

City of Hurricane

Mayor John W. Bramall City Manager Clark R. Fawcett

Planning Commission

Mark Borowiak, on leave
Paul Farthing, Chairman
Michelle Cloud
Rebecca Bronemann
Chris Christensen
Ralph Ballard
Shelley Goodfellow
Mark Sampson
Dayton Hall, alternate

AGENDA OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION 6:00 p.m.

Thursday April 9, 2020

Notice is hereby given that the Hurricane City Planning Commission will hold an ELECTRONIC MEETING VIA WEBEX. To join the meeting go to www.webex.com and enter Meeting ID 298 640 957 Meeting password 84737. To join the meeting by phone please call 1-408-418-9388. Meeting ID and password are the same. A silent roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

New Business:

Presentation of the website for the General Plan Update by Logan Simpson

2020-PSP-01	Consideration and possible approval of a preliminary site plan for an RV Park and
	industrial building on 11.8 acres located at approximately 250 N 2260 West-Sky
	Mountain Properties applicant, Karl Rasmussen agent
2020-PP-07	Consideration and possible recommendation to the City Council on a proposed
	preliminary plat for Ridgeview Subdivision, a 77 lot single family subdivision
	located east of 3320 West between 340 North and 400 North – Interstate Rock
	Products applicant
2020-FSP-05	Consideration and possible approval of a final site plan for Beehive Home Phase 2
	located approximately 851 S 700 West-JC Horne Management applicant,
	Rosenberg Associates agent
2020-PP-08	Consideration and possible recommendation to the City Council on a proposed
2020-PSP-02	preliminary plat for townhomes located 230 N 2170 West. Consideration and
2020-F3F-02	possible approval of a preliminary site for the same townhome project-Bill Zitting
	applicant, Charles Hammon agent
2020-FSP-06	Consideration and possible approval of a final site plan for Calvary Chapel located
	at 798 W 100 North-Calvary Chapel Hurricane Valley applicant, Dustin Whitson
	agent
2020-FSP-07	Consideration and possible approval of a final site plan for Hurricane Behavioral
	Health located at 1631 W State Street-Josh Soffe applicant, Brain Hadley,
	Rosenberg Associates agent

Approval of minutes: March 12, 2020

Adjournment

	· ·
	PRELIMINARY SITE PLAN REVIEW APPLICATION City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184 Fee \$200.00 For Office Use Only: File No. 2020-FSP-DI Receipt No. 7652492
	Name: Sky Mowrtain Properties Telephone: 435-668-0346 Address: 11735, 250 W. Unit-2045h Beary, 111 Fax No. 84770
	Address: 1173 S. 250 W. Unit 209 Sh. Bearge, MT Fax No.
	Agent (If applicable):Agent's Phone:
	Email: down f 08@gmail.com
	Address/Location of Subject Property:
	Tax ID of Subject Property: 4-3-1-32-1/02 Zone District: 100 Planned Commercia
	Proposed Use: (Describe, use extra sheet if necessary) RU Park + Commercial Buildings
	This application shall be accompanied by the following: 1. A vicinity map showing the general location of the project. 2. Three (3) copies of a site plan showing: Topography showing 2' contours, identification of 30% or greater slopes: The layout of proposed uses; Location of open space when applicable; Proposed access to the property and traffic circulation patterns; Adjoining properties and uses: Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any; 3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities; Tables showing the number of acres in the proposed development and a land.
1	summary; and
	5. A phased development plan if applicable. 6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property
	NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay. ***********************************
	Date Received: 200 100 Paceived by:

STAFF COMMENTS

Agenda: File Number: 2020-PSP-01

Type of Application: Preliminary Site Plan

Applicant: Sky Mountain Properties LLC

Request: Preliminary Site Plan review 11.8 acres on 2260 West

Location: Approximately 250 North 2260 West

General Plan: Mixed Use

Existing Zoning: North 3.27 acres – M-1; South 8.56 acres - Planned Commercial

Discussion: This is a preliminary site plan for a proposed RV Park, a new connecting City street, and five buildings of light industrial units. The Code designates the City Council as the approval body for a recreational vehicle park but only after final site plan approval: 10-43-5: **BASIS FOR APPROVAL:**

A. Manufactured Home Or Recreational Vehicle Park Or Park Model Park:

1. A manufactured home or recreational vehicle park or park model park may be approved by the city council in locations where such use is allowed as a permitted or conditional use by the applicable zone, pursuant to applicable requirements of this chapter. Prior to use or occupancy of any such park:

a. A site plan shall be approved as provided in section 10-7-10 of this title; and

b. A conditional use permit shall be approved as provided in section $\underline{10-7-9}$ of this title where the applicable zone allows such parks only as a conditional use.

2. Before final approval is granted for any manufactured home or recreational vehicle park or park model park, a report to the city council by the planning commission shall find the proposed development will:

a. Be in keeping with the general character of the zone in which the park is to be located;

b. Have an approved financing plan for construction and phase completion, together with an approved security to assure compliance and completion; and

c. Meet applicable development standards of section <u>10-43-6</u> of this chapter and all requirements of other applicable ordinances, except where such requirements are modified by a planned development approved pursuant to chapter 23 of this title.

This preliminary site plan approval helps the applicant work with staff and the Planning Commission to ensure all the requirements for final site plan will be included in construction drawings and final site plan application.

1. Total Site 11.83 acres

2. Total buildings 5 on the industrial site and 2 in the RV Park

3. Total RV sites 89 or 84 – conflicting information on plan

JUC Comments: Construction drawings will have to be submitted, reviewed, and approved before final site plan is approved and reviewed and a report is sent to the Council.

- 1. Road improvements on the project side of 2260 West required.
- 2. Road improvements on the project side of 100 North required.
- 3. New connecting road 275 North is shown as required. Thank you.
- 4. There are two different water pressure zones in this area one on 100 North and one on 275 North.
- 5. A water use data study will be required to size the connections for the projects properly. Work with the Water Department water engineer.
- 6. Distances from existing driveways will be reviewed with construction drawings.
- 7. Drainage plan required.

Planning Staff comments on the RV Park:

- 1. An RV Park is a permitted use in a Planned Commercial zone. It is recommend that RV parks be located *Adjacent to or in close proximity to a major collector or arterial road as shown in the city's transportation master plan; (2) Near adequate shopping facilities 10-43-6-A(2b)*This site meets those requirements.
- 2. The site shows two rectangles in red shading, one in orange and another shape in yellow. There is no legend for these features so it is not clear what these shapes represent.
- 3. An RV park requires one restroom facility containing a minimum of one toilet, one sink, and one hot shower, each designed for complete privacy, for each forty (40) spaces, or fraction thereof.(10-43-6-D8) With 89 proposed spaces, one of the buildings should include at least 3 toilets, sinks, and showers park patrons. Practical experience indicates the applicants will want at least 6. Final site plan will need to show where these are located on the site.
- 4. The standards in 10-43-D indicate an adequate and easily identifiable office or registration area.is required. The lines indicated on this plan show this might be located immediately off 2260 West, which does not appear to conform to this additional requirement: The location of the office shall not interfere with the normal flow of traffic into and out of the recreational vehicle park. Staff recommends the applicant consider the implications of two 55' motorhomes towing 20' trailers into town for a special event trying to fit into the space provided for registration if there are already two travel trailers waiting. A redesign is recommended.
- 5. RV sites must be a minimum of 1000 square feet. It is not clear if all the sites on this proposal meet that requirement. *Table 10-43-1*
- 6. There is a lot of parking shown on the site, more than normally shown in an RV Park. The applicants might be able to explain what uses are proposed on the site to generate the need for the additional spaces or if they are intended for towed toys and vehicles.
- 7. One of the accessways in the project which provides access to what appears to be 7 pull through sites and 8 back in sites is shown as 26' wide. The standard is: Roadway Design: Accessways within a manufactured home park or recreational vehicle park or park model park shall conform to construction design standards and specifications adopted by the City, with a minimum width of thirty feet (30'. The remainder of the accessways meet the standard.

- 8. The site is laid out to account for the overhead power line easement. Without access to the language of the easement and any agreement with Rocky Mountain Power, it is not clear if portions of an RV site or a pickleball court would be permitted on the easement. The applicant may be able to clarify this point for the Commissioners.
- 9. Ten percent of the park must be left as open space per 10-43-6 C 2. Common Area: Except for a manufactured home subdivision, one or more common areas equal to at least ten percent (10%) of the land area of the development shall be set aside for the joint use and enjoyment of occupants. Land covered by vehicular roadways, sidewalks and off street parking shall not be included in calculating this ten percent (10%) common area requirement; provided, however, that in initial phases of development, the minimum area shall be not less than one-half (1/2) acre or ten percent (10%) of the land area under development, whichever is greater. Without a calculation of parking areas and roadways it is not clear if this minimum has been met. On 7.58 acres the open space must equal .76 acres. It appears the easement area, recreation areas, and the space behind all the exterior lots may meet this requirement. The construction drawings submitted will need to clarify this as well as which areas are intended for the "joint use and enjoyment of occupants."
- 10. A dumpster location is required.
- 11. Detention areas are recommended to be designed for common use and not just a rock lined pit with no other use.
- 12. A landscaping plan will need to be prepared meeting the following: 10-43-6C 4. Landscaping: Any area not covered by a manufactured home or recreational vehicle or park model, hard surfacing, or a building shall be landscaped per an approved site plan.
- 13. A lighting plan that complies with Dark Sky guidelines adopted by the City must be submitted with final site plan.

Planning Staff comments on the Industrial Site:

- 1. This plan includes 5 industrial buildings divided into individual units. These appear to be planned to have garage doors and possibly office space. This is a permitted use in the zone.
- 2. Industrial sites are required to have internal parking lot landscaping of 5% per the following: D. Parking Lot Landscaping:
 - a. 1. Every parking lot consisting of more than ten (10) spaces and three thousand five hundred (3,500) square feet of area shall contain internal landscaped areas as follows:
 - b. Multiple-family residential: A minimum of ten percent (10%) of total parking lot area.
 - c. b. Office and commercial: A minimum of seven percent (7%) of total parking lot area.
 - d. c. Industrial and warehouse: A minimum of five percent (5%) of total parking lot area.
 - e. 2. For every ten (10) required parking spaces, or portion thereof, a minimum of two (2) shrubs and one deciduous tree shall be provided within the internal parking area. The species of such trees shall be such that at maturity a tree canopy is provided to shade the parking area below each tree.
 - f. 3. Landscaped areas shall contain a minimum of twenty five (25) square feet

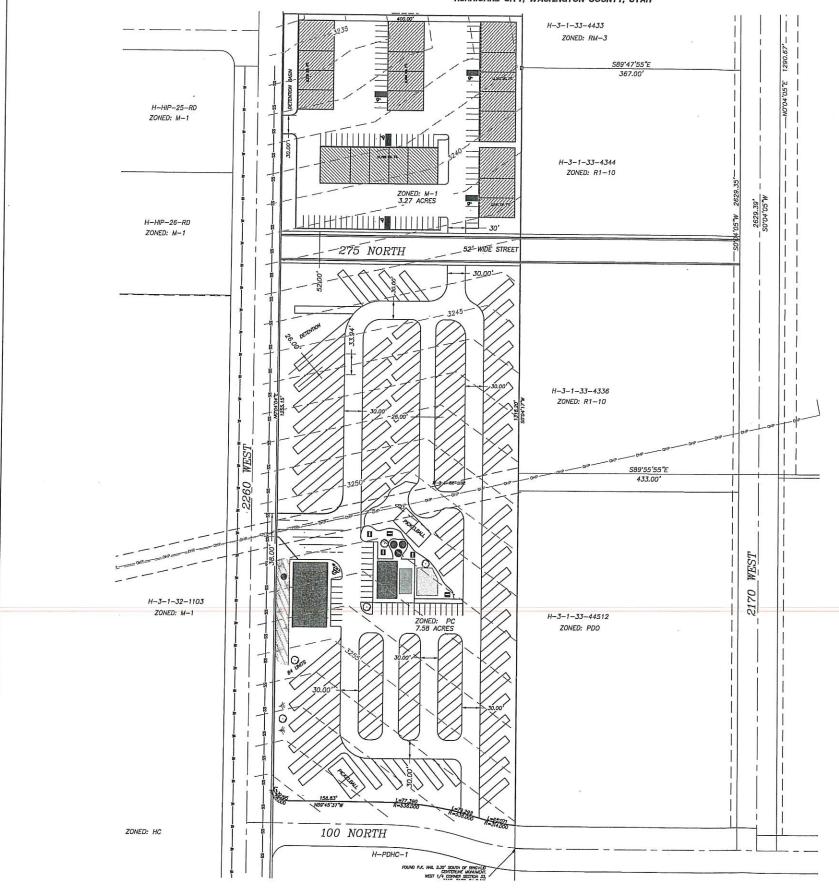
and shall have a minimum average width of at least five feet (5').

