



ALPINE CITY COUNCIL MEETING AGENDA

NOTICE is hereby given that the **CITY COUNCIL** of Alpine City, Utah will hold a Public Meeting on **Tuesday, November 19, 2019 6:00 pm** at Alpine City Hall, 20 North Main, Alpine, Utah as follows:

- I. **6:00 PM. CALL MEETING TO ORDER *Council Members may participate electronically by phone.**
- II. **EXECUTIVE SESSION: Discuss litigation, property acquisition, or the professional character, conduct or competency of personnel.**
- III. **7:00 PM. RETURN TO OPEN MEETING**
 - A. **Roll Call** Mayor Troy Stout
 - B. **Prayer:** Kimberly Bryant
 - C. **Pledge of Allegiance:** By invitation
- IV. **CONSENT CALENDAR**
 - A. **Approve City Council Minutes of October 22, 2019**
 - B. **Bond Release #2, Final – North Point Subdivision, Plat D: \$19,717.17**
 - C. **Bond Release #3, Final – Conrad’s Landing, Plat C: \$17,755.08**
 - D. **Alpine Pressurized Irrigation Meter Project, Phase I, SCI - Final Payment: \$10,157.75**
 - E. **Alpine Pressurized Irrigation Meter Project, Phase II – Payments 3, 4 & 5: \$21,178.75**
 - F. **Alpine Pressurized Irrigation Meter Project, Phase III, BMEI – Final Payment: \$13,257.26**
 - G. **Healey Park Parking Lot, Partial Payment #1 – Sterling Don Excavation: \$73,843.34**
- V. **PUBLIC COMMENT**
- VI. **REPORTS AND PRESENTATIONS**
 - A. **Financial Report**
- VII. **ACTION/DISCUSSION ITEMS**
 - A. **Anson Farmstead Subdivision, PRD Status.** The City Council will consider approving PRD status to the proposed subdivision located at
 - B. **Canvass the 2019 Municipal Election.** The City Council will review and accept the official results of the 2019 Municipal Election.
 - C. **Adopt Annual Meeting Schedule for 2020.** Review and approve 2020 meeting schedule.
 - D. **Ordinance No. 2019-20, Fences on Retaining Walls:** The Council will consider adopting an amendment to the ordinance pertaining to restrictions on fences on retaining walls.
 - E. **Ordinance No. 2019-23, Standard Specifications and Details**
 - F. **Verizon Cell Tower:** The City Council will consider various locations for the proposed tower.
 - G. **Moyle Drive Road Design to Eliminate Hump:** The Council will consider approving the design.
 - H. **CUP Project Update:** Shane Sorensen will provide on update on the CUP Project.
- VI. **STAFF REPORTS**
- VII. **COUNCIL COMMUNICATION**
- VIII. **EXECUTIVE SESSION: Discuss litigation, property acquisition, or the professional character, conduct or competency of personnel.**

ADJOURN

Mayor Troy Stout
November 15, 2019

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL CITY COUNCIL MEETINGS. If you need a special accommodation to participate, please call the City Recorder’s Office at (801) 756-6347 x 4.
CERTIFICATE OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was on the bulletin board located inside City Hall at 20 North Main and sent by e-mail to The Daily Herald located in Provo, UT, a local newspaper circulated in Alpine, UT. This agenda is also available on our web site at www.alpinecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html

PUBLIC MEETING AND PUBLIC HEARING ETIQUETTE

Please remember all public meetings and public hearings are now recorded.

- All comments **must** be recognized by the Chairperson and addressed through the microphone.
- When speaking to the Planning Commission/City Council, please stand, speak slowly and clearly into the microphone, and state your name and address for the recorded record.
- Be respectful to others and refrain from disruptions during the meeting. Please refrain from conversation with others in the audience as the microphones are very sensitive and can pick up whispers in the back of the room.
- Keep comments constructive and not disruptive.
- Avoid verbal approval or dissatisfaction of the ongoing discussion (i.e., booing or applauding).
- Exhibits (photos, petitions, etc.) given to the City become the property of the City.
- Please silence all cellular phones, beepers, pagers or other noise making devices.
- Be considerate of others who wish to speak by limiting your comments to a reasonable length, and avoiding repetition of what has already been said. Individuals may be limited to two minutes and group representatives may be limited to five minutes.
- Refrain from congregating near the doors or in the lobby area outside the council room to talk as it can be very noisy and disruptive. If you must carry on conversation in this area, please be as quiet as possible. (The doors must remain open during a public meeting/hearing.)

Public Hearing vs. Public Meeting

If the meeting is a **public hearing**, the public may participate during that time and may present opinions and evidence for the issue for which the hearing is being held. In a public hearing there may be some restrictions on participation such as time limits.

Anyone can observe a **public meeting**, but there is no right to speak or be heard there - the public participates in presenting opinions and evidence at the pleasure of the body conducting the meeting.

ALPINE CITY COUNCIL MEETING
Alpine City Hall, 20 N. Main, Alpine, UT
October 22, 2019

I. CALL MEETING TO ORDER: The meeting was called to order at 7:00 pm by Mayor Troy Stout. He announced they would be holding an executive session at end of the meeting to update the Council on the current lawsuit. Also, they would be postponing item G on the Verizon Cell Tower.

A. Roll Call: The following were present and constituted a quorum:

Mayor Troy Stout

Council Members: Ramon Beck, Kimberly Bryant, Lon Lott

Staff: Shane Sorensen, Charmayne Warnock, David Church, Austin Roy

Others: Megan Allphin, Will Jones, Taylor Fonua, Breezy Anson, Robin Towle, Kevin Towle

B. Prayer: Lon Lott

C. Pledge of Allegiance: Ramon Beck

II. CONSENT CALENDAR

A. Approve City Council minutes of October 8, 2019

MOTION: Lon Lott moved to approve the Consent Calendar as clarified. Kimberly Bryant seconded. Ayes: 3
 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	none
Kimberly Bryant	
Lon Lott	

III. PUBLIC COMMENT: There were no public comments.

IV. REPORT AND PRESENTATIONS

A. Financial Report

Shane Sorensen said the Alpine City finances were in good shape. They were continuing to work on installing the playground in Burgess Park and the new parking lot in Healey and the new restrooms in both Healey Park and Smooth Canyon Park. Mayor Stout asked it was possible to dim the lights on the restroom in Smooth Canyon Park because they were very bright. Shane Sorensen said he would look into it.

B. Recognition of Fire Prevention Week Poster Contest Winners

Shane Sorensen said there must have been a miscommunication because Chief Thompson had asked him to put this item on the agenda, but he was not present.

C. Robin Towle, Mrs. International – Wolfpack Program for Suicide Prevention

Mayor Stout introduced Robin Towle who was the winner of the Mrs. International Pageant. She had won the Mrs. Utah Pageant and the Mrs. America Pageant. The sponsors of the international pageant had contacted her to participate because they'd heard about her work on suicide prevention. She said she was grateful to be involved because it gave her an opportunity to spread her platform to many other places. She had introduced her program in Europe the previous week and would be speaking Japan next month, which had one of the highest suicide rates in the world. She said Utah had one of the highest suicide rates in the nation and the trajectory was climbing even higher. She worked not only with youth but with Veterans who came back with PTSD.

1 Her work on suicide prevention involved increasing emotional intelligence and learning how to better deal with
 2 emotional upsets. She had been instrumental in promoting SAFEUT which was an app that someone could
 3 download and talk to a licensed clinician 24-7. It was free and confidential. If someone was in crisis, they would
 4 send out a person.

5
 6 She said she had become involved with suicide prevention because of the suicides at Lone Peak High School and a
 7 personal experience with her son, which took her on a journey to learn how to help people who were struggling with
 8 thoughts of suicide. She said the Wolfpack was a pact that the kids signed if they thought they might self-harm. It
 9 was based on the Native American story where a young man tells his grandfather that he has two wolves fighting
 10 inside him, a good one and a bad one, and asks his grandfather which one will win. The grandfather tells him, "The
 11 one you feed." Using this story as a touchstone, she formed the Wolfpack using evidence-based principals that
 12 enable people to better deal with the anxiety and depression that plague so many and is getting worse. She said that
 13 if someone tended to live in the future, they were prone to anxiety. If they lived in the past, they were prone to
 14 depression. Her program worked to teach the youth and Veterans to live in the present and ground themselves by
 15 using their senses.

16 She said she had been talking with Mayor Stout about implementing a Wolfpack in the local community. The group
 17 would meet twice a month.

20 V. ACTION/DISCUSSION ITEMS

22 A. Moderate Income Housing

23 Austin Roy said the Planning Commission had reviewed the proposed Moderate Income Housing Element of the
 24 General Plan and made a motion recommending inclusion of the following items.

- 27 1.1 Allow accessory apartments within owner-occupied dwelling throughout the City.
- 28 1.2 Allow senior housing units to be built in more dense clusters to reduce the costs of living.
- 29 1.3 Preserve existing moderate income housing.
- 30 1.4 Provide a mortgage assistance program for employees of the municipality or of an employer that
 31 provides contracted services to the municipality.

32
 33 Lon Lott asked they needed to identify a fund source and amount for the mortgage assistance program. Austin Roy
 34 said those details would be worked out when the City adopted ordinances to implement the Moderate Income
 35 Housing Plan.

36
 37 David Church said this would be part of the General Plan. In order to implement the plan, the Council would need to
 38 would adopt ordinances next year to make it work. But all they needed right now was to include it as an Element of
 39 the General Plan. The Council would determine a funding source and budget amounts at a later date. They would
 40 need to report on the success of the plan at the end of 2020.

41
 42 **MOTION:** Ramon Beck moved to adopt the Moderate Income Housing of the Alpine City General Plan as
 43 proposed. Lon Lott seconded. Ayes: 3 Nays: 0. Motion passed.

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	None
Kimberly Bryant	
Lon Lott	

50 B. Ordinance No. 2019-20 Amending Article 3.21.060, Fences on Retaining Walls

51
 52 Austin Roy said the Akina family at 460 Ridge Lane wanted to build a privacy fence on top of the retaining wall at
 53 the back of their property, but the current ordinance prohibited solid fences on top of retaining walls; the ordinance
 54 did not have a provision for an exception. He said the Akina's did not feel it was fair that they could not have
 55 privacy fence like other people. He explained their backyard had a significant slope which exposed it to traffic on

1 the road. The neighbors had privacy fences on their retaining walls which were built before the ordinance was
 2 changed to prohibit privacy fences on top of retaining walls.

3
 4 Mayor Stout pointed out that they could put up the fence if it was set four feet back from the retaining wall.

5
 6 Austin Roy said the Akina's didn't want to give up four feet of their backyard. He said the change in the ordinance
 7 originated for two purposes. First was safety. They didn't want someone jumping off the wall. Second, it was for
 8 aesthetics to prevent a 17-foot high sheer wall.

9
 10 Kimberly Bryant and Mayor Stout recalled the rational for making the changing the ordinance and hesitated to
 11 amend it.

12
 13 Austin Roy said that as the city had grown, most new development had moved to the hillsides where more and more
 14 properties required retaining walls.

15
 16 Mayor Stout said he would rather have a provision for an exception than changing the whole ordinance.

17
 18 Will Jones pointed out that there was a privacy fence on a retaining wall on a lot in North Point which bordered a
 19 trail. Because of the slope, the only thing the trail users saw was the fence, but from the yard, the homeowners saw
 20 the height of the retaining wall and the height of the fence. It provided privacy for the homeowners.

21
 22 The Council discussed allowing privacy fences on retaining walls where it bordered open space or was between the
 23 properties of consenting neighbors.

24
 25 **MOTION:** Ramon Beck moved to not change the ordinance and referenced the proliferating problem they'd seen
 26 in Willow Canyon when the Council had granted exceptions to the height of homes. Kimberly Bryant seconded.

27
 28 Lon Lott suggested amending the motion to allow possible exceptions for lots bordering open space or trails where
 29 there was a significant difference in elevation between the lot and the open space/trail.

30
 31 There was more discussion about the possibility of allowing privacy fences on retaining walls between consenting
 32 property owners.

33
 34 No vote was taken on Ramon Beck's motion and a substitute motion was made.

35
 36 **MOTION:** Lon Lott moved to deny the proposed amendment to Article 3.21.060 of the Development Code and ask
 37 the Planning Commission to modify the ordinance with clear verbiage that would allow privacy fences on retaining
 38 walls between property owners where both owners agreed to the fence and between private property and public open
 39 space/trails where there was a significant difference in elevation between properties. Ramon Beck seconded. Ayes: 3
 40 Nays: 0. Motion passed.

41
 42 Ayes Nays
 43 Ramon Beck None
 44 Kimberly Bryant
 45 Lon Lott
 46

47 David Church said that the current ordinance allowed an open style fence on a retaining wall. There had to be 50%
 48 visibility. Someone could build a fence on a retaining wall where the lower portion was solid and the upper portion
 49 was open style fencing. That could be done without writing an ordinance that was constantly inviting exceptions.

50
 51 **C. Ordinance No. 2019-21 Amending Article 3.09.040, PRD Slope Requirements**
 52

53 Austin Roy said the proposed amendment would allow for more flexibility when including slope into a lot or a
 54 development. It would allow for lots with a more regular shape. He said the lots would still have to meet the
 55 requirement for a buildable area, but it would allow the lot lines to be straightened out to make a more sensible lot.
 56 He used an example from the Marsh and Whitby properties to illustrate how that would work.

1
2 **MOTION:** Ramon Beck moved to approve Ordinance No. 2019-21 amending Article 3.09.040, PRD Slope
3 Requirements, in the Alpine City Development Code as proposed. Kimberly Bryant seconded. Ayes: 3 Nays: -0.
4 Motion passed.

5
6

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	None
Kimberly Bryant	
Lon Lott	

7
8
9
10 **D. Lambert Park Trail Proposal**

11
12
13 Austin Roy said the trail committee was proposing a new trail in Lambert Park which would be dedicated for the
14 sole use of pedestrian traffic. There were complaints from residents about near-misses with bikers and horses which
15 prompted the trail committee to investigate the possibility of a trail for pedestrian use only. They were also
16 proposing a mountain bike trail which would only be used by bicyclists.

17
18 Breezy Anson said the pedestrian trail would be about 1.5 miles and identified where it would be on the map. He
19 said they planned to begin working on the trail the next day by removing some tall sagebrush.

20
21 Troy Stout clarified that building the new pedestrian only trail would not mean that foot traffic was excluded on
22 other trails. However, there would be a biking trail with one section designated for uphill traffic only and a section
23 for downhill traffic only. He asked about the Lambert Park Foundation for donations.

24
25 Shane Sorensen said the City had money earmarked specifically for trails, but he didn't recall that they actually
26 created a foundation.

27
28 David Church said the City had not created a foundation for trail donations. He said that people who donated already
29 got a tax break for donating to a city. He said other entities such as schools created foundations because there were
30 places that had rules that precluded them from donating to a governmental entity.

31
32 Breezy Anson said there would need to be signage at the intersections between the pedestrian trail and other trails to
33 keep bikers off the pedestrian trail.

34
35 **MOTION:** Lon Lott moved to approve the new pedestrian trail in Lambert Park as proposed. Ramon Beck
36 seconded. Ayes: 3 Nays: 0. Motion passed.

37
38

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	None
Kimberly Bryant	
Lon Lott	

39
40
41
42 **E. Sale of Circus Tent**

43
44
45 Shane Sorensen said that several years ago a council member had found a tent for sale and the City purchased it to
46 use for Alpine Days. There were problems with the tent when the winds came up and it had not been used for
47 several years. It was proposed that they sell the tent since it was just taking up space in the City Shops.

48
49 **MOTION:** Kimberly Bryant moved to sell the tent. Ramon Beck seconded. Ayes: 3 Nays: 0. Motion passed.

50
51

<u>Ayes</u>	<u>Nays</u>
Ramon Beck	None
Kimberly Bryant	
Lon Lott	

1 **F. Meeting Schedule for November**

2
3 Shane Sorensen said that because of the Election on November 5th, the Planning Commission meeting would need to
4 be postponed to later in the month. The City Council was scheduled to meet on November 12th and needed to
5 canvass the election, but since absentee ballots might still be coming in, it was proposed that the City Council
6 meeting be scheduled on November 19th. The Planning Commission could then meet on November 12th.

7
8 **MOTION:** Lon Lott moved to switch the City Council meeting from the 12th of November to the 19th of November
9 and move the Planning Commission from the 19th of November to the 12th of November. Kimberly Bryant seconded
10 Ayes: 3 Nays: 0. Motion passed.

