



Public Works
Planning & Development Services Division
<http://www.utah.gov/pmn/index.html>

Millcreek Township Planning Commission Public Meeting Agenda

Wednesday, May 15, 2013

4:00 P.M.

THE MEETING WILL BE HELD AT SALT LAKE COUNTY GOVERNMENT CENTER
2001 SOUTH STATE STREET, NORTH BUILDING, MAIN FLOOR, COUNCIL CHAMBERS, ROOM
N1100

ANY QUESTIONS, CALL (385) 468-6700

REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 468-2120 OR 468-2351: TDD 468-3600.

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

PUBLIC HEARINGS

Zone Changes

28338 *This item is continued from the April 10th Meeting.* Jason & Rachel Witzel are requesting approval of a Zone Change from the R-1-6 zone (Residential Single-family, 6,000 square feet minimum lot size) to the R-4-8.5 zone (Residential Four-family, 8,500 square feet minimum lot size). This request is being made in order for the applicant to add an additional basement apartment to an existing duplex. **Location:** 729 East 2910 South. **Community Council:** Millcreek **Planner:** Spencer G. Sanders

Conditional Uses

28327 Robert C. Miller is requesting Conditional Use approval for a concrete recycling operation, including the use of a rock crusher, in an M-2 zone. This request was originally approved in 1998 for 5 years as an interim use, and was later renewed (in 2003) for another 5 years. The applicant is now asking for approval to continue operation. **Location:** 4186 South Main Street. **Zone:** M-2. **Community Council:** Millcreek. **Planner:** Curtis Woodward

28344 Jennifer Pulley is requesting a Conditional Use approval for a Home Daycare/preschool with 7-12 children. **Location:** 3626 South 2445 East. **Zone:** R-1-10 (Single-Family Residential,

10,000 square feet minimum lot size). **Community Council:** East Millcreek. **Planner:** Jim Nakamura

28351 Adam Maher is requesting Conditional Use and Preliminary Plat approval for *Millcreek 9*, a 24-unit condominium development. **Location:** 3207, 3211 & 3225 South 900 East and 3212 South 945 East. **Zone:** R-M. **Community Council:** Millcreek. **Planner:** Spencer G. Sanders

Subdivision

28357 Ty Vranes is requesting Preliminary Plat approval for The Bungalows on 1100 East, a three-lot subdivision. **Location:** 3589 & 3605 South 1100 East. **Zone:** R-1-8 **Community Council:** Not Subject to Community Council Review. **Planner:** Spencer G. Sanders

PUD Subdivision - *Please note that the following item 28368 has been Postponed******

At the request of the applicant, the Millcreek Township Planning Commission's consideration of application **28368 has been postponed from this meeting to June 12, 2012, at 4:00 pm** in the County Council Chambers, 2001 S. State Street, Room N1100, north building, main floor. **There will be no discussion or action taken on this application by the Commission at this May 15th meeting.** Interested parties should plan to attend the June 12th meeting where the application will be considered.

It is also recommended that residents attend the East Millcreek Community Council's regularly scheduled meeting on June 6, 2013, at 6:30 pm, at the Millcreek Community Center, 2266 East Evergreen Avenue. The application will be discussed further with the Community Council on June 6th, prior to the Community Council rendering recommendations to the Planning Commission regarding the matter.

28368 Steve Davies is requesting Conditional Use and Preliminary Plat approval for Creekside at Honeycutt PUD, an 8-lot, single-family PUD Subdivision. **Location:** 3548 South Honeycutt Road (1850-1860 East). **Zone:** R-1-10. **Community Council:** East Mill Creek. **Planner:** Spencer G. Sanders

BUSINESS MEETING

The Business Meeting will begin immediately following the Public Hearings.

Previous Meeting Minutes Review and Approval

- 1) February 13, 2013
- 2) April 10, 2013

Other Business Items (as needed)

- 3) **Curb, Gutter, and Sidewalk Project** – Potential General Plan & Ordinance Amendments
An approximate 15 minute discussion amongst the Planning Commission Members and Staff pertaining to the Commission's vision for final outcomes, products, and/or results of the project. –
Planners: Spencer G. Sanders

ADJOURN

Rules of Conduct for the Planning Commission Meeting

- First: Applications will be introduced by a Staff Member.
- Second: The applicant will be allowed up to 15 minutes to make their presentation.
- Third: The Community Council representative can present their comments.
- Fourth: Persons in favor of, or not opposed to, the application will be invited to speak.
- Fifth: Persons opposed to the application will be invited to speak.
- Sixth: The applicant will be allowed 5 minutes to provide concluding statements.

- Speakers will be called to the podium by the Chairman.
- Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
- All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
- For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 2 minutes per person, or 5 minutes for a group spokesperson.
- After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission *CONTINUED FROM 4/10/2013*								
Meeting Date and Time:	Wednesday, May 15, 2013	04:00 PM	File No:	2	8	3	3	8	
Applicant Name:	Jason and Rachel Witzel	Request:	Zone Change						
Description:	R-1-6 to R-4-6.5 to install a basement apartment in an existing duplex								
Location:	729 E. 2910 S.								
Zone:	R-1-8 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Approval								
Staff Recommendation:	Approval								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

This application was heard by the Millcreek Township Planning Commission at the May 10, 2013 meeting. At that time there were only four (4) Planning Commission members present. A motion was made to deny the application, but the motion failed on a 2 to 2 vote. (a minimum of 4 votes are needed to pass any motion with a quorum of just 4). A motion was then passed to continue the application to the May 15th meeting in order to have more Commission Members present, so an action based on a simple majority vote could be taken. This motion passed unanimously and the application was continued.

1.1.1 Proposal

Jason & Rachel Witzel are requesting approval of a Zone Change of the subject property from the R-1-6 zone (Residential Single-family, 6,000 square feet minimum lot size) to the R-4-8.5 zone (Residential Four-family, 8,500 square feet minimum lot size). The subject property is approximately 0.29 acres, or approximately 12,600 square feet. This request is being made in order for the applicant to add a basement apartment to an existing duplex.

1.1.2 Existing Conditions

Surrounding Zoning and Land Uses - The properties around the subject property are all zoned R-1-6 with existing homes. According to County Assessors Tax Records the homes are all single-family residences.

Land Areas and Dimensions - The subject property is approximately 0.29 acres/12,633 square feet. The main portion of the subject property is 88 feet wide x 114 to 135 feet deep with a private lane out to the public street.

Site Improvements - The subject property is fully developed and landscaped. The site complies with all existing improvement requirements.

Parking - Currently the site has 11 paved parking spaces: 4 in the attached 2-car garages; 4 in front of the garages; 1 (of 2 spaces) north of the neighbors detached garage, on the east side of the property; and 2 spaces on the west side of the property. This is more than double the currently required number of spaces.

1.1.3 Property History

Previous Zoning - Prior to the current R-1-6 zone, the subject property was zoned R-2-6.5 and part of a larger lot associated with the yellow home on the front (southeast) lot. It was down zoned in the late 1990's along with the surrounding neighborhood to it's current R-1-6 zone today. This down zone was part of several area wide down zones, changing many neighborhoods including this one from R-2 to R-1 zones. The down zones were a result of concerns raised by the citizens of Millcreek that their neighborhoods, that had predominantly developed as single family homes in-spite of the R-2 zone designation, were suddenly experiencing an unwelcome rise in low-quality two-family rental unit development in their neighborhoods. In response to these concerns and based on the County's previous general plan for the area, many neighborhoods like this one were down zoned.

Subdivision - In 1996, while the property and neighborhood were still zoned R-2-6.5, the subject property was created by Non-regular subdivision (A non-recorded subdivision process that the County no longer uses). It was separated off from the original home on the front with the intent to construct a duplex on the subject property.

Permitted Use/Deep Lot Review - An application for Permitted Use/Deep Lot Review for the duplex was applied for in 1996 by the previous owner and approved by County Staff in 1997.

Initial Construction - A building permit was issued in in 1998 when construction began. The building was completed and the permit closed in 2000.

Current Legal Non-conforming Status - Since the subject property was already in the process for subdivision and approval of a duplex under the R-2-6.5 zone, it was not subject to compliance with the new R-1-6 zone which does not permit two-family dwellings. Therefore, the existing duplex is a legal non-conforming use/non-complying structure.

Recent Construction - A permit was issued in 2012 for the separate basement entrance below the existing west unit, on west side of the building, but not for basement finish. The basement is still unfinished at this time.

1.2 Neighborhood Response

As of the date of this report, staff had not received any comments from the surrounding property owners or residents.

1.3 Community Council Response

The Millcreek Community Council held a meeting on April 2, 2013 to discuss this matter. There were no members from the public present. Staff and the applicant were present. The Community Council voted unanimously to approve the proposed zone change from R-2-6.5 to RM.

2.0 ANALYSIS

2.1 General Plan

2.1.2 Millcreek Township General Plan - Map

Map Designations - The subject property is identified on the General Plan Map, adopted in 2009, as a "Blue" or "Stable" area. This is an area that would expect to experience very little change over time. However, the subject property is within a short walking distance of 700 East, a designated Corridor. Approximately 360 feet from the front of the building to 700 East. Designated corridors in a "Stable"

areas are where some additional residential density or non-residential uses are anticipated to occur over time on a limited basis. Stable does not equate no change over time, but limited change, in small sites and along corridors.

2.1.3 Millcreek Township General Plan - Best Practices - The General Plan includes Best Practices for different topics, several of which are applicable to this zone change request. These include Housing, Land Use & Mobility, and Corridors.

Housing - The Housing Best Practice recommends diverse housing choices within a community including type, size, affordability, ownership and rental. Diversity helps to serve citizens at all economic levels and life stages, providing a wide variety of housing options.

Land Use & Mobility - The Land Use & Mobility Best Practice encourages increased density near economic centers and along corridors where transit is available and other services are accessible. This Best Practice also encourages a diversity of housing types within a neighborhood.

Corridors - The Corridors Best Practice supports some increased residential density along corridors in "Stable" areas. This is where opportunities for improved transit, buffering, and in-fill development are anticipated to occur. Walking distance to these corridors are still considered areas that can be considered for increased density and intensity.

2.1.2 Considerations

What is Known

The subject property is located on the interior of the the block on flag lot.

The subject property is not right on the designated Corridor; however, it is within short walking distance.

The subject property currently has an existing 2-family dwelling that has been there for more than 10 years. The impacts of the existing use should be fairly well known. They appear to be minimal, there have been no complaints register with Planning and Development Services on the property since the project was built.

The site would not need to be modified to accommodate one or even two additional residential units within the existing building. There is sufficient parking and turn around space and lot area.

The applicant has indicated they are only interested on one additional unit in the basement below the west side unit. They indicate that the east side unit is fully finished including the basement as is leased to one tenant.

Three and four-family dwellings are Conditional Uses in the R-4-8.5 zone. Any additional dwelling units would have to be approved by the Planning Commission through a Conditional use process. This gives Planning Commission over-site and the potential to mitigate possible impacts form the additional density.

There are non-residential uses listed in the R-4-8.5 zone, some of which may not be best suited for the site. Not all of the uses are likely to occur due to various factors: the sites specific situation, its size, its location, and the existing fairly new existing duplex on the site. These uses are listed as Conditional Uses, giving more over-site by the Planning Commission and the ability to consider mitigation of potential impacts. However, based on current state law regarding conditional uses, they must be approved if they can meet standards in the ordinance and documentable impacts can be reasonably mitigated.

2.1.3 Conclusions

The R-4-8.5 zone can be considered consistent with the Millcreek General Plan. This is based on 700 East's Corridor designation; the subject property's short walking distance to 700 East; and the areas "Stable" designation doesn't mean "no change", but limited change over time, especially near Corridors.

In addition, the Housing; Land Use and Mobility; and Corridors Best Practices recommendations appear to support the proposed zone as being consistent with the General Plan. The potential for other non-residential uses listed in the R-4-8.5 zone raises some concern. All of these uses may not be compatible with the surrounding neighborhood; yet the likelihood of these uses at this site is questionable.

2.2 Other Issues

Allowed Uses

Aside from 2, 3, and 4-family dwellings, there are a number of uses that are allowed in the R-4-8.5 zone that are not allowed in the current R-1-6 zone. These are all Conditional Uses and are listed below. Included with some are brief, non-italicized descriptions for clarification.

- *Airport*;
- *Bed and breakfast homestay* - lot area minimum 10,000 square feet, lodging, 5 guestrooms, resident caretaker, breakfast only, may not alter residential home character.
- *Bed and breakfast inn*; - lodging, 5 to 20 guestrooms, must serve breakfast, max two stories, must appear residential.
- *Boardinghouse*; - lodging, 5 guestrooms, meals provided to 5-15 persons.
- *Dental clinic*;
- *Dwelling group*
- *Fraternity house*;
- *Medical clinic, excluding animal hospital and clinic*;
- *Mobile home park*;
- *Nursing home*; - lodging, meals and nursing care
- *Pigeons, subject to health department regulations*;
- *Short-term rental* - Resident full-time manager/owner; all units shall be rental, short-term or long-term.
- *Sorority house*;

A number of these uses are not possible such as Airport or Mobile Home Park. Other uses are more plausible, but probably not realistic. It would be difficult for many of them to meet minimum standard requirements in order to locate on the site. Still there are others that could be feasible. Nevertheless their potential should be considered when evaluating the appropriateness of the proposed zone.

3.0 STAFF RECOMMENDATION

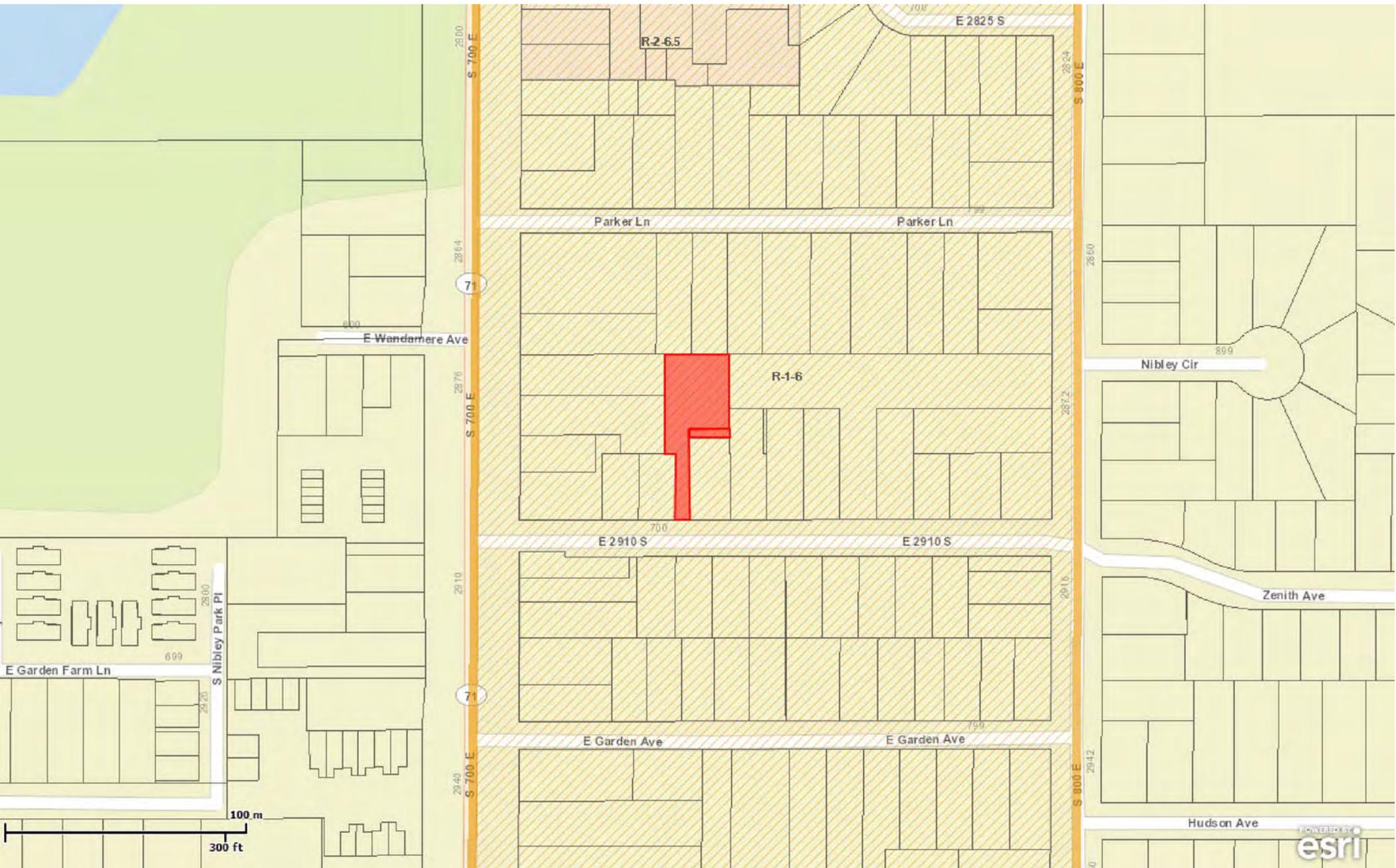
3.1 Staff recommends **APPROVAL** of the proposed **Zone Change**.

3.2 Reasons for Recommendation

- 1) The proposed zone is consistent with the General Plan based on its unique site situation and the recommendations in the General Plan.
- 2) The potential non-residential uses while possible are not likely to occur on the subject site.
- 3) The potential for one to two additional dwellings within the existing building is minimal, the site has adequate parking, and no additional modifications to the site would be necessary that might impact the neighbors more than what has already been experience over the past 10 years.

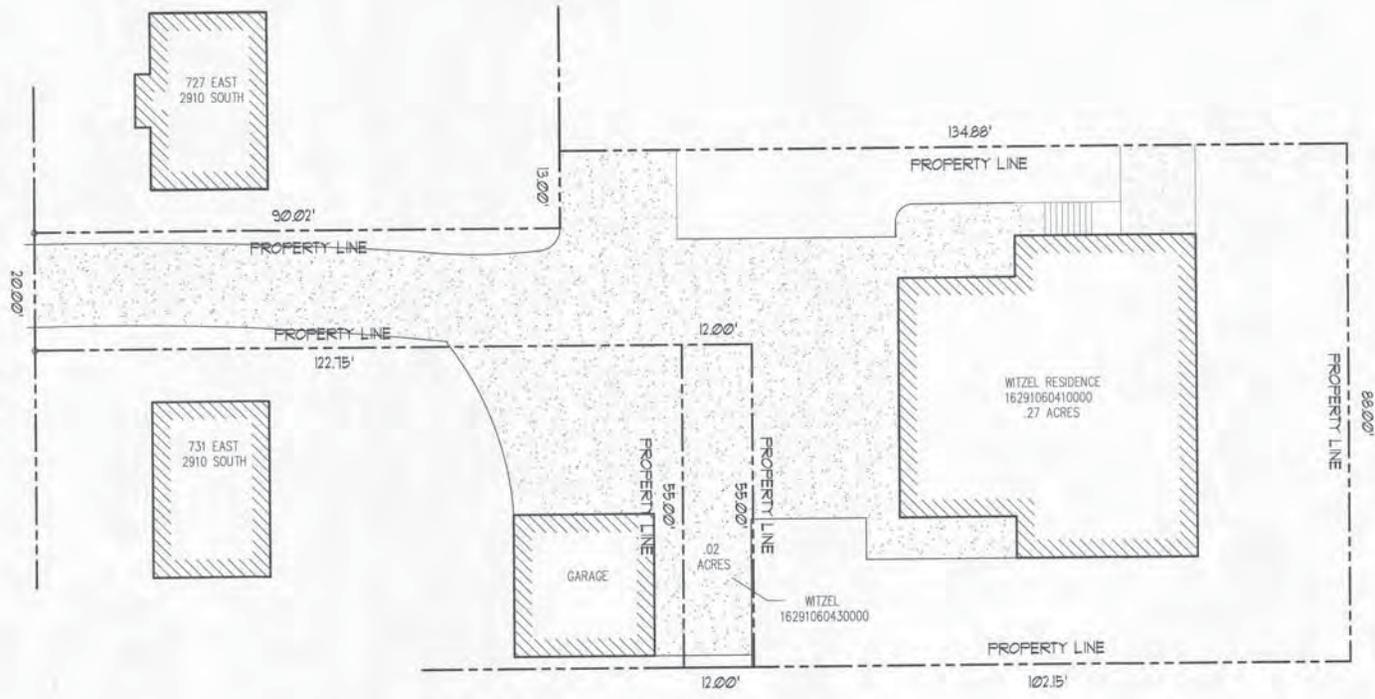
28338 Rezone R-1-6 to R-6.5

Applicant: Witzel



Thu Apr 4 2013 03:34:05 AM.

2910 SOUTH.

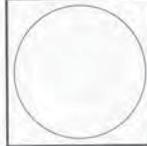


Site Plan

Scale: 1"=10'-0"



**M. Martin
Design
Associates**
6517 South 70 West
Murray, UT 84107
281-9659 897-8207



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project:
WITZEL RESIDENCE
729 EAST 2910 SOUTH
SOUTH SALT LAKE CITY, UTAH

revision:	DATE	DESCRIPTION

PROJECT NO:	
CAD. DWG. FILE:	
DRAWN BY:	
CHK'D BY:	

SITE PLAN
C1.0
SHEET OF











STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, May 15, 2013	04:00 PM	File No:	2	8	3	2	7	
Applicant Name:	Robert Miller	Request:	Conditional Use						
Description:	Concrete crushing and recycling								
Location:	4186 S. Main Street								
Zone:	M-2 Heavy Industrial	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Approval with Conditions								
Staff Recommendation:	Denial								
Planner:	Curtis Woodward								

1.0 BACKGROUND

1.1 Summary

This application is for a cement crushing/recycling operation at 4186 S. Main Street. The bulk of the site is in an M-2 zone, in which uses such as “Rock Crusher” and “Gravel Pit” are listed as conditional uses. The operation was approved in 1998 for a five year period by the Planning Commission. In 2003, the applicant applied for approval of another 5 years. The planning commission's approval for 5 more years of operation was finalized by planning and development services staff in 2005. Last year, the applicant was notified that their conditional use approval had run the length of its term, and he needed to apply for another approval or find another location. Because the relocation of this type of business takes time and considerable effort, the Planning and Development Services team referred the applicant to the Community and Economic Development division to see what assistance may be available should he elect to move rather than re-apply. Having explored various options, including finding a new location and putting his property on the market, the applicant has determined that for now the economically prudent course of action is to seek approval to operate for an additional period of time until he can relocate.

1.3 Neighborhood Response

As of the date of this report, no neighborhood response has been received addressing this application. However, it was as a result of neighborhood concerns voiced to the County that eventually brought about this application. As neighbor response is received in the days leading up to the planning commission meeting, staff will update the staff report and packets as needed.

1.4 Community Council Response

The Millcreek Community Council voted to recommend that the application be approved for a period of two years; after which the applicant must stop processing materials and move the operation to another site.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	<p><u>Standard `A':</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i></p> <p>Discussion: 19.68.030 requires certain uses to be 300 feet from zone boundary. Among those uses listed are the "Manufacturing, processing, refining, treatment, distillation, storage or compounding of the following: ... asphalt,...potash..." There is a zone boundary on the south property line of this parcel, where Murray City's zoning is "T-O-D" for transit oriented development. This application involves the processing of various types of materials, but mainly asphalt and concrete. Also listed as a conditional use in the M-2 zone is "rock crusher" with no minimum setback listed. Since the property varies in width from 360' to 470', enforcement of a 300 foot setback from the south property line would restrict the use to a very small portion of the lot. Two questions for the planning commission are: first, does this setback restriction apply to a crushing and recycling operation? Second, if so, does the continuous use of this site for concrete and asphalt recycling since at least 1998 give the applicant nonconforming status as to this setback?</p> <p>Summary: Because the prior approval has run it's course (having ended in 2020), staff believes it is not in the spirit or intent of the ordinance to now approve this use within 300 feet of the T-O-D zone boundary to the south.</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `B':</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i></p> <p>Discussion: As stated in the report (below) there are storm water pollution prevention measures as well as air quality measures that must be taken in order to gain final approval. The Salt Lake County Storm Water Inspection supervisor and the State Division of Air Quality will enforce their respective codes in this regard. At any point in time during the operation of the business, if they operate out of compliance with the regulations, enforcement measures will be taken (including the possibility of revoking the conditional use approval).</p> <p>Summary: Having notified the regulatory authorities of the application,</p>
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<p><u>Standard `C':</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i></p> <p>Discussion: While the use does involve commercial trucks such as dump trucks using main street to access this property, Main Street has accommodated that type of traffic for many years. There has not been a plan adopted by the County to reduce commercial vehicle traffic on Main Street, nor has there been any indication of a fundamental change in the impact this use has had public streets since the original approval was issued in 1998.</p> <p>Summary:</p>

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		<p>Discussion: Based on the nature of the operation and the input received from regulatory agencies thus far, there have not been health or safety issues that cannot be addressed through the imposition of conditions of approval and/or through the enforcement of local and federal clean air and clean water statutes. Assuming the applicants can operate the business in compliance with these regulations, they will comply with this standard.</p> <p>Summary: The recommendations of the regulatory agencies indicates this operation can be run in such a way as to comply with the applicable codes and regulations.</p>
YES <input type="checkbox"/>	NO <input checked="" type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		<p>Discussion: With the development of the Fireclay area by Murray City over the past 5 years, the impact to residents in the vicinity of this operation have come into question more and more. One of the points of emphasis in a redevelopment area is the phasing out of incompatible land uses (those uses with negative impacts on neighboring uses - particularly with residential properties). As redevelopment has occurred to the south, the natural progression would seem to indicate that approval of this type of land use is detrimental to the redevelopment effort. On the other hand, the applicant would point out that the redevelopment that is currently going in the immediate vicinity what is driving their business. It is more environmentally friendly to have such a facility so close to the development activity to provide the needed aggregate materials and process old concrete and asphalt.</p> <p>Summary: In weighing all the issues, staff feels that the detrimental impacts of the proposed land use outweigh the benefits in such close proximity to new mixed use development.</p>

2.3 Other Agency Recommendations or Requirements

The County Storm Water Inspection Supervisor recommends the following:

- 1- In accordance with section 5.88 need to maintain 50 feet from the roadway with the crusher. (5.88.030)
- 2- Need to maintain 200 feet away from Residential zones. (5.88.030)
- 3- Need to submit a reclamation plan. (5.88.150)
- 4- Need to comply with restrictions per 5.88.180.
- 5- Site is in excess of one acre and will require a full SWPPP (Storm water pollution prevention plan) prepared by a Qualified Civil Engineer to be submitted for review and comment prior to approval.
- 6- SWPPP will need to submit a plan of the BMPS and Locations of the same, including but not limited to protection of Big Cottonwood creek tracking off site.
- 7- Must obtain a UTR 300000 permit from the state of Utah, prior to final approval being granted.
- 8- Need to submit a copy of the Air quality permit.
- 9- Crusher must be a minimum of 100 feet away from the creek.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends DENIAL of the proposed Conditional Use .

3.2 Reasons for Recommendation

- 1) The initial approval in 1998 was for a 5-year "interim" use of the property. That five years has been extended once, but with redevelopment of property immediately to the south, a long-term solution needs to be implemented for the site.
- 2) The five years asked for by the applicant in 2003 has run its course, and the business continued in operation for several years without a current land use approval.

3.3 Other Recommendations

Inasmuch as the removal and clean-up of materials on the site will take time, it is recommended that if the planning commission denies the application, a time-line be established for:

1. The date by which no new material may be brought to the site,
2. The date by which the crusher and related equipment is to be removed from the site, and,
3. The date by which the processed materials must be removed from the site.



Land Use & Development Application

- FCOZ RCOZ DWSP Watershed Over Pressure Magna Main
 Natural Hazards Other _____

Zone: M-2 Community Council: MILLCREEK Planner: _____
 Parent File # 20815 Date: 2/20/2012

Property Address: 4186 SOUTH MAIN SALT LAKE Parcel #: 2101228015

Name of Project: Property Acreage: 7.05
WIND RIVER INVESTMENTS

Please describe your request:
Continue to use for Recycle ASPHALT & CONCRETE

<p><u>New Development:</u></p> <p><input checked="" type="checkbox"/> <u>Use and / or Site Plan Approval</u></p> <p><input type="checkbox"/> Subdivision # lots: _____</p> <p><input type="checkbox"/> PUD #lots: _____</p> <p><u>CONDITIONAL</u></p>	<p><u>Modify an Existing Development:</u></p> <p><input type="checkbox"/> Change Conditions of Approval</p> <p><input type="checkbox"/> Change the Site Plan</p> <p><input type="checkbox"/> Change the Use</p> <p><input type="checkbox"/> Condo Conversion</p> <p><input type="checkbox"/> Lot Consolidation</p> <p><input type="checkbox"/> Lot Line Adjustment</p> <p><input type="checkbox"/> Mobile Store</p> <p><input type="checkbox"/> Signs</p>	<p><u>Other:</u></p> <p><input type="checkbox"/> Board of Adjustment Review</p> <p><input type="checkbox"/> Exception Request</p> <p><input type="checkbox"/> Non-Conforming</p> <p><input type="checkbox"/> RCOZ Appeal (Option C)</p> <p><input type="checkbox"/> Research Request</p> <p><input type="checkbox"/> Re-zone</p> <p><input type="checkbox"/> Vacate a Street</p>
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Is a key or gate code required to access the property? Yes No If yes, code: _____ (or provide key)

Driving Directions to Property:

*note: all correspondence will be sent to the applicant's address:

Applicant(s): Robert C. Miller - (Home)
Address: 3073 S Dimple Dell Cir
City, State, Zip: Sandy Utah 84092
Phone Number(s): 801-403-8622 e-mail: BMiller@millerpaving.com

Property Owner(s): ROBERT C. Miller
Address: PO Box 571039
City, State, Zip: MURRAY, UTAH 84157
Phone Number(s): 801-403-8622 e-mail: bmiller@millerpaving.com
Tom Fox 801-403-8619 DUSTIN Miller 801-403-8639

Professional(s): Engineer Architect Other

Company: SAME
Contact: _____
Address: _____
Phone Number(s): _____ e-mail: _____

To facilitate Salt Lake County's land use notice and review process, the undersigned hereby authorize the County to reproduce this application and all documents attached to the application for staff, officials, and the interested public:

[Signature] 2-26-13
Applicants Signature Date

Office Use Only

Dead Box # _____

Fees Due:

- Application Fee..... \$ _____
- Fire Department..... \$ 75.00
- Geology Initial Site Assessment..... \$ 75.00
- Health Department\$ 50.00
- Initial Engineering Checking Fee.....\$150.00 or
\$90.00 per lot (\$180 min) for subdivisions

Cashier: _____

The screenshot displays the ArcGIS Viewer for Flex interface. At the top, the header includes the Salt Lake County logo, the text "Planning and Development Interactive GIS Map", and navigation icons. The main map area shows a street grid with various colored parcels. A red parcel is highlighted, and a red information window is open over it. In the bottom-left corner, an "Enhanced Search" window is also open, displaying the same information for the selected parcel. The map includes street names such as W 3900 S, E 3900 S, S 300 W, and S State St. A scale bar at the bottom left indicates 1000 feet. The ESRI logo is visible in the bottom right corner of the map area.

