



# City of Hurricane

Mayor

John W. Bramall

City Manager

Clark R. Fawcett

## Planning Commission

Mark Borowiak, on leave

Michelle Cloud, Chairman

Paul Farthing

Rebecca Bronemann

Chris Christensen

Ralph Ballard

Shelley Goodfellow

Mark Sampson

Dayton Hall, alternate

## AGENDA

### OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION

6:00 p.m.

Thursday, December 12, 2019

Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting starting at 6:00 p.m. in the Council Room at 147 N. 870 West, Hurricane, UT. A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

**Public Hearing** to take comments on the following:

1. A proposed Land Use Code amendment asking to change the front yard setback in Multi-Family zones from 25' to 20'.
2. A Zoning Map amendment request on 13.34 acres located at approximately 296 N. Foothills Canyon Drive from PDO/RM-3 with 111 units to PDO/RM-3 with 200 units to provide HUD approved affordable housing units in accordance with preliminary site plan submitted.

#### Old Business:

2019-PP-07	Consideration and possible recommendation on Preliminary Plats and Hillside Development Plan for Hurricane Views and Hurricane Village, subdivisions including 166 townhome lots and 30 single family lots on 30+ acres located north of Rlington Parkway and south of 200 South between approximately 2500 West and 1900 West -MB Views LLC applicant, Clark Colledge agent
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#### New Business:

2019-FSP-22	Consideration and possible approval of a final site plan for a new AutoZone store located at 818 West State Street – AutoZone applicant, Colby Anderson agent
2019-LUCA-05	Consideration and possible recommendation to the City Council on a proposed Land Use Code Amendment changing setbacks in the Multi-Family Zones – Mike Stewart applicant

2019-ZC-24 and 2019-PSP-10	Consideration and possible recommendation on a zone map amendment from PDO multifamily/111 units total to PDO multifamily/200 units total on 13.34 acres located at approximately 296 N. Foothills Canyon Drive to approve HUD approved affordable housing in condominium units in accordance with the preliminary site plan submitted – Bruce Dickerson applicant
2019-PP-15	Consideration and possible recommendation to the City Council on Preliminary Plat for Magnolia Estates, a 3.02 acre subdivision with 20 townhomes and 6 single family lots – Short Term Investments LLC applicant, Mike Stewart agent

**Approval of Minutes:** October 10, 2019 and October 23, 2019

**Work meeting and Planning Commission business:**

1. Continued discussion and work on proposed A-1, Agricultural one acre, zone
2. Discussion on proposed Cottage Overlay zone
3. Updates on City Council actions

**Adjournment**

# PRELIMINARY PLAT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:  
File No. 2019-PP 07  
Receipt No. \_\_\_\_\_

Name: MB-Views LLC Telephone: 801-884-6949

Address: 1192 E DRAPER PARKWAY # A77 Fax No. \_\_\_\_\_

Email: clark@clarkcolledge.com Agent Email: SAME

Agent (If Applicable): Clark Colledge Telephone: 801-884-6949

Address/Location of Subject Property: 2200 W BURLINGTON PARKWAY

Tax ID of Subject Property: H-3-1-33-33010-4402 Zone District: RM-2

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots)

Single Family and Townhome Community. Total of 191 lots (161 Townhome, 30 Single Fam)

Submittal Requirements: The preliminary plat application shall provide the following:

1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:
  - a. The proposed name of the subdivision.
  - b. The location of the subdivision, including the address and section, township and range.
  - c. The names and addresses of the owner or subdivider, if other than the owner.
  - d. Date of preparation, and north point.
  - e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.
2. Existing Conditions: The preliminary plat shall show:
  - a. The location of the nearest monument.
  - b. The boundary of the proposed subdivision and the acreage included.
  - c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatte parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
  - d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
  - e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
  - f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

AFFIDAVIT  
PROPERTY OWNER

STATE OF UTAH )  
:ss  
COUNTY OF Salt Lake

I (we), MB - Hurricane Views, LLC, being duly sworn, depose and say that I (we) am (are) the owner(s) of the property identified in the attached application and that the statements herein contained and the information provided identified in the attached plans and other exhibits are in all respects true and correct to the best of my (our) knowledge. I (we) also acknowledge that I have received written instructions regarding the process for which I am applying and the Hurricane City Planning staff have indicated they are available to assist me in making this application.

Scott Heagy

(Property Owner)

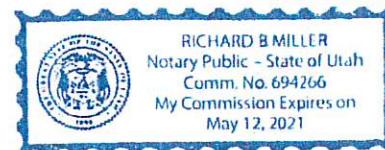
\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this 18 day of July 2019.

R. B. Miller  
(Notary Public)

Residing in: SALT LAKE

My Commission Expires: 5/12/2021



Agent Authorization

I (we), MB - Hurricane Views, LLC, the owner(s) of the real property described in the attached application, do authorize as my (our) agent(s) Clark Colledge to represent me (us) regarding the attached application and to appear on my (our) behalf before any administrative or legislative body in the City considering this application and to act in all respects as our agent in matters pertaining to the attached application.

Scott Heagy

(Property Owner)

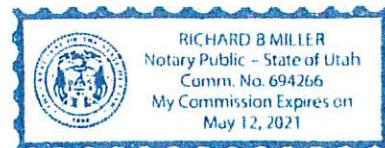
\_\_\_\_\_  
(Property Owner)

Subscribed and sworn to me this 18 day of July 2019.

R. B. Miller  
(Notary Public)

Residing in: SALT LAKE

My Commission Expires: 5/12/2021



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## STAFF COMMENTS

<b>Agenda:</b>	December 12, 2019	<b>File Number:</b> 2019-PP-07
<b>Type of Application:</b>	Preliminary Plat and Hillside Development Review	
<b>Applicant:</b>	MB Views LLC	
<b>Agent:</b>	Clark Colledge	
<b>Request:</b>	Preliminary Plats for Hurricane Views and Hurricane Village, 32.5 acre subdivisions containing 161 townhome pads and 30 single family lots	
<b>Location:</b>	Approximately 2100 West and Rlington Parkway	
<b>General Plan:</b>	Single Family Residential up to 8 per acre	
<b>Existing Zoning:</b>	PDO/RM-2	

**Discussion:** This plat is for two parcels of adjoining property, the west one named Hurricane Views and the east one named Hurricane Village. The parcels both contain areas of over 10% slope and include some slopes over 30% and therefore requires submittal of a development plan meeting all the requirements of the sensitive land chapter. A geotechnical report has been provided. A stormwater plan has been submitted. A slope map has been provided long with the density analysis for grades from 10% to 30%. A grading plan has not been submitted.

Staff has been in contact with the engineers and owner and explained the overall number of lots allowed for each slope calculation could be transferred onto flatter parcels. However, no calculation of lot sizes for the slopes has been provided. The original submittal for this project which came in July included 220 townhomes. This has been reduced to 161 townhomes which may be the result of calculations done by engineering that are not provided to staff for review.

The items needed are highlighted in the code sections below:

### ***Chapter 24*** ***SENSITIVE LANDS***

#### ***10-24-2: SENSITIVE LANDS DEFINED:***

*For the purposes of this chapter, the following lands are "sensitive lands" and shall be subject to the requirements of this chapter:*

*A. Any area where there is a change in elevation which is equal to or greater than ten percent (10%) (1 foot of vertical grade change for every 10 feet of horizontal run) for a distance of one hundred feet (100') or more, and where said grade change covers an area of at least two (2) contiguous acres, or an*

entire parcel if said parcel is less than two (2) acres. (See section 10-24-9, appendix diagram A, of this chapter.)

**10-24-3: DETERMINATION OF APPLICABILITY:** B. Development Project And Permit Review Authority: The designated authority for the review and approval of projects subject to the provisions of this chapter is as follows:

1. *Planning Commission Responsibility: Any proposal for development other than building and grading permits for a single-family dwelling shall be reviewed by the planning commission to determine compliance with requirements of this chapter. A development plan required for a project subject to chapter 39, "Subdivisions", of this title shall be reviewed and approved by the planning commission at the preliminary plat stage. Appeals of a planning commission decision on sensitive land issues shall be made to the city council.*
2. *Zoning Administrator Responsibility: The zoning administrator is responsible for applying the provisions of this chapter to single-family building permits and grading permits for single-family dwellings on parcels not associated with a project previously approved by the planning commission, and approving these permits when found to be consistent with this chapter. Appeals of the zoning administrator's decision shall be heard by the planning commission.*
3. *City Council Responsibility: Following receipt of a recommendation from the planning commission, or on appeal, the city council shall hold a public hearing on the application. Following a public hearing the city council may approve, approve with conditions, or deny the proposed development plan.*
4. *Final Approval: Final approval shall require satisfactory compliance with all of the requirements of the development plan and compliance with any companion application conditions, i.e., preliminary plat, conditional use permit, zoning map change, or other applicable requirements of this code.*

**10-24-6: HILLSIDES AND RIDGE AREAS; GENERAL DEVELOPMENT STANDARDS:** 

A. *Unbuildable Slopes: Except as may be allowed by an exception as set forth in subsection 10-24-3G.*

*Exceptions: Exceptions to the provisions of this chapter may be granted by the city council upon recommendation from the planning commission when:*

1. *An alternative solution is proposed for the protection of the sensitive land, based on sound and generally accepted engineering and land development principles, and said alternative will result in equal or better protection than development under the standards of this chapter; and is consistent with the purposes of this chapter. The alternative shall also be consistent with the general plan policies affecting sensitive lands;*

*of this chapter, slopes of thirty percent (30%) or greater shall be undisturbed. Such areas shall be designated as a nonbuildable area if part of a residential lot, or at the election of the owner, these slopes may be offered to the city or a duly created nonprofit conservation organization. Slopes of thirty percent (30%) or greater, if included within a lot, shall not be considered as lot area contributing to the minimum area required in subsection B of this section. (See section 10-24-9, appendix diagram D, of this chapter.) Slopes thirty percent (30%) and greater, but not exceeding forty percent (40%), may be used for street location purposes when needed to provide two (2) ways of access to the project, when the planning commission finds that:*

1. No significant harm will result and the roadway can be provided without creating an obviously visible scar on the hillside;
2. The proposed modification will result in a more functional and improved plan; and
3. The developer/builder agrees to comply with any conditions or requirements imposed by the planning commission to mitigate any adverse effects which may result from the proposed roadway.

**B. Subdivision Lot Size:**

1. The following minimum lot sizes shall be required unless the existing base zone district requires a larger lot area. Lots with slopes averaging less than ten percent (10%) shall be subject to the lot size requirement of the base zone district.

<b>Average Slope (Percent)</b>	<b>Minimum Lot Area (Square Feet)</b>	<b>Estimated Net Density<sup>1</sup> (Units Per Acre)</b>
10	15,000	2.32
11	16,500	2.11
12	18,000	1.94
13	19,500	1.79
14	21,000	1.66
15	22,500	1.55
16	24,000	1.45
17	25,500	1.37
18	27,000	1.29
19	28,500	1.22
20	30,000	1.16
21	31,500	1.11
22	33,000	1.06
23	34,500	1.01
24	36,000	0.97
25	37,500	0.93

26	39,000	0.89
27	40,500	0.86
28	42,000	0.83
29	43,500	0.80

*Note:*

*1. Based on the assumption that approximately 20 percent of the project area will be streets, the net density shown expresses the estimated yield per acre. As lots increase in size, the actual street percentage will typically decline resulting in a slight increase in net density.*

**C. Density Limitations:**

1. *The maximum number of units allowed within a project site shall not exceed the lesser of the following:*
  - a. *The maximum units allowed by the existing zone district on the project site, plus any bonus allowed by subsection D of this section;*
  - b. *The maximum number of units resulting from the application of the minimum lot size standards of subsection B of this section, plus any bonus units allowed by this chapter; and*
  - c. *The maximum number of units allowed by the general plan, plus any bonus units allowed by this chapter.*
2. *To determine the maximum number of allowed units for a project as limited by subsection C1 of this section, the following methods shall be applied:*
  - a. *The maximum density of a zone district is calculated as follows:*
    - (1) *When all proposed streets are known, the acreage of the total project site shall be reduced by the acreage of existing and proposed streets. This resulting net acreage factor is converted to total square feet and is then divided by the minimum parcel size in single-family zone districts to yield the number of permitted dwelling units. In multiple-family districts the total net acreage shall be divided by the allowed number of units per acre as prescribed by the applicable zone district.*
    - (2) *When the acreage of proposed streets has not been determined, the total acreage of the project site shall be reduced by twenty percent (20%) to accommodate streets, and the resulting net acreage factor is converted to square feet and then divided by the minimum parcel size in single-family zone districts to yield the number of permitted dwelling units. In multiple-family districts the total net acreage shall be divided by the allowed number of units per acre as prescribed by the applicable zone district.*

*Example 1 - Acreage of streets is known:*

*R1-10 zone*

Total site acres = 100 net acres (not including street acreage)

100 acres x 43,560 square feet = 4,356,000 square feet total

4,356,000 square feet divided by 10,000 square foot lots = 436 lots

Example 2 - Acreage of streets is unknown:

R1-10 zone

Total site acres = 100 acres

100 acres x .80 = 80 net acres

80 x 43,560 square feet = 3,484,800 square feet total

3,484,800 square feet divided by 10,000 square foot lots = 348 lots

b. If densities are calculated using the minimum lot size provisions of subsection B of this section, the total net acreage of each slope category shall be divided by the allowed minimum parcel size of the applicable slope category. Total net acreage shall be determined by reducing total acreage within a slope category by the acreage of existing and proposed streets, or by the twenty percent (20%) street factor using the applicable method of either subsection C2a(1) or C2a(2) of this section. The minimum parcel size allowed by the applicable slope category shall then be divided into the net acreage to determine the dwelling unit yield for the slope category. This calculation shall be done for each slope category of ten percent (10%) or greater on the project site to determine the total allowable number of dwelling units on the project site.

c. The general plan densities noted on the future land use map shall be gross densities. Therefore, the maximum number of units permitted by the general plan is determined by dividing the total acreage of the project site (including the acreage of proposed streets if known), by the maximum density (units per acre) as allowed by the applicable general plan land use category.

3. Any proposed rezoning in sensitive land areas shall be consistent with the general plan and the densities shown on the future land use map.

4. If the planned development overlay zone is applied, density may exceed the base zone density to the extent allowed in chapter 23 of this title, subject to provisions therein. However, if the density transfer option noted in subsection D of this section is requested in combination with the density bonus provisions of chapter 23 of this title, the combination of planned development and density transfer bonuses shall not exceed twenty five percent (25%).

D. Density Transfer: A density transfer from steep slopes (generally greater than 20 percent) and ridge areas to moderate slopes (generally less than 20 percent) on or off site is encouraged and allowed through the processing of a planned development, providing the purposes of this chapter and the general plan are maintained. A density transfer bonus may be allowed as follows:

Slope

Bonus Factor<sup>1</sup>

10 - 14%	1.25	
15 - 20%	1.50	
21 - 25%	2.00	
26 - 29%	2.50	
30% or greater	No bonus is permitted, but density may be transferred at a rate of 1 dwelling unit for each 10 acres	

Note:

1. The allowable transfer including the bonus shall be determined by multiplying the density allowed based on the percent of slope as provided in subsection B of this section by the bonus factor. (Example: In a 26 percent slope area, based on an estimated net density of 0.89 units per acre, applying the bonus [0.89 units per acre x 2.5 bonus factor] a total of 2.23 units per acre of 26 percent slope area may be transferred.)

**E. Maximum Impervious Material Coverage:** The maximum allowable lot coverage by impervious material (roofs, driveways, walks, patios) shall not exceed fifty percent (50%) maximum coverage on slopes ten to fourteen and nine-tenths percent (10 - 14.9%), and shall not exceed thirty five percent (35%) maximum coverage on slopes fifteen percent (15%) or greater. Areas of impervious material shall be estimated and included in the total impervious surface area calculation for stormwater design purposes. (Ord. 2006-9, 3-16-2006)

**10-24-5: HILLSIDES AND RIDGE AREAS C. Development Plan Submittal:** Following conceptual review, if such was requested by the applicant, development plan approval shall be obtained. The following information and reports along with any fee established by the city's schedule of fees, shall be submitted as part of an application for development plan approval, and may be in addition to information required for preliminary plat approval for a subdivision:

1. **Development Plan:** A development plan which clearly shows:
  - a. Two foot (2') contours. The contour map shall be prepared and certified by a licensed professional civil engineer or surveyor drawn at a scale no smaller than one inch equals one hundred feet (1" = 100'). Contour maps based on interpolation of maps with larger contour intervals are not acceptable.
  - b. Field surveys may be required of the applicant by the city to verify the accuracy of the contour lines shown on the contour map.
  - c. Slopes having grades of ten to twenty nine percent (10 - 29%) and natural slopes of thirty percent (30%) or greater shall be color shaded clearly showing the difference between the two (2) categories. This contour information shall either be computer based, or based on profile lines drawn perpendicular to contours at intervals no less than one hundred fifty feet (150') apart, nor greater than seventy five feet (75') from an existing or proposed property line. Grades shall then be determined by calculating the slope along one hundred foot (100') segments of the profile. (See section 10-24-9, appendix diagram A, of this chapter.)

d. To determine required minimum lot size (subsection 10-24-6B of this chapter) the average natural grade of each proposed parcel shall be calculated, and indicated on the development plan. The average grade shall be determined by calculating the grade of the natural slope between two (2) opposing property lines, based on profiles taken perpendicular to the contours, no less than one hundred fifty feet (150') apart, nor greater than seventy five feet (75') from an existing or proposed property line. Small washes or rock outcrops which have slopes distinctly different from surrounding property may be excluded from slope determination, if the exclusion of such small areas from slope determination will not be contrary to the overall purpose of this chapter, as reasonably determined by the zoning administrator.

e. The proposed development layout of lots, roads, proposed road grades, open space, area of disturbances, and existing native vegetation.

2. Soils Investigation Report: A soils investigation report which contains the following information:

a. Nature, distribution and classification (unified soil classification) of existing soils to the appropriate depth of influence by the proposed development, but not less than ten feet (10') deeper than the proposed excavations or to bedrock.

b. Strength of existing soils, bearing capacity of supporting soils, settlement estimates, collapse and shrink-swell characteristics, lateral pressures and trench excavation limitations.

c. Groundwater levels that may affect development and estimated elevation of high groundwater levels.

d. Appropriate laboratory testing for classification, consistency, strength and consolidation conditions.

e. Slope stability.

f. A written statement by the geotechnical engineer, civil engineer, or geologist preparing the soils report describing the general suitability of the site for the owner's intended use. The report shall identify soil constraints to development and shall state the professional opinion of the author as to whether the proposed development plan will mitigate and/or eliminate said constraints in a manner as to prevent hazard to life, hazard to property, and adverse effects. If the soil report prepared for a subdivision shows the presence of critically expansive soils, high water table, organic soils, liquefiable soils, collapsible soils, or other soil problems which, if not corrected, would lead to structural defects of the proposed buildings, damage to the building from the water, or premature deterioration of the public improvements, a soil investigation of each lot in the subdivision shall be required by the city.

