



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA April 14, 2020 6:30 p.m.

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council chambers located at 10 East Center Street. The agenda will be as follows:

Welcome, Pledge, and Introduction

- 1) Public comments
- 2) Public Hearing-Consideration of a request to vacate lots 1A & !B of The North Redwood Industrial Park Plat A Amended located at approximately 1100 West Center Street, Kimwell Corp. and UDOT, applicants
- 3) Consideration of Site Plan Approval for Dickson Companies Phase 2, an office warehouse building at 920 West Center Street, Scott Thorsen, CIR Engineering, applicant
- 4) Consideration of Conditional Use Permit for Buehner Marble & Granite at 925 West 100 North, Tanner Turville, applicant
- 5) Report on City Council actions on items recommended by Planning Commission
- 6) Approval of minutes:
 - a. March 24, 2020

Adjourn

NOTICE: This meeting will be held electronically via 3CX. The host site will be located at 10 East Center Street, members of the public and applicants are invited to attend via your electronic device at the link below:

<https://nslext-etspbx-com.3cx.net/webrtc/open/197e523486582c7cf8ec53ec57089bfa5c044d7a>

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours notice for adequate arrangements to be made. Times noted on the agenda are estimates only – the Commission may proceed faster or slower than these estimates indicate.

Notice of Posting:

I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this ____ day of _____, 20 ____.

Dated this ____ day of _____, 20 ____.



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission

FROM: Sherrie Llewelyn, Community Development Director

DATE: April 14, 2020

SUBJECT: Consideration of a request to vacate a portion of a subdivision plat known as the North Redwood Industrial Park, Plat A, Amended, lots 1A & 1B, located at approximately 1100 West Center Street

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of requested vacation of lots 1A & 1B the North Redwood Industrial Park, Plat A, Amended, with the following findings:

1. There is good cause for the vacation or amendment; and
2. No public street or municipal utility easement has been vacated or amended.

BACKGROUND

The owners of the remaining lots in the North Redwood Industrial Park, Plat A subdivision are UDOT and Kimwell Corporation. The owners have requested the plat vacation for the purposes of combining the Kimwell lots with adjacent property for the sale to the Gardner Batt Company for the distribution center approved at the last Planning Commission meeting by conditional use permit. The vacation of the plat will have no effect on the recorded rights of way. The vacation will only vacate lots 1A and 1B, of which Kimwell is the majority property owners and with UDOT owning portions of those lots that are to be sold to Kimwell.

Once the vacation of the lots has been completed, the remaining properties will be combined by consolidation deed and lot line adjustment. The consolidated property will be sold to the Gardner Batt Company for the distribution facility.

REVIEW

Utah State Code 10-9a-608 to 609 governs the regulations for vacating a portion of a recorded subdivision plat. No public hearing is required if all owners of the proposed vacation have signed the petition for vacation. In this instance both owners, Kimwell and UDOT, have signed. However, city ordinance still requires the public hearing. Notice was posted and mailed in accordance with the state statute and no comments have been received to date. In order to vacate a plat the city must be able to find that there is good cause for the vacation and that no public street or municipal utility easement will be affected.

The two lots in question to be vacated each have limited frontage on Center street and Redwood Road, but are irregular in shape and are better suited for development if incorporated into the former Gun Range property. Therefore, the DRC has recommended approval of the proposed vacation.

POSSIBLE MOTION

I move that the Planning Commission approve requested vacation of lots 1A & 1B of the North Redwood Industrial Park, Plat A, Amended, with the following findings:

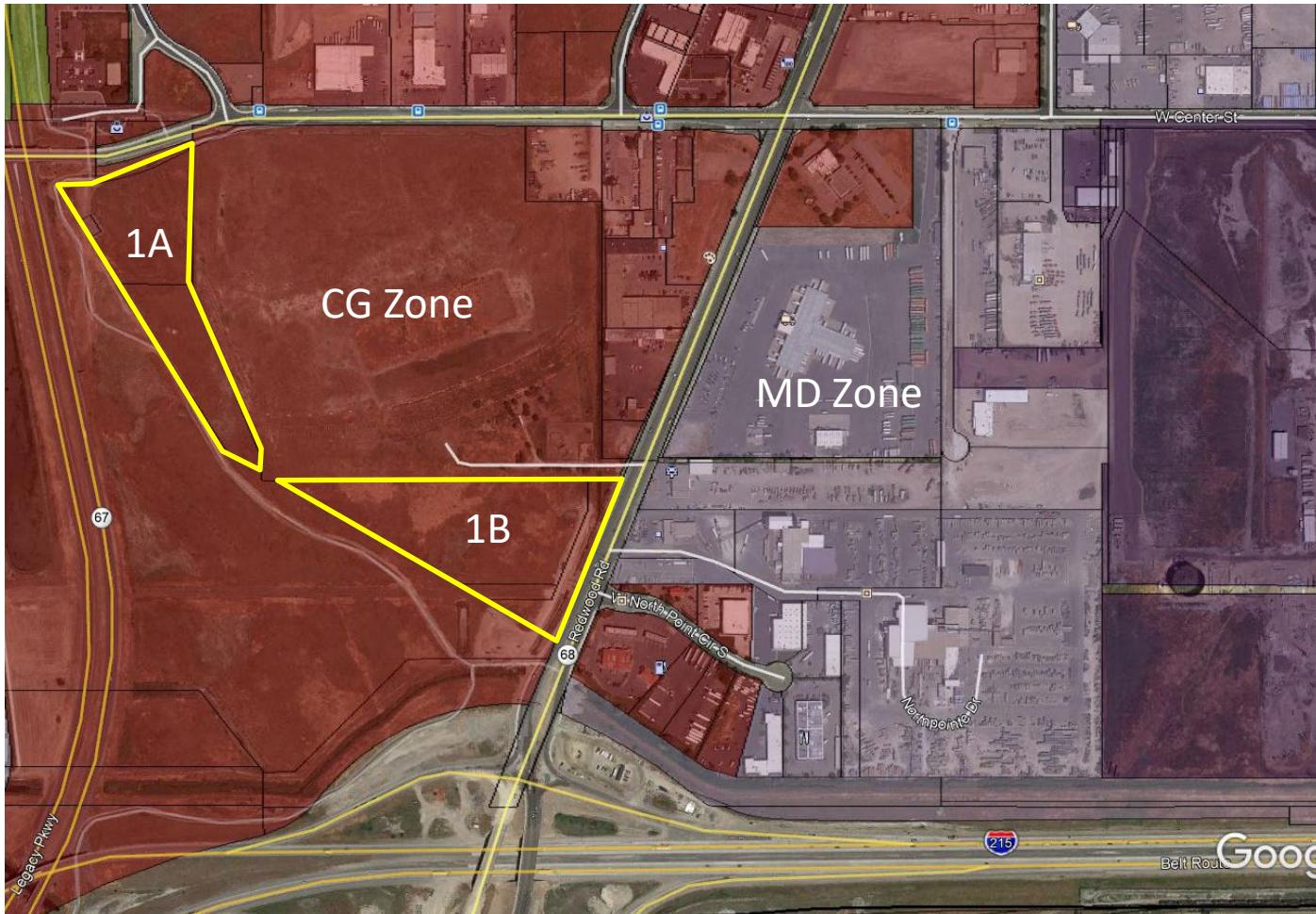
1. There is good cause for the vacation or amendment; and
2. No public street or municipal utility easement has been vacated or amended.

Attachments

- 1) Aerial/Vicinity Map
- 2) Plat Map



North Redwood Industrial Park Plat A-Vacation 1100 West Center Street Aerial/Zoning Map





CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission
FROM: Sherrie Llewelyn, Community Development Director
DATE: April 14, 2020
SUBJECT: Dickson Companies, Phase 2 Site Plan at 920 West Center Street

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the site plan for Dickson Companies, Phase 2 at 920 West Center Street with the following conditions:

1. Completion of any outstanding engineering redlines;
2. Completion and recordation of the lot line adjustment;
3. Submission of Architectural Sheet A.001 with the dumpster enclosure detail; and
4. Sheltering elements, such as an awning or other roof structure shall be added to the building as required by the design standards.

BACKGROUND

The proposed site plan is located at the corner of Center Street and Cutler Drive on lots 18A and 19A of the North Wood Business Center Plat, amended. The two lots will be combined as part of a lot line adjustment approved administratively by city staff. The proposed site is currently vacant and is 3.2 acres in size.

The proposed site plan has been evaluated based upon compliance with the site plan application requirements found in 10-20-3 of the City Code. The site plan complies with requirements for parking, circulation, & traffic, as well as health, safety & noise. Landscaping and lighting also comply with the minimum requirements of city code.

REVIEW

The proposed office and warehouse building will be 48,138 sq. ft. and will contain 10,430 sq. ft. dedicated to office space and 38,537 sq. ft. dedicated to warehousing. A final tenant has not been identified for the building as the interior will be built to suit future tenants.

