



Public Works
Planning & Development Services Division
<http://www.utah.gov/pmn/index.html>

Salt Lake County Planning Commission

Public Meeting Agenda

Wednesday April 10, 2013

8:30 A.M.

THE MEETING WILL BE HELD IN THE COUNTY COUNCIL CHAMBERS, COUNTY GOVERNMENT CENTER, MAIN FLOOR, ROOM #N1100, 2001 SOUTH STATE STREET. ANY QUESTIONS, CALL 385-468-6700

REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 468-2120 OR 468-2351: TDD 468-3600.

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

Business Items – 8:30 a.m.

- 1) Adoption of minutes from the March 13, 2013 meeting.
- 2) Wasatch Canyons General Plan update
- 3) Review of Membership Status / Volunteer Forms
- 4) Review of Bylaws
- 5) Other Business

Public Hearings – (Immediately following business items)

28242 – Alan Longstaff – Requesting preliminary approval for the 2 lot Longstaff acres Subdivision – **Address:** 2627 East 10000 South – **Community Council:** Granite – **Zone:** R-1-43 (Residential – 1 acre min lot size) – **Planner:** Todd A. Draper

28263 – Ty Vranes – Requesting Conditional Use approval of an 8 lot Planned Unit Development (PUD) consisting of 4 Twin Homes – **Address:** 8795 South 1300 East – **Community Council:** Sandy Hills – **Zone:** A-1 (Agricultural/Residential, 10,000 sq. ft. min. lot size) **Planner:** Todd A. Draper

28303 – Dave Erickson representing TM Crushing and G&N Properties LLC – Rezone request from A-20 (Agricultural) to S-1-G (Sand and Gravel/Residential) – **Address:** 6816 South U-One Eleven Highway – **Zone:** S-1-G (Sand and Gravel/Residential) – **Planner:** Todd A. Draper

28304 – Dave Erickson representing TM Crushing and G&N Properties LLC – Requesting Conditional Use approval for Sand and Gravel extraction – **Address:** 6816 South U-One Eleven Highway – **Zone:** S-1-G (Sand and Gravel/Residential) – **Planner:** Todd A. Draper

28306 – Darlene Batatian for Snowbird Ltd. – Requesting Preliminary Plat approval for the Monte Cristo 7-lot Single-family Subdivision located within the Snowbird Mountain Resort Center Boundary – **Address:** 8901 E. Little Cottonwood Canyon Rd. – **Zone:** FR-20/FCOZ – **Planner:** Spencer G. Sanders

28324 – Kam Havard and Dennis Watt representing Digis Wireless – Conditional Use approval for a new Wireless Telecommunications Facility – **Address:** 7741 W. Country View Lane – **Zone:** FA-2.5 (Foothill Agricultural) and Foothills and Canyons Overlay Zone (FCOZ) – **Planner:** Todd A. Draper

28334 – Marc Sullivan – Requesting Conditional Use approval of a Dwelling group, to build an additional Single family dwelling on site with an existing Single Family Dwelling. **Address:** 8520 South 1000 East – **Zone:** A-1 (Agriculture/Residential, 10,000 sq. ft. min. lot size) – **Planner:** Jim Nakamura

Meeting Adjournment

Rules of Conduct for the Planning Commission Meeting

- First: Applications will be introduced by a Staff Member.
- Second: The applicant will be allowed up to 15 minutes to make their presentation.
- Third: The Community Council representative can present their comments.
- Fourth: Persons in favor of, or not opposed to, the application will be invited to speak.
- Fifth: Persons opposed to the application will be invited to speak.
- Sixth: The applicant will be allowed 5 minutes to provide concluding statements.

- Speakers will be called to the podium by the Chairman.
- Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
- All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
- For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 2 minutes per person, or 5 minutes for a group spokesperson.
- After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.



STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	2	4	2	
Applicant Name:	Alan Longstaff	Request:	Subdivision						
Description:	2-lot Longstaff Subdivision								
Location:	2627 East 10000 South								
Zone:	R-1-43 Residential Single-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not Applicable								
Staff Recommendation:	Approval with Conditions								
Planner:	Todd A. Draper								

1.0 BACKGROUND

1.1 Summary

The applicant has filed a number of previous applications in the past to subdivide this property, there are some issues that need to be resolved before a final approval of the preliminary plat can be granted or a Final Plat can be recorded. Most of these early attempts were expired due to inactivity or lack of compliance with the conditions necessary to complete said approval actions.

The main issues are determining the conformance of the structures currently on the property with current ordinance and the continued conformance of those structures with the zoning ordinance after the recordation of a subdivision plat. Additionally there are issues related to Heath and Safety that need to be resolved, primarily related to emergency vehicle access and Health Department approval related to Sewage Disposal.

1.3 Neighborhood Response

No response received

2.0 ANALYSIS

2.1 Applicable Ordinances

Chapter 19.14 requires lots within the R-1-43 zone to be a minimum of 1 acre (43560 sq. ft.) in size and have a lot width of at least 100 feet.

Single Family Dwelling as well as Agriculture (the raising of crops) are listed as permitted uses in the R-1-43 zone.

2.2 Subdivision Requirements

18.08.010 - Procedure generally.

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
3. Payment of fees, as required under [Title 3](#), Revenue and Finance.

B. A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in [Section 18.12.030](#), and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;

2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

18.08.015 - Time limits.

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

- A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.
- B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.
- C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.
- D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

18.12.010 - Required information.

A. The preliminary plat, prepared on paper twenty-one inches by thirty inches, shall contain the information specified in this section and comply with the following requirements:

1. Description and Delineation. In a title block located in the lower right-hand corner the following shall appear:
 - a. The proposed name of the subdivision, which name must be approved by the planning and development services division;
 - b. The location of the subdivision, including:
 - i. Address,
 - ii. Section, township and range;
 - c. The names and addresses of the owner, the subdivider, if different than the owner, and of the designer of the subdivision;
 - d. The date of preparation, scale (no less than one inch to equal one hundred feet) and the north point.

2. Existing Conditions. The plat shall show:

- a. The location of and dimensions to the nearest bench mark or monument;
- b. The boundary lines of the proposed subdivision indicated by a solid heavy line and the total approximate acreage encompassed thereby;
- c. All property under the control of the subdivider, even though only a portion is being subdivided. Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in the light of existing general street plans, other planning commission studies and the County Transportation Improvement Plan;
- d. The location, width and names of all existing streets within two hundred feet of the subdivision and of all prior platted streets or other public ways, railroad and utility rights-of-way, parks and other public open spaces, permanent buildings and structures, houses or permanent easements and section and corporation lines, within and adjacent to the tract;
- e. The location of all wells, proposed, active and abandoned, and of all reservoirs within the tract and to a distance of at least one hundred feet beyond the tract boundaries;
- f. Existing sewers, water mains, culverts or other underground facilities within the tract and to a distance of at least one hundred feet beyond the tract boundaries, indicating pipe sizes, grades, manholes and exact location;
- g. Existing ditches, canals, natural drainage channels, and open waterways and proposed realignments;
- h. Boundary lines of adjacent tracts of unsubdivided land, showing ownership where possible;
- i. Contour at vertical intervals of not more than two feet. Highwater levels of all watercourses, if any, shall be indicated in the same datum for contour elevations;
- j. Nearest installed fire hydrants on or within five hundred feet of the proposed subdivision.

4. Proposed Subdivision Plan. The subdivision plan shall show:

- a. The layout of streets, showing location, widths and other dimensions of (designated by actual or proposed names and numbers) proposed streets, crosswalks, alleys and easements;
- b. The layout, numbers and typical dimensions of lots, and in areas subject to foothills and canyons overlay zone provisions, designation of buildable areas on individual lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision;
- d. Building setback lines, including showing dimensions where required by the planning commission;
- e. Easements for water, sewers, drainage, utility lines and other purposes, if required by the planning commission;
- f. Typical street cross sections and grade sheets where required by the planning commission or other interested county divisions;

g. A tentative plan or method by which the subdivider proposes to handle stormwater drainage for the subdivision.

2.3 Other Agency Recommendations or Requirements

County Boundary/ CGS Engineering Review

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development and the following statement A Record of Survey has been filed as #xxxxxxxxxxx in the S. L. County Surveyor's Office MUST be included in the Surveyor's Certificate on the final mylar, the x's being the RSC No. received from the County Surveyor's office
2. All required improvements must be bonded for before plat can be recorded. Full improvements are required along frontage. Dedication will be required and must be shown on plat.
3. Show easement for ingress/egress on private road
4. Show Fire Hydrants on Final Plat along with distance to back line of subdivision by path of travel
5. Require 4 copies of Final Civil drawings signed by Licensed Engineer for all improvements after approvals from Hydrology, Grading and Traffic have been received
6. Label all areas to be dedicated to County as "Area Hereby Dedicated to Salt Lake County"
7. All Streets within 200 ft. of the proposed subdivision must be shown on plat
8. Include the area to be dedicated to county within the perimeter boundary description
9. Label all utility and drainage easements on final plat
10. A preliminary report of title will be required at the final stage of the project. They are only good for 60 days so don't get it until we are at the final plat stage
11. Accessory building on Lot 2 must be removed before subdivision plat can be recorded
12. Power poles may need to be moved at owner's expense to accomodate improvements in the Right-of-Way

Building Inspection Review

PRIOR TO BUILDING APPROVAL, WILL NEED TO HAVE FIELD INSPECTION FROM BUILDING TO VERIFY EXISTING ACCESSORY STRUCTURE IS STILL IN COMPLIANCE WITH PREVIOUS CASES AND APPROVALS. AT TIME OF INSPECTION, WILL VERIFY THAT THE STRUCTURE IS BEING USED AS STORAGE USE ONLY. PLEASE CONTACT BUILDING DEPARTMENT TO SCHEDULE THE INSPECTION AT YOUR CONVENIENCE.

Geology Review

No issues identified

Grading Review

Conditional approval is subject to the following: At the time of the building permit a site grading and drainage plan with the home and the landscaping is required to be submitted for review and comment.

Health Department Review

The Health Department has not responded to the request for review nor approved of the subdivision at this time. They are likely waiting on the applicant to submit connection letters from the sewer and water providers before they will respond.

County Traffic Engineering Review

No response received to date

Unified Fire Authority Review

Revisions to the site plan are required to bring it into compliance with the codes/ ordinances administered by this agency.

Fire access requirements: Fire department access roads required and unobstructed width of 20', height of 13'6", designed and maintained to support the imposed loads of emergency apparatus. Surface to provide all weather driving capabilities. Shall have an inside turning radius of 28 feet. Maximum grade of 10%. Access roads over 150' shall have an approved turn-around.

(From letter from Sandy City Fire - First responders to this area)

1. 1 Fire Hydrant is required.
2. 1,500 gpm fire flow is required.
3. No combustible construction is allowed until the fire hydrant is installed and the access roadways are complete.
4. Private drives must be a minimum of 20' wide and have 13' 6" in clear height. No parking allowed along the roadway.
5. No portion of the roadway surfaces in this project exceed 12% grade.
6. Roadway requires an approved turn around.
7. Comply with fire department access requirements of the 2009 international fire code.

Urban Hydrology Review

The proposed site plan is approved pending a technical review by this agency.

1. Basin # 251 - Bell Canyon. \$4,289.00 per acre impact fee.
2. The developer shall be required to permanently contain all generated water on his own property or routed to an approved Salt lake county storm drainage system.
3. The developer shall grade this property in accordance with the approved site grading and lot drainage plan so as not to discharge any additional storm water onto adjacent properties.

2.4 Other Issues

Planning Review

1. Provide evidence of initial and/or continued Health Department approval for the septic system on the property.
2. Provide evidence of an existing and continuing agricultural use (raising of crops) located upon lot 2 to which the existing oversized accessory structure would be accessory to after the subdivision is recorded.
3. Meet fire department requirements for the width and height associated with the access driveway. Provide a turn-around and applicable easements as required.
4. Show The location of all wells, proposed, active and abandoned, and of all reservoirs within the tract and to a distance of at least one hundred feet beyond the tract boundaries;
5. Need to show Existing sewer connections within the tract and to a distance of at least one hundred feet beyond the tract boundaries.
6. Must show Nearest installed fire hydrants on or within five hundred feet of the proposed subdivision. Please Adjust/shift the preliminary plat drawing so that the fire hydrant is not located inside a signature box.

7. The traffic engineer has not yet responded. Improvements to 10000 South may yet be required as part of the technical review.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

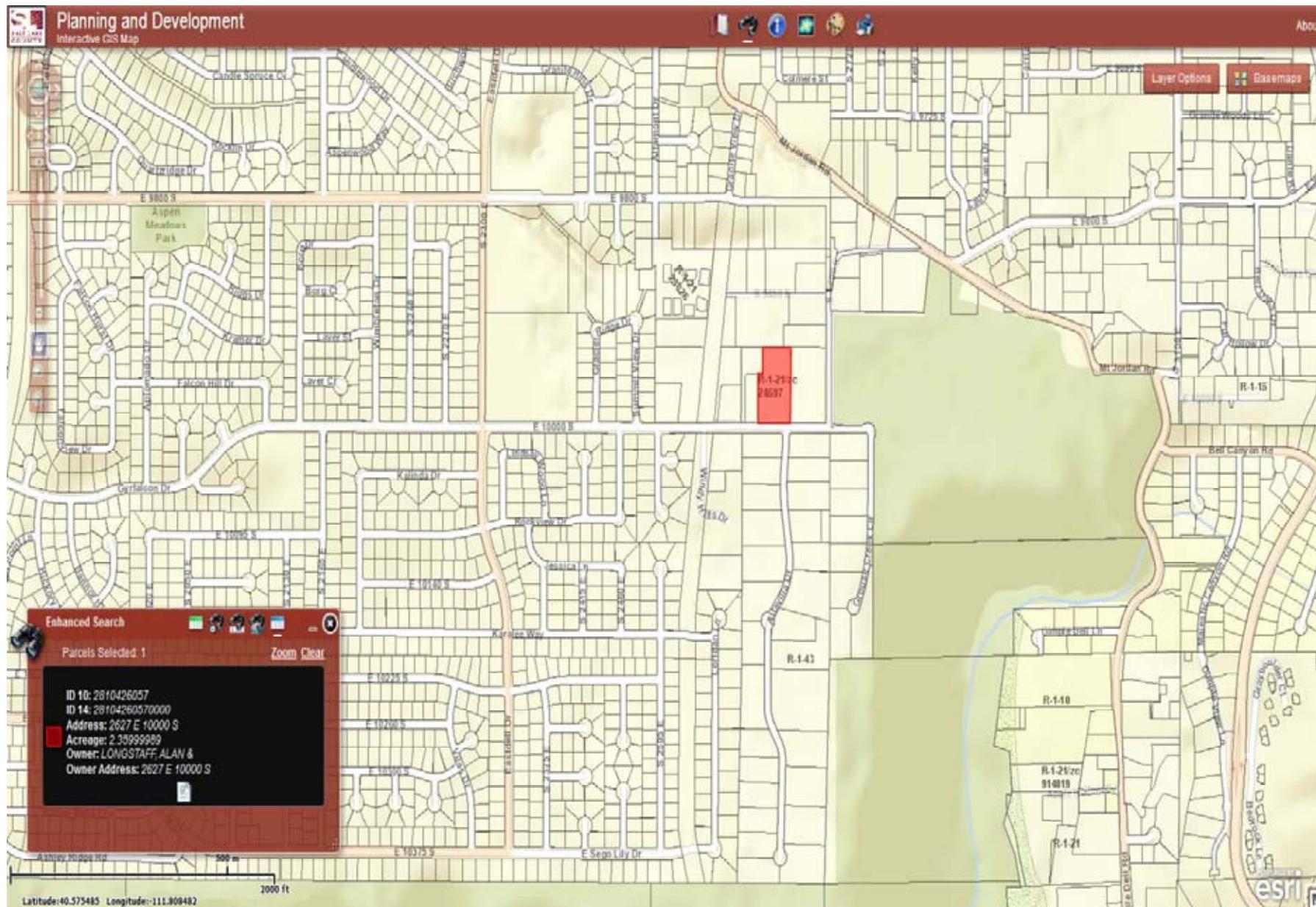
- 1) Comply with all agency and staff recommendations and requirements as listed in the above staff report.

3.2 Reasons for Recommendation

- 1) Approval of the preliminary plat is contingent upon meeting all ordinance requirements and required development standards of required reviewing agencies.

3.3 Other Recommendations

None at this time





Tue Apr 2 2013 09:57:06 PM.

LONGSTAFF ACRES SUBDIVISION

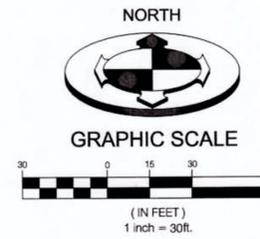
LOCATED IN THE SOUTHEAST QUARTER QUARTER OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

"PRELIMINARY PLAT"

LINE	LENGTH	BEARING
L1	67.99	S 24°40'53" W
L2	122.27	S 00°06'51" W
L3	5.50	N 89°42'50" W
L4	12.00	N 89°42'50" W
L5	246.13	N 00°06'51" E
L6	12.00	S 89°53'09" E
L7	5.50	S 89°53'09" E
L8	55.02	S 00°06'51" W
L9	29.14	S 75°52'09" E

WHITE CITY WATER COMPANY
TIN 28-10-426-053
BK 7476 PG 2324

MESA DEVELOPMENT, INC.
ENTY NO. 101662006
BK 9482 PG 1493 TIN 28-10-426-055

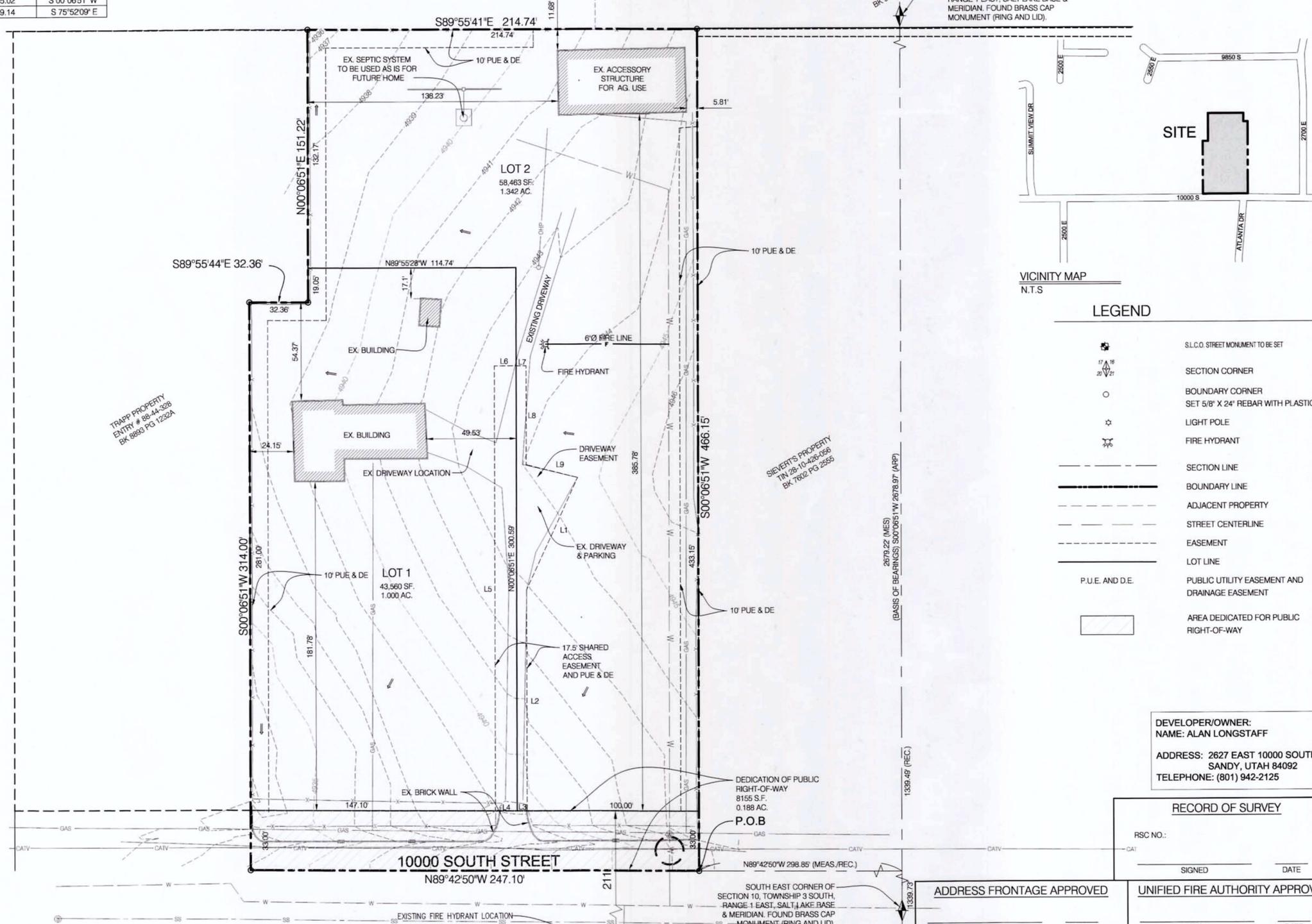


LONGSTAFF ACRES SUBDIVISION

BOUNDARY DESCRIPTION

BEGINNING AT A POINT NORTH 00°06'51" EAST 1339.73 FEET AND NORTH 89°42'50" WEST 298.85 FEET FROM THE SOUTHEAST CORNER OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN AND RUNNING; THENCE NORTH 89°42'50" WEST 247.10 FEET; THENCE NORTH 00°06'51" EAST 314.00 FEET; THENCE SOUTH 89°55'44" EAST 32.36 FEET; THENCE NORTH 00°06'51" EAST 151.22 FEET; THENCE SOUTH 89°55'41" EAST 214.74 FEET; THENCE SOUTH 00°06'51" WEST 466.15 FEET TO BEGINNING.

CONTAINS 2.529 ACRES
CONTAINS 2 LOTS



TRAPP PROPERTY
ENTRY # 83-44-328
BK 6890 PG 1232A

SIEVERT'S PROPERTY
TIN 28-10-426-056
BK 7602 PG 2555

DEVELOPER/OWNER:
NAME: ALAN LONGSTAFF
ADDRESS: 2627 EAST 10000 SOUTH
SANDY, UTAH 84092
TELEPHONE: (801) 942-2125

RECORD OF SURVEY
RSC NO.: _____
SIGNED _____ DATE _____

ADDRESS FRONTAGE APPROVED
SIGNED _____ DATE _____

UNIFIED FIRE AUTHORITY APPROVAL
SIGNED _____ DATE _____

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT _____, THE UNDERSIGNED OWNER, OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREFTER KNOWN AS THE

LONGSTAFF ACRES SUBDIVISION

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY I HAVE HEREUNTO SET
THIS _____ DAY OF _____ A.D., 20____

ACKNOWLEDGMENT
STATE OF UTAH } S.S.
County of Salt Lake

ON THE _____ DAY OF _____ A.D., 20____ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN SAID STATE OF UTAH, THE SIGNER, OF THE ABOVE OWNER'S DEDICATION, _____ IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT _____ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC
RESIDING IN SALT LAKE COUNTY

LONGSTAFF ACRES SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER QUARTER OF SECTION 10,
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN

SHEET 1 OF 1

BENCHMARK CIVIL
BENCHMARK ENGINEERING & LAND SURVEYING
9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192

CHECKED FOR ZONING COMPLIANCE
ZONE: _____ LOT AREA: _____
LOT WIDTH: _____ FRONT YARD: _____
SIDE YARD: _____ REAR YARD: _____

HEALTH
APPROVED THIS _____ DAY OF _____ A.D., 20____
SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION
APPROVED THIS _____ DAY OF _____ A.D., 20____, BY THE MAGNA TOWNSHIP PLANNING COMMISSION.
CHAIR, MILLCREEK TOWNSHIP PLANNING COMMISSION

PLAN CHECK
I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
PLAN REVIEW SECTION MANAGER _____ DATE _____

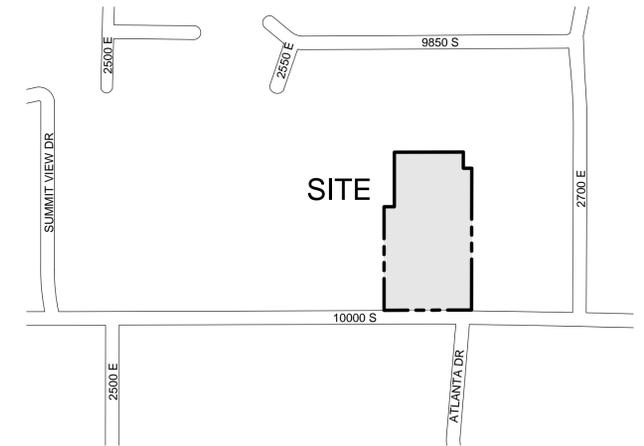
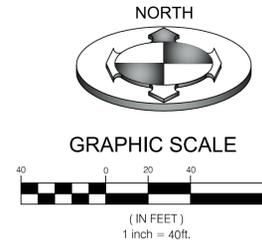
APPROVAL AS TO FORM
APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____
SALT LAKE COUNTY DISTRICT ATTORNEY

MAYOR
PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D., 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
MAYOR OR DESIGNEE _____

SALT LAKE COUNTY RECORDER
RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____
DATE _____ TIME _____ BOOK _____ PAGE _____
FEE \$ _____ SALT LAKE COUNTY RECORDER

LONGSTAFF ACRES SUBDIVISION

LOCATED IN SOUTHEAST QUARTER OF SECTION 10.
TOWNSHIP 3 SOUTH, RANGE 1 EAST,
SALT LAKE BASE AND MERIDIAN
2627 EAST 10000 SOUTH
SANDY, UTAH 84092



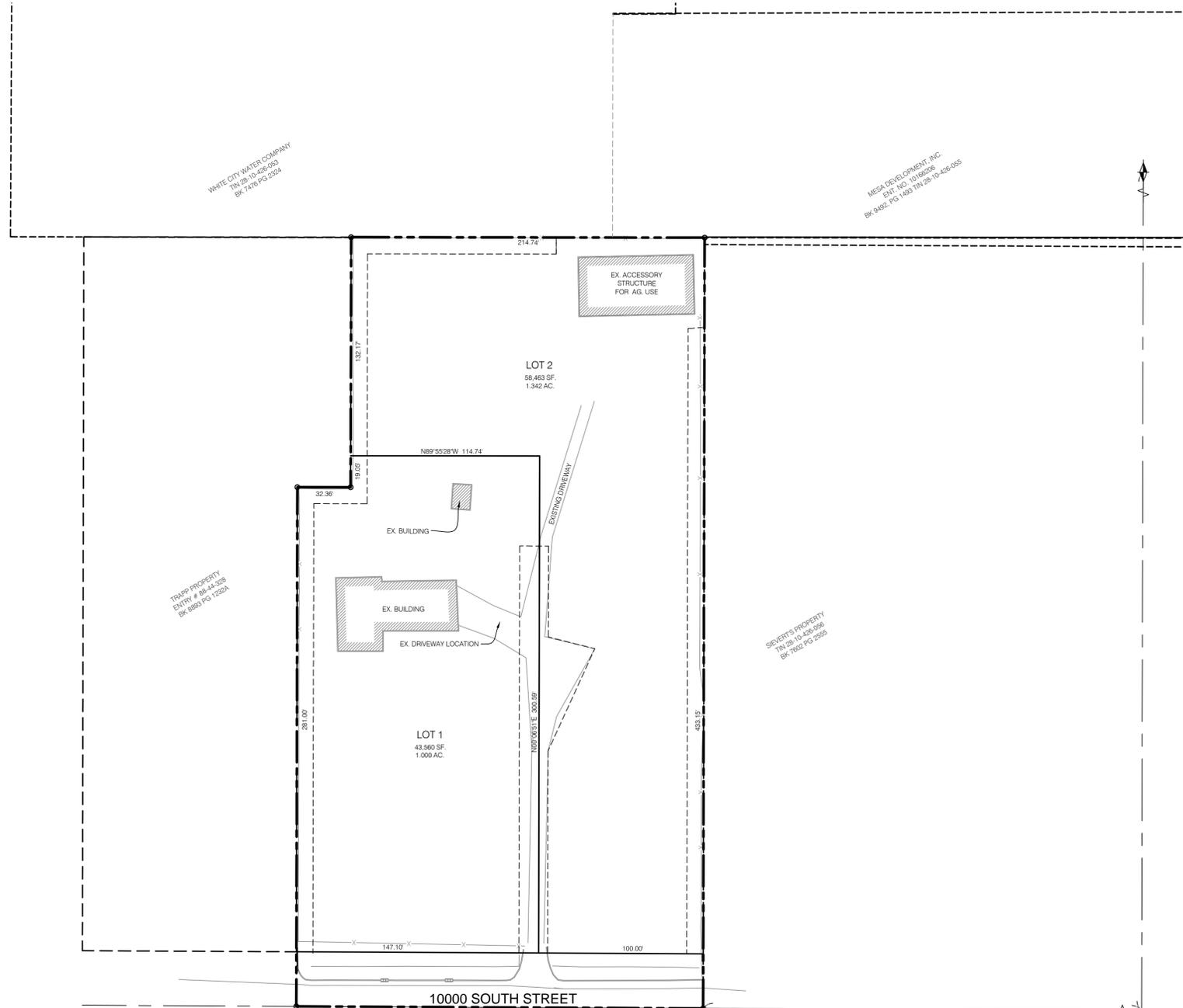
VICINITY MAP
N.T.S.

DEVELOPER/OWNER:
NAME: ALAN LONGSTAFF

ADDRESS: 2627 EAST 10000 SOUTH
SANDY, UTAH 84092
TELEPHONE: (801) 942-2125

DRAWING INDEX

COVER	COVER SHEET
CGN.01	GENERAL NOTES, LEGEND & ABBREVIATIONS
CSP.01	SITE PLAN
CUP.01	UTILITY PLAN
CGD.01	GRADING AND DRAINAGE PLAN



**BENCHMARK
ENGINEERING &
LAND SURVEYING**
9130 SOUTH STATE STREET SUITE # 100
SANDY, UTAH 84070 (801) 542-7192
www.benchmarkcivil.com

LONGSTAFF ACRES SUBDIVISION 2627 EAST 10000 SOUTH SANDY CITY, UTAH			DRAWN JBA/RPO DATE: 01/18/13	DESIGNED DAB DATE: 01/18/13	CHECKED GAB DATE: 01/18/13
No.	DATE	DESCRIPTION			

PROJECT NO. 1301003
COVER
1 OF 5

CONSTRUCTION NOTES

GENERAL

- 1. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH SANDY CITY STANDARDS, SANDY CITY STANDARDS AND APWA MANUAL OF STANDARD SPECIFICATIONS 2002 EDITION.
2. CONTRACTOR AND APPLICABLE SUBCONTRACTORS SHALL ATTEND ALL PRE-CONSTRUCTION CONFERENCES AND PROGRESS MEETINGS...

CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING UTILITIES AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO, THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR.

5. ALL WORK SHALL COMPLY WITH THE AMERICAN PUBLIC WORKS ASSOCIATION UTAH CHAPTER (APWA) MANUAL OF STANDARD SPECIFICATIONS 2002 EDITION AND THE MANUAL OF STANDARD PLANS 2002 EDITION, SAID STANDARD SPECIFICATIONS AND PLANS SHALL BE SUBSIDIARY TO MORE STRINGENT REQUIREMENTS BY APPLICABLE LOCAL JURISDICTION.

6. THE CONTRACTOR SHALL BE SKILLED AND REGULATORY ENGAGED IN THE GENERAL CLASS AND TYPE OF WORK CALLED FOR IN THE PROJECT PLANS AND SPECIFICATIONS. THEREFORE, THE OWNER IS RELYING UPON THE EXPERIENCE AND EXPERTISE OF THE CONTRACTOR, IT SHALL EXPECTED THAT THE PRICES PROVIDED WITHIN THE CONTRACT DOCUMENTS SHALL INCLUDE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN REGULAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR PECULIAR UNLAME CONDITIONS, PROPERTY AND THE ENVIRONMENT.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND LICENSES REQUIRED FOR THE CONSTRUCTION AND COMPLETION OF THE PROJECT, AND SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS AND CONDITIONS OF ALL PERMITS AND APPROVALS APPLICABLE TO THIS PROJECT.

8. CONSTRUCTION STAKING FOR GRADING, CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAIN, WATER, AND ELECTROPLERS SHALL BE DONE BY THE OWNERS SURVEYOR. THE CONTRACTOR SHALL NOTIFY THE SURVEYOR FORTY EIGHT (48) HOURS IN ADVANCE OF THE NEED FOR STAKING, ANY STAKING REQUESTED BY THE CONTRACTOR OR THEIR SUBCONTRACTORS THAT IS ABOVE AND BEYOND STANDARD STAKING NEEDS...

9. IT IS INTENDED THAT THESE PLANS AND SPECIFICATIONS REQUIRE ALL LABOR AND MATERIALS NECESSARY AND PROPER FOR THE WORK CONTEMPLATED AND THAT THE WORK BE COMPLETED IN ACCORDANCE WITH THEIR TRUE INTENT AND PURPOSE.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCYS STANDARD SPECIFICATIONS.

11. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE. COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS.

12. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT, PIPING AND CONDUITS, STRUCTURES AND OTHER FACILITIES.

13. PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE.

UTILITIES

14. CONTRACTOR TO SPACE UTILITIES TO PROVIDE MINIMUM DISTANCES AS REQUIRED BY LOCAL, COUNTY, STATE, AND INDIVIDUAL UTILITY CODES.

15. ALL UTILITIES ARE TO BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING AGENCY/DISTRICT STANDARDS AND SPECIFICATION. WATER - SANDY CITY SEWER - COTTONWOOD IMPROVEMENT DISTRICT STORM DRAIN/GROUNDWATER - SANDY CITY ELECTRICAL - ROCKY MOUNTAIN POWER TELEPHONE - CENTURY LINK NATURAL GAS - QUESTAR

16. COORDINATE ALL SERVICE LATERAL AND BUILDING CONNECTIONS WITH CORRESPONDING ARCHITECTURAL, MECHANICAL OR ELECTRICAL DRAWINGS FOR LOCATION AND ELEVATION. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES ARE ENCOUNTERED.

17. ALL STORM DRAIN MANHOLES AND CATCH BASINS ARE TO BE PRECAST CONCRETE FROM APPROVED LOCAL MANUFACTURER UNLESS OTHERWISE NOTED.

18. ALL STORM WATER OVERLYANCE PIPING TO BE RCP - CLASS 3 OR EQUAL UNLESS OTHERWISE NOTED. 19. ALL ELECTRICAL CONDUITS/LINES TO BE PVC SCH 40 OR BETTER.

20. ALL GAS LINES TO BE HDPE WITH COPPER TRACER WIRE AND DETECTA TAPE. TERMINATE TRACER WIRE AT APPROVED LOCATIONS. 21. ALL GAS LINE TAPS, VALVES AND CAPS TO BE FUSED USING ELECTRO - FUSION TECHNOLOGY.

22. ALL PHONE AND TV CONDUITS TO BE PVC SCH 40 OR BETTER. 23. NO GROUNDWATER OR DEEPS TO BE ALLOWED TO ENTER THE NEW PIPE DURING CONSTRUCTION.

24. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4' OR MORE.

25. PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS (IE SEWER, WATER, FUEL, ELECTRIC LINES, ETC.) WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED.

26. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS FOR H-20 LOAD REQUIREMENTS. 27. ACTUAL CONNECTIONS TO EXISTING WATER LINES WILL NOT BE PERMITTED PRIOR TO THE COMPLETION OF STERILIZATION AND TESTING OF NEW WATER MAINS.

28. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER, SIDEWALK, AND STREET PAVING. 29. ALL SEWER LINE TO BE FUSHED, PRESSURE TESTED TO 5 PSI VIDEO INSPECTED AND OTHERWISE TESTED IN ACCORDANCE WITH DISTRICT STANDARDS PRIOR TO INSTALL IN SERVICE.

SEWER

30. ALL SEWER LINES AND LATERALS ARE TO BE SDR 35 PVC PIPE. 31. SEWER MANHOLES, LATERALS AND CLEANOUTS TO BE INSTALLED PER COTTONWOOD IMPROVEMENT DISTRICT STANDARDS.

32. DURING CONSTRUCTION OF THE SEWERLINE, WYES NEED TO BE INSTALLED FOR THE LATERALS. LATERALS ARE 6" AND NEED TO COME IN AT THE TOP OF THE PIPE WITH A WYE. 33. WATER LINES TO BE PVC 8000 DR 18 OR DUCTILE IRON CLASS 52 AS REQUIRED BY WATER COMPANY.

WATER

34. ALL WATER LINES SHALL BE 8" MINIMUM SIZE AND SERVICE LATERALS SHALL BE 1-1/2" MINIMUM UNLESS OTHERWISE NOTED. 35. WATER SERVICE LATERALS SHALL MEET SANDY CITY SPECIFICATIONS TO INCLUDE ALL BRASS SADDLE, CORP STOP, LATERAL DOUBLE CHECK VALVE AND BACKFLOW PREVENTION DEVICE.

36. ALL WATER LINES SHALL BE 4" BELOW FINISH GROUND TO TOP OF PIPE. ALL VALVE BOXES AND MANHOLES SHALL BE RAISED OR LOWERED TO FINISH GRADE AND SHALL INCLUDE A CONCRETE COLLAR IN PAVED AREAS. 37. CONTRACTOR TO NOTIFY SANDY CITY FOR CHLORINE TEST PRIOR TO FLUSHING LINES.

38. BOTTOM FLANGE OF FIRE HYDRANTS TO BE SET TO APPROXIMATELY 4 INCHES ABOVE BACK OF CURB ELEVATION. HYDRANTS TO INCLUDE TIE, 6" LINE VALVE, AND HYDRANT COMPLETE TO MEET SANDY CITY STANDARDS. 39. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITIES SHOWN OR NOT SHOWN.

40. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE, IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION.

41. ALL UTILITY MANHOLE RIMS, CATCH BASIN GRATES AND VALVE BOX COVERS ARE TO BE ADJUSTED TO FIT THE FINISHED GRADE OF THE SITE. 42. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT ALL PIPES, WALLS, ETC. ARE ADEQUATELY BRACED DURING CONSTRUCTION.

43. CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH CITY STANDARD SPECIFICATIONS, DIVISION 2 OF THE UTAH PUBLIC WORKS STANDARD SPECIFICATIONS AND THE RECOMMENDED EARTHWORK SPECIFICATION FOUND IN THE PROFESSIONALLY PREPARED REPORT OF GEOTECHNICAL INVESTIGATION.

44. THE CONTRACTOR SHALL REMOVE ALL VEGETATION AND DELETERIOUS MATERIALS FROM THE SITE UNLESS NOTED OTHERWISE. ALL EXISTING WELLS AND SEPTIC TANKS SHALL BE REMOVED AND/OR ABANDONED PER THE REQUIREMENTS OF ALL LOCAL, STATE AND FEDERAL REGULATIONS.

45. SUBSOIL INVESTIGATIONS HAVE BEEN CONDUCTED AT THE SITE OF THE WORK BEFORE FOOTING FOUNDATION OR STRUCTURAL WALL CONSTRUCTION CAN COMMENCE. A REVIEW OF THE PROFESSIONALLY PREPARED REPORT OF THESE INVESTIGATIONS, MUST BE REVIEWED.

46. ALL PROPOSED ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO FINISHED SURFACE. THE CONTRACTOR IS RESPONSIBLE TO DEDUCT THE THICKNESS OF THE PAVEMENT STRUCTURAL SECTION FOR TOP OF SUB GRADE ELEVATIONS.

47. IF AT ANY TIME DURING CONSTRUCTION ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, WORK IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED FROM THE ENGINEER. 48. UNSUITABLE MATERIAL, SUCH AS TOP SOIL, WEATHERED BED ROCK, ETC., SHALL BE REMOVED AS REQUIRED BY THE SOILS ENGINEER (AND/OR ENGINEERING GEOLOGIST, WHERE EMPLOYED) FROM ALL AREAS TO RECEIVE COMPACTED FILL OR DRAINAGE STRUCTURES.

49. NO TREES SHALL BE REMOVED OR DAMAGED WITHOUT SPECIFIC WRITTEN AUTHORIZATION FROM PROPERTY OWNER. 50. THE EXISTING TOPOGRAPHY ON THESE PLANS IS BASED ON A TOPOGRAPHIC SURVEY PERFORMED BY BENCHMARK ENGINEERING AND LAND SURVEYING AND MAY HAVE BEEN MOOIFIED SINCE THIS SURVEY WAS PERFORMED.

51. FILLS IN EXCESS OF 4 FEET IN THICKNESS AND BENEATH ALL FOUNDATIONS OR PAVEMENT SECTIONS SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE ASTM D-1557 COMPACTION CRITERIA.

52. CONTRACT TESTING WILL BE ACCOMPLISHED BY THE CONTRACTOR, OR THE CONTRACTOR WILL HAVE SUCH TESTING ACCOMPLISHED BY A SEPARATE CONTRACTOR. TEST RESULTS WILL BE SUBMITTED FOR REVIEW WITHIN 24 HOURS AFTER TEST.

53. CONTRACTOR TO SUBMIT PROCTOR AND/OR MARSHALL TEST DATA 24 HOURS PRIOR TO TEST. 54. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON PLANS.

55. ALL SLOPES IN ADJOINING STREETS, DRAINAGE CHANNELS, OR OTHER FACILITIES SHALL BE GRADED NO STEEPER THAN 2 TO 1 FOR CUT AND FILL. 56. GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE.

57. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES. 58. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY.

59. SITE WORK SHALL MEET OR EXCEED OWNERS SITE SPECIFICATIONS. 60. ALL CONCRETE TO HAVE A MINIMUM OF 28 DAY COMPRESSION STRENGTH OF 4000 PSI. 61. CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL.

62. FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL. 63. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT. 64. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION.

65. THE CONTRACTOR SHALL CONTROL SURFACE WATER TO PREVENT ENTRY INTO EXCAVATIONS. AT EACH EXCAVATION, A SUFFICIENT NUMBER OF TEMPORARY OBSERVATION WELLS TO CONTINUOUSLY CHECK THE GROUNDWATER LEVEL SHALL BE PROVIDED. 66. SUMPS SHALL BE NO DEEPER THAN 5 FEET AND SHALL BE AT THE LOW POINT OF EXCAVATION.

67. THE CONTROL OF GROUNDWATER SHALL BE SUCH THAT SOFTENING OF THE BOTTOM OF EXCAVATIONS, OR FORMATION OF "QUIK" CONDITIONS OR "BOILS", DOES NOT OCCUR. DEWATERING SYSTEMS SHALL BE DESIGNED AND OPERATED SO AS TO PREVENT REMOVAL OF NATURAL SOILS.

68. ONE HUNDRED PERCENT STANDBY PUMPING CAPACITY SHALL BE AVAILABLE ON SITE AT ALL TIMES AND SHALL BE CONNECTED TO THE DEWATERING SYSTEM PIPING AS TO PERMIT IMMEDIATE USE. IN ADDITION STANDBY EQUIPMENT AND APPLIANCES FOR ALL ORDINARY EMERGENCIES, AND COMPETENT WORKMEN FOR OPERATION AND MAINTENANCE OF ALL DEWATERING EQUIPMENT SHALL BE ON SITE AT ALL TIMES.

69. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.

70. CONTRACTOR SHALL INSTALL EROSION CONTROLS (SILT FENCES, STRAW BALES, ETC) AS REQUIRED BY REGULATORY AGENCIES. SAID CONTROLS SHALL BE INSTALLED IN ACCORDANCE WITH AGENCY STANDARDS AND FOLLOWING BEST MANAGEMENT PRACTICES FOR ACTUAL IMPLEMENTATION ON SITE.

71. THE CONTRACTOR AGREES THAT: A. THEY SHALL BE RESPONSIBLE TO CLEAN THE JOB SITE AT THE END OF EACH PHASE OF WORK. B. THEY SHALL BE RESPONSIBLE TO REMOVE AND DISPOSE OF ALL TRASH, SCRAP AND UNUSED MATERIAL AT THEIR OWN EXPENSE IN A TIMELY MANNER.

C. THEY SHALL BE RESPONSIBLE TO MAINTAIN THE SITE IN A NEAT, SAFE AND ORDERLY MANNER AT ALL TIMES. D. THEY SHALL BE RESPONSIBLE TO KEEP MATERIALS, EQUIPMENT, AND TRASH OUT OF THE WAY OF OTHER CONTRACTORS SO AS NOT TO DELAY THE JOB.

E. THEY SHALL BE RESPONSIBLE FOR THEIR OWN SAFETY, TRAFFIC CONTROL, PERMITS, RETESTING AND REINSTATEMENTS AT THEIR OWN EXPENSE. F. UNLESS OTHERWISE NOTED, ALL EXCESS SOILS AND MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF SITE AT THE CONTRACTORS EXPENSE.

G. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, BARRICADES, SIGNS, FLAGMEN OR OTHER DEVICES NECESSARY FOR PUBLIC SAFETY. 72. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL.

H. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ALL WATER, POWER, SANITARY FACILITIES AND TELEPHONE SERVICES AS REQUIRED FOR THE CONTRACTORS USE DURING CONSTRUCTION.

73. SUBGRADE PREPARATION: SUBGRADE SHALL BE COMPACTED TO A 95% RELATIVE COMPACTION TO A MINIMUM DEPTH OF 6" UPON SPECIFICATION SECTION 02227 SHALL BE FOLLOWED IN BACKFILLING FOR PAVEMENT. 74. AGGREGATE SUB-BASE: AGGREGATE SUB-BASE SHALL BE GRANULAR BACKFILL BOPORW PER UPW SECTION 02209.

75. AGGREGATE BASE: AGGREGATE SUB-BASE SHALL BE GRADE 3#4 UNTREATED BASE COURSE PER UPW 02286, AND COMPLETELY PREPARED REPORT OF THE SOILS INVESTIGATION PREPARED ON THIS SITE. 76. ALL MAN-HOLE RIMS, LAMPHOLES, VALVES AND MONUMENT BOXES, ETC. SHALL BE ADJUSTED TO FINISH GRADE AFTER STREET PAVING.

77. ALL SIDEWALKS AND CROSSINGS TO MEET CURRENT ADA STANDARDS. 78. PAYMENT FOR PAVEMENT WILL BE MADE ONLY FOR AREAS SHOWN ON PLANS. REPLACEMENT OF PAVEMENT WHICH IS BROKEN OR CUT DURING THE INSTALLATION OF THE WORK COVERED BY THESE SPECIFICATIONS, AND WHICH LIES OUTSIDE OF SAID AREAS, SHALL BE INCLUDED IN THE CONTRACTORS UNIT PRICE FOR PAVEMENT.

79. INSTALLATION OF STREET LIGHTS SHALL BE IN ACCORDANCE WITH CITY STANDARDS. 80. PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT BY THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY, AND POWER COMPANY TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED.

81. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO THE METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING. 82. STRIPING AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH UPW SECTIONS 01570 AND 02980.

83. DURING THE BIDDING PROCESS, CONTRACTOR TO REVIEW DESIGN SLOPES SHOWN FOR PAVEMENT AND WARRANTY THE PAYMENT TO THE OWNER BASED UPON THE DESIGN SLOPES SHOWN HEREON. CONCERNS WITH SLOPES MUST BE BROUGHT DURING THE BIDDING PROCESS. 84. IT IS THE INTENT ON THESE PLANS THAT ALL PAVEMENT SLOPE TO A CATCH BASIN, INLET BOX OR OUT INTO A STREET.

85. PRIOR TO FINAL ACCEPTANCE OF THE IMPROVEMENTS BUILT BY THESE PLANS AND SPECIFICATIONS THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE OWNER, CITY, AND POWER COMPANY TO HAVE THE ELECTRICAL SYSTEM AND ALL STREET LIGHTS ENERGIZED. 86. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL STRIPING AND/OR PAVEMENT MARKINGS NECESSARY TO THE EXISTING STRIPING INTO THE METHOD OF REMOVAL SHALL BE BY GRINDING OR SANDBLASTING.

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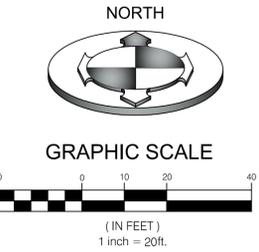
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SYMBOLS:

Table with 2 columns: NEW and EXISTING. Lists symbols for various features like Section Corner, Street Monument, Street Monument (Not Found), Brass Cap Monument, Power Pole & Overhead Power, Light Pole, GUY Wire, Telephone Manhole, Sanitary Sewer Manhole, Storm Drain Manhole, Catch Basin, Direction of Drainage, Water Manhole, Water Valve & Water Meter, Fire Hydrant, Irrigation Valve, Gas Manhole, Tree.

ABBREVIATIONS

Table with 3 columns: Code, Description, and Full Name. Lists abbreviations for items like BAR & CAP, SECTION CORNER, CATCH BASIN, DELTA ANGLE, EDGE OF ASPHALT, EDGE OF CONCRETE, FINISH FLOOR ELEVATION, FLOW LINE, GRADE BREAK, GUY WIRE, HEAD WALL, INVERT ELEVATION, LENGTH OF CURVE, LIP OF CURB, LOW POINT, MONUMENT TO MONUMENT MANHOLE, SURVEY MONUMENT, OVERHEAD POWER, POINT OF CURVATURE, POINT OF INTERSECTION, POWER POLE, POINT OF TANGENCY, PUBLIC UTILITY EASEMENT, RADIUS OF CURVE, RAILROAD, RIGHT-OF-WAY, RIGHT-OF-WAY, SEWER MANHOLE, STORM DRAIN, TOP BACK OF CURB, TELEPHONE MANHOLE, TOP OF ASPHALT, TOP OF CURB, TOP OF FOOTING, TOE OF GRADE, TOE OF SLOPE, TOP OF SLOPE, TOP OF WALL, TELEPHONE RISER, UNDERGROUND POWER, VERTICAL POINT OF CURVATURE, INTERSECTION, VERTICAL POINT OF TANGENCY, WATER METER, WATER VALVE.