3. Geotechnical Report: A geotechnical and geological report subject to the standards and requirements provided therein.

4. Grading And Drainage Plan: A grading and drainage plan report which includes stormwater management, erosion, and grading plans describing the methods by which surface water, natural drainage, erosion and sedimentation loss, and hydrologic hazards that will be controlled during and after construction. The plan shall include the following information:

a. The grading plan shall show present topography, including the location and depth of all proposed fills and cuts of finished earth surfaces, and/or use of retaining walls including height, using a contour interval of two feet (2') when grades are zero to twenty nine percent (0 - 29%) and five foot (5') contours when grades thirty percent (30%) and over.

b. The proposed area to be graded shall be clearly delineated on the plan.

c. All calculations and proposed details used for design and construction of debris basins, impoundments, diversions, dikes, waterways, drains, culverts and other water management or soil erosion control measures shall be shown. Drainage calculations shall determine runoff volume and peak discharge using the "rational method", "SCS curve number method", or appropriate equivalent. Data provided should include:

(1) Rainfall depth, duration and distribution;

(2) Watershed slope and drainage area delineation;

(3) Land condition of watershed surface;

(4) Topography of drainage area; and

(5) Soil descriptions in watershed. Erosion calculations shall employ predictions of soil loss sheet erosion using the universal soil loss equation or equivalent. Data to be provided should include factors of:

(A) Rainfall intensity and duration;

(B) Soil erodibility;

(C) Land slope and length of slope or topography;

(D) Condition of the soil surface and land management practices in use; and

(E) Surface cover, grass, pavements, etc.

5. License Required: All required reports shall be prepared by persons licensed to practice their specialty or expertise in the state of Utah, if such license for practice is required.

6. Expert Advice: In reviewing technical reports, calculations, and plans which may be required, the city staff or city engineer may find it necessary to obtain the advice of other experts regarding the adequacy of the reports submitted, and the validity of the conclusions and recommendations reached in the reports. In such cases the city staff or city engineer may consult with such experts, with the reasonable costs of these consultations to be borne by the developer prior to any public hearing. The planning commission or city council may require payment by the developer of the costs of such consultations a condition of preliminary or final plat approval. (Ord. 2014-6, 5-1-2014)

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	PDO	Single family and duplex houses
West	PDO	Single Family houses
South	PDO	Single family houses and lots
East	R-1-10	Single Family houses and lots

**JUC Comments:**

**The following must be addressed during the construction drawing phase of entitlement:**

1. Construction drawings must be reviewed and approved before final plat application
2. A water model will be required to determine pipe sizing
3. Street grade on the 52' street appears to be 9.6% based on finished contours provided.
4. Construction of multi-unit buildings must meet Fire Codes for construction or sprinkling

5. Length of the cul-de-sac on Street 3 does not appear to meet standards
6. Streets 6 and 7 are blunt dead ends with no turn around shown.
7. Drainage study is preliminary and final study will be required with construction drawings.
8. Phasing plan shows too many units on a single access in each phase. Fire Code and City access standards must be met.
9. It is not clear if the knuckle shown in Phase 3 meets Fire Code standards.
10. Design for natural gas must be submitted with construction drawings.
11. A traffic study may be required.

#### Staff Comments:

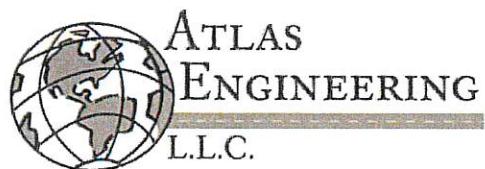
1. This is a unique project with single family lots adjoining townhome buildings in the Hurricane Views portion of the project and townhomes clustered in the northwest corner of the Hurricane Village portion
2. It appears Phase 1 means a portion of Hurricane Views and a portion of Hurricane Village in the same phase.
3. Townhome buildings range from 4-plexes to 6-plexes. Units 1-24 in the Hurricane Views area of the plat are considerably larger than those in the other areas. This makes them more complimentary to a mixed housing type street.
4. A reasonable distance has been provided between the single family homes in Painted Hills and Sante Fe Hills and the units in this project.
5. Lot sizes on the single family lots range from 11,942 sq. ft. to 4,500 sq. ft. This is a PDO so there are no minimum lot sizes. Grading plans will determine what portion of the lots will be usable. Final site plan should show a building envelope for review.
6. The following section of the code appears to still not be met, though an exception is allowed under 10-24-3G. *10-24-6: HILLSIDES AND RIDGE AREAS; GENERAL DEVELOPMENT STANDARDS: A. Unbuildable Slopes: Except as may be allowed by an exception as set forth in subsection 10-24-3G G. Exceptions: Exceptions to the provisions of this chapter may be granted by the city council upon recommendation from the planning commission when:*  
*1. An alternative solution is proposed for the protection of the sensitive land, based on sound and generally accepted engineering and land development principles, and said alternative will result in equal or better protection than development under the standards of this chapter; and is consistent with the purposes of this chapter. The alternative shall also be consistent with the general plan policies affecting sensitive lands; of this chapter, slopes of thirty percent (30%) or greater shall be undisturbed. Such areas shall be designated as a nonbuildable area if part of a residential lot, or at the election of the owner, these slopes may be offered to the city or a duly created nonprofit conservation organization. Slopes of thirty percent (30%) or greater, if included within a lot, shall not be considered as lot area contributing to the minimum area required in subsection B of this section.. The submitted plan shows areas of 30% or greater disturbed to create pads for Units 1,2, 6,7,8,12,13,14, 31,32, and 33. This is approximately 7% of the total number of townhome units. Commissioners should decide how to handle this section.*

7. It is clear the Sensitive Lands Code was written with single family lots in mind so consideration should be given to the different nature of a townhome project which results in less overall disturbance. This project leaves over 49% of the total property as common open space but without the grading plan it is unclear how much will be disturbed.
8. It appears the lot transfer calculations allowing bonuses for transferring lots off slopes and granting density bonuses might be a little generous for the developer, as many of the units are not completely off the 10% and greater slopes. The Planning Commission can determine if this is a reasonable application of this portion of the code.
9. Space is left between this project and the Sante Fe Hills single family lots, for the most part.
10. The drainage calculations provided indicate there will be 12 acres of impervious surface on this site. The applicant indicates 4.09 acres of roads. That leaves just 8 acres of impervious surface for retaining walls, structures, sidewalks, and driveways. This code section requires a calculation of impervious surface on different slope percentages. *E. Maximum Impervious Material Coverage: The maximum allowable lot coverage by impervious material (roofs, driveways, walks, patios) shall not exceed fifty percent (50%) maximum coverage on slopes ten to fourteen and nine-tenths percent (10 - 14.9%), and shall not exceed thirty five percent (35%) maximum coverage on slopes fifteen percent (15%) or greater. Areas of impervious material shall be estimated and included in the total impervious surface area calculation for stormwater design purposes. (Ord. 2006-9, 3-16-2006)*
11. That must be supplied in the final calculations and structures cannot exceed the allowed impervious surface for each slope category.
12. Final site plan will be required for each phase of this project before final plat approval.

**Recommendation:** Staff recommends the Planning Commission send a recommendation of approval to the City Council after making a determination on whether or not the units on the 30% slope meet any standards to be recommended for an exception. The motion should include language requiring compliance with all JUC requirements.

STORM DRAINAGE PLAN AND CALCULATIONS  
For

**HURRICANE VIEWS &  
HURRICANE VILLAGE**



Hurricane, Utah  
November 2019



## Narrative

Hurricane Views & Hurricane Village is a 32.50 acres project located to the northeast of Rlington Parkway and south of 200 South. The project will include 30 single-family lots, 161 townhomes, open space/detention pond, and roads and sidewalks typical to this type of development.

Storm water will flow to catch basins located throughout the project. Runoff will then be piped to a detention pond located on the northeast side of the project. Low flows will flow through the pond via underground pipes. An 8.5" diameter orifice plate will be installed on the outlet of SD Box #1. This will restrict the outflow to 4.82 cfs (0.2 cfs/acre). During large storm events when flow exceeds the capacity of the orifice plate, water will back up into the pond. The pond captures water from 24.10 acres of the 32.50 acre site. The difference accounts for rear yards of lots that do not drain into the system. The weighted "C" value was determined by using 12.25 acres as the impervious area and 11.85 acres as the landscaped area. The impervious area includes roadways, townhomes, driveways, and single family homes. The detention pond was designed to carry the 3 hr storm distribution of a 100-yr event. The required storage is 59,096 ft<sup>3</sup>. Pond 1 shall provide 59,100 ft<sup>3</sup> of storage. Precipitation data was obtained from the City of Hurricane Master Drainage Study.

The Storm Drain design meets or exceeds all Hurricane city design requirements. Storm drainage will be handled through a network of collection boxes, piping, and concrete gutters. Values given for runoff flows are derived from calculations included in the appendix.

The buildings will have a finished floor elevation that provides for positive drainage away from buildings. In the event that any of the drainage structures should become damaged or clogged with debris, the water will overflow off the project or into public or private roads, ditches, and ponds before flooding the structures.

The pipe inlets will be covered and appropriately protected. The locations of the proposed boxes, piping and calculations to determine discharge rates are shown in the attached appendix.

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## Appendix

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WEIGHTED "C" VALUE

Hurricane Views & Hurricane Village

**Total Acreage: 24.10**

Description	Area (Acres)	Runoff Coefficient	Percentage of Area	Weighted C Value
Landscaping	11.85	0.15	49.17	7.38
Impervious Area	12.25	0.95	50.83	48.29
<b>Total</b>				<b>56</b>

2000 sf single-family + 500 sf driveway

**RETENTION BASIN SIZE- Hurricane Views & Hurricane Village**  
 24-Hour Storm Distribution

PROJECT TITLE: Hurricane Views & Hurricane Village  
Retention Volume Determination

Basin Size, acres (A): 24.1  
 Runoff Coefficient (C): 0.56  
 Design Frequency: 100  
 Allowable Outflow (Q): 4.82 (0.2 cfs/acre)

Storm Duration (min.) (T)	Precip (in)	Cumulative Precip (in)	Rainfall intensity (in/hr)	Runoff volume (cu.ft.)	Perc outflow (cu.ft.)	Storage volume (cu.ft.)	Storage volume (acre ft.)
			(I)	CIAT	QT	CIAT-QT	
30	0.0150	0.0150	0.030	729	8676	-7947	-0.18
60	0.0150	0.0300	0.030	1458	17352	-15894	-0.36
90	0.0150	0.0450	0.030	2186	26028	-23842	-0.55
120	0.0150	0.0600	0.030	2915	34704	-31789	-0.73
150	0.0160	0.0760	0.030	3693	43380	-39687	-0.91
180	0.0170	0.0930	0.031	4518	52056	-47538	-1.09
210	0.0170	0.1100	0.031	5344	60732	-55388	-1.27
240	0.0190	0.1290	0.032	6268	69408	-63140	-1.45
270	0.0200	0.1490	0.033	7239	78084	-70845	-1.63
300	0.0210	0.1700	0.034	8260	86760	-78500	-1.80
330	0.0220	0.1920	0.035	9328	95436	-86108	-1.98
360	0.0230	0.2150	0.036	10446	104112	-93666	-2.15
390	0.0250	0.2400	0.037	11661	112788	-101127	-2.32
420	0.0270	0.2670	0.038	12972	121464	-108492	-2.49
450	0.0290	0.2960	0.039	14381	130140	-115759	-2.66
480	0.0310	0.3270	0.041	15887	138816	-122929	-2.82
510	0.0350	0.3620	0.043	17588	147492	-129904	-2.98
540	0.0380	0.4000	0.044	19434	156168	-136734	-3.14
570	0.0440	0.4440	0.047	21572	164844	-143272	-3.29
600	0.0510	0.4950	0.050	24050	173520	-149470	-3.43
630	0.0650	0.5600	0.053	27208	182196	-154988	-3.56
660	0.0850	0.6450	0.059	31338	190872	-159534	-3.66
690	0.1330	0.7780	0.068	37800	199548	-161748	-3.71
720	0.1660	0.9440	0.079	45865	208224	-162359	-3.73
750	0.1980	1.1420	0.091	55485	216900	-161415	-3.71
780	0.1030	1.2450	0.096	60489	225576	-165087	-3.79
810	0.0730	1.3180	0.098	64036	234252	-170216	-3.91
840	0.0570	1.3750	0.098	66805	242928	-176123	-4.04
870	0.0510	1.4260	0.098	69283	251604	-182321	-4.19
900	0.0440	1.4700	0.098	71421	260280	-188859	-4.34
930	0.0380	1.5080	0.097	73267	268956	-195689	-4.49
960	0.0340	1.5420	0.096	74919	277632	-202713	-4.65
990	0.0310	1.5730	0.095	76425	286308	-209883	-4.82
1020	0.0290	1.6020	0.094	77834	294984	-217150	-4.99
1050	0.0260	1.6280	0.093	79097	303660	-224563	-5.16
1080	0.0250	1.6530	0.092	80312	312336	-232024	-5.33
1110	0.0230	1.6760	0.091	81429	321012	-239583	-5.50
1140	0.0220	1.6980	0.089	82498	329688	-247190	-5.67
1170	0.0210	1.7190	0.088	83519	338364	-254845	-5.85
1200	0.0200	1.7390	0.087	84490	347040	-262550	-6.03
1230	0.0190	1.7580	0.086	85413	355716	-270303	-6.21
1260	0.0180	1.7760	0.085	86288	364392	-278104	-6.38
1290	0.0180	1.7940	0.083	87163	373068	-285905	-6.56
1320	0.0170	1.8110	0.082	87989	381744	-293755	-6.74
1350	0.0160	1.8270	0.081	88766	390420	-301654	-6.93
1380	0.0150	1.8420	0.080	89495	399096	-309601	-7.11
1410	0.0150	1.8570	0.079	90223	407772	-317549	-7.29
1440	0.0150	1.8720	0.078	90952	416448	-325496	-7.47

Project/Location: Hurricane Views & Hurricane Village

**ORIFICE PLATE SIZING**

**- USING ORIFICE EQUATION-**

**BASIN 1**

$Q = CA (2gh)^{1/2}$		
$A = Q/C(2gh)^{1/2}$		
Q allowable cfs	4.82	
C	0.62	
A of orifice sq ft and inches	0.40	56.95
g	32.2	
h (highwater - center of orifice) ft	6	
Diameter in inches = $(4 * (\text{area sqin}) / 3.1416)^{1/2} =$	8.5	
Orifice for this Basin is in SD Box#1		

## RETENTION BASIN SIZE- Hurricane Views & Hurricane Village

3-Hour Storm Distribution

PROJECT TITLE: Hurricane Views & Hurricane Village

### Retention Volume Determination

Basin Size, acres (A): 24.1  
 Runoff Coefficient (C): 0.56  
 Design Frequency: 100  
 Allowable Outflow (Q): 4.82 (0.2 cfs/acre)

Storm Duration (min.)	Precip (in)	Cumulative Precip (in)	Rainfall intensity (in/hr)	Runoff volume (cu.ft.)	Perc outflow (cu.ft.)	Storage volume (cu.ft.)	Storage volume (acre ft.)
(T)			(I)	CIAT	QT	CIAT-QT	
5	0.0080	0.0080	0.096	389	1446	-1057	-0.02
10	0.0080	0.0160	0.096	777	2892	-2115	-0.05
15	0.0080	0.0240	0.096	1166	4338	-3172	-0.07
20	0.0080	0.0320	0.096	1555	5784	-4229	-0.10
25	0.0080	0.0400	0.096	1943	7230	-5287	-0.12
30	0.0080	0.0480	0.096	2332	8676	-6344	-0.15
35	0.4840	0.5320	0.912	25848	10122	15726	0.36
40	0.3820	0.9140	1.371	44407	11568	32839	0.75
45	0.2670	1.1810	1.575	57380	13014	44366	1.02
50	0.1700	1.3510	1.621	65639	14460	51179	1.17
55	0.1020	1.4530	1.585	70595	15906	54689	1.26
60	0.0780	1.5310	1.531	74385	17352	57033	1.31
65	0.0580	1.5890	1.467	77203	18798	58405	1.34
70	0.0440	1.6330	1.400	79340	20244	59096	1.36
75	0.0340	1.6670	1.334	80992	21690	59302	1.36
80	0.0310	1.6980	1.274	82498	23136	59362	1.36
85	0.0270	1.7250	1.218	83810	24582	59228	1.36
90	0.0220	1.7470	1.165	84879	26028	58851	1.35
95	0.0080	1.7550	1.108	85268	27474	57794	1.33
100	0.0080	1.7630	1.058	85656	28920	56736	1.30
105	0.0080	1.7710	1.012	86045	30366	55679	1.28
110	0.0080	1.7790	0.970	86434	31812	54622	1.25
115	0.0080	1.7870	0.932	86822	33258	53564	1.23
120	0.0080	1.7950	0.898	87211	34704	52507	1.21
125	0.0080	1.8030	0.865	87600	36150	51450	1.18
130	0.0080	1.8110	0.836	87989	37596	50393	1.16
135	0.0080	1.8190	0.808	88377	39042	49335	1.13
140	0.0080	1.8270	0.783	88766	40488	48278	1.11
145	0.0080	1.8350	0.759	89155	41934	47221	1.08
150	0.0080	1.8430	0.737	89543	43380	46163	1.06
155	0.0080	1.8510	0.717	89932	44826	45106	1.04
160	0.0080	1.8590	0.697	90321	46272	44049	1.01
165	0.0080	1.8670	0.679	90709	47718	42991	0.99
170	0.0080	1.8750	0.662	91098	49164	41934	0.96
175	0.0080	1.8830	0.646	91487	50610	40877	0.94
180	0.0080	1.8910	0.630	91875	52056	39819	0.91



September 5, 2019

Manchester Group  
Attention: Clark Colledge  
1192 East Draper Parkway #477  
Draper, Utah 84020

Subject: Letter: Sensitive Land  
Hurricane Views and Hurricane Village  
St. George, Utah  
Landmark Project No. 19191

Reference: Geotechnical Investigation Report, Copper Winn Vistas, Hurricane, Utah  
Landmark Project No.: 19191, Dated May 10, 2019

Clark;

The referenced report provides geotechnical recommendations for the Hurricane Views and Hurricane Village subdivisions in Hurricane Utah.

Landmark has been asked to provide clarification to comply with Hurricane City ordinance chapter 10-24-5. Chapter 10-24-5 is entitled "Hillsides and Ridge Areas". Section 2 in 10-24-5 relates to the soils investigation report.

The referenced geotechnical report answered items A through D of Chapter 10-24-5-2. Item E refers to slope stability and item F refers to the suitability of the site for the owner's intended use, constraints on construction, and the safety of the project. The attached site plan shows the existing slopes on-site as well as the proposed construction layout.

The majority of the Hurricane Views subdivision is located in areas with slopes less than 10%. Much of the on-site soils in the Hurricane Village subdivision have slopes between 11 and 20%. There are scattered areas with slopes between 20 and 30% and occasional areas with slopes exceeding 30%. It is the opinion of Landmark Testing and Engineering, as stated in the referenced report, that the on-site soils may be maintained in an unrestrained state in a slope of 2 Horizontal to 1 Vertical (2H: 1V) or flatter. This is a slope of 50%. Basalt bedrock may be maintained at a slope of 1H: 4V.