The building is setback from the sidewalk approximately 90 feet with a parking area in front that is setback from the sidewalk 20 feet. The front parking area contains 54 parking spaces and an additional

22 spaces are provided at the rear of the building. The site plan meets the minimum parking requirements which are as follows:

	Parking Requirement	Floor Space	Required	Provided
Office	1/250 sq. ft. 1 st 20,000 then 1/300 sq. ft.	10,430 sq. ft	42	42
Warehouse	2/1,000 sq. ft. 1 st 20,000 then ½,000 sq. ft.	38,537 sq. ft.	34	34
ADA Parking	1/25 spaces as part of total spaces required		4	4
TOTAL		76		76

The site has 25,394 sq. ft. (18.2%) of landscaping, the minimum required landscaping is 10%. The landscaping consists of lawn, trees and shrubs. Shrubs will also be installed on the south and east sides of the building. Additional improvements to the site include a four foot sidewalk and a five foot park strip along Cutler Drive. Lighting of the site will mainly be directed at the main entrance, driveway, parking area, and walkways.

The rear parking area and loading dock area have been evaluated to ensure that a sufficient area has been provided for fire apparatus turn around. The dock areas will be screened by a minimum 6 foot high masonry wall of a minimum 25 foot length. There will be no outside storage and no fencing has been proposed.

At this time no signage has been proposed. The S-2 overlay zone allows for walls signs with a maximum height of 30 feet and sign face of 150 sq. ft. per face. The wall signs are well within the area and height limitations. At this time, there are no plans for a monument sign.

ARCHITECTURAL REVIEW

The City's non-residential building design standards aim to improve the quality of construction and architectural aesthetics in non-residential areas of the City.

The building will be constructed of concrete tilt up panels. Three shades of gray will be used to give variety to the building façade and will be similar in finish to phase 1 which was constructed to the north.

Massing

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*max height 30 feet (meets standard)*

- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*
- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (it is not clear if the building entrances have a sheltering element)*

Materials

- High quality materials-factory finished, integrally colored, or otherwise suitably treated-*brick construction (meets standard)*
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%)-*(meets standard)*
- Metal roofs & doors permitted *(meets standard)*

The applicant has submitted corrected drawings in response to staff redlines. The planning redlines have been satisfied with the exception of submittal of the garbage enclosure detail, as the specified page was not attached. The city engineer will need to verify that his redlines have been satisfied. The building is greater than 30,000 sq. ft. in size and therefore the final site plan approval is reserved for the City Council with recommendation from the Planning Commission.

POSSIBLE MOTION

I move that the Planning Commission recommend approval of the site plan for Dickson Companies phase 2 at 920 West Center Street with the following conditions:

1. Completion of any outstanding engineering redlines;
2. Completion and recordation of the lot line adjustment;
3. Submission of Architectural Sheet A.001 with the dumpster enclosure detail; and
4. Sheltering elements, such as an awning or other roof structure shall be added to the building as required by the design standards.

Attachments

- 1) Aerial/Zoning Map
- 2) Site Plan
- 3) Landscape Plan
- 4) Elevations

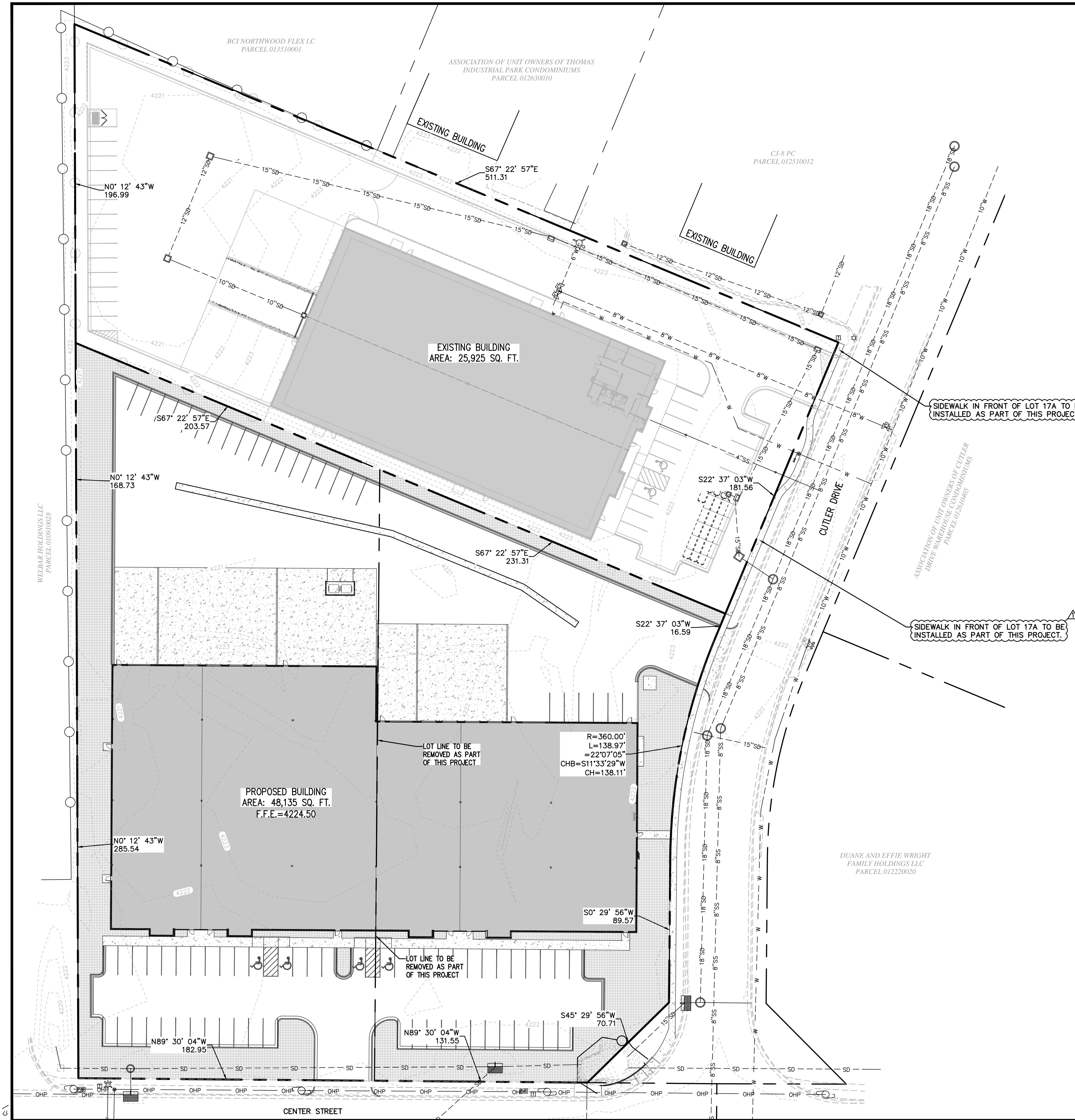


Site Plan

Dickson Companies, Ph. 2

Aerial/Zoning





LOT AREAS:

	SQ. FT. / ACRES
LOT	139,609 SQ. FT. / 3.20 ACRES
 BUILDING FOOTPRINT	48,138 SQ. FT. / 1.11 ACRES
ASPHALT	46,650 SQ. FT. / 1.07 ACRES
 LANDSCAPING	25,394 SQ. FT. / 0.58 ACRES
 CONCRETE	19,427 SQ. FT. / 0.45 ACRES

NOTE:

1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

<u>LOT PARKING REQUIREMENTS:</u>			
	SQ. FT.	CITY REQM'T	
OFFICE	10,430 SQ. FT.	42	(1/250 FIRST 20,000, 1/300 REMAINING)
WAREHOUSE	38,537 SQ. FT.	34	(2/1000 FIRST 10,000, 1/2000 REMAINING)

TOTAL REQUIRED:

TOTAL REQUIRED: 76
TOTAL PROVIDED: 76
ACCESSIBLE SPACES 4 (4 REQ'D 76 TO 100)
NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

DICKSON WAREHOUSE PHASE 2
910 WEST CENTER STREET, NORTH SALT LAKE CITY, UTAH

CKSON WAREHOUSE PHASE 910 WEST CENTER STREET, NORTH SAIT LAKE CITY, UTAH

CIR

ENGINEERING, L.L.C.

3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296

CJR ENGINEERING, L.L.C.

