



7505 South Holden Street  
Midvale, Utah 84047  
Phone (801) 567-7200  
[www.midvalecity.org](http://www.midvalecity.org)

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**MIDVALE PLANNING AND ZONING COMMISSION  
SPECIAL MEETING  
AGENDA  
FEBRUARY 26, 2020**

**MIDVALE CITY HALL  
7505 SOUTH HOLDEN STREET  
COUNCIL CHAMBERS  
7:00 PM**

**PLEDGE OF ALLEGIANCE  
ROLL CALL  
PUBLIC HEARING**

1. **\*POSTPONED\***LSMP-21-35-201-004-4002; JORDAN BLUFFS POD "C"; 752 W BINGHAM JUNCTION BLVD; LARGE SCALE MASTER PLAN FOR 360-UNIT RESIDENTIAL PROJECT; JB ZONE; MARK GARZA/HOLMES HOMES (APPLICANT)

**ACTION**

2. CUP/SPR-22-30-128-035; 7200 SOUTH 300 EAST TOWNHOMES; 255-297 E FORT UNION BLVD; CONDITIONAL USE PERMIT AND PRELIMINARY SITE PLAN FOR 33-UNIT MULTIFAMILY RESIDENTIAL PROJECT; MIXED USE ZONE WITH 7200 SOUTH OVERLAY; ELGIN AVENUE HOLDINGS LLC (APPLICANT) (CONTINUED FROM 01-08-20)

**MINUTES**

3. REVIEW AND APPROVE MINUTES OF JULY 10, 2019; AUGUST 14, 2019; SEPTEMBER 11, 2019; SEPTEMBER 25, 2019; OCTOBER 9, 2019; OCTOBER 23, 2019; NOVEMBER 13, 2019; DECEMBER 11, 2019; AND FEBRUARY 12, 2020

**ADJOURN**

The workshop meeting is open to the public; however, there is no public participation. This meeting includes City Staff briefing Commission Members on the technical aspects of the agenda items. Members of the public will be given an opportunity to address the Commission during public hearing items in the general session. The Commission reserves the right to amend the order of the agenda if deemed appropriate. No item will be heard after 10:30pm without unanimous consent of the Commission. Items not heard will be scheduled on the next agenda. In accordance with the Americans with Disabilities Act, Midvale City will make reasonable accommodations for participation in the meeting. Request assistance by contacting the CD Executive Assistant at (801) 567-7211, providing at least three working days' notice of the meeting.

A copy of the foregoing agenda was provided to the news media by email and/or fax; the agenda was posted in the City Hall Lobby, the 2<sup>nd</sup> Floor City Hall Lobby, on the City's website at [www.midvalecity.org](http://www.midvalecity.org), and the State Public Notice website at <http://pmn.utah.gov>. Commission Members may participate in the meeting via electronic communication. Commission Members' participation via electronic communication will be broadcast and amplified so all Commission Members and persons present in the Council Chambers will be able to hear or see the communication.



# Midvale City

Department of Community Development  
Planning and Zoning Department

Author: Alex Murphy, Associate Planner

<b>APPLICATION NUMBER</b> CUP/SPR – 22-30-128-035	<b>APPLICABLE ORDINANCE(S)</b> §17-7-5 & 17-7-6	<b>APPLICANT/PROPERTY OWNER</b> Elgin Avenue Holdings, LLC
<b>MEETING DATE</b> February 26, 2020	<b>ITEM TYPE</b> Action Item	<b>PROPERTY ADDRESS/LOCATION</b> 255-297 E. Fort Union Blvd

## SUMMARY OF REQUEST

The applicant, Quinn Millet representing Elgin Avenue Holdings LLC, is requesting approval of a Conditional Use Permit and Preliminary Site Plan for a 33-unit multifamily residential project to be constructed at 255-297 East Fort Union Boulevard, on the northwest corner of the Fort Union Boulevard / 300 East intersection.

<b>EXISTING ZONING</b> Mixed-Use with 7200 Overlay	<b>EXISTING LAND USE</b> Single-family residential	<b>SURROUNDING LAND USE</b> Residential	<b>SIZE OF PROPERTY</b> 1.42 ac.
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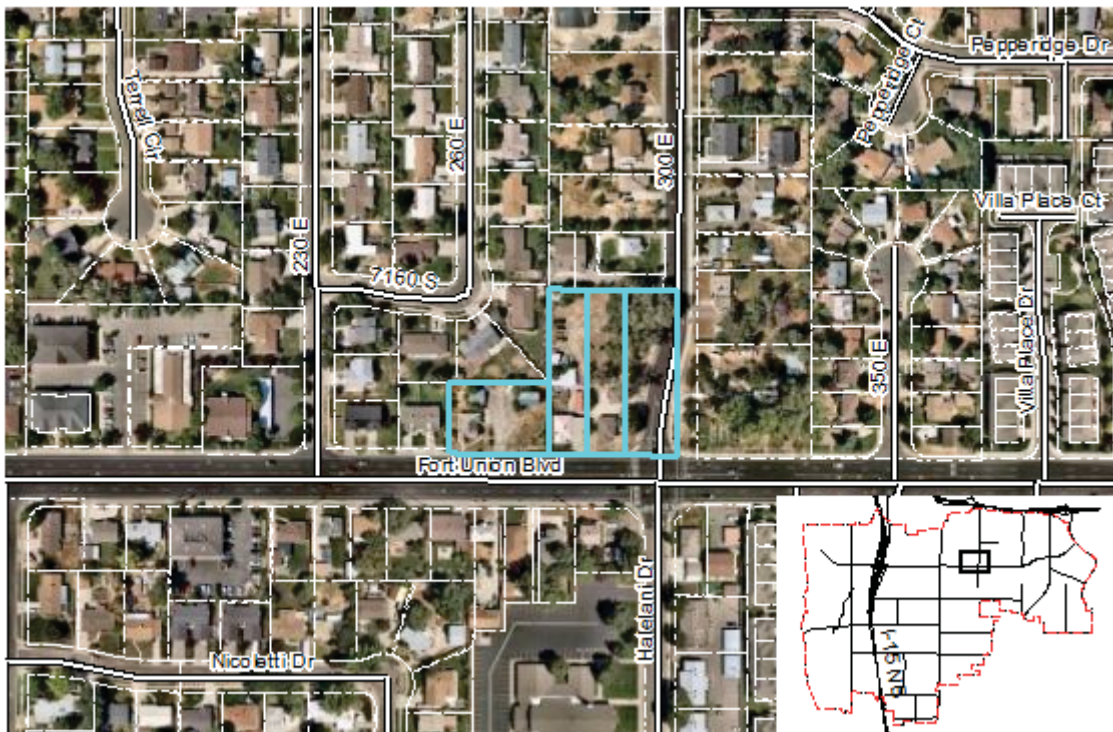
## STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

TABLE

DENY



**Midvale City**  
Department of Community Development  
Planning and Zoning Department

<b>Planning and Zoning Commission Staff Report</b>
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<b>APPLICATION:</b>	<b>IVORY INN – 33-UNIT MULTIFAMILY RESIDENTIAL PROJECT</b>
<b>LOCATION:</b>	255-297 E Fort Union Blvd
<b>APPLICANT:</b>	Quinn Millet, Elgin Avenue Holdings LLC
<b>FILE #:</b>	CUP/SPR – 22-30-128-035
<b>REQUEST:</b>	<b>CONDITIONAL USE PERMIT / PRELIMINARY SITE PLAN</b>
<b>MEETING DATE:</b>	February 12, 2020
<b>ZONING DESIGNATION:</b>	Mixed Use with 7200 South Overlay
<b>AUTHOR:</b>	Alex Murphy, Associate Planner
<b>APPLICABLE ORDINANCE(S):</b>	Midvale City Municipal Code Chapter 17-7-5 & 17-7-6
<b>AGENDA #:</b>	2

**SUMMARY:**

The applicant, Quinn Millet representing Elgin Avenue Holdings LLC, is requesting approval of a Conditional Use Permit and Preliminary Site Plan (the “Application”) for a 33-unit multifamily residential project to be constructed at 255-297 East Fort Union Boulevard, on the northwest corner of the Fort Union Boulevard / 300 East intersection. The project includes approximately 1.46 ac., of which ~0.25 ac. is owned by Midvale City and under contract to sell to the adjacent property owner. This transaction will need to be completed by March 1, 2020 and prior to any building permits for new construction being issued.

