



## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### **NORTH SALT LAKE PLANNING COMMISSION NOTICE & AGENDA April 14, 2020 6:30 p.m.**

Notice is given of a public meeting of the North Salt Lake Planning Commission to be held on the above noted date and time in the North Salt Lake City Council chambers located at 10 East Center Street. The agenda will be as follows:

Welcome, Pledge, and Introduction

- 1) Public comments
- 2) Public Hearing-Consideration of a request to vacate lots 1A & 1B of The North Redwood Industrial Park Plat A Amended located at approximately 1100 West Center Street, Kimwell Corp. and UDOT, applicants
- 3) Consideration of Site Plan Approval for Dickson Companies Phase 2, an office warehouse building at 920 West Center Street, Scott Thorsen, CIR Engineering, applicant
- 4) Consideration of Conditional Use Permit for Buehner Marble & Granite at 925 West 100 North, Tanner Turville, applicant
- 5) Report on City Council actions on items recommended by Planning Commission
- 6) Approval of minutes:
  - a. March 24, 2020

Adjourn

**NOTICE:** This meeting will be held electronically via 3CX. The host site will be located at 10 East Center Street, members of the public and applicants are invited to attend via your electronic device at the link below:

<https://nslex-etspbx-com.3cx.net/webtrc/open/197e523486582c7cf8ec53ec57089bfa5c044d7a>

The public is invited to attend all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the City offices at (801) 335-8700. Please provide at least 24 hours notice for adequate arrangements to be made. Times noted on the agenda are estimates only – the Commission may proceed faster or slower than these estimates indicate.

**Notice of Posting:**

**I, the duly appointed recorder for the City of North Salt Lake, hereby certify that the foregoing agenda was posted on the Utah Public Notice website, at city hall, and sent to the required newspapers this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.**

**Dated this \_\_\_\_ day of \_\_\_\_\_, 20\_\_.**



## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### MEMORANDUM

**TO:** Planning Commission  
**FROM:** Sherrie Llewelyn, Community Development Director  
**DATE:** April 14, 2020  
**SUBJECT:** Consideration of a request to vacate a portion of a subdivision plat known as the North Redwood Industrial Park, Plat A, Amended, lots 1A & 1B, located at approximately 1100 West Center Street

---

### RECOMMENDATION

The Development Review Committee (DRC) recommends approval of requested vacation of lots 1A & 1B the North Redwood Industrial Park, Plat A, Amended, with the following findings:

1. There is good cause for the vacation or amendment; and
2. No public street or municipal utility easement has been vacated or amended.

### BACKGROUND

The owners of the remaining lots in the North Redwood Industrial Park, Plat A subdivision are UDOT and Kimwell Corporation. The owners have requested the plat vacation for the purposes of combining the Kimwell lots with adjacent property for the sale to the Gardner Batt Company for the distribution center approved at the last Planning Commission meeting by conditional use permit. The vacation of the plat will have no effect on the recorded rights of way. The vacation will only vacate lots 1A and 1B, of which Kimwell is the majority property owners and with UDOT owning portions of those lots that are to be sold to Kimwell.

Once the vacation of the lots has been completed, the remaining properties will be combined by consolidation deed and lot line adjustment. The consolidated property will be sold to the Gardner Batt Company for the distribution facility.

### REVIEW

Utah State Code 10-9a-608 to 609 governs the regulations for vacating a portion of a recorded subdivision plat. No public hearing is required if all owners of the proposed vacation have signed the petition for vacation. In this instance both owners, Kimwell and UDOT, have signed. However, city ordinance still requires the public hearing. Notice was posted and mailed in accordance with the state statute and no comments have been received to date. In order to vacate a plat the city must be able to find that there is good cause for the vacation and that no public street or municipal utility easement will be affected.

The two lots in question to be vacated each have limited frontage on Center street and Redwood Road, but are irregular in shape and are better suited for development if incorporated into the former Gun Range property. Therefore, the DRC has recommended approval of the proposed vacation.

**POSSIBLE MOTION**

I move that the Planning Commission approve requested vacation of lots 1A & 1B of the North Redwood Industrial Park, Plat A, Amended, with the following findings:

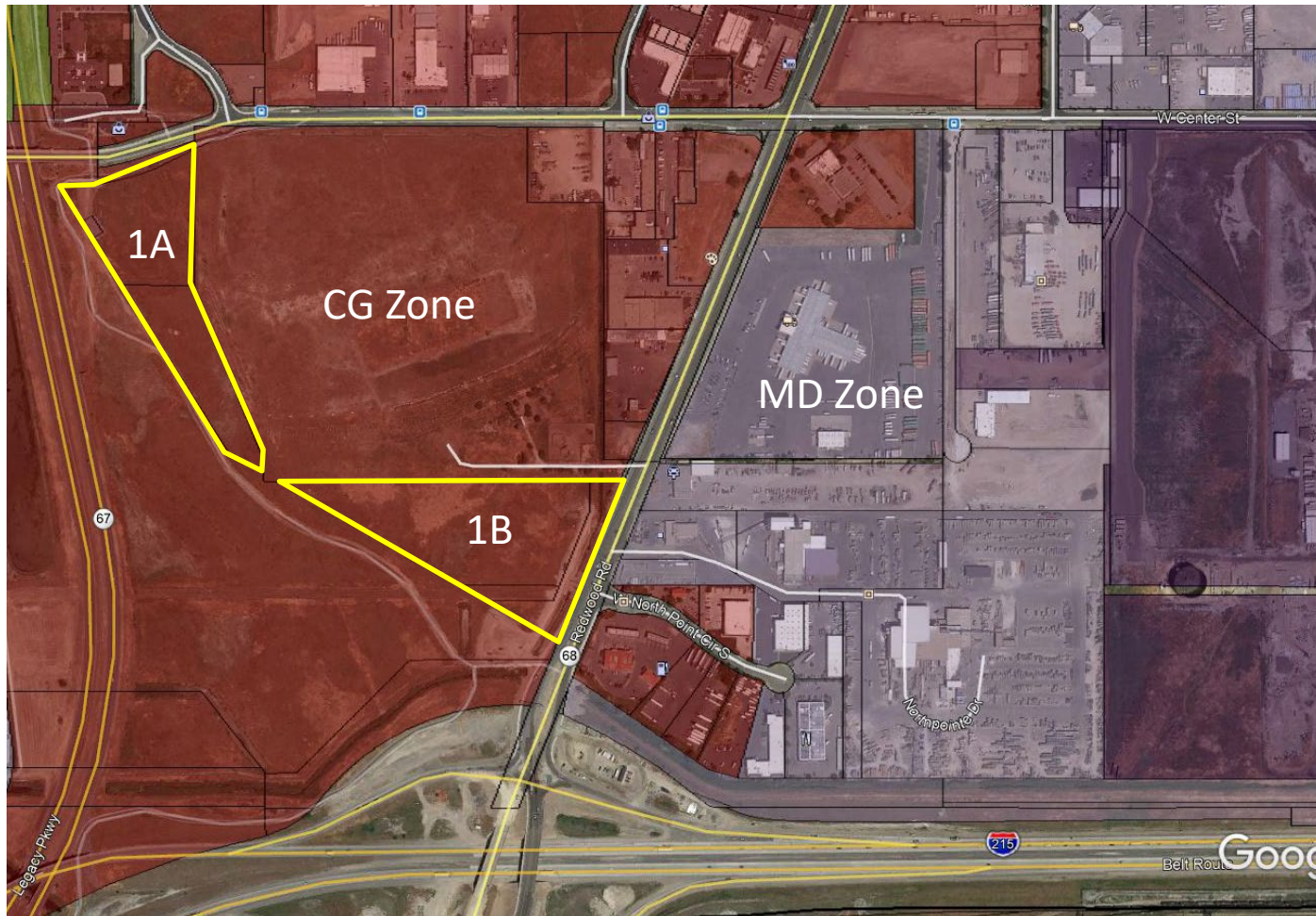
1. There is good cause for the vacation or amendment; and
2. No public street or municipal utility easement has been vacated or amended.

**Attachments**

- 1) Aerial/Vicinity Map
- 2) Plat Map



# North Redwood Industrial Park Plat A-Vacation 1100 West Center Street Aerial/Zoning Map





# NORTH REDWOOD INDUSTRIAL PARK PLAT "A" AMENDED

AMENDING ENTIRE SUBDIVISION TO DEFINE THE RIGHT OF WAY EXTENTS OF  
LEGACY PARKWAY THROUGH SAID SUBDIVISION BY VACATING ALL STREETS AND  
ORIGINAL LOTTING AND CREATING LOTS 1A & 1B, PARCELS 1, 2, & 3, AND STREET  
DEDICATION FOR THE REALIGNMENT OF CENTER STREET  
SITUATE IN THE NE1/4 AND THE NW1/4 OF SECTION 10, T.1N., R.1W., SLB&M,  
NORTH SALT LAKE CITY, DAVIS COUNTY, STATE OF UTAH

NORTHWEST CORNER  
SEC. 10, T.1N., R.1W., SLB&M.  
NOT FOUND. POSITION REESTABLISHED  
FROM DAVIS COUNTY SURVEYOR'S SECTION  
CORNER TIE SHEET

## CENTER STREET BASIS OF BEARING

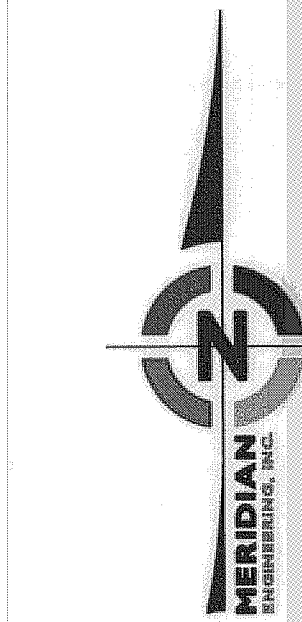
N.89°45'51"W. (DC & NRI & M)  
2642.60' (M) 2642.71' (DC & NRI)