3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296

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1

SE 2
, UTAH

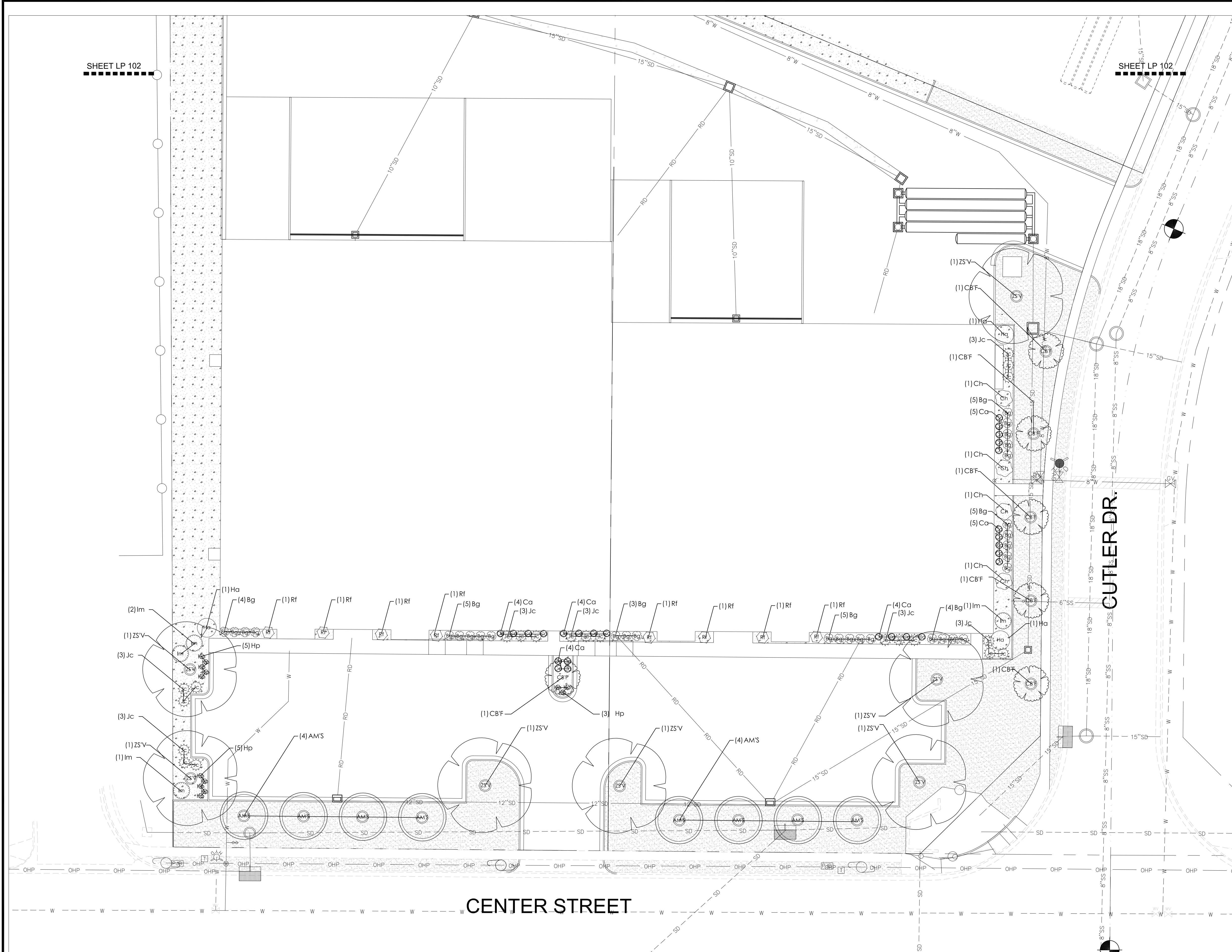
WAREHOUSE PHA CENTER STREET, NORTH SALT LAKE CITY, OVERALL SITE PLAN

JACKSON
110 WEST C

A circular professional engineer license seal. The outer ring contains the text "PROFESSIONAL ENGINEER" at the top and "LICENSURE" at the bottom. The center of the seal contains the name "SCOTT D. THORSEN" and the number "No. 354291". The seal is signed with a cursive "John" and a date "10/10/10".

STATE OF UTAH

SHEET NO.	
C1.0	
PROJECT ID	DATE:
A1097-02	03/10/20
FILE NAME:	SCALE:
PRJ-CTL	1"=30'



PLANT SCHEDULE

COMMON NAME	CONT
AM'S	8 Acer miyabei 'State Street'
DECIDUOUS TREES	CONT
CBF	6 Carpinus betulus 'Fastigata'
ZSV	7 Zelkova serrata 'Village Green'
SHRUBS	CONT
Bg	31 Buxus x 'Green Mountain'
Ch	4 Cornus alba 'Bailhache' TM
Ha	3 Hibiscus syriacus 'Aphrodite'
Im	4 Ilex x meserveae 'Mesdab' TM
Jc	21 Juniperus chinensis 'Daub's Frosted'
Rf	8 Rhamnus frangula 'Columnaris'
ANNUALS/PERENNIALS	CONT
Hp	13 Hemerocallis x 'Pardon Me'
GRASSES	CONT
Ca	26 Calamagrostis x acutiflora 'Karl Foerster'

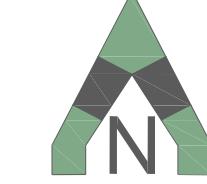
REFERENCE NOTES SCHEDULE

1 LANDSCAPE DESCRIPTION	QTY
I-04	201 lf
6' CONCRETE MOW CURB	
1 LANDSCAPE DESCRIPTION	QTY
SOODED LAWN AREA	14,970 sf
LAWN AREAS SHALL BE SODDED. NEW TURF AREAS TO BE SODDED WITH 18% "BLUESTAR" KENTUCKY BLUEGRASS, 19% "MARQUIS" KENTUCKY BLUEGRASS, 17% "NEWPORT" KENTUCKY BLUEGRASS, 17% "TOUCHDOWN" KENTUCKY BLUEGRASS, 16% "APM" PERENNIAL RYEGRASS, 13% "ACER" PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 100 LBS. ACRES. LEAVES SHALL BE PRINTED TO 12" DEPTH. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT(4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH. NO SHREDDED FINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	
1 BEAR LAKE COBBLE STONE	13,517 sf
1" BEAR LAKE COBBLE STONE. PROVIDE 3" DEPTH. PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION	PROJECT INFORMATION	DEVELOPER / PROPERTY OWNER / CLIENT	LANDSCAPE ARCHITECT / PLANNER	LICENSE STAMP	DRAWING INFO
04-02-2020	UT20021	811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 www.bluestakes.org	DICKSON WAREHOUSE NORTH SALT LAKE, UTAH	Developer / Property Owner: AEURBIA 909 W. SOUTH JORDAN PARKWAY SOUTH JORDAN, UT 84095 801-746-0456 Client / Engineer: CIR ENGINEERING 3032 SOUTH 1030 WEST, STE 202 801-721-2640	PKJ DESIGN GROUP Landscape Architecture / Planning & Visualization 3450 N. TRIUMPH BLVD, SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com	PM: JTA DRAWN: KBA CHECKED: TM PLOT DATE: 4/2/2020	LANDSCAPE PLAN PRELIMINARY PLANS NOT FOR CONSTRUCTION LP-101
NO.	REVISION	DATE					
1	XXXX	XX-XX-XX					
2							
3							
4							
5							
6							
7							



BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC
1-800-662-4111
www.bluestakes.org



GRAPHIC SCALE: 1" = 20'

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A511 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

EXTERIOR ELEVATION COLOR:

- = DARK GRAY PAINTED CONCRETE TILT UP PANEL - SW7069 IRON ORE
- = GRAY PAINTED CONCRETE TILT UP PANEL - SW7067 CITYSCAPE
- = LIGHT GRAY PAINTED CONCRETE TILT UP PANEL - SW7071 GRAY SCREEN

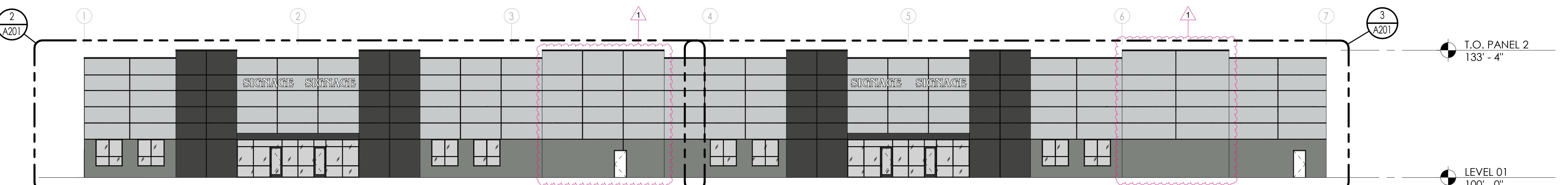
WINDOW FRAMES:

- = ALUMINUM STOREFRONT: DARK BRONZE
- = GRAY TINTED GLAZING (OR APPROVED EQUAL) (AS PER COMCHECK, SEE MECH)

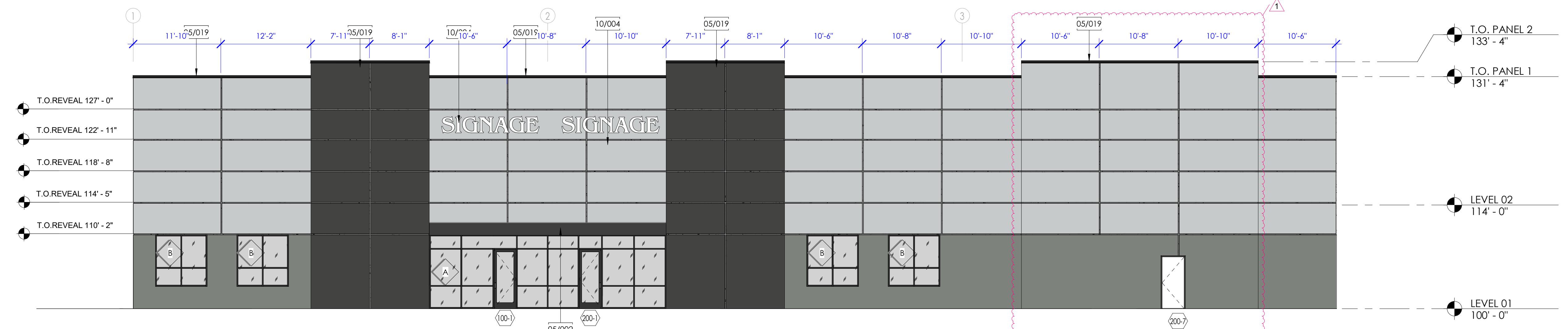
NOTES

- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
- ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
- SEE SHEET A531 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
- ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
- REFER TO MECHANICAL COMCHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

