



# City of Hurricane

Mayor  
John W. Bramall

City Manager  
Clark R. Fawcett

## *Planning Commission*

Mark Borowiak, on leave  
Michelle Cloud, Chairman  
Paul Farthing  
Rebecca Bronemann  
Chris Christensen  
Ralph Ballard  
Shelley Goodfellow  
Mark Sampson  
Dayton Hall, alternate

## **AGENDA** **OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION** 6:00 p.m. Wednesday, February 26, 2020

Notice is hereby given that the Hurricane City Planning Commission will hold a Work Meeting commencing at 6:00 p.m. in the Council Room at 147 N. 870 West, Hurricane, UT. A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

### **6 p.m. Public Hearing** to take comments on the following:

1. A General Plan map amendment request on 26.7 acres located at approximately 2900 S. Sand Hollow Road from Single Family Residential up to 8 units per acre to Multi-Residential types; 7.196 acres located at approximately 2800 S. Sand Hollow Road from Single Family Residential up to 8 units per acre to Commercial; and 16.8 acres from Single Family Residential up to 4 units per acre to Single Family Residential up to 8 units per acre located at a future west extension of Dixie Springs Drive at approximately 5140 West
2. A Zoning Map amendment request on 6.97 acres located east of 2670 West on the north side of 600 North within the Front 9 at Sky Mountain from PDO-R-1-8, condominiums, to PDO-RR, Recreation Resort, resort condominiums
3. A Zoning Map amendment request on 9.81 acres located at the east end of 3270 South and north of lot 14A in Cliff View Estates subdivision from RA-1, Residential Agricultural one acre, to RA-0.5, Residential Agricultural half acre
4. A Land Use Code text amendment removing the minimum unit width requirement from multifamily zone development standards

### **New Business:**

2020-GPA-02	Consideration and possible recommendation to the City Council on a proposed General Plan Map Amendment on 26.7 acres located at approximately 2900 S. Sand Hollow Road from Single Family Residential up to 8 units per acre to Multi-Residential types; 7.196 acres located at approximately 2800 S. Sand Hollow Road from Single Family Residential up to 8 units per acre to Commercial; and 16.8 acres
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	from Single Family Residential up to 4 units per acre to Single Family Residential up to 8 units per acre located a future west extension of Dixie Springs Drive at approximately 5130 West-Utah State School Trust Lands applicant, Brett Burgess agent
2020-ZC-06	Consideration and possible recommendation to the City Council on a proposed Zoning Map amendment request on 6.97 acres located east of 2670 West on the north side of 600 North within the Front 9 at Sky Mountain from PDO R-1-8, condominiums, to PDO-RR, Recreation Resort, resort condominiums-Perry Development applicant, Greg Sant agent
2020-ZC-07	Consideration and possible recommendation to the City Council on a proposed Zoning Map amendment request on 9.81 acres located at the east end of 3270 South and north of lot 14A in Cliff View Estates subdivision from RA-1, Residential Agricultural one acre, to RA-0.5, Residential Agricultural half acre-W&B Dirt applicant, Jared Madsen agent
2020-LUCA-03 2019-LUCA-05	Consideration and possible recommendation to the City Council on a proposed Land Use text amendment removing the minimum width requirement and changing the setbacks in the multifamily zones- Bill Zitting & Mike Stewart applicants
2020-FSP-01	Consideration and possible approval on a final site plan for phases 1A & 1B, the Front 9 at Sky Mountain located north of 600 North between 2720 West and 2670 West-Perry Homes applicant, Greg Sant agent
2020-FSP-02	Consideration and possible approval on a final site plan for Tagg-N-Go car wash located at 82 N 3400 West-Twin Towers applicant, Premier Design agent
2020-PP-04	Consideration and possible recommendation to the City Council on a preliminary plat for Hurricane Fields Estates, a 94 single family lot subdivision located south of 1500 South between 800 West and 1100 West-Kent Clayton & Scott Stratton applicants, Kent Clayton agent

**Approval of minutes:** January 16, 2020 and January 29, 2020

**Adjournment**



# GENERAL PLAN AMENDMENT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:  
File No. 2020-GPA-02  
Receipt No. 7.649924

Name: Utah State School Trust Lands Telephone: (435)-652-2950

Address: 231 E 400 S RM 411 SALT LAKE CITY, UT 84111-2806 Fax No. (435)-652-2952

Email: \_\_\_\_\_ Agent Email: brett@developmentsolutions.co

Agent (If Applicable): Brett Burgess Telephone: (435) 673-9336

Address/Location of Subject Property: 3150 South Sand Hollow Rd  
H-4136-D-STL,

Tax ID of Subject Property: H-4-2-23-411-STL Existing Zoning: RA-1

Existing and Proposed Land Use Designation: Existing: Low/High Density Single Family Residential

Proposed: Multiple (see attached) Reason for Change (Use Extra Sheets if Necessary)

See attached

**Submittal Requirements:** The Land Use Map application shall provide the following:

- ☒ (1) An 8 1/2" x 11" map showing the area of the proposed amendment.
- ☒ (2) A current copy of County Assessor's parcel map showing the area of the proposed amendment;
- ☒ (3) Mapped inventory of existing land use within the area of the proposed amendment and extending 1/2 mile beyond such area;
- ☒ (4) Written statement specifying the potential use of property within the area of the proposed amendment;
- ☒ (5) Written statement explaining why the existing General Plan designation for the area is no longer appropriate or feasible;
- ☒ (6) Analysis of potential impacts of the proposed amendment on existing infrastructure and public services such as traffic, streets, intersections, water and sewer, storm drains, electrical power, fire protection, garbage collection, etc. and
- ☒ (7) Stamped envelopes with names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- ☐ (8) Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**NOTE: General Plan Amendments are only considered 2 times a year February and August on the third Wednesday of each month at 6:00 p.m. It is important that all applicable information noted above is submitted with the fee and application. An incomplete application will not be scheduled for Planning Commission consideration. Contact the Planning Department for the deadline date for submissions. A deadline missed or an incomplete application could result in a six-month delay.**

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Date Received: \_\_\_\_\_ Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

**Proposed Land Use Designation:**

We propose to amend the current Low Density Single Family Residential 1-3 Units/Acre designation to the following designations: 26.704 Acres of Multi-Family Residential 6-15 Units / Acre, 7.196 Acres of Commercial General, and 16.835 Acres of High Density Single Family Residential 4-8 Units/Acre. These areas are illustrated in the attached exhibits.

**Statement of Appropriate Use:**

The property adjacent to Sand Hollow Road (a master planned Major Arterial) is conducive to a more intense use. We propose the Commercial, and Multi-Family adjacent to Sand Hollow Road, to transition to the High Density Single Family residential to the West.

The extension of Dixie Springs drive to the west is proposed to be realigned and shifted to the north as it extends to the west end of the SITLA property. We propose to expand the High Density Residential north with this shift in the alignment of the Dixie Spring Dr extension.

**Statements of Potential Impacts:****Traffic, Streets, and Intersections:**

Increased traffic on Sand Hollow road will be a potential Impact as the project develops. We plan to have traffic studies performed, and work with the City Engineering Department to provide adequate levels of service on the key streets and intersections along Sand Hollow Road. As the property develops to the north other accesses will also be constructed.

**Utility Connections:**

An existing sewer line runs through the SITLA property Just west of the proposed amendments. Water lines in Sand Hollow Road and 3150 South can be connected to and looped together to provide the water needs for the project. Overhead power runs along Sand Hollow Road and 3150 South can be connected to and looped together to provide the power needs for the project. Storm runoff will be detained with the use of detention ponds so that downstream facilities won't receive increased peak flows.

**Access for Emergencies and other Services:**

Sand Hollow Road and 3150 South provide multiple points of access for emergency and other services.

## STAFF COMMENTS

**Agenda:** February 13, 2020      **File Number:** 2020-GPA-02

**Type of Application:** General Plan Map amendment

**Applicant:** Utah State School Trust Lands

**Agent:** Brett Burgess

**Request:** A General Plan Map amendment request on 7.196 acres from Single Family Residential up to 8 per acre to Commercial; 26.704 acres from Single Family Residential up to 8 units per acre to Multi-Family Residential Types; 16.835 acres from Single Family Residential up to 3 units per acre to Single Family Residential up to 8 units per acre.

**Location:** A future west extension of Dixie Springs Drive at approximately 5140 West on the west side of Sand Hollow Road

**Discussion:** These parcels are portions of School Trust Lands that the agent is proposing for a new development area. The proposal is to change the portion of the property adjacent to a future intersection of Sand Hollow Road and Dixie Springs Drive to Commercial; change the property along the Sand Hollow Road frontage south of the proposed commercial to Multi-Family types; and change the property that will be south of the extension of Dixie Springs drive from Lower Density Single Family to Higher Density Single family. These are three different changes and each should be considered as part of a plan for the area.

The applicant has provided all the materials required by the Land Use Code for a General Plan Amendment: 10-2-2: GENERAL PLAN: Amendment Of Plan:

*2. Persons proposing general plan amendments shall do the survey and analysis work necessary to justify the proposed amendment. To ensure the planning commission and city council have sufficient information to evaluate each proposal, an applicant shall submit the following information:*

*a. For map amendments:*

- (1) Eight and one-half inch by eleven inch (8<sup>1</sup>/<sub>2</sub>" x 11") map showing the area of the proposed amendment;*
- (2) Current copy of county assessor's parcel map showing the area of the proposed amendment;*
- (3) Mapped inventory of existing land uses within the area of the proposed amendment and extending one-half (1/2) mile beyond such area;*

- (4) Correct property addresses of parcels included within the area of the proposed amendment;*
- (5) Written statement specifying the potential use of property within the area of the proposed amendment;*
- (6) Written statement explaining why the existing general plan designation for the area is no longer appropriate or feasible;*
- (7) Analysis of the potential impacts of the proposed amendment on existing infrastructure and public services such as traffic, streets, intersections, water and sewer, storm drains, electrical power, fire protection, garbage collection, etc.; and.*

**Staff Comments:**

1. The applicants state the request is because “the property adjacent to Sand Hollow Road (a planned Major Arterial) is conducive to a more intense use.” The development patterns already along the road tend to support this statement, with Sand Hollow Resort and the State Park both pulled back from the road frontage to leave room for more intense use along the busy road. Access will have to be developed with road intersections.
2. What will become a major intersection (Sand Hollow Road and Dixie Springs Drive) is where the applicants request 7.1 acres of commercial, which is recommended at intersections of arterials and collectors. For comparison, the acreage where Lin’s Market, the Post Office, 7-11, and Sun Capital Bank is located at 1150 West and SR-9 is approximately 7.3 acres. Having new commercial uses available at this busy location will help mitigate some of the traffic between the adjoining residential areas and the commercial uses at 3400 West and SR-9.
3. There are water and sewer facilities available. Power is supplied by Dixie Power and the applicant would be responsible for any needed upgrades.
4. Improvements to the intersections and the Sand Hollow Road frontages will be required when this property is developed.
5. The applicants have stated the 26 acre multi-family area is intended for resort type condos and townhomes. While it has been traditional to locate multi-family uses along higher traffic roadways, meeting the basic tenant of protecting “health, safety, and welfare” requires planning to look at new research which shows living within 500’ of a major road contributes to poor health and poor living conditions. (see “Metrics for Planning Healthy Communities” American Planning Association pages 14 & 14 included) Given that knowledge, making this change for transient uses is acceptable but not for residential use.
6. Accesses would have to be developed by the construction of roadways throughout this property.



7. The lower density single family to higher density single family change on 16 acres that will be contiguous to property that already has the higher density designation and on the other side of a major collector road makes good planning sense, using the road as the divider between land use designations.
8. At this time the City is in the process of engaging a consultant to work with the community to re-write the General Plan and re-draw the maps. Making a decision on a on this property at this time rather than waiting for the overall revision of the plan may not appear to fit within the message of the current plan on page 4 – “the land uses shown have already been debated and approved by the community.” Until the community has been given an opportunity to debate the overall General Plan again, it may be prudent to refrain from making incremental changes. On the other hand, the proposed changes do appear to be good planning for these parcels.

Property owners in the vicinity have been notified by letter and will be given an opportunity to speak at the Public Hearing.

**Recommendation:** Staff recommends the Planning Commission consider whether or not to make a recommendation of approval or a recommendation to table this application until after the General Plan update is debated and completed.

## Environmental Exposures

### What do we mean by environmental exposures?

For the purposes of the metrics, environmental exposure refers to the constant interaction between humans and the natural environment. These interactions can affect and influence human well-being, of which health is a critical component. Planners can influence the natural environment by promoting natural resource management in the plan-making process and promoting environmentally sound development.

- **Air quality:** Air quality refers to the state of air around us, which can be compromised by both natural and human-made sources. For instance, the toxic air pollutants that are emitted by vehicles lead to poor air quality, which can often lead to health issues. Poor air quality from ground-level ozone and particle pollution are among the major threats to human health. The Clean Air Act has established air quality standards that limit the quantity of pollutants in the air.
- **Water quality:** Water quality refers to the condition of water relative to its use, such as drinking, washing, and recreation. The two primary federal regulations governing water quality are the Clean Water Act and the Safe Drinking Water Act. The former regulates the pollutants discharged into water bodies and the latter sets limits on the type and concentration of contaminants allowed into the drinking water system. Planners can use green and natural solutions for managing water and improving its quality.
- **Soil Contamination:** Soil contamination refers to the presence or potential presence of environmental contaminants in the soil, often on brownfields sites that are underproductive or underused. Such sites can be remediated and redeveloped, but the process is usually complicated and time-consuming. Soil-contaminated properties located in a dense urban community often have long-term economic and health effects on the community.

### Why does environmental exposures matter to population health?

Environmental exposure contributes to many of the leading causes of death and disability in the U.S. Long-term exposure to air pollution has been linked to respiratory diseases such as asthma and chronic obstructive pulmonary disease, as well as cardiovascular disease and stroke. For instance, Perez et al. (2012) found that eight percent of the total childhood asthma cases in Los Angeles County were partly attributable to air pollution from roadways. According to the Centers for Disease Control and Prevention, more than 11 million people live within 500 feet of a major roadway, where they are regularly exposed to the negative effects of air pollution (Boehmer et al. 2013). Exposure to contaminat-



Source: Chris Hamby, Flickr, CC BY-SA 2.0

ed water can lead to outbreaks of gastrointestinal diseases and, in the case of chemical exposures from roadway and agricultural runoff, to serious health conditions such as cancer.

People living in urban areas experience a greater burden of exposure from the environment, including soil, air, water, and noise pollution. While there are negative health consequences for all residents, the health threats are exacerbated for people living near sources of environmental pollution, such as busy roadways or industrial or hazardous waste facilities. Some of these complications include cardiovascular risk, lead, chemicals, pulmonary risk, perinatal and infant mortality, and low birth weight (Bacot and O'Dell 2006).

### How can planners impact environmental exposures?

The planning profession originated from the movement to improve environmental health through the creation of sanitation infrastructure. Clean air and water is a fundamental building block of human health and planners can help improve their quality at both the local and regional scales. At the local level, zoning regulations can be proposed that require facilities catering to vulnerable populations such as children, the elderly, and sick to be located at least 500 feet from high-traffic roadways (California Air Resources Board 2005). Strategies that reduce air pollution may also include vegetated screens that protect the people from particulate matter and noise generated on busy streets. At the regional scale, policies that reduce carbon footprint, such as those encouraging multimodal transport, should be enacted because fewer cars on the road would translate into reduced greenhouse gas emissions and air pollution.

Combined sewer systems (CSOs), which are designed to carry both sewage and stormwater in the same pipes, are a major cause of water pollution, and in the U.S, more than 700 cities have CSOs (U.S Environmental Protection Agency 2014). While an effective strategy would be to completely replace and upgrade the traditional gray infrastructure, it is a costly endeavor. Using green infrastructure techniques to reduce stormwater runoff and thus prevent toxic waste from entering natural water system is a cost-effective alternative. Green infrastructure includes features such as bioswales, rain gardens, green roofs, infiltration trench, and porous pavement. These features emphasize vegetated measures to slow stormwater flow and increase infiltration. Planners can plan for providing and protecting green infrastructure and coordinate local plans with regional green infrastructure plans. Using low-impact development to manage stormwater at its source can also be an effective way to improve water quality. The low-impact development is an approach to land development where the stormwater is managed at the source using various techniques, such as reducing impervious surfaces and creating a natural landscape.

Rehabilitating brownfield sites to productive uses not only protects the nearby residents from negative health impacts but also helps to conserve the development of greenfield sites. The feasibility of site cleanup, resources involved, and market forces may determine the appropriate reuse of the site, which can be commercial, public, residential, green-space, or mixed use. In many cases, remediation funding is available through local, state, and or federal funding mechanisms promoting redevelopment of urban infill projects.

### Environmental Exposures Metrics for Planners

Domain	Subdomain	Built Environment Assessment Indicators	Planning Policies
Environmental Exposures	Air Quality	<input type="checkbox"/> Number of facilities serving vulnerable populations that are within 500 feet of a high traffic roadway.	Policy requiring facilities serving vulnerable populations to be at least 500 feet from high traffic roadways.
	Water Quality	<input type="checkbox"/> Percentage of green stormwater investment of total stormwater investment in dollars	Policies that manage stormwater through green infrastructure or low impact development practices
	Soil Contamination	<input type="checkbox"/> Acres of brownfields that are not remediated	Policies prioritizing brownfield remediation and urban infill

## Toni Foran

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**From:** Marie Phipps <marie@stevemarie.com>  
**Sent:** Tuesday, February 18, 2020 11:21 AM  
**To:** toni  
**Subject:** How many failed resorts do we need at Sand Hollow?

I am opposed to the zoning changes in Sand Hollow.

Sand Hollow itself by definition is a failed Planned Unit Resort Development. No one in 2003 would have known that the crash of 2007-2009 was coming, but they had several years of boom to sell prior to the crash. Still to this day, so many of the lots are still for sale that the developer has not turned the HOA over to the residences. Dixie Power was given many lots for the default of the developer and they have not been able to sell their lots, which of course just increases the burden to all of their "members" for the loss of their funds to supply power to this planned unit development.

WHY do we want more until we clean up the mess we have?

TAVA is the next failure to come. It has changed hands and plans so often that I currently have no idea who or how this resort is going to be paid for. I vote let the investors loose the money and then we can assign the mess over to Hurricane City.

ELIM. Do I need to say more? What a huge loss. The current builder/developer is trying. They really are. GIVE them a chance! Lets take care of the messes we have prior to jumping into more.

Yes, I am opposed to the General Plan Admendment for Sand Hollow Road. These zoning changes should come slow with careful considerations to what we currently have and what is needed. We should have the planning director plan the flavor and future of this area that could be a great attraction for residents and guests of our area.

Don't change the zoning until you know what is going in and the impact that it will have to the roads, environment, and culture of this area. Pass laws that will protect the flavor and usage, and until you do, DO Nothing.

Phipps  
5493 W. Copper Cliffs Drive  
Hurricane, Utah

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Teach InfoWest Spam Trap if this mail is spam:

[Spam](#)

[Not spam](#)

[Forget previous vote](#)

**REMEMBER:** Never give out your account information, password, or other personal information over e-mail.



## Toni Foran

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**From:** Karl S <kf.simer@gmail.com>  
**Sent:** Tuesday, February 18, 2020 11:23 AM  
**To:** toni@cityofhurricane.com  
**Subject:** Opposition to the General Plan amendment request

Dear Toni and Commission Members,

I am writing to register my opposition to the General Plan amendment request on 26.7 acres at 2900 S Sand Hollow Road, 7.196 acres 2800 S Sand Hollow Road, and 16.8 acres on west extension of Dixie Springs Drive at 5140 West.

Changes to the General Plan are something that the Commission should not take lightly. Much careful thought for the city's future, environmental concerns, traffic impact, and infrastructure capabilities, as well as, substantial staff time were put into the creation of this plan. The area that the applicant wishes to have rezoned, is currently surrounded by 8000 square foot or greater single-family lot sized homes (Dixie Springs and Sand Hollow) and building sites, which would make the multi-family units and commercial properties isolated and out of place.

- The area currently has three (3) "Resort" zoned properties, in Sand Hollow's Retreat and Villas, as well as the new 104-unit Tava Resort within a mile of the proposed new resort. In addition, Phase one, the Marla section, of the Elim Valley Development (by their own admission) "is mixed use, with townhomes, separate family homes, vacation rentals, and commercial buildings with housing above. The development can have more nightly rentals than would normally be allowed in Hurricane."

<http://www.dixiesprings.info/Newsletters/DixieSpringsNewsletter201801.pdf>

The complete Elim Valley Development consists of a hotel, water park, golf course, commercial property and residential housing. None of these developments are at full occupancy, which begs the question of does this immediate area need another resort? With so many similar properties within a mile in either direction from this proposed site, It seems unlikely that it would be sustainable and I believe it would be imprudent for the Commission to approve this change to the General Plan.

- Similarly, with rezoning to allow multi residential and commercial development, the impact to Sand Hollow Road would be substantial. The City Council, with the Planning Commission's recommendation, just approved over 75 acres directly to the South of these areas for RA-8 single family residential. So, that will mean somewhere of 300 to 375 new homes being built there. Coupled with the unsold 104 units of the Tava Resort and even more in the Elim Valley Development, the major increase in traffic will have a great and detrimental impact along the two-lane Sand Hollow Road. It does not take one much to imagine the severe impact that this increased traffic will have to persons driving large RV's, towing boat trailers and/or UTV trailers on their way to Sand Hollow State Park.
- The General Plan shows the extension of SR7 (Southern Parkway) with many areas adjacent planned zoned for mixed use. Plus, the East side of Sand Hollow Reservoir, has no development, nor resorts built near it. It would seem, to this writer, like these are much better areas for such development, not in the heart of single-family residential area, that already has a number of resort properties. Especially, when widening of Sand Hollow Road is not something that will be done in the foreseeable future.

People move to Southern Utah to enjoy the amazing scenery, dark, star lit skies, and to escape crowded urban settings. I am sure these reasons were used in the development of the General Plan. So, why would the Commission approve a change to the Plan, that would negate these positive features, which attract new residents?

Respectfully submitted,

# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2020-ZC-06  
Receipt No. 7650777

Name: Perry Development, LLC.

Telephone: 435-251-9090

Address: 2250 N. Coral Canyon Blvd. #215, Washington, UT 84780

Fax No. N/A

Agent (If Applicable): Greg Sant

Telephone: 435-414-4444

Email: greg.perryhomesutah@gmail.com

Address/Location of Subject Property: 600 N. at Front 9 of Sky Mountain Golf Course

Tax ID of Subject Property: H-3-1-29-2151-RD2  
H-3-1-29-3161-RD2  
H-3-1-29-3121  
H-3-1-29-210

Existing Zone District: PDO-R1-8

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)

See attached Exhibit with Description, all parties being represented by Perry Development, LLC and other Information.

Submittal Requirements: The zone change application shall provide the following:

- ☒ a. The name and address of every person or company the applicant represents;
- ☒ b. An accurate property map showing the existing and proposed zoning classifications;
- ☒ c. All abutting properties showing present zoning classifications;
- ☒ d. An accurate legal description of the property to be rezoned;
- ☒ e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- ☒ f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

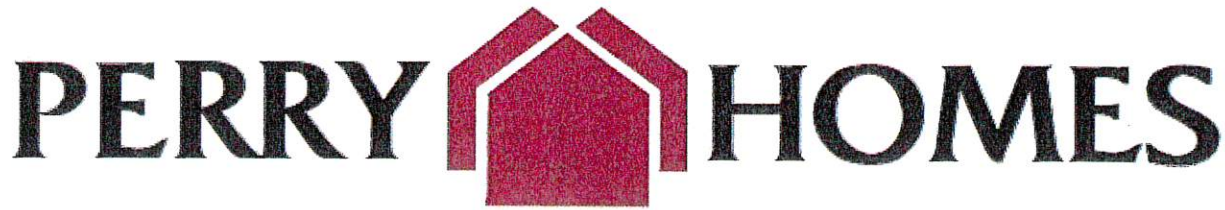
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Date Received: 2/12/20 (Office Use Only)

Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_





## **The Front Nine at Sky Mountain Master Planned Development**

This zone change request only affects 6.97 acres that was recently approved as Condominium Property in the Front Nine at Sky Mountain Preliminary Plat in September 2019. It was approved with 84 dwelling units that would follow all Hurricane City ordinances as it relates to the building heights, building separation and setbacks. The existing zoning is PDO.

This Zone Change Request is for Recreation Resort Zone. The purpose of Recreation Resort Zoning is to designate certain areas within the City where it is desirable and beneficial to the area economy to allow for a mix of limited commercial, public and residential uses. This property meets all the requirements in the Recreation Resort Zoning Ordinance, as well as it is;

1. Consistent with the City's General Plan,
2. Is harmonious with the overall character of existing development in the vicinity,
3. It will not affect adjacent property in an adverse manner, and
4. The Facilities and services intended to serve the subject property are adequate.

Below is a description of how this zone change meets these factors:

### **Zone Change Factors to be considered –**

- Part of the General Plan and the current Development Agreement regarding the Sky Mountain Development states that the Community Vision is to make the Golf Course more viable by bringing more visitors to the Golf Course. By rezoning a portion of this community to Vacation Rentals we will be bringing more visitors to play the golf course then if the community only had full time residents. The Property Management company will be booking most of the nightly rentals with a round of golf. Also, because of the golf course constraints that have been put on the developable land, as well as the 20+ acres that will be given to the City for the Golf Course Buffer, the current Development Agreement calls for Design Flexibility in the zoning of the property. It states that extreme design flexibility will be given to this community as opposed to what might be approved at other areas of the city.
- Property Management Company: As required by the Recreation Resort Zone, we will have an onsite Property Management company that handles the Vacation Rentals. This company will be available 24/7 for assistance to renters as well as to full time residents that might have problems with the nightly renters. It will be the responsibility of this company to ensure that the owner's property is protected from damages. They will police the rentals, the common area and the parking areas. Furthermore, the management company will inspect all housing units on the golf course on a monthly basis and repair any damage caused by golf balls.