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CAUTION NOTICE TO CONTRACTORS

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD.

THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.

NOTE: IN THE EVENT THAT THE CONSTRUCTION NOTES CONFLICT WITH SANDY CITY STANDARDS NOTES AND SPECIFICATIONS, THE SANDY CITY STANDARD NOTES AND SPECIFICATIONS GOVERN.

Project information table with columns: No., DATE, CHECKED BY, DATE, DATE, DATE, DATE. Includes values for FBA/RPD, DKB, SURVEY, 01/18/13, 01/18/13, 130110318.



Benchmark Engineering & Land Surveying & Civil. 9130 SOUTH STATE STREET SUITE F 100 SANDY, UTAH 84070 (801) 542-7192 www.benchmarkcivil.com

LONGSTAFF ACRES SUBDIVISION ALAN & YVETTE LONGSTAFF. 2627 EAST 10000 SOUTH SANDY CITY, UTAH

PROJECT NO. 1301003

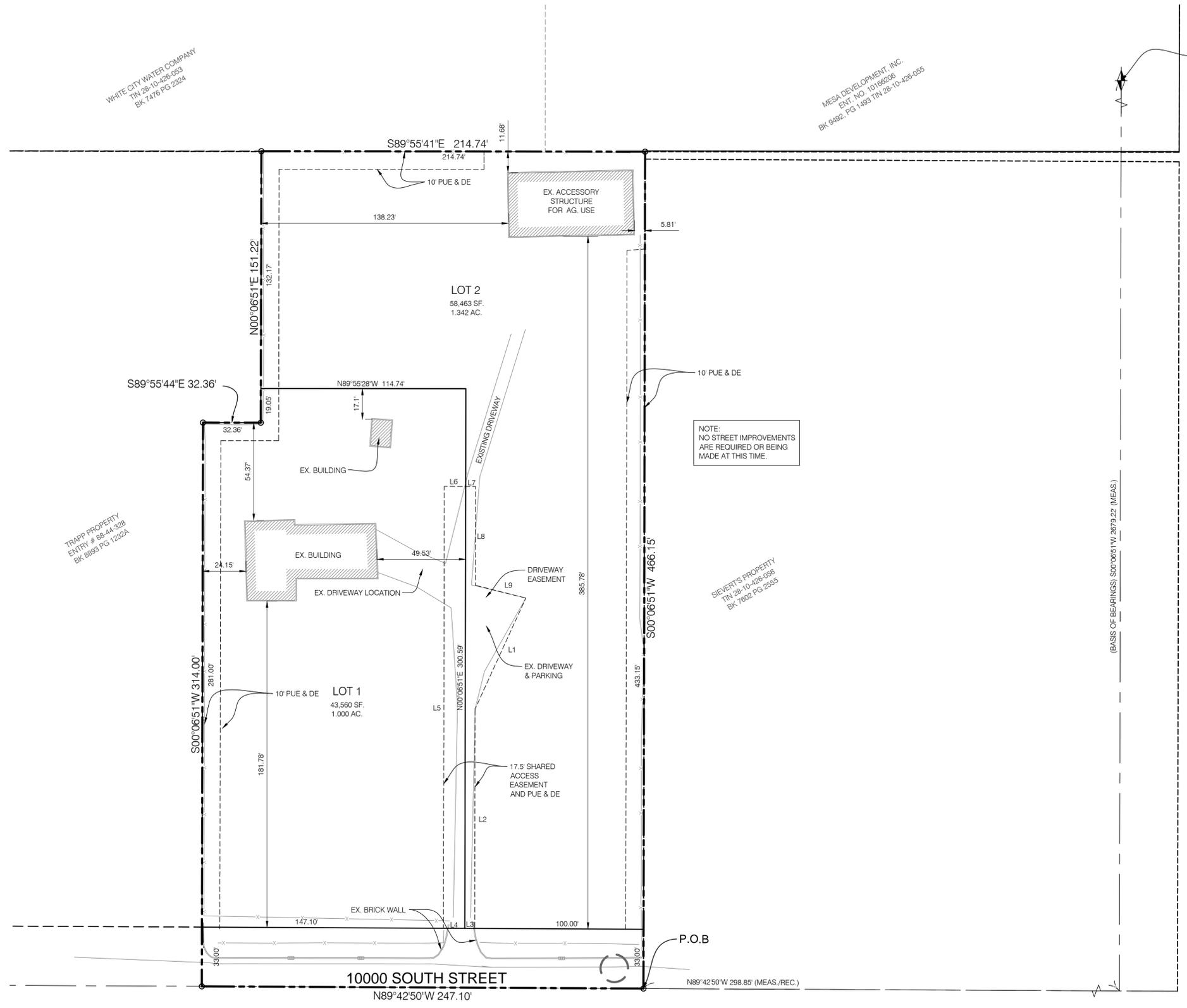
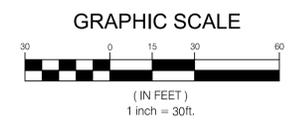
GEN. NOTES LEGEND & ABBREV.

WHITE CITY WATER COMPANY
 TIN 28-10-426-053
 BK 7476 PG 2324

MESA DEVELOPMENT, INC.
 ENT. NO. 10166206
 BK 9492, PG 1493 TIN 28-10-426-055

TRAPP PROPERTY
 ENTRY # 88-44-208
 BK 6893 PG 1232A

SIEVERT'S PROPERTY
 TIN 28-10-426-056
 BK 7602 PG 2555



(BASIS OF BEARINGS) S00°06'51"W, 2679.22' (MEAS.)

EAST QUARTER CORNER OF SECTION 10, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

LINE TABLE		
LINE	LENGTH	BEARING
L1	67.99	S 24°40'53" W
L2	122.27	S 00°06'51" W
L3	5.50	N 89°42'50" W
L4	12.00	N 89°42'50" W
L5	246.13	N 00°06'51" E
L6	12.00	S 89°53'09" E
L7	5.50	S 89°53'09" E
L8	55.02	S 00°06'51" W
L9	29.14	S 75°52'09" E

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NO.	DATE	DESCRIPTION

PROJECT NO. 1301003

SCALE MEASURES 1-INCH ON FULL SIZE SHEETS
 ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



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 ALAN & YVETTE LONGSTAFF**

2627 EAST 10000 SOUTH
 SANDY CITY, UTAH

SITE PLAN

CSP.01
 3 OF 5







STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	2	6	3	
Applicant Name:	Ty Vranes		Request:	Subdivision					
Description:	8 Lot Planned Unit Development consisting of 4 twin homes								
Location:	8795 South 1300 East								
Zone:	A-1 Agriculture		Any Zoning Conditions?	Yes <input type="checkbox"/>		No <input checked="" type="checkbox"/>			
Community Council Rec:	Not yet received								
Staff Recommendation:	Approval with Conditions								
Planner:	Todd A. Draper								

1.0 BACKGROUND

1.1 Summary

This application is for a 8 lot Planned Unit Development (PUD) Subdivision that would consist of 4 Twin Homes (Two-family Dwellings). Both the PUD use and the use of Two-Family Dwellings are listed as Conditional Uses in the A-1 (Agricultural/Residential) zone. As such they are permitted in the zone pending compliance with conditions imposed that relate to the mitigation of negative impacts.

1.3 Neighborhood Response

None received to date regarding this proposal. There have been concerns expressed by Sandy Hills residents in the past regarding the ability of two-family dwellings to be located within the community.

1.4 Community Council Response

None received to date.

2.0 ANALYSIS

2.1 Applicable Ordinances

19.48.040 - Lot area.

In the A-1 zone, the minimum lot area for any dwelling, school, church, greenhouse, aviary or apiary, or for the keeping of animals and fowl for family food production, shall be ten thousand square feet. The minimum lot area for any fowl, poultry, rabbit, fish, chinchilla, beaver, nutria or frog farm, or for raising or grazing horses, cattle, sheep or goats (except as permitted for family food production), or for packing or storage plants, shall be one acre. The minimum lot area for radio and television transmitting and relay stations and towers shall be four acres or more, such additional area to be sufficient to permit the placement of towers in such a manner that side clearance in every direction from each and every tower shall be equal to or greater than the height of the tower.

19.48.050 - Lot width.

In the A-1 zone, the minimum width of any lot which is required by this chapter to contain a minimum area of ten thousand square feet shall be sixty-five feet. The minimum width of any lot which is required by this chapter to contain a minimum area of one acre shall be one hundred feet. The minimum width of any lot which is required by this chapter to contain a minimum area of four acres shall be two hundred feet, provided that the minimum width shall be increased above two hundred feet to the extent necessary to give side clearance in every direction from the base of any tower to be constructed equal to the height of the tower.

19.48.060 - Front yard.

In A-1 zones, the minimum depth of the front yard for main buildings and for private garages which have a minimum side yard of eight feet shall be thirty feet, or the average of the existing buildings where fifty percent or more of the frontage is developed, provided that in no case shall the front yard be less than twenty feet, or be required to be more than thirty feet. All accessory buildings, other than private garages which have a side yard of at least eight feet, shall be located at least six feet in the rear of the main building.

19.48.070 - Side yard.

A. Dwellings and Accessory Buildings. In the A-1 zone, the minimum side yard for any dwelling shall be eight feet, and the total width of the two required side yards shall be not less than eighteen feet. The minimum side yard for a private garage shall be eight feet, except that private garages and other accessory buildings located in the rear and at least six feet away from the main building shall be a minimum side yard of not less than one foot, provided that no private garage or other accessory building shall be located closer than ten feet to a dwelling on an adjacent lot. On corner lots, the side yard which faces on a street for both main and accessory buildings shall be not less than twenty feet, or the average of existing buildings where fifty percent or more of the frontage is developed, but in no case less than fifteen feet, or be required to be more than twenty feet.

B. Other Buildings. The minimum side yard shall be ten feet, and the total width of the two required side yards shall be not less than twenty feet. Minimum side yard provisions of this section shall apply to all structures, including guy wires for the support of any towers constructed under this chapter.

19.48.080 - Rear yard.

In the A-1 zone, the minimum depth of the rear yard for any main building shall be thirty feet, and for accessory buildings one foot; provided, that on corner lots which rear upon the side yard of another lot, accessory buildings shall be located not closer than ten feet to such side yard.

19.48.090 - Building height.

A. Except as otherwise specifically provided in this title, no building or structure shall exceed the following height:

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. The box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet;
2. Thirty-five feet on other properties;

3. No dwelling structure shall contain less than one story.

B. Accessory Buildings.

1. No building which is accessory to a dwelling shall exceed twenty feet in height. For each foot of height over fourteen feet, accessory buildings shall be set back from property lines an additional foot to allow a maximum height of twenty feet.

19.48.100 - Density.

The allowable density for planned unit developments and dwelling groups shall be determined by the planning commission on a case by case basis, taking into account the following factors: recommendations of county and non-county agencies; site constraints; compatibility with nearby land uses; and the provisions of the applicable general plan. Notwithstanding, the planning commission shall not approve a planned unit development with density higher than the following:

Single-family dwellings 4.0 units per acre

Two-family dwellings 8.0 units per acre

19.48.110 - Division of two-family dwelling.

A lot containing a two-family dwelling may be subdivided, creating a new lot line along the shared common wall and extending to the front and rear property lines, subject to the following conditions:

A. The minimum area of the lot containing each unit shall be five thousand square feet.

B. The division of ground is subject to the requirements of the Salt Lake County Subdivision Ordinance (Title 18).

C. The subdivision plat shall specifically note that the purpose of the subdivision is to accommodate the division of a two-family dwelling.

19.78.010 - Scope of approval.

Provision of a planned unit development by this chapter in no way guarantees a property owner the right to exercise the provisions of the planned unit development. Planned unit developments shall be approved by the planning commission only if, in its judgment, the proposed planned unit development fully meets the intent and purpose and requirements of the zoning ordinance.

19.78.020 - Purpose.

The purpose of the planned unit development is to allow diversification in the relationship of various uses and structures to their sites and to permit more flexibility in the use of such sites. The application of planned unit concepts is intended to encourage good neighborhood, housing, or area design, thus ensuring substantial compliance with the intent of the district regulations and other provisions of this title related to the public health, safety and general welfare and at the same time securing the advantages of large-scale site planning for residential, commercial or industrial development, or combinations thereof.

19.78.030 - Planned unit development defined.

"Planned unit development" for the purpose of this chapter, means an integrated design for development of residential, commercial or industrial uses, or combination of such uses, in which one or more of the regulations, other than use regulations, of the district in which the development is to be situated, is waived or

varied to allow flexibility and initiative in site and building design and location in accordance with an approved plan and imposed general requirements as specified in this chapter. A planned unit development may be:

- A. The development of compatible land uses arranged in such a way as to provide desirable living environments that may include private and common open spaces for recreation, circulation and/or aesthetic uses;
- B. The conservation or development of desirable amenities not otherwise possible by typical development standards;
- C. The creation of areas for multiple use that are of benefit to the neighborhood.
- D. The adaptive improvement of an existing development.

19.78.040 - Review and approval.

A planned unit development may be approved by a planning commission in any zoning district. The approval of a PUD shall consist of a final approval letter and a final approved site plan. A PUD permit shall not be granted unless the PUD meets the use and density limitations of the zoning district in which it is to be located.

In order to assist the planning commission with the approval process, the director or director's designee shall administer an application and review procedure with the following components:

A. A pre-submittal review, which may include:

- 1. Submission of an information form, conceptual site plans, property plat map, other supplemental materials, and a pre-submittal fee as required under [Title 3](#), Revenue and Finance.
- 2. Referral of the plans to affected entities and other regulatory agencies.
- 3. An informational meeting with planning staff, regulatory agencies, and the applicant in which preliminary information and feedback is given to the applicant based on the preliminary plans.
- 4. A preliminary meeting with the planning commission in which the application is discussed by the applicant, planning commission, and concerned neighbors in order to allow the applicant an opportunity to hear the planning commission members' and neighbors' areas of concern prior to submitting an application with finished site plans.
- 5. Upon completion of the foregoing pre-submitted review process and upon payment of all applicable fees, the application shall be deemed complete.

B. An application and review procedure, which shall include:

- 1. Submission of finished site plans and application fees;
- 2. The creation of a planning file by which the applicant, staff, and the public can refer to the proposed land use;
- 3. An on-site review by the director or director's designee as allowed in Utah Code Section 17-27a-303;
- 4. Review of the submitted site plans and elevations for compliance with the zoning ordinance;
- 5. Referral of the application and site plans to those government agencies and/or affected entities necessary

to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;

6. Recommendation from planning and development services to the planning commission.

C. An approval/denial procedure, which shall include:

1. A planning commission decision based on whether the proposed development complies with ordinance requirements and development standards of approval and whether anticipated impacts can be mitigated with appropriate conditions of approval.
2. The integration of the recommendations from the other government agencies and affected entities involved in subsection (B)(5) of this section and any planning commission conditions of approval into the final site plan;
3. An approval or denial letter indicating the approval or denial of the application with appropriate conditions or findings;
4. Provision of the approved site plan with approval letter or the denial letter to the applicant in a timely manner.

19.78.050 - Minimum area.

Planned unit developments in any FM, FR, R-1, FA, or A zone shall have a minimum area of one acre. Planned unit developments in any other zone shall have an area equal to the aggregate of the minimum lot areas otherwise required in the zone for the number of structures in the development.

19.78.090 - Effect on adjacent properties.

The planning commission shall require such arrangement of structures and open spaces within the site development plan, as necessary, to assure that adjacent properties will not be adversely affected.

A. Height and intensity of buildings and uses shall be arranged, around the boundaries of the planned unit development, to be compatible with existing adjacent developments or zones. However, unless conditions of the site so warrant, buildings located on the periphery of the development shall be limited to a maximum height of two stories.

B. Lot area, lot width, yard and coverage regulations shall be determined by approval of the site plan.

C. Density of dwelling units per acre shall be the same as allowed in the zone in which the planned unit development is located.

19.78.100 - Preservation of open space.

Preservation, maintenance and ownership of required open space within the development shall be accomplished by:

A. Dedication of the land as a public park or parkway system;

B. Granting to the county a permanent open space easement on or over the private open spaces to guarantee that the open space remain perpetually in recreational use with ownership and maintenance being the responsibility of the owner or an owner's association established with articles of association and bylaws which are satisfactory to the county; or

C. Complying with the provisions of the Condominium Ownership Act of 1963, Title 57, Chapter 8, Utah Code Annotated (1953), as amended, which provided for the payment of common expenses for the upkeep of the common areas and facilities.

19.78.110 - Landscaping.

Site landscaping shall be as specified in [Chapter 19.77](#) of this title.

19.78.120 - Signs and floodlighting.

The size, location, design and nature of signs, if any, and the intensity and direction of area floodlighting shall be detailed in the application.

19.78.130 - Site plan requirements.

The applicant shall submit a planned unit development plan for the total area within the proposed development. If the planned unit development is to be developed on a phase basis, each phase shall be of such size, composition and arrangement that its construction, marketing and operation is feasible as a unit independent of any subsequent phases. The general site plan shall show, where pertinent:

- A. The use or uses, dimensions, sketch elevations and locations of proposed structures;
- B. Dimensions and locations of areas to be reserved and developed for vehicular and pedestrian circulation, parking, public uses such as schools and playgrounds, landscaping, and other open spaces;
- C. Architectural drawings and sketches outlining the general design and character of the proposed uses and the physical relationships of the uses;
- D. Such other pertinent information including, but not limited to, residential density, coverage and open space characteristics shall be included as may be necessary to make a determination that the contemplated arrangement of buildings and uses makes it desirable to apply regulations and requirements differing from those ordinarily applicable under this chapter.

19.78.160 - Plan review at public meeting.

Preliminary development plans, including site plan, (buildings, open space, parking, landscaping, pedestrian and traffic circulation) building elevations and general drainage and utility layout with topography shall be submitted for the purpose of staff analysis and planning commission review at a regularly scheduled meeting. Landscaping shall be as specified in [Chapter 19.77](#) of this title.

19.78.170 - Scope of planning commission action.

In carrying out the intent of this chapter, the planning commission shall consider the following principles:

- A. It is the intent of this chapter that site and building plans for a planned unit development shall be prepared by a designer or team of designers having professional competence in urban planning as proposed in the application. The commission may require the applicant to engage such a qualified designer or design team.
- B. It is not the intent of this chapter that control of the design of a planned unit development by the planning commission be so rigidly exercised that individual initiative be stifled and substantial additional expense incurred; rather, it is the intent of this section that the control exercised be the minimum necessary to achieve the purpose of this chapter.

C. The planning commission may approve or disapprove an application for a planned unit development. In approving an application the commission may attach such conditions as it may deem necessary to secure compliance with the purposes set forth in Sections [19.84.050](#) through 19.84.090 of this title. The action of the planning commission may be appealed to the board of adjustment.

19.84.060 - Conditional Use Standards for approval.

Prior to approval, all conditional uses and accompanying site development plans must be found to conform to the following standards:

A. The proposed site development plan shall comply with all applicable provisions of the zoning ordinance, including parking, building setbacks, and building height.

B. The proposed use and site development plan shall comply with all other applicable laws and ordinances.

C. The proposed use and site development plan shall not present a serious traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the county transportation master plan.

D. The proposed use and site development plan shall not pose a serious threat to the safety of persons who will work on, reside on, or visit the property nor pose a serious threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquifaction potential, site grading/topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.

E. The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.

2.2 Subdivision Requirements

18.08.010 - Procedure generally.

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;

2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;

3. Payment of fees, as required under [Title 3](#), Revenue and Finance.

B. A review procedure, which shall include:

1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
4. The processing of any exception requests that have been made in conjunction with the subdivision application.

C. A preliminary plat approval procedure, which shall include:

1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
3. Receipt of a recommendation from the planning staff;
4. Approval of the preliminary plat as outlined in [Section 18.12.030](#), and issuing a preliminary plat approval letter.

D. A final plat approval procedure, which shall include:

1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
4. Payment of final fees and bond;
5. Recordation of the plat.

18.08.015 - Time limits.

Subdivision applications are subject to expiration according to the following schedule unless, for good cause shown, the applicant is granted an extension of time by the director or director's designee:

A. A subdivision application shall expire if the applicant has not filed any of the required documents for preliminary plat approval within six months of the submission of a complete application.

B. A subdivision application shall expire if the final plat is not submitted to planning and development services within six months of the preliminary plat approval.

C. A subdivision application shall expire if the final plat has not been signed by the county mayor within six months of the approval of the director or director's designee.

D. A subdivision application shall expire if the final plat has not been recorded within six months of the date of the county mayor's signature on the plat.

18.12.010 - Required information.

A. The preliminary plat, prepared on paper twenty-one inches by thirty inches, shall contain the information specified in this section and comply with the following requirements:

1. Description and Delineation. In a title block located in the lower right-hand corner the following shall appear:

a. The proposed name of the subdivision, which name must be approved by the planning and development services division;

b. The location of the subdivision, including:

i. Address,

ii. Section, township and range;

c. The names and addresses of the owner, the subdivider, if different than the owner, and of the designer of the subdivision;

d. The date of preparation, scale (no less than one inch to equal one hundred feet) and the north point.

2. Existing Conditions. The plat shall show:

a. The location of and dimensions to the nearest bench mark or monument;

b. The boundary lines of the proposed subdivision indicated by a solid heavy line and the total approximate acreage encompassed thereby;

c. All property under the control of the subdivider, even though only a portion is being subdivided. Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in the light of existing general street plans, other planning commission studies and the County Transportation Improvement Plan;

d. The location, width and names of all existing streets within two hundred feet of the subdivision and of all prior platted streets or other public ways, railroad and utility rights-of-way, parks and other public open spaces, permanent buildings and structures, houses or permanent easements and section and corporation lines, within and adjacent to the tract;

e. The location of all wells, proposed, active and abandoned, and of all reservoirs within the tract and to a distance of at least one hundred feet beyond the tract boundaries;

f. Existing sewers, water mains, culverts or other underground facilities within the tract and to a distance of

at least one hundred feet beyond the tract boundaries, indicating pipe sizes, grades, manholes and exact location;

g. Existing ditches, canals, natural drainage channels, and open waterways and proposed realignments;

h. Boundary lines of adjacent tracts of unsubdivided land, showing ownership where possible;

i. Contour at vertical intervals of not more than two feet. Highwater levels of all watercourses, if any, shall be indicated in the same datum for contour elevations;

j. Nearest installed fire hydrants on or within five hundred feet of the proposed subdivision.

4. Proposed Subdivision Plan. The subdivision plan shall show:

a. The layout of streets, showing location, widths and other dimensions of (designated by actual or proposed names and numbers) proposed streets, crosswalks, alleys and easements;

b. The layout, numbers and typical dimensions of lots, and in areas subject to foothills and canyons overlay zone provisions, designation of buildable areas on individual lots.

c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision;

d. Building setback lines, including showing dimensions where required by the planning commission;

e. Easements for water, sewers, drainage, utility lines and other purposes, if required by the planning commission;

f. Typical street cross sections and grade sheets where required by the planning commission or other interested county divisions;

g. A tentative plan or method by which the subdivider proposes to handle stormwater drainage for the subdivision.

2.3 Other Agency Recommendations or Requirements

County Grading Review - Review Denied

1- Site is covered with trees and in excess of one acre.

2- Need to submit a copy of the Geotechnical report.

3- Received a copy of the Grading and Drainage plans prepared Benchmark Engineering signed and Stamped by Dale Bennett P.E

4- The plans call for the use of Stormtech chambers and retention ponds to control the on site surface drainage.

5- The Erosion control plans are prepared by BenchMark Engineering and signed and stamped by Dale Bennett P.E

6- The SWPPP plan included in the plans is insufficient and needs to be in a binder since the site is in excess of one acre a full SWPPP is required and UPDES and N.O.I as well

7- Due to the design of the on site retention and chambers a maintenance agreement prepared by the Civil engineer will need to be submit and submit for review and comment, once approved it will need to be recorded against the property.

County Boundary/ CGS Review

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development and the following statement "A Record of Survey has been filed as #xxxxxxxxxxx in the S. L. County Surveyor's Office" MUST be included in the Surveyor's Certificate on the final mylar, the x's being the RSC No. received from the County Surveyor's office
2. Show easement for ingress/egress on private road
3. Streets must be named. Contact Teresa Curtis at 385-468-6757 with street names for approval
4. All Streets within 200 ft. of the proposed subdivision must be shown on plat
5. Require 4 copies of Final Civil drawings signed by Licensed Engineer for all improvements after approvals from Hydrology, Grading and Traffic have been received
6. A preliminary report of title will be required at the final stage of the project. They are only good for 60 days so don't get it until we are at the final plat stage
7. Please have surveyor verify that no dedication is required along 13th E. On the parcel map it shows the parcel still out into the street. Per Traffic Engineer the ROW 1/2 width should be 53 ft.

County Geology Review

No issues at this time. A technical review is required.

County Urban Hydrology Review

Site plan approved. Technical plans required. Final Drainage plan required. Must have engineers name, stamp, signature, phone number and date. Must include project name, address, North arrow, and scale. Minimum scale is 1"=20'.

1. Basin #140 - 8000 South-e. \$4,289.00 per acre impact fees.
2. The developer shall grade this property in accordance with the approved site grading and lot drainage plan so as not to discharge any additional storm water onto adjacent properties.
3. The developer shall be required to permanently contain all generated water on his own property or routed to a county drainage system.
4. Salt lake County will not assume any responsibility for the maintenance of the storm tech retention pond or the private storm drain system.

County Building Inspection Review

No issues with the site plan. Conditions of approval are the following:

A demolition permit is required for the demolition of the existing home.

Building permits are required for the construction of the new homes, and any other structures regulated by the International Residential Code (such as the pavilion).

At time of building permit application, provide complete building plans showing compliance with current building code.

At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

Unified Fire Authority Review

Review approved subject to the following requirements:

1. One hydrant is required
2. Required fire flow of 1500 G.P.M.

3. Verification of fire flow is required.
4. Meet all fire department requirements pertaining to the design of the access road and turn-around.

Health Department Review

No response received. Sewer and water letters from the entities providing service to the area will be required before any final approval can be given.

Public Works Sanitation (Wasatch Front Waste) Review

We will need a private lane agreement to service this subdivision.

2.4 Other Issues

Planning Review

1. Staff recommends approval of the Conditional Use Requests and Preliminary approval of the Preliminary Subdivision Plat, conditioned upon addressing all of the following identified issues as well as those identified by other reviewers. Staff recognizes that the applicant has created revised plans since their initial submittal that do address some of the following issues. However, to avoid confusion the comments and issues addressed here are related to the first set of plans that was submitted and reviewed by the reviewing agencies.
2. Need to submit accurate scaled floor plans for all buildings.
3. Need to submit accurate scaled elevation drawings for all buildings.
4. Plans do not meet required 50% open space. The proposed building pads are too large. Revise and resubmit.
5. The playground does not meet the minimum 1000 sq. ft.
6. The playground must be fenced as it is located next to the road.
7. Property must be fenced with a solid visual barrier. Plans need to indicate the type of fence and the location.
8. Area between the fence and 1300 East next to the sidewalk needs to be paved with decorative concrete or brick pavers.
9. Curb and gutter along 1300 east may need to be replaced in locations of the existing curb cuts.
10. The existing home must be removed before the plat can be recorded.
11. Footing and foundations for each building must be surveyed before concrete may be poured to insure they are located properly along the center property line.
12. The subdivision plat shall specifically note that the purpose of the subdivision is to accommodate the division of a two-family dwelling.
13. Primary residential structures limited to 2 stories in height from natural grade (typically 28 feet). Finish Grade should not be substantially higher than the surrounding properties.
14. 15 foot minimum setback is required around the perimeter of a PUD development. Street Side Yard Setbacks should be no less than 20 feet.
15. Landscaping Plan package must include all required elements, including (but not limited to) irrigation design and water calculations.
16. As the mass and scale of the proposed buildings in the development are somewhat larger than other homes in the immediate vicinity, additional architectural details need to be incorporated onto the sides and rear of the buildings to break up what appears to be expansive uniform wall planes. This could be accomplished through a mix of material and textural changes, undulations in the wall itself, overhangs, window treatments, or other decorative elements.
17. Minimum recommended distance from street to the front of the garage door is 20'. This additional parking above the minimum requirements for a dwelling will function as guest parking as parking along the private roadway will likely not be allowed by the fire department.

18. Easement for pedestrian walkway needs to be added to the subdivision plat across lots 1 and 2.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

- 1) Comply with the recommendations and requirements of the above listed reviewing entities and agencies.
- 2) Limit height of primary residential structures to two stories (28 feet) from natural existing grade to the midpoint of the roof.
- 3) Submit revised plans that address issues related to compliance with open space and recreational amenity standards for PUD's.
- 4) Submit revised landscaping and site plans that comply with chapter 19.77 Water Efficient Landscape Design and Development Standards. Continue to utilize landscaping elements (e.g. trees) to screen the property from adjacent residences to the South and North.
- 5) Submit scaled elevation drawings for all 4 sides of each building. Architecture to match sketches and simulations provided to the Planning Commission. Call out colors and materials. On sides and rear of buildings that abut residences on adjacent properties or a public street, incorporate similar architectural features and materials as shown for the proposed fronts of the buildings that serve to break up large expanses of wall and create depth and shadow patterns on the face of the building.
- 6) Submit scaled floor plans for all floors of all buildings.
- 7) Minimum distance from the private street to the front of the garage doors to be 20 feet.

3.2 Reasons for Recommendation

- 1) The proposed conditions insure compliance with ordinance requirements as well as compliance with applicable development standards.
- 2) The proposed conditions represent reasonable measures to mitigate potential negative impacts to surrounding properties.

3.3 Other Recommendations

Staff has recommended that the Planning Commission grant Planning Staff the ability to give final approval to the architectural elevation drawings and other elements related to the visual aspects of the PUD based upon the criteria listed in the recommended conditions of approval. Alternatively, the Planning Commission may give preliminary approval at this time and request that final approval of these elements be granted by the Planning Commission at a future meeting after complete architectural drawings are submitted.



Wed Apr 3 2013 12:25:33 AM.



Wed Apr 3 2013 12:27:22 AM.

THE BUNGALOWS ON 13TH P.U.D.

LOCATED IN THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 3
SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN

PRELIMINARY PLAT

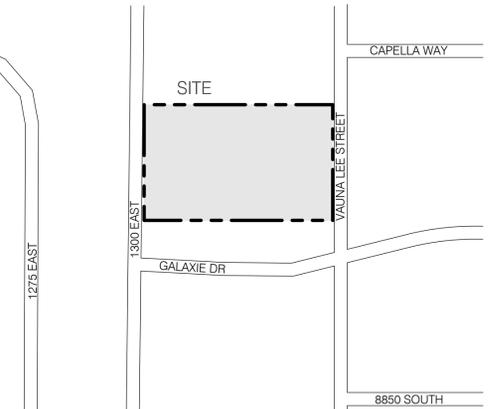
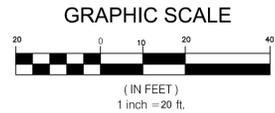
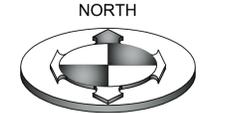
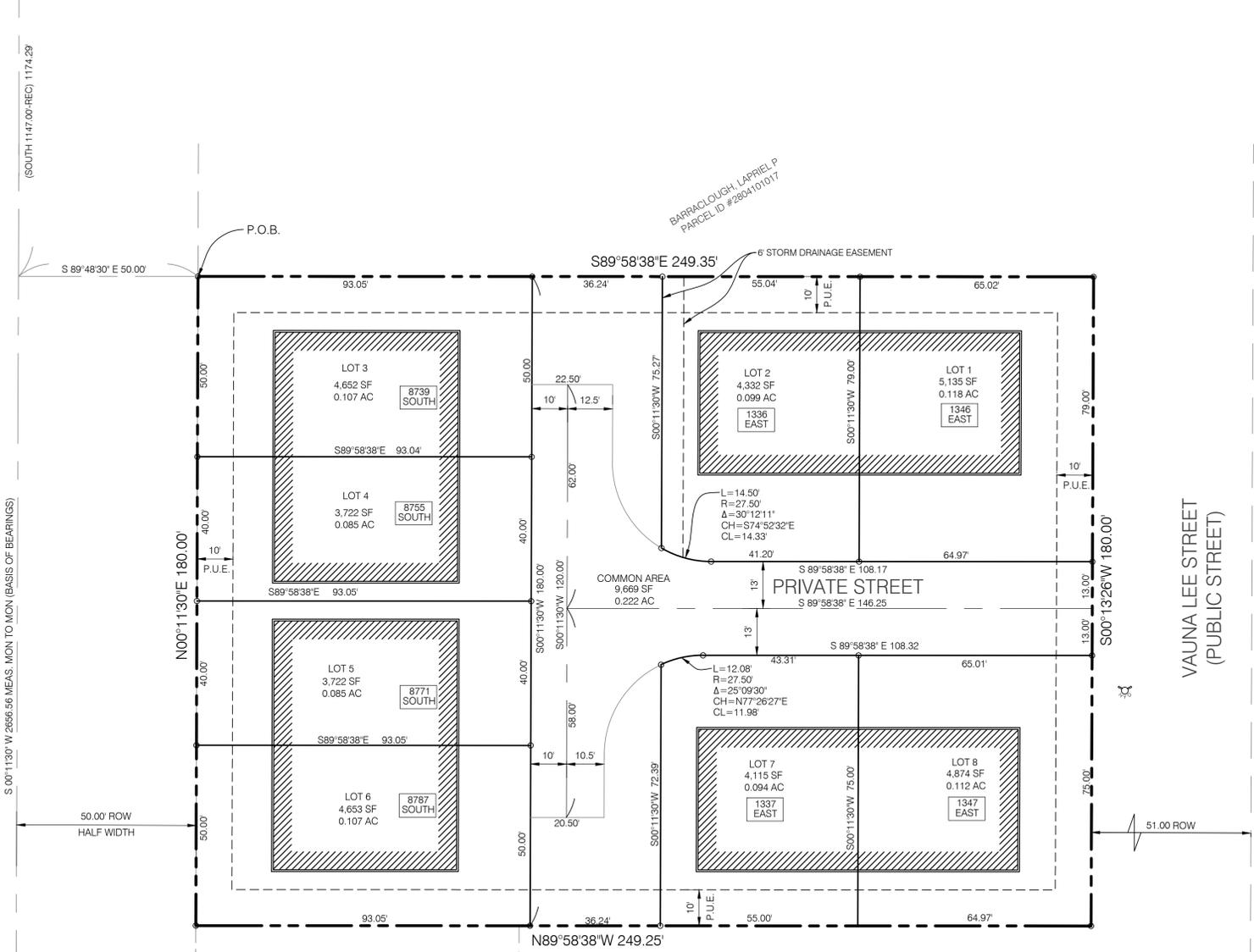
NORTHWEST CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST FOUND BRASS CAP MONUMENT. (RING AND LID)

(SOUTH 1147.00' REC) 1174.29'

1300 EAST STREET (PUBLIC STREET)

S 00°11'30" W 2656.56 MEAS. MON TO MON (BASIS OF BEARINGS)

WEST QUARTER CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST. FOUND BRASS CAP MONUMENT. (RING AND LID)



VICINITY MAP
N.T.S.

LEGEND

- SECTION CORNER (FOUND)
- SET 24" x 5/8" REBAR WITH PLASTIC CAP MARKED "BENCHMARK ENG."
- BOUNDARY LINE
- ADJACENT PROPERTY
- STREET CENTERLINE EXISTING
- EASEMENT
- LOT LINE
- FIRE HYDRANT

SURVEYOR'S CERTIFICATE

I, DALE K. BENNETT, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 103381 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW. A RECORD OF SURVEY PREPARED BY BENCHMARK ENGINEERING AND LAND SURVEYING, LLC, HAS BEEN FILED AS #S2010-02-0097 IN THE SALT LAKE COUNTY SURVEYOR'S OFFICE, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREAFTER TO BE KNOWN AS:

THE BUNGALOWS ON 13TH P.U.D.

BOUNDARY DESCRIPTION

COMMENCING ON THE EASTERLY RIGHT OF WAY OF 1300 EAST STREET, SAID POINT BEING 1174.29 FEET SOUTH 00°11'30" WEST ALONG THE SECTION LINE AND SOUTH 89°48'30" EAST 50.00 FEET FROM THE NORTHWEST CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND RUNNING, THENCE SOUTH 89°48'30" EAST 249.35 FEET TO THE WESTERLY LINE OF VAUNA LEE STREET; THENCE SOUTH 00°13'26" WEST ALONG SAID WESTERLY LINE 180.00 FEET; THENCE NORTH 89°58'38" WEST 249.25 FEET TO THE EASTERLY LINE OF 1300 EAST STREET; THENCE NORTH 00°11'30" EAST ALONG SAID EASTERLY LINE 180.00 FEET TO BEGINNING.

CONTAINS 44,873 SQUARE FEET
3.030 ACRES, MORE OR LESS
9 LOTS INCLUDING 1 COMMON AREA



PRELIMINARY ONLY

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS THE

THE BUNGALOWS ON 13TH P.U.D.

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. IN WITNESS WHEREBY, I HAVE HEREUNTO SET THIS DAY OF A.D. 20__.

ACKNOWLEDGMENT

STATE OF UTAH } S.S.
County of Salt Lake

ON THE ___ DAY OF ___ A.D., 20___, PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF SALT LAKE IN SAID STATE OF UTAH, THE SIGNER(S) OF THE ABOVE OWNER'S DEDICATION, IN NUMBER, WHO DULY ACKNOWLEDGED TO ME THAT ___ SIGNED IT FREELY AND VOLUNTARILY AND FOR THE USES AND PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: ___ NOTARY PUBLIC RESIDING IN SALT LAKE COUNTY

THE BUNGALOWS ON 13TH P.U.D.

LOCATED IN NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN

SHEET 1 OF 1

RECORD OF SURVEY

RSC NO.: SXXXX-XX-XXXX
SIGNED _____ DATE _____

ADDRESS FRONTAGE APPROVED

SIGNED _____ DATE _____

UNIFIED FIRE AUTHORITY APPROVAL

SIGNED _____ DATE _____

CHECKED FOR ZONING COMPLIANCE

ZONE: _____ LOT AREA: _____
 LOT WIDTH: _____ FRONT YARD: _____
 SIDE YARD: _____ REAR YARD: _____
 SIGNED _____ DATE _____

HEALTH

APPROVED THIS ___ DAY OF ___ A.D., 20___, BY THE SALT LAKE VALLEY HEALTH DEPARTMENT

PLANNING COMMISSION

APPROVED THIS ___ DAY OF ___ A.D., 20___, BY THE SALT LAKE COUNTY PLANNING COMMISSION.

PLAN CHECK

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.
 PLAN REVIEW SECTION MANAGER _____ DATE _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS ___ DAY OF ___ A.D., 20___, SALT LAKE COUNTY DISTRICT ATTORNEY _____

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS ___ DAY OF ___ A.D., 20___, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
 MAYOR OR DESIGNEE _____

SALT LAKE COUNTY RECORDER

RECORDED # _____
 STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF DATE _____ TIME _____ BOOK _____ PAGE _____
 FEE \$ _____ SALT LAKE COUNTY RECORDER _____

BENCHMARK ENGINEERING & LAND SURVEYING
 9130 SOUTH STATE STREET SUITE # 100
 SANDY, UTAH 84070 (801) 542-7192
 www.benchmarkcivil.com
 DATE: 07/21/2011

NORTHWEST CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST FOUND BRASS CAP MONUMENT. (RING AND LID)

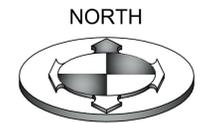
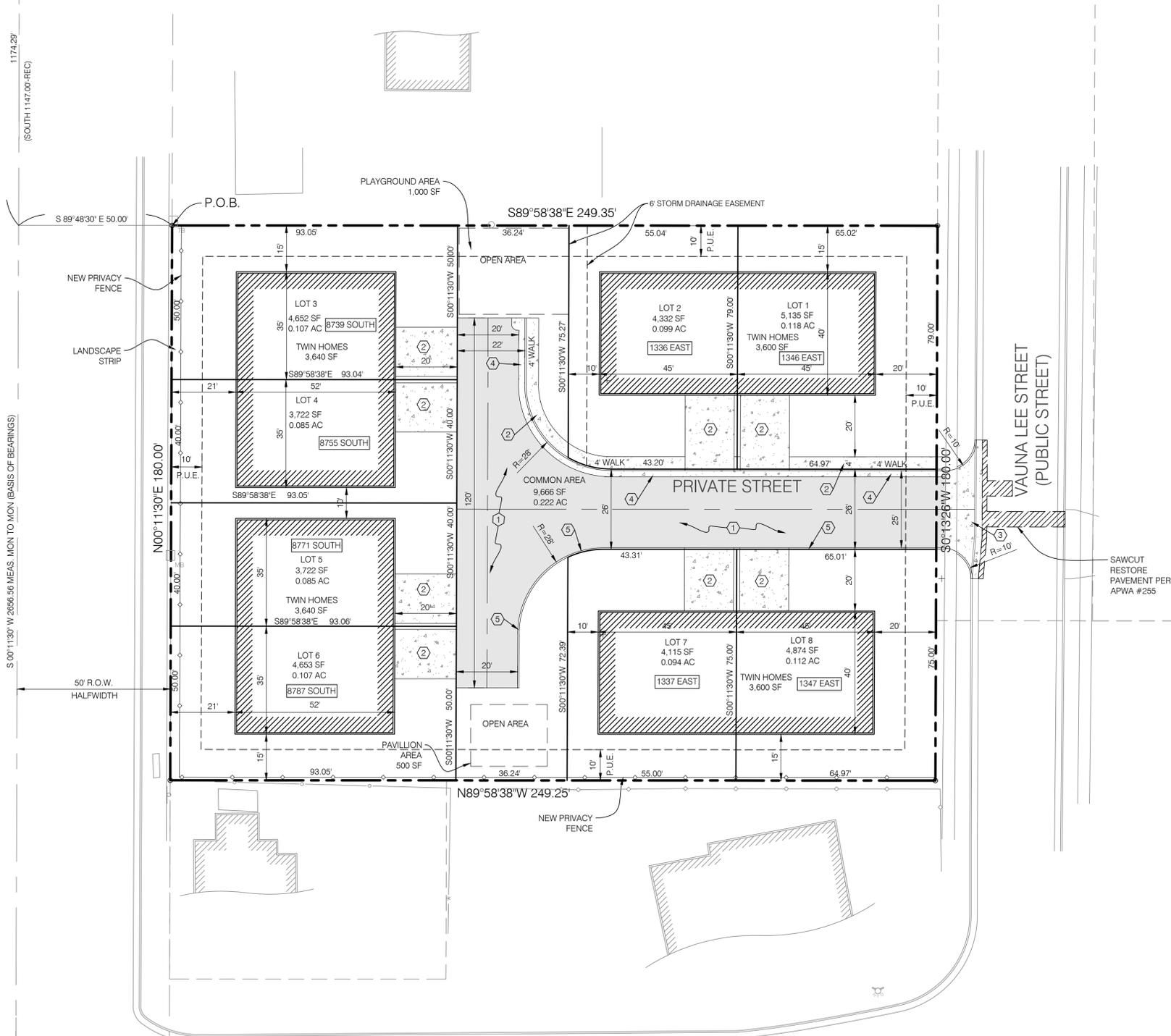
1174.29'
(SOUTH 11:17:00 REC)

1300 EAST STREET
(PUBLIC STREET)

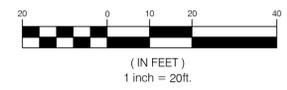
S 00°11'30" W 2656.56 MEAS. MON TO MON (BASIS OF BEARINGS)

50' R.O.W. HALFWIDTH

WEST QUARTER CORNER OF SECTION 4, TOWNSHIP 3 SOUTH, RANGE 1 EAST FOUND BRASS CAP MONUMENT. (RING AND LID)



GRAPHIC SCALE



CONSTRUCTION KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE.	2/CDT.01
②	CONCRETE PAVEMENT WITH GRANULAR BASE	2/CDT.01
③	DRIVEWAY APPROACH PER APWA #225	
④	2.5' CONCRETE HIGHBACK CURB & GUTTER PER APWA # 205	6/CDT.01
⑤	CONCRETE CURB WALL	4/CDT.01

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		



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AREA TABLE		
PARTICULARS	S.F.	%
BUILDINGS	14,480	32.3
HARDSCAPE	9,426	21.0
LANDSCAPE	20,967	46.7
TOTAL	44,873	100

OPEN AREA TABLE		
PARTICULARS	S.F.	%
BUILDINGS	14,480	32.3
ROADS	6,308	14.0
OPEN AREA	24,085	53.7
TOTAL	44,873	100

THE BUNGALOWS ON 13TH P.U.D.
VP HOMES
 8795 SOUTH 1300 EAST
 SALT LAKE COUNTY, UTAH

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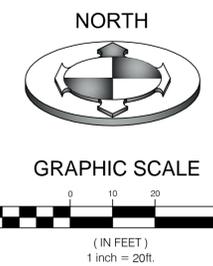
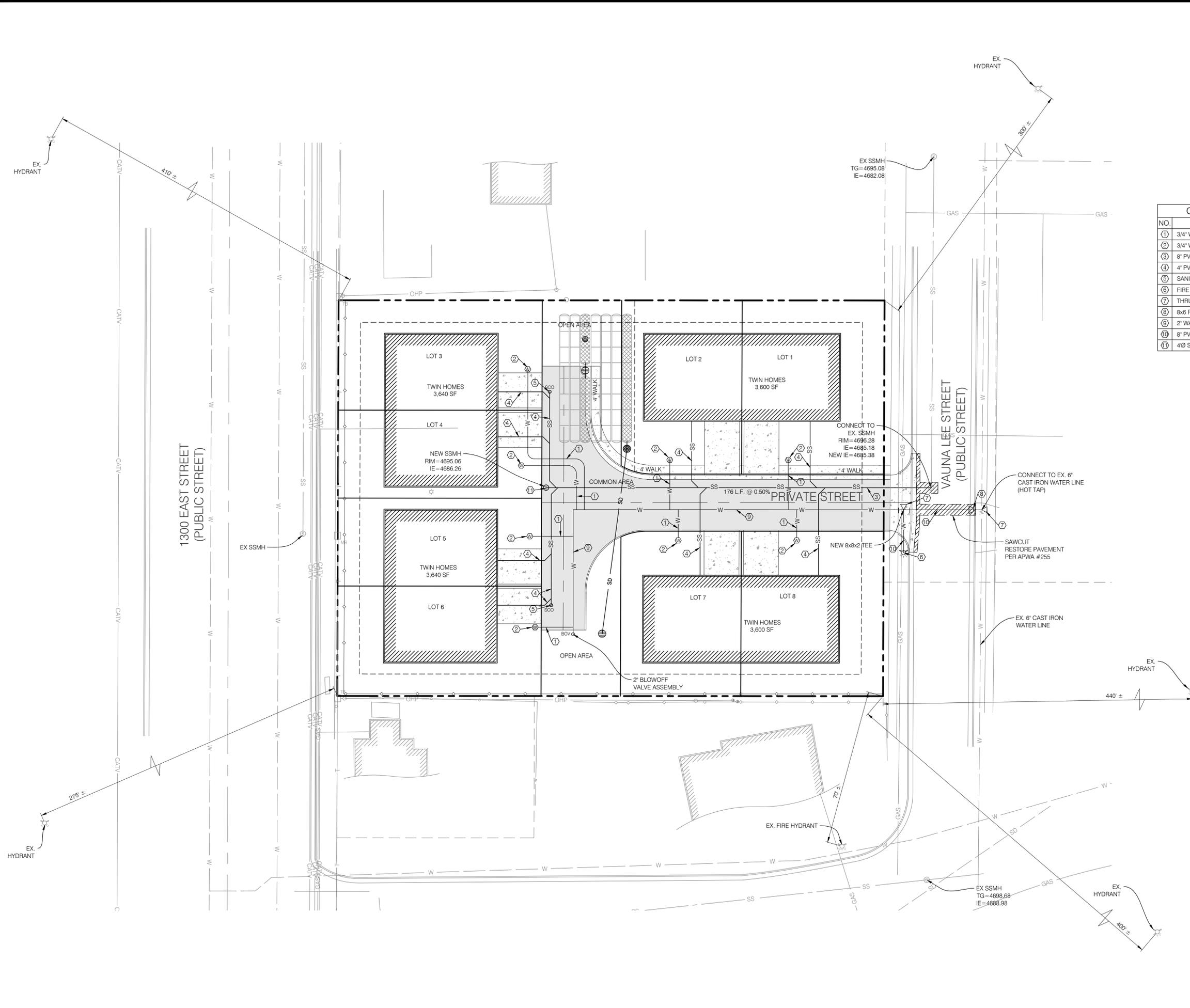
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PROJECT NO. 1212153

SITE PLAN

CSP.01
 3 OF 12



CONSTRUCTION KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	3/4" WATER SERVICE LINE	
②	3/4" WATER METER	1/CDT.02
③	8" PVC SDR-35 SEWER MAIN	
④	4" PVC SDR-35 SEWER LATERAL	3/CDT.01
⑤	SANITARY SEWER CLEANOUT	
⑥	FIRE HYDRANT	5/CDT.01
⑦	THRUST BLOCK	
⑧	8x6 REDUCER	
⑨	2" WATER SERVICE LINE	
⑩	8" PVC C900 WATER LINE	
⑪	40" SEWER MANHOLE	1/CDT.01

DRAWN BY: FBA/RPD
 CHECKED BY: DNB
 FIELD CREW: JFG
 DATE: 02/15/13
 PWA FILE: 121215381B

No. 103981
 DALE K. BENNETT
 STATE OF UTAH

SCALE MEASURES INCH ON FULL SIZE SHEETS
 ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

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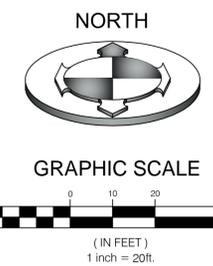
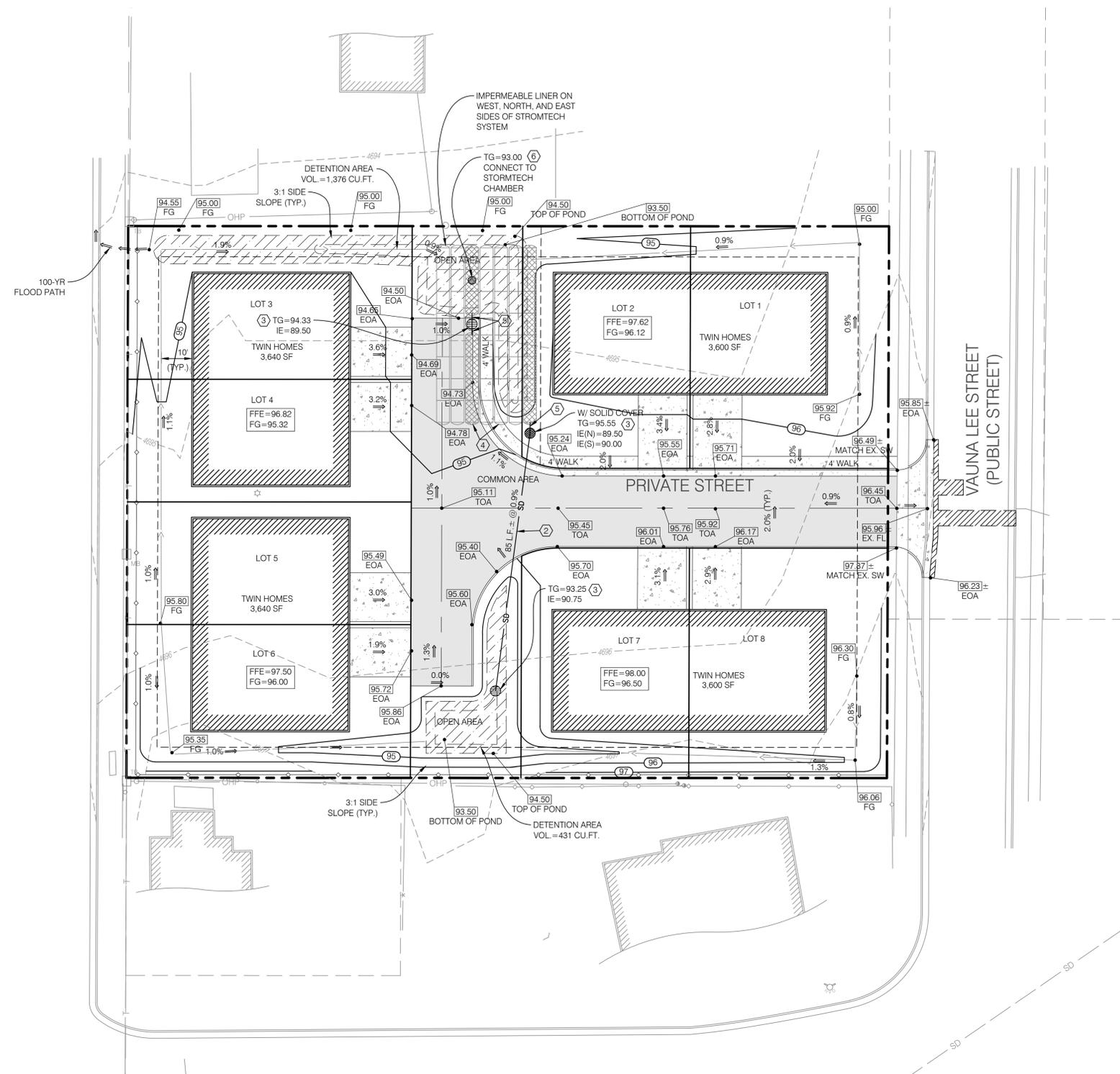
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THE BUNGALOWS ON 13TH P.U.D.
VP HOMES
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 SALT LAKE COUNTY, UTAH

PROJECT NO. 1212153
UTILITY PLAN
 CUP.01
 4 OF 12

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1300 EAST STREET
(PUBLIC STREET)



GRADING AND DRAINAGE KEY NOTES REFERENCE

NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN.	
②	12" DIAMETER HDPE (ADS N-12) STORM DRAIN LINE	
③	3x3' CATCH BASIN	3/CDT.02
④	STORMTECH UNDERGROUND DRAINAGE SYSTEM	2/CDT.02
⑤	24" DIAMETER HDPE (ADS N-12) STORM DRAIN LINE	
⑥	10" INLINE DRAIN AND GRATE (NYLOPLAST OR EQUAL)	

DRAINAGE CALCULATIONS
Rational Method (Q=CIA)

Area Identification (A)	Rational Coefficient (C)	C*A
Roof = 14,480	0.85	12,208 S.F.
Landscape = 20,967	0.2	4,193.4 S.F.
Pavement = 9,426	0.9	8,483.4 S.F.
Sum:		24,885 S.F.