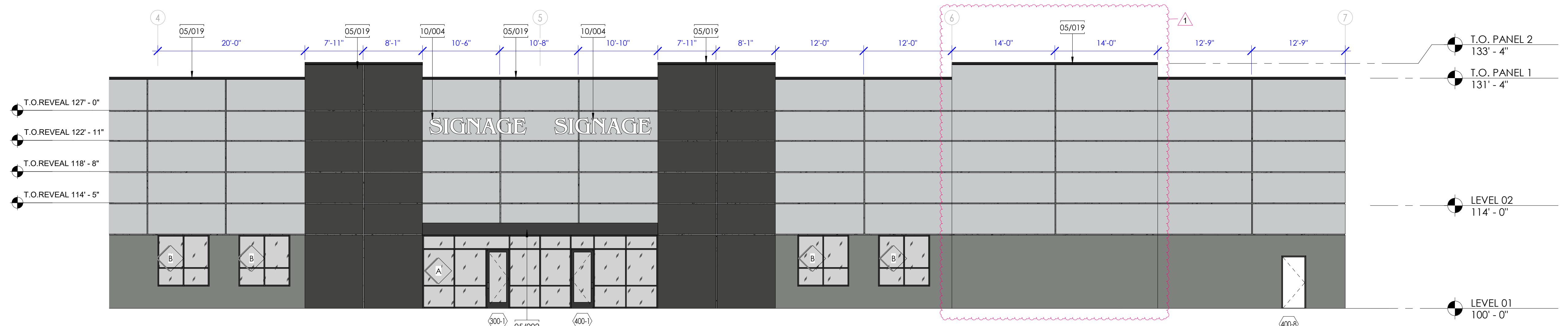
KEYNOTE LEGEND	
05/002	ENTRANCE CANOPY, PAC-CLAD MIDNIGHT BRONZE METAL FAÇADE, PROVIDE DRAINING WITH SLOPED STRUCTURE
05/019	METAL PARAPET CAP
10/004	EXTERIOR SIGNAGE BY OWNER. SIGNAGE IS TO BE REVIEWED AND PERMITTED UNDER A SEPARATE SIGN PERMIT APPLICATION



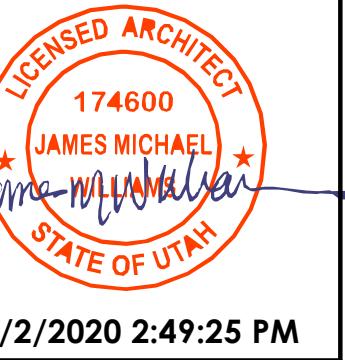
BUILDING SOUTH ELEVATION
1 A201 1/16" = 1'-0"



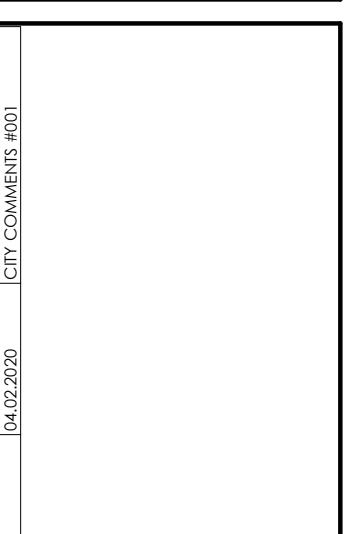
ENLARGED SOUTH BUILDING ELEVATION - LEFT SIDE
2 A201 1/8" = 1'-0"



ENLARGED SOUTH BUILDING ELEVATION - RIGHT SIDE
3 A201 1/8" = 1'-0"



NSL SPEC WAREHOUSE #2
DICKSON WAREHOUSE
910 WEST CENTER STREET, NORTH SALT LAKE UT 84054



AE2020.035

BUILDING ELEVATIONS

DATE: MARCH 20, 2020

SHEET #:

A201

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CONSTRUCTION DOCUMENTS

4/2/2020 2:49:25 PM

GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A511 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

EXTERIOR ELEVATION COLOR:

- = DARK GRAY PAINTED CONCRETE TILT UP PANEL - SW7069 IRON ORE
- = GRAY PAINTED CONCRETE TILT UP PANEL - SW7067 CITYSCAPE
- = LIGHT GRAY PAINTED CONCRETE TILT UP PANEL - SW7071 GRAY SCREEN

WINDOW FRAMES:

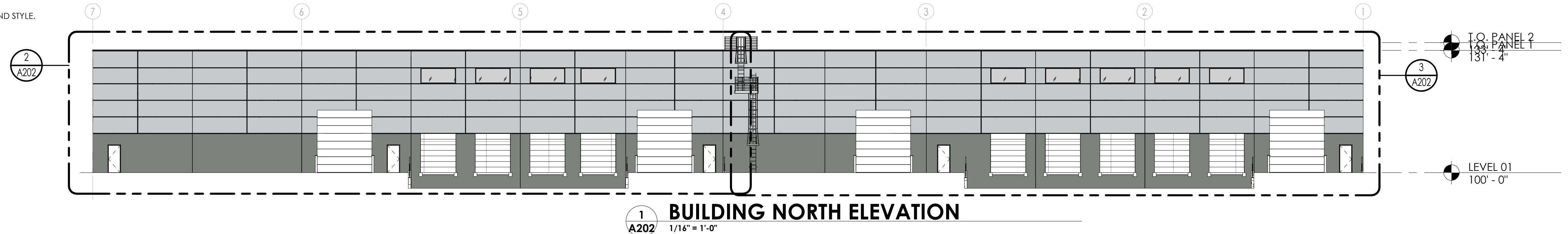
- = ALUMINUM STOREFRONT; DARK BRONZE
- = GRAY TINTED GLAZING (OR APPROVED EQUAL) (AS PER COMCHECK, SEE MECH)

NOTES

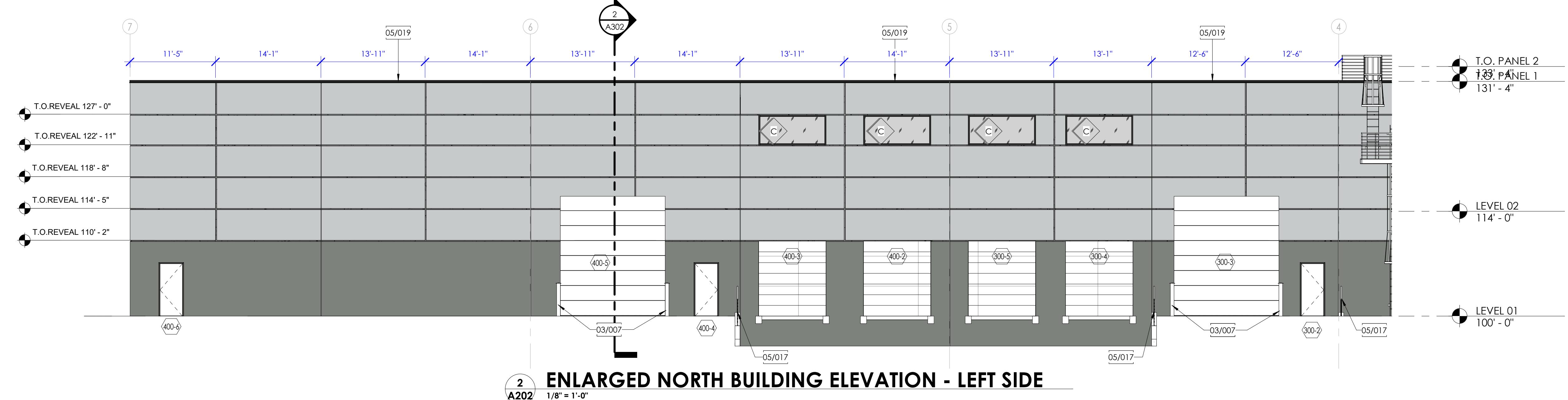
- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
- ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
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- REFER TO MECHANICAL COMCHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