# PERRY HOMES

- Traffic: Occupancy in a Vacation Rental community averages 50% during the year. Because of this the traffic is anticipated to be less than if full time residents lived here. Finally, 600 N. has been designed to handle the capacity of this 84-unit community.
- Property Values: Vacation Rentals that are managed properly sell, on average, for 10% to 15% more than the same unit does not have the zoning. This community will have resort-like amenities including a clubhouse, pool, sports courts, trails, open space, a proposed spa and high-end restaurant. The property values of the housing surrounding this community will benefit from this and their property values will increase.
- Parking: All areas within the Recreation Resort Zone will follow the parking ordinance of the city. Furthermore, there will be areas for RV's and boats to park as well as the clubhouse and commercial parking.

It is the belief of Perry Homes that by granting this Zone Change, the City will make the Golf Course more viable and profitable, as well as meeting the goals and objectives of the General Plan. Please contact me at [greg.perryhomesutah@gmail.com](mailto:greg.perryhomesutah@gmail.com) if you have any questions.

Thank you,  
Greg Sant  
Division Manager  
Perry Homes Utah, Inc.  
435-251-9090



## STAFF COMMENTS

**Agenda:** February 26, 2020 **File Number:** 2020-ZC-06

**Type of Application:** Zone Change

**Applicant:** Perry Development LLC

**Request:** A zone change on approximately 6.97 acres from PDO/single family residential to PDO/Recreation Resort

**Location:** Between the Golf Course and 600 North east of 2670 West

**General Plan:** Multi Residential Types

**Existing Zoning:** Planned Development Overlay with R-1-8 density

**Discussion:** This property is part of the amended Sky Mountain Master Plan approved in 2003 and approved for condominiums with a preliminary plat in 2019. It consists of 84 condominium units in four three story buildings and a single commercial building as well as parking and recreation areas. The request is to change the use in the buildings from residential resort use to recreation resort use, which allows vacation rental and requires the clubhouse and pool shown on the submitted plan.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	PDO/R-1-8	Municipal golf course and single family homes
East	PDO/R-1-8	Detention basin and single family homes
South	R-1-10	600 North and single family homes
West	PDO/R-1-8	Townhomes on this agenda for final site plan

In order to change the zoning on any parcel of land within the City of Hurricane the following questions need to be addressed:

**1. Is the proposed amendment consistent with goals, objectives and policies of the City's General Plan?**

**Response:** The vision for Hurricane characterized in the General Plan includes this trait: *A City that recognizes its unique resources: amazing outdoor recreation opportunities, the night sky.....* Objective C of Goal III Quality of the Built Environment is *Guide development in a manner that enhances the qualities that bring both visitors and residents to Hurricane, rather than destroying the very features that make Hurricane unique.* Goal V. Residential objective B is *Encourage development of neighborhoods to emphasize a sense of community.*

While this proposal would certainly help bring visitors to Hurricane and to Sky Mountain Golf Course, it will change the nature of expected development in this area from neighborhood to transient use. This is a change not anticipated in the 2011 General Plan as tourist

accommodations were not specifically included in any goals or policies.

**2. *Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?***

**Response:** This amendment is for property located between Sky Mountain golf course and 600 North, a planned minor arterial. The closest development will be the townhome portion of the Front Nine, which is for residential use but separated from this area by a 60' access road and the amenity and parking areas. Across 600 North and east across the drainage basin, existing development consists of single family residential uses. The character of a golf course is that it caters to visitors and residents, so this use would be harmonious. Single family residential use character, with neighbors knowing each other and creating residential traffic is not the same character as recreation resort. However, the separation from this property and the other existing uses by a road and golf course would appear to allow it to be harmonious.

**3. *Will the proposed amendment affect adjacent property?***

**Response:** This amendment is for a transient lodging type use which will affect the golf course, the type of emergency responses required, and the traffic patterns in the area which in turn affects adjacent property. As the applicant has stated, the traffic patterns for a transient lodging facility are less intense than for units that are occupied full time. The golf course will be affected the same, physically, whether these units are built for residential use or transient lodging use. The applicant's stated goal is to help ensure additional tee times are booked for the golf course in conjunction with the lodging sales, which would be a financial benefit to the course. Adjacent residents have expressed concerns with the type of visitors and the increased traffic in the area and the effect this could have on their property and the quiet enjoyment of their property. With an onsite manager and fencing along the golf course, this project should have little negative effect due to the supervision provided to the property. Any effect unique to the zone change request from residential uses to vacation rental uses is the only effect that should be considered.

**4. *Are public facilities and services adequate to serve the subject property?***

**Response:** There are currently sewer, gas, water, and power facilities available in this area. Additional 600 North improvements would be required by the applicant to address the additional traffic and the required frontage improvements. The applicant would be required to address development of the facilities into and through the property to function properly to serve the proposed project.

**Findings:** Staff makes the following findings:

1. The proposed amendment is consistent with the goal of providing opportunities for visitors to the area.
2. The proposed amendment is harmonious with the overall character of planned development but not necessarily existing development other than the golf course in the vicinity.
3. Necessary public facilities and services are adequate or available to serve the property.
4. The proposed amendment will affect adjacent property because it changes the nature of the existing neighborhood by the introduction of more transient occupants. However, the effect on golf course revenue and the lower traffic volumes must also be considered. This

effect may be less impact than full time residential development and it may be more.

**Recommendation:** Staff recommends the Planning Commission review the staff comments and send a recommendation to the City Council.

**Peter and Marsha Kirk  
2618 W 570 N  
Hurricane, UT 84737**

Feb. 21, 2020

Ms. Toni Foran, Planning Director  
and Hurricane City Planning Commission  
City of Hurricane  
Planning Department  
147 North 870 West  
Hurricane, UT 84737

Re: Request for zoning map amendment from PDO-R-1-8 condominiums to PDO-RR Recreation Resort condominiums for approximately 6.97 acres located east of 2670 West on the north side of 600 N within the front 9 holes of Sky Mountain Golf Course.

Dear Ms. Foran,

We are writing to ask the Hurricane City Planning commission to reject the request for this property to be rezoned to PDO-RR resort condominiums and ask that you provide a copy of this letter to each member of the commission.

We live directly across from the property and have no problem with the proposed development as it was approved by the town council (retaining the PDO-R-1-8 zoning and limiting the height, separation and setbacks for the buildings to the current building code).

However, we object to the proposed zoning change request because we feel it does not meet most of the requirements of the Recreation Resort Zoning Ordinance for the following reasons:

1. It is not consistent with the City's general plan.

First, when the condos are purchased as owner occupied first or second homes, the people purchasing them will be golfers who will use and respect the course. Their use of the course will increase the number of rounds played annually and improve the course's financial results. In all likelihood, they will provide more usage of the course than nightly rental units where a number of renters will simply be looking for a place to stay while visiting the area and not be in the least interested in golfing.

Having owner occupied units that increase the courses use and viability is in keeping with the Town's Community Vision regarding the course.

Second, it would seem that if this use was consistent there would be no need for a zoning change.

2. It is not harmonious with the surrounding area. Changing the zoning from owner occupied condominiums to allow for 84 nightly rental units is not in



keeping with the surrounding neighborhoods. Our community (Sky Ridge) is about 100 ft from the proposed condos. Our neighborhood is made up of single family homes that are either owner occupied or long term rentals and have a sense of community, something nightly rental units lack.

Additionally, Sky Mountain, another adjoining community, is comprised solely of owner occupied units with no rental units..

Given how close this project is to Sky Ridge and Sky Mountain, it's hard to see how these nightly rental units fit in with their neighbors.

Owner occupied condos are much more harmonious with the surrounding area.

Given the transient nature of the tenants, allowing 84 nightly rentals in our area will have the same impact as putting a small hotel next to us and that impact is not at all in keeping with the surrounding residential neighborhoods and any sense of community.

3. Nightly rentals will adversely impact the surrounding properties.

We believe the project will have an adverse impact on our property by lowering the value of our and a significant number of our neighbors homes. The same can also be said for those Sky Mountain properties facing the project.

We believe there are two reasons this project will hurt our property's value. First, generally, non owner occupied rental properties are not as well maintained as someones home regardless of who manages them. Since property values are impacted by the properties around them having nightly rental units across from our and our neighbors homes can't help but detract from the value of our homes.

Second, a number of people do not want to live near or next to nightly rental units this reduces the number of potential buyers which hurts a property's value

While the applicant states the property values of the neighboring properties will increase because nightly rental properties sell for more than owner occupied properties, they provide no evidence that this is true. The idea that because night rental units sell for higher prices than owner occupied units, the value of the owner occupied homes will go up seems to be an apples to oranges comparison since the homes surrounding these units are not nightly rentals.

Given that the proposed project can be developed as owner occupied properties, and was approved by the Town Council as such, there does not appear to be any reason for the Commission to approve the requested zoning change. So we ask that the Commission reject the proposed zoning amendment request.

Sincerely,

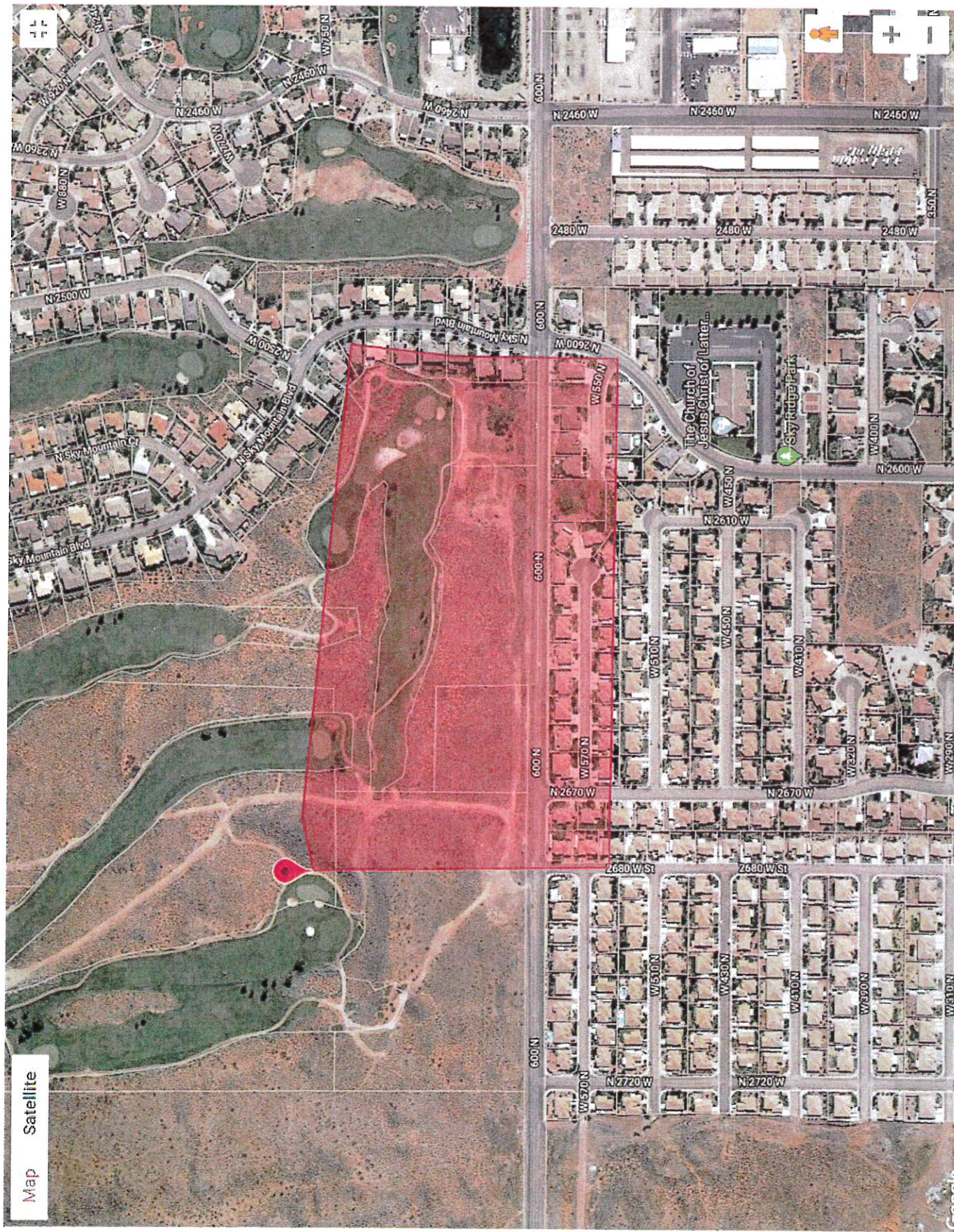


Peter Kirk

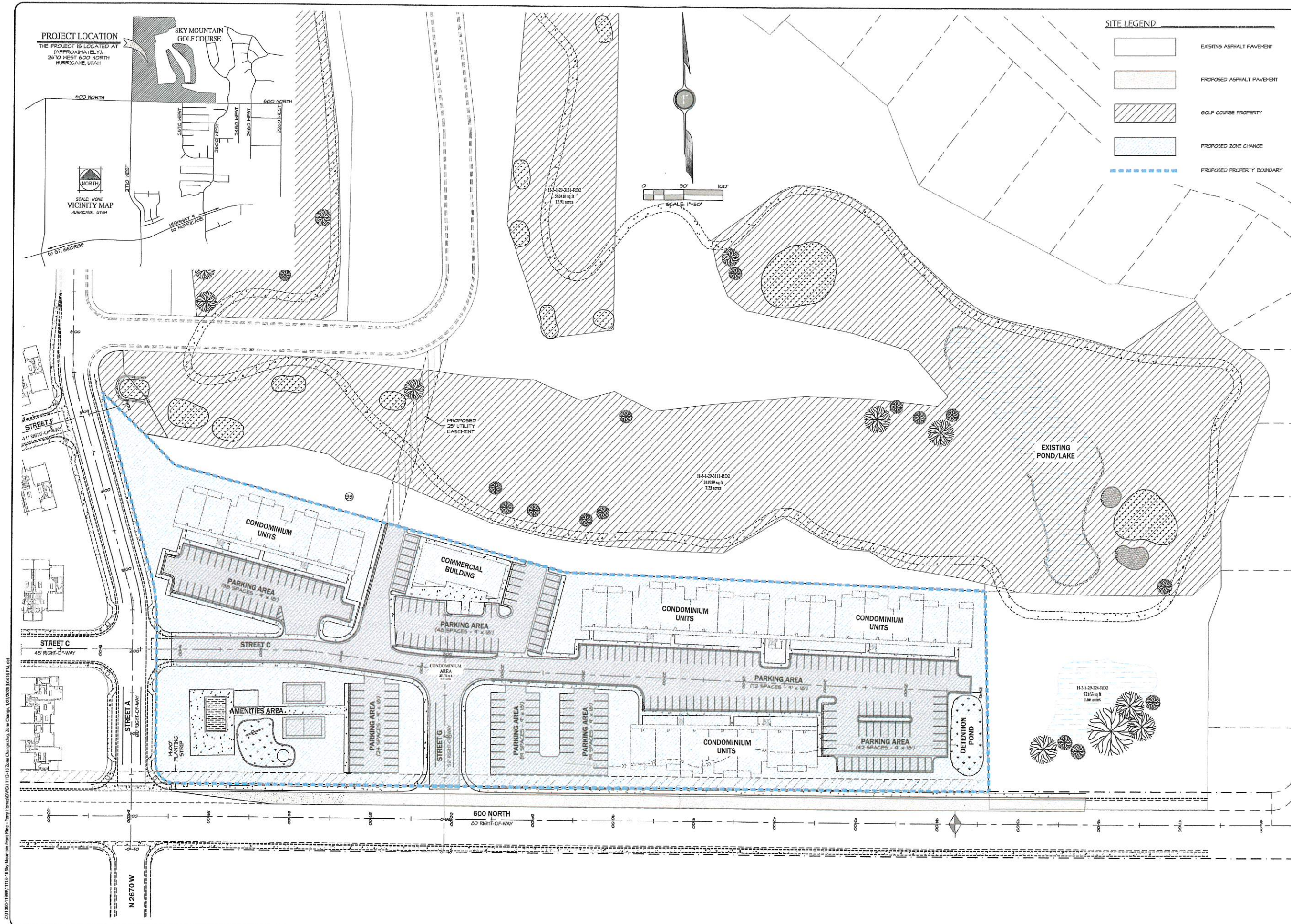
2618 W 570 N

Hurricane, UT 84737







[illegible]



# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:  
File No. 2020-ZC-07  
Receipt No. 7.1050961

Name: W&B Dirt LLC Telephone: \_\_\_\_\_

Address: 150 West Hilton Drive, St. George, UT 84770 Fax No. \_\_\_\_\_

Agent (If Applicable): Alpha Engineering Telephone: (435) 628-6500

Email: jaredmadsen@alphaengineering.com

Address/Location of Subject Property: Near 3270 South and 1100 West

Tax ID of Subject Property: H-3-2-22-340, H-3395-A-P-1, H-3395-C-P Existing Zone District: RA-1

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)

Proposed zoning district of R-1-15. Owner desires to construct a subdivision on the property.

**Submittal Requirements:** The zone change application shall provide the following:

- ☒ a. The name and address of every person or company the applicant represents;
- ☒ b. An accurate property map showing the existing and proposed zoning classifications;
- ☒ c. All abutting properties showing present zoning classifications;
- ☒ d. An accurate legal description of the property to be rezoned;
- ☒ e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- ☒ f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

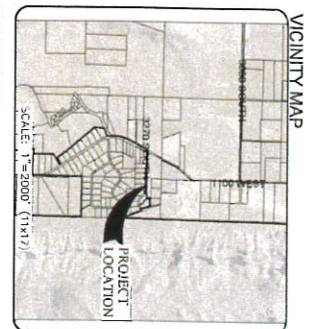
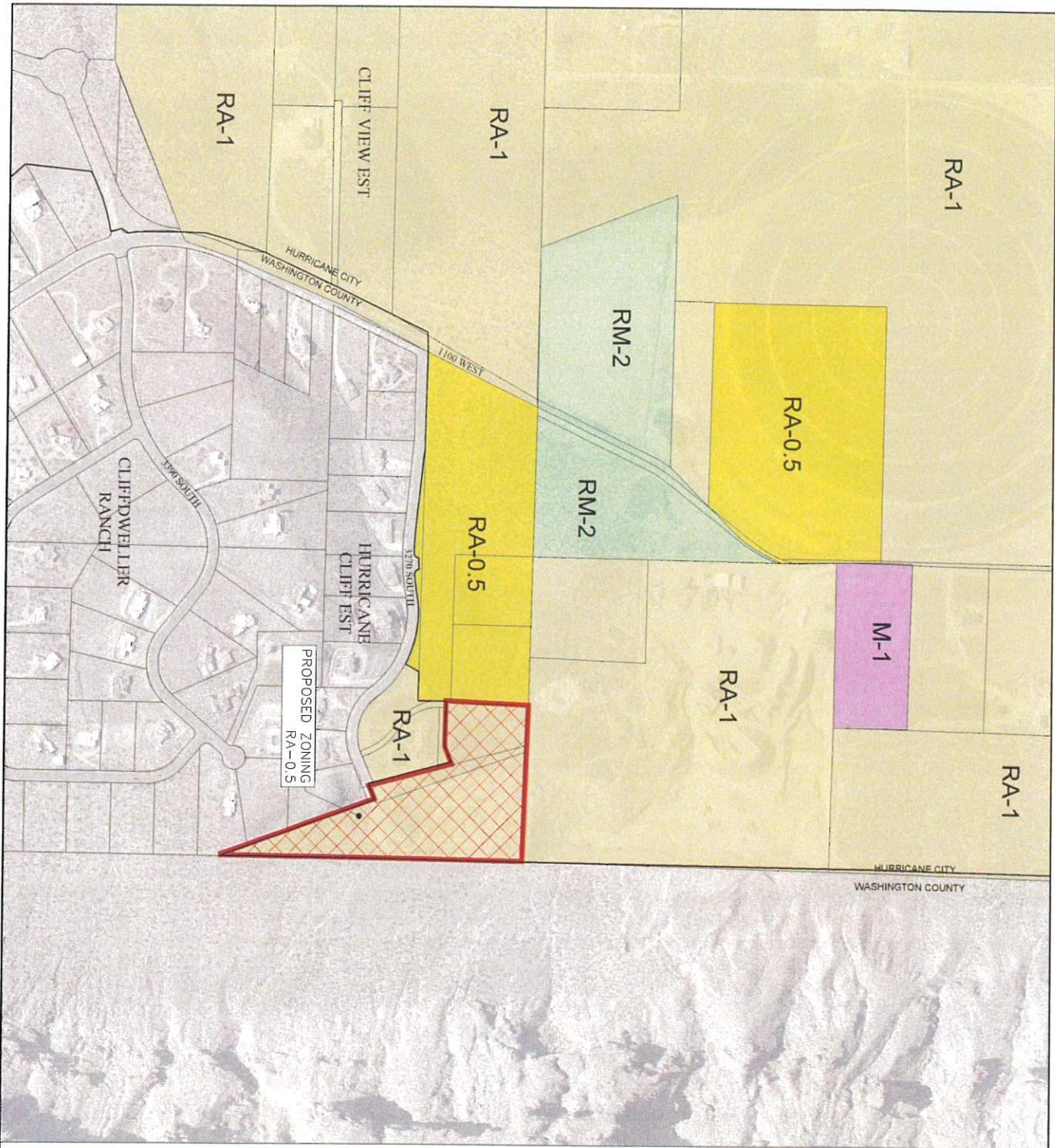
**Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.**

\*\*\*\*\*

Date Received: 2/13/20 (Office Use Only) Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_





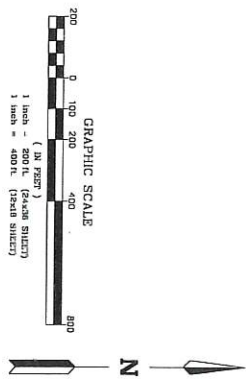
**SITE NOTES**

OWNER/DEVELOPER/APPLICANT  
 150 WEST HILTON DRIVE  
 ST. GEORGE, UTAH 84770  
 PH: (435) 668-9555

PLAN PREPARED BY  
 ALPHA ENGINEERING COMPANY  
 43 SOUTH 100 EAST, SUITE 100  
 ST. GEORGE, UTAH 84770  
 PH: (435) 628-8553  
 FAX: (435) 628-8553

PROJECT LOCATION  
 APPROX. 3270 SOUTH 1100 WEST  
 HURRICANE, UTAH 84737

PLAT: SECTION 21 - TOWNSHIP 42 SOUTH -  
 RANGE 13 WEST - SALT LAKE BASE & MERIDIAN  
 ASSessor PARCELS: H-3-2-22-340, H-3395-A-P-1,  
 H-3395-C-P



<p><b>ZONE CHANGE EXHIBIT</b></p> <p>HURRICANE CLIFFS PHASE 2 SUBDIVISION</p> <p>HURRICANE, UTAH</p>		<p><b>ALPHA ENGINEERING</b></p> <p>43 South 100 East Suite 100 • St George, Utah 84770          T 435.628.8500 • F 435.628.8553 • alphaengineering.com</p>	<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	NO.	DATE	BY	DESCRIPTION																																								
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## STAFF COMMENTS

**Agenda:** February 26, 2020 **File Number:** 2020-ZC-07

**Type of Application:** Zone Change

**Applicant:** Corbin Wade/Shane Brinkerhoff

**Agent:** Jared Madsen – Alpha Engineering

**Request:** A zone change from RA-1, Residential Agricultural one acre, to RA -.5, Residential Agricultural half acre for approximately 9.81 acres.

**Location:** North of 3270 South and east of 1100 West

**General Plan:** Single Family Residential up to 4 units per acre

**Existing Zoning:** RA-1

**Discussion: CLARIFICATION:** The applicant filed this application asking for a change to R-1-15 zoning. After the notice was posted, property posted, and letters sent, staff was notified they intended the request to be for RA-.5, not R-1-15. This report will be based on RA-.5 zoning. This zone change request is for property proposed to be located within the Rock View Subdivision that was tabled during the January 16<sup>th</sup> meeting because all the lots didn't meet the required minimum lot size for RA-1. Analysis provided with the subdivision application shows the property contains 10-30% slopes. The adjacent zoning and land use follow:

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1& RM-2	Gravel pit & vacant
East	Open Space Transitional	BLM/ Hurricane cliffs
South	RA-1	Single family homes
West	RA-1	1100 West and vacant

In order to change the zoning on any parcel of land within the City of Hurricane the following questions need to be addressed,

***1. Is the proposed amendment consistent with goals, objectives and policies of the City's General Plan?***

**Response:** The section of the General Plan on steep hillsides and areas of geologic hazard includes the following policies: *It is desirable to retain low zoning densities on hillside areas as a means to reduce the impact of development..... In hillside areas having slopes greater than 10 percent where existing zoning allows lots less than one acre in size, minimum lot sizes should be increased proportionately with increase in slope as a means to reduce grading, increase space between buildings, reduce visual impact, and provide a transition to open space on higher ridges.* The slopes on this property go from less than 10% to over 30% . The 30% slopes cannot be included in lot size when a plat

complying with hillside regulations is submitted under any zoning.