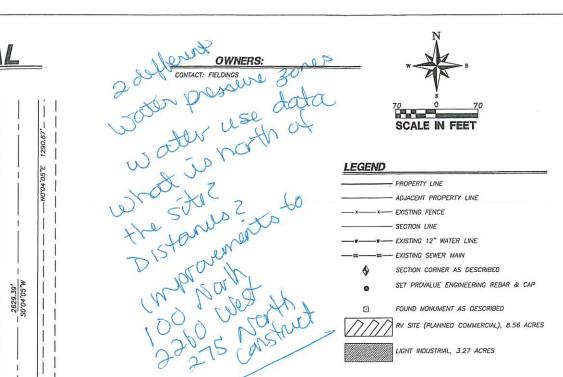
- g. 4. Landscape islands should be located in the following priority:
- h. a. To define major drives and accessways;
- i. b. To delineate ends of parking rows;
- j. c. At aisle intersections; and
- k. d. Within parking rows. Without a landscape plan it is difficult to determine if this standard is met thought there is plenty of room to meet the requirement.
- 3. Parking shown is 73 spaces. Parking for unknown industrial uses is difficult to calculate as it can vary from 1 space per 1000 sq. ft. for warehousing to 1 space per employee on highest shift for manufacturing to 1 space per 250 sq.ft. of construction sales and service business.
- 4. At least one dumpster enclosure will need to be included somewhere on the site.
- 5. A lighting plan that complies with Dark Sky guidelines adopted by the City must be submitted with final site plan.

Recommendation: Staff recommends approval of this final site plan subject to submittal of a complete landscape plan.

PRELIMINARY SITE PLAN FOR: FIELDING RV AND INDUSTRIAL

A PART OF THE SE 1/4 OF THE NE 1/4 OF SECTION 32, T41S, R13W, S.L.B.&M. HURRICANE CITY, WASHINGTON COUNTY, UTAH





NARRATIVE

RV UNITS = 89 LIGHT INDUSTRIAL = 47,940 SQ. FT.

LEGAL DESCRIPTION

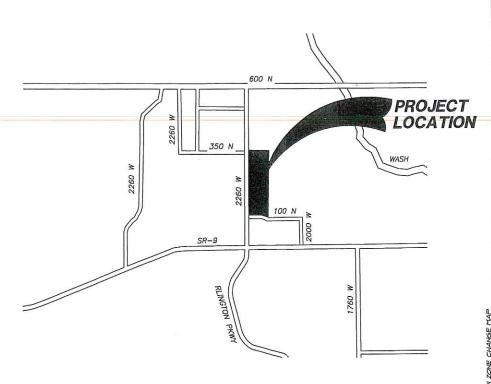
S: 32 T: 41S R: 13W BEG AT PT S 1275.86 FT FM NE COR SEC 32 T41S R13W TH W 400 FT; TH S 1870.70 FT M/L TO R/W HWY U-17; TH E ALG HWY 400 FT M/L TO E LN SEC 32; TH N ALG SEC/L 1870..70 FT M/L TO POB.

LESS: BEG INTSEC NLYR/W LN HWY SR-9 & E LN SEC 32 T41S R13W BEING 515.59 FT S 051'05 W FM E1/4 COR SEC 32; TH N 89'7'37 W 400 FT ALG SD NLY R/W LN TO WLY 8/L TRACT; TH N 0'53'50 E 80 FT ALG WLY 8/L; TH S 89'1'33 E 180.14 FT; TH S 86'01'32 E 220.12 FT TO E SEC/L AT FT 117.44 FT PER NLY FM CNTRL/L HWY PROJ #SP-0009(3)4 ENG STA 394+69.76; TH S 0'51'05 W 67.44 FT ALG SEC/LTO POB

LESS: LAND IN 2000 WEST STREET & 100 NORTH STREET.

LESS: LAND IN PAINTED HILLS COMMERCE CENTER.

TOTAL ACREAGE: 11.83 ACRES





PROVALUE ENGINEERING, II Engineers-Land Surveyors - Land Planners 20 South 650 West, Soite 1 Hardman City Unit 61771 Hardman City Unit 61771 Hardman City Unit 61771 Hardman (193) 666-67807 Incl. Remande

CITY, W

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LAN FOR: INDUSTRIAL ₽ ₩ SITE > PRELIMINARY "

JOB NO.

SHEET NO: 1 OF 1

DATE: 3/1/2020 5CALE: |*= 10'

PRELIMINARY PLAT APPLICATION

City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:
File No. 2020-PP-07
Receipt No. 7. 652(82)

Name: INTER	STATE POLIC PRODUCTS, INC Telephone: 435-635-2628
	. 850 W. HUPPELLANE, UT 84737 Fax No. 435-635-2177
Email:	Agent Email:
Agent (If Applicabl	e):Telephone:
Address/Location o	f Subject Property: SELTION SI, TOWNSHIP 41 SOUTH,
PANGE 13 WEST,	SAUT LAKE BASE AND MERIDIAN, HURRICANE, UTAH.
Tax ID of Subject F	Property: <u>H-3-1-31-3000</u> Zone District: R-1-8
Proposed Use: (Des	cribe, use extra sheet if necessary. Include total number of lots)
SINGLE GAMI	LY DWALINGS - 77 UNITS
Submittal Requiren	nents: The preliminary plat application shall provide the following:
1. Description:	In a title block located in the lower right-hand corner of the sheet the following is required:
ab.	The proposed name of the subdivision.
~ C.	The location of the subdivision, including the address and section, township and range. The names and addresses of the owner or subdivider, if other than the owner.
- d.	Date of preparation, and north point.
e.	Scale shall be of sufficient size to adequately describe in legible form, all required conditions
2 Evicting Co.	of Chapter 39, City Subdivision regulations.
2. Existing Cona.	nditions: The preliminary plat shall show: The location of the nearest monument.
b.	The boundary of the proposed subdivision and the acreage included.
c.	All property under the control of the subdivider, even though only a portion is being
	subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of
	the prospective street system of the unplatted parts of the subdivider's land shall be submitted,
	and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
√d.	The location, width and names/numbers of all existing streets within two hundred (200) feet of
	the subdivision and of all prior streets or other public ways, utility rights of way, parks and
	other public open spaces, within and adjacent to the tract.
<u> NA</u> e.	The location of all wells and springs or seeps, proposed, active and abandoned, and of all
	reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond
NAf.	the tract boundaries.
<u>/ / 1 1 1</u> .	Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

STAFF COMMENTS

Agenda: File Number: 2020-PP-07

Type of Application: Preliminary Plat

Applicant: Interstate Rock Products, Inc.

Request: Preliminary Plat for Ridgeview Subdivision, a 77 lot single family lot subdivision

Location: East of 3320 West between 340 North and 400 North

General Plan: Single Family Residential up to 4 units per acre

Existing Zoning: R-1-8, Single Family Residential 8,000 square foot minimum lots

Discussion: This plat was approved in 2016. The applicants have been investigating ways to handle the storm drainage in this area and refining the design. This application covers only a portion of the land included in the 2016 plat. The proposed subdivision is located in a convenient location east of Canyon Ridge 2B subdivision and north of WalMart. It is in the vicinity of existing utility services and close enough to major collector and arterial roads to allow for convenient access, though this single family lot section does not appear to include any new road connections to 290 North or 3400 West. This poses a possible public safety concern with no second access with this many single family dwelling units.

	Zoning	Adjacent Land Use
North	R-1-10	Vacant
East	PDO/R-1-10	Vacant
South	RA -1 & HC	Vacant
West	R-1-10	Single family homes

JUC Comments: The following are being addressed during the construction drawing phase of this project: (These comments are the same as those made in 2016)

- 1. Power will have to be designed to accommodate the additional units
- 2. A water study will need to be performed
- 3. A plan to address drainage will need to be provided
- 4. A second access meeting the distance separation requirements of the fire code will be required
- 5. An agreement to complete blasting on the site before houses are constructed

Staff Comments:

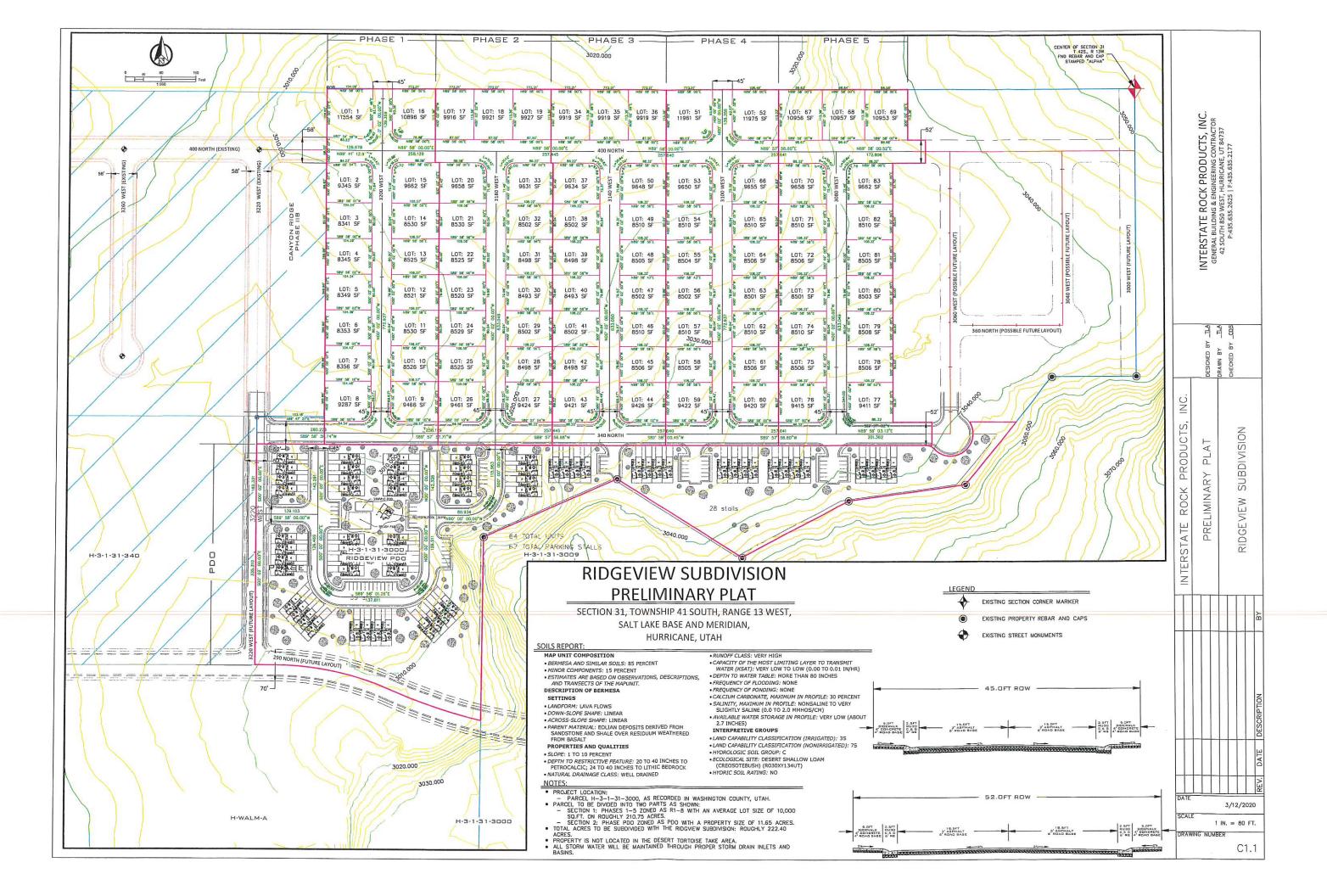
- 1. Lots vary in size from 8,505 square feet to 11,975 square feet and have at least 80' of frontage, exceeding the minimum requirements for the zone. The majority of the lots are about 8500 square feet.
- 2. The project is proposed to be divided into 5 phases with approximately 15 16 lots per phase
- 3. A preliminary geotechnical review indicates this property is subject to adverse construction conditions including caliche, collapsible soil, piping and erosion, shallow bedrock, and wind blown sand. The

developer anticipates the greatest construction challenge will be the shallow bedrock and they have the expertise and permits to handle the conditions.

- 4. The preliminary drainage plan submitted uses surface drainage to 600 North. A more detailed plan will be submitted and reviewed by the City Engineer before final plat.
- 5. Will serve letters for culinary water and sewer have been received.
- 6. A second access design and location must be reviewed and approved before final plat.

Recommendation: Staff recommends the Planning Commission forward a recommendation of approval for the Preliminary Plat of Ridge View Subdivision to the City Council subject to the following before submission for final plat.

- 1. Resolution of all JUC concerns.
- 2. Second access is provided as part of the first phase
- 3. A full drainage study and plan is approved.