KEYNOTE LEGEND

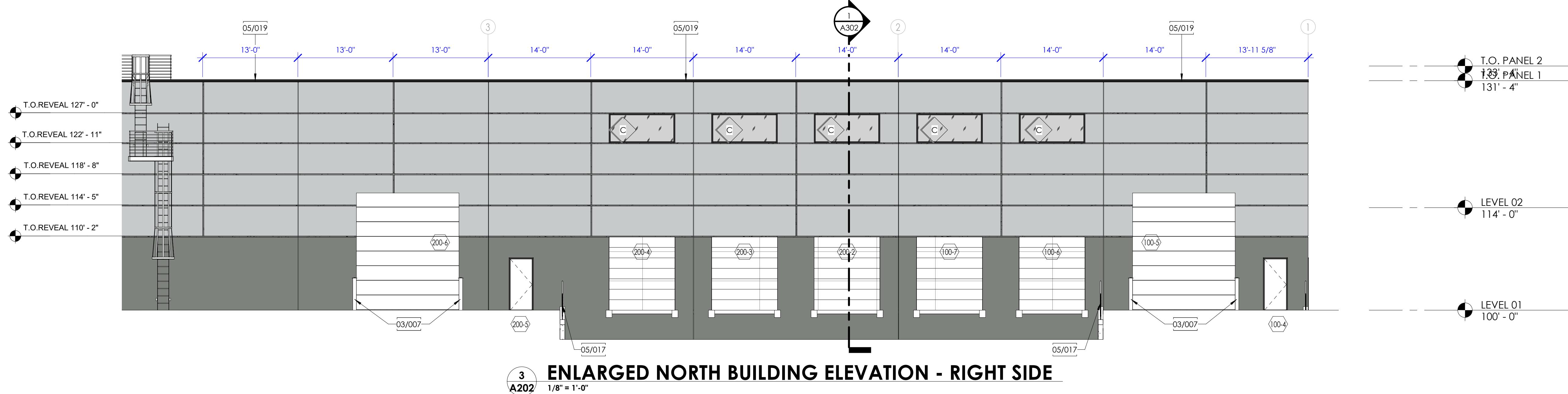
03/007	PRECAST CONCRETE BOLLARD. SEE DETAIL 6/A001
05/017	EXTERIOR DOCK RAILING. SEE DETAIL 14/A001
05/019	METAL PARAPET CAP



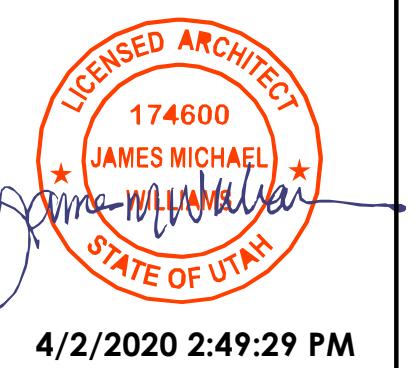
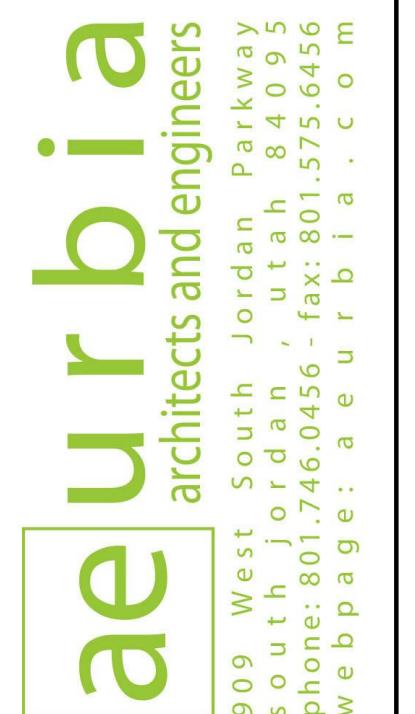
BUILDING NORTH ELEVATION



ENLARGED NORTH BUILDING ELEVATION - LEFT SIDE



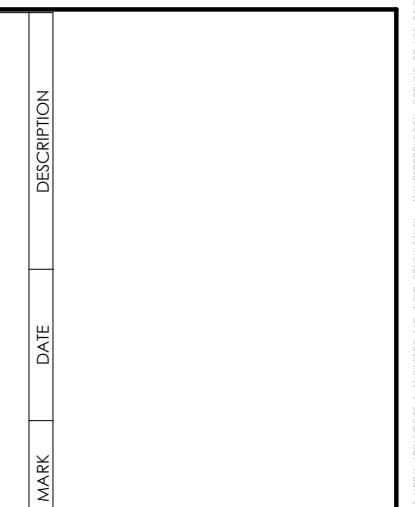
ENLARGED NORTH BUILDING ELEVATION - RIGHT SIDE



NSL SPEC WAREHOUSE #2

DICKSON WAREHOUSE

910 WEST CENTER STREET, NORTH SALT LAKE UT 84054



AE2020.035

BUILDING ELEVATIONS

DATE: MARCH 20, 2020

SHEET #:

A202

CONSTRUCTION DOCUMENTS

4/2/2020 2:49:29 PM



CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054
(801) 335-8700
(801) 335-8719 Fax

MEMORANDUM

TO: Planning Commission

FROM: Sherrie Llewelyn, Community Development Director

DATE: April 14, 2020

SUBJECT: Consideration of a conditional use permit for Buehner Marble and Granite at 925 West 100 North

RECOMMENDATION

The Development Review Committee (DRC) recommends approval of the conditional use permit for Buehner Marble and Granite at 925 West 100 North with no conditions.

REVIEW

Buehner Marble and Granite is moving from South Salt Lake into an existing industrial building at 925 West 100 North. The business is a fabrication business that cuts, polishes, and installs stone countertops. Miscellaneous manufacturing is listed as a conditional use in the CG Zone. The existing building is industrial building with office front on the north side of the building and warehouse/manufacturing space at the south accessed by overhead roll up doors.

The business will have 5 shop employees and 6 office employees. The business will occupy approximately 1/3 of the building with 4,000 sq. ft. for office and sales and 8,500 sq. ft. of manufacturing area. The business utilizes CNC bridge saws and routers. There will be no outdoor storage of stone or other materials and all fabrication and cutting will occur within the building.

Traffic generation will be no greater than average for the building type and use of the area. They expect slab deliveries once per week as well as sink deliveries at the same rate. Customers also come to the sales portion of the building to choose and purchase countertops for installation. The building has approximately 65 parking spaces that are currently underutilized. The number of employees and customers expected at the site would require less than 1/3 of parking provided.

Noise from cutting the stone will be contained entirely within the building and is expected to have no effect on any residential areas. The DRC has not identified any concerns or impacts that require mitigation and thus are recommending approval of the conditional use permit with no conditions.

POSSIBLE MOTION

I move that the Planning Commission approve the conditional use permit for Buehner Marble and Granite at 925 West 100 North with no conditions.