11
12 Ayes Nays
13 Ramon Beck None
14 Kimberly Bryant
15 Lon Lott

16
17 **VI. STAFF REPORTS**

18
19 Austin Roy

- 20
21 • Mr. Roy said he had received a request that the City Council consider putting a “No Left Turn” sign on
22 Main Street north of the charter school. Shane Sorensen said the City had already provided a sign to the
23 school. It would only be there twice a day while the crossing guard was there.
24 • He had received an email from someone who was concerned about e-bikes in Lambert Park and wondered
25 if they needed signage. David Church said that in some cities and on forest land, e-bikes were considered a
26 bike if they had peddle assist and because the motor was smaller. Mayor Stout suggested they make the
27 topic of e-bikes a future agenda item.
28

29 **VII. COUNCIL COMMUNICATION**

30
31 None

32
33 **VIII. EXECUTIVE SESSION**

34
35 **MOTION:** Kimberly Bryant moved to go into Executive Session to discuss litigation. Lon Lott seconded. Ayes: 3
36 Nays: 0. Motion passed.

37
38 Ayes Nays
39 Ramon Beck None
40 Kimberly Bryant
41 Lon Lott

42
43 The Council went into closed session at 8:50 pm.

44
45 The Council returned to open meeting at 9:30 pm.

46
47 **MOTION:** Lon Lott moved to adjourn. Ramon Beck seconded. Ayes: 3 Nays: 0. Motion passed.

48
49 Ayes Nays
50 Ramon Beck None
51 Kimberly Bryant
52 Lon Lott

53
54 The meeting was adjourned at 9:30 pm

ALPINE CITY
ESCROW BOND RELEASE FORM
Final Bond Release

BOND HOLDER

Thru Period Ending: October 31, 2019

North Point View Plat D

Location: 1150 N East View Lane

Description	Quantity	Units	Unit Price	Total Cost	% Completed This Period**	% Completed To Date**	Total This Period
SWPPP							
Silt Fence	870	LF @	\$3.00	\$2,610.00	5.0%	100.0%	\$ 130.50
Concrete Washout	1	LS @	\$900.00	\$900.00	5.0%	100.0%	\$ 45.00
Curb Inlet Protection	2	EACH @	\$500.00	\$1,000.00	5.0%	100.0%	\$ 50.00
Toilet	1	LS @	\$700.00	\$700.00	5.0%	100.0%	\$ 35.00
Re-seeding disturbed areas	1	LS @	\$1,000.00	\$1,000.00	100.0%	100.0%	\$ 1,000.00
DIRT WORK							
Clear and Grub	23,400	SF @	\$0.14	\$3,276.00	5.0%	100.0%	\$ 163.80
Cut	1,600	CY @	\$5.00	\$8,000.00	5.0%	100.0%	\$ 400.00
Fill	1,000	CY @	\$5.00	\$5,000.00	5.0%	100.0%	\$ 250.00
Cleanup	1	LS @	\$4,500.00	\$4,500.00	5.0%	100.0%	\$ 225.00
GPS Model	1	LS @	\$1,000.00	\$1,000.00	5.0%	100.0%	\$ 50.00
SEWER							
8" PVC Sewer Main	300	LF @	\$28.00	\$8,400.00	5.0%	100.0%	\$ 420.00
Tie In to Existing	1	EACH @	\$200.00	\$200.00	5.0%	100.0%	\$ 10.00
48" Dia. Manhole	3	EACH @	\$3,100.00	\$9,300.00	5.0%	100.0%	\$ 465.00
4" Sewer Lateral	7	EACH @	\$1,200.00	\$8,400.00	5.0%	100.0%	\$ 420.00
Bedding Material	560	TONS @	\$14.00	\$7,840.00	5.0%	100.0%	\$ 392.00
Clean & Video	300	LS @	\$3.50	\$1,050.00	5.0%	100.0%	\$ 52.50
Testing	3	LS @	\$350.00	\$1,050.00	5.0%	100.0%	\$ 52.50
CULINARY WATER							
10" C900 Main	315	LF @	\$33.37	\$10,511.55	5.0%	100.0%	\$ 525.58
10" MJ Bends	3	EACH @	\$388.00	\$1,164.00	5.0%	100.0%	\$ 58.20
10"x6" Reducer	1	EACH @	\$252.00	\$252.00	5.0%	100.0%	\$ 12.60
Connect to Existing	1	EACH @	\$300.00	\$300.00	5.0%	100.0%	\$ 15.00
6' Fire Hydrant	1	EACH @	\$3,250.00	\$3,250.00	5.0%	100.0%	\$ 162.50
Vavle Box	1	EACH @	\$90.00	\$90.00	5.0%	100.0%	\$ 4.50
6" MjxFig Gate Valve	1	EACH @	\$857.80	\$857.80	5.0%	100.0%	\$ 42.89
10" Mega Lugs	8	EACH @	\$130.00	\$1,040.00	5.0%	100.0%	\$ 52.00
6" Mega Lugs	2	EACH @	\$62.00	\$124.00	5.0%	100.0%	\$ 6.20
6" Fig Pack	1	EACH @	\$23.00	\$23.00	5.0%	100.0%	\$ 1.15
1" Water Services	7	EACH @	\$1,653.50	\$11,574.50	5.0%	100.0%	\$ 578.73
Locate Wire	650	LF @	\$0.50	\$325.00	5.0%	100.0%	\$ 16.25
Bedding Material	410	TONS @	\$14.00	\$5,740.00	5.0%	100.0%	\$ 287.00
Thrust Blocks	4	EACH @	\$200.00	\$800.00	5.0%	100.0%	\$ 40.00
PRESSURIZED IRRIGATION SYSTEM							
4" C900 Pipe	280	LF @	\$16.76	\$4,692.80	5.0%	100.0%	\$ 234.64
4x2" Blow Off	1	EACH @	\$860.00	\$860.00	5.0%	100.0%	\$ 43.00
1" PI Service	7	EACH @	\$1,000.00	\$7,000.00	5.0%	100.0%	\$ 350.00
Locate Wire	580	LF @	\$0.50	\$290.00	5.0%	100.0%	\$ 14.50
Connect to Existing	1	LS @	\$300.00	\$300.00	5.0%	100.0%	\$ 15.00
Bedding Material	175	TONS @	\$14.00	\$2,450.00	5.0%	100.0%	\$ 122.50
Thrust Blocks	1	EACH @	\$200.00	\$200.00	5.0%	100.0%	\$ 10.00
Testing	1	LS @	\$1,500.00	\$1,500.00	5.0%	100.0%	\$ 75.00
4" Mega Lug	1	EACH @	\$70.00	\$70.00	5.0%	100.0%	\$ 3.50
IRRIGATION							
30" RCP	568	LF @	\$63.37	\$35,994.16	5.0%	100.0%	\$ 1,799.71
60" Dia. Manhole	4	EACH @	\$2,940.00	\$11,760.00	5.0%	100.0%	\$ 588.00
Bedding Material	375	TONS @	\$14.00	\$5,250.00	5.0%	100.0%	\$ 262.50
1 Specialized Box	1	LS @	\$3,815.00	\$3,815.00	5.0%	100.0%	\$ 190.75
Connect to Existing	1	LS @	\$750.00	\$750.00	5.0%	100.0%	\$ 37.50
CONCRETE							
2' Curb and Gutter	710	LF @	\$18.00	\$12,780.00	5.0%	100.0%	\$ 639.00
Sidewalk	2,910	SF @	\$4.70	\$13,677.00	5.0%	100.0%	\$ 683.85
Mob	1	LS @	\$700.00	\$700.00	5.0%	100.0%	\$ 35.00
Curb Tie-ins	2	EACH @	\$300.00	\$600.00	5.0%	100.0%	\$ 30.00
ASPHALT							
3" Asphalt & 8" Base	13,600	SF @	\$2.40	\$32,640.00	5.0%	100.0%	\$ 1,632.00
10" Subbase	16,585	SF @	\$0.90	\$14,926.50	5.0%	100.0%	\$ 746.33
Saw Cut	30	LF @	\$2.00	\$60.00	5.0%	100.0%	\$ 3.00
Manhole Collars	5	EACH @	\$650.00	\$3,250.00	5.0%	100.0%	\$ 162.50
Water Valve Collars	1	EACH @	\$400.00	\$400.00	5.0%	100.0%	\$ 20.00
OTHER							
Abandon Well	1	LS @	\$9,600.00	\$9,600.00	5.0%	100.0%	\$ 480.00
Street Lights	2	EACH @	\$2,700.00	\$5,400.00	100.0%	100.0%	\$ 5,400.00
Compaction & Asphalt Testing	1	LS @	\$3,500.00	\$3,500.00	5.0%	100.0%	\$ 175.00

BASE BID TOTAL	\$	272,743.31	Previously Released: \$	253,026.14
10% Warranty Amount	\$	27,274.33		
TOTAL BOND AMOUNT	\$	300,017.64	This Release: \$	19,717.17
<i>Total Released to Date</i>	\$	272,743.31		
TOTAL BOND REMAINING	\$	27,274.34		

At the discretion of the city, up to 95% of the Base Bid Total may be released as partial payments and 100% of the Base Bid Total will be released at final inspection. The 10% Warranty Amount will be held for the one year warranty period.

Marcus Watkins
Developer

Date

Troy Stout
Mayor

Date



Jed Muhlestein, P.E.
City Engineer

11/6/2019
Date

City Council
(by Charmayne Warnock - City Recorder)

Date

ALPINE CITY
ESCROW BOND RELEASE FORM
Bond Release 3 - FINAL

BOND HOLDER

Thru Period Ending: Oct. 23, 2019

Conrads Landing Plat C

Location: 800 S Blue Moon Lane

Description	Quantity	Units	Unit Price	Total Cost	% Completed This Period**	% Completed To Date**	Total This Period
SWPPP							
Toilet	1	LS @	\$800.00	\$800.07	5.0%	100.0%	\$ 40.08
Trackout Pad	1	LS @	\$3,500.00	\$3,500.00	5.0%	100.0%	\$ 175.00
Concrete Washout	1	LS @	\$500.00	\$500.00	5.0%	100.0%	\$ 25.00
Silt Fence	240	LF @	\$3.00	\$720.00	5.0%	100.0%	\$ 36.00
Curb Inlet Protection	2	EACH @	\$300.00	\$600.00	5.0%	100.0%	\$ 30.00
DIRT WORK							
Clear and Grub	40,960	SF @	\$0.18	\$7,372.80	5.0%	100.0%	\$ 368.64
Import Fill to raise road	2,080	TONS @	\$12.00	\$24,960.00	5.0%	100.0%	\$ 1,248.00
Fill Roadway	2,200	CY @	\$4.50	\$9,900.00	5.0%	100.0%	\$ 495.00
Cleanup	1	LS @	\$5,000.00	\$5,000.00	50.0%	100.0%	\$ 2,500.00
GPS Model	1	LS @	\$1,000.00	\$1,000.00	5.0%	100.0%	\$ 50.00
SEWER							
8" PVC Sewer Main Deep	223	LF @	\$36.00	\$8,028.00	5.0%	100.0%	\$ 401.40
8" PVC Sewer Main	314	LF @	\$28.00	\$8,792.00	5.0%	100.0%	\$ 439.60
4" Sewer Lateral	6	EACH @	\$1,100.00	\$6,600.00	5.0%	100.0%	\$ 330.00
48" Dia. Manhole	3	EACH @	\$3,100.00	\$9,300.00	5.0%	100.0%	\$ 465.00
Bedding Material	510	TONS @	\$16.00	\$8,160.00	5.0%	100.0%	\$ 408.00
Testing	3	LS @	\$300.00	\$900.00	5.0%	100.0%	\$ 45.00
Clean & Video	537	LS @	\$3.50	\$1,879.50	5.0%	100.0%	\$ 93.98
Tie In to Existing	1	EACH @	\$6,250.00	\$6,250.00	5.0%	100.0%	\$ 312.50
CULINARY WATER							
8" C900 Main	420	LF @	\$25.74	\$10,810.80	5.0%	100.0%	\$ 540.54
8" MJ Bends	2	EACH @	\$329.40	\$658.80	5.0%	100.0%	\$ 32.94
6" Fire Hydrant	1	EACH @	\$4,481.00	\$4,481.00	5.0%	100.0%	\$ 224.05
1" Water Services	6	EACH @	\$1,582.26	\$9,493.56	5.0%	100.0%	\$ 474.68
Thrust Blocks	3	EACH @	\$200.00	\$600.00	5.0%	100.0%	\$ 30.00
Locate Wire	720	LF @	\$0.50	\$360.00	5.0%	100.0%	\$ 18.00
Bedding Material	320	TONS @	\$16.00	\$5,120.00	5.0%	100.0%	\$ 256.00
Connect to Existing	1	EACH @	\$600.00	\$600.00	5.0%	100.0%	\$ 30.00
8"x6" Reducer	1	EACH @	\$394.95	\$394.95	5.0%	100.0%	\$ 19.75
6" C900 Pipe	20	LF @	\$20.00	\$400.00	5.0%	100.0%	\$ 20.00
8" Mega Lugs	8	EACH @	\$76.70	\$613.60	5.0%	100.0%	\$ 30.68
6" Mega Lugs	4	EACH @	\$60.00	\$240.00	5.0%	100.0%	\$ 12.00
8" Gate Valve	1	EACH @	\$1,400.00	\$1,400.00	5.0%	100.0%	\$ 70.00
Testing	1	LS @	\$1,500.00	\$1,500.00	5.0%	100.0%	\$ 75.00
PRESSURIZED IRRIGATION SYSTEM							
6" C900 Pipe	420	LF @	\$20.59	\$8,647.80	5.0%	100.0%	\$ 432.39
6" MJ Bend	2	EACH @	\$273.05	\$546.10	5.0%	100.0%	\$ 27.31
1" PI Service	6	EACH @	\$900.00	\$5,400.00	5.0%	100.0%	\$ 270.00
Thrust Blocks	3	EACH @	\$200.00	\$600.00	5.0%	100.0%	\$ 30.00
6x2" Blow Off	1	EACH @	\$800.00	\$800.00	5.0%	100.0%	\$ 40.00
Bedding Material	280	TONS @	\$16.00	\$4,480.00	5.0%	100.0%	\$ 224.00
Locate Wire	650	LF @	\$1.00	\$650.00	5.0%	100.0%	\$ 32.50
Testing	1	LS @	\$1,500.00	\$1,500.00	5.0%	100.0%	\$ 75.00
6" MJ Gate Valve	1	LS @	\$960.00	\$960.00	5.0%	100.0%	\$ 48.00
2" PI Drain	1	LS @	\$2,000.00	\$2,000.00	5.0%	100.0%	\$ 100.00
Connect to Existing	1	LS @	\$400.00	\$400.00	5.0%	100.0%	\$ 20.00
STORM DRAIN							
Double Curb Inlet (2x6x4)	1	EACH @	\$4,500.00	\$4,500.00	5.0%	100.0%	\$ 225.00
Double Curb Inlet (3x6x6)	1	EACH @	\$6,750.00	\$6,750.00	5.0%	100.0%	\$ 337.50
Snout	1	EACH @	\$800.00	\$800.00	5.0%	100.0%	\$ 40.00
15" ADS	240	LF @	\$25.40	\$6,096.00	5.0%	100.0%	\$ 304.80
Sumps 60"	1	EACH @	\$6,500.00	\$6,500.00	5.0%	100.0%	\$ 325.00
Bedding Material	100	TONS @	\$16.00	\$1,600.00	5.0%	100.0%	\$ 80.00
Pipe Collars	4	EACH @	\$100.00	\$400.00	5.0%	100.0%	\$ 20.00
Detention Basin	1	LS @	\$10,750.00	\$10,750.00	5.0%	100.0%	\$ 537.50
CONCRETE							
2' Curb and Gutter	920	LF @	\$17.00	\$15,640.00	5.0%	100.0%	\$ 782.00
Sidewalk	4,600	SF @	\$4.50	\$20,700.00	5.0%	100.0%	\$ 1,035.00
Sidewalk on Sunset Drive	740	SF @	\$4.25	\$3,145.00	5.0%	100.0%	\$ 157.25
ASPHALT							
3" Asphalt & 8" Base	16,000	SF @	\$2.20	\$35,200.00	5.0%	100.0%	\$ 1,760.00
10" Subbase	20,000	SF @	\$0.90	\$18,000.00	5.0%	100.0%	\$ 900.00
Manhole Collars	3	EACH @	\$650.00	\$1,950.00	5.0%	100.0%	\$ 97.50
Water Valve Collars	1	EACH @	\$450.00	\$450.00	5.0%	100.0%	\$ 22.50
OTHER							
Street Lights	1	EACH @	\$2,700.00	\$2,700.00	5.0%	100.0%	\$ 135.00
Mail Box and Pad	1	EACH @	\$2,500.00	\$2,500.00	5.0%	100.0%	\$ 125.00
Traffic Control	1	LS @	\$2,000.00	\$2,000.00	5.0%	100.0%	\$ 100.00
Compaction & Asphalt Testing	1	LS @	\$3,500.00	\$3,500.00	5.0%	100.0%	\$ 175.00

BASE BID TOTAL	\$	310,099.98	Previously Released:	\$	292,344.91
10% Warranty Amount	\$	31,010.00			
TOTAL BOND AMOUNT	\$	341,109.98	This Release:	\$	17,755.08

Total Released to Date
TOTAL BOND REMAINING

\$ 310,099.99
\$ 31,009.99

At the discretion of the city, up to 95% of the Base Bid Total may be released as partial payments and 100% of the Base Bid Total will be released at final inspection. The 10% Warranty Amount will be held for the one year warranty period.