FINAL SITE PLAN APPLICATION

City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184 Fee: \$250.00

For Office Use Only:
File No 2020-FSP-05
Receipt No. 7652911

Name: JC Horne Management LLC	Telephone: 435-619-0499					
Address: 1122 N Coral Canyon Blvd	Fax No.					
Agent (If Applicable): Rosenberg Associates	Telephone: 435-673-8586					
Email:	Agent Email: brianh@racivil.com					
Address/Location of Subject Property: Approx. 850 S 700 W						
Tax ID of Subject Property: H-3-2-3-1333	Zone District: RA-0.5					
Proposed Use: (Describe, use extra sheet if necess	sary) _Assisted Living Center					

Submittal Requirements: This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1)	Site	plan	inc	lud	ling:

- _____a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- b) Layout, dimensions, and names of existing and future road rights-of-way;
- c) Project name, North arrow, and tie to a section monument;
 - ★ d) The boundary lines of the project site with bearings and distances;
 - × e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ______f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- X g) Location of man-made features including irrigation facilities, bridges, and buildings
- h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density:
- NA i) Identification of property, if any, not proposed for development, and;
- NA j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

STAFF COMMENTS

Agenda: File Number: 2020-FSP-05

Type of Application: Final Site Plan

Applicant: JC Horne Management

Agent: Rosenberg Associates

Request: Final Site Plan review Beehive Home Phase 2

Location: Approximately 851 S. 700 West

General Plan: Single Family Residential up to 4 units per acre

Existing Zoning: Residential Agriculture one acre – RA-.5

Discussion: This is a final site plan for a second Beehive Home that shares the driveway of the existing Beehive Home. Assisted Living is a permitted use in the Residential Agriculture zone. The site plan includes a proposed 15 bed, 7,700 square foot building with associated parking, storm drain detention facilities, landscaping, and the dumpster enclosure.

1. Total Site .48 acres

2. Total building 7,700 sq. ft. of building

3. Total parking 4 spaces

4. ADA compliant parking 1 space located at the building entrance

5. Access drives Shared 25' driveway

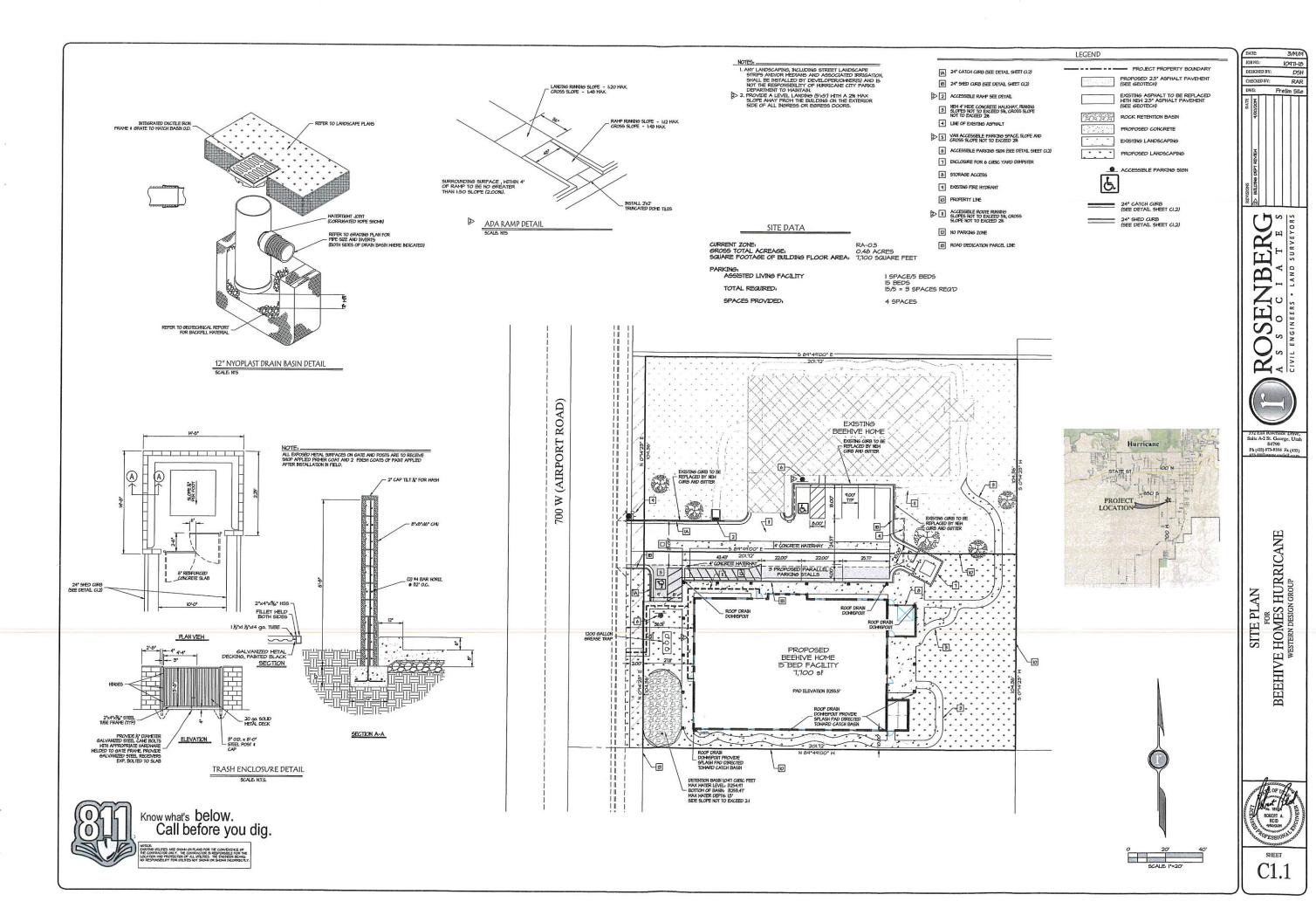
JUC Comments: Construction drawings have been signed.

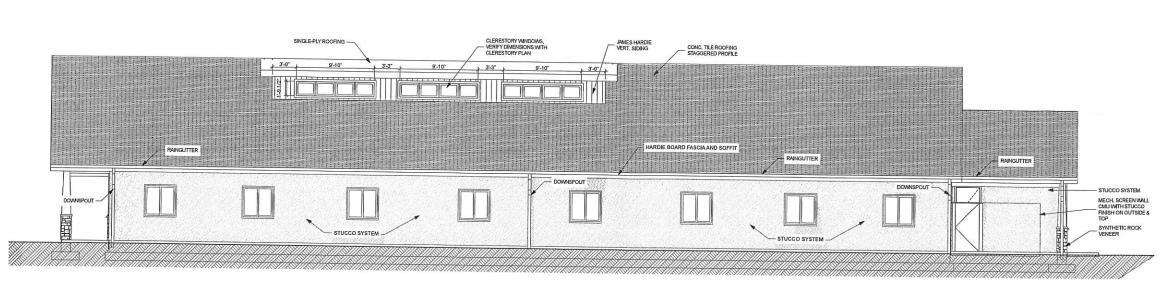
Planning Staff comments:

- 1. The building is similar to the existing facility to the north with porches on the north and west. Elevations show a residential type building with stone accents, porch columns, and clerestory windows on the north and south elevations.
- 2. This building is located on a site fronting 700 West south of the existing Beehive Home.
- 3. No landscape plan has been submitted and must be submitted before a building permit is issued. From the site plan, it appears there will be very few trees on the site.
- 4. No pedestrian access is provided into the site other than the driveway.
- 5. Dumpster enclosure location and construction details are provided.

6. Parking meets the minimum requirement.

Recommendation: Staff recommends approval of this final site plan subject to submittal of a complete landscape plan.





SOUTH ELEVATION SCALE: 3/16" = 1'-0"

JAMES HARDIE VERT, SIDING SYNTHETIC ROCK VENEER

> **EAST ELEVATION** SCALE: 3/16" = 1'-0"

CONSULTANTS



HURRICANE **BEEHIVE** PHASE 2

831 SOUTH 700 WEST HURRICANE, UTAH

J.C. HORNE MANAGEMENT, LLC

3 3/5/20 FINAL APPROVALS & POST BID ADDENDUM 2 9/30/19 BLDG. DEPT. REVIEW 9/30/19 STATE HEALTH DEPT. REVIEW MARK DATE DESCRIPTION

PROJECT NO: 19UC004 MODEL FILE: 4-10-19 HURRICANE BEEHIVE PHASE 2.pln

DRAWN BY: BILL
COPYRIGHT: WESTERN DESIGN GROUP

SHEET TITLE **ELEVATIONS**

A-202



3D COLOR RENDERING

MODEL FILL:
410-19-HARDLANG BEERIVE PHASE 2-pin



CONSULTANTS



HURRICANE BEEHIVE PHASE 2

831 SOUTH 700 WEST HURRICANE, UTAH

J.C. HORNE MANAGEMENT, LLC

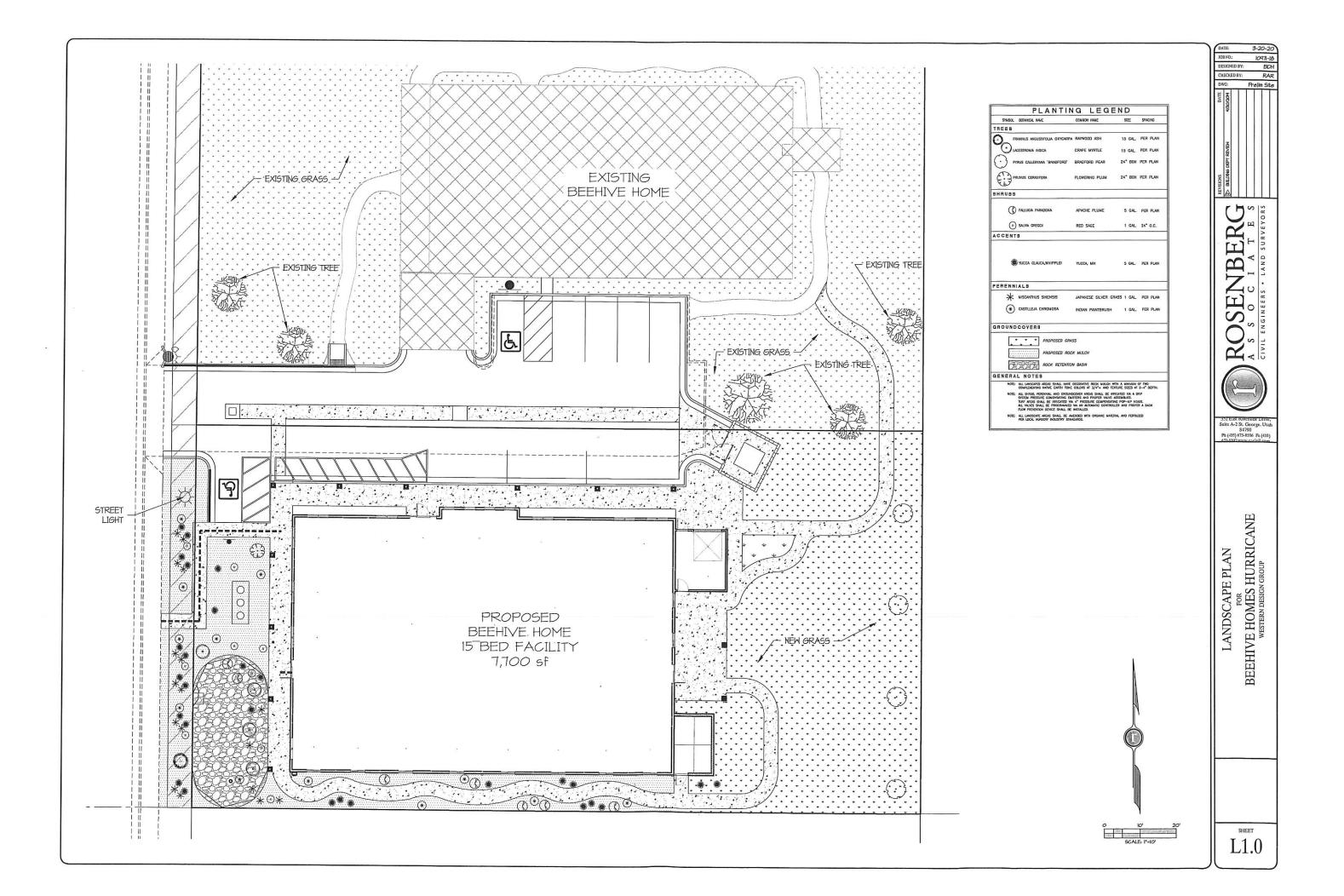
17.00	3	
3	3/5/20	FINAL APPROVALS & POST BID ADDENDUM
2	9/30/19	BLDG. DEPT. REVIEW
1	9/30/19	STATE HEALTH DEPT. REVIEW
ARK	DATE	DESCRIPTION
ROJE	CT NO: 1	9UC004