Attachments

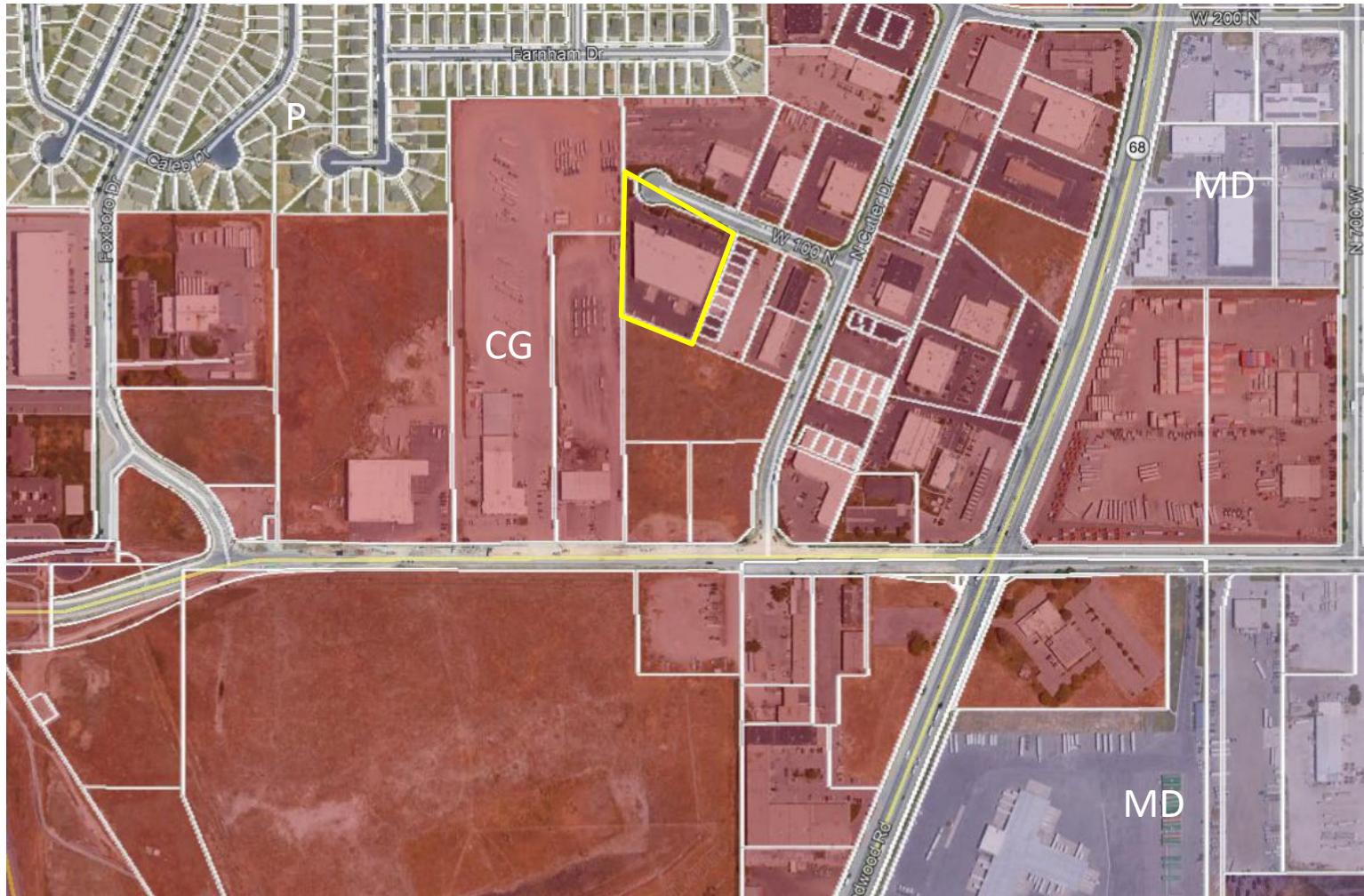
- 1) Aerial/Vicinity Map



Conditional Use Permit

Buehner Marble and Granite

Aerial/Zoning

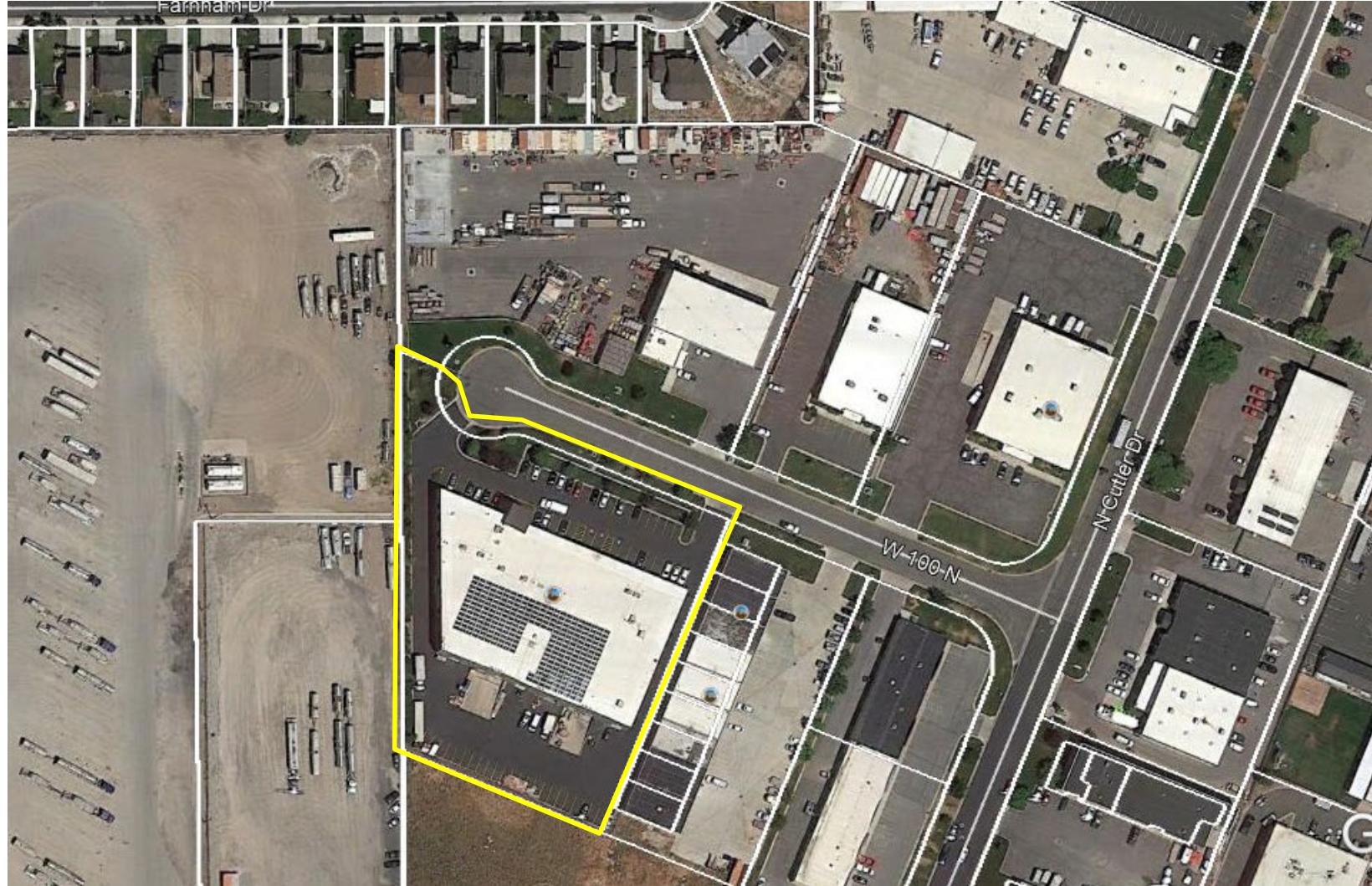




Conditional Use Permit

Buehner Marble and Granite

Aerial



CITY OF NORTH SALT LAKE
PLANNING COMMISSION MEETING
MARCH 24, 2020

DRAFT

This meeting was held electronically via Zoom. The host site was located at 10 East Center Street in North Salt Lake.

Commission Chair Ted Knowlton called the meeting to order at 6:30 p.m. and BreAnna Larson led those present in the Pledge of Allegiance.

PRESENT: Commission Chair Ted Knowlton
Commissioner Stephen Garn
Commissioner Kent Kirkham
Commissioner William Ward
Commissioner Brandon Tucker
Commissioner BreAnna Larson
Commissioner Alisa Van Langeveld

STAFF PRESENT: Sherrie Llewelyn, Community Development Director; Andrea Bradford, Minutes Secretary.

OTHERS PRESENT: Jonathon Gardner, Gardner Batt; Michael Pate, Amarok; Will Hopkins, Dee Lalliss, residents.

1. PUBLIC COMMENTS

There were no public comments.

2. PUBLIC HEARING: CONSIDERATION OF A REQUEST TO AMEND THE NSL CITY LAND USE CODE, SECTION 10-1-33(F)(2)(c) ELECTRIC FENCING

Sherrie Llewelyn reported that the City received a request for a code amendment after the applicant had made application to install an electric fence at 295 South Redwood Road. The applicant wanted to install the outer security fence as a chain link with slats and the code requires a solid fencing material. The applicant has made application to amend the code to allow the security fence be chain link with slats as a solid fence. She explained that the City Council, with a recommendation from the Planning Commission, recently changed the code so that chain-link with slats was no longer allowed as a screening measure.

The DRC has recommended the following language “Perimeter Fence or Wall: No electric fence shall be installed or used unless it is fully enclosed by a nonelectrical fence, solid screening device, or wall that is a minimum of six feet (6') in height, not to exceed the height of the electric

44 fence. The nonelectrical fence shall be constructed of materials that reasonably prevent a person
45 from reaching through the outer fence to touch the electric fence and is not easily climbable.
46 Chain-link fencing shall only be permitted as an acceptable fencing material in locations that are
47 not otherwise prohibited by ordinance and with the installation of a solid screening device such
48 as slats or durable mesh screening.” As well as the addition of Section J which would read:
49 “Failure to properly maintain electrical fencing, warning signage, or solid screening devices shall
50 constitute a violation of this section subject to civil penalty and shall be enforced as provided in
51 Title 12 Administrative Code Enforcement.”

52
53 Mrs. Llewelyn explained that staff was in favor of the change to allow chain-link with slats or
54 mesh screening to shield pedestrians but said this would not allow chain-link to be used on street
55 frontages where it was prohibited such as Redwood Road, Center Street or 1100 North. It would
56 be allowed on side property lines on those streets.

57
58 Commissioner Van Langeveld asked if there were any guidelines on coloring or having a
59 uniform color overall. Sherrie Llewelyn said that guidelines could be added to ensure the fencing
60 slats were neutral colors or a uniform pattern or design.

61
62 Sherrie Llewelyn showed an example of the different slat types that could be used for privacy in
63 a chain-link fence. These included plastic PVT, wing, hedge, and aluminum privacy slats as well
64 as a mesh screen. She said her main concern was maintenance of the slats.

65
66 **Commission Chair Knowlton opened the public hearing at 6:41 p.m.**

67
68 Michael Pate, Amarok, explained that his company came in several years ago and helped write
69 the City’s original electric fence code. He said they recently came in to get a permit for
70 construction and found that this type of fencing was now disallowed. Mr. Pate expressed
71 confusion for why the code had changed and this type of fencing was no longer allowed. He felt
72 electric fencing was a safe and responsible way to protect properties and that a solid wall was
73 obtrusive.

74
75 Commissioner Van Langeveld asked Mr. Pate if he was against the secondary fence or screening
76 for the secondary fence. Michael Pate said he was only against the screening. He explained that
77 the International Standards (IAC) required a perimeter fence be erected before the security fence
78 could be installed.