It also includes this language: *Geologic Hazard Policies: A. Land development projects located within or near to identified hazards should be developed with the aid of a geologist, soil scientist, or civil engineer, to identify those portions of the project that include geologic and soil hazards. B Areas of geologic or soil hazard should be developed only after demonstration that the hazards would be adequately mitigated, will not cause property damage or unsafe conditions, and will not cause unsightly scars on the land.* The 2008 Utah Geological Survey maps show this property in an area of high rockfall hazard and in a special study area for earthquake. Increasing unit density may not be wise without the completion of a special study for both rockfall and earthquake hazards.

**2. *Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?***

**Response:** This amendment is for property located between a working gravel pit/concrete plant and houses in the Hurricane Cliff Estates which are on lots ranging from 1 acre to 2 acres. Additional density means more residents affected by the dust, noise, and lights of the existing gravel pit which will continue to operate. It also means more residents in an area of predominately larger lots.

**3. *Will the proposed amendment affect adjacent property?***

**Response:** The proposed amendment will affect immediately adjacent property by doubling the possible density. However, the County RA-1 zoning requires the same lot width as the City's RA-.5 zoning and allows a 10' rear setback while the City's RA-.5 zoning requires a 30' rear setback so the houses may not be any closer together.

**4. *Are public facilities and services adequate to serve the subject property?***

**Response:** There is water service in 1100 West but power would have to be developed to serve the property; natural gas service is not available south of 2500 South; cable service is not available, though Century Link has services in the area. Sewer service is being extended to 3000 South by Ash Creek Special Service District, which is approximately one mile from this property. Existing water service in 3270 South is not part of the Hurricane City Water system.

**Findings:** Staff makes the following findings:

1. The proposed amendment is not compatible with goals and policies of the General Plan pertaining to hillsides and geologic hazards because it is located on hillside within a high rockfall hazard and earthquake fault special study area.
2. The proposed amendment is not in harmony with the gravel pit/concrete plant but the difference in setbacks in the County and City codes means the proposed zone would result in the same width lots and greater rear setbacks than required in the development across the street.
3. Public facilities and services must be developed by the applicant to be adequate to serve the subject property.
4. The property is located near arterial and collector roads.

**Recommendation:** Staff recommends the Planning Commission review this application and the zone change amendment standards as well as take into consideration the comments from residents that will be made in the public hearing before making a recommendation to the City Council.






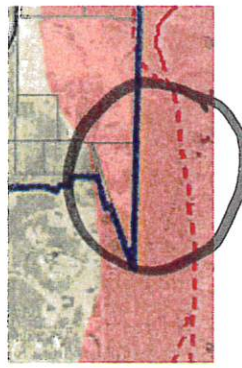
### Classification:

For a detailed explanation of the contents of this map, contact the Hurricane Planning Department for a copy of Special Study 127

- Holocene, Well def
- - - - Holocene, Approx/Bur
- lateQ, Well def
- - - - lateQ, Approx/Bur
- Quat, Well def
- - - - Quat, Approx/Bur
- Unknown, Well def
- - - - Unknown, Approx/Bur

### Surface Faulting

-  Special Study Area ←

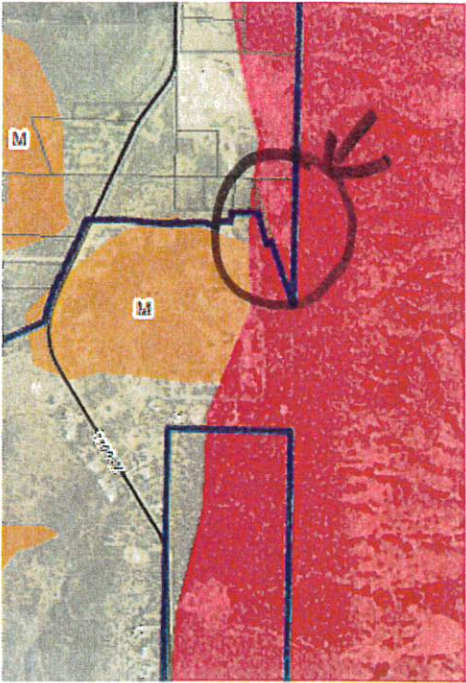




**Description**  
Rock fall is the most common slope-failure type in the study area. The combination of steep slopes capped by well-jointed, resistant bedrock formations such as the Shinarump Member of the Chinle Formation and numerous Quaternary basalt flows, provide ample opportunity to generate rock falls.

**Using This Map**  
The Rock-Fall-Hazard Map shows areas of relative rock-fall hazard in the St. George-Hurricane metropolitan area where site-specific hazard studies are recommended prior to construction (see table 1 the report). These studies can resolve uncertainties inherent in generalized hazard mapping and help ensure safety by identifying the need for rock-fall-resistant design or mitigation. For most areas, site-specific assessment may only require a field geologic evaluation to determine if a rock-fall source is present. However, if a source is identified, additional work to adequately assess the hazard is needed. Rock-fall sources should be evaluated for the following parameters: rock type, joints, fractures, bedding planes, and potential clast size. Slopes below rock sources should be evaluated for slope angle, aspect, substrate, surface roughness, vegetation, and distribution, size range, amount of embedding, and weathering of rock-fall boulders. In addition, evaluation of the runoff zone below a source can be estimated using a simple 2-dimensional model such as CRSP. This map does not consider rock-fall hazards caused by cuts, fills, or other alterations to the natural terrain.

See section 5, "Rock-Fall Hazard", in the full report for more detailed information.



**Classification:**  
For a detailed explanation of the contents of this map, contact the Hurricane Planning Department for a copy of Special Study 127

- Rockfall**
- H - High rock-fall-hazard areas
  - M - Moderate rock-fall-hazard areas
  - L - Low rock-fall-hazard areas



# LAND USE ORDINANCE TEXT AMENDMENT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2020-LUCA-13

Receipt No. 8135643

Name: Bill Zitting Telephone: 435-691-4060  
Address: 296W 100 S. Fax No. \_\_\_\_\_  
Agent (If Applicable): Bill Zitting Telephone: \_\_\_\_\_  
Email: Bill@ZittingConstruction.com Agent Email: \_\_\_\_\_

The proposed text amendment would be to what Chapter and section of the current Land

Use Code 30' FT minimum on Town Home frontage

The purpose this change would accomplish We Have a nice Unit that is 25 FT and it will work great

If purposed request is to create a new zone applicant shall attach a purpose statement for this new zone as found in Chapter 11 for the existing zones. Purposed uses and standards shall be submitted as found in the appropriate zoning group; Residential, Residential Agricultural, Commercial, Industrial, or Open Space and Public Facility Zones.

**Note:** It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

(Office Use Only)

Date Received: 2/13/20 Application Complete: YES ☐ NO ☐  
Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

# 10-13-4:DEVELOPMENT STANDARDS:

Development standards within Residential Zones shall be as set forth in table 10-13-2 of this section.  
(Ord. 03-5-1, 5-1-2003, eff. 6-1-2003)

TABLE 10-13-2  
DEVELOPMENT STANDARDS IN RESIDENTIAL ZONES

Development Standard	Zones						
	R1-15	R1-10	R1-8	R1-6	RM-1 <sup>1</sup>	RM-2	RM-3
Lot standards:							
Average lot area <sup>2</sup>	15,000 sq. ft.	10,000 sq. ft.	8,000 sq. ft.	6,000 sq. ft.	n/a	n/a	n/a
Minimum lot area or acreage	12,000 sq. ft.	8,000 sq. ft.	6,400 sq. ft.	4,800 sq. ft.	10,000 sq. ft.	1 acre	1 acre
Minimum lot width and/or project frontage	90 ft.	80 ft.	70 ft.	60 ft.	80 ft . project 30 ft . unit	100 ft . project 30 ft . unit	<del>200 ft . project 30 ft . unit</del> 25
Maximum density per acre	n/a	n/a	n/a	n/a	6 units/lots	10 units/lots	15 units/lots
Building standards:							
Maximum height, main building <sup>3</sup>	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.
Maximum height, accessory building <sup>4</sup>	16 ft.	16 ft.	16 ft.	16 ft.	20 ft.	20 ft.	20 ft.
Maximum size, accessory building	1,200 sq. ft.	1,200 sq. ft.	500 sq. ft.	500 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	500 sq. ft.

## STAFF COMMENTS

**Agenda:** February 26, 2020 **File Number:** 2020-LUCA-03

**Type of Application:** Land Use Code Amendment

**Applicant:** Bill Zitting

**Request:** Remove 30' unit width requirement in RM zones

**Discussion:** The applicant is proposing a change to the Land Use Code, Title 10, Chapter 13, Section 4, Development Standards – eliminating the unit width. His application states the purpose is because they can design a nice project with a 25' wide unit. This application is being considered in conjunction with the application for shorter front yard setbacks by Mike Stewart tabled in December.

Reference to a townhome project in St. George was provided by the applicant and staff researched several other projects in the St. George/Washington areas. The impression these projects gave was that narrower unit widths and closer setbacks result not in more units, as densities are set by zone, but result in larger and more useful common areas for the enjoyment of residents and more design flexibility.

This quote from a national article praising Salt Lake City's multi-family planning is appropriate to include in this report as it points out the quality of design and the location of the project are the most important consideration in multi-family decisions. *There's public pushback about some development project because it's "too dense." Inevitably, whenever a developer proposes something, one of the first questions is how dense it is. But instead we should be asking how the project is designed. Will it accommodate our growth in a way that will lead to a high quality of life for ourselves and our children? If we do this, we'll accommodate the housing people want and can afford. We'll use less farmland and water. We'll ensure people can still get around despite our growth. We'll minimize the impact on existing single-family neighborhoods. And we'll create the kinds of town and village centers our grandparents used to enjoy—places where you can walk with your children to buy an ice cream cone, or where workers can walk to lunch. But it's about far more than just density. It's about design. Because how we grow matters.*

Standards for review: Interestingly, the Land Use Code uses the same criteria for considering a text amendment as a map amendment, as follows: 10-7-7: ZONING MAP AND TEXT AMENDMENTS:

*E. Approval Standards: A decision to amend the text of this title or the zoning map is a matter within the legislative discretion of the city council as described in subsection 10-7-5A of this chapter. In making an amendment, the following factors should be considered:*

*1. Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*

2. *Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
3. *The extent to which the proposed amendment may adversely affect adjacent property; and*
4. *The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

## **Staff Review**

1. The Land Use Code does not address unit or building width in any other zoning district, only multifamily, but rather concerns itself solely with lot width and setbacks. It is not clear if the intent of this standard within the code was to promote the General Plan vision of *“a generally low profile form of development and uncrowded feel.”* (Chapter 3, Vision and Goals ; The Community’s vision for the future) As the General Plan is updated, this vision might be more fully refined.
2. Is this proposed amendment consistent with the goals, objectives and policies of the General Plan? The following language from the General Plan appears to support this change: *Goal III – Quality of the Built Environment – Maintain a strong sense of place, quality, image, and individual identity for built environments and Supporting Objective A – preserve small town quality.* While some may associate small town quality with large lots, historically small towns have townhomes and apartments with doors close to the street, becoming part of the fabric of the streets around them rather than secluded behind large front yards. In Hurricane this is visible in the 1<sup>st</sup> block of north Main Street and the Chums building on south Main Street.
3. Is the proposed amended harmonious with the overall character of existing development? A variety of development has occurred within the City, some with no width requirements and others within the current 30’ width requirement. Because so many multifamily projects are in PDO areas, they do not have minimum width requirements. Few residents would know what the width of each unit is in a condominium or apartment project. This change should be harmonious with the overall character of existing development throughout the City.
4. Could this proposed amendment adversely affect adjacent properties? If the code is not changed to increase zone densities or remove the 50% open space requirement, it does not appear eliminating the minimum unit width would have an adverse effect.
5. Will it change the requirement for adequate facilities and services to serve any property to which it may apply? The only consideration to facilities and services is the number of units to be served and that is based on zone density, not unit width.

**Recommendation:** Staff recommends approval of this Land Use Code change as requested.



## STAFF COMMENTS

**Agenda:** Reconsideration February 26, 2020 **File Number:** 2019-LUCA-05

**Type of Application:** Land Use Code Amendment

**Applicant:** Mike Stewart

**Request:** Amend front yard setback from 25' to 20' in RM zones

**Discussion:** Since the meeting in December, the applicant has supplied multiple photos of projects with narrower widths and shorter front yard setbacks supporting the proposed change. These are included in this staff report along with plats and density calculations for other projects. The City Engineer still opposes the shorter driveways. The Commissioners should decide if that objection is sufficient reason to deny the request.

The applicant is proposing a change to the Land Use Code, Title 10, Chapter 13, Section 4, Development Standards – cutting the front yard setback from 25' to 20'. His application states the purpose is to allow for an extra 5' in the rear yards. However, the application does not indicate an increase in the rear setback from 10' to 15'.

Standards for review: Interestingly, the Land Use Code uses the same criteria for considering a text amendment as a map amendment, as follows: 10-7-7: ZONING MAP AND TEXT AMENDMENTS:

*E. Approval Standards: A decision to amend the text of this title or the zoning map is a matter within the legislative discretion of the city council as described in subsection 10-7-5A of this chapter. In making an amendment, the following factors should be considered:*

- 1. Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*
- 2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
- 3. The extent to which the proposed amendment may adversely affect adjacent property; and*
- 4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

### Staff Review

1. The Land Use Code for Planned Development Overlay zones was amended to increase the garage setback from 25' from back of curb to 20' from back of sidewalk, an indication that the City feels a 20' setback for a structure may be sufficient.
2. A conversation with a local developer indicated that the ideal distance is 21' to back of sidewalk for a garage. Commissioners might want to consider changing the distance to 20' for living but 21' for garage to accommodate larger vehicles.



3. If the goal of this change is to increase the amount of livable space in the rear yard, a change to the rear setback from 10' to 15' is necessary, or 14' if the garage setback goes to 21'.
4. Is this proposed amendment consistent with the goals, objectives and policies of the General Plan? The following language from the General Plan appears to support this change: *Goal III – Quality of the Built Environment – Maintain a strong sense of place, quality, image, and individual identity for built environments and Supporting Objective A – preserve small town quality.* While some may associate small town quality with large lots, historically small towns have townhomes and apartments with doors close to the street, becoming part of the fabric of the streets around them rather than secluded behind large front yards. In Hurricane this is visible in the 1<sup>st</sup> block of north Main Street and the Chums building on south Main Street.
5. Is the proposed amended harmonious with the overall character of existing development? A variety of development has occurred within the City, including commercial development with front setbacks of 20', industrial development with no front setbacks or setbacks matching adjoining zones, development in PDO zones with living area 14' from back of sidewalk, and single family residential development with 25' front yard setbacks. It appears this proposed change would be harmonious with the overall character of existing development.
6. Could this proposed amendment adversely affect adjacent properties? The applicant is requesting this change because he owns property abutting the Ivy Wood PDO and across 100 North where properties have closer setbacks due to the widening and improvement of 100 North. In this location, there would be no adverse effect. However, the change, if approved, would apply to any new multi-family development. Commissioners should determine if a shorter front yard setback could result in an adverse effect on adjacent properties.
7. Will it change the requirement for adequate facilities and services to serve any property to which it may apply? The only consideration to facilities and services is whether the smaller front yard would have a change in the location of utilities and encroachment on public sidewalks. Generally, utilities are located in a 10' utility easement on the front of properties so a 20' setback should not have a negative effect on the ability to supply services.

**Recommendation:** Staff recommends approval of this Land Use Code change as requested with the addition of a change to the rear setback from 10' to 14' in addition to reducing the front setback to 21' for garages and 20' for living space.

