Planning and Development
Interactive GIS Map

Layer Options **Basemaps**

Information Window:
ID 10: 2101228015
ID 14: 21012280150000
Address: 4186 S MAIN ST
Acreage: 7.05000019
Owner: WINDRIVER INVESTMENTS L C
Owner Address: PO BOX 571039
[CLICK HERE FOR MORE PARCEL INFO](#)
Zoom to

Enhanced Search
Parcels Selected: 1 **Zoom** **Clear**

ID 10: 2101228015
ID 14: 21012280150000
Address: 4186 S MAIN ST
Acreage: 7.05000019
Owner: WINDRIVER INVESTMENTS L C
Owner Address: PO BOX 571039

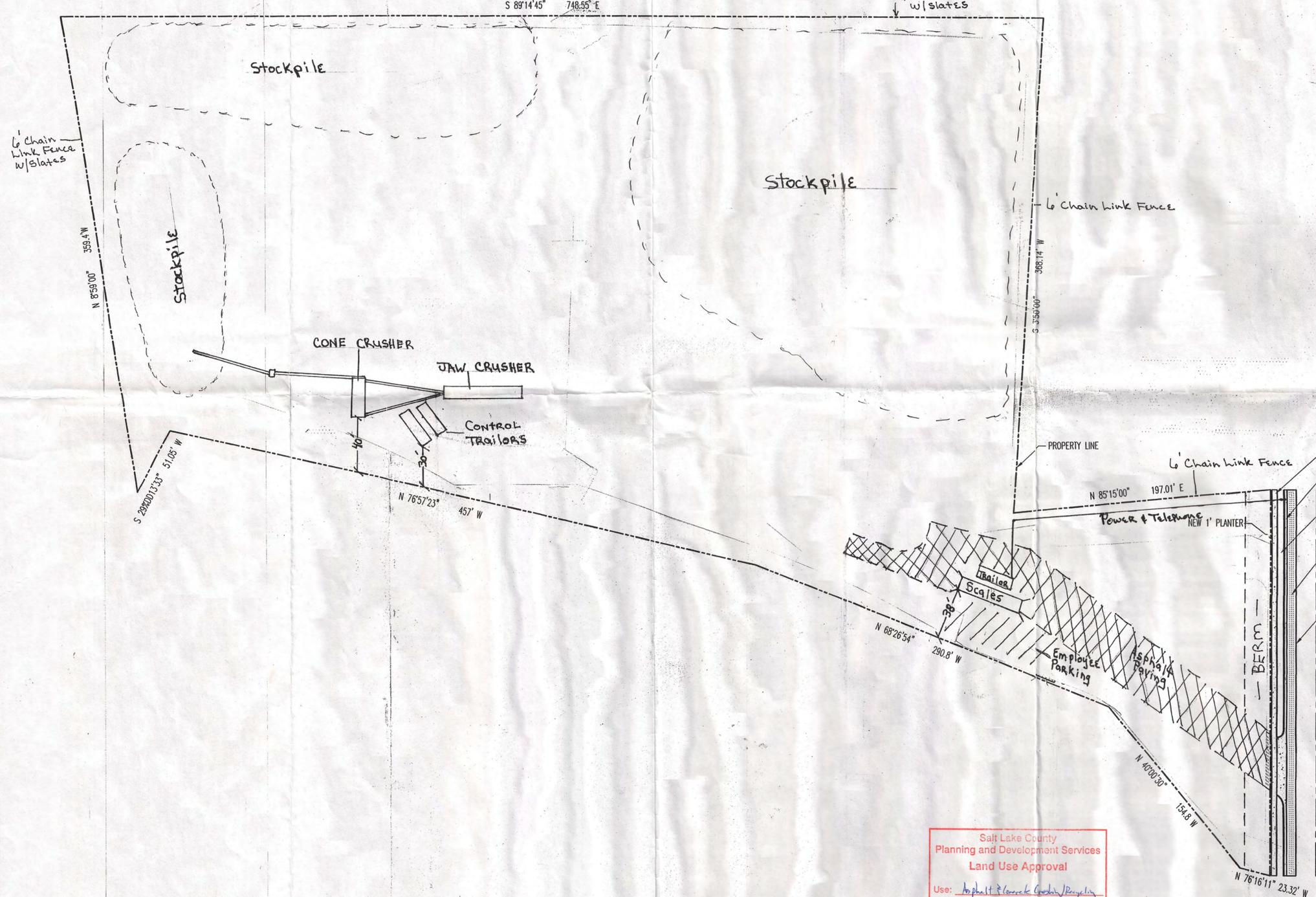
Latitude: 40.689081 Longitude: -111.883386





PROPERTY DESCRIPTION

A BEGINNING POINT WHICH IS LOCATED NORTH 87°01'34" EAST 16.16 FEET AND NORTH 76°16'11" WEST 33.93 FEET FROM EAST QUARTER CORNER SECTION 1, TOWNSHIP 2 SOUTH, RANGE 1 WEST, SALT LAKE BASE MERIDIAN AND RUNNING THENCE NORTH 76°16'11" WEST 23.32 FEET; THENCE NORTH 40°30' WEST 154.8 FEET; THENCE NORTH 68°26'54" WEST 290.8 FEET; THENCE NORTH 76°57'23" WEST 457 FEET; THENCE SOUTH 29°13'33" WEST 51.05 FEET; THENCE NORTH 8°59'00" WEST 359.4 FEET; THENCE SOUTH 89°14'45" EAST 748.55 FEET MORE OR LESS; THENCE SOUTH 0°15'54" WEST 283.64 FEET TO THE POINT OF BEGINNING. 7.05 ACRES MORE OR LESS.



- NEW 4" SIDEWALK AS PER CITY STANDARDS
- NEW CURB AND GUTTER AS PER CITY STANDARDS
- NEW 5' PLANTER
- NEW 7" ASPHALT ROAD AS PER CITY STANDARDS FIELD VERIFY
- EXISTING ROAD EDGE
- EXISTING ROAD CENTER LINE
- NEW 40" OPENING

Salt Lake County
Planning and Development Services
Land Use Approval

Use: Asphalt & Concrete Crushing/Recycling
File #: 20815
By: [Signature]
Date: 3/20/05 Zone: M-1-S-M-2

McNEIL CONSULTING ENGINEERING, L.C.
ROOFING AND ASPHALT CONSULTANTS
6895 SOUTH 900 EAST MIDVALE UTAH 84047
TEL (801) 255-7700 FAX (801) 255-8011 EMAIL www.mcneileng.com

WINDRIVER
4186 SOUTH MAIN STREET
LOCATED IN THE QUARTER CORNER SECTION 1, T.2S, R.1W, S.1R.4M

SITE PLAN

REVISIONS		DRAWING INFORMATION	
REV.	DATE	DESCRIPTION	DATE

DRAWN BY: [Signature]
CHECKED BY: [Signature]
SURVEYED BY: R.D.V.P.H.
SCALE: 1" = 40' 0"
COMP. DRNG: 978393.DWG
JOB NO: 97839.3

SHEET NUMBER
A-1









STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, May 15, 2013	04:00 PM	File No:	2	8	3	4	4	
Applicant Name:	Jennifer Pulley	Request:	Conditional Use						
Description:	Home daycare/preschool (7-12 children)								
Location:	3626 South 2445 East, Salt Lake City								
Zone:	R-1-10 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Approval								
Staff Recommendation:	Approval								
Planner:	Jim Nakamura								

1.0 BACKGROUND

1.1 Summary

The applicant Jen Pulley is seeking a conditional use for a "Home daycare/preschool"she proposes to care for up to 12 children (preschool age) during the day. All activities will be confined to the main floor inside the residence (this home is currently being remodeled), the outside side/rear yards will not be fenced in, therefore no activity is allowed outside of the residence.

1.2 Hearing Body Action

This item will be on the May 15th Millcreek Planning Commission agenda for decision.

1.3 Neighborhood Response

As of this writing, notices have not been sent out.

1.4 Community Council Response

East Millcreek Community Council has recommended conditional approval.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A'</u> : <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: The proposed site development plans shall comply with regulations of the zoning district: All parking associated with this application shall be off-street.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B'</u> : <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		The proposed site development plan will comply with all Unified fire and Salt Lake County Health Department regulations. The owner has been issued a building permit for the current remodel and will pass all applicable building inspections.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C'</u> : <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: The traffic engineer has approved this application and has no issues nor conditions
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D'</u> : <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: These issues will be dealt with during the technical review with staff and at the time of the building permit. No threats exist.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		Discussion: The impact to surrounding uses would be no different than currently exists. All Daycare activity is to be confined to inside the home.

2.2 Zoning Requirements

A home day care/preschool must meet the following standards:

- A. When allowed as a permitted use there shall be a maximum of six children without any employees not residing in the dwelling. When allowed as a conditional use there shall be a maximum of twelve children with not more than one employee at any one time not residing in the dwelling;
- B. The use shall comply with the health department noise regulations;
- C. The play yard shall not be located in the front yard and shall only be used between eight a.m. and nine p. m.;
- D. The lot shall contain one available on-site parking space not required for use of the dwelling, and an additional available on-site parking space not required for use of the dwelling for any employee not residing

in the dwelling. The location of the parking shall be approved by the development services division director to insure that the parking is functional and does not change the residential character of the lot;

E. No signs shall be allowed on the dwelling or lot except a nameplate sign;

F. The use shall comply with all local, state and federal laws and regulations. (The Life Safety Code includes additional requirements if there are more than six children);

G. Upon complaint that any of the requirements of this section or any other county ordinance are being violated by a home day care/preschool caregiver, the county shall review the complaint and if substantiated may institute a license revocation proceeding under [Section 5.14.020](#); and

H. The caregiver shall notify in writing, on a form provided by the development services division, all property owners within a three hundred foot radius of the caregiver's property concerning the licensing of a home day care/preschool at such property

2.3 Other Agency Recommendations or Requirements

Unified Fire

1. Obtain a business license from Salt Lake County.
2. A Building permit will be required if any remodeling work is to be done.

Health Department

1. The use shall comply with Salt Lake Valley Health Department noise regulations, Salt Lake County Ordinance Title 9.48.010.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use .

3.2 Reasons for Recommendation

- 1) The applicant shall comply with all applicable ordinances and the recommendations and requirements of the individual reviewers as part of the technical review.
- 2) The proposed plans comply with the Conditional Use criteria in Section 2.1 above.



Salt Lake County Public Works Department
Planning and Development Services Division
 2001 S. State Street #N-3600, Salt Lake City, UT 84190-4050
 Phone: 801-468-2000 FAX: 801-468-2169
 Visit our web site: <http://www.pwpds.slco.org>

File # 28344

Land Use & Development Application

- FCOZ RCOZ DWSP Watershed Over Pressure Magna Main
 Natural Hazards Other _____

Zone: Z-1-10 Community Council: E-millcreek Planner: _____

Parent File # _____ Date: 3/18/13

Property Address: 3626 So. 2445 East Parcel #: _____

Name of Project: Property Acreage: _____

Please describe your request:

To Do ~~any~~ in-home preschool. 7-12 kids at one time.

New Development:

- Use and / or Site Plan Approval**
 Subdivision # lots: _____
 PUD #lots: _____

Modify an Existing Development:

- Change Conditions of Approval
 Change the Site Plan
 Change the Use
 Condo Conversion
 Lot Consolidation
 Lot Line Adjustment
 Mobile Store
 Signs

Other:

- Board of Adjustment Review
 Exception Request
 Non-Conforming
 RCOZ Appeal (Option C)
 Research Request
 Re-zone
 Vacate a Street

Is a key or gate code required to access the property? Yes No If yes, code: _____ (or provide key)

Driving Directions to Property:

*note: all correspondence will be sent to the applicant's address:

Applicant(s): Jennifer Pulley
Address: 3626 So. 2445 C.
City, State, Zip: SLC, UT 84109
Phone Number(s): 801-930-9064 e-mail: jen.pulley@hotmail.com
801-870-2001 cell

Property Owner(s): Same as above
Address: _____
City, State, Zip: _____
Phone Number(s): _____ e-mail: _____

Professional(s): Engineer Architect Other
Company: _____
Contact: _____
Address: _____
Phone Number(s): _____ e-mail: _____

To facilitate Salt Lake County's land use notice and review process, the undersigned hereby authorize the County to reproduce this application and all documents attached to the application for staff, officials, and the interested public:

Jennifer Pulley 3/5/13
Applicants Signature Date

Office Use Only

Dead Box # _____

Fees Due:
 Application Fee..... \$ _____
 Fire Department..... \$ 75.00
 Geology Initial Site Assessment..... \$ 75.00
 Health Department\$ 50.00
 Initial Engineering Checking Fee.....\$150.00 or
\$90.00 per lot (\$180 min) for subdivisions
Cashier: _____



Salt Lake County Public Works Department
Planning and Development Services Division
 2001 S. State Street #N-3600, Salt Lake City, UT 84190-4050
 Phone: 801-468-2000 FAX: 801-468-2169
 Visit our web site: <http://www.pwpds.slco.org>

AFFIDAVIT – Property Owner

STATE OF UTAH }
 } ss
 COUNTY OF SALT LAKE }

I (we) Kevin Pulley & Jennifer Pulley being duly sworn, depose and say that

I (we) am (are) the owner(s) of the property(s) located at:

3626 South 2445 East

My (our) signature below attests that I (we) have reviewed the proposal by Jennifer Pulley
 requesting review and approval of an in-home preschool

and that I (we) consent to the statements and information provided in the attached plans and exhibits and that
 all information presented is true and correct to the best of my (our) knowledge.

Property Owner [Signature]

Property Owner [Signature]

Subscribed and sworn to me this 7 day of MARCH, 2013.

[Signature]



Residing in Salt Lake County, Utah

My commission expires: 3/10/2017

VTDI 16-34-254-020-0000 DIST 17 TOTAL ACRES 0.28
PULLEY, KEVIN M & TAX CLASS UPDATE REAL ESTATE
JENNIFER W; JT LEGAL BUILDINGS
PRINT TOTAL VALUE

3626 S 2445 E NO:
SALT LAKE CITY UT 84109343126 EDIT 1 FACTOR BYPASS
LOC: 3626 S 2445 E EDIT 0 BOOK 08762 PAGE 3251 DATE 03/26/2003
SUB: AIR-MONT HEIGHTS TYPE UNKN PLAT
03/08/2013 PROPERTY DESCRIPTION FOR TAXATION PURPOSES ONLY
LOT 16 AIR MONT HEIGHTS 6289-1362 7800-0376

PFKEYS: 1=RXPH 4=VTAU 6=NEXT 7=RTRN VTAS 8=RXMU 10=RXBK 11=RXPN 12=PREV



1634251047

1634251048

1634251041

1634251042

1634251021

1634251044

1634251016

1634251017

1634251018

1634251019

1634251020

1634251021

1634251043

1634251022

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1634255007

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1634255014

1634255015

1634255016

Wasatch

CUSTOM DESIGN

801.568.6520

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SQUARE FOOTAGES			SHEET INDEX			
FLOOR		SQ. FT.	SHEET	PAGE DESCRIPTION	SHEET	PAGE DESCRIPTION
BASEMENT :	(EXISTING)	1187	C-1	COVER SHEET	8	EXIST. ELEVATIONS
	(PROPOSED)	569	S-1	SITE PLAN	9	PROPOSED ELEVATIONS
MAIN :	(EXISTING)	1124	1	EXIST. BASEMENT / DEMOLITION PLANS	N-1	GENERAL NOTES
	(PROPOSED)	585	2	FOUNDATION PLAN	AD-1	ARCHITECTURAL DETAILS
	(EXISTING)	2311	3	PROPOSED BASEMENT FLOOR PLAN	SD-1	STRUCTURAL DETAILS
	(AREA)	3465	4	MAIN FLOOR FRAMING PLAN	ETC.	ALL DEFERRED INFORMATION
TOTAL :	(EXISTING)	2311	5	EXIST. MAIN / DEMOLITION PLANS		SHALL BE CITY APPROVED:
	(AREA)	3465	6	PROPOSED MAIN FLOOR PLAN		- ENGINEERING CALCULATIONS
			7	ROOF FRAMING PLAN		- TRUSS CALCULATIONS
						- GAS LINE DIAGRAM

DESIGN CRITERIA	
GOVERNING CODE:	2003 IRC
SOIL BEARING PRESSURE:	1500 PSF (PRESUMPTIVE)
WIND 3 SECOND GUST:	30 MPH
EXPOSURE:	C
IMPORTANCE FACTOR:	1.0
SEISMIC DESIGN CATEGORY:	D2
IMPORTANCE FACTOR:	1.0
ROOF LOADS	
DEAD LOAD:	15 PSF
SNOW LOAD:	30 PSF
TRUSS	
TOP CHORD DEAD:	10 PSF
BOTTOM CHORD DEAD:	5 PSF
FLOOR LOADS	
DEAD LOAD:	12 PSF
LIVE LOAD:	40 PSF
DEFLECTION CRITERIA	
FLOOR: L/360 TOTAL, L/480 LIVE	
ROOF: L/240 TOTAL, L/360 LIVE	



579 W. GALENA PARK PLACE
SUITE G 01
DRAPER, UT 84020
OFFICE : 801.568.6520
FAX : 801.568.0656

PO BOX 38
DRAPER, UT 84020

CLIENT INFORMATION

KEVIN AND JENNIFER PULLEY
3626 S. 2445 E.
SALT LAKE CITY, UTAH
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JENNIFER: 801.870.2001
HOME: 801.930.9064
JENPULLEY@HOTMAIL.COM

REVISIONS

03/13/12 ADDITION PLANS

PROJECT

PROJECT MANAGER
WESTON SPENCER
JOB NUMBER
0825-0001-11

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4D ENGINEERS providing CIVIL & STRUCTURAL engineering services

Contact
Ryan B. Alder, P.E., S.E.
Ryan@4DEngineers.com
Phone: (801) 785-0083
www.4DEngineers.com

SHEET NAME
COVER SHEET

SHEET
C-1

SITE PLAN NOTES :

A PROFESSIONAL ENGINEER, CURRENTLY LICENSED IN UTAH, SHALL INSPECT AND APPROVE ANY RETAINING WALLS THAT ARE HIGHER THAN 4 FEET ONCE CONSTRUCTED.

DUST, MUD, AND EROSION SHALL BE CONTROLLED BY CONTRACTOR, AND THE ROADWAY SHALL BE KEPT FREE OF MUD AND DEBRIS, AT ALL TIMES.

INSTALL DRIP IRRIGATION SYSTEM TO ALL SHRUBS AND TREES PER OWNER / CONTRACTOR.

ANY RETAINING WALLS OVER 3'-0" IN HEIGHT WILL REQUIRE A SEPARATE REVIEW AND PERMIT.

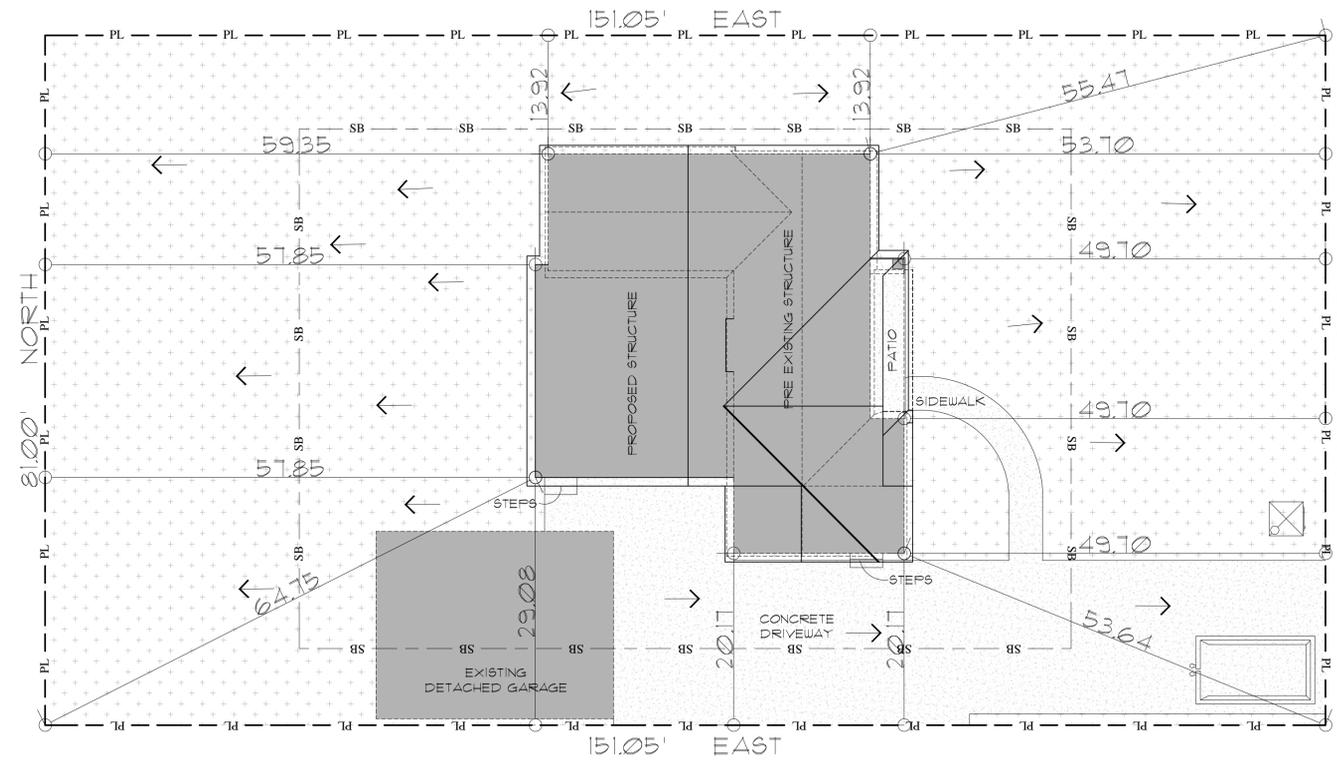
RETAINING WALLS EXCEEDING 3'-0" SHALL BE ENGINEERED AND SUBMITTED TO THE CITY FOR REVIEW.

ALL SURFACE WATER SHALL DRAIN AWAY FROM THE HOUSE AT ALL POINTS. DIRECT THE DRAINAGE WATER TO THE STREET OR TO AN APPROVED DRAINAGE COURSE BUT NOT ONTO NEIGHBORING PROPERTIES. THE GRADE SHALL FALL A MIN. OF 6" WITH THE FIRST 10'-0".

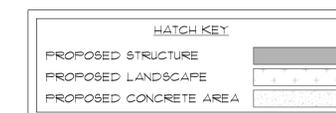
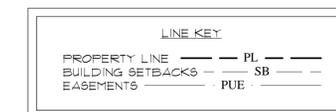
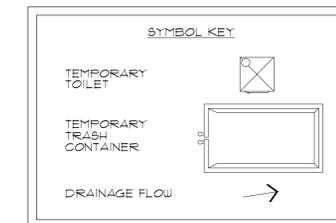
BUILDER/OWNER SHALL SECURE AN EXCAVATION PERMIT FROM LOCAL CITY PUBLIC WORKS DEPARTMENT PRIOR TO DOING ANY WORK IN THE CITY RIGHT-OF-WAY. (TRAFFIC PLAN, BONDING & INSURANCE WILL BE REQUIRED).

BUILDER / OWNER TO REPLACE ANY EXISTING SIDEWALK OR CURB & GUTTER ALONG THE FRONTAGE OF THIS PROJECT, THAT IS FOUND TO BE DEFECTIVE, AS DIRECTED BY THE LOCAL CITY INSPECTOR.

ALL PUBLIC IMPROVEMENTS WITHIN THE CITY'S JURISDICTION SHALL BE CONSTRUCTED ACCORDING TO THE LOCAL CITY STANDARD SPECIFICATIONS AND DETAILS FOR MUNICIPAL CONSTRUCTION (LATEST EDITION). A COPY MAY BE OBTAINED AT LOCAL CITY PUBLIC WORKS.



3626 S. 2445 E.



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CLIENT INFORMATION

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HOME: 801.950.9064
JENPULLEY@HOTMAIL.COM

REVISIONS

03/13/12	ADDITION PLANS
----------	----------------

PROJECT

PROJECT MANAGER
WESTON SPENCER

JOB NUMBER
0825-0001-11

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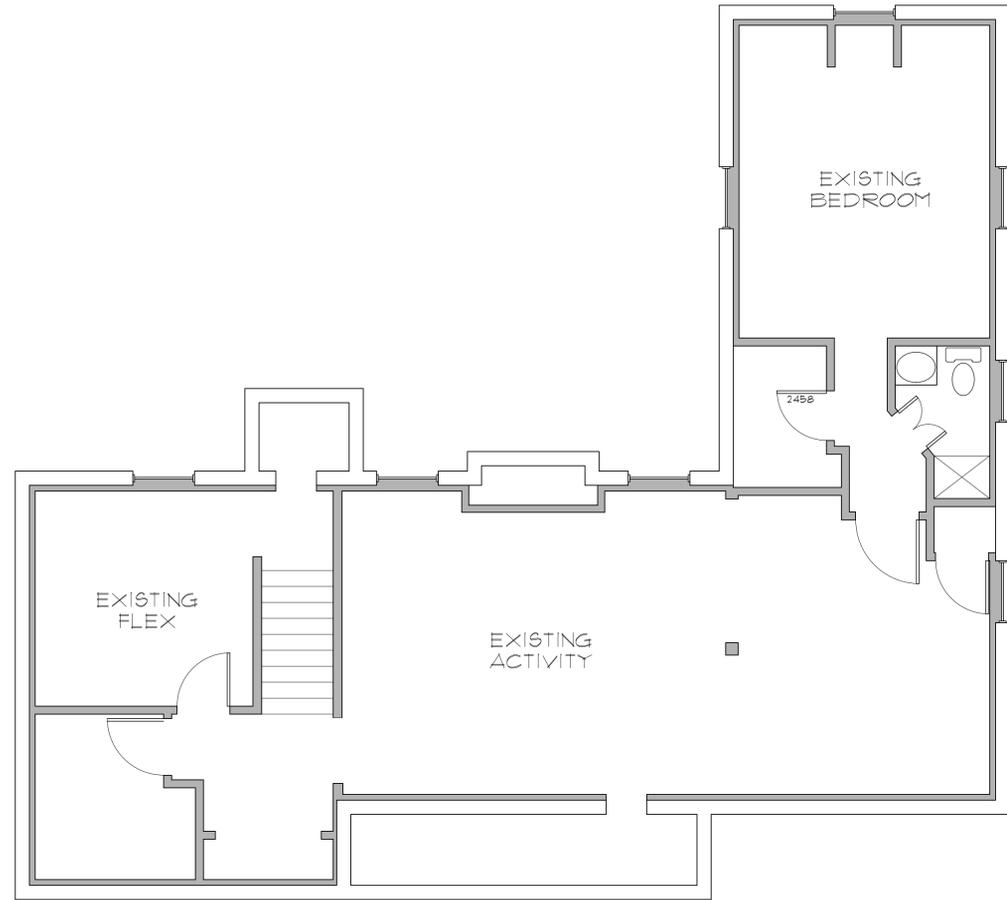
SHEET

S-1

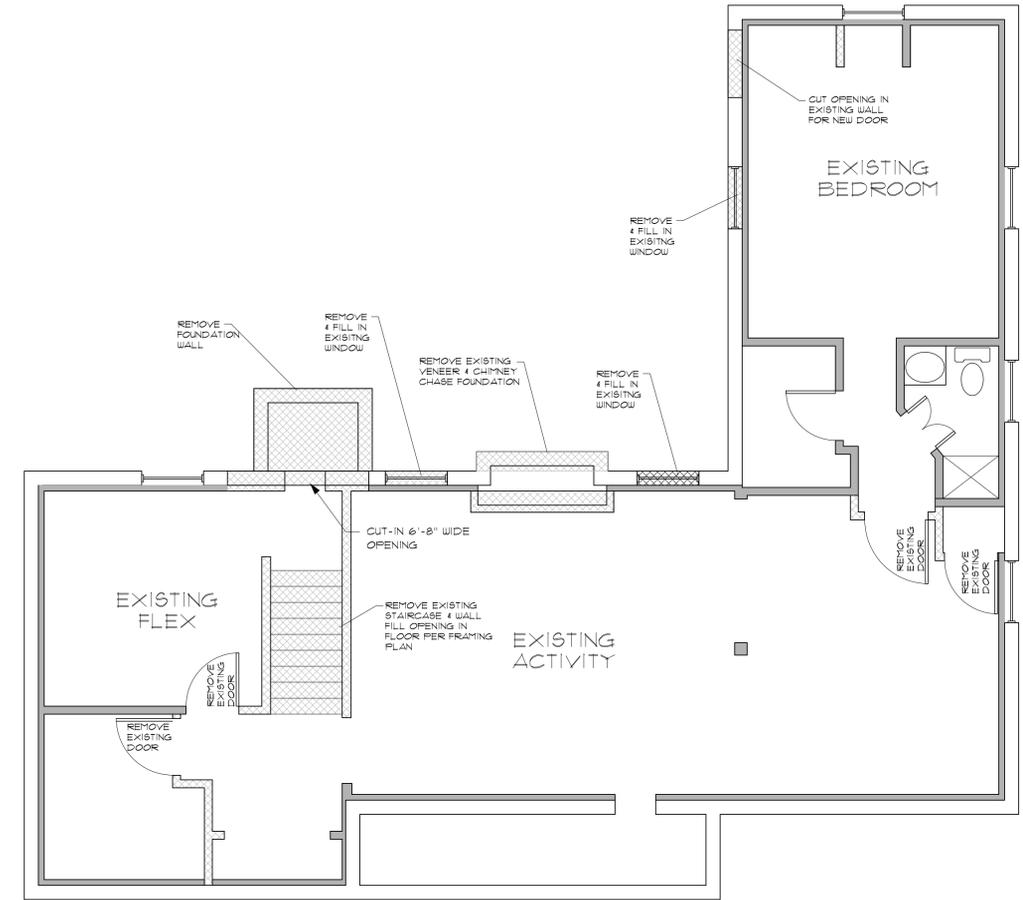
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EXISTING BASEMENT FLOOR PLAN
SCALE 1/4"=1'-0"
1215 SQ. FT. EXISTING



BASEMENT FLOOR DEMOLITION PLAN
SCALE 1/4"=1'-0"

WALL KEY	
	EXISTING WALL TO REMAIN
	TO BE DEMOLISHED



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REVISIONS	
03/13/12	ADDITION PLANS