The project proposes to demolish all existing buildings on the property and replace them with several townhome-style buildings, plus parking, driveways, landscaping, and various amenities, under a single ownership. Each building is three stories tall and includes between 2-7 units. Each unit has a two-car garage and two bedrooms or two bedrooms and a bonus room. Balconies are available on certain units that do not face existing residential development and other units include ground-level patio spaces next to their front doors. A UTOPIA cabinet occupies the northeast corner of the lot and will remain in place.

The subject property is within the Mixed-Use Zone with 7200 South Overlay (MU/7200 S) and is adjacent to several other zones, including MU/7200 S, Single-Family Residential with Duplex Overlay (SF-1/DO), and Multifamily Residential Medium to High Density (RM-25). Despite the range of adjacent zones, adjacent uses are all residential, ranging from single-family to townhome/multi-family. Other nearby uses include office buildings and a church.

The Planning Commission held a public hearing regarding the project on December 11, 2019 and, after considering public input and the Staff Report, tabled a decision on the application. The request was considered at a second meeting on January 8, 2020 and was tabled a second time to address the following items:

1. Revise the landscape design to meet the 40% open space requirement and
2. Revise the snow storage plan to remove conflicts with guest parking spaces.

The open space calculation has been revised to meet the 40% requirement. This increase in open space was accomplished by reducing the depth of the proposed units from 30'-3" to 30'. A sheet showing the areas designated as open space has been attached.

The snow storage concerns have been addressed by revising the landscape plan. Areas where snow storage will occur have been modified from planter beds to turf, which will allow storage without negatively impacting trees or shrubs. Some of these snow storage areas overlap with the areas where Staff previously recommended removing turf, so that recommended condition has been removed.

#### **STAFF RECOMMENDATIONS:**

Based on compliance with the requirements of the Midvale City Municipal Code demonstrated in the application or addressed by conditions of approval, Planning Staff recommends approving the conditional use permit / preliminary site plan for the proposed multi-family residential project at 255-297 East Fort Union Blvd with the findings and conditions of approval listed below. Justification for the conditions not addressed in this Staff Report can be found in the Staff Reports presented in the December 11, 2019 and January 8, 2020 Planning Commission meetings.

#### Findings:

1. The Mixed-Use Zone with 7200 South Overlay requires multifamily residential projects to develop according to the standards of the RM-25 zone.
2. With the conditions included in this approval, the proposed Conditional Use Permit and Preliminary Site Plan complies with the development standards and requirements of the RM-25 zone.

#### Conditions of Approval:

1. The applicant shall prepare and submit a Final Site Plan application to be reviewed and approved by the City Engineer, Fire Marshal, and City Planner. The Final Site Plan application shall include the following:
  - a. Those changes, if any, necessary to comply with the City Engineer and Fire Marshal requirements;
  - b. Building elevations indicating proposed height from existing grade;

- c. A lighting plan, to include light locations, fixture details, and photometric information as required by ordinance;
  - d. A detailed fencing plan, to include height, material, and location of all proposed fencing and a **[maximum / required]** fence height around the perimeter adjacent to existing single-family residential development not to exceed **[7' / 8']**. All fencing shall comply with the following requirements:
    - i. Fences shall be reasonably compatible with respect to height from adjacent fences and shall transition consistently from one segment of fence to another and
    - ii. Fences shall be reasonably compatible with respect to materials from adjacent fences and shall propose materials and colors that are consistent and similar.;
  - e. A larger playground that reasonably fills the proposed 700 SF tot lot space;
  - f. All mechanical equipment is encouraged to be located inside a building or on a building's roof. Any equipment, meters, boxes, etc. required to be located outside the building, including any on the roof, shall be finished to match the adjacent building and/or screened from view as required by ordinance; and
2. Prior to approval of the Final Site Plan application, the applicant shall complete the in-progress transaction to purchase property from the City along 300 East.
  3. Prior to the issuance of any building permit for construction of a new building, all parcels within the project shall be consolidated into a single parcel.
  4. The applicant shall comply with all requirements from the City Engineer, Building Official, and Fire Marshal.
  5. All signage on the property shall comply with the requirements of the RM-25 zone and sign permits shall be obtained prior to installation of any signage.

## RECOMMENDED MOTIONS:

### Motion #1 – Approval

*“Regarding the application for a Conditional Use Permit and Preliminary Site Plan for a 33-unit multifamily residential project at 255-297 E. Fort Union Blvd, I move that we adopt the findings and conditions of approval presented in the Staff Report with the following clarifications or changes:*

1. *The **[maximum allowable / required]** fence height around the perimeter adjacent to existing single-family residential development shall be **[7' / 8']**. All other fences shall meet the height requirements in the RM-25 zone.;*
2. ...
3. ...”

**ADJACENT LAND USES:**

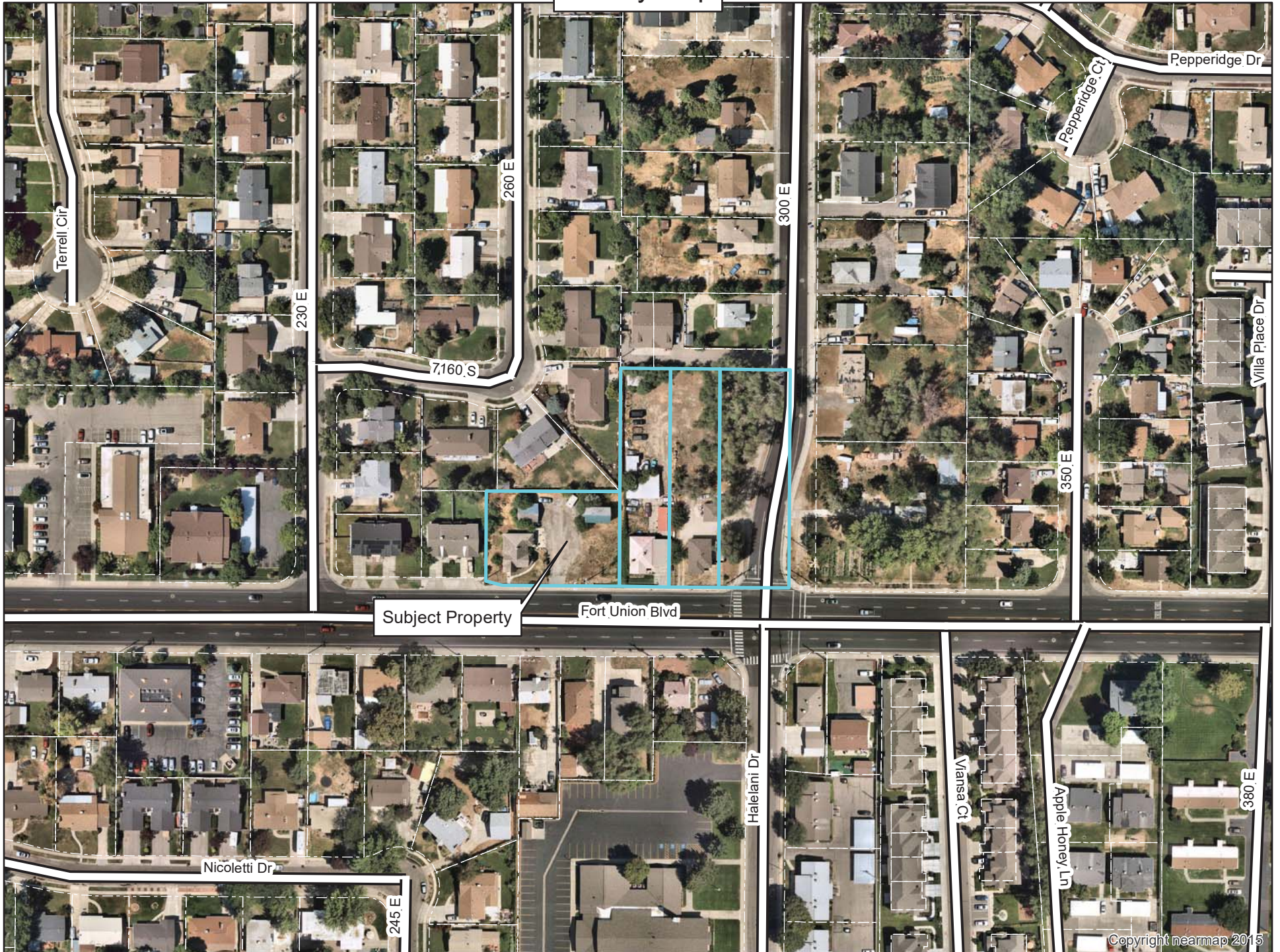
<b>North:</b> SF-1/DO	Single-family residential
<b>South:</b> SF-1/DO; MU/7200 S	Single-family residential
<b>East:</b> SF-1/DO	Single-family residential
<b>West:</b> SF-1/DO	Single-family residential