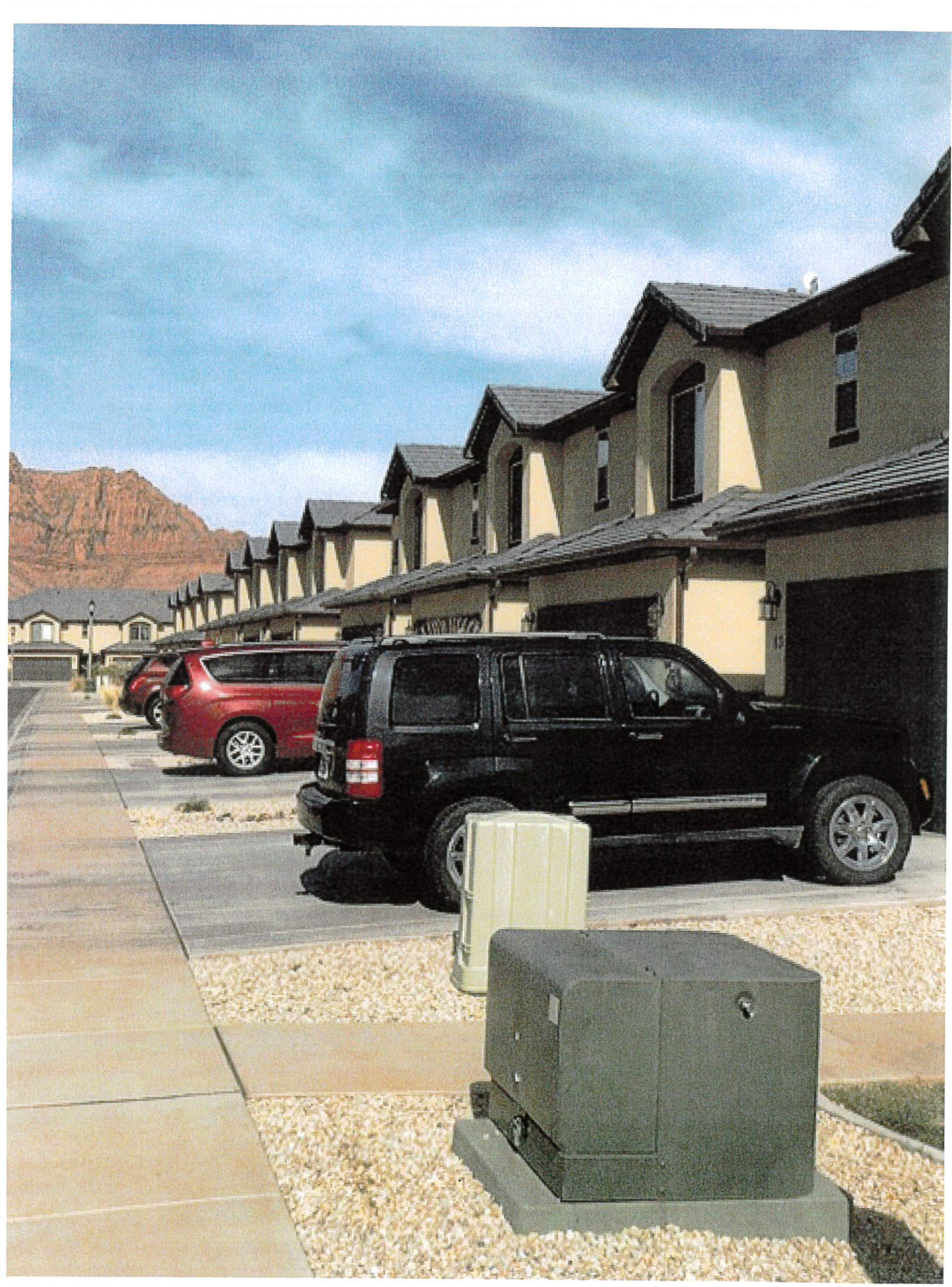












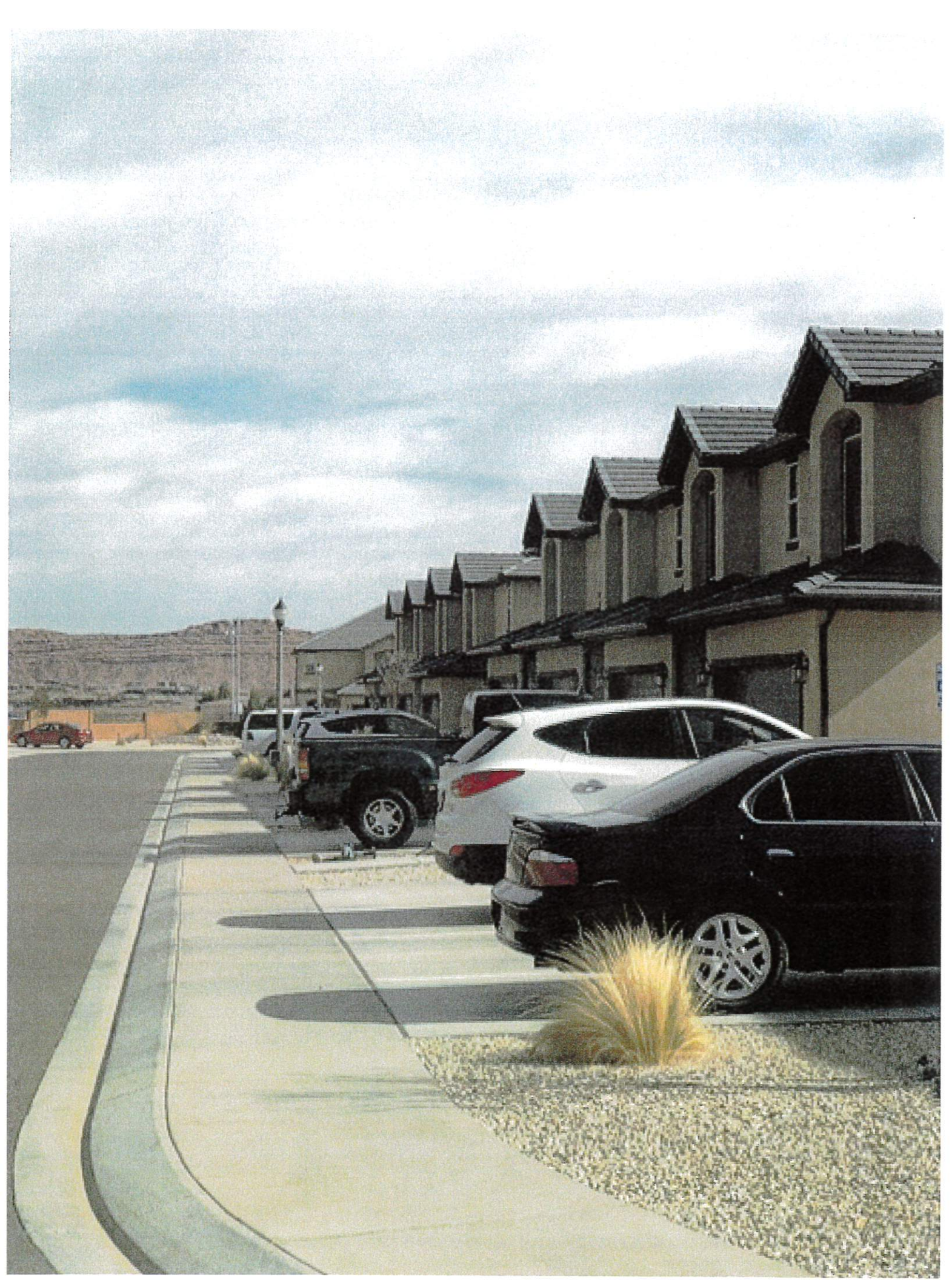










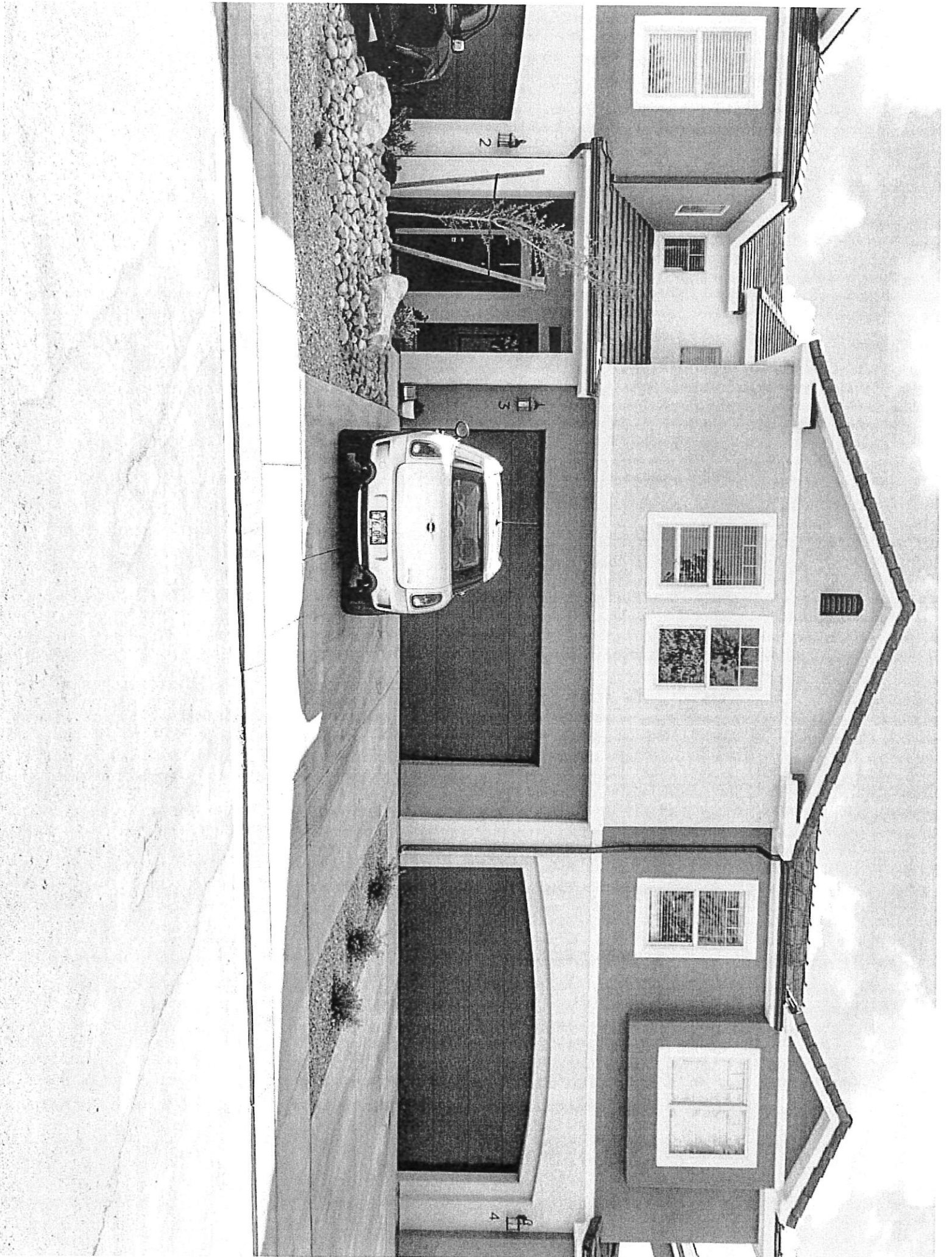




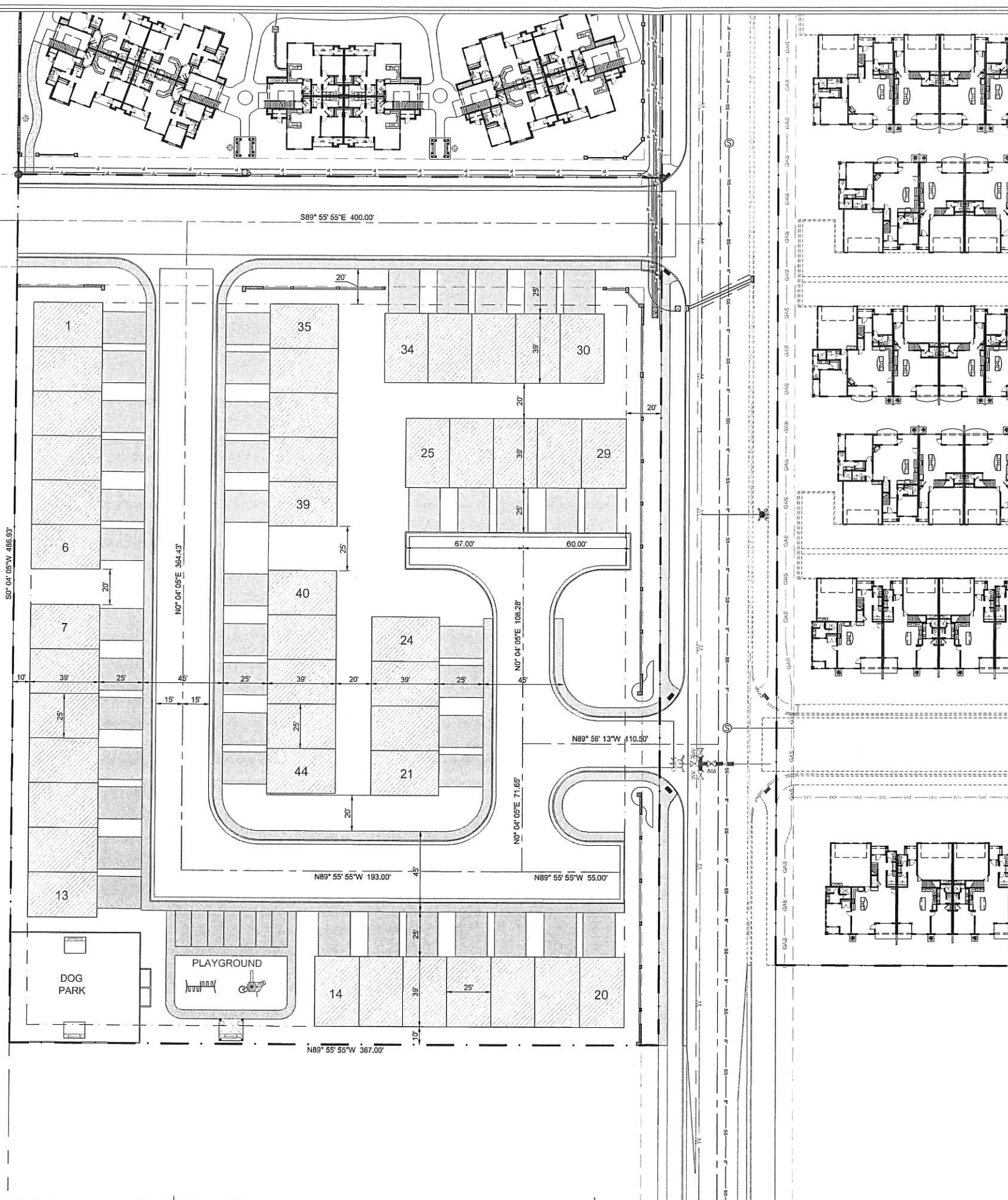
# The Plats at South Pointe





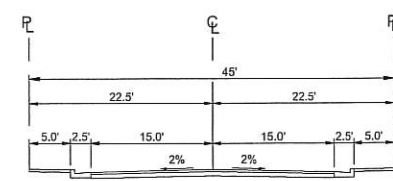


T:\Projects\13-013 --- ZBA\13-013-16 --- Hurricane Condo\dwg\13-013-15 SITE 2-4-20.dwg Feb 04, 2020 - 9:52am



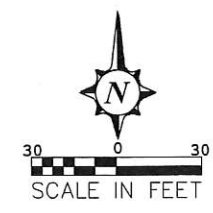
# SITE PLAN NOTES

1. DESIGN OF ALL ASPHALT & REINFORCED CONCRETE SHALL CONFORM WITH RECOMMENDATIONS OF GEOTECHNICAL ENGINEER (LANDMARK TESTING & ENGINEERING, PROJECT No. 15126, APRIL 2015).
2. ALL PAVEMENT MARKINGS SHALL BE ACCOMPLISHED WITH USE OF PAINTING MACHINES AND / OR STENCILS. ROAD LINES, PARKING STALL AND ISLAND STRIPING SHALL BE 4 IN. WIDE AND SHALL BE STRAIGHT WITH A "CLEAN" EDGE. ALL DIRECTIONAL ARROWS, STOP BARS, ETC. SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
4. ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
5. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
6. SEE SITE LIGHTING PLAN FOR STREET LIGHTS AND PARKING LOT LIGHTING.
7. SEE LANDSCAPE PLAN FOR IRRIGATION AND PLANTING.
8. ALL CONCRETE WALKS ARE ADA ACCESSIBLE PATHS. 5% MAX SLOPE AND 2% MAX CROSS SLOPE ALONG ANY SECTION OF ACCESSIBLE PATH.
9. CURB PAINTING SHALL BE PER DETAIL A4, SHEET C-5.2 AT THE PUBLIC STREET INTERSECTION, FIRE HYDRANTS AND STOP SIGNS.



CROSS SECTION A1

SCALE: 1"=10'



**EXCEL DESIGN ASSOCIATES**  
"ENGINEERING EXCELLENCE"  
DESIGN - ENGINEERING - LAND PLANNING - REAL ESTATE  
473 SOUTH RIVER ROAD ST. GEORGE, UTAH 84790  
TEL: (435) 679-4586 FAX: (435) 688-4586  
E-MAIL: charles@exceldesignus.com WEBSITE: www.exceldesignus.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**HURRICANE TOWNHOMES  
SITE CONSTRUCTION PLANS**  
2170 WEST 600 SOUTH  
HURRICANE, UTAH  
LOCATED IN THE N.W. 1/4 OF SEC. 33, T41S, R13W, SL&M

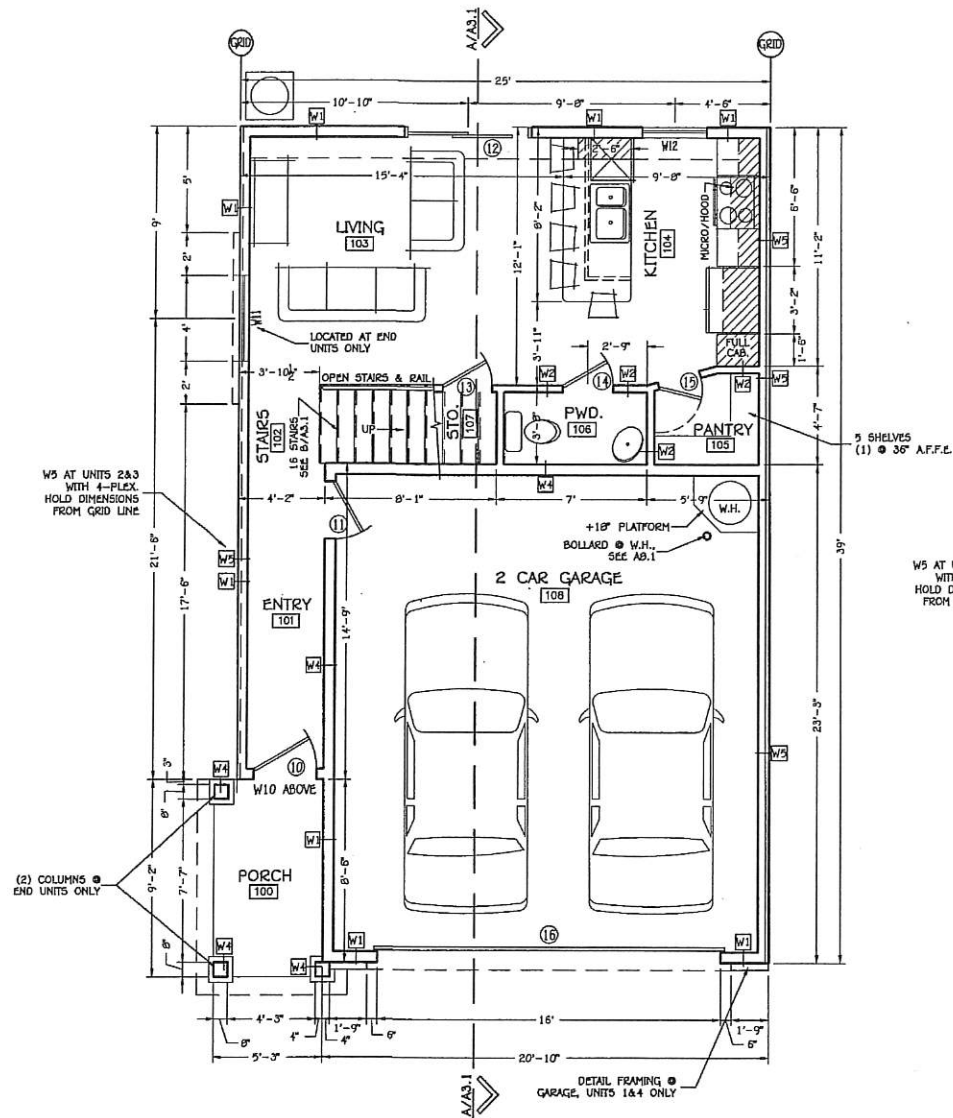
REVISIONS		
REV.	DATE	DESCRIPTION
1		
2		
3		
4		

PROJECT NO: 13-013-04  
CAD DWG. FILE: 13-013-04 SITE  
DRAWN BY: CWH  
DESIGNED BY: CWH  
FIELD CREW:  
CHECKED BY:  
DATE: 10/22/19

SHEET TITLE:  
**PRELIMINARY  
SITE  
PLAN**

**C-2.1**  
SHEET: 2 OF 12





**MAIN FLOOR PLAN**

SCALE: 1/4" = 1'-0"

9' CEILING HEIGHT

LIVING: 464 sq. ft.

GARAGE: 405 sq. ft.

TOTAL LIVING: 1,404 SQ. FT.

**WALL TYPES:**

W1 2x6 FRAMED EXTERIOR WALL. FRAMING @ 16" O.C. U.N.O., PROVIDE R-19 BATT INSULATION. SEE A3.1 & A8.1 FOR NON-STRUCTURAL WALLS. SEE STRUCTURAL PLANS FOR BEARING AND SHEAR WALLS WHERE OCCUR.

W2 2x4 INTERIOR PARTITION WALL. FRAMING @ 16" O.C. NOTE: INTERIOR WALLS NOT NOTED ARE TO BE W2.

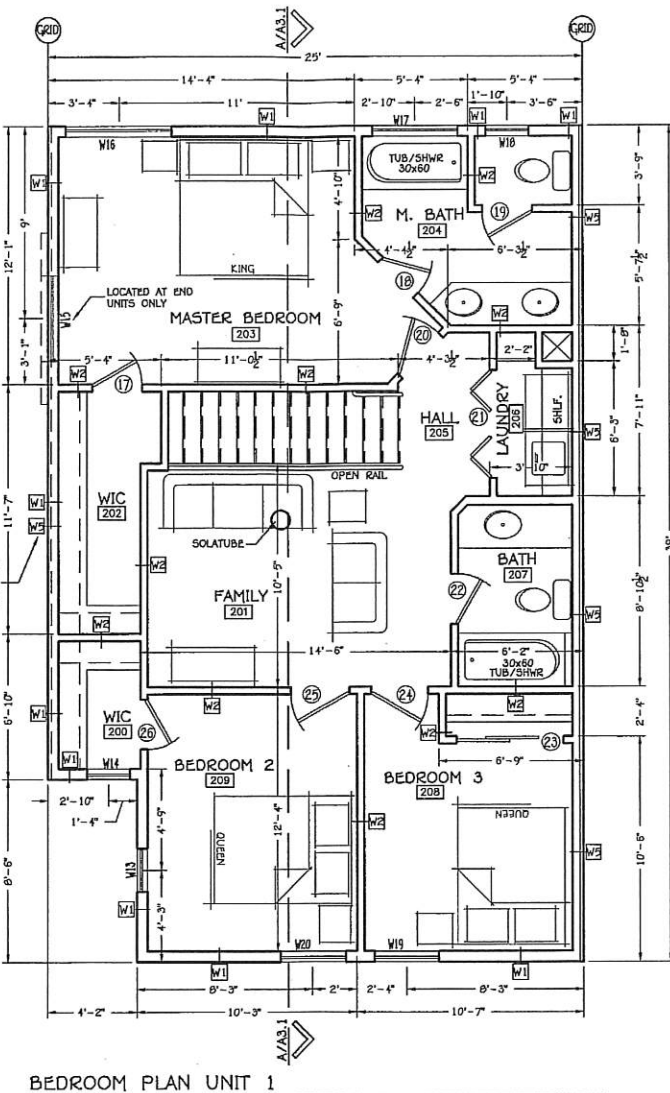
W3 2x6 INTERIOR PARTITION WALL. FRAMING @ 16" O.C.

W4 8x8 WOODEN POST. TO BE UTILIZED IN PORCH FRAMING. SEE STRUCTURAL PLANS WHERE APPLICABLE.

W5 2x4 INTERIOR SOUNDPROOF DEMISING WALL (FIRE SEPARATION PARTY WALL).

FRAMING @ 16" O.C. PROVIDE R-13 BATT INSULATION. PARTY WALLS TO BE BUILT TO PROVIDE 2-HOUR FIRE SEPARATION BETWEEN UNITS. PER ANSI/UL 263; UTILIZING UL DESIGN NO. U336, SEE DETAILS C/A3.1 & 4.5/A8.1 FOR DETAILED INFORMATION ON SEPARATION WALL SPECIFICATIONS. SEE STRUCTURAL PLANS FOR BEARING AND SHEAR WALLS.

-INTERIOR: 1/2" GYP., (MINIMUM)



**2nd FLOOR PLAN**

SCALE: 1/4" = 1'-0"

8' CEILING HEIGHT

940 sq. ft.

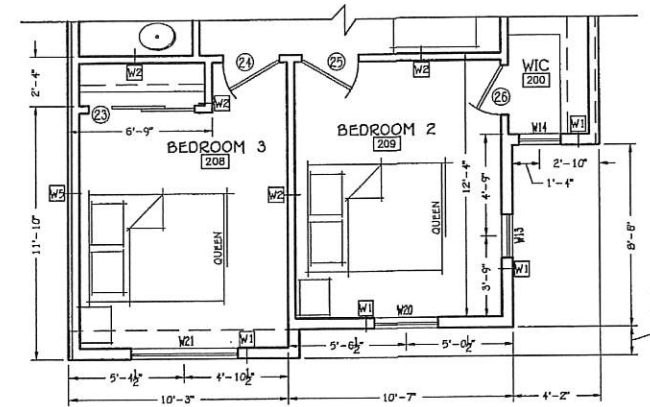
**LEGEND:**

⑩ TAG, SEE SHEET A5.1

W9 WINDOW TAG, SEE SHEET A5.1

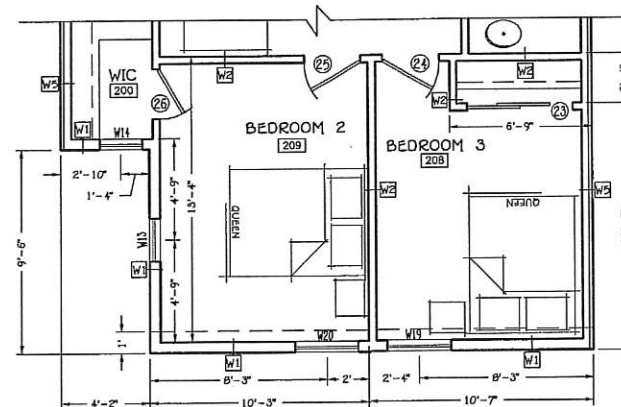
202 ROOM TAG, SEE SHEET A5.4

W4 WALL TAG, SEE KEY THIS SHEET



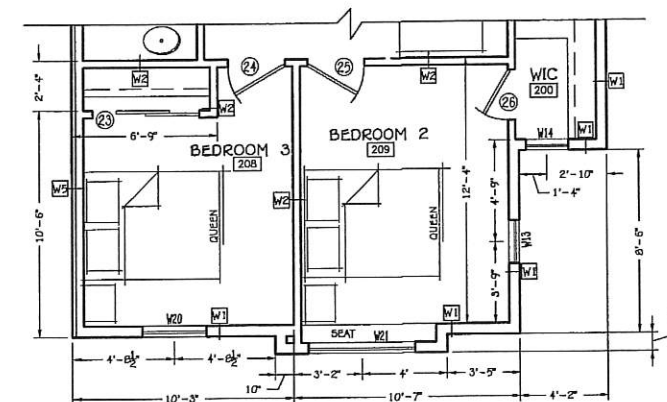
**BEDROOM PLAN UNIT 2 \*SHOWN MIRRORED**

ADDS 14 SQ. FT.



**BEDROOM PLAN UNIT 3**

ADDS 21 SQ. FT.



**BEDROOM PLAN UNIT 4 \*SHOWN MIRRORED**

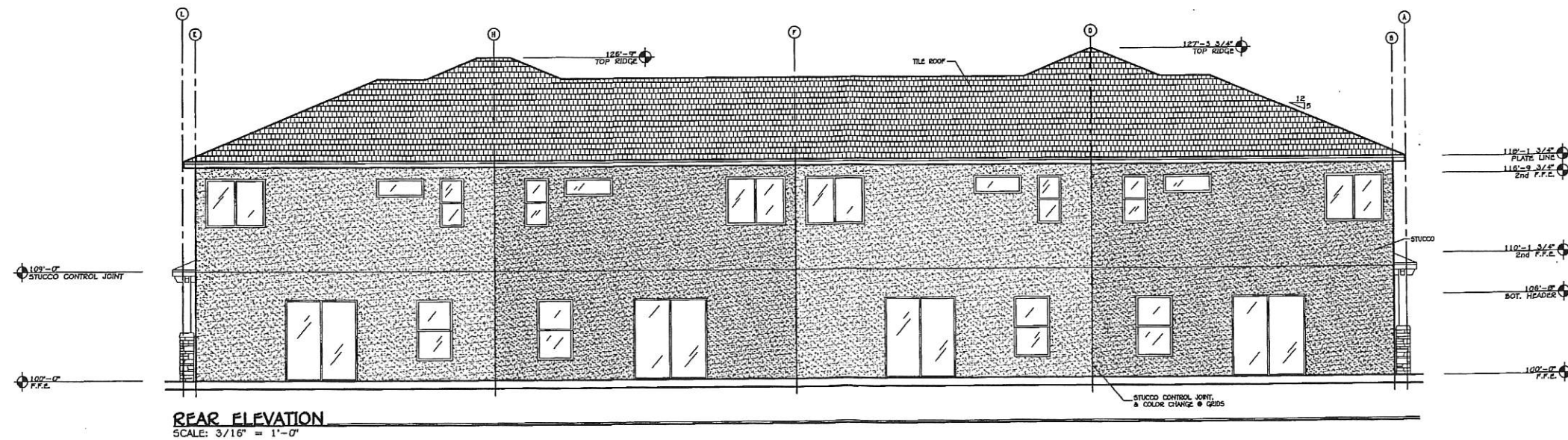
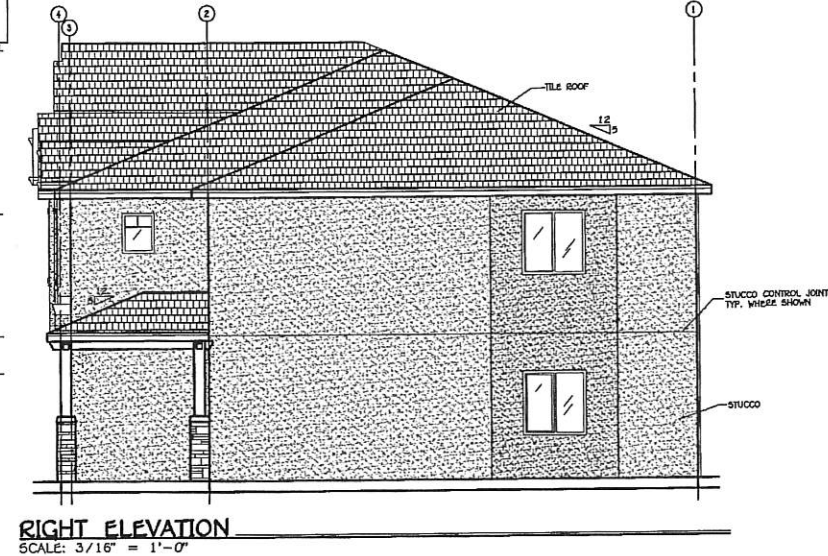
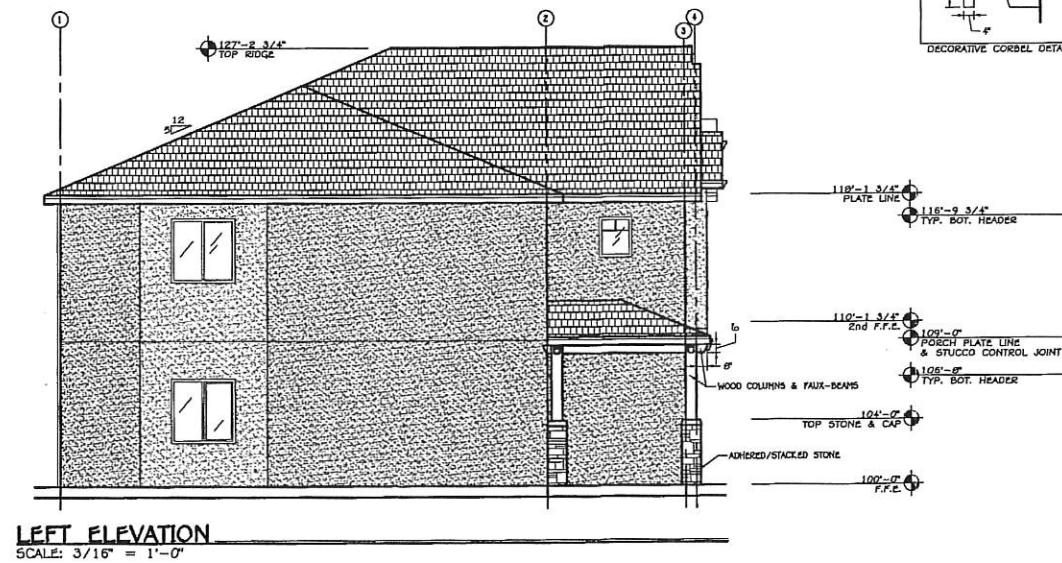
5/1/15  
DATE:  
JOB NUMBER:  
1/4"=1'  
SCALE:  
J.J.M./S.R.S.  
DRAWN:  
CHECKED:  
10-30-15  
No. 7238028-0301  
JEFFERY JOHN  
MATHIS  
STATE OF UTAH



**DESIGN ASSOCIATES INC.**  
ARCHITECTURE & CONSULTING ENGINEERS

251 W. HILTON DR # 202  
P.O. BOX 2775  
ST. GEORGE UTAH 84770  
(435) 628-2377 (435) 673-3580 fax  
www.mrwdesign.com

**UNIT FLOOR PLAN**  
DAVID NASAL  
RESIDENCES AT 450  
ST. GEORGE CITY, UTAH



5/1/15  
DATE  
JOB NUMBER:  
3/16"=1'  
SCALE:  
S.R.S.  
DRAWN:  
CHECKED:  
10-7-18  
No. 7238025-0301  
JEFFERY JOHN  
MATHIS  
STATE OF UTAH