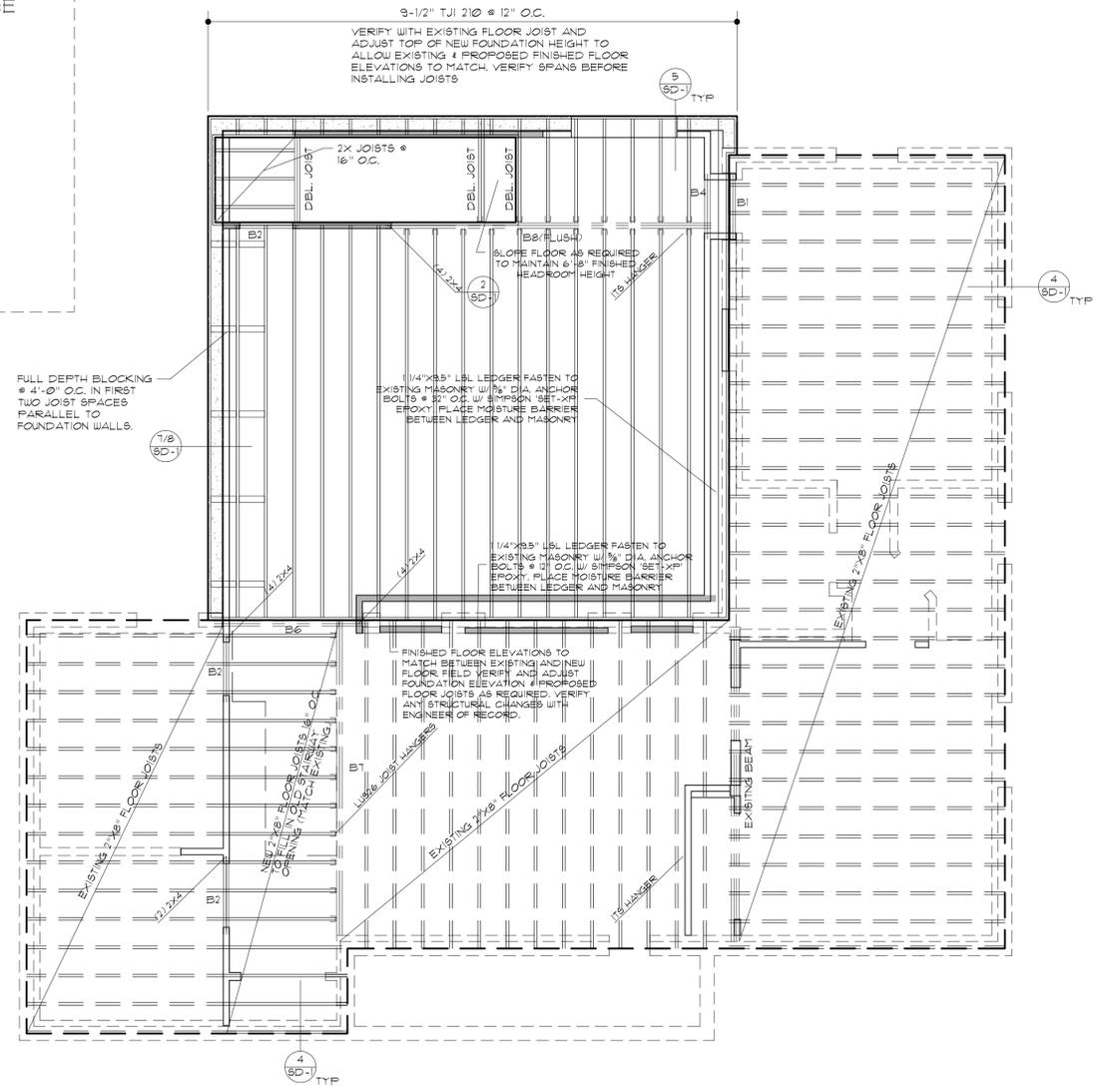
PROJECT	
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EXISTING DETACHED GARAGE



BEAM SCHEDULE		
BEAM MARK	SIZE AND TYPE	NOTES
B1	(2) 2" x 6" DF-L No. 2	-
B2	(2) 2" x 8" DF-L No. 2	-
B3	(2) 2" x 10" DF-L No. 2	-
B4	(2) 1 3/4" x 9 1/2" 19E LVL	-
B5	(2) 1 3/4" x 11 7/8" 19E LVL	-
B6	(3) 1 3/4" x 9 1/2" 19E LVL	-
B7	(3) 1 3/4" x 7 1/4" 19E LVL	-
B8	W8X15 STEEL	4

NOTES:
1. ALL EXPOSED BEAMS SHALL BE TREATED
2. FASTEN 2-FLYS W/ (2) ROWS 16d AT 12" OC
3. FASTEN 3-FLYS W/ (3) ROWS 16d AT 9" OC EACH SIDE
4. 2X TOP FLANGE NAILER RIPPED TO MATCH BEAM FLANGE WIDTH AND FASTENED W/ 1/2" DIA. CARRIAGE BOLTS AT 24" OC STAGGERED

APA RATED EXPOSURE 1 TONGUE & GROOVE SHEATHING	FASTENER OPTIONS (2, 3)					DIAPHRAGM BLOCKING
	(EDGE/BOUNDARY/FIELD) "OC"					
23/32" OR 3/4"	4/4/8	4/4/8	5/5/10	6/6/12	NOTE 4	

NOTES:
1. PROVIDE 1/8" EXPANSION GAP BETWEEN PANELS AT TIME OF INSTALLATION. GLUE ALL PANELS TO FRAMING WITH SUBFLOOR ADHESIVE.
2. SPACING AT BOUNDARIES INCLUDES FASTENERS OVER INTERIOR AND EXTERIOR SHEAR WALLS. ALL BLOCKING, COLLECTORS AND DRAG STRUTS.
3. LISTED NAIL LENGTHS ARE MINIMUMS. LENGTHS UP TO 3.0" ARE ACCEPTABLE.
4. BLOCKING OF PANEL EDGES IS NOT REQUIRED UNLESS SPECIFIED ON FRAMING PLANS AND/OR DETAILS.
5. DEFORMED RING-SHANK NAILS ARE RECOMMENDED FOR MINIMIZING FLOOR SQUEAK DUE TO LOOSE FASTENERS.

- ### WALL FRAMING
- 2x6 DF-L No.2 AT 16" OC TYPICAL AT ALL WALLS GREATER THAN 10'-0" IN HEIGHT AND WHERE SHOWN ON PLANS
 - 2x4 DF-L STUD AT 16" OC ELSEWHERE UP TO 10'-0" MAXIMUM HEIGHT
 - USE THREE STUDS MINIMUM AT ALL CORNERS UNLESS NOTED OTHERWISE
 - USE TWO STUDS MINIMUM BELOW ALL ROOF GIRDERS AND BEAMS UNLESS NOTED OTHERWISE
 - T = TRIMMER (JACK) STUD SUPPORTING HEADER OR BEAM
K = FULL HEIGHT KING STUD FACE NAILED TO TRIMMERS AND HEADER OR BEAM
IE. 2TK = 2 TRIMMERS, 2 KING STUDS W/ WIDTH TO MATCH ADJACENT WALL FRAMING UNLESS NOTED OTHERWISE
 - PROVIDE SQUASH BLOCKS BELOW ALL POINT LOADS WITH POSTS LARGER THAN 2-2X4 OR 2-2X6 UNLESS NOTED OTHERWISE

- ### CONNECTIONS
- PROVIDE (2) T912 VERTICAL STRAPS CONNECTED TO SUPPORTING POST TO RESIST UPLIFT FORCES AT ALL GIRDER TRUSSES UNLESS NOTED OTHERWISE
 - WHERE BEAMS BEAR ON A DOUBLE TOP PLATE OF A BEARING WALL PROVIDE (2) T912 VERTICAL STRAPS TO CONNECT BEAM TO THE SUPPORTING POST UNLESS OTHERWISE NOTED
 - WHERE BEAMS REST ON AN ISOLATED POST USE (2) LPC CAPS -OR- (1) BC CAP -OR- (1) PC CAP UNLESS OTHERWISE NOTED

WALL KEY	
[Solid Grey Box]	= PROPOSED BEARING WALL
[Dashed Line Box]	= PROPOSED FOUNDATION
[Dotted Line Box]	= EXISTING WALL

MAIN FLOOR FRAMING PLAN
SCALE 1/4"=1'-0"



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REVISIONS

03/13/12 ADDITION PLANS

PROJECT

PROJECT MANAGER
WESTON SPENCER
JOB NUMBER
0825-0001-11

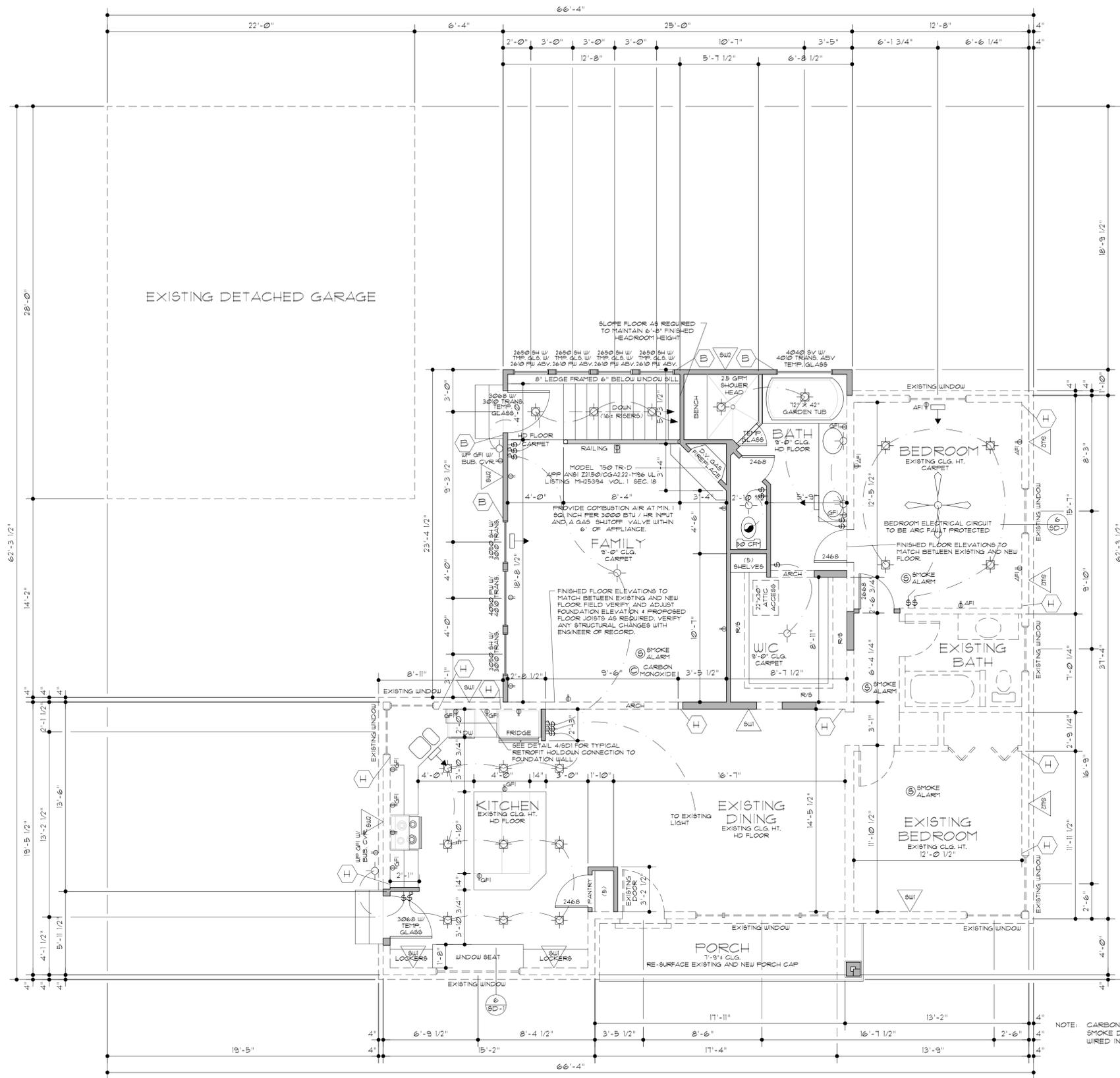
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SHEET NAME
MAIN FLOOR FRAMING PLAN
SHEET
4

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PROPOSED MAIN FLOOR PLAN
SCALE 1/4"=1'-0"

585 SQ. FT. PROPOSED
1124 SQ. FT. EXISTING

SHEAR WALL SCHEDULE

SHEAR WALL MARK	APA RATED EXPOSURE 1 SHEATHING	FASTENER OPTIONS (EDGE/FIELD)				NOTES
		1/6" CROWN x 1 1/8" LEG x GA STAPLES	1/2" x 2 1/2" NAILS	3/8" x 2 1/2" NAILS	3/8" x 2 1/2" NAILS	
SU1	7/16" OSB ONE SIDE ONLY	3.5"/6"	4"/8"	6"/12"	6"/12"	1-3
SU2	7/16" OSB ONE SIDE ONLY	2.5"/6"	3"/8"	4"/12"	4"/12"	1-3
SU3	7/16" OSB ONE SIDE ONLY	1.75"/6"	2"/8"	3"/12"	3"/12"	1-4
SU4	7/16" OSB BOTH SIDES	3"/6"	3.5"/8"	4"/12"	4"/12"	1-3, 5
SU5	7/16" OSB BOTH SIDES	1.75"/6"	2"/8"	3"/12"	3"/12"	1-4

NOTES:

- PROVIDE 3/8" DISTANCE TO PANEL EDGE AND FRAMING MEMBER EDGE.
- STAPLES SHALL BE INSTALLED WITH CROWN PARALLEL TO THE LONG DIMENSION OF THE FRAMING MEMBERS.
- SOLID BLOCK ALL PANEL EDGES. BLOCKING SHALL BE 3" NOMINAL OR THICKER AT ABUTTING PANEL EDGES FOR SU3, SU4 AND SU5.
- USE 3" NOMINAL MEMBERS AT ABUTTING PANEL EDGES ON SU3 AND SU5 (DOUBLE 2x MEMBERS FACE NAILED w/ 16d AT 4" OC STAGGERED MAY BE SUBSTITUTED FOR SINGLE 3x).
- USE 3" NOMINAL MEMBERS AT ABUTTING PANEL EDGES ON SU4 OR OFFSET PANEL EDGES ON OPPOSITE SIDE OF WALL (DOUBLE 2x MEMBERS FACE NAILED w/ 16d AT 4" OC STAGGERED MAY BE SUBSTITUTED FOR SINGLE 3x).
- LISTED NAIL LENGTHS ARE MINIMUMS. LENGTHS UP TO 3.0" ARE ACCEPTABLE.
- ALL SHEAR WALLS MAY NOT BE USED. SEE SHEAR WALL PLANS FOR REQUIRED WALLS.

HOLDOWN & STRAP SCHEDULE

MARK	ANCHOR	NOTES (1, 2)
A	L5THD(RJ)	3
B	5THD(RJ)	3
C	5THD(RJ)	3
D	CS16 x 49" LONG	4
E	M5T31	4
F	M5T48	4
G	M5T60	4
H	HDU4-SD525 w/ 55TB BOLT	5
J	HDU5-SD525 w/ 55TB BOLT	5
K	HDU8-SD525 w/ 55TB BOLT	5

NOTES:

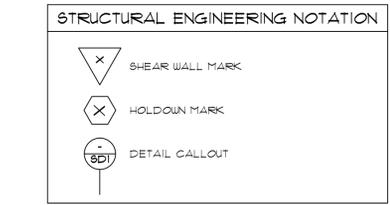
- ALL ANCHORS ARE SIMPSON STRONG TIE.
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- USE RIM JOIST MODELS (RJ) WHEN INSTALLING AT RIM BOARD OR RIM JOIST LOCATIONS.
- VERTICAL FLOOR TO FLOOR INSTALLATION NAILS NOT REQUIRED AT RIM BOARD 4 SILL PLATE
- REFER TO SELECTION TABLE BELOW FOR 55TB ANCHORS
- NOT ALL HOLDDOWNS ARE USED, REFER TO SHEAR WALL AND FOUNDATION PLANS FOR REQUIREMENTS

HOLDOWN ANCHOR BOLT SCHEDULE

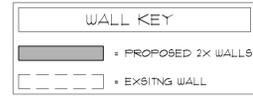
HOLDOWN	ANCHOR	ALTERNATE EPOXY EMBEDDED ATR
HDU4	55TB16(L)	5/8" DIA-10" EMBED
HDU5	55TB20(L)	5/8" DIA-15" EMBED
HDU8	55TB28(L)	7/8" DIA-20" EMBED

NOTES:

- 55TB ANCHOR BOLTS ARE SIMPSON STRONG TIE
- INSTALL PER MANUFACTURER'S SPECIFICATIONS
- USE 55TB-L MODELS WITH INCREASED THREAD LENGTH ON 3x OR THICKER SILL PLATES
- EPOXY EMBEDDED ATR + 36 KSI MINIMUM YIELD STRENGTH ALL-THREAD ROD w/ DIAMETER AND EMBEDMENT DEPTH AS INDICATED, CLEAN PER EPOXY REQUIREMENTS
- CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE THREAD PROJECTION
- USE SIMPSON SET OR AT EPOXY WITH HOLE PREPARATION AND INSTALLATION PER MANUFACTURER'S SPECIFICATIONS
- MINIMUM 8" THICK CONCRETE STEM WALL REQUIRED



NOTE: CARBON MONOXIDE DETECTORS AND SMOKE DETECTORS ARE TO BE HARD WIRED IN SERIES w/ BATTERY BACKUP.



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REVISIONS

NO.	DATE	DESCRIPTION
03/13/12		ADDITION PLANS

PROJECT

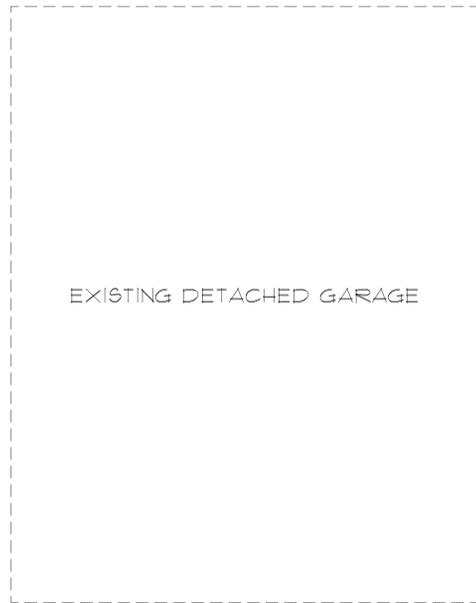
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BEAM SCHEDULE		
BEAM MARK	SIZE AND TYPE	NOTES
B1	(2) 2" x 6" DF-L No. 2	-
B2	(2) 2" x 8" DF-L No. 2	-
B3	(2) 2" x 10" DF-L No. 2	-
B4	(2) 1 3/4" x 9 1/2" 19E LVL	-
B5	(2) 1 3/4" x 11 7/8" 19E LVL	-
B6	(3) 1 3/4" x 9 1/2" 19E LVL	-
B7	(3) 1 3/4" x 7 1/4" 19E LVL	-
B8	40X15 STEEL	4

NOTES:
 1. ALL EXPOSED BEAMS SHALL BE TREATED
 2. FASTEN 2-PLY'S w/ (2) ROUS 16d AT 12" OC
 3. FASTEN 3-PLY'S w/ (3) ROUS 16d AT 9" OC EACH SIDE
 4. 2X TOP FLANGE NAILER RIPPED TO MATCH BEAM FLANGE WIDTH AND FASTENED w/ 1/2" DIA. CARRIAGE BOLTS AT 24" OC STAGGERED.

ROOF SHEATHING SCHEDULE (1,2,3,4,5)						
APA RATED EXPOSURE SHEATHING THICKNESS (INCHES)	DESIGN SNOW LOAD (PSF)	FASTENER OPTIONS (EDGE/BOUNDARY/FIELD) SPACING (OC)				
		1 1/8" CROWN X 1 1/8" LEG @ 64" STAPLES	3/16" x 2 1/2" NAILS			
7/16	40	3/16	4/4/B	6/6/12	6/6/12	6/6/12
15/32 or 1/2	50	3/16	4/4/B	6/6/12	6/6/12	6/6/12
19/32 or 5/8	110	4/4/B	4/4/B	6/6/12	6/6/12	6/6/12
23/32 or 3/4	145	4/4/B	4/4/B	6/6/12	6/6/12	6/6/12

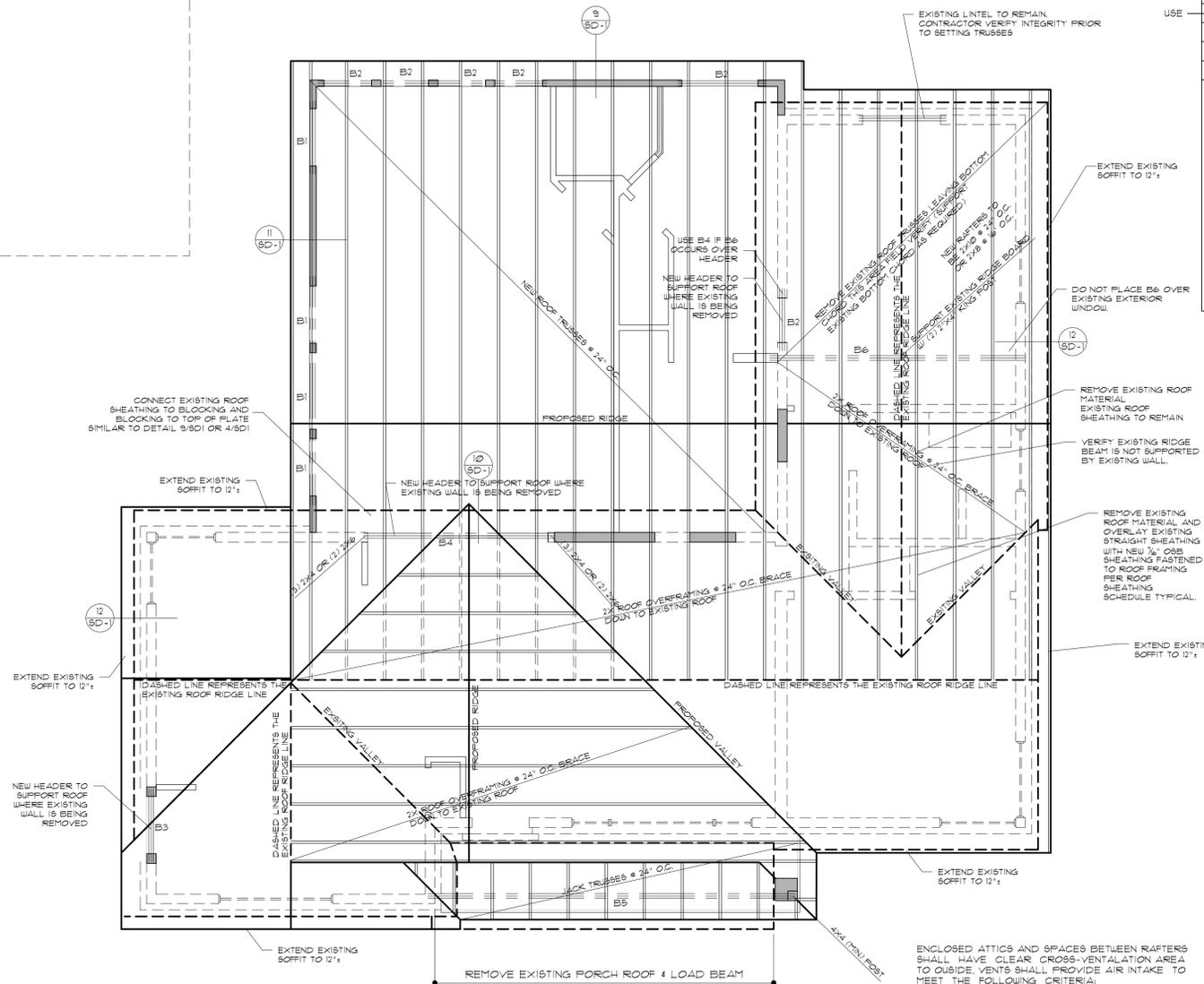
NOTES:
 1. PROVIDE 1" CLIPS AT UNSUPPORTED PANEL EDGES.
 2. PROVIDE 1/8" EXPANSION GAP BETWEEN PANELS AT TIME OF INSTALLATION.
 3. PANELS SHALL BE APA RATED EXPOSURE 1.
 4. SPACING AT BOUNDARIES INCLUDES FASTENERS OVER INTERIOR AND EXTERIOR SHEAR WALLS, ALL BLOCKING, COLLECTORS AND DRAG STRUTS.
 5. IN GEOGRAPHIC REGIONS WHERE WIND DESIGN CRITERIA EXCEEDS 90 MPH EXPOSURE B, FIELD NAILING SHALL BE REDUCED TO MATCH EDGE NAILING REQUIREMENTS AT ALL EAVES AND ALSO AT ALL ROOF REGIONS EXTENDING 48" IN EITHER DIRECTION FROM PERIMETER WALLS, AND 48" BEYOND EACH SIDE OF ALL RIDGES AND HIPS.
 6. LISTED NAIL LENGTHS ARE MINIMUMS. LENGTHS UP TO 3.0" ARE ACCEPTABLE.

PRE-ENGINEERED TRUSSES

1. PROVIDE THE ENGINEER OF RECORD A COPY OF THE TRUSS DESIGN PRIOR TO FABRICATION OR INSTALLATION TO VERIFY CONFORMANCE TO THE DESCRIBED LAYOUT SHOWN HEREIN (SEND TO Ryan@4DEngineers.com). FAILURE TO DO SO WILL RELIEVE THE ENGINEER FROM ANY LIABILITY CAUSED BY CHANGES TO THE STRUCTURAL SYSTEM BY THE CONTRACTOR. ANY RE-DESIGN OF THE STRUCTURE TO ACCOMMODATE AN ALTERNATE TRUSS LAYOUT WILL RESULT IN ADDED ENGINEERING COSTS.
 2. PRE-ENGINEERED TRUSSES SHALL BE BLOCKED AND BRACED PER MANUFACTURER'S RECOMMENDATIONS.
 3. PROVIDE CROSS BRACING AT PERMANENT CONTINUOUS LATERAL BRACING AT A MAXIMUM OF 20'-0" O.C. AND A MINIMUM OF (2) CROSS BRACES PER CONTINUOUS BRACE.
 4. ALL TRUSS CONNECTION HARDWARE SHALL BE DESIGNED BY THE TRUSS MANUFACTURER.

ROOF OVERBUILD

1. FRAME ROOF OVERBUILD AREAS WITH 2" x 6" DF2 JOISTS AT 24" O.C.
 2. BRACE JOISTS AT 6'-0" O.C. TO FRAMING BELOW.
 3. USE 2" x 8" DF2 RIDGE BOARD BRACED AT 4'-0" O.C.
 4. USE 2" x 8" DF2 VALLEY MEMBERS LAYED FLAT AND NAILED TO TRUSSES WITH (2) 16d EACH TRUSS/RAFTER.
 5. BRACE RIDGE AND JOISTS SUCH THAT LOAD IS DISTRIBUTED UNIFORMLY TO TRUSSES BELOW.
 6. SHEATH UNDER ALL OVERBUILD AREAS.
 7. PROVIDE ACCESS AND VENTILATION TO OVERBUILD AREAS AS NECESSARY.