DRAWN BY: BILL
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SHEET TITLE

RENDERING

A-203



PRELIMINARY SITE PLAN REVIEW APPLICATION

City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184

Fee \$200.00

For Office Use Only:
File No 2020-PSP-01
Receipt No. 765 2912

Name: Bill Zitting	Telephone: 435-635-4068
Address: 256 West 100 South, Hurricane, UT 84737	Fax No. 435-635-4137
Agent (If applicable): Charles Hammon	Agent's Phone: 435-619-4586
Email: bill@zittingconstruction.com Agent Email	: charles@exceldesign.us
Address/Location of Subject Property: 150 North	n 2170 West
Tax ID of Subject Property: H-3-1-33-43361	Zone District: RM3
Proposed Use: (Describe, use extra sheet if necessary	
44 new construction townhomes with dog park and pla	
 X X X X Droposed access to the property an Adjoining properties and uses: 	identification of 30% or greater slopes: icable; id traffic circulation patterns; playgrounds, school, and any other publicater, sewer, and storm drainage plans, and
X 6. Warranty deed or preliminary title report or ot evidence that the applicant has control of the	
consideration. Planning Commission meetings are Wednesday of each month at 6:00 p.m. Contact the submissions. Once your application is deemed complanning Commission meeting. A deadline missed du month's delay. ***********************************	ot be scheduled for Planning Commission held on the second Thursday and the fourth Planning Department for the deadline date for plete, it will be put on the agenda for the next to an incomplete application could result in a
Date Received: Received by:	

PRELIMINARY PLAT APPLICATION

City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184 Fee: \$150.00

For Office Use Only:
File No. 2020 - 19 - 08
Receipt No. 7652913

Name: Bill Zitting		Telephone: 435-691-4060		
Address: 256 W. 10	0 S. Hurricane, UT 84737	Fax No. 435-635-4137		
Email: bill@zittingco	nstruction.com Agent F	Email: charles@exceldesign.us		
Agent (If Applicab	e): Charles Hammon	Telephone: 435-619-4586		
Address/Location o	f Subject Property: South 2170	West Street		
Tax ID of Subject I	Property: H-3-1-33-43361	Zone District: RM3		
Proposed Use: (Des	cribe, use extra sheet if necessar	y. Include total number of lots)		
44 new construction	townhouses with dog park and pla	yground.		
1. Description:	In a title block located in the lower The proposed name of the subdivision, in The location of the subdivision, in The names and addresses of the or Date of preparation, and north poscale shall be of sufficient size to of Chapter 39, City Subdivision redictions: The preliminary plat shall The location of the nearest monur The boundary of the proposed subdivided. (Where the plat submit the prospective street system of the	ncluding the address and section, township and range. where or subdivider, if other than the owner. int. o adequately describe in legible form, all required conditions. I show: ment. odivision and the acreage included. of the subdivider, even though only a portion is beinitted covers only a part of the subdivider's tract, a sketch ne unplatted parts of the subdivider's land shall be submitted.	ing of ed,	
	Street Plan or other Commission of The location, width and names/nut the subdivision and of all prior so other public open spaces, within a The location of all wells and spreservoirs or ponds within the tract the tract boundaries.	ambers of all existing streets within two hundred (200) feet streets or other public ways, utility rights of way, parks a and adjacent to the tract. rings or seeps, proposed, active and abandoned, and of ct and at a distance of at least one hundred feet (100') beyon	of ind all and	
f.	Existing sewers, water mains, indicating the pipe sizes, grades r	culverts or other underground facilities within the tra	.ct,	

STAFF COMMENTS

Agenda:

File Number: 2020-PP-08

2020-PSP-02

Type of Application:

Preliminary Plat and Preliminary site plan

Applicant:

Bill Zitting

Agent:

Charles Hammon

Request:

Preliminary Plat for new Townhomes

Location:

230 North 2170 West

General Plan:

Multi-Residential Types

Current Zoning:

RM-3

Discussion: This plat is for 4.10 acres located between the Haven Assisted Living and the Retreat at Sky Mountain Apartments. It is for 44 townhome lots in 8 structures with common and limited common areas as well as private pads. Common areas are located in the Rocky Mountain Power powerline easement.

JUC Comments:

The following must be addressed during the construction drawing phase:

1. Construction drawings must be reviewed and approved before final plat and/or final site plan application

Staff Comments on preliminary plat:

- This project includes public streets for access to individual lots. Everywhere except in front of lots 25 – 29 the streets are improved with curb, gutter, and sidewalk. In this area, the sidewalk ends and the road terminates in a double hammerhead with curb and gutter only.
- 2. The lots, which are townhome units, are located in 8 different buildings on the site. It appears those along the west and south boundaries will have10' rear yards that are included in private ownership while the remaining units will have rear yards designated as limited common areas. Both types of units can then enjoy private back yards.
- **3.** Lot sizes will include a 25' by 39' building pad plus any yard space. Units are anticipated to be 26'9" tall two-story structures which is under the maximum height of 35'.

- **4.** This layout shows 25' front yard setbacks. The code has been changed to allow a 22' front setback for garages so the applicant anticipates the final plat will show the buildings pushed forward and the additional footage added to the rear yards.
- 5. Street side yard setbacks are shown at 20', as required.
- 6. Applicants shall coordinate with the Post Office for siting of mail boxes to serve the subdivision.
- 7. Final plat or final site plan application must be accompanied with CC&R's prohibiting parking of recreational vehicles within the project in accordance with the following code section: 10-34-6: NUMBER AND TYPE OF PARKING SPACES: G. Recreational Vehicle Parking: Adequate and accessible recreational vehicle parking storage areas shall be required in each multi-family and planned residential development project unless the premises are subject to restrictive covenants or other means limiting the parking of such vehicles

Staff Comments on Preliminary Site Plan:

- 1. Common areas shown on the plat include a dog park and a playground, as well as some open space between units.
- 2. A 6' block wall is shown around the project perimeter except along the 295 North street where driveways and building front yards face the street. It appears the wall is planned to be set back far enough at entrances to meet sight distance requirements.
- **3.** A landscape plan will be required with final site plan, demonstrating the project meets the minimum requirements of the Land Use Code for multi-family development.
- 4. The dog park is surrounded by chain link fencing.
- **5.** Both the dog park and the playground have concrete pads with benches shown. Unless a mature shade tree is planned, staff recommends at least one of these benches in each location be provided with a shade cover.
- 6. Parking is shown in front of the playground with access to the parking stalls directly accessed from a public street, which does not meet the following Land Use Code section: 10-34-8: PARKING LOT DESIGN AND CONSTRUCTION:
 - B. Access To Public Street: Except for parking for a single-family or two-family dwelling and townhouses access to a parking space or parking lot shall be from a parking lot aisle and not directly from a public street. Every parking lot shall have access to a public street. Such access may be provided through platted or recorded easements, reciprocal arrangements, or other guaranteed means. Because the proposed parking is not able to meet the code and each unit has garage as well as driveway parking, staff recommends the parking be removed and the playground area enlarged. Additionally road widths are wide enough to accommodate some onstreet parking in this area.
- 7. A lighting plan will be required with final site plan.

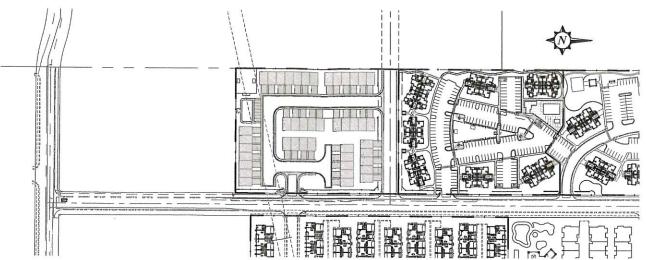
Recommendation: Staff recommends approval of the preliminary plat.

Staff recommends approval of the preliminary site plan with a recommendation to remove the Parking lot and expand the playground.

HURRICANE TOWNHOMES

PRELIMINARY PLAT

HURRICANE, UTAH



PROJECT INFORMATION

Z4 HOLDINGS, LLC ATTN. BILL ZITTING 256 WEST 100 SOUTH HURRICANE, UT 84737

ENGINEERING COMPANY

EXCEL DESIGN ASSOCIATES, LLC 321 NORTH MALL DRIVE, SUITE J-101 ST. GEORGE, UT 84790 OFFICE: 435-619-4586

SITE DATA

EXISTING ZONING:

BUILDING SUMMARY

(44) 2 STORY BUILDING (~ 26'9" TALL)

FIRE FLOW REQUIREMENTS: 1,500 GPM FOR 2 HOURS

PARKING SUMMARY

REQUIRED: 2 SPACES PER UNIT;

REQUIRED STALLS: 88 PROVIDED STALLS: 183

REQUIRED ADA PARKING STALLS: 0 REQUIRED ADA STALLS WITH VAN ACCESSIBLE ISLE: 0

ADA PARKING STALL: 0 TOTAL ADA STALLS WITH VAN ACCESSIBLE ISLE: 0

PROJECT VICINITY



DRAWING INDEX

C - CIVIL DRAWINGS

C1.1 - CIVIL COVER SHEET

C1.2 - EXISTING CONDITIONS

C2.1 - PRELIMINARY SITE PLAN

C3.2 - PRELIMINARY GRADING PLAN C4.1 - PRELIMINARY UTILITY PLAN

ABBREVIATIONS LEGEND

-									
AC	ACRE	ΓV	EVIOTINO	1170	NOT TO BOALE				
	VARIATION (1997)	EX	EXISTING	NTS	NOT TO SCALE	ROW	RIGHT-OF-WAY	T	TOWNSHIP
B&C	BAR & CAP	FFE	FINISHED FLOOR ELEVATION	OG	ORIGINAL GROUND	SLB&M	SALT LAKE BASE & MERIDIAN	TBC	TOP BACK OF CURB
BM	BENCHMARK	FG	FINISHED GRADE	PC	POINT OF CURVATURE	S	SOUTH	TOA	TOP OF ASPHALT
ę	CENTERLINE	FT	FEET	PCC	POINT OF COMPOUND CURVE	SAD	SEE ARCHITECTURAL DRAWINGS		TOP OF CONCRETE
CP	CONTROL POINT	HDPE	HDPE	PI	POINT OF INTERSECTION	SS	SANITARY SEWER	TOS	TOP OF SIDEWALK
CU FT	CUBIC FOOT	HW	HIGH WATER	PRC	POINT OF REVERSE CURVE	SD	STORM DRAIN	TOW	TOP OF WALL
CU YD	CUBIC YARD	HWY	HIGHWAY	PT	POINT OF TANGENCY	SEC	SECTION	TRANS	TRANSFORMER
CONC	CONCRETE	ΙE	INVERT ELEVATION	POC	POINT OF CONNECTION	SPEC	SPEC	U.N.O.	UNLESS NOTED OTHERWISE
CONST	CONSTRUCTION	IRR	IRRIGATION	PWR	POWER	SQ	SQUARE	WTR	WATER
CMP	CORRUGATED METAL PIPE	LF	LINEAR FEET	P	PROPERTY LINE	SQ FT	SQUARE FEET	WV	WATER VALVE
DIA Ø	DIAMETER	MAX	MAXIMUM	PVC	POLYVINAL CLORIDE PIPE	SQ YD	SQUARE YARD	W	WEST
E	EAST	MIN	MINIMUM	R	RANGE	STA	STATION		
EOA	EDGE OF ASPHALT	MON	MONUMENT	RCP	REINFORCED CONCRETE PIPE	STD	STANDARD		
ELEV	ELEVATION	N	NORTH	REV	REVISION	STM	STORM		