**M**  
**RW**  
**DESIGN**  
ASSOCIATES INC.  
ARCHITECTURE &  
CONSULTING ENGINEERS

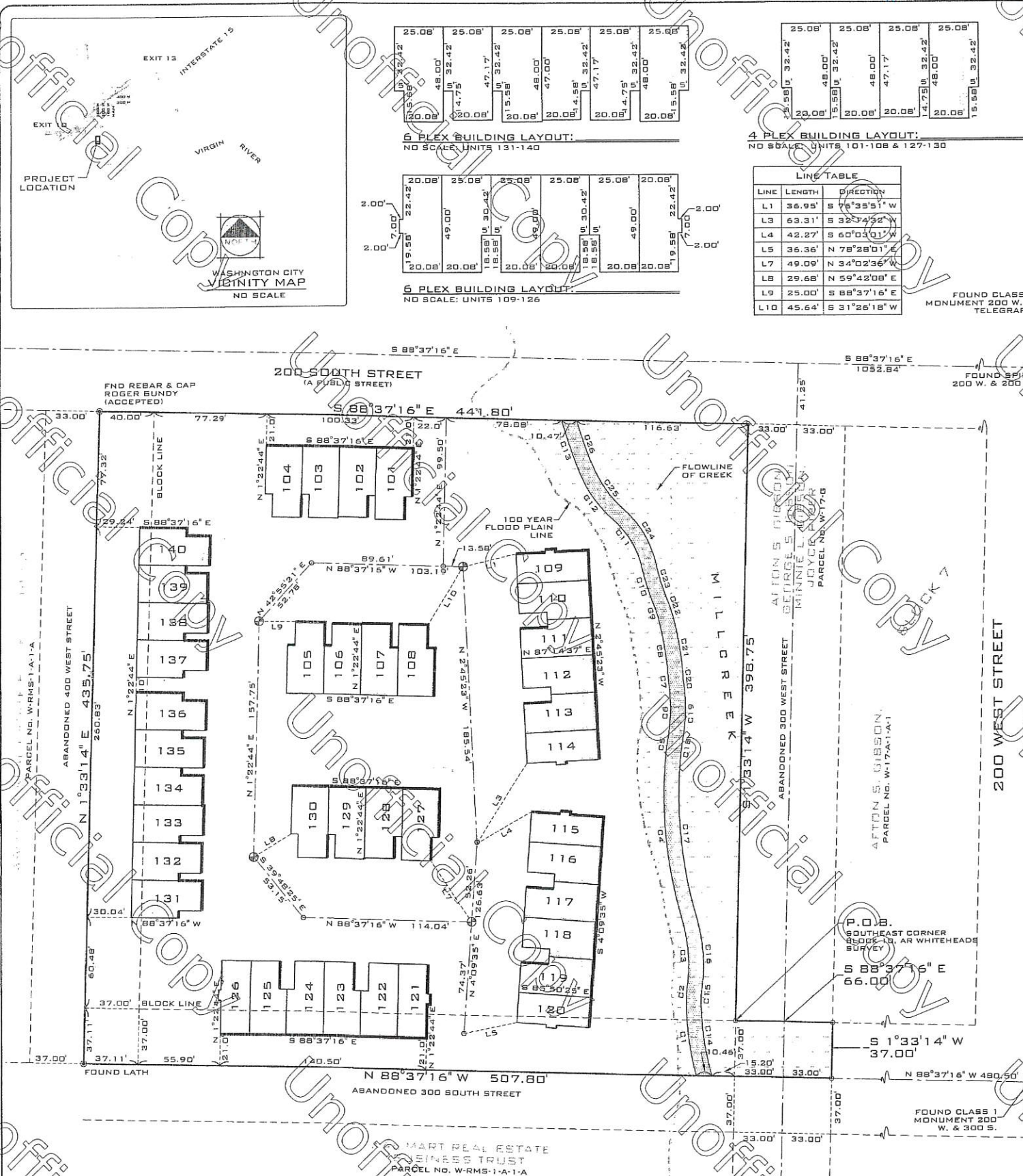
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P.O. BOX 2775  
ST. GEORGE UTAH 84770  
(435) 628-2377 (435) 673-3580 fax  
www.mrwdesign.com

**4-PLEX EXTERIOR ELEVATIONS**  
DAVID NASAL  
RESIDENCES AT 450  
ST. GEORGE CITY, UTAH

A4.1  
OF SHEETS



Located in Washington west of Walmart



## GENERAL NOTES AND RESTRICTIONS:

1. THIS SUBDIVISION CONTAINS PRIVATE STREETS AS LABELED. PRIVATE STREETS ARE NOT OWNED, MAINTAINED, OR REPAIRED BY WASHINGTON CITY. THE PROPERTY OWNERS AND/OR HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL PRIVATE STREETS WITHIN THIS SUBDIVISION.
2. ALL DRAINAGE IMPROVEMENTS WITHIN THIS SUBDIVISION ARE PRIVATE AND ARE NOT OWNED, MAINTAINED, OR REPAIRED BY WASHINGTON CITY. THE PROPERTY OWNERS AND/OR HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL DRAINAGE IMPROVEMENTS WITHIN THIS SUBDIVISION UNLESS OTHERWISE APPROVED AND ACCEPTED BY WASHINGTON CITY AS PUBLIC.
3. ALL POWER, SEWER AND WATER IMPROVEMENTS ARE PUBLIC AND MAINTAINED BY WASHINGTON CITY, RESPECTIVELY, UP TO AND INCLUDING THE METERS. ALL FIRE HYDRANTS AND APPURTENANCES WITHIN THIS SUBDIVISION ARE PUBLIC AND ARE MAINTAINED BY WASHINGTON CITY. FIRE LINES TO BUILDINGS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNERS AND/OR HOME OWNERS ASSOCIATION.
4. THE PROPERTY OWNERS AND/OR HOME OWNERS ASSOCIATION SHALL BE RESPONSIBLE FOR REPAIRING, RESTORING, OR REPLACING PRIVATE STREETS, LANDSCAPING, OR OTHER PRIVATE IMPROVEMENTS CONTAINED WITHIN THIS SUBDIVISION. RESULTING FROM DAMAGE OR DISRUPTION CAUSED BY WASHINGTON CITY IN INSTALLING, MAINTAINING, REPAIRING, OR REPLACING PUBLIC POWER, WATER, SEWER, AND DRAINAGE IMPROVEMENTS.
5. IN ADDITION TO ANNUAL, UNUSUAL, AND SPECIAL ASSESSMENTS FOR MAINTENANCE OF COMMON NON-PUBLIC IMPROVEMENTS CONTAINED WITHIN THIS SUBDIVISION, THE ASSOCIATION SHALL LEVY SUCH ASSESSMENTS AS MAY BE NECESSARY FROM TIME TO TIME TO REPAIR, RESTORE, OR REPLACE PRIVATE STREETS, LANDSCAPING, OR OTHER PRIVATE IMPROVEMENTS CONTAINED WITHIN THIS SUBDIVISION RESULTING FROM DAMAGE OR DISRUPTION CAUSED BY WASHINGTON CITY IN INSTALLING, MAINTAINING, REPAIRING, OR REPLACING POWER, WATER, SEWER, AND DRAINAGE IMPROVEMENTS.
6. BY RECORDING THIS SUBDIVISION PLAT, EASEMENTS ARE HEREBY GRANTED WITHIN ALL COMMON AND LIMITED COMMON AREAS WITHIN THIS SUBDIVISION FOR INSTALLATION, ACCESS, MAINTENANCE, AND REPAIR OF ALL UTILITIES INCLUDING NATURAL GAS, CABLE TV, TELEPHONE, WATER AND POWER, AND FOR SEWER AND DRAINAGE IMPROVEMENTS.
7. ALL ROCK WALLS ARE PRIVATE AND ALL ROCK WALL REPAIR AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS AND/OR HOME OWNERS ASSOCIATION, SAID PROPERTY OWNERS AND/OR HOME OWNERS ASSOCIATION SHALL INDEMNIFY AND HOLD HARMLESS WASHINGTON CITY, ITS OFFICERS, BOARDS, EMPLOYEES, AGENTS OR ASSIGNS, FROM ANY CLAIMS RESULTING FROM ROCK WALLS LOCATED WITHIN THIS SUBDIVISION.
8. ALL COMMON AND LIMITED COMMON AREAS AND PRIVATE DRIVERS SHOWN ON THIS PLAT ARE SUBJECT TO PUBLIC UTILITIES AND DRAINAGE EASEMENTS FOR INSTALLATION AND MAINTENANCE OF IMPROVEMENTS AND SUCH EASEMENTS SHALL BE SUBJECT TO THE RIGHT OF THE WASHINGTON CITY TO REQUIRE THE HOMEOWNERS ASSOCIATION TO ASSESS ITS MEMBERS TO REPAIR STREETS, LANDSCAPING, ETC., WHERE NEEDED TO REPAIR OR REPLACE THE PUBLIC UTILITIES (SEE DECLARATION).

## GEOTECHNICAL INVESTIGATION:

A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY AGED. THE INVESTIGATION RESULTS AND RECOMMENDATIONS FOR THE CONSTRUCTION OF FOUNDATIONS, FLOOR SLABS AND EXTERIOR FILL WORK, ARE COMPILED IN A REPORT DATED 10/1/2014. THIS REPORT IS AVAILABLE FROM THE DEVELOPER AND A COPY IS ON FILE WITH THE WASHINGTON CITY BUILDERS AND CONTRACTORS SHOULD BECOME FAMILIAR WITH THIS REPORT AND COMPLY WITH ITS RECOMMENDATIONS.

## LEGEND:

- PRIVATE OWNERSHIP
- COMMON AREA
- TRAIL AREA TO BE DEDICATED TO WASHINGTON CITY WITH THIS PLAT
- AREA OF PLAT WITHIN 100 YEAR FLOOD PLAIN WITHIN THE COMMON AREA
- SET CORNER - 3/8" X 20" REBAR & PLASTIC CAP - ROSENBERG ASSOCIATES
- NOTHING SET OR FOUND
- FOUND CLASS I MONUMENT
- TO BE SET STANDARD WASHINGTON CITY SURVEY MONUMENT - CLASS I
- TO BE SET STANDARD WASHINGTON CITY SURVEY MONUMENT - CLASS II

CURVE	LENGTH	RADIUS	DELTA
C1	53.73'	184.68'	15°40'11"
C2	4.30'	35.00'	7°02'14"
C3	44.65'	107.29'	23°50'54"
C4	118.22'	293.63'	23°04'06"
C5	3.01'	35.00'	4°55'43"
C6	40.31'	122.05'	18°55'32"
C7	2.18'	35.00'	3°34'13"
C8	39.63'	221.07'	10°16'20"
C9	13.31'	90.00'	8°28'30"
C10	25.32'	143.45'	10°06'51"
C11	37.16'	59.68'	35°33'34"
C12	36.70'	85.00'	24°44'16"
C13	40.08'	269.49'	8°31'14"

CURVE	LENGTH	RADIUS	DELTA
C14	53.73'	174.68'	17°38'36"
C15	3.07'	25.00'	7°02'14"
C16	48.94'	117.28'	23°54'34"
C17	114.32'	283.63'	23°08'33"
C18	2.15'	25.00'	4°55'43"
C19	43.62'	132.05'	18°55'32"
C20	1.56'	25.00'	3°34'13"
C21	41.43'	231.07'	10°16'20"
C22	4.79'	100.00'	8°28'30"
C23	23.65'	133.45'	10°06'51"
C24	43.42'	59.68'	35°36'12"
C25	32.38'	75.00'	24°44'16"
C26	35.55'	259.49'	8°31'14"

## SURVEYOR'S CERTIFICATE:

I, BRANDON E. ANDERSON, PROFESSIONAL LAND SURVEYOR NUMBER 4938716, HOLD A LICENSE IN ACCORDANCE WITH TITLE 2, CHAPTER 22, PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT AND HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED HEREON IN ACCORDANCE WITH SECTION 17-23-17 AND HEREBY CERTIFY THAT ALL MEASUREMENTS AND DESCRIPTIONS ARE CORRECT. MONUMENTS WILL BE SET AS REPRESENTED ON THIS PLAT. I FURTHER CERTIFY THAT BY AUTHORITY OF THE HEREDON OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND HAVE SUBDIVIDED THE SAME TRACT INTO UNITS, COMMON AND LIMITED COMMON AREAS, AS WELL AS PUBLIC EASEMENTS TO BE HEREINAFTER KNOWN AS:

## CREEKSIDE TOWNHOMES

THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND POINTS ESTABLISHED ON THE GROUND IN ACCORDANCE WITH THE HEREDON LEGAL DESCRIPTION.



DATE: 6/17/2014  
BRANDON E. ANDERSON  
CERTIFICATE NO. 4938716

## LEGAL DESCRIPTION:

BEGINNING AT THE SOUTHEAST CORNER OF BLOCK 10, A.R. WHITEHEADS SURVEY OF SECTION 15, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE & MERIDIAN, AND RUNNING; THENCE SOUTH 88°37'16" EAST 66.00 FEET TO THE SOUTHWEST CORNER OF BLOCK 7 OF THE WASHINGTON TOWN RE-SURVEY; THENCE SOUTH 01°33'14" WEST 37.00 FEET TO THE CENTER LINE OF THE ABANDONED 300 SOUTH STREET; THENCE NORTH 88°37'16" WEST 507.80 FEET ALONG SAID CENTER LINE OF THE ABANDONED 300 SOUTH STREET TO THE CENTERLINE OF THE ABANDONED 400 EAST STREET; THENCE NORTH 01°33'14" EAST 435.95 FEET ALONG THE CENTERLINE OF THE ABANDONED 400 EAST STREET TO THE SOUTHERLY LINE OF 200 SOUTH STREET; THENCE SOUTH 88°37'16" EAST 491.80 FEET ALONG THE SOUTHERLY LINE OF 200 SOUTH STREET SAID LINE ALSO BEING TO AND ALONG THE NORTH LINE OF SAID BLOCK 10 TO THE NORTHEAST CORNER OF SAID BLOCK 10; THENCE SOUTH 01°33'14" WEST 398.75 FEET ALONG THE EASTERLY LINE OF SAID BLOCK 10 TO THE POINT OF BEGINNING.

CONTAINING 194,955 SQUARE FEET OR 4.48 ACRES.

## OWNER'S DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNERS OF ALL THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO TRAILS, PRIVATE, COMMON AND LIMITED COMMON AREAS (INCLUDING PRIVATE STREETS AND UNITS), TO BE HEREINAFTER KNOWN AS:

## CREEKSIDE TOWNHOMES

DO HEREBY DEDICATE TO THE COMMON USE OF THE PROPERTY OWNERS, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AND LIMITED COMMON AREAS (INCLUDING PRIVATE STREETS) SHOWN ON THIS PLAT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DEDICATION OF SAID COMMON AND LIMITED COMMON AREAS AS MORE FULLY PROVIDED IN THE "DECLARATION OF DEDICATION OF COMMON AREAS" APPLICABLE TO ENTRY NO. SAID DECLARATION OF DEDICATION OF COMMON AREAS, CONDITIONS AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT. REFERENCE IS MADE TO SAID DECLARATION FOR DETAILS CONCERNING THE RIGHTS AND OBLIGATIONS OF PARTIES HAVING OR ACQUIRING AN INTEREST IN THIS DEVELOPMENT. FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNERS HEREBY DEDICATE AND CONVEY TO WASHINGTON CITY, THE TRAIL AS SHOWN, AND FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WITHIN ALL COMMON AREAS AND PRIVATE ROADS. THE UNDERSIGNED OWNERS DO HEREBY WARRANT TO THE WASHINGTON CITY AND ITS SUCCESSORS AND ASSIGNS, THE RIGHT TO USE ALL DEDICATIONS AND CONVEYANCES GRANTED HEREIN AGAINST THE CLAIMS OF ALL PERSONS.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 17 DAY OF June, 2014.

NORTHERN STAR INVESTMENTS LLC, A UTAH LIMITED LIABILITY COMPANY

E. Troy Blanchard  
Authorized Person / Governing Person

## LIMITED LIABILITY COMPANY ACKNOWLEDGMENT:

STATE OF UTAH  
COUNTY OF WASHINGTON } S.S.

ON THE 17 DAY OF June, 2014, PERSONALLY APPEARED BEFORE ME E. Troy Blanchard, who being by me duly sworn, did say that he is the authorized person of NORTHERN STAR INVESTMENTS LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT HE EXECUTED THE FOREGOING PLAT IN BEHALF OF SAID LIMITED LIABILITY COMPANY BEING AUTHORIZED AND EMPOWERED TO DO SO BY THE OPERATING AGREEMENT OF NORTHERN STAR INVESTMENTS LLC, AND HE DID FULLY ACKNOWLEDGE TO ME THAT SUCH LIMITED LIABILITY COMPANY EXECUTED THE SAME FOR THE USES AND PURPOSES STATED HEREIN.

FULL NAME SIGNATURE: E. Troy Blanchard

FULL NAME PRINT: SUSAN H. STRANG

COMMISSION NO.: 671527

EXPIRATION DATE: 5-13-18

A PUBLIC NOTARY COMMISSIONED IN THE STATE OF UTAH



# FINAL PLAT OF CREEKSIDE TOWNHOMES

LOCATED IN SECTIONS 15  
TOWNSHIP 42 SOUTH, RANGE 15 WEST,  
SALT LAKE BASE AND MERIDIAN,  
WASHINGTON CITY, WASHINGTON COUNTY, UTAH.



352 EAST RIVERSIDE DRIVE, SUITE A-2, ST. GEORGE, UTAH 84790  
PH (435) 673-8585 FAX (435) 673-8397 • WWW.RACIVIL.COM

SURVEY-FLAT.DWG  
FILE NUMBER:  
4955-12-001  
JOB NUMBER:

03/26/2014  
DATE:  
1" = 40'  
SCALE:

B.E.A.  
DRAWN:  
B.E.A.  
CHECKED:

## ENGINEER'S APPROVAL:

THE HEREDON SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. THIS 17th DAY OF June, 2014.

[Signature]  
ENGINEER  
WASHINGTON CITY, UTAH

## APPROVAL OF THE PLANNING COMMISSION:

ON THIS 17th DAY OF June, A.D. 2014, THE PLANNING COMMISSION OF WASHINGTON CITY REVIEWED THE ABOVE SUBDIVISION AND RECOMMENDED SAME FOR ACCEPTANCE BY THE CITY.

[Signature]  
CHAIRMAN OF THE PLANNING COMMISSION  
WASHINGTON CITY, UTAH

## PUBLIC WORKS APPROVAL:

THE HEREDON SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. THIS 20th DAY OF June, 2014.

[Signature]  
CITY ENGINEER  
WASHINGTON CITY, UTAH

## APPROVAL AND ACCEPTANCE BY THE WASHINGTON CITY COUNCIL:

WE, THE MAYOR AND CITY COUNCIL OF WASHINGTON CITY, UTAH HAVE REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND BY AUTHORIZATION OF SAID CITY COUNCIL, RECORDED IN THE MINUTES OF ITS MEETING OF THE 16th DAY OF June, A.D. 2014, HEREBY APPROVE THE SAME AND ACCEPT THE SAME WITH ALL COMMITMENTS AND ALL OBLIGATIONS PERTAINING THEREUNTO.

[Signature]  
CITY RECORDER  
WASHINGTON CITY, UTAH

## APPROVAL AS TO FORM:

APPROVED AS TO FORM, THIS 18th DAY OF June, A.D. 2014.

[Signature]  
CITY ATTORNEY  
WASHINGTON CITY, UTAH

## TREASURER APPROVAL:

I, WASHINGTON COUNTY TREASURER, CERTIFY THAT THIS PLAT OF CREEKSIDE TOWNHOMES IS IN ACCORDANCE WITH ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION. FINAL PAY HAS BEEN PAID IN FULL.

[Signature]  
WASHINGTON COUNTY TREASURER

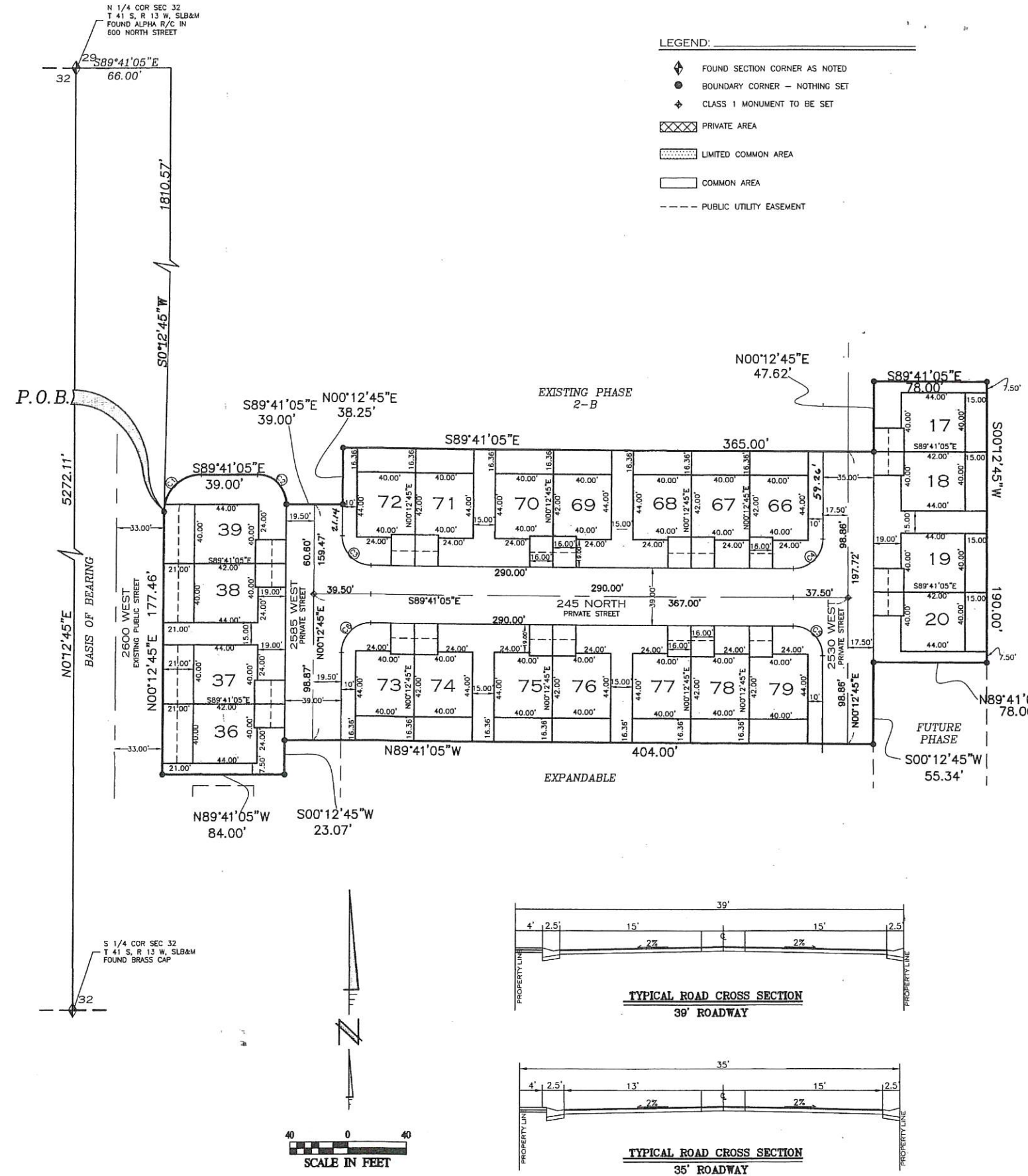
## RECORDED NO.

DOC # 20140018971  
Top (Conveying Property) Page 1 of 2

[Signature]  
COUNTY RECORDER  
WASHINGTON COUNTY, UTAH

Washington  
4.48 acres  
40 units  
8.9 units of smaller units  
open space





Located east  
of 2600 West  
Hurricane

**SURVEYOR'S CERTIFICATE:**  
I, BARRY E. THOMPSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, HOLDING REGISTRATION CERTIFICATE NO. 4804865, AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN AND DESCRIBED ON THIS PLAT, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO PRIVATE STREETS, COMMON AREA, LIMITED COMMON AREA, LOTS, AND EASEMENTS HEREFTER TO BE KNOWN AS:  
"SKY RIDGE TOWNHOMES PHASE 2-C"  
I FURTHER CERTIFY THAT THIS PLAT IS A TRUE AND CORRECT REPRESENTATION OF CONDITIONS EXISTING ON THE GROUND.