ENCLOSED ATTICS AND SPACES BETWEEN RAFTERS SHALL HAVE CLEAR CROSS-VENTILATION AREA TO OUTSIDE. VENTS SHALL PROVIDE AIR INTAKE TO MEET THE FOLLOWING CRITERIA:
 PROVIDE .69 SQUARE FEET GABLE / ROOF VENT AND .69 SQUARE FEET SOFFIT VENT
 ROOF FRAMING PLAN IS FOR SCHEMATIC USES. TRUSS MANUFACTURER TO DETERMINE ALL TRUSS CALCULATIONS AND DESIGN OBEYING ALL CITY CODES AND LAWS
 NOTE:
 GIRDER TRUSSES PER TRUSS MANUFACTURER

WALL KEY	
[Solid Line]	PROPOSED INTERIOR WALLS NON BEARING
[Dashed Line]	PROPOSED NEW BEARING WALLS
[Dotted Line]	EXISTING WALL

ROOF FRAMING PLAN
 SCALE 1/4"=1'-0"



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PROJECT

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 JOB NUMBER
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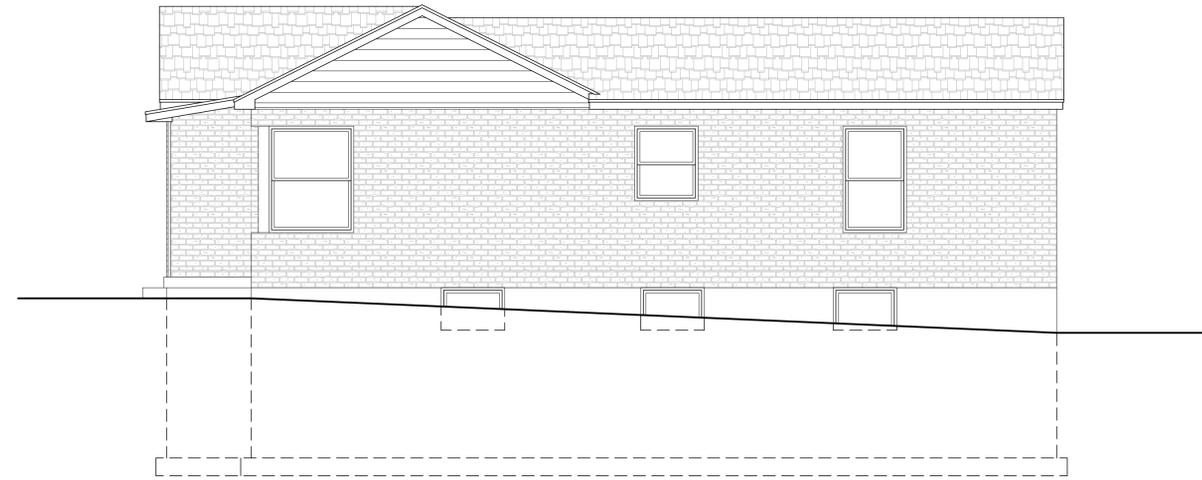
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SHEET NAME
 ROOF FRAMING PLAN



EXISTING FRONT ELEVATION
SCALE 1/4"=1'-0"

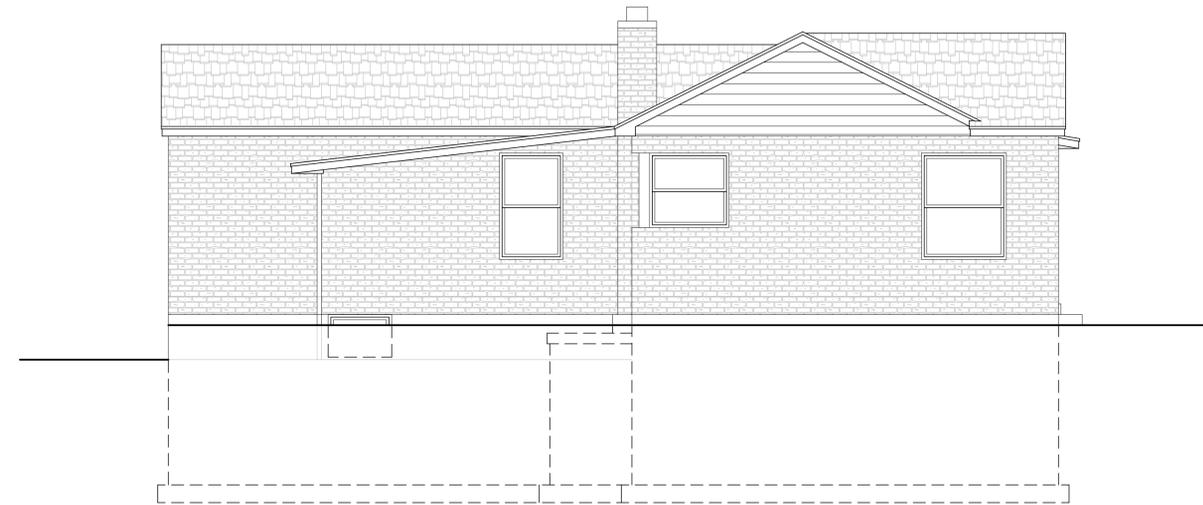
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EXISTING RIGHT ELEVATION
SCALE 1/4"=1'-0"



EXISTING REAR ELEVATION
SCALE 1/4"=1'-0"



EXISTING LEFT ELEVATION
SCALE 1/4"=1'-0"



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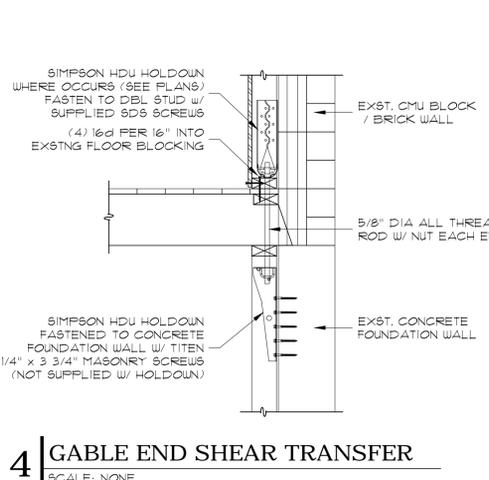
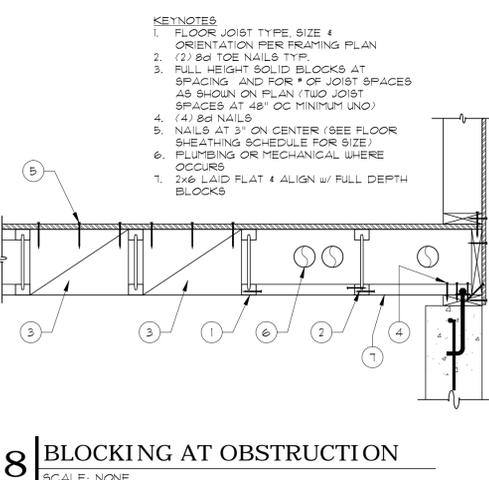
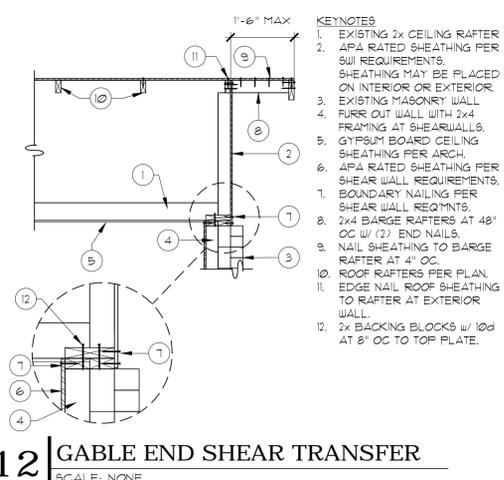
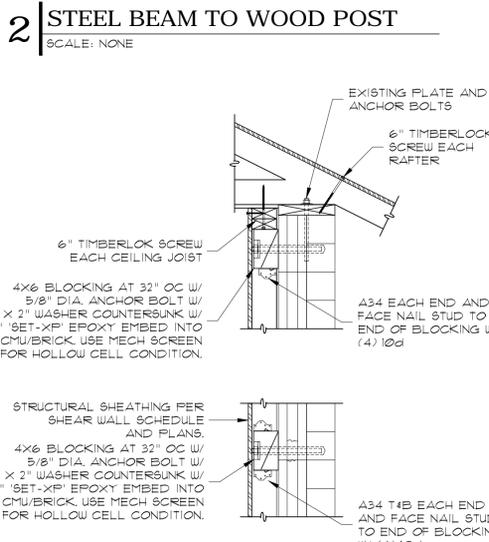
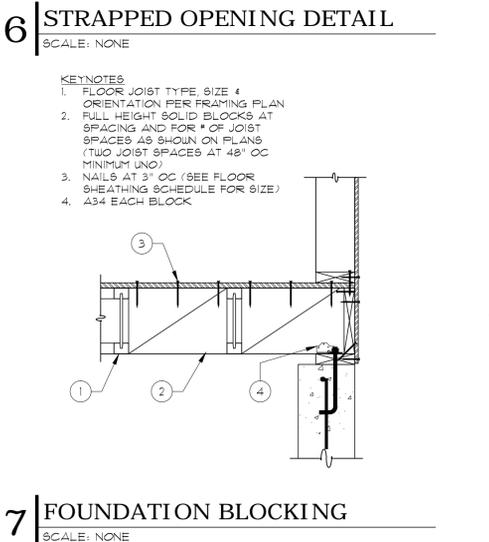
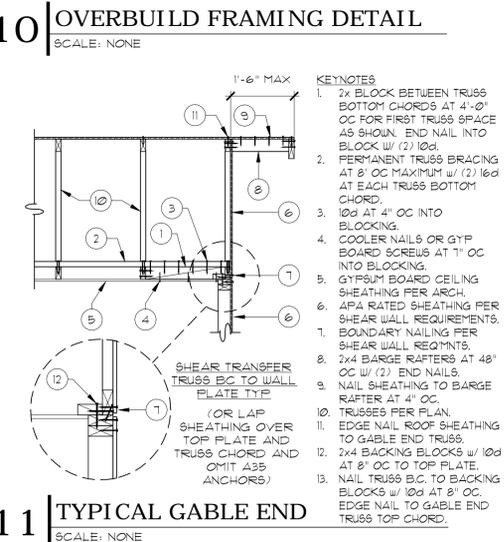
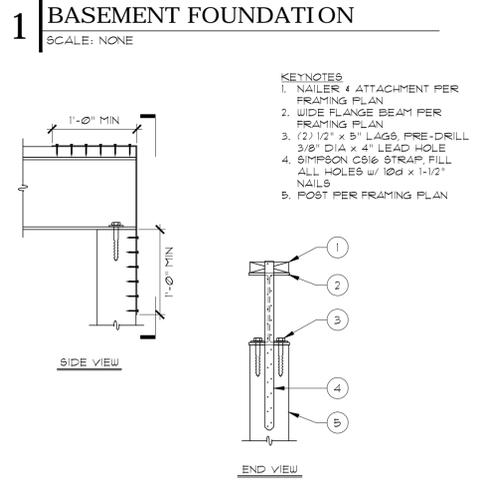
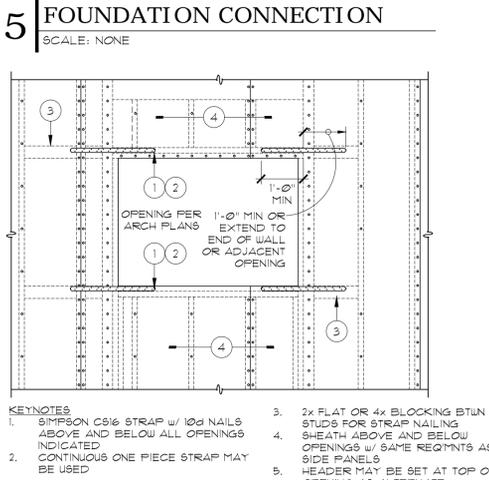
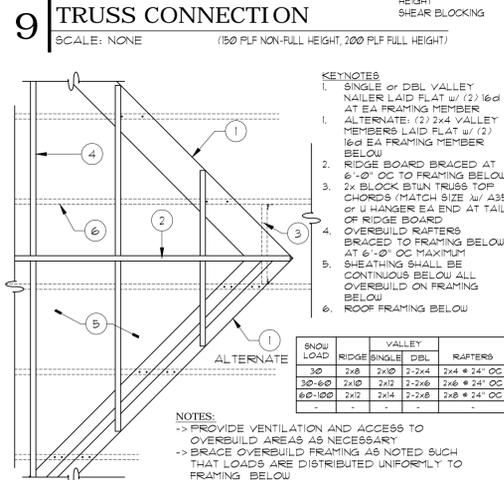
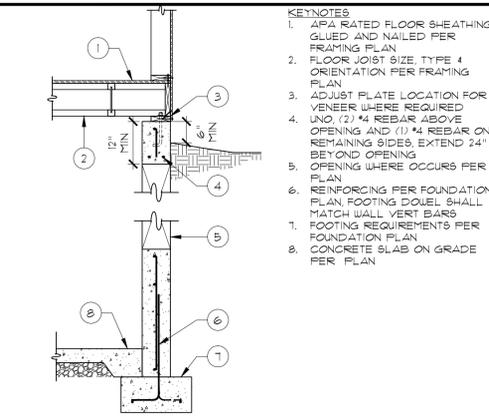
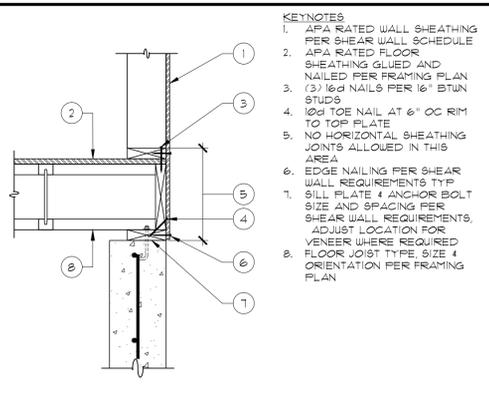
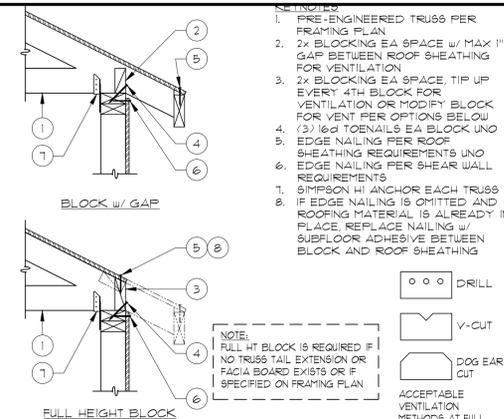
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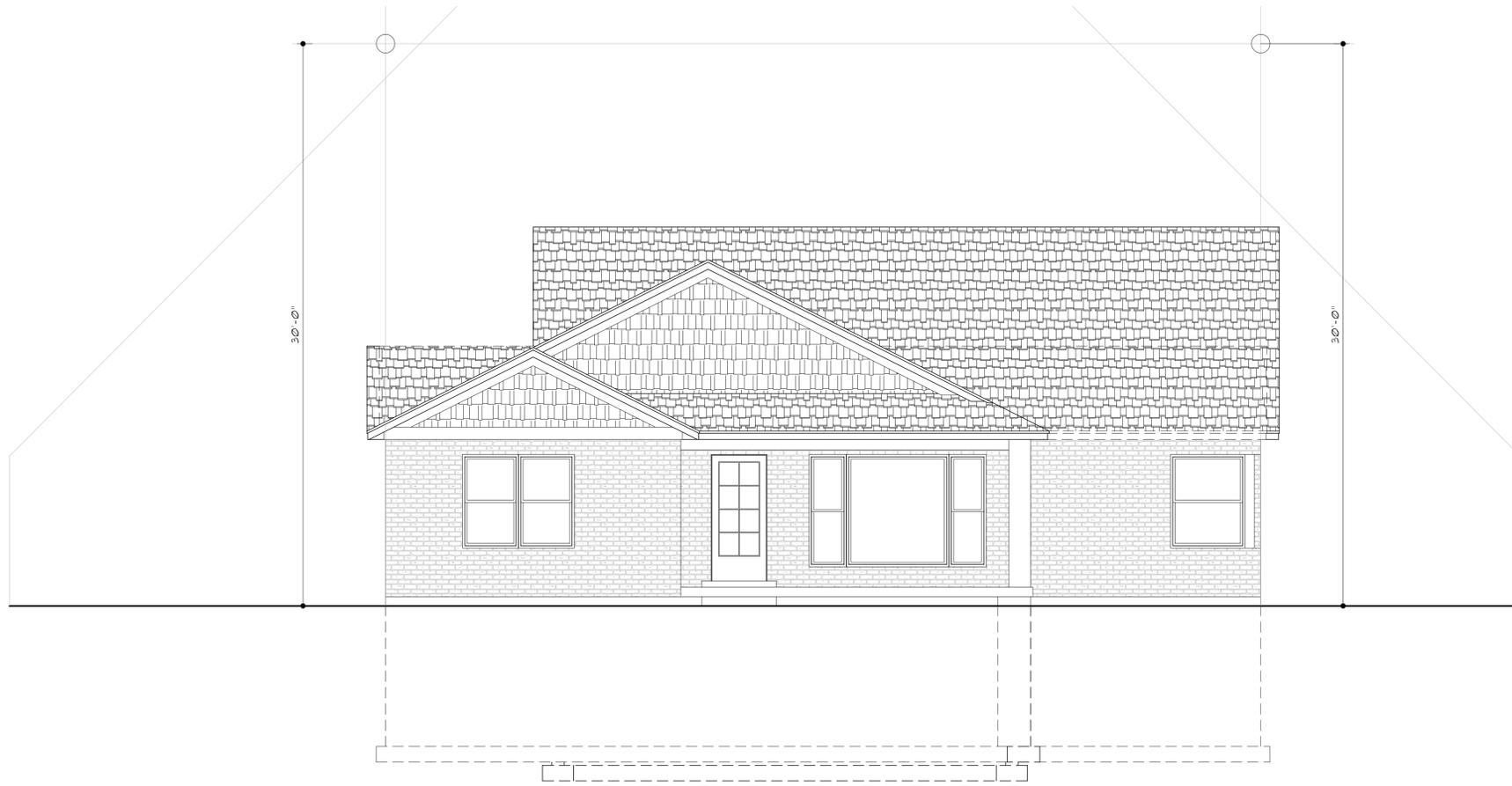
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SHEET NAME
 STRUCTURAL DETAILS
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SD-1



PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED REAR ELEVATION
SCALE 1/4"=1'-0"



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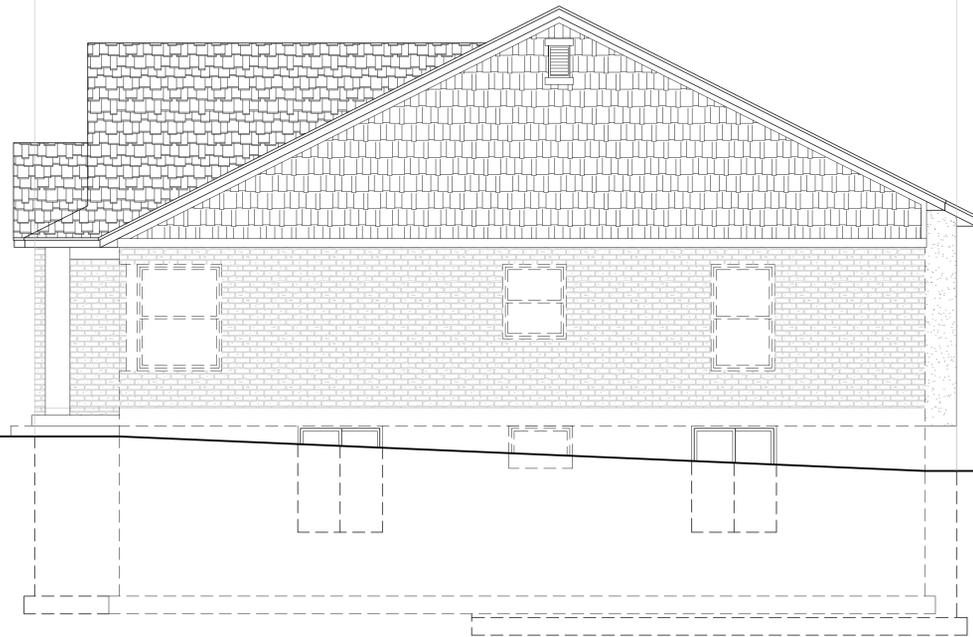
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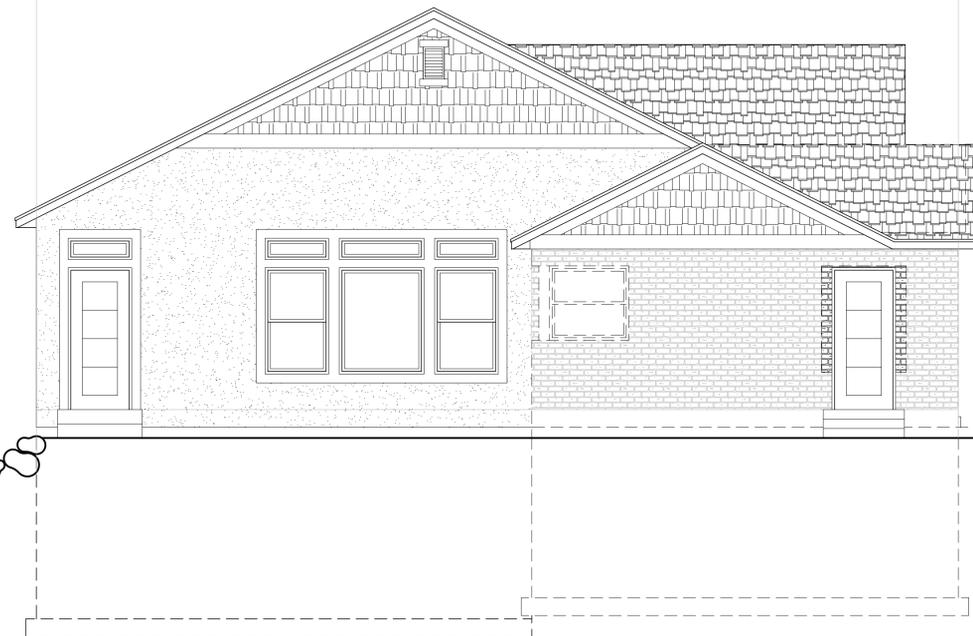
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SHEET NAME
BUILDING ENVELOPE
SHEET
BE-1



PROPOSED RIGHT ELEVATION

SCALE 1/4"=1'-0"



PROPOSED LEFT ELEVATION

SCALE 1/4"=1'-0"



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 DRAPER, UT 84020
 OFFICE : 801.568.6520
 FAX : 801.568.0656
 PO BOX 38
 DRAPER, UT 84020

CLIENT INFORMATION

KEVIN AND JENNIFER PULLEY
 3626 S. 2445 E.
 SALT LAKE CITY, UTAH
 KEVIN: 801.860.6166
 JENNIFER: 801.870.2001
 HOME: 801.930.9064
 JENPULLEY@HOTMAIL.COM

REVISIONS

NO.	DATE	DESCRIPTION
03/13/12		ADDITION PLANS

PROJECT
 PROJECT MANAGER
 WESTON SPENCER
 JOB NUMBER
 0825-0001-11

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

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providing CIVIL & STRUCTURAL engineering services

Contact
 Ryan B. Alder, P.E., S.E.
 Ryan@4DEngineers.com
 Phone: (801) 785-0083
 www.4DEngineers.com

SHEET NAME
 BUILDING ENVELOPE

SHEET
BE-2



STAFF REPORT

AMENDED 05/14/2013

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, May 15, 2013	04:00 PM	File No:	2	8	3	5	1	
Applicant Name:	Adam Maher	Request:	Conditional Use						
Description:	24-unit Condominium PUD Development								
Location:	3207, 3211 & 3225 South 900 East and 3212 South 945 East								
Zone:	R-M Residential Multi-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Varies								
Staff Recommendation:	Continue								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

Adam Maher is requesting Conditional Use and Preliminary Plat approval for *Millcreek 9*, a 24-unit condominium Planned Unit Development. The applicant is proposing to construction the condominiums out of refurbished shipping containers. Buyers will be able to select from several floor plan options that range from 1 to 2 bedrooms. The units would be consolidated into three separate buildings. The west building is proposed as townhomes with residential living space from the ground up. The other two buildings are proposed to be condominium units placed on pylons, with parking on the ground level. The proposed maximum height of the buildings is 36 feet from grade, a total of 4 stories.

Proposed parking is two paces per unit. Some parking will be uncovered surface parking while some will be located under the middle and east buildings.

The applicant is currently proposing 42% open space with the following recreational facilities:

- 1) A playground;
- 2) A gathering area with a picnic pavilion, and fire pit;
- 3) A bocci court; and
- 4) A raised garden bed for each of the units.

The elevation and perspective plans also reflect landscaping on the roofs of the buildings.

The applicant is proposing the project be phased, most likely on building at a time.

The Density of the project is not yet clear. Over the gross acreage (acreage prior to dedication) the proposed density is approximately 24 units per acre. This would increase slightly once dedication of right of way for 900 and 945 E. is provided. The Density will need to be calculated on the net acreage after dedication.

1.2 Hearing Body Action

The application is on the Commission's Agenda for action. Conditional Use and Preliminary Plats are administrative acts; therefore, the Commission takes final action on these types of applications.

1.3 Neighborhood Response

Staff has received on phone call from the property owner to the north of the proposed west building. He had questions regarding the height of the buildings, architecture, fencing, setbacks, etc. He indicated that he would not be able to attend the Planning Commission meeting, but indicated that he would submit his comments in writing, if any, prior to the meeting. As of this writing staff has not received his written comments.

1.4 Community Council Response

Millcreek Community Council - May 7, 2013 - The following is an excerpt from the Community Council's minutes sent to staff by the Community Council Secretary, Silvia Navegar.

App. #28351 - 3225 South 900 East

Developer Adam Maher and County Planner Spencer Sanders presented an application for conditional use for a 24-unit townhome complex. The complex will be structured from shipping containers and built in phases, possibility of four-story building(s). There were no residents in attendance for this application. Council Member Tom Davis made a motion to give a partial recommendation of approval on the condition that residents are given the opportunity to voice any concerns at next Planning Commission meeting. If no concerns from residents are raised, then council will fully support application. If residents do voice concerns, the Council would like to ask for an extension to hear from residents next month. Fran Hoelfeltz seconded the motion. Council unanimously approved the motion.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Insufficient information to analyze at this time.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Insufficient information to analyze at this time.

YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C'</u> : <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Insufficient information to analyze at this time.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D'</u> : <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Insufficient information to analyze at this time.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		Insufficient information to analyze at this time.

2.2 Other Agency Recommendations or Requirements

The requirements of the other agencies will be addressed during the Technical Review process. Some adjustment to building location to address building code requirements. Otherwise, the current comments from the reviewers received do not have significant affect on the site layout.

2.3 Zoning Requirements

Zone: R-M

Maximum Density

Required - 25 dwelling units per acre

Provided - Approximately 24 based on gross, but net currently unknown?

Maximum Height

Required - 6 stories or 75 feet

Provided - 4 stories 36 feet

Minimum Side Setbacks

Required - 8-feet with both not to be less than 18 feet; and Dwelling structures over thirty-five feet in height shall have one foot of additional side yard on each side of the building for each two feet such structure exceeds thirty-five feet in height.

Provided - 10 feet, but from an existing single family home.

Minimum Front

Required - 25 feet; the landscape ordinance will allow the setback for the building to be reduced to 20 feet with more intense landscaping in the front yard.

Provided - 25 feet from current 900 E right of way and 35 feet from proposed back of curb. Plans are unclear on actual setbacks from resulting dedication.

Minimum Rear: The subject property does not have a rear yard, just two fronts and two sides since it fronts to both 900 and 945 East streets.

Parking

Required - 2 per unit with 1/2 space per unit for guest parking if required parking is enclosed or covered for private unit use;

Provided - 2 spaces per unit approximately half are covered by the middle and east buildings.

Preliminary Landscaping Plan - The landscape plan is reviewed and approved by the County Planning and Development Services Director or his designee. The main deficiencies of the submitted Preliminary landscape plan are noted here for the Planning Commission's and the applicant's information.

Landscape Setbacks - Required yards are to be landscaped, except reduction for landscaping may be allowed per ordinance for parking to encroach into the front landscape setback and main buildings to be reduced from 25 to 20 feet from front property lines. These exceptions require more intense specific landscape improvements to be provided. The revised plan appears to address side setback issue showing landscaping to or exceeding the minimum setback of 8 feet on the sides. However, front setbacks are still in question and the current preliminary landscape plan based on the original submittal has not been updated.

Number of trees - Around the perimeter of the property 1 tree per 25 feet of frontage and along property lines is required. The landscape plan does not reflect this requirement.

2.4 Recreational Facilities and Open Space Requirements

Recreational Facilities

Required - 2 minimum based on a maximum possible bedroom count of 3 per unit or 72 total;

Provided - 4;

Open Space

Required - 50% with 2% reduction for each additional facility over the minimum required. The applicant's proposed 4 total facilities, 2 over the minimum required, would result in a reduction of 4% to 46% ;

Provided - 42%

2.5 Subdivision Requirements

Condominium Plat Required

Since the applicant proposes the units to be owner occupied they have to be platted into separate ownership. However, the applicant's proposal to allow buyers to choose the type of unit they want (1-3 bedrooms), and because a majority of the units are not proposed to be built in a direct vertical alignment, the buildings will have to be divided by Condominium Plat that can not be filed until after the building is constructed.

Phasing

A final phasing plan needs to be provided by the applicant. With each phase, the development will have to meet minimum requirements for open space, parking, landscaping, emergency access, drainage, fencing, etc. in the event that the project does not proceed forward after a phase. In addition, the

project will also have to be platted in phases, the final design of each plat to be addressed with staff in order to meet all legal subdivision requirements.

3.0 STAFF RECOMMENDATION

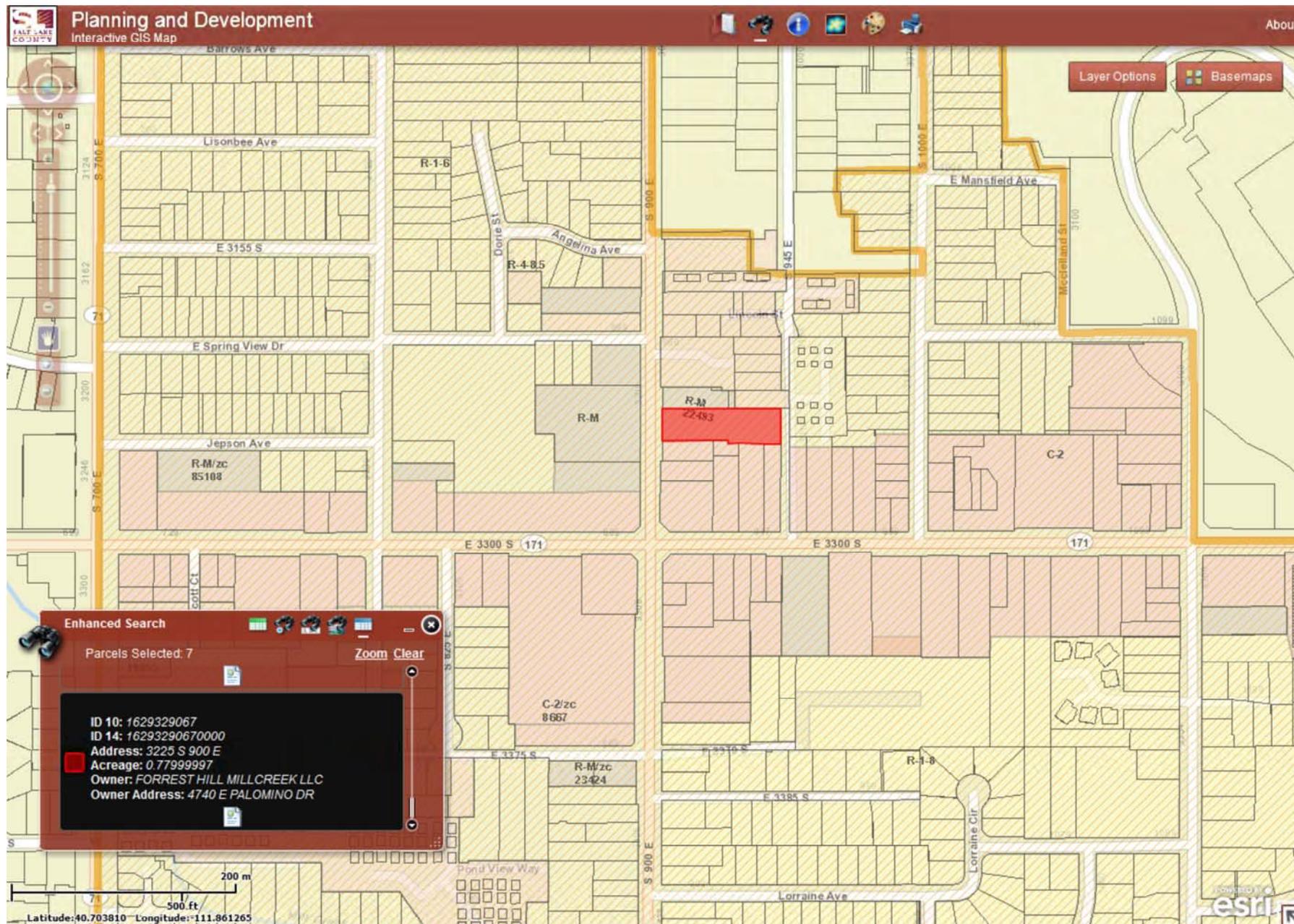
3.1 Staff recommends the proposed Conditional Use be CONTINUED to the meeting scheduled on June 12, 2013 .

3.2 Reasons for Recommendation

- 1) There were a number of issues with the original site plan submitted. Comments were forwarded to the applicant the week prior to this Commission meeting. The issues included, but were not limited to the following:
 - + 36% open space - Development Standards (Policy Document) indicate 50% minimum;
 - + Setbacks not fully dimensioned and some setbacks unclear due to unclear dedication information.
 - + Missing details of proposed recreational facilities, including examples of equipment and dimensions.
 - + Insufficient preliminary landscaping, particularly in the areas of buffering adjacent properties and tree requirements.
 - + Insufficient documentation enumerating standard zoning and development standard requirements from which flexibility is sought under the PUD regulations.
- 2) A revised site plan was received by staff on Monday, May 13, 2013, by e-mail with a notation that the open space had been increased from 36% to 42%. Not all of the other issues have been addressed. While staff is supportive of the proposed use since it is allowed in the RM zone, there has not been enough time for staff to review the latest site plan. In addition, there are still a number of issues that need to be refined before staff can provide a recommendation regarding the project.

3.3 Other Recommendations

Due to the unique nature of this application and the fact that the surrounding property owners have received a mailed notice regarding the Planning Commission Hearing, staff would recommend that Commission hear a brief presentation from Staff; hear a presentation from the applicant regarding his proposal; and then take public comment. Staff also requests the Commission provide direction to the applicant and staff regarding the proposal regarding any issues the Commission deems critical to the potential approval of the project as a PUD development.