PRELIMINARY NOT FOR CONSTRUCTION

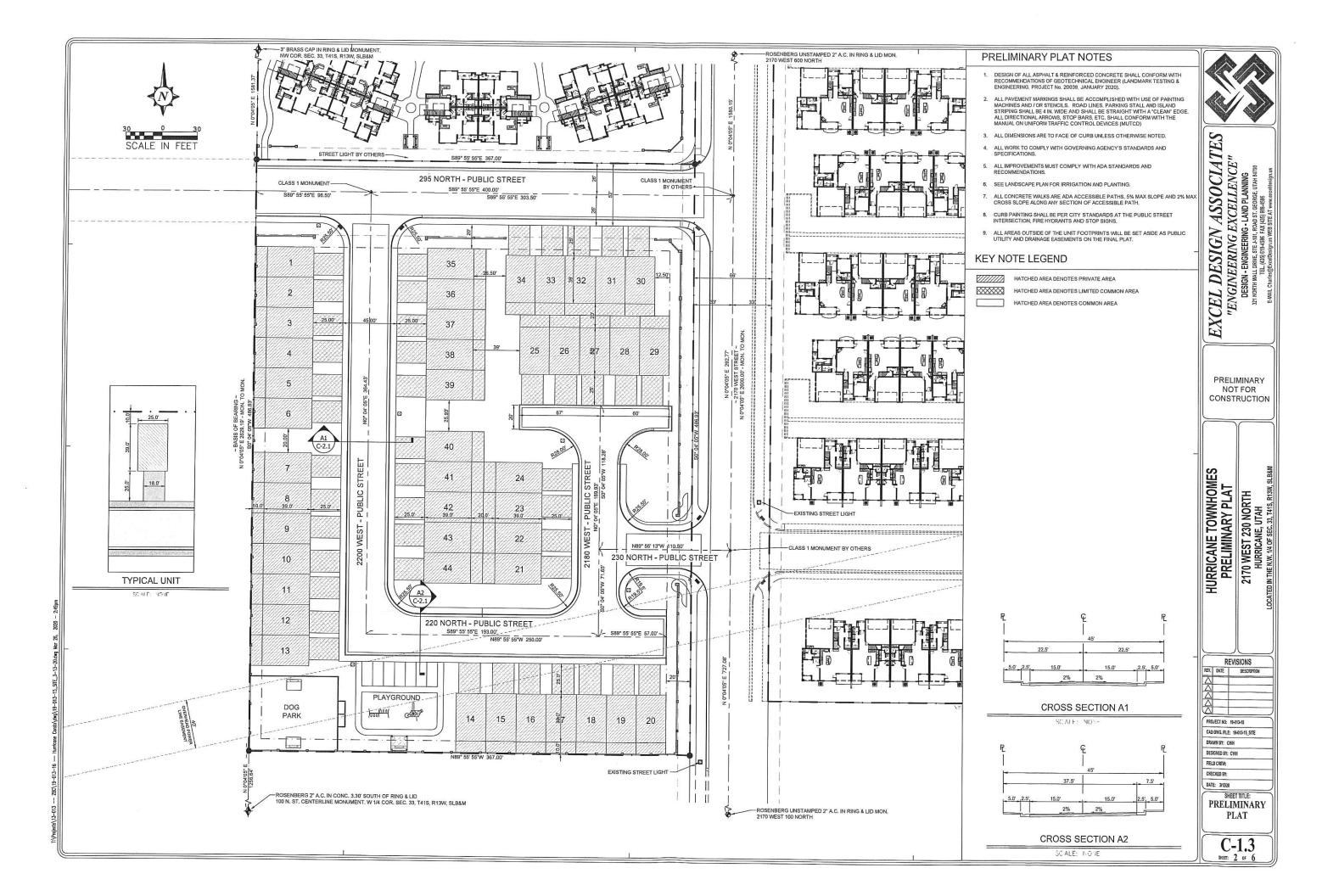
HURRICANE TOWNHOMES
PRELIMINARY PLAT
2170 WEST 230 NORTH
HURRICANE, UTAH
LOCATED IN THE N.W. 140 OF SEC. 33, 7415, R13W, SLERM

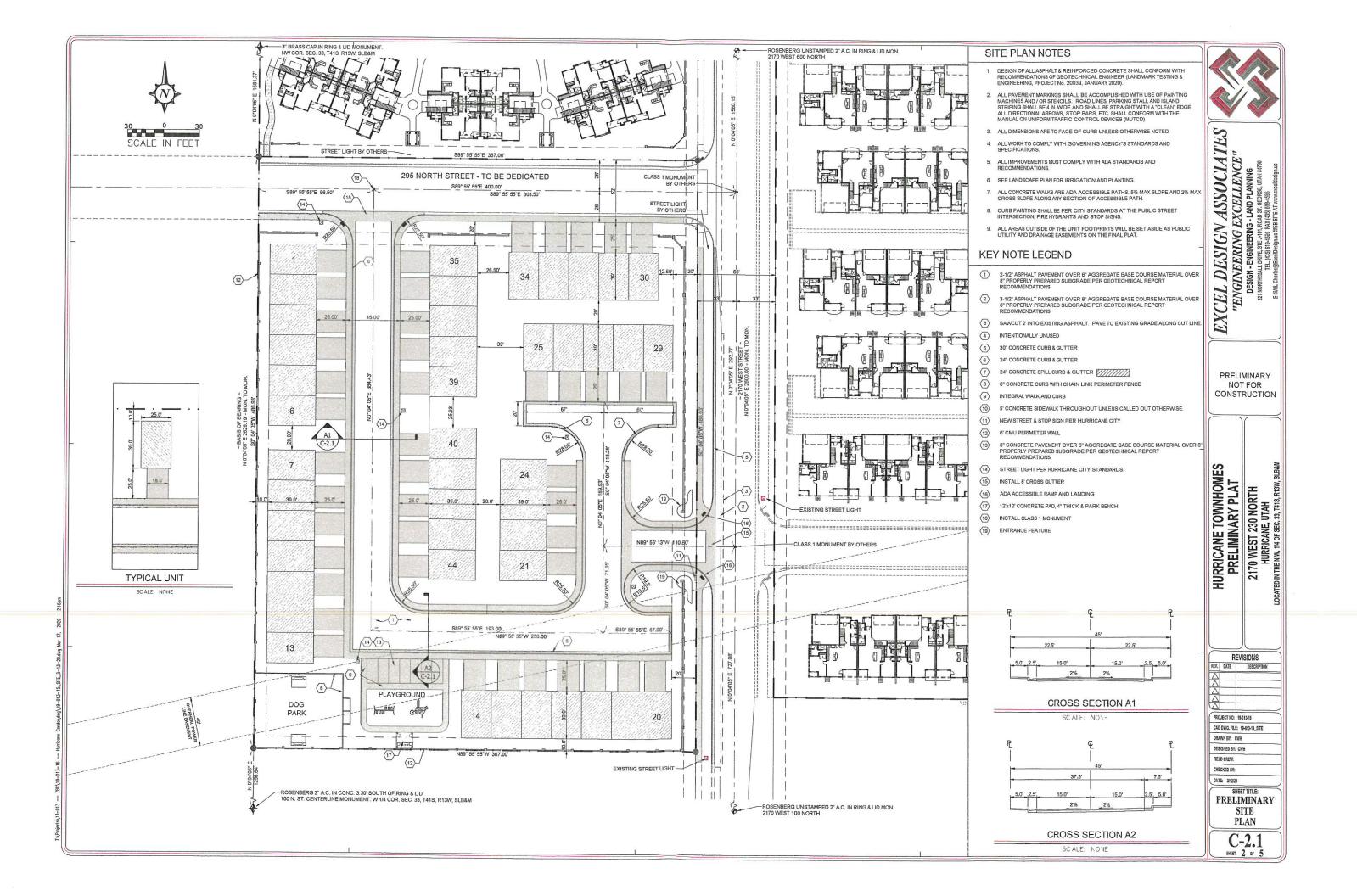
REVISIONS REV. DATE DESCRIPTION PROJECT NO: 19-013-15 CAD DWG, FILE: 19-013-15_SITE DRAWN BY: CWH DESIGNED BY: CWH

FIELD CREW: CHECKED BY: DATE: 3/12/20 CIVIL COVER

C-1.1

SHEET





FINAL SITE PLAN APPLICATION

City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184

density;

For Office Use Only:
File No 200 - FSP - 0 8 6
Receipt No. 765 2934

FAX (435) 635-2184	
Name: Columny Chapel Hurricane Valley	435-635-9313-64914 Telephone: <u>435-773-7066-LEL</u> C
Address: 1015 WEST 160 NOTTH Humans UT 847	37Fax No
Agent (If Applicable): Dustin Whitson	Telephone: 435-773-7066
Email: Justin & Calvaryhv. com Agent En	mail: Same
Address/Location of Subject Property:	100N?
Tax ID of Subject Property: 46-3247359 501-63 1000 porfet Proposed Use: (Describe, use extra sheet if necessary) Ref	_Zone District:
 Submittal Requirements: This application must be accompanied the following standards: Plans shall be drawn at a scale of no smaller than 1 Submit one (1) set of plans on 11 x 17 inch paper. sheets when ever a reduction is required. Except for the landscaping plan, the other plans professional engineer licensed by the State of Utah 	"=100' Also submit one (1) copy of all plans on larger shall be prepared, stamped and signed by a
The following shall be shown on separate sheets: 1) Site plan including:	
a) All facilities related to the project located within two hund which b) Layout, dimensions, and names of existing and future roal (c) Project name, North arrow, and tie to a section monument d) The boundary lines of the project site with bearings and dimensions of proposed streets, buildings, part (f) Location, dimensions, and labeling of other features such signage, and mechanical equipment; (g) Location of man-made features including irrigation facility (h) A tabulation table showing total gross acreage, square for building footprint, square footage of total building floor ar	ad rights-of-way; t; listances; rking areas, and landscape areas; as bicycle racks, dumpsters, trash cans, fences, ties, bridges, and buildings otage of street rights-of-way, square footage of

__j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

1/ A i) Identification of property, if any, not proposed for development, and;

number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit

STAFF COMMENTS

Agenda: File Number: 2020-FSP-0%

Type of Application: Final Site Plan

Applicant: Calvary Chapel Hurricane Valley

Agent: Dustin Whitson

Request: Final Site Plan review Calvary Chapel

Location: 798 W. 100 North

General Plan: Commercial

Existing Zoning: Neighborhood Commercial

Discussion: This is a final site plan for a new Calvary Chapel location. The site plan includes a proposed building with the first 4,260 square feet with vestibule, chapel, classroom, and office space used in phase 1 and the additional building space becoming a 5200 sq. ft. chapel in phase 2. The site includes landscaping, parking, and the dumpster enclosure.

1. Total Site 4.43 acres

2. Total building 25,120 sq. ft. of building

3. Total parking 292 spaces

4. ADA compliant parking 8 spaces located along the building entrances

5. Access drives Three 35' driveways

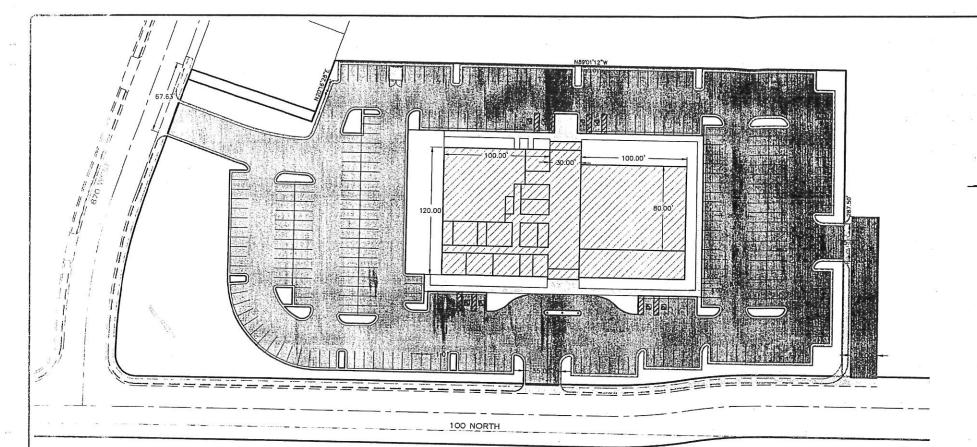
JUC Comments: Construction drawings have been signed.

Planning Staff comments:

- 1. A porte cocher entrance faces 100 North on at 21' high building with metal roof and stucco exterior with stone accents.
- 2. This building is located on a site fronting 100 North directly east of the City office building.
- 3. Landscaping plan is extensive and complete, including shrubs, trees, boulders, grass, and gravel mulch. The irrigation plan is complete. Landscaping is provided along all street frontages.
- 4. Pedestrian access into this site is provided from the sidewalks on three sides.
- 5. Dumpster enclosure location and construction details are provided.

- Parking is based on both general assemble and fixed seating occupancies. Wall sign and address plaque locations are shown. 6.
- 7.

Recommendation: Staff recommends approval of this final site plan for a religious assembly building that meets all the requirements of the code.



PROJECT INFORMATION THE DING USE: THE STE APEA

THE BLOG. ANDA TO TPRINT) - NG/MPERMEN - EA SCAFE ARE-

PALKING REQ. REMENTS

| EL ARIETER | FA | NON-FXED | 1 SPACE | 1 SPACE | SUBTOTAL | FT | SEATING | 6 SEATS | 100 SO.FT | 100 F RE CHAPEL 5 0 450 75.0

OMINION ENERGY COMPANY

Sheein In

ENTURY LINK ASHI CREEK S.S.D.

HURRICANE CITY WATER

Mily Verginal

HURRICANE CITY STREETS DEPT.

HURRICANE BUILDING OFFICIAL

DATE 12/4/19

SITE PLAN

DUSTIN WHITSON CALVARY CHAPEL CITY OF HURRICANE, WASHINGTON COUNTY, UTAH

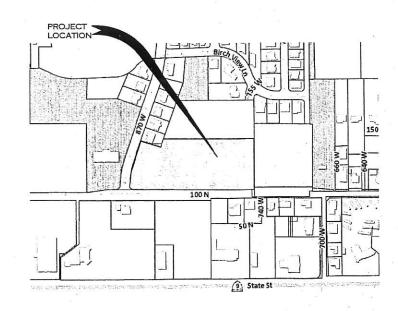
GENERAL NOTES:

- FIRE DEPARTMENT NOTES:
- 2. AN APPROVED WATER SUPPLY SHALL BE MADE AVAILABLE PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIAL
- 3. PROVIDE AND MAINTAIN ALL WEATHER FIRE ACCESS.