## CENTER STREET REALIGNMENT (SEE DETAIL "A")

NORTH QUARTER CORNER  
SEC. 10, T.1N., R.1W., SLB&M.  
FOUND MAG NAIL

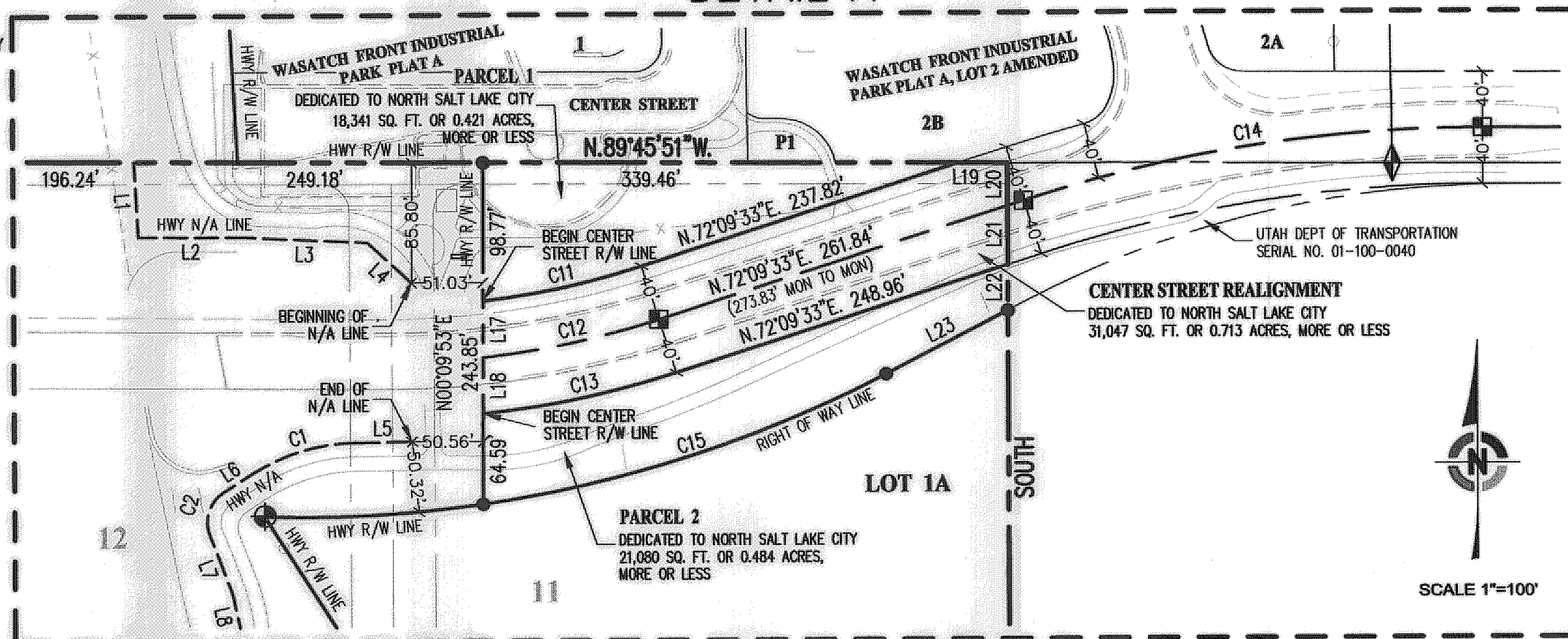
### NOTES:

- ALL COORDINATES SHOWN ARE BASED ON DAVIS COUNTY SURVEYOR'S OFFICE DATUM.
- APPROVAL OF THIS DEVELOPMENT PLAT BY NORTH SALT LAKE CITY DOES NOT CONSTITUTE ANY REPRESENTATION AS TO THE ADEQUACY OF SUB-SURFACE SOIL CONDITION NOR THE LOCATION OR DEPTH OF GROUNDWATER TABLES.



SCALE 1"=200'

## DETAIL "A"



SCALE 1"=100'

### CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	76.89	140.00	31°28'09"	S.73°16'18"W.	75.93
C2	34.29	25.00	78°35'21"	S.18°14'33"W.	31.67
C3	46.55	125.00	21°20'11"	S.22°51'40"E.	46.28
C4	195.98	340.00	33°01'35"	S.17°00'58"E.	193.28
C5	153.14	130.00	67°29'40"	S.34°15'01"E.	144.44
C6	74.88	240.00	17°52'33"	S.39°00'43"E.	74.57
C7	309.05	600.00	29°30'44"	S.62°42'22"E.	305.65
C8	104.00	325.00	18°20'06"	S.68°17'41"E.	103.56
C9	199.71	420.00	27°14'39"	S.45°30'19"E.	197.83
C10	52.15	138.96	21°30'09"	S.41°14'59"E.	51.85
C11	116.17	590.00	11°16'53"	N.77°48'00"E.	115.98
C12	128.76	630.00	11°42'36"	N.78°00'51"E.	128.53
C13	141.34	670.00	12°05'14"	N.78°12'10"E.	141.08
C14	333.18	1060.00	18°00'34"	N.81°09'51"E.	331.81
C15	303.82	902.23	19°17'38"	N.72°17'14"E.	302.39

### LEGEND

- SUBDIVISION BOUNDARY LINE
- EXISTING SUBDIVISION LINE
- NEW RIGHT OF WAY LINE
- EXISTING RIGHT OF WAY LINE
- NO ACCESS LINE
- NEW LOT LINE
- SECTION LINE
- CURB & GUTTER
- CHAINLINK FENCE
- EDGE OF ASPHALT
- FOUND UDOT RIGHT OF WAY MARKER
- STREET MONUMENT TO BE SET

### LINE TABLE

LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S.03°14'42"E.	53.84	L9	S.33°31'46"E.	63.47	L17	S.00°09'53"W.	40.26
L2	S.89°55'47"E.	75.27	L10	S.00°30'11"E.	60.75	L18	S.00°09'53"W.	40.23
L3	S.87°25'40"E.	88.30	L11	S.67°59'51"E.	171.90	L19	S.89°45'51"E.	35.12
L4	S.47°25'39"E.	42.59	L12	S.32°45'05"E.	374.66	L20	SOUTH	30.57
L5	S.89°00'23"W.	41.53	L13	S.30°04'26"E.	157.96	L21	SOUTH	42.02
L6	S.57°32'13"W.	24.64	L14	S.47°57'00"E.	186.46	L22	SOUTH	32.57
L7	S.21°03'08"E.	45.68	L15	S.59°07'38"E.	84.17	L23	S.62°38'24"W.	98.22
L8	S.12°11'35"E.	34.86	L16	S.31°52'59"E.	221.27			

TYPICAL: SET 5/8" REBAR &  
ORANGE CAP MARKED  
"MERIDIAN 801-569-1315"  
UNLESS OTHERWISE NOTED

## LEGACY PARKWAY STATE ROUTE 67

RETAINED IN THE NAME OF THE UTAH DEPARTMENT  
OF TRANSPORTATION FOR USE AS PUBLIC RIGHT OF  
WAY FOR LEGACY HIGHWAY.  
UDOT PROJECT NO. SP-0067(1)0  
2,368,541 SQ. FT. OR 54,374 ACRES,  
MORE OR LESS

UTAH DEPARTMENT  
OF TRANSPORTATION  
SERIAL NO. 01-130-0001  
THROUGH 01-130-0022

## 1B

422,573 SQ. FT. OR  
9,701 ACRES,  
MORE OR LESS

PREPARED BY:



### RECOMMENDED FOR APPROVAL

THIS 28<sup>th</sup> DAY OF August, 2012

Paul Altman  
CITY ENGINEER

### CITY COUNCIL'S APPROVAL

PRESENTED TO THE CITY COUNCIL OF NORTH SALT  
LAKE CITY, UTAH.  
THIS 21<sup>st</sup> DAY OF August, 2012, AT  
WHICH TIME THIS SUBDIVISION WAS APPROVED AND  
CITY RECORDER ATTEST:  
MAYOR: [Signature]

### RECOMMENDED FOR APPROVAL

THIS 31<sup>st</sup> DAY OF JULY, 2012

Eric R. Rasmussen  
CHAIRMAN PLANNING COMMISSION

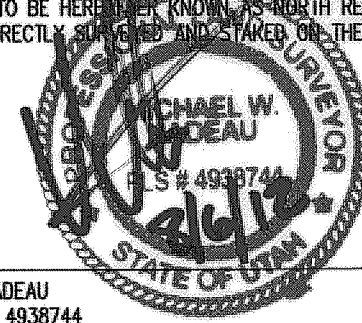
### RECOMMENDED FOR APPROVAL

THIS 4<sup>th</sup> DAY OF Sept, 2012

Dee Dee Clark  
CITY ATTORNEY

### SURVEYOR'S CERTIFICATE

I, MICHAEL W. NADAU, A PROFESSIONAL LAND SURVEYOR, HOLD CERTIFICATE NO. 4938744, AS PRESCRIBED BY THE STATE  
OF UTAH, AND DO HEREBY CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE AN ACCURATE SURVEY OF THE  
TRACT OF LAND SHOWN ON THIS PLAT, AND DESCRIBED HEREIN, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS  
AND STREETS TO BE HEREIN SHOWN, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND SHOWN ON THE GROUND AS SHOWN ON THIS PLAT.



MICHAEL W. NADAU  
UTAH PLS NO. 4938744

### RECORD DESCRIPTION

FROM NORTH REDWOOD INDUSTRIAL PARK PLAT "A" SUBDIVISION PLAT: BOOK 873 PAGE 147.  
(VERBATIM)

BEGINNING ON THE SECTION LINE AT A POINT N 89°45'51" W 274.690 FEET ALONG THE SECTION LINE FROM THE NORTH 1/4  
CORNER OF SECTION 10 TOWNSHIP 1N. RANGE 1W. SLB. & M. (DAVIS CO. BEARING BASE) AND RUNNING THENCE SOUTH  
649.950 FEET, THENCE S 22°20'55" E 713.00 FEET, THENCE SOUTH 85.00 FEET, THENCE EAST 1402.036 FEET TO THE  
WESTERLY LINE OF REDWOOD ROAD, THENCE S 22°17'10" W 745.372 FEET ALONG SAID WESTERLY LINE, THENCE S 89°36'06" W  
548.338 FEET, THENCE S 45°06'36" W 622.390 FEET, THENCE S 89°56'00" W 120.721 FEET, THENCE N 38°12'49" W 405.561  
FEET, THENCE  
S 89°56'00" W 894.28 FEET, THENCE N 0°06'00" W 350.00 FEET, THENCE N 89°56'00" E 48.538 FEET, THENCE N 0°06'00" W  
1863.002 FEET TO THE SECTION LINE, THENCE  
S 89°45'51" E 819.997 FEET ALONG THE SECTION LINE TO THE POINT OF BEGINNING.  
CONTAINS 73,977 ACRES

CONTAINS 3 LOTS AND 2 PARCELS

### OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND, HAVING  
CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREINAFTER BE KNOWN AS NORTH REDWOOD INDUSTRIAL  
PARK PLAT "A" AMENDED, DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS  
PLAT AS INTENDED FOR PUBLIC USE, AND DO WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS  
OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, AND  
MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF  
UTILITY OR OTHER NECESSARY SERVICES, IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS 28<sup>th</sup> DAY OF  
August, 2012.

James A. Olachewski  
(TYPED OR PRINTED)

DEP. DIRECTOR RIGHT OF WAY (UDOT)  
(TYPED OR PRINTED)

[Signature]  
SIGNED

[Signature]  
SIGNED

### OWNER'S ACKNOWLEDGMENT

UTAH DEPARTMENT OF TRANSPORTATION

IN WITNESS WHEREOF, SAID UTAH DEPARTMENT OF TRANSPORTATION HAS CAUSED THIS INSTRUMENT TO BE EXECUTED  
THIS 1<sup>st</sup> DAY OF August, A.D. 2012, BY ITS DIRECTOR OF RIGHT OF WAY.