**ATTACHMENTS:**

- A. Vicinity Map
- B. Revised Site Plan
- C. Revised Open Space Calculation
- D. Revised Landscape Plan
- E. Snow Removal Plan
- F. Revised Building Elevations
- G. Revised Building Floor Plans

**PUBLIC NOTICE:** ☒ No ☐ Yes

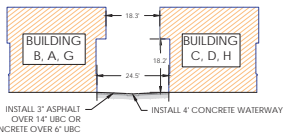
# Vicinity Map
























## DETAIL CALLOUTS

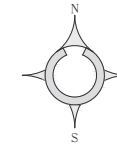
231 D-01	SIDEWALK
205 D-01	CURB AND GUTTER (TYPE A)
209 D-01	CURB AND GUTTER (TYPE P)
221 D-01	FLARED DRIVE APPROACH
211 D-01	CONCRETE WATERWAY

## CROSS SECTION A-A



## LEGEND

	PROPERTY BOUNDARY
	EXISTING OVERHEAD POWER
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDINGS
	PROPOSED BUILDING
	EXISTING SIDEWALK / CURB GUTTER
	EXISTING ROADWAY
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE (4" CONCRETE / 6" UNB.)
	PROPOSED LANDSCAPING (SOIL)
	PROPOSED LANDSCAPING (GRAVEL)
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	FIRE ACCESS
	PROPOSED MASONRY WALL / FENCE
	PROPOSED PAIRING LIGHT
	EX. MINOR CONTOUR (1')
	EX. MAJOR CONTOUR (5')
	PROPOSED SEWER LATERAL
	PROPOSED WATER LATERAL
	UTORIA EASEMENT



## SITE PLAN NOTES

7200 SOUTH 300 EAST TOWNHOMES - 33 UNITS			
BUILDING FOOTPRINT	AREA SF	TOTAL SF	%
BUILDING AREAS - 33 UNITS (30' X 22')	660	21,780	
TOTAL BUILDING FOOTPRINT	21,780	21,780	34%
ASPHALT PAVING AREA	16,317	16,317	26%
OPEN SPACE AREA (LANDSC, SW)	25,474	25,474	40.0%
TOTAL SITE AREA	63,697	63,697	100%
TOTAL SITE AREA (ACRES)	1.46	ACRES	
UNITS PER ACRE (33 TOTAL UNITS)	23	UNITS/ACRE	
TOTAL PARKING SPACES = 9			

DRAWING TITLE

## SITE PLAN

CLIENT

QUINN MILLET  
801-638-8970

COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

7200 SOUTH 300 EAST  
MIDVALE, UTAH

GENERAL

1. INSTALL WATER AND SANITARY SEWER IMPROVEMENTS ACCORDING TO MIDVALE CITY AND/OR APWA 2017 STANDARDS.
2. MAINTAIN A MINIMUM 10' DISTANCE BETWEEN WATER AND SANITARY SEWER LINES.
3. MINIMUM 18' OF CLEARANCE IS REQUIRED WHERE SEWER AND WATER CROSS.
4. MINIMUM 12' OF CLEARANCE IS REQUIRED WHERE CROSSING EXISTING GAS LINE.
5. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW UTILITY LINES.
6. FOUR FEET OF COVER REQUIRED OVER ALL WATER LINES.
7. CONTRACTOR RESPONSIBLE FOR OBTAINING MIDVALE CITY STANDARDS AND/OR APWA 2017 SPECIFICATIONS AND CONSTRUCTION STANDARDS.
8. CONTRACTOR IS RESPONSIBLE TO OBTAIN AND FOLLOW THE SOILS REPORT AND ITS RECOMMENDATIONS.
9. CONTRACTOR RESPONSIBILITY TO VERIFY CIVIL SITE PLAN AND BUILDING DIMENSIONS MATCH BUILDING PLANS BEFORE STARTING CONSTRUCTION.
10. ALL UTILITY LINES SHALL BE BACKFILLED AS PER MIDVALE CITY STANDARDS AND/OR APWA 2017 SPECIFICATIONS.
11. ALL STORM DRAIN PIPING TO BE CUT FLUSH WITH INSIDE WALL OF DRAINAGE INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
12. CONTRACTOR TO REPLACE ANY AREAS AROUND CONSTRUCTION SITE THAT IS DAMAGED DURING CONSTRUCTION.
13. THERE SHALL BE NO CHANGES TO THESE PLANS WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD AND BE SUBMITTAL OF THE PROPOSED CHANGES TO MIDVALE CITY FOR REVIEW AND APPROVAL.
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15. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY ON THE SITE AT ALL TIMES AND SHALL OBTAIN THE NECESSARY PERMITS TO ACCOMPLISH THE JOB.
16. CALL BLUE STAKES BEFORE YOU DIG.

REVISIONS:

REV #	DESCRIPTION	DATE
REV #1	MIDVALE REV. CYCLE 1	12-18-19



CIVIL PLANNING SURVEYING  
SALT LAKE CITY, UTAH  
PHONE (801) 229-9663

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STAMP	PROJECT NO.
	W-19-22
	DATE: 02/07/20
	DRAWN BY: JACOB KOSER, P.E.
	CHECKED:
	SHEET NUMBER: C-02





LEGEND

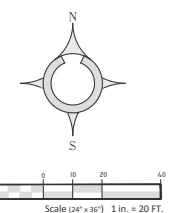
- BUILDING AREAS
- PAVED AREAS (DRIVE ACCESS AND PARKING)
- OPEN SPACE AREAS (LANDSCAPING AND SIDEWALKS)

SITE PLAN AREA EXHIBIT

CLIENT  
QUINN MILLET  
801-638-8970

COMPLETION STATUS  
PRELIMINARY PLANS  
PROJECT  
7200 SOUTH 300 EAST  
MIDVALE, UTAH

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SITE PLAN NOTES

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		W-19-22
		DATE
		02/07/20
DRAWN BY: JACOB KOSER, P.E.		
CHECKED BY:		
SHEET NUMBER		C-02A



FOUND MONUMENT  
STD. S.L.C. RING(LID)  
(2" ROUND BRASS CAP)



DRAWING TITLE

## SNOW REMOVAL PLAN

CLIENT

QUINN MILLET  
801-638-8970COMPLETION STATUS  
PRELIMINARY PLANS

PROJECT

7200 SOUTH 300 EAST  
MIDVALE, UTAH

## GENERAL

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Scale (24" x 36") 1 in. = 20 FT.