801-580-0181

RPA
RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111
HOLLADAY, UTAH 84117

MILLCREEK 9 3225 SOUTH 900 EAST

DATE: 4-1-13

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE

SITE PLAN

SHEET NUMBER

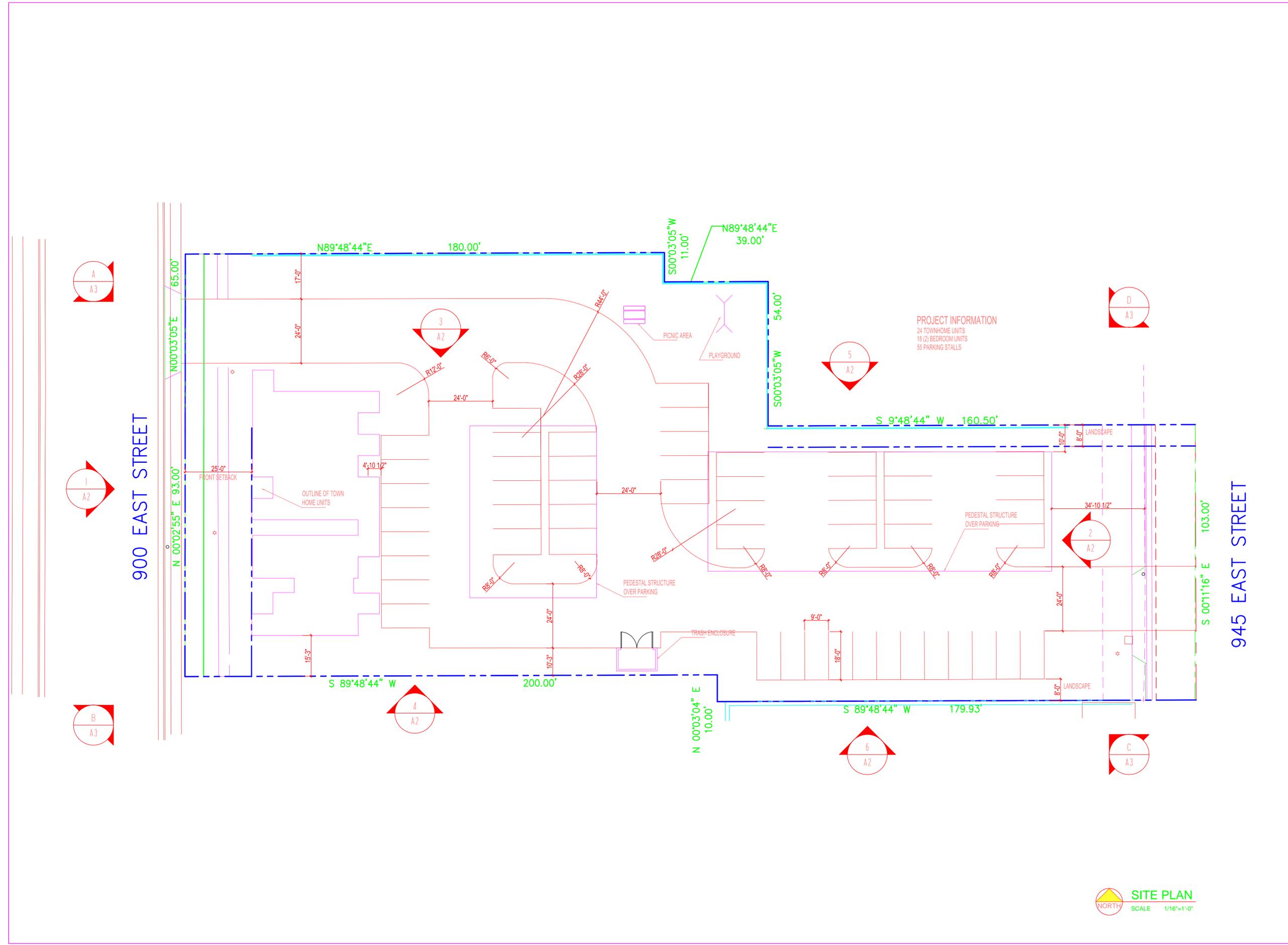
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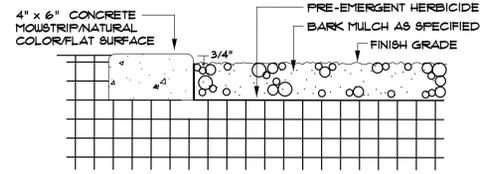
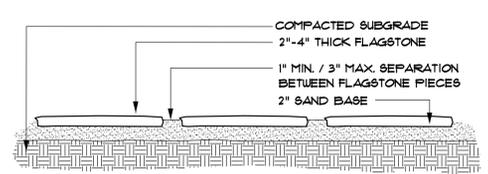
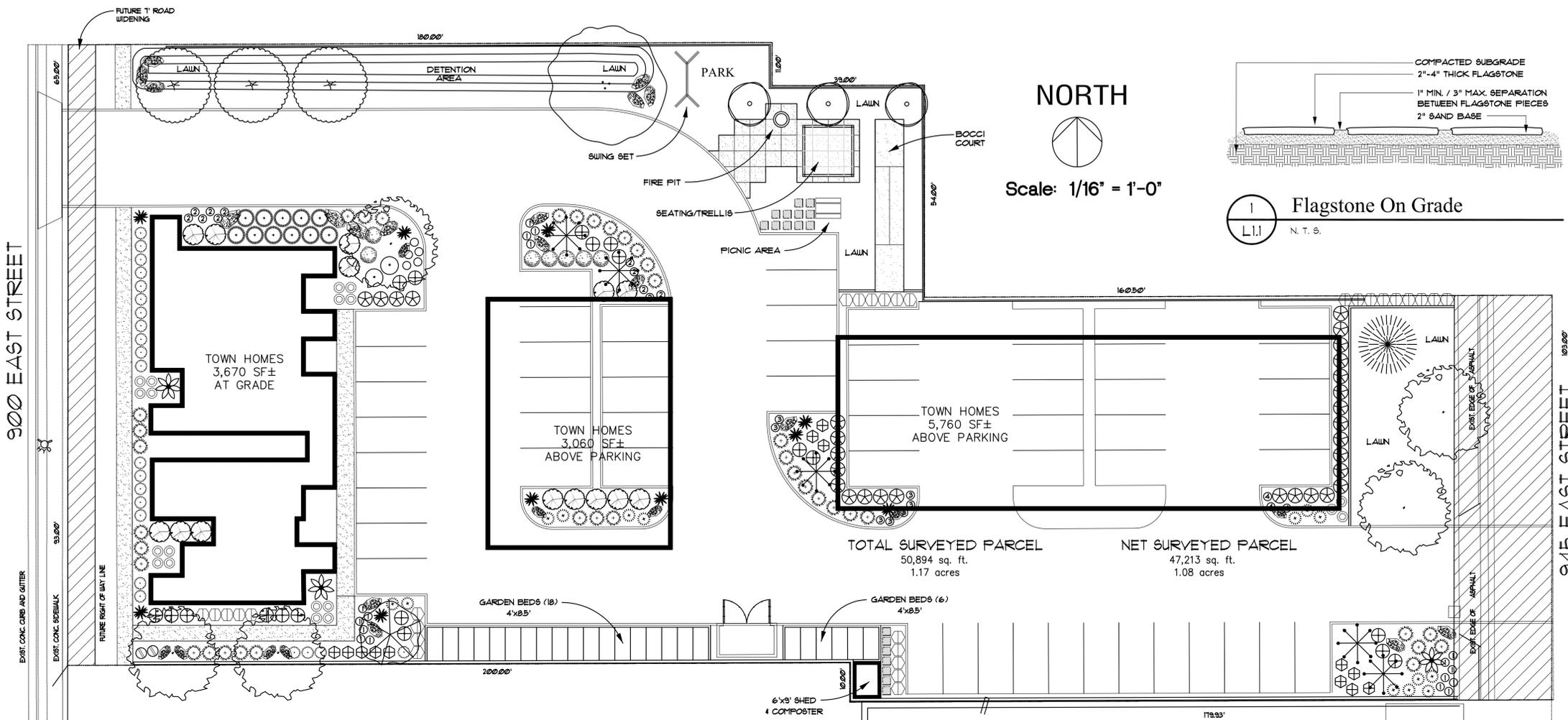
900 EAST STREET

945 EAST STREET

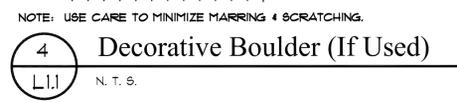
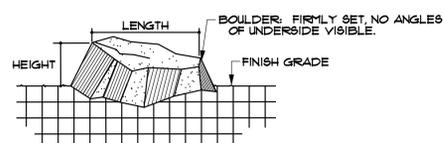
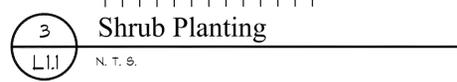
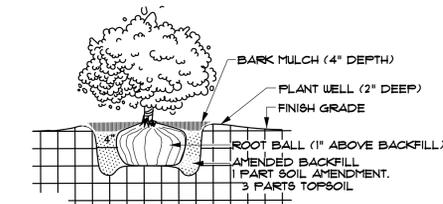
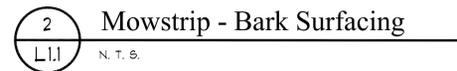
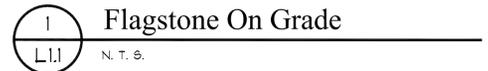
PROJECT INFORMATION
 24 TOWNHOME UNITS
 18 (2) BEDROOM UNITS
 55 PARKING STALLS

SITE PLAN
 SCALE 1/16"=1'-0"





NOTE: SMOOTH GRADE ENTIRE AREA PRIOR TO PLACEMENT.



NOTE: USE CARE TO MINIMIZE MARRING & SCRATCHING.

Suggested Plant List (TREES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1		<i>Abies concolor</i>	White Fir	6'-8' Height B 4 B	Specimen Quality
1		<i>Acer x. 'Jeffersred'</i>	Autumn Blaze Maple	2" Caliper 8'-10' Height	Straight Trunks
3		<i>Acer platanoides 'Crimson Sentry'</i>	Crimson Sentry Maple	2" Caliper 8'-10' Height	Full Heads Matching
1		<i>Cercis canadensis</i>	Eastern Redbud	2" Caliper 8'-10' Height	Full Heads Matching
5		<i>Pinus flexilis 'Vanderwolfie'</i>	Vanderwolfie Limber Pine	6'-7' Height B 4 B	Specimen Quality
3		<i>Pyrus calleryana 'Redspire'</i>	Redspire Flowering Pear	2" Caliper 8'-10' Height	Full Heads Matching
4		<i>Zelcova serrata 'Green Vase'</i>	Green Vase Zelcova	2" Caliper 10'-12' Height	Full Heads Matching

Suggested Plant List (GRASSES)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
29		<i>Calamagrostis a. 'Karl Foerster'</i>	Karl Foerster Feather Grass	2 Gallon	18" - 24"
3		<i>Erianthus ravennae</i>	Hardy Pampas Grass	5 Gallon	24" - 30"
5		<i>Festuca ovina 'Elijah Blue'</i>	Elijah Blue Fescue	2 Gallon	12" - 15"
13		<i>Miscanthus sinensis 'Variegatus'</i>	Variegated Maiden Grass	5 Gallon	18" - 24"
19		<i>Pennisetum alopecuroides 'Hameln'</i>	Hameln Dwarf Fountain Grass	2 Gallon	12" - 15"
2		<i>Schizachyrum scoparium</i>	Little Bluestem	2 Gallon	12" - 15"

Suggested Plant List (PERENNIALS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
17		<i>Hemerocallis h. 'Stella d'Oro'</i>	Stella d'oro Day Lily	1 Gallon	12" - 15"
11		<i>Hosta a. variegata</i>	Variegated Hosta Lily	1 Gallon	12" - 15"
7		<i>Lavendula angustifolia 'Munstead'</i>	Munstead English Lavender	1 Gallon	12" - 15"
3		<i>Perovskia atriplic. 'Little Spire'</i>	Little Spire Russian Sage	1 Gallon	12" - 15"

Suggested Planting Notes

- All shrub planting areas shall receive an 8 inch depth of topsoil, all lawn areas a 4 inch depth of topsoil. If topsoil is not available at the site, it must be imported from an approved local source. All topsoil shall be of a sandy loam consistency. The contractor shall supply a sample and chemical analysis from the proposed supplier.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a 6 inch depth, by the use of mechanical means, in order to create a transition layer between soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site, or used in site backfill prior to topsoil placement.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation. A pre-mixed soil medium can be used as an alternative.
- Plant fertilizer shall be 'Agriform' brand 21 gram tablets used as per recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of fine ground bark mulch cover. The actual bed areas shall receive a 4 inch depth of shredded bark mulch cover or decorative stone as noted. The areas shall receive a granular pre-emergent herbicide prior to placement.
- All lawn areas shall be installed using a water conservative mixture, and shall be composed of a mixture of "turf type" tall fescue and perennial ryegrass blends.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days min.) and shall include mowing, weeding, pruning and one fertilization.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if required, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and acceptance.

Design Intent Statement

- Provide the efficient use of water resources for landscape irrigation purposes. This is done by using low flow drip irrigation systems for planting areas, individual bubblers for trees located in planting areas allowing additional control between trees and shrub water use, and minimizing the use of lawn in the landscape, which will further lower overall water usage.
- Provide a landscape with a variety of aesthetic qualities throughout the year. This is done by using a balanced mixture of evergreen materials (33% of trees - 40% of shrubs), plantings with annual and/or fall leaf color (50% of trees - 45% of shrubs), the use of flowering plant materials (40% of trees - 30% of shrubs), and plant materials with unique textures (25% of small material plantings are ornamental grasses).
- Provide a landscape which promotes the use of native and low water use plant species. This is done by the overall use of plant materials which have been determined as being drought tolerant for the area climatic conditions (80% of trees - 80% of shrubs).
- Provide a landscape which reduces overall maintenance responsibilities and cost. This is done by minimizing manicured turf lawn areas (31% of area), reduce weed control with the use of bark mulch covers and pre-emergent herbicide applications, limit pruning and trimming time with self contained plant material varieties.

Suggested Legend

Symbol	Description	Remarks
	Landscape Boulder 3' Min. - 6' Max.	New Landscape Boulder / Individually Placed. To Be Light Color Quartzite Blend / Cut Edges
	Concrete Mowstrip 4"x6" Flat	Install In Straight Lines Or Curves & Flush To Curbs & Walks. Compact Sub-Grade To Minimum 95% Density.
	Stepping Pad 2'x2" Sandstone	Install Per Detail / Color To Match Or Contrast With Building Stucco Color

Suggested Sub-Grade Requirements

- LAWN AREAS** : Six (6) inches below finish grade. This will allow for the installation of a four inch depth of topsoil along with the sodding material, leaving it slightly below finish grade and hardscapes areas.
- SHRUB AREAS** : Twelve (12) inches below finish grade. This will allow for the installation of an eight inch depth of topsoil along with a three inch depth of bark mulch or natural rock, leaving it slightly below finish grade and hardscapes areas.

Landscape Area Calculations

TOTAL LANDSCAPE AREA	17,111 SQUARE FEET	100 %
TOTAL LAWN AREA	5,250 SQUARE FEET	31 %
TOTAL PLANTING AREA	11,861 SQUARE FEET	69 %
TOTAL PLANT MATERIALS	293 EACH	100 %
TOTAL EVERGREENS	118 EACH	40 %
TOTAL DECIDUOUS	175 EACH	60 %

Suggested Plant List (SHRUBS)

Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
22		<i>Buxus japonica 'Julia Jane'</i>	Julia Jane Boxwood	5 Gallon	18" - 24"
29		<i>Cytisus scoparius 'Moonlight'</i>	Moonlight Scotch Broom	5 Gallon	18" - 24"
7		<i>Euonymus alatus 'Compacta'</i>	Dwarf Burning Bush	5 Gallon	18" - 24"
14		<i>Mahonia aquifolium 'Compacta'</i>	Compact Oregon Grape	5 Gallon	15" - 18"
14		<i>Photinia fraserii</i>	Fraser's Photinia	5 Gallon	24" - 30"
2		<i>Physocarpus opulifolius 'Diablo'</i>	Diablo Ninebark	5 Gallon	18" - 24"
38		<i>Rhus aromatica 'Grow Low'</i>	Grow Low Sumac	5 Gallon	15" - 18"
19		<i>Spiraea japonica 'Neon Flash'</i>	Neon Flash Spiraea	5 Gallon	15" - 18"
11		<i>Taxus media 'Dark Green Spreader'</i>	Dark Green Spreading Yew	5 Gallon	18" - 24"
10		<i>Yucca filamentosa 'Ivory Tower'</i>	Ivory Tower Yucca	5 Gallon	15" - 18"

rdl Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone : 801-647-3114
Email : rdl@designcomcast.net



STAMP

Millcreek 9 Condominiums

3250 South 900 East
Salt Lake City, Utah

PROJECT:
DRAWN BY: RDL
CHECK BY: RDL
ISSUE DATE: 04-05-13
REVISIONS:

Conceptual Landscape Plan

SHEET NUMBER

L1.1



LOT LINES (PROPERTY)	
EXISTING CURB AND GUTTER	
PROPOSED CURB AND GUTTER	
PROPOSED LANDSCAPE AREA	
PROPOSED ASPHALT AREA	
PROPOSED CONCRETE AREA	

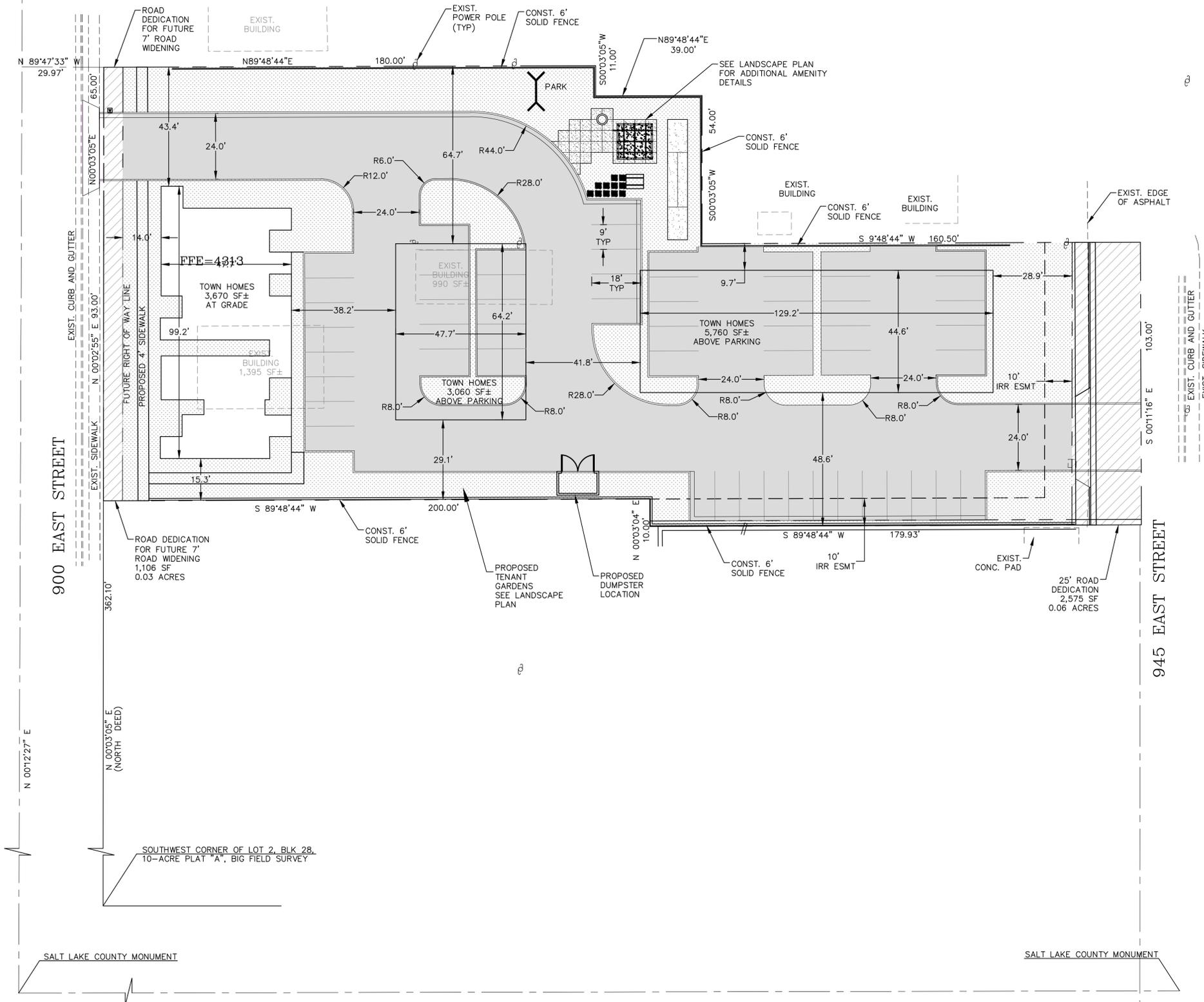
- NOTE:
1. ALL PARKING STALL AND DRIVE LANE DIMENSIONS ARE TO FACE OF CURB WHERE APPLICABLE
 2. ALL EXISTING CURB AND GUTTER TO REMAIN

SITE DATA

LOT AREA:	47,314 SF (1.08 ACRES)
BUILDING AREA (AT GRADE):	3,670 SF± 8%
PAVEMENT AREA:	26,533 SF± 56%
LANDSCAPE AREA:	17,111 SF± 36%

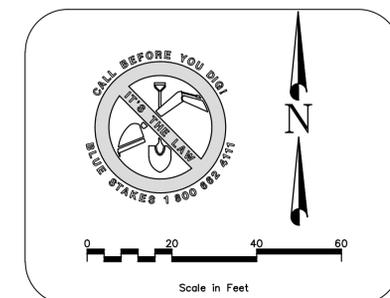
PARKING REQUIREMENTS:

24 UNITS
 2 STALLS PER UNIT + 8 ADDITIONAL = 56 STALLS



APPLICANT:

ADAM MAHER
 10138 S 460 W, STE 1
 S JORDAN, UT 84095
 OFFICE: 801-972-3838
 CELL: 801-244-5340



NO.	REVISIONS	BY	DATE

LEGEND ENGINEERING, LLC
 52 WEST 100 NORTH
 HERRON CITY, UT 84032
 PHONE: 435-664-4828
 TOLL FREE FAX: 1-866-310-9972
 www.legendengineering.com



MILLCREEK 9
SITE PLAN
 3250 South 900 East, Salt Lake City, UT

SHEET:
C-1
 FILE NAME: SCALE:
 MILLCREEK 9-A 1"=20'



801-580-0181

RPA
 RUSSELL PLATT ARCHITECTURE
 4141 HIGHLAND DRIVE SUITE 111
 HOLLADAY, UTAH 84117

**MILLCREEK 9
 3225 SOUTH 900 EAST**

DATE: 4-1-13

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-2



1 WEST BLDG WEST ELEVATION
 SCALE 1/16"=1'-0"

- PAINTED METAL
- CLEAR GLASS
- PARAPET HEIGHT
FIN. ELEV. 136'-0"
- FOURTH FLOOR LINE
FIN. ELEV. 127'-0"
- THIRD FLOOR LINE
FIN. ELEV. 118'-0"
- SECOND FLOOR LINE
FIN. ELEV. 109'-0"
- MAIN FLOOR LINE
FIN. ELEV. 100'-0"



2 EAST BLDG WEST ELEVATION
 SCALE 1/16"=1'-0"



3 WEST AND MIDDLE BLDG NORTH ELEVATION
 SCALE 1/16"=1'-0"

- PAINTED METAL
- CLEAR GLASS
- PARAPET HEIGHT
FIN. ELEV. 136'-0"
- FOURTH FLOOR LINE
FIN. ELEV. 127'-0"
- THIRD FLOOR LINE
FIN. ELEV. 118'-0"
- SECOND FLOOR LINE
FIN. ELEV. 109'-0"
- MAIN FLOOR LINE
FIN. ELEV. 100'-0"



4 WEST AND MIDDLE BLDG SOUTH ELEVATION
 SCALE 1/16"=1'-0"



5 EAST BLDG SOUTH ELEVATION
 SCALE 1/16"=1'-0"

- PAINTED METAL
- CLEAR GLASS
- PARAPET HEIGHT
FIN. ELEV. 136'-0"
- FOURTH FLOOR LINE
FIN. ELEV. 127'-0"
- THIRD FLOOR LINE
FIN. ELEV. 118'-0"
- SECOND FLOOR LINE
FIN. ELEV. 109'-0"
- MAIN FLOOR LINE
FIN. ELEV. 100'-0"



6 EAST BLDG NORTH ELEVATION
 SCALE 1/16"=1'-0"



801-580-0181

RPA
RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111
HOLLADAY, UTAH 84117

MILLCREEK 9
3225 SOUTH 900 EAST

DATE: 4-1-13

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE

RENDERINGS

SHEET NUMBER

A3



A VIEW LOOKING SOUTHEAST
SCALE NTS



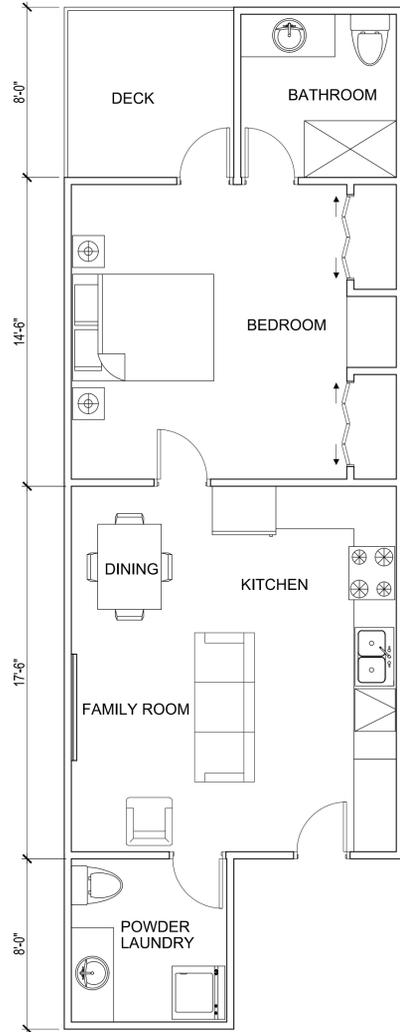
B VIEW LOOKING NORTHEAST
SCALE NTS



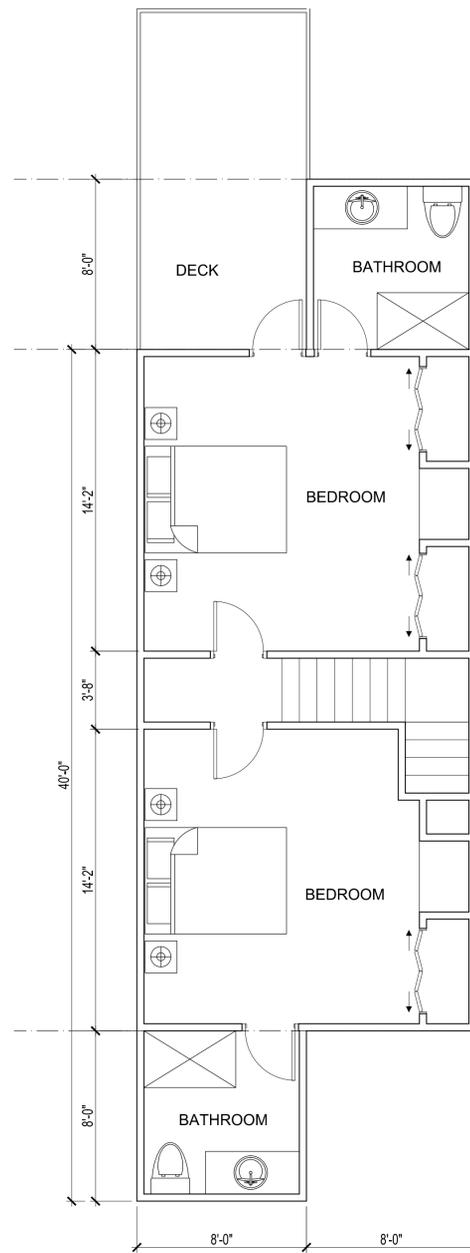
C VIEW LOOKING NORTHWEST
SCALE NTS



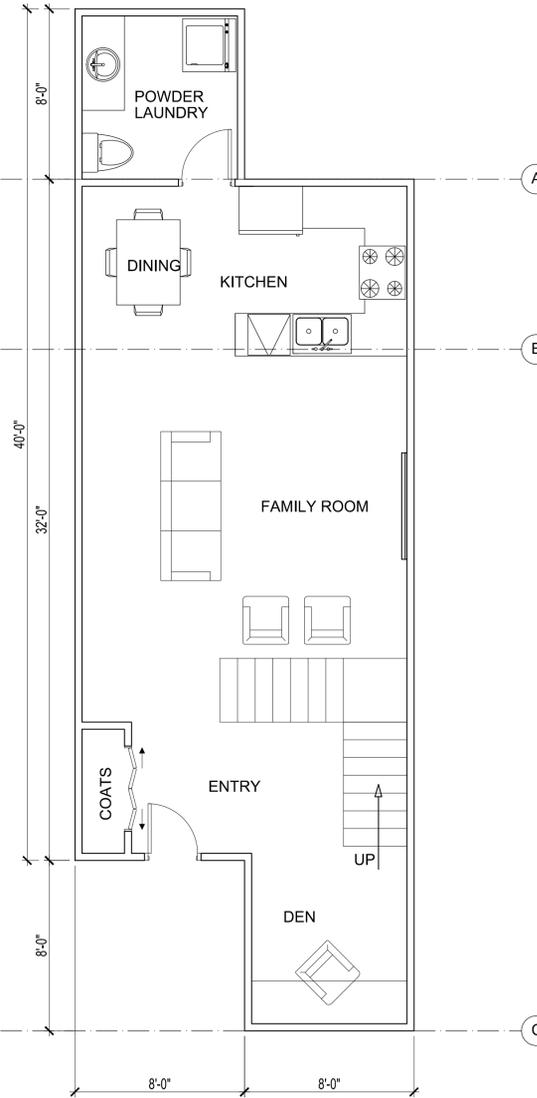
D VIEW LOOKING SOUTHWEST
SCALE NTS



FLOOR PLAN 1 BEDROOM
SCALE 1/4"=1'-0"



UPPER FLOOR 2 BEDROOM
SCALE 1/4"=1'-0"



MAIN FLOOR 2 BEDROOM
SCALE 1/4"=1'-0"



RPA
RUSSELL PLATT ARCHITECTURE
4141 HIGHLAND DRIVE SUITE 111
HOLLADAY, UTAH 84117
801-580-0181

**MILLCREEK 9
3225 SOUTH 900 EAST**

DATE: 1-9-13

REVISIONS:

NO.	DATE	REVISIONS

SHEET TITLE

FLOOR PLANS

SHEET NUMBER

A-1



STAFF REPORT

Executive Summary					
Hearing Body:	Millcreek Township Planning Commission				
Meeting Date and Time:	Wednesday, May 15, 2013	04:00 PM	File No:	2	8 3 5 7
Applicant Name:	Ty Vranes	Request:	Subdivision		
Description:	The Bungalows on 1100 East - 3-lot subdivision - 2 standard lots & 1 flat lot				
Location:	3589 & 3605 South 1100 East				
Zone:	R-1-8 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Planning Commission Rec:	Not Yet Received				
Community Council Rec:	Not Applicable				
Staff Recommendation:	Approval with Conditions				
Planner:	Spencer G. Sanders				

1.0 BACKGROUND

1.1 Summary

1.1.1 Proposal

The applicant is requesting approval of a three lot subdivision called, The Bungalows on 1100 East. The individual lot information is as follows:

Lot 1: Corner Lot, 11,386 square feet; 0.261 acres; accessed from 1100 E. or 3580 S.