VICINITY MAP



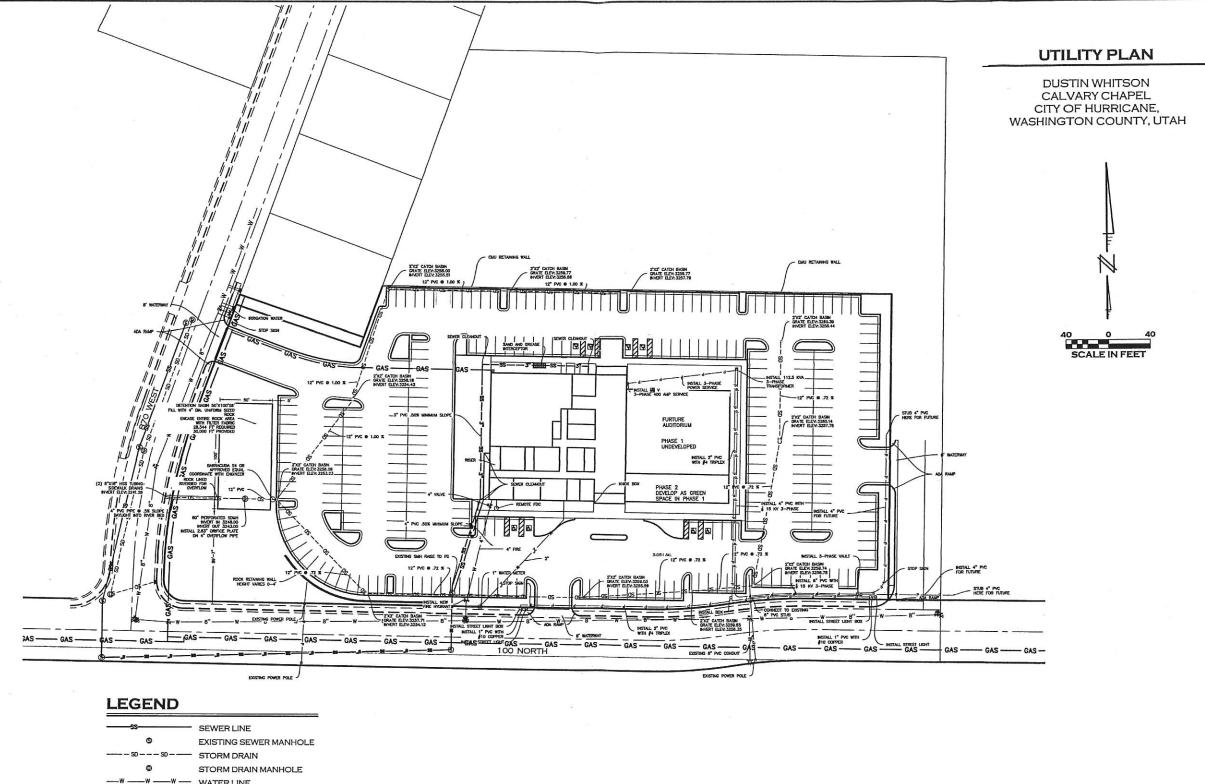
HURRICANE C	CITY APPROVAL	×			
			SHEET IN	NDEX	
			SHEET	DESCRIPTION	
			CI	SITE PLAN	_
	7 7		C2	GRADING & GRANAGE PLAN	
12-4-19	Danier Barney	12-4-19	c3	UTILITY PLAN	
DATE	HURRICANE CITY PARKS	DATE	C4	UTILITY HOTES	
	2. 1		C5	755 W PLAN AND PROFILE	10.000
12-11-19). T.	12-19-19	C6	DETAILS	
		1221111	C7	SEWER DETAILS	
DATE	HURRICANE CITY POWER	DATE	св	LANDSCAPE PLAN	
12/4/1 O1 DATE	HURRICANE CITY FIRE DEPARTMENT	12/4 DATE	RE IN		
12 · 4 · 19 DATE	Luth O. Jefann HURRICANE CITY ENGINEER	1.7.2020 DATE	CE OIL	E FAC	
12-4-19 DATE	WATER CONSERVANCY DISTRICT	12-11-19 DATE	-0//	3C-41	
1-7-10W DATE	Milu Vella WILL HURRICANE CITY PUBLIC WORKS DIRECTOR	1-7-20			

FOR DUSTIN WHITSON HURRICANE, WASHINGTON COUNTY

SITE PLAN CALVARY CHAPEL

FILE NAME: 1902-0411 DATE: 12/3/2019 CHECKED: SCALE:

SHEET



 ss	SEWER LINE
0	EXISTING SEWER MANHOLE
	STORM DRAIN
•	STORM DRAIN MANHOLE
www	WATER LINE
•	WATER METER
器	WATER HYDRANT
——Р ———Р ——	POWER
	STREET LIGHT & BOX
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\bowtie	3-PHASE POWER VAULT
	TRANSFORMER
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UTILITY PLAN
CALVARY CHAPEL
DUSTIN WHITSON

FILE NAME: 1902-0411 DATE: 12/19/2019

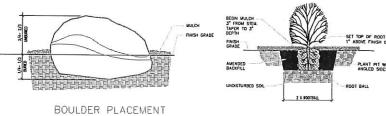
SCALE:

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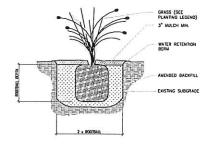
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LANDSCAPE PLAN

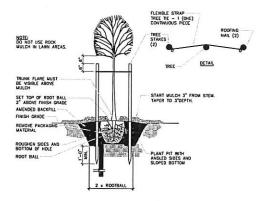
DUSTIN WHITSON CALVARY CHAPEL CITY OF HURRICANE, WASHINGTON COUNTY, UTAH



B SHRUB PLANTING DETAIL



C) ORNAMENTAL GRASSES PLANTING



TREE PLANTING AND STAKING

PARKS DEPARTMENT NOTES

ANY LANDSCAPING, INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION SHALL BE INSTALLED AND MAINTAINED BY DEVELOPER/OWNER AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN,

LANDSCAPE NOTES

VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
 ALL PLANT MATERIAL SHALL BE HEALTHY STOCK, FREE FROM DISEASE AND DISFORMENT, HAVING FULL NATURAL SHAPES.
 PLANT MATERIAL SHALL BE THE SAME SIZE (OR LARGER) AS DESCRIBED IN THE PLANT LEGEND.

4. ALL PLANT MATERIAL TO BE PLANTED ACCORDING TO THE DETAILS.
 ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC.

"RED PUSH" PISTACHE
PISTACIA X "RED PUSH"

'PINKIE" INDIAN HAWTHORN
RHAPHIOLEPIS INDICA "PINKIE"

RED YUCCA
RED HESPERALDE

"REGAL MIST" PINK MUHLY GRASS
MUHLENBERGIA CAPILLARIS "LENCA"

RED CARPET ROSE
ROSA X "NOARE"

BOULDER

2'-4'
DAMETER

PLANTING LEGEND

— Z ---

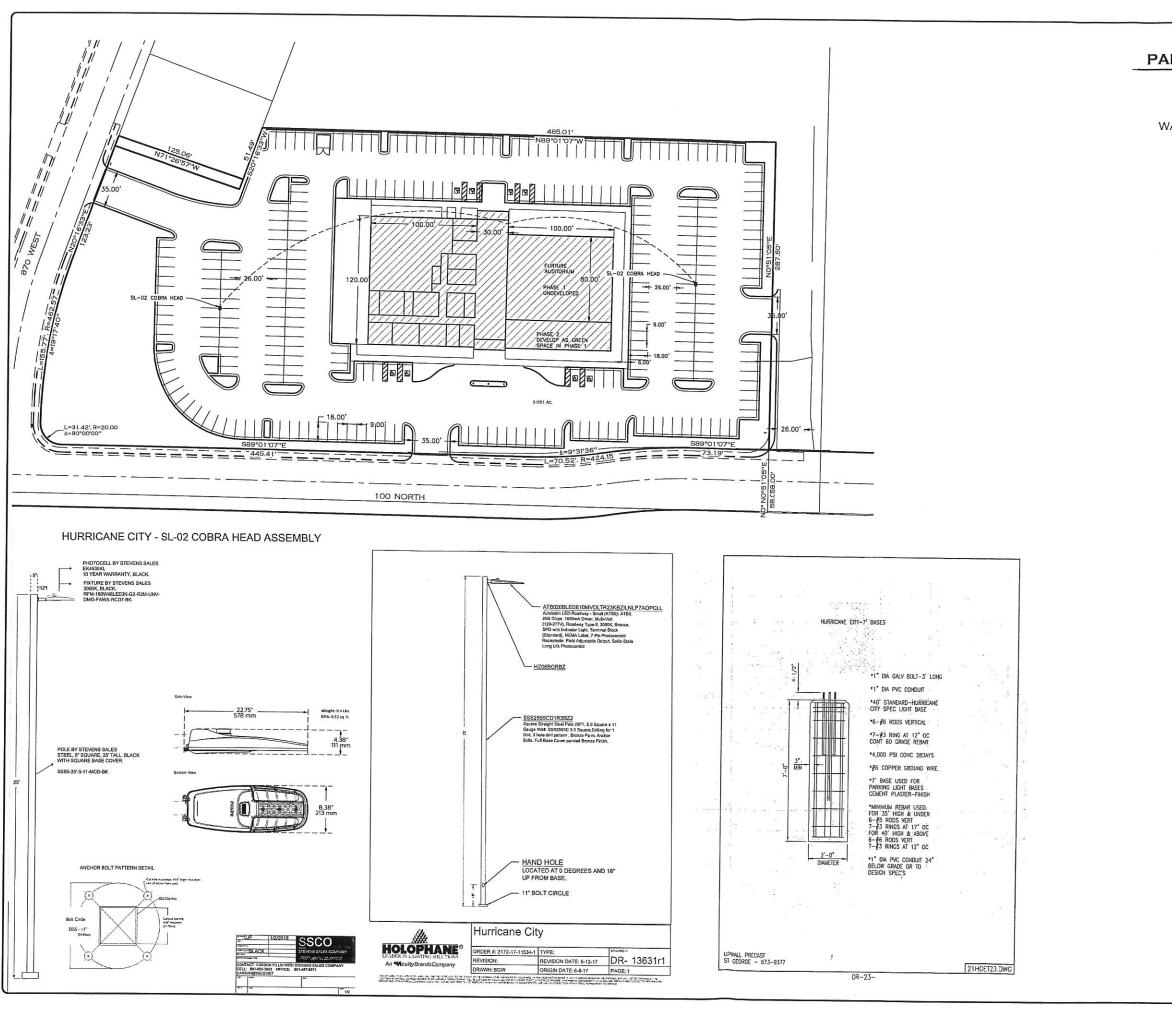
40 0 SCALE IN FEE CALVARY CHAPEL
CALVARY CHAPEL
FOR
DUSTIN WHITSON
CITY OF HURRICARE MASHINGTON COUNTY, US

O Z

FILE NAME: 1902-0411 DATE: 2/17/2020 CHECKED:

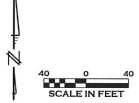
SCALE:

C8



PARKING LOT LIGHTING

DUSTIN WHITSON CALVARY CHAPEL CITY OF HURRICANE, WASHINGTON COUNTY, UTAH



RATT ENGINEERING, P.

9

PARKING LOT LIGHTING CALVARY CHAPEL FOR DUSTIN WHITSON CITY OF HURRICANE, MASHINGTON COUNTY, LITAH

> FILE NAME: 1902-0411 DATE: 2/17/2020 CHECKED:

C9

FINAL SITE PLAN APPLICATION

City of Hurricane 147 North 870 West Hurricane, UT 84737 (435) 635-2811 FAX (435) 635-2184

For Office Use Only: File No. 2020 - FSP-1 Receipt No. 7,65200	7

Name: Josh Soffe	Telephone: 801-560-4557
Address:	Fax No
Agent (If Applicable): Brian Hadley Rosenberg A	Associates Telephone: 435-673-8586
Email: josh.soffe@fjmgt.com	_Agent Email: brianh@racivil.com
Address/Location of Subject Property:	
Tax ID of Subject Property: H-3-1-33-3224	Zone District: HC
Proposed Use: (Describe, use extra sheet if necessary	ary)Mental Health Facility
 Plans shall be drawn at a scale of no sm Submit one (1) set of plans on 11 x 17 is sheets when ever a reduction is required. 	nch paper. Also submit one (1) copy of all plans on larger l. other plans shall be prepared, stamped and signed by a
1) Site plan including: A All facilities related to the project located with A b) Layout, dimensions, and names of existing and C Project name, North arrow, and tie to a section A d) The boundary lines of the project site with bea C E C C C C C C C C C	a monument; arings and distances; aildings, parking areas, and landscape areas; atures such as bicycle racks, dumpsters, trash cans, fences, ation facilities, bridges, and buildings at square footage of street rights-of-way, square footage of sing floor area, number of parking spaces, and, if any, the adevoted to each dwelling type and overall dwelling unit for development, and;

STAFF COMMENTS

Agenda:

File Number: 2020-FSP-07

Type of Application:

Final Site Plan

Applicant:

Josh Soffe

Agent:

Brian Hadley, Rosenberg Associates

Request:

Final Site Plan review Hurricane Behavioral Health

Location:

1631 W State Street

General Plan:

Single Family Residential up to 8 units per acre

Existing Zoning

HC - Highway Commercial

Discussion: This is a final site plan for a 24 bed senior behavioral health center to be constructed between the First Southern Baptist Church and the Dollar Tree Store.