79
80 Commissioner Garn questioned if the electric fence could seriously harm an individual who
81 touched it. Michael Pate said the fence was similar to a livestock fence and operated on an even
82 lower voltage as required by IAC standards. He also said warning signs were required every 30
83 feet, the energizers had to be tested by a national tester, and the fence was also attached to an
84 alarm.

85

86 **Commission Chair Knowlton closed the public hearing at 6:51 p.m.**

87
88 Chair Knowlton asked for an example of electrical fence types.

89
90 Commissioner Larson asked in regards to the visual impact behind the fence if it was not
91 screened. Michael Pate replied that the fence gauge was thin and already provided some
92 screening. He said that the public view behind the fence would be the business use such as
93 trucking or automobile rentals.

94
95 Sherrie Llewelyn presented several examples of different electrical fences to those present.

96
97 Chair Knowlton asked about the current standards for regular fencing. Sherrie Llewelyn replied
98 that a business in the industrial park could install a chain-link fence around the perimeter of their
99 property but it would need to be set back 20 feet from the property line. It could be chain-link,
100 wooden, vinyl, or a wall; however, if there was outdoor storage of materials the fence would
101 need to be screened. She said the ordinance change related to fencing was made to specifically
102 state that chain-link with slats is not a suitable screening for outdoor storage. Mrs. Llewelyn also
103 explained that the intent of the ordinance was to provide a screening device to prevent people
104 from reaching through and touching the electric fence.

105
106 Chair Knowlton explained that the Commission should keep in mind that the code change would
107 affect all fencing, including electrical fences, and should not focus on the request for Mesco or
108 another specific property.

109
110 Michael Pate commented that electric fences were already allowed and that the concern was the
111 screening requirement for electric fences.

112
113 Commissioner Kirkham commented on the civil penalty referenced in the proposed Section J.
114 Sherrie Llewelyn replied that if the fence was not maintained the property owner could be cited
115 and fined a civil penalty with a maximum fine of \$1,000. She said there needed to be a clear
116 mechanism to ensure that fences were maintained.

117
118 Commissioner Ward asked in terms of the effectiveness of the electric fence in regards to the
119 barrier and the warning signs. He asked if the warning signs would be on the electric fence or the
120 barrier fence. Michael Pate said the signs would most likely be on the barrier fence as well as
121 every 30 feet around the property. He felt the slats would darken the area behind the fence and
122 could cause additional security issues. Mr. Pate commented that he understood the concern and
123 reasoning behind having a barrier fence but said the electric fence was not lethal. He also felt it
124 would be expensive to install both fences.

125
126 Commissioner Garn asked if the electric fence would be around the entire perimeter of the
127 property. Sherrie Llewelyn replied that the proposed fence would only be around a portion of the

128 property but reminded the Commission that the code change would be apply to all industrial or
129 commercial properties and not just that one.

130
131 Michael Pate commented that the gate would be at least 200 feet from the street and the rear
132 property line was not visible from the public view.

133
134 Commissioner Van Langeveld asked the Commission if there should be language addressing the
135 color or tone for the fencing that would surround an electrical fence. Commissioner Kirkham
136 asked if there were specifications in the existing fence code.

137
138 Sherrie Llewelyn commented that wording to address the slat color and tone could be added to
139 the amendment. Commission Van Langeveld suggested that a change in color must be a design
140 change and not haphazard.

141
142 Chair Knowlton asked the Commission how they felt about slats being installed to prohibit
143 individuals from touching an electric fence.

144
145 Commissioners Kirkham and Garn felt the electric fence did not need to be screened if it was not
146 visible from the public. Commissioner Kirkham said there could still be a double fence but
147 suggested against slats.

148
149 Commissioner Larson asked if the ordinance was changed if there would still be an opportunity
150 to require outdoor storage to be screened. Sherrie Llewelyn replied that screening would still be
151 required for outdoor storage, which is adjacent to residential properties or visible from the street.
152 She said in regards to the proposed property that as it was not visible from the road she would
153 rather not have the slats with the additional chain-link fence for aesthetic reasons.

154
155 Chair Knowlton commented that he was comfortable without requiring slats or other screening.
156 Sherrie Llewelyn suggested that Section C of the amendment could be re-written to read “No
157 electric fence shall be installed or used unless it is fully enclosed by a nonelectrical fence or wall
158 that is a minimum of six feet (6’) in height, not to exceed the height of the electric fence.” She
159 also suggested the removal of the wording in red.

160
161 Commissioner Van Langeveld asked about other potential areas in the City where this code
162 could apply. Sherrie Llewelyn replied that any location in the industrial zone with a fence taller
163 than four feet would need to be set back from the street a minimum of 20 feet. She also said it
164 would not be allowed parallel to Redwood Road, Center Street, or 1100 North.

165
166 Commissioner Kirkham asked if the gate would also be electrified. Michael Pate replied that the
167 gate would not be electrified due to the increased weight that electrifying it would cause.

168

169 Commissioner Van Langeveld asked if the Development Review Committee (DRC) had
170 additional concerns. Sherrie Llewelyn explained that the original concern related to electric
171 fences was children touching the fences, which resulted in the requirement for the outer solid
172 fence barrier. She said that if the Commission did not feel that this was a concern that she would
173 recommend the removal of the slats if a solid fence was no longer required.

174
175 The Commission was in agreeance that a chain-link barrier fence was adequate versus a solid
176 screening device.

177
178 **Commissioner Ward moved that the Planning Commission recommend for approval an
179 amendment to section 10-1-33F-2 Section C to remove the word “solid” appearing in the
180 first sentence and adding a new subsection J as set forth in the memorandum “Failure to
181 properly maintain electrical fencing, warning signage, or solid screening devices shall
182 constitute a violation of this section to civil penalty and shall be enforced as provided in
183 Title 12 Administrative Code Enforcement” and with the following findings:**

184
185 1) The proposed amendment is in accord with the comprehensive general plan, goals
186 and policies of the City.
187 2) Changed or changing conditions make the proposed amendment reasonably
188 necessary to carry out the “purposes” stated in this title.

189
190 **Commissioner Garn seconded the motion. The motion was approved by Commissioners
191 Knowlton, Garn, Kirkham, Ward, Tucker, Larson and Van Langeveld via roll call.**

192
193 3. CONSIDERATION OF A CONDITIONAL USE PERMIT FOR GARDNER
194 DISTRIBUTION FACILITY AT 989 WEST CENTER STREET, JONATHON
195 GARDNER, APPLICANT

196
197 Sherrie Llewelyn reported that the property located at 989 West Center Street was the former
198 location of the NSL Gun Club. The property, which is zoned General Commercial (CG), is
199 approximately 56 acres in size. The property has been acquired from the Kimball family by
200 Gardner Batt, a commercial developer.

201
202 Mrs. Llewelyn showed a conceptual site plan to those present and said it would be a 201,000
203 square foot warehouse/office/distribution facility. The use “Electronic Shopping & Mail Order
204 House” is listed as a conditional use in the CG zone. The applicant is seeking conditional use
205 permit to secure the land use entitlement to fulfill contractual obligations with the end user tenant
206 company. Gardner Batt would own the property and building and will lease the facility to an
207 online sales and distribution company for their last mile program and one-day delivery services.

208
209 The proposed facility specializes in “last mile” delivery of customer orders from delivery
210 stations with packages shipped to the facility from fulfillment centers for customer delivery. Mrs.

211 Llewelyn showed a map of the access points on the property as well as truck parking and said the
212 haul trucks would enter the property solely from the access from Redwood Road that will be
213 constructed across the newly acquired Kelly property. The packages would be unloaded and
214 sorted based on zip codes and then loaded into delivery vans that are operated by delivery service
215 partners or personal vehicles.

216
217 The facility would operate 24/7, with most of the sortation activity done early in the morning
218 when the line haul trucks arrive with customer packages. Line haul trucks will deliver packages
219 to the facility each day, primarily between the hours of 10:00 p.m. to 8:00 a.m. Associates sort
220 the packages by routes, place the packages onto movable racks and load the packages into the
221 delivery vans primarily between 12:30 a.m. and 11:00 a.m. The facility would employ
222 approximately 800 people. The employees who drive delivery vans will park their personal
223 vehicles in the van parking area when they pick up their van. The employees working within the
224 facility will park in the north lot.

225
226 The first “wave” of drivers arrive at a delivery station at approximately 10:00 a.m. to pick up
227 their delivery vans. The drivers load their delivery van and depart to deliver packages directly to
228 customers. Each delivery wave takes about 20 minutes to load and depart. As a wave of drivers
229 prepare to depart, a new wave of drivers queue and prepare to load their delivery vans. The last
230 wave of drivers departs the delivery station around 12:30 p.m. Delivery vans will depart the
231 Delivery Station between 10:00 a.m. and 12:30 p.m. and return between 7:30 p.m. and 9:30 p.m.
232 After drivers complete their routes, they return to the delivery station with any packages that may
233 have been non-deliverable. After proper checkout and release, the drivers park the delivery van
234 and leave using a personal vehicle or public transport.