A site map was provided to Landmark that shows the current slopes of on-site soils and the proposed construction layout of the two subdivisions. Most of the sites in the Hurricane Views subdivision are in areas with slopes less than 10 percent. Most of the sites in the Hurricane Village subdivision are in areas with slopes less than 20 percent. There are approximately 24 sites across

the two subdivisions that have slopes steeper than 30 percent. Most of these areas are where bedrock is visible at the ground surface.

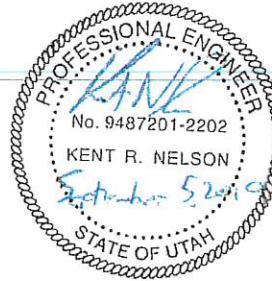
The referenced report has cut and fill recommendations. It is anticipated, based on the site plan provided, that cuts and fills across individual lots will not exceed 5 feet. The excavation recommendations in the referenced report require that the building pad areas be excavated down to caliche or bedrock and chip the bedrock and caliche to provide a level building pad when necessary.

It is the opinion of Landmark Testing and Engineering that the slopes across the two subdivisions will be able to be maintained at slopes shallower than 2H:1V. The developer may need to install retaining walls in a small number of lots.

If you should have any questions regarding recommendations, please feel free to contact our office at (435) 986-0566.

#### **LANDMARK TESTING & ENGINEERING**

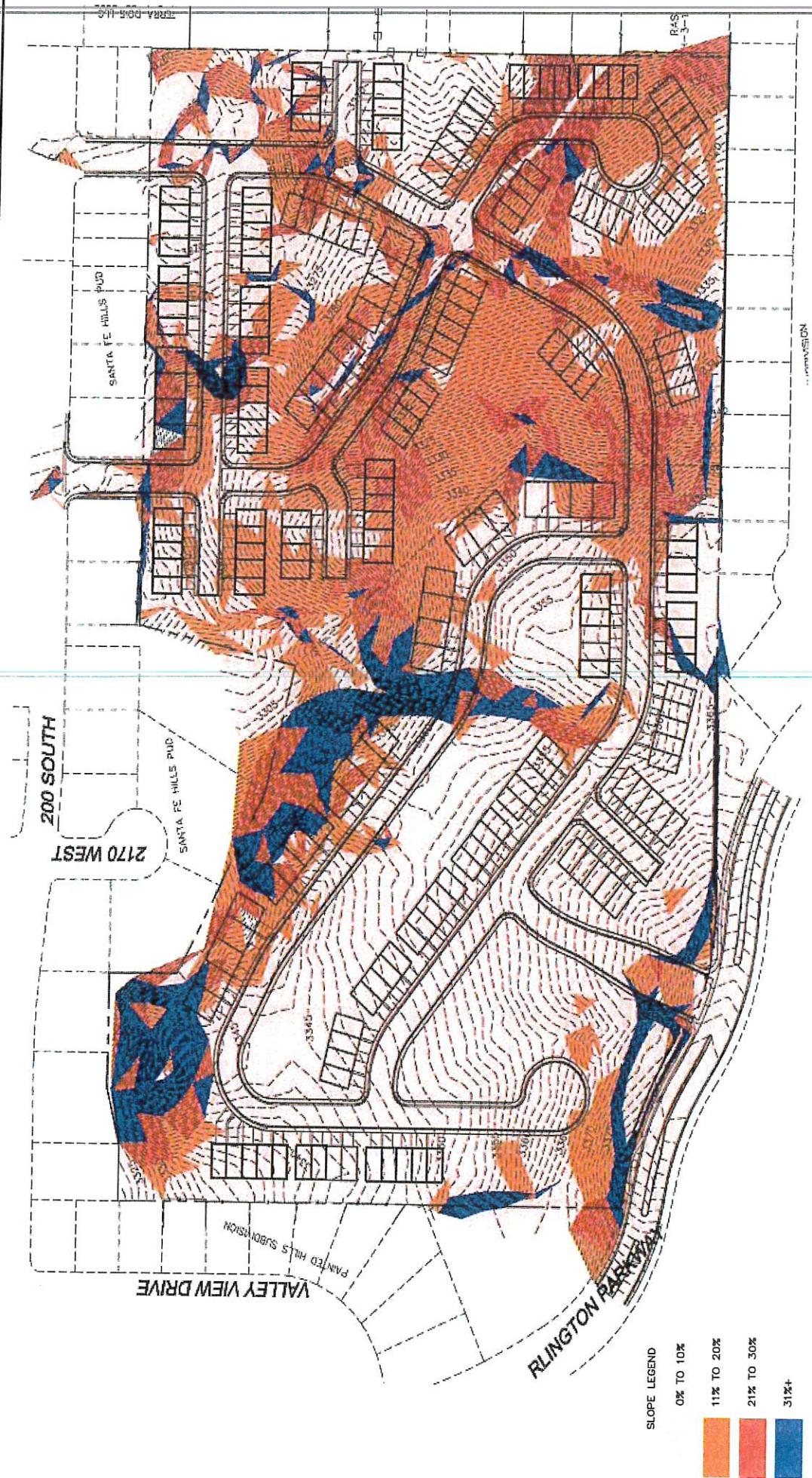
Kent Nelson, P.E.  
Project Engineer



The following is attached and completes this letter:

Figure 1 -

Topographic Site Plan



### Sensitive Land Density

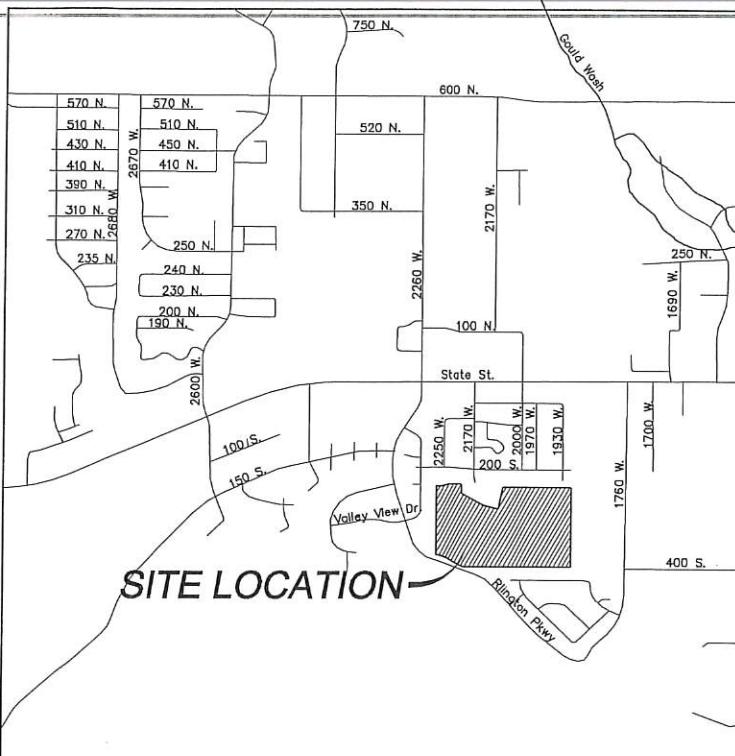
#### Hurricane Views

##### Lower Lots

Percent Slope	Acreage	Average	Net Density	Subtotal	Bonus	Total
0-9	5.23		9			47.07
10-14	3.32	12	1.94	6.4408	1.25	8.05
15-20	3.25	18	1.29	4.1925	1.50	6.29
21-25	1.78	23	1.01	1.7978	2.00	3.60
26-29	0.8	27	0.86	0.688	2.50	1.72
30+	0.74					
Total	15.12		13.1191			66.73

##### Upper Lots

Percent Slope	Acreage	Average	Net Density	Subtotal	Bonus	Total
0-9	11.93		9			107.37
10-14	1.36	12	1.94	2.6384	1.25	3.30
15-20	0.93	18	1.29	1.1997	1.50	1.80
21-25	0.5	23	1.01	0.505	2.00	1.01
26-29	0.74	27	0.86	0.6364	2.50	1.59
30+	1.92					
Total	17.38		4.9795			115.07

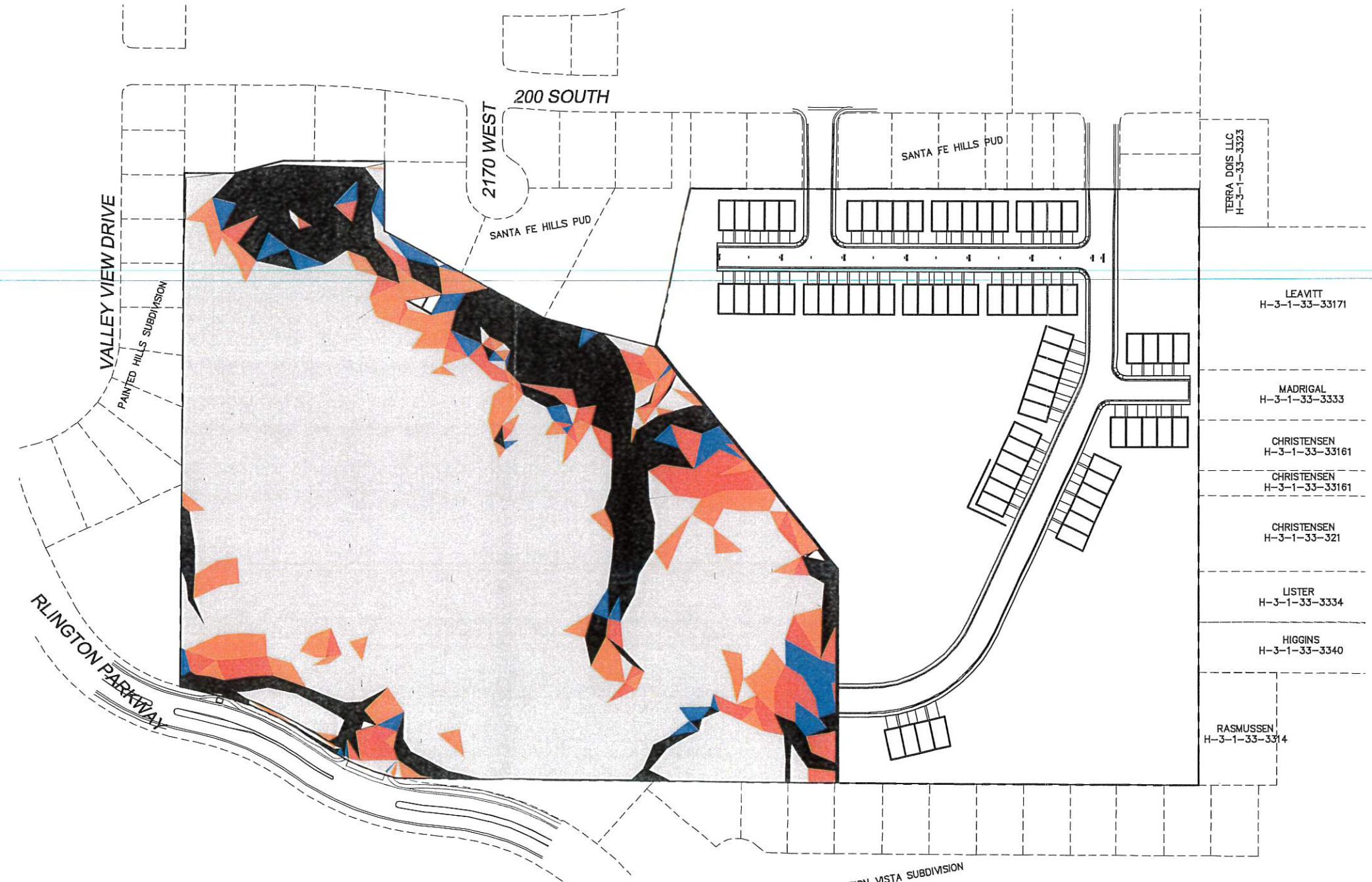


VICINITY MAP  
-NTS-

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#### LEGEND

	SECTION CORNER
	FOUND ALUMINUM CAP
	SET 5/8" IRON PIN
	CALCULATED POINT, NOT SET
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	PROPOSED SIGN
	PROPOSED STREET SIGN
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER W/MANHOLE
	PROPOSED STORM DRAIN
	PROPOSED PVC SDR-35 SEWER W/MH
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION
	8" CUL
	6" CUL



**HURRICANE VIEWS &  
ATLAS HURRICANE VILLAGE  
ENGINEERING**

PHONE: 801-655-0566  
FAX: 801-655-0109

1945 E. 800 N. SUITE A  
SPANISH FORK, UT 84660  
TICKET# 30344 PM MST  
11/27/2019 30344

The logo for Atlas Engineering L.L.C. is positioned on the left side of the page. It features a stylized globe with a grid pattern, with the continents of North America and South America visible. To the right of the globe, the company name "ATLAS" is written vertically in a bold, sans-serif font. To the right of "ATLAS", the word "ENGINEERING" is also written vertically. Below "ENGINEERING", the letters "L.L.C." are written vertically. A thick vertical line runs through the center of the globe and the text.

SHEET NO.

1

(24" x 36")  
SCALE 1" = 100'  
(11" x 17")  
SCALE 1" = 200'

25 100 300

TERRA DOIS LLC  
H-3-1-33-3323

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ORIGAL  
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2

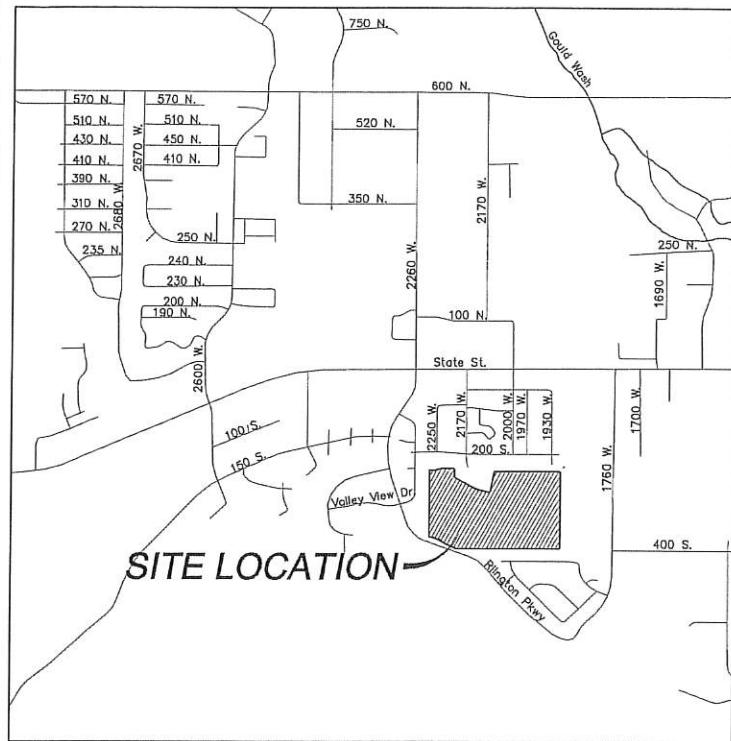
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LITERATURE

2019\19-11-30 The Views- Hurricane

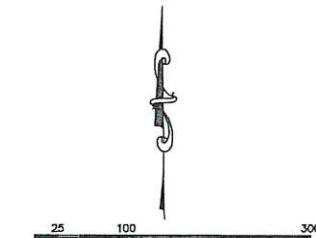


DEVELOPER  
CLARK COLLEDGE  
801-884-6949  
clark@clarkcolledge.com

DATA TABLE

TOTAL ACREAGE=32.50  
TOTAL # OF TOWNHOMES=161  
TOTAL # OF LOTS=30  
ACREAGE IN ROADS=4.09 ACRES  
TOTAL ACREAGE OF OPEN SPACE/PONDS=16.13  
% OF OPEN SPACE=49.63%  
ZONING=RM-2

CURVE TABLE					
CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	379.00	140.44	139.64	S 65°41'38" E 21°13'54"	
C2	459.00	183.52	182.30	N 66°31'56" W 22°54'30"	



SURVEYOR CERTIFICATE

I, BARRY L. PRETTYMAN, A LICENSED SURVEYOR HOLDING CERTIFICATE NO 166406, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED FROM A FIELD SURVEY MADE UNDER MY DIRECTION AND CORRECTLY SHOWS THE DIMENSIONS AND MONUMENTS OF THE ABOVE DESCRIBED PARCEL OF LAND TO THE BEST OF MY KNOWLEDGE AND BELIEF.