SANDY CITY DESIGN STORM DATA

Time (min)	Intensity (in/hr)	Rainfall (inches)	Rainfall Excess (cu.ft.)	Allowed (cu.ft.)	Volume to Detain (cu.ft.)	Comments
1440	0.08	1.92	3998	0	3998	10 year
1440	0.11	2.69	5597	0	5597	100 year

Stormtech Underground Drainage System:
SC-740 Chamber (6" stone under chamber) = 75 cf
Number of Chambers = 55
Total Underground Volume: 4120 cf

Is there enough existing storm water storage for 10 year storm? **3,998 cf YES**

RETENTION POND VOLUME

Retention Pond

Pond 1
Area 1 (A1) = 2010 s.f. Basin Depth (H): 1.00 ft
Area 2 (A2) = 828 s.f.
Frustum of Pyramid: $V = h/3 [A1 + A2 + (A1 \cdot A2)^{1/2}]$ **1376 cf**

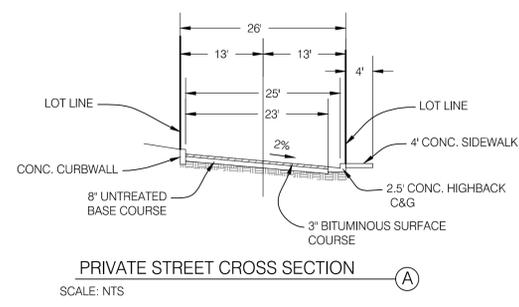
Pond 2
Area 1 (A1) = 658 s.f. Basin Depth (H): 1.00 ft
Area 2 (A2) = 238 s.f.
Frustum of Pyramid: $V = h/3 [A1 + A2 + (A1 \cdot A2)^{1/2}]$ **431 cf**

Total Retention Volume for 100 year overflow (100 year minus 10 year volumes): **1,807 cf**

Is there enough existing storm water storage for 100 year overflow? **1,599 cf YES**



SURVEY CONTROL NOTE:
THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.



PROJECT NO. 1212153

DATE: 02/15/13

SCALE: MEASURES INCH ON FULL SIZE SHEETS. ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS.

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THE BUNGALOWS ON 13TH P.U.D. VP HOMES

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SALT LAKE COUNTY, UTAH

GRADING & DRAINAGE PLAN

CGD.01
5 OF 12

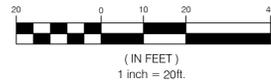
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GRAPHIC SCALE

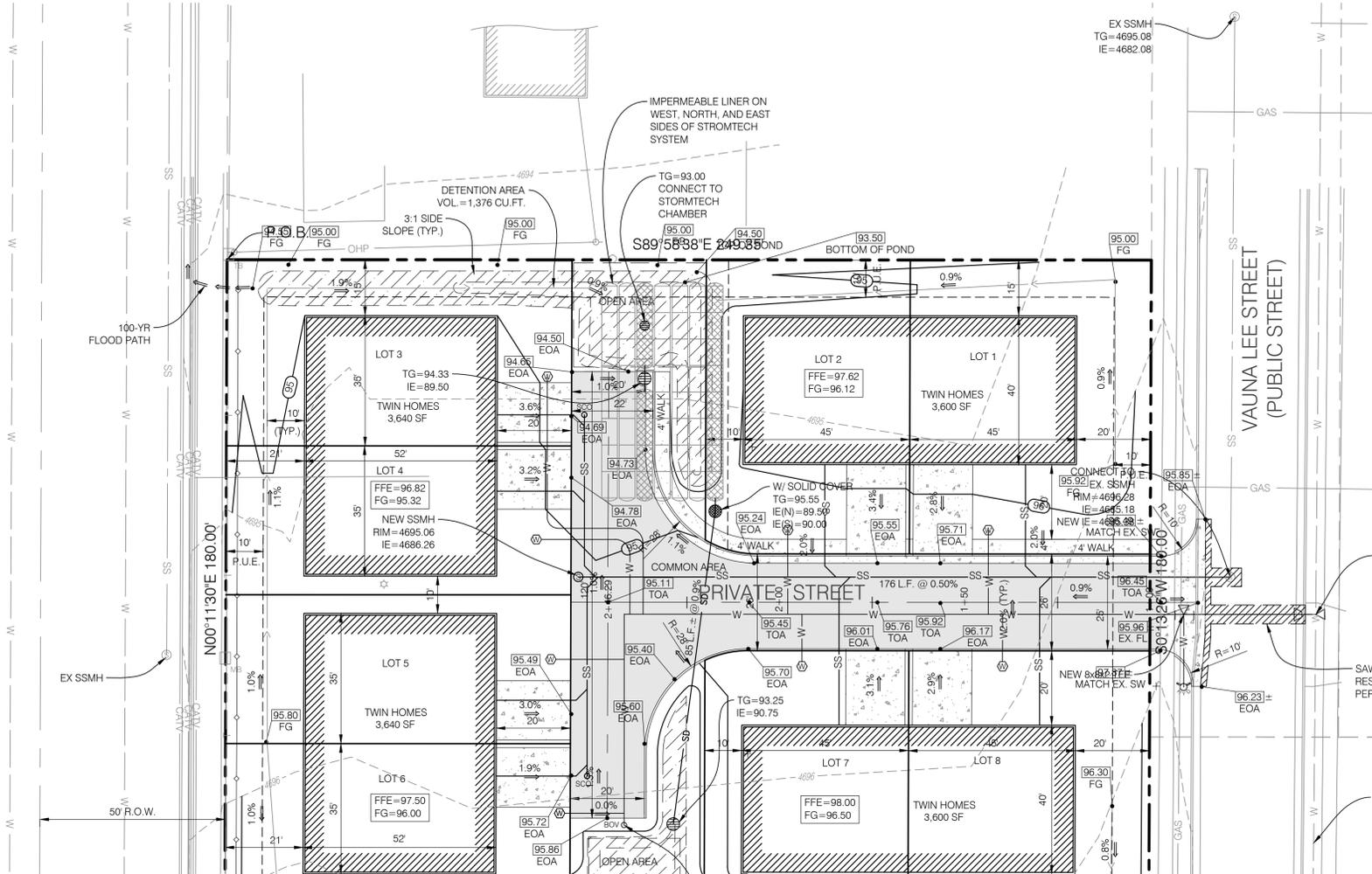


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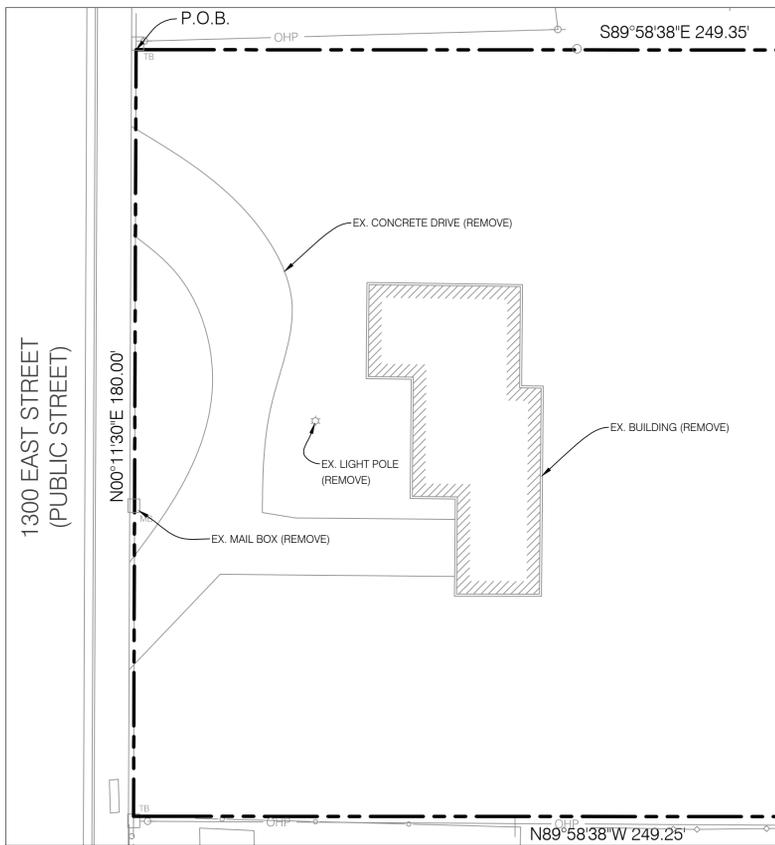
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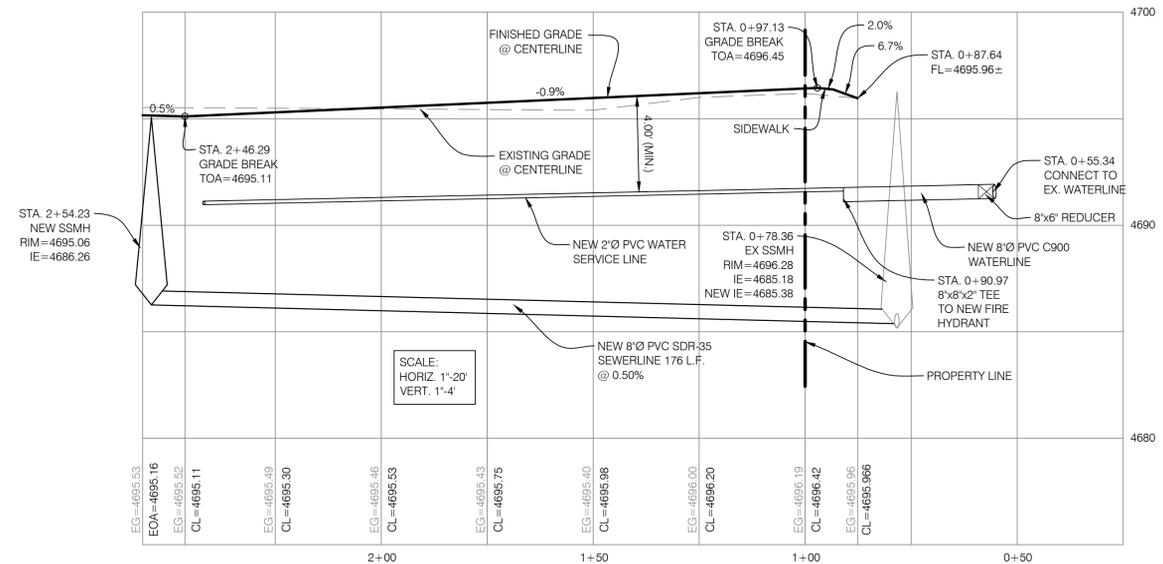
1300 EAST STREET
(PUBLIC STREET)



PRIVATE STREET PLAN



DEMOLITION PLAN



PRIVATE STREET PROFILE

NO.	DATE	DESCRIPTION
1		
2		
3		
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10		

PROFESSIONAL ENGINEER

No. 103981

DALE K. BENNETT

STATE OF UTAH

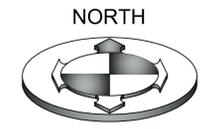
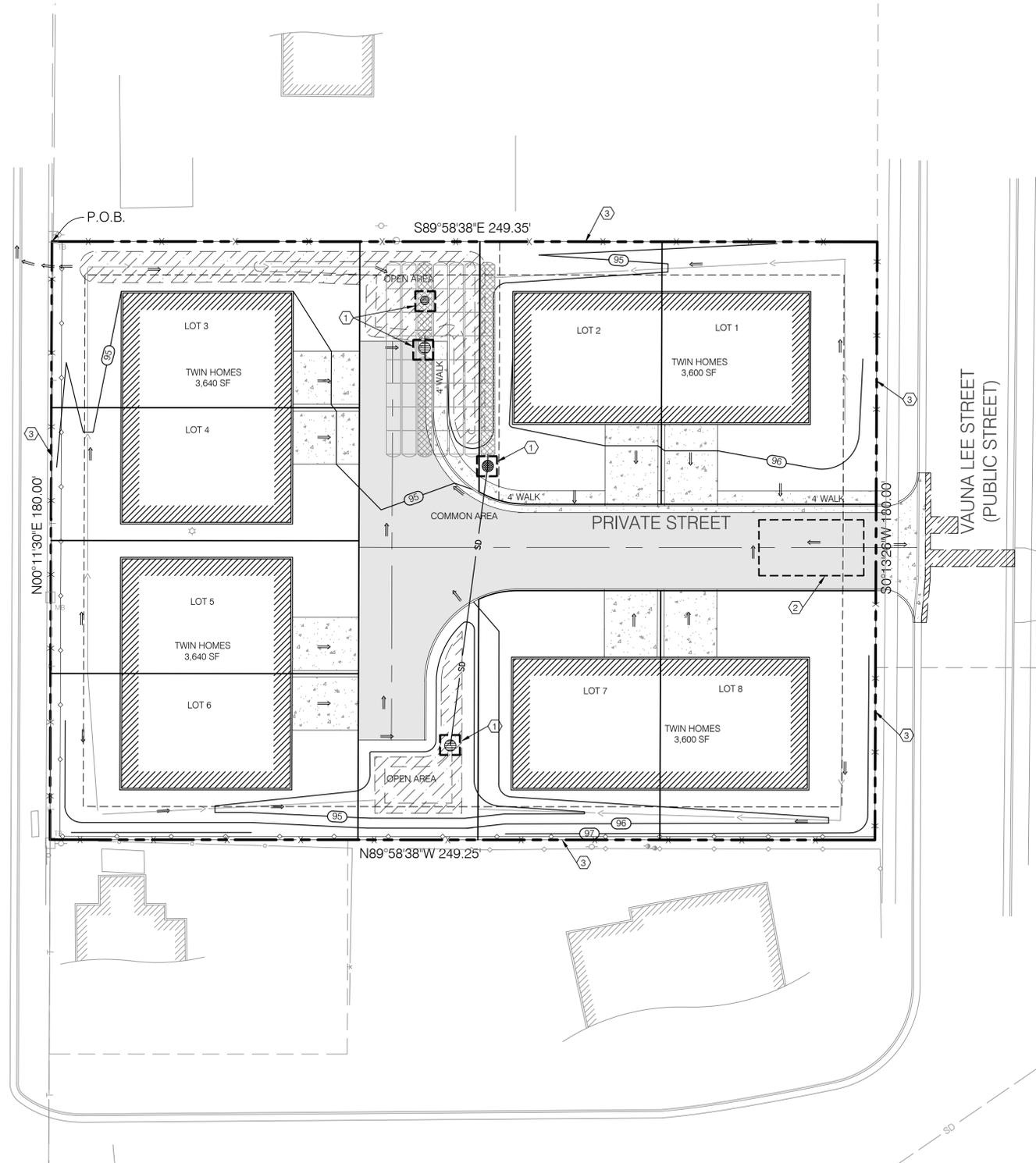
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THE BUNGALOWS ON 13TH P.U.D.
VP HOMES

8795 SOUTH 1300 EAST
SALT LAKE COUNTY, UTAH

1300 EAST STREET
(PUBLIC STREET)



GRAPHIC SCALE



(IN FEET)
1 inch = 20ft.

SWPP KEY NOTES REFERENCE

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

NO.	DESCRIPTION	DETAIL
①	SEDIMENT BARRIER	3/CDT.03
②	TEMPORARY CONSTRUCTION ENTRANCE	2/CDT.03
③	SILT FENCE	1/CDT.03

CONSTRUCTION NOTES:

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.

CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.

CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.

CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.

ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.

ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.

A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.

A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHTS OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEP DAILY TO REMOVE EXCESS DIRT.

INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROTECT WARRANTS.

CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.

CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

NO.	DATE	DESCRIPTION



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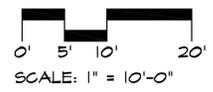
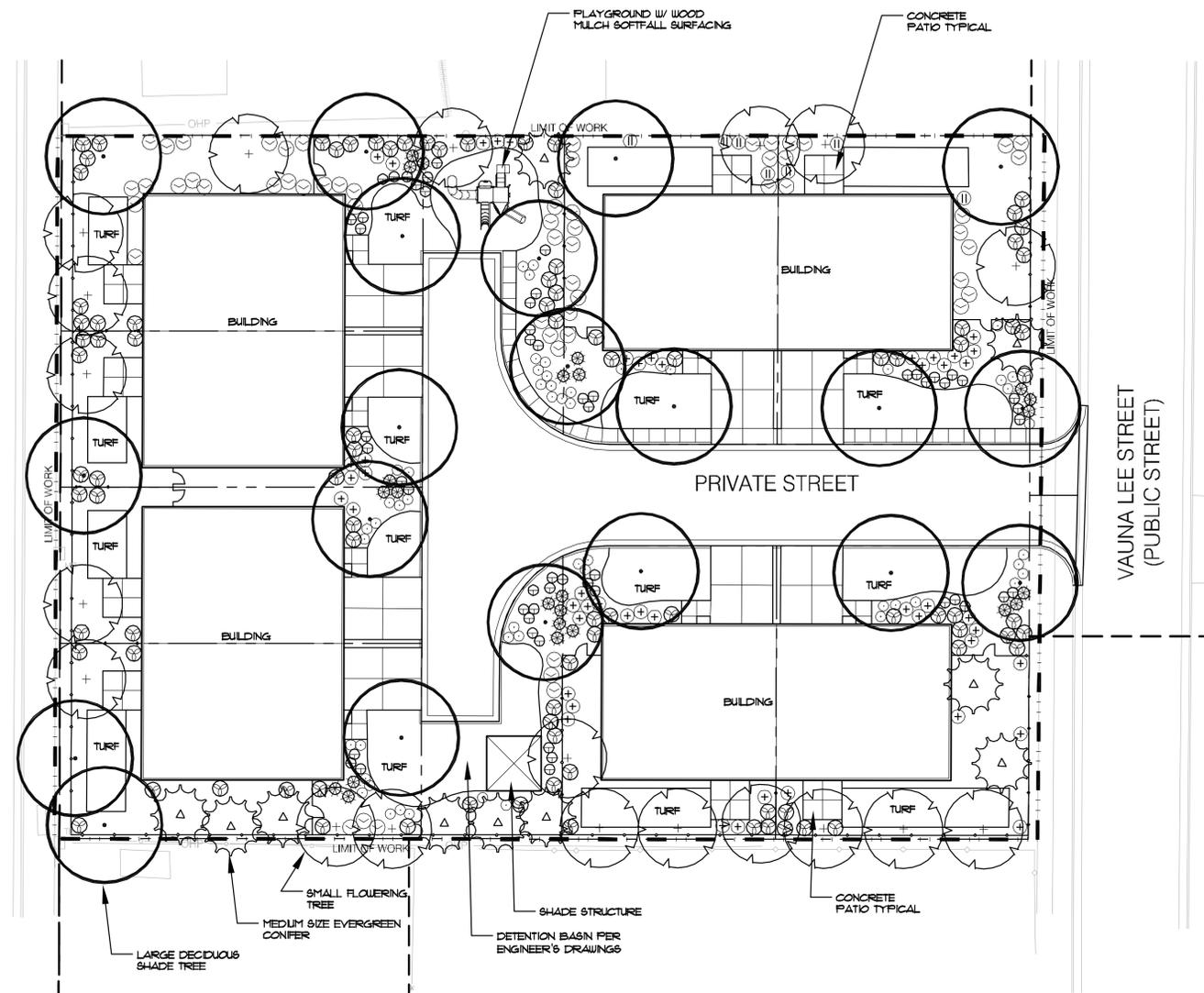
THE BUNGALOWS ON 13TH P.U.D. VP HOMES
 8795 SOUTH 1300 EAST
 SALT LAKE COUNTY, UTAH

PROJECT NO. 1212153
STORMWATER POLLUTION PREV. PLAN
 CEP.01
 7 OF 12

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APPLICANT INFORMATION
 COMPANY:
 VP HOMES
 2219 EAST LORITA WAY
 COTTONWOOD HEIGHTS, UTAH 84043
 ATTN: TY VRANES
 PHONE: 801-201-1654
 EMAIL: ty@vphomesutah.com

LANDSCAPE ARCHITECT
 GREGORY G. GRAHAM, ASLA
 UTAH LANDSCAPE ARCHITECT
 #349753-5301
 EDA LAND PLANNING
 772 E. 3300 S. SUITE 110
 SALT LAKE CITY, UT. 84106
 (801) 424-2296
 (801) 424-9947 FAX

LANDSCAPE DESIGN INTENT
 The design intent is to have a simple, clean planting design to tie the neighborhood together and anchoring the homes, in other words simple elegance. The plant materials used will be low water use or drought tolerant. The building materials will match and or compliment the homes helping tie the neighborhood together.

SITE DISTURBANCE
 The entire site will be disturbed.

LANDSCAPE CONTRACTOR
 TO BE DETERMINED

**PRELIMINARY
 NOT FOR CONSTRUCTION**

TREE

SYMBOL	QUANTITY THIS SHEET	SIZE	DESCRIPTION	SPACING	SIZE AT MATURITY	REMARKS
	20	2" CALIPER	LARGE DECIDUOUS TREE		50'X35'	STANDARD TRUNK SEE DETAIL
	10	6' TALL	MEDIUM EVERGREEN CONIFER TREE		30'X15'	STANDARD TRUNK
	19	1.5" CALIPER	SMALL DECIDUOUS FLOWERING TREE		20'X20'	STANDARD TRUNK

SHRUBS

SYMBOL	QUANTITY THIS SHEET	CONT. SIZE	DESCRIPTION	SPACING	SIZE AT 3 YRS	REMARKS
	58	5 GAL.	MEDIUM DECIDUOUS SHRUB	PER PLAN	4'X4'	-
	48	5 GAL.	SMALL DECIDUOUS SHRUB	PER PLAN	20"X30"	-
	43	5 GAL.	MEDIUM EVERGREEN SHRUB	PER PLAN	4'X4'	-
	7	5 GAL.	SMALL EVERGREEN SHRUB	PER PLAN	30"X30"	-

ORNAMENTAL GRASS LEGEND

SYMBOL	QUANTITY THIS SHEET	CONT. SIZE	DESCRIPTION	SPACING	SIZE AT 3 YRS	REMARKS
	24	1 GAL.	MEDIUM SIZED ORNAMENTAL GRASS	PER PLAN	24"X30"	SEE DETAIL B

GROUND COVERS

SYMBOL	QUANTITY THIS SHEET	CONT. SIZE	DESCRIPTION	SPACING	SIZE AT 3 YRS	REMARKS
	53	1 GAL.	DECIDUOUS GROUND COVER	PER PLAN	8"X24"	SEE DETAIL
	56	1 GAL.	EVERGREEN GROUND COVER	PER PLAN	16"X24"	SEE DETAIL

TURF AND MULCH (FRONT YARD AND COMMON AREAS)

SYMBOL	QUANTITY THIS SHEET	DESCRIPTION	REMARKS
TURF	3,493 SF		41% OF FRONT YARD
PLANTING AREA	4,793 SF	3" DEEP MIN. OF 3" DECORATIVE ROCK, WARM COLORS.	59% OF FRONT YARD

TURF AND MULCH (BACKYARD AND SIDEYARD AREAS)

SYMBOL	QUANTITY THIS SHEET	DESCRIPTION	REMARKS
TURF	2,176 SF		24% OF SIDE & BACKYARD
PLANTING AREA	7,034 SF	3" DEEP MIN. OF 3" DECORATIVE ROCK, WARM COLORS.	76% OF SIDE & BACKYARD

LANDSCAPE AREA

SYMBOL	QUANTITY THIS SHEET	DESCRIPTION	REMARKS
TURF	5,669 SF		31%
PLANTING AREA	11,832 SF		66%
PLAYGROUND AREA	606 SF		3%
TOTAL LANDSCAPE AREA	18,047 SF		100%

TOTAL AREA

SYMBOL	QUANTITY THIS SHEET	DESCRIPTION	REMARKS
LANDSCAPE	18,047 SF		40%
IMPERVIOUS	12,347 SF		28%
BUILDING	14,480 SF		32%
TOTAL AREA	44,874 SF		100%



NO.	REVISIONS	DATE	BY

Scale: 1" = 10'-0"
 DATE: FEB. 22, 2012
 DRAWN BY: GGG
 APPROVED BY: [Signature]

**THE BUNGALOWS ON 13TH
 8795 SOUTH 1300 EAST
 SALT LAKE COUNTY UTAH
 PRELIMINARY LANDSCAPE
 PLAN**

Underground Service Alert

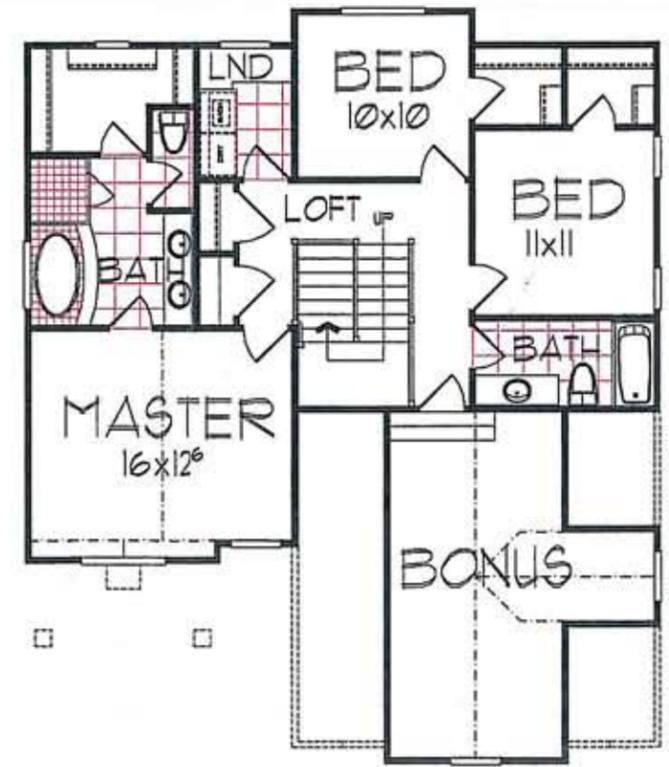
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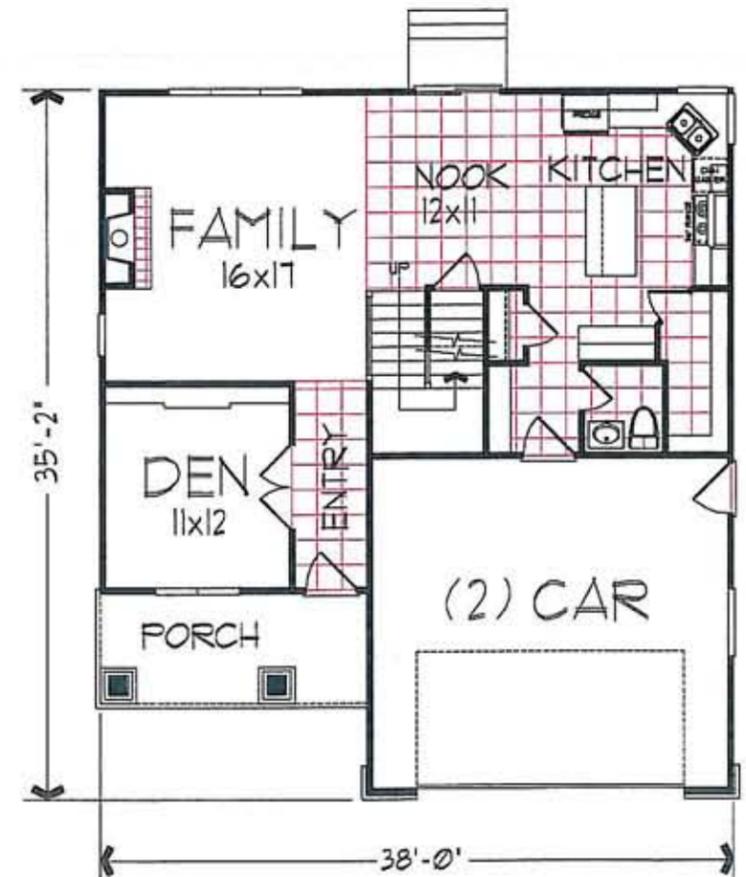




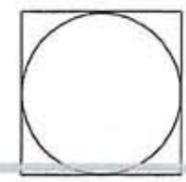
FRONT ELEVATION



UPPER FLOOR
934 SQ. FT. + 264 SQ.FT. BONUS



MAIN FLOOR
967 SQ. FT.



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 LOT # _____ SUBDIVISION _____ DATE _____
 CITY _____ PLEASE NOTIFY LANDFORMS OF ANY UNLAWFUL USE.

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 Bountiful, Utah 84010
 801-968-2624

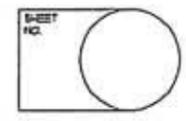
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 ORIGINAL
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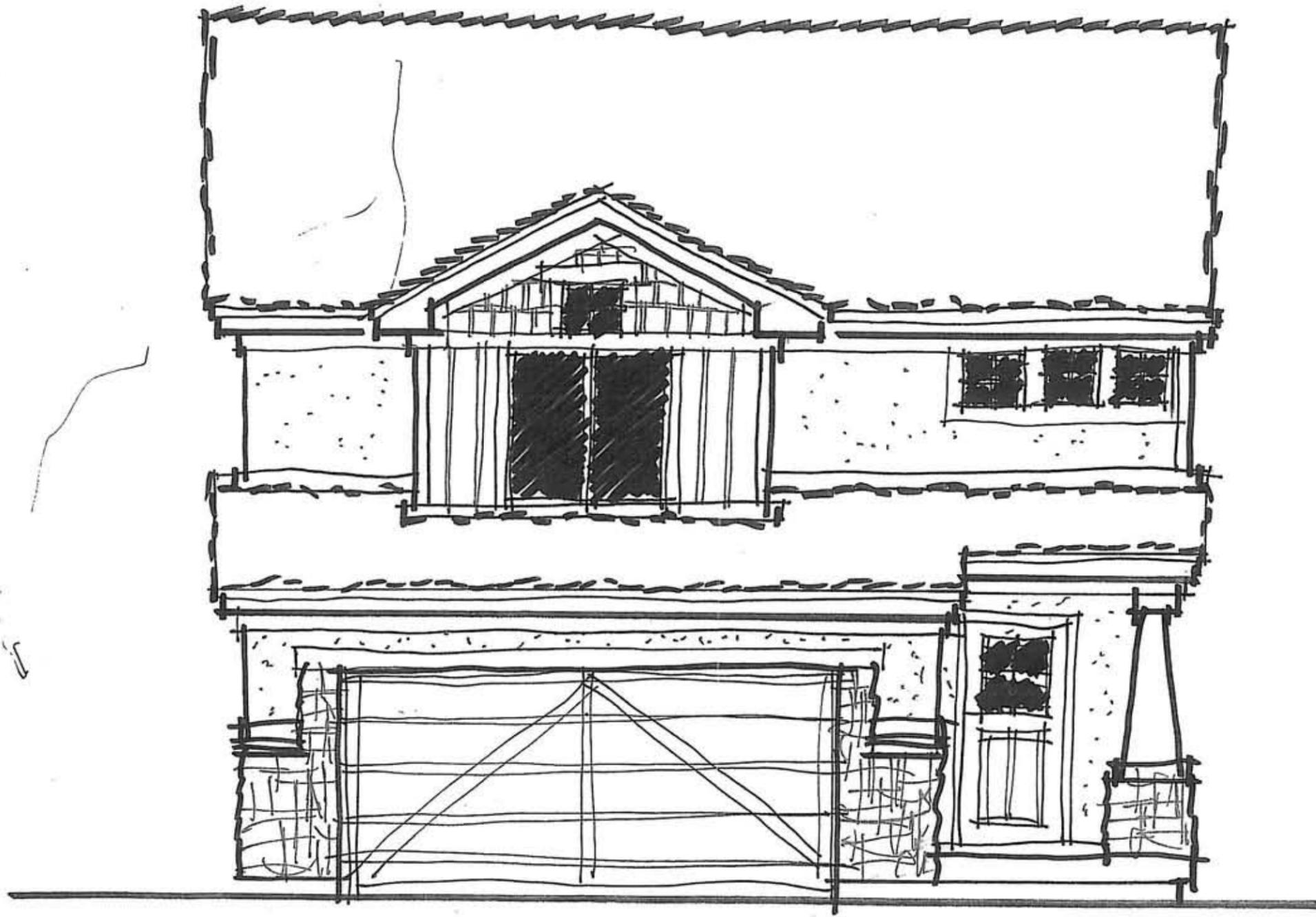
REVISION	DATE	BY

RELEASE DATE: 4/28/09
 NDA

ENGINEERED BY: _____

NO. OF SHEETS: 9





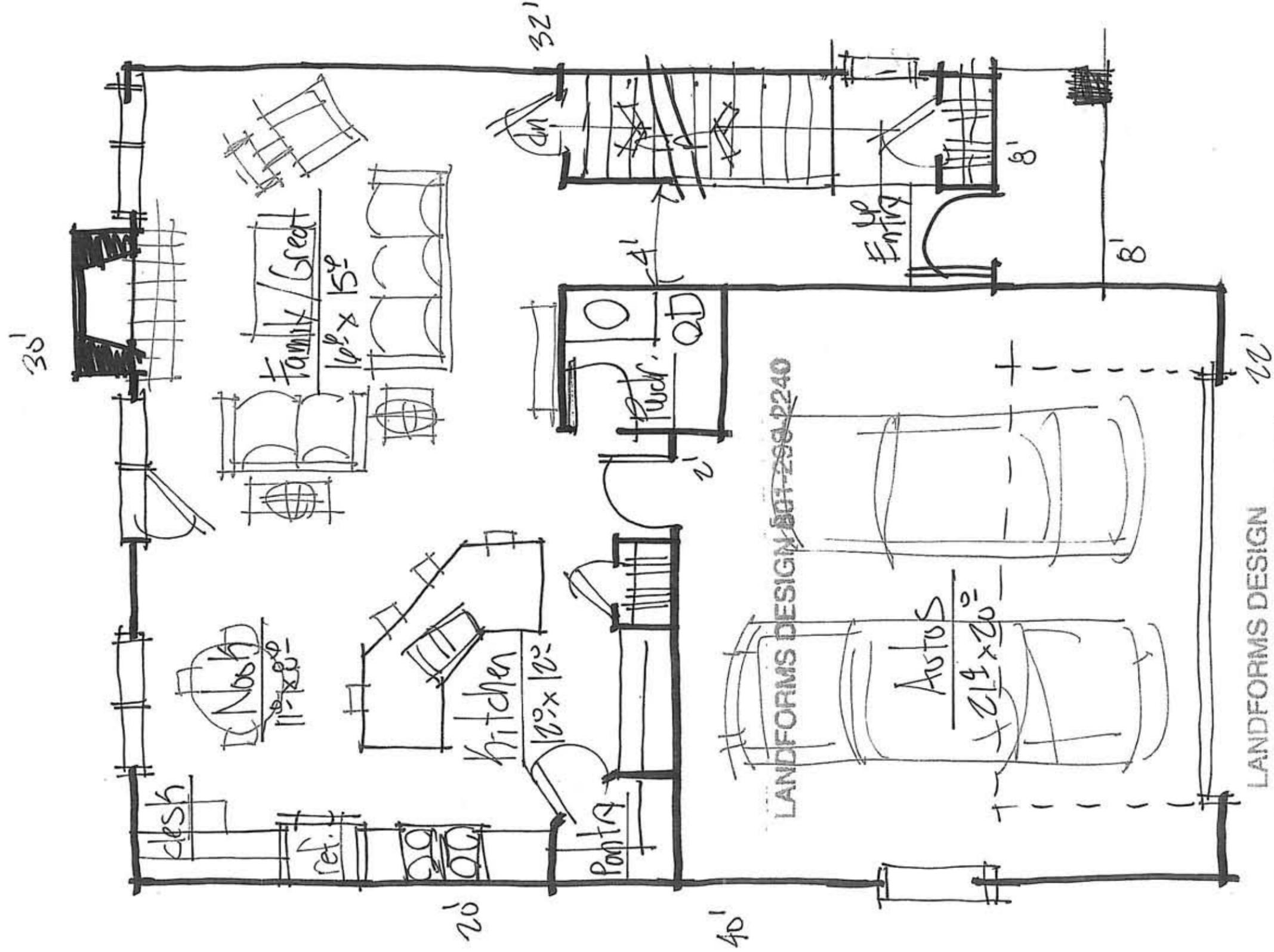
LANDFORMS DESIGN

LANDFORMS DESIGN 801-298-2240

NOT FOR CONSTRUCTION
FOR BID USE ONLY

Front Elevation
Scale: $\frac{1}{4}'' = 1'-0''$

Alpine Plan

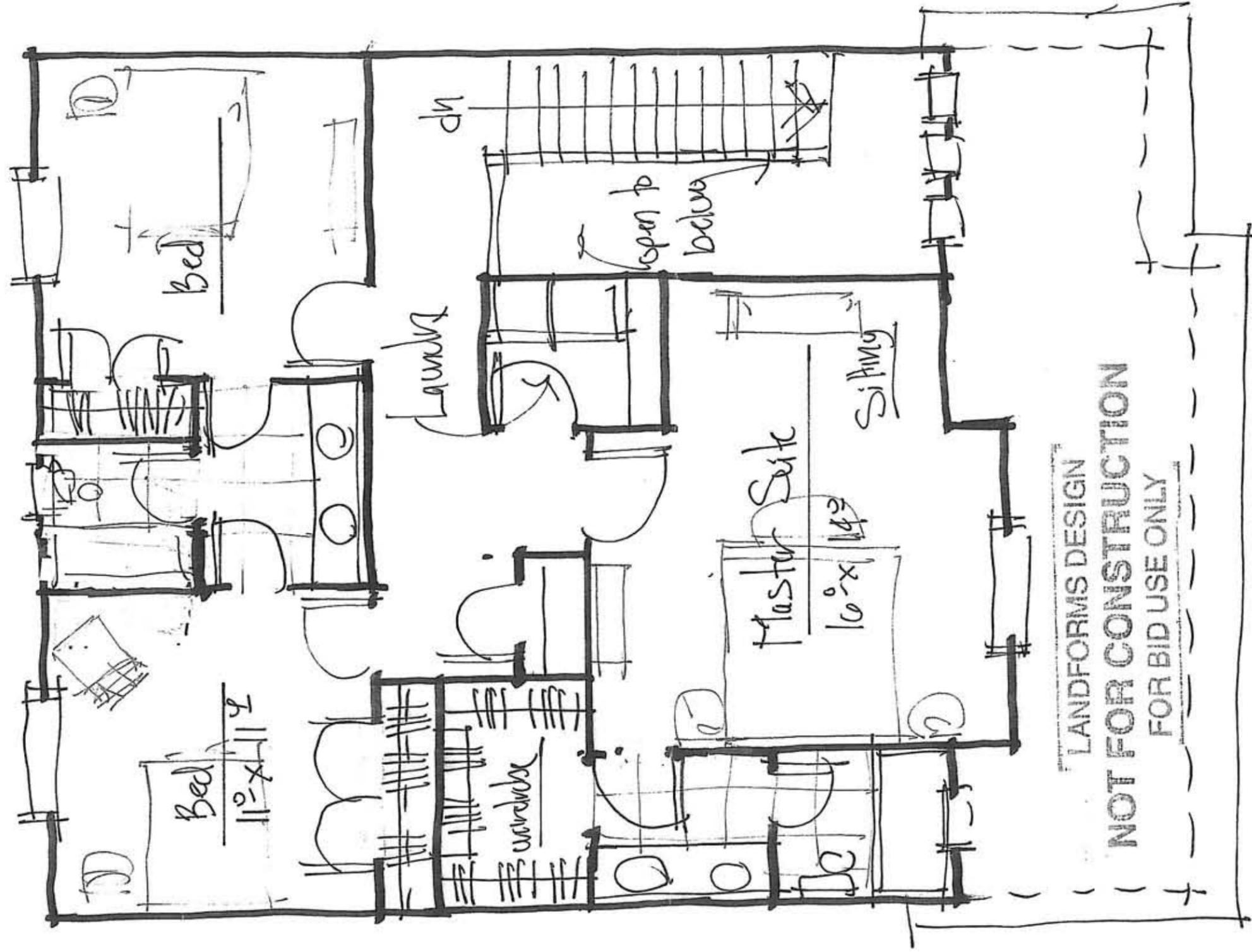


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Main Floor Plan

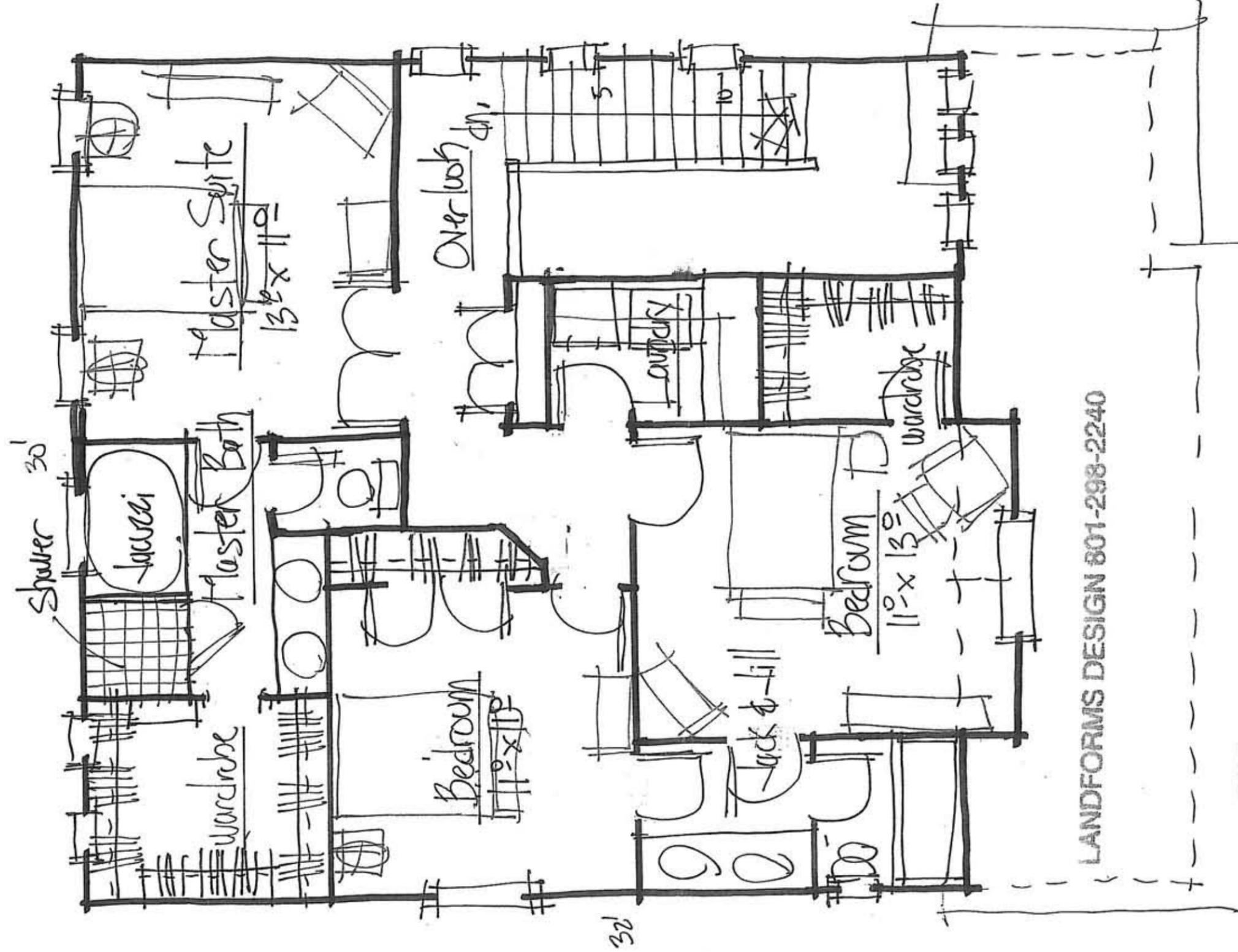
(TOT Φ) Alpine Plan

Scale: 1/4" = 1'-0"



Upper Floor Plan
 Scale: 1/4" = 1'-0"

(85910) Alpine Plan



LANDFORMS DESIGN 801-298-2240

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Upper Floor Plan (854 φ)

Scale: 1/4" = 1'-0"