## LEGEND

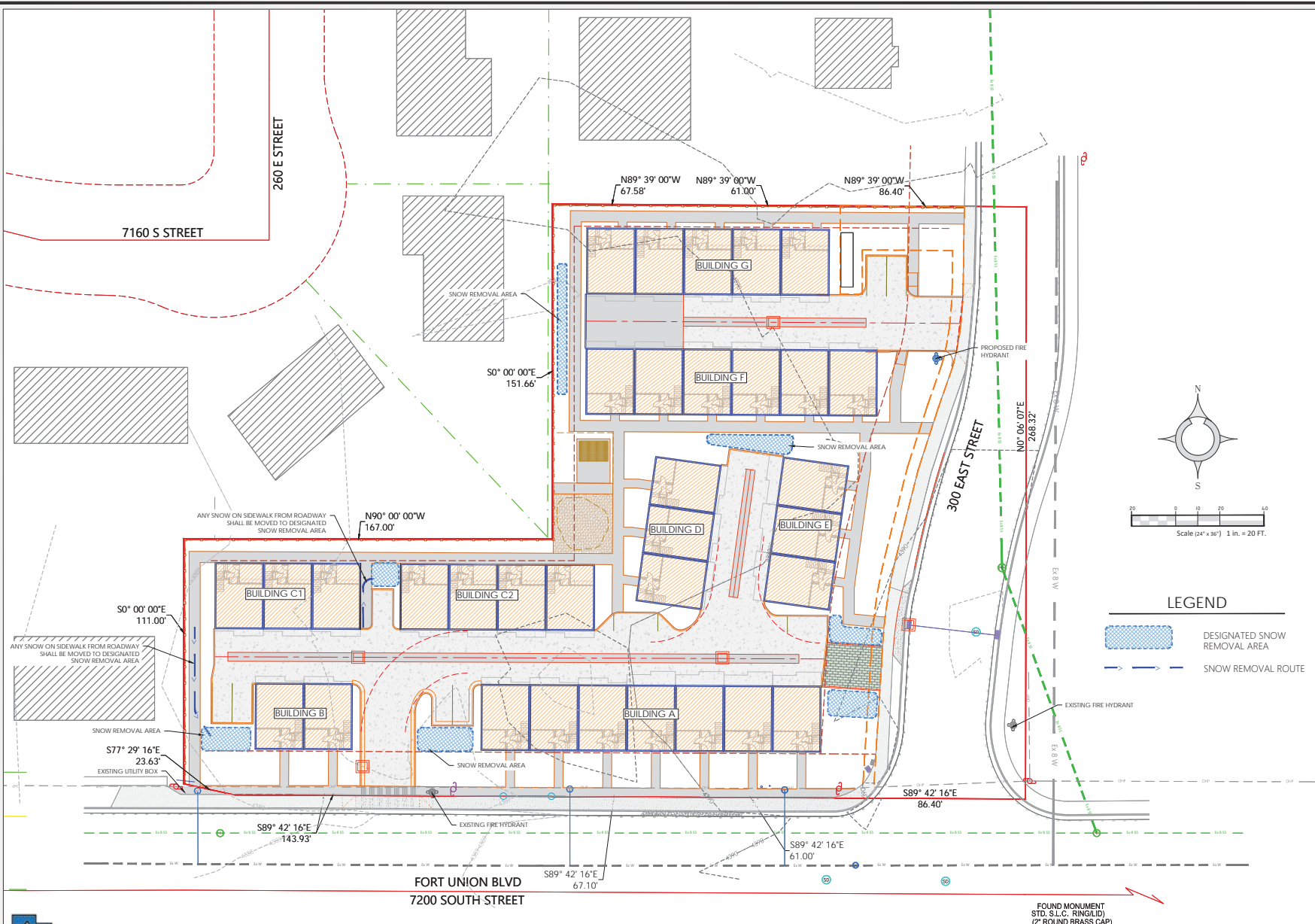
- DESIGNATED SNOW REMOVAL AREA
- SNOW REMOVAL ROUTE

## REVISIONS:

REV #	DESCRIPTION	DATE
REV # 1	MIDVALE REV. CYCLE 1	12-18-19

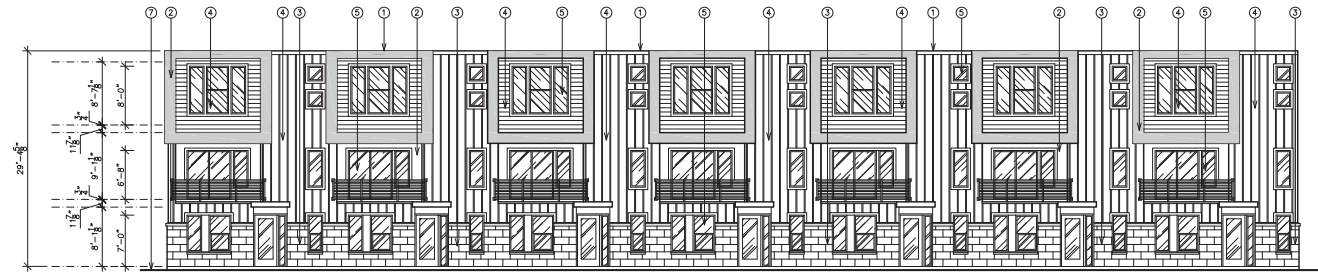
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	DRAWN BY: JACOB ROSS, P.E.
	CHECKED BY:
	SHEET NUMBER: C-07

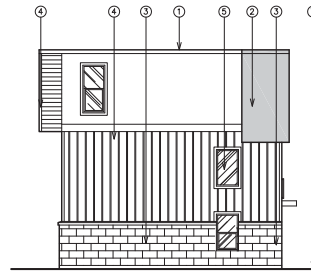


## LEGEND

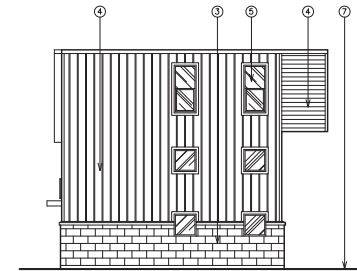
1. PREFINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE (1) FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE (INCLUDES TYVEK STUCCO WRAP WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS), OVER SHEATHING PER STRUCTURAL STUCCO SYSTEM TO BE APPROVED MANUFACTURER, PER ES REPORT K302, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & METAL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, METAL PER MANUFACTURER'S INSTRUCTIONS, ELSDORADO STONE MARQUESS DOVETAIL.
4. FIBER-CEMENT BOARD SERIES, PAINT & INSTALL PER MANUFACTURER'S SPEC, HORIZONTAL LAP, BOARD & BATTER, AND PANEL SCINS PER ELEVATIONS.
5. DEL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL DWG205, CHALK ALL AROUND.
6. FIBER-CEMENT BOARD FASCIA & TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER CIVIL DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