STATE OF UTAH

S.S.

COUNTY OF DAVIS

UTAH DEPARTMENT OF TRANSPORTATION

BY: [Signature]

FOR DIRECTOR OF RIGHT OF WAY

ON THE DATE FIRST ABOVE WRITTEN PERSONALLY APPEARED BEFORE ME,  
WHO, BEING BY ME DULY SWORN, DID SAY THAT HE IS THE DIRECTOR OF RIGHT OF WAY, AND HE FURTHER  
ACKNOWLEDGED TO ME THAT SAID INSTRUMENT WAS SIGNED BY HIM IN BEHALF OF SAID UTAH DEPARTMENT OF  
TRANSPORTATION.

WITNESS MY HAND AND OFFICIAL STAMP THE DATE IN THIS CERTIFICATE FIRST ABOVE WRITTEN.

November 25, 2013  
MY COMMISSION EXPIRES

[Signature]  
NOTARY PUBLIC  
MICHAEL CHRISTIAN TIMOTHY  
Notary Public, State of Utah  
Commission # 580874  
My Commission Expires  
November 25, 2013

### SURVEY NOTES

- (M) BEARING AND/OR DISTANCE DATA TAKEN DIRECTLY FROM ACTUAL SURVEYED MEASUREMENTS.
- (DC) BEARING AND/OR DISTANCE INFORMATION TAKEN FROM DAVIS COUNTY TOWNSHIP REFERENCE PLAT: T.1N., R.1W., SLB&M.
- (NRI) BEARING AND/OR DISTANCE INFORMATION TAKEN FROM NORTH REDWOOD INDUSTRIAL PARK PLAT "A" SUBDIVISION: BOOK 873, PAGE 147.
- UNLESS OTHERWISE NOTED, SET 5/8" X 24" REBAR WITH ORANGE PLASTIC CAP. CAP IS STAMPED: "MERIDIAN 801-569-1315".

## NORTH REDWOOD INDUSTRIAL PARK PLAT "A" AMENDED

AMENDING ENTIRE SUBDIVISION TO DEFINE THE RIGHT OF WAY EXTENTS OF  
LEGACY PARKWAY THROUGH SAID SUBDIVISION BY VACATING ALL STREETS  
AND ORIGINAL LOTTING AND CREATING LOTS 1A & 1B, PARCELS 1, 2, & 3, AND  
STREET DEDICATION FOR THE REALIGNMENT OF CENTER  
STREET SITUATE IN THE NE1/4 AND THE NW1/4 OF SECTION 10, T.1N.,  
R.1W., SLB&M, NORTH SALT LAKE CITY, DAVIS COUNTY, STATE OF UTAH

### DAVIS COUNTY RECORDER

ENTRY NUMBER \_\_\_\_\_ FEE PAID \_\_\_\_\_  
FILED FOR RECORD AND RECORDED THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_, 20 \_\_\_\_\_ AT \_\_\_\_\_  
IN BOOK \_\_\_\_\_ OF \_\_\_\_\_  
COUNTY RECORDER  
BY: \_\_\_\_\_ DEPUTY

### COMP. FILE

09070-04  
N. REDWOOD IND.  
PROJECT NO.  
10059-03  
SHEET NO.  
1 OF 1





## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### MEMORANDUM

**TO:** Planning Commission  
**FROM:** Sherrie Llewelyn, Community Development Director  
**DATE:** April 14, 2020  
**SUBJECT:** Dickson Companies, Phase 2 Site Plan at 920 West Center Street

---

#### **RECOMMENDATION**

The Development Review Committee (DRC) recommends approval of the site plan for Dickson Companies, Phase 2 at 920 West Center Street with the following conditions:

1. Completion of any outstanding engineering redlines;
2. Completion and recordation of the lot line adjustment;
3. Submission of Architectural Sheet A.001 with the dumpster enclosure detail; and
4. Sheltering elements, such as an awning or other roof structure shall be added to the building as required by the design standards.

#### **BACKGROUND**

The proposed site plan is located at the corner of Center Street and Cutler Drive on lots 18A and 19A of the North Wood Business Center Plat, amended. The two lots will be combined as part of a lot line adjustment approved administratively by city staff. The proposed site is currently vacant and is 3.2 acres in size.

The proposed site plan has been evaluated based upon compliance with the site plan application requirements found in 10-20-3 of the City Code. The site plan complies with requirements for parking, circulation, & traffic, as well as health, safety & noise. Landscaping and lighting also comply with the minimum requirements of city code.

#### **REVIEW**

The proposed office and warehouse building will be 48,138 sq. ft. and will contain 10,430 sq. ft. dedicated to office space and 38,537 sq. ft. dedicated to warehousing. A final tenant has not been identified for the building as the interior will be built to suit future tenants.

The building is setback from the sidewalk approximately 90 feet with a parking area in front that is setback from the sidewalk 20 feet. The front parking area contains 54 parking spaces and an additional

22 spaces are provided at the rear of the building. The site plan meets the minimum parking requirements which are as follows:

	Parking Requirement	Floor Space	Required	Provided
Office	1/250 sq. ft. 1 <sup>st</sup> 20,000 then 1/300 sq. ft.	10,430 sq. ft	42	42
Warehouse	2/1,000 sq. ft. 1 <sup>st</sup> 20,000 then ½,000 sq. ft.	38,537 sq. ft.	34	34
ADA Parking	1/25 spaces as part of total spaces required		4	4
TOTAL			76	76

The site has 25,394 sq. ft. (18.2%) of landscaping, the minimum required landscaping is 10%. The landscaping consists of lawn, trees and shrubs. Shrubs will also be installed on the south and east sides of the building. Additional improvements to the site include a four foot sidewalk and a five foot park strip along Cutler Drive. Lighting of the site will mainly be directed at the main entrance, driveway, parking area, and walkways.

The rear parking area and loading dock area have been evaluated to ensure that a sufficient area has been provided for fire apparatus turn around. The dock areas will be screened by a minimum 6 foot high masonry wall of a minimum 25 foot length. There will be no outside storage and no fencing has been proposed.

At this time no signage has been proposed. The S-2 overlay zone allows for wall signs with a maximum height of 30 feet and sign face of 150 sq. ft. per face. The wall signs are well within the area and height limitations. At this time, there are no plans for a monument sign.

### **ARCHITECTURAL REVIEW**

The City's non-residential building design standards aim to improve the quality of construction and architectural aesthetics in non-residential areas of the City.

The building will be constructed of concrete tilt up panels. Three shades of gray will be used to give variety to the building façade and will be similar in finish to phase 1 which was constructed to the north.

### **Massing**

- Horizontal Articulation every 100 feet-*Each facade greater than one hundred feet (100') in length, measured horizontally, shall incorporate architectural features such as wall plane projections, recesses, or other building material treatments, colors and textures that visually interrupt the wall plane. No uninterrupted length of a facade may exceed one hundred (100) horizontal feet. (meets standard)*
- Vertical Articulation every 30 feet in height-*max height 30 feet (meets standard)*

- Parapet Variation every 60 linear feet-*All facades visible from a public right of way shall include a parapet that varies in height by at least two feet (2') for each sixty (60) linear feet of facade length. (meets standard)*
- *Primary Building Entrance: Any primary entrance shall be clearly defined by either recessing the entrance or with a sheltering element such as an awning, arcade, or portico to provide shelter from the sun and inclement weather. (it is not clear if the building entrances have a sheltering element)*

#### **Materials**

- High quality materials-factory finished, integrally colored, or otherwise suitably treated-*brick construction (meets standard)*
- Metal siding, or materials which appear to be metal siding, prohibited except as accents (20%)-*(meets standard)*
- Metal roofs & doors permitted *(meets standard)*

The applicant has submitted corrected drawings in response to staff redlines. The planning redlines have been satisfied with the exception of submittal of the garbage enclosure detail, as the specified page was not attached. The city engineer will need to verify that his redlines have been satisfied. The building is greater than 30,000 sq. ft. in size and therefore the final site plan approval is reserved for the City Council with recommendation from the Planning Commission.

#### **POSSIBLE MOTION**

I move that the Planning Commission recommend approval of the site plan for Dickson Companies phase 2 at 920 West Center Street with the following conditions:

1. Completion of any outstanding engineering redlines;
2. Completion and recordation of the lot line adjustment;
3. Submission of Architectural Sheet A.001 with the dumpster enclosure detail; and
4. Sheltering elements, such as an awning or other roof structure shall be added to the building as required by the design standards.