235
236 The company also uses contracted employees with personal vehicles to deliver packages. This is
237 a new innovation from the company that allows individuals to use their own vehicles to deliver
238 packages to customers. These traditional passenger vehicles will enter the facility staggered
239 between 4:00 p.m. and 6:00 p.m. These loading waves similarly take 20 minutes to complete.
240 After departure of the last wave of delivery vehicles, delivery station associates prepare the
241 delivery station for the next day’s packages.

242
243 The parking provided exceeds the minimum requirements for the office space and warehouse
244 uses. Pedestrian access has been provided within the parking areas that are greater than 75,000
245 square feet as required by the code. The parking on site for employees, customers and delivery
246 vehicles would include 374 stalls in the north parking lot, 812 stalls in the west parking lot, 349
247 stalls in the east parking lot. City code would require 210 parking stalls with the applicant
248 proposing a total of 1,477 stalls.

249
250 The conceptual landscape plan submitted shows an extensive landscape plan that includes 27,228
251 square feet of turf area along Center Street, 551,167 square feet of native grass areas with planted
252 shrubs, and 359 trees. This equates to 13.28 acres or approximately 24% of the site. Tree buffers

253 and landscaped berms are to be planted along the western property lines to buffer the van parking
254 areas from view of the Legacy Trail. Parking lot trees are included internal to the parking areas
255 as well, with the exception of the islands that are required every 20 spaces within the van parking
256 areas. Staff has agreed to recommend removal of those islands in exchange for intensified
257 perimeter landscaping. Additional trees and manicured landscaping along Center Street far
258 exceeding the minimum required.

259
260 Chair Knowlton asked if the landscaping details would be addressed at site plan approval.
261 Sherrie Llewelyn replied that this was correct but wanted to give the Planning Commission an
262 idea of the intent for the property.

263
264 Sherrie Llewelyn said one issue was the traffic study for a potential annexation, which would
265 require Center Street to be expanded to five lanes. The City Engineer requested that the applicant
266 provide additional setback from Center Street to reserve the area for that future road widening.
267 The developer has agreed to the request by moving the parking area and providing additional
268 landscaping in that area.

269
270 Mrs. Llewelyn also spoke on additional concerns including an additional request by the City
271 Engineer for a traffic study to be submitted with the site plan to determine if any improvements
272 will be required on Center Street to facilitate traffic impacts, that any building signage be
273 required to meet the adopted standards, sizes, heights and restrictions, specifically freeway
274 oriented signs directed toward Legacy Highway are prohibited. Other considerations included
275 that the site plan be required to incorporate Low Impact Design measures for storm water
276 treatment on site, that the only fencing to be provided on site is between the loading areas and
277 the van parking areas and no perimeter fencing is proposed but if installed shall be installed in
278 conformance to adopted standards namely chain link fencing is not permitted along the Center
279 Street frontage, as well as the new trail along Center Street will be preserved or relocated and
280 restored if any portion needs to be removed during construction.

281
282 Sherrie Llewelyn then said the building would be tilt up concrete with incorporated recesses,
283 color changes, and parapet variations as required by the design standards of the code. She
284 showed an example of the elevation and explained that the blue accent color on the exterior of
285 the building was to incorporate the logo of the end user. The horizontal, vertical and parapet
286 variation has been addressed to meet the standards. The building would be 46 feet in height and
287 under the maximum height limit of 60 feet in the CG zone. The west and east sides of the
288 building would have lean to structures to provide coverage for the purpose of loading the
289 delivery vans.

290
291 Commissioner Kirkham asked if there were concerns or considerations for the proposed amount
292 of additional vehicles accessing Center Street and Redwood Road. He asked if there would be a
293 turnout lane. Sherrie Llewelyn replied that this was the reason for the traffic study to determine if
294 any lane changes, striping or an acceleration lane should be added.

295
296 Jonathon Gardner, Gardner Distribution, commented that the traffic study had been completed
297 and was being reviewed by the tenant to see if it would meet their needs. He also said UDOT had
298 discussed a full access intersection at Redwood Road but no signal would be anticipated at this
299 time.
300
301 Sherrie Llewelyn commented that this project would add \$70 million in value to the Redwood
302 Road RDA. She also said this project would be built within one year's timeframe from today.
303
304 Jonathon Gardner replied that he believed it would be even more than \$70 million. Chair
305 Knowlton clarified that this would be the value of improvement above the current land value.
306
307 Jonathon Gardner commented that they would like to break ground on the project as soon as
308 possible and felt that the \$70 million dollars would come in within a ten to twelve month time
309 period. He said in lieu of recent events there has never been more of a need for this business and
310 that it would serve NSL and the South Davis County region.
311
312 Commissioner Tucker asked if the majority of the traffic accessing Redwood Road would be
313 heading northbound. He felt that this would warrant a signal with a protected left. Jonathon
314 Gardner replied that he was unsure but as full access was granted that pressure from the City
315 would be helpful in obtaining a signal from UDOT.
316
317 Sherrie Llewelyn commented that there was a similar project under construction in American
318 Fork and asked if there was a proposal for another location between the North Salt Lake and
319 American Fork. Jonathon Gardner replied that there would be several other facilities planned
320 from Springville to Logan.
321
322 Chair Knowlton asked if these facilities would create a locational advantage for certain types of
323 firms. Jonathon Gardner replied that other similar facilities were located in areas with good
324 access such as Redwood Road. He said you may see retail, restaurants, etc. to service this type of
325 business with a lot of employees. Mr. Gardner said the Kimballs would maintain ownership
326 along the Redwood corridor and would move forward with small businesses and retail as the
327 market dictated.
328
329 Sherrie Llewelyn commented that staff felt this use would likely drive hospitality uses such as
330 restaurants, a hotel, and retail, etc.
331
332 Chair Knowlton asked if conditions needed to be put in place to mitigate certain impacts. Sherrie
333 Llewelyn replied that a conditional use is a permitted use with conditions and those must relate
334 to the actual effects of the use on the surrounding properties. She said the DRC recommended
335 approval with four conditions particularly related to the right of way, traffic study, access
336 agreements, and the trail preservation.

337

338 Commissioner Tucker suggested that the traffic study include Redwood Road as well as Center
339 Street. Sherrie Llewelyn replied that she had no objection to that request. She said the concern
340 was for widening improvements on Center Street but Redwood Road could be added as well.
341

342 Sherrie Llewelyn recommended removing “on Center Street” from the recommended condition 2
343 in the event requirements were needed on other roads such as Redwood.
344

345 **Commissioner Tucker moved that the Planning Commission approve the conditional use
346 permit for the Gardner Batt Distribution Facility at 989 West Street Center Street, subject
347 to approval of a site plan, with the following condition(s):**

348

349 1) **Sufficient landscaping shall be maintained along Center Street should the City need
350 to acquire additional road right of way is needed to widen the street in the future;**
351 2) **Submission of a traffic study with site plan application to determine if any
352 improvements are to be required;**
353 3) **Submission of private road access and maintenance agreement for the drive access
354 to Redwood Road; and**
355 4) **The trail along Center Street will be preserved or restored if damaged or removed
356 during construction.**

357

358 **Commissioner Kirkham seconded the motion.**

359

360 Sherrie Llewelyn clarified that the address was 989 West and not 989 East as it was listed
361 incorrectly in the staff report.
362

363 **The motion was approved by Commissioners Knowlton, Garn, Kirkham, Ward, Tucker,
364 Larson and Van Langeveld via roll call.**

365

366 Chair Knowlton suggested that a pedestrian connection or access be added on the east side next
367 to the driveway that accessed Redwood Road for employees that utilized public transportation.
368

369 Commissioners Van Langeveld, Tucker, and Larson expressed approval of the project
370 particularly in relation to landscaping and parking, which exceed the minimum requirements, as
371 well as traffic flow.
372

373 Commissioner Ward expressed his belief that the visual effects from the trail and the street was
374 most important and was in favor of focusing on the landscaping near those areas rather than
375 internal landscape islands in the van parking areas. Commissioner Garn said that his concern was
376 traffic but felt the possibility to widen Center Street could help alleviate some issues.
377

378 Jonathon Gardner commented that the tenant wanted to be a good tenant and could rearrange
379 things to allow for better access and flow. He said they increased the landscaping to ensure that
380 the property was not an eyesore.

381

382 4. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY
383 PLANNING COMMISSION

384

385 Sherrie Llewelyn reported that during the last City Council meeting they tabled the subdivision
386 ordinance for a more in depth review and to make wording changes per Council Member Baskin.
387 She said they also postponed the joint work session with the Planning Commission related to the
388 form based code.

389

390 Mrs. Llewelyn said that a different video conferencing system would be used for the next
391 Planning Commission meeting.

392

393 5. APPROVAL OF MINUTES

394

395 The Planning Commission meeting minutes of March 10, 2020 were reviewed and approved.
**Commissioner Larson moved that the Planning Commission approve the meeting minutes
from March 10, 2020. Commissioner Van Langeveld seconded the motion. The motion was
approved by Commissioners Knowlton, Garn, Kirkham, Ward, Tucker, Larson and Van
Langeveld.**

400 6. ADJOURN

401

402 Chair Knowlton adjourned the meeting at 8:07 p.m.

403

404

405

406

407 Chair

Recorder

408

409

410

411

412 Secretary