ALPINE PLAN

A



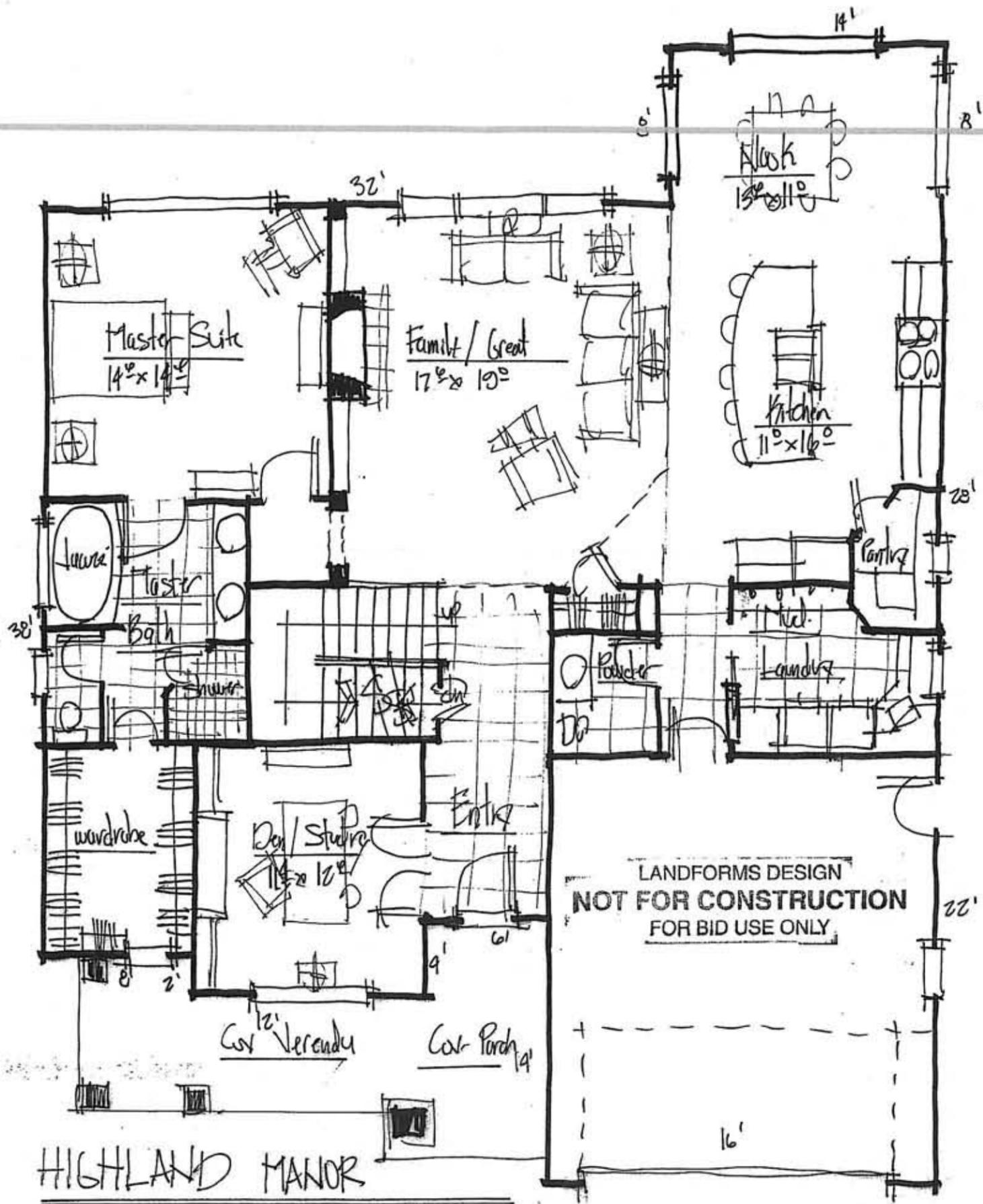
LANDFORMS DESIGN 801-298-2240

HIGHLAND MANOR

Front Elevation

Scale: 1/8" = 1'-0"

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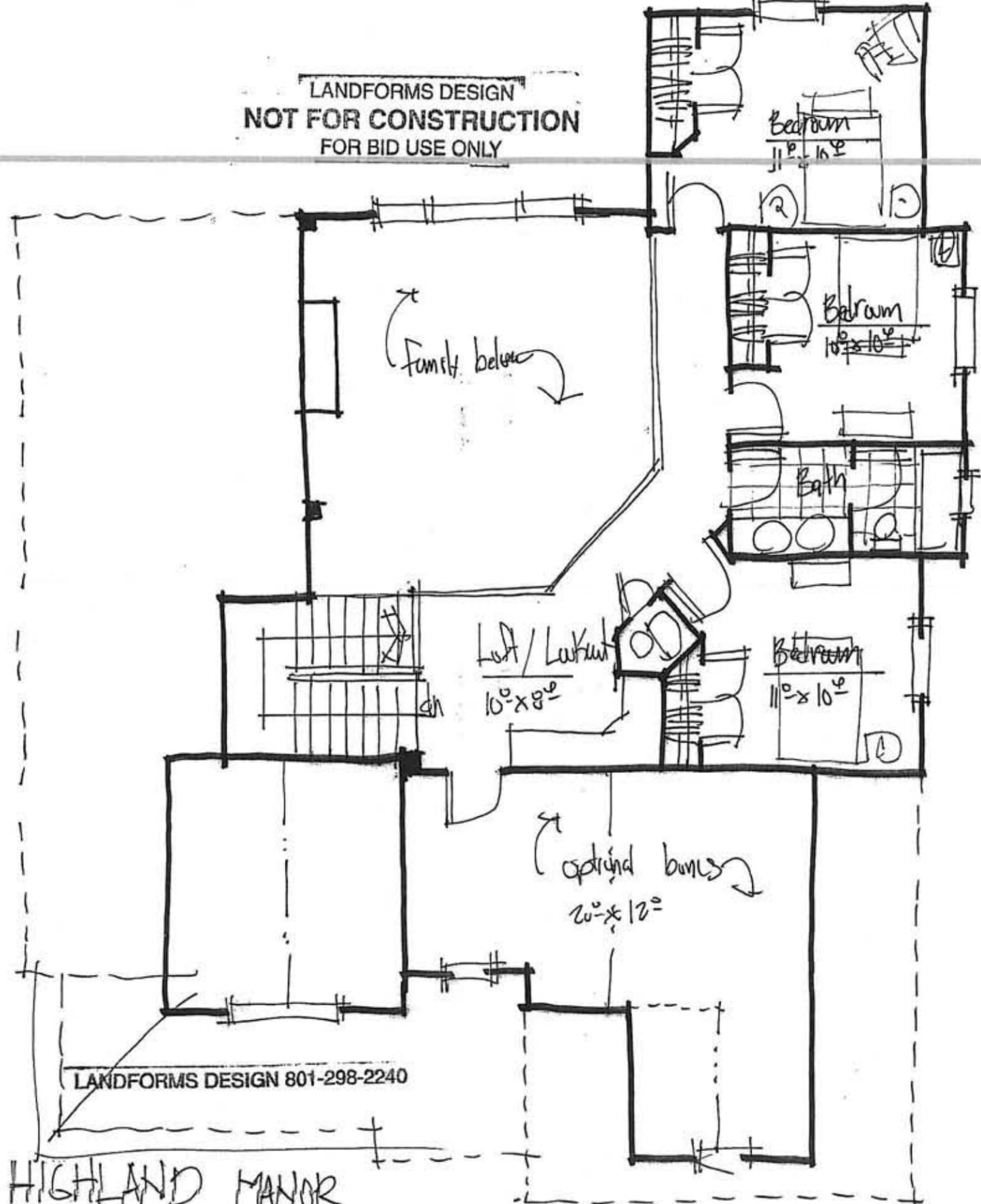


HIGHLAND MANOR

Main Floor Plan (16/20)

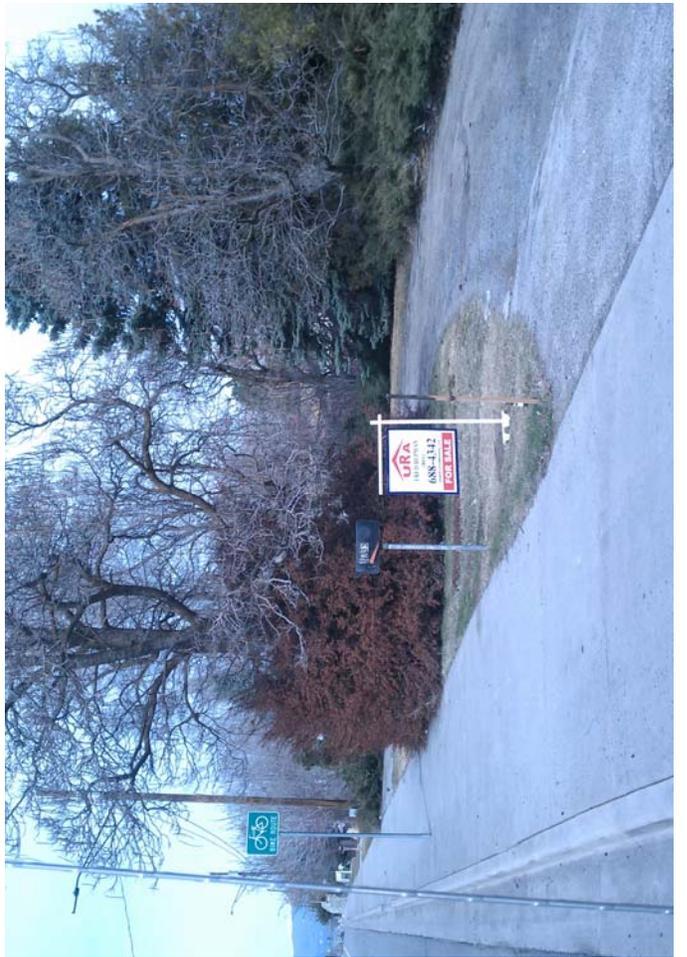
LANDFORMS DESIGN 801-298-2240

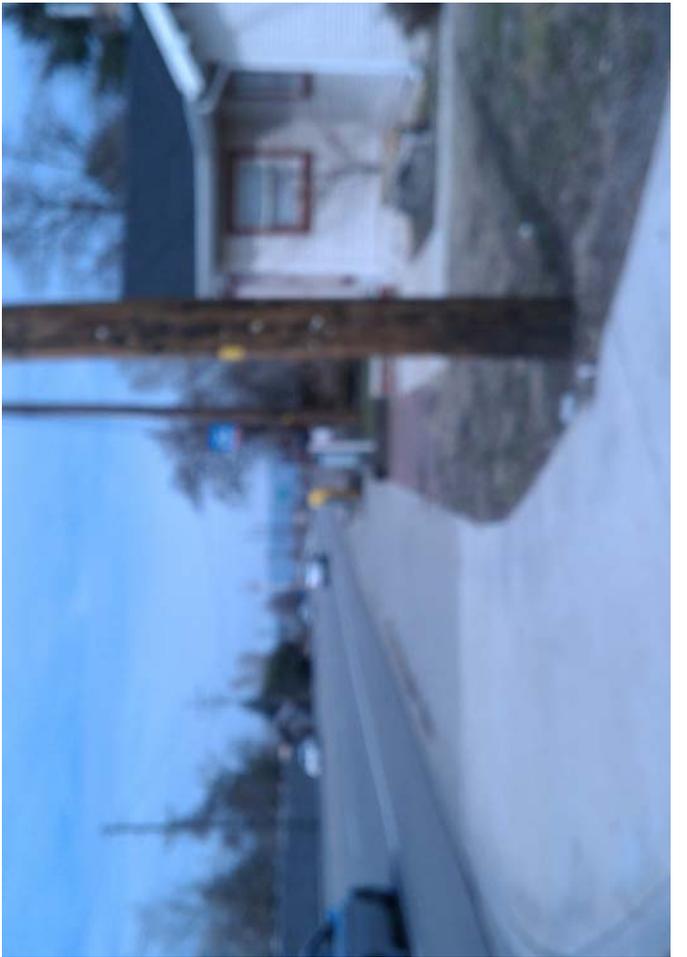
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HIGHLAND MANOR

Upper Floor Plan (6010) (3000 bonus)







STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	3	0	3	
Applicant Name:	Dave Erickson	Request:	Zone Change						
Description:	Rezone from A-20 (Agricultural) to S-1-G (Sand and Gravel/Residential)								
Location:	6816 S U-one Eleven Hwy								
Zone:	A-20 Agriculture	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not Applicable								
Staff Recommendation:	Approval								
Planner:	Todd A. Draper								

1.0 BACKGROUND

1.1 Summary

The subject property is in an area of Salt Lake County where gravel pit operations have historically been located. Portions of the subject property have also included such operations in the past. The most recent operation concluded in 2010. The purpose of this proposal is to unify the zoning for the entire property as S-1-G in order to continue with gravel extraction operations across the property as a whole, preparatory to potential future residential development.

1.2 Neighborhood Response

None has been received to date. However the property borders on both West Jordan City and West Valley City. The West Jordan Planning Dept. has submitted comments (see attached e-mail) to this request and the related conditional use request to permit a gravel extraction operation on this property.

1.3 Community Council Response

There is no community council that serves this area of the Unincorporated County.

2.0 ANALYSIS

2.1 General Plan

There is no specific General Plan for this area. This property however is located directly West of the Gateway to the Oquirrhs specific area plan.

2.2 Existing Zoning and Land Use

The existing zoning for the property is a mix of A-20 and S-1-G. Portions of the property have previously included sand and gravel extraction operations. In the vicinity of the property are other existing and former sand and gravel operations, agricultural/farming uses, and newer single family residential uses (West Valley City).

2.3 Other Agency Recommendations or Requirements

The County Traffic Engineer has concerns regarding the proposed access to U-111. She recommends that a Final UDOT approval for access should be obtained prior to rezone to assure that property will be able to be developed as desired.

UDOT has indicated that they have received a submittal from the applicant and are currently reviewing the application and will forward a copy of their comments once their review is complete.

The County Grading Specialist and Unified Fire Authority have indicated they have no issues related to the proposed rezoning of the property.

West Jordan City Planning has not indicated that they have any issues directly with the rezone proposal, but does have some concerns regarding the layout, construction, and use of a sand and gravel extraction operation. Some aspects of the proposal will require separate approval from West Jordan. (see attached e-mail).

No other reviewers or reviewing agencies have noted any requirements or recommendations.

2.4 Other Issues

None at this time.

3.0 STAFF RECOMMENDATION

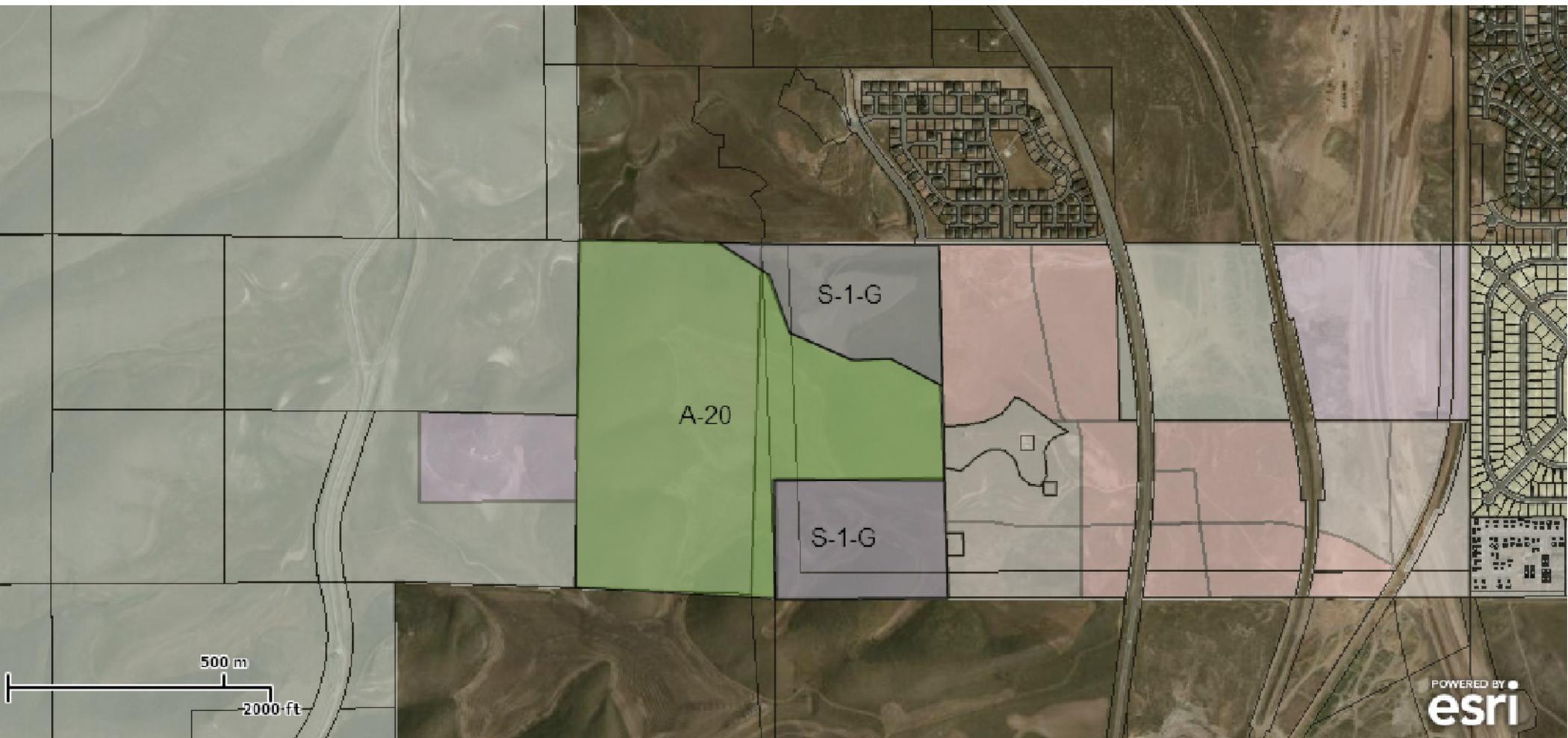
3.1 Staff recommends APPROVAL of the proposed Zone Change.

3.2 Reasons for Recommendation

- 1) Allowing for the rezone would remove issues related to the split zoning of the property
- 2) The list of allowable uses remains similar to the historical use of the property and other adjoining areas.

The screenshot displays the ArcGIS Viewer for Flex interface. At the top left, the header features the Salt Lake County logo and the text "Planning and Development Interactive GIS Map". To the right of the header are several icons for navigation and information, and an "About" link. The main map area shows a satellite-style view with overlaid planning boundaries in various colors (purple, pink, green). A prominent red rectangle highlights a specific parcel or area in the center of the map. On the left side, there is a vertical toolbar with a "Draw and Measure" tool highlighted. In the bottom left corner, a scale bar indicates 500 meters and 2000 feet, with the coordinates "Latitude: 40.636194" and "Longitude: -112.072816" displayed below it. In the bottom right corner, the "POWERED BY esri" logo is visible. Two buttons labeled "Layer Options" and "Basemaps" are located in the top right corner of the map area.

(Corrected) Zoning Map



Wed Feb 27 2013 08:50:56 PM.

SALT LAKE COUNTY Planning and Development
Interactive GIS Map

Layer Options Basemaps

Draw and Me...

500 m
2000 ft
Latitude: 40.635940 Longitude: -112.055861

POWERED BY **esri**

Todd Draper

From: Greg Mikolash <gregm@wjordan.com>
Sent: Tuesday, February 19, 2013 12:18 PM
To: Todd Draper
Cc: Nate Nelsen
Subject: Glen Wood Gravel Pit

Todd,

The City of West Jordan Planning and Engineering staff has reviewed the proposal for the Glen Wood gravel pit to be located just west of Highway U-111 at approximately 6800 S. Though the extraction use itself is outside of the municipal boundary of the City, please note that the area in question is declared for future annex purposes and recorded through an annexation declaration document.

It appears that the driveway portion and ingress/egress to the pit is within the municipal boundaries of West Jordan. This is of concern because extraction (gravel pits) and their ancillary uses (driveways to weigh stations – leading to gravel pits) are **not** permitted in per our Code. Though a driveway itself could be permitted if the said driveway meets the minimum standards per the West Jordan City Code (i.e. paved), another question arises as to water run-off created because of the newly installed asphalt/concrete? Regardless – a permit, application, and fee will need to be required for any such infrastructure construction within West Jordan’s municipal boundaries.

Per the plans as submitted, West Jordan Planning and Engineering has the following questions and concerns:

1. Is this proposed extraction pit to be temporary in nature?
2. A remediation plan should be incorporated into the plans and a permit issued which requires the site to be restored to an appropriate condition including - slopes to be contoured and re-vegetated in such a way as to create a natural looking area. Will there be a remediation plan?
3. Is there a dust control plan? Who is to enforce errant dust situations on windy days and will the gravel be sprayed with water on a continual basis to keep dust under control?
4. Is there a mud-tracking plan – including a stabilized construction entrance with a truck wash-down area?
5. Does this request require a conditional use permit in addition to a site plan? If so, are any mitigation measures (such as questioned above) to be implemented as conditions of approval?

Some issues relevant to the concerns above could be addressed simply by relocating the proposed driveway and weigh station to the north and outside of West Jordan’s Municipal boundary.

Please inform me upon receipt of this e-mail that it has been received, as some issues related to the proposed use require direct attention (and permitting) from West Jordan.

Sincerely,

Greg Mikolash, AICP
City Planner, City of West Jordan
8000 S. Redwood Rd.
West Jordan, UT 84088
p. 801-569-5065
gregm@wjordan.com



STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	3	0	4	
Applicant Name:	Dave Erickson	Request:	Conditional Use						
Description:	Sand and Gravel Extraction (Phase 1)								
Location:	6816 S U-One Eleven Hwy.								
Zone:	S-1-G Gravel Extraction	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Staff Recommendation:	Approval with Conditions								
Planner:	Todd A. Draper								

1.0 BACKGROUND

1.1 Summary

This initial request is for phase 1 of a planned gravel pit operation located on the subject property. A separate rezone application (#28303) has also been filed pertaining to other portions of the subject property. Following successful rezoning of the remaining portions of the property, additional phases will be brought before the Planning Commission for Conditional Use review at that time.

1.3 Neighborhood Response

None received to date.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A':</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: The proposed site development plan (for phase 1) substantially complies with zoning ordinance provisions. Some changes to the proposed plan are likely however given other factors involved with this project. Elements of the plan that are located within the jurisdiction of West Jordan must obtain separate approval from that city. Alternatively some of the proposed elements within West Jordan City may be relocated land under the jurisdiction of the Unincorporated County. Also phased elements that cross into phase 2 will need to be adjusted to fit completely within the phase 1 boundaries until such time that phase 2 is approved.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B':</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Discussion: Demonstration of compliance with other laws and ordinances will be required during the technical review process. Final approval of a conditional use permit by planning staff will be conditioned upon satisfaction of all pertinent requirements, laws and ordinances.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C':</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: The site development plan will be reviewed and completed as part of the technical review process. As the adjacent roadway is a State Highway, the Utah Department of Transportation (UDOT) has jurisdiction over this portion of the review and approval process. UDOT will address any necessary adjustments to the proposal pursuant to the mitigation of traffic impacts directly through their processes.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D':</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: All identified issues are typically addressed as part of the technical review, prior to issuance of any final conditional use permit by planning staff. Soils, slopes, grading, land reclamation and re-vegetation issues are addressed and monitored by the County Grading Specialist. Plans regarding storm drainage and flood control must meet requirements of the County Public Works Engineering Department prior to the issuance of a final Conditional Use approval.

YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard 'E':</u> <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		Discussion: Currently the nearest residents are located on a former gravel pit site within the jurisdiction of West Valley City, Northeast of the subject property. Although some direct impacts can reasonably be anticipated (noise and dust) other less direct impacts may also exist (traffic). Given that the general area has historically been impacted with gravel pit and mining operations, some deference for the existing conditions must be taken into account when evaluating the magnitude of anticipated impacts and appropriate mitigation measures. Staff believes that adequate mitigation measures can be implemented that will sufficiently reduce impacts to existing and potential future residential uses that will have the effect of meeting the intent of Standard E. Such conditions might include; dust control efforts, noise reduction efforts, limited hours of operation, limited duration (expiration) of use permit, etc. (see staff recommend conditions of approval below).

2.2 Zoning Requirements

19.84.050 - Approval/denial authority.

The planning commission has the authority to approve, deny, or approve with conditions conditional use applications.

A. Planning Commission Approval.

1. The planning commission shall review and approve or deny each application during a public meeting.
2. The planning commission's decision shall be based on information presented through the public meeting process, including: the materials submitted by the applicant, the recommendation of the director or director's designee, and input from interested parties and affected entities.
3. If conditions are specified, the director or director's designee shall issue a final approval letter upon satisfaction of the planning commission's conditions of approval.
4. If the applicant fails to meet all conditions of approval within twelve months of the planning commission's decision, the application is deemed denied. A twelve-month extension may be granted upon the payment of an additional filing fee equal to the original filing fee.
5. A planning commission decision shall be made on a complete conditional use application within a reasonable time frame, not to exceed ninety days. The planning commission is authorized to review and take action on an application as outlined in [Section 19.84.040](#) after having notified the applicant of the meeting date.
6. Failure by the applicant to provide information that has been requested by the planning commission, the director or director's designee to resolve conflicts with the standards in [Section 19.84.060](#) (above) may result in an application being denied.

B. Decision. Each conditional use application shall be:

1. Approved if the proposed use, including the manner and design in which a property is proposed for development, complies with the standards for approval outlined in [Section 19.84.060](#); or

2. Approved with conditions if the anticipated detrimental effects of the use, including the manner and design in which the property is proposed for development, can be mitigated with the imposition of reasonable conditions to bring about compliance with the standards outlined in [Section 19.84.060](#); or

3. Denied if the anticipated detrimental effects of the proposed use cannot be mitigated with the imposition of reasonable conditions of approval to bring about compliance with the standards outlined in [Section 19.84.060](#)

19.42.010 - Purpose of provisions.

The purpose of the S-1-G zone is to permit extraction of gravel and similar natural resources in the county.

19.42.020 - Permitted uses.

Permitted uses in the S-1-G zone include:

— Agriculture.

19.42.030 - Conditional uses.

Conditional uses in the S-1-G zone include:

— Golf course;

— Mine; quarry; **gravel pit**; including crushers, concrete batching plants used in connection with and as a part of an operation for the removal of sand or gravel from the parcel of property upon which the crusher or batching plant is installed, but expressly excluding an asphalt plant or any type of oil or asphalt emulsion mixing operation. Excavations are permitted only under the conditions outlined in the Salt Lake County excavation ordinance;

— Nursery and/or greenhouse, excluding retail sales;

— Public and quasi-public uses;

— Recreation, commercial;

— Residential facility for elderly persons;

— Single-family dwelling;

— **Temporary buildings for uses incidental to construction work**, which buildings must be removed upon the completion or abandonment of the construction work. If such buildings are not removed within ninety days upon completion of construction work and thirty days after notice, the buildings will be removed by the county at the expense of the owner.

2.3 Other Agency Recommendations or Requirements

County Building - Recommend Approval with Conditions

1. Building permits are required for the temp office trailer, any electrical work, fences over 6' tall, any foundation work, structures, and any other item regulated by the International Building Code.
2. Also, will need to show where the bathroom facilities will be provided at the site. This will need to be approved by the health department.

County Geology Review - No response received

County Grading Specialist - Recommend Denial

1. Received a copy of the SWPPP prepared by Hadco Construction for the Glenwood Gravel pit. UTR 359315 is the State UPDES number for Phase 1 only.
2. The SWPPP (Storm Water pollution prevention plan) has no contact information and emergency contact information listed.
3. The SWPPP does not identify the inspection personnel that will be responsible for the inspections of the BMP's at the site, the inspection schedule is once a month or after a storm event (no duration is identified)
4. No duly authorized personnel has been identified along with their positions at the site on the SWPPP. (appendix K)
5. The SWPPP does not identify the person or persons responsible for training at the site.
6. The certification and Notification are not signed by the responsible person or the sub-contractors as required.
7. The N.O.I is outdated and needs to be resubmitted with current dates (prior to permits being issued)
8. The plans submitted do not show a minimum of five foot setback from the adjoining property prior to beginning the excavations
9. Need to provide cross access agreement to access the site.
10. On the plans need to show the location of the proposed storage retention pond for the storm water.
11. Berm is insufficient in one location.
12. Not a complete review.

Health Department - No comments received

UDOT - Review Pending

1. The plans do not match, there is some discrepancies between what the applicant submitted to the County and to UDOT. The review has not started due to an incomplete application.

County Traffic Engineering - Recommend Denial until UDOT approval is received.

1. UDOT must approve "Rural Road" sight distance proposed.
2. Submit UDOT approved copy of plan & profile, striping plans, and cross-sections for final technical review.
3. West Jordan City approval required for 30' access road located in West Jordan City.
4. Access easement required for 30' access road located on adjacent property.

Unified Fire Authority - Recommend Approval with Conditions

1. The proposed use is approved by or not regulated by this agency.
2. The proposed site plan is approved. No further technical review is required by this agency.
3. No conditions, unless structures are added, then add min. 2A10BC fire extinguisher.
4. Unified Fire authority plan review: this project must meet all local building and fire code requirements.

County Urban Hydrology - No Comments Received

West Valley City Planning - No issues identified

West Jordan City Planning -

1. See attached e-mail

2.4 Other Issues

County Planning - Recommend Approval with Conditions

1. This review and recommendation applies to phase 1 only. Operational aspects must be contained within the area S-1-G zoned area.
2. Must have approval from West Jordan for aspects within in their jurisdiction. Likely the scale house, offices, and parking.
3. To mitigate potential impacts to neighboring residents dust and noise control plans must be submitted and implemented.
4. Staff recommends the additional imposition of time of day limits on pit operations (especially regarding operation of heavy machinery or other activities likely to raise noise levels) to reduce impacts to residential neighbors. Suggested hours between 8:00 a.m. and 6:00 p.m.
5. Previous Conditional Use Permits for Gravel Pit operations on this site have included specific expiration dates of those permits to insure that efforts to mitigate impacts to the surrounding community are consistent with the existing development of the surrounding community. Staff recommends that the permit (for phase 1) be limited 3 years from the date of final approval by staff with allowance for up to a 6 month extension by staff for activities related to final site grading, reclamation, and re-vegetation.
6. Must post bonds for site re-vegetation and reclamation.
7. Proof of access easement to the property is required.
8. Must get a business licence for the operation of the pit before commencing operations on the site.

2.5 Subdivision Requirements

None

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Submit revised plans that address issues identified by West Jordan's Planning Department and that adjust all phase 1 activities within the phase 1 boundaries and area appropriately zoned for such activities.
- 2) Operational Hours of the Gravel Pit to be limited to between the hours of 8:00 a.m. and 6:00 p.m.
- 3) Submit detailed plans regarding dust and noise control for review and approval by County staff.
- 4) Conditional Use permit shall expire 3 years from the date of final approval by staff. An allowance for up to a 6 month extension beyond that time will be at the discretion of planning staff to account for activities related to final site grading, reclamation, and re-vegetation.
- 5) Post bonds for site re-vegetation and reclamation.

- 6) Compliance with all recommendations and requirements of the reviewing departments and agencies that are identified during the subsequent technical review process.

3.2 Reasons for Recommendation

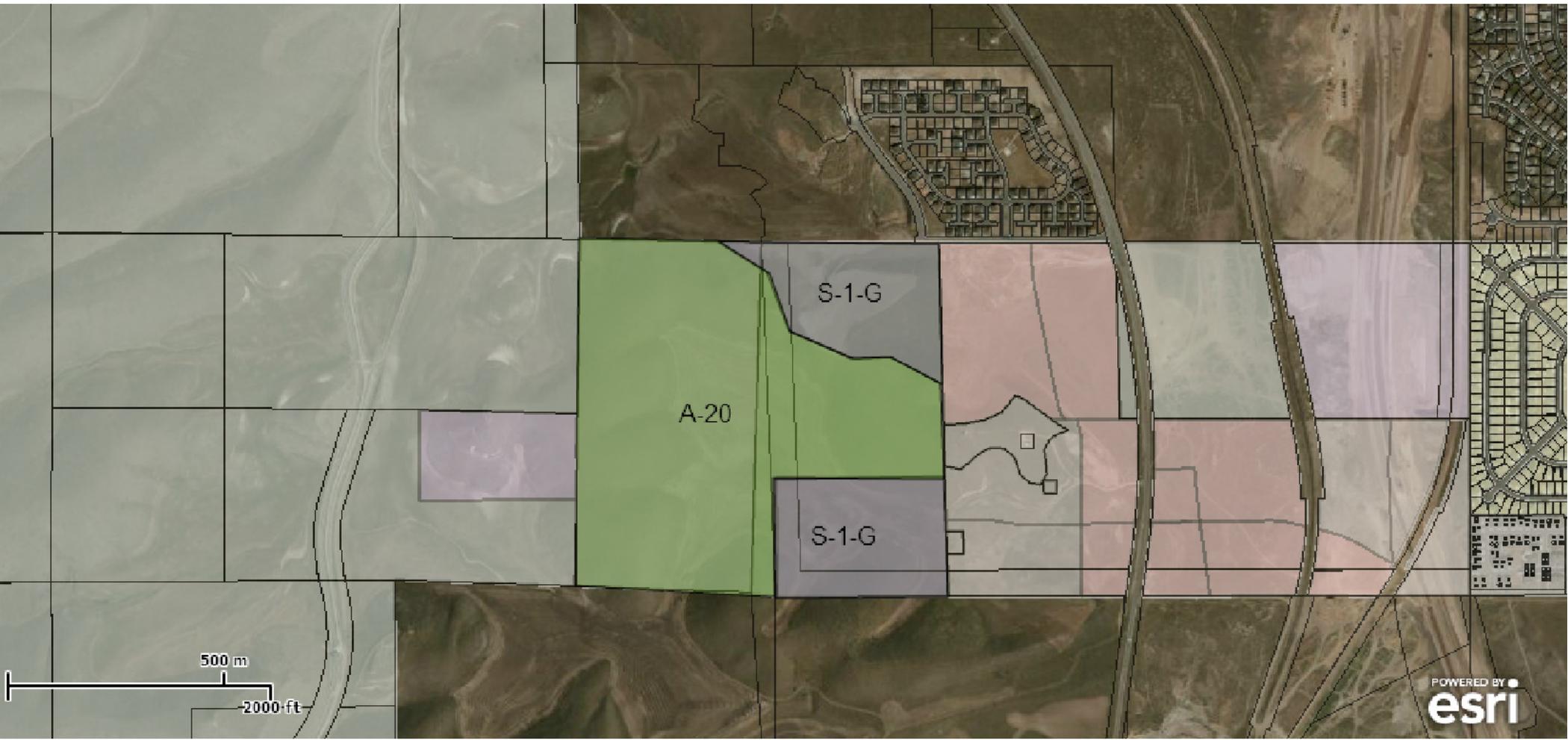
- 1) Through the imposition of the above listed conditions, the project will effectively meet the 5 criteria necessary for approval of a Conditional Use Permit.

3.3 Other Recommendations

None

The screenshot displays the ArcGIS Viewer for Flex interface. At the top left, the Salt Lake County logo is visible next to the text "Planning and Development Interactive GIS Map". The top right corner features a navigation bar with icons for home, search, information, and other functions, along with an "About" link. The main map area shows a satellite-style view of a landscape with various colored overlays representing different planning zones. A prominent red rectangle highlights a specific rectangular area in the center of the map. On the left side, there is a vertical toolbar with a "Draw and Measure" button and a scale bar indicating 500 meters and 2000 feet. The bottom left corner shows the current coordinates: Latitude: 40.636194 and Longitude: -112.072816. The bottom right corner features the "POWERED BY esri" logo.

(Corrected) Zoning Map



Wed Feb 27 2013 08:50:56 PM.

SALT LAKE COUNTY Planning and Development
Interactive GIS Map

Layer Options Basemaps

Draw and Me...

500 m
2000 ft
Latitude: 40.635940 Longitude: -112.055861

POWERED BY **esri**

Todd Draper

From: Greg Mikolash <gregm@wjordan.com>
Sent: Tuesday, February 19, 2013 12:18 PM
To: Todd Draper
Cc: Nate Nelsen
Subject: Glen Wood Gravel Pit

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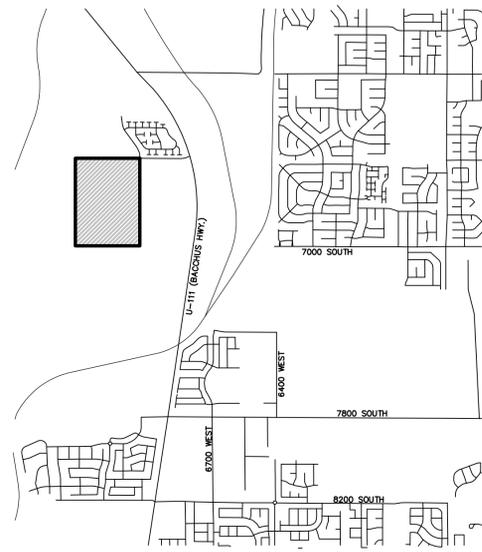
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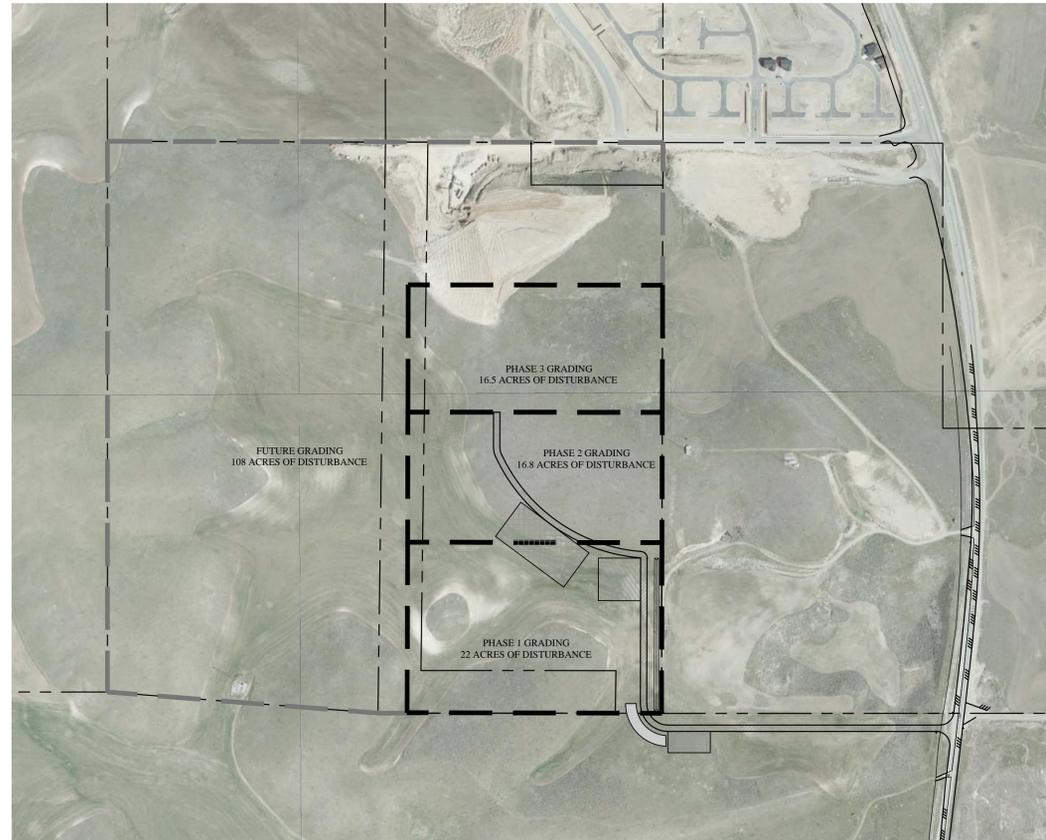
Greg Mikolash, AICP
City Planner, City of West Jordan
8000 S. Redwood Rd.
West Jordan, UT 84088
p. 801-569-5065
gregm@wjordan.com

GLEN WOOD GRAVEL PIT

PREPARED FOR:
TM CRUSHING
 LOCATED IN:
SALT LAKE COUNTY, UTAH



VICINITY MAP
 NTS



SITE MAP
 NTS

LEGEND

- BOUNDARY
- LOT LINE
- LOT LINE
- x - - - - - EXIST. FENCE
- XXXX- - - - - EXIST. CONTOUR MAJOR
- XXXX- - - - - EXIST. CONTOUR MINOR
- FLOW ARROWS

FOCUS
 ENGINEERING AND SURVEYING, LLC
 201 WEST COTTAGE AVENUE
 SANDY, UTAH 84070 PH: (801) 352-0075
 www.focusutah.com



**GLEN WOOD GRAVEL PIT
 COVER SHEET**

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO APWA STANDARD PLANS AND SALT LAKE COUNTY STANDARDS AND SPECIFICATIONS
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANTY THE ACCURACY OF SUCH LINWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER & SURVEYOR
 FOCUS ENGINEERING & SURVEYING
 201 COTTAGE AVE.
 SANDY, UTAH 84070
 (801) 352-0075
 CONTACT: THOMAS ROMNEY

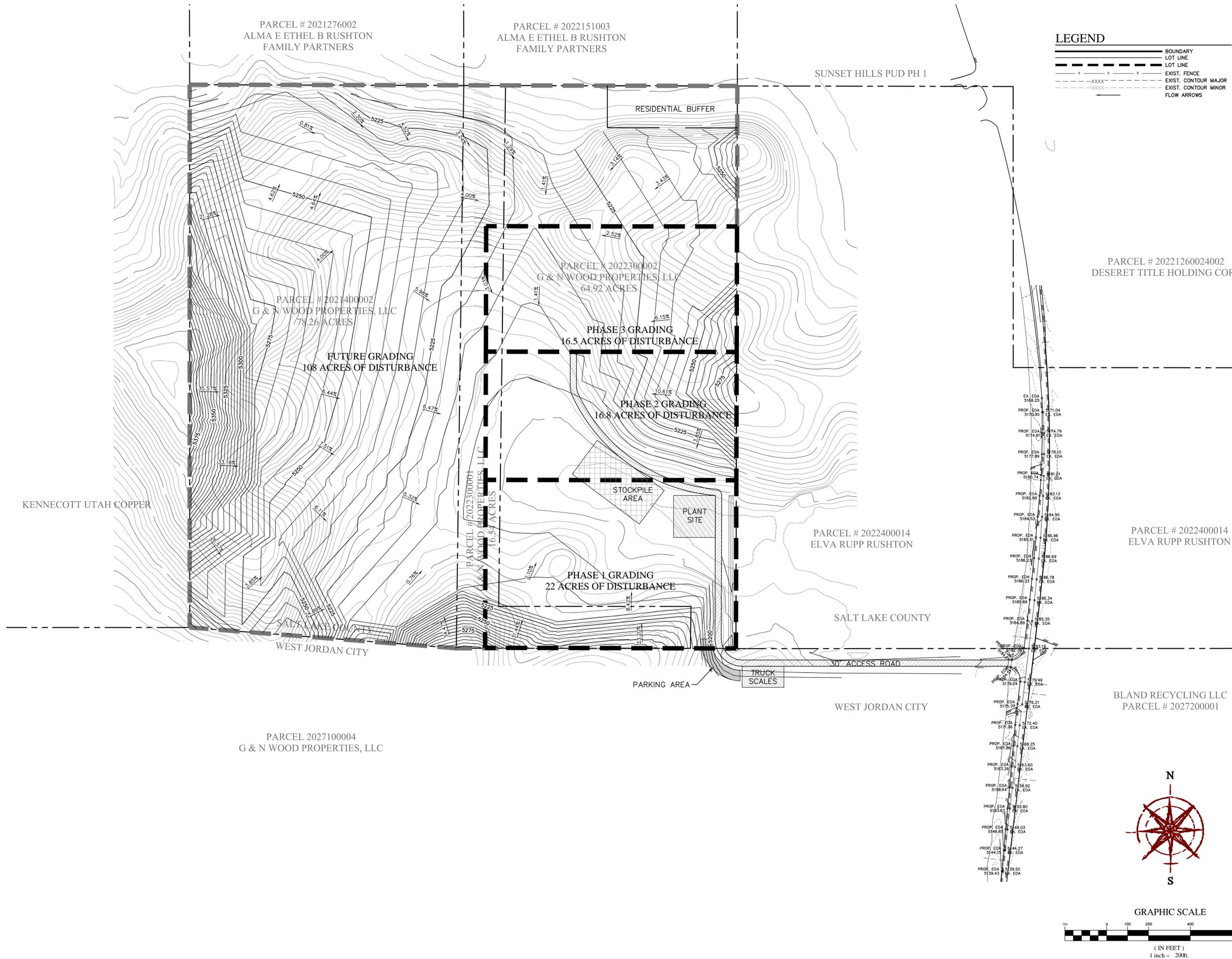
OWNER/DEVELOPER
 TM CRUSHING
 1450 WEST 1850 NORTH
 LEHI, UTAH 84043
 CONTACT: DAVE ERICKSON 801-859-1959

REVISION BLOCK	
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COVER SHEET

Scale: NONE Drawn: TMR
 Date: 11/30/2012 Job #: 11-004
 Sheet: **M0**

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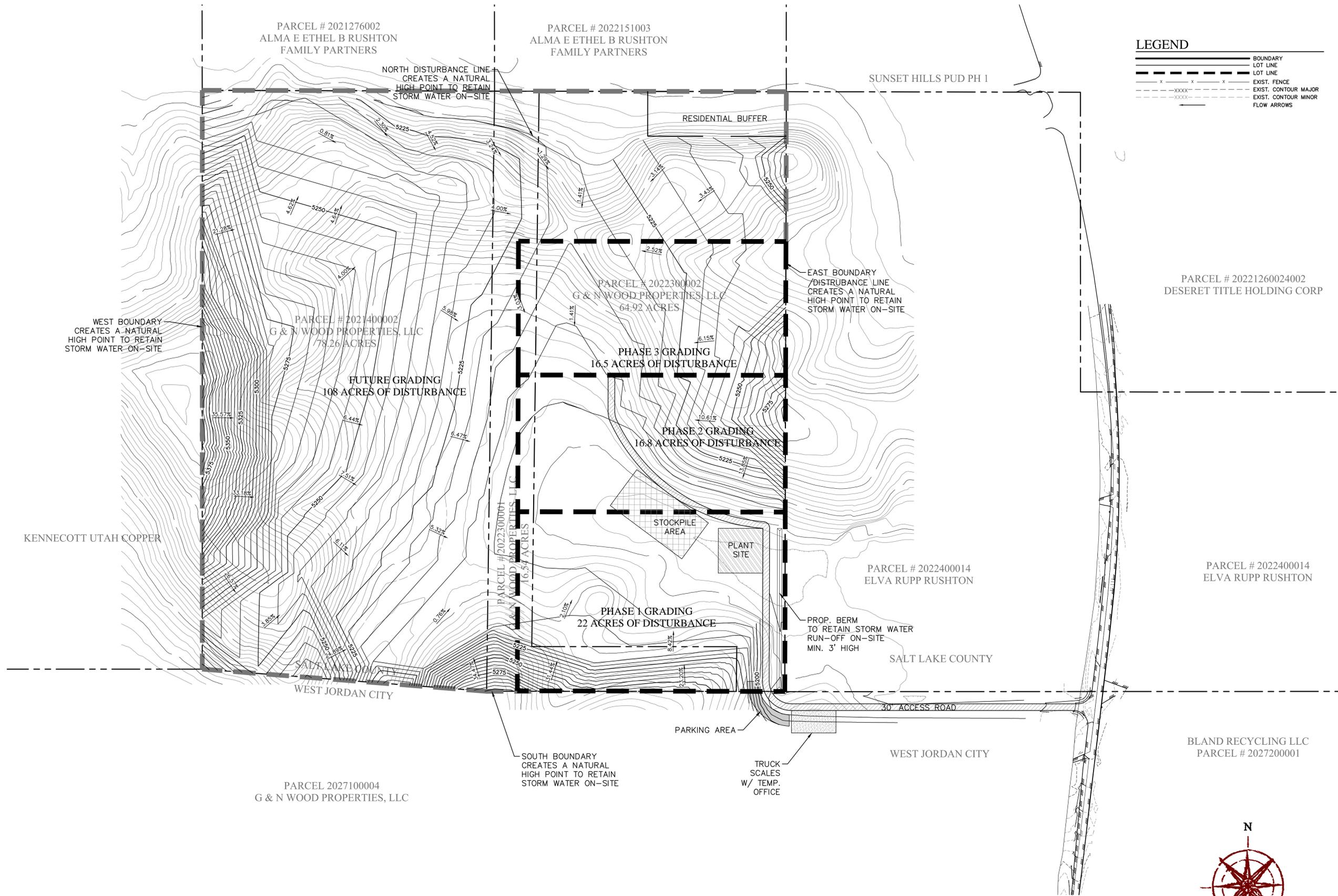


**GLEN WOOD GRAVEL PIT
GRADING PLAN**

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LEGEND

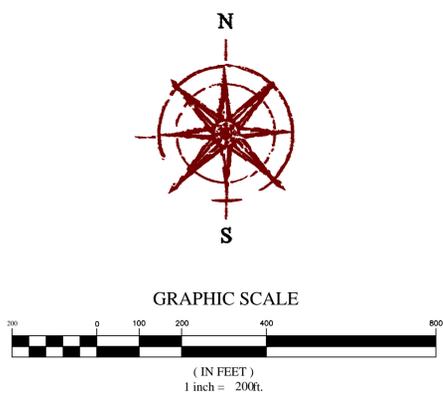
—	BOUNDARY
---	LOT LINE
-x-x-x-	EXIST. FENCE
-xxxx-	EXIST. CONTOUR MAJOR
-xxxx-	EXIST. CONTOUR MINOR
→	FLOW ARROWS

FOCUS
 ENGINEERING AND SURVEYING, LLC
 201 WEST COTTAGE AVENUE
 SANDY, UTAH 84070 PH: (801) 352-0075
 www.focusutah.com

PROFESSIONAL ENGINEER
 LICENSE NO. 343833-2202
 RONOLD A. PAUL
 STATE OF UTAH

**GLEN WOOD GRAVEL PIT
 DRAINAGE PLAN**

- DRAINAGE NOTES:**
1. ALL STORM WATER OF DISTURBED AREAS TO BE DIRECTED AND RETAINED ON-SITE.
 2. BERMS MAY BE REQUIRED TO RETAIN STORM WATER ON-SITE / CONTRACTOR TO DETERMINE IF ADDITIONAL BERMS ARE REQUIRED OTHER THAN WHAT IS SHOWN ON THIS PLAN.