1. Total Site

2.19 acres

2. Total building

16,518 sq. ft. of building

3. Total parking

45 total spaces

4. ADA compliant parking

3 spaces located at the building entrance

5. Access drives

Shared 40' driveway on west end

JUC Comments: Construction drawings have been signed.

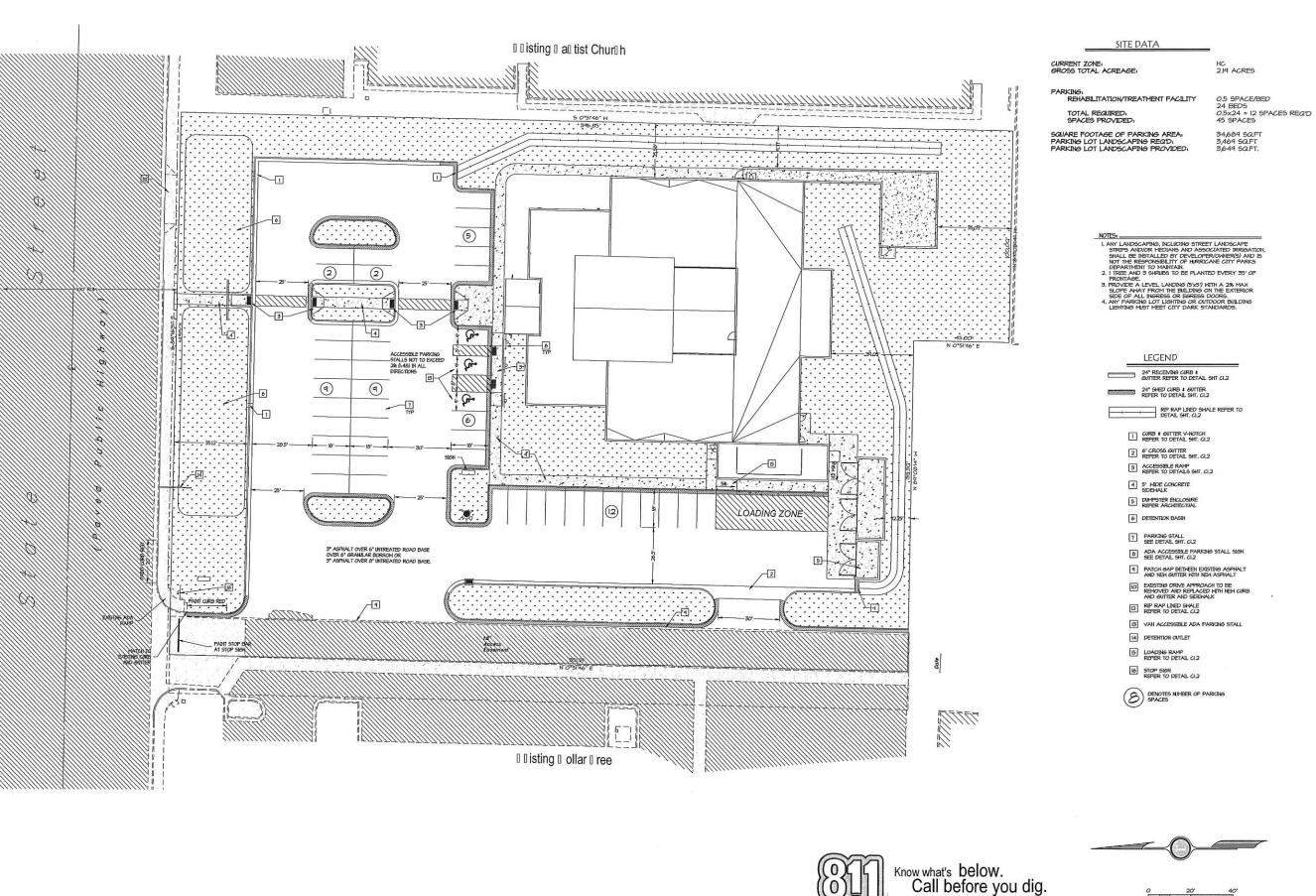
Planning Staff comments:

- 1. The building is a modern facility with multiple roof angles on the north and south elevations and basic long box profile on the east and west. Finishes are painted stucco, steel mesh screen, rock accents, and bronze metal panels.
- 2. This building is located on a site fronting State Street behind the parking lot.
- 3. Highway Commercial zoning allows both "hospital" and "rehabilitation and treatment facility" as permitted uses. This facility is not a permanent residential facility but a temporary treatment facility for patients coming from other facilities.
- 4. Pedestrian access directly from the State Street sidewalk is provided to the front door of the facility. The applicants should be commended for providing this excellent site access.
- 5. Landscaping is included interior to the parking lot in three landscape islands and a corner

planter. The detention basins, once again the prominent entrance feature that seems to show up on all commercial plans, are nicely landscaped and trees screen them from State Street and the parking lot. The landscaping includes Pistache, Southern Live Oak, Privet, and Rosewood trees as well as a wide variety of ornamental shrubs and grasses, some flowering and some evergreen, as well as rock mulch and accent boulders. All watering is via a drip system as required.

- 6. Dumpster enclosure location and construction details are provided.
- 7. The site includes a rear courtyard and perimeter walkways.
- 8. Parking meets the minimum requirement.
- 9. While a lighting plan has been submitted, it does not provide details on the fixtures or light temperatures. No building permit may be issued until lighting is approved.

Recommendation: Staff recommends approval of this final site plan subject to submittal of lighting fixture details confirming the lights meet the requirements of the code. landscape plan.



JOB NO.: 11732-19-001 CHECKED BY:

SENBERC S O C I A T E NGINEERS - LAND SURVEYO

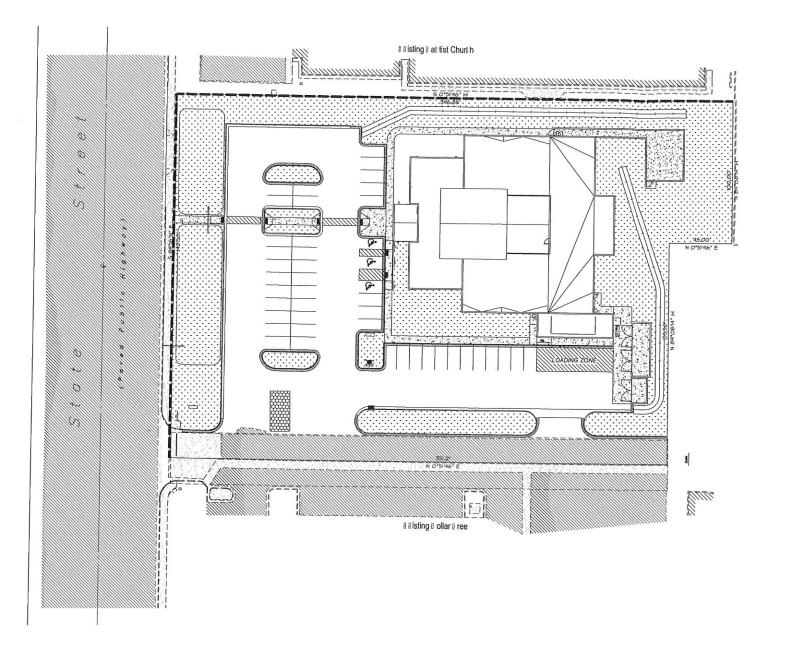


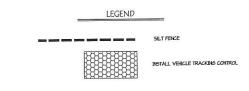


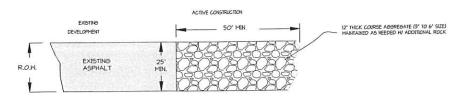
HURRICANE BEHAVIORAL HEALTH
HURRICANE CITY, UTAH

SITE PLAN

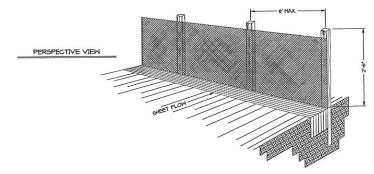
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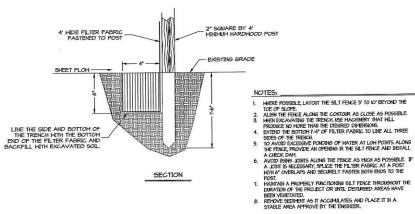






VEHICLE TRACKING CONTROL DETAIL

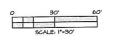




SILT FENCE DETAIL SCALE, NT.5.







JOB NO.: ||T32-|9-00| DESIGNED BY: || BOH

RAR DWG: CONSTRUCTION

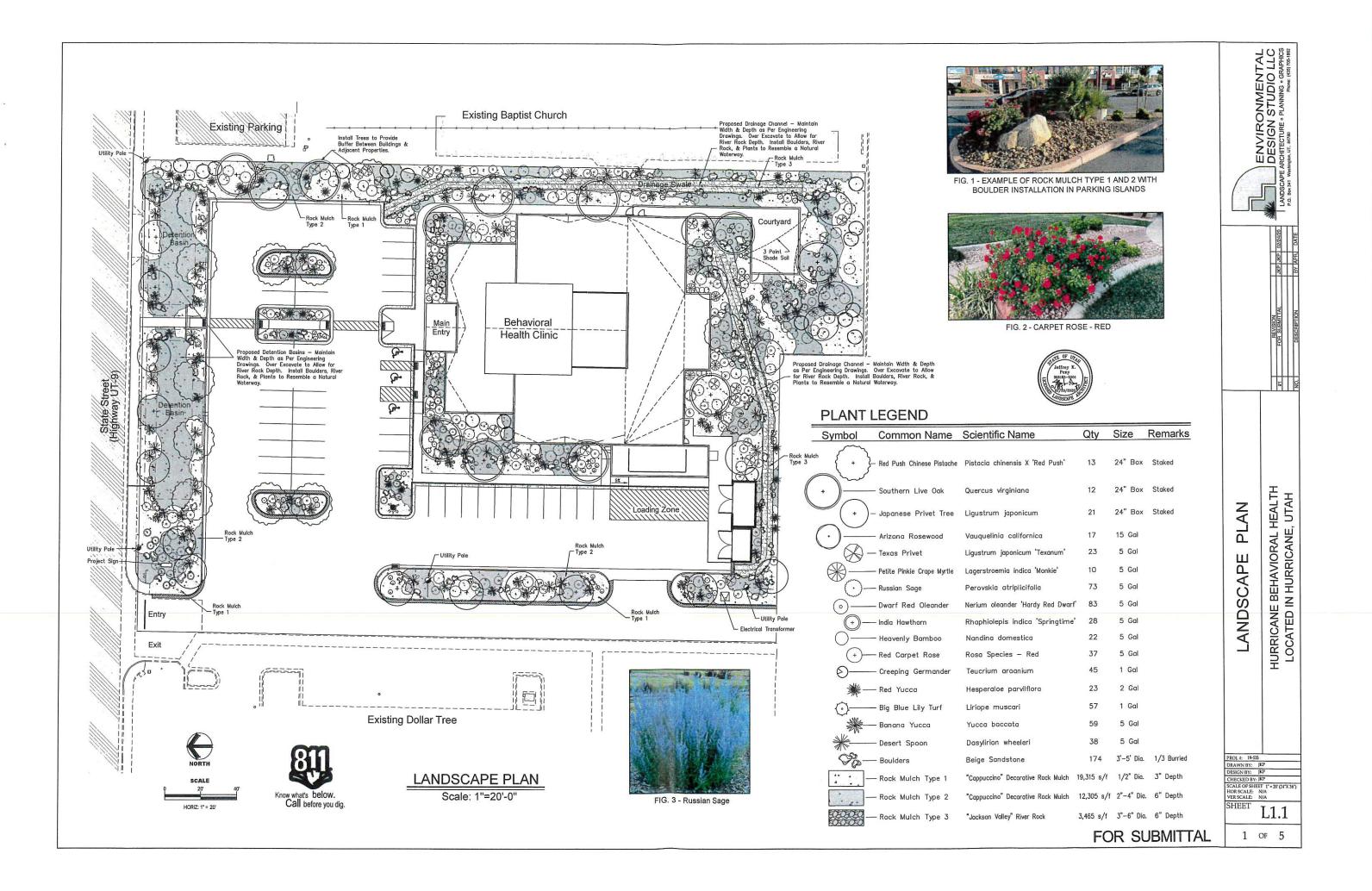
ROSENBERG

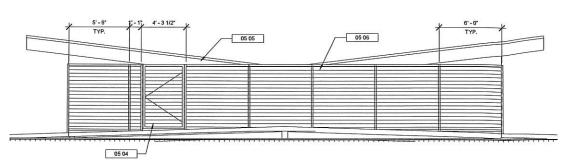
52 East Riverside Drive, Suite A-St. George, Utah 84790 Ph (435) 673-8386 Fx (435) 673-839 www.racivil.com