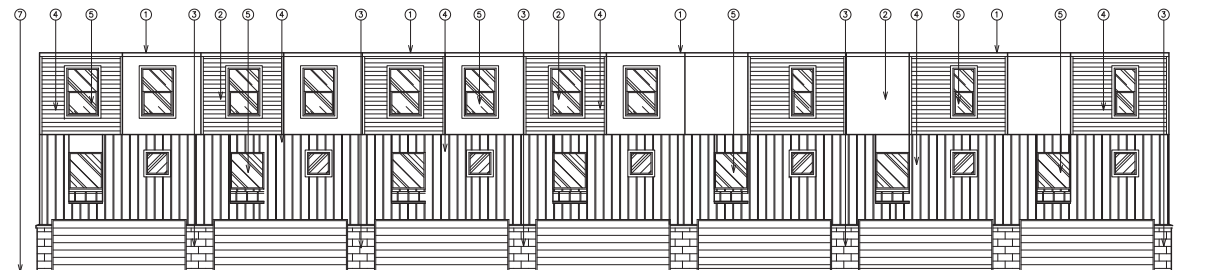
A FRONT ELEVATION  
A201.1 SCALE: 1/8" = 1'-0"



C LEFT ELEVATION  
A201.1 SCALE: 1/8" = 1'-0"



B RIGHT ELEVATION  
A201.1 SCALE: 1/8" = 1'-0"

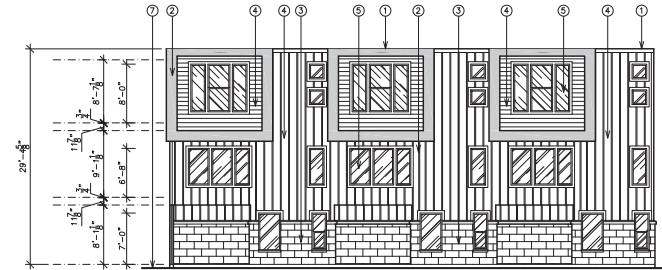


D REAR ELEVATION  
A201.1 SCALE: 1/8" = 1'-0"

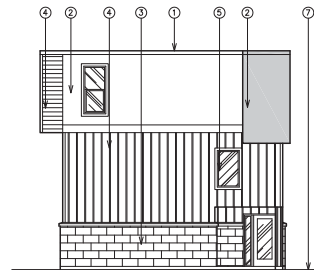
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## LEGEND

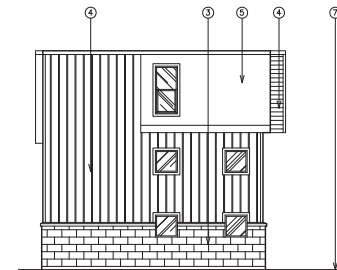
1. PRE-FINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE (1) FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE INCLUDES TYVEK STUCCO WRAP WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS, OVER SHEATHING PER STRUCTURAL STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER ES REPORT K342, OR CITY ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & METAL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, METAL PER MANUFACTURER'S INSTRUCTIONS, ELBORADO STONE MARQUESS DOVETAIL.
4. FIBER-CEMENT BOARD SIDING, PAINT & INSTALL PER MANUFACTURER'S SPEC, HORIZONTAL LAP, BOARD & BATTER, AND PANEL SIDING PER ELEVATIONS.
5. DEL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL, DWG 203, CHALK ALL AROUND.
6. FIBER-CEMENT BOARD FASCIA & TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER CIVIL DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



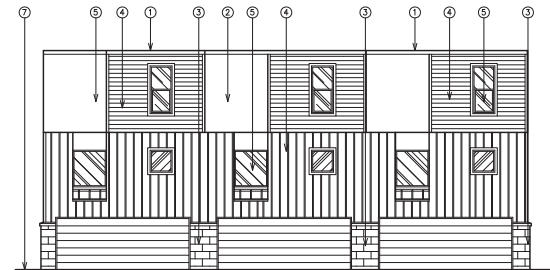
**A FRONT ELEVATION**  
A201.3 SCALE: 1/8" = 1'-0"



**C LEFT ELEVATION**  
A201.3 SCALE: 1/8" = 1'-0"



**B RIGHT ELEVATION**  
A201.3 SCALE: 1/8" = 1'-0"



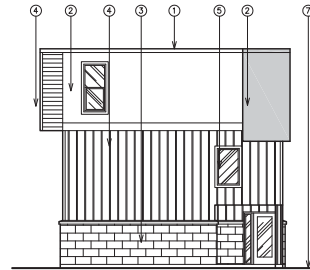
**D REAR ELEVATION**  
A201.3 SCALE: 1/8" = 1'-0"

## LEGEND

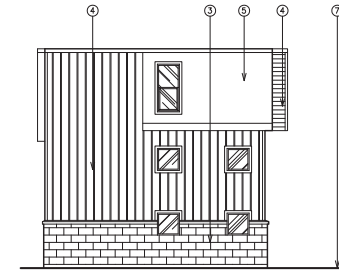
1. PREFINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE (1) FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE INCLUDES TYVEK STUCCO WRAP WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS, OVER SHEATHING PER STRUCTURAL STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER ES REPORT K302, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & METAL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, METAL PER MANUFACTURER'S INSTRUCTIONS, ELBORADO STONE MARQUESS DOVETAIL.
4. FIBER-CEMENT BOARD SIDING, PAINT & INSTALL PER MANUFACTURER'S SPEC; HORIZONTAL LAP, BOARD & BATTER, AND PANEL SIDING PER ELEVATIONS.
5. DEL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL, DWG 201, CALL OUT AROUND.
6. FIBER-CEMENT BOARD FASCIA & TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER CIVIL DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



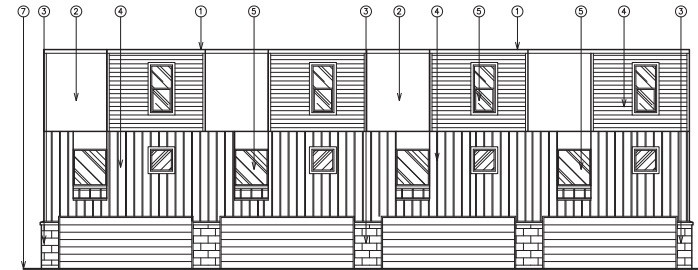
**A FRONT ELEVATION**  
A201.4 SCALE: 1/8" = 1'-0"



**C LEFT ELEVATION**  
A201.4 SCALE: 1/8" = 1'-0"



**B RIGHT ELEVATION**  
A201.4 SCALE: 1/8" = 1'-0"

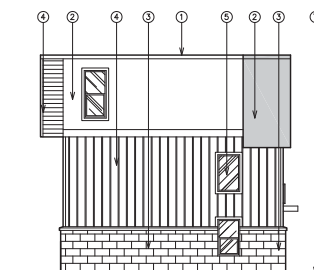


**D REAR ELEVATION**  
A201.4 SCALE: 1/8" = 1'-0"

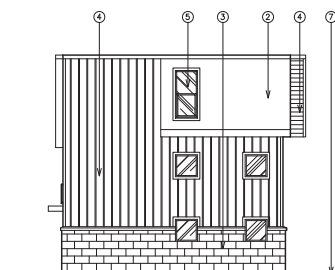
1. PRE-FINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM 1" COAT, OVER WIRE LATH, OVER 1/2" LAYER GRADE 10' MIN. THICK SINGLE STUD. OVER FULL TYPE-CERTIFIED SYSTEM. APPLIED SINGLE STUD INCLUDES TYPE STUCCO BRIDGE AND STUCCO BRIDGE JOINTS. STUCCO BRIDGE JOINTS OVER CHASES AND JOINTS FOR STRUCTURAL. STUCCO SYSTEM TO BE APPROVED MANUFACTURER. PERFORMED BY SUBCONTRACTOR. PROVIDE SLOPED SQUARE, POLISHED SUBSTRATE. INSTALL PER MANUFACTURER'S INSTRUCTIONS; DETAILS, AND RECOMMENDATIONS INCLUDING: CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, INSTALL PER MANUFACTURER'S INSTRUCTIONS; ELBORADO STONE MARQUEE23 COVETAL.
4. INTER-COMM BOARD SPOKE, POINT AND PAPER FOR MANUFACTURER'S SPECIFICATIONS. PROVIDE 1/2" BOARD & BATTEN, AND PAPER, SPOKE FOR ELEVATIONS.
5. DRILL, GALVAN. W/IN. SLUING W/RODS & PATIO DOGS, SEE DETAIL, W/IN. CASKAL IRON.
6. INTER-COMM BOARD FASCIA, A TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER ON, DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