Lot 2: Flag Lot; 14,185 square feet; 0.326 acres; accessed by 20-foot wide private driveway from 1100 East.

Lot 3: Standard Interior Lot - 9,800 square feet; 0.225 acres; accessed from 1100 East.

1.1.2. Property Info

Zoning: R-1-8, Residential, Single-family 8,000 square feet minimum lot size.

Property Size: 0.809 acres; approximately 35,240 square feet.

Existing Street Improvements:

1100 East: Curb, gutter and sidewalk to and including intersection.

3580 South: Rolled curb no sidewalk.

1.2 Hearing Body Action

This item is on the Millcreek Township Planning Commission Agenda for approval of the Preliminary Plat.

1.3 Neighborhood Response

As of this writing staff has not received any comments from the from the surrounding neighborhood residents.

1.4 Community Council Response

According to Salt Lake County Ordinance, standard subdivisions are not subject to Community Council review.

2.0 ANALYSIS

2.1 Applicable Ordinances

2.1.1. Minimum Lot Size - The proposed lots comply with the following requirements.

Standard Lots: 8,000 square feet;

Flag Lots: 12,000 square feet

2.1.2. Minimum Lot Width: 65 feet at 25-foot setback. The proposed lots comply with this requirement.

2.1.3. Minimum Setbacks: The existing structures comply with the setbacks indicated below. Future structures should be able to easily comply with these requirements as well.

Corner Lot: Front - 25 feet; Street Side - 20 feet; Side (RCOZ minimum) - 8 feet; Rear - 15 feet.

Standard Interior Lot: Front 25 feet; Side (RCOZ minimum & 25% of lot width) - 8 feet; Rear - 15 feet.

Flag Lot: 20 feet on all around.

2.1.4. Residential Compatibility Overlay Zone (RCOZ) - In addition to the setback requirements noted above, new homes and accessory structures on the proposed new lots will be subject to the RCOZ ordinance requirements, including, but not limited to building height, setbacks, lot coverage, building envelope, mass and scale, etc. A note to this affect will be required to be placed on the Final Plat.

2.1.5. Flag Lot Access - The proposed subdivision complies with this flag lot requirement.

Minimum Right-of-way Width: 20 feet wide with minimum

Minimum Pavement Width: 16 feet wide all-weather surface (8" compacted road base, asphalt may be added or the driveway may be concrete.

Turnaround: The proposed access driveway is short enough that it is not required to have an emergency vehicle turn-around, just sufficient turn around space for standard passenger vehicles and trucks to get turned around before exiting the property. The turnaround space will be verified with each building permit.

2.1.6. Easements - Utility easements and possibly drainage easement will be necessary to show on the final plat. These are determined by the utility companies and county staff during the Technical Review process.

2.2 Other Agency Recommendations or Requirements

2.2.1. Transportation

Dedication: No additional public right-of-way dedication is required as of this writing. The Transportation Engineer will confirm this during the Technical Review process. If additional dedication is required, the lots will likely be somewhat reduced in lot area. The lots cannot go below the minimum lot size required. However, the current proposed lots exceed the minimum lot requirements; therefore, it is unlikely that additional dedication, if required, will reduce the number of lots.

Access to Lots: Access to Lots 1 and 3 (the front base lots) is proposed to be from the private access driveway. This reduces access points along 1100 East thus improving safety. The Transportation Engineer will determine if this is appropriate during the Technical Review process. If required, the proposed easement for this access will need to be included on the Final Plat.

2.2.2. Grading

Final Grading and Drainage Plan: A final grading and drainage plan will be required with Technical Review, prior to issuance of the final Preliminary Plat by staff.

Geotechnical Reports: The subject property is located in a moderate liquefaction zone. A geotechnical report, with a soils analysis, will likely be required with the building permit for each new home, requiring the construction of each home to follow the report's recommended structural and construction measures. Final determination of this requirement occurs during the Technical Review process. If a geological report is required for each new home, a note to this affect will be required on the Final Plat.

2.2.3. Platting

Preliminary Plat - The applicant will need to complete the Technical Review with staff, satisfying all applicable requirements prior to issuance of the final Preliminary Plat Approval.

Final Plat - Once a final Preliminary Plat approval is issued the applicant will need to complete the Final Plat approval with staff.

2.3 Other Issues

2.3.1. Existing Structures - The existing structures on the site comply with setback requirements. Therefore, they are not required to be removed prior to platting.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

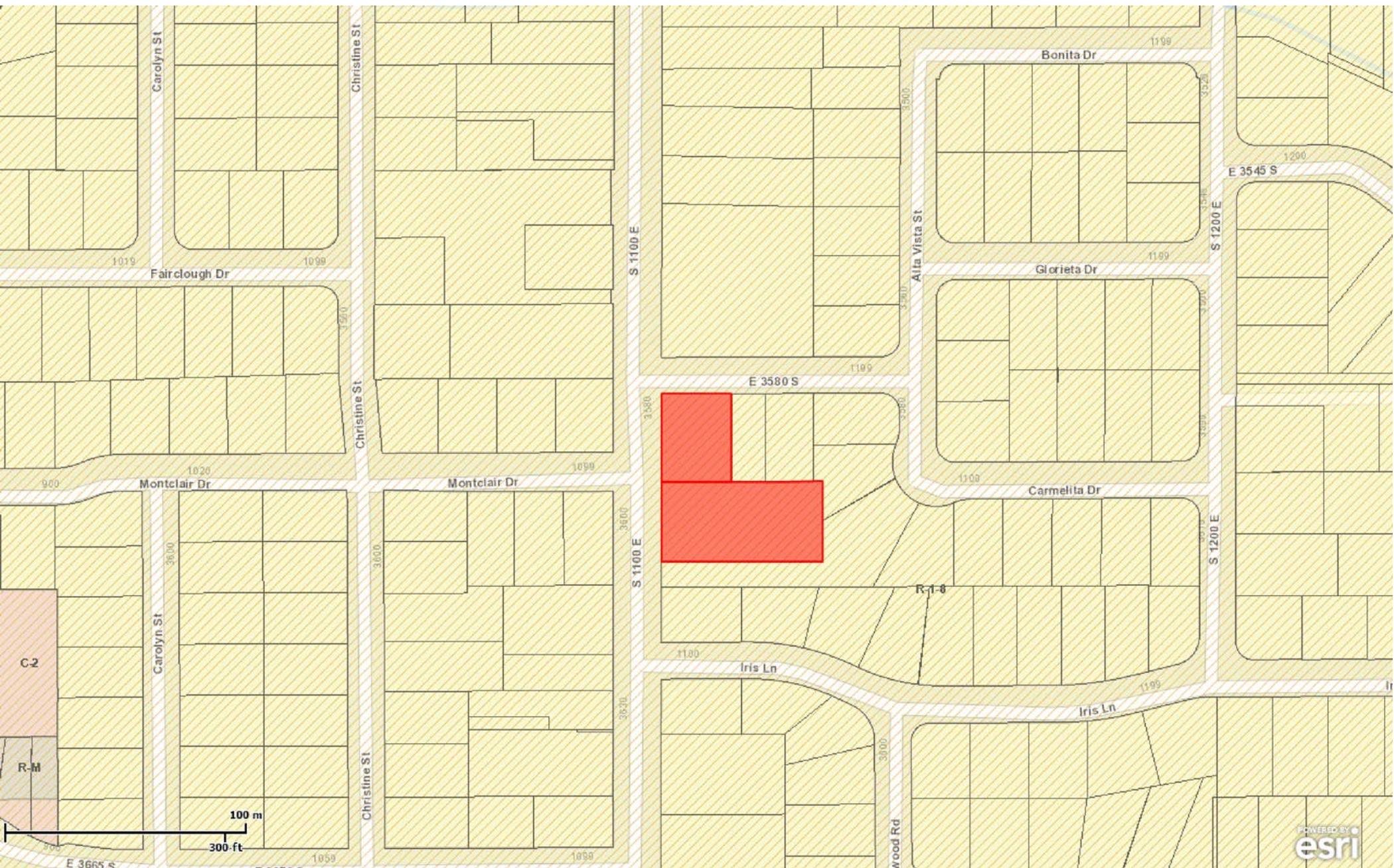
- 1) The applicant complete the Preliminary and Final Plat processes with Staff, complying with all applicable requirements.

3.2 Reasons for Recommendation

- 1) The proposed subdivision complies with applicable subdivision and zoning requirements.

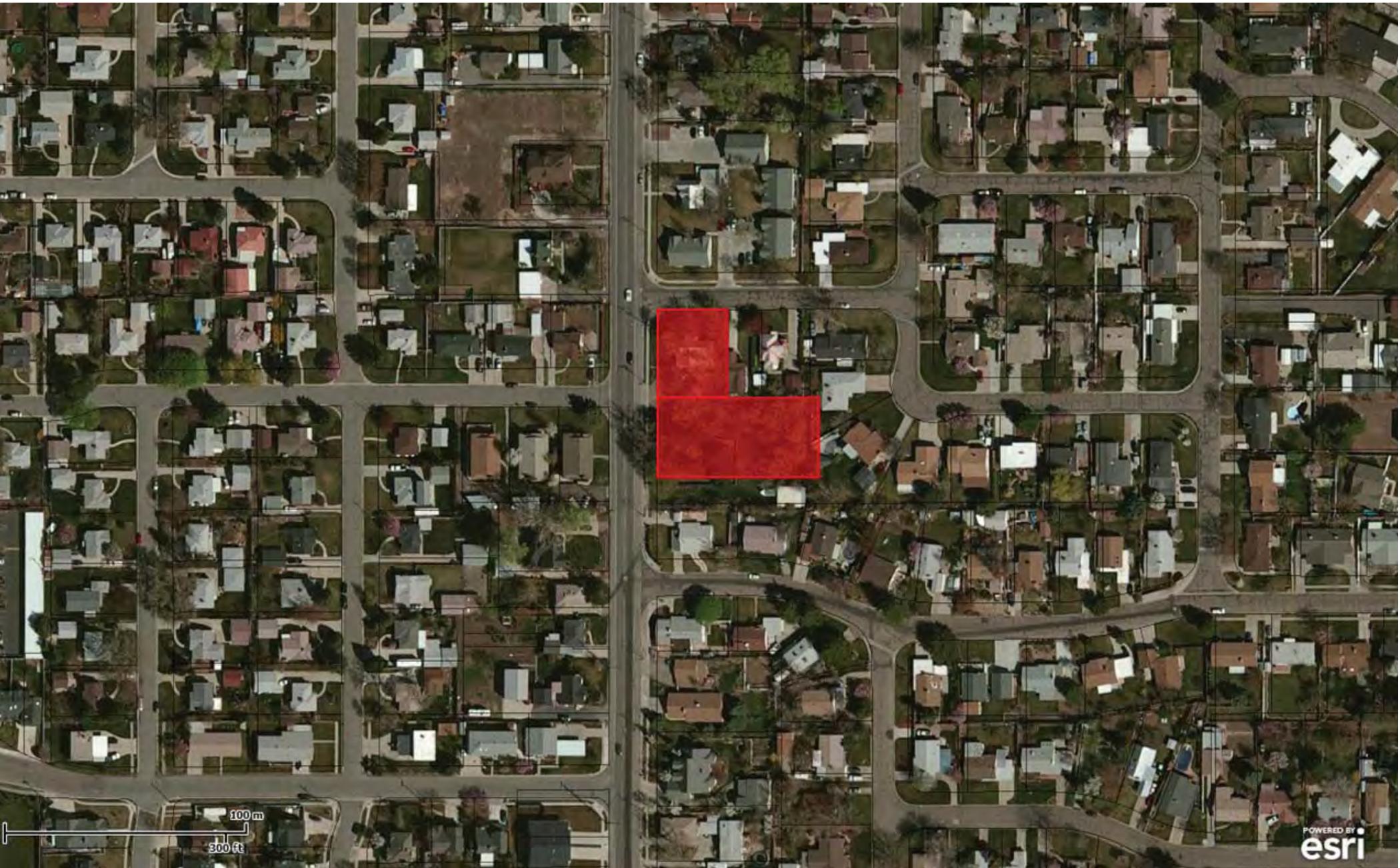
28357 The Bungalows on 1100 E

Proposed 3-lot Subdivision 3605 S 1100 E



28357 The Bungalows on 1100 E

Proposed 3-lot Subdivision 3605 S 1100 E



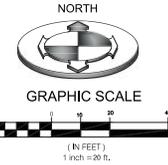
28357 The Bungalows on 1100 E

Proposed 3-lot Subdivision 3605 S 1100 E

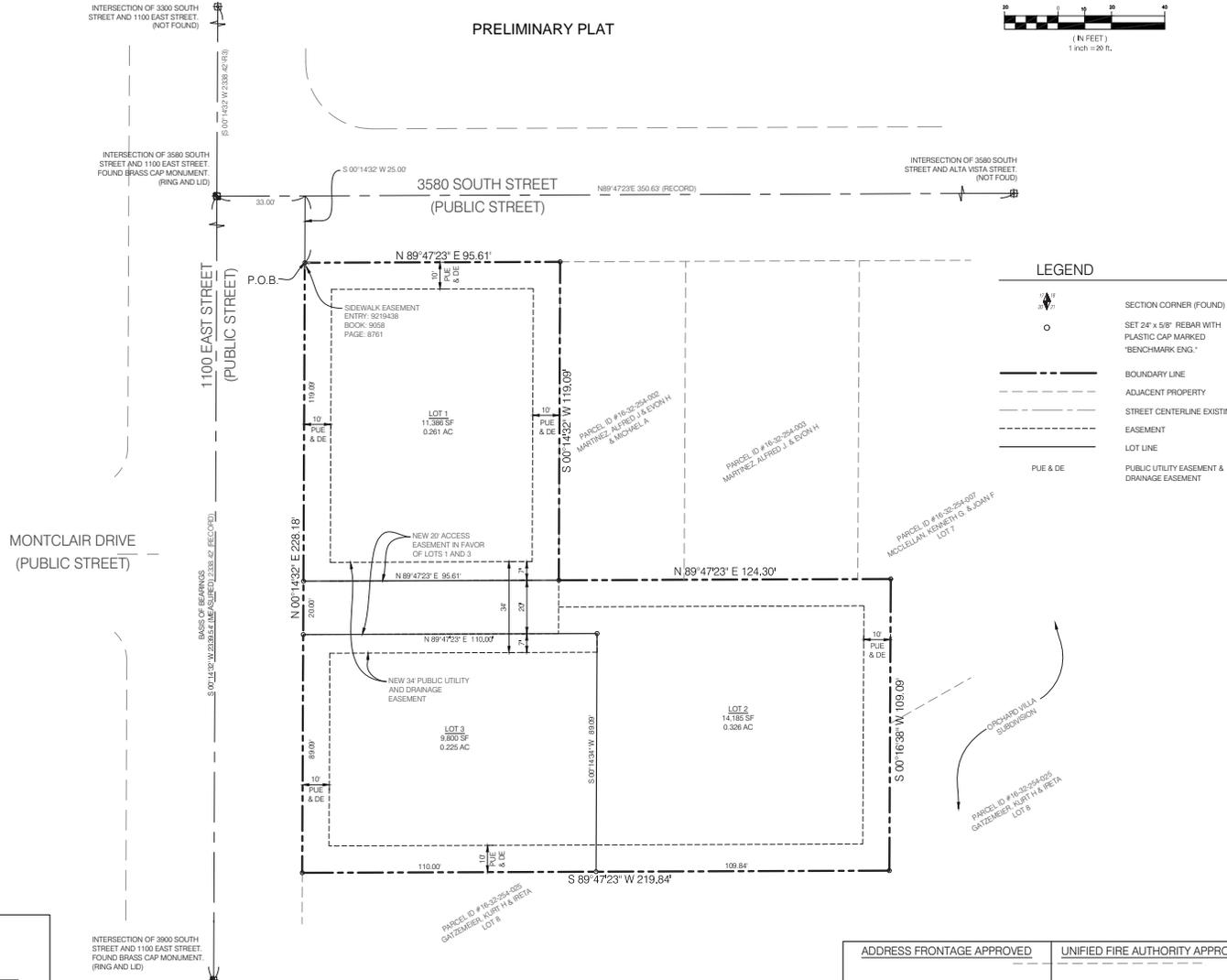


THE BUNGALOWS ON 1100 EAST SUBDIVISION

LOCATED IN LOT 5, BLOCK 22, 10-ACRE PLAT "A", BIG FIELD SURVEY
ALSO LOCATED IN THE NORTHEAST QUARTER OF SECTION 32,
TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN



PRELIMINARY PLAT



LEGEND	
	SECTION CORNER (FOUND)
	SET 24" x 5/8" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."
	BOUNDARY LINE
	ADJACENT PROPERTY
	STREET CENTERLINE EXISTING
	EASEMENT
	LOT LINE
	PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
	PUE & DE

SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103581 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC, HAS BEEN FILED AS #2010-05-0097 IN THE SALT LAKE COUNTY SURVEYORS OFFICE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

THE BUNGALOWS ON 1100 EAST SUBDIVISION

BOUNDARY DESCRIPTION

A TRACT OF LAND LOCATED WITHIN LOT 5, BLOCK 22, 10-ACRE PLAT "A", BIG FIELD SURVEY, ALSO BEING LOCATED WITHIN THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 00°14'32" WEST 25.00 FEET FROM THE NORTHWEST CORNER OF SAID LOT 5, SAID POINT ALSO BEING NORTH 89°47'23" EAST 33.00 FEET AND SOUTH 00°14'32" WEST 25.00 FEET FROM THE MONUMENT MARKING THE INTERSECTION OF 3580 SOUTH STREET AND 1100 EAST STREET, SAID POINT ALSO BEING THE INTERSECTION OF THE EAST RIGHT-OF-WAY LINE OF 1100 EAST STREET AND THE SOUTH RIGHT-OF-WAY LINE OF 3580 SOUTH STREET, AND RUNNING THENCE NORTH 89°47'23" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF 3580 SOUTH STREET 95.61 FEET; THENCE SOUTH 00°14'32" WEST 119.09 FEET; THENCE NORTH 89°47'23" EAST 124.30 FEET TO THE WEST LINE OF ORCHARD VILLA SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER; THENCE SOUTH 00°16'38" WEST ALONG SAID WEST LINE 109.09 FEET; THENCE SOUTH 89°47'23" WEST 219.84 FEET TO THE EAST RIGHT-OF-WAY LINE OF 1100 EAST STREET; THENCE NORTH 00°14'32" EAST ALONG SAID EAST LINE 228.18 FEET TO THE POINT OF BEGINNING.

CONTAINS 35,371 SQUARE FEET
0.812 ACRES, MORE OR LESS
3 LOTS



FOR REVIEW ONLY

OWNERS DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE:

THE BUNGALOWS ON 1100 EAST SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, IN WITNESS WHEREOF I HAVE HEREUNTO SET
 THIS _____ DAY OF _____ A.D. 20____

ACKNOWLEDGMENT

STATE OF UTAH } S.S.
 County of Salt Lake

ON THE _____ DAY OF _____ A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE, IN SAID STATE OF UTAH, THE SIGNER(S) OF THE ABOVE OWNERS DEDICATION, IN NUMBER WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
 RESIDING IN SALT LAKE COUNTY

THE BUNGALOWS ON 1100 EAST SUBDIVISION

LOCATED LOT 5, BLOCK 22, 10-ACRE PLAT "A", BIG FIELD SURVEY

SHEET 1 OF 1

RECORD OF SURVEY
 RSC NO.: S-_____
 SIGNED _____ DATE _____

INTERSECTION OF 3580 SOUTH STREET AND 1100 EAST STREET. FOUND BRASS CAP MONUMENT. (RING AND LID).

BENCHMARK ENGINEERING & LAND SURVEYING
 9130 SOUTH STATE STREET SUITE # 100
 SANDY, UTAH 84070 (801) 542-7192
 www.benchmarkcivil.com
 DATE: 07/21/2011

CHECKED FOR ZONING COMPLIANCE

ZONE: _____ LOT AREA: _____
 LOT WIDTH: _____ FRONT YARD: _____
 SIDE YARD: _____ REAR YARD: _____

SIGNED _____ DATE _____

HEALTH

APPROVED THIS _____ DAY OF _____ A.D. 20____

SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE SALT LAKE COUNTY PLANNING COMMISSION.

SALT LAKE COUNTY PLANNING COMMISSION

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

PLAN REVIEW SECTION MANAGER _____ DATE _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____

SALT LAKE COUNTY DISTRICT ATTORNEY _____

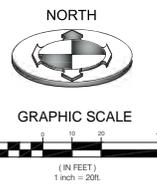
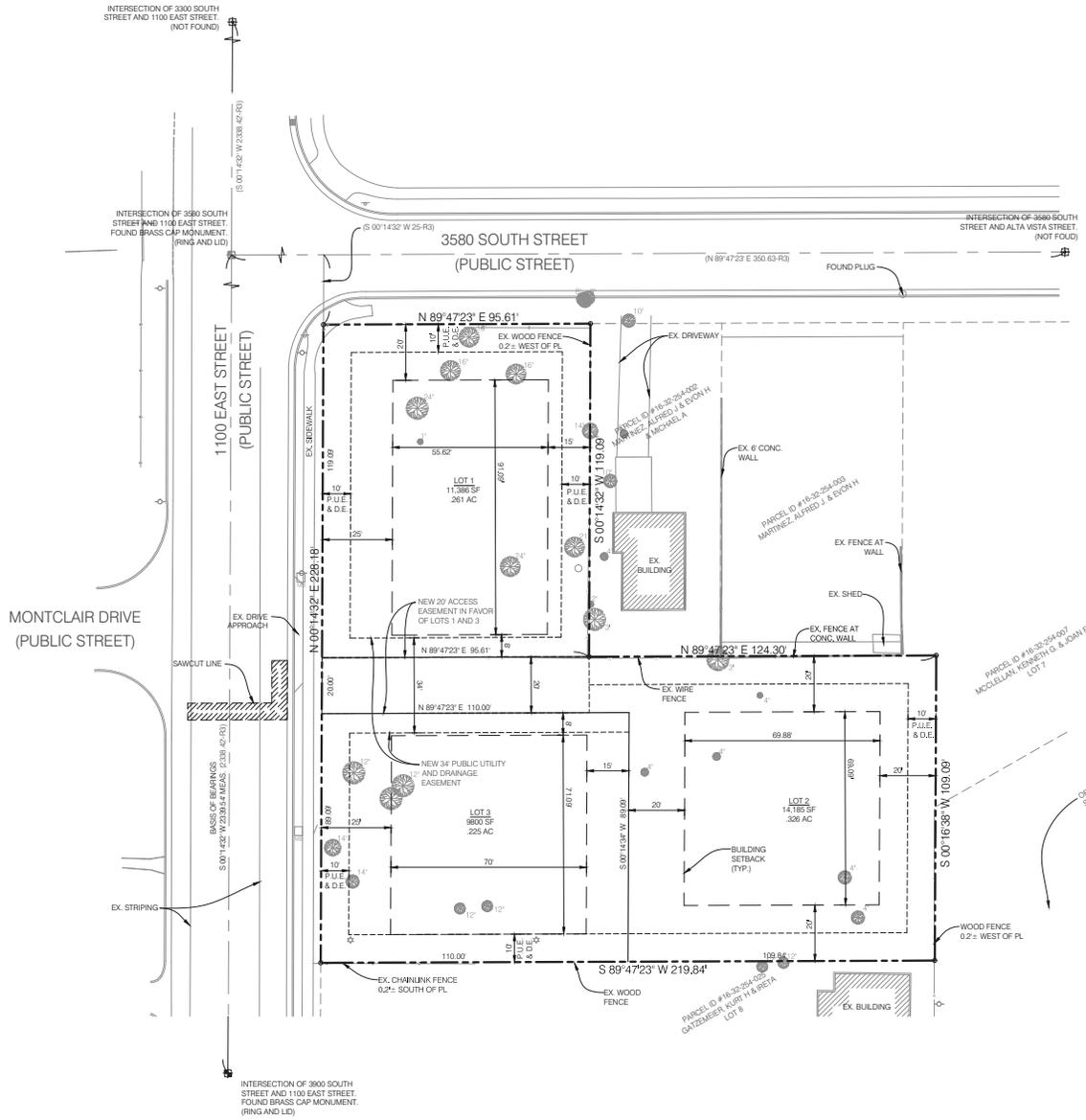
MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR OR DESIGNEE _____

SALT LAKE COUNTY RECORDER

RECORDED # _____
 DATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____ TIME _____ BOOK _____ PAGE _____
 FEE \$ _____
 SALT LAKE COUNTY RECORDER _____



NOTE:
 1. LOCATION OF NEW DRIVE APPROACHES TO BE DETERMINED DURING BUILDING PERMIT SUBMITTAL AFTER HOMES HAVE BEEN DESIGNED AND LOCATIONS ON LOTS HAVE BEEN DETERMINED.

PROJECT NO.	DATE	DESCRIPTION
1302023006	03/10/13	PRELIMINARY SURVEY FOR RESIDENTIAL SUBDIVISION
CLIENT	DATE	PROJECT
FRANCO	03/10/13	1302023006
DESIGNER	DATE	PROJECT
DALE P. BENNETT	03/10/13	1302023006



BENCHMARK ENGINEERING & LAND SURVEYING
 LAND SURVEYING & CIVIL
 SANDY, UTAH 84070 (801) 942-5102
 www.benchmark.com

THE BUNGALOWS ON 1100 EAST SUB. VP HOMES
 3589 S 1100 E & 3605 S 1100 E
 SALT LAKE COUNTY, UTAH

CALL BEFORE YOU DIG. IT'S FREE & IT'S THE LAW!
 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER
 1-800-662-4111
 www.bluestakes.org

PROJECT NO. 1302023
SITE PLAN
 CSP.01
 4 OF 8



STAFF REPORT

Please note that this application will not be heard at the May 15th meeting. It has been postponed to the Commission's June 12, 2013 meeting.

Executive Summary									
Hearing Body:	Millcreek Township Planning Commission								
Meeting Date and Time:	Wednesday, May 15, 2013	04:00 PM	File No:	2	8	3	6	8	
Applicant Name:	Steve Davies & Rick Plewe	Request:	Conditional Use						
Description:	8-lot Single-Family Planned Unit Development Subdivision								
Location:	3548 South Honeycut Road (1850-1860 East)								
Zone:	R-1-10 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Not yet received								
Staff Recommendation:	Not yet received								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1. Proposal - The following is a summary of the proposed project. This report does not contain an analysis of the project's compliance with applicable regulations and ordinances since the project is still under review and the applicant has requested the project be postponed to the Millcreek Township Planning Commission's June 12th meeting. The information provided here and the plans attached are to familiarize the Commission and the Public of the proposal in advance of the June meeting where the project will be formally reviewed.

Type of PUD - Single-Family PUD Subdivision

Number of Units/Lots & Density - 8 Lots on 2.21 acres = 3.6 dwelling units per acre

Lot Sizes - Range approximately 4,800 to 7,400 square feet; 0.110 to 0.169 acres

Minimum Setbacks - Plans are not yet dimensioned the following is estimated by scale:

Development Boundary

- From Honeycut Rd. - 15 feet
- From the South Property Line - 10 to 20+ feet
- North then Property Line - 75 to 100 feet
- From the West Property Line - 20+ feet

Interior

- Front - 10 feet
- Sides - 5-6 feet on one side; 30+ feet on shared driveway sides
- Rear - From South Property line 10-20 feet; From Open Space 10 -15 feet

Relational Facilities

Creek Area (26,048 square feet/0.59 acres) - Encompasses the creek a significant portion of the 100 year (or 1%) floodplain boundary. To be preserved as passive open space with a possible gazebo on the north side of the creek accessed by an existing bridge that will be upgraded to meet all requirements.

Playground (1,000 square feet/0.023 acres) - Play Structure details not yet provided

Open Space - Total of 27,048 sq. ft. or 0.621 acres in dedicated open space; and

Typical Architecture - See attached elevations. Essentially 1-1/2 to 2 stories with some units along the creek having basement walk-outs if feasible with flood hazard requirements.

Private Street - (Proposed Name - Honeycut Cove)

Gated - Applicant has indicated that the property would be gated, but this is not currently showing on the plans.

Internal 25-foot wide Private Right-of-way owned in common (not part of the lots).

Cross Section Improvements - 2.5 feet curb and gutter on each side; 4-foot wide integral sidewalk along the north side; 16 feet wide asphalt. Available drive surface width including the gutter is approximately 18 to 19 feet wide.

Public Street - Honeycut Rd

Dedication - No additional dedication proposed.

Right-of-Way width - 50 feet.

Cross Section/Improvements - Applicant proposes to add Sidewalk and park-strip in the public right-of-way in front of the subject property

Parking

2 spaces in the garage of each home (16 spaces);

2 spaces in each shared driveway (6 spaces);

2 spaces in the un-shared driveways (4 spaces);

2 paces at end of each leg of emergency vehicle turnaround (4 spaces)

Total 30 spaces = 3.75 parking spaces per dwelling.

1.1.2. Property Info

Zoning - Subject property and surrounding area is zoned R-1-10, Residential, Single-Family, 10,000 square foot minimum lot size for a standard subdivision.

Surrounding Land Use - The primary use around the area is Single-Family Residential homes.

Property Size - The subject property is 2.21 acres according Salt Lake County Tax assessment records.

Existing Improvements

There is an existing home and residential pool on the site that are proposed to be removed.

Honeycut Rd. is paved with curb and gutter on the east side. Curb, gutter or sidewalk does not exist on the west side adjacent to the subject property. Subdivision Regulations require curb, gutter, sidewalk and park strip be installed along the frontage of the subject property with subdivision approval

1.2 Hearing Body Action

1.1.1. As of this writing, a number of neighbors were in attendance at the East Mill Creek Community Council Meeting held on May 2, 2013. The majority of the residents present were opposed to the proposal. Some of the issues cited are as follows:

- 1) Too dense;
- 2) Increased traffic on a small residential street;
- 3) Increased traffic conflicts with cars exiting and entering the subject property;
- 4) Insufficient on-site parking;
- 5) Inappropriate on-street parking due to narrow shoulder on both sides of street;
- 6) Safety issues with pedestrians along the street, especially children passing through the area on their way two and form school;
- 7) Resulting lots and home sizes inconsistent with the surrounding neighborhood;
- 8) Contamination and sedimentation of the creek;
- 9) Increased flooding issues for up and down stream property owners.

1.3 Neighborhood Response

Thursday, May 2, 2013, the East Millcreek Community Council reviewed this application taking over 1-1/2 hours testimony from residents, the applicant and staff. At the end of the public input portion of the meeting, the Council voted to continue the proposed application to their June 6th meeting and requested the Millcreek Township Planning Commission continue their review of the application for one month to give the Community Council more time to review the proposal and make a recommendation.