EROSION CONTROL PLAN
FOR
HURRICANE BEHAVIORAL HEALTH
HURRICANECTY, UTAH

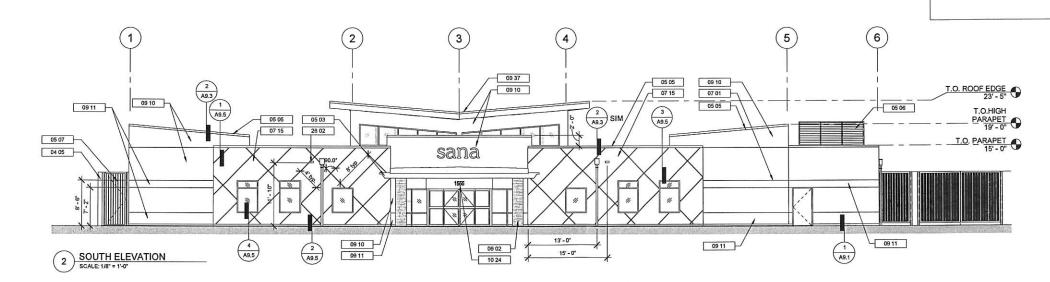
SHEET

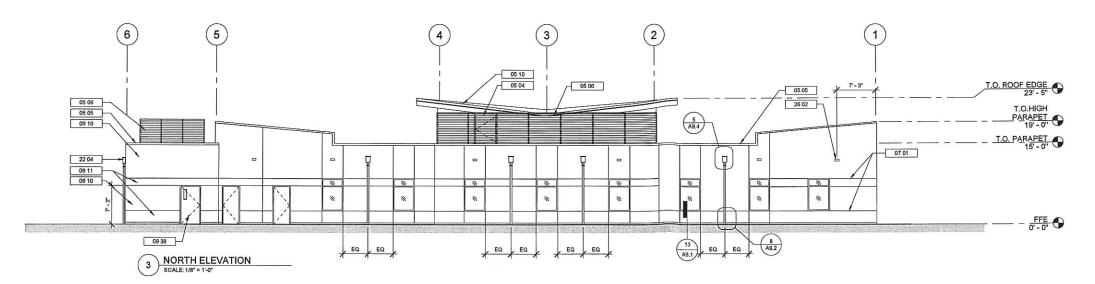
C4.0 9 OF 9 SHEETS

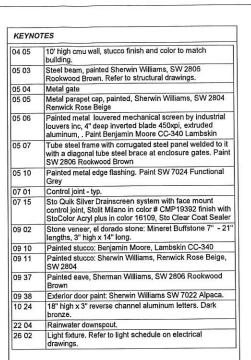




1 MECH SCREEN NORTH ELEVATION
SCALE: 1/4" = 1'-0"









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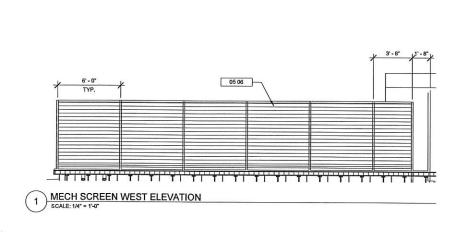
EXTERIOR

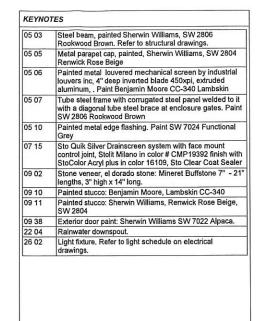
ELEVATIONS

A5.1

02/24/2020

527.05

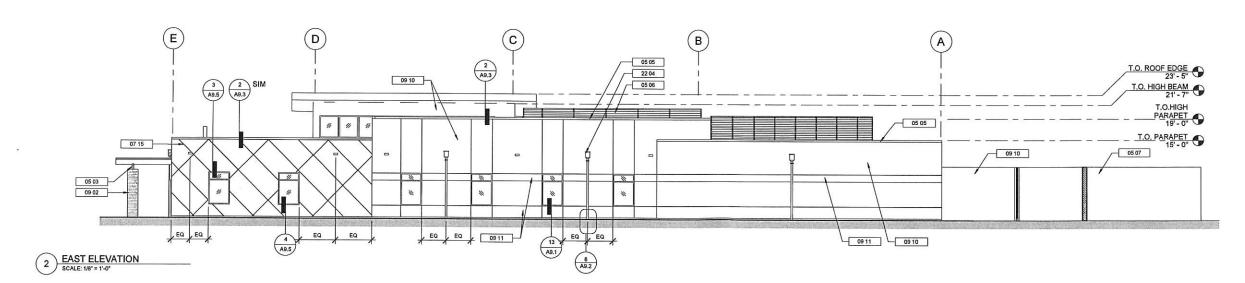


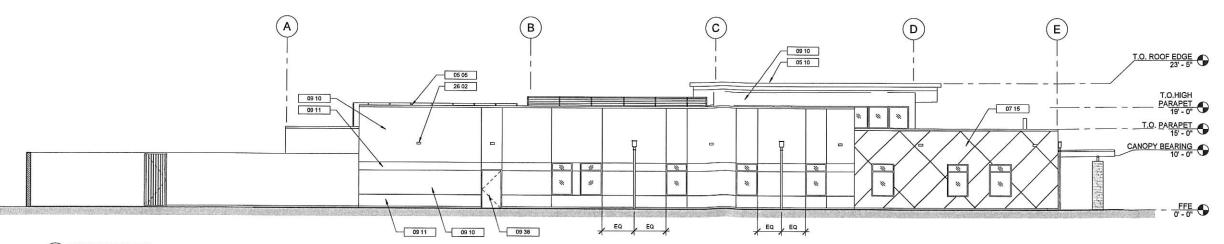




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3 WEST ELEVATION
SCALE: 1/8" = 1'-0"

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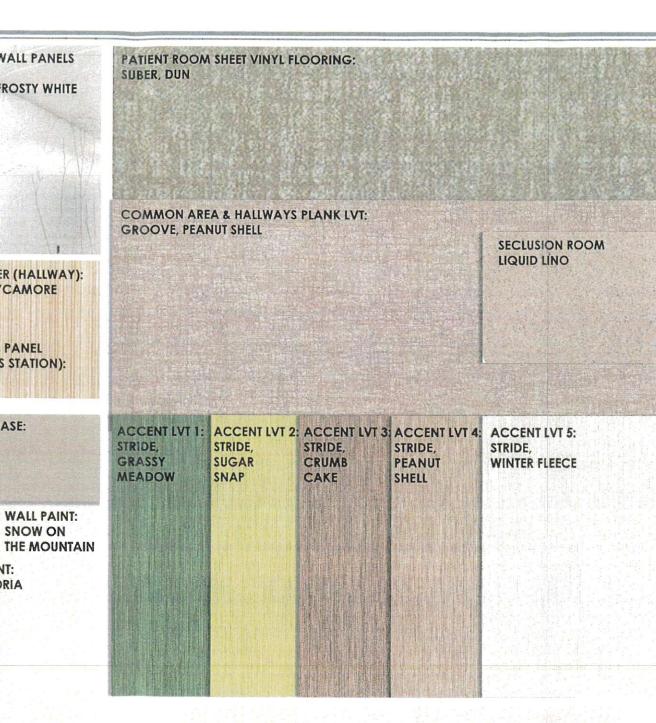
EXTERIOR ELEVATIONS



(CAFE & LOBBY):

PACIFIC ALBUS, TEAK





PATIENT RESTROOM WET WALL TILE 1: WHITE, MATTE

WALL PAINT: SNOW ON

> PATIENT RESTROOM WET WALL TILE 2: LINEN, MATTE

RESTROOM FLOOR TILES: RESORTS, BEIGE MATTE

> PATIENT RESTROOM WET WALL BORDER TILE: SEPULVEDA, CREMA MARFIL

RESTROOM WET WALL TILES: RESORTS, BEIGE MURETTO



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Services 1555 WEST STATE STREET, HURRICANE, UT 84737 **Psychiatry** Geriatric

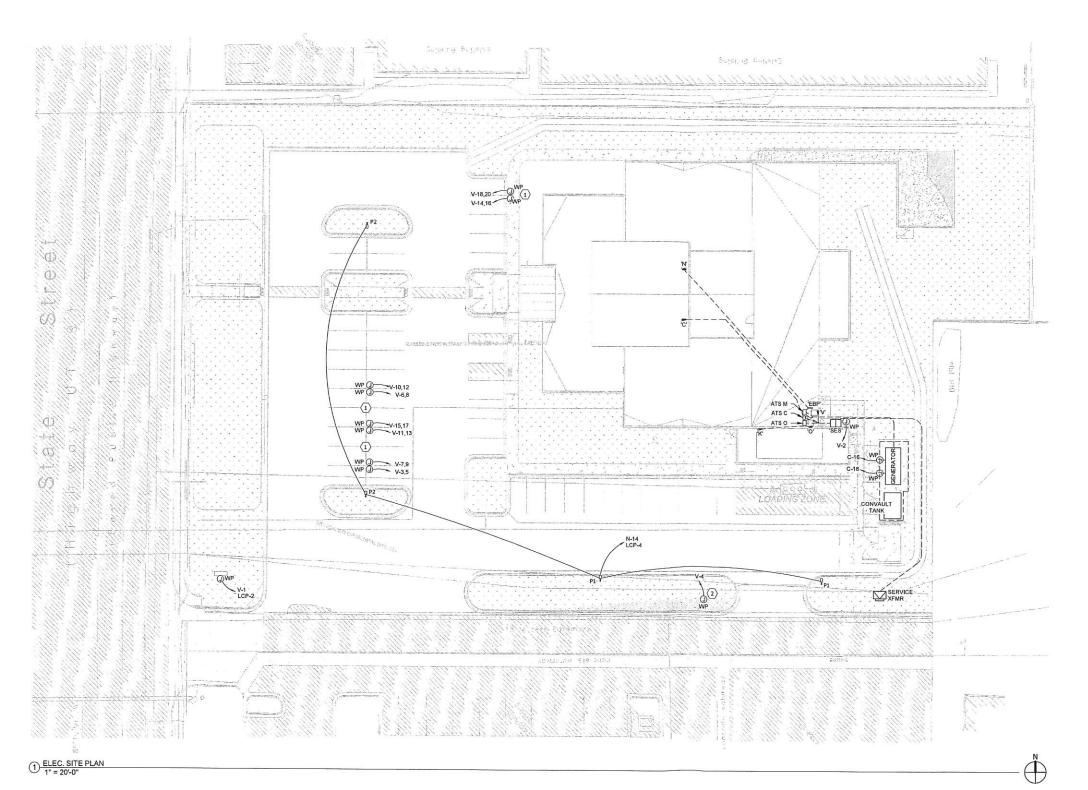
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02/24/2020 527.05

MATERIAL **SWATCHES**



KEYED NOTES

- PROVIDE ROUGH-IN FOR FUTURE VEHICLE CHARGING STATIONS.
 PROVIDE POWER FOR PLUMBING BACKFLOW PREVENTER HEAT TRACE. VERIEY EXACT LOCATION AND REQUIREMENTS WITH PLUMBING AND CIVIL DRAWINGS.

GENERAL NOTES

- CONNECT ALL EMERGENCY AND EXIT LIGHT FIXTURES TO THE UNSWITCHED SIDE OF THE LIGHTING BRANCH CIRCUIT. LIGHT FIXTURES WITH EMERGENCY DRIVERS SHALL BE NORMALLY SWITCHED WITH THE AREA LIGHTING, BUT HAVE THEIR EMERGENCY DRIVERS CONNECTED A HEAD OF THE LIGHT SWITCH OR LIGHTING CONTROL PANEL RELAY, FIXTURES WILL REMAIN ON FOR NOT LESS THAN 90 MINITURES IN CASE OF POWER LOSS.
 IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT CONDUIT IS TO BE INSTALLED WITHIN WALLS AND ABOVE CEILINGS CONDEALED WHERE POSSIBLE. COORDINATE MOUNTING HEIGHTS OF ALL PENDANT AND WALL MOUNTED LIGHT FIXTURES WITH ARCHITECTURAL ELEVATIONS.

LIGHTING CONTROL SEQUENCE OF **OPERATION**

LIGHTING AND CONTROLS ARE DESIGNED TO MEET IECC 2018.
EXTERIOR LIGHTING SHALL BE PROGRAMMED TO COME ON AT DUSK AND TURN OFF AT DAWN. LIGHTING CONTROL PANEL CAN BE PROGRAMMED TO SCHEDULE THESE FIXTURES ON / OFF DURING NON-BUSINESS HOURS.



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Geriatric Psychiatry Services 1555 WEST STATE STREET, HURRICANE, UT84737

ISSUE DATE: 02/24/2020 PERMIT SUBMITTAL

REVISION/RELEASE DATE

LRD JOB NO: CLIENT NUMBER: 527.05



ELEC. SITE PLAN

E002