Steve McArthur
Developer

Date

Troy Stout
Mayor

Date



Jed Muhlestein, P.E.
City Engineer

10/23/2019

Date

City Council
(by Charmayne Warnock - City Recorder)

Date

**PARTIAL PAYMENT ESTIMATE
NO. 4**

Name of Contractor: <i>Craig F. Sorensen Construction</i>		
Name of Owner: <i>Alpine City</i>		
Date of Completion:	Amount of Contract:	Dates of Estimate:
Original: 15-Oct-18	Original: \$230,745.00	From: 1-Nov-18
Revised:	Revised: \$230,745.00	To: 30-Nov-18

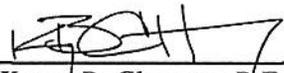
Description of Job: <i>Pressurized Irrigation Meters Installation Phase I</i>		
Amount	This Period	Total To Date
Amount Earned	\$0.00	\$203,155.00
Retainage Being Held	\$0.00	\$0.00
Retainage Being Released	\$0.00	\$10,157.75
Previous Payments		\$192,997.25
Amount Due	\$0.00	\$10,157.75

Contractor's Construction Progress is **ON SCHEDULE**

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

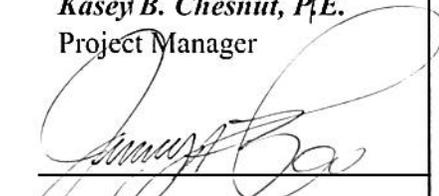
Recommended by Horrocks Engineers

Date: 10/17/2019


Kasey B. Chesnut, P.E.
 Project Manager

Accepted by: **Craig F. Sorensen Construction**

Date: 11-15-19


 Project Manager

Approved By: **Alpine City**

Date: _____

Troy Stout
 Mayor

Budget Code _____ Staff Initial _____



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

TO:

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

SCI Job No: 8KNWL00007
 Project: ALPINE PHASE 1
 PRESSURIZED IRRIGATION METERS
 INSTALLATION PHASE 1
 ALPINE, UT 84004

Invoice: S76156
 Invoice Date: 10/16/2019
 Terms: Net 30
 ALPINE
 Purchase Order:

Application No: 4
 For Questions on Quantities
 Contact: KELLY.NIELSEN@GOSCI.COM
 Thank you for your business

RETENTION

1) Original Contract Sum.....	230,745.00
2) Change Orders	0.00
3) Contract Sum	230,745.00
4) Completed to Date	203,155.00
5) Retainage	0.00
6) Total Earned less Retainage	203,155.00
7) Previous Billings.....	192,997.25
8) Current Payment Due	10,157.75
9) Sales Tax.....	0.00
10) Total Due	10,157.75



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

Item No.	Description	Unit Price	Scheduled Amounts		Completed Units		Total Completed to Date		Due This Request	Retainage	
			Quantity	Total Cost	Previous	This Period	Qty	Cost			
1	MOBILIZATION	5500.00	1	LS	5,500.00	1	0	1	5,500.00	0.00	-275.00
2	CAT1 INSTAL 1"RES WAT METER&APPURTETENT ITEMS COMP	350.00	243	EA	85,050.00	314	0	314	109,900.00	0.00	-5,495.00
3	CAT2 INSTAL 1"RES WAT METER&APPRURTENT ITEMS COMP	375.00	120	EA	45,000.00	101	0	101	37,875.00	0.00	-1,893.75
4	CAT3 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COMP	260.00	60	EA	15,600.00	0	0	0	0.00	0.00	0.00
5	CAT4 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COM	355.00	40	EA	14,200.00	0	0	0	0.00	0.00	0.00
6	INSTL NEW 1.5" WAT MET&APP ITEMS, COMP/LANDS/COMER	970.00	3	EA	2,910.00	1	0	1	970.00	0.00	-48.50
7	INSTAL NEW2"WAT,MET&APP/ITEMS,COMP/LAN DS/COMERCIAL	795.00	4	EA	3,180.00	0	0	0	0.00	0.00	0.00
8	RESTROATION OF NEW WAT/MER,APPR,ITEMS/IN LAWN	110.00	359	EA	39,490.00	322	0	322	35,420.00	0.00	-1,771.00
9	RESTORANTION NEW METE/APP,ITEMS,IN LANDSCAPE	155.00	75	EA	11,625.00	70	0	70	10,850.00	0.00	-542.50
10	RESTORATION NEW WAT/MET&APP,ITEM,IN/CONCRETE	310.00	25	EA	7,750.00	0	0	0	0.00	0.00	0.00
11	RESTORATION NEW WAT/MET&APP,ITEM,UNIMPROVED	110.00	4	EA	440.00	24	0	24	2,640.00	0.00	-132.00
					230,745.00				203,155.00	0.00	-10,157.75

Invoice Total: 0.00
 Less Retention: -10,157.75
Total Amount Due: 10,157.75

**PARTIAL PAYMENT ESTIMATE
NO. 3**

Name of Contractor: Craig F. Sorensen Construction		
Name of Owner: Alpine City		
Date of Completion:	Amount of Contract:	Dates of Estimate:
Original: 15-Oct-18	Original: \$296,115.00	From: 1-Nov-18
Revised:	Revised: \$311,760.00	To: 30-Nov-18

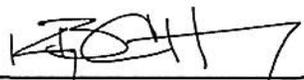
Description of Job: Pressurized Irrigation Meters Installation Phase II		
Amount	This Period	Total To Date
Amount Earned	\$1,985.00	\$311,760.00
Retainage Being Held	\$99.25	\$15,488.75
Retainage Being Released	\$0.00	\$0.00
Previous Payments		\$294,286.25
Amount Due	\$1,885.75	\$1,885.75

Contractor's Construction Progress is **ON SCHEDULE**

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

Recommended by Horrocks Engineers

Date: 10/17/2019


Kasey B. Chesnut, P.E.
 Project Manager

Accepted by: **Craig F. Sorensen Construction**

Date: 11-15-19


Troy Stout
 Project Manager

Approved By: **Alpine City**

Date: _____

Troy Stout
 Mayor

Budget Code _____ Staff Initial _____



REMIT TO:
918 South 2000 West
Syracuse, Utah 84075
Phone: (801) 773-4390, Fax: (801) 773-1575

TO:

ALPINE CITY

20 NORTH MAIN
ALPINE, UT 84004

SCI Job No: 8KNWL00008
Project: ALPINE PHASE 2
PRESSURIZED IRRIGATION METERS
INSTALLATION PHASE 2
ALPINE, UT 84004

Invoice: S75585
Invoice Date: 5/23/2019
Terms: Net 30
ALPINE
Purchase Order:

Application No: 3
For Questions on Quantities
Contact:
Thank you for your business

PARTIAL

1) Original Contract Sum.....	296,115.00
2) Change Orders	0.00
3) Contract Sum	296,115.00
4) Completed to Date	311,760.00
5) Retainage	15,588.00
6) Total Earned less Retainage	296,172.00
7) Previous Billings.....	294,286.25
8) Current Payment Due	1,885.75
9) Sales Tax.....	0.00
10) Total Due	1,885.75



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

Item No.	Description	Unit Price	Scheduled Amounts		Completed Units		Total Completed to Date		Due This Request	Retainage	
			Quantity	Total Cost	Previous	This Period	Qty	Cost			
1-#2	MOBILIZATION	6700.00	1	LS	6,700.00	1	0	1	6,700.00	0.00	0.00
2-#2	CAT1 INSTAL 1"RES WAT METER&APPURTETENT ITEMS COMP	350.00	300	EA	105,000.00	565	0	565	197,750.00	0.00	0.00
3-#2	CAT2 INSTAL 1"RES WAT METER&APPRURTENT ITEMS COMP	375.00	150	EA	56,250.00	48	0	48	18,000.00	0.00	0.00
4-#2	CAT3 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COMP	260.00	79	EA	20,540.00	0	0	0	0.00	0.00	0.00
5-#2	CAT4 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COM	355.00	50	EA	17,750.00	0	0	0	0.00	0.00	0.00
6-#2	INSTL NEW 1.5" WAT MET&APP ITEMS, COMP/LANDS/COMER	970.00	1	EA	970.00	4	1	5	4,850.00	970.00	48.50
7-#2	INSTAL NEW2" WAT,MET&APP/ITEMS,COMP/LAN DS/COMERCIAL	795.00	16	EA	12,720.00	15	1	16	12,720.00	795.00	39.75
8-#2	RESTROATION OF NEW WAT/MER.APPR.ITEMS/IN LAWN	110.00	443	EA	48,730.00	537	2	539	59,290.00	220.00	11.00
9-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/CONCRETE	310.00	25	EA	7,750.00	1	0	1	310.00	0.00	0.00
10-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/LANDSCAPE	155.00	125	EA	19,375.00	40	0	40	6,200.00	0.00	0.00
11-#2	RESTORATION NEW WAT/MET&APP,ITEM,UNIMPROVED	110.00	3	EA	330.00	54	0	54	5,940.00	0.00	0.00
					296,115.00				311,760.00	1,985.00	99.25

Invoice Total: 1,985.00
 Less Retention: 99.25
Total Amount Due: 1,885.75



REMIT TO:
918 South 2000 West
Syracuse, Utah 84075
Phone: (801) 773-4390, Fax: (801) 773-1575

TO:

ALPINE CITY

20 NORTH MAIN
ALPINE, UT 84004

SCI Job No: 8KNWL00008
Project: ALPINE PHASE 2
PRESSURIZED IRRIGATION METERS
INSTALLATION PHASE 2
ALPINE, UT 84004

Invoice: S75585
Invoice Date: 5/23/2019
Terms: Net 30
ALPINE
Purchase Order:

Application No: 3
For Questions on Quantities
Contact:
Thank you for your business

PARTIAL

1) Original Contract Sum.....	296,115.00
2) Change Orders	0.00
3) Contract Sum	296,115.00
4) Completed to Date	311,760.00
5) Retainage	15,588.00
6) Total Earned less Retainage	296,172.00
7) Previous Billings.....	294,286.25
8) Current Payment Due	1,885.75
9) Sales Tax.....	0.00
10) Total Due	1,885.75



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

Item No.	Description	Unit Price	Scheduled Amounts		Completed Units		Total Completed to Date		Due This Request	Retainage	
			Quantity	Total Cost	Previous	This Period	Qty	Cost			
1-#2	MOBILIZATION	6700.00	1	LS	6,700.00	1	0	1	6,700.00	0.00	0.00
2-#2	CAT1 INSTAL 1"RES WAT METER&APPURTETENT ITEMS COMP	350.00	300	EA	105,000.00	565	0	565	197,750.00	0.00	0.00
3-#2	CAT2 INSTAL 1"RES WAT METER&APPRURTENT ITEMS COMP	375.00	150	EA	56,250.00	48	0	48	18,000.00	0.00	0.00
4-#2	CAT3 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COMP	260.00	79	EA	20,540.00	0	0	0	0.00	0.00	0.00
5-#2	CAT4 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COM	355.00	50	EA	17,750.00	0	0	0	0.00	0.00	0.00
6-#2	INSTL NEW 1.5" WAT MET&APP ITEMS, COMP/LANDS/COMER	970.00	1	EA	970.00	4	1	5	4,850.00	970.00	48.50
7-#2	INSTAL NEW2"WAT,MET&APP/ITEMS,COMP/LAN DS/COMERCIAL	795.00	16	EA	12,720.00	15	1	16	12,720.00	795.00	39.75
8-#2	RESTROATION OF NEW WAT/MER,APPR.ITEMS/IN LAWN	110.00	443	EA	48,730.00	537	2	539	59,290.00	220.00	11.00
9-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/CONCRETE	310.00	25	EA	7,750.00	1	0	1	310.00	0.00	0.00
10-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/LANDSCAPE	155.00	125	EA	19,375.00	40	0	40	6,200.00	0.00	0.00
11-#2	RESTORATION NEW WAT/MET&APP,ITEM,UNIMPROVED	110.00	3	EA	330.00	54	0	54	5,940.00	0.00	0.00
					296,115.00				311,760.00	1,985.00	99.25

Invoice Total: 1,985.00
 Less Retention: 99.25
Total Amount Due: 1,885.75

**PARTIAL PAYMENT ESTIMATE
NO. 4**

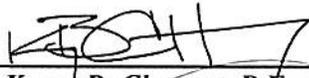
Name of Contractor: <i>Craig F. Sorensen Construction</i>		
Name of Owner: <i>Alpine City</i>		
Date of Completion:	Amount of Contract:	Dates of Estimate:
Original: 15-Oct-18	Original: \$296,115.00	From: 1-Nov-18
Revised:	Revised: \$314,670.00	To: 30-Nov-18
Description of Job: <i>Pressurized Irrigation Meters Installation Phase II</i>		
Amount	This Period	Total To Date
Amount Earned	\$3,705.00	\$315,465.00
Retainage Being Held	\$185.25	\$15,588.00
Retainage Being Released	\$0.00	\$0.00
Previous Payments		\$296,172.00
Amount Due	\$3,519.75	\$3,519.75

Contractor's Construction Progress is **ON SCHEDULE**

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

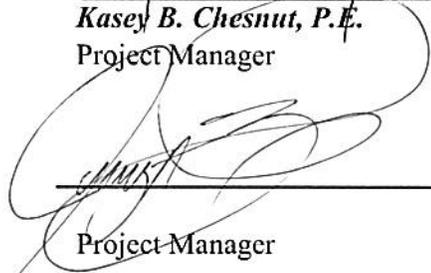
Recommended by Horrocks Engineers

Date: 10/17/2019


Kasey B. Chesnut, P.E.
 Project Manager

Accepted by: **Craig F. Sorensen Construction**

Date: 11-15-19


 Project Manager

Approved By: **Alpine City**

Date: _____


Troy Stout
 Mayor

Budget Code _____ Staff Initial _____



REMIT TO:
918 South 2000 West
Syracuse, Utah 84075
Phone: (801) 773-4390, Fax: (801) 773-1575

TO:

ALPINE CITY

20 NORTH MAIN
ALPINE, UT 84004

SCI Job No: 8KNWL00008
Project: ALPINE PHASE 2
PRESSURIZED IRRIGATION METERS
INSTALLATION PHASE 2
ALPINE, UT 84004

Invoice:S75779
Invoice Date: 7/11/2019
Terms:Net 30
ALPINE
Purchase Order:

Application No: 4
For Questions on Quantities
Contact:
Thank you for your business

PARTIAL

1) Original Contract Sum.....	296,115.00
2) Change Orders	0.00
3) Contract Sum	296,115.00
4) Completed to Date	315,465.00
5) Retainage	15,773.25
6) Total Earned less Retainage	299,691.75
7) Previous Billings.....	296,172.00
8) Current Payment Due	3,519.75
9) Sales Tax.....	0.00
10) Total Due	3,519.75