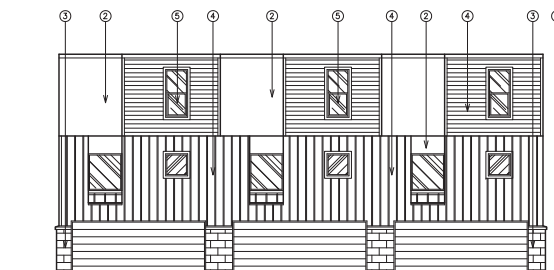
**FRONT ELEVATION**



**C** LEFT ELEVATION  
A-201.5 SCALE: 1/8" = 1'-0"



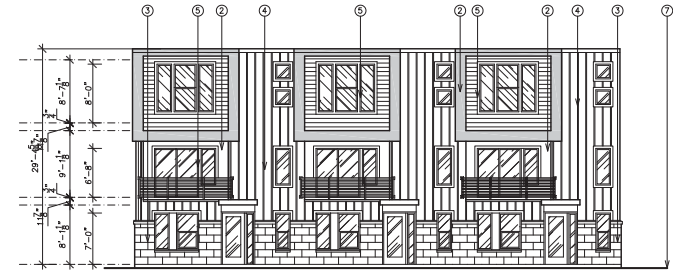
**RIGHT ELEVATION**



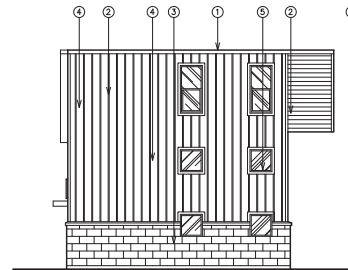
**D REAR ELEVATION**  
A-201.5 SCALE: 1/8" = 1'-0"

## LEGEND

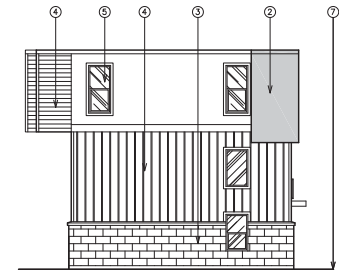
1. PRE-FINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE (1) FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE INCLUDES TYVEK STUCCO WRAP WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS, OVER SHEATHING PER STRUCTURAL STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER ES REPORT 1042, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & METAL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, METAL PER MANUFACTURER'S INSTRUCTIONS, ELDOVADO STONE MARQUESS DOVETAIL.
4. FIBER-CEMENT BOARD SIDING, PAINT & INSTALL PER MANUFACTURER'S SPEC, HORIZONTAL LAP, BOARD & BATTER, AND PANEL SIDING PER ELEVATIONS.
5. DEL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL, 104203, CALL OUT AROUND.
6. FIBER-CEMENT BOARD FASCIA & TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER CIVIL DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



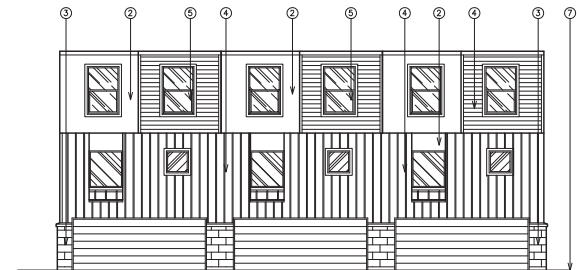
**A FRONT ELEVATION**  
A201.6 SCALE: 1/8" = 1'-0"



**C LEFT ELEVATION**  
A201.6 SCALE: 1/8" = 1'-0"



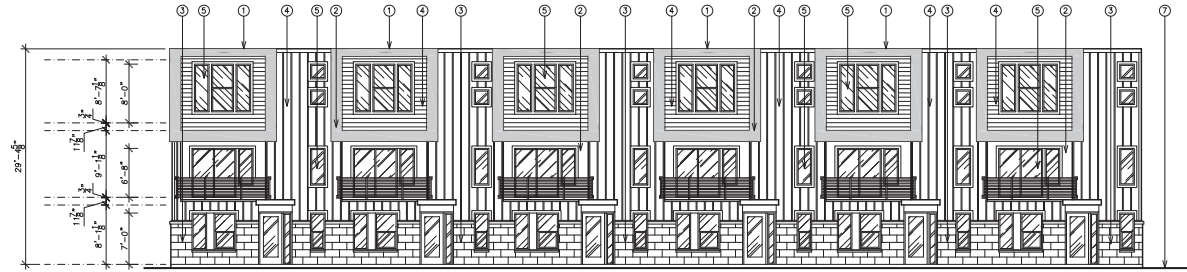
**B RIGHT ELEVATION**  
A201.6 SCALE: 1/8" = 1'-0"



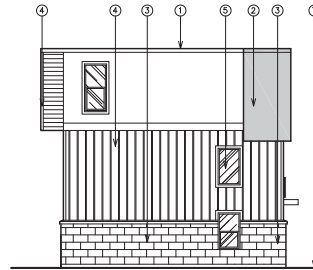
**D REAR ELEVATION**  
A201.6 SCALE: 1/8" = 1'-0"

## LEGEND

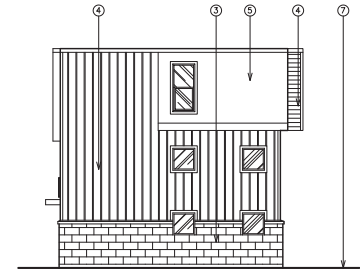
1. PREFINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE (1) FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE INCLUDES TYVEK STUCCO WRAP WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS, OVER SHEATHING PER STRUCTURAL STUCCO SYSTEM TO BE APPROVED MANUFACTURER, PER ES REPORT 1002, OR CITY ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & METAL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, METAL PER MANUFACTURER'S INSTRUCTIONS, ELBORADO STONE MARQUESS DOVETAIL.
4. FIBER-CEMENT BOARD SERRIS, PAINT & INSTALL PER MANUFACTURER'S SPEC, HORIZONTAL LAP, BOARD & BATTER, AND PANEL SERRIS PER ELEVATIONS.
5. DEL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL, 100203, CALK ALL AROUND.
6. FIBER-CEMENT BOARD FASCIA & TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER CIVIL DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



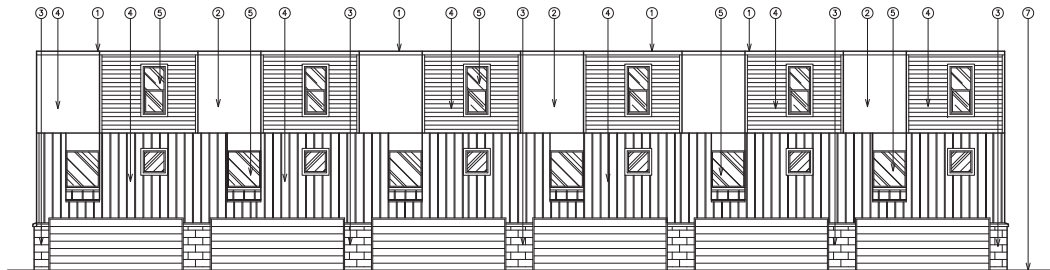
A FRONT ELEVATION  
A201.7 SCALE: 1/8" = 1'-0"



C LEFT ELEVATION  
A201.7 SCALE: 1/8" = 1'-0"