#### **Attachments**

- 1) Aerial/Zoning Map
- 2) Site Plan
- 3) Landscape Plan
- 4) Elevations

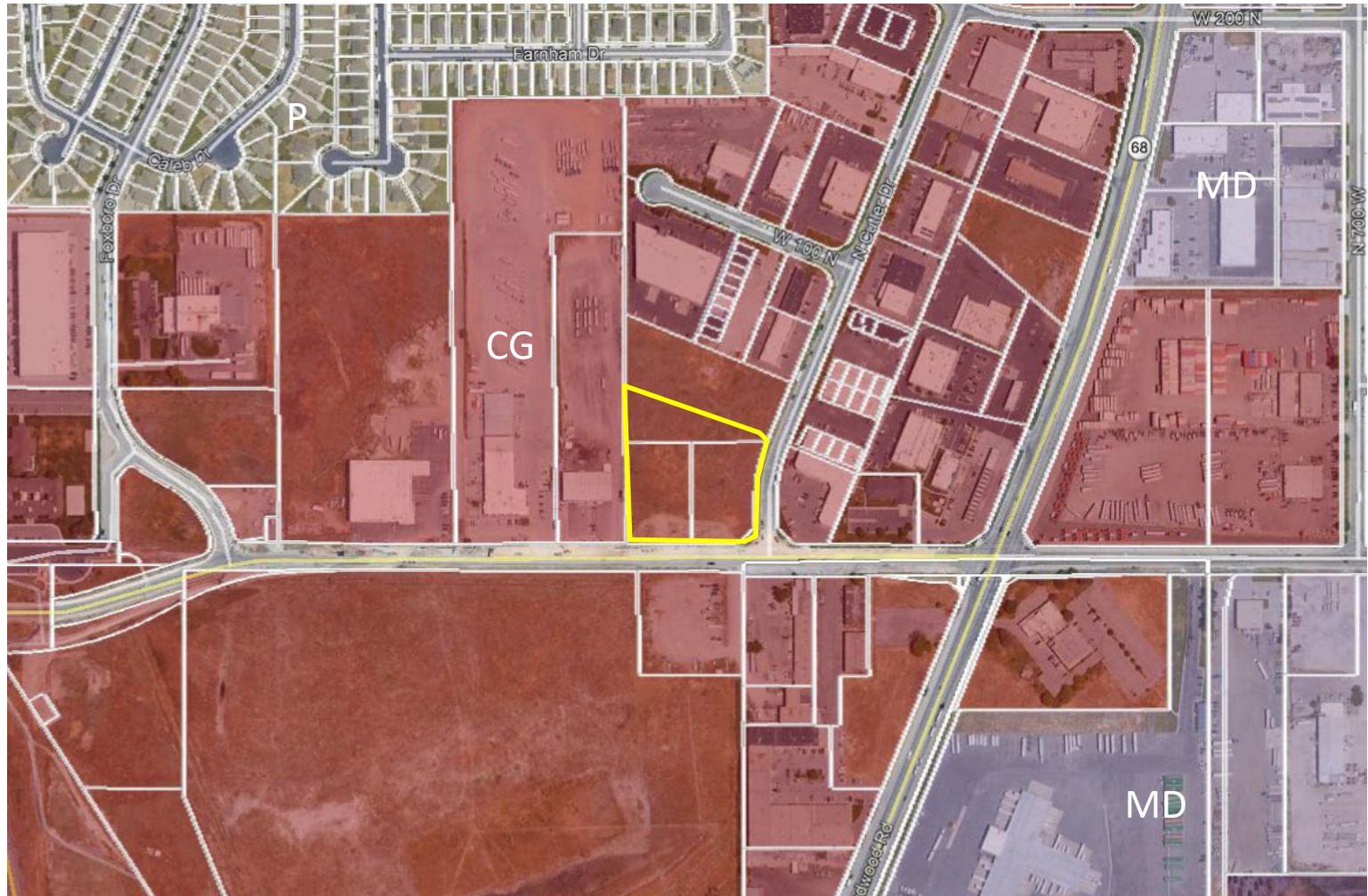


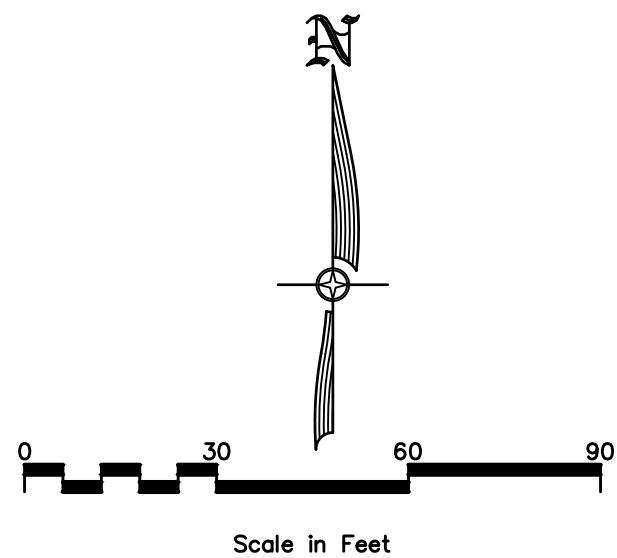
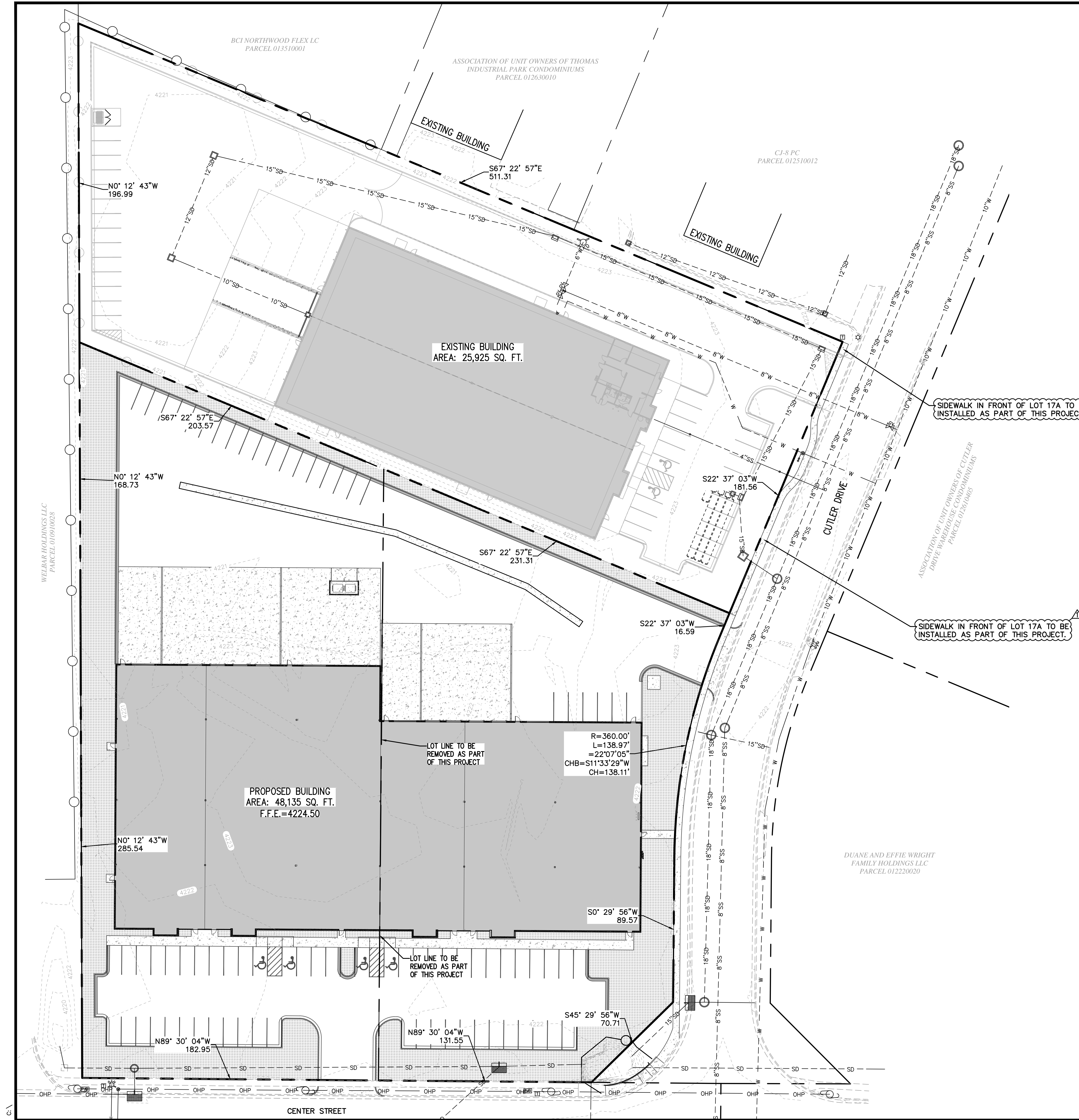


# Site Plan

## Dickson Companies, Ph. 2

### Aerial/Zoning





SEE COVER SHEET FOR PROJECT LEGEND

GENERAL NOTE:  
CONTRACTOR MUST FOLLOW ALL NORTH  
SALT LAKE CITY STANDARDS WHEN  
WORKING WITHIN THE STREET  
RIGHT-OF-WAY.

LOT AREAS:

LOT	SQ. FT. / ACRES
BUILDING FOOTPRINT	139,609 SQ. FT. / 3.20 ACRES
ASPHALT	48,138 SQ. FT. / 1.11 ACRES
LANDSCAPING	46,650 SQ. FT. / 1.07 ACRES
CONCRETE	25,394 SQ. FT. / 0.58 ACRES
	19,427 SQ. FT. / 0.45 ACRES

NOTE:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO  
CONSTRUCTION TOLERANCES.

LOT PARKING REQUIREMENTS:

SQ. FT.	CITY REQ'T
OFFICE	10,430 SQ. FT. 42 (1/250 FIRST 20,000, 1/300 REMAINING)
WAREHOUSE	38,537 SQ. FT. 34 (2/1000 FIRST 10,000, 1/2000 REMAINING)

TOTAL REQUIRED: 76  
TOTAL PROVIDED: 76

ACCESSIBLE SPACES 4 (4 REQ'D 76 TO 100)

NOTES:  
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION  
TOLERANCES.

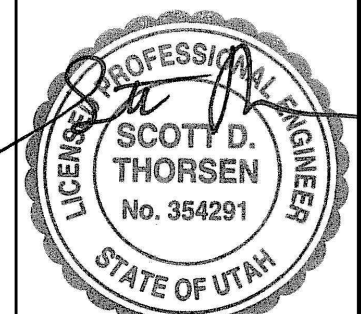
NO.	REVISIONS	BY	DATE
1			

COMMENTS

DESIGNER: SDT PROJECT ENGINEER: SDT

**CIR**  
**ENGINEERING, L.L.C.**  
3032 SOUTH 1030 WEST, SUITE 202  
S.L.C. Utah 84119 - 801-949-6296

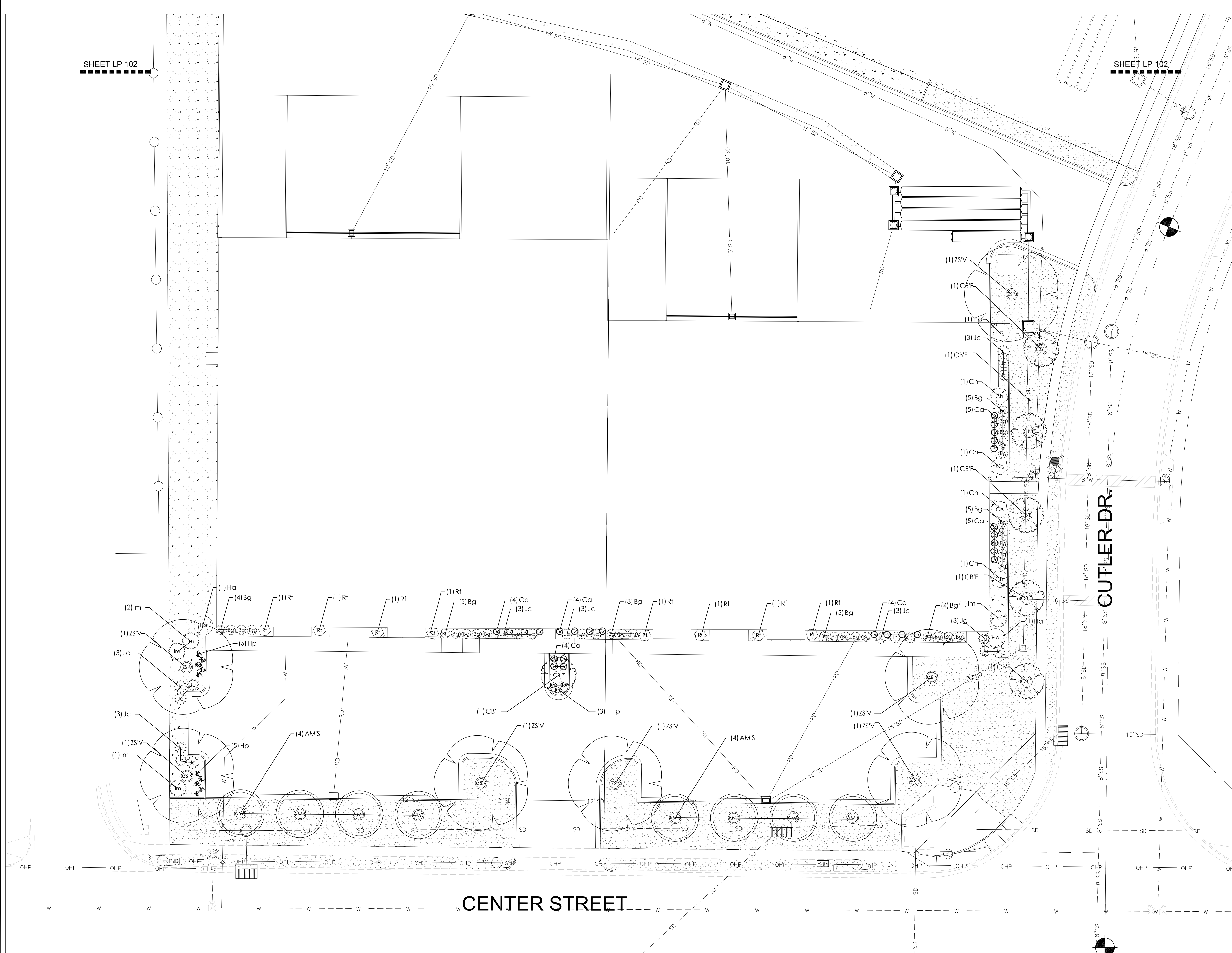
DICKSON WAREHOUSE PHASE 2  
910 WEST CENTER STREET, NORTH SALT LAKE CITY, UTAH  
OVERALL SITE PLAN