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

Item No.	Description	Unit Price	Scheduled Amounts		Completed Units		Total Completed to Date		Due This Request	Retainage	
			Quantity	Total Cost	Previous	This Period	Qty	Cost			
1-#2	MOBILIZATION	6700.00	1	LS	6,700.00	1	0	1	6,700.00	0.00	0.00
2-#2	CAT1 INSTAL 1"RES WAT METER&APPURTETENT ITEMS COMP	350.00	300	EA	105,000.00	565	0	565	197,750.00	0.00	0.00
3-#2	CAT2 INSTAL 1"RES WAT METER&APPRURTENT ITEMS COMP	375.00	150	EA	56,250.00	48	0	48	18,000.00	0.00	0.00
4-#2	CAT3 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COMP	260.00	79	EA	20,540.00	0	0	0	0.00	0.00	0.00
5-#2	CAT4 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COM	355.00	50	EA	17,750.00	0	0	0	0.00	0.00	0.00
6-#2	INSTL NEW 1.5" WAT MET&APP ITEMS, COMP/LANDS/COMER	970.00	1	EA	970.00	5	3	8	7,760.00	2,910.00	145.50
7-#2	INSTAL NEW2" WAT,MET&APP/ITEMS,COMP/LAN DS/COMERCIAL	795.00	16	EA	12,720.00	16	1	17	13,515.00	795.00	39.75
8-#2	RESTROATION OF NEW WAT/MER,APPR,ITEMS/IN LAWN	110.00	443	EA	48,730.00	539	0	539	59,290.00	0.00	0.00
9-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/CONCRETE	310.00	25	EA	7,750.00	1	0	1	310.00	0.00	0.00
10-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/LANDSCAPE	155.00	125	EA	19,375.00	40	0	40	6,200.00	0.00	0.00
11-#2	RESTORATION NEW WAT/MET&APP,ITEM,UNIMPROVED	110.00	3	EA	330.00	54	0	54	5,940.00	0.00	0.00
					296,115.00				315,465.00	3,705.00	185.25

Invoice Total: 3,705.00
 Less Retention: 185.25
Total Amount Due: 3,519.75

**PARTIAL PAYMENT ESTIMATE
NO. 5**

Name of Contractor: <i>Craig F. Sorensen Construction</i>		
Name of Owner: <i>Alpine City</i>		
Date of Completion:	Amount of Contract:	Dates of Estimate:
Original: 15-Oct-18	Original: \$296,115.00	From: 1-Nov-18
Revised:	Revised: \$314,670.00	To: 30-Nov-18

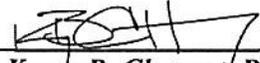
Description of Job: <i>Pressurized Irrigation Meters Installation Phase II</i>		
Amount	This Period	Total To Date
Amount Earned	\$0.00	\$315,465.00
Retainage Being Held	\$0.00	\$0.00
Retainage Being Released	\$0.00	\$15,773.25
Previous Payments		\$299,691.75
Amount Due	\$0.00	\$15,773.25

Contractor's Construction Progress is **ON SCHEDULE**

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

Recommended by Horrocks Engineers

Date: 10/17/2019


Kasey B. Chesnut P.E.
 Project Manager

Accepted by: **Craig F. Sorensen Construction**

Date: 11-15-19


 Project Manager

Approved By: **Alpine City**

Date: _____

Troy Stout
 Mayor

Budget Code _____ Staff Initial _____



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

TO:

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

SCI Job No: 8KNWL00008
 Project: ALPINE PHASE 2
 PRESSURIZED IRRIGATION METERS
 INSTALLATION PHASE 2
 ALPINE, UT 84004

Invoice: S76157
 Invoice Date: 10/16/2019
 Terms: Net 30
 ALPINE
 Purchase Order:

Application No: 5
 For Questions on Quantities
 Contact:

RETENTION

Thank you for your business

1) Original Contract Sum.....	296,115.00
2) Change Orders.....	0.00
3) Contract Sum.....	296,115.00
4) Completed to Date.....	315,465.00
5) Retainage.....	0.00
6) Total Earned less Retainage.....	315,465.00
7) Previous Billings.....	299,691.75
8) Current Payment Due.....	15,773.25
9) Sales Tax.....	0.00
10) Total Due.....	15,773.25



REMIT TO:
 918 South 2000 West
 Syracuse, Utah 84075
 Phone: (801) 773-4390, Fax: (801) 773-1575

Item No.	Description	Unit Price	Scheduled Amounts		Completed Units		Total Completed to Date		Due This Request	Retainage	
			Quantity	Total Cost	Previous	This Period	Qty	Cost			
1-#2	MOBILIZATION	6700.00	1	LS	6,700.00	1	0	1	6,700.00	0.00	-335.00
2-#2	CAT1 INSTAL 1"RES WAT METER&APPURTETENT ITEMS COMP	350.00	300	EA	105,000.00	565	0	565	197,750.00	0.00	-9,887.50
3-#2	CAT2 INSTAL 1"RES WAT METER&APPRURTENT ITEMS COMP	375.00	150	EA	56,250.00	48	0	48	18,000.00	0.00	-900.00
4-#2	CAT3 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COMP	260.00	79	EA	20,540.00	0	0	0	0.00	0.00	0.00
5-#2	CAT4 INSTAL 1" RES WAT METER&APPRURTENT ITEMS COM	355.00	50	EA	17,750.00	0	0	0	0.00	0.00	0.00
6-#2	INSTL NEW 1.5" WAT MET&APP ITEMS, COMP/LANDS/COMER	970.00	1	EA	970.00	8	0	8	7,760.00	0.00	-388.00
7-#2	INSTAL NEW2"WAT,MET&APP/ITEMS,COMP/LAN DS/COMERCIAL	795.00	16	EA	12,720.00	17	0	17	13,515.00	0.00	-675.75
8-#2	RESTROATION OF NEW WAT/MER,APPR,ITEMS/IN LAWN	110.00	443	EA	48,730.00	539	0	539	59,290.00	0.00	-2,964.50
9-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/CONCRETE	310.00	25	EA	7,750.00	1	0	1	310.00	0.00	-15.50
10-#2	RESTORATION NEW WAT/MET&APP,ITEM,IN/LANDSCAPE	155.00	125	EA	19,375.00	40	0	40	6,200.00	0.00	-310.00
11-#2	RESTORATION NEW WAT/MET&APP,ITEM,UNIMPROVED	110.00	3	EA	330.00	54	0	54	5,940.00	0.00	-297.00
					296,115.00				315,465.00	0.00	-15,773.25

Invoice Total: 0.00
 Less Retention: -15,773.25
Total Amount Due: 15,773.25

**PARTIAL PAYMENT ESTIMATE
NO. 5**

Name of Contractor: **BMEI**
 Name of Owner: **Alpine City**
 Date of Completion: Amount of Contract: Dates of Estimate:
 Original: 15-Sep-19 Original: \$711,345.00 From: 1-Sep-19
 Revised: Revised: \$711,345.00 To: 30-Sep-19
 Description of Job: **Alpine Pressurized Irrigation Installation Phase III**

Amount	This Period	Total To Date
Amount Earned	\$13,955.00	\$634,155.00
Retainage Being Held	\$697.75	\$31,707.75
Retainage Being Released	\$0.00	\$0.00
Previous Payments		\$589,190.00
Amount Due	\$13,257.25	\$13,257.26

Contractor's Construction Progress is **ON SCHEDULE**

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been shown on previous estimates and the work has been performed in accordance with the Contract Documents.

Recommended by Horrocks Engineers

Date: 11/14/2019


Kasey Chesnut
 Project Manager

Accepted by: **BMEI**

Date: _____

Chad Walters
 Project Manager

Approved By: **Alpine City**

Date: _____

Troy Stout
 Mayor

Budget Code _____ Staff Initial _____

PROJECT: **Alpine Pressurized Irrigation Installation Phase III**

PAY PERIOD: **1 Apr-19**

ITEM NO.	NATURE OF WORK	CONTRACT ITEMS				QUANTITY		EARNINGS	
		Qty	Units	Unit Price	Bid Amt.	This Month	To Date	This Month	To Date
1	Mobilization	1	LS	\$26,990.00	\$26,990.00	0.00	1.00		\$26,990.00
2	Category 1 Install	1232	EA	\$330.00	\$406,560.00	11.00	1226.00	\$3,630.00	\$404,580.00
3	Category 2 Install	136	EA	\$370.00	\$50,320.00	2.00	82.00	\$740.00	\$30,340.00
4	Category 3 Install	20	EA	\$390.00	\$7,800.00	0.00	20.00		\$7,800.00
5	Category 4 Install	20	EA	\$495.00	\$9,900.00	1.00	7.00	\$495.00	\$3,465.00
6	Install 1.5-inch	19	EA	\$860.00	\$16,340.00	1.00	19.00	\$860.00	\$16,340.00
7	Install 2-inch	24	EA	\$925.00	\$22,200.00	5.00	24.00	\$4,625.00	\$22,200.00
8	Surface Restoration Lawn	1180	EA	\$85.00	\$100,300.00	23.00	1060.00	\$1,955.00	\$90,100.00
9	Surface Restoration Landscaped	155	EA	\$105.00	\$16,275.00	0.00	155.00		\$16,275.00
10	Surface Restoration Concrete / Paved	6	EA	\$1,110.00	\$6,660.00	0.00	2.00		\$2,220.00
11	Surface Restoration Unimproved	110	EA	\$75.00	\$8,250.00	22.00	60.00	\$1,650.00	\$4,500.00
12	Increase in Landscape Restoration	89	LS	\$105.00	\$9,345.00	0.00	89.00		\$9,345.00
13	Increase in Landscape Restoration	139	LS	\$105.00	\$14,595.00	0.00	0.00		\$0.00
14	Category 5 Install	22	LS	\$630.00	\$13,860.00	0.00	0.00		\$0.00
15	Category 3 Install New 1" Water Meter	5	LS	\$390.00	\$1,950.00	0.00	0.00		\$0.00
16	Item	0	LS	\$0.00	\$0.00	0.00	0.00		\$0.00
17	Item	0	LS	\$0.00	\$0.00	0.00	0.00		\$0.00
20	Item	0	LS	\$0.00	\$0.00	0.00	0.00		\$0.00
Subtotal					\$711,345.00			\$13,955.00	\$634,155.00

Total

\$711,345.00

TOTAL	\$13,955.00	\$634,155.00
AMOUNT RETAINED	\$697.75	\$31,707.75
RETAINAGE RELEASED		
PREVIOUS RETAINAGE		\$31,010.01
PREVIOUS PAYMENTS		\$589,190.00
AMOUNT DUE	\$13,257.25	\$13,257.26

Remit To:

KK&L ADMINISTRATION LLC
1106 S LEGACY VIEW STREET
SALT LAKE CITY UT 84104
Telephone: 801 679-6840

INVOICE



Invoice To:

Alpine City
20 NORTH MAIN
ALPINE UT 84004

For Work At:

ALPINE UT 84004

Invoice No. 79-1048765

Invoice Date Nov 13 / 19

Our Division 7901 - Construction

Our Job No. 79010093

Our Customer No. 1122142

Your Ref. No.

Project: ALPINE CITY PRESS IRRIG MTR P3

Progress Application No. 5

Original Contract Amount 671,595.00

Approved Changes To Date -----

Revised Contract Amount 671,595.00

Work Completed To Nov 13 / 19 634,155.00

Less: Previously Invoiced ----- 620,200.00

Gross Invoice Amount 13,955.00

Less: Holdback (5.0 %) (697.75)

Subtotal 13,257.25

Please Pay This Amount: USD 13,257.25

TERMS: 2% 10 Days, Net 30
Interest at 18% per
annum charged on
overdue accounts

Back-Up Detail

Invoice No.: 79-1048765

Our Job No.: 79010093

Invoice Date: Nov 13 / 19

Contractor: KK&L ADMINISTRATION LLC

Your Ref. No.:

Work Completed To: Nov 13 / 19

Progress Application No.: 5

Item No.	Description of Work	Unit	Contract Amount						Billing Summary						Remaining Balance	
			Original			Revised			Quantity			Payment				
			Qty	Unit Price	Total	Qty	Unit Price	Total	To Date	Previous	This Period	To Date	Previous	This Period	Qty	\$
Original Contract																
1	Mobilization	LS	1.00	26,990.00	26,990.00	1.00	26,990.00	26,990.00	1.00	1.00	0.00	26,990.00	26,990.00	0.00	0.00	0.00
2	Cat 1 – Instl New 1" Water Met	EA	1,232.00	330.00	406,560.00	1,232.00	330.00	406,560.00	1,226.00	1,215.00	11.00	404,580.00	400,950.00	3,630.00	6.00	1,980.00
3	Cat 2 – Instl New 1" Water Met	LS	136.00	370.00	50,320.00	136.00	370.00	50,320.00	82.00	80.00	2.00	30,340.00	29,600.00	740.00	54.00	19,980.00
4	Cat 3 – Instl New 1" Water Met	LS	20.00	390.00	7,800.00	20.00	390.00	7,800.00	20.00	20.00	0.00	7,800.00	7,800.00	0.00	0.00	0.00
5	Cat 4 – Instl New 1" Water Met	EA	20.00	495.00	9,900.00	20.00	495.00	9,900.00	7.00	6.00	1.00	3,465.00	2,970.00	495.00	13.00	6,435.00
6	Instl New 1.5" Water Meters	EA	19.00	860.00	16,340.00	19.00	860.00	16,340.00	19.00	18.00	1.00	16,340.00	15,480.00	860.00	0.00	0.00
7	Instl New 2" Water Meters	EA	24.00	925.00	22,200.00	24.00	925.00	22,200.00	24.00	19.00	5.00	22,200.00	17,575.00	4,625.00	0.00	0.00
8	Surface Resto in Lawn Sod	EA	1,180.00	85.00	100,300.00	1,180.00	85.00	100,300.00	1,060.00	1,037.00	23.00	90,100.00	88,145.00	1,955.00	120.00	10,200.00
9	Surface Resto in Landscaped	EA	155.00	105.00	16,275.00	155.00	105.00	16,275.00	155.00	155.00	0.00	16,275.00	16,275.00	0.00	0.00	0.00
10	Surface Resto in Concrete Pave	EA	6.00	1,110.00	6,660.00	6.00	1,110.00	6,660.00	2.00	2.00	0.00	2,220.00	2,220.00	0.00	4.00	4,440.00
11	Surface Resto in Unimproved	EA	110.00	75.00	8,250.00	110.00	75.00	8,250.00	60.00	38.00	22.00	4,500.00	2,850.00	1,650.00	50.00	3,750.00
Subtotal			\$671,595.00			\$671,595.00						\$624,810.00	\$610,855.00	\$13,955.00	\$46,785.00	
Original Contract Total			\$671,595.00			\$671,595.00						\$624,810.00	\$610,855.00	\$13,955.00	\$46,785.00	
Approved Changes																
12	Increase in Landscaped Resto	EA	89.00	105.00	9,345.00	89.00	105.00	9,345.00	89.00	89.00	0.00	9,345.00	9,345.00	0.00	0.00	0.00
13	Increase in Landscaped Resto	EA	139.00	105.00	14,595.00	139.00	105.00	14,595.00	0.00	0.00	0.00	0.00	0.00	0.00	139.00	14,595.00
14	Cat 5 – Meter Installation	EA	22.00	630.00	13,860.00	22.00	630.00	13,860.00	0.00	0.00	0.00	0.00	0.00	0.00	22.00	13,860.00
15	Cat 3 – Instl New 1" Water Met	EA	5.00	390.00	1,950.00	5.00	390.00	1,950.00	0.00	0.00	0.00	0.00	0.00	0.00	5.00	1,950.00
Subtotal			\$39,750.00			\$39,750.00						\$9,345.00	\$9,345.00	\$0.00	\$30,405.00	
Approved Changes Total			\$39,750.00			\$39,750.00						\$9,345.00	\$9,345.00	\$0.00	\$30,405.00	

Back-Up Detail

Invoice No.: 79-1048765

Our Job No.: 79010093

Invoice Date: Nov 13 / 19

Contractor: KK&L ADMINISTRATION LLC

Your Ref. No.:

Work Completed To: Nov 13 / 19

Progress Application No.: 5

Item No.	Description of Work	Unit	Contract Amount						Billing Summary						Remaining Balance				
			Original			Revised			Quantity			Payment							
			Qty	Unit Price	Total	Qty	Unit Price	Total	To Date	Previous	This Period	To Date	Previous	This Period	Qty	\$			
	Total		\$711,345.00			\$711,345.00			\$634,155.00			\$620,200.00			\$13,955.00			\$77,190.00	

Submitted By: _____

Date: _____

Approved By: _____

Date: _____

PAYMENT REQUEST NO. 1

Name of Contractor:		Sterling Don Excavation	
Name of Owner:		Alpine City	
Date of Completion:	Amount of Contract:	Dates of Estimate:	
Original: 15-Nov-19	Original: \$156,289.09	From:	1-Oct-19
Revised: TBA	Revised:	To:	15-Nov-19

Description of Job: Healey Parking Project

Original Contract Amount		
Amount	This Period	Total To Date
Amount Earned	\$77,729.83	\$77,729.83
Amount Retained	\$3,886.49	\$3,886.49
Previous Payments		\$0.00
Amount Due	\$73,843.34	\$ 73,843.34
Days Remaining	0 of 45	Percent Time Used: 100%
Estimated Percentage of Job Completed		47.25%
Contractor's Construction Progress IS on schedule		

I hereby certify that I have carefully inspected the work and as a result of my inspection and to the best of my knowledge and belief, the quantities shown in this estimate are correct and have not been on previous estimates and the work has been performed in accordance with the Contract Documents

Recommended by: Alpine City Engineering Dept.