1.4 Community Council Response

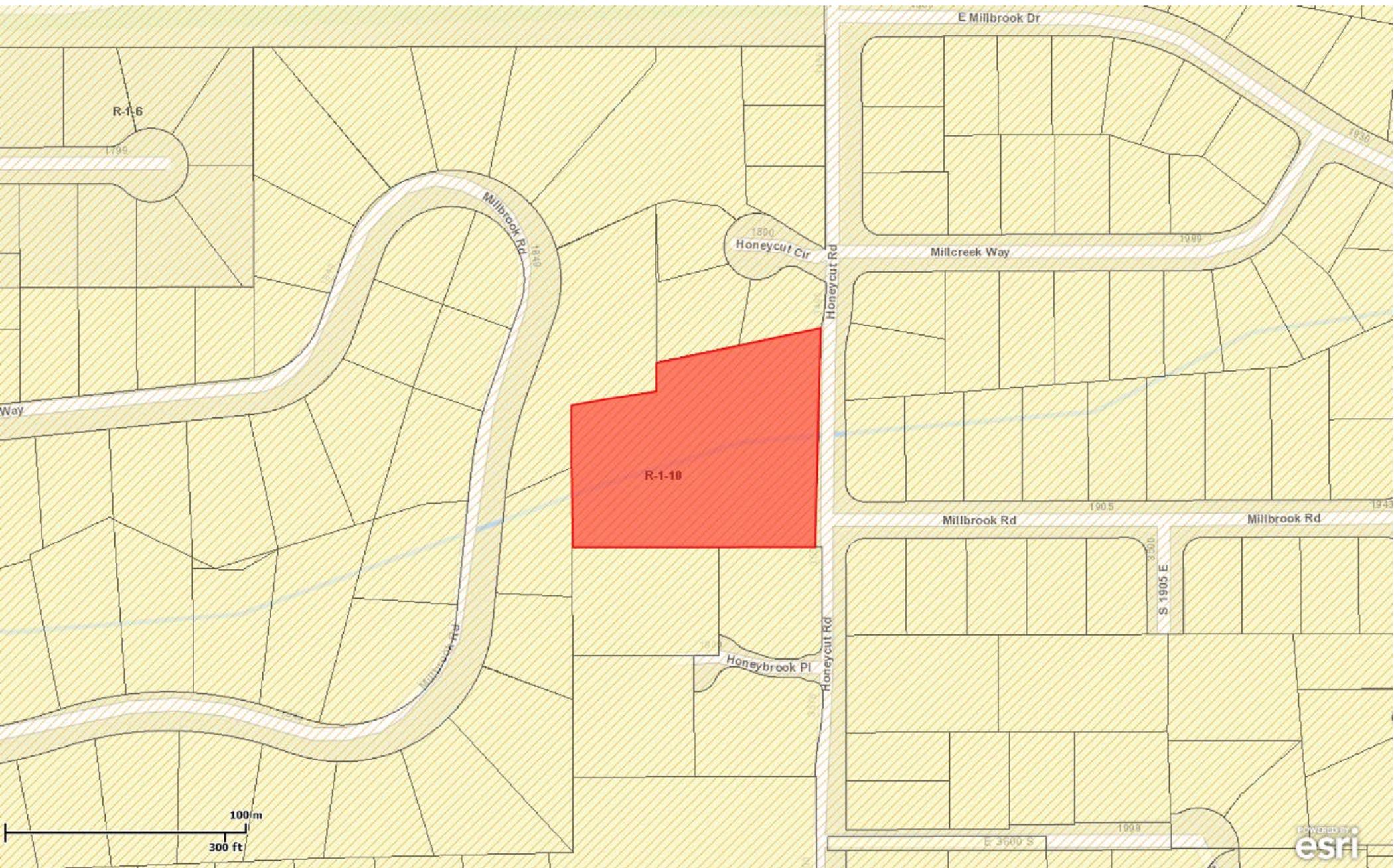
The application was originally scheduled for the Planning Commission's May 15th meeting for consideration and decision. However, based on the Community Council's request for continuance, the applicant chose to postpone the application to the Commission's June 12th meeting in order to meet with the neighbors and the East Mill Creek Community Council again before going before the Planning Commission for final action. Therefore, this application has been postponed at the applicants request and will not be heard at the May 15th meeting, but is currently schedule for the Commission's regularly scheduled June 12th meeting.

2.0 ANALYSIS

Since this application has been postponed from the May 15th Planning Commission meeting, the analysis of the project has not yet been completed. Analysis of the proposal and recommendations from Staff will be provided in the Commission's June 12th Packet.

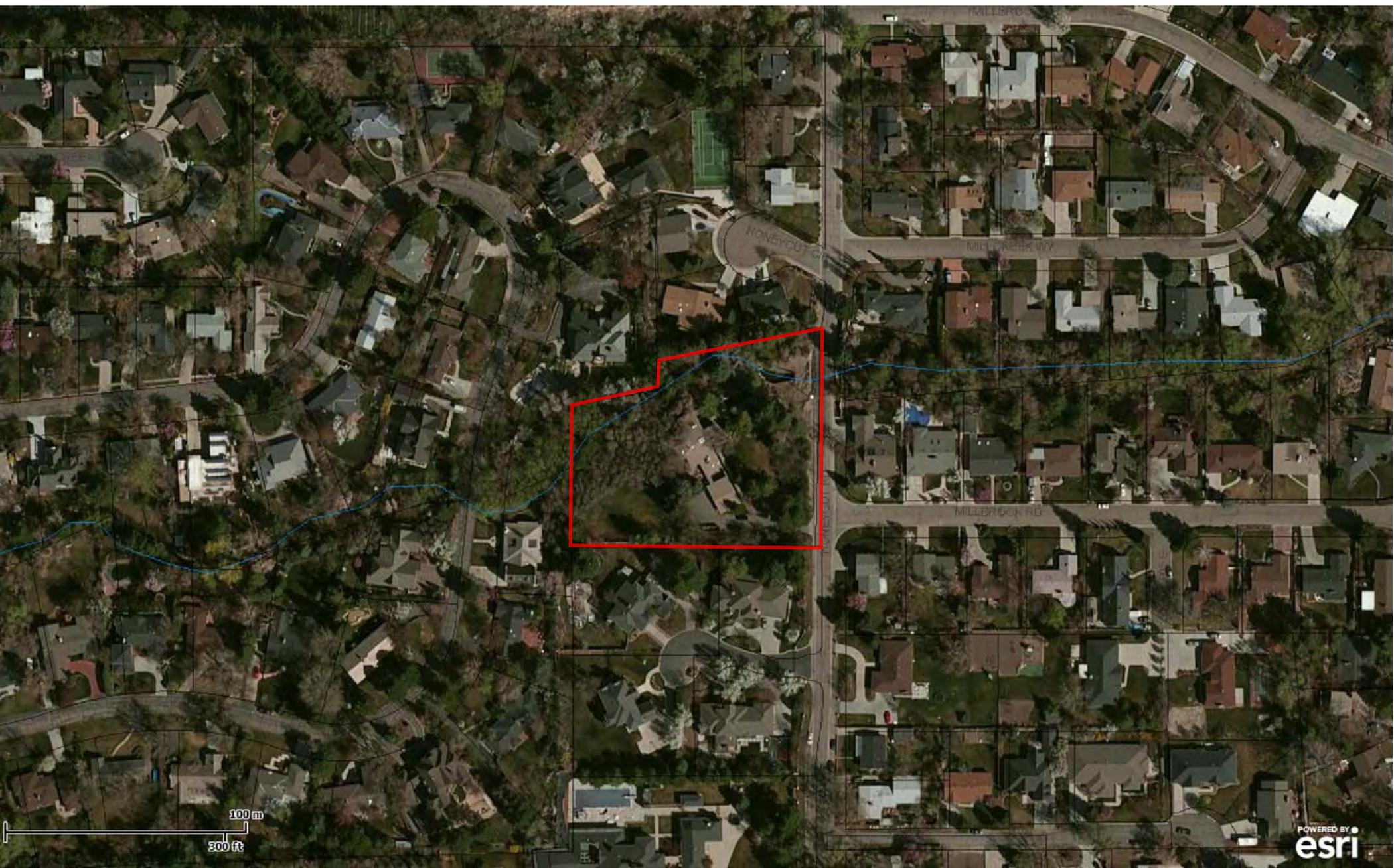
28368 Creekside at Honeycut PUD

Conditional Use/PUD/Subdivision - Steve Davies



28368 Creekside at Honeycut PUD - Aerial

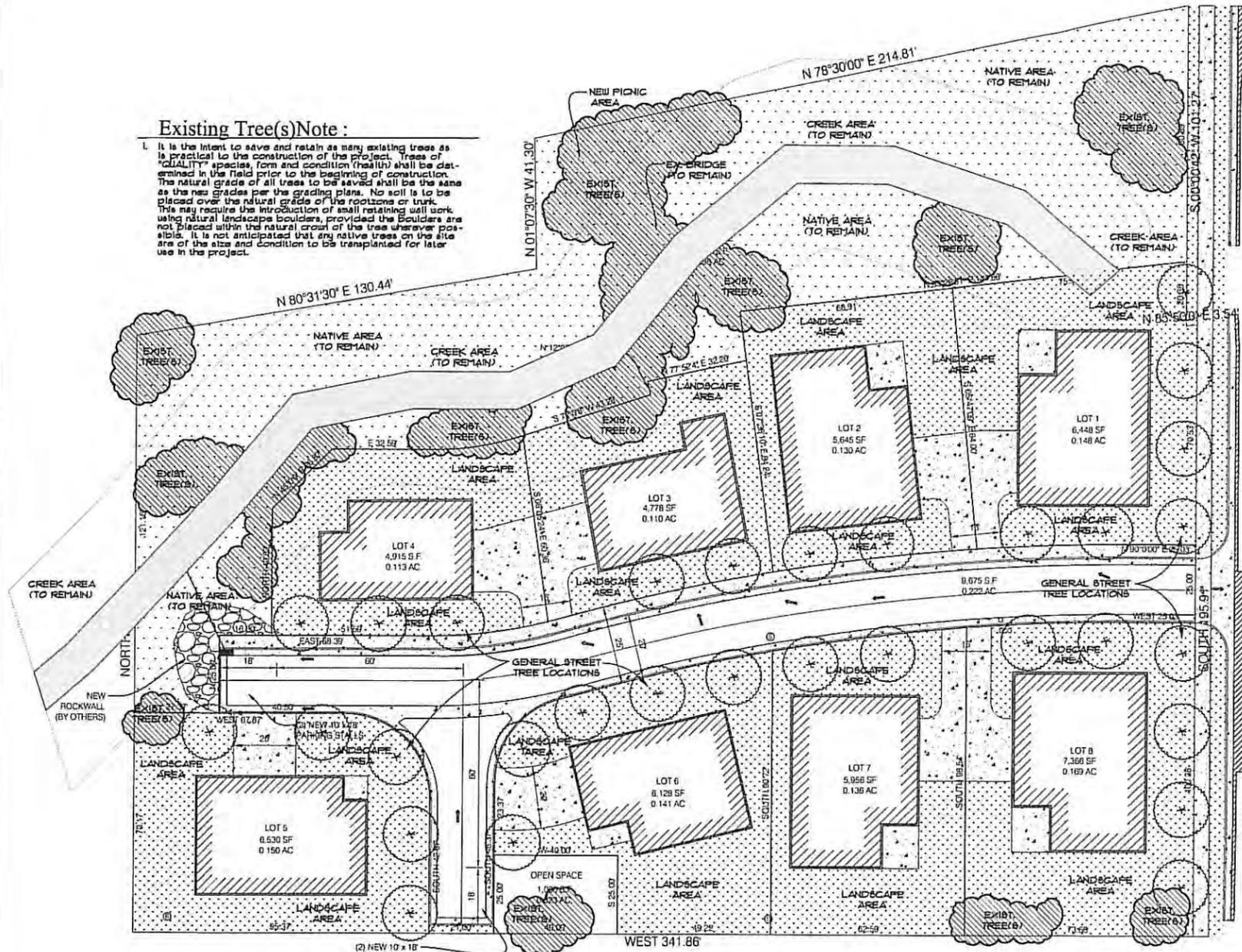
Conditional Use/PUD/Subdivision - Steve Davies



Thu May 2 2013 05:05:08 PM.

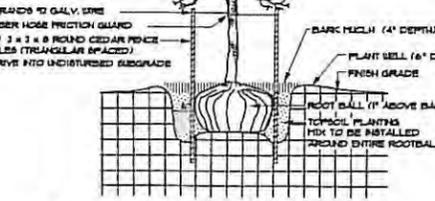
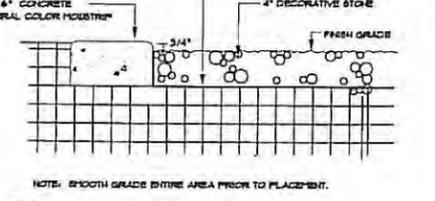
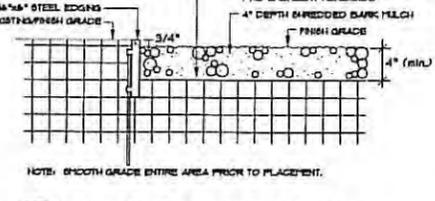
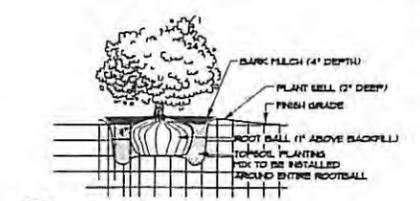
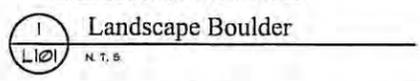
Existing Tree(s) Note:

It is the intent to save and retain as many existing trees as is practical to the construction of the project. Trees of "QUALITY" species, form and condition (health) shall be determined in the field prior to the beginning of construction. The natural grade of all trees to be saved shall be the same as the new grades per the grading plans. No soil to be placed over the natural grade of the rootzone or trunk. This may require the introduction of small retaining wall work using natural landscape boulders, provided the boulders are not placed within the natural crown of the tree wherever possible. It is not anticipated that any native trees on the site are of the size and condition to be transplanted for later use in the project.



Legend

Symbol	Description	Remarks
[Dotted Pattern]	Existing Native Vegetation To Remain / Cleaned Up	Provide All Necessary Clean Up Of Vegetation, Including Minor Trimming Of Any Damaged Branching, Etc. Due To Construction Operations.
[Stippled Pattern]	New Landscaped Area - Either Lawn Or Shrub, Etc. Plantings	New Landscaped Areas To Be More Defined With Final Submittal Drawings. Proposed Lawn Areas Shall Not Exceed 50% Of The Total Amount Of Site Landscaped Areas.
[Star Symbol]	Proposed Trees Along Street Frontage And Entry Roadways	New Trees / Exact Species To Be Determined When Final Landscape Plan Is Submitted. No One Species Shall Make Up More Than 25% Of The Total Required Trees For The Site.



Suggested Plant List (TREES)

#H2O	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
2-Med	NA	[Symbol]	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	2\"/>	
2-Med	NA	[Symbol]	Picea abies 'Cupressina'	Cupressina Columnar Spruce	6\"/>	
2-Med	NA	[Symbol]	Fagus corymbosa 'Chanticleer'	Chanticleer Flowering Pear	2\"/>	
2-Med	NA	[Symbol]	Tilia tomentosa 'Sterling Silver'	Sterling Silver Linden	2\"/>	
2-Med	NA	[Symbol]	Zelcova serrata 'Musashino'	Musashino Columnar Zelcova	2\"/>	

Suggested Plant List (SHRUBS)

#H2O	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1-Med	NA	[Symbol]	Cornus alba 'Ivory Halo'	Variiegated Red Dogwood	5 Gallon	18\"/>
1-Low	NA	[Symbol]	Physocarpus opul. 'Summer Wine'	Summer Wine Ninebark	5 Gallon	18\"/>
1-Low	NA	[Symbol]	Rhus aromatica 'Groes Low'	Groes Low Sumac	5 Gallon	18\"/>
2-Med	NA	[Symbol]	Rosa species 'Knockout Red'	Red Knockout Rose	5 Gallon	18\"/>
2-Med	NA	[Symbol]	Epiraea japonica 'Little Princess'	Little Princess Spiraea	5 Gallon	15\"/>
2-Med	NA	[Symbol]	Epiraea japonica 'Neon Flash'	Neon Flash Spiraea	5 Gallon	15\"/>
0-Low	NA	[Symbol]	Yucca filamentosa 'Golden Sword'	Golden Sword Yucca	5 Gallon	15\"/>

Suggested Plant List (GRASSES/PERENNIALS)

#H2O	Quan.	Symbol	Botanical Name	Common Name	Size	Remarks
1-Low	NA	[Symbol]	Calamagrostis s. 'Karl Foerster'	Karl Foerster Feather Grass	5 Gallon	24\"/>
1-Low	NA	[Symbol]	Calamagrostis scutiflora 'Overdam'	Overdam Feather Grass	5 Gallon	24\"/>
1-Low	NA	[Symbol]	Festuca ovina 'Boulder Blue'	Boulder Blue Fescue	2 Gallon	12\"/>
2-Med	NA	[Symbol]	Hemerocallis x. 'Stella d'Oro'	Stella d'oro Day Lily	2 Gallon	12\"/>
1-Low	NA	[Symbol]	Panicum virgatum 'Shanandoah'	Shanandoah Switch Grass	5 Gallon	24\"/>
0-Low	NA	[Symbol]	Pennisetum alopecuroides 'Hemeln'	Hemeln Dwarf Fountain Grass	2 Gallon	12\"/>

** Plant material quantities are provided for convenience ONLY. The contractor shall supply all items specified, whether shown or noted on the drawings.

Suggested Planting Notes

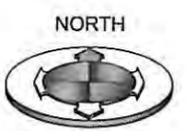
- All shrub planting areas shall receive an 8 inch depth of topsoil, all lawn areas a 4 inch depth of topsoil. Topsoil is not available at the site, and must be imported from an approved source. All topsoil shall be of a sandy loam consistency. The contractor shall supply a sample and chemical analysis from the supplier, and comply with all topsoil quality guidelines as specified.
- Prior to placement of topsoil, all subgrade areas shall be loosened by scarifying the soil to a 6 inch depth by the use of mechanical means, in order to create a transition layer between soils and promote root penetration in compacted soils.
- All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper (12 inches for trees). Scarify planting pit bottom and sides to promote root penetration in compacted soils. Excavated materials not to be re-used on site shall be removed from site.
- Plant backfill mixture shall be composed of 3 parts topsoil to 1 part humus additive, and shall be rotary mixed on-site prior to installation. A pre-mixed soil medium can be used as an alternative.
- Plant fertilizer shall be Agrifon brand 21 gram tablets used as per recommendations.
- Upon completion of planting operations, all shrub pits and tree wells shall receive a 4 inch depth of fine ground bark mulch cover. The actual bed areas shall receive a 4 inch depth of shredded bark mulch. The areas shall receive a granular pre-emergent herbicide prior to placement. All planting areas shall receive "Death" Pro-5 weed barrier fabric beneath shredded bark mulch.
- All trees located in lawn areas shall receive an arbor guard trunk protector wrap, or equal. Provide a plant-free mulched area with a minimum radius of four (4) feet around the trunk in order to protect the trunk from turf maintenance operations and expedite tree root establishment.
- All lawn areas shall be installed using a water conservative mixture, and shall be composed of "Bella Blue" sodding material, supplied by BlueStakes Sod Farms, Inc. Sandy, Utah, contact phone number (801) 567-3030.
- Landscape maintenance shall be required for a period through the second mowing of the lawn (30 days min) and shall include mowing, weeding, pruning and one fertilization, in addition to any irrigation adjustments that may be needed during the period.
- The project shall be swept clean of dirt and debris prior to completion of the project, and on a daily basis, if necessary, as determined by the Owner/contractor.
- The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than (1) year following the date of completion and project acceptance by the Owner.

Suggested General Notes

- All bidding landscape contractors shall have a minimum of 5 years experience in the installation of commercial landscape and irrigation projects, and be able to supply the necessary staff to perform all tasks associated with these drawings, and in a professional and timely manner.
- The landscape contractor, at all times, shall have personnel on-site experienced in being able to interpret the drawings correctly, and accurately measure the design layout using the specified scales.
- The contractor shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning work. The contractor shall coordinate his work with the project manager and all other contractors working on the site.
- The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities. The finish grade of all landscape areas shall be graded consistently 1/2" below all walks, curbs, etc.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- All plant materials shall be approved prior to planting. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the specifications.
- The contractor shall plant all plants per the planting details, stake/guy as shown. The top of the rootballs shall be planted flush with the finish grade.

Landscape Architect

rcl Design Company, Inc.
1020 East Yale Avenue
Salt Lake City, Utah 84105
Phone: 801-647-3114
Email: rcldesign@comcast.net



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DATE	NO.	DESCRIPTION



BENCHMARK ENGINEERING & LAND SURVEYING
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CREEKSIDE AT HONEYCUT P.U.D.

3548 HONEYCUT ROAD
SALT LAKE COUNTY, UTAH

CONCEPTUAL LANDSCAPE PLAN
L101

CREEKSIDE AT HONEYCUT P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

"PRELIMINARY PLAT"

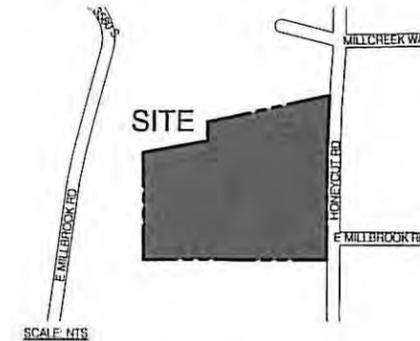
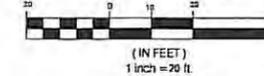
NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN FOUND BRASS CAP MONUMENT (RING AND LID)

N 89°53'40" W 2610.91' MEAS. BASIS OF BEARINGS
1304.80'

NORTHEAST CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN FOUND BRASS CAP MONUMENT (RING AND LID)



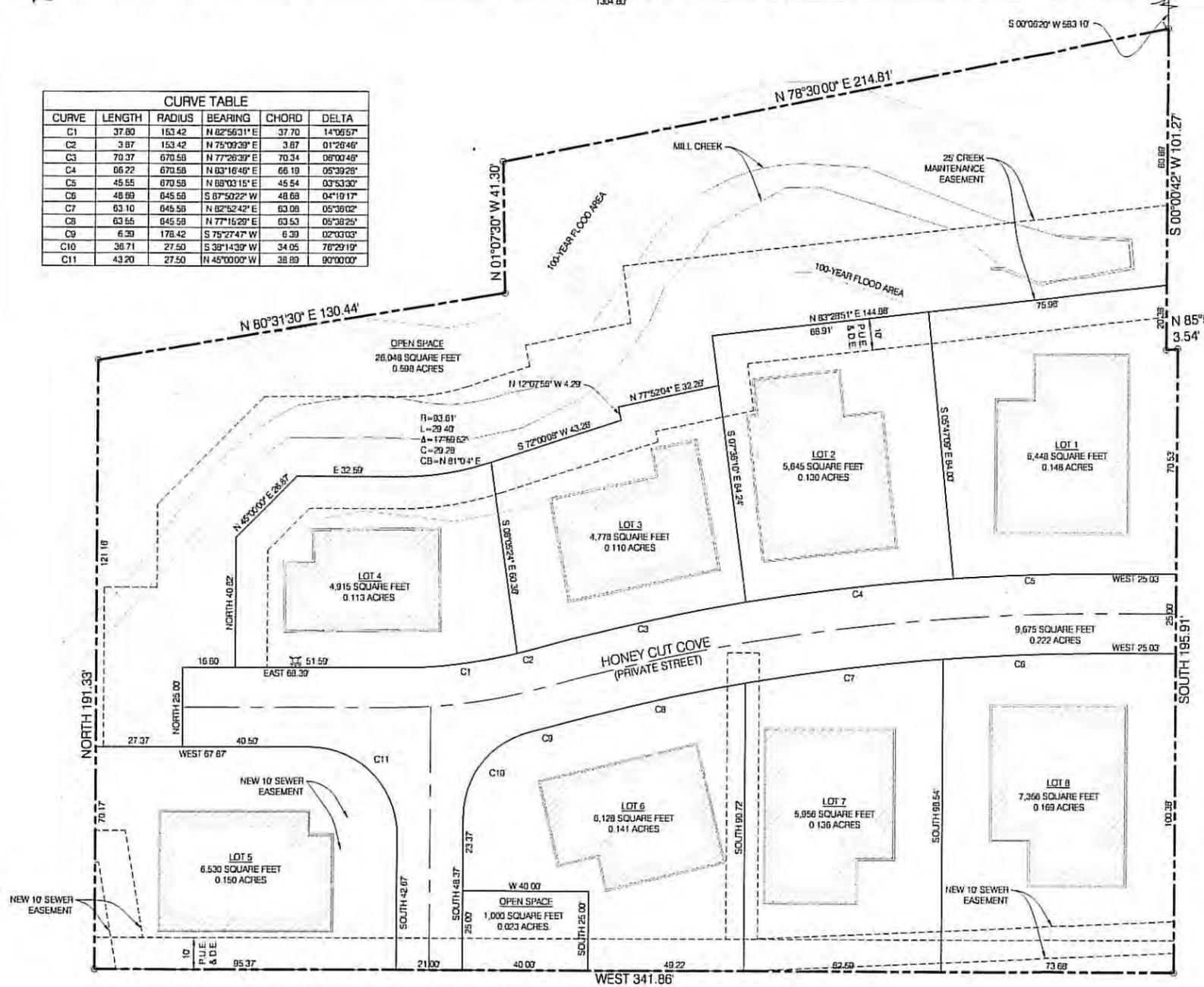
GRAPHIC SCALE



LEGEND

- SECTION CORNER (FOUND)
- SET 24" x 5/8" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT
- LOT LINE
- PUBLIC UTILITY EASEMENT & DRAINAGE EASEMENT
- FIRE HYDRANT

CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	DELTA
C1	37.80	153.42	N 82°56'31" E	37.70 14°06'57"
C2	3.87	153.42	N 75°09'39" E	3.87 01°26'46"
C3	70.37	670.58	N 77°26'39" E	70.34 08°00'46"
C4	66.22	670.58	N 83°16'46" E	66.19 05°39'26"
C5	45.55	670.58	N 88°03'15" E	45.54 03°53'30"
C6	48.89	645.58	S 87°50'22" W	48.88 04°19'17"
C7	63.10	645.58	N 82°52'42" E	63.08 05°36'02"
C8	63.55	645.58	N 77°15'29" E	63.53 05°38'25"
C9	6.39	176.42	S 75°27'47" W	6.39 02°03'03"
C10	36.71	27.50	S 38°14'39" W	34.05 76°29'19"
C11	43.20	27.50	N 45°00'00" W	38.89 90°00'00"



SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACTS OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC HAS BEEN FILED AS # _____ IN THE SALT LAKE COUNTY SURVEYORS OFFICE, AND HAVE SUBDIVIDED SAID TRACTS OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

CREEKSIDE AT HONEYCUT P.U.D.

BOUNDARY DESCRIPTION

BEGINNING AT A POINT SOUTH 89°53'40" EAST 1304.80 FEET AND SOUTH 00°06'20" WEST 683.10 FEET FROM THE NORTH QUARTER CORNER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN AND RUNNING, THENCE SOUTH 00°00'42" WEST 101.27 FEET; THENCE NORTH 85°50'00" EAST 3.54 FEET; THENCE SOUTH 195.91 FEET; THENCE WEST 341.86 FEET; THENCE NORTH 191.33 FEET; THENCE NORTH 80°31'30" EAST 130.44 FEET; THENCE WEST 101.27 FEET; THENCE NORTH 78°30'00" EAST 214.81 FEET TO BEGINNING

CONTAINS 84,489 SQUARE FEET
1.940 ACRES, MORE OR LESS, INCLUDING OPEN AREAS
9 LOTS



FOR REVIEW ONLY

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT _____ (THE UNDERSIGNED OWNER) OF THE ABOVE DESCRIBED TRACTS OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

CREEKSIDE AT HONEYCUT P.U.D.

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY I HAVE HEREUNTO SET
THIS _____ DAY OF _____ A.D. 20__

ACKNOWLEDGMENT

STATE OF UTAH }
County of Salt Lake } SS
ON THE _____ DAY OF _____ A.D. 20__, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN SAID STATE OF UTAH, THE SIGNER (S) OF THE ABOVE OWNER'S DEDICATION, _____ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.
MY COMMISSION EXPIRES: _____
NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

CREEKSIDE AT HONEYCUT P.U.D.