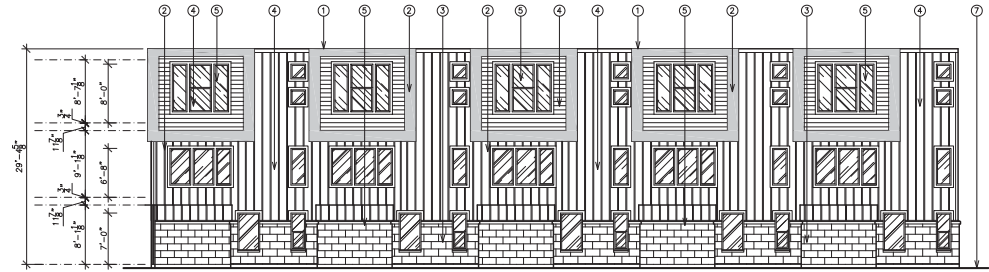
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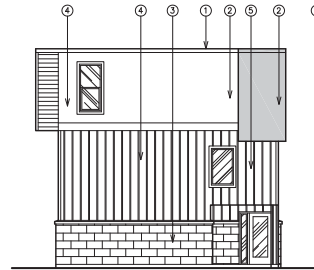
D REAR ELEVATION  
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## LEGEND

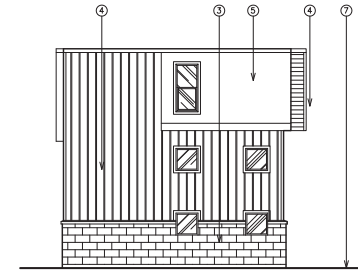
1. PREFINISHED, SLOPED GALVANIZED METAL CAP FLASHING W/ DRIP EDGE.
2. STUCCO SYSTEM (1 COAT), OVER WIRE LATH, OVER (1) LAYER GRADE (1) FELT APPLIED SHINGLE STYLE, OVER FULL TYVEK CERTIFIED SYSTEM APPLIED SHINGLE STYLE INCLUDES TYVEK STUCCO WRAP WINDOW AND PENETRATION FLASHINGS, AND CAP FASTENERS, OVER SHEATHING PER STRUCTURAL STUCCO SYSTEM TO BE APPROVED MANUFACTURER PER ES REPORT K302, OR CITY/ARCHITECT APPROVED EQUAL. PREPARE SUBSTRATE & METAL PER MANUFACTURER'S INSTRUCTIONS, DETAILS, AND RECOMMENDATIONS INCLUDING CONTROL JOINTS SPACING.
3. MANUFACTURED STONE VENEER, METAL PER MANUFACTURER'S INSTRUCTIONS, ELBORADO STONE MARQUESS DOVETAIL.
4. FIBER-CEMENT BOARD SIDING, PAINT & INSTALL PER MANUFACTURER'S SPEC, HORIZONTAL LAP, BOARD & BATTER, AND PANEL SCANS PER ELEVATIONS.
5. DEL. GLAZED VINYL SLIDING WINDOWS & PATIO DOORS, SEE DETAIL, DWG-20, CALK ALL AROUND.
6. FIBER-CEMENT BOARD FASCIA & TRIM AT ROOF OVERHANGS & BALCONIES.
7. FINISH GRADE PER CIVIL DRAWINGS.
8. GALVANIZED FLASHING W/ DRIP EDGE.



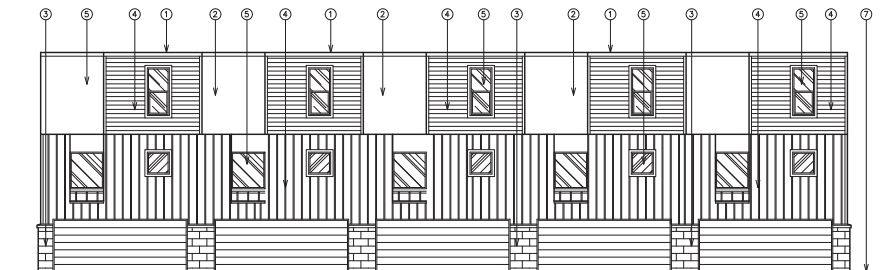
A FRONT ELEVATION  
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C LEFT ELEVATION  
SCALE: 1/8" = 1'-0"

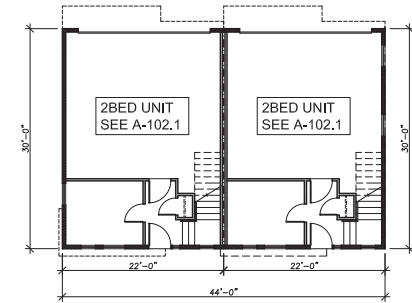


B RIGHT ELEVATION  
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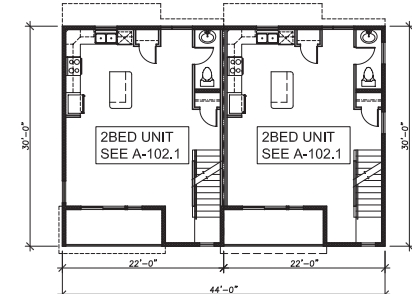


D REAR ELEVATION  
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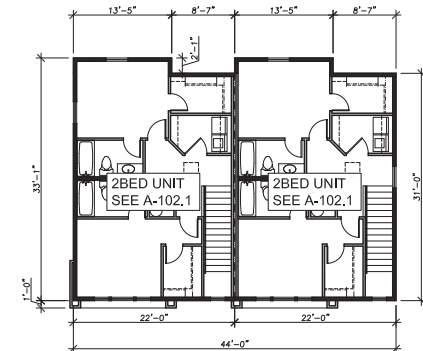




**A GARAGE LEVEL**  
A-101.2 SCALE: 1/8" = 1'-0"



**B LIVING LEVEL**  
A-101.2 SCALE: 1/8" = 1'-0"



**C BEDROOM LEVEL**  
A-101.2 SCALE: 1/8" = 1'-0"

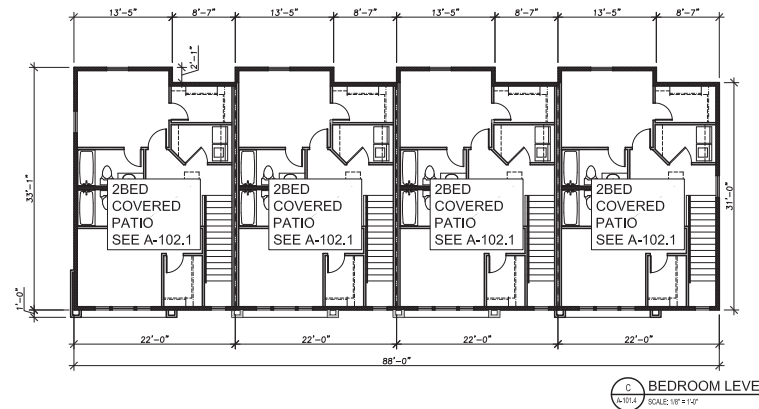
**Little and Associates, Inc.**  
ARCHITECTS  
1501 W. 1000 N.  
SALT LAKE CITY, UT 84119  
PH: (801) 462-5444