**BOUNDARY DESCRIPTION:**  
BEGINNING AT A POINT SOUTH 89°41'05" EAST 66.00 FEET ALONG THE SECTION LINE AND SOUTH 00°12'45" WEST 1810.57 FEET FROM THE NORTH QUARTER CORNER OF SECTION 32, TOWNSHIP 41 SOUTH, RANGE 13 WEST, OF THE SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE SOUTHWEST CORNER OF SKY RIDGE TOWNHOMES, PHASE 2-B, SAID POINT BEING ON THE EAST RIGHT-OF-WAY LINE OF 2600 WEST STREET, SAID POINT ALSO BEING THE POINT OF CURVATURE OF A 25.00 FOOT RADIUS CURVE CONCAVE SOUTHEASTERLY, THE RADIUS POINT OF WHICH LIES SOUTH 89°47'15" EAST, THENCE RUNNING NORTHEASTERLY 39.31 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 90°06'10" TO THE POINT OF TANGENCY, THENCE SOUTH 89°41'05" EAST 39.00 FEET TO THE POINT OF CURVATURE OF A 20.00 FOOT RADIUS CURVE CONCAVE TO THE SOUTHWESTERLY, THENCE SOUTHEASTERLY 31.38 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 89°53'50" TO THE POINT OF TANGENCY, THENCE SOUTH 89°41'05" EAST 39.00 FEET, THENCE NORTH 00°12'45" EAST 38.25 FEET, THENCE SOUTH 89°41'05" EAST 365.00 FEET, THENCE NORTH 00°12'45" EAST 47.62 FEET, THENCE SOUTH 89°41'05" EAST 78.00 FEET TO THE SOUTHEAST CORNER OF PHASE 2-B, THENCE SOUTH 00°12'45" WEST 190.00 FEET, THENCE NORTH 89°41'05" WEST 78.00 FEET, THENCE SOUTH 00°12'45" WEST 55.34 FEET, THENCE NORTH 89°41'05" WEST 404.00 FEET, THENCE SOUTH 00°12'45" WEST 23.07 FEET, THENCE NORTH 89°41'05" WEST 84.00 FEET TO THE EAST RIGHT-OF-WAY LINE OF 2600 WEST STREET, THENCE NORTH 00°12'45" EAST 177.46 FEET ALONG SAID EAST RIGHT-OF-WAY LINE TO SAID SOUTHWEST CORNER AND THE POINT OF BEGINNING. PHASE 2-C CONTAINS 2.525 ACRES.

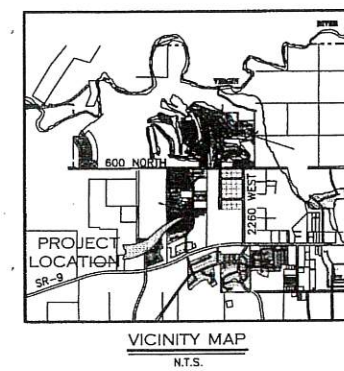
CURVE TABLE				
CURVE	Delta	Length	Radius	Tangent
C1	90°06'10"	39.31	25.00	25.04
C2	89°53'50"	31.38	20.00	19.96
C3	89°53'50"	31.38	20.00	19.96
C4	90°06'10"	31.45	20.00	20.04
C5	89°53'50"	31.38	20.00	19.96
C6	90°06'10"	31.45	20.00	20.04

**OWNER'S DEDICATION:**  
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF ALL OF THE DESCRIBED TRACTS OF LAND HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO PRIVATE STREETS, COMMON AREA, LIMITED COMMON AREA, LOTS, AND EASEMENTS HEREFTER TO BE KNOWN AS:  
"SKY RIDGE TOWNHOMES PHASE 2-C"  
DO HEREBY DEDICATE TO THE COMMON USE OF THE PROPERTY OWNERS, BUT NOT TO THE USE OF THE GENERAL PUBLIC, ALL COMMON AND LIMITED COMMON AREAS (INCLUDING PRIVATE STREETS) SHOWN ON THIS PLAT, IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DEDICATION OF SAID COMMON AND LIMITED COMMON AREAS AS MORE FULLY PROVIDED IN THE "DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS" APPLICABLE TO ENTRY NO. 674483, BOOK 1358, PAGES 750-777, RECORDED JANUARY 28, 2000 OFFICIAL RECORDS, WASHINGTON COUNTY, UTAH, AND ANY AMENDMENTS THERETO. SAID DECLARATION AND ANY AMENDMENTS THERETO ARE HEREBY INCORPORATED AND MADE PART OF THIS PLAT. REFERENCE IS MADE TO SAID DECLARATION FOR DETAILS CONCERNING THE RIGHT AND OBLIGATIONS OF PARTIES HAVING OR ACQUIRING AN INTEREST IN THIS DEVELOPMENT. FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, THE UNDERSIGNED OWNER DOES HEREBY DEDICATE AND CONVEY TO THE CITY OF HURRICANE, EASEMENTS SHOWN AND/OR NOTED AND EASEMENTS OVER, ON, UNDER AND ACROSS ALL COMMON AREAS AND PRIVATE STREETS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE.

IN WITNESS WHEREOF WE HAVE SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2018.  
*Bryan P. Buckley*  
BRYAN P. BUCKLEY, PRESIDENT  
SHADOW GLEN 420, INC.  
A NEVADA CORPORATION

- NOTES:**
- A 10.00 FOOT WIDE UTILITY EASEMENT DIRECTLY ADJACENT TO ALL RIGHT-OF-WAYS (PUBLIC OR PRIVATE) IS HEREBY DEDICATED WITH THIS PLAT.
  - ALL STREETS WITHIN THIS SUBDIVISION ARE PRIVATE AND ALONG WITH ALL IDENTIFIED COMMON AREA, ARE DEDICATED AS PUBLIC UTILITY EASEMENTS HEREWITH.
  - PRIVATE AREAS SHOWN INDICATE THE MAXIMUM SIZE BUILDING AREA.
  - ALL LIMITED COMMON AREAS ADJACENT TO PRIVATE AND/OR PUBLIC STREETS ARE SUBJECT TO A 10.00 FOOT WIDE PUBLIC UTILITY EASEMENT, DEDICATED HEREWITH.

**ACKNOWLEDGMENT:**  
STATE OF UTAH  
COUNTY OF Washington  
ON THIS 21st DAY OF December, A.D. 2018, PERSONALLY APPEARED BEFORE ME BRYAN P. BUCKLEY, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE PRESIDENT OF SHADOW GLEN 420, INC., AND THAT HE EXECUTED THE FOREGOING OWNER'S DEDICATION ON BEHALF OF SAID CORPORATION BY AUTHORITY OF A RESOLUTION OF ITS BOARD OF DIRECTORS AND HE DID ACKNOWLEDGE TO ME THAT THE CORPORATION EXECUTED THE SAME FOR THE USES AND PURPOSES STATED THEREIN.  
NOTARY PUBLIC: *Barbara K. Davis*  
NOTARY PUBLIC FULL NAME: *Barbara K. Davis*  
COMMISSION NUMBER: *688261*  
MY COMMISSION EXPIRES: *3/31/2024*  
A NOTARY PUBLIC COMMISSIONED IN UTAH



8.7 per acre  
meets  
Hurricane codes - very little common area  
2.52 acres  
22 units

# SKY RIDGE TOWNHOMES PHASE 2-C

A 22 UNIT SUBDIVISION LOCATED IN SECTION 32, T 41 S, R 13 W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

**PRATT ENGINEERING, P.C.**  
CIVIL ENGINEERING AND LAND SURVEYING

**CITY ENGINEER'S APPROVAL**  
THE ABOVE SUBDIVISION HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE THIS 4th DAY OF June, A.D. 2018.  
DATE: 06/04/2018  
*Lotha O. Johnson*  
HURRICANE CITY ENGINEER

**APPROVAL OF ASH CREEK SPECIAL SERVICE DIST.**  
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. THIS 13th DAY OF December, A.D. 2018.  
*Michael D. Smith*  
SUPERINTENDENT, SSD

**APPROVAL AND ACCEPTANCE BY HURRICANE CITY, UTAH**  
WE, THE CITY OF HURRICANE, HAVE REVIEWED THE ABOVE PLAT AND HEREBY ACCEPT SAID PLAT WITH ALL COMMITMENTS AND ALL OBLIGATIONS PERTAINING THERETO.  
*John W. Bramm*  
JOHN W. BRAMM, MAYOR  
HURRICANE, UTAH

**APPROVAL AS TO FORM**  
APPROVED AS TO FORM THIS 15th DAY OF June, A.D. 2018.  
*John E. Rine*  
HURRICANE CITY ATTORNEY

**WASHINGTON COUNTY TREASURER'S APPROVAL**  
I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS 15th DAY OF June, A.D. 2018, THAT ALL TAXES, SPECIAL ASSESSMENTS, AND FEES DUE AND PAYABLE ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID.  
*LaVonne Whitehead*  
WASHINGTON COUNTY TREASURER

**ACCEPTANCE OF COUNTY RECORDER**  
DOC # 20190002211  
Map (Conveying Property)  
01/17/2019 09:02:04 PM Fee \$ 92.00  
By: RUSSELL SHULTS  
*Russell Shults*  
WASHINGTON COUNTY RECORDER

FILE NAME: 1004-0889 / 1047  
DATE: JUNE 4, 2018  
SHEET 1 OF 1









# Title



**Legend**

Parcels

Ownership

U.S. Forest Service

U.S. Forest Service Wilderness

Bureau of Land Management

Bureau of Land Management Wilde

National Park Service

Shivwits Reservation

Utah Division of Wildlife Resources

Utah Division of Transportation

State Park

State of Utah

Washington County

Municipally Owned

School District

Privately Owned

Water

Water Conservancy District

State Assessed Oil and Gas

Mining Claim

**Notes**

188.1 0 94.04 188.1 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.



# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:

File No. 2020-PD-01

Receipt No. 8135014

Name: PERRY HOMES UTAH, INC. Telephone: 435-251-9090

Address: 2250 N. CORAL CANYON BLVD #215 Fax No. N/A

Agent (If Applicable): GREG SANT Telephone: 435-414-4444

Email: greg.perryhomesutah@gmail.com Agent Email: SAME

Address/Location of Subject Property: 600 N AT FRONT 9 AT SKY MOUNTAIN GOLF COURSE

Tax ID of Subject Property: H-3-1-29-2151-RD2 Zone District: PDO-R-1-B

Proposed Use: (Describe, use extra sheet if necessary) H-3-1-29-3121, H-3-1-29-323 SEE ATTACHMENT

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

## 1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way;
- ☒ c) Project name, North arrow, and tie to a section monument;
- ☒ d) The boundary lines of the project site with bearings and distances;
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings
- ☒ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- ☒ i) Identification of property, if any, not proposed for development, and;
- ☒ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.



**The Front 9 at Sky Mountain Phase 1A and 1B**  
**Final Site Plan Submittal - January 31, 2020**

Phase 1A and 1B consists of 2 types of fourplex units; High end units with views onto the golf course and affordable units along 600 North. Units range from 1,412 square feet to 3,000 square feet. All have 2 car garages with a 24 foot driveway that allows for 2 off-street parking spaces for each unit.

Project Data	Acres		
Total Gross Acreage	12.34	537,530.40	S.F.
Street ROW Area	3.82	166,248.00	S.F.
Building Footprint Area	3.65	158,796.00	S.F.
Landscape Area	4.87	212,137.20	S.F.
Property to be Deeded to GC	0.56	24,393.60	S.F.
Total Living Area		258,548.00	S.F.
Total Off-street Parking Spaces	160.00	(2 per Unit)	
Total Number of Dwellings	80.00		
Density-Dwellings per Acre	6.48	(Existing Zoning allows 7.96)	

Property Owner is Perry Development, LLC, Subsidiary of Perry Homes Utah, Inc.

Represented by Greg Sant, Division Manager

2250 N Coral Canyon Blvd #215

Washington, UT 84780

435-251-9090

[greg.perryhomesutah@gmail.com](mailto:greg.perryhomesutah@gmail.com)







2) Grading and drainage plan showing the following:

- ☒ a) North arrow, scale, and site plan underlay;
- ☒ b) Topography contours at two (2) foot intervals;
- ☒ c) Areas of substantial earth moving (typically significant cut, fill or retaining walls in excess of four [4] feet) with an erosion control plan;
- ☒ d) Location of existing watercourses, canals, ditches, wells, culverts, and storm drains and proposed method of dealing with all irrigation and wastewater;
- ☒ e) Direction of storm water flows, catch basins, inlets, outlets, waterways, culverts, detention basins, orifice plates, outlets to off-site facilities, and off-site drainage facilities when necessary based on City requirements.

3) Utility plan showing the following:

- ☒ a) North arrow, scale, and site plan underlay
- ☒ b) All existing and proposed utilities including but not limited to: sewer, culinary water, secondary water, fire hydrants, storm drains, subsurface drains, gas lines, power lines, communications lines, cable television lines, and streetlights;
- ☒ c) Minimum fire flow required by Fire Code for the proposed structures and fire flow calculations at all hydrant locations;
- ☒ d) Location and dimensions of all utility easements; and
- ☒ e) A letter from sewer providers, addressing the feasibility and requirements to serve the project.

4) Landscaping plan, consistent with the requirements of Chapter 10-32 of the Land Use Ordinance;

5) Building elevations for all buildings showing the following:

- ☒ a) Accurate front, rear, and side elevations drawn to scale;
- ☒ b) Exterior surfacing materials and colors, including roofing material and color;
- ☒ c) Outdoor lighting, furnishings and architectural accents; and
- ☒ d) Location and dimension of signs proposed to be attached to the building or structure.

Other items that may be requested by the Zoning Administration include but are not limited to:

- ☒ 1) Any necessary agreements with adjacent property owners regarding storm drainage and other pertinent matters;
- ☒ 2) A traffic impact analysis;
- ☒ 3) Warranty deed or preliminary title report or other document showing evidence that the applicant has control of the property; and
- ☒ 4) Evidence of compliance with all applicable federal, state, and local laws and regulations.

**NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application, could result in a month's delay.**

\*\*\*\*\*

(Office Use Only)

Date Received : 2/3/20

Application Complete: YES

☒ NO ☐

Date application deemed to be complete: 2/5/20 Completion determination made by: YJ



**The Front 9 at Sky Mountain Phase 1A and 1B**  
**Final Site Plan Submittal - January 31, 2020**

Phase 1A and 1B consists of 2 types of fourplex units; High end units with views onto the golf course and affordable units along 600 North. Units range from 1,412 square feet to 3,000 square feet. All have 2 car garages with a 24 foot driveway that allows for 2 off-street parking spaces for each unit.

Project Data	Acres	
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Landscape Area	4.87	212,137.20 S.F.
Property to be Deeded to GC	0.56	24,393.60 S.F.
Total Living Area		258,548.00 S.F.
Total Off-street Parking Spaces	160.00	(2 per Unit)
Total Number of Dwellings	80.00	
Density-Dwellings per Acre	6.48	(Existing Zoning allows 7.96)

Property Owner is Perry Development, LLC, Subsidiary of Perry Homes Utah, Inc.

Represented by Greg Sant, Division Manager

2250 N Coral Canyon Blvd #215

Washington, UT 84780

435-251-9090

[greg.perryhomesutah@gmail.com](mailto:greg.perryhomesutah@gmail.com)











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## STAFF COMMENTS

**Agenda:** February 13, 2019 **File Number:** 2020-FSP-01

**Type of Application:** Final Site Plan

**Applicant:** Perry Homes Utah, Inc.

**Agent:** Greg Sant

**Request:** Final Site Plan for Phases 1A & 1B, the Front 9 at Sky Mountain

**Location:** North of 600 North between 2720 West and 2670 West

**General Plan:** Planned Community (current map has an error)

**Existing Zoning:** PDO/R-1-8 per an approved preliminary site plan

**Discussion:** This is the first phases of the Front 9 at Sky Mountain, consisting of 80 Townhome units.

**JUC:** The construction drawings are not signed and if they are not signed before the meeting, this application will be continued to the March 12<sup>th</sup> meeting.

- |    |                        |                            |
|----|------------------------|----------------------------|
| 1. | Total Site             | 12.34 acres                |
| 2. | Total Buildings        | 20 buildings on 3.65 acres |
| 3. | Total units            | 80                         |
| 4. | Parking                | 160 required and provided  |
| 5. | Landscape area         | 3.15 acres                 |
| 6. | Playground area        | .39 acres                  |
| 7. | Total public road area | 3.82 acres                 |

### Planning Staff had the following comments

1. The site plan shows small common areas at the street intersections and between buildings and through the interior block. Walking paths between Street A and Street B buildings provide access for the community to mail boxes shown on either end.
2. Buildings are two story low profile, flat roof structures with rear decks to be finished



*public street. Such access may be provided through platted or recorded easements, reciprocal arrangements, or other guaranteed means.* Since parking is not needed for townhouses, having been provided in the garages, this parking lot should not be located with direct access from a public street.

11. This plan does not show any office location for a project office. It is assumed the HOA will be managed by an off-site manager but no HOA documents have been submitted to confirm.
12. Lighting on the buildings was provided. While the top of the fixture is not open and the applicant states the color temperature will be 2700K, preventing up-lighting does not override the exposed bulb that will by design shine on adjoining properties and does not meet the intent of residential lighting that “should be shielded, focused downward, and placed and screened so that light does not cause light trespass on or spill onto any adjoining properties.” A different fixture is recommended.
13. Street lighting is standard City Power light fixtures.

**Recommendation:** Staff recommends the Planning Commission approve the final site plan with the conditions that:

1. CC&R’s are submitted for review confirming management and maintenance of common areas and parking of RV’s has been addressed before work begins on the site.
2. Building permits are required for each building.
3. An updated landscape plan is submitted and approved by staff before a notice to proceed is issued and work begins on the site.
4. A new light fixture that is fully shielded is approved for residential units before building permits are issued.
5. Common areas adjacent to each building are landscaped and completed for use before occupancy of that building is granted. Park/playground area must be fully improved and ready for use before the 5<sup>th</sup> certificate of occupancy is granted.



PROJECT LOCATION  
THE PROJECT IS LOCATED AT  
(APPROXIMATELY)  
2610 WEST 600 NORTH  
HURRICANE, UTAH

SKY MOUNTAIN  
GOLF COURSE

# THE FRONT 9 AT SKY MOUNTAIN SITE PLAN - PHASES 1A & 1B

LOCATED IN SECTION 29, TOWNSHIP 41 SOUTH, RANGE 13 WEST  
OF THE SALT LAKE BASE AND MERIDIAN  
IN THE CITY OF HURRICANE, WASHINGTON COUNTY, UTAH.  
DEVELOPED BY: PERRY HOMES UTAH, INC.

FUTURE  
PHASE

EXISTING  
GOLF COURSE



## LEGEND:

EXISTING	DESCRIPTION	PROPOSED
	ASPHALT PAVEMENT	
	CONCRETE PAD	
	LANDSCAPED AREA	
	AREA GIVEN TO CITY	
	ROCK OUTCROPPINGS	
	STREET SIGN/STOP SIGN	
	MAILBOX LOCATION (6 BOX)	

5  
10,899 sq ft  
0.25 acres

4  
10,899 sq ft  
0.25 acres

3  
7,913 sq ft  
0.18 acres

2  
3,273 sq ft  
0.07 acres

1  
1,981 sq ft  
0.04 acres

41  
11,487 sq ft  
0.26 acres

40  
11,294 sq ft  
0.26 acres

75  
12,948 sq ft  
0.30 acres

74  
12,948 sq ft  
0.30 acres

73  
15,132 sq ft  
0.35 acres

72  
15,132 sq ft  
0.35 acres

71  
15,132 sq ft  
0.35 acres

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Level 3  
20' - 0"

Level 2  
10' - 0"

Level 1  
0' - 0"

Basement  
-11' - 0"

FRONT





BACK



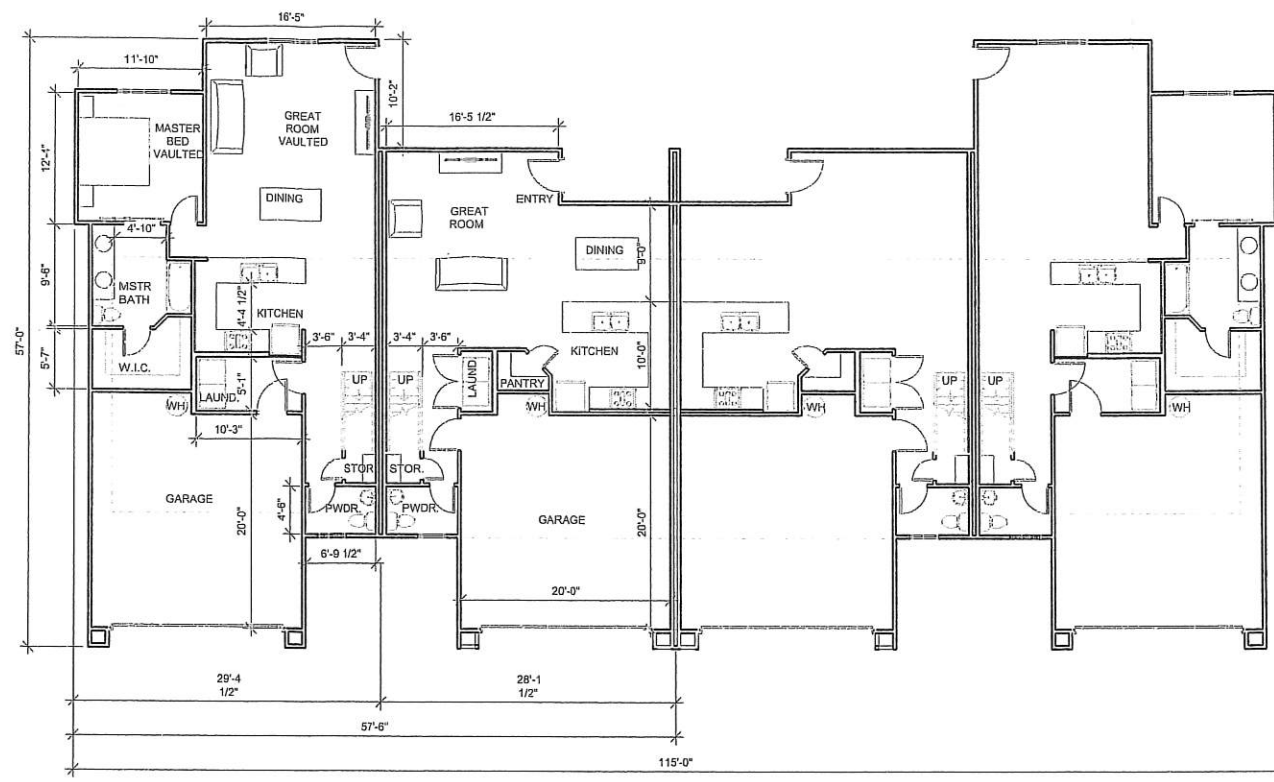


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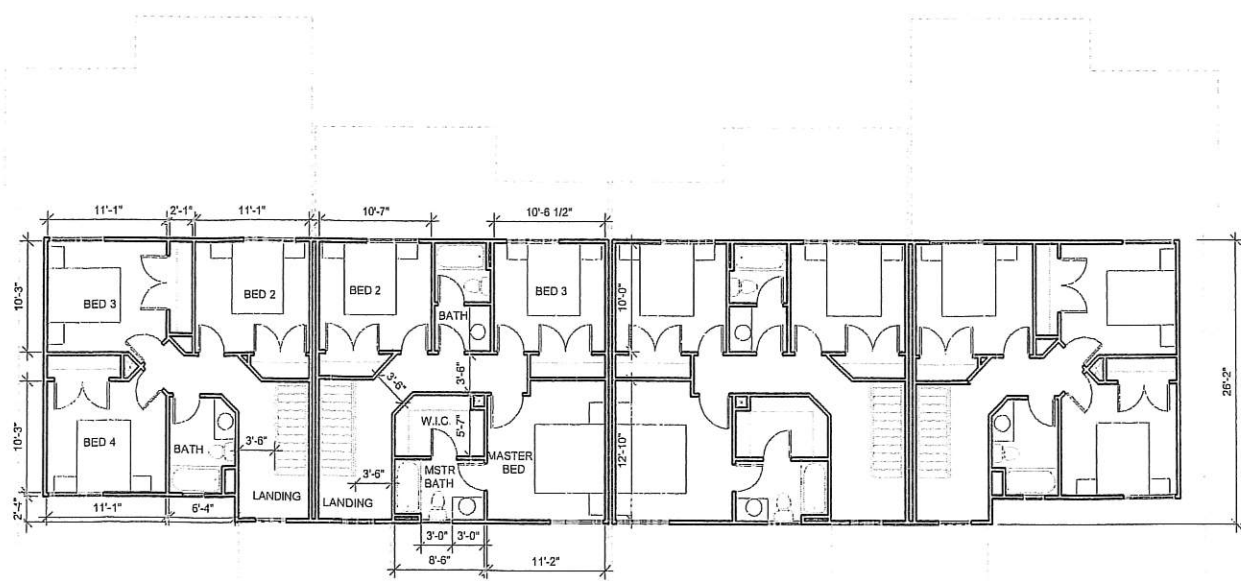