LOCATED IN THE NORTHEAST QUARTER OF SECTION 33, TOWNSHIP 1 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

SHEET 1 OF 1

RECORD OF SURVEY

RSC NO: S _____
SIGNED _____ DATE _____

CHECKED FOR ZONING COMPLIANCE

ZONE: _____ LOT AREA: _____
FRONT YARD: _____
SIDE YARD: _____ REAR YARD: _____
SIGNED _____ DATE _____

HEALTH DEPARTMENT

APPROVED THIS _____ DAY OF _____ A.D. 20__
SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20__, BY THE
SALT LAKE COUNTY PLANNING COMMISSION

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
PLAN REVIEW SECTION MANAGER _____ DATE _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20__
SALT LAKE COUNTY DISTRICT ATTORNEY _____

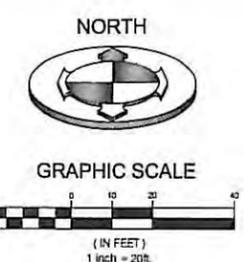
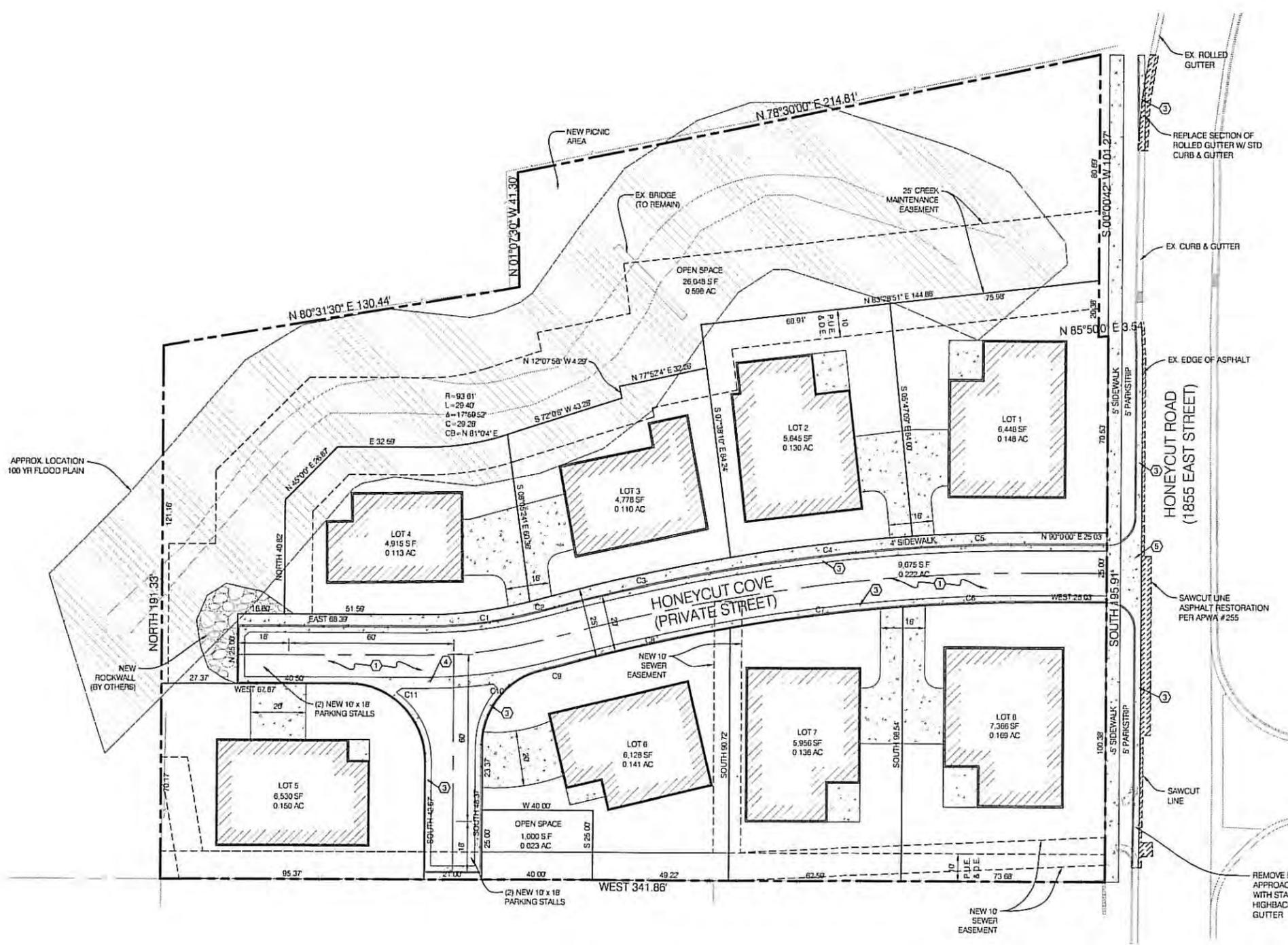
MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D. 20__, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACRESCEPTEP.
MAYOR OR DESIGNEE _____

SALT LAKE COUNTY RECORDER

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
FEE \$ _____
SALT LAKE COUNTY RECORDER _____

BENCHMARK ENGINEERING & LAND SURVEYING
9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com
DATE: 07/21/2011



CONSTRUCTION KEY NOTES REFERENCE

NO	DESCRIPTION	DETAIL
1	STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE	2/COT 01
2	CONCRETE PAVEMENT WITH GRANULAR BASE	2/COT 01
3	2.5' HIGHBACK CURB & GUTTER	5/COT 01
4	4' CONCRETE WATERWAY	3/COT 02
5	NEW DRIVEWAY APPROACH PER APWA# 225	4/COT 02

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD	DELTA
C1	37.30	153.42	N 82°52'11" E	37.70	14°03'57"
C2	3.87	153.42	N 72°03'39" E	3.87	01°28'42"
C3	70.37	870.58	N 77°20'39" E	70.34	08°02'42"
C4	68.22	870.58	N 83°18'48" E	68.19	05°39'29"
C5	45.55	870.58	N 88°02'19" E	45.54	03°53'30"
C6	49.69	845.59	S 87°52'22" W	48.69	04°19'17"
C7	63.10	845.59	N 82°52'42" E	63.08	02°30'22"
C8	63.58	845.59	N 77°15'29" E	63.53	05°39'29"
C9	6.39	178.42	S 75°27'47" W	6.30	02°03'07"
C10	36.71	27.50	S 38°14'37" W	34.05	16°29'19"
C11	43.20	27.50	N 45°03'09" W	38.89	04°03'07"

AREA TABLE

PARTICULARS	S.F.	%
BUILDING	16,243	19.2
HARDSCAPE	14,192	16.8
LANDSCAPE	54,054	64.0
TOTAL	84,489	100

OPEN AREA TABLE

PARTICULARS	S.F.	%
BUILDING	16,243	19.2
ROADS & DRIVEWAYS	12,887	15.3
OPEN AREA	55,359	65.5
TOTAL	84,489	100

NO.	DATE	DESCRIPTION

SCALE MEASURES 1/4" ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



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SALT LAKE COUNTY, UTAH

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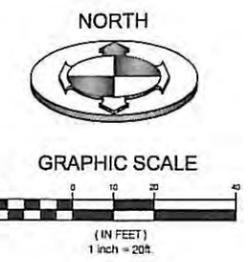
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PRELIMINARY

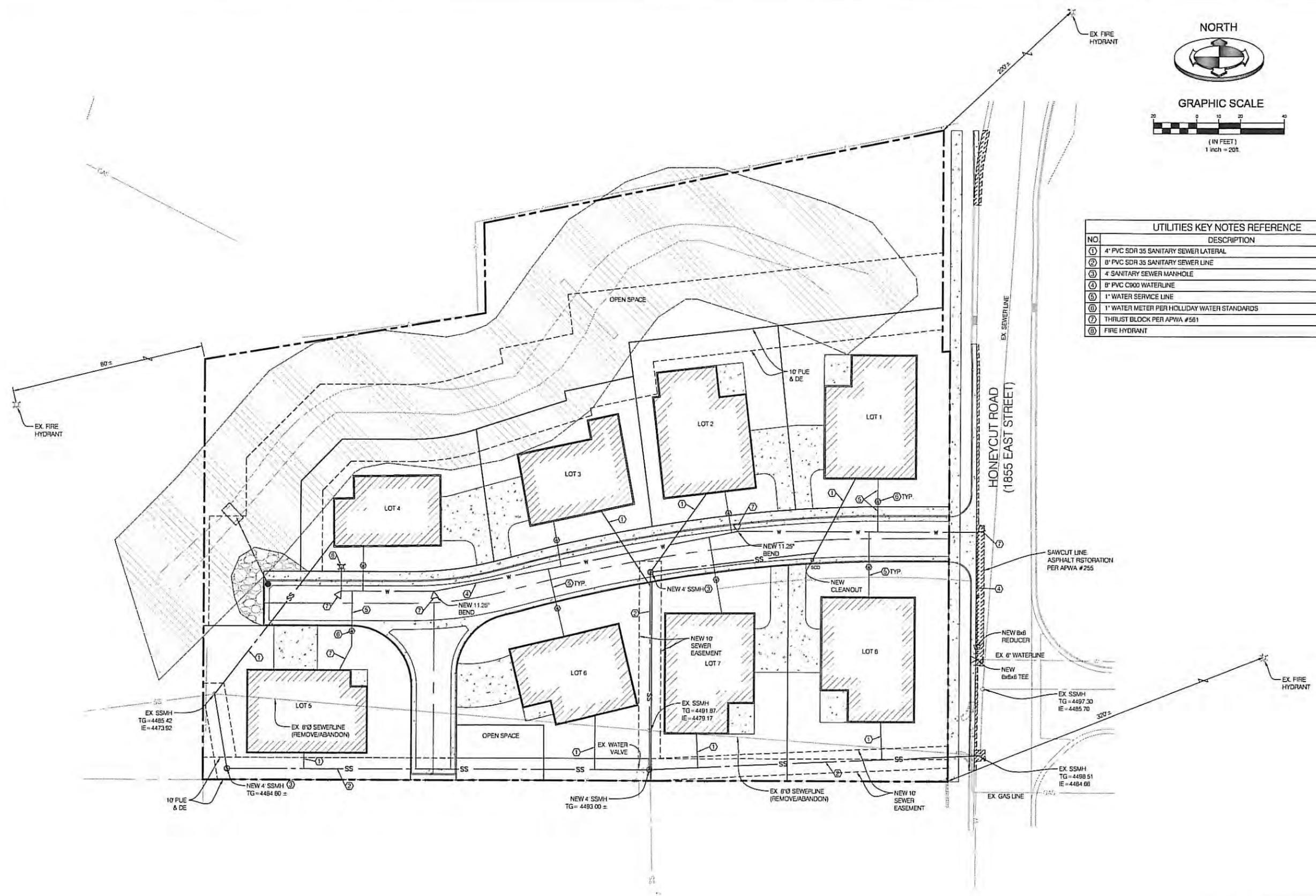
PROJECT NO. 1303030

SITE PLAN

CSP.01
3 OF 9



UTILITIES KEY NOTES REFERENCE		
NO	DESCRIPTION	DETAIL
①	4" PVC SDR 35 SANITARY SEWER LATERAL	3/CDT.01
②	8" PVC SDR 35 SANITARY SEWER LINE	
③	4" SANITARY SEWER MANHOLE	1/CDT.01
④	8" PVC C900 WATERLINE	
⑤	1" WATER SERVICE LINE	
⑥	1" WATER METER PER HOLIDAY WATER STANDARDS	2/CDT.01
⑦	THRUST BLOCK PER APWA #561	
⑧	FIRE HYDRANT	4/CDT.01



NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		



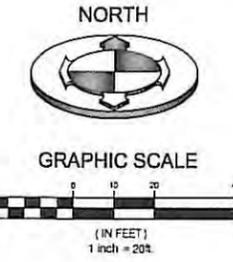
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PROJECT NO. 1303030
UTILITY PLAN
 CUP.01
 4 OF 9

PRELIMINARY



GRADING AND DRAINAGE KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.	
②	15" RCP CLASS III STORM DRAIN LINE	
③	4' x 4' CATCH BASIN	2/CDT.02
④	SNOUT	1/CDT.03

Storm Drainage Calculations

Rational Method $Q=CiA$

Q = Peak Flow (ft^3/s)
 C = Rational Coefficient (0.5 for impervious, 0.2 for vegetation)
 i = Rainfall Intensity (in/hr)
 A = Tributary Area (ac)

The total area of the existing lot is 1.94 acres

Post Development Conditions

The project involves constructing 5 homes, two driveways and a private road. The existing site drains to the north and east into Mill Creek. The proposed development will collect the stormwater from the road and yards of the new homes in a curb & gutter system as illustrated by Drainage Area #1. This curb & gutter flow will be collected by a catch basin at the west end of the private road. The stormwater will be treated by a snout before flowing through a 15" RCP pipe and existing into Mill Creek. A concrete splash guard will be installed at the outlet to protect erosion.

Drainage Area #1

Building: 10,914 ft^2
 Hardways: 12,212 ft^2
 Landscaping: 11,082 ft^2
 Total: 41,588 ft^2 (0.952 ac)

C Value: Area $C = 0.70$
 i (3 inches (0.044))
 $T_p = 15$ minutes
 $K_{rain} = 1.5$

$Flow\ Q_{max} = 0.70 (41,588 \times 0.952) = 2,811\ ft^3/s$

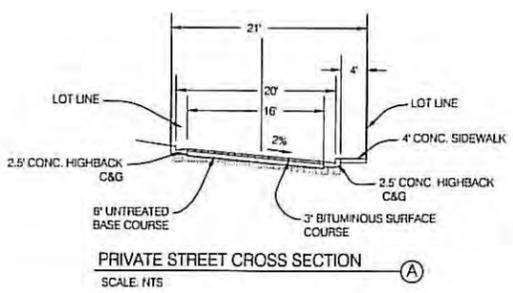
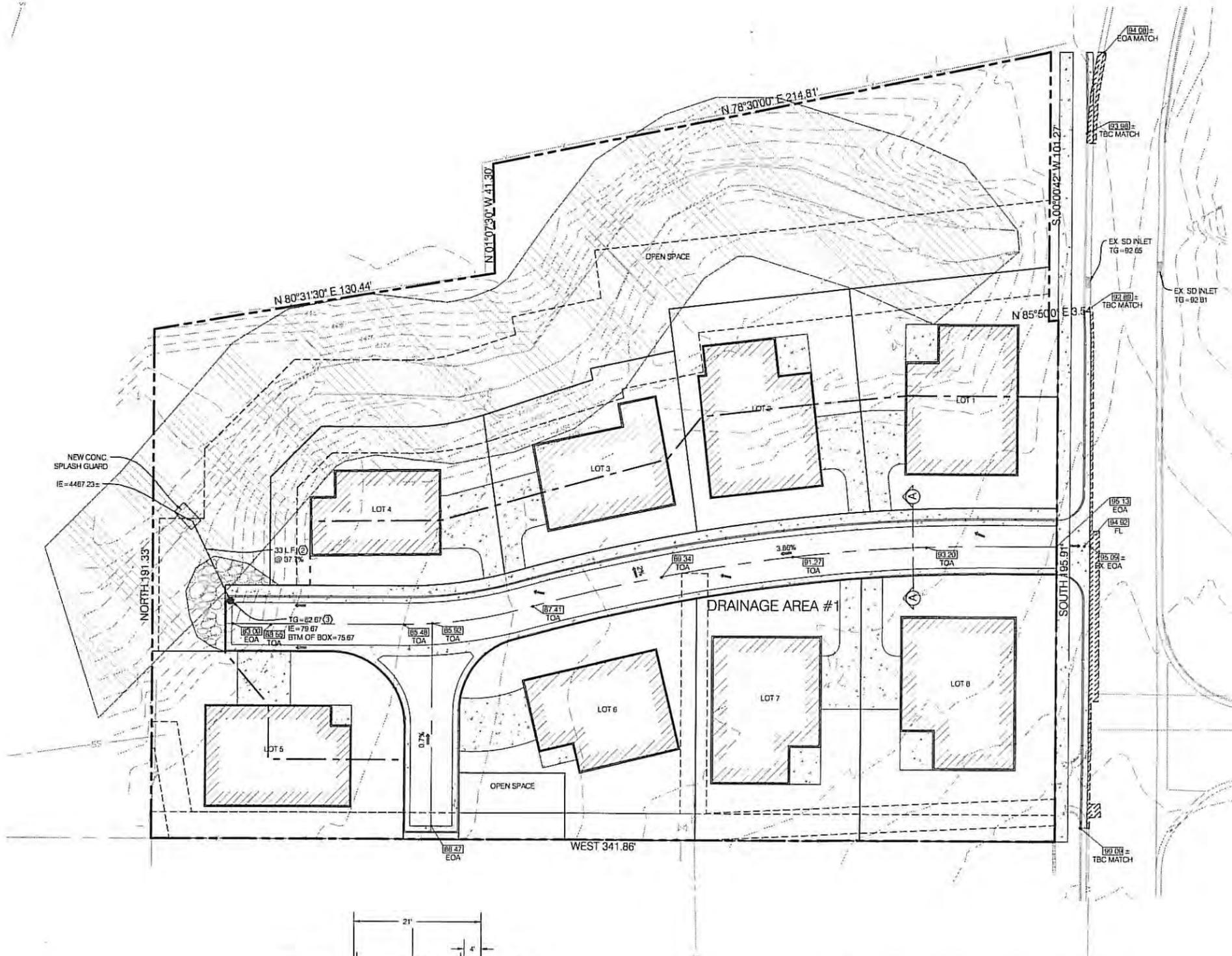
Hydraulic Calculations (Manning's Equation)

Pipe capacity calculations for the new 15" diameter pipe

$$Q = \frac{1.486}{n} A R^{2/3} S^{1/2}$$

$$Q = \frac{1.486}{0.013} (1.22 \times 0.313)^{2/3} (0.377)^{1/2} = 29.89\ cfs$$

- NOTES:**
- THE DEVELOPER SHALL BE REQUIRED TO PERMANENTLY CONTAIN ALL GENERATED WATER ON HIS OWN PROPERTY OR ROUTED TO AN APPROVED SALT LAKE COUNTY STORM DRAINAGE SYSTEM.
 - THE DEVELOPER SHALL GRADE THIS PROPERTY IN ACCORDANCE WITH THE APPROVED SITE GRADING AND LOT DRAINAGE PLAN SO AS NOT TO DISCHARGE ANY ADDITIONAL STORM WATER ONTO ADJACENT PROPERTIES.
 - SALT LAKE COUNTY WILL NOT ASSUME ANY RESPONSIBILITY FOR THE MAINTENANCE OF THE PONDS OR PRIVATE STORM DRAIN SYSTEMS.



SURVEY CONTROL NOTE:
 THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

PROJECT NO. 1303030
 PRODUCT NO. 1303030BIB
 DATE 04/02/13
 DRAWN BY DH
 CHECKED BY
 APPROVED BY
 SCALE: MEASURES SHOWN ON FULL SIZE SHEETS
 ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

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 910 SOUTH STATE STREET SUITE #100
 SANDY, UTAH 84070 (801) 542-1102
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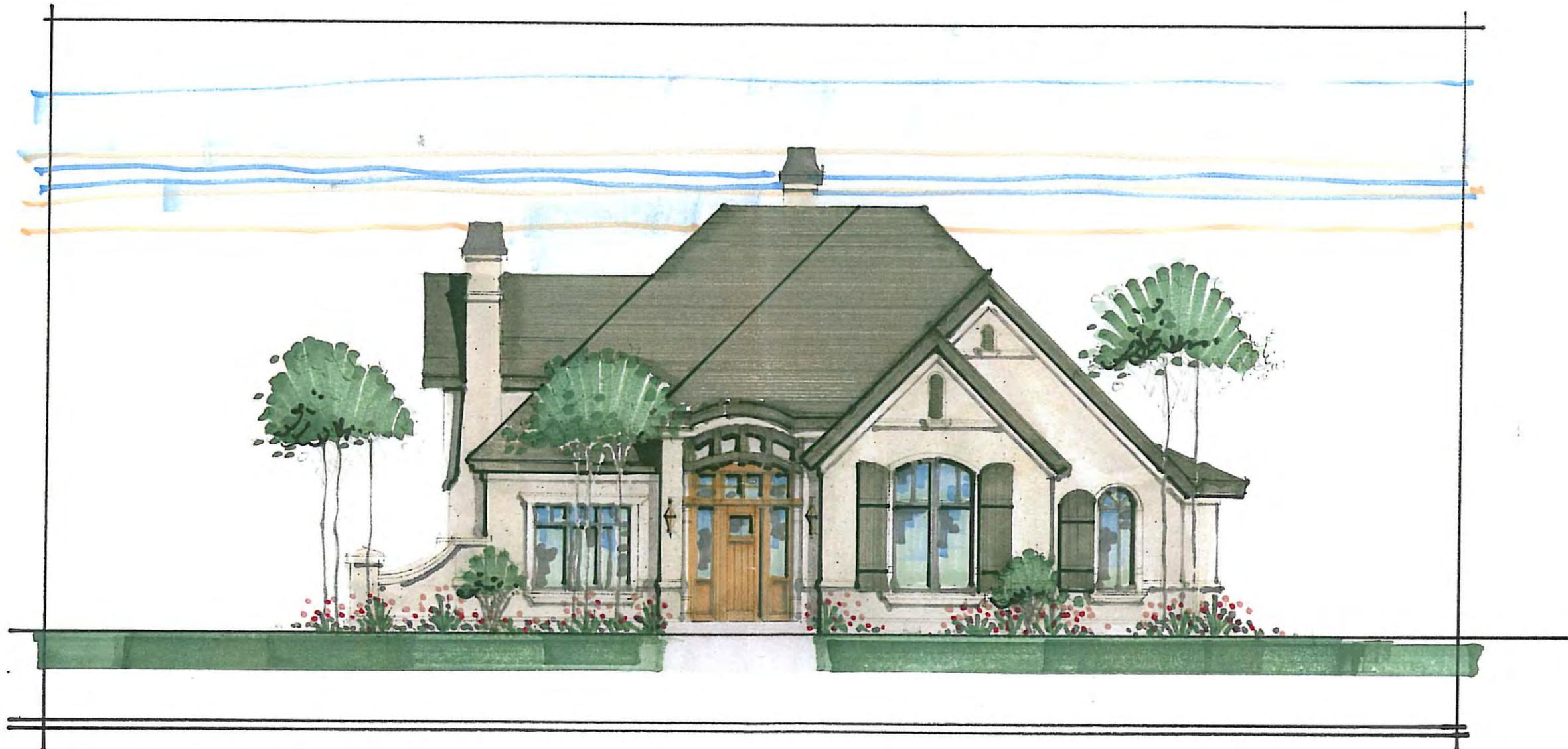
CREEKSIDE AT HONEYCUT P.U.D.
 3548 S HONEYCUT ROAD
 SALT LAKE COUNTY, UTAH

GRADING & DRAINAGE PLAN
 CGD.01
 5 OF 9

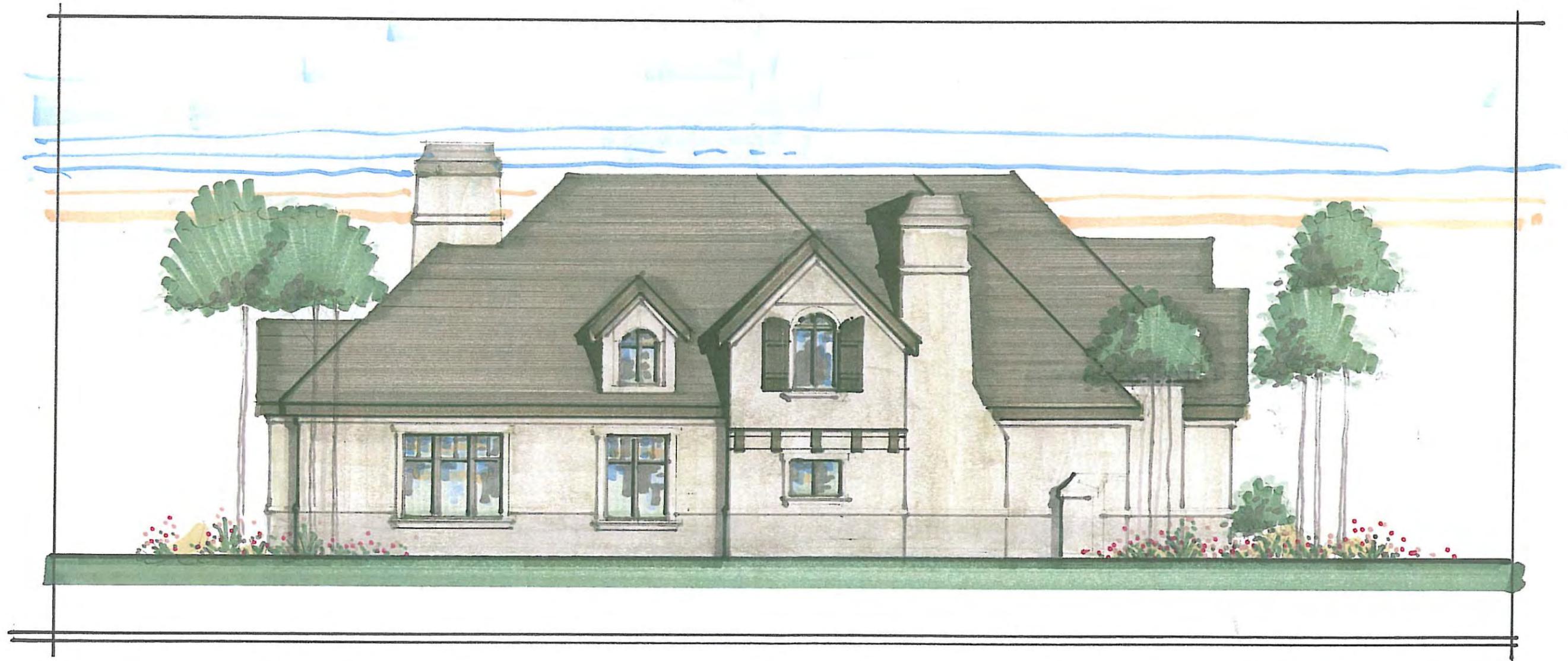
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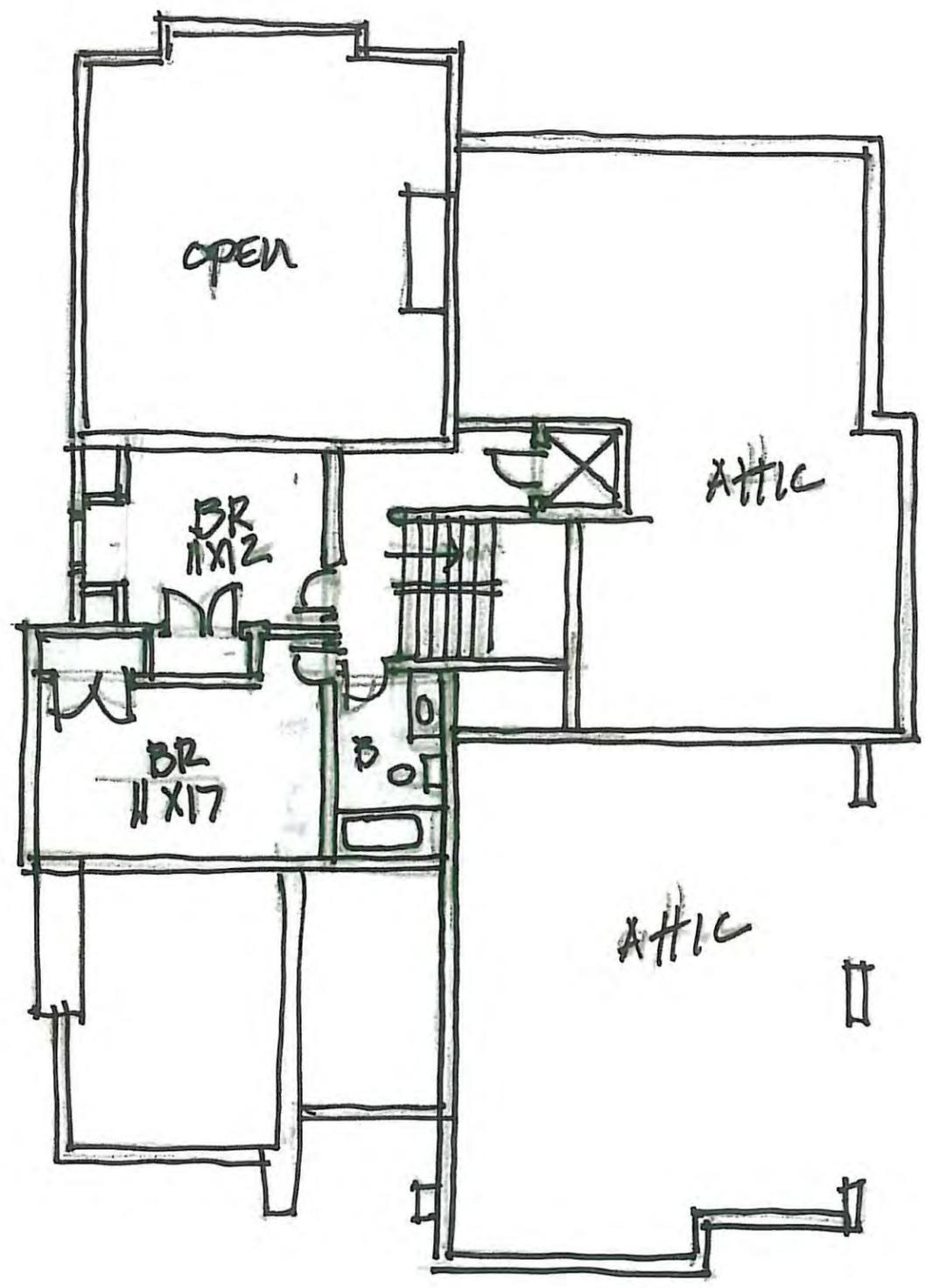
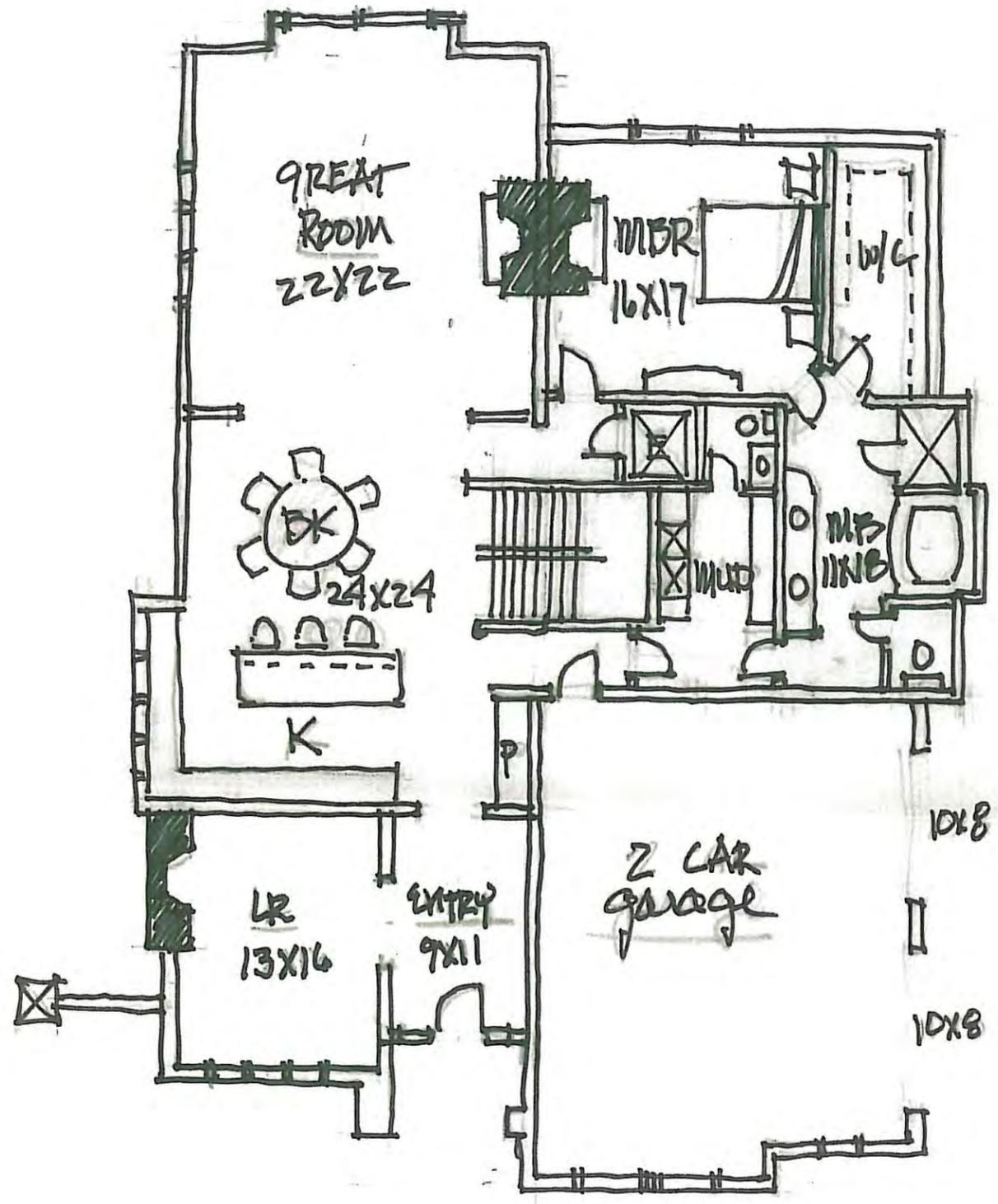
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HONEYCUT RESIDENCE



HONEYCUT RESIDENCE



2500 SF

HONEYCUT RESIDENCE