Date: 15-Nov-19



Jed Muhlestein, P.E.
City Engineer

Accepted by: Sterling Don Excavation

Date: _____

Sterling Don Excavation

Approved By: Alpine City

Date: _____

Troy Stout
Mayor

Project Owner: Alpine City
 Project: Healey Parking Project
 Contractor: Sterling Don Excavation

Date: 15-Nov-19

Original Contract Amount: \$156,289.09
 Revised Contract Amount:

Item	Description	Quantity	Units	Unit Price	Amount	Payest #1		Total Billing		Percent Complete
						Quantity this Month	Earnings this Month	Quantity to Date	Earnings to Date	
BID SCHEDULE										
1	Mobilization (not to exceed 5%)	1	LS	\$ 7,704.00	\$ 7,704.00	0.5	\$3,852.00	1	\$3,852.00	50.0%
SITE WORK										
2	Site Grading, Cut (Haul material to rodeo grounds)	993	CY	\$ 22.21	\$ 22,054.53	993.0	\$22,054.53	993	\$22,054.53	100.0%
3	Remove existing 4' sidewalk	60	LF	\$ 17.83	\$ 1,069.80	30.0	\$534.90	30	\$534.90	50.0%
4	Install 4' sidewalk, 4" thick (High Bench Rd)	40	LF	\$ 12.85	\$ 514.00		\$0.00	0	\$0.00	0.0%
5	Remove 24" Curb and Gutter	70	LF	\$ 17.83	\$ 1,248.10	35.0	\$624.05	35	\$624.05	50.0%
6	24" Curb and Gutter	844	LF	\$ 22.50	\$ 18,990.00		\$0.00	0	\$0.00	0.0%
7	ADA Truncated Dome (2'x4') concrete in sidewalk item	5	Each	\$ 245.00	\$ 1,225.00		\$0.00	0	\$0.00	0.0%
8	8" Roadbase under all roadway, curb	18640	SF	\$ 1.15	\$ 21,436.00	9,320.0	\$10,718.00	9,320	\$10,718.00	50.0%
9	6" Roadbase under sidewalk	3000	SF	\$ 1.90	\$ 5,700.00		\$0.00	0	\$0.00	0.0%
10	Remove existing 8" asphalt trail	120	SF	\$ 5.58	\$ 669.60	60.0	\$334.80	60	\$334.80	50.0%
11	Concrete flatwork, 4" thick	2785	SF	\$ 2.85	\$ 7,937.25		\$0.00	0	\$0.00	0.0%
12	Concrete flatwork, 5" thick	730	SF	\$ 3.45	\$ 2,518.50		\$0.00	0	\$0.00	0.0%
13	Sawcut and removal of asphalt (parking tie-in to High Bench Rd & trail)	60	SF	\$ 13.67	\$ 820.20	60.0	\$820.20	60	\$820.20	100.0%
14	3" Hot Mix Asphalt (PG58-28, 1/2", 15% RAP)	15708	SF	\$ 1.45	\$ 22,776.60		\$0.00	0	\$0.00	0.0%
15	Sewer & Water Trench Patch	160	SF	\$ 6.38	\$ 1,020.80	160.0	\$1,020.80	160	\$1,020.80	100.0%
UTILITIES										
16	4" Sewer Lateral (w/ cleanouts)	336	LF	\$ 35.00	\$ 11,760.00	346.1	\$12,112.80	346	\$12,112.80	103.0%
17	Install 1" Culinary Service and Meter Can	1	Each	\$ 5,710.00	\$ 5,710.00	1.0	\$5,710.00	1	\$5,710.00	100.0%
18	Install Stop and Waste	2	Each	\$ 567.00	\$ 1,134.00	2.0	\$1,134.00	2	\$1,134.00	100.0%
19	15" ADS Storm Drain Pipe	6	LF	\$ 166.66	\$ 999.96	6.0	\$999.96	6	\$999.96	100.0%
20	Curb inlet box w/ snout	1	Each	\$ 4,245.00	\$ 4,245.00	1.0	\$4,245.00	1	\$4,245.00	100.0%
21	4' Sump (4' perforated manhole, 12' deep, 6'x20' graveled area w/ fabric)	1	LS	\$ 5,430.00	\$ 5,430.00	1.0	\$5,430.00	1	\$5,430.00	100.0%
22	2" Landscaping Conduit	2	Each	\$ 817.00	\$ 1,634.00	2.0	\$1,634.00	2	\$1,634.00	100.0%
SWPPP										
23	Silt Fence	335	LF	\$ 4.25	\$ 1,423.75	335.0	\$1,423.75	335	\$1,423.75	100.0%
24	Inlet Protection	1	Each	\$ 250.00	\$ 250.00	1.0	\$250.00	1	\$250.00	100.0%
25	Toilet Rental & Pad	1	LS	\$ 300.00	\$ 300.00	1.0	\$300.00	1	\$300.00	100.0%
26	Street Sweeping	1	LS	\$ 1,000.00	\$ 1,000.00	0.5	\$500.00	1	\$500.00	50.0%
27	Concrete Washout	1	Each	\$ 1,200.00	\$ 1,200.00	0.0	\$0.00	0	\$0.00	0.0%
MISC										
28	Stop Sign	1	Each	\$ 350.00	\$ 350.00		\$0.00	0	\$0.00	0.0%
29	4-inch Power Conduit	425	LF	\$ 12.16	\$ 5,168.00	331.5	\$4,031.04	332	\$4,031.04	78.0%
Total Bid/Contract					\$156,289.09					
Partial Payment Sub-Total							\$77,729.83		\$77,729.83	
Additive Alternates										
Change Orders										
Change Order Sub-Total										
					\$0.00		\$0.00		\$0.00	
Total Revised					\$156,289.09		\$77,729.83		\$77,729.83	
5% Retainage					-		\$3,886.49		\$3,886.49	
Add Retainage										
Total					\$156,289.09		\$73,843.34		\$73,843.34	

ALPINE CITY CORPORATION
 COMBINED CASH INVESTMENT
 OCTOBER 31, 2019

COMBINED CASH ACCOUNTS

01-1111	CASH IN BANK, AMERICAN FORK	(107,888.14)
01-1112	XPRESS BILL PAY	1,028.40
01-1131	PETTY CASH	1,000.00
01-1154	SAVINGS PTIF #158	13,229,037.63
01-1170	UTILITY CASH CLEARING	(.01)
	TOTAL COMBINED CASH	13,123,177.88
01-1190	CASH - ALLOCATION TO OTHER FUN	(13,123,177.88)
	TOTAL GENERAL FUND CASH	.00

CASH ALLOCATION RECONCILIATION

10	ALLOCATION TO GENERAL FUND	282,045.21
11	ALLOCATION TO CLASS C ROADS	801,992.25
15	ALLOCATION TO RECREATION IMPACT FEES	734,455.36
16	ALLOCATION TO STREET IMPACT FEES	341,316.58
45	ALLOCATION TO CAPITAL IMPROVEMENTS FUND	2,731,073.45
51	ALLOCATION TO WATER FUND	2,500,617.26
52	ALLOCATION TO SEWER FUND	2,355,723.70
55	ALLOCATION TO PRESSURIZED IRRIGATION FUND	915,792.43
56	ALLOCATION TO STORM DRAIN FUND	677,368.96
70	ALLOCATION TO TRUST AND AGENCY FUND	299,400.79
71	ALLOCATION TO CEMETERY PERPETUAL CARE FUND	654,487.49
81	ALLOCATION TO WATER IMPACT FEES	397,781.35
82	ALLOCATION TO SEWER IMPACT FEES	85,180.30
85	ALLOCATION TO PI IMPACT FEES	212,813.35
86	ALLOCATION TO STORM DRAIN IMPACT FEES	133,129.40
	TOTAL ALLOCATIONS TO OTHER FUNDS	13,123,177.88
	ALLOCATION FROM COMBINED CASH FUND - 01-1190	(13,123,177.88)
	ZERO PROOF IF ALLOCATIONS BALANCE	.00

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

GENERAL FUND

ASSETS

10-1190	CASH - ALLOCATION TO OTHER FUN	282,045.21	
10-1309	DEFERRED PROPERTY TAXES REC	1,709,397.68	
10-1311	ACCOUNTS RECEIVABLE	58,592.55	
	TOTAL ASSETS		<u>2,050,035.44</u>

LIABILITIES AND EQUITYLIABILITIES

10-2131	ACCOUNTS PAYABLE	.30	
10-2221	FICA PAYABLE	121.75	
10-2222	FEDERAL WITHHOLDING PAYABLE	165.97	
10-2223	STATE WITHHOLDING PAYABLE	96.88	
10-2225	ULGT PAYABLE	(5,688.93)	
10-2227	RETIREMENT PAYABLE EMPLOYEES	(15.64)	
10-2229	WORKERS COMP PAYABLE	5,700.46	
10-2400	UNEARNED REVENUE	1,709,397.00	
	TOTAL LIABILITIES		1,709,777.79

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:		
10-2980	BALANCE BEGINNING OF YEAR	1,095,143.18	
	REVENUE OVER EXPENDITURES - YTD	(754,885.53)	
	BALANCE - CURRENT DATE		<u>340,257.65</u>
	TOTAL FUND EQUITY		<u>340,257.65</u>
	TOTAL LIABILITIES AND EQUITY		<u>2,050,035.44</u>

ALPINE CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>TAXES</u>					
10-31-10	9,883.95	16,731.23	1,773,635.00	1,756,903.77	.9
10-31-20	444.81	5,809.75	145,000.00	139,190.25	4.0
10-31-30	121,991.59	239,452.52	1,300,000.00	1,060,547.48	18.4
10-31-31	8,484.68	27,901.51	110,000.00	82,098.49	25.4
10-31-32	10,683.76	20,424.80	.00	(20,424.80)	.0
10-31-40	50,617.67	154,514.14	660,000.00	505,485.86	23.4
10-31-90	15.42	269.07	4,000.00	3,730.93	6.7
TOTAL TAXES	202,121.88	465,103.02	3,992,635.00	3,527,531.98	11.7
<u>LICENSES AND PERMITS</u>					
10-32-10	300.00	1,875.00	25,000.00	23,125.00	7.5
10-32-20	8,821.75	63,903.45	175,000.00	111,096.55	36.5
10-32-21	13,558.18	116,190.40	350,000.00	233,809.60	33.2
10-32-22	135.07	1,165.98	2,800.00	1,634.02	41.6
TOTAL LICENSES AND PERMITS	22,815.00	183,134.83	552,800.00	369,665.17	33.1
<u>INTERGOVERNMENTAL REVENUE</u>					
10-33-42	.00	.00	5,400.00	5,400.00	.0
TOTAL INTERGOVERNMENTAL REVENUE	.00	.00	5,400.00	5,400.00	.0
<u>CHARGES FOR SERVICES</u>					
10-34-13	560.00	9,910.00	20,000.00	10,090.00	49.6
10-34-14	.00	.00	500.00	500.00	.0
10-34-15	.00	90.00	250.00	160.00	36.0
10-34-22	9,629.00	19,258.00	38,516.00	19,258.00	50.0
10-34-40	50,530.44	201,228.99	550,000.00	348,771.01	36.6
10-34-69	.00	2,544.00	.00	(2,544.00)	.0
10-34-81	492.50	4,432.50	5,000.00	567.50	88.7
10-34-83	2,600.00	13,700.00	45,000.00	31,300.00	30.4
TOTAL CHARGES FOR SERVICES	63,811.94	251,163.49	659,266.00	408,102.51	38.1
<u>FINES AND FORFEITURES</u>					
10-35-10	.00	3,239.78	45,000.00	41,760.22	7.2
10-35-15	3,638.70	19,741.62	32,500.00	12,758.38	60.7
10-35-16	.00	1,890.00	5,000.00	3,110.00	37.8
TOTAL FINES AND FORFEITURES	3,638.70	24,871.40	82,500.00	57,628.60	30.2

ALPINE CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>RENTS AND OTHER REVENUE</u>					
10-36-20 RENTS AND CONCESSIONS	200.00	8,100.00	65,000.00	56,900.00	12.5
TOTAL RENTS AND OTHER REVENUE	200.00	8,100.00	65,000.00	56,900.00	12.5
<u>INTEREST AND MISC REVENUE</u>					
10-38-10 INTEREST EARNINGS	28,331.24	126,125.77	80,000.00	(46,125.77)	157.7
10-38-17 ALPINE DAYS REVENUE	.00	77,497.39	75,000.00	(2,497.39)	103.3
10-38-18 RODEO REVENUE	10.00	18,217.00	20,000.00	1,783.00	91.1
10-38-50 BICENTENNIAL BOOKS	80.00	80.00	500.00	420.00	16.0
10-38-90 SUNDRY REVENUES	20,782.01	35,400.65	30,000.00	(5,400.65)	118.0
TOTAL INTEREST AND MISC REVENUE	49,203.25	257,320.81	205,500.00	(51,820.81)	125.2
<u>TRANSFERS AND CONTRIBUTIONS</u>					
10-39-10 FUND BALANCE APPROPRIATION	.00	.00	61,050.00	61,050.00	.0
10-39-20 CONTRIBUTION FOR PARAMEDIC	2,670.12	10,664.59	30,000.00	19,335.41	35.6
TOTAL TRANSFERS AND CONTRIBUTIONS	2,670.12	10,664.59	91,050.00	80,385.41	11.7
TOTAL FUND REVENUE	344,460.89	1,200,358.14	5,654,151.00	4,453,792.86	21.2

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ADMINISTRATION</u>					
10-41-11 SALARIES & WAGES	14,404.21	63,870.73	215,000.00	151,129.27	29.7
10-41-13 EMPLOYEE BENEFITS	6,680.34	28,972.05	93,500.00	64,527.95	31.0
10-41-14 OVERTIME WAGES	.00	179.54	1,500.00	1,320.46	12.0
10-41-21 BOOKS, SUBSCRIPTIONS & MEMBERS	867.61	2,477.61	18,000.00	15,522.39	13.8
10-41-22 PUBLIC NOTICES	115.19	642.89	4,500.00	3,857.11	14.3
10-41-23 TRAVEL	.00	173.42	2,500.00	2,326.58	6.9
10-41-24 OFFICE SUPPLIES & POSTAGE	1,922.39	3,747.64	15,000.00	11,252.36	25.0
10-41-25 EQUIPMENT - SUPPLIES & MAINTEN	42.00	275.18	1,500.00	1,224.82	18.4
10-41-28 TELEPHONE	489.21	1,547.26	5,500.00	3,952.74	28.1
10-41-30 PROFESSIONAL SERVICES	3,220.58	5,980.36	30,000.00	24,019.64	19.9
10-41-33 EDUCATION	.00	.00	150.00	150.00	.0
10-41-46 COUNCIL DISCRETIONARY FUND	619.63	1,432.84	15,000.00	13,567.16	9.6
10-41-47 MAYOR DISCRETIONARY FUND	170.00	220.00	8,000.00	7,780.00	2.8
10-41-51 INSURANCE	.00	8,689.74	10,500.00	1,810.26	82.8
10-41-63 OTHER SERVICES	.00	.00	500.00	500.00	.0
10-41-64 OTHER EXPENSES	.00	2,450.62	4,000.00	1,549.38	61.3
TOTAL ADMINISTRATION	28,531.16	120,659.88	425,150.00	304,490.12	28.4
<u>COURT</u>					
10-42-24 OFFICE EXPENSE & POSTAGE	2,826.02	9,336.17	30,000.00	20,663.83	31.1
10-42-31 PROFESSIONAL SERVICES	3,488.35	9,786.59	40,000.00	30,213.41	24.5
10-42-40 WITNESS FEES	(18.50)	(18.50)	200.00	218.50	(9.3)
10-42-46 VICTIM REPARATION ASSESSMENT	1,471.00	5,549.56	25,000.00	19,450.44	22.2
TOTAL COURT	7,766.87	24,653.82	95,200.00	70,546.18	25.9
<u>TREASURER</u>					
10-43-11 SALARIES & WAGES	1,092.48	4,369.92	14,300.00	9,930.08	30.6
10-43-13 EMPLOYEE BENEFITS	849.75	3,474.00	10,500.00	7,026.00	33.1
10-43-14 OVERTIME WAGES	.00	300.44	.00	(300.44)	.0
10-43-21 BOOKS, SUBSCRIPTIONS & MEMBERS	174.00	372.00	500.00	128.00	74.4
10-43-23 TRAVEL	.00	.00	500.00	500.00	.0
10-43-24 OFFICE SUPPLIES & POSTAGE	.00	.00	750.00	750.00	.0
10-43-31 PROFESSIONAL & TECHNICAL	300.00	1,750.00	5,200.00	3,450.00	33.7
10-43-33 EDUCATION	.00	.00	500.00	500.00	.0
10-43-34 ACCOUNTING SERVICES/AUDIT	9,700.00	12,100.00	11,000.00	(1,100.00)	110.0
TOTAL TREASURER	12,116.23	22,366.36	43,250.00	20,883.64	51.7