BARRY L. PRETTYMAN

DATE

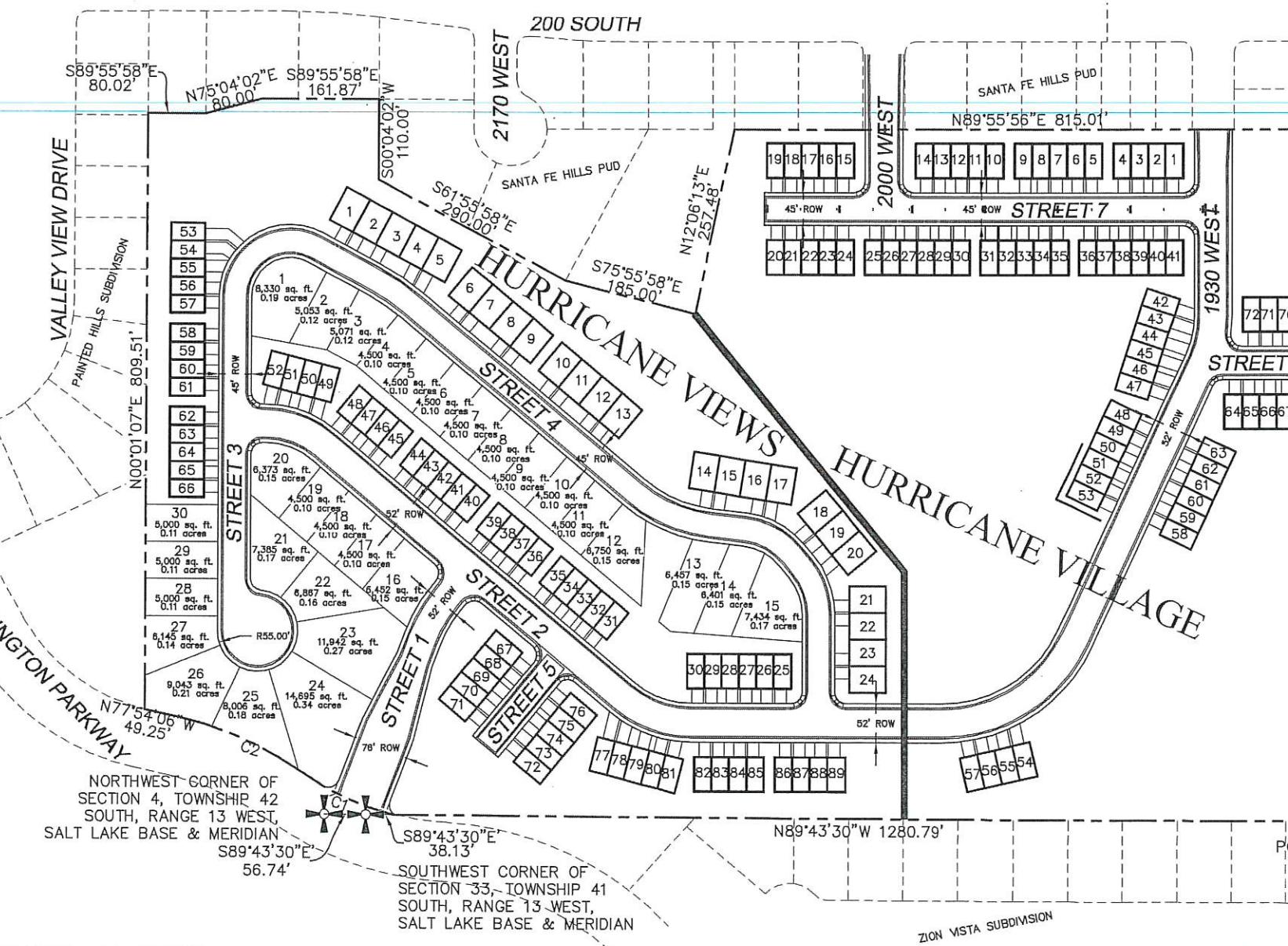
BOUNDARY DESCRIPTION:

BEGINNING AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 CORNER OF SECTION 33, RANGE 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE MERIDIAN, WHICH POINT LIES NORTH 89°43'30" WEST 1318.92 FEET ALONG THE SECTION LINE FROM THE SOUTH 1/4 CORNER OF SAID SECTION 33; AND RUNNING THENCE N89°43'30" W 1280.79 FEET; THENCE ALONG THE ARC OF A 379.00 FOOT RADIUS CURVE TO THE RIGHT A DISTANCE OF 140.44 FEET, (THE CHORD BEARS N65°41'38" W 139.64 FEET); THENCE ALONG THE ARC OF A 459.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 183.52 FEET, (THE CHORD BEARS N66°31'56" W 182.30 FEET); THENCE N77°54'06" W 49.25 FEET; THENCE N00°01'07" E 80.51 FEET; THENCE S89°55'58" E 80.02; THENCE N75°04'02" E 80.00 FEET; S89°55'58" E 161.87 FEET; THENCE S00°04'02" W 110.00 FEET; THENCE S61°55'58" E 290.00 FEET; THENCE S75°55'58" E 185.00 FEET; THENCE N12°06'13" E 257.48 FEET; THENCE N89°55'58" E 815.01 FEET; THENCE S00°00'55" W 937.70 FEET TO THE POINT OF BEGINNING. CONTAINS 32.50 ACRES.

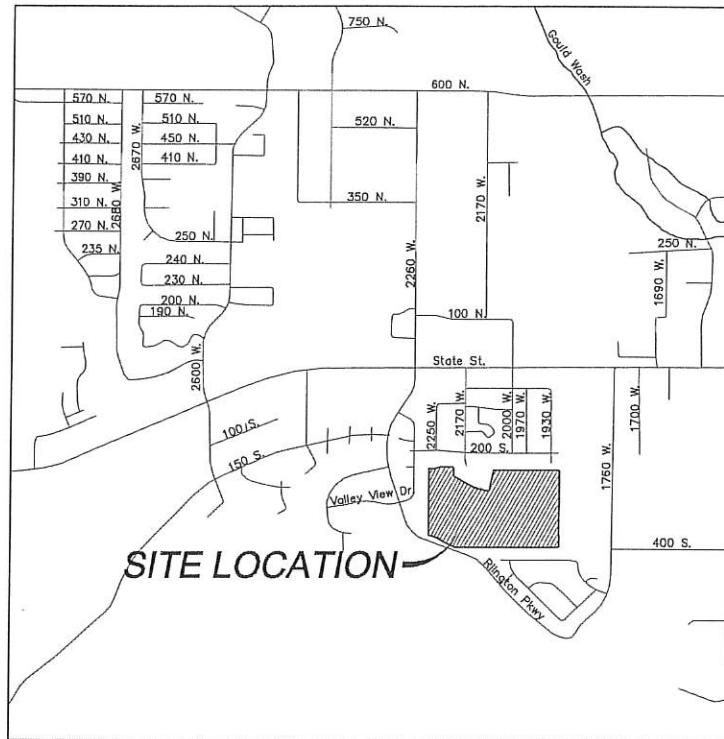
VICINITY MAP  
-NTS-

LEGEND

- SECTION CORNER
- FOUND ALUMINUM CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED SIGN
- PROPOSED STREET SIGN
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING DITCH
- EXISTING SANITARY SEWER W/MANHOLE
- PROPOSED STORM DRAIN
- PROPOSED PVC SDR-35 SEWER W/MH
- PROPOSED CULINARY WATERLINE
- PROPOSED PRESSURIZED IRRIGATION



SHEET NO.	
2	
12	11
10	9
8	7
6	5
4	3
2	1
NO.	REVISIONS
PRELIMINARY PLAT	
HURRICANE VIEWS & HURRICANE VILLAGE	
HURRICANE, UTAH	
HURRICANE VIEWS & HURRICANE VILLAGE	
ATLAS ENGINEERING	
L.L.C.	
PHONE: 801-655-0566	
FAX: 801-655-0109	
946 E. 800 N. SUITE A	
SPANISH FORK, UT 84660	
11/27/2019 3:41:13 PM MST	

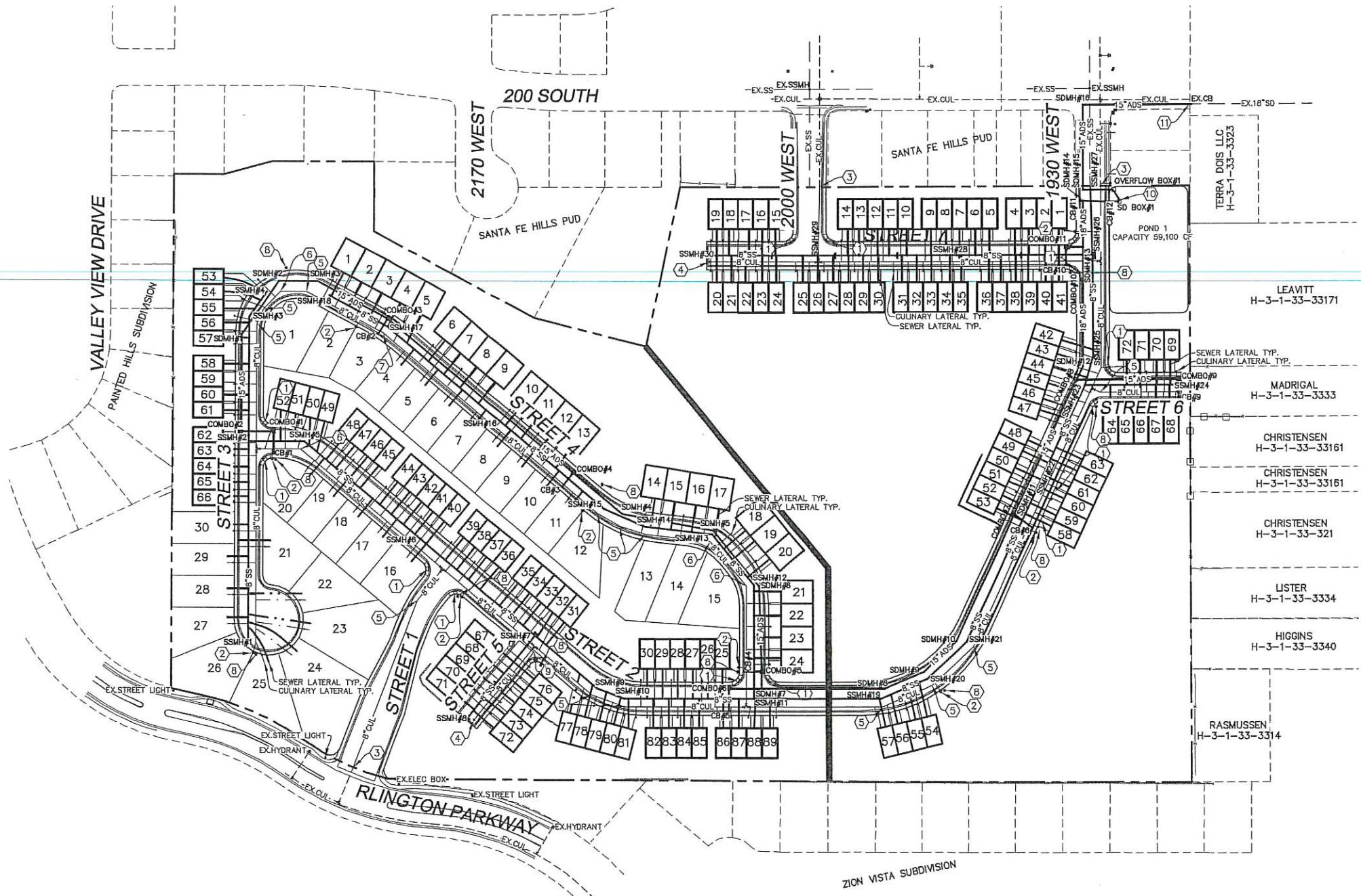


VICINITY MAP

-NT

### LEGEND

	SECTION CORNER
	FOUND ALUMINUM CAP
	SET 5/8" IRON PIN
	CALCULATED POINT, NOT SET
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
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	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER W/MANHOLE
	PROPOSED STORM DRAIN
	PROPOSED PVC SDR-35 SEWER W/MH
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION



## PROPOSED PLAN

SHEET NO.

NO.	REVISIONS	BY	DATE
11			
10			
9			
8			
7			
6			
5			
4			
3			
2			
1			

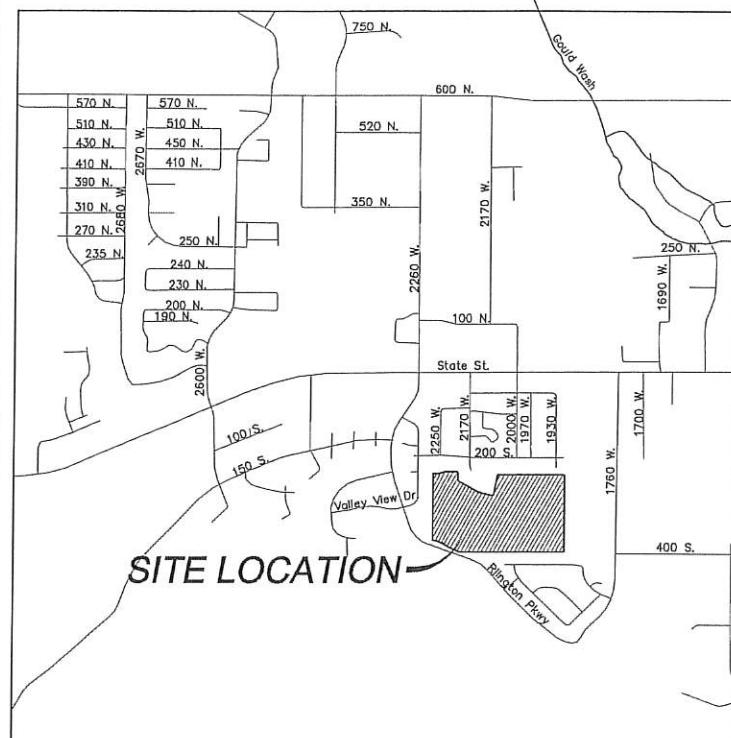
## PROPOSED PLAN

## HURRICANE VIEWS & HIBISCUS VILLAGE

PHONE: 801-655-0566  
FAX: 801-655-0109  
46 E. 800 N. SUITE A  
SPANISH FORK 846  
UT 846

## TELEGRAMS

11/27/2019 3:02:27 PM PST  
BLANCO, HURCILDA MARIA PEPE MARIANNE PRENTISS  
The views expressed in this forum are those of the user and do not necessarily reflect the views of the owner of this website.



VICINITY MAP  
-NTS-

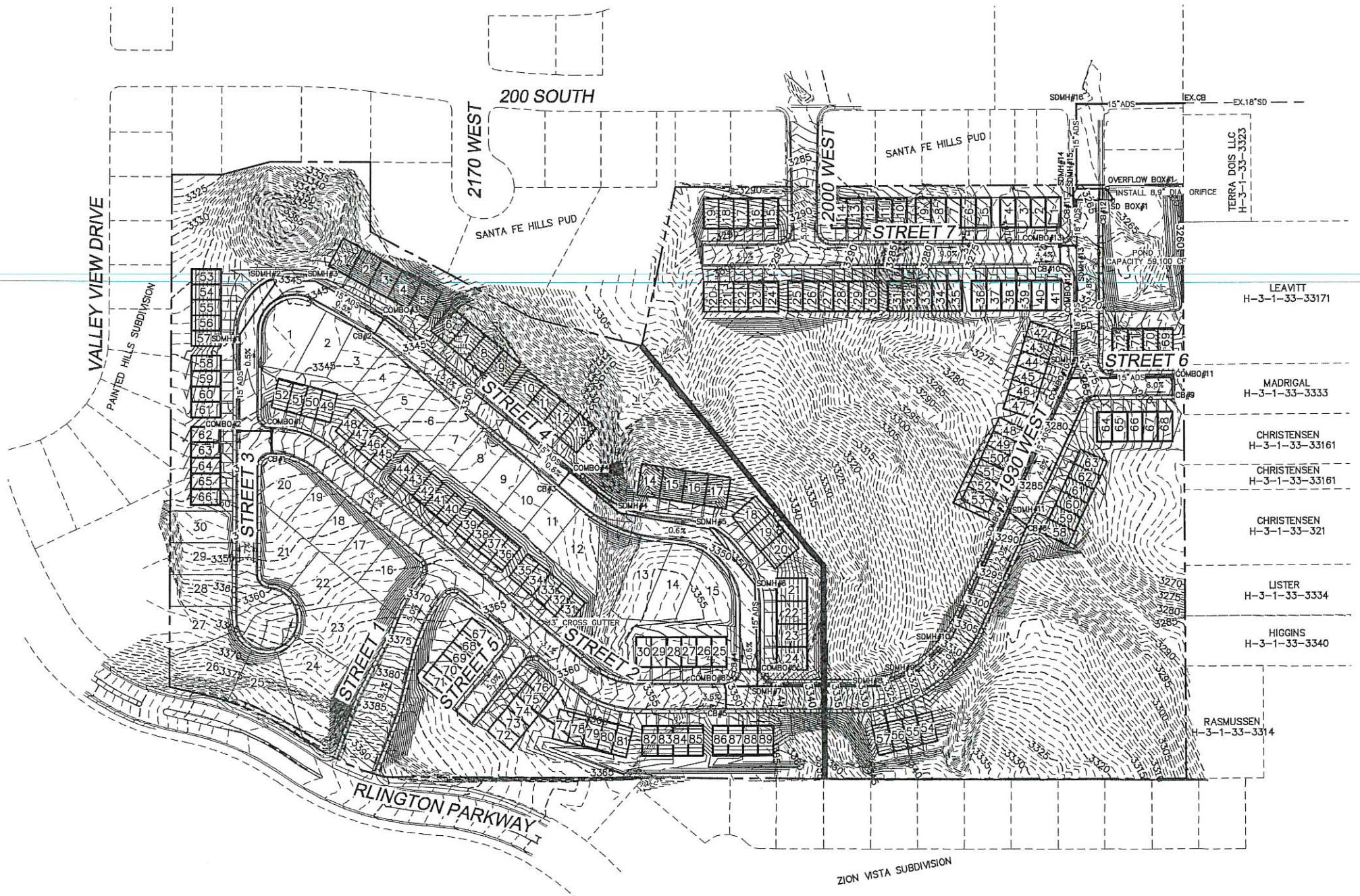
LEGEND

- SECTION CORNER
- FOUND ALUMINUM CAP
- SET 5/8" IRON PIN
- CALCULATED POINT, NOT SET
- EXISTING POWER POLE
- PROPOSED STREET LIGHT
- PROPOSED FIRE HYDRANT
- PROPOSED SIGN
- PROPOSED STREET SIGN
- PROPERTY BOUNDARY
- CENTERLINE
- RIGHT-OF-WAY LINE
- LOT LINE
- SECTION LINE
- EASEMENT
- EXISTING DEED LINE
- EDGE OF PAVEMENT
- EXISTING OVER HEAD POWER
- EXISTING FENCE LINE
- EXISTING DITCH
- EXISTING SANITARY SEWER W/MANHOLE
- PROPOSED STORM DRAIN
- PROPOSED PVC SDR-35 SEWER W/MH
- PROPOSED CULINARY WATERLINE
- PROPOSED PRESSURIZED IRRIGATION

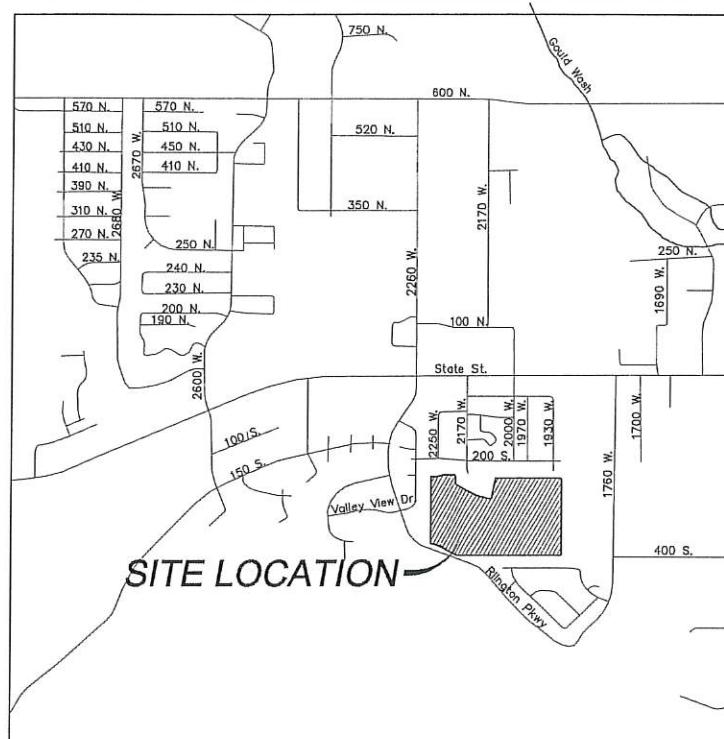
NOTE:  
1. CURRENT STORM DRAIN PIPE SIZES ARE SUBJECT TO CHANGE.  
FINAL STORM DRAIN PIPE SIZING AND CALCULATIONS TO BE  
SUBMITTED WITH FINAL DESIGN.