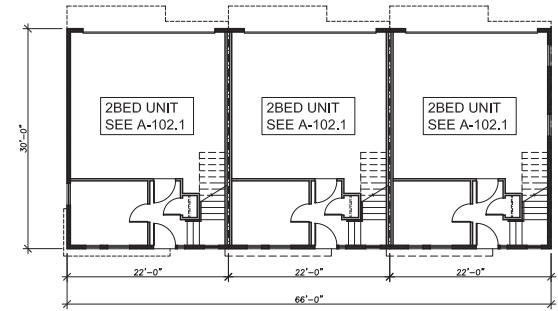
**Fort Union Towns**  
Midvale, UT

**BUILDING B  
OVERALL BUILDING PLANS**

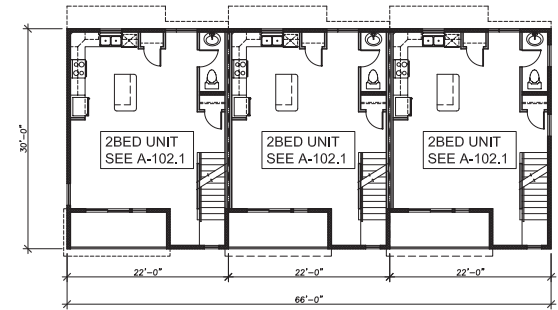
DATE	JAN. 29, 2019
REVISION	
DESIGNED BY	
CHECKED BY	
APPROVED BY	
PROJECT NO.	A-101.2



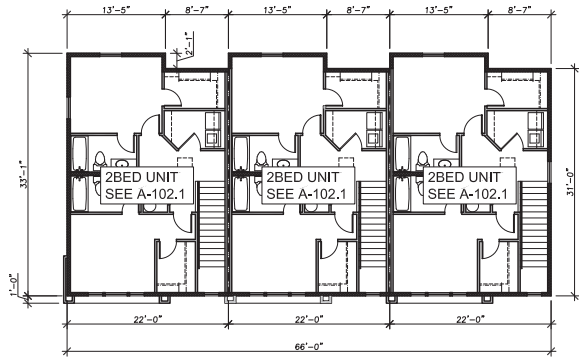




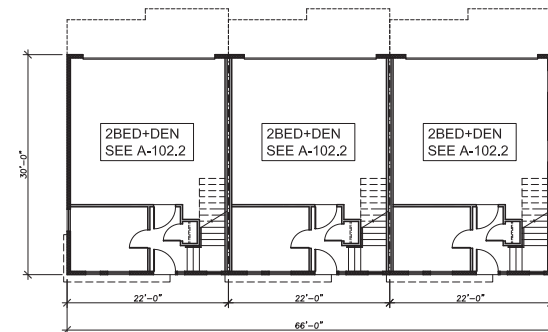
**A GARAGE LEVEL**  
A-101.5 SCALE: 1/8" = 1'-0"



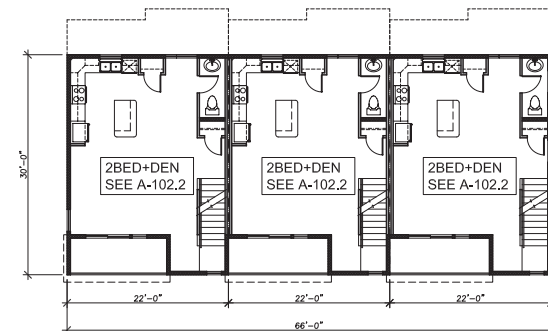
**B LIVING LEVEL**  
A-101.5 SCALE: 1/8" = 1'-0"



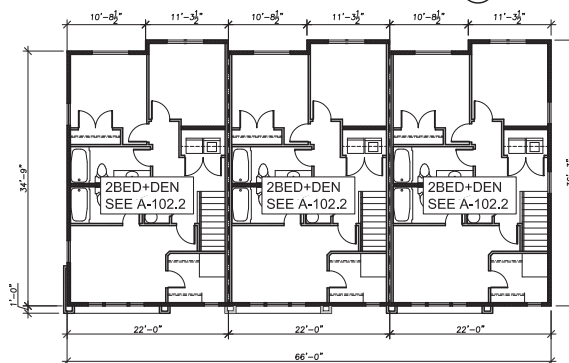
**C BEDROOM LEVEL**  
A-101.5 SCALE: 1/8" = 1'-0"



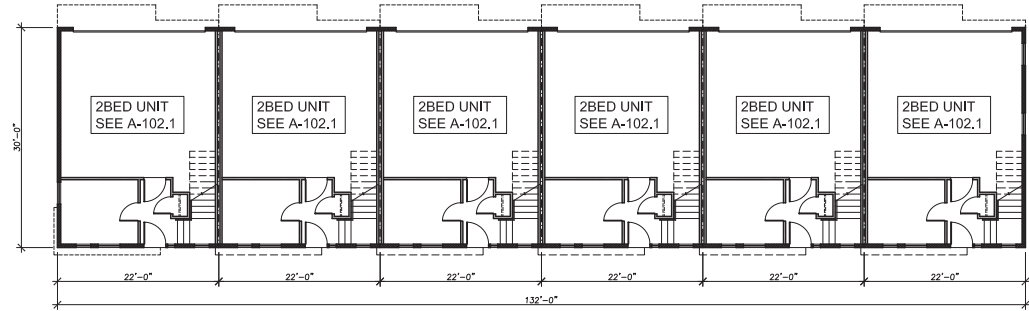
**Garage Level**  
A-101.5 SCALE: 1/8" = 1'-0"



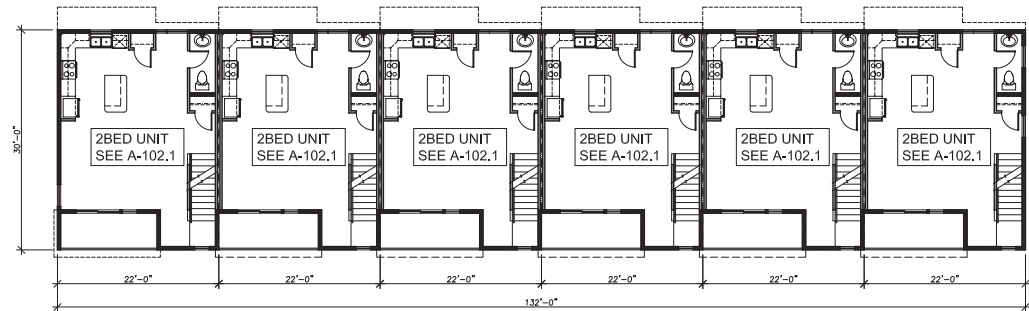
**B LIVING LEVEL**  
A-101.6 SCALE: 1/8" = 1'-0"



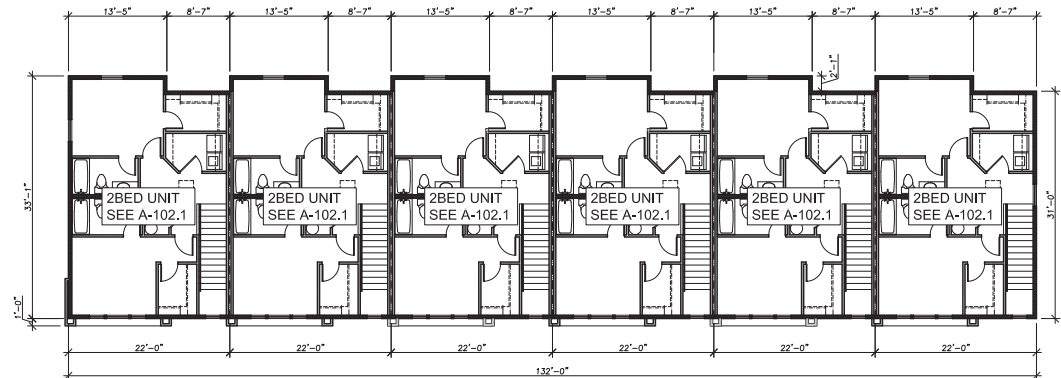
**C** **BEDROOM LEVE**  
A-101.6 SCALE: 1/8" = 1'-0"



**A GARAGE LEVEL**  
 C-101.7 SCALE 1/8" = 1'-0"



**B LIVING LEVEL**  
 C-101.7 SCALE 1/8" = 1'-0"



**C BEDROOM LEVEL**  
 C-101.7 SCALE 1/8" = 1'-0"