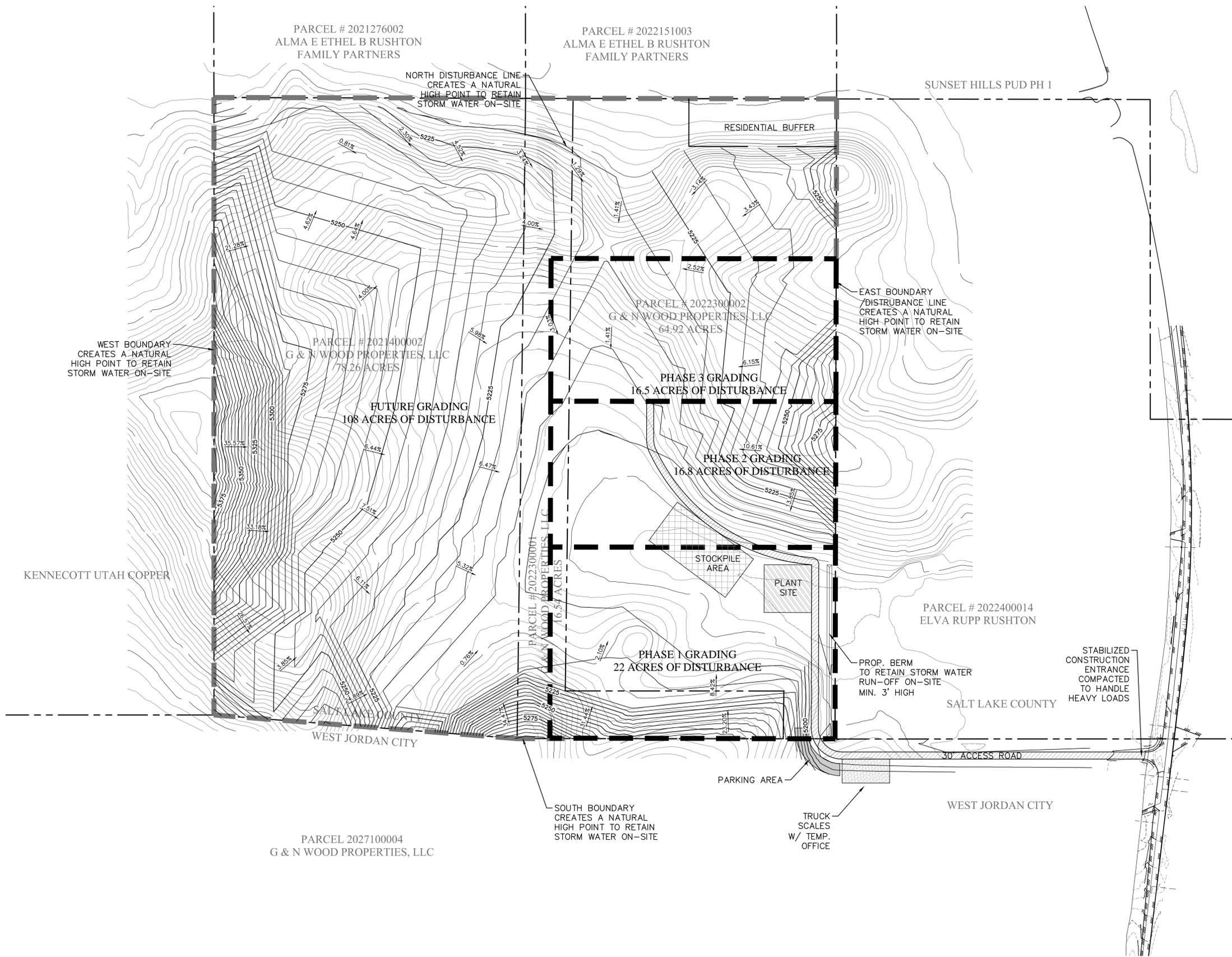
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DRAINAGE PLAN

Scale: 1"=200' Drawn: TMR
 Date: 11/30/2012 Job #: 11-004
 Sheet: **M3**

Z:_2011\11-004 Hadfield Glen Wood prop design 11-004.dwg Sheets\M3 Drainage Plan.dwg



SWPPP DATA:
 PROJECT LOCATION: NORTHING: 40°37'35" EASTING: 112°03'44"
 RECEIVING WATERS: NONE (STORM WATER TO BE RETAINED ON SITE)
 AREA AFFECTED:
 1. TOTAL PROJECT AREA IS 160 ACRES. AN ESTIMATED 160 ACRES WITHIN THE PROJECT LIMITS WILL BE DISTURBED WITH NEW CONSTRUCTION OR CONTRACTOR STORAGE ACTIVITIES.
 2. THERE IS NO KNOWN EXISTING DRAINAGE SYSTEM FOR THIS SITE AND THE STORM WATER FOLLOWS THE EXISTING DRAINAGE PATTERNS FLOWING FROM WEST TO EAST.
 3. EXISTING SITE GRADES RANGE FROM 1.0% TO 40.0%. THE PROPOSED GRADING FOLLOWS THE GENERAL DIRECTION OF THE EXISTING TOPOGRAPHY BUT WILL FLATTEN OUT THE SITE AND ELIMINATE STORM WATER RUNOFF FROM THE DISTURBED AREAS.
 4. THE INITIAL SITE IS APPROXIMATELY 0.0% IMPERVIOUS. THE FINISHED SITE WILL BE APPROXIMATELY 0.0% IMPERVIOUS.

CONSTRUCTION ACTIVITIES:
 1. THE PROJECT EXTENTS CONSIST OF EARTH MINING, PLANNED ACTIVITIES INCLUDE GRADING AND STABILIZATION OF THE ACCESS ROAD, GRADING AND INSTALLATION OF MINING FACILITIES, EARTH MINING AND OFF-HAULING MATERIAL. OBTAIN UPDES "NOI" PERMIT AND ANY OTHER REQUIRED STORM WATER PERMIT PRIOR TO THE BEGINNING OF CONSTRUCTION.
 2. INSTALL BMP'S ACCORDING TO THE PHASE OF CONSTRUCTION AS INDICATED IN THIS SWPPP.
 3. CONSTRUCTION ACTIVITIES WILL PROCEED AS FOLLOWS: ACCESS GRADING, ACCESS STABILIZATION, MINING FACILITIES CONSTRUCTION, EARTH MINING, AND OFF-HAULING MATERIAL. AS NEW DRAINAGE ELEMENTS ARE COMPLETED, CONTRACTOR SHALL IMPLEMENT THE USE OF PROPER BMP'S AS OUTLINED IN SECTION 3.5.1B IN THE UPDES PERMIT REGULATIONS.
 4. SITE STABILIZATION OF AREAS DISTRIBUTED BY CONSTRUCTION ACTIVITIES MUST BE FINISHED WITHIN 14 DAYS OF COMPLETION OF CONSTRUCTION AND PRIOR TO OBTAINING AN "NOI" PERMIT.
 5. CLEAR SITE OF NON-ESSENTIAL MATERIALS, UPON PROJECT COMPLETION AND OBTAINING "NOI" PERMIT, REMOVE TEMPORARY STORM WATER MEASURES AND PERFORM REQUIRED STORM DRAIN SYSTEM MAINTENANCE PRIOR TO RELEASE OF SYSTEM TO THE OWNER.

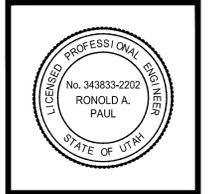
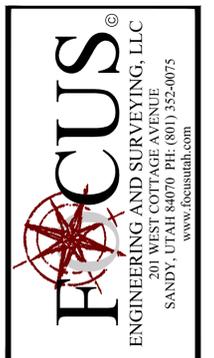
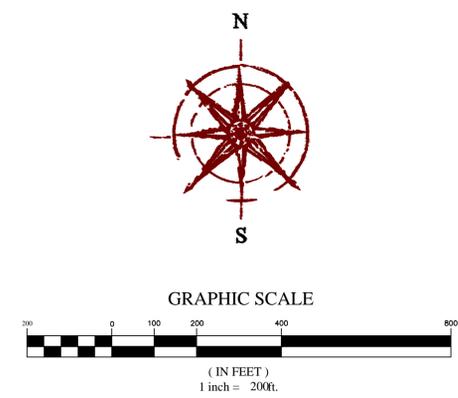
RUNOFF COEFFICIENTS OF DISCHARGE:
 1. THE EXISTING RUNOFF COEFFICIENT FOR THE PROJECT AREA IS ESTIMATED TO BE 0.15. THE PROPOSED RUNOFF COEFFICIENT WILL BE APPROXIMATELY 0.15 FOR THE PROPOSED IMPROVEMENTS.
 2. THERE WILL BE NO DISCHARGE FROM THIS SITE FROM THE DISTURBED AREAS AND THE DISCHARGE FROM THE NON DISTURBED AREAS WILL FOLLOW THE EXISTING OVERLAND FLOW DRAINAGE PATTERNS.

RE-VEGETATION NOTES:
 1. ALL DISTURBED AREAS SHALL BE RE-VEGETATED WITH NATIVE SEED MIX PER BMP; TEMPORARY AND PERMANENT SEEDING AND PLANTING (TPSP) SHOWN IN THE STORM WATER POLLUTION PREVENTION PLAN COMPLETED FOR THIS PROJECT.
 2. IN ALL AREAS WHERE GRADING DOES NOT OCCUR, THE VEGETATION SHALL BE PRESERVED PER BMP; PRESERVATION OF EXISTING VEGETATION (PEV).

GENERAL STORM WATER POLLUTION CONTROL NOTES:
 1. FOR INSTALLATION PROCEDURES, SEE SWPPP DETAIL BEST MANAGEMENT PRACTICES (BMP) SPECIFICATIONS IN SECTION 5.
 2. THE BMP'S AND SITE WILL BE MONITORED REGULARLY, ANY ADDITIONAL BMP'S THAT ARE NEEDED WILL BE DETERMINED DURING REGULAR INSPECTIONS AND INSTALLED ACCORDING TO SPECIFICATION. ANY CHANGES TO PROTECT BMP'S WILL NEED TO BE REFLECTED ON THE SWPPP MAP(S).
 3. SWPPP PLAN COMPILED FROM INFORMATION OBTAINED FROM MATERIAL.

PRODUCED BY: RON A. PAUL, P.E.
 201 WEST COTTAGE AVE.
 SANDY, UTAH 84070
 PH: (801) 352-0075

DRAINAGE NOTES:
 1. ALL STORM WATER OF DISTURBED AREAS TO BE DIRECTED AND RETAINED ON-SITE.
 2. BERMS MAY BE REQUIRED TO RETAIN STORM WATER ON-SITE/ CONTRACTOR TO DETERMINE IF ADDITIONAL BERMS ARE REQUIRED OTHER THAN WHAT IS SHOWN ON THIS PLAN.



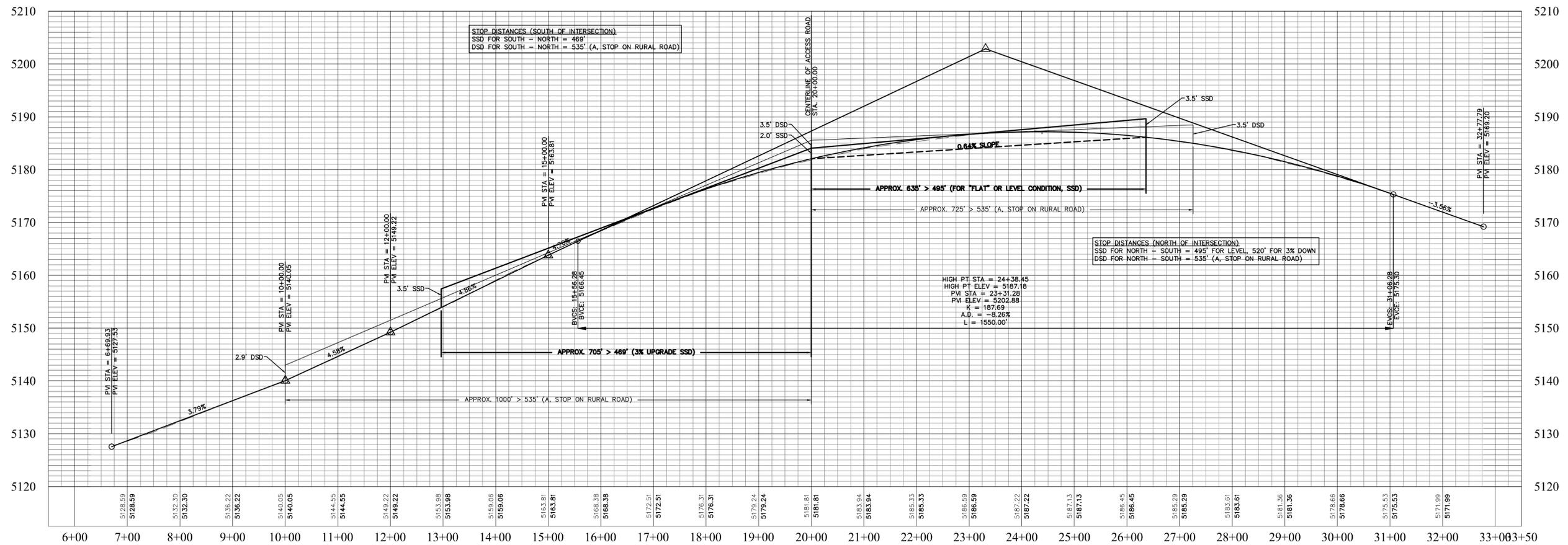
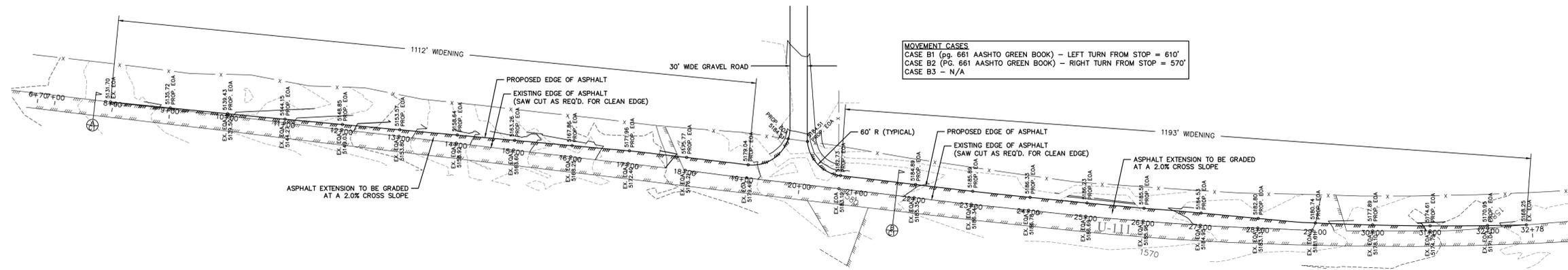
GLEN WOOD GRAVEL PIT
EROSION CONTROL PLAN

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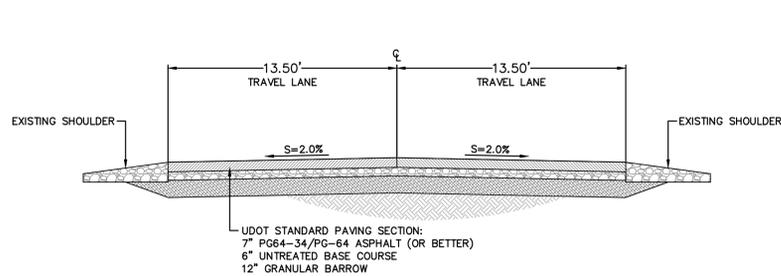
EROSION CONTROL PLAN

Scale: 1"=200' Drawn: TMR
 Date: 11/30/2012 Job #: 11-004
 Sheet: **M4**

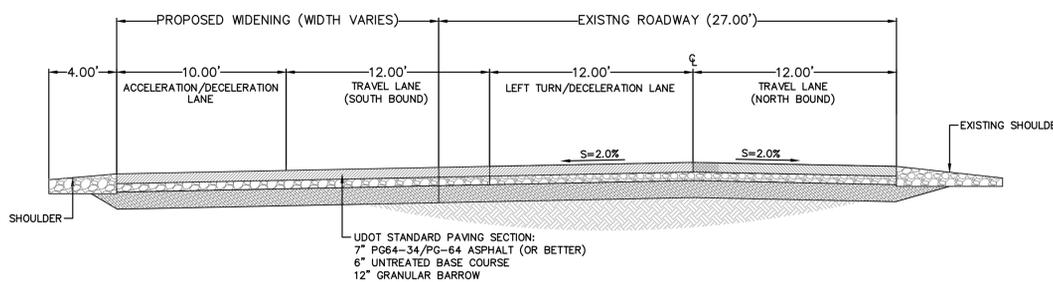
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U-111 PROFILE

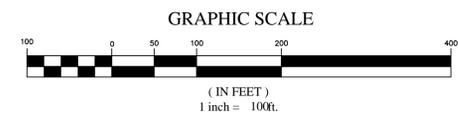


A - EXISTING U-111 ROAD SECTION - A
NTS - LOOKING NORTH



B - U-111 ROAD SECTION w/ ACCELERATION/DECELERATION LANE - B
NTS - LOOKING NORTH

NOTE:
THESE PLANS ARE CURRENTLY UNDER UDOT REVIEW FOR APPROVAL AND ARE SUBJECT TO CHANGE UNTIL FINAL APPROVAL IS GRANTED.



GLEN WOOD GRAVEL PIT
UDOT ACCESS PROPOSED IMPROVEMENTS

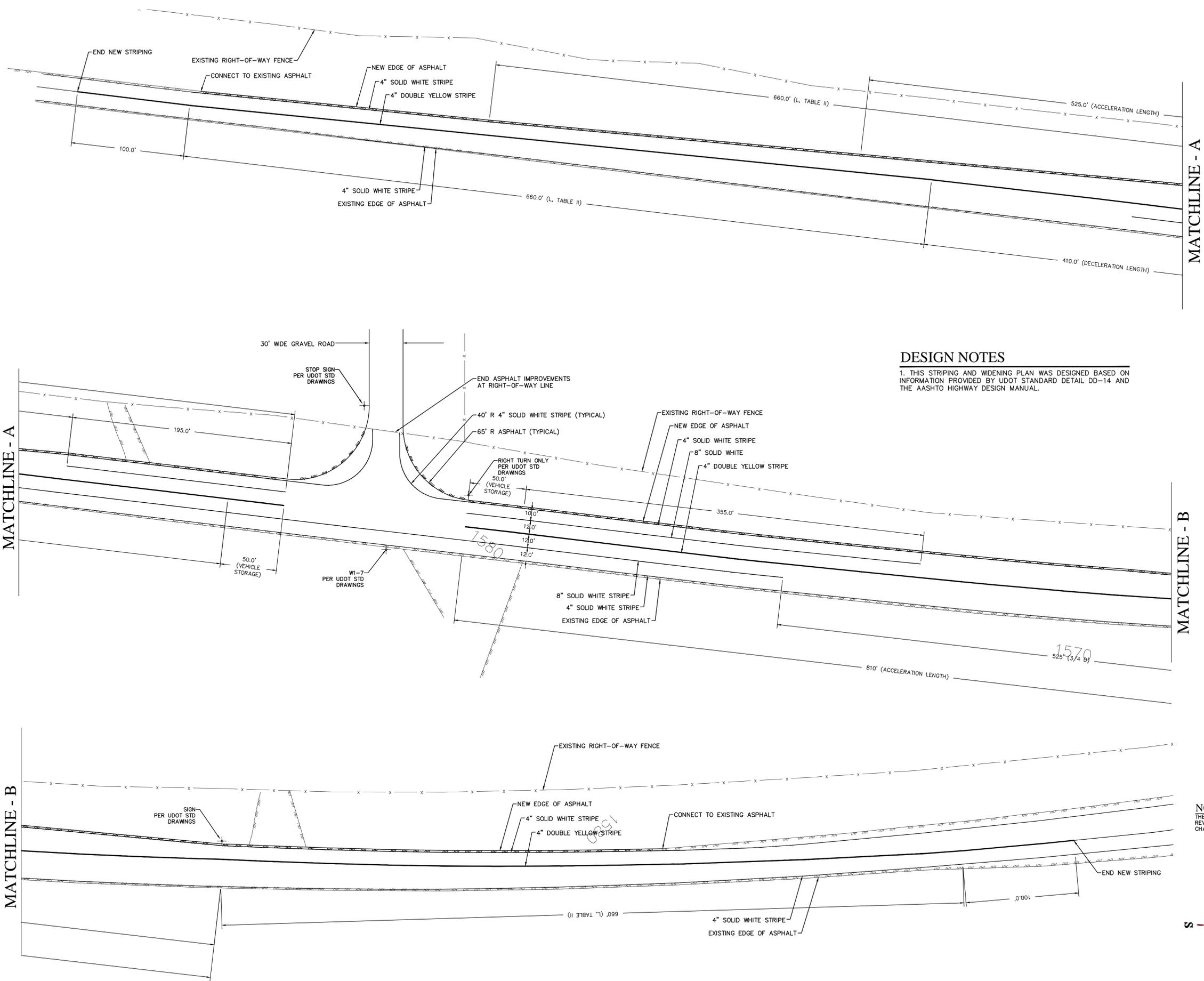
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UDOT ACCESS PROPOSED IMPROVEMENTS

Scale: 1"=100' Drawn: JSB
Date: 7/17/2012 Job #: 11-004
Sheet: **C1**

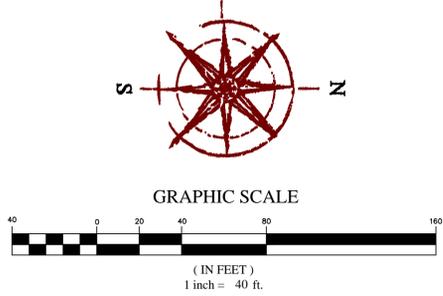


**GLEN WOOD GRAVEL PIT
 UDOT SIGNAGE AND STRIPING**



DESIGN NOTES
 1. THIS STRIPING AND WIDENING PLAN WAS DESIGNED BASED ON INFORMATION PROVIDED BY UDOT STANDARD DETAIL DD-14 AND THE AASHTO HIGHWAY DESIGN MANUAL.

NOTE:
 THESE PLANS ARE CURRENTLY UNDER UDOT REVIEW FOR APPROVAL AND ARE SUBJECT TO CHANGE UNTIL FINAL APPROVAL IS GRANTED.



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SIGNAGE AND STRIPING

Scale: 1"=40' Drawn: JSB
 Date: 7/17/2012 Job #: 11-004
 Sheet: **C2**

Z:_2011\11-004_Hadfield Glen_Wood_prop_Vesign_11-004_Veg_Sheets\C2_UDOT_Striping.dwg



STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	3	0	6	
Applicant Name:	Snowbird Ltd.	Request:	Subdivision						
Description:	Monte Cristo 7-lot Subdivision within Snowbird Resort Center								
Location:	8901 E. Little Cottonwood Canyon								
Zone:	FR-20 Forestry & Recreation	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not Applicable								
Staff Recommendation:	Continue								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

1.1.1 Proposal - The applicant is proposing a 7-lot, single-family subdivision on 7.5 acres. The proposed lots range in size from approximately 0.51 acres to 1.83 acres. Each lot is proposed to have a buildable area on slopes of 30% or less.

1.1.2 Access - The proposed access is an existing private right-of-way that crosses the subject property by easement providing access to one existing home to the west. The right-of-way is proposed to be widened and include a required emergency services turnaround. Five lots are proposed on the north side of the private road and two lots on the south side, between the private road and Little Cottonwood Canyon Road. All lots are proposed to be accessed from the private road.

1.1.3 Zoning & Master Plan - The subject property is zoned FR-20 and is located within the Snowbird Resort's Base Area. Being in the base area, it is subject to the approved *2006 Snowbird Ski and Summer Resort Base Area Master Plan Update and Revisions*. This plan established 3,089 maximum number of residential/lodging units within the base area. It also authorized the development of these lodging/residential uses anywhere within the base area, subject to FCOZ and other applicable regulations.

1.1.3 Reasons for Change - This application replaces a previous application 28040 Anna Claim cluster subdivision. This proposal is essentially the same subdivision as previously proposed, except the originally proposed Open Space has been eliminated. This was done at the request of Salt Lake City Public Utilities Watershed Management. The open spaces was being provided in order for the original subdivision to comply with FCOZ clustering and standard FR-20 zoning requirements. However, Watershed has issues with the County's clustering provisions as they relate to their service area boundary. The City's service area boundary includes the area where the lots are proposed, but does not include most of the open space that was proposed to be dedicated. This called into questions as to whether or not the City could/would provide water to a development that extended outside its service area, even if that extension was only open space. Watersheds concern mainly focused on the potential precedent that could be set if lands outside their service area were included in a development through the County's

FCOZ clustering provision. Even though the original proposal complied with County Ordinances, in order to address Watershed's concerns, the applicant withdrew the original application and submitted a new proposal under their 2006 approved master plan that did not require them to dedicate open space.

1.2 Geological Hazards Review Still In Process

The applicant has submitted the required information for Preliminary Plat review. Most of the reviewers, including Planning staff have completed their reviews. However, the County Grading Specialist and the County Hydrologist/Geologist, are still reviewing the the natural hazards related reports (Geotechnical, Avalanche and Rock Fall) and the associated proposed mitigation measures. It is anticipated that these reviews will be completed by the Commission's public meeting date, April 10, 2013. If so, staff will provide a follow up report, either verbal or in writing with staff's findings on the studies and recommendations for the project. However, if the reviews are not complete before the meeting, staff's recommendation is for a continuance. See 3.0 Staff Recommendations below.

1.3 County Planning Commission Action

This application is on the Commission's agenda for preliminary plat approval.

1.4 Neighborhood Response

As of the date of this writing staff has not received any comments from the surrounding neighbors, or other members of the public.

It is important to note that subdivision is a use by right under State Law. As such, while the preliminary plat must be reviewed and approved at a public meeting, it is not a public hearing. In addition, if the preliminary plat complies with ordinance requirements it must be approved. Since subdivision review by the Planning Commission is not a public hearing required notification is by posting the agenda only. Adjacent property owners are not mailed individual notices.

2.0 ANALYSIS

2.1 Applicable Ordinances

2.1.1 FR-20 Zone 19.12

Lot Width & Area - The proposed subdivision is located within the Snowbird Resort's Base Area and is subject to the approved *2006 Snowbird Ski and Summer Resort Base Area Master Plan Update and Revisions*. This plan approved 3089 total residential/lodging units (lodging rooms) within the resort's base area. The plan also authorizes all of the residential/lodging uses, which are allowed in the FR-20 and FM-20 zones, to be built anywhere within the approved Base Area boundary, regardless of the underlying zones' density provisions. Developments are still subject to compliance with Foothills and Canyons Overlay Zone (FCOZ) regulations and other applicable requirements such as watershed, health and natural hazards.

The total number of "lodging rooms" that will be deducted from the resorts allowed maximum will be determined during the FCOZ review process for each home. Each homes "lodging room" count will be based on the homes design. The homes are intended to be single family homes, however, if there design allows for separation into individual lock-out "lodging rooms", the count per home may be more than one. The resort currently is well below the approved number of units, and this proposal will not exceed the total number of units allowed.

Use - The proposed use of the lots for Single-Family Dwellings is a permitted use in the FR-20 zone. Though not currently proposed or anticipated, separate lock-out lodging rooms could be possible depending on each homes design.

2.1.2 Geological Hazards Ordinance 19.75

The site is identified in a Rock Fall Hazard Area and an Avalanche Area. Required reports and proposed mitigation measures have been provided by the applicant and are under review by applicable County Staff as of this writing. See section 1.2 of this staff report above for further information.

2.1.2 FCOZ Ordinances 19.72 & 19.73

Slope Protection Standards - According to the Grading Specialist, the proposed subdivision complies with slope protection standards. Subdivision development, improvements, and lot buildable areas are on native slopes 30% or less, or on man made slopes that are allowed to be re-disturbed.

Grading Standards - The Grading Specialist has indicated that the proposed grading plans comply with FCOZ grading standards and development design standards.

Streets/Roads & General Site Access - The proposed access road complies with County Transportation Standards and Unified Fire Authority Standards. UDOT is in the process of final review of the plans and is anticipated to issue an approval of the proposal shortly. However, this has not yet been received. It is important to note that due to the small number of lots the County Transportation Engineer and UDOT have not required a transportation study. The amount of traffic generation anticipated from this project is not expected to impact traffic along Little Cottonwood Canyon Road in a manner that would warrant a study and possible mitigation measures over and above a standard design.

Driveways - The applicant has provided a preliminary study for each driveway access to verify that the building areas can be reasonably accessed from the private road, in compliance with FCOZ requirements. Final analysis of the driveways will occur during the required individual FCOZ review for each home.

Trail Access - There are no planned trails through the proposed lots. There is an easement for Avalanche Control (GasX) installation and maintenance that is provided for on the plat. The proposed subdivision does not restrict access to areas open to the public.

Fencing - There are no fences proposed with the subdivision. There are some retaining walls that may also function as an entry feature. Any fencing proposed for the individual lots will be reviewed for compliance with FCOZ standards during the individual FCOZ review for each home. Wildlife movements and habitat protection are issues of consideration during that process.

Tree and Vegetation Protection - The lots' buildable areas have been located to minimize impact to mature trees. FCOZ allows disturbance limited to between 10,000 and 18,000 sq. ft. per lot. An existing tree and vegetation plan is required as part of the review for each home and will be verified for compliance during the individual home approval process. Any trees that must be removed must also be replaced by FCOZ regulations.

Stream Corridor and Wetlands Protection - There are no perennial or ephemeral streams or wetlands within the proposed developable areas of the subdivision. In addition, the applicant has provided a study verifying that there are no wetlands on the site. Salt Lake City Public Utilities/Watershed Management and Salt Lake Valley Health Department have reviewed the site and information provided by the applicant and have approved the project as proposed for watershed compliance. The Army Corps of Engineers has also signed off indicating that there are not protected wetlands or streams running through the property.

Wildlife Habitat Protection - The area is part of the summer range for deer and other wildlife. Development will have some impact over the current undeveloped condition of the site. However, the proposed subdivision's layout and design will help to reduce the potential impact. Larger lots, limited buildable areas, close proximity to the highway and minimal, short, open and or no fences are all best practices when developing in a wild land area. Homeowners will need to be sensitive to their mountain

location when considering landscaping materials, revegetation and fencing. The free flow of movement by wildlife is not restricted by the way the subdivision laid out and limiting fencing and planting appropriate plant materials will further reduce impacts on the wildlife.

Establishing LOD - In establishing limits of disturbance for the proposed subdivision improvements, the project complies with the applicable criteria. Each lot will go through a separate required FCOZ review at the time of proposed home development where a more detailed evaluation for a specific each home plan will occur. The LOD criteria will be applied again at this stage.

2.2 Subdivision Requirements

The proposed Preliminary Plat appears to comply with all subdivision requirements that can be verified at this time. As noted previously, the Geological Hazards are still being evaluated and final approval from UDOT has not been completed. Other than these two issues, staff has verified compliance with applicable ordinances or the ability to comply with completion of the final plans for Final Plat approval.

2.3 Other Agency Recommendations or Requirements

2.3.1 Completed Reviews & Recommendations

The following reviewers have completed their reviews have issued recommendations of approval or approval with conditions to be addressed during final plat review with staff or during construction:

Salt Lake Valley Health Department - Conditional Approval, subject to compliance with watershed best practices and requirements as recommended by Salt Lake City Watershed Management.

Salt Lake City Public Utilities/Watershed Management - Conditional Approval subject to compliance with watershed management best practices and requirements as proposed. They have also confirmed that the Service District No. 3 has capacity for culinary water and and sanitary sewer connections for each of the proposed lots.

Salt Lake Service Area No. 3 - The water and sewer provider has provided a letter indicating water and sewer connections are available to the project as proposed.

Army Corps of Engineers - The Army Corps has issued a letter indicating that based on the information provided by the applicant that no wetlands or streams under its jurisdiction are located within the project.

County Engineering Subdivision Boundary Check and Improvements Review - Conditional approval subject to final improvements required by Hydrology, UFA and UDOT and posting of final bonds.

County Traffic Engineer - Conditional Approval subject to UDOT final approval.

County Sanitation (Trash Removal) - Snowbird is not serviced by County Sanitation. Trash Pick-up for each home will need to be provided by private contractor, which is the case for all properties in Little Cottonwood Canyon, including Snowbird and the Town of Alta. Each home owner will need to contract with the private trash removal company in the canyon for their removal.

2.3.2 Status of Outstanding Reviews

UDOT - Preliminary review is complete, Final review and approval anticipated shortly, but not yet received.

County Grading Specialist - Grading issues are in compliance. Still reviewing Geological Hazards Reports and proposed mitigation measures with County Geologist. Complete review anticipated by the time of the Commission meeting.

County Hydrologist/Geologist - Preliminary drainage review completed with no major issue identified. Still reviewing final drainage plans. Also still reviewing Geological Hazards Reports and proposed

mitigation measures with Grading Specialist. Complete review anticipated by time of the Commission meeting.

Planning - Planning review complete. Planning items appear to be in compliance. However, unable to formalize recommendations until all reviews are completed. These reviews may have impact on Planning issues and recommendations.

2.4 Other Issues

As previously noted through out this report, there are a number of requirements for development in FCOZ that will need to be verified at the time the individual homes apply for development. The FCOZ review for these homes will address in more detail the applicable regulations regarding revegetation, tree protections, screening, etc. The subdivision itself complies with all the requirements that have been verified to this point, except for the Geological Hazard requirements still under review.

If the Preliminary Plat is approved, a number of issues such as bonding, final engineering plans, final revegetation plans etc. will need to be provided before the Final Plat can be approved and released for recording. This is part of the standard Final Plat approval processed.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends the proposed Subdivision be CONTINUED to the meeting scheduled for May, 15, 2013 .

3.2 Reasons for Recommendation

- 1) Final reviews and recommendations regarding the Geological Hazards Reports pertaining to Rock Fall, Avalanche and Geotechnical issues and their associated proposed mitigation measures are still in process. It has yet to be determined whether or not that the studies and mitigation measures comply with County standards and appropriate safety requirements.
- 2) A UDOT final approval has not been received.

3.3 Other Recommendations

Regardless of the disposition of the Geological Hazards Analysis and the UDOT final approval, staff would recommend that the commission begin the review of the application at the meeting. Staff recommends that the Commission hear from staff, the applicant and anyone else present at the meeting that wishes to speak to the matter. Depending upon the disposition of the outstanding reviews and recommendations, the Commission can decide whether or not to take action on the application at the meeting or continue.



Fri Nov 2 2012 04:00:31 PM.

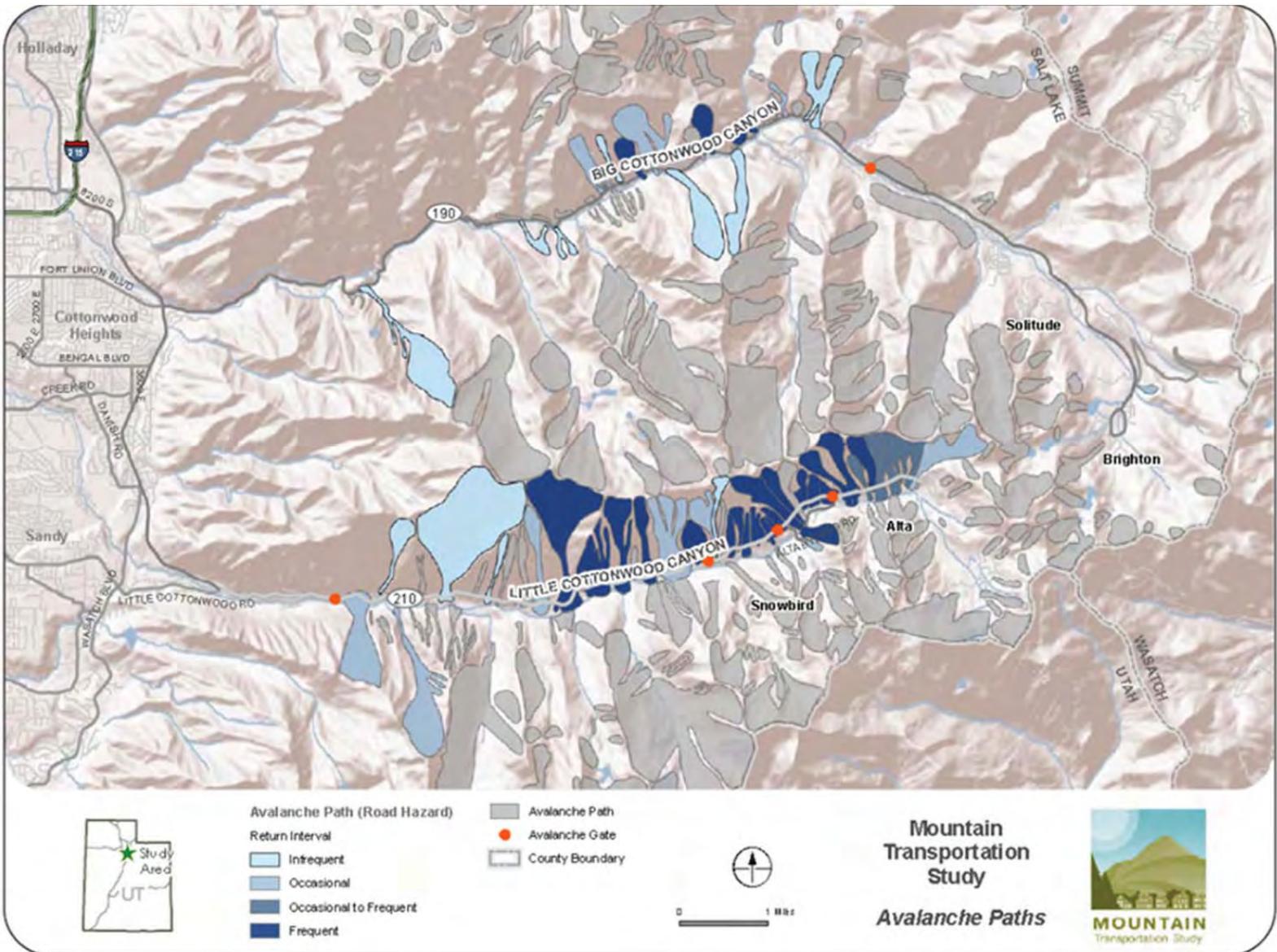


Figure 5: Cottonwood Canyons Avalanche Paths

Information obtained from the ADRC, U.S. Forest Service, and other sources.

ANNA-MONTE CRISTO SUBDIVISION

LOCATED IN
THE EAST HALF OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 3 EAST, SLB&M
SALT LAKE COUNTY, UTAH

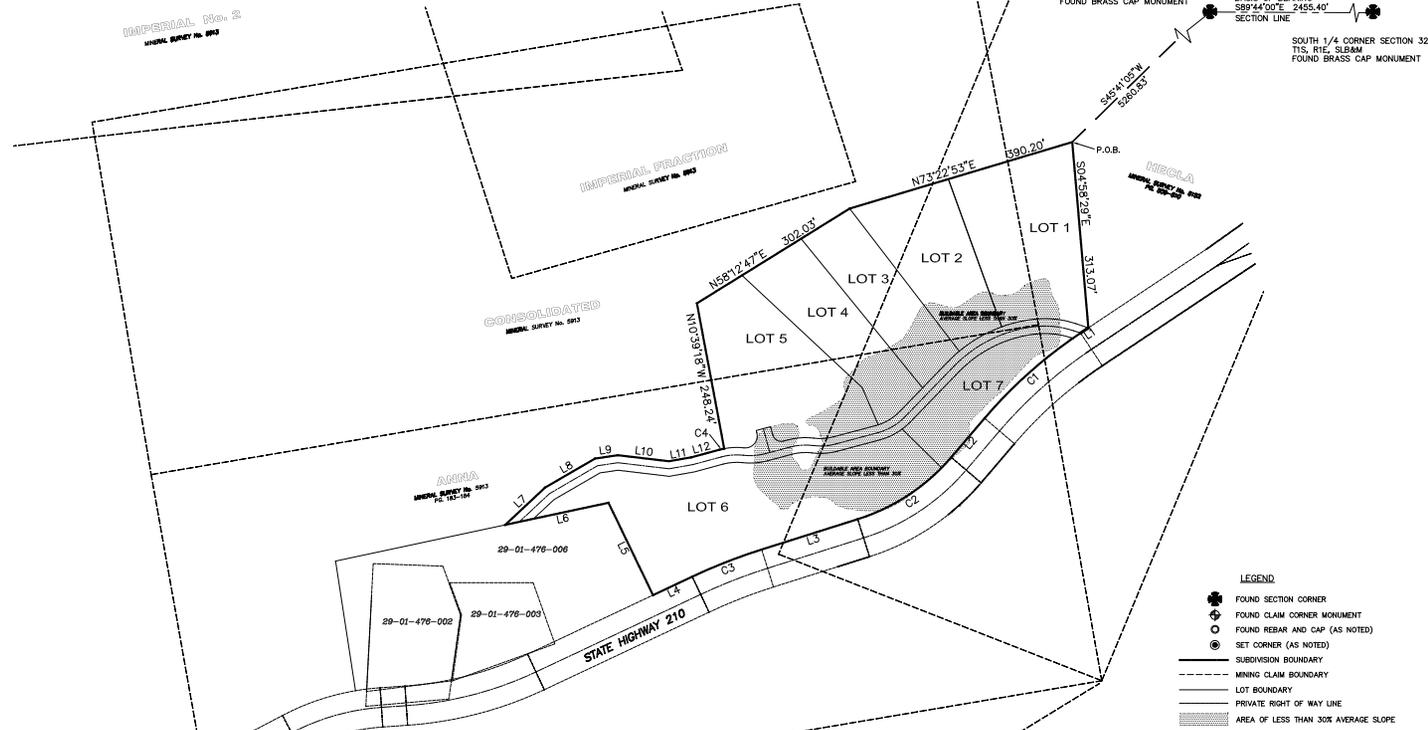
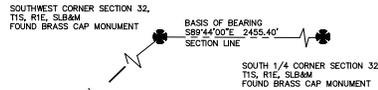


IMPERIAL No. 2
MINERAL SURVEY No. 5913

IMPERIAL FRACTION
MINERAL SURVEY No. 5913

CONSOLIDATED
MINERAL SURVEY No. 5913

ANNA-MONTE CRISTO
MINERAL SURVEY No. 5913



- LEGEND**
- FOUND SECTION CORNER
 - FOUND CLAIM CORNER MONUMENT
 - ⊕ FOUND REBAR AND CAP (AS NOTED)
 - ⊙ SET CORNER (AS NOTED)
 - SUBDIVISION BOUNDARY
 - MINING CLAIM BOUNDARY
 - LOT BOUNDARY
 - PRIVATE RIGHT OF WAY LINE
 - ▨ AREA OF LESS THAN 30% AVERAGE SLOPE

LINE	LENGTH	BEARING
L1	15.79'	S56°20'22\"W
L2	86.29'	S40°01'18\"W
L3	169.22'	S72°22'47\"W
L4	72.88'	S44°48'22\"W
L5	172.14'	N22°46'22\"W
L6	177.37'	S72°26'57\"W
L7	91.91'	N26°24'30\"E
L8	87.12'	N59°31'50\"E
L9	38.56'	N87°32'40\"E
L10	86.54'	S81°14'18\"E
L11	38.06'	N82°07'18\"E
L12	48.71'	N72°50'20\"E
L20	12.58'	N71°28'39\"W
L21	112.21'	S44°30'28\"W
L22	73.06'	N73°00'29\"E
L23	42.38'	N73°00'29\"E
L24	49.97'	N73°00'29\"E
L25	40.46'	N80°01'18\"E
L26	86.71'	S81°14'18\"E
L27	34.60'	N81°32'40\"E
L28	83.31'	N26°21'50\"E
L29	69.32'	N26°24'30\"E
L30	41.50'	S14°58'31\"E

NOTES:
A SCenic VIEW EASEMENT GRANTED TO IAN CUMMING COVERS A PORTION OF THIS SUBDIVISION. SAID EASEMENT AGREEMENT IS RECORDED IN BOOK AT PAGE . . . ACCESS TO THE TAX PARCELS 29-01-476-002, 29-01-476-003, & 29-01-476-006 IS PERMITTED THROUGH THE USE OF THE PRIVATE ROAD AND 25' RIGHT OF WAY. SEE GRANT OF EASEMENT BOOK . . . PAGE . . . ACCESS TO LOTS 3 AND 7 IS ALLOWED ONLY FROM THE PRIVATE ROAD. ACCESS VIA HIGHWAY 210 IS PROHIBITED.

THE FIRE TURNAROUND AND 20' WIDE TRAVEL SURFACE ALONG THE ACCESS ROAD MUST REMAIN OPEN AND ACCESSIBLE AT ALL TIMES.

Aviation and other natural hazards may be present. All structures must be constructed strictly in accordance with recommendations included in the following reports: "Aviation Hazard Report (Harrison, 2013)" and "Flood Risk Analysis Report (ARC, 2017)". Refer to Chapter 19.75, Salt Lake County Code of Ordinances. All design and construction must meet, at a minimum, Snowbird's design and construction standards and is subject to review and approval by Snowbird, Salt Lake County Ordinance requires compliance with canyon road closures and interlock protocols, to maintain safety during high altitude hazard periods.

New homes will require land use approval subject to the requirements for construction in the Foothills and Canyons Overlay Zone (FCOZ, Chapter 19.72 and 19.73 of Salt Lake County Code of Ordinances) or current County zoning ordinance. This is in addition to the building permit process.

OWNER & SUBDIVIDER
SNOWBIIRD SKI AND SUMMER RESORT
9500 E. LITTLE COTTONWOOD CANYON ROAD
SALT LAKE COUNTY, UTAH



SHEET 1 OF 2

SURVEYOR'S CERTIFICATE:
I, Russell E. Campbell, do hereby certify that I am a Professional Land Surveyor and that I hold Certificate No. 316833 as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots, hereinafter to be known as

ANNA-MONTE CRISTO SUBDIVISION

and that same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet the frontage and area requirements of the applicable zoning ordinance.

Russell E. Campbell _____ Date _____

LEGAL DESCRIPTION
Beginning at a point South 45°41'05\"/>

OWNER'S DEDICATION AND CONSENT TO RECORD
Know all men by these presents: That the owners of the hereon described tracts of land, hereby cause the same to be divided into lots and private streets, as set forth in this plat, hereafter to be known as "ANNA-MONTE CRISTO SUBDIVISION".

Executed this ____ day of _____, 2013.

XXXXX, SNOWBIIRD REPRESENTATIVE

ACKNOWLEDGMENT
State of Utah
County of Salt Lake

On this ____ day of _____, 2012, personally appeared before me,

the signers of the above Owner's Dedication, _____ in number, who duly acknowledged to me that they signed it freely and voluntarily and for the purposes therein mentioned.

Notary Public
Residing at: _____
My commission expires: _____

ANNA - MONTE CRISTO SUBDIVISION

8955 EAST LITTLE COTTONWOOD CANYON ROAD

LOCATED IN
THE EAST HALF OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 3 EAST, SLB&M
SALT LAKE COUNTY, UTAH

PREPARED BY

BASELINE SURVEYING, Inc

1060 East 2100 SOUTH
Salt Lake City, UT 84106 (801) 209-2152

UTILITIES STREET AND ADDRESS FRONTAGE APPROVED

DATE _____ SIGNED _____

CHECKED FOR ZONING COMPLIANCE

Zone: _____ Lot Area: _____

Lot Width: _____ Front Yard: _____

Side Yard: _____ Rear Yard: _____

Date _____ Signature _____

PLANNING COMMISSION

APPROVED THIS _____ DAY OF _____ A.D. 20____ BY THE SALT LAKE COUNTY PLANNING COMMISSION.

CHAIR, SALT LAKE CO. PLANNING COMMISSION _____

HEALTH

APPROVED THIS _____ DAY OF _____ A.D. 20____

SALT LAKE VALLEY HEALTH DEPT. _____

PLANNING & DEVELOPMENT SERVICES DIVISION

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE _____ ENGINEERING SECTION MANAGER _____

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D. 20____

SALT LAKE COUNTY DISTRICT ATTORNEY _____

MAYOR

PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.