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>ELECTIONS</u>					
10-50-24 OFFICE EXPENSE, SUPPLIES & POS	.00	.00	500.00	500.00	.0
10-50-62 MISCELLANEOUS SERVICES	.00	.00	13,000.00	13,000.00	.0
TOTAL ELECTIONS	.00	.00	13,500.00	13,500.00	.0
<u>GOVERNMENT BUILDINGS</u>					
10-52-26 BUILDING SUPPLIES	555.84	2,220.00	4,000.00	1,780.00	55.5
10-52-27 UTILITIES	714.93	2,305.19	20,000.00	17,694.81	11.5
10-52-51 INSURANCE	.00	8,689.74	9,000.00	310.26	96.6
10-52-63 OTHER SERVICES	718.50	3,235.00	20,000.00	16,765.00	16.2
10-52-72 CAPITAL OUTLAY BUILDINGS	.00	.00	45,000.00	45,000.00	.0
TOTAL GOVERNMENT BUILDINGS	1,989.27	16,449.93	98,000.00	81,550.07	16.8
<u>EMERGENCY SERVICES</u>					
10-57-61 POLICE-PROFESSIONAL SERVICE	99,393.95	496,969.75	1,197,728.00	700,758.25	41.5
10-57-63 FIRE-PROFESSIONAL SERVICE	94,452.32	472,261.60	1,133,428.00	661,166.40	41.7
10-57-72 ADMINISTRATION	6,470.79	32,353.95	77,650.00	45,296.05	41.7
TOTAL EMERGENCY SERVICES	200,317.06	1,001,585.30	2,408,806.00	1,407,220.70	41.6
<u>BUILDING INSPECTION</u>					
10-58-11 SALARIES & WAGES	2,900.80	11,228.28	37,850.00	26,621.72	29.7
10-58-13 EMPLOYEE BENEFITS	1,472.49	5,860.84	20,800.00	14,939.16	28.2
10-58-14 OVERTIME WAGES	.00	.00	2,000.00	2,000.00	.0
10-58-21 BOOKS, SUBSCRIPTIONS & MEMBERS	.00	.00	500.00	500.00	.0
10-58-24 OFFICE SUPPLIES & POSTAGE	.00	.00	500.00	500.00	.0
10-58-28 TELEPHONE	45.00	180.00	1,000.00	820.00	18.0
10-58-29 CONTRACT/BUILDING INSPECTOR	8,103.52	19,982.57	90,000.00	70,017.43	22.2
10-58-51 INSURANCE & SURETY BONDS	.00	8,689.74	10,000.00	1,310.26	86.9
10-58-65 BUILDING PERMIT SURCHARGE	872.37	872.37	2,500.00	1,627.63	34.9
TOTAL BUILDING INSPECTION	13,394.18	46,813.80	165,150.00	118,336.20	28.4

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PLANNING & ZONING</u>					
10-59-11 SALARIES & WAGES	9,222.55	35,825.52	115,700.00	79,874.48	31.0
10-59-13 EMPLOYEE BENEFITS	4,704.92	18,702.75	57,900.00	39,197.25	32.3
10-59-14 OVERTIME WAGES	230.49	966.29	1,000.00	33.71	96.6
10-59-21 BOOKS, SUBSCRIPTIONS & MEMBERS	.00	.00	2,200.00	2,200.00	.0
10-59-23 TRAVEL	.00	.00	1,500.00	1,500.00	.0
10-59-24 OFFICE SUPPLIES & POSTAGE	72.00	423.64	3,000.00	2,576.36	14.1
10-59-30 PROFESSIONAL SERVICES	3,570.50	6,976.25	30,000.00	23,023.75	23.3
10-59-31 LEGAL SERVICES FOR SUBDIVIS	.00	203.00	2,000.00	1,797.00	10.2
10-59-34 EDUCATION	.00	.00	750.00	750.00	.0
TOTAL PLANNING & ZONING	17,800.46	63,097.45	214,050.00	150,952.55	29.5
<u>STREETS</u>					
10-60-11 SALARIES & WAGES	6,746.65	26,986.60	88,500.00	61,513.40	30.5
10-60-13 EMPLOYEE BENEFITS	4,914.83	19,676.32	58,000.00	38,323.68	33.9
10-60-14 OVERTIME WAGES	812.31	3,307.35	11,000.00	7,692.65	30.1
10-60-23 TRAVEL	59.40	435.40	1,000.00	564.60	43.5
10-60-24 OFFICE SUPPLIES & POSTAGE	.00	.00	400.00	400.00	.0
10-60-25 EQUIPMENT-SUPPLIES & MAINTENAN	1,586.47	8,252.51	36,000.00	27,747.49	22.9
10-60-26 STREET SUPPLIES AND MAINTENANC	2,527.18	13,518.36	70,000.00	56,481.64	19.3
10-60-27 UTILITIES	6.11	18.05	500.00	481.95	3.6
10-60-28 TELEPHONE	99.25	312.49	900.00	587.51	34.7
10-60-29 POWER - STREET LIGHTS	4,160.05	12,494.75	50,000.00	37,505.25	25.0
10-60-51 INSURANCE	.00	8,689.74	11,950.00	3,260.26	72.7
10-60-63 OTHER SERVICES	1,300.00	1,300.00	12,000.00	10,700.00	10.8
10-60-64 OTHER EXPENSES	396.64	18,033.68	3,500.00	(14,533.68)	515.3
10-60-73 CAPITAL OUTLAY-OTHER THAN BUIL	.00	4,420.00	200,000.00	195,580.00	2.2
10-60-74 CAPITAL OUTLAY - EQUIPMENT	.00	52,649.33	61,600.00	8,950.67	85.5
TOTAL STREETS	22,608.89	170,094.58	605,350.00	435,255.42	28.1

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>PARKS & RECREATION</u>					
10-70-11 SALARIES & WAGES	4,477.10	15,077.91	46,500.00	31,422.09	32.4
10-70-12 WAGES TEMPORARY EMPLOYEES	2,088.00	14,727.78	28,500.00	13,772.22	51.7
10-70-13 EMPLOYEE BENEFITS	2,585.03	10,927.54	30,100.00	19,172.46	36.3
10-70-14 OVERTIME WAGES	.00	955.37	1,500.00	544.63	63.7
10-70-23 TRAVEL	.00	.00	1,000.00	1,000.00	.0
10-70-24 OFFICE SUPPLIES & POSTAGE	752.65	812.71	1,500.00	687.29	54.2
10-70-25 EQUIPMENT-SUPPLIES & MAINTENAN	628.06	4,854.14	25,000.00	20,145.86	19.4
10-70-26 BUILDING AND GROUNDS SUPPLIES	3,473.57	16,173.11	26,500.00	10,326.89	61.0
10-70-27 UTILITIES	4,883.33	19,100.52	19,500.00	399.48	98.0
10-70-28 TELEPHONE	91.75	282.49	1,000.00	717.51	28.3
10-70-51 INSURANCE & SURETY BONDS	118.92	8,808.66	1,500.00	(7,308.66)	587.2
10-70-59 DEER POPULATION CONTROL	.00	.00	40,000.00	40,000.00	.0
10-70-60 RODEO	658.30	35,245.64	25,000.00	(10,245.64)	141.0
10-70-64 OTHER EXPENSES	5,900.40	5,900.40	19,000.00	13,099.60	31.1
10-70-65 ALPINE DAYS	5,941.53	133,068.32	134,450.00	1,381.68	99.0
10-70-67 MOYLE PARK	680.82	1,653.48	9,000.00	7,346.52	18.4
10-70-68 LIBRARY	520.00	3,992.00	11,500.00	7,508.00	34.7
10-70-69 YOUTH COUNCIL	557.87	557.87	5,500.00	4,942.13	10.1
10-70-70 BOOK MOBILE	.00	13,200.00	13,200.00	.00	100.0
10-70-71 TRAILS	.00	.00	5,000.00	5,000.00	.0
TOTAL PARKS & RECREATION	33,357.33	285,337.94	445,250.00	159,912.06	64.1
<u>CEMETERY</u>					
10-77-11 SALARIES & WAGES	4,477.10	15,077.89	46,500.00	31,422.11	32.4
10-77-12 WAGES TEMPORARY EMPLOYEE	2,088.00	14,727.72	28,500.00	13,772.28	51.7
10-77-13 EMPLOYEE BENEFITS	2,584.95	10,926.93	30,100.00	19,173.07	36.3
10-77-14 OVERTIME WAGES	.00	955.35	2,000.00	1,044.65	47.8
10-77-23 TRAVEL	.00	.00	500.00	500.00	.0
10-77-24 OFFICE SUPPLIES & POSTAGE	.00	.00	250.00	250.00	.0
10-77-25 EQUIPMENT-SUPPLIES & MAINTENAN	277.31	2,339.11	12,000.00	9,660.89	19.5
10-77-26 BUILDING AND GROUNDS	937.29	4,961.77	12,000.00	7,038.23	41.4
10-77-27 CEMETERY PAVING	446.57	1,786.28	.00	(1,786.28)	.0
10-77-28 TELEPHONE	40.00	160.00	850.00	690.00	18.8
10-77-51 INSURANCE & SURETY BONDS	.00	8,689.74	10,000.00	1,310.26	86.9
10-77-63 OTHER SERVICES	11.61	35.10	12,000.00	11,964.90	.3
TOTAL CEMETERY	10,862.83	59,659.89	154,700.00	95,040.11	38.6

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

GENERAL FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>GARBAGE</u>					
10-82-11 SALARIES & WAGES	3,036.34	12,804.71	42,500.00	29,695.29	30.1
10-82-13 EMPLOYEE BENEFITS	2,031.01	8,451.28	26,300.00	17,848.72	32.1
10-82-14 OVERTIME WAGES	.00	368.26	.00	(368.26)	.0
10-82-24 OFFICE SUPPLIES & POSTAGE	364.18	1,077.47	3,600.00	2,522.53	29.9
10-82-28 TELEPHONE	7.50	35.65	.00	(35.65)	.0
10-82-31 PROFESSIONAL & TECHNICAL	300.00	1,750.00	4,800.00	3,050.00	36.5
10-82-34 TECHNOLOGY UPDATE	504.60	1,662.69	5,000.00	3,337.31	33.3
10-82-61 TIPPING FEES	10,178.75	32,670.50	110,000.00	77,329.50	29.7
10-82-62 WASTE PICKUP CONTRACT	27,721.95	82,958.57	300,000.00	217,041.43	27.7
10-82-64 OTHER EXPENSES	260.21	1,020.84	2,000.00	979.16	51.0
TOTAL GARBAGE	44,404.54	142,799.97	494,200.00	351,400.03	28.9
<u>MISCELLANEOUS</u>					
10-99-25 TECHNOLOGY UPGRADE	505.25	1,664.75	15,000.00	13,335.25	11.1
10-99-80 TRANSFER TO CAPITAL IMP FUND	.00	.00	471,545.00	471,545.00	.0
10-99-82 EMERGENCY PREP	60.00	60.00	5,000.00	4,940.00	1.2
TOTAL MISCELLANEOUS	565.25	1,724.75	491,545.00	489,820.25	.4
TOTAL FUND EXPENDITURES	393,714.07	1,955,243.67	5,654,151.00	3,698,907.33	34.6
NET REVENUE OVER EXPENDITURES	(49,253.18)	(754,885.53)	.00	754,885.53	.0

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

CLASS C ROADS

<u>ASSETS</u>			
11-1190	CASH - ALLOCATION FROM GENERAL		801,992.25
	TOTAL ASSETS		<u>801,992.25</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
11-2980	BALANCE BEGINNING OF YEAR	1,109,618.59	
	REVENUE OVER EXPENDITURES - YTD	<u>(307,626.34)</u>	
	BALANCE - CURRENT DATE		<u>801,992.25</u>
	TOTAL FUND EQUITY		<u>801,992.25</u>
	TOTAL LIABILITIES AND EQUITY		<u>801,992.25</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

CLASS C ROADS

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
11-33-56 B&C ROAD FUND ALLOTMENT	.00	59,596.42	425,000.00	365,403.58	14.0
TOTAL SOURCE 33	.00	59,596.42	425,000.00	365,403.58	14.0
<u>INTEREST AND MISC REVENUE</u>					
11-38-10 INTEREST EARNINGS	.00	.00	18,000.00	18,000.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	18,000.00	18,000.00	.0
<u>TRANSFERS AND CONTRIBUTIONS</u>					
11-39-10 FUND BALANCE APPROPRIATION	.00	.00	227,000.00	227,000.00	.0
TOTAL TRANSFERS AND CONTRIBUTIONS	.00	.00	227,000.00	227,000.00	.0
TOTAL FUND REVENUE	.00	59,596.42	670,000.00	610,403.58	8.9

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

CLASS C ROADS

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
11-60-70 CLASS C ROAD FUND	186,973.69	367,222.76	670,000.00	302,777.24	54.8
TOTAL DEPARTMENT 60	186,973.69	367,222.76	670,000.00	302,777.24	54.8
TOTAL FUND EXPENDITURES	186,973.69	367,222.76	670,000.00	302,777.24	54.8
NET REVENUE OVER EXPENDITURES	(186,973.69)	(307,626.34)	.00	307,626.34	.0

ALPINE CITY CORPORATION
 BALANCE SHEET
 OCTOBER 31, 2019

RECREATION IMPACT FEES

<u>ASSETS</u>			
15-1190	CASH - ALLOCATION FROM GENERAL		734,455.36
	TOTAL ASSETS		<u>734,455.36</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
15-2831	RESERVE-IMP RECREATION		571,085.62
UNAPPROPRIATED FUND BALANCE:			
15-2980	BALANCE BEGINNING OF YEAR	192,301.77	
	REVENUE OVER EXPENDITURES - YTD	<u>(28,932.03)</u>	
	BALANCE - CURRENT DATE		<u>163,369.74</u>
	TOTAL FUND EQUITY		<u>734,455.36</u>
	TOTAL LIABILITIES AND EQUITY		<u>734,455.36</u>

ALPINE CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

RECREATION IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
15-37-31 RECREATION FACILITY FEES	.00	43,008.00	115,000.00	71,992.00	37.4
TOTAL OPERATING REVENUES	.00	43,008.00	115,000.00	71,992.00	37.4
<u>INTEREST AND MISC REVENUE</u>					
15-38-10 INTEREST EARNINGS	.00	.00	15,000.00	15,000.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	15,000.00	15,000.00	.0
<u>TRANSFERS AND CONTRIBUTIONS</u>					
15-39-10 FUND BALANCE APPROPRIATION	.00	.00	70,000.00	70,000.00	.0
TOTAL TRANSFERS AND CONTRIBUTIONS	.00	.00	70,000.00	70,000.00	.0
TOTAL FUND REVENUE	.00	43,008.00	200,000.00	156,992.00	21.5

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

RECREATION IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
15-40-31 PARK SYSTEM	71,940.03	71,940.03	200,000.00	128,059.97	36.0
TOTAL EXPENDITURES	71,940.03	71,940.03	200,000.00	128,059.97	36.0
TOTAL FUND EXPENDITURES	71,940.03	71,940.03	200,000.00	128,059.97	36.0
NET REVENUE OVER EXPENDITURES	(71,940.03)	(28,932.03)	.00	28,932.03	.0

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

STREET IMPACT FEES

<u>ASSETS</u>			
16-1190	CASH - ALLOCATION FROM GENERAL		341,316.58
	TOTAL ASSETS		<u>341,316.58</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
	UNAPPROPRIATED FUND BALANCE:		
16-2980	BALANCE BEGINNING OF YEAR	322,383.46	
	REVENUE OVER EXPENDITURES - YTD	<u>18,933.12</u>	
	BALANCE - CURRENT DATE		<u>341,316.58</u>
	TOTAL FUND EQUITY		<u>341,316.58</u>
	TOTAL LIABILITIES AND EQUITY		<u>341,316.58</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