SHEET NO. C1.0  
PROJECT ID: A1097-02 DATE: 03/10/20  
FILE NAME: PRJ-CTL SCALE: 1"=30'







PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
AMS	AMS	8	Acer miyabei 'State Street'	Miyabei Maple	2' Cal
DECIDUOUS TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
CBF	CBF	6	Corpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	2' Cal
ZS'V	ZS'V	7	Zelkova serrata 'Village Green'	Sawleaf Zelkova	2' Cal
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
Bg	Bg	31	Buxus x 'Green Mountain'	Green Mountain Boxwood	5 gal
Ch	Ch	4	Cornus alba 'Ballhala' TM	Ivory Halo Dogwood	5 gal
Ha	Ha	3	Hibiscus syriacus 'Aphrodite'	Aphrodite Rose of Sharon	10 gal
Im	Im	4	Ilex x meserveae 'Mesdab' TM	Holly	5 gal
Jc	Jc	21	Juniperus chinensis 'Daub's Frosted'	Daub's Frosted Juniper	5 gal
Rf	Rf	8	Rhamnus frangula 'Columnaris'	Tall Hedge Buckthorn	5 gal
ANNUALS/PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
Hp	Hp	13	Hemerocallis x 'Pardon Me'	Pardon Me Daylily	1 gal
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
Ca	Ca	26	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	1 gal

REFERENCE NOTES SCHEDULE

SYMBOL	1. LANDSCAPE DESCRIPTION	QTY
1-04	6" CONCRETE MOW CURB	201 lf
SYMBOL	1. LANDSCAPE DESCRIPTION	QTY
	SODDED LAWN AREA LAWN AREAS SHALL BE SOD. NEW TURF AREAS TO BE SODDED WITH 18% 'BLUESTAR' KENTUCKY BLUEGRASS, 19% 'MARQUIS' KENTUCKY BLUEGRASS, 17% 'NEWPORT' KENTUCKY BLUEGRASS, 17% 'TOUCHDOWN' KENTUCKY BLUEGRASS, 16% 'APM' PERENNIAL RYEGRASS, 13% 'ACCENT' PERENNIAL RYEGRASS OR APPROVED EQUAL AT A RATE OF 220 LBS. PER ACRE. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. ALL LAWN AREAS SHALL BE IRRIGATED WITH 100% COVERAGE BY POP-UP SPRAY HEADS AND GEAR-DRIVEN ROTATORS. ALL DECIDUOUS AND CONIFER TREES PLANTED WITHIN SOD AREAS SHALL HAVE A FOUR FOOT (4') DIAMETER TREE RING COVERED WITH CHOCOLATE BROWN BARK MULCH, NO SHREDDED PINES. SUBMIT SAMPLES TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE INSTALLATION.	14,970 sf
	1" BEAR LAKE COBBLE STONE. PROVIDE 3" DEPTH. PLANTING AREAS TO RECEIVE MIN. 12" DEPTH OF QUALITY TOPSOIL. IF TOPSOIL IS PRESENT ON SITE, PROVIDE SOIL TEST TO DETERMINE SOIL QUALITY FOR PROPOSED PLANTINGS.	13,517 sf

ISSUE DATE

04-02-2020

PROJECT NUMBER

UT20021

PLAN INFORMATION

811

BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
1-800-662-4111  
www.bluestakes.org

GRAPHIC SCALE: 1" = 20'

PROJECT INFORMATION

DICKSON WAREHOUSE

NORTH SALT LAKE, UTAH

DEVELOPER / PROPERTY OWNER / CLIENT

Developer / Property Owner:

AEURBIA  
909 W. SOUTH JORDAN PARKWAY  
SOUTH JORDAN, UT 84095  
801-746-0456

Client / Engineer:

CIR ENGINEERING  
3032 SOUTH 1030 WEST, STE 202  
801-721-2640

LANDSCAPE ARCHITECT / PLANNER

PKJ  
DESIGN GROUP  
Landscape Architecture • Planning & Visualization  
3450 N. TRIUMPH BLVD. SUITE 102  
LEHI, UTAH 84043 (801) 960-2698  
www.pkjdesigngroup.com

LICENSE STAMP

DRAWING INFO

PM:

JTA

DRAWN:

KBA

CHECKED:

TM

PLOT DATE:

4/2/2020

LANDSCAPE PLAN

PRELIMINARY PLANS NOT  
FOR CONSTRUCTION

LP-101



GENERAL EXTERIOR FINISH NOTES

1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
3. SEE DETAILS ON A511 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
4. CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
6. ALL GLAZING TO MATCH LOOK AND STYLE.

EXTERIOR ELEVATION COLOR:

- = DARK GRAY PAINTED CONCRETE TILT UP PANEL - SW7069 IRON ORE
- = GRAY PAINTED CONCRETE TILT UP PANEL - SW7067 CITYSCAPE
- = LIGHT GRAY PAINTED CONCRETE TILT UP PANEL - SW7071 GRAY SCREEN

WINDOW FRAMES:

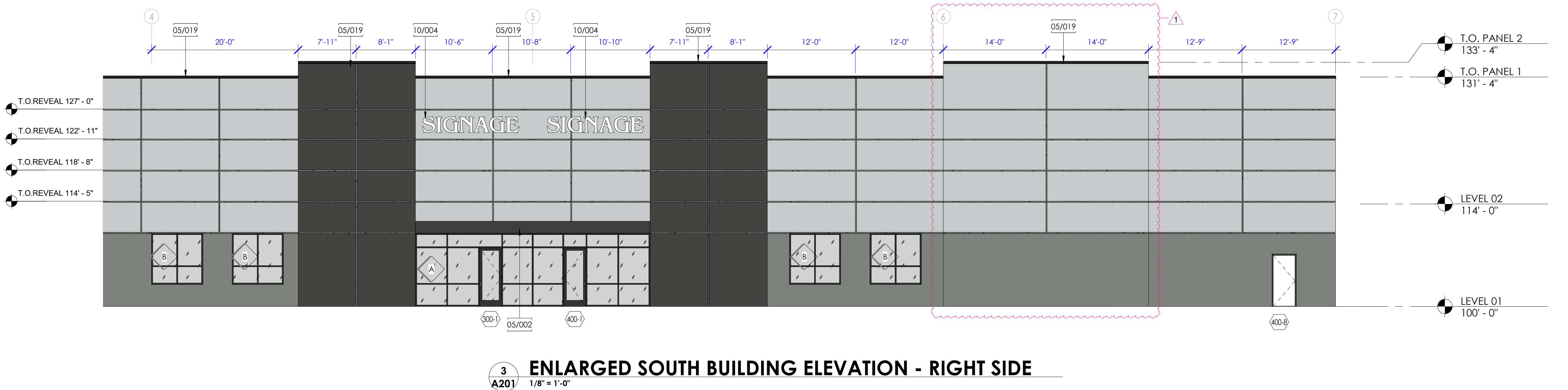
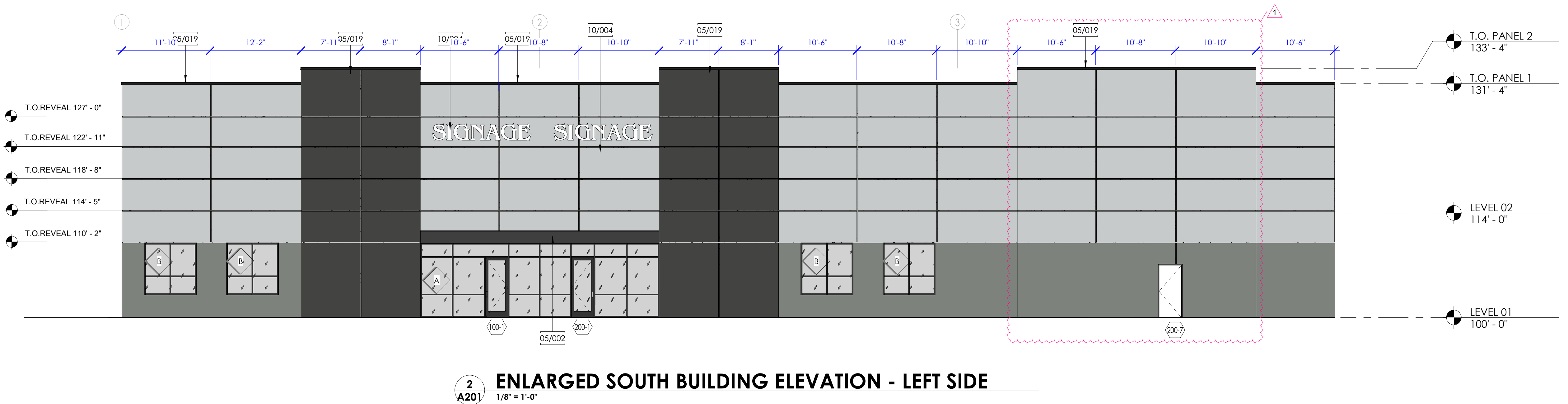
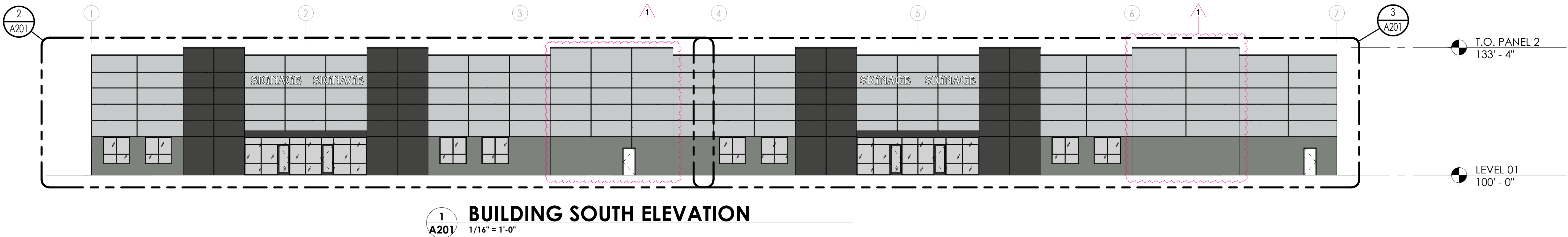
- =ALUMINUM STOREFRONT; DARK BRONZE
- =GRAY TINTED GLAZING(OR APPROVED EQUAL) (AS PER COMCHECK, SEE MECH)