MAYOR OR DESIGNEE _____

RECORDED #

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF

DATE _____ TIME _____ BOOK _____ PAGE _____

FEE \$ _____ SALT LAKE COUNTY RECORDER _____

ANNA-MONTE CRISTO SUBDIVISION

LOCATED IN
THE EAST HALF OF SECTION 6,
TOWNSHIP 3 SOUTH, RANGE 3 EAST, SLB&M
SALT LAKE COUNTY, UTAH

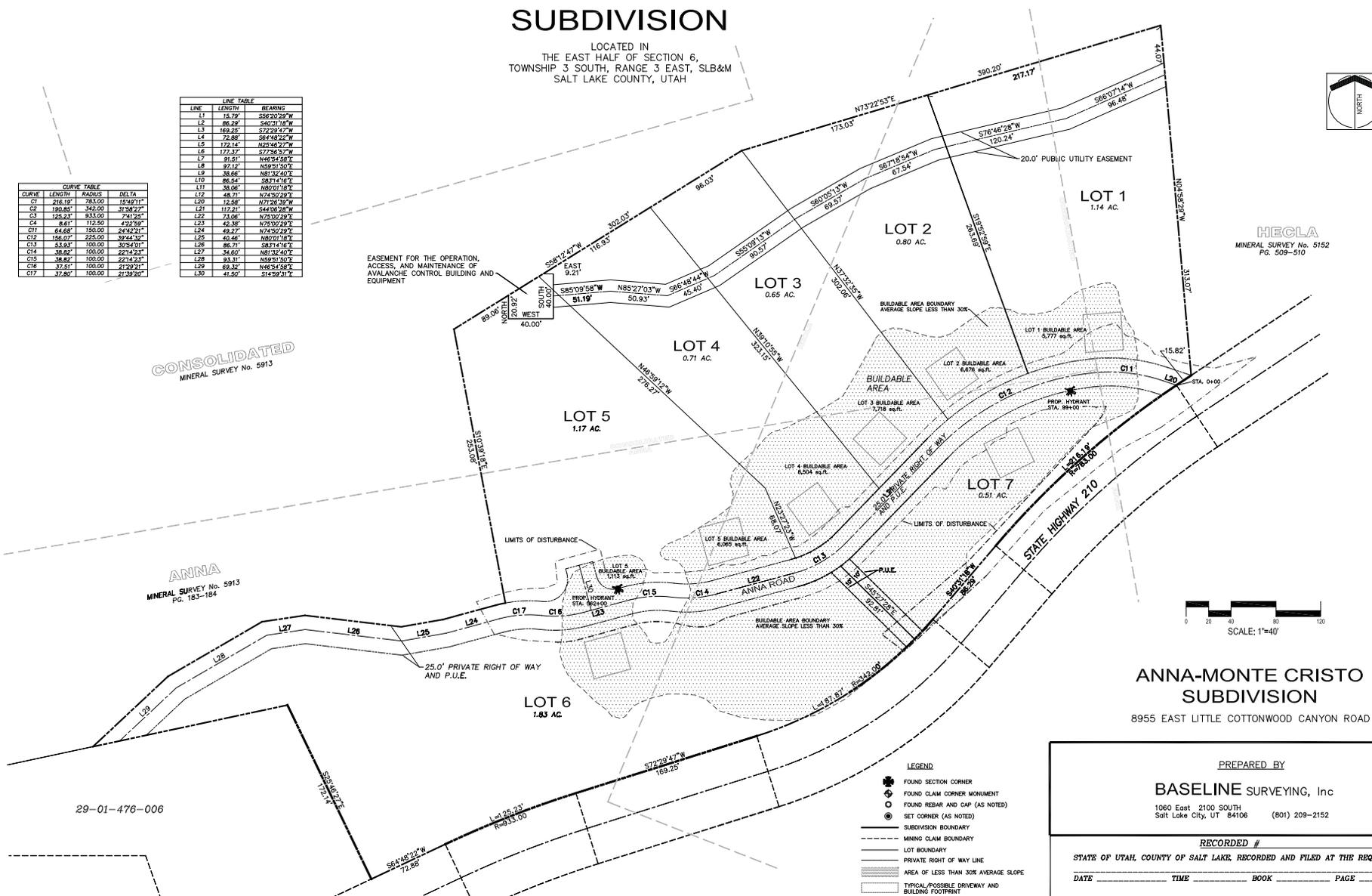
CURVE	LENGTH	RADIUS	DELTA
C1	216.19'	783.00'	19.8911°
C2	190.85'	342.00'	31.3622°
C3	128.23'	933.00'	7.4128°
C4	6.61'	112.50'	4.2259°
C11	64.68'	150.00'	24.4221°
C12	156.07'	225.00'	39.4456°
C13	53.93'	100.00'	30.5401°
C14	38.82'	100.00'	22.1423°
C15	38.82'	100.00'	22.1423°
C16	37.61'	100.00'	21.2921°
C17	37.80'	100.00'	21.3920°

LINE	LENGTH	BEARING
L1	16.79'	S85°20'29"W
L2	86.29'	S40°31'18"W
L3	169.25'	S72°29'47"W
L4	72.68'	S64°19'22"W
L5	172.14'	N23°46'27"W
L6	173.37'	S72°29'47"W
L7	91.61'	N46°54'58"E
L8	97.12'	N59°21'30"E
L9	38.66'	N81°35'40"E
L10	86.54'	S87°41'16"E
L11	38.06'	N80°01'16"E
L12	48.71'	N74°50'29"E
L13	76.56'	N71°26'30"W
L14	117.21'	S45°09'28"W
L15	73.06'	N75°00'29"E
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L23	41.50'	S14°59'31"E

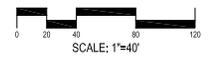
CONSOLIDATED
MINERAL SURVEY No. 5913

ANNA
MINERAL SURVEY No. 5913
Pg. 183-184

29-01-476-006



HECLA
MINERAL SURVEY No. 5152
PG. 509-510



**ANNA-MONTE CRISTO
SUBDIVISION**
8955 EAST LITTLE COTTONWOOD CANYON ROAD

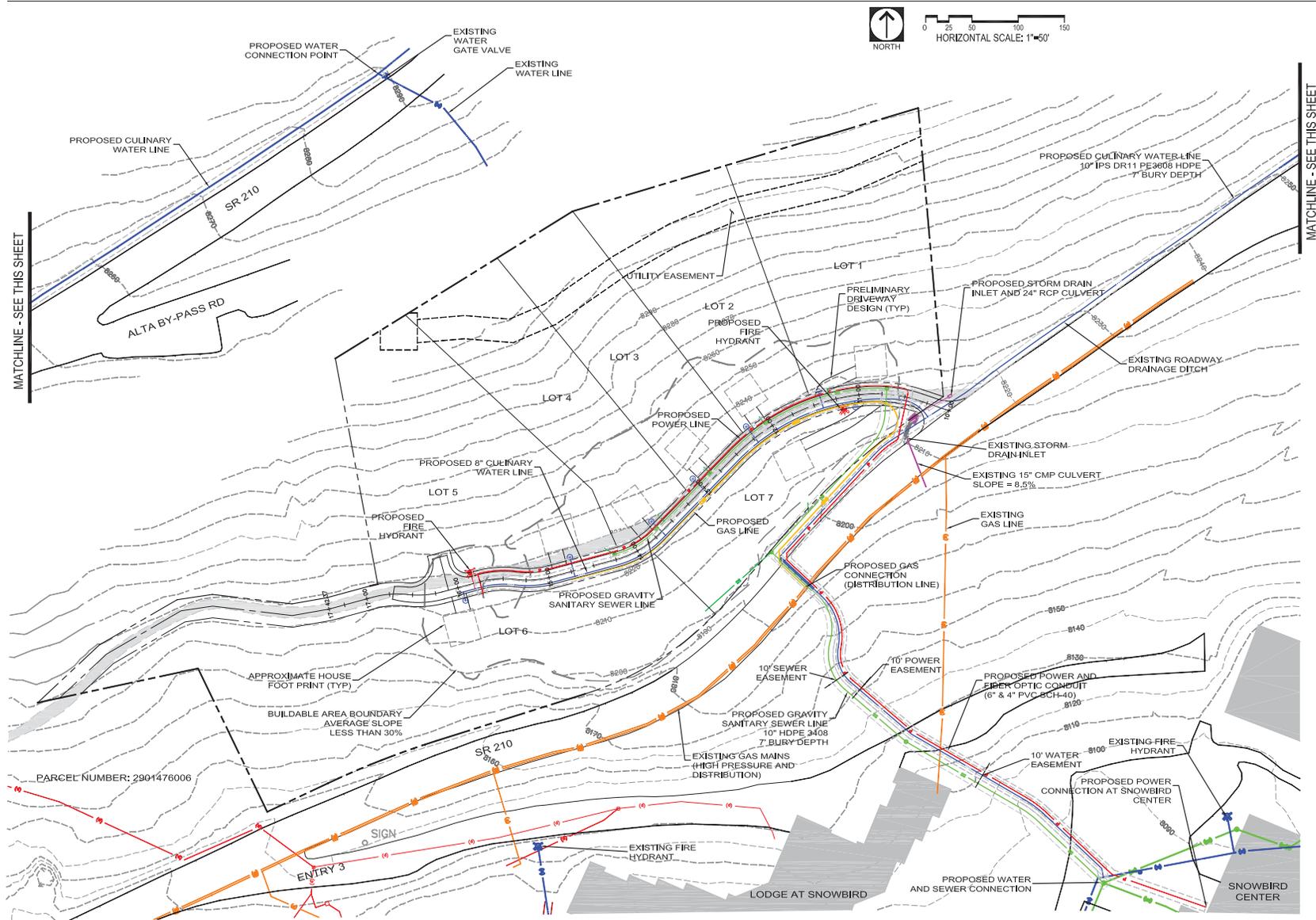
- LEGEND
- FOUND SECTION CORNER
 - ⊕ FOUND CLAIM CORNER MONUMENT
 - FOUND REBAR AND CAP (AS NOTED)
 - SET CORNER (AS NOTED)
 - SUBDIVISION BOUNDARY
 - MINING CLAIM BOUNDARY
 - LOT BOUNDARY
 - PRIVATE RIGHT OF WAY LINE
 - AREA OF LESS THAN 30% AVERAGE SLOPE
 - TYPICAL/POSSIBLE DRIVEWAY AND BUILDING FOOTPRINT

PREPARED BY
BASELINE SURVEYING, Inc
1960 East 2100 SOUTH
Salt Lake City, UT 84106 (801) 209-2152

RECORDED #
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF
DATE _____ TIME _____ BOOK _____ PAGE _____

FEE \$ _____ SALT LAKE COUNTY RECORDER

path: \\M:\03_MDS\01_Eng\1144_Snowbird\file names\Area Plans\030901.dwg | plot date: February 05, 2013 | plotted by: cclinton



MATCHLINE - SEE THIS SHEET
MATCHLINE - SEE THIS SHEET

NORTH

HORIZONTAL SCALE: 1"=50'

PROPOSED WATER CONNECTION POINT

EXISTING WATER GATE VALVE

EXISTING WATER LINE

PROPOSED CULINARY WATER LINE

SR 210

ALTA BY-PASS RD

UTILITY EASEMENT

LOT 1

PRELIMINARY DRIVEWAY DESIGN (TYP)

PROPOSED STORM DRAIN INLET AND 24" RCP CULVERT

EXISTING ROADWAY DRAINAGE DITCH

PROPOSED CULINARY WATER LINE 10" IPS DR11 PE3608 HDPE 7' BURY DEPTH

LOT 2

PROPOSED FIRE HYDRANT

LOT 3

PROPOSED POWER LINE

LOT 4

PROPOSED 8" CULINARY WATER LINE

LOT 5

PROPOSED FIRE HYDRANT

LOT 7

PROPOSED GAS LINE

EXISTING STORM DRAIN INLET

EXISTING 15" CMP CULVERT SLOPE = 6.5%

EXISTING GAS LINE

PROPOSED GAS CONNECTION (DISTRIBUTION LINE)

PROPOSED GRAVITY SANITARY SEWER LINE

LOT 6

APPROXIMATE HOUSE FOOT PRINT (TYP)

BUILDABLE AREA BOUNDARY AVERAGE SLOPE LESS THAN 30%

SR 210

10' SEWER EASEMENT

10' POWER EASEMENT

PROPOSED POWER AND FIBER OPTIC CONDUIT (6" & 4" PVC SCH-40)

EXISTING FIRE HYDRANT

EXISTING FIRE HYDRANT

PROPOSED POWER CONNECTION AT SNOWBIRD CENTER

10' WATER EASEMENT

PROPOSED WATER AND SEWER CONNECTION

LODGE AT SNOWBIRD

SNOWBIRD CENTER

PARCEL NUMBER: 2901476006

ENTRY 3

SIGN

DATE: FEBRUARY 5, 2013

DESIGN BY: KJM/BRG

DRAWN BY: KJM/BRG

REVIEW BY:

PROJECT NO:

ISSUE: SALT LAKE COUNTY SUB.

REVISIONS:

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Mountain Land Development Services, LLC

2000 South 2000 West, Suite 100

Provo, UT 84601

Phone: (801) 734-1111

www.mountainlanddevelopment.com

MULHOLLAND DEVELOPMENT SOLUTIONS

1000 South 2000 West, Suite 100

Provo, UT 84601

Phone: (801) 734-1111

www.mulhollanddevelopment.com

DATE: FEBRUARY 5, 2013

DESIGN BY: KJM/BRG

DRAWN BY: KJM/BRG

REVIEW BY:

PROJECT NO:

ISSUE: SALT LAKE COUNTY SUB.

REVISIONS:

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SHEET TITLE:

OVERALL SITE & UTILITY PLAN

SHEET NUMBER:

01

Factors Mitigating Potential Avalanche Hazards

Little Cottonwood Canyon/Snowbird

Service Area No. 3 and Anna (Monte Cristo) Subdivision at Snowbird- Meeting w/ SL County 2/25/2013

There are unique circumstances in Little Cottonwood Canyon that should be considered, *in addition* to an avalanche hazard modeling analysis, in evaluating whether a proposed development provides reasonable protection from the risk of avalanche hazards. These include site design, structural mitigation of buildings, and long-standing practices for highway avalanche control, UDOT road closures, Interlodge protocols, etc. that provide a higher level of safety and reduce the risk to people outside of buildings. These additional external factors, described in more detail below, should be considered (at least for the Little Cottonwood area including the Snowbird Resort Base Area to the Town of Alta) as favorably modifying the County's red zone /blue zone categories.

A. Factors Mitigating Building in Avalanche Hazard Areas:

1. **Location & Siting.** Siting the structure where it is protected by either natural or engineered features that reduce the impact forces. In the case of the Service Area building, the location of the structure may be in a 'red zone' but the building is protected from the actual impact of avalanches on most of its 3 sides. On the north side, there is a natural rock outcropping; the eastern portion is buried below grade, and a graded berm is proposed to protect the south side. The roof is planned to be sloped to reduce direct impact forces. A portion of the north side and the front of the structure may experience higher impact forces; those exposed portions will be appropriately designed & engineered (see below).

2. **Design, Engineering & Construction Practices-** Using specialized methods of engineering & construction allows buildings to tolerate avalanche impact forces well in excess of the 600 psf threshold used to define a 'red zone' in Mear's and in Swiss avalanche restrictions. Mear's document is nearly 20 years old. It may be appropriate for local government to evaluate the risks and proposed construction methodology, along with other factors, and allow owners to construct buildings to withstand anticipated design-level forces, in appropriate circumstances. However, the oversight of the building permit process should ensure that the specified design, engineering and construction is executed and inspected as specified, and that work is performed by licensed and/or highly qualified contractors.

3. **The Town of Alta** requires that buildings be constructed to withstand anticipated avalanche impact forces. The Town of Alta does not prohibit building in avalanche hazard areas.

4. **Siting, Design, Engineering and Construction practices that account for the avalanche hazard have been demonstrated, thus far, in Little Cottonwood Canyon, to minimize damage from avalanches.**

B. Factors Mitigating Risk of Exposure to Persons - [Institutional Controls]

5. **Awareness-** Awareness is the most important factor in reducing risk to persons from avalanches. Owners should be aware that their homes are in potential avalanche danger. In Little Cottonwood Canyons, there is generally a high level of avalanche hazard awareness. The factors contributing to this are described below:

6. **Disclosure-** Disclosure of the avalanche hazard should, and will be done for these projects by:

- a. Recording against the property deed/titles and/or placing notes on plat; and,
- b. Notes in the County files - to ensure the proper level of oversight is done during the FCOZ and building permit process, to ensure buildings are appropriately designed, engineered, and constructed.

7. Routine, Controlled Avalanche Mitigation Efforts by UDOT Public Safety- UDOT has, for the past 35 years, executed routine avalanche mitigation to protect the highway (see attached).

8. Highway Road Closures UDOT closes the road during times when avalanche hazard is high and prior to conducting control work. UDOT and SL County UPD clear the roads of traffic and secure avalanche closure gates. This procedure reduces the opportunity for incidental exposure of a bystander (who may be less aware of the avalanche hazard than a building owner/manager).

9. Interlodge System- The Town of Alta & Salt Lake County ordinances requires all occupants of buildings to remain inside during periods of high avalanche hazard or when avalanche control work is being carried out. Town of Alta & SL County UPD distribute an email notification of Interlodge restrictions & road closures to property owners and Snowbird Public Safety, who in turn notifies building managers, guests, etc. The Service Area has now has been added directly to the UDOT alert system. Snowbird Public Safety will add the residential owners to their alert system phone tree.

10. Snowbird's Master Plan Identifies Avalanche Hazard & Establishes a Protocol for Construction that Does Not Require Red Zone/Blue Zone- Snowbird's Base Area Master Plan (see excerpt, attached) identifies strategies to manage avalanche threats, including the avalanche control program, Interlodge, and using site-specific avalanche hazard studies prior to the engineering and construction of each building. The Snowbird Base Area Master Plan, which is approved by SL County, states:

"The efficacy of these strategies is evidenced by the fact that structural damage and injury to people in the Village have been minimal over the years.

It is not anticipated that implementation of this Master Plan will alter this situation. Development will be confined to the current Village area, and intermingled with existing structures. The current hazard-management strategies outline above will remain in effect. As specific structures and facilities are proposed, each will be sited, designed and constructed consistent with the latest technology available to reduce avalanche risk, as confirmed in the course of project-specific conditional use review by the County."

Because this is an approved Master Plan, approved in 2006, several years following the County's Geologic Hazards Ordinance, a case could be made that the protocols outlined in the Resort Master Plan for Avalanche Hazard mitigation supercedes the County's Geologic Hazards Ordinance (2003).

11. Snowbird Design Standards Implemented at New Buildings - A review of design and construction practices for buildings at Snowbird indicates a general level of rugged construction for their structures. Many structures were engineered with a minimum 12-inch thick reinforced concrete wall & No. 4 (5?) rebar on 12-inch centers. There has been some internal discussion about developing a minimum design & construction standard at Snowbird, to be implemented for new buildings at Snowbird constructed in avalanche paths. The requirement to use these design standards, at a minimum, will be implemented at the proposed subdivision by a) Disclosure against the property title; b) Note on the plat, signed by Snowbird; and c) written into the restrictive covenants along with other design standards, and subject to review and approval by Snowbird management.

C. Considerations for the County's Avalanche Hazard Ordinance- The avalanche provisions in the SL County Geologic Hazards Ordinance were developed in order to provide some controls on development in avalanche hazard areas. The standard of care at the time of the ordinance (2002) was the Colorado Geological Survey Bulletin 49 (Mears) and the Swiss protocol. We interviewed a number of avalanche professionals and reviewed relevant zoning code in other jurisdictions, limited as it was. At the time, our focus was on range-front avalanche hazards (eg, the Lang subdivision). In hindsight, I think we overlooked two issues that affect development in Little Cottonwood Canyon, specifically:

1) Current engineering and construction practices allow for much higher tolerance of impact forces than the 600 psf 'red zone' cutoff; and,

2) The additional safeguards that affect avalanche safety in the Snowbird village area and Town of Alta, ie: State-of-the-art avalanche forecasting & control work, UDOT road closures, Interlodge procedures, and the high level of avalanche awareness in the community.

Any future revision of the avalanche provisions in the ordinance should take these factors into account. Using the 'red zone' definition of Mears' to prohibit development does not seem to be appropriate for the resort village area between Snowbird and the Town of Alta, given these additional factors, and also when compared with the avalanche zoning and building controls implemented by the Town of Alta.

Summary. In summary, the above design and institutional controls should be taken into account, along with the results of avalanche hazard modeling, empirical evidence, and other means of analyzing the avalanche hazard analysis. The avalanche hazard professionals, County Planning Staff, and as necessary, the Planning Commission, should be able to evaluate the risk factors collectively, and determine whether the mitigating factors that can be reasonably implemented provide sufficient safeguards to reduce the risk to structures, facilities and persons from avalanche hazards.

ATTACHMENTS:

Chapter 19.75 Geologic Hazards Ordinance (Avalanche hazard provisions), 2002

Snowbird Base Area Master Plan Update and Revision (Avalanche Hazard excerpts), 2006

UDOT Highway Avalanche Safety Plan for SR-190 and SR-210, Big and Little Cottonwood Canyons, 2012



SNOWBIRD SKI AND SUMMER RESORT
BASE AREA MASTER PLAN
UPDATE AND REVISION

May 1, 2006

Proposed developments under this Master Plan could result in up to 30 acres of surface disturbance within Snowbird's 122.5-acre base area. This is a conservative estimate as no final site plans have been approved at this time. The 30-acre figure includes access roads, parking areas, walkways, decks and other impermeable surfaces associated with these buildings, as well as areas of temporary soil disturbance associated with construction, before site rehabilitation is complete.

Sediment transport to the creek (along with any adsorbed metals or coliform bacteria) could occur during periods when barren soil surfaces were exposed to surface runoff and storm events. County regulations applicable to development in Little Cottonwood Canyon include guidelines designed to reduce or eliminate the potential for surface runoff to cause erosion and sediment delivery to the creek. Any construction activity or group of activities that disturb 1 acre or more will be required to obtain a general construction storm water permit. A site-specific Storm Water Pollution Prevention Plan (SWPPP) must be developed prior to filing an application with the County for a general construction storm water permit.

The SWPPP document is specifically designed to control sediment and erosion associated with construction activities to the maximum extent practicable. All possible sources of storm water pollution resulting from construction activities are identified in the plan. BMPs are then selected to minimize or eliminate impacts from these sources. BMPs are generally focused on source control or management of surface runoff. Previous BMPs used to mitigate impacts created by construction and development at Snowbird have been successful in all aspects of pollution control as well as rehabilitation of disturbed areas.

The phasing of Master Plan buildout will also serve to reduce potential erosion and sedimentation effects. While the schedule and phasing of Master Plan buildout have not yet established, development will likely be phased over a number of years, with no more than one major project ongoing at one time. This will limit the amount of bare ground exposed at any given time.

Long-term water quality impacts from proposed development will be reduced by the design and installation of permanent storm water management systems to control runoff from impervious surfaces at the base area. These structures will deliver runoff flows to storm water collection systems, avoiding any point-source storm water discharge to Little Cottonwood Creek. Appropriate plans will be reviewed and approved by the County prior to issuance of conditional use approvals and/or building permits.

Adherence to minimum setback distances (where applicable) from streams and wetlands will also reduce the potential for surface runoff to reach Little Cottonwood Creek. Existing County regulations state that all buildings, accessory structures, leach fields and parking lots shall be set back at least 100 feet horizontally from the ordinary high water mark (Title 19.72 Foothills and Canyons Overlay Zone – Salt Lake County).

Based on these considerations, no notable impacts on TSS in Little Cottonwood Creek are anticipated from the proposed developments as long as Snowbird continues to implement and maintain appropriate BMPs and to bolster mandatory compliance with their voluntary efforts to protect this key resource.

AVALANCHE HAZARD

Due to its topography, position relative to prevailing winds, and typically large quantities of dry snow, upper Little Cottonwood Canyon is well known for its avalanche hazards. Most ski area base development in the canyon lies in avalanche zones, and base-area facilities at Snowbird and Alta are periodically hit by avalanches.

In order to maintain their infrastructure and protect visitors and staff, the resorts have come up with effective strategies to manage avalanche threats. A sophisticated avalanche control program involving the resorts, Utah Department of Transportation, and the Forest Service is in place. An "Interlodge" resident lock-up protocol is enforced under which visitors are confined to their lodging or other secure buildings when hazard level is extreme and SR 210 is closed. Prior to construction of new buildings, must contract a recognized avalanche expert to complete an avalanche study defining the sliding and resting forces of design avalanches on the building site. The building must then be engineered by a licensed structural engineer and constructed to withstand the forces of the design avalanche. At Snowbird, the efficacy of these strategies is evidenced by the fact that structural damage and injury to people in the Village have been minimal over the years.

It is not anticipated that implementation of this Master Plan will alter this situation. Development will be confined to the current Village area and intermingled with existing structures. The current hazard-management strategies outlined above will remain in effect. As specific structures and facilities are proposed, each will be sited, designed, and constructed consistent with the latest technology available to reduce avalanche risk, as confirmed in the course of project-specific conditional use review by the County.

CONCLUSION AND RECOMMENDATIONS

This Master Plan provides a sound footing for development of Snowbird's base area over the coming years, bringing it more in line with the needs and expectations of the current skier market, and re-establishing the balance between base-area and on-mountain capacity. These improvements are necessary if Snowbird is to continue to serve as a cornerstone of the vital, recreational economy supporting Salt Lake City, Salt Lake County, and State of Utah.

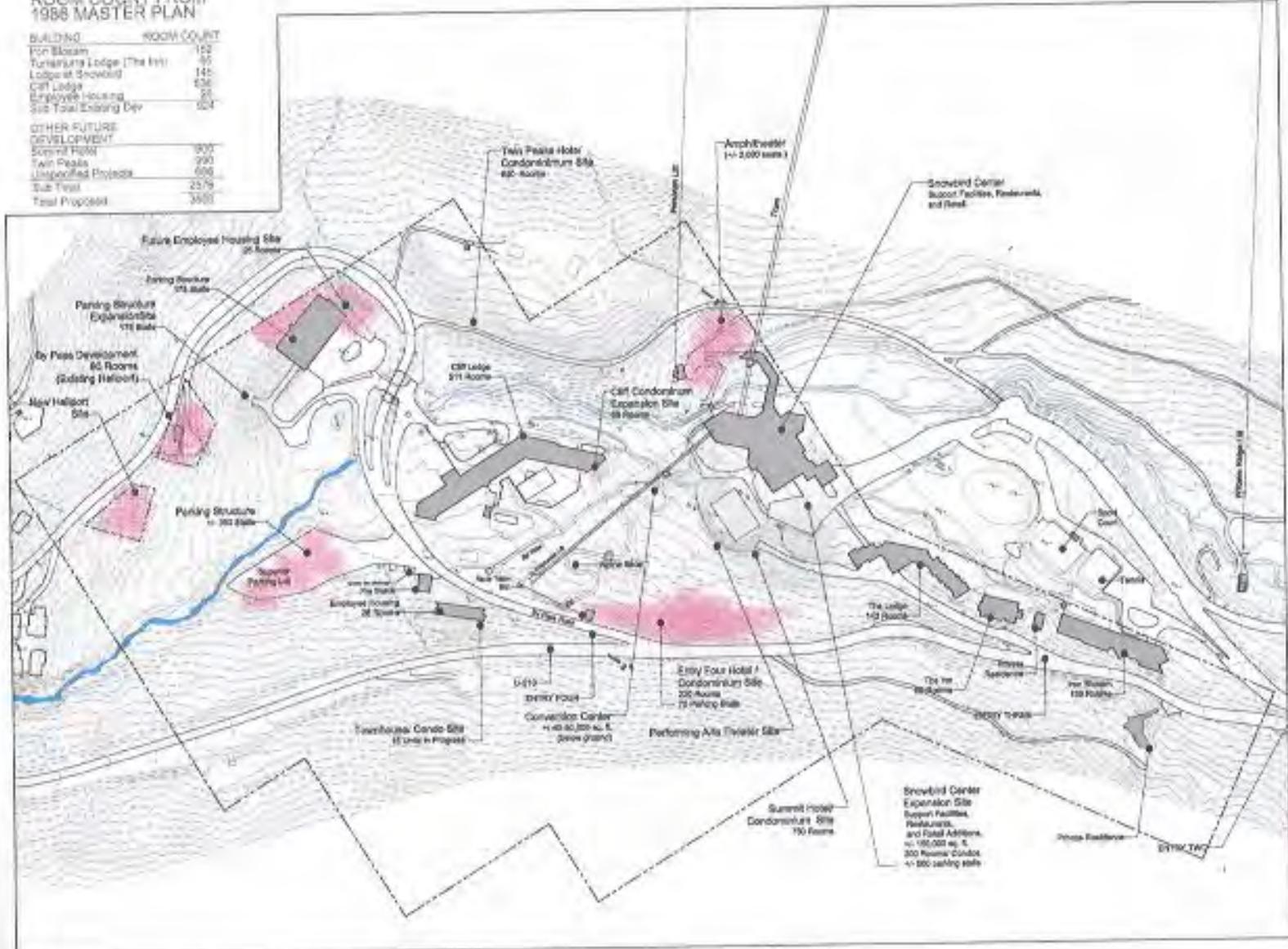
This update and revision is consistent with past master planning, representing a logical evolution to bring the same, fundamental functions and designs in place since the 1970s into the 21st Century. It is modest in its emphasis on cluster development, pedestrian orientation, reduced density, and avoidance of urban sprawl. It is a plan that will work to the mutual advantage of Snowbird, Salt Lake County, and the recreating public, while maintaining the unique, natural setting that has attracted visitors to the area since the beginning.

As documented above, this Master Plan was developed to be consistent with Salt Lake County's zoning ordinance and other planning direction applicable at this phase. As the plan was developed, Snowbird liaised with numerous County staff and officials to make sure that it complied with the spirit as well as the letter of these ordinances and planning direction. It is hoped that these efforts, coupled with the intrinsic quality and vision of the Master Plan, will facilitate planning staff review, adoption by the Planning Commission, and subsequent conditional use approval as specific base-area projects come on line.

SNOWBIRD 2006 Master Plan

ROOM COUNT FROM 1988 MASTER PLAN

BUILDING	ROOM COUNT
Iron Mountain	159
Twin Peaks Lodge (The Inn)	145
Lodge at Snowbird	143
Chiff Lodge	136
Employee Housing	26
Sub Total Existing Dev	604
OTHER FUTURE DEVELOPMENT	
Summit House	900
Twin Peaks	290
Unspecified Projects	699
Sub Total	2579
Total Proposed	3183



DEVELOPMENT DATA

EXISTING LODGING	# OF ROOMS
Iron Mountain	159
The Inn	85
Lodge at Snowbird	143
Chiff Lodge	131
Employee Housing	26
Subtotal	604

PROPOSED LODGING	# OF ROOMS
Townhouses	10
Employee Housing	0
Resorters-Apartment pair in-unit count	0
Twin Peaks Hotel/Condo	890
Chiff Condo Expansion	88
Summit Hotel/Condo	750
Snowbird Center	260
Envy Four Hotel/Condo	220
By Pass Development	80
Subtotal	2198

PROJECT TOTAL: 3183

1988 Master Plan Development Area
 New Development Area

6/13/2006



**UTAH DEPARTMENT OF TRANSPORTATION
REGION 2**

**HIGHWAY AVALANCHE SAFETY PLAN
for SR-190, and SR-210
BIG AND LITTLE COTTONWOOD CANYONS**

2012

II-Avalanche Control and Stability Evaluation

It is often difficult to make a distinction between Stability Evaluation with explosives, and Avalanche Control with explosives. In an avalanche safety program that relies on Active Avalanche Control measures to mitigate hazardous conditions, when it has been determined through the development of an Avalanche Forecast, that avalanches are likely or possible, some form of test (usually with explosives) is carried out to determine whether the forecast is correct. Once these tests determine that avalanches are occurring, then avalanche release becomes the primary objective.

Road Closure

If possible, the decision to close the road will be made well enough in advance to provide for the timely notification to all concerned agencies, individuals, and local businesses. The Unified Police Department (UPD) Salt Lake County, will assist UDOT in clearing the roads of all traffic, and securing the avalanche closure gates. Within the Town of Alta, these duties will be carried out by the Alta Marshal's Office. Road closures are implemented when it is felt the possibility exists for Natural avalanches to reach the road, or when artillery or explosives avalanche control/stability evaluation is to be carried out. Most closures last only a few hours, but on occasion, prolonged closures are necessary until such time that it is felt the hazard has been reduced to an acceptable level. The decision to close and open, all or part of the canyon roads, as well as the timing and extent of closures is made by UDOT Avalanche Forecasters.

Inter-Lodge Travel Restrictions

The location of numerous inhabited buildings within the runout zone of avalanche paths affecting the road in Lt. Cottonwood Canyon, requires a notification to building managers, owners, or occupants when explosives or artillery avalanche control work is to be implemented in areas above the Snowbird Village and Town of Alta. Salt Lake County, and Town of Alta ordinances require that all occupants of buildings remain inside during periods of High Avalanche Hazard or when avalanche control work is being carried out. UDOT Avalanche Forecasters working in conjunction with the Alta Town Marshal's Office, and Unified Police Department, Salt Lake County (2) will make a notification through the *Road Restrictions* email notification, as to when Inter-Lodge Travel restrictions will be implemented. Artillery or explosives avalanche control work above occupied buildings does not commence until all buildings are secure.

2 UPD SL County delegates authority to implement Inter-Lodge Travel Restrictions within the Snowbird Ski Area, a portion of un-incorporated Salt Lake County, to Snowbird Snow Safety personnel.

Maximum Security Restrictions

Under more extreme avalanche conditions, a higher level of restriction is implemented, with occupants of certain buildings required to relocate to "safer" areas of each building. These "safer" areas are determined by building owners or managers. The decision to implement Maximum Security is made by the Alta Marshal, and Snowbird Snow Safety personnel, with input from UDOT Avalanche Forecasters. The decision is based on either certain Snow/Snow Water Equivalent totals in a 24 hour period, or observations of large, and potentially destructive avalanches during or leading up to artillery or explosives avalanche control work.

Artillery Avalanche Control

-Little Cottonwood Canyon

The inaccessibility of avalanche starting zones that affect the road as well as numerous inhabited buildings in Lt. Cottonwood Canyon requires that some method be used to test snowpack stability and release avalanches from a safe and reasonably accessible location. The need to carry out these tests during periods of reduced visibility or severe winter weather requires a system be used that is not adversely affected by these conditions. Currently, and for the past 60+ years, military artillery is the method most often used to meet the needs of the Highway Avalanche Safety Program in Lt. Cottonwood Canyon. The use of military artillery has proven to be an effective tool in testing snowpack stability, and reducing the avalanche hazard, under most all avalanche conditions. As with other *active* avalanche control methods, the intention of artillery control is to initiate numerous small to medium sized avalanches throughout the course of the avalanche season, thereby reducing the possibility of a few large and destructive avalanche events. This is achieved through a process of monitoring snowpack and weather conditions to determine when and where avalanches are possible/likely to occur, and then carrying out explosive tests to determine if the forecast was accurate.

UDOT Avalanche Forecasters will determine the timing and location of where artillery control work will be carried out. These determinations will be based on accepted methods of avalanche hazard forecasting, and will often be made in consultation with snow safety personnel from the Alta and Snowbird Ski Areas. UDOT Avalanche Forecasters will also determine whether the results from artillery (or other explosive) avalanche control work has been adequate so as to allow for the canyon road to be re-opened to traffic.

Once the canyon road has been secured, and all necessary Inter-Lodge Travel Restrictions have been put into effect, clearance is given to the gun crew(s) to commence firing. Firing missions often begin with targets that do not affect inhabited buildings, as this allows for observations to be made as to the level and extent of the avalanche hazard, and whether further security restrictions need to be implemented. Due to the necessity of locating the military weapons used for highway avalanche control work in areas outside of known avalanche areas, and the requirement for each weapon to be able to reach the maximum

to military weapons and ammunition would include an expansion of the current *Gaz-ex* program, devices such as the *Avalanche Guard* (a short range, explosive projectile launcher located in close proximity to the avalanche starting zone), other explosive deployment systems such as the *Wiesen Avalanche Tower*, and/or construction of chairlifts in certain areas that would allow for regular and through skier-compaction of the snowpack in avalanche starting zones. The inclusion of Passive methods of avalanche control should also be considered, these would include snow sheds, berms or catchments, snow-retention devices located in avalanche starting zones, and road realignment. Each of these alternatives would represent a significant monetary investment. It is likely that some combination of military weapons, and other alternative control methods would represent the safest, most effective, and least costly approach to the future Highway Avalanche Safety Program. **It is recommended that an independent and comprehensive study be conducted in the near future to determine the best possible choices.**

Inhabited Structures Located in Avalanche Areas

A direct connection exists between the location of inhabited structures within the boundaries of avalanche paths that affect the canyon roads, and the ability of UDOT to safely and effectively carry out explosives and artillery avalanche control work. This issue also affects other Federal, State, County, and Local Government agencies, Public Safety personnel, ski area operators, and canyon visitors and residents.

In many instances (particularly in Lt. Cottonwood Canyon) the same avalanche paths that threaten the canyon road also threaten inhabited structures. It is sometimes the case, that avalanches (both naturally occurring events as well as those released from avalanche control work) that reach the canyon road, run past the road, and hit or damage buildings located in other portions of the avalanche runout zone. Prior to the 1980's, few if any restrictions were in place to limit construction of inhabited buildings in avalanche areas. Consequently numerous buildings (54, in Lt. Cottonwood Canyon at the time this document was written) are located within the boundaries of large or major avalanche paths. Currently local zoning and building codes within the Town of Alta, and Unincorporated Salt Lake County, restrict or prohibit (to a point) construction within avalanche areas.

The UDOT Highway Avalanche Safety Program relies on the artificial release of avalanches under controlled conditions, to reduce the number of large and destructive avalanches. This is accomplished by increasing the number of small to medium sized avalanche events throughout the avalanche season. This usually results in fewer avalanche events reaching the canyon roads, and those that do are often of smaller size. In the case of buildings located within the boundaries of avalanche paths affecting the canyon road, they also benefit in the same way from regular and effective explosives avalanche control.

It is recognized that the UDOT Highway Avalanche Safety Program in Lt. Cottonwood Canyon also provides *some* reduction of the avalanche hazard to buildings located within the Town of Alta, and the Village of Snowbird. This reduction in hazard is the result of an increase in the *return interval* of large and destructive avalanches that occurs from regular and effective avalanche control work. It should be understood however, that any structure

located in an avalanche area that relies on explosives, or other forms of artificial avalanche release, for its safety or longevity is on borrowed time. Eventually, in spite of effective avalanche control efforts, snowpack and weather factors will combine to produce a major avalanche (either a natural occurrence, or one initiated from avalanche control work) and any building not designed to withstand the maximum forces generated by that avalanche path may be damaged or destroyed. It is for this reason that buildings should whenever possible, be located outside of known avalanche areas, and that careful consideration should be given before placing additional structures in avalanche areas that also affect the canyon roads. UDOT operates under the premise that all property owners of buildings located within the boundaries of avalanche paths affecting state roads, are aware of their situation, and that the owners accept the possibility that avalanches released during highway avalanche control work may affect their buildings. UDOT encourages thoughtful Land Use policies in the canyons, and would discourage any development that compromises the ability to conduct a safe and effective Highway Avalanche Safety Program.

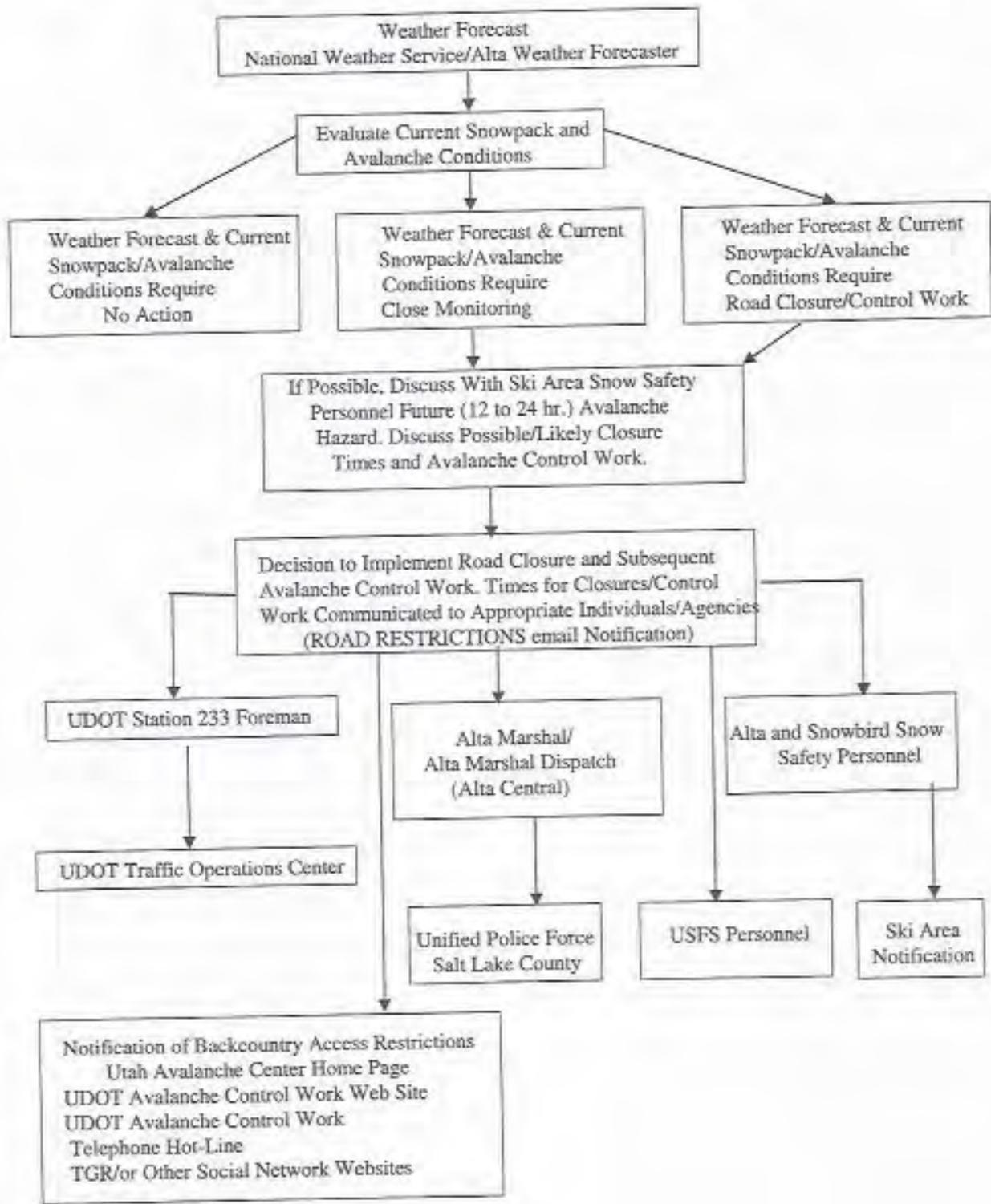
III-Avalanche Rescue

In spite of the efforts of all those involved in the Highway Avalanche Safety Program in Big and Lt. Cottonwood Canyons, on occasion, naturally occurring avalanche events reach the canyon roads while they are open. Often the occurrence of one natural avalanche signals the onset of a more widespread Natural Avalanche cycle. This is especially true during periods of heavy precipitation, or rapid or prolonged warming. In the event of even one small avalanche reaching the canyon road while it is open, traffic can become blocked and very quickly, there will be scores of stationary vehicles under numerous adjacent avalanche paths where similarly hazardous conditions exist and subsequent avalanches are likely to occur. Under these conditions there is a significant and immediate threat to public safety, and quick and decisive action must be taken to avoid possibly disastrous consequences.

In Lt. Cottonwood Canyon the initial report of an avalanche on the road is likely to come from the Alta Marshal's Office Dispatch (Alta Central). In Big Cottonwood Canyon, notification may come from a variety of sources, including the Unified Police Department (UPD) Dispatch. When word is received that such an event has occurred, steps must be taken immediately to block additional traffic from entering the canyon roads from all major access points. This requires coordination between UDOT, UPD, Alta Town Marshal, and from the Parking Staff at the local ski areas. Any significant delay in this initial step will further exacerbate the problem, and make any necessary rescue efforts much more difficult.

When the alarm is sounded, the First Phase of the Rescue Operation is for individuals or agencies with the quickest response time to block traffic above and below the location of the avalanche, at all entry points. It is critical that traffic be blocked outside of known Snow Avalanche Areas. These areas are identified by large signs that give the name of the avalanche path, and warn motorists against stopping between signs during the avalanche season. The Second Phase of the Rescue Operation is the removal of vehicles which had initially stopped in known Snow Avalanche Areas, to safer locations (including designated "Staging Areas") in an orderly fashion. This also must be carried out as quickly as possible.

SR 210 Lt. Cottonwood Canyon Road Closure and Avalanche Control Work Notification Flow Chart



19.75 Geologic Hazards Ordinance (*Avalanche Provisions*)

19.75.060 Geologic hazard and engineering geology reports

F. Snow avalanche hazard reports shall be prepared in accordance with the document "Snow-Avalanche Hazard Analysis for Land Use Planning and Engineering" (Colorado Geological Survey Bulletin 49) or other appropriate references. Avalanche hazard reports must be prepared by an experienced avalanche expert, and shall include the avalanche expert's qualifications to perform the study (such as their experience in performing similar studies).

19.75.070 - Review of reports—Approval procedure.

- A. In order to fulfill the purposes of this chapter, the Planning and Development Services Division or the Planning Commission, as appropriate under the County's Development Standards, shall review any proposed land use which requires preparation of a geologic hazard report under this chapter to determine the possible risks to the safety of persons or property from geologic hazards.
- B. Prior to consideration of any such development by the Planning and Development Services Division and the Planning Commission, the geologic hazard report shall be submitted to the County Geologist for review and recommendation. The County Geologist may request the Utah Geological Survey, the U.S. Forest Service, and/or other experts to review the report (third-party review) and provide additional recommendations. Any cost the county must pay for such third-party reviews shall be paid by the applicant prior to Planning Commission or Planning and Development Services Division action. The County Geologist shall file a copy of the geologic hazard report in the County Geologist's Geologic Hazards Library, and another copy in the Planning and Development Services project file. A copy may also be forwarded to the Utah Geological Survey.
- C. The County Geologist and other retained experts in their review of the report, and the Planning Commission or Planning and Development Services Director in their consideration of the development, shall determine whether the development complies with all of the following standards:
 1. A suitable geologic hazard report has been prepared by a qualified professional as defined in Section 19.75.060
 2. The proposed land use does not present an unreasonable risk to the safety of persons or property (including buildings, storm drains, public streets, utilities or critical facilities, whether off-site or on-site), or to the aesthetics and natural functions of the landscape (e.g. slopes, streams or other waterways, drainage, wildlife habitat, etc., whether off-site or on-site) because of the presence of geologic hazards or because of modifications to the site due to the proposed land use;
 3. At the Planning Commission's discretion, with advice from the County Geologist, the proposed land use may be approved if the applicant submits substantial evidence in the geologic hazard report that, using best available practices, the identified hazards can be mitigated to a level where the risk of human life and damage to property are reduced to an acceptable and reasonable level in a manner which has a minimum effect on the natural environment. Mitigation measures should consider, in their design, the intended aesthetic functions of other governing ordinances such as the Foothills and Canyons Overlay Zone (Ch. 19.72).
- D. Any area determined to contain geologic hazards to life or property shall not be approved for development unless the applicant demonstrates that the identified hazards or limitations can be overcome in such a manner as to minimize hazard to life or property. The applicant must include, with the geologic hazards report, an acceptable mitigation plan that defines how the identified hazards or limitations will be overcome in such a manner as to minimize hazard to life or property, as described in Section 19.75.070C(1), above, and without impacting or affecting off-site areas.
- E. The County Geologist may set other requirements as are necessary to overcome any geologic hazards and to ensure that the purposes of this chapter are met. These requirements may include, but are not limited to:
 1. Additional or more detailed studies to understand or quantify the hazard or determine whether mitigation measures recommended in the report are adequate;
 2. Specific mitigation requirements; establishment of buildable and/or non-buildable areas; limitations on slope grading; and/or revegetation;

3. Installation of monitoring equipment and seasonal monitoring of surface and subsurface geologic conditions, including groundwater levels;
 4. Other requirements such as time schedules for completion of the mitigation, phasing of development, etc.
- F. The Planning Commission or Planning and Development Services Director may set requirements necessary to reduce the risks from geologic hazards as a condition to the approval of any development which requires a geologic hazards report.

(Ord. 1500 (part), 2002; Ord. 1473 (part), 2001; Ord. 1417 § 7, 1998; Ord. 1074 § 2 (part), 1989)

19.75.083 - Avalanche considerations.

- A. Development of structures for human occupancy is not permitted within an avalanche special study area, or in other areas where avalanche hazards may exist, unless a detailed avalanche hazard analysis is performed, as described in Section 19.75.060, by a qualified avalanche expert.
- B. If the avalanche analysis indicates that the site may be impacted by avalanches, the report shall delineate the following areas:
 1. A "red zone" of high avalanche potential [return period of twenty-five years or less, and/or impact pressures over six hundred pounds per square foot (psf)] within which critical facilities or structures for human occupancy are not permitted.
 2. A "blue zone" (return period between twenty-five and three hundred years, and impact pressures less than six hundred psf) within which critical facilities or structures for human occupancy shall only be permitted when at least one of the following requirements has been met:
 - a. The structure is designed to incorporate direct protection measures that address the estimated impact forces (flowing snow/debris and powder blast loading). The estimated impact forces shall be calculated by the avalanche expert. The structure shall be designed by, and the plans stamped by, a qualified structural engineer licensed in the State of Utah; or
 - b. Appropriate engineering controls (i.e. deflection structures, snow retention nets, dams, etc.) are designed and installed to mitigate the avalanche hazard. Design or performance criteria for engineered mitigation measures (including estimated impact forces, flow heights, location and dimensions of the mitigation structures) and all supporting modeling or other analyses, calculations, and assumptions, shall be calculated by the avalanche expert and included in the report. Final design plans and specifications for engineered mitigation must be signed and stamped by a qualified professional geotechnical or structural engineer, as appropriate, licensed in the State of Utah.

(Ord. 1500 (part), 2002)

19.75.090- Disclosure.

19.75.091 - Disclosure when a geologic hazards report is required.

Whenever a geologic hazards report is required under this chapter, the owner of the parcel shall record a restrictive covenant running with the land in a form satisfactory to the County prior to the approval of any development or subdivision of such parcel. Disclosure will include signing a Disclosure and Acknowledgment Form provided by the County, which will include the following:

- A. Notice that the parcel is located within a Geologic Hazard Special Study Area as shown on the geologic hazard map or otherwise defined in Section 19.75.030
- B. Notice that a geologic hazards report was prepared and is available for public inspection in the County Geologist's Geologic Hazards Library;
- C. Where geologic hazards and related setbacks are delineated in subdivisions and PUDs, the owner shall also place additional notification on the plat stating the above information, prior to final approval of the plat.



March 21, 2013

Spencer Sanders
Salt Lake County, Planning and Development Services
2001 S. State Street, Rm N3600
Salt Lake City, UT 84190-3600

Natural Hazards Mitigation – Proposed Snowbird “Monte Cristo” Subdivision- (#28306)

Dear Mr. Sanders,

In accordance with Salt Lake County’s Geologic Hazards Ordinance (Chapter 19.75), the potential for rockfall and avalanche hazards has been evaluated at Snowbird’s proposed 7-lot subdivision, referenced above. While the potential for these hazards to occur is limited, it is appropriate to implement protective strategies for these natural hazards in the planning, design, construction and approval of the proposed single-family homes at this subdivision. Snowbird’s plans for mitigation of the natural hazards at this development is therefore outlined in this letter.