STREET IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
16-37-21 STREETS & TRANSPORTATION FEES	.00	18,933.12	105,000.00	86,066.88	18.0
TOTAL OPERATING REVENUES	.00	18,933.12	105,000.00	86,066.88	18.0
TOTAL FUND REVENUE	.00	18,933.12	105,000.00	86,066.88	18.0

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

STREET IMPACT FEES

		PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>						
16-40-21	STREET & TRANSPORT EXPENSES	.00	.00	105,000.00	105,000.00	.0
	TOTAL EXPENDITURES	.00	.00	105,000.00	105,000.00	.0
	TOTAL FUND EXPENDITURES	.00	.00	105,000.00	105,000.00	.0
	NET REVENUE OVER EXPENDITURES	.00	18,933.12	.00	(18,933.12)	.0

ALPINE CITY CORPORATION
BALANCE SHEET
OCTOBER 31, 2019

CAPITAL IMPROVEMENTS FUND

<u>ASSETS</u>			
45-1190	CASH - ALLOCATION TO OTHER FUN	2,731,073.45	
	TOTAL ASSETS		<u>2,731,073.45</u>
<u>LIABILITIES AND EQUITY</u>			
<u>LIABILITIES</u>			
45-2124	OTHER BONDS	36,000.00	
45-2140	INFRA PROTECTION BONDS	801,819.09	
45-2147	OPEN SPACE BOND	97,000.00	
45-2150	RESTRICTED FOR ROADS	119,691.00	
45-2152	MOYLE PARK DONATIONS	5,212.00	
45-2155	DONATION/LAMBERT PARK	121,014.22	
	TOTAL LIABILITIES		1,180,736.31
<u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
45-2960	EQUIPMENT REPLACEMENT	151,529.36	
45-2980	BALANCE BEGINNING OF YEAR	1,421,644.51	
	REVENUE OVER EXPENDITURES - YTD	(22,836.73)	
	BALANCE - CURRENT DATE		<u>1,550,337.14</u>
	TOTAL FUND EQUITY		<u>1,550,337.14</u>
	TOTAL LIABILITIES AND EQUITY		<u>2,731,073.45</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

CAPITAL IMPROVEMENTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>INTEREST AND MISC REVENUE</u>					
45-38-10 INTEREST REVENUE	.00	.00	15,000.00	15,000.00	.0
45-38-16 CONTRIBUTION FROM BUILDERS	.00	12,424.96	.00	(12,424.96)	.0
45-38-17 MISCELLANEOUS REVENUE	.00	4,089.00	.00	(4,089.00)	.0
TOTAL INTEREST AND MISC REVENUE	.00	16,513.96	15,000.00	(1,513.96)	110.1
<u>TRANSFERS AND CONTRIBUTIONS</u>					
45-39-11 CAPITOL IMPROVEMENTS FUND SURP	.00	.00	389,000.00	389,000.00	.0
TOTAL TRANSFERS AND CONTRIBUTIONS	.00	.00	389,000.00	389,000.00	.0
TOTAL FUND REVENUE	.00	16,513.96	404,000.00	387,486.04	4.1

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

CAPITAL IMPROVEMENTS FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
45-40-72 CAPITAL OUTLAY - OTHER	32,913.59	39,350.69	377,500.00	338,149.31	10.4
45-40-74 CAPITAL OUTLAY - EQUIPMENT	.00	.00	26,500.00	26,500.00	.0
TOTAL EXPENDITURES	<u>32,913.59</u>	<u>39,350.69</u>	<u>404,000.00</u>	<u>364,649.31</u>	<u>9.7</u>
TOTAL FUND EXPENDITURES	<u>32,913.59</u>	<u>39,350.69</u>	<u>404,000.00</u>	<u>364,649.31</u>	<u>9.7</u>
NET REVENUE OVER EXPENDITURES	<u>(32,913.59)</u>	<u>(22,836.73)</u>	<u>.00</u>	<u>22,836.73</u>	<u>.0</u>

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

WATER FUND

ASSETS

51-1190	CASH - ALLOCATION FROM GENERAL	2,500,617.26	
51-1311	WATER ACCOUNTS RECEIVABLE	58,118.61	
51-1314	ALLOWANCE FOR DOUBTFUL ACCOUNT	(1,758.43)	
51-1598	INVESTMENT IN WATER STOCK	73,400.00	
51-1610	DEFERRED OUTFLOWS-PENSIONS	49,974.00	
51-1611	LAND	219,000.00	
51-1621	BUILDING	169,102.63	
51-1622	ALLOWANCE FOR DEPRECIATION-BUI	(123,982.93)	
51-1631	IMPROVEMENTS OTHER THAN BUILDI	13,952,834.79	
51-1632	ALLOWANCE FOR DEPRECIATION-IMP	(5,095,536.10)	
51-1651	MACHINERY AND EQUIPMENT	1,158,241.43	
51-1652	ALLOWANCE FOR DEPR'N-MACH & EQ	(344,464.70)	
	TOTAL ASSETS		<u>12,615,546.56</u>

LIABILITIES AND EQUITYLIABILITIES

51-2151	UTILITY DEPOSIT	34,000.00	
51-2171	PROFESS & TECH SERVICES TBP	13,346.82	
51-2230	ST COMPENSATED ABSENCES	2,181.32	
51-2290	NET PENSION LIABILITY	95,364.00	
51-2410	DEFERRED INFLOWS-PENSIONS	6,346.00	
51-2530	LT COMPENSATED ABSENCES	205.00	
	TOTAL LIABILITIES		151,443.14

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
51-2980	BEGINNING OF YEAR	12,314,707.02	
	REVENUE OVER EXPENDITURES - YTD	149,396.40	
	BALANCE - CURRENT DATE	12,464,103.42	
	TOTAL FUND EQUITY		<u>12,464,103.42</u>
	TOTAL LIABILITIES AND EQUITY		<u>12,615,546.56</u>

ALPINE CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
51-37-11 METERED WATER SALES	61,070.78	288,092.71	725,000.00	436,907.29	39.7
51-37-12 OTHER WATER REVENUE	3,120.20	5,133.38	12,500.00	7,366.62	41.1
51-37-16 WATER CONNECTION FEE	920.00	9,570.00	17,500.00	7,930.00	54.7
51-37-17 PENALTIES	544.53	2,232.33	5,500.00	3,267.67	40.6
TOTAL OPERATING REVENUES	65,655.51	305,028.42	760,500.00	455,471.58	40.1
<u>INTEREST AND MISC REVENUE</u>					
51-38-10 INTEREST EARNINGS	.00	.00	32,500.00	32,500.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	32,500.00	32,500.00	.0
<u>TRANSFERS AND CONTRIBUTIONS</u>					
51-39-11 UNAPPROPRIATED FUND EQUITY	.00	.00	238,500.00	238,500.00	.0
TOTAL TRANSFERS AND CONTRIBUTIONS	.00	.00	238,500.00	238,500.00	.0
TOTAL FUND REVENUE	65,655.51	305,028.42	1,031,500.00	726,471.58	29.6

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

WATER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>WATER EXPENDITURES</u>					
51-80-11 SALARIES & WAGES	9,950.46	40,247.24	132,000.00	91,752.76	30.5
51-80-13 EMPLOYEE BENEFITS	6,954.22	28,100.93	82,700.00	54,599.07	34.0
51-80-14 OVERTIME WAGES	812.31	3,675.61	11,000.00	7,324.39	33.4
51-80-21 BOOKS, SUBSCRIPTIONS & MEMBERS	.00	.00	2,500.00	2,500.00	.0
51-80-23 TRAVEL	59.40	435.40	3,000.00	2,564.60	14.5
51-80-24 OFFICE SUPPLIES & POS	1,137.31	7,441.29	13,000.00	5,558.71	57.2
51-80-25 EQUIPMENT-SUPPLIES & MAINTENAN	1,474.32	4,570.11	21,000.00	16,429.89	21.8
51-80-26 BUILDING AND GROUNDS SUPPLIES	650.98	15,589.49	35,000.00	19,410.51	44.5
51-80-27 UTILITIES	2,188.33	11,089.48	25,000.00	13,910.52	44.4
51-80-28 TELEPHONE	190.07	631.10	2,000.00	1,368.90	31.6
51-80-31 PROFESSIONAL & TECHNICAL SERVI	1,021.44	7,854.68	18,900.00	11,045.32	41.6
51-80-33 EDUCATION	.00	.00	1,000.00	1,000.00	.0
51-80-34 TECHNOLOGY UPDATE	505.25	1,664.75	10,000.00	8,335.25	16.7
51-80-35 DEPRECIATION EXPENSE	.00	.00	255,000.00	255,000.00	.0
51-80-51 INSURANCE AND SURETY BONDS	.00	8,689.74	10,900.00	2,210.26	79.7
51-80-62 MISCELLANEOUS SERVICES	2,621.41	7,612.92	33,000.00	25,387.08	23.1
51-80-63 OTHER EXPENSES	2,882.82	9,579.28	15,000.00	5,420.72	63.9
51-80-72 CAPITAL OUTLAY - BUILDINGS	.00	.00	25,000.00	25,000.00	.0
51-80-73 CAPITOL OUTLAY - IMPROVEMENTS	6,520.00	6,950.00	325,000.00	318,050.00	2.1
51-80-74 CAPITAL OUTLAY - EQUIPMENT	.00	1,500.00	10,500.00	9,000.00	14.3
TOTAL WATER EXPENDITURES	36,968.32	155,632.02	1,031,500.00	875,867.98	15.1
TOTAL FUND EXPENDITURES	36,968.32	155,632.02	1,031,500.00	875,867.98	15.1
NET REVENUE OVER EXPENDITURES	28,687.19	149,396.40	.00	(149,396.40)	.0

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

SEWER FUND

ASSETS

52-1190	CASH - ALLOCATION TO OTHER FUN	2,355,723.70	
52-1312	SEWER ACCOUNTS RECEIVABLE	93,200.93	
52-1314	ALLOWANCE FOR DOUBTFUL ACCOUNT	(2,500.00)	
52-1610	DEFERRED OUTFLOWS-PENSIONS	46,116.00	
52-1611	LAND	21,072.00	
52-1621	BUILDING	45,971.00	
52-1622	ALLOWANCE FOR DEPRECIATION-BUI	(38,066.22)	
52-1631	IMPROVEMENTS OTHER THAN BUILDI	7,581,524.12	
52-1632	ALLOWANCE FOR DEPRECIATION-IMP	(2,796,461.80)	
52-1651	MACHINERY AND EQUIPMENT	276,090.93	
52-1652	ALLOWANCE FOR DEPR'N-MACH & EQ	(186,272.83)	
	TOTAL ASSETS		<u>7,396,397.83</u>

LIABILITIES AND EQUITYLIABILITIES

52-2230	ST COMPENSATED ABSENCES	22,929.00	
52-2290	NET PENSION LIABILITY	88,002.00	
52-2300	TSSD CLEARING ACCOUNT	5,124.00	
52-2410	DEFERRED INFLOWS-PENSIONS	5,856.00	
52-2530	LT COMPENSATED ABSENCES	2,097.00	
	TOTAL LIABILITIES		124,008.00

FUND EQUITY

	UNAPPROPRIATED FUND BALANCE:		
52-2980	BALANCE BEGINNING OF YEAR	7,197,516.52	
	REVENUE OVER EXPENDITURES - YTD	74,873.31	
	BALANCE - CURRENT DATE		<u>7,272,389.83</u>
	TOTAL FUND EQUITY		<u>7,272,389.83</u>
	TOTAL LIABILITIES AND EQUITY		<u>7,396,397.83</u>

ALPINE CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
52-37-11 SEWER SYSTEM USAGE SALES	83,667.76	334,679.83	1,025,000.00	690,320.17	32.7
52-37-12 OTHER REVENUE	.00	.00	10,000.00	10,000.00	.0
52-37-16 SEWER CONNECTION FEE	250.00	2,375.00	5,000.00	2,625.00	47.5
TOTAL OPERATING REVENUES	83,917.76	337,054.83	1,040,000.00	702,945.17	32.4
<u>INTEREST AND MISC REVENUE</u>					
52-38-10 INTEREST EARNINGS	.00	.00	20,000.00	20,000.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	20,000.00	20,000.00	.0
<u>TRANSFERS AND CONTRIBUTIONS</u>					
52-39-11 UNAPPROPRIATED FUND EQUITY	.00	.00	36,250.00	36,250.00	.0
TOTAL TRANSFERS AND CONTRIBUTIONS	.00	.00	36,250.00	36,250.00	.0
TOTAL FUND REVENUE	83,917.76	337,054.83	1,096,250.00	759,195.17	30.8

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

SEWER FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>SEWER EXPENDITURES</u>					
52-81-11 SALARIES & WAGES	9,950.46	40,247.24	132,000.00	91,752.76	30.5
52-81-13 EMPLOYEE BENEFITS	6,956.31	28,109.29	82,750.00	54,640.71	34.0
52-81-14 OVERTIME WAGES	812.31	3,675.61	10,500.00	6,824.39	35.0
52-81-23 TRAVEL	59.40	435.40	2,500.00	2,064.60	17.4
52-81-24 OFFICE SUPPLIES & POSTAGE	3,847.77	6,871.54	12,000.00	5,128.46	57.3
52-81-25 EQUIPMENT-SUPPLIES & MAINTENAN	.00	2,001.61	10,000.00	7,998.39	20.0
52-81-26 BUILDING AND GROUND SUPPLIES	1,567.88	4,482.92	12,000.00	7,517.08	37.4
52-81-27 UTILITIES	41.53	135.64	500.00	364.36	27.1
52-81-28 TELEPHONE	150.80	525.77	4,250.00	3,724.23	12.4
52-81-31 PROFESSIONAL & TECHNICAL	300.00	1,750.00	8,000.00	6,250.00	21.9
52-81-34 TECHNOLOGY UPDATE	505.25	2,432.22	6,000.00	3,567.78	40.5
52-81-35 DEPRECIATION EXPENSE	.00	.00	130,000.00	130,000.00	.0
52-81-62 TIMPANOGOS SPECIAL SERVICE DIS	43,192.17	136,206.02	598,250.00	462,043.98	22.8
52-81-64 OTHER EXPENSES	80.88	9,013.26	12,000.00	2,986.74	75.1
52-81-73 CAPITAL OUTLAY-IMPROVEMENTS	13,885.00	24,795.00	65,000.00	40,205.00	38.2
52-81-74 CAPITAL OUTLAY - EQUIPMENT	.00	1,500.00	10,500.00	9,000.00	14.3
TOTAL SEWER EXPENDITURES	81,349.76	262,181.52	1,096,250.00	834,068.48	23.9
TOTAL FUND EXPENDITURES	81,349.76	262,181.52	1,096,250.00	834,068.48	23.9
NET REVENUE OVER EXPENDITURES	2,568.00	74,873.31	.00	(74,873.31)	.0

ALPINE CITY CORPORATION
BALANCE SHEET
OCTOBER 31, 2019

PRESSURIZED IRRIGATION FUND

ASSETS

55-1190	CASH - ALLOCATION TO OTHER FUN	915,792.43	
55-1284	CASH - 2010 BOND FUND #418	116.34	
55-1311	ACCOUNTS RECEIVABLE	88,767.21	
55-1314	ALLOWANCE FOR DOUBTFUL ACCOUNT	(2,363.11)	
55-1610	DEFERRED OUTFLOWS-PENSIONS	31,791.00	
55-1631	PRESSURIZED IRRIGATION SYSTEM	13,269,617.68	
55-1632	ACCUMULATION DEPRECIATION-IMPR	(3,589,914.47)	
55-1651	MACHINERY AND EQUIPMENT	316,319.05	
55-1652	ALLOWANCE FOR DEPR'N-MACH & EQ	(169,590.60)	
55-1910	DEFERED AMOUNT ON REFUNDING	186,355.02	
	TOTAL ASSETS		11,046,890.55

LIABILITIES AND EQUITY

LIABILITIES

55-2141	ACCRUED INTEREST PAYABLE	23,795.00	
55-2171	ESCROW FT CREEK BOOSTER DESIGN	894.42	
55-2230	ST COMPENSATED ABSENCES	4,945.53	
55-2290	NET PENSION LIABILITY	60,666.00	
55-2410	DEFERRED INFLOWS-PENSIONS	4,037.00	
55-2511	CURRENT PORTION OF BONDS	375,000.00	
55-2531	BOND - 2010 WATER REFUNDING	2,500,000.00	
55-2540	LT COMPENSATED ABSENCES	123.00	
	TOTAL LIABILITIES		2,969,460.95