UNIT A	
MAIN FLOOR	1009 SQ FT
UPPER FLOOR	593 SQ FT
MAIN FLOOR	1,602 SQ FT
GARAGE	437 SQ FT

UNIT B	
MAIN FLOOR	717 SQ FT
UPPER FLOOR	695 SQ FT
TOTAL LIVING	1,412 SQ FT
GARAGE	427 SQ FT



UNIT A      UNIT B      UNIT B      UNIT A  
MAIN FLOOR



UNIT A      UNIT B      UNIT B      UNIT A  
UPPER FLOOR



MAIN FLOOR	1720 SQ FT
UPPER FLOOR	1180 SQ FT
<hr/>	
TOTAL LIVING	2900 SQ FT
GARAGE	443 SQ FT



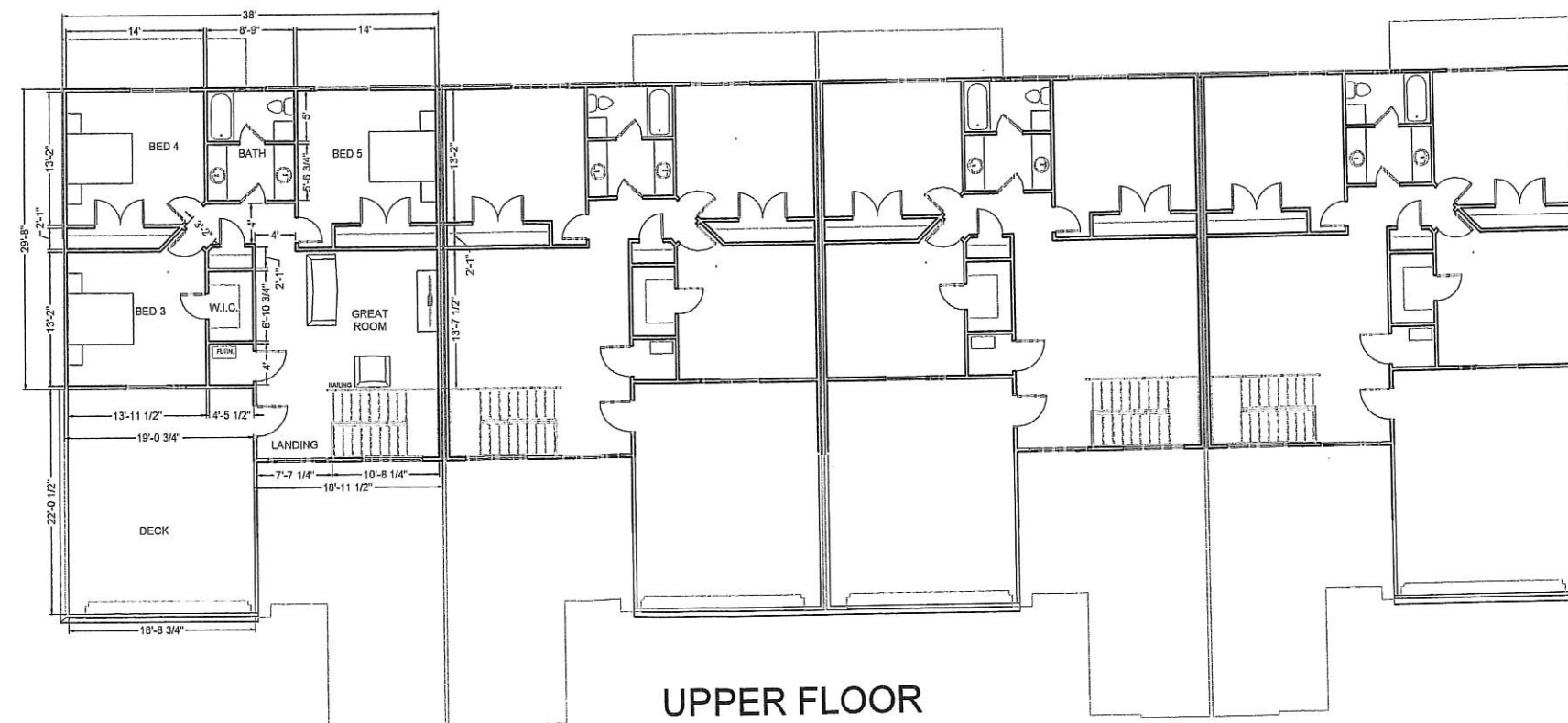
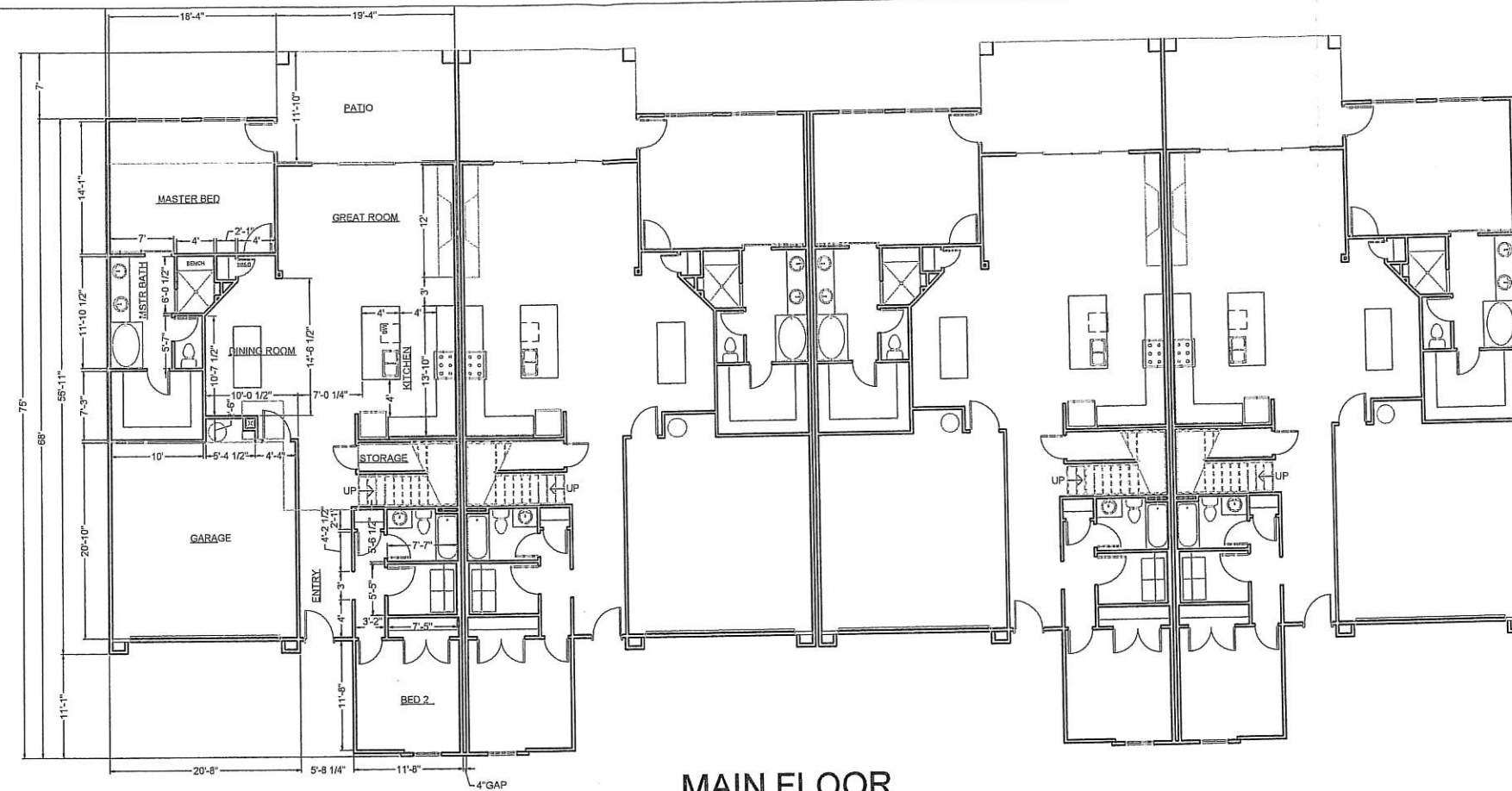
**PERRY HOMES**

SKY MOUNTAIN  
FOURPLEX VIEW BACK

A4



UNIT AREAS	
MAIN FLOOR	1720 SQ FT
UPPER FLOOR	1190 SQ FT
TOTAL LIVING	2910 SQ FT
GARAGE	443 SQ FT



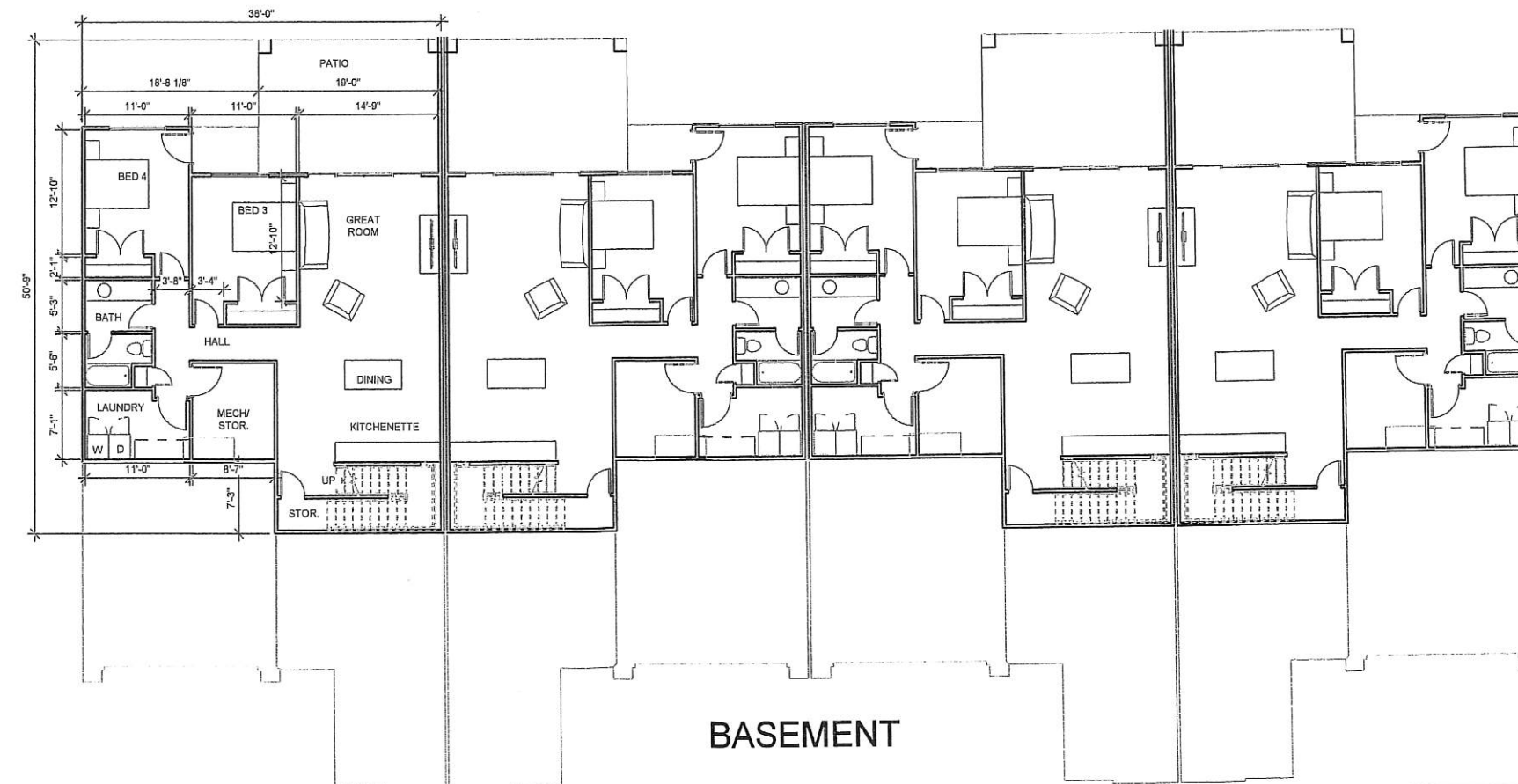
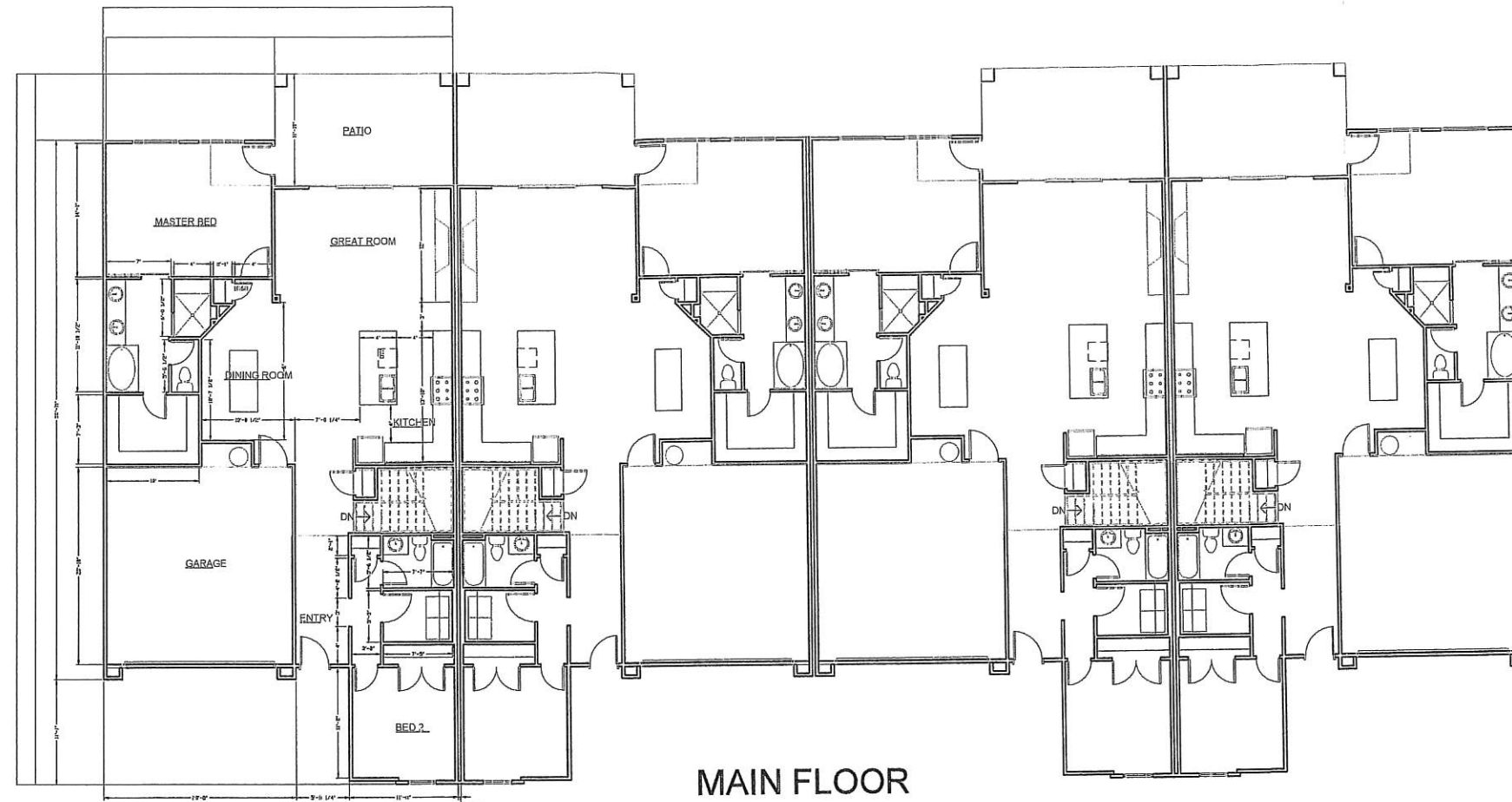
**PERRY HOMES**

SKY MOUNTAIN  
FOURPLEX VIEW FRONT

OWNER'S BOX  
NO.  
LOT

**A5**

UNIT AREAS	
MAIN FLOOR	1720 SQ FT
BASEMENT	1280 SQ FT
TOTAL LIVING	3000 SQ FT
GARAGE	443 SQ FT



**PERRY HOMES**

SKY MOUNTAIN  
FOURPLEX WALKOUT

DATE: \_\_\_\_\_  
BY: \_\_\_\_\_

\_\_\_\_\_

**A6**



# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:  
File No. 2020-FSP-02  
Receipt No. 8.13.50916

Name: TWIN TOWERS LLC Telephone: (435) 669-0708

Address: P.O. Box 911839, St. George, UT 84771 Fax No. N/A

Agent (If Applicable): PREMIER DESIGN Telephone: (435) 313-2267

Email: COMER@TAGGNGO.COM Agent Email: PREMIER.DESIGN.ERIC@yahoo.com

Address/Location of Subject Property: 82 N 3400 WEST + WALMART PARKING LOT

Tax ID of Subject Property: H-WALM-6 Zone District: C2

Proposed Use: (Describe, use extra sheet if necessary) TAGG-N-GO CAR WASH

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

## 1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way;
- ☒ c) Project name, North arrow, and tie to a section monument;
- ☒ d) The boundary lines of the project site with bearings and distances;
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings
- ☒ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- ☒ i) Identification of property, if any, not proposed for development, and;
- ☒ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

## STAFF COMMENTS

**Agenda:** February 26, 2020 **File Number:** 2020-FSP-02

**Type of Application:** Final Site Plan for Tagg-N-Go Car Wash

**Applicant:** Twin Towers LLC

**Agent:** Premier Design

**Request:** Final Site Plan for a car wash

**Location:** 82 N. 3400 West – Pad at Walmart subdivision

**General Plan:** Commercial

**Existing Zoning:** Highway Commercial

**Discussion:** The final site plan application includes a detailed landscape plan, elevations for the structure with color details, and traffic circulation plan

### Final Site Plan review

- |    |                        |                           |
|----|------------------------|---------------------------|
| 1. | Total Site             | 1.6 acres                 |
| 2. | Total Buildings        | One 5,115 sq.ft. building |
| 4. | Total parking provided | 28 spaces                 |
| 5. | Stacking spaces        | Approximately 8           |
| 3. | Landscape area         | 32,475 sq. ft.            |

Construction drawings have not been signed for the site and this item will be continued to the March 12, 2020 meeting if they are not signed before this meeting.

### Staff Review

1. This property is located adjacent to a state high priority transportation corridor. Any development along this corridor requires coordination with UDOT. No construction may begin on the site until UDOT had responded to notification of this development plan.
2. Parking meets minimum requirements for number of spaces for the use, including stacking spaces.
3. The site plan shows the building with landscaping, sidewalk, and vacuum stations.



4. The dumpster enclosure meets requirements by being built of block and having solid gates.
5. Access to the property is at the furthest possible location from the intersection of the Wal-Mart driveway and 3400 West, helping with traffic flow.
6. The landscape plan includes a landscaping throughout, on islands, behind the building along 3400 West, and internal to the parking lot.
7. This plan does not include a sign location or type except on the building itself. This section of the code recommends a monument sign but it is not required: *A. Monument signs are encouraged in all planned commercial zones and commercial zones located along the commercial corridor of SR-9.* A sign permit is required before signs are installed.
8. Parking lot lighting details have not been provided. Lighting must meet City outdoor lighting standards and should be shielded, downcast, and must have a light temperature less than 3000K, with a recommended temperature of 2700. It should not reflect onto residential properties. A lighting plan must be submitted and approved before a building permit is issued for the site.
9. Building elevations have been provided. The building is stucco with rock detailing

**Recommendation:** Staff recommends approval of this final site plan subject to submittal of light fixture details for review and approval before building permit is issued and based on UDOT response.

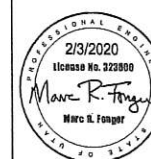




SCALE: 1" = 20'

SITE PLAN  
TAGG-N-GO EXPRESS CAR WASH  
HURRICANE WALMART - LOT #6  
HURRICANE, UTAH 84737

**PREMIER**  
Design & Engineering  
75 EAST 100 NORTH WINS, UTAH 84738 (435) 313-2267

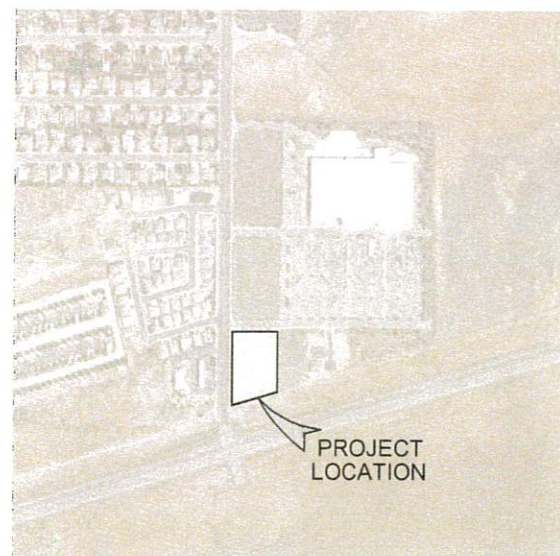


SHEET

C6

LEGEND

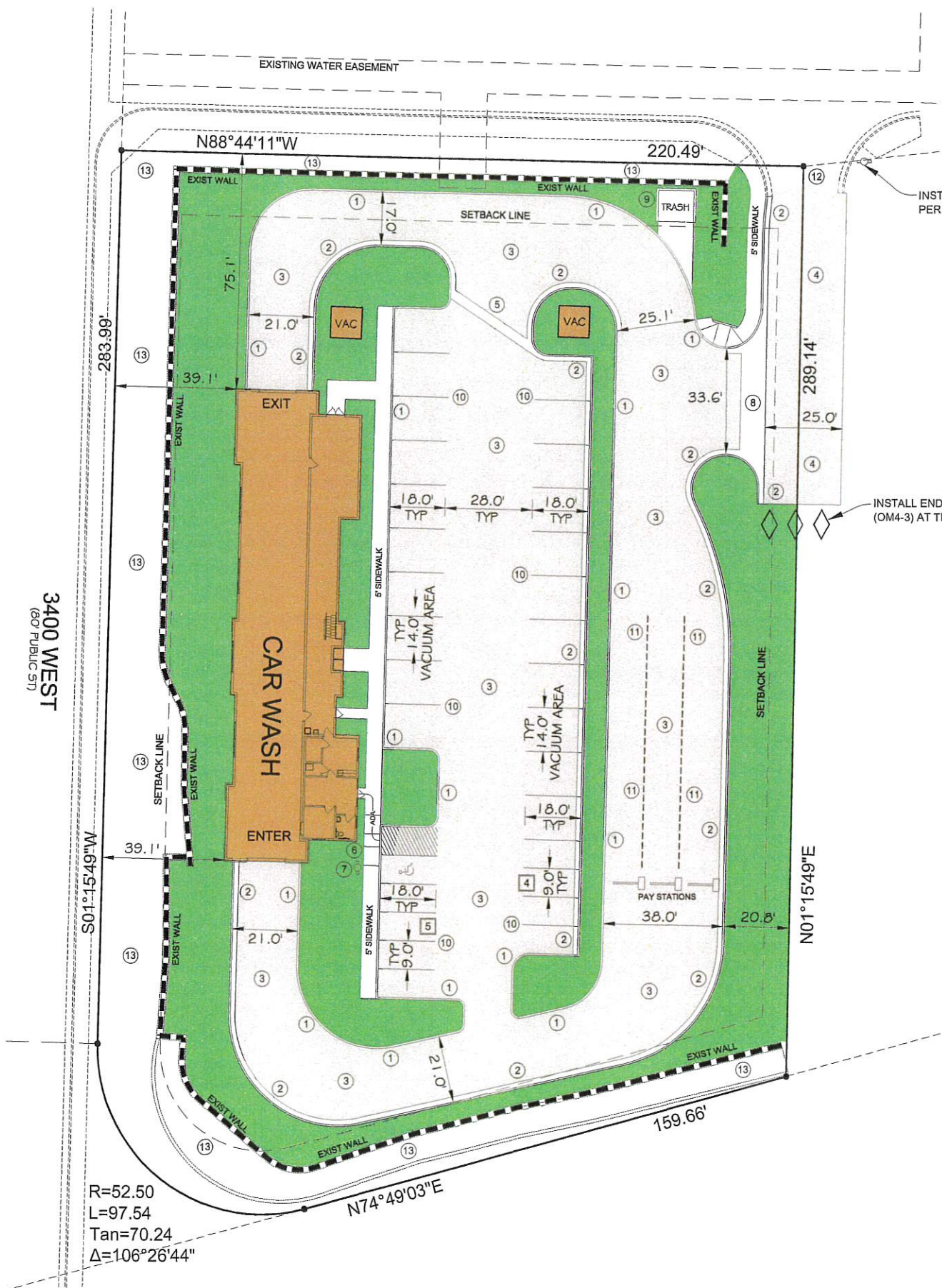
- = BUILDING AREA  
(SEE ARCHITECTURAL PLANS FOR DETAILS)
- = LANDSCAPE AREA / PERVIOUS AREA  
(SEE LANDSCAPE PLANS FOR DETAILS)
- = PAVEMENT AREA  
(SEE DETAILS ON SHEET C4)
- = SIDEWALK & CONCRETE AREA
- ADA — ADA — = ACCESSIBLE ROUTE  
TO BE A MINIMUM OF 5' WIDE AND HAVE  
A 2% MAX CROSS SLOPE AND 8% MAX HORIZONTAL SLOPE
- - - - - = SETBACK LINE
- = PROPERTY CORNER
- [ 8 ] = PARKING SPACE QUANTITY
- ① INSTALL 6" PARKING LOT CURB  
(PER DETAIL 'A' ON SHEET C4)
- ② INSTALL 24" PARKING LOT CURB  
(PER DETAIL 'B' ON SHEET C4)
- ③ INSTALL CONCRETE PARKING SECTION  
(PER DETAIL 'C' ON SHEET C4)
- ④ INSTALL ASPHALT ACCESS ROAD SECTION  
(PER DETAIL 'D' ON SHEET C4)
- ⑤ INSTALL 3" CONCRETE VALLEY GUTTER  
(PER DETAIL 'E' ON SHEET C5)
- ⑥ INSTALL ACCESSIBLE RAMP  
(PER DETAIL 'F' ON SHEET C5)
- ⑦ INSTALL ACCESSIBLE PARKING SIGN  
(PER DETAIL 'G' ON SHEET C5)
- ⑧ INSTALL 8" CROSS GUTTER  
(PER DETAIL 'J' ON SHEET C5)
- ⑨ INSTALL DUMPSTER ENCLOSURE  
(PER DETAIL 'K' ON SHEET C5)
- ⑩ 4" WIDE SOLID PAINTED WHITE PARKING SPACE
- ⑪ 4" WIDE DASHED PAINTED WHITE STACKING LANE STRIPING
- ⑫ SAWCUT & MATCH ASPHALT 2' MINIMUM FROM EXIST EDGE
- ⑬ EXISTING IMPROVEMENTS NOT A PART



PROJECT  
LOCATION

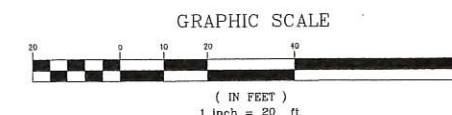
VICINITY MAP

N.T.S.