In addition to this letter, the following reports and documents should be referenced:

“Rockfall Evaluation, Proposed Anna Subdivision”- AGEC, December 20, 2012

“Geotechnical Investigation, Proposed Anna Subdivision”- AGEC, December 20, 2012

“Analysis of Avalanche Impact Forces, Anna Claims Project, Highway 210, Snowbird, Utah”- WR Harrison, March 20, 2013.

“Factors Mitigating Avalanche Hazards, Little Cottonwood Canyon/Snowbird- Service Area No. 3 and Anna (Monte Cristo) Subdivision at Snowbird”- Mountain Land Development Services, 2/25/2013.

I. Rockfall Potential. AGEC’s “Rockfall Evaluation” report, referenced above, identified rockfall as a very low hazard, largely in the event of seismic shaking that could dislodge loose boulders resting on the bluffs above the subdivision. Nevertheless, Snowbird will adopt mitigation measures to reduce the impacts of any rockfall hazard.

This site is within a scenic and tourism area, and in keeping with goals of the Canyons Master Plan and FCOZ, it is desirable to minimize visual impacts to the upslope areas, which in any case are in excess of 30% slopes, where impacts of development should be minimized. Thus, Snowbird does not want to propose mitigation methods that would require heavy grading, installation of visible fences or berms, etc. on the slopes between the home sites and the base of the cliffs (especially if the hazard is not severe enough to warrant such measures). Additionally, the modeled rockfall velocities and kinetic energy decrease the farther downslope rocks manage to travel. Therefore, Snowbird proposes to address the rockfall potential by:

1) Removal of loose boulders to reduce or eliminate the rockfall hazard: Removal of loose boulders can be done by scaling and/or in-situ destruction (breaking the rocks up in place). This work can be done in Summer 2013, as crews will be working up on the bluffs installing Gaz-ex avalanche control devices. Removal of significant rocks will be done under the supervision of AGEC’s licensed geotechnical engineer, who will identify which loose rocks pose a potential for being dislodged, and will confirm that potentially loose rocks that pose a concern have been

satisfactorily removed. In some cases, blasting may be used to break up the rocks. Snowbird's crews are experienced at this method; and UDOT will be informed prior to commencing this activity. Although there is a potential for freeze/thaw and other geological forces to separate new material along fracture lines in the rock in the future, the empirical evidence (few rocks dispersed about the site) indicates rockfall reaching the subdivision is an infrequent to rare occurrence, in any case.

2) Reinforcement of Rear Walls: While the potential for rockfall hazard should be substantially reduced by the removal of potentially loose rocks, reinforcement of the upslope (rear) walls of the homes provides an additional level of protection. The rear walls of the proposed homes will need to be reinforced in any case, to meet avalanche design requirements, so AGECE's rockfall impact calculations should be additionally considered in the rear wall design. As rock bounce heights, per AGECE's modeling, are about 2 feet, armoring or reinforcing should extend to at least 5 feet. The impact velocities and kinetic energy provided in AGECE's report for Analysis Point 2 should be considered in the design of the upslope walls of the homes, to a height extending at least 5 feet above grade. If the forces are not feasible for construction of adequate walls for remediation, AGECE also noted that flexible barriers (retention nets) could be used.

II. Avalanche Hazards.

The "Analysis of Avalanche Impact Forces" by WR Harrison indicates the proposed development site is touched by the Valerie's West and Lodge Corner slide paths. The report concludes the site is within a 'blue zone' and recommends that structures be designed to accommodate the maximum impact forces for an avalanche with 25 to 300-year return period provided in the report. The report notes that the maximum impact forces are based on a rigid vertical wall oriented normal (perpendicular) to the avalanche flow path. Because the orientation of the homes may be oblique to the flow path of an avalanche, the report recommends each home be individually reviewed for specific design forces by an avalanche and structural engineer during the building design.

In addition to the recommendations for structural reinforcement provided in Harrison's avalanche analysis, there are a number of additional factors that mitigate or moderate the avalanche hazard in Little Cottonwood Canyon. These are described in the February 25, 2013 Mountain Land Development Services' letter, referenced above. Snowbird has already modified its Avalanche Safety Plan to include the proposed subdivision residences, which are to be notified during high avalanche hazard periods of any travel and road restrictions, as part of Snowbird's call-down list to all lodging at Snowbird (i.e. similar to the procedures adopted for the adjacent Cumming's residence). The combination of site-specific avalanche hazard analysis, building design, active avalanche control work that reduces the occurrence of large & damaging avalanches, and long-standing public safety practices in Little Cottonwood Canyon (road closures, Inter-Lodge, etc.) considerably mitigates the risk of avalanches to residents in the propose development. These recommendations are in keeping with the County's Geological Hazards Ordinance, as well as the protocols established in Snowbird's Resort Base Area Master Plan for new construction, and are parallel to building permitting requirements in the Town of Alta.

III. Summary.

The mitigation strategies proposed above should be executed during design, engineering and construction of the individual homes. To ensure this occurs, and to ensure that prospective owners will be aware of the natural hazard evaluations and the requirements for mitigation, the following should occur:

- Snowbird will include natural hazard notes on the plat referencing the appropriate reports and noting that buildings will need to be designed consistent with the recommendations in those reports;

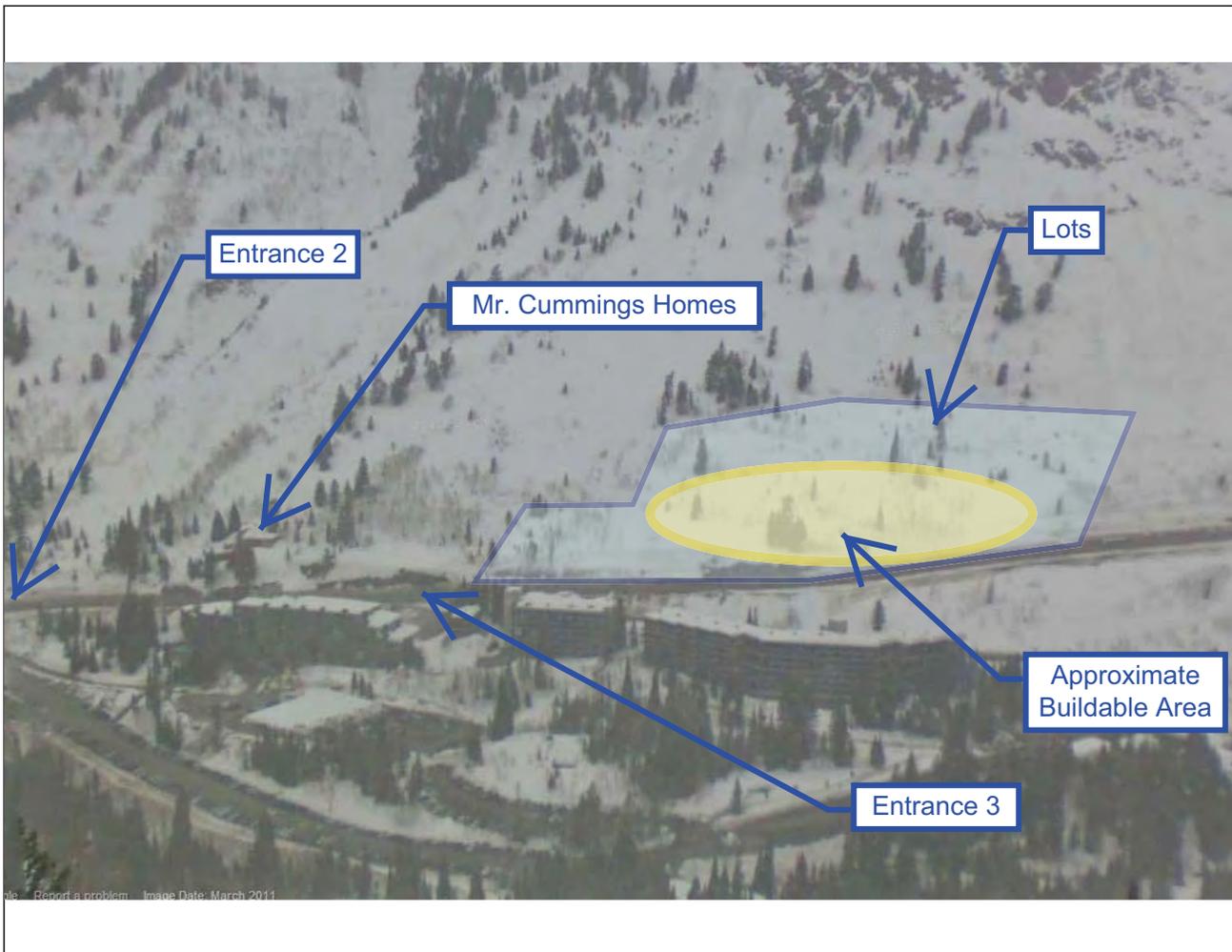
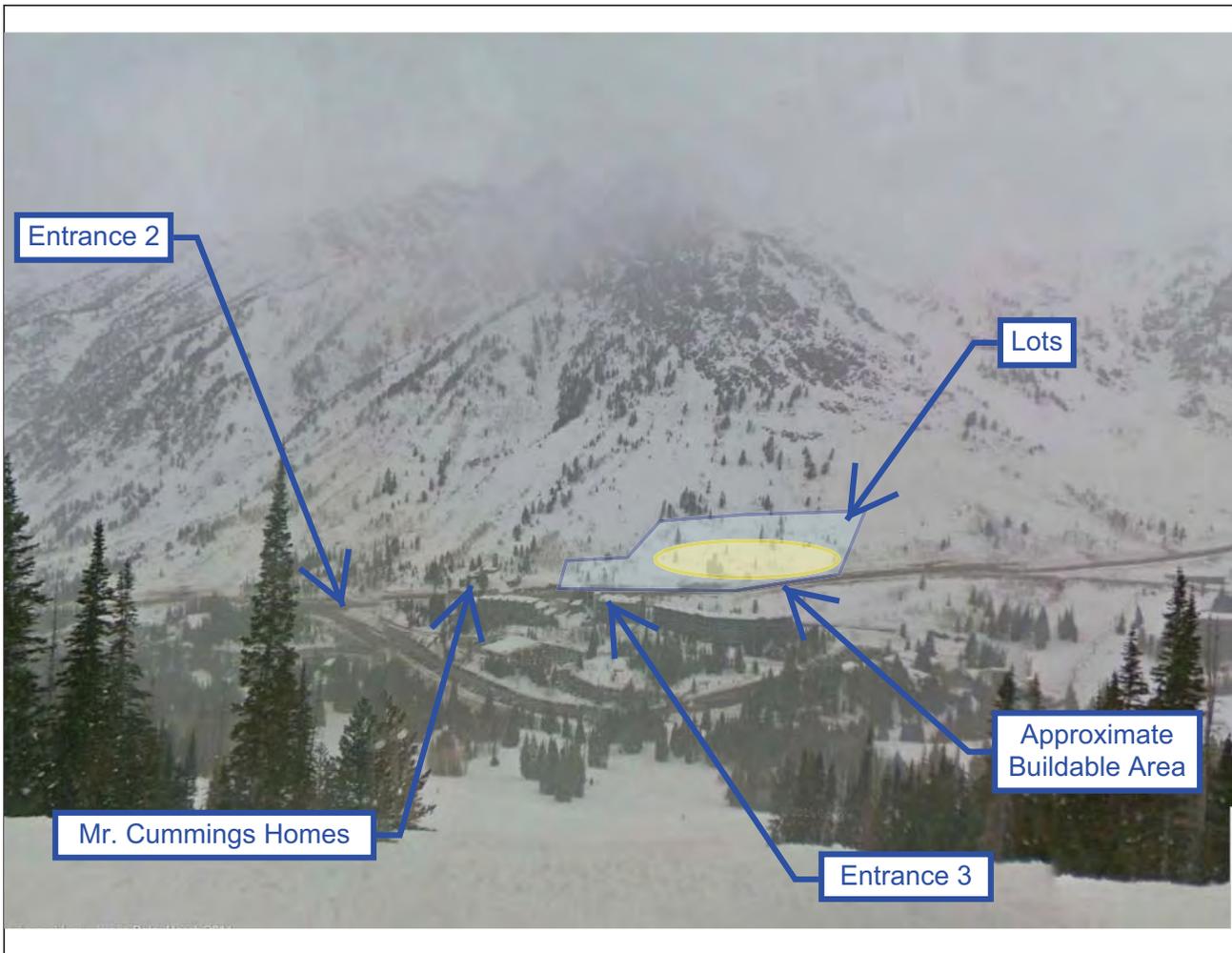
- Snowbird will record, in the Salt Lake County Recorder's Office, a Geological Hazard restrictive covenant complying with Section 19.75.091 of the Geological Hazards Ordinance, to inform prospective property owners that natural hazards studies have been done;
- Snowbird will include a notice of the natural hazard reports; requirements for rockfall and avalanche design, engineering, construction, and other mitigation measures; and notice of ordinances and requirements to observe road closures, Inter-Lodge and other travel restrictions, etc. in the Homeowners Association (HOA) restrictive covenants, design standards for the development, and/or similar.
- Snowbird is to include each residence on their Avalanche Control Program call-down list, to ensure each residence is properly notified during high avalanche hazard periods of any road closures or travel restrictions, Inter-Lodge and Maximum Security travel restrictions, etc.
- Through the building permit review process for each single family home, the County should verify that the required rockfall and avalanche mitigation measures have been appropriately implemented.

In implementing these strategies, the County, consultants, and Snowbird have met, if not exceeded, the appropriate standard of care in addressing the recognized risks at the site. While these evaluations of the natural hazards at the proposed subdivision are based on best available modeling and engineering practices, unforeseen or extremely unusual geological, weather, and/or seismic forces, etc. may occur. These circumstances may result in 'outlier' events that exceed the design limits specified in the referenced natural hazard reports, and overwhelm the proposed mitigation strategies. While these events are very rare (and may never occur) ultimately, individual homeowners must consider their individual tolerance for risk, including such "outlier" events, and assume responsibility for the risks, consequences, and benefits of living in a mountain setting.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read "Bob Bonar", is written over a horizontal line.

Bob Bonar, President and CEO









STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	3	2	4	
Applicant Name:	Kam Howard for DIGIS	Request:	Conditional Use						
Description:	Wireless Telecommunications Facility								
Location:	7741 W Country View Lane								
Zone:	FA-2.5 Foothill Agriculture	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Community Council Rec:	Not Applicable								
Staff Recommendation:	Approval with Conditions								
Planner:	Todd A. Draper								

1.0 BACKGROUND

1.1 Summary

Skybeam Inc., doing business as Digis Wireless wishes to install a wireless telecommunications tower on the subject property to as part of their plans to expand wireless internet service to the area. The use is listed as conditional in the FA2.5 zone. The property has previously been developed as a single-family residential lot, and will continue to be used as such with the monopole being accessory to the dwelling. The site is also located within the Foothills and Canyons Overlay Zone (FCOZ).

1.3 Neighborhood Response

None received (other than the property owner who is in favor of the proposal)

1.4 Community Council Response

There is no recognized Community Council for this area.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: Although certain details pertaining to the accuracy of this site development plan are missing or to not completely comply as proposed, staff believes that the minor inaccuracies can be easily remedied as part of the subsequent technical review.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Discussion: Compliance with other laws and ordinances will be required prior to final approval. Verification of this will take place during the subsequent technical reviews.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: There are no traffic impacts associated with this proposal. The site is generally unmanned, and the current rural residential traffic will remain unchanged.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: None of the aforementioned issues appear to apply to this proposal to any significant degree. If any do they will be addressed during the subsequent technical review or at the time of the building permit.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		Discussion: The quality of life for residents in the vicinity may arguably improve relative to connectivity to the internet. The use and the site itself will have no significant impact on the neighborhood.

2.2 Zoning Requirements

19.54.030 - Conditional uses.

The following conditional uses are subject to the requirements of this chapter and subject to the conditions, criteria, and approval procedures set forth in [Chapter 19.84](#), "Conditional Uses."

J. Wireless telecommunication facilities, as that term and all related terms are defined in [Section 19.83.020](#), provided:

1. The wireless telecommunication facility is either a wall-mounted, roof-mounted, or monopole facility. Facilities located on lattice towers are prohibited, and

2. Any grading for the facility, including access roads and trenching for utilities, shall comply with the Uniform Building Code, and
3. The facility complies with the requirements for development set forth in the foothills and canyons overlay zone, [Chapter 19.72](#), including development standards for grading, wildlife habitat protection, tree and vegetation protection, natural hazards, and utilities, and standards for establishing limits of disturbance, and
4. Site placement and facility color shall be carefully considered to blend in with the natural surroundings, and
5. Continuous outside lighting is prohibited unless required by the FAA for monopole facilities, and
6. The maximum height for monopole facilities shall be sixty feet, and
7. A computer-generated visual simulation of the proposed structure is submitted as part of the required site plan and shall show all structures including but not limited to monopoles, antennas, and equipment buildings, and
8. All other applicable requirements set forth in [Chapter 19.83](#), "Wireless Telecommunications Facilities," are satisfied.

19.83.040 - General plan required.

A site location general plan shall be submitted by each company desiring placement of wireless telecommunication facilities. The general plan shall be submitted to the planning commission and development services division prior to processing any permits for permitted or conditional use locations. The general plan shall include inventory of existing and anticipated sites for the unincorporated county and within one-half mile of the unincorporated county boundary. The plan shall indicate area coverage, if known, location, antenna height above existing grade, and antenna type for each site and be updated upon request from the planning commission. Every general plan shall be considered proprietary information and not be part of the public record.

19.83.060 - Facility types and standards.

C. Monopole. The following provisions apply to monopoles:

1. The height limit for monopoles is sixty feet except the planning commission may allow a monopole up to eighty feet in the C-2, C-3, M-1, and M-2 zones if it finds: (1) that the monopole will blend in with surrounding structures, poles, or trees and is compatible with surrounding uses, (2) the monopole will be available for co-location with other companies, and (3) the monopole will be setback at least three hundred feet from any residential zone boundary. The height shall be measured from the top of the structure including antennas, to the original grade directly adjacent to the monopole.
2. In all R-1, R-2, and R-4-8.5 zones, monopoles will only be allowed in conjunction with an existing public or quasi-public use. Public and quasi-public uses, as defined in Sections [19.04.440](#) and [19.04.450](#), include but are not limited to churches, schools, utilities, and parks.
3. No monopoles shall be allowed in the front yard setback of any lot.
4. Monopoles shall be setback from any residential structure a distance equal to its height.

5. Stealth monopole facilities are encouraged and shall be allowed to vary from the provisions of this section as determined by development services division for permitted uses and the planning commission for conditional uses. Stealth monopoles are not required to be located with public or quasi-public uses in all R-1, R-2, and R-4-8.5 zones (see Table [19.83.050](#)).

19.83.070 - Color.

Monopoles, antennas, and any associated buildings or equipment shall be painted to blend with the surroundings which they are most commonly seen. The color shall be determined on a case-by-case basis by the planning commission for conditional uses and development services division for permitted uses. Within six months after the facility has been constructed, the planning commission or the development services division may require the color be changed if it is determined that the original color does not blend with the surroundings.

19.83.080 - Sites in the foothills and canyons.

For the purpose of this chapter the foothills and canyons are defined as the areas shown on the maps in the document entitled "Salt Lake County Foothill and Canyon Development Standards."

A. Any grading for telecommunication facilities, including access roads and trenching for utilities, shall comply with the Uniform Building Code. Telecommunication facilities in the foothills and canyons shall comply with the FR zone requirements for grading (Section [19.12.100](#)), natural vegetation (Section [19.12.110](#)) and utilities (Section [19.12.120](#)). Everything possible should be done to minimize disturbance of the natural environment.

B. A computer-generated visual simulation of the proposed structures is required for all sites in the foothills and canyons. The simulation shall show all structures including but not limited to monopoles, antennas, and equipment buildings.

C. Everything possible should be done to minimize disturbance of the visual environment. Site placement and color should be carefully considered to blend in with the surroundings.

D. Continuous outside lighting is prohibited unless required by the FAA for the monopole.

19.83.090 - Additional requirements.

The following shall be considered by the planning commission for conditional uses:

A. Compatibility of the proposed structure with the height and mass of existing buildings and utility structures.

B. Location of the antenna on other existing structures in the same vicinity such as other monopoles, buildings, water towers, utility poles, athletic field lights, parking lot lights, etc. where possible without significantly impacting antenna transmission or reception.

C. Location of the antenna in relation to existing vegetation, topography including ridge lines, and buildings to obtain the best visual screening.

D. Spacing between monopoles which creates detrimental impacts to adjoining properties.

E. Installation of, but not limited to, curb, gutter, sidewalk, landscaping, and fencing as per Sections [19.76.210](#) and [19.84.050](#)

2.3 Other Agency Recommendations or Requirements

The Unified Fire Authority approved of the development plans as proposed.

The County Grading Specialist has not responded as of the writing of this report. The expectation of staff is that this facility be located on a previously disturbed/graded area of the property.

2.4 Other Issues

Planning Review

The pole is only proposed to be approximately 14 feet high and well below the maximum permitted in the ordinance. Accordingly the impact will be minimal. Staff still recommends however that the antenna, poll and appurtenance be painted a single color that helps it to blend in with the surroundings.

Utility lines serving this project must be buried. Given the extensive grading that has occurred on the property to date staff does not support any additional disturbance of naturalized areas. Accordingly these lines will likely need to be placed within the existing road and driveway. The site plan needs to provide greater detail regarding in addressing how electrical power will be provided to this facility.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Submittal of all missing application materials.
- 2) Comply with all applicable ordinance requirements and recommendations of the individual reviewers and agencies.
- 3) Build in compliance with the final plans that are approved by Planning Staff.
- 4) Paint the facility and all antenna and appurtenances to blend in with the surrounding landscape. Final approval of selected color being delegated to Planning Staff.

3.2 Reasons for Recommendation

- 1) All aspects related to compliance with ordinance requirements and mitigation measures can be reviewed and compliance achieved through the technical review process prior to the issuance of a final land use approval.

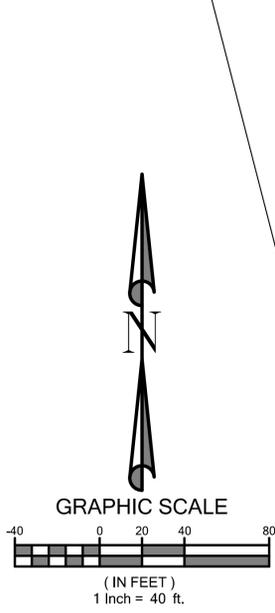
3.3 Other Recommendations

None at this time.



Fri Mar 29 2013 05:29:13 PM.



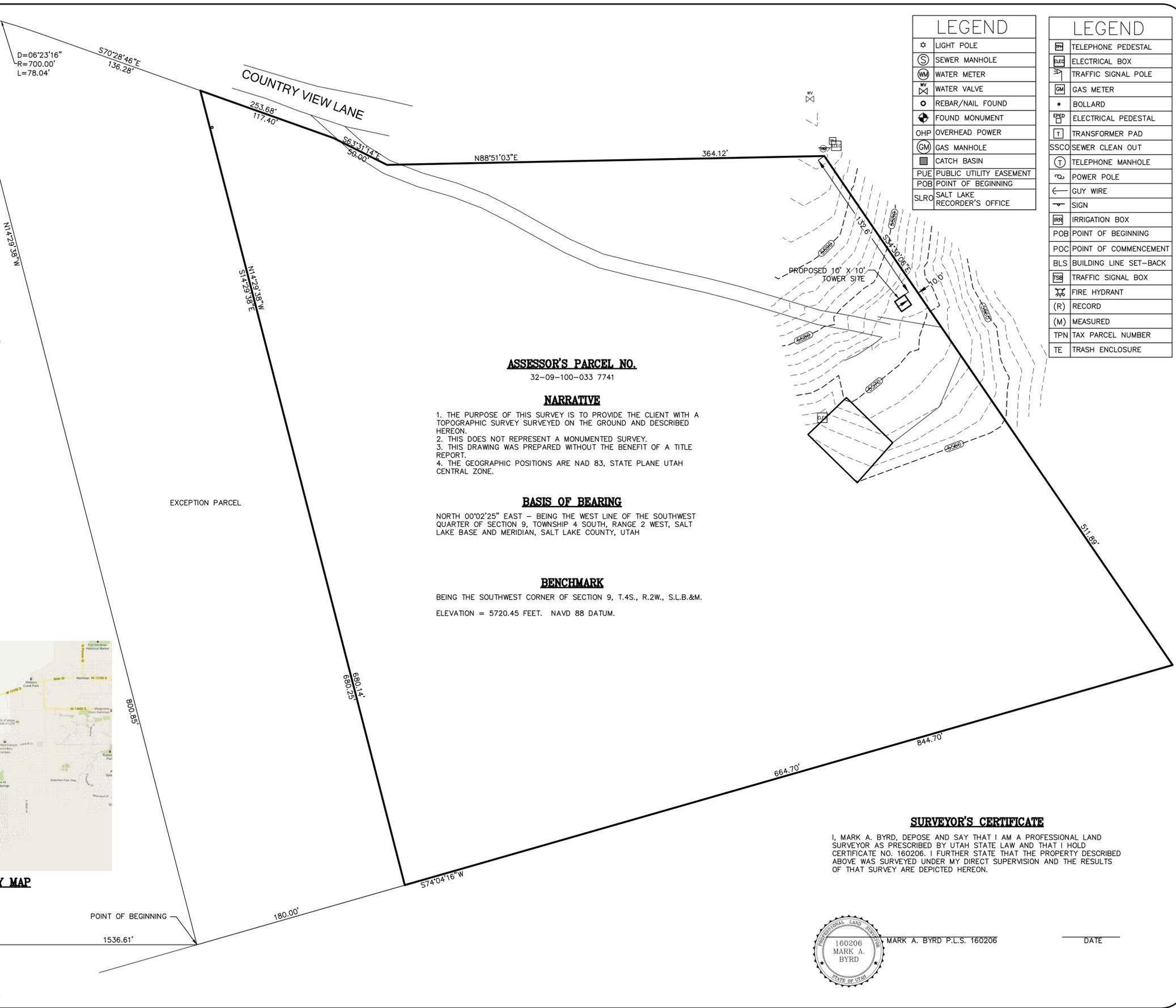


WEST 1/4 COR SEC 9
T4S, R2W, SLB&M
(STONE MONUMENT FOUND)



VICINITY MAP

SOUTHWEST COR SEC 9
T4S, R2W, SLB&M
(STONE MONUMENT FOUND)



ASSESSOR'S PARCEL NO.
32-09-100-033 7741

NARRATIVE

1. THE PURPOSE OF THIS SURVEY IS TO PROVIDE THE CLIENT WITH A TOPOGRAPHIC SURVEY SURVEYED ON THE GROUND AND DESCRIBED HEREON.
2. THIS DOES NOT REPRESENT A MONUMENTED SURVEY.
3. THIS DRAWING WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
4. THE GEOGRAPHIC POSITIONS ARE NAD 83, STATE PLANE UTAH CENTRAL ZONE.

BASIS OF BEARING

NORTH 00°02'25" EAST - BEING THE WEST LINE OF THE SOUTHWEST QUARTER OF SECTION 9, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH

BENCHMARK

BEING THE SOUTHWEST CORNER OF SECTION 9, T.4S., R.2W., S.L.B.&M.
ELEVATION = 5720.45 FEET. NAVD 88 DATUM.

SURVEYOR'S CERTIFICATE

I, MARK A. BYRD, DEPOSE AND SAY THAT I AM A PROFESSIONAL LAND SURVEYOR AS PRESCRIBED BY UTAH STATE LAW AND THAT I HOLD CERTIFICATE NO. 160206. I FURTHER STATE THAT THE PROPERTY DESCRIBED ABOVE WAS SURVEYED UNDER MY DIRECT SUPERVISION AND THE RESULTS OF THAT SURVEY ARE DEPICTED HEREON.



MARK A. BYRD P.L.S. 160206

DATE

LEGEND	
☆	LIGHT POLE
⊙	SEWER MANHOLE
⊕	WATER METER
⊕	WATER VALVE
○	REBAR/NAIL FOUND
⊕	FOUND MONUMENT
OHP	OVERHEAD POWER
⊕	GAS MANHOLE
■	CATCH BASIN
PUE	PUBLIC UTILITY EASEMENT
POB	POINT OF BEGINNING
SLRO	SALT LAKE RECORDER'S OFFICE

LEGEND	
⊕	TELEPHONE PEDESTAL
⊕	ELECTRICAL BOX
⊕	TRAFFIC SIGNAL POLE
⊕	GAS METER
•	BOLLARD
⊕	ELECTRICAL PEDESTAL
⊕	TRANSFORMER PAD
SSCO	SEWER CLEAN OUT
⊕	TELEPHONE MANHOLE
⊕	POWER POLE
←	GUY WIRE
+	SIGN
IRR	IRRIGATION BOX
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
BLS	BUILDING LINE SET-BACK
⊕	TRAFFIC SIGNAL BOX
⊕	FIRE HYDRANT
(R)	RECORD
(M)	MEASURED
TPN	TAX PARCEL NUMBER
TE	TRASH ENCLOSURE

PROJECT INFORMATION:

Herriman
UTHER140
7741 West Country View Lane
Herriman UT, 84096
Salt Lake County

CURRENT ISSUE DATE:

ISSUED FOR:

REV.:	DATE:	DESCRIPTION:	BY:
△			
△			
△			
△			
△			
△			
△			
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△			

PLANS PREPARED BY:

13969 W. 1st Ave. Golden, CO 80401
P: 303-325-5606
www.atecs.com

DRAWN BY:	CHK.:	APV.:
MB	MB	MB

LICENSURE:

Engineers & Land Surveyors

505 South Main Street
Bountiful, Utah 84010
Phone (801)-292-0400
Fax (801)-292-8216

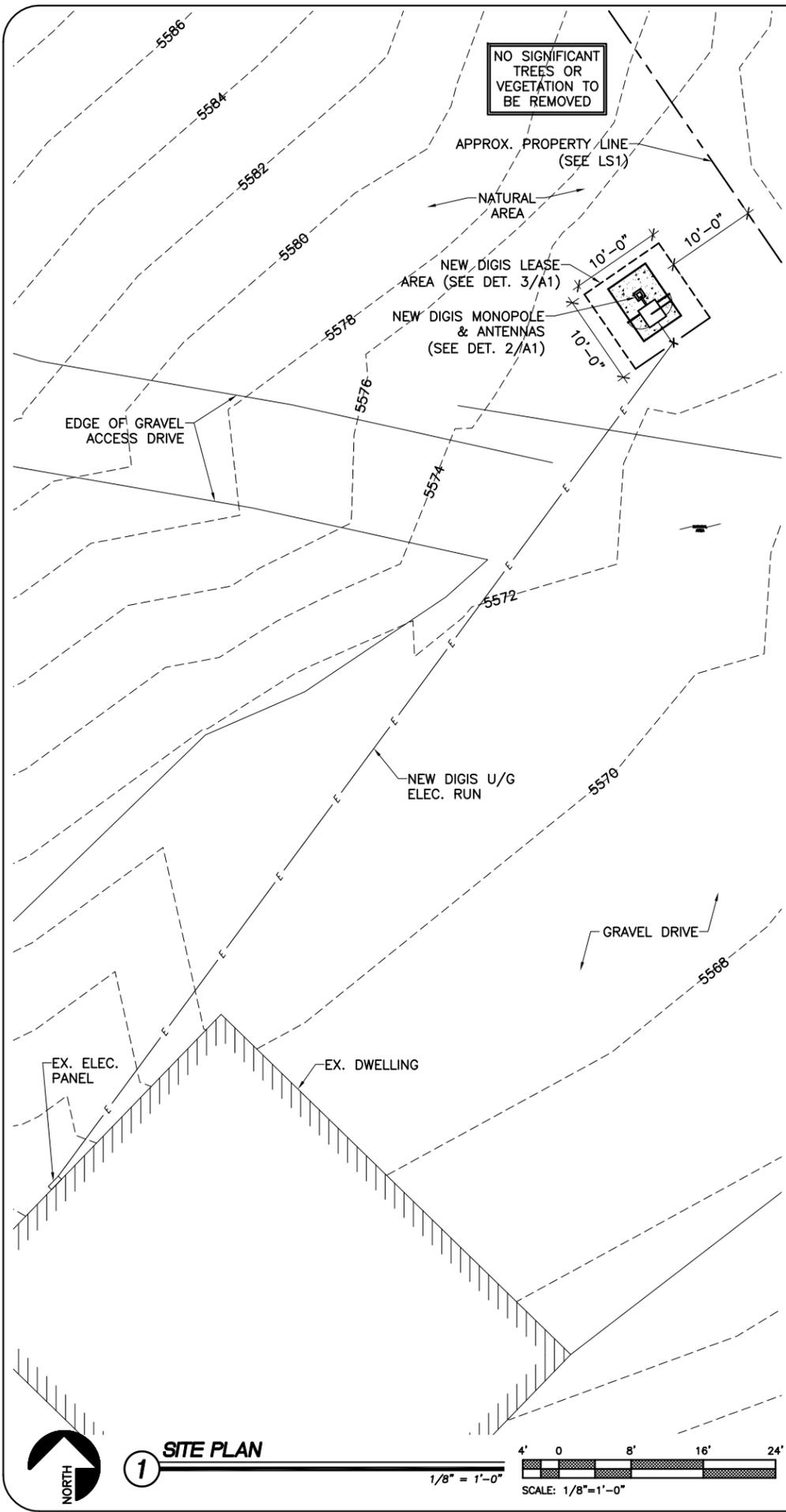
SHEET TITLE:

TOPOGRAPHIC SURVEY

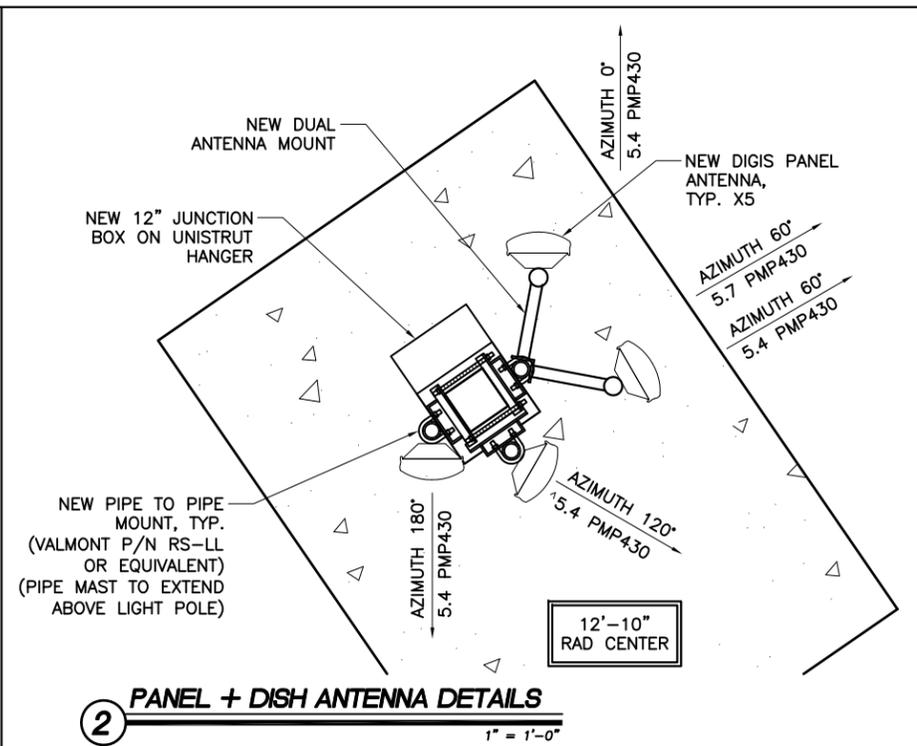
SCALES SET FOR A 24"x36" "D" SIZE SHEET

SHEET NUMBER:

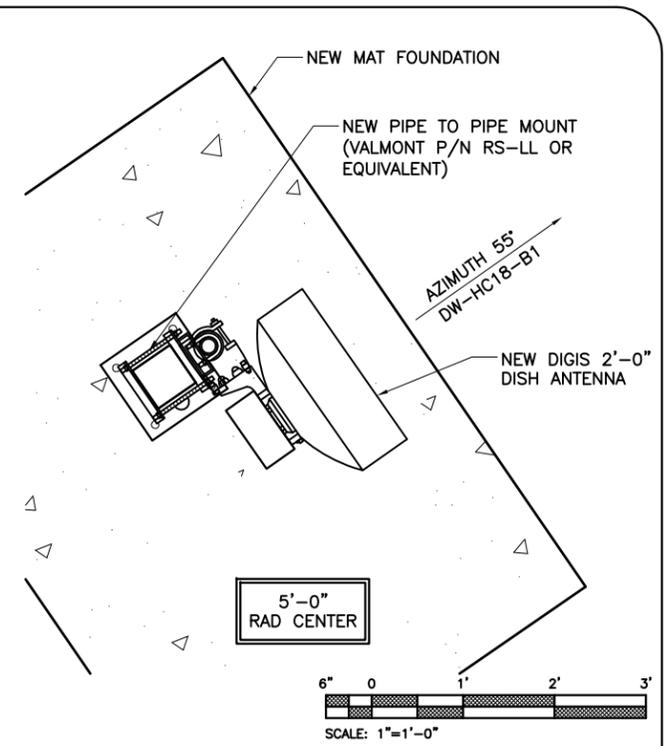
LS1



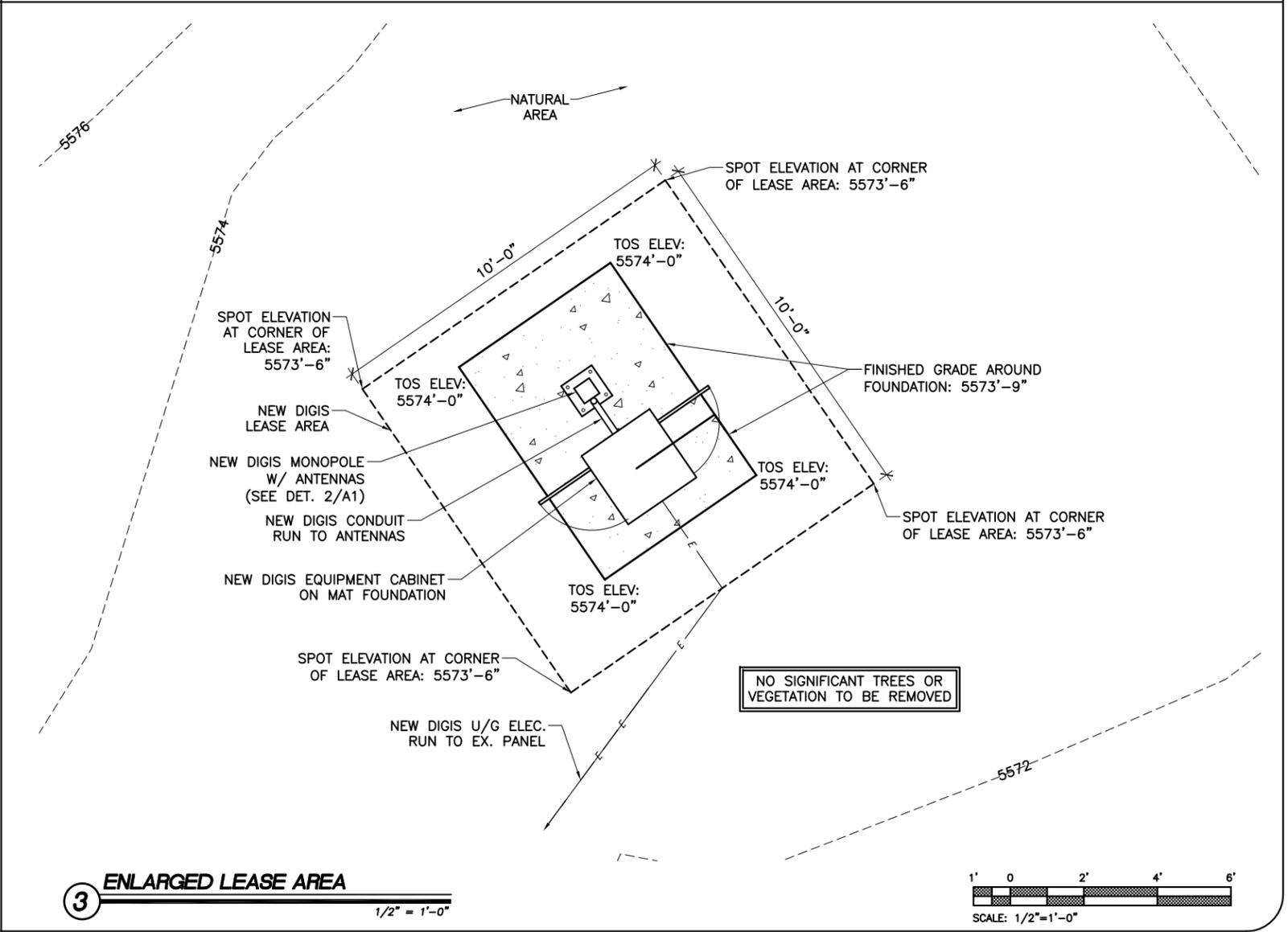
1 SITE PLAN
 SCALE: 1/8" = 1'-0"



2 PANEL + DISH ANTENNA DETAILS
 SCALE: 1" = 1'-0"



5'-0" RAD CENTER
 SCALE: 1" = 1'-0"



3 ENLARGED LEASE AREA
 SCALE: 1/2" = 1'-0"



PROJECT INFORMATION:
UTHER140
 7741 W. COUNTRY VIEW LANE
 HERRIMAN, UT 84096
 SALT LAKE COUNTY

CURRENT ISSUE DATE:
2/20/13

ISSUED FOR:
CONSTRUCTION

REV. DATE	DESCRIPTION	BY
1/3/13	PRELIM. CONST.	KR
2/14/13	CONSTRUCTION	KR
2/15/13	REV. CONST.	KR
2/20/13	REV CONST.	KR

PLANS PREPARED BY:

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 P: 303-325-5606
 www.atecs.com

DRAWN BY: **KR** CHK.: **KS** APV.: **KS**

LICENSURE:
 SHEET TITLE:

SITE PLANS & ANTENNA DETAILS
 SCALES SET FOR A 24"x36" "D" SIZE SHEET
 SHEET NUMBER:

A1



PROJECT INFORMATION:

UTHER140

7741 W. COUNTRY VIEW LANE
HERRIMAN, UT 84096
SALT LAKE COUNTY

CURRENT ISSUE DATE:

2/20/13

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.:	DATE:	DESCRIPTION:	BY:
1	1/3/13	PRELIM. CONST.	KR
2	2/14/13	CONSTRUCTION	KR
3	2/15/13	REV. CONST.	KR
4	2/20/13	REV CONST.	KR

PLANS PREPARED BY:



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DRAWN BY: CHK.: APV.:

KR KS KS

LICENSURE:

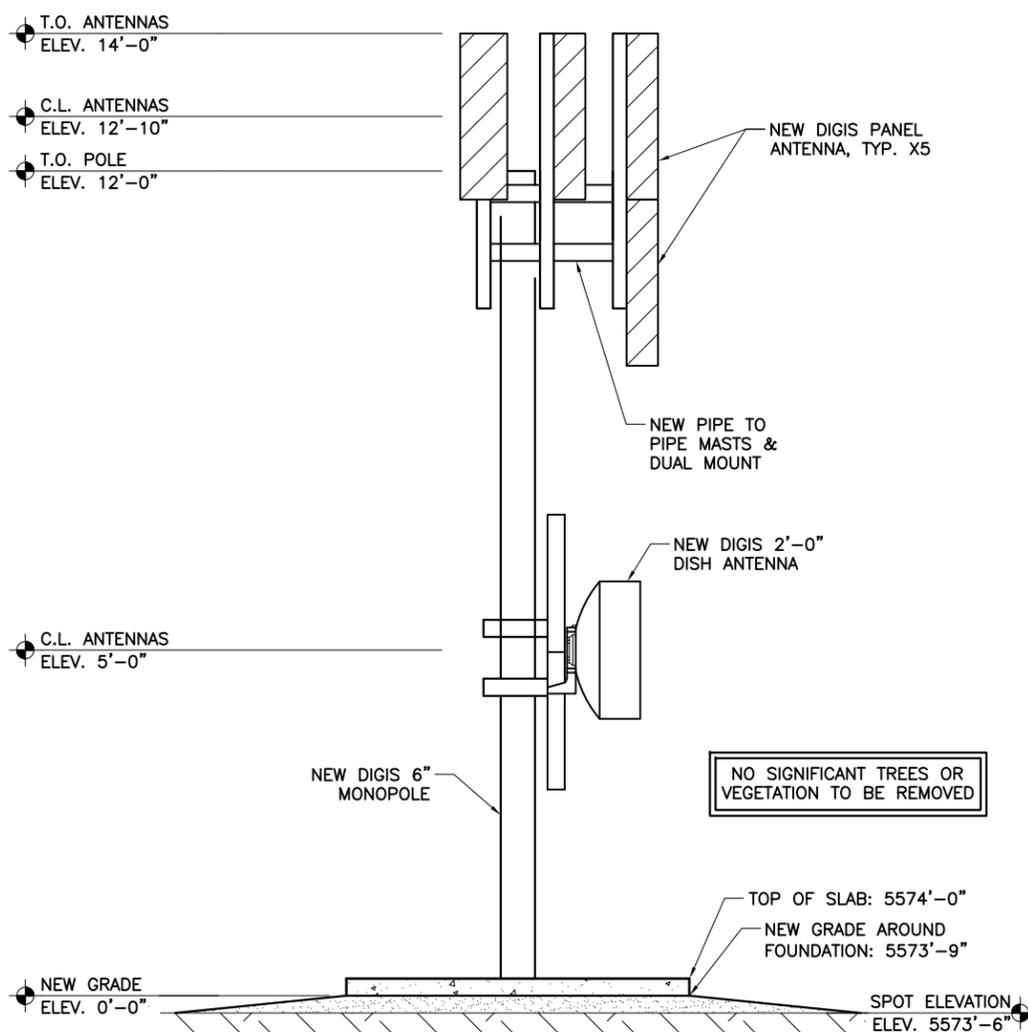
SHEET TITLE:

ELEVATIONS

SCALES SET FOR A 24"x36" "D" SIZE SHEET

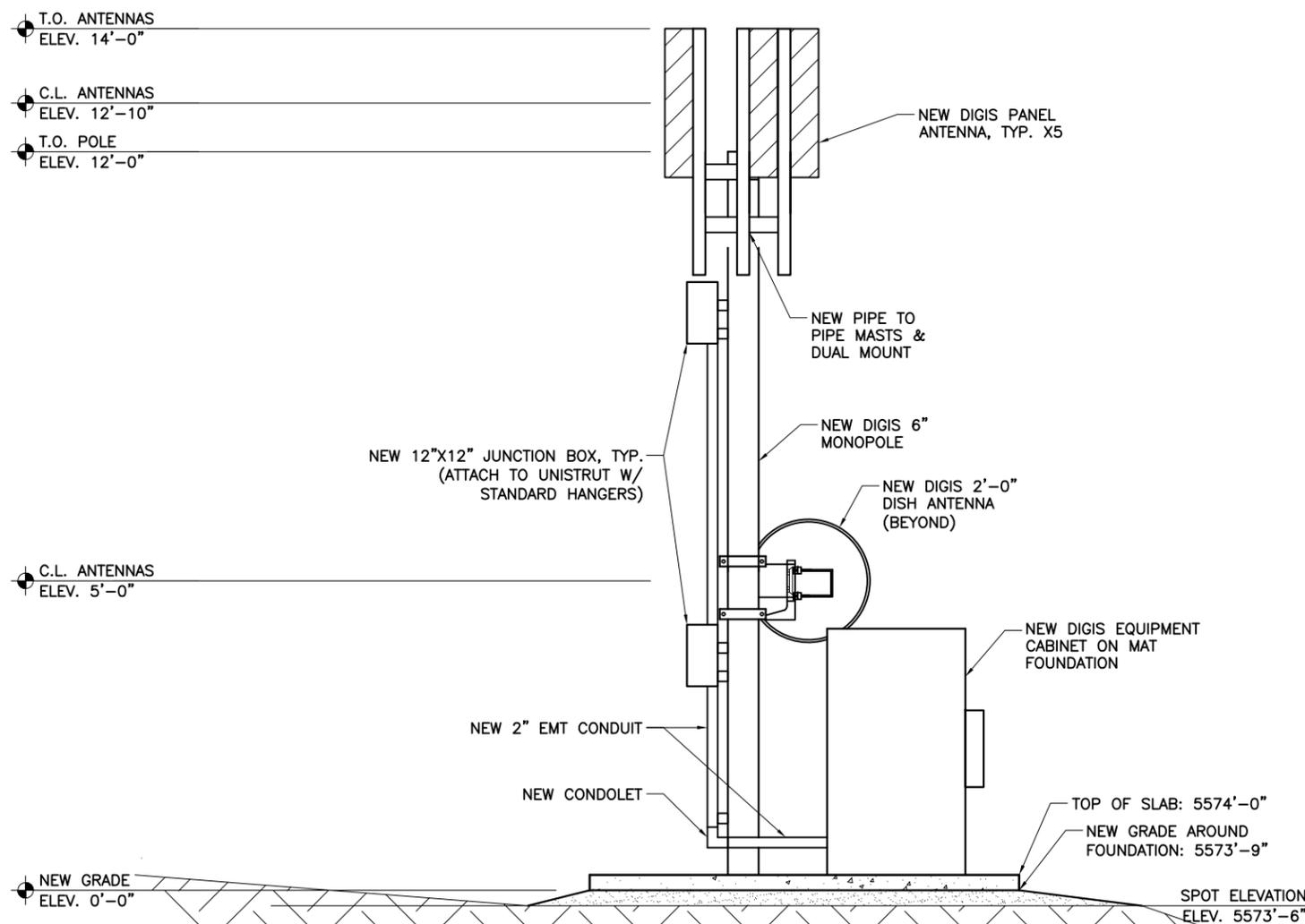
SHEET NUMBER:

A2



1 SOUTHEAST POLE ELEVATION

3/4" = 1'-0"



2 SOUTHWEST ELEVATION

3/4" = 1'-0"



PROJECT INFORMATION:

UTHER140

7741 W. COUNTRY VIEW LANE
HERRIMAN, UT 84096
SALT LAKE COUNTY

CURRENT ISSUE DATE:

2/20/13

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
△	2/14/13	PRELIM. CONST.	MF
△	2/15/13	CONSTRUCTION	MF
△			
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PLANS PREPARED BY:



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DRAWN BY: CHK.: APV.:

MF SB ADP

LICENSURE:

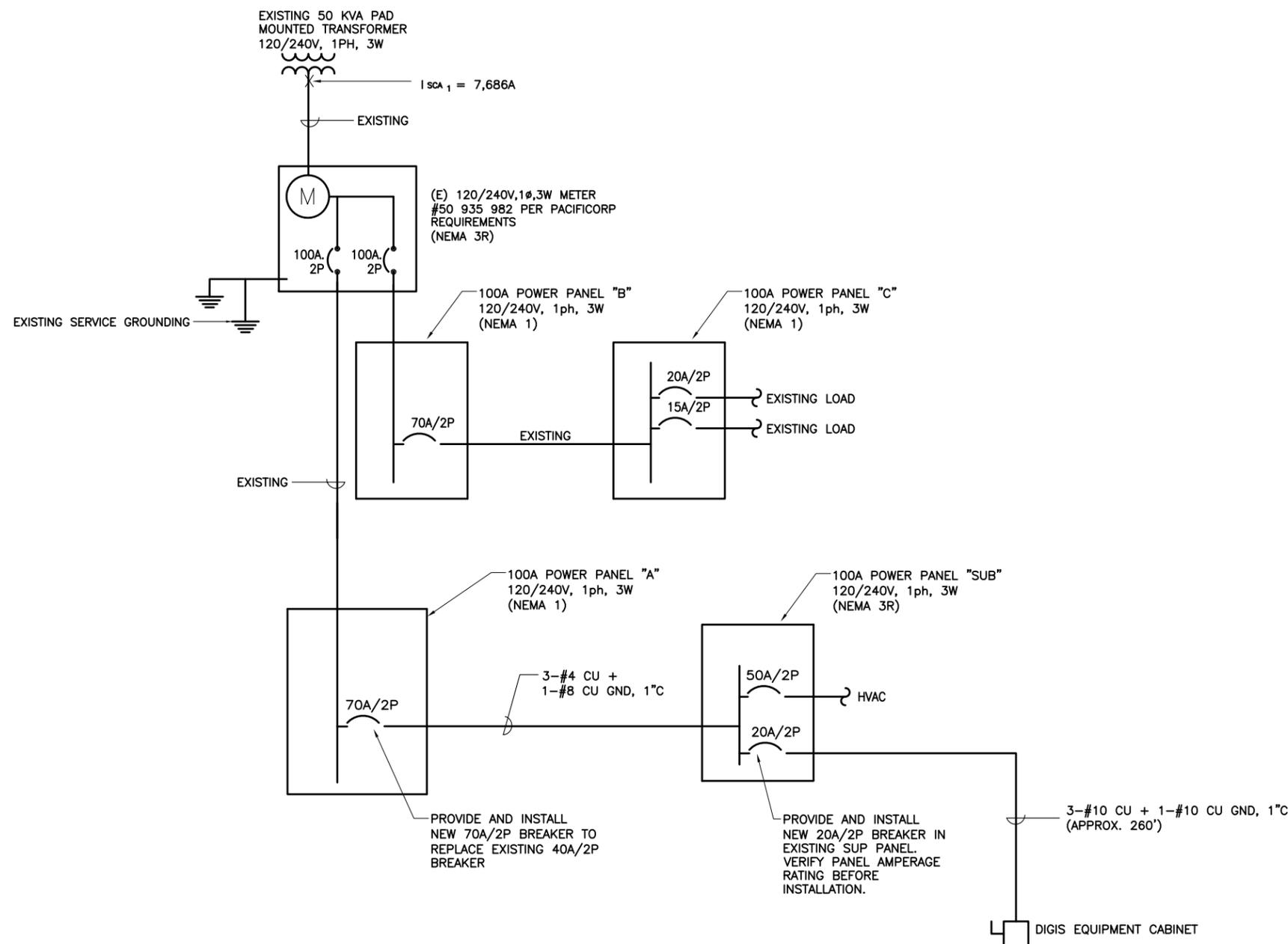
SHEET TITLE:

ONLINE DIAGRAM
SCHEDULES AND
CALCULATIONS

SCALES SET FOR A 24"x36" "D" SIZE SHEET

SHEET NUMBER:

E1



1 ONE-LINE DIAGRAM
E-1 SCALE: NONE

SHORT CIRCUIT CALCULATIONS
POINT TO POINT METHOD FOR SHORT CIRCUIT CALCULATIONS AS ILLUSTRATED IN BUSSMAN MANUFACTURING PUBLICATION FORM SPD90.

$$I_{f.L} = \frac{50 \times 1000}{240} = 208.3A$$

$$M = \frac{100}{2.71} = 36.9$$

I_{SC1} : AVAILABLE SHORT CIRCUIT CURRENT FROM UTILITY = 7,686A.