(24"x36")  
SCALE 1" = 100'  
(11"x17")  
SCALE 1" = 200'

0 25 100 200 300



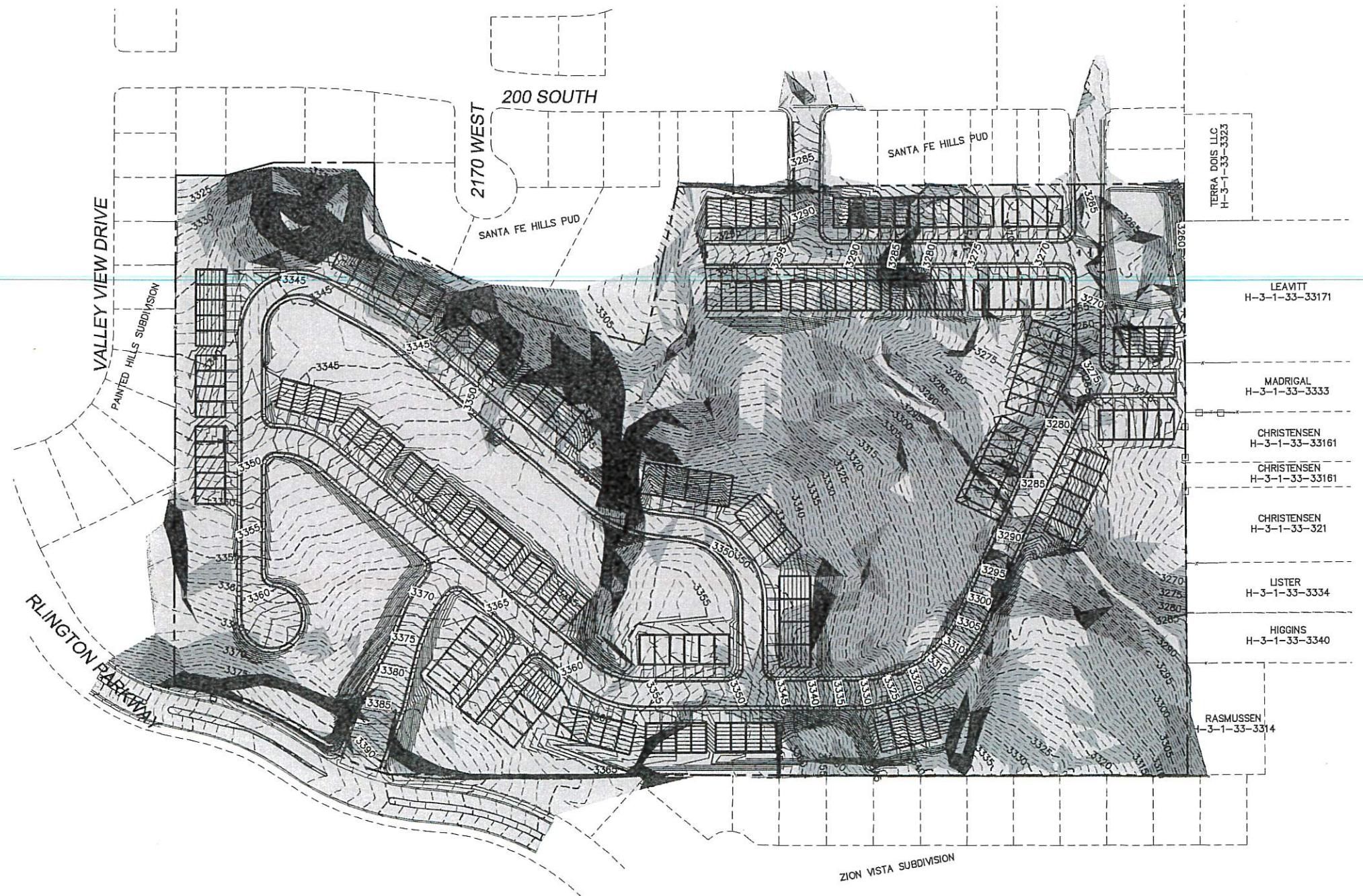




VICINITY MAP  
-NTS-

15251

	SECTION CORNER
	FOUND ALUMINUM CAP
	SET 5/8" IRON PIN
	CALCULATED POINT, NOT SET
	EXISTING POWER POLE
	PROPOSED STREET LIGHT
	PROPOSED FIRE HYDRANT
	PROPOSED SIGN
	PROPOSED STREET SIGN
	PROPERTY BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY LINE
	LOT LINE
	SECTION LINE
	EASEMENT
	EXISTING DEED LINE
	EDGE OF PAVEMENT
	EXISTING OVER HEAD POWER
	EXISTING FENCE LINE
	EXISTING DITCH
	EXISTING SANITARY SEWER W/MANHOLE
	PROPOSED STORM DRAIN
	PROPOSED PVC SDR-35 SEWER W/MH
	PROPOSED CULINARY WATERLINE
	PROPOSED PRESSURIZED IRRIGATION
	6"PI



**HURRICANE VIEWS &  
ATLAS HURRICANE VILLAGE**

ENG  
L.L.C.

PHONE: 801-655-0566  
FAX: 801-655-0109  
946 E. 800 N. SUITE A  
SPANISH FORK, UT 8466

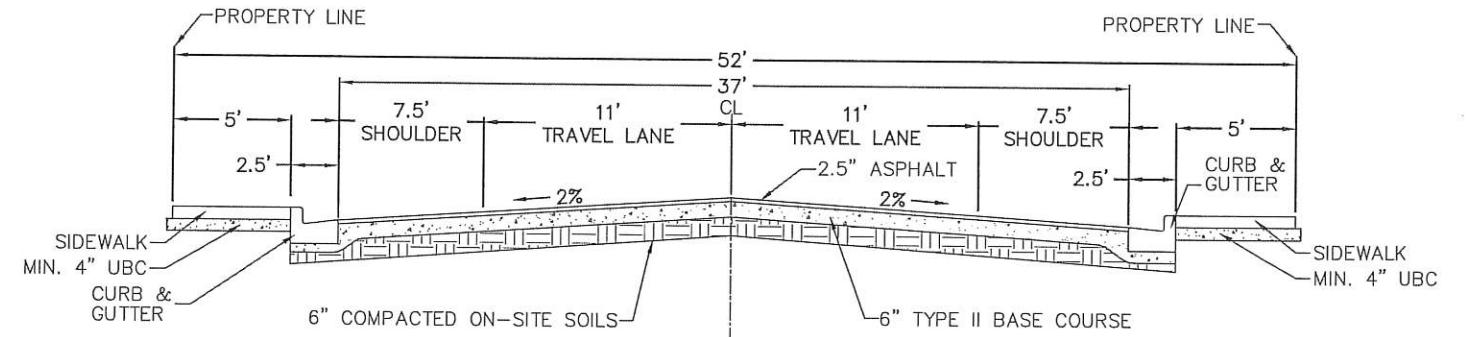
## SLOPE ANALYSIS

SHEET NO.

1

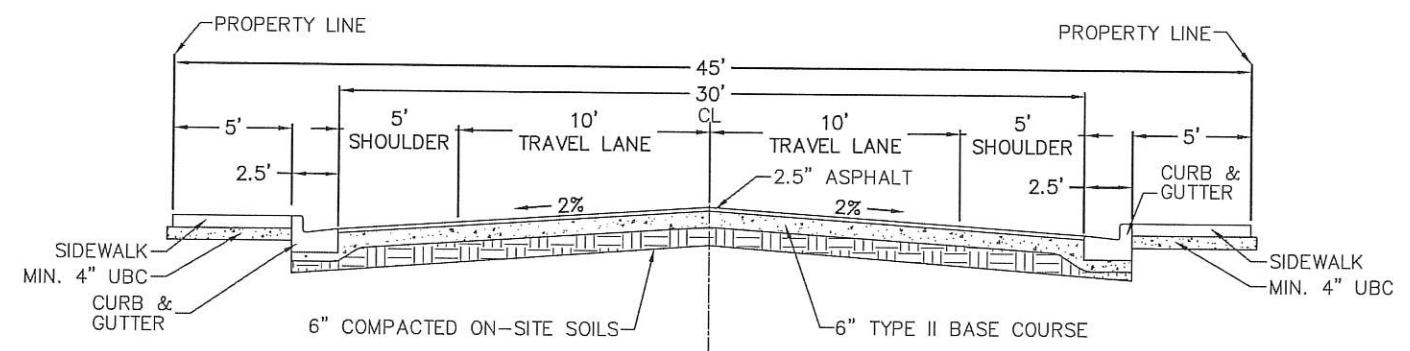
SHEET NO.

SHEET 1



## 52' ROW - RESIDENTIAL STANDARD

-NTS-



45' ROW - RESIDENTIAL LOCAL

-NTS-

SHEET NO.	
8	
REVISIONS	
NO.	
BY	
DATE	

## DETAIL SHEET

## HURRICANE, UTAH

Page 11/27/2019 3:48:12 PM

**HURRICANE VIEWS &  
ATLAS HURRICANE VILLAGE  
FOR RENT**



Digitized by srujanika@gmail.com

# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:  
File No. 2019-FSP-22  
Receipt No. 8132759

Name: \_\_\_\_\_ Telephone: 801-410-8507  
AutoZone - Colby Anderson

Address: 2010 North Redwood Road, SLC, UT 84116 Fax No. \_\_\_\_\_

Agent (If Applicable): Colby Anderson (AWA) Telephone: 801-410-8507

Email: colbya@awaeng.com Agent Email: colbya@awaeng.com

Address/Location of Subject Property: 818 West State Street

Tax ID of Subject Property: H-3-1-34-31401 Zone District: HC - Highway Commercial

Proposed Use: (Describe, use extra sheet if necessary) Retail Auto Parts Store

---

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- \_\_\_\_ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- \_\_\_\_ b) Layout, dimensions, and names of existing and future road rights-of-way;
- \_\_\_\_ c) Project name, North arrow, and tie to a section monument;
- \_\_\_\_ d) The boundary lines of the project site with bearings and distances;
- \_\_\_\_ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- \_\_\_\_ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- \_\_\_\_ g) Location of man-made features including irrigation facilities, bridges, and buildings
- \_\_\_\_ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- \_\_\_\_ i) Identification of property, if any, not proposed for development, and;
- \_\_\_\_ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.

## STAFF COMMENTS

**Agenda:** December 12, 2019 **File Number:** 2019-FSP-22

**Type of Application:** Final Site Plan for AutoZone store

**Applicant:** AutoZone

**Agent:** Colby Anderson

**Request:** Final Site Plan for a retail parts store

**Location:** 818 West State Street

**General Plan:** Commercial

**Existing Zoning:** Highway Commercial

**Discussion:** The final site plan application includes a detailed landscape plan, elevations for the store with color details, and lighting details

### Final Site Plan review

1. Total Site .792 acre
2. Total Buildings One 7,381 sq.ft. building
4. Total parking provided 38 spaces
5. ADA parking 2 spaces
3. Landscape area 8,861 sq. ft.

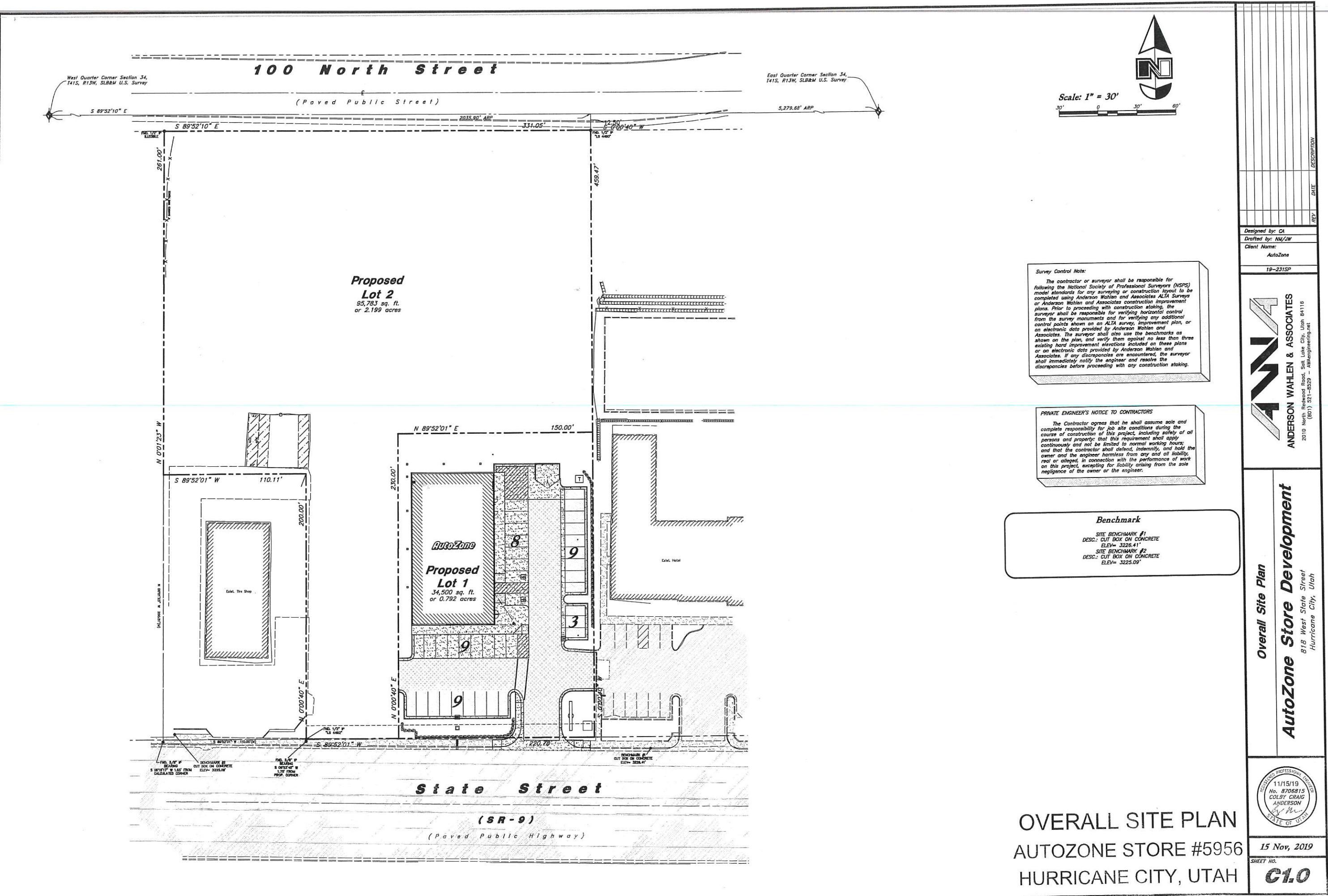
Construction drawings have been signed for the site.

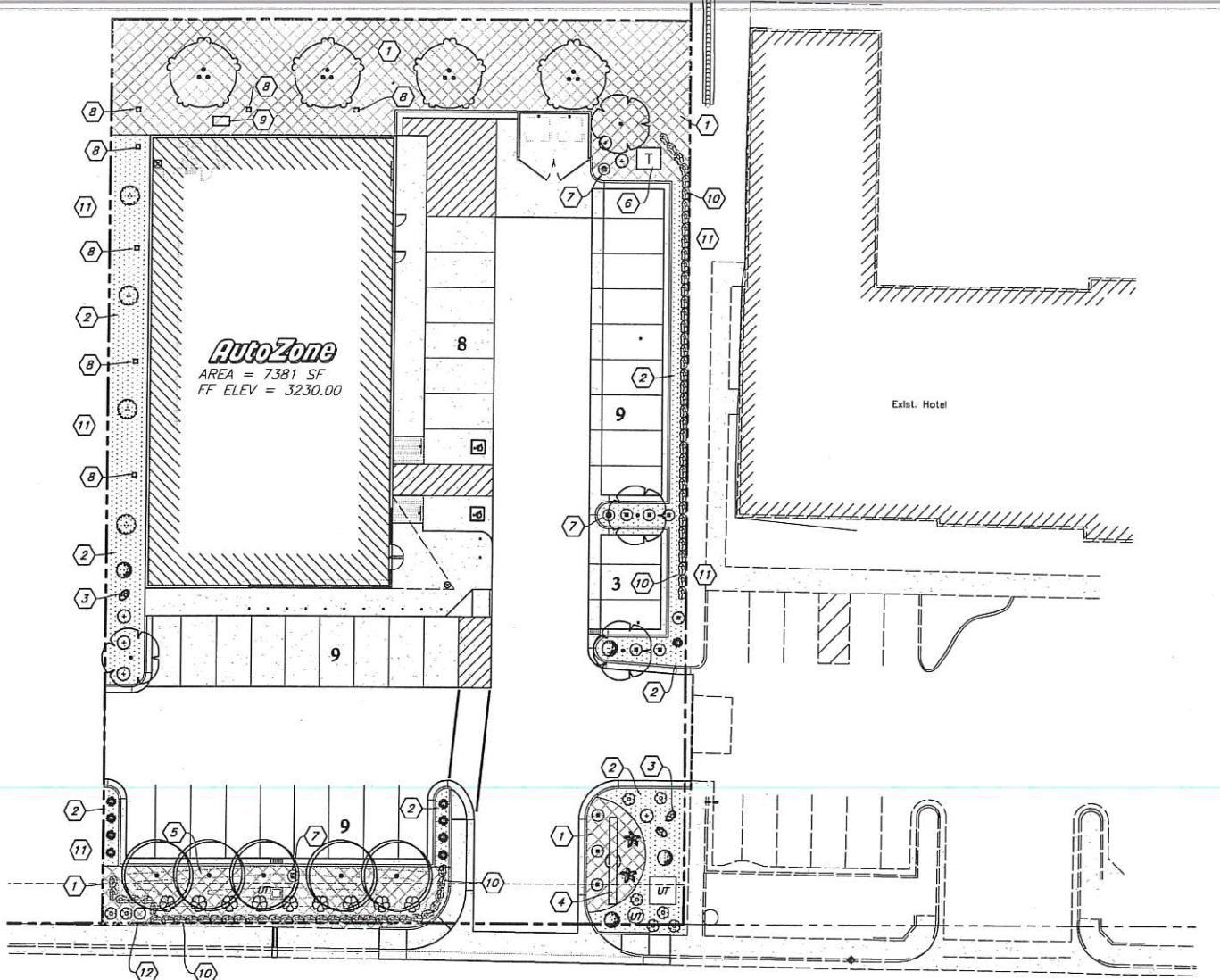
### Staff Review

1. Parking meets minimum requirements for number of spaces and provides 8 spaces more than required.
2. The site plan shows the building located behind the parking lot facing east with landscaping along all four sides of the property.
3. Elevations are of an attractive single story concrete masonry building in tan and brown colors.

4. The landscape plan includes landscaping within the detention basin, along the west side of the building, at the back of the property, and along all perimeter parking spaces. Watering is via drip systems, as required. Three tree species and 8 different shrubs are planned.
5. A sign is shown east of the driveway. This section of the code recommends a monument sign but it is not required: 10-36-7: SIGN DEVELOPMENT STANDARDS:*A. Monument signs are encouraged in all planned commercial zones and commercial zones located along the commercial corridor of SR-9.* A sign permit is required before signs are installed unless they are approved with the site plan. Without sign details this sign can't be approved with the site plan. Wall signs are within code and can be approved with the site plan.
6. Parking lot and building lighting is specified. Applicant has provided a luminaire detail for the building wall lights and the parking lot lights. A house shield is located on the building wall lights and both are down facing fixtures. However, the specifications show a 4,000 K light and that will have to be reduced to a 3,000K light to meet standards.
7. A dumpster enclosure is shown at the north end of the parking lot. It is made of block with a corrugated metal gate painted to match the building.