NOTES

1. CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL.
2. ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
3. SEE SHEET A531 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
4. ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
5. REFER TO MECHANICAL COMCHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

KEYNOTE LEGEND

05/002	ENTRANCE CANOPY, PAC-CLAD MIDNIGHT BRONZE METAL FAÇADE, PROVIDE DRAINING WITH SLOPED STRUCTURE
05/019	METAL PARAPET CAP
10/004	EXTERIOR SIGNAGE BY OWNER. SIGNAGE IS TO BE REVIEWED AND PERMITTED UNDER A SEPARATE SIGN PERMIT APPLICATION



**aeurbia**  
architects and engineers  
909 West South Jordan Parkway  
South Jordan, Utah 84095  
phone: 801.746.0456 - fax: 801.575.6456  
web page: aeurbia.com

174600  
JAMES MICHAEL  
STATE OF UTAH  
4/2/2020 2:49:25 PM

**NSL SPEC WAREHOUSE #2**  
DICKSON WAREHOUSE  
910 WEST CENTER STREET, NORTH SALT LAKE UT 84054

Revision Schedule	DATE	DESCRIPTION
MARK	04/02/2020	CITY COMMENTS 001

**AE2020.035**  
**BUILDING ELEVATIONS**  
DATE: MARCH 20, 2020  
SHEET #:  
**A201**  
COPYRIGHT  
AE URBIA, LLC.

## GENERAL EXTERIOR FINISH NOTES

- ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
- REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
- SEE DETAILS ON A511 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
- CAULK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHAN SEALANT.
- REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS.
- ALL GLAZING TO MATCH LOOK AND STYLE.

## EXTERIOR ELEVATION COLOR:

- = DARK GRAY PAINTED CONCRETE TILT UP PANEL - SW7069 IRON ORE
- = GRAY PAINTED CONCRETE TILT UP PANEL - SW7067 CITYSCAPE
- = LIGHT GRAY PAINTED CONCRETE TILT UP PANEL - SW7071 GRAY SCREEN

## WINDOW FRAMES:

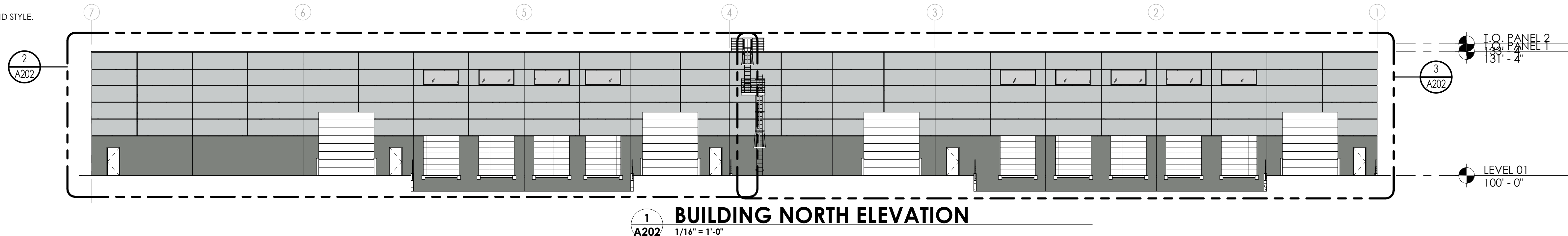
- =ALUMINUM STOREFRONT; DARK BRONZE
- =GRAY TINTED GLAZING(OR APPROVED EQUAL) (AS PER COMCHECK, SEE MECH)

## NOTES

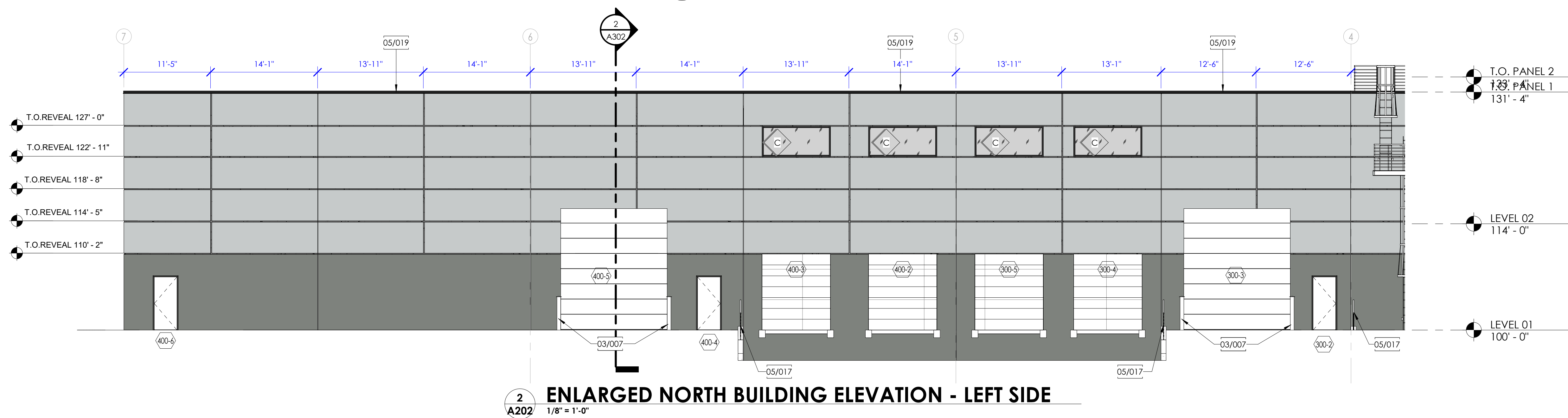
- CONTRACTOR TO PROVIDE SUBMITTALS FOR APPROVAL. ALL GLAZING WITHIN 24" INCH OF A DOOR/FLOOR SHALL BE TEMPERED.
- SEE SHEET A531 FOR WINDOW HEADER, JAMB AND SILL DETAILS.
- ALL EXTERIOR GLASS TO BE DOUBLE PANE TINTED AND TO BE LOW 'E'. VERIFY GLASS SPECIFICATIONS WITH COM-CHECK PROVIDED BY MECHANICAL ENGINEER.
- REFER TO MECHANICAL COMCHECK FOR MINIMUM DESIGN STANDARDS FOR GLAZING.

## KEYNOTE LEGEND

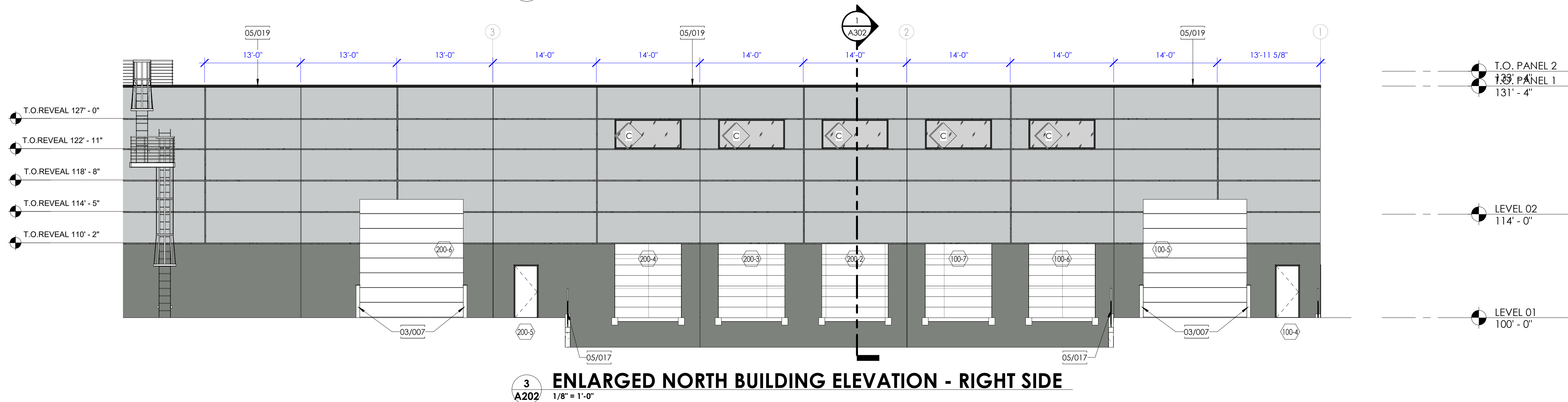
03/007	PRECAST CONCRETE BOLLARD. SEE DETAIL 6/A001
05/017	EXTERIOR DOCK RAILING. SEE DETAIL 14/A001
05/019	METAL PARAPET CAP



BUILDING NORTH ELEVATION



ENLARGED NORTH BUILDING ELEVATION - LEFT SIDE



ENLARGED NORTH BUILDING ELEVATION - RIGHT SIDE

**ae urbia**  
architects and engineers  
909 West South Jordan Parkway  
South Jordan, Utah 84095  
phone: 801.746.0456 - fax: 801.575.6456  
webpage: aeurbia.com

174600  
JAMES MICHAEL  
STATE OF UTAH  
4/2/2020 2:49:29 PM

**NSL SPEC WAREHOUSE #2**  
DICKSON WAREHOUSE  
910 WEST CENTER STREET, NORTH SALT LAKE UT 84054

REVISION	DATE	DESCRIPTION

**AE2020.035**  
**BUILDING ELEVATIONS**

DATE: MARCH 20, 2020

SHEET #:

**A202**COPYRIGHT  
AE URRIA, LLC.



## CITY OF NORTH SALT LAKE COMMUNITY & ECONOMIC DEVELOPMENT

---

10 East Center Street, North Salt Lake, Utah 84054  
(801) 335-8700  
(801) 335-8719 Fax

### MEMORANDUM

**TO:** Planning Commission  
**FROM:** Sherrie Llewelyn, Community Development Director  
**DATE:** April 14, 2020  
**SUBJECT:** Consideration of a conditional use permit for Buehner Marble and Granite at 925 West 100 North

---

#### **RECOMMENDATION**

The Development Review Committee (DRC) recommends approval of the conditional use permit for Buehner Marble and Granite at 925 West 100 North with no conditions.