INSTALL 36" X 36" STOP & STREET SIGN COMBO  
PER CITY STANDARDS

INSTALL END OF ROADWAY MARKERS  
(OM4-3) AT THE END ASPHALT



PROPERTY INFO

PROPERTY ADDRESS = PARCEL # = H-WALM-G  
HURRICANE, UTAH 84737

OWNER / DEVELOPER:  
TWIN TOWERS LLC  
P.O. BOX 311839  
ST. GEORGE, UT 84791  
(435) 669-0708

SITE DATA

ZONE	C-2
SITE AREA (TOTAL LOT AREA)	69,801 SQ.FT. 1.60 ACRES
NEW BUILDING AREA	5,115 SQ.FT. (7.3%)
PARKING / IMPERVIOUS AREA	32,211 SQ.FT. (46.2%)
LANDSCAPE AREA	32,475 SQ.FT. (46.5%)
OVERALL BUILDING HEIGHT	22'-0"

NEW PARKING REQUIRED:  
CAR WASH = 5 EMPLOYEES @ (1 PER EMPLOYEE) = 5 SPACES  
NEW PARKING PROVIDED = 9 SPACES

STACKING SPACES REQUIRED:  
STACKING SPACES = 1 BAY @ (4 PER BAY) = 4 SPACES  
NEW STACKING SPACES PROVIDED = 26 SPACES

VACUUM SPACES PROVIDED = 21



DESIGN NOTES:

1. CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHOLD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.
2. ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITH HELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.
3. CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.
4. LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR LAYOUT AND/OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR ANY PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE LANDSCAPE ARCHITECT.

DRAINAGE NOTES:

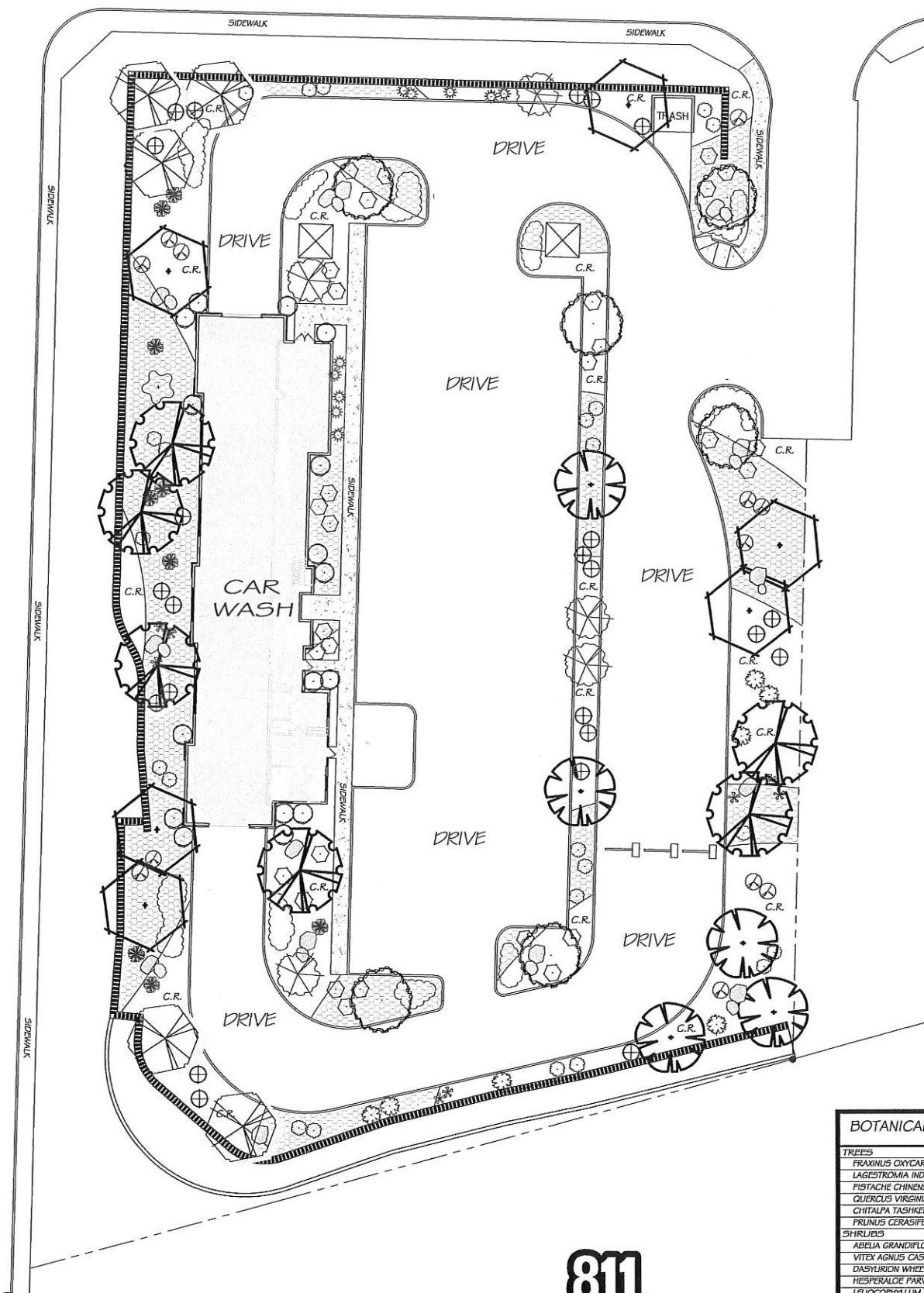
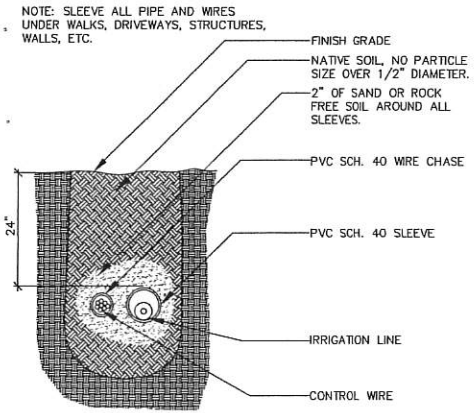
- CONCRETE CONTRACTOR IS TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING. LANDSCAPE CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING TO THE STREET.
2. ALL ROOF DRAINS SHALL BE CONNECTED TO SUBSURFACE DRAINS THAT HAVE POSITIVE DRAINAGE TO THE STREET. ALL ROOF DRAINS AND SUBSURFACE DRAINAGE SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE TO PLACE OF DISCHARGE. CONCRETE CONTRACTOR TO VERIFY ALL LOCATIONS OF DRAINS WITH LANDSCAPE CONTRACTOR PRIOR TO INSTALLATION OF ANY CONCRETE SURFACE ON THE OUTSIDE OF STRUCTURE.
3. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE CONNECTION AND LAYOUT OF ALL ROOF DRAINS AND SURFACE DRAINS TO APPROVED LOCATIONS.

ROCK MULCH NOTE:

- 1) CRUSHED ROCK (C.R.) - INSTALL A 2" LAYER OF APPROVED 3/4" CRUSHED ROCK IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.

SLEEVING NOTE:

1. ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES. SEE DETAIL FOR PROPER SIZING.



PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	QUERCUS VIRGINIANA SOUTHERN LIVE OAK
	PISTACHE CHINENSIS 'RED PUSH' CHINESE PISTACHE
	FRAXINUS OXYCARPA 'RAYWOODII' RAYWOOD ASH
	CHITALPA TASHKENTENSIS PINK DAWN CHITALPA
	PRUNUS CERASIFERA PURPLE LEAF PLUM
	LAGERSTROEMIA INDICA CRAPE MYRTLE
	VITEX AGNUS CASTUS CHASTE TREE
	LEUCOPHYLLUM 'GRAY CLOUD' GRAY CLOUD TEXAS RANGER
	LIGUSTRUM JAPONICUM 'TEXANUM' TEXAS PRIVET
	RAPHIOLEPIS INDICA 'BALLARIENA' BALLARIENA HAWTHORN
	ROSA 'RED CARPET' RED CARPET ROSE
	LEUCOPHYLLUM 'RIO BRAVO' RIO BRAVO TEXAS RANGER
	ABELIA GRANDIFLORA ABELIA
	NERIUM OLEANDER 'PETITE RED' RED DWARF OLEANDER
	DASYLIUM WHEELERI GREENGRAY DESERT SPOON
	MUHLENBERGIA CAPILLARIS 'REGAL MIST' REGAL MIST GRASS
	HESPERALOE PARVIFLORA RED YUCCA

MATERIAL LEGEND

SYMBOL	BOTANICAL / COMMON NAME
	LANDSCAPE BOULDERS VARY IN SIZE: 50% - 4' X 4' 50% - 3' X 3'
	2"-4" CRUSHED ROCK
	TEUCRUM CHAMAEDRYS GERMANDER

0 20'-0" 40'-0" 60'-0"

SCALE: 1" = 20'-0"

BOTANICAL NAME	COMMON NAME	QTY	SIZE (MINIMUM)	COND	DTL	REMARKS
TREES						
FRAXINUS OXYCARPA 'RAYWOODII'	RAYWOOD ASH	5	24"	BOX	B,D,E	
LAGESTROMIA INDICA 'MULTI'	RED MULTI CRAPE MYRTLE	6	15	GALLON	B,D,E	
PISTACHE CHINENSIS 'RED PUSH'	RED PUSH PISTACHE	6	24"	BOX	B,D,E	
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	6	24"	BOX	B,D,E	
CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	6	24"	BOX	B,D,E	
PRUNUS CERASIFERA	PURPLE LEAF PLUM	6	24"	BOX	B,D,E	
SHRUBS						
ABELIA GRANDIFLORA	GLOSSY ABELIA	0	5	GALLON	F,G	
VITEX AGNUS CASTUS	CHASTE TREE	3	15	GALLON	F,G	
DASYLIUM WHEELERI	DESERT SPOON	12	5	GALLON	F,G	
HESPERALOE PARVIFLORA	RED YUCCA	8	5	GALLON	F,G	
LEUCOPHYLLUM FRUTESCENS 'GRAY CLOUD'	GRAY CLOUD TEXAS RANGER	9	5	GALLON	F,G	
LEUCOPHYLLUM FRUTESCENS 'RIO BRAVO'	RIO BRAVO TEXAS RANGER	24	5	GALLON	F,G	
LIGUSTRUM JAPONICUM 'TEXANUM'	TEXAS PRIVET	16	5	GALLON	F,G	
MUHLENBERGIA CAPILLARIS 'REGAL MIST'	REGAL MIST GRASS	10	5	GALLON	F,G,H	
NERIUM OLEANDER 'PETITE RED'	RED DWARF OLEANDER	24	5	GALLON	F,G	
RAPHIOLEPIS INDICA 'BALLARIENA'	BALLARIENA HAWTHORN	29	5	GALLON	F,G	
ROSA 'RED CARPET'	RED CARPET ROSE	18	3	GALLON	F,G	
GROUND COVERS						
TEUCRUM CHAMAEDRYS	GERMANDER	31	1	GALLON	D,E	
BOULDERS						
LANDSCAPE BOULDERS VARY IN SIZE: 50% - 3' X 3', AND 50% - 2' X 3'		42	3' - 4'		J	

PLANTING LEGEND

NOTE: PLANT QUANTITIES ARE FOR REFERENCE ONLY, EXACT PLANT COUNTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.



REVISIONS:

TAGG-N-GO EXPRESS  
CAR WASH @  
SR9 & 3400 WEST  
UTAH

CSLA  
Cody Schmitt  
LANDSCAPE ARCHITECT

CONSULTANTS:

PROJECT:  
TAGG-N-GO  
CAR WASH

SHEET CONTENTS:  
LANDSCAPE  
PLAN

DATE:  
02/03/2020  
JOB NO.:  
02032020

SHEET:

C7





DATE: 1/30/2020  
 DRAWN BY: E.A.M.  
 CHECKED BY: M.R.F.  
 CLIENT: TAGG



SCALE: 1" = 20'

BUILDING COLORS & MATERIALS  
 TAGG-N-GO EXPRESS CAR WASH  
 HURRICANE WALMART - LOT #6  
 HURRICANE, UTAH 84737

**PREMIER**  
 Design & Engineering  
 75 EAST 100 NORTH WINS, UTAH 84738 (435) 315-2267

SHEET  
 BC



# PRELIMINARY PLAT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:

File No. 2020-PP-04

Receipt No. 8.135549

Name: Kent Clayton / Scott Stratton Telephone: 435-467-4966

Address: 985 S. 700 W. Hurricane Fax No. \_\_\_\_\_

Email: Klaytonconstruction@msn.com Agent Email: \_\_\_\_\_

Agent (If Applicable): \_\_\_\_\_ Telephone: \_\_\_\_\_

Address/Location of Subject Property: 920 West, Between 1500 South and 2300 South

Tax ID of Subject Property: H-3-2-10-42112 Zone District: RA-05

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) 94 Residential Lots

**Submittal Requirements:** The preliminary plat application shall provide the following:

- ✓ 1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - ✓ a. The proposed name of the subdivision.
  - ✓ b. The location of the subdivision, including the address and section, township and range.
  - ✓ c. The names and addresses of the owner or subdivider, if other than the owner.
  - ✓ d. Date of preparation, and north point.
  - ✓ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
- ✓ 2. Existing Conditions: The preliminary plat shall show:
  - ✓ a. The location of the nearest monument.
  - ✓ b. The boundary of the proposed subdivision and the acreage included.
  - ✓ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - ✓ d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - ✓ e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - ✓ f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.



## STAFF COMMENTS

**Agenda:** February 26, 2020 **File Number:** 2020-PP-04

**Type of Application:** Preliminary Plat

**Applicant:** Kent Clayton/Scott Stratton

**Agent:** Kent Clayton

**Request:** Preliminary Plat for Hurricane Fields Estates Subdivision, a 94 lot single family subdivision

**Location:** South of 1500 South between 800 West and 1100 West

**General Plan:** Single Family Residential up to 4 per acre

**Existing Zoning:** RA-.5

**Discussion:** This preliminary plat was reviewed and approved in 2018. The preliminary plat approval expired in July of 2019. This is a re-application for the same plat and comments are taken from that application. This proposed subdivision is located on 63+ acres north of the Hurricane Airport and west of a working farm. The property includes portions of four master planned road corridors -1500 South at 70', 920 West at 60', 2300 South at 70', and 1100 West at 90'. This proposed plan has moved the 60' "920 West" corridor out of alignment to 800 West. Because it abuts active agricultural areas, the following code section applies: 10-39-11: *SUBDIVISION STREETS AND FENCING B. Fencing: 3. Agricultural Fencing: Unless otherwise waived by affected agricultural property owners, fencing abutting agricultural property shall be required of subdivider. Fence shall be at a minimum, six feet (6') high with posts spaced at eight feet (8') apart. (The agricultural property owner shall have the option of paying the additional cost to create spacing of the post at 6 feet.) Fencing and post material and design shall be approved with the construction drawings. If there was no existing fence, or the existing fence does not protect the new fence, then the subdivider will be required to install and maintain an electrical fence parallel to the new fence.*

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	RA-1	Fields and large lot single family homes
East	RA-1	Agricultural fields/orchards, single family homes
South	PF	Hurricane Airport
West	RA-1 and R-1-10	Vacant

**JUC Comments: The following will have to be addressed during the construction drawing phase of this project:**

1. Full drainage study and design will be required after preliminary plat is approved.
2. Power must be developed to the site and shown on construction drawings.
4. Soils report and recommendations required before construction drawings are submitted. Soil is in an area of known collapsible and expansive characteristics and are gypsum bearing soils.
5. Road dedications are required.
6. Sewer was designed to run on 920 West, not 800 West. Coordination with Ash Creek Special Service District for design is required. Upsize required in 1500 South.



7. Fire District regulations require a second access in and out of the property after Phase 2.
8. Power line easement must be accommodated.
9. A modified cross section for 60' ROW is recommended to eliminate the planter strip to help protect the integrity of the sidewalk and gutter in the collapsible soil.
10. A water model for the project will be required. A water model should include sizing in 1100 West.
11. Dust control during and after construction, settling, and grading is critical.
12. No lots should front 2300 South. A re-design may be required.
13. Design shown for 2300 South is not acceptable with gaps in the road and dead-ending into City airport property.

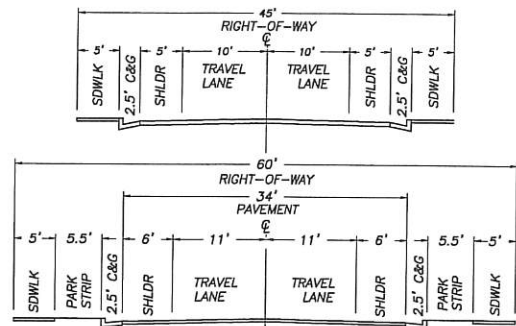
**Staff Comments:**

1. Lots all meet or exceed 100' frontage required for the RA-.5 zone.
2. Lot sizes range from .5 acres to .99 acres
3. Soils report and recommendations required before construction drawings are submitted. Soil is in an area of known collapsible and expansive characteristics and are gypsum bearing soils.
4. A 10' public utility easement along all street frontages is required.
5. Developer must coordinate with the Post Office for the purchase and siting of mail boxes for the project.
6. Fencing to protect adjoining agricultural properties per the code is the developer's responsibility.
7. Dust control in all phases to protect adjoining property is critical.
8. The project is divided into 8 phases. The first phase contains 10 lots and the remaining 7 each contain 12 lots
9. Developer must coordinate with the Post Office for the purchase and siting of a mail box for the project.

**Recommendation:** Staff recommends the Planning Commission review the project and determine if all the JUC issues can be resolved after preliminary plat. All requirements for lot size and area in the development standards for this zone have been met.

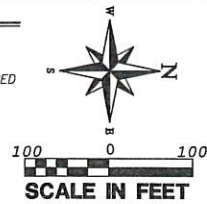


## TYPICAL SECTION

PRELIMINARY PLAT FOR:  
HURRICANE FIELDS ESTATESLOCATED IN SECTION 10, T42S, R13W, S.L.B.&M.  
HURRICANE CITY, WASHINGTON COUNTY, UTAH

## LEGEND

- PROPERTY LINE  
ADJACENT PROPERTY LINE  
EXISTING FENCE  
SECTION LINE  
SECTION CORNER AS DESCRIBED  
SET PROVALUE ENGINEERING REBAR & CAP P.L.S. #7837685  
FOUND CENTERLINE MONUMENT AS DESCRIBED
- SET CENTERLINE MONUMENT PER HURRICANE CITY STANDARDS  
FOUND PROVALUE ENG. REBAR CAP MONUMENT OR AS DESCRIBED  
SET P.K. NAIL IN TBC ON PROPERTY LINE PROJECTION  
RECORD BEARING OR DISTANCE  
(00.00)



## GEOLOGICAL NARRATIVE

THIS PARCEL OF LAND LIES INSIDE AN ALLUVIAL AND EOLIAN DEPOSIT AREA SHOWN WITH A Qae ON THE MAP. THIS AREA HAS LOCALLY GYPSIFEROUS CLAY SEDIMENT WITH WELL-SORTED EOLIAN SAND. THE SOIL TEXTURE IS A SANDY LOAM AND GENERATES PERCOLATION RESULTS FROM 12 MINUTES PER INCH TO 30 MINUTES PER INCH. THE SOIL STRUCTURE IS MASSIVE. THE CLAY IS COLLAPSIBLE AND CAN EXTEND TO DEPTHS BEYOND 50 FEET. THE USDA HAS THIS LAND DESIGNATED AS ST. GEORGE SILTY CLAY LOAM.

## LEGAL DESCRIPTION

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 10, TOWNSHIP 42 SOUTH, RANGE 13 WEST, SALT LAKE BASE & MERIDIAN; THENCE N00°16'42"E ALONG THE WEST SECTION LINE 1,868.58 FEET; THENCE S89°43'18"E 25.00 FEET TO THE POINT OF BEGINNING; THENCE N00°16'42"E 770.73 FEET; THENCE N00°16'38"E 287.23 FEET; THENCE S89°50'21"E 958.96 FEET; THENCE N00°16'58"E 982.76 FEET TO THE SOUTHERLY LINE OF 1500 SOUTH RIGHT-OF-WAY; THENCE S89°50'21"E ALONG SAID LINE 672.24 FEET; THENCE S00°09'39"W 2,423.66 FEET; THENCE N89°44'35"W 328.16 FEET; THENCE N00°15'33"E 77.35 FEET; THENCE S81°13'55"W 159.43 FEET; THENCE N89°44'35"W 150.51 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 600.00 FEET AND A CENTRAL ANGLE OF 25°25'45"; THENCE WESTERLY ALONG THE ARC 266.29 FEET; THENCE N64°18'50"W 33.82 FEET TO A POINT OF CURVE TO THE LEFT HAVING A RADIUS OF 600.00 FEET AND A CENTRAL ANGLE OF 12°26'31"; THENCE WESTERLY ALONG THE ARC 130.29 FEET; THENCE N00°16'51"E 25.60 FEET; THENCE N00°16'42"E 240.24 FEET; THENCE N89°50'37"W 607.14 FEET TO THE POINT OF BEGINNING.

TOTAL ACREAGE: 63.3534 ACRES

## GEOLOGICAL HAZARDS

FAULTS & SURFACE FAULTING	NONE
LIQUEFACTION	HIGH-2 WELL SORTED SANDS, SILTY SANDS, AND GRAVELS, NO GROUND-WATER INFORMATION
FLOODING	ZONE X-AREA OF MINIMAL FLOOD HAZARD
LANDSLIDE HAZARD	NONE
ROCKFALL HAZARD	NONE
BRECCIA PIPES AND PALEOKARST	NONE
CALICHE	NONE
COLLAPSIBLE SOIL	HCS-HIGH COLLAPSIBLE SOILS
EXPANSIVE SOIL	ESL/ESM-LOW TO MODERATE SUSCEPTIBILITY TO EXPANSION
GYPSIFEROUS SOIL & ROCK	PARTIAL GSB-GYPSUM-BEARING SOILS, CONCEALED
PIPING & EROSION	P&ES-SOILS SUSCEPTIBLE TO PIPING & EROSION
SHALLOW BEDROCK	BEDROCK IS >10 FEET BENEATH SOIL COVER
WIND BLOWN SAND	WBSL-LOW MIXED-UNIT GEOLOGIC DEPOSITS WITH WIND-BLOWN COMPONENT
SHALLOW GROUND WATER	SGW3-MODERATELY TO FREELY DRAINING SOILS WITH SEASONAL OR TRANSIENT SHALLOW GROUND WATER

THE MITIGATION OF POTENTIAL HAZARDS WILL BE RECOMMENDED IN THE FUTURE GEOTECHNICAL REPORT.

## ADDITIONAL NOTES

STORM WATER CAN BE LOCALLY RETAINED AND CONTROLLED USING RETENTION BASINS. THIS IS THE METHOD TO HANDLE STORM WATER.

THERE ARE HURRICANE CANAL FACILITIES IN 1500 SOUTH.

PROPERTY CAN BE SERVED BY HURRICANE CITY WATER, AND ASH CREEK SPECIAL SERVICE DISTRICT.

THERE ARE NO WELLS, SPRINGS OR SEEPS ON THIS PROPERTY.

OWNER PLANS TO ALLOW PLACEMENT OF COMMUNICATIONS INFRASTRUCTURE AND PLACEMENT OF UTILITY INFRASTRUCTURE ON AND ALONG ALL RIGHTS-OF-WAY AND EASEMENTS.

OFFICIAL TERMS AND CONDITIONS OF 30' DEED ON WESTERN EDGE OF PROPERTY WILL BE DETERMINED BY THE CITY OF HURRICANE AND THE PROPERTY OWNERS.

## DESERT TORTOISE TAKE AREA

THE PROJECT IS NOT LOCATED IN A DESERT TORTOISE TAKE AREA (PER RED CLIFFS DESERT RESERVE TAKE AREA 7 MAP)

## OWNERS:

CONTACT: KENT CLAYTON AND SCOTT STRATTON:  
(435) 467-4966  
985 S 700 W  
HURRICANE, UT 84737

NO.	DESCRIPTION	DATE	BY

PROVALUE ENGINEERING, INC.  
Engineers - Land Surveyors - Land Planners  
30 South Main Street, Suite 1  
Hurricane City, Utah 84737  
Phone: (435) 668-8307  
Karl Ramussen

PRELIMINARY PLAT FOR:  
HURRICANE FIELDS ESTATESHURRICANE CITY, WASHINGTON COUNTY, UTAH  
SECTION 10, T42S, R13W, S.L.B.&M.

DATE: 2/1/2020  
SCALE: 1"=100'  
JOB NO.: 335-004  
SHEET NO.: 1 OF 1