**Recommendation:** Staff recommends approval of this final site plan subject to lights being changed to meet City standards.





## WEST STATE STREET (SR - 9)

### Landscape Notes:

- Plant material quantities are provided for bidding purposes only. It is the contractors responsibility to verify all quantities listed on the plans and the availability of all plant materials and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to the area shown on the plan using the specified spacing. Plants take precedence over plant schedule quantities.
- Contractor shall call Blue Stake before excavation for plant material.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until these have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
- The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
- It is the contractors responsibility to furnish all plant materials free of pests or plant diseases. It is the contractors obligation to maintain and warranty all plant materials.
- The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
- The contractor shall install all landscape material per plan, notes and details.

### PLANT SCHEDULE

ITEMS	QTY	BOTANICAL / COMMON NAME	SIZE	REMARKS
1	5	Cercis canadensis 'Okahoma' / Oklahoma Redbud	2" Cal. / 6-8' Ht.	Detail: 1/L3.1
2	4	Pyrus calleryana 'Bradford' / Bradford Flowering Pear	2" Cal. / 6-8' Ht.	Detail: 1/L3.1
3	4	Vitis agnus-castus / Chaste Tree	25 gal	Detail: 1/L3.1
4	4	Casuarina gillesii / Yellow Bird of Paradise	5 gal	Detail: 2/L3.1
5	9	Euphorbia rigida / Gopher Plant	5 gal	Detail: 2/L3.1
6	2	Hesperalos parviflora / Red Yucca	5 gal	Detail: 2/L3.1
7	4	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	Detail: 2/L3.1
8	6	Leucophyllum candidum 'Silver Cloud' / Silver Cloud Texas Ranger	5 gal	Detail: 2/L3.1
9	9	Leucophyllum langmaniae 'Rio Bravo' / Rio Bravo Texas Ranger	5 gal	Detail: 2/L3.1
10	9	Rhaphiolepis indica 'Pink Lady' / Pink Lady Indian Hawthorn	5 gal	Detail: 2/L3.1
11	8	Rosa x 'Noachnee' / Flower Carpet White Groundcover Rose	5 gal	Detail: 2/L3.1

Scale: 1" = 20'  
20' 0' 20' 40'

**Landscape Data**  
Site Area = 34,500 s.f. (0.792 ac.)  
Landscape Area Provided = 8,861 s.f. (26%)  
Street Frontage = 151 ft.  
Street Trees Required (1 per 35 ft. of Frontage) = 5 Trees  
Street Trees Provided = 5 Trees  
Street Shrubs Required (3 per 35 ft. of Frontage) = 15 Shrubs  
Street Shrubs Provided = 15 Shrubs  
Parking Stalls = 38 Stalls  
Parking Area = 11,235 s.f.  
Parking Lot Landscape Required = 786 s.f. (7%)  
Parking Lot Landscape Provided = 794 s.f.  
Parking Lot Trees Required = 4 Trees (4 Provided)  
Parking Lot Shrubs Required = Shrubs (20 Shrubs)

**General Landscape & Irrigation Notes:**  
1. All New Landscape Material Shall be Fully Irrigated by a New Automatic Irrigation System. See Sheet L2.1 for Details.  
2. See Sheet L3.1 for Landscape Details.  
3. Adjust Landscape Material as Needed to Allow Access to all New & Existing Utilities.  
4. All Areas Disturbed by Construction Shall be Landscaped and Not Left Undone.  
5. No Edging Shall be Used Between Different Decorative Stone.

### Landscape Keynotes

- Install Shrub Planter With Decorative Stone #1
- Install Shrub Planter With Decorative Stone #2
- Install Landscape Accent Boulder - See Material Schedule
- New Pylon Sign by Separate Permit
- New Detention Pond - See Grading Plan
- New Electrical Transformer - See Electrical Plans
- New Light Pole - See Site Electrical Plan
- New Landscape Drain: See Utility Plan for More Details. Verify That Landscape Drains Are Clean and That the Adjacent Landscape is Graded so That Water Will Freely Flow into Drains
- Backflow Preventer Enclosure - See Irrigation Plan for More Details
- Install Rock Retaining Wall; See Grading Plan and Material Schedule for Size and Color. Verify That Boulders are Washed and That Soil is Removed Between and Top of Boulders. Verify That Decorative Stone is Installed Between Boulders; Rock Walls Shall Have a Clean Appearance and Soil Shall Not be Visible
- Provide Nice Clean Edge Between New Landscape and Existing Landscape and Undeveloped Areas
- New Water Meter - See Utility Plan

UT - Utility Manhole or Box

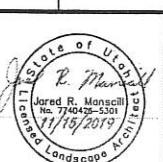
**ANDERSON WAHLIN & ASSOCIATES**  
2010 North Redwood Road, Salt Lake City, Utah 84116  
(801) 521-8529 - [AWengineering.net](http://AWengineering.net)

**AutoZone Store Development**  
818 West State Street  
Hurricane City, Utah



Know what's below.  
Call before you dig.

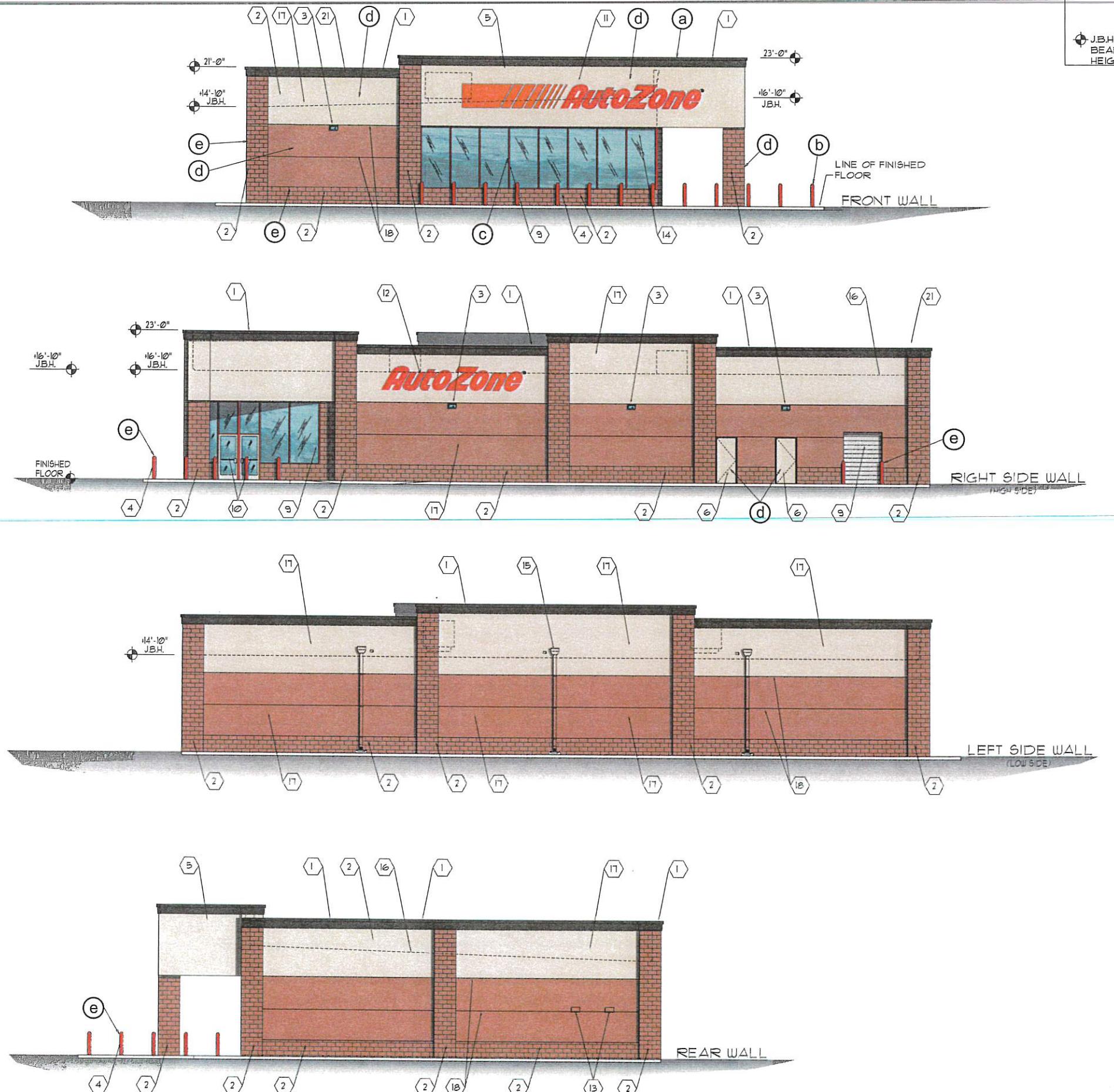
**LANDSCAPE PLAN**  
**AUTOZONE STORE #5956**  
**HURRICANE CITY, UTAH**



15 Nov, 2019

SHEET NO.

**L1.1**



1/8" = 1'-0"

EXTERIOR ELEVATIONS

1	TWO PIECE COMPRESSION TRIM SEE DETAIL 4/A6
2	SMOOTH FACE CONCRETE MASONRY UNITS SEE PAINT DETAIL SCHEME THIS SHEET
3	WALL MOUNTED LIGHT FIXTURE
4	PIPE GUARD WITH RED SLEEVE
5	MFG. EXTERIOR INSULATED FINISH (REFER TO PAINT COLOR SCHEDULE)
6	PAINT MAN DOOR COLOR AS INDICATED IN COLOR CHART & METAL FRAMES BLACK
7	DO NOT PAINT OVERHEAD DOOR PAINT ANGLES BLACK
8	EXPANSION JOINT
9	ALUMINUM STOREFRONT - REFER TO COLOR CHART
10	GLASS AND ALUMINUM DOORS - CLEAR ANODIZED FINISH
11	FRONT WALL SIGN - 44" Left Stripe CHANNEL SIGN
12	RIGHT SIDE WALL SIGN - 44" AZ. ONLY CHANNEL
13	TOILET WALL VENTS PAINT TO MATCH WALL
14	STORE ADDRESS - 6" WHITE REFLECTIVE NUMBERS
15	SCUPPERS AND DOWNSPOUTS. PAINTED TO MATCH BACKGROUND WALL COLOR. ADJACENT OVERFLOW SCUPPER. FLOLINE 2" ABOVE ROOF.
16	BOND BEAM AT ROOF LINE
17	CMU STRUCTURE W/ PAINTED EIFS. REFER TO SCHEDULE.
18	V GROOVE SCORE JOINT
19	

## 2 ELEVATION KEY NOTES

## Materials

- (a) Two Piece Compression Trim  
Mfg Metal Era  
Color "Dark Bronze"
- (b) Pipe Guard Sleeve  
Mfg Ideal Shield  
Color "Red"
- (c) Aluminum Storefront  
Color "Red"

## Paint Colors



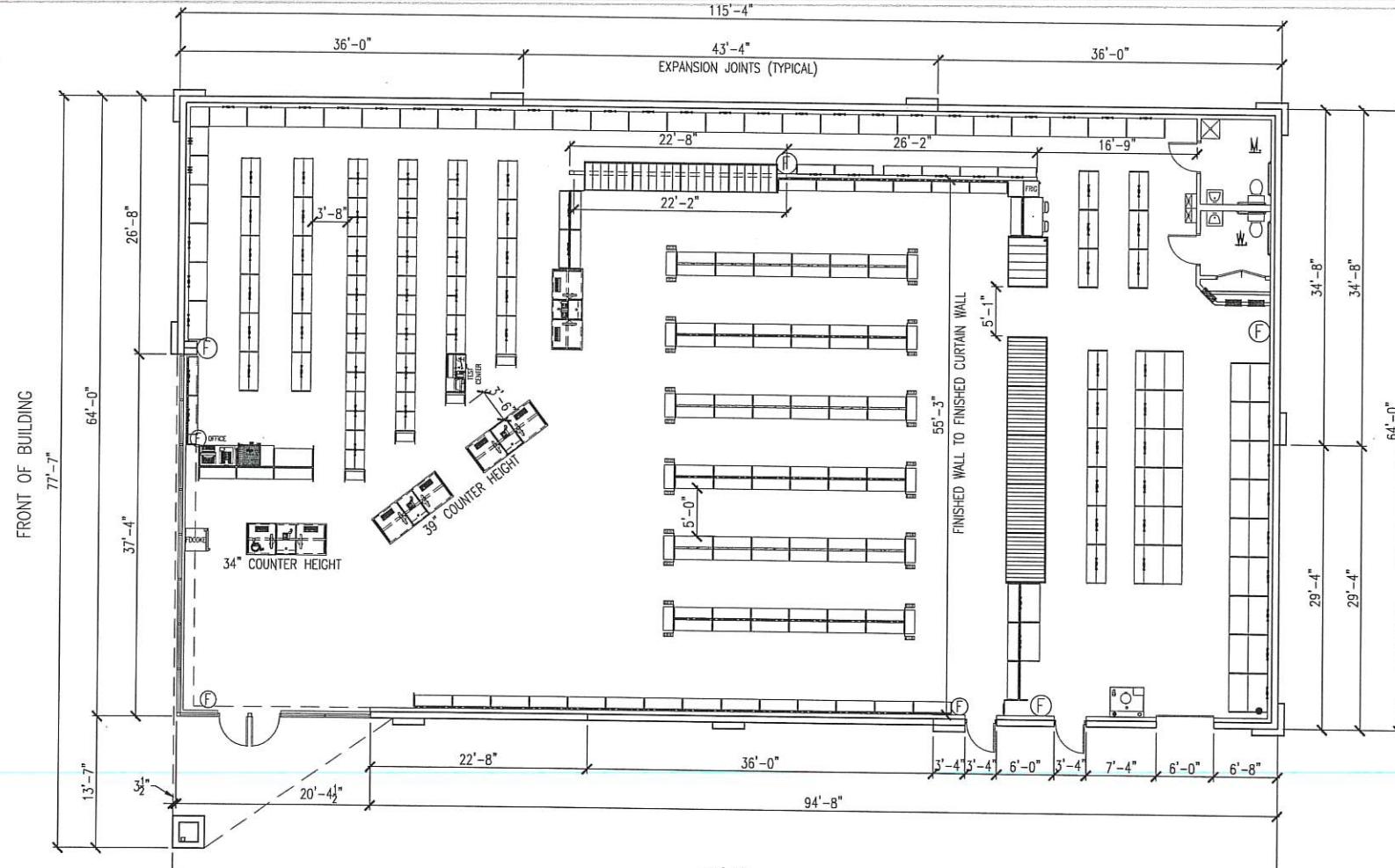
AutoZone Store No. 5956  
WEST STATE STREET  
HURRICANE UT 84107

EXTERIOR ELEVATIONS AND NOTES

11-06-19

7N2-L

A-2

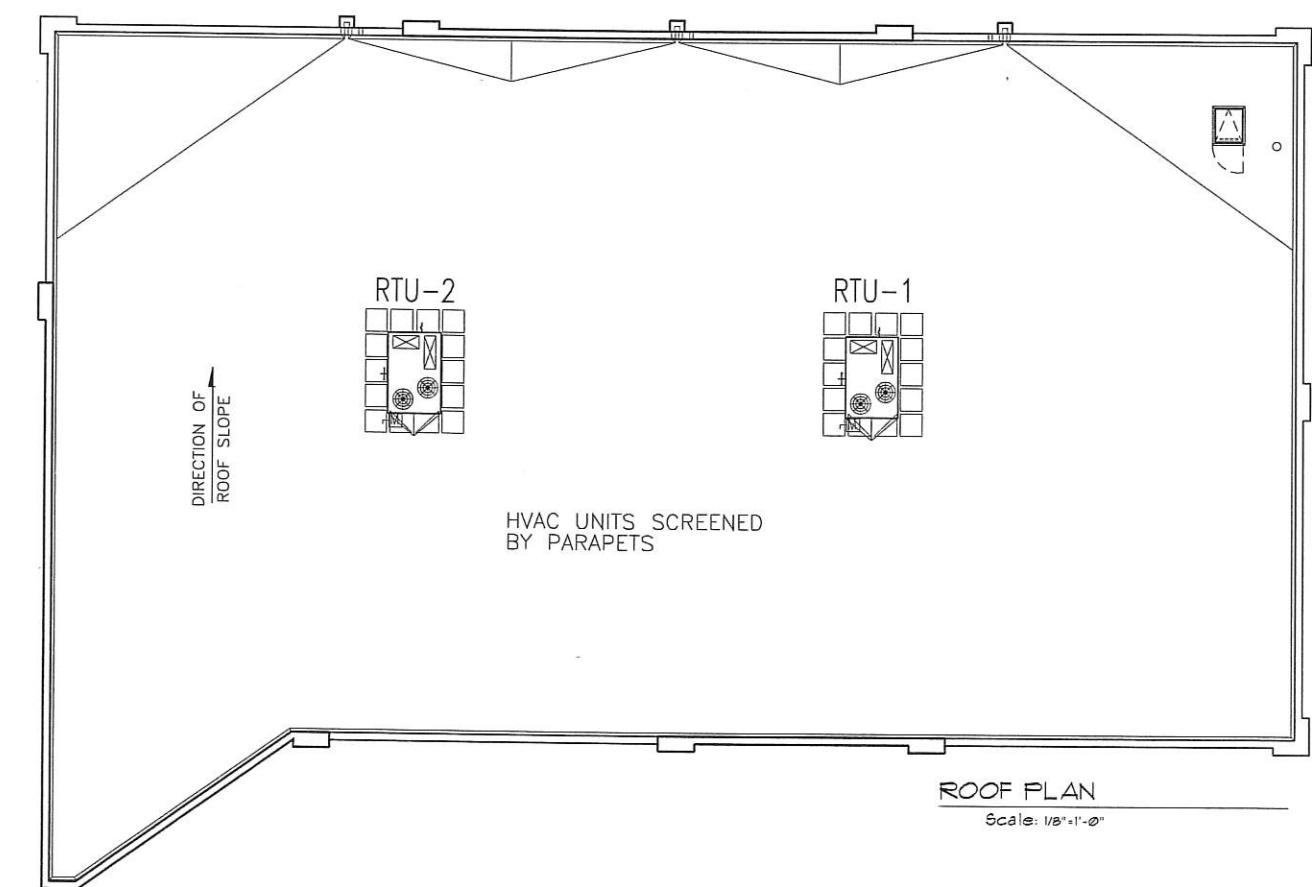


FLOOR PLAN

Scale: 1/8"=1'-0"

BUILDING AREA TABULATION:

CONSTRUCTION TYPE: VB  
 OCCUPANCY: M (MERCHANTILE)  
 BUILDING AREA ALLOWED: 9,000 SF  
 BUILDING AREA PROVIDED: 7,380 SF  
 SPRINKLED: NO



ROOF PLAN

Scale: 1/8"=1'-0"

		REVISIONS			
		1		4	
		2		5	
		3		6	

AutoZone Store No. 5961  
 WEST STATE STREET  
 HURRICANE  
 FLOOR PLAN / DOOR SCHEDULE / WALL DETAILS

UT 84737

Architect: Lew Ellis  
 123 South Front Street  
 Memphis, Tennessee 38103  
 TEL: 901-495-8707 FAX: (901) 495-8969  
 For Bidding & Contractor Information Contact:  
 McGraw - Hill Construction Tel. 615-584-1017  
[www.construction.com](http://www.construction.com)

11/06/19  
 7N2-L

PS1

# LAND USE ORDINANCE TEXT AMENDMENT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2019-LUCA-05

Receipt No. 8132835

Name: Mike Stewart Telephone: 435-668-6646

Address: 983 Private Dr. Washington Fax No. \_\_\_\_\_

Agent (If Applicable): \_\_\_\_\_ Telephone: \_\_\_\_\_

Email: mstew4@gmail.com Agent Email: \_\_\_\_\_

The proposed text amendment would be to what Chapter and section of the current Land Use Code 10-13-4

The purpose this change would accomplish to allow for larger back yards  
that residents can enjoy! Adding 5 extra feet to a 10' back yard is huge!