#### **REVIEW**

Buehner Marble and Granite is a moving from South Salt Lake into an existing industrial building at 925 West 100 North. The business is a fabrication business that cuts, polishes, and installs stone countertops. Miscellaneous manufacturing is listed as a conditional use in the CG Zone. The existing building is industrial building with office front on the north side of the building and warehouse/manufacturing space at the south accessed by overhead roll up doors.

The business will have 5 shop employees and 6 office employees. The business will occupy approximately 1/3 of the building with 4,000 sq. ft. for office and sales and 8,500 sq. ft. of manufacturing area. The business utilizes CNC bridge saws and routers. There will be no outdoor storage of stone or other materials and all fabrication and cutting will occur within the building.

Traffic generation will be no greater than average for the building type and use of the area. They expect slab deliveries once per week as well as sink deliveries at the same rate. Customers also come to the sales portion of the building to choose and purchase countertops for installation. The building has approximately 65 parking spaces that are currently underutilized. The number of employees and customers expected at the site would require less than 1/3 of parking provided.

Noise from cutting the stone will be contained entirely within the building and is expected to have no effect on any residential areas. The DRC has not identified any concerns or impacts that require mitigation and thus are recommending approval of the conditional use permit with no conditions.

#### **POSSIBLE MOTION**

I move that the Planning Commission approve the conditional use permit for Buehner Marble and Granite at 925 West 100 North with no conditions.

#### Attachments

- 1) Aerial/Vicinity Map





# Conditional Use Permit Buehner Marble and Granite Aerial/Zoning







# Conditional Use Permit Buehner Marble and Granite Aerial



CITY OF NORTH SALT LAKE  
PLANNING COMMISSION MEETING  
MARCH 24, 2020

**DRAFT**

This meeting was held electronically via Zoom. The host site was located at 10 East Center Street in North Salt Lake.

Commission Chair Ted Knowlton called the meeting to order at 6:30 p.m. and BreAnna Larson led those present in the Pledge of Allegiance.

PRESENT: Commission Chair Ted Knowlton  
Commissioner Stephen Garn  
Commissioner Kent Kirkham  
Commissioner William Ward  
Commissioner Brandon Tucker  
Commissioner BreAnna Larson  
Commissioner Alisa Van Langeveld

STAFF PRESENT: Sherrie Llewelyn, Community Development Director; Andrea Bradford, Minutes Secretary.

OTHERS PRESENT: Jonathon Gardner, Gardner Batt; Michael Pate, Amarok; Will Hopkins, Dee Lalliss, residents.

1. PUBLIC COMMENTS

There were no public comments.

2. PUBLIC HEARING: CONSIDERATION OF A REQUEST TO AMEND THE NSL  
CITY LAND USE CODE, SECTION 10-1-33(F)(2)(c) ELECTRIC FENCING

Sherrie Llewelyn reported that the City received a request for a code amendment after the applicant had made application to install an electric fence at 295 South Redwood Road. The applicant wanted to install the outer security fence as a chain link with slats and the code requires a solid fencing material. The applicant has made application to amend the code to allow the security fence be chain link with slats as a solid fence. She explained that the City Council, with a recommendation from the Planning Commission, recently changed the code so that chain-link with slats was no longer allowed as a screening measure.

The DRC has recommended the following language “Perimeter Fence or Wall: No electric fence shall be installed or used unless it is fully enclosed by a nonelectrical fence, solid screening device, or wall that is a minimum of six feet (6’) in height, not to exceed the height of the electric



fence. The nonelectrical fence shall be constructed of materials that reasonably prevent a person from reaching through the outer fence to touch the electric fence and is not easily climbable. Chain-link fencing shall only be permitted as an acceptable fencing material in locations that are not otherwise prohibited by ordinance and with the installation of a solid screening device such as slats or durable mesh screening.” As well as the addition of Section J which would read: “Failure to properly maintain electrical fencing, warning signage, or solid screening devices shall constitute a violation of this section subject to civil penalty and shall be enforced as provided in Title 12 Administrative Code Enforcement.”

Mrs. Llewelyn explained that staff was in favor of the change to allow chain-link with slats or mesh screening to shield pedestrians but said this would not allow chain-link to be used on street frontages where it was prohibited such as Redwood Road, Center Street or 1100 North. It would be allowed on side property lines on those streets.

Commissioner Van Langeveld asked if there were any guidelines on coloring or having a uniform color overall. Sherrie Llewelyn said that guidelines could be added to ensure the fencing slats were neutral colors or a uniform pattern or design.

Sherrie Llewelyn showed an example of the different slat types that could be used for privacy in a chain-link fence. These included plastic PVT, wing, hedge, and aluminum privacy slats as well as a mesh screen. She said her main concern was maintenance of the slats.

**Commission Chair Knowlton opened the public hearing at 6:41 p.m.**

Michael Pate, Amarok, explained that his company came in several years ago and helped write the City’s original electric fence code. He said they recently came in to get a permit for construction and found that this type of fencing was now disallowed. Mr. Pate expressed confusion for why the code had changed and this type of fencing was no longer allowed. He felt electric fencing was a safe and responsible way to protect properties and that a solid wall was obtrusive.

Commissioner Van Langeveld asked Mr. Pate if he was against the secondary fence or screening for the secondary fence. Michael Pate said he was only against the screening. He explained that the International Standards (IAC) required a perimeter fence be erected before the security fence could be installed.

Commissioner Garn questioned if the electric fence could seriously harm an individual who touched it. Michael Pate said the fence was similar to a livestock fence and operated on an even lower voltage as required by IAC standards. He also said warning signs were required every 30 feet, the energizers had to be tested by a national tester, and the fence was also attached to an alarm.

**Commission Chair Knowlton closed the public hearing at 6:51 p.m.**

Chair Knowlton asked for an example of electrical fence types.

Commissioner Larson asked in regards to the visual impact behind the fence if it was not screened. Michael Pate replied that the fence gauge was thin and already provided some screening. He said that the public view behind the fence would be the business use such as trucking or automobile rentals.

Sherrie Llewelyn presented several examples of different electrical fences to those present.

Chair Knowlton asked about the current standards for regular fencing. Sherrie Llewelyn replied that a business in the industrial park could install a chain-link fence around the perimeter of their property but it would need to be set back 20 feet from the property line. It could be chain-link, wooden, vinyl, or a wall; however, if there was outdoor storage of materials the fence would need to be screened. She said the ordinance change related to fencing was made to specifically state that chain-link with slats is not a suitable screening for outdoor storage. Mrs. Llewelyn also explained that the intent of the ordinance was to provide a screening device to prevent people from reaching through and touching the electric fence.

Chair Knowlton explained that the Commission should keep in mind that the code change would affect all fencing, including electrical fences, and should not focus on the request for Mesco or another specific property.

Michael Pate commented that electric fences were already allowed and that the concern was the screening requirement for electric fences.

Commissioner Kirkham commented on the civil penalty referenced in the proposed Section J. Sherrie Llewelyn replied that if the fence was not maintained the property owner could be cited and fined a civil penalty with a maximum fine of \$1,000. She said there needed to be a clear mechanism to ensure that fences were maintained.

Commissioner Ward asked in terms of the effectiveness of the electric fence in regards to the barrier and the warning signs. He asked if the warning signs would be on the electric fence or the barrier fence. Michael Pate said the signs would most likely be on the barrier fence as well as every 30 feet around the property. He felt the slats would darken the area behind the fence and could cause additional security issues. Mr. Pate commented that he understood the concern and reasoning behind having a barrier fence but said the electric fence was not lethal. He also felt it would be expensive to install both fences.

Commissioner Garn asked if the electric fence would be around the entire perimeter of the property. Sherrie Llewelyn replied that the proposed fence would only be around a portion of the

property but reminded the Commission that the code change would be apply to all industrial or commercial properties and not just that one.

Michael Pate commented that the gate would be at least 200 feet from the street and the rear property line was not visible from the public view.

Commissioner Van Langeveld asked the Commission if there should be language addressing the color or tone for the fencing that would surround an electrical fence. Commissioner Kirkham asked if there were specifications in the existing fence code.

Sherrie Llewelyn commented that wording to address the slat color and tone could be added to the amendment. Commission Van Langeveld suggested that a change in color must be a design change and not haphazard.

Chair Knowlton asked the Commission how they felt about slats being installed to prohibit individuals from touching an electric fence.

Commissioners Kirkham and Garn felt the electric fence did not need to be screened if it was not visible from the public. Commissioner Kirkham said there could still be a double fence but suggested against slats.

Commissioner Larson asked if the ordinance was changed if there would still be an opportunity to require outdoor storage to be screened. Sherrie Llewelyn replied that screening would still be required for outdoor storage, which is adjacent to residential properties or visible from the street. She said in regards to the proposed property that as it was not visible from the road she would rather not have the slats with the additional chain-link fence for aesthetic reasons.

Chair Knowlton commented that he was comfortable without requiring slats or other screening. Sherrie Llewelyn suggested that Section C of the amendment could be re-written to read "No electric fence shall be installed or used unless it is fully enclosed by a nonelectrical fence or wall that is a minimum of six feet (6') in height, not to exceed the height of the electric fence. " She also suggested the removal of the wording in red.

Commissioner Van Langeveld asked about other potential areas in the City where this code could apply. Sherrie Llewelyn replied that any location in the industrial zone with a fence taller than four feet would need to be set back from the street a minimum of 20 feet. She also said it would not be allowed parallel to Redwood Road, Center Street, or 1100 North.

Commissioner Kirkham asked if the gate would also be electrified. Michael Pate replied that the gate would not be electrified due to the increased weight that electrifying it would cause.



Commissioner Van Langeveld asked if the Development Review Committee (DRC) had additional concerns. Sherrie Llewelyn explained that the original concern related to electric fences was children touching the fences, which resulted in the requirement for the outer solid fence barrier. She said that if the Commission did not feel that this was a concern that she would recommend the removal of the slats if a solid fence was no longer required.

The Commission was in agreeance that a chain-link barrier fence was adequate versus a solid screening device.

**Commissioner Ward moved that the Planning Commission recommend for approval an amendment to section 10-1-33F-2 Section C to remove the word “solid” appearing in the first sentence and adding a new subsection J as set forth in the memorandum “Failure to properly maintain electrical fencing, warning signage, or solid screening devices shall constitute a violation of this section to civil penalty and shall be enforced as provided in Title 12 Administrative Code Enforcement” and with the following findings:**

- 1) The proposed amendment is in accord with the comprehensive general plan, goals and policies of the City.**
- 2) Changed or changing conditions make the proposed amendment reasonably necessary to carry out the “purposes” stated in this title.**

**Commissioner Garn seconded the motion. The motion was approved by Commissioners Knowlton, Garn, Kirkham, Ward, Tucker, Larson and Van Langeveld via roll call.**

**3. CONSIDERATION OF A CONDITIONAL USE PERMIT FOR GARDNER DISTRIBUTION FACILITY AT 989 WEST CENTER STREET, JONATHON GARDNER, APPLICANT**

Sherrie Llewelyn reported that the property located at 989 West Center Street was the former location of the NSL Gun Club. The property, which is zoned General Commercial (CG), is approximately 56 acres in size. The property has been acquired from the Kimball family by Gardner Batt, a commercial developer.