SHORT CIRCUIT CALCS SCALE NONE 2

NEW SKYBEAM LOAD: 12A @ 240V, 1Ø

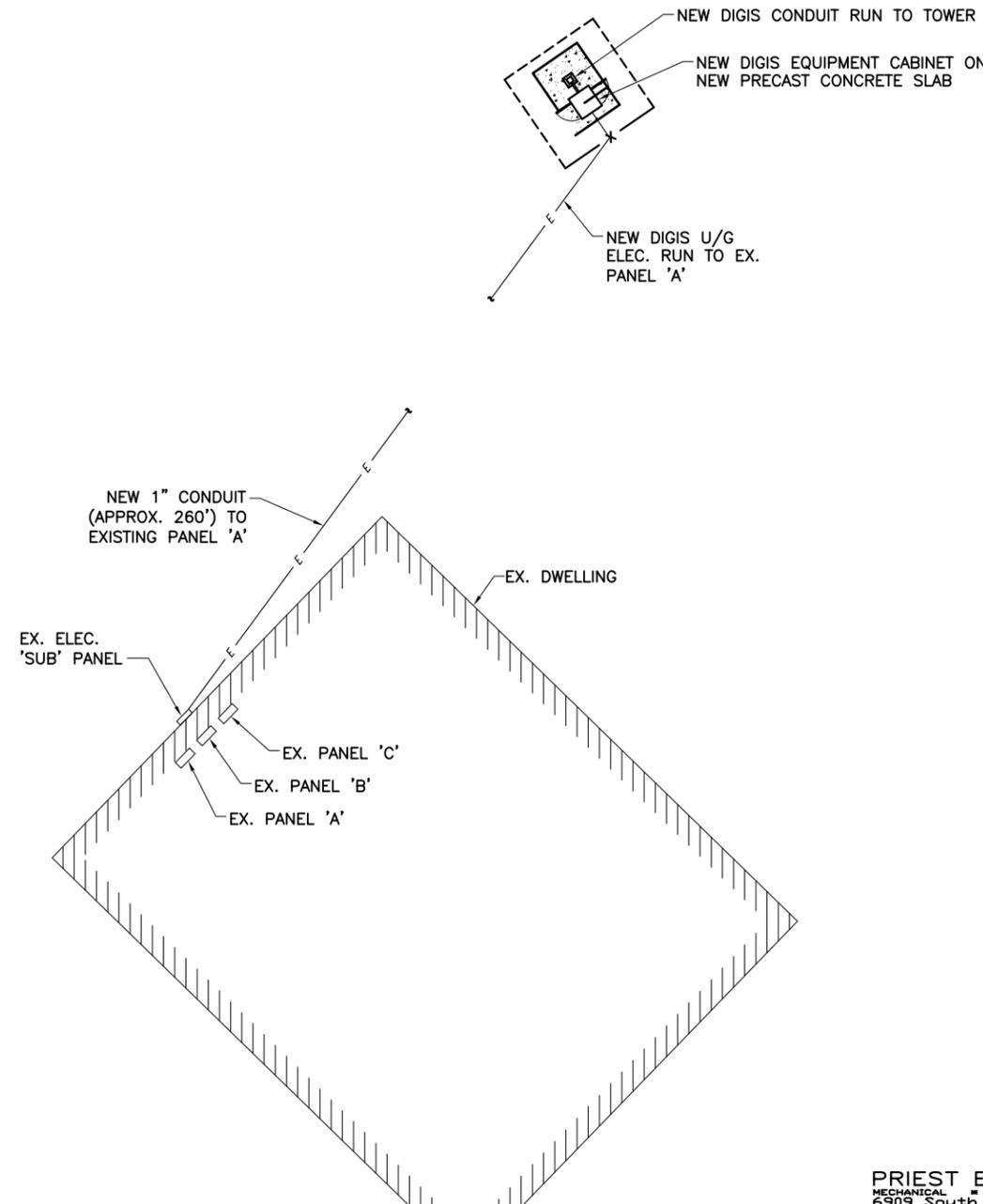
PRIEST ENGINEERING, INC
MECHANICAL ENGINEERS ELECTRICAL
6909 South Holly Circle, Suite 304
Englewood, Colorado 80112
Ph: (303) 773-8773 Fax: (303) 779-8333

GENERAL ELECTRICAL NOTES

- 1 SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
- 2 CONTRACTOR SHALL PERFORM ALL VERIFICATION OBSERVATION TESTS, AND EXAMINATION WORK PRIOR TO THE ORDERING OF THE ELECTRICAL EQUIPMENT AND THE ACTUAL CONSTRUCTION. CONTRACTOR SHALL ISSUE A WRITTEN NOTICE OF ALL FINDINGS TO THE ENGINEER LISTING ALL MALFUNCTIONS, FAULTY EQUIPMENT AND DISCREPANCIES.
- 3 HEIGHTS SHALL BE VERIFIED WITH OWNER PRIOR TO INSTALLATION.
- 4 THESE PLANS ARE DIAGRAMMATIC ONLY, FOLLOW AS CLOSELY AS POSSIBLE.
- 5 EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, SWITCH BOX, ETC., IN COMPLIANCE WITH OCCUPATIONAL SAFETY AND HEALTH ACT (O.S.H.A.)
- 6 CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPERLY OPERATIVE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE INDICATED.
- 7 ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORY AND SHALL BEAR THE INSPECTION LABEL "J" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, AND NBFU.
- 8 CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY AND LOCAL CODES AND O.S.H.A.
- 9 COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF JOB ACCEPTANCE BY OWNER. ANY WORK, MATERIAL OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF CONTRACTOR.
- 10 ALL CONDUIT ONLY (C.O.) SHALL HAVE 2 NYLON PULLCORDS.
- 11 PROVIDE CONSTRUCTION MANAGER WITH ONE SET OF COMPLETE ELECTRICAL "AS INSTALLED" DRAWINGS AT THE COMPLETION OF THE JOB, SHOWING ACTUAL DIMENSIONS, ROUTINGS AND CIRCUITS.
- 12 ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO OWNER AT JOB COMPLETION.
- 13 ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN INTERRUPTING RATING NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
- 14 THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES AND DRAWINGS.
- 15 PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- 16 IN DRILLING HOLES INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND/OR REINFORCING STEEL WILL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES.
- 17 LOCATION OF TENDONS AND/OR REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING AND/OR STEEL TENDONS.
- 18 PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH SECTION NO. 4305 AND NO. 4304 OF THE U.B.C.
- 19 WIRE AND CABLE CONDUCTORS SHALL BE COPPER #12 AWG MINIMUM, NO BX OR ROMEX CABLE IS PERMITTED UNLESS SPECIFICALLY NOTED OTHERWISE ON DRAWINGS.
- 20 GROUND CONDUCTORS SHALL BE #2 AWG SOLID BARE TINNED COPPER FOR BELOW GRADE AND #2 AWG STRANDED GREEN INSULATED COPPER ABOVE GRADE.
- 21 GROUND RODS SHALL BE COPPER CLAD STEEL, 5/8" ROUND AND 8' LONG. COPPERWELD OR APPROVED EQUAL.
- 22 METER SOCKET AMPERES, VOLTAGE, NUMBER OF PHASES SHALL BE AS NOTED ON THE DRAWINGS. MANUFACTURED BY SQUARE D COMPANY OR APPROVED EQUAL.
- 23 CONDUIT:
 - a. INTERMEDIATE METALLIC CONDUIT (IMC) SHALL HAVE U.L. LABEL. FITTINGS SHALL BE WATERTIGHT COMPRESSION TYPE. IMC SHALL BE USED FOR OUTDOOR RUNS. IMC IN CONTACT WITH EARTH SHALL BE 1/2 LAPPED WRAPPED WITH HUNTS WRAP PROCESS NO. 3.
 - b. ELECTRICAL METALLIC TUBING (EMT) SHALL HAVE U.L. LABEL. FITTINGS SHALL BE GLAND RING COMPRESSION TYPE. EMT SHALL BE USED ONLY FOR INTERIOR RUNS.
 - c. FLEXIBLE METALLIC CONDUIT SHALL HAVE U.L. LISTED LABEL AND MAY BE USED WHERE PERMITTED BY CODE. FITTINGS SHALL BE "JAKE" OR "SQUEEZE" TYPE, LENGTH SHALL HAVE FULL SIZE GROUND WIRE.
 - d. ALL UNDERGROUND CONDUIT SHALL BE PVC SCHEDULE 40 (UNLESS NOTED OTHERWISE) AT A MINIMUM DEPTH OF 24" BELOW GRADE.
- 24 ALL ELECTRICAL EQUIPMENT SHALL BE LABELED WITH PERMANENT ENGRAVED PLASTIC NAMEPLATES, BLACK WITH WHITE LETTERING, AND ATTACHED WITH RIVETS.
- 25 CONTRACTOR TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOKUP COSTS TO BE PAID BY CONTRACTOR.
- 26 ROUTING OF UNDERGROUND ELECTRICAL CONDUIT WILL BE DICTATED BY THE LOCATION OF EASEMENTS WHICH WILL BE DETERMINED FROM SITE SURVEY.

ABBREVIATIONS	
ACCA	ANTENNA CABLE ASSEMBLY
AWG	AMERICAN WIRE GAUGE
BCW	BARE COPPER WIRE
BSCW	BARE STRANDED COPPER WIRE
BTCW	BARE TINNED COPPER WIRE
CAB	CABINET
EMT	ELECTRICAL METALLIC TUBING
GPS	GLOBAL POSITIONING SYSTEM
GR	GROWTH
GND (OR GRD)	GROUND
IGR	INTERIOR GROUND RING (HALO)
IMC	INTERMEDIATE METALLIC CONDUIT
ISCW	INSULATED STRANDED COPPER WIRE
PCS	PERSONAL COMMUNICATION SERVICE
PRC	PRIMARY RADIO CABINET
PVC	RIGID PLASTIC CONDUIT
PWR	POWER CABINET
RGS	RIGID GALVANIZED STEEL

ELECTRICAL SYMBOLS	
	POWER SERVICE RUN
	OVERHEAD POWER
	UNDERGROUND POWER
	TELEPHONE SERVICE RUN
	OVERHEAD TELEPHONE
	UNDERGROUND TELEPHONE
	GROUND CONDUCTOR RUN
	GENERATOR POWER
	METER BASE
	FUSED DISCONNECT SWITCH
	NON-FUSED DISCONNECT SWITCH
	DETAIL REFERENCE. TOP NUMBER IS THE DETAIL. BOTTOM NUMBER IS THE DRAWING.



PRIEST ENGINEERING, INC
 MECHANICAL ENGINEERS ELECTRICAL
 6909 South Holly Circle, Suite 304
 Englewood, Colorado 80112
 Ph: (303) 773-8773 Fax: (303) 779-8333

SCALE
 NONE 1

POWER/TELCO SITE PLAN



PROJECT INFORMATION:

UTHER140

7741 W. COUNTRY VIEW LANE
 HERRIMAN, UT 84096
 SALT LAKE COUNTY

CURRENT ISSUE DATE:

2/20/13

ISSUED FOR:

CONSTRUCTION

REV.:	DATE:	DESCRIPTION:	BY:
Δ	2/14/13	PRELIM. CONST.	MF
Δ	2/15/13	CONSTRUCTION	MF
Δ			
Δ			
Δ			
Δ			
Δ			
Δ			
Δ			

PLANS PREPARED BY:



13969 W. 1st Ave. Golden, CO 80401
 P: 303-325-5606
 www.atecs.com

DRAWN BY: CHK.: APV.:

MF SB ADP

LICENSURE:

SHEET TITLE:

ELECTRICAL
 SITE PLAN

SCALES SET FOR A 24"x36" "D" SIZE SHEET

SHEET NUMBER:

E2

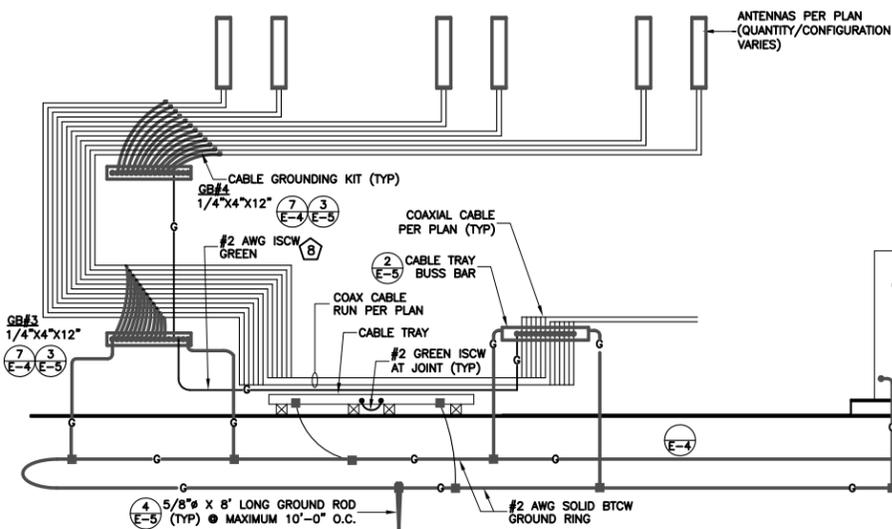
GROUNDING NOTES

- 1 ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION & CONSTRUCTION MAY VARY DUE TO SPECIFIC SITE CONDITIONS.
- 2 COAX GROUND BARS: EXTEND (2 EACH) #2 TINNED, SOLID BCW FROM BURIED GROUND RING UP TO EACH GROUND & MAKE MECHANICAL CONNECTIONS TO GROUND BARS.
- 3 BEFORE ATTACHING A NEW GROUND TO AN EXISTING, CONTRACTOR IS REQUIRED TO PERFORM A GROUND TEST TO DETERMINE IF AMOUNT OF RESISTANCE PRESENT IS WITHIN ALLOWABLE LIMITS (<5 OHMS). NEW SYSTEM MUST BE TIED OFF AT 2 POINTS BY EXOTHERMIC WELD WITH INSPECTION PORTS INSTALLED AT EACH BONDED POINT. A SECOND GROUND TEST IS REQUIRED AFTER INSTALLING NEW GROUND & MUST BE WITHIN ALLOWABLE LIMITS (<5 OHMS).
- 4 GROUND ROD SPACING IS 10'-0" MAX.
- 5 THE BURIED GROUND RING CONDUCTORS & TOP OF GROUND RODS SHALL BE BURIED A MINIMUM DEPTH OF 2'-0" BELOW FINISHED GRADE, OR 6" BELOW FROST LINE, WHICHEVER IS DEEPER.
- 6 THE BURIED GROUND RING CONDUCTORS SHALL BE #2 SOLID BARE TINNED COPPER.
- 7 PROVIDE 10ft OF GROUND WIRE COILED UP AT TERMINATING LOCATION FOR FUTURE CONNECTIONS TO EQUIPMENT (CABINETS, MONOPOLE, COAX BRIDGE, FENCING, ETC) BEING INSTALLED AT A LATER DATE THAN THE GROUNDING INSTALLATION.
- 8 THE #2 AWG GREEN ISCW MAY BE RUN IN THE CABLE TRAY PARALLEL TO COAX CABLE. DO NOT ATTACH OR FASTEN THE GROUND WIRE TO THE COAX CABLE.

GROUNDING LEGEND	
SYMBOL	DESCRIPTION
	GROUND ROD W/ ACCESS
	GROUND ROD (5/8"Ø X 8'-0" LONG)
	EXOTHERMIC TYPE CONNECTION (CADWELD)
	COMPRESSION TYPE CONNECTION (2-HOLE LUG), LONG BARREL LUGS, OR DOUBLE CRIMP "C" CLAMPS
	#2 AWG SOLID BARE TINNED COPPER WIRE
	#2 AWG STRANDED BARE COPPER WIRE
	#2 AWG GREEN INSULATED STRANDED COPPER WIRE
	EXISTING GROUND RING

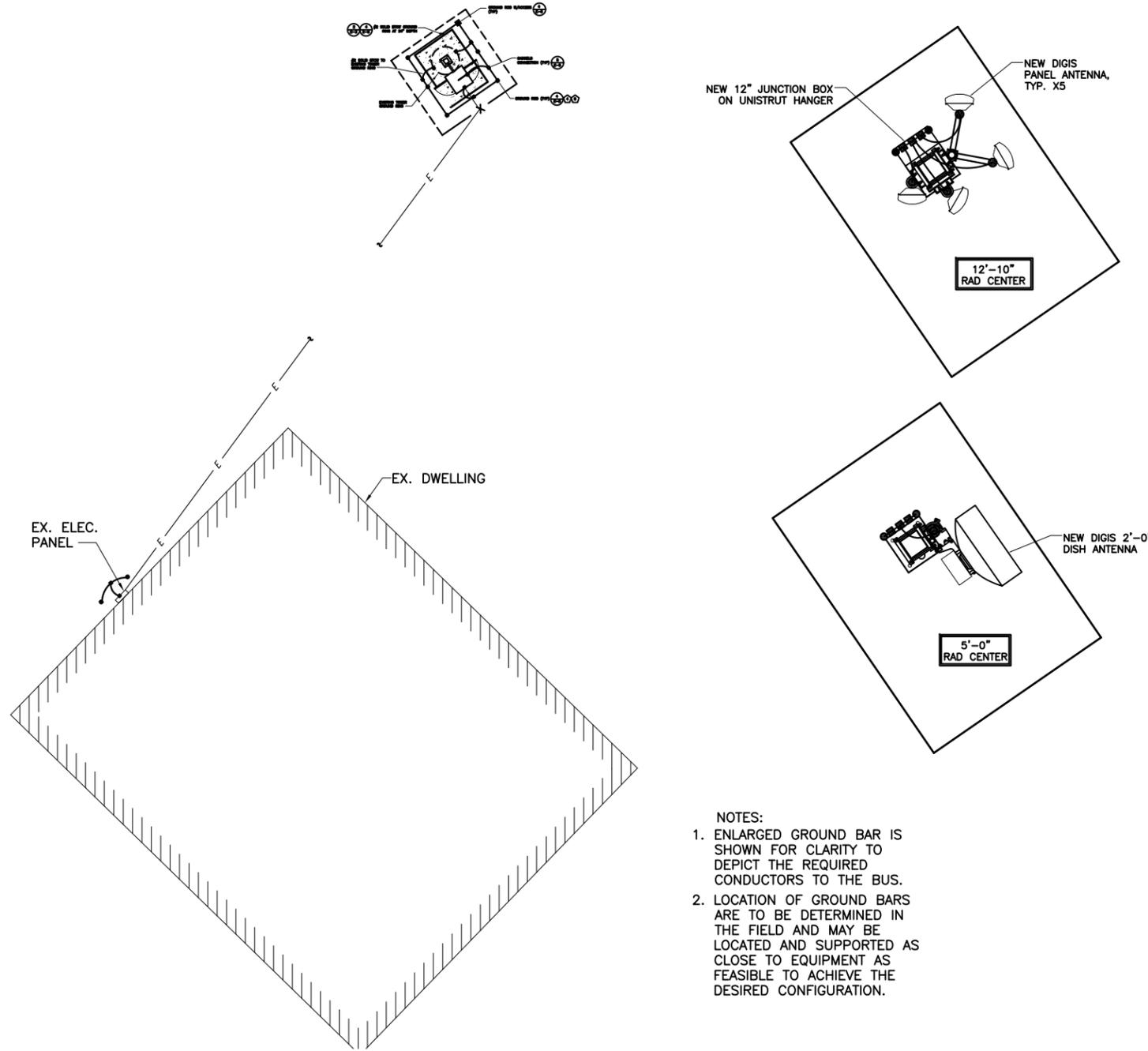
GROUNDING NOTES & LEGEND

SCALE: NONE 1



GROUNDING SCHEMATIC

SCALE: NONE 2



GROUNDING PLAN

SCALE: NONE 3

- NOTES:
1. THIS IS A DIAGRAMMATIC REPRESENTATION ONLY. SEE GROUNDING PLAN FOR SITE-SPECIFIC GROUNDING LAYOUT AND COMPONENTS.
 2. OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
 3. GROUND RING MINIMUM DEPTH OF 2'-6" BELOW FINISHED GRADE OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.

PRIEST ENGINEERING, INC
MECHANICAL ENGINEERS ELECTRICAL
6909 South Holly Circle, Suite 304
Englewood, Colorado 80122
Ph: (303) 773-8773 Fax: (303) 779-8333



PROJECT INFORMATION:

UTHER140

7741 W. COUNTRY VIEW LANE
HERRIMAN, UT 84096
SALT LAKE COUNTY

CURRENT ISSUE DATE:

2/20/13

ISSUED FOR:

CONSTRUCTION

REV.: DATE: DESCRIPTION: BY:

REV.	DATE	DESCRIPTION	BY
1	2/14/13	PRELIM. CONST.	MF
2	2/15/13	CONSTRUCTION	MF

PLANS PREPARED BY:



13969 W. 1st Ave. Golden, CO 80401
P: 303-325-5606
www.atecs.com

DRAWN BY: CHK.: APV.:

MF SB ADP

LICENSURE:

SHEET TITLE:

SITE GROUNDING PLAN

SCALES SET FOR A 24"x36" "D" SIZE SHEET

SHEET NUMBER:

E3









STAFF REPORT

Executive Summary									
Hearing Body:	Salt Lake County Planning Commission								
Meeting Date and Time:	Wednesday, April 10, 2013	08:30 AM	File No:	2	8	3	3	4	
Applicant Name:	Marc Sullivan	Request:	Conditional Use						
Description:	Dwelling Group								
Location:	8520 S 1000 E, Sandy Utah								
Zone:	A-1 Agriculture	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
Planning Commission Rec:	Not Yet Received								
Community Council Rec:	Not Applicable								
Staff Recommendation:	Approval with Conditions								
Planner:	Jim Nakamura								

1.0 BACKGROUND

1.1 Summary

The Applicant is seeking approval to build a additional detached single family dwelling structure on the property. The property is not large enough to subdivide so the applicant is applying for a "Dwelling Group" approval which could allow multiple detached dwelling units to be built on a single lot. No lot lines will be added or adjusted, and the entire property remains under single ownership under this process. Certain conditions, including fencing, landscaping, and other development standards will be met as part of this approval.

1.4 Community Council Response

The proposed location does not fall within any Salt Lake County Community Council boundary.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	Standard `A': <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		Discussion: The proposed site development plans shall comply with regulations of the

		zoning district: The minimum of 15' setback from structure to any perimeter lot line will be met. The brick paver area located between the existing house and new single family structure will provide adequate off street parking (2 spaces are required). The new single family structure meets height requirements per the A-1 zone. A 25 foot driveway located on the South side of the property will meet access requirements.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Discussion: The proposed site plan will comply with regulations of the zoning district. A solid visual barrier currently exists around the perimeter of the property (block wall in the rear/ vinyl fencing on the sides) a landscaping plan will be developed per the standards set forth by the Salt Lake County Planning and Development offices. Summary:
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		Discussion: The traffic engineer will review the site access and indicate if any issues exist with the proposal. Final details will be worked out as part of the technical review. Summary:
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Discussion: These issues will be dealt with during the technical review with staff and at the time of the building permit. No perceived threats are know to exist. Summary:
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		Discussion: The impact to surrounding uses would be no different than currently exists.

2.2 Zoning Requirements

19.04.190 - Dwelling group.

"Dwelling group" means a group of two or more dwellings located on a parcel of land in one ownership and having any yard or court in common.

19.48.030 - Conditional uses.

Conditional uses in the A-1 zones are as follows:

A. The development shall comply with the maximum allowable density for the A-1 zone.

B. The distance between the principal buildings shall be equal to the total side yards required in the zone;

provided, however, that at the option of the developer, the distance between the principal structures may be reduced to ten feet, provided that the difference between ten feet and the required side yards is maintained as permanently landscaped open space elsewhere on the site. The distance between principal buildings and the nearest perimeter lot line shall not be less than fifteen feet unless demonstrated by the development plan that the yard required for a principal building in the district in which located is more appropriate. The distance between the building and a public street shall be not less than the front yard required in the zoning district, except for corner lots the side yard which faces on a public street shall be not less than twenty feet.

C. Access shall be provided by a private street or right-of-way from a public street; the private street or right-of-way shall not be less than twenty feet wide for one or two rear dwelling units and not less than thirty feet wide for three or more dwelling units.

D. A minimum of two parking spaces shall be provided for each dwelling unit. Parking spaces and vehicular maneuvering areas shall be designed to comply with county standards.

E. Every dwelling in the dwelling group shall be within sixty feet of an access roadway or drive.

F. The development plan shall provide landscaping as specified in [Chapter 19.77](#) of this title. Solid visual barrier fences shall be provided along all property lines unless the planning commission approves otherwise by deleting or modifying the fence requirement.

G. The development shall be approved by the development services director and the county fire chief before final approval is given by the planning commission

2.3 Other Agency Recommendations or Requirements

Building Inspection

1. A building permit is required for the home.
2. At time of building permit application, provide complete building plans showing compliance with current building code.
3. At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

Geology Review

1. A recorded Natural Hazards Disclosure form may be required -

Grading Review

1. At the time of the Building permit process a site grading and drainage plan shall be submitted for review and comment.
2. No sufficient grading issues are anticipated to develop the site.
3. Will remove an existing home and replace with new construction.
4. Recommendation of "Conditional Approval" is applicable.

Planning Review

1. Provide accurate site plan that shows dimensions of paved access, location of all required parking spaces for all units. Minimum stall size is 9' x 18' for angled and 8' x 20' for parallel. Stalls located next to fences or walls require an additional 2' in width.
2. Must maintain a minimum of 50% of the property in open space. Show calculations for coverage by buildings and pavement.
3. The property must be fenced with a solid visual barrier unless approved otherwise by the Planning Commission. (Specifically the North). If required, the fence should match the colors and materials of either of the two other fences already in place around the property.

4. A landscape plan for the property in compliance with Chapter 19.77 is required.

Unified Fire Authority

1. Must meet all local fire and building code requirements.

Urban Hydrology Review

1. A final Drainage plan is required. Show storm water routing system. This is required even if all the water is surface flow. Each lot must contain all storm water on its own lot or routed to an approved storm water drainage system.

2. Show location of all irrigation on the property, abandoned or active.

3. Plan must include the name and phone number of the registered professional engineer preparing the plan. The Drainage plan must also be signed, stamped, and dated by the engineer.

4. Plan must include project name, address, north arrow and scale (minimum 1" = 20')

5. The developer shall grade each lot in accordance with the approved site grading and lot

2.4 Other Issues

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1) Compliance with the recommendations and requirements of the individual reviewers as part of the technical review.

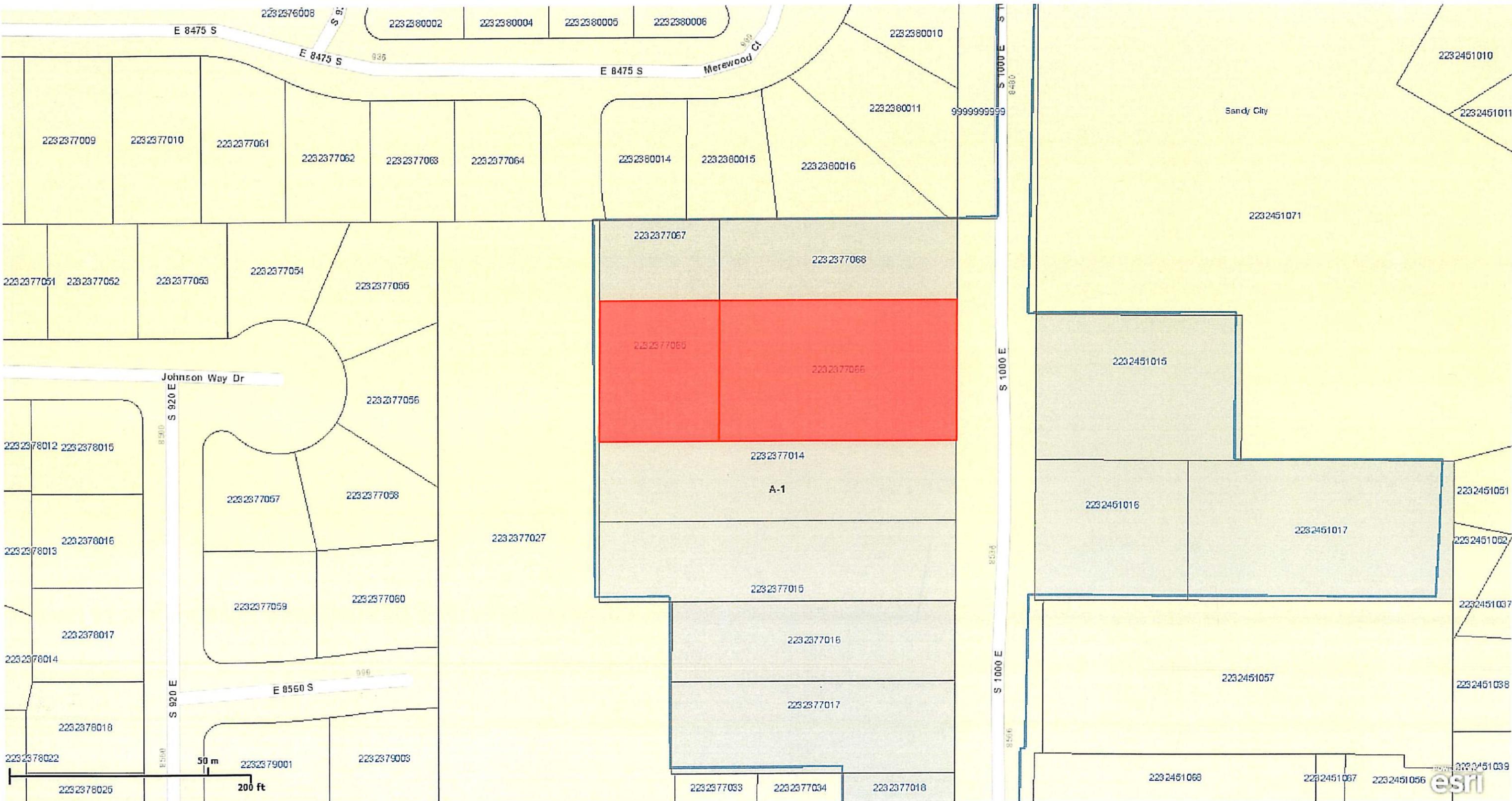
3.2 Reasons for Recommendation

- 1) All criteria for approval can be met through adherence to the recommendations and requirements of the reviewing entities.

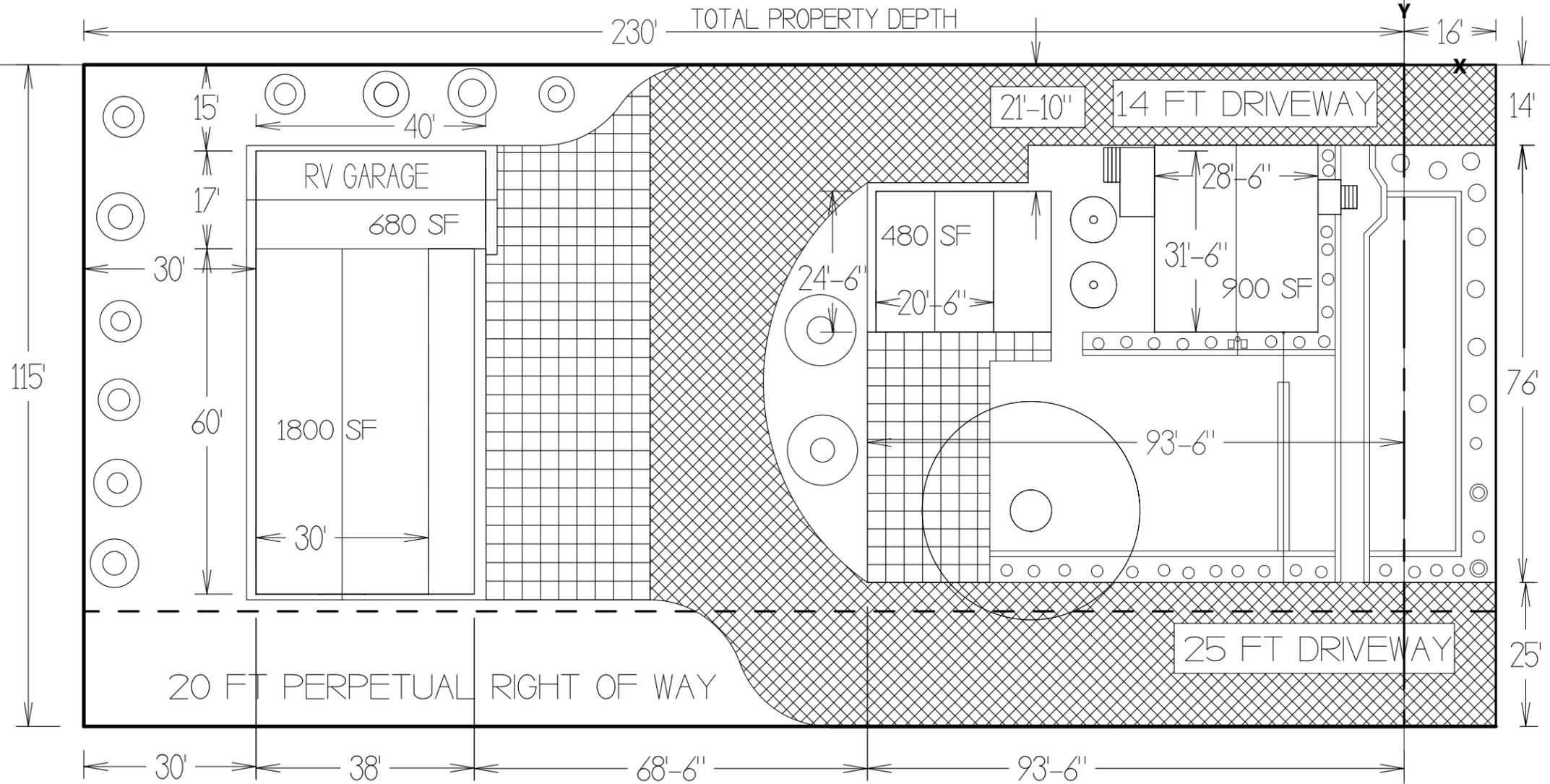
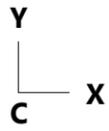
3.3 Other Recommendations

4.0 PROJECT PHOTOS

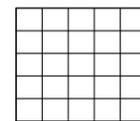
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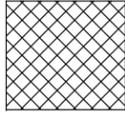


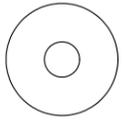
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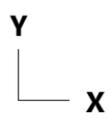


8520 S. 1000 E.
SULLIVAN PLACE
MARC SULLIVAN
801-201-1065


BRICK PAVERS


GRAVEL


TREES AND BUSHES



Z
Y
C X

8570 S. 1000 E.
SULLIVAN PLACE
MARC SULLIVAN
801-201-1065

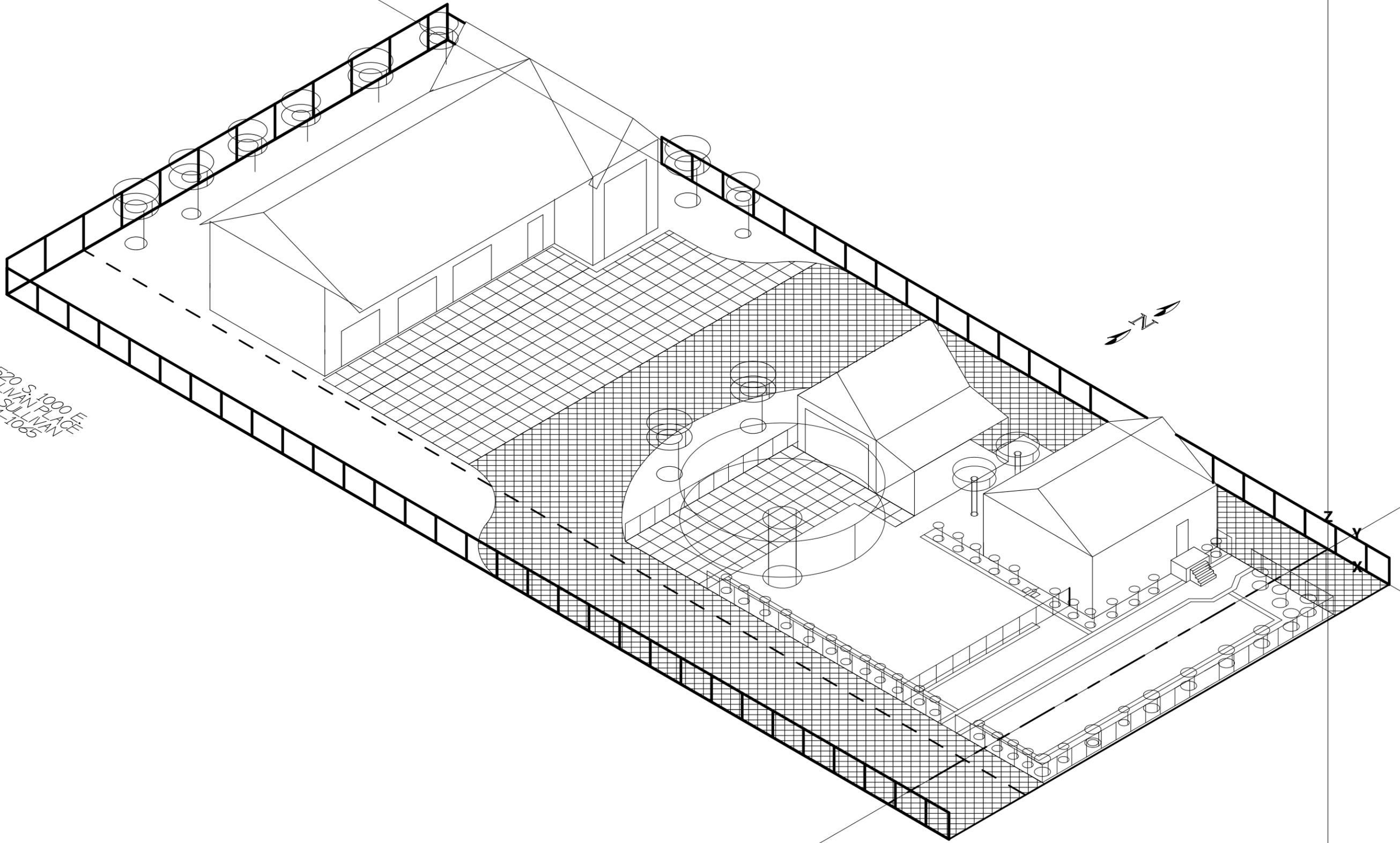


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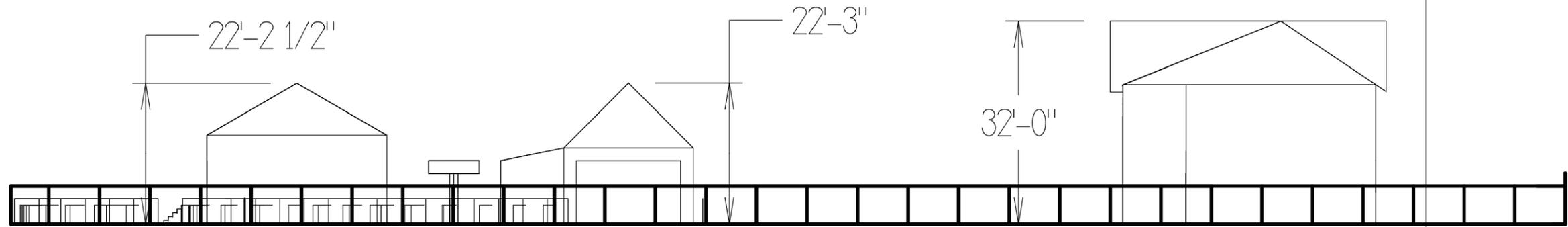
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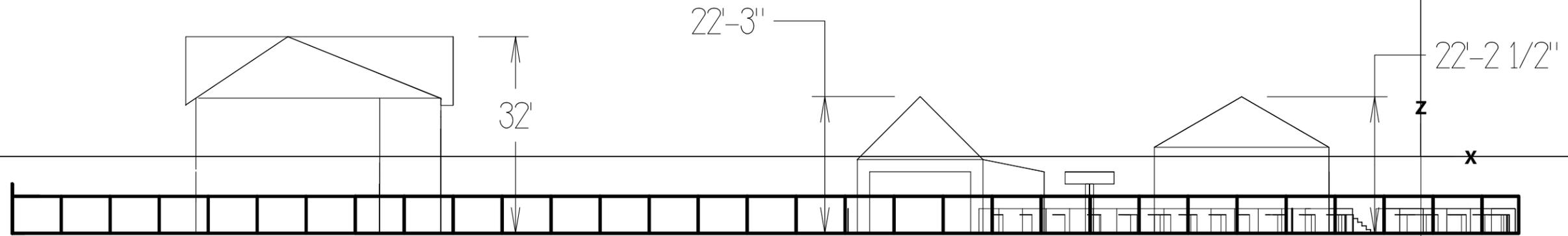
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NORTH VIEW

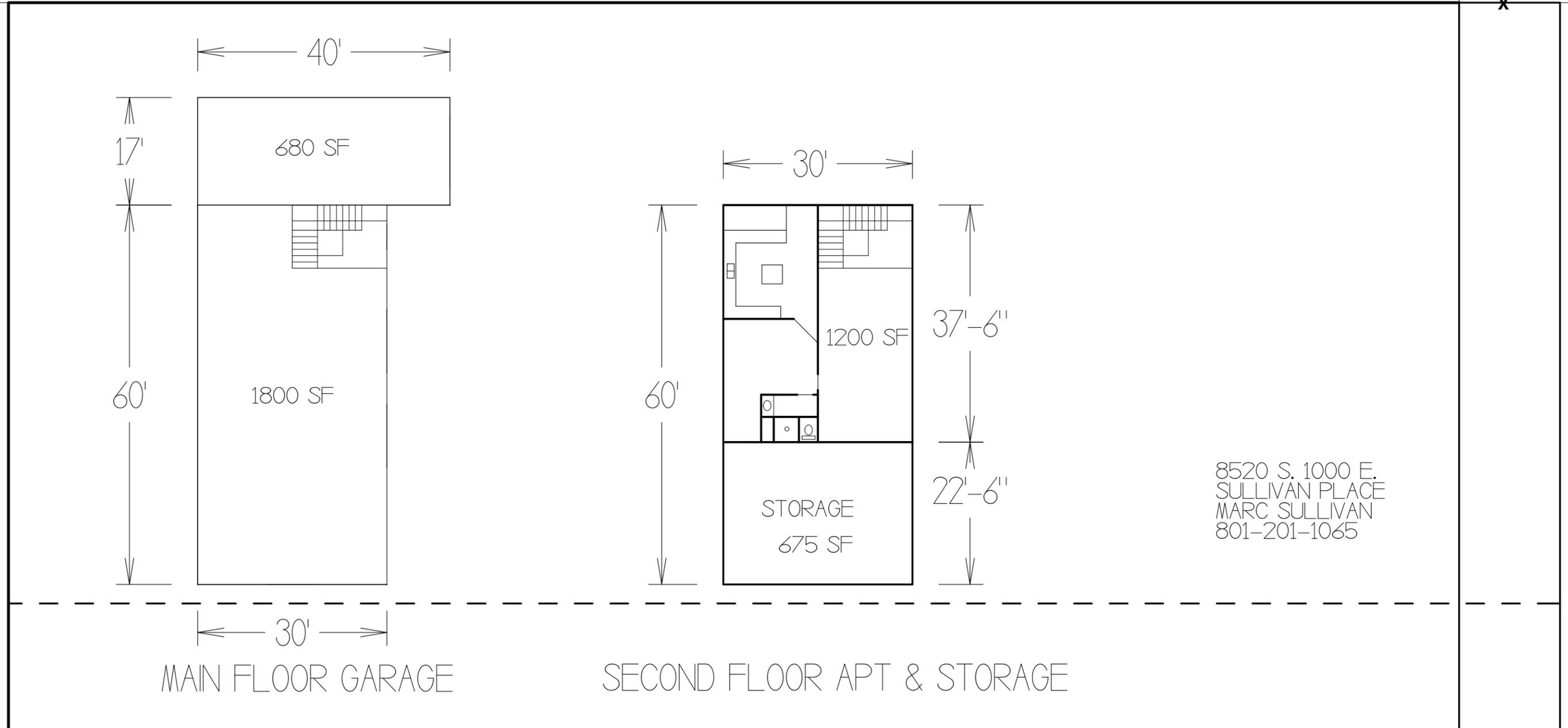


SOUTH VIEW

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Z
X

Y
X
C



Y
X