If purposed request is to create a new zone applicant shall attach a purpose statement for this new zone as found in Chapter 11 for the existing zones. Purposed uses and standards shall be submitted as found in the appropriate zoning group; Residential, Residential Agricultural, Commercial, Industrial, or Open Space and Public Facility Zones.

Note: It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*  
(Office Use Only)

Date Received: 11/25/2019 Application Complete: YES  NO

Date application deemed to be complete: 11/25/19 Completion determination made by: JZ

## 10-13-4:DEVELOPMENT STANDARDS:

Development standards within Residential Zones shall be as set forth in table 10-13-2 of this section.  
(Ord. 03-5-1, 5-1-2003, eff. 6-1-2003)

TABLE 10-13-2  
DEVELOPMENT STANDARDS IN RESIDENTIAL ZONES

Development Standard	Zones						
	R1-15	R1-10	R1-8	R1-6	RM-1 <sup>1</sup>	RM-2	RM-3
Lot standards:							
Average lot area <sup>2</sup>	15,000 sq. ft.	10,000 sq. ft.	8,000 sq. ft.	6,000 sq. ft.	n/a	n/a	n/a
Minimum lot area or acreage	12,000 sq. ft.	8,000 sq. ft.	6,400 sq. ft.	4,800 sq. ft.	10,000 sq. ft.	1 acre	1 acre
Minimum lot width and/or project frontage	90 ft.	80 ft.	70 ft.	60 ft.	80 ft. project 30 ft. unit	100 ft. project 30 ft. unit	200 ft. project 30 ft. unit
Maximum density per acre	n/a	n/a	n/a	n/a	6 units/lots	10 units/lots	15 units/lots
Building standards:							
Maximum height, main building <sup>3</sup>	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.	35 ft.
Maximum height, accessory building <sup>4</sup>	16 ft.	16 ft.	16 ft.	16 ft.	20 ft.	20 ft.	20 ft.
Maximum size, accessory building	1,200 sq. ft.	1,200 sq. ft.	500 sq. ft.	500 sq. ft.	1,000 sq. ft.	1,000 sq. ft.	500 sq. ft.

Development Standard	Zones						
	R1-15	R1-10	R1-8	R1-6	RM-1 <sup>1</sup>	RM-2	RM-3
Building coverage: See subsection <u>10-37-121</u> of this title	50% of lot	50% of lot	50% of lot				
Distance between buildings	10 ft.	10 ft.	10 ft.	10 ft.	20 ft.	20 ft.	20 ft.

Setback standards - front yard:

Any building <sup>5</sup>	25 ft.	25 ft.	25 ft.	25 ft.	25 ft. 20 ft	25 ft. 20 ft	25 ft. 20 ft
---------------------------	--------	--------	--------	--------	-----------------	-----------------	-----------------

Setback standards - rear yard:

Main building	20 ft.	20 ft.	10 ft.				
Accessory building, including private garage <sup>6</sup>	20 ft.	20 ft.	10 ft.				

Setback standards - interior side yard:

Main building	10 ft.	10 ft.	10 ft.	8 ft.	10 ft.	10 ft.	10 ft.
Accessory building, including private garage	See note 6						

Setback standards - street side yard:

Main building <sup>7</sup>	20 ft.	20 ft.	20 ft.				
Accessory	See	See	See	See	See note	See note	See note

Development Standard	Zones						
	R1-15	R1-10	R1-8	R1-6	RM-1 <sup>1</sup>	RM-2	RM-3
building	note 6	note 6	note 6	note 6	6	6	6
Pool location and setbacks <sup>8</sup>	3 ft.	3 ft.	3 ft.				

Notes:

1. Duplex only permitted on first 10,000 square feet. Any additional units must meet density per acre standards.
2. "Average size" means the total acreage devoted to lots divided by the number of lots. Net density definition shall apply.
3. Except as otherwise permitted by subsection 10-13-7C of this chapter.
4. Except as otherwise permitted by subsection 10-13-7B of this chapter.
5. Except as modified by the provisions of subsection 10-37-12F, "Setback Measurement", of this title.
6. If located at least 10 feet from main building, 2 feet. Otherwise, same as for main building.
7. When this side setback is required, rear setback may be reduced to 10 feet.
8. Pools must be located behind front yard setbacks. Setback is measured from rear and side property lines. Pools may require special engineering. A closer property line setback may be approved by the building official if engineering ensures structural integrity for any adjoining buildings or walls as well as the pool.

## STAFF COMMENTS

**Agenda:** December 12, 2019 **File Number:** 2019-LUCA-05

**Type of Application:** Land Use Code Amendment

**Applicant:** Mike Stewart

**Request:** Amend front yard setback from 25' to 20' in RM zones

**Discussion:** The applicant is proposing a change to the Land Use Code, Title 10, Chapter 13, Section 4, Development Standards – cutting the front yard setback from 25' to 20'. His application states the purpose is to allow for an extra 5' in the rear yards. However, the application does not indicate an increase in the rear setback from 10' to 15'.

Standards for review: Interestingly, the Land Use Code uses the same criteria for considering a text amendment as a map amendment, as follows: 10-7-7: ZONING MAP AND TEXT AMENDMENTS:

*E. Approval Standards: A decision to amend the text of this title or the zoning map is a matter within the legislative discretion of the city council as described in subsection 10-7-5A of this chapter. In making an amendment, the following factors should be considered:*

- 1. Whether the proposed amendment is consistent with goals, objectives and policies of the city's general plan;*
- 2. Whether the proposed amendment is harmonious with the overall character of existing development in the vicinity of the subject property;*
- 3. The extent to which the proposed amendment may adversely affect adjacent property; and*
- 4. The adequacy of facilities and services intended to serve the subject property, including, but not limited to, roadways, parks and recreation facilities, police and fire protection, schools, stormwater drainage systems, water supplies, and wastewater and refuse collection.*

### Staff Review

1. The Land Use Code for Planned Development Overlay zones was amended to increase the garage setback from 25' from back of curb to 20' from back of sidewalk, an indication that the City feels a 20' setback for a structure may be sufficient.
2. A conversation with a local developer indicated that the ideal distance is 21' to back of sidewalk for a garage. Commissioners might want to consider changing the distance to 20' for living but 21' for garage to accommodate larger vehicles.
3. If the goal of this change is to increase the amount of livable space in the rear yard, a change to the rear setback from 10' to 15' is necessary, or 14' if the garage setback goes to 21'.
4. Is this proposed amendment consistent with the goals, objectives and policies of the General Plan? The following language from the General Plan appears to support this change: *Goal III – Quality of the Built Environment – Maintain a strong sense of place, quality, image, and individual identity for built environments and Supporting Objective A – preserve small town*

*quality.* While some may associate small town quality with large lots, historically small towns have townhomes and apartments with doors close to the street, becoming part of the fabric of the streets around them rather than secluded behind large front yards. In Hurricane this is visible in the 1<sup>st</sup> block of north Main Street and the Chums building on south Main Street.

5. Is the proposed amended harmonious with the overall character of existing development? A variety of development has occurred within the City, including commercial development with front setbacks of 20', industrial development with no front setbacks or setbacks matching adjoining zones, development in PDO zones with living area 14' from back of sidewalk, and single family residential development with 25' front yard setbacks. It appears this proposed change would be harmonious with the overall character of existing development.
6. Could this proposed amendment adversely affect adjacent properties? The applicant is requesting this change because he owns property abutting the Ivy Wood PDO and across 100 North where properties have closer setbacks due to the widening and improvement of 100 North. In this location, there would be no adverse effect. However, the change, if approved, would apply to any new multi-family development. Commissioners should determine if a shorter front yard setback could result in an adverse effect on adjacent properties.
7. Will it change the requirement for adequate facilities and services to serve any property to which it may apply? The only consideration to facilities and services is whether the smaller front yard would have a change in the location of utilities and encroachment on public sidewalks. Generally, utilities are located in a 10' utility easement on the front of properties so a 20' setback should not have a negative effect on the ability to supply services.

**Recommendation:** Staff recommends approval of this Land Use Code change as requested with the addition of a change to the rear setback from 10' to 14' in addition to reducing the front setback to 21' for garages and 20' for living space.

## Title



**DISCLAIMER:** The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.

WGS\_1984 Web Mercator Auxiliary Sphere

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

## Notes

## Notes

Utah Division of Transportation
State Park
State of Utah
Washington County
Municipally Owned
School District
Privately Owned
Water
Water Conservancy District
State Assessed Oil and Gas
Mining Claim

Legend for the map:

- 2 ft. Contours: A blue line with a box, representing 2 ft. contours.
- 2 ft. (orange line): An orange line, representing 2 ft. contours.
- 10 ft.: A black line with a dash, representing 10 ft. contours.
- Parcels: A blue box with a black outline, representing parcels.
- Ownership:
  - U.S. Forest Service: A blue square.
  - Wilderness: A green square.
  - Bureau of Land Management: A brown square.
  - Bureau of Land Management: A brown square.
  - National Park Service: A blue square.
- Land Management Agencies:
  - U.S. Forest Service: A blue square.
  - Wilderness: A green square.
  - Bureau of Land Management: A brown square.
  - Bureau of Land Management: A brown square.
  - National Park Service: A blue square.



# ZONE CHANGE APPLICATION

**City of Hurricane**  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

**Fee: \$500.00**

*For Office Use Only:*  
File No. 2019-7C-24  
Receipt No. 8/13 2861

Name: Bruce Dickerson Telephone: 801-592-8393

Address: 270 E. 930 S. Fax No. N/A

Agent (If Applicable): Brady Deucher Telephone: (801) 360-7062

Email: brucerickerson@gmail.com Agent Email: brady@blackstonepg.com

Address/Location of Subject Property: Old Highway 91/ Foothills Canyon Dr.

Tax ID of Subject Property: H-4-2-4-422; H-4-2-4-133 Existing Zone District: PDO w/ 111 units

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)  
Amend PDO to 200 units to provide HUD approved affordable housing units.

---

**Submittal Requirements:** The zone change application shall provide the following:

- X a. The name and address of every person or company the applicant represents;
- X b. An accurate property map showing the existing and proposed zoning classifications;
- X c. All abutting properties showing present zoning classifications;
- X d. An accurate legal description of the property to be rezoned;
- X e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- X f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note:** It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

(Office Use Only)

Date Received: \_\_\_\_\_ Application Complete: YES  NO

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_

PRELIMINARY SITE PLAN REVIEW APPLICATION

**City of Hurricane**  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

**Fee \$200.00**

For Office Use Only:  
File No. 2019-PS-10  
Receipt No. 8132860

Name: Bruce Dickerson Telephone: 801-592-8393

Address: 270 E. 930 S. Fax No. N/A

Agent (If applicable): Brady Deucher Agent's Phone: (801) 360-7062

Email: brucerickerson@gmail.com Agent Email: brady@blackstonepg.com

Address/Location of Subject Property: Old Highway 91/ Foothills Canyon Dr.

Tax ID of Subject Property: H-4-2-4-422; H-4-2-4-133 Zone District: PDO w/ 111 units

Proposed Use: (Describe, use extra sheet if necessary) \_\_\_\_\_

Amend PDO to 200 units to provide HUD approved affordable housing units.

This application shall be accompanied by the following:

1. A vicinity map showing the general location of the project.

2. Three (3) copies of a site plan showing:

Topography showing 2' contours, identification of 30% or greater slopes;

The layout of proposed uses;

Location of open space when applicable;

Proposed access to the property and traffic circulation patterns;

Adjoining properties and uses;

Proposed reservations for parks, playgrounds, school, and any other public facility sites, if any;

3. Preliminary utility plan, including water, sewer, and storm drainage plans, and including access points to utilities;

4. Tables showing the number of acres in the proposed development and a land use summary; and

5. A phased development plan if applicable.

6. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and the fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed due to an incomplete application could result in a month's delay.

\*\*\*\*\*  
(Office Use Only)

Date Received: \_\_\_\_\_ Received by: \_\_\_\_\_

December 4th 2019  
Fao City of Hurricane

Re: HURRICANE HUD CONDOS.  
13.34 Acres @296. N. Foothills Canyon Drive, Hurricane.

Dear Toni

We are owners of unit #23 in Knollwood homes and would like to comment on the potential HUD housing that will surround our small estate.

Firstly we would like to commend the building of more affordable housing, as that is much needed, but feel that this particular project is very large, and particularly tall for where it is.

The applicant is proposing 3-stories through out the 200 units in 12 blocks, and thus surrounding Knollwood (which are only 1 or 2 stories) on three sides and would completely dominate and obstruct most of the current view sheds; and any natural light and or views, to the north, east and west sides.

We have not seen the architects renditions of the vertical exteriors, but we thought that they could vary the stories through out the complex so that it could looks less like a 'prison or institution' and less 'blocky' in appearance.

Please take a look at the impact this may have on the people already living there.

Sincerely

Deborah and Steve Masefield  
Owner #23 Knollwood.

## STAFF COMMENTS

<b>Agenda:</b>	December 12, 2019	<b>File Number:</b> 2019-ZC-25 2019-PSP-10
<b>Type of Application:</b>	Zone Change and preliminary site plan	
<b>Applicant:</b>	Bruce Dickerson	
<b>Agent:</b>	Brady Deucher	
<b>Request:</b>	A zone change from PDO Multifamily/maximum 111 units to PDO Multifamily/ maximum 200 Units	
<b>Location:</b>	Old 91 and Foothills Canyon Drive	
<b>General Plan:</b>	Multi-residential types	
<b>Existing Zoning:</b>	<b>PDO/RM-2 and RM-3</b>	

**Discussion:** This zone change request is on 13.34 acres wrapping around the existing Knollwood Townhomes at Old Highway 91 and Foothills Canyon Drive. In 2018 the property was approved for 125 units but that approval expired without a final site plan. This project is for 200 units in 3 story condominium units. Because the units are 900 square feet and the buildings 3 story, this smaller building footprints leave a greater percentage of the property available for common open areas, parking, and drainage. No public roads are shown within the project, with access essentially by private driveway that will be maintained and owned by an HOA.

Applicants have provided a booklet explaining the project and affordability features proposed.

The adjacent zoning and land use follow:

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	PDO/M-1	Orgill Distribution Center
South	PDO/SF residential	Temporary gravel pit
East	PDO/Mixed	Townhomes, gas station, storage units
West	PDO/M-1	Vacant

In order to change the zoning on any parcel of land within the City of Hurricane the following questions need to be addressed,

1. *Is the proposed amendment consistent with goals, objectives and policies of the City's General Plan?*

**Response:** General plan policies include: *The higher densities should be dispersed throughout the community rather than concentrated in large aggregates and ...housing should be planned near support facilities such as collector and arterial roads, schools, shopping, and employment centers as well as*

*blending of uses should be accomplished by requiring increased setbacks, landscaping, buffers, or other means.* This proposal to utilize an existing multi-family zoning to allow more units with a family friendly design in a location with good access to collector and arterial roads and employment centers is in keeping with the General Plan Policy. It is not convenient to shopping but is not too far from Coral Canyon Elementary. However, the use proposed is the same as the use already allowed by the zone. The General Plan map designates this area as *“Mixed use: Neighborhood scaled development composed of a variety of uses including residential, commercial, and light industrial. Projects must include streetscape enhancements and community amenities. Site Plan approval is required.”* A preliminary site plan has been submitted with this zone change application to enable the Commission and Council to determine if this proposal fits within the intent of the General Plan designation. Community amenities shown include pickleball courts, a pool, grassy areas, and boat/rv parking.

**2. *Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?***

**Response:** This amendment is for property located in an area of the City that is currently a mixture of multi-family and industrial type uses. The amendment is on property already planned for multi-residential types. The proposed density is greater than originally planned and the higher buildings will impact the lower profile Knollwood buildings. Because this is a PDO, the preliminary site plan must be considered along with the proposed use. The Knollwood project has private drives, common areas, and smaller building footprints so the use could be considered harmonious. A letter from Knollwood property owners is included with this packet. The manager of Orgill has expressed concern with the development but was assured a wall will be required between this property and the Orgill property.

**3. *Will the proposed amendment affect adjacent property?***

**Response:** The proposed amendment will affect immediately adjacent property because it has the potential of changing vacant land to developed land. It will change traffic patterns and place 3 story dwellings behind single story dwellings. However, the effect of this amendment is not substantially greater than the effect of development on the same property under current zoning. Heights of up to 35' are permitted and the proposal is to meet that height limit.

**4. *Are public facilities and services adequate to serve the subject property?***

**Response:** The property is served by public utilities and services. Design will be required before site development. Adjacent roadways will accommodate the traffic, especially when UDOT has improved the SR-9 and I-15 interchange.

**Findings:** Staff makes the following findings:

1. The proposed amendment is compatible with the existing General Plan map and some policies but not the desire to avoid large aggregates (200 units) of multi-family development.
2. The proposed amendment is harmonious with the character of existing and future development in the vicinity
3. Public facilities and services are adequate to serve the property.
4. The proposed amendment will affect adjacent property because it anticipates developing currently vacant property with three story buildings.

**Recommendation:** Staff recommends the Planning Commission consider the need for housing

convenient to I-15 for commuters and students and the industrial jobs in the Gateway area and make a recommendation to the City Council.

#### **Preliminary site plan:**

This proposed site plan shows a layout for the multi-unit condominium buildings with 15-18 units in each building. The footprint is no larger than the conventional zoning layout with more common space than allowed by conventional zoning. This allows more units to share the common area expenses and provides more housing opportunities. However, because the common open space serves 200 units, staff strongly recommends the applicants design the detention areas to be usable open space. One of the goals of a PDO zone is that "*the development is intended to allow development design flexibility, integration of mutually compatible uses, consolidation of open spaces, clustering of dwelling units, and optimum land planning with greater efficiency, convenience and amenity than is possible under conventional zone regulations.*" The proposed change allows narrower units than possible under conventional zoning with a design that is well thought out for family occupancy.