Mrs. Llewelyn showed a conceptual site plan to those present and said it would be a 201,000 square foot warehouse/office/distribution facility. The use “Electronic Shopping & Mail Order House” is listed as a conditional use in the CG zone. The applicant is seeking conditional use permit to secure the land use entitlement to fulfill contractual obligations with the end user tenant company. Gardner Batt would own the property and building and will lease the facility to an online sales and distribution company for their last mile program and one-day delivery services.

The proposed facility specializes in “last mile” delivery of customer orders from delivery stations with packages shipped to the facility from fulfillment centers for customer delivery. Mrs.

Llewelyn showed a map of the access points on the property as well as truck parking and said the haul trucks would enter the property solely from the access from Redwood Road that will be constructed across the newly acquired Kelly property. The packages would be unloaded and sorted based on zip codes and then loaded into delivery vans that are operated by delivery service partners or personal vehicles.

The facility would operate 24/7, with most of the sortation activity done early in the morning when the line haul trucks arrive with customer packages. Line haul trucks will deliver packages to the facility each day, primarily between the hours of 10:00 p.m. to 8:00 a.m. Associates sort the packages by routes, place the packages onto movable racks and load the packages into the delivery vans primarily between 12:30 a.m. and 11:00 a.m. The facility would employ approximately 800 people. The employees who drive delivery vans will park their personal vehicles in the van parking area when they pick up their van. The employees working within the facility will park in the north lot.

The first “wave” of drivers arrive at a delivery station at approximately 10:00 a.m. to pick up their delivery vans. The drivers load their delivery van and depart to deliver packages directly to customers. Each delivery wave takes about 20 minutes to load and depart. As a wave of drivers prepare to depart, a new wave of drivers queue and prepare to load their delivery vans. The last wave of drivers departs the delivery station around 12:30 p.m. Delivery vans will depart the Delivery Station between 10:00 a.m. and 12:30 p.m. and return between 7:30 p.m. and 9:30 p.m. After drivers complete their routes, they return to the delivery station with any packages that may have been non-deliverable. After proper checkout and release, the drivers park the delivery van and leave using a personal vehicle or public transport.

The company also uses contracted employees with personal vehicles to deliver packages. This is a new innovation from the company that allows individuals to use their own vehicles to deliver packages to customers. These traditional passenger vehicles will enter the facility staggered between 4:00 p.m. and 6:00 p.m. These loading waves similarly take 20 minutes to complete. After departure of the last wave of delivery vehicles, delivery station associates prepare the delivery station for the next day’s packages.

The parking provided exceeds the minimum requirements for the office space and warehouse uses. Pedestrian access has been provided within the parking areas that are greater than 75,000 square feet as required by the code. The parking on site for employees, customers and delivery vehicles would include 374 stalls in the north parking lot, 812 stalls in the west parking lot, 349 stalls in the east parking lot. City code would require 210 parking stalls with the applicant proposing a total of 1,477 stalls.

The conceptual landscape plan submitted shows an extensive landscape plan that includes 27,228 square feet of turf area along Center Street, 551,167 square feet of native grass areas with planted shrubs, and 359 trees. This equates to 13.28 acres or approximately 24% of the site. Tree buffers

and landscaped berms are to be planted along the western property lines to buffer the van parking areas from view of the Legacy Trail. Parking lot trees are included internal to the parking areas as well, with the exception of the islands that are required every 20 spaces within the van parking areas. Staff has agreed to recommend removal of those islands in exchange for intensified perimeter landscaping. Additional trees and manicured landscaping along Center Street far exceeding the minimum required.

Chair Knowlton asked if the landscaping details would be addressed at site plan approval. Sherrie Llewelyn replied that this was correct but wanted to give the Planning Commission an idea of the intent for the property.

Sherrie Llewelyn said one issue was the traffic study for a potential annexation, which would require Center Street to be expanded to five lanes. The City Engineer requested that the applicant provide additional setback from Center Street to reserve the area for that future road widening. The developer has agreed to the request by moving the parking area and providing additional landscaping in that area.

Mrs. Llewelyn also spoke on additional concerns including an additional request by the City Engineer for a traffic study to be submitted with the site plan to determine if any improvements will be required on Center Street to facilitate traffic impacts, that any building signage be required to meet the adopted standards, sizes, heights and restrictions, specifically freeway oriented signs directed toward Legacy Highway are prohibited. Other considerations included that the site plan be required to incorporate Low Impact Design measures for storm water treatment on site, that the only fencing to be provided on site is between the loading areas and the van parking areas and no perimeter fencing is proposed but if installed shall be installed in conformance to adopted standards namely chain link fencing is not permitted along the Center Street frontage, as well as the new trail along Center Street will be preserved or relocated and restored if any portion needs to be removed during construction.

Sherrie Llewelyn then said the building would be tilt up concrete with incorporated recesses, color changes, and parapet variations as required by the design standards of the code. She showed an example of the elevation and explained that the blue accent color on the exterior of the building was to incorporate the logo of the end user. The horizontal, vertical and parapet variation has been addressed to meet the standards. The building would be 46 feet in height and under the maximum height limit of 60 feet in the CG zone. The west and east sides of the building would have lean to structures to provide coverage for the purpose of loading the delivery vans.

Commissioner Kirkham asked if there were concerns or considerations for the proposed amount of additional vehicles accessing Center Street and Redwood Road. He asked if there would be a turnout lane. Sherrie Llewelyn replied that this was the reason for the traffic study to determine if any lane changes, striping or an acceleration lane should be added.



Jonathon Gardner, Gardner Distribution, commented that the traffic study had been completed and was being reviewed by the tenant to see if it would meet their needs. He also said UDOT had discussed a full access intersection at Redwood Road but no signal would be anticipated at this time.

Sherrie Llewelyn commented that this project would add \$70 million in value to the Redwood Road RDA. She also said this project would be built within one year's timeframe from today.

Jonathon Gardner replied that he believed it would be even more than \$70 million. Chair Knowlton clarified that this would be the value of improvement above the current land value.

Jonathon Gardner commented that they would like to break ground on the project as soon as possible and felt that the \$70 million dollars would come in within a ten to twelve month time period. He said in lieu of recent events there has never been more of a need for this business and that it would serve NSL and the South Davis County region.

Commissioner Tucker asked if the majority of the traffic accessing Redwood Road would be heading northbound. He felt that this would warrant a signal with a protected left. Jonathon Gardner replied that he was unsure but as full access was granted that pressure from the City would be helpful in obtaining a signal from UDOT.

Sherrie Llewelyn commented that there was a similar project under construction in American Fork and asked if there was a proposal for another location between the North Salt Lake and American Fork. Jonathon Gardner replied that there would be several other facilities planned from Springville to Logan.

Chair Knowlton asked if these facilities would create a locational advantage for certain types of firms. Jonathon Gardner replied that other similar facilities were located in areas with good access such as Redwood Road. He said you may see retail, restaurants, etc. to service this type of business with a lot of employees. Mr. Gardner said the Kimballs would maintain ownership along the Redwood corridor and would move forward with small businesses and retail as the market dictated.

Sherrie Llewelyn commented that staff felt this use would likely drive hospitality uses such as restaurants, a hotel, and retail, etc.

Chair Knowlton asked if conditions needed to be put in place to mitigate certain impacts. Sherrie Llewelyn replied that a conditional use is a permitted use with conditions and those must relate to the actual effects of the use on the surrounding properties. She said the DRC recommended approval with four conditions particularly related to the right of way, traffic study, access agreements, and the trail preservation.

Commissioner Tucker suggested that the traffic study include Redwood Road as well as Center Street. Sherrie Llewelyn replied that she had no objection to that request. She said the concern was for widening improvements on Center Street but Redwood Road could be added as well.

Sherrie Llewelyn recommended removing “on Center Street” from the recommended condition 2 in the event requirements were needed on other roads such as Redwood.

**Commissioner Tucker moved that the Planning Commission approve the conditional use permit for the Gardner Batt Distribution Facility at 989 West Street Center Street, subject to approval of a site plan, with the following condition(s):**

- 1) Sufficient landscaping shall be maintained along Center Street should the City need to acquire additional road right of way is needed to widen the street in the future;**
- 2) Submission of a traffic study with site plan application to determine if any improvements are to be required;**
- 3) Submission of private road access and maintenance agreement for the drive access to Redwood Road; and**
- 4) The trail along Center Street will be preserved or restored if damaged or removed during construction.**

**Commissioner Kirkham seconded the motion.**

Sherrie Llewelyn clarified that the address was 989 West and not 989 East as it was listed incorrectly in the staff report.

**The motion was approved by Commissioners Knowlton, Garn, Kirkham, Ward, Tucker, Larson and Van Langeveld via roll call.**

Chair Knowlton suggested that a pedestrian connection or access be added on the east side next to the driveway that accessed Redwood Road for employees that utilized public transportation.

Commissioners Van Langeveld, Tucker, and Larson expressed approval of the project particularly in relation to landscaping and parking, which exceed the minimum requirements, as well as traffic flow.

Commissioner Ward expressed his belief that the visual effects from the trail and the street was most important and was in favor of focusing on the landscaping near those areas rather than internal landscape islands in the van parking areas. Commissioner Garn said that his concern was traffic but felt the possibility to widen Center Street could help alleviate some issues.

Jonathon Gardner commented that the tenant wanted to be a good tenant and could rearrange things to allow for better access and flow. He said they increased the landscaping to ensure that the property was not an eyesore.

4. REPORT ON CITY COUNCIL ACTIONS ON ITEMS RECOMMENDED BY  
PLANNING COMMISSION

Sherrie Llewelyn reported that during the last City Council meeting they tabled the subdivision ordinance for a more in depth review and to make wording changes per Council Member Baskin. She said they also postponed the joint work session with the Planning Commission related to the form based code.

Mrs. Llewelyn said that a different video conferencing system would be used for the next Planning Commission meeting.

5. APPROVAL OF MINUTES

The Planning Commission meeting minutes of March 10, 2020 were reviewed and approved. **Commissioner Larson moved that the Planning Commission approve the meeting minutes from March 10, 2020. Commissioner Van Langeveld seconded the motion. The motion was approved by Commissioners Knowlton, Garn, Kirkham, Ward, Tucker, Larson and Van Langeveld.**



6. ADJOURN

Chair Knowlton adjourned the meeting at 8:07 p.m.

---

Chair

---

Recorder

---

Secretary