	6.00'	N89°50'53"W
L2	2.95'	N89°11'02"W

PREPARED BY: **LEVEL OF FOCUS, INC**
DAVID F. HUNT, P.L.S.
1334 EAST 1150 SOUTH
SPANISH FORK, UTAH 84660
(801) 319-5441 LEVELOFFOCUS@GMAIL.COM

DATE _____

REVISED _____

350 NORTH STREET

300 NORTH STREET

NOTES:

- THIS IS A 2-LOT SUBDIVISION LOCATED IN BLOCK 14, PLAT "K", PAYSON CITY SURVEY OF BUILDING LOTS.
- LOT 1 HAS AN EXISTING HOUSE WITH EXISTING SEWER, WATER, PI, AND ELECTRICAL SERVICES. ALL WILL REMAIN. NEW SEWER, CULINARY AND PI SERVICES WILL BE INSTALLED FOR LOT 2 AS SHOWN HEREON. OTHER DRY UTILITIES WILL BE INSTALLED (NOT SHOWN).
- THE LOCATIONS OF THE EXISTING CULINARY AND P.I. WATER MAINS ARE APPROXIMATE AND NEED TO BE FIELD VERIFIED.
- ALL CONSTRUCTION IS TO CONSISTENT WITH PAYSON CITY STANDARDS.
- THE BEARINGS SHOWN ON THE PLAT REFLECT THE CORRECT FIELD ROTATION OF CLOCKWISE 00°09'07" FOR THE ENTIRE SAID BLOCK 14. THE BEARINGS SHOWN IN PARENTHESIS ARE THE ORIGINAL DEED/BLOCK BEARINGS.
- THE SUBDIVISION PLAT NEEDS TO BE STAKED IN THE FIELD BY USING A 5/8" BY 24" REBAR WITH A REBAR CAP ON ALL LOT AND SUBDIVISION BOUNDARY CORNERS. CAP NEEDS TO INCLUDE THE BUSINESS NAME OR P.L.S. NAME FOLLOWED BY THE LICENSE NUMBER OF THE SURVEYOR IN CHARGE.

FLAG STEM NOTES:

- THE FLAG STEM IS DEDICATED AS A PUBLIC UTILITY, CULINARY WATER, PRESSURIZED IRRIGATION, SEWER AND EMERGENCY ACCESS EASEMENT.
- THE FLAG STEM IS FOR ACCESS TO LOT 1 & LOT 2.
- THE FOLLOWING CONDITIONS APPLY TO THE FLAG STEM:
 - THE PAVEMENT AND LANDSCAPE AREAS OF THE FLAG STEM SHALL BE MAINTAINED BY OWNERS OF LOT 1 & LOT 2. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, SNOW REMOVAL, WEED CONTROL AND REPAVING WHEN NEEDED.
 - THE OWNERS OF LOT 1 OR LOT 2 SHALL NOT BLOCK ACCESS ALONG THIS FLAG STEM FOR ANY REASON.
 - PARKING IS NOT PERMITTED IN THE FLAG STEM.

TABULATIONS

ZONE = R-1-7.5
OF LOTS = 2
TOTAL AREA = 30,762 SQ. FT. OR 0.7062 ACRES
STREET DEDICATED AREA = 0 ACRES
OPEN SPACE AREA = 0 ACRES
DENSITY = 2.83 LOTS/ACRE
LANE MILES = 0.0176 MILES

DOMINION ENERGY COMPANY APPROVAL

DOMINION ENERGY APPROVES THIS PLAT SOLELY FOR THE PURPOSES OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. DOMINION ENERGY MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS, OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGEMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNERS DEDICATION AND THE NOTES, AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT DOMINION ENERGY'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-6532.

APPROVED THIS _____ DAY OF _____, A.D. 20____ DOMINION ENERGY COMPANY

BY- _____

TITLE- _____

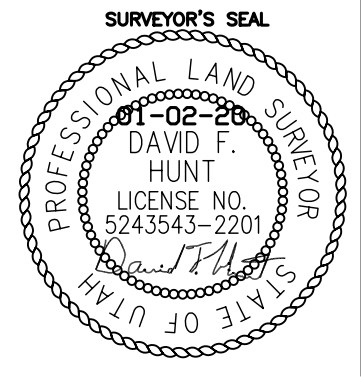
SURVEYOR'S CERTIFICATE

I, DAVID F. HUNT, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5243543. AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

BEGINNING AT SOUTHEAST CORNER OF LOT 4, PLAT "A", NEBO GATEWAY SUBDIVISION ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE AT THE UTAH COUNTY RECORDER'S OFFICE, SAID POINT ALSO BEING LOCATED EAST 2192.67 FEET AND SOUTH 507.79 FEET FROM THE WEST QUARTER CORNER OF SECTION 9, TOWNSHIP 9 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN; THENCE NORTH 01°25'33" EAST 101.28 FEET ALONG SAID SUBDIVISION; THENCE NORTH 00°09'07" EAST 43.52 FEET ALONG SAID SUBDIVISION; THENCE SOUTH 89°50'53" EAST (EAST) 231.69 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 87.12 FEET; THENCE NORTH 89°50'53" WEST (WEST) 100.00 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 75.00 FEET; THENCE NORTH 89°50'53" WEST (WEST) 125.00 FEET; THENCE SOUTH 00°09'07" WEST (SOUTH) 100.00 FEET; THENCE NORTH 89°50'53" WEST (WEST) 6.00 FEET; THENCE NORTH 00°09'07" EAST (NORTH) 117.31 FEET; THENCE NORTH 89°11'02" WEST 2.95 FEET TO THE POINT OF BEGINNING.

AREA = 30,762 OR 0.7062 ACRES



04-13-2020
DATE

David F. Hunt
SURVEYOR
(See Seal Below)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____.

CHASE A. ADAMS

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

ON THE _____ DAY OF _____, A.D. 20____ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES _____

NOTARY PUBLIC
(See Seal Below)

NOTARY PUBLIC SEAL

LEGISLATIVE BODY ACCEPTANCE

THE PAYSON CITY MAYOR APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

APPROVED _____ MAYOR

APPROVED _____ CITY ENGINEER
(See Seal Below)

ATTEST _____ ATTEST CLERK/RECORDER
(See Seal Below)

PLANNING COMMISSION APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE PAYSON CITY PLANNING COMMISSION.

DIRECTOR

CHAIRMAN, PLANNING COMMISSION

CITY ATTORNEY APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE PAYSON CITY ATTORNEY.

PAYSON CITY ATTORNEY

FIRE DEPARTMENT APPROVAL

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE PAYSON CITY FIRE DEPARTMENT.

PAYSON CITY FIRE CHIEF

PLAT "B"

LONE PINE

RESIDENTIAL SUBDIVISION

PAYSON CITY, _____ UTAH COUNTY, UTAH

SCALE: 1" = 20 FEET

CITY-COUNTY ENGINEER SEAL

CLERK-RECORDER SEAL

UTAH COUNTY RECORDER