A final site plan will have to meet the following code for required landscaping: **10-32-5: REQUIRED LANDSCAPING:***A. General Requirement: Landscaped areas may include trees, shrubs, vegetative, organic and inorganic ground cover and other organic and inorganic materials identified in an approved landscaping plan. All required landscape areas shall be occupied by plant material or ground cover.*

*F. Landscaping In A Multiple Residential Development: Open space and common areas within a multiple residential development shall include a minimum of one tree and two (2) shrubs per dwelling unit*

This plan shows all roads as public. The Land Use code was recently amended to allow townhouses to access directly on residential roads: *Parking for townhouses may be accessed from a public street with a functional classification of "residential local" via a private driveway. Parking for townhouses on streets with a higher functional classification must provide parking that is accessed from a parking lot aisle and not directly from the public street."*

Deciding whether or not to approve the preliminary site plan is based on the Commissioners recommendation on the zone change. A preliminary site plan does not vest the applicant in development rights but does allow the Commission to visualize how this property could be developed if the zone change is approved and limits the PDO zone uses and layout to that shown on the plan.



SCALE: 1" = 80'

**HORROCKS**  
ENGINEERS

555 South Bluff St., Suite 101  
St. George, UT 84770  
(435) 966-7888  
[www.horrocks.com](http://www.horrocks.com)

WARNING	
1	2
IF THIS BAR DOES NOT MEASURE 2" THEN DRAWING IS NOT TO SCALE	
*SEE GENERAL NOTES SHEET	
<b>PRELIMINARY</b> <b>NOT FOR CONSTRUCTION</b> <b>OPP-UT-0437</b>	
REVISIONS REV #  DATE DESIGNED  DRAWN DRAWN  DRAWN	
DRAWING INFO DATE 11/26/19 DESIGNED  DRAWN DRAWN  DRAWN	



VICINITY MAP

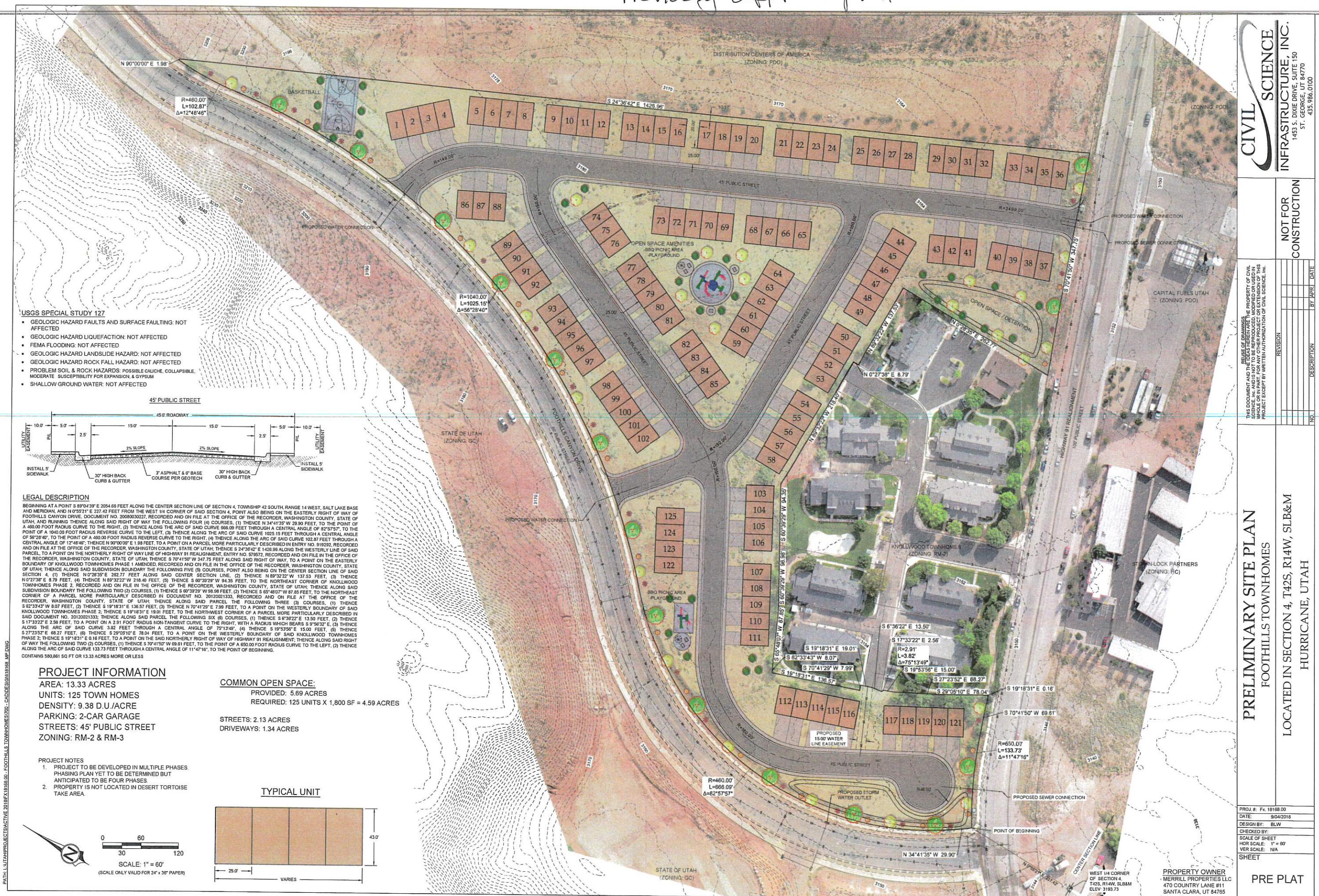
LAND USE SUMMARY	
PARCEL AREA:	13.34 ac.
TOTAL UNITS:	200 units
UNIT TYPE:	2 bd/1 bth, 900sf
DENSITY:	15.0 du/ac
BLDG. TYPE:	3-story condos
BLDG. HEIGHT:	35' max.
PARKING:	420 stalls
OPEN SPACE REQ'D:	3.38 ac. (25%)
OPEN SPACE DESIGN:	4.45 ac. (33%)
LANDSCAPE MISC.:	1.35 ac. (10%)

PHASING PLAN	
Per FHA/HUD requirements, each unit is funded and built as a stand alone phase. Therefore, the project will start with the amenity site (unit 1) and adjacent unit 4 as phase one. From that point, a minimum of one unit will be built starting on the south east corner (unit 2) and working in a counter clockwise direction. All of the utilities and mass grading will be completed in phase one with each unit being pad ready and all utilities stubbed ready for vertical construction.	

**HURRICANE HUD CONDOS**  
HURRICANE, UT  
PRELIMINARY SITE PLAN REVIEW  
SITE PLAN

**SP-1**

Previously approved plan





# PRELIMINARY PLAT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:  
File No. 8132896  
Receipt No. 204-PBP-15

Name: Short Term Investments, LLC Telephone: 435-668-6646

Address: 983 Paiute, Washington, UT 84780 Fax No. \_\_\_\_\_

Email: mstew4@gmail.com

Agent (If Applicable): Michael Stewart Telephone: 435-668-6646

Address/Location of Subject Property: 728 West, 100 North, Hurricane, UT 84737

Tax ID of Subject Property: H-3-1-34-4220-A Zone District: Split (R1-6 and RM-2)

Proposed Use: (Describe, use extra sheet if necessary. Include total number of lots) 26 Residential Units  
(6 Lots in the R1-6 Zone and 20 Town Home Units in the RM-2 Zone). Density=8.72 D.U./Ac.

**Submittal Requirements:** The preliminary plat application shall provide the following:

1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:

a. ✓ The proposed name of the subdivision.  
 b. ✓ The location of the subdivision, including the address and section, township and range.  
 c. ✓ The names and addresses of the owner or subdivider, if other than the owner.  
 d. ✓ Date of preparation, and north point.  
 e. ✓ Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.

2. Existing Conditions: The preliminary plat shall show:

a. ✓ The location of the nearest monument.  
 b. ✓ The boundary of the proposed subdivision and the acreage included.  
 c. <sup>NA</sup> All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatte parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)  
 d. ✓ The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.  
 e. <sup>NA</sup> The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.  
 f. <sup>canal & septic</sup> Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.

## STAFF COMMENTS

**Agenda:** December 12, 2019 **File Number:** 2019-PP-15

**Type of Application:** Preliminary Plat

**Applicant:** Short Term Investments, LLC

**Agent:** Mike Stewart

**Request:** Preliminary Plat for Magnolia Estates, a 3.2 acres subdivision with 6 single family lots and 20 townhome pads

**Location:** 728 West 100 North

**General Plan:** Multi-residential types

**Existing Zoning:** R-1-6, Single Family Residential 6,000 sq. ft. lots and RM-2, Multi-family residential up to 10 units per acre.

**Discussion:** This proposed subdivision is located on property where a zone change allowing a maximum of 27 units on the property with a portion of the property zoned R-1-6 and a portion RM-2. The proposed plat is designed to comply with the current zoning. It appears the acreage of this plat may including a portion of the City owned property to the east. Before submitting construction drawings the applicant and his engineer must meet with City Engineering to determine if the applicant will be purchasing property between the road and the subdivision.

This plan has only 20' front setbacks in the multi-family area. Unless the proposed Land Use code change being presented by the applicant is finalized, this plat does not meet current codes and must be tabled. Alternatively, the Commissioners could table it until Council has a chance to act on the proposed code change.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	R-1-10	Single family houses and vacant
West	M-1 & R-1-10	Industrial and vacant
South	R-1-6 & R-1-10	Single family houses and yards
East	R-1-10 & RM-2	Single and Multifamily houses

### JUC Comments:

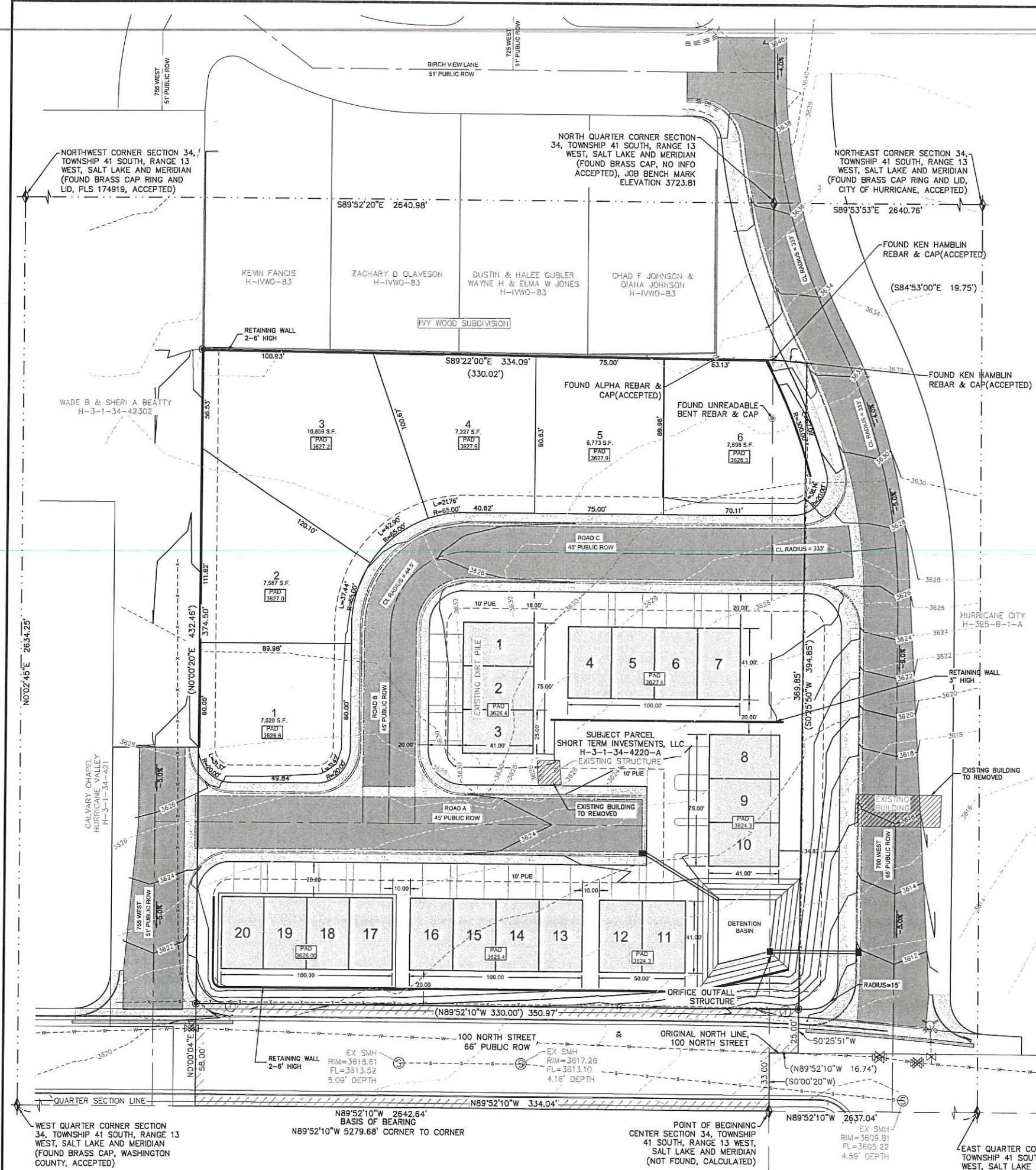
1. The tentative plan for storm water drainage shows a detention basin in the southeast corner of the project. Engineering is concerned the intersection of 100 North and 700 West may require construction of a round-about and property included in this structure may be needed. Consult with Engineering.
2. Sewer design will be required.
3. Improvements on 755 West will be required the full length of the road.

4. Secondary Water is available to the property and the system to serve individual properties must be included in the project improvements. Credit on fees will be given for the existing 2" secondary connection.
5. The 30" Hurricane Canal Company water line along the east of the property must be shown. Agreement and coordination with the Canal Company is required during construction drawing phase.
6. Water must loop between 100 North and 700 West.
7. Individual culinary water meters are required. Individual secondary connections are required on single family lots. Common areas may be served by a common secondary connection.

**Staff Comments:**

1. Lot sizes in the single family area meet or exceed the minimums required for the zoning. The multifamily units shown are only 25' wide. The current code requires unit widths of at least 30'.
2. A preliminary geotechnical review indicates this property is subject to adverse construction conditions including susceptibility to piping & erosion and shallow bedrock. A geotechnical report detailing the conditions on the site and making recommendations for construction must be submitted with construction drawings.
3. A final site plan must be submitted before final plat for the multifamily portion of this plat.
4. Will serve letters for culinary water and sewer were received.
5. A copy of CC&R's and HOA documents will be required with final plat application.
6. A portion of the property is included within Take Area 7 of the Red Cliffs Desert Reserve. Applicant must coordinate with the Reserve staff to arrange clearance or provide letter from Reserve stating clearance is completed.
7. Applicant must coordinate with the Postmaster to provide for mailbox siting.

**Recommendation:** Staff recommends the Planning Commission forward a recommendation of approval for the Preliminary Plat if they are comfortable with a plat that does not currently meet codes for front setbacks and unit widths and subject to a requirement that no construction drawings can be submitted until the code is changed and the plat is changed to meet width requirements. If not this application should be tabled.



## BOUNDARY DESCRIPTION

BEGINNING AT THE CENTER 1/4 CORNER MONUMENT, OF SECTION 34, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 89°52'10" WEST 330.00 FEET ALONG THE CENTER SECTION LINE; THENCE NORTH 00°0'0"20" EAST 432.46 FEET TO A POINT ON THE EXTENSION OF A WEST TO EAST FENCE LINE; THENCE SOUTH 89°22'00" EAST 330.02 FEET ALONG SAID FENCE AND ITS EXTENSION TO THE CENTER SECTION LINE OF SAID SECTION 34; THENCE SOUTH 84°53'00" EAST 19.75 FEET ALONG A FENCE TO FENCE CORNER; THENCE SOUTH 00°25'50" WEST 394.85 FEET ALONG A FENCE AND ITS EXTENSION TO THE NORTHERLY RIGHT OF WAY LINE OF 100 NORTH STREET, HURRICANE CITY, UTAH; THENCE NORTH 89°52'10" WEST 16.74 FEET ALONG SAID 100 NORTH STREET TO THE CENTER SECTION LINE; THENCE SOUTH 00°0'0"20" WEST 33.00 FEET ALONG THE CENTER SECTION LINE TO THE POINT OF BEGINNING.

LESS AND EXCEPTING (L&E) THE FOLLOWING:

BEGINNING AT THE CENTER 1/4 CORNER OF SECTION 34, TOWNSHIP 41 SOUTH, RANGE 13 WEST, SALT LAKE BASE AND MERIDIAN; THENCE NORTH 89°0'40" WEST, 330.00 FEET ALONG THE CENTER SECTION LINE, TO THE SOUTHWEST CORNER OF GRANTOR'S LAND AS RECORDED IN BOOK 1233, PAGE 553, WASHINGTON COUNTY OFFICIAL RECORDS; THENCE NORTH 00°51'51" EAST, 58.00 FEET ALONG THE WEST LINE OF SAID PARCEL, TO A POINT ON THE NORTH LINE OF 100 NORTH RECORDED #467102, WASHINGTON COUNTY OFFICIAL RECORDS; THENCE SOUTH 89°0'40" EAST, 346.93 FEET TO A POINT ON THE EAST LINE OF SAID PARCEL; THENCE SOUTH 01°17'21" WEST, 25.00 FEET ALONG THE EAST LINE OF SAID PARCEL; THENCE NORTH 89°0'1'03" WEST, 16.74 FEET ALONG SAID EAST LINE; THENCE SOUTH 00°52'29" WEST, 33.00 FEET TO THE POINT OF BEGINNING.

## LEGEND

- ◆ SECTIONAL MONUMENTATION (FOUND: TYPE, DATE, AGENCY AND LOCATION ETC. AS SHOWN ON THE PLAT).
- ◆ SPECIFIES SURVEY CONTROL MONUMENT TO BE SET (CLASS 1, RING & LID SET TO CITY STANDARD).
- ◆ SPECIFIES FOUND SURVEY CONTROL MONUMENT AS SHOWN AND NOTED (CLASS 1, RING & LID).
- ◆ SPECIFIES SURVEY CONTROL MONUMENT TO BE SET (CLASS II, REBAR & ALUM. CAP SET TO CITY STANDARD).
- ◆ SPECIFIES FOUND SURVEY CONTROL MONUMENT AS SHOWN AND NOTED. (CLASS II, REBAR & ALUM. CAP).
- ◆ SPECIFIES FRONT LOT PROPERTY CORNER OFFSET RIVET, OR NAIL & WASHER SET & OFFSET DISTANCE NOTED.
- ◆ ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH 5/8" REBAR AND CAP STAMPED BUSH & GUDGELL, UNLESS OTHERWISE SPECIFIED ON PLAT.
- ◆ ALL BOUNDARY AND PROPERTY (LOT) CORNERS TO BE SET WITH 5/8" REBAR AND CAP STAMPED BUSH & GUDGELL, UNLESS OTHERWISE SPECIFIED ON PLAT.
- ◆ 10' PUBLIC UTILITY EASEMENT (PUE)



VICINITY MAP

NOT TO SCALE

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