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
55-2980	BALANCE BEGINNING OF YEAR	8,515,485.55	
	REVENUE OVER EXPENDITURES - YTD	(438,055.95)	
	BALANCE - CURRENT DATE		8,077,429.60
	TOTAL FUND EQUITY		8,077,429.60
	TOTAL LIABILITIES AND EQUITY		11,046,890.55

ALPINE CITY CORPORATION
REVENUES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

PRESSURIZED IRRIGATION FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>INTERGOVERNMENTAL REVENUE</u>					
55-33-20 PI IRRIGATION GRANT PROJECT	.00	.00	1,420,841.00	1,420,841.00	.0
TOTAL INTERGOVERNMENTAL REVENUE	.00	.00	1,420,841.00	1,420,841.00	.0
<u>OPERATING REVENUES</u>					
55-37-11 IRRIGATION WATER SALES	80,203.54	319,840.87	900,000.00	580,159.13	35.5
55-37-12 OTHER REVENUE	.00	.00	1,000.00	1,000.00	.0
55-37-16 PRESSURIZED CONNECTION FEE	3,527.74	18,758.90	15,000.00	(3,758.90)	125.1
TOTAL OPERATING REVENUES	83,731.28	338,599.77	916,000.00	577,400.23	37.0
<u>INTEREST AND MISC REVENUE</u>					
55-38-10 INTEREST EARNINGS	101.79	117.11	20,000.00	19,882.89	.6
TOTAL INTEREST AND MISC REVENUE	101.79	117.11	20,000.00	19,882.89	.6
<u>TRANSFERS AND CONTRIBUTIONS</u>					
55-39-11 UNAPPROPRIATED FUND EQUITY	.00	.00	374,368.00	374,368.00	.0
TOTAL TRANSFERS AND CONTRIBUTIONS	.00	.00	374,368.00	374,368.00	.0
TOTAL FUND REVENUE	83,833.07	338,716.88	2,731,209.00	2,392,492.12	12.4

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

PRESSURIZED IRRIGATION FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
55-40-11 SALARIES & WAGES, ADMINISTRATI	8,462.92	34,297.28	112,500.00	78,202.72	30.5
55-40-13 EMPLOYEE BENEFITS	6,117.68	24,754.47	72,500.00	47,745.53	34.1
55-40-14 OVERTIME WAGES	812.28	3,675.49	13,000.00	9,324.51	28.3
55-40-23 TRAVEL	59.40	435.40	1,200.00	764.60	36.3
55-40-25 EQUIPMENT - SUPPLIES & MAINTEN	1,280.03	11,261.92	58,000.00	46,738.08	19.4
55-40-26 BUILDING & GROUNDS SUPPLIES	318.24	5,659.21	12,000.00	6,340.79	47.2
55-40-27 UTILITIES	27,672.56	67,538.47	225,000.00	157,461.53	30.0
55-40-28 TELEPHONE	120.39	404.08	1,500.00	1,095.92	26.9
55-40-29 OFFICE SUPPLIES & POSTAGE	1,205.44	2,244.63	12,000.00	9,755.37	18.7
55-40-31 PROFESSIONAL & TECHNICAL SERVI	150.00	2,649.49	5,000.00	2,350.51	53.0
55-40-32 ENGINEER SERVICES	.00	.00	10,000.00	10,000.00	.0
55-40-33 TECHNOLOGY UPDATE	505.25	1,664.75	.00	(1,664.75)	.0
55-40-34 ANNUAL AUDIT - UTAH WATER	.00	.00	8,000.00	8,000.00	.0
55-40-35 DEPRECIATION EXPENSE	.00	.00	223,704.00	223,704.00	.0
55-40-51 INSURANCE & SURETY BONDS	.00	8,689.74	12,000.00	3,310.26	72.4
55-40-62 MISCELLANEOUS SERVICES	2,702.89	7,447.70	33,000.00	25,552.30	22.6
55-40-63 OTHER EXPENSES	995.24	1,578.87	1,500.00	(78.87)	105.3
55-40-73 CAPITAL OUTLAY	.00	.00	150,000.00	150,000.00	.0
55-40-74 CAPITAL OUTLAY - EQUIPMENT	.00	1,500.00	10,500.00	9,000.00	14.3
55-40-75 IRRIGATION METER REPLACEMENT	51,721.60	178,381.33	400,000.00	221,618.67	44.6
55-40-79 AGENTS FEES	.00	.00	2,500.00	2,500.00	.0
55-40-80 TRUSTEE FEES	.00	2,000.00	2,000.00	.00	100.0
55-40-84 BOND INTEREST #8938222	47,590.00	47,590.00	.00	(47,590.00)	.0
55-40-86 BOND PRINCIPAL #0352418	375,000.00	375,000.00	375,000.00	.00	100.0
55-40-87 BOND INTEREST #0352418	.00	.00	90,305.00	90,305.00	.0
TOTAL EXPENDITURES	524,713.92	776,772.83	1,831,209.00	1,054,436.17	42.4
TOTAL FUND EXPENDITURES	524,713.92	776,772.83	1,831,209.00	1,054,436.17	42.4
NET REVENUE OVER EXPENDITURES	(440,880.85)	(438,055.95)	900,000.00	1,338,055.95	(48.7)

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

STORM DRAIN FUND

ASSETS

56-1190	CASH - ALLOCATION TO OTHER FUN	677,368.96	
56-1313	STORM DRAIN ACCTS RECEIVABLE	15,985.36	
56-1314	ALLOWANCE FOR DOUBTFUL ACCOUNT	(2,381.89)	
56-1610	DEFERRED OUTFLOWS-PENSIONS	12,411.00	
56-1611	LAND	216,055.23	
56-1631	STORM DRAIN IMPROVEMENTS	5,615,755.64	
56-1632	ALLOWANCE FOR DEPRECIATION	(1,329,846.29)	
	TOTAL ASSETS		5,205,348.01

LIABILITIES AND EQUITYLIABILITIES

56-2230	ST COMPENSATED ABSENCES	7,308.00	
56-2290	NET PENSION LIABILITY	23,684.00	
56-2410	DEFERRED INFLOWS-PENSIONS	1,576.00	
56-2530	LT COMPENSATED ABSENCES	687.00	
	TOTAL LIABILITIES		33,255.00

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
56-2920	CONTRA IMPACT FEE	164,127.13	
56-2980	BALANCE BEGINNING OF YEAR	5,006,267.40	
	REVENUE OVER EXPENDITURES - YTD	1,698.48	
	BALANCE - CURRENT DATE	5,172,093.01	
	TOTAL FUND EQUITY		5,172,093.01
	TOTAL LIABILITIES AND EQUITY		5,205,348.01

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

STORM DRAIN FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
56-37-11 STORM DRAIN REVENUE	15,030.22	59,960.72	175,000.00	115,039.28	34.3
56-37-12 OTHER REVENUE	.00	.00	1,000.00	1,000.00	.0
56-37-13 SWPP FEE	600.00	5,400.00	10,000.00	4,600.00	54.0
TOTAL OPERATING REVENUES	15,630.22	65,360.72	186,000.00	120,639.28	35.1
<u>INTEREST AND MISC REVENUE</u>					
56-38-10 INTEREST EARNINGS	.00	.00	8,000.00	8,000.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	8,000.00	8,000.00	.0
<u>SOURCE 39</u>					
56-39-12 UNAPPROPRIATED FUND EQUITY	.00	.00	105,650.00	105,650.00	.0
TOTAL SOURCE 39	.00	.00	105,650.00	105,650.00	.0
TOTAL FUND REVENUE	15,630.22	65,360.72	299,650.00	234,289.28	21.8

ALPINE CITY CORPORATION
EXPENDITURES WITH COMPARISON TO BUDGET
FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

STORM DRAIN FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
56-40-11 SALARIES & WAGES, ADMINISTRATI	3,403.70	13,400.79	43,500.00	30,099.21	30.8
56-40-13 EMPLOYEE BENEFITS	2,255.86	8,963.26	27,500.00	18,536.74	32.6
56-40-20 PLANNING	.00	.00	500.00	500.00	.0
56-40-21 BOOKS, SUBSCRIPTIONS & MEMBERS	.00	125.00	2,000.00	1,875.00	6.3
56-40-23 TRAVEL	59.40	435.40	650.00	214.60	67.0
56-40-24 OFFICE SUPPLIES & POSTAGE	.00	.00	2,500.00	2,500.00	.0
56-40-26 BUILDING & GROUND SUPPLIES	15.99	80.74	4,500.00	4,419.26	1.8
56-40-27 STORM DRAIN UTILITIES	45.27	181.08	.00	(181.08)	.0
56-40-34 TECHNOLOGY UPDATE	505.25	1,664.75	5,000.00	3,335.25	33.3
56-40-35 DEPRECIATION EXPENSE	.00	.00	83,500.00	83,500.00	.0
56-40-51 INSURANCE	.00	8,689.70	10,000.00	1,310.30	86.9
56-40-62 MISCELLANEOUS SERVICES	1,593.88	4,376.52	10,000.00	5,623.48	43.8
56-40-73 CAPITAL OUTLAY	.00	25,745.00	110,000.00	84,255.00	23.4
TOTAL EXPENDITURES	<u>7,879.35</u>	<u>63,662.24</u>	<u>299,650.00</u>	<u>235,987.76</u>	<u>21.3</u>
TOTAL FUND EXPENDITURES	<u>7,879.35</u>	<u>63,662.24</u>	<u>299,650.00</u>	<u>235,987.76</u>	<u>21.3</u>
NET REVENUE OVER EXPENDITURES	<u><u>7,750.87</u></u>	<u><u>1,698.48</u></u>	<u><u>.00</u></u>	<u><u>(1,698.48)</u></u>	<u><u>.0</u></u>

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

TRUST AND AGENCY FUND

ASSETS

70-1190	CASH - ALLOCATION TO OTHER FUN	299,400.79	
	TOTAL ASSETS		299,400.79

LIABILITIES AND EQUITYLIABILITIES

70-2422	CASH BOND TERRY PEARCE SITE	1,007.20	
70-2425	ESCROW BOND 1095 E WATKINS LN	880.00	
70-2430	ESCROW RIDGE DRIVE SIDEWALK	1,323.00	
70-2432	ESCROW 648 N PATTERSON LN C&G	2,400.00	
70-2445	CASH BOND FOR NORTH GROVE DR	11,866.20	
70-2446	BOND FOR BURGESS PL SIDEWALK	400.00	
70-2449	RED DEER CONSTRUCTION	6,312.00	
70-2450	PERRY/APPLE CREEK ACRES	84.00	
70-2451	ALPINE ACRES PLAT C C&G	2,240.00	
70-2453	CARL PACK STREET ESCROW	12,279.17	
70-2454	JOANN PACK STREET ESCROW	12,198.38	
70-2455	WAYNE PACK STREET ESCROW	12,198.38	
70-2456	LORRAINE WALZ STREET ESCROW	13,727.00	
70-2457	JONES SITE PLAN 253 N 200 E	547.00	
70-2458	VINTAGE PLACE B	845.00	
70-2461	CONRAD'S LANDING	48,764.99	
70-2500	RIDGE AT ALPINE COVE NORTH	26,881.71	
70-2501	RIDGE AT ALPINE COVE SOUTH	42,949.91	
70-2538	WILLIS BECKSTEAD - WATER MAIN	280.61	
70-2544	DON ROGERS - FORT CANYON	1,291.31	
70-2545	DON ROGERS - FORT CANYON	12,918.62	
70-2572	BOND FOR JAMES MOYLE	3,010.00	
70-2579	BOND FOR RED PINE DRIVE	2,995.00	
70-2586	BOND FOR DAVID PEIRCE 600 S	904.00	
70-2591	BOND FOR RIVER MEADOWS OFC PK	4,012.50	
70-2599	BOND FOR 300 NORTH EXTENTION	10,586.00	
	TOTAL LIABILITIES		232,901.98

FUND EQUITY

70-2600	BOND FOR BECK PINES PLAT A	4,167.30	
70-2602	BOND FOR BECK PINES PLAT C	3,715.54	
70-2610	BOND FOR HERITAGE HILLS	10,800.00	
70-2620	ALPINE WATER TANK HOLE IN WALL	(4,500.00)	
70-2630	ALPINE WATER TANK BLUE ROCK C	4,500.00	
	UNAPPROPRIATED FUND BALANCE:		
70-2980	BALANCE BEGINNING OF YEAR	47,815.97	
	BALANCE - CURRENT DATE	47,815.97	
	TOTAL FUND EQUITY		66,498.81

ALPINE CITY CORPORATION
BALANCE SHEET
OCTOBER 31, 2019

TRUST AND AGENCY FUND

TOTAL LIABILITIES AND EQUITY

299,400.79

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

TRUST AND AGENCY FUND

	<u>PERIOD ACTUAL</u>	<u>YTD ACTUAL</u>	<u>BUDGET</u>	<u>UNEARNED</u>	<u>PCNT</u>
<u>INTEREST AND MISC REVENUE</u>					
70-38-10 INTEREST REVENUE	.00	.00	1,000.00	1,000.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	1,000.00	1,000.00	.0
TOTAL FUND REVENUE	.00	.00	1,000.00	1,000.00	.0

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

TRUST AND AGENCY FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
70-40-64 MISCELLANEOUS EXPENSES	.00	.00	1,000.00	1,000.00	.0
TOTAL EXPENDITURES	.00	.00	1,000.00	1,000.00	.0
TOTAL FUND EXPENDITURES	.00	.00	1,000.00	1,000.00	.0
NET REVENUE OVER EXPENDITURES	.00	.00	.00	.00	.0

ALPINE CITY CORPORATION
BALANCE SHEET
OCTOBER 31, 2019

CEMETERY PERPETUAL CARE FUND

<u>ASSETS</u>		
71-1190	CASH - ALLOCATION TO OTHER FUN	654,487.49
		654,487.49
	TOTAL ASSETS	654,487.49
<u>LIABILITIES AND EQUITY</u>		
<u>FUND EQUITY</u>		
UNAPPROPRIATED FUND BALANCE:		
71-2980	BALANCE BEGINNING OF YEAR	642,634.99
	REVENUE OVER EXPENDITURES - YTD	11,852.50
		11,852.50
	BALANCE - CURRENT DATE	654,487.49
	TOTAL FUND EQUITY	654,487.49
	TOTAL LIABILITIES AND EQUITY	654,487.49

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

CEMETERY PERPETUAL CARE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>INTERGOVERNMENTAL REVENUE</u>					
71-33-56 CEMETERY LOT PAYMENTS	1,477.50	13,297.50	15,000.00	1,702.50	88.7
71-33-58 UPRIGHT MONUMENT	75.00	525.00	2,500.00	1,975.00	21.0
TOTAL INTERGOVERNMENTAL REVENUE	1,552.50	13,822.50	17,500.00	3,677.50	79.0
<u>INTEREST AND MISC REVENUE</u>					
71-38-10 INTEREST REVENUE	.00	.00	2,500.00	2,500.00	.0
TOTAL INTEREST AND MISC REVENUE	.00	.00	2,500.00	2,500.00	.0
TOTAL FUND REVENUE	1,552.50	13,822.50	20,000.00	6,177.50	69.1

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

CEMETERY PERPETUAL CARE FUND

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>EXPENDITURES</u>					
71-40-64 OTHER EXPENSES	.00	1,970.00	20,000.00	18,030.00	9.9
TOTAL EXPENDITURES	.00	1,970.00	20,000.00	18,030.00	9.9
TOTAL FUND EXPENDITURES	.00	1,970.00	20,000.00	18,030.00	9.9
NET REVENUE OVER EXPENDITURES	1,552.50	11,852.50	.00	(11,852.50)	.0

ALPINE CITY CORPORATION
 BALANCE SHEET
 OCTOBER 31, 2019

WATER IMPACT FEES

<u>ASSETS</u>			
81-1190	CASH - ALLOCATION FROM GENERAL		397,781.35
	TOTAL ASSETS		<u>397,781.35</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
	UNAPPROPRIATED FUND BALANCE:		
81-2980	BALANCE BEGINNING OF YEAR	373,676.93	
	REVENUE OVER EXPENDITURES - YTD	<u>24,104.42</u>	
	BALANCE - CURRENT DATE		<u>397,781.35</u>
	TOTAL FUND EQUITY		<u>397,781.35</u>
	TOTAL LIABILITIES AND EQUITY		<u>397,781.35</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

WATER IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
81-37-20 WATER IMPACT FEES	2,246.00	24,706.00	75,000.00	50,294.00	32.9
TOTAL OPERATING REVENUES	2,246.00	24,706.00	75,000.00	50,294.00	32.9
TOTAL FUND REVENUE	2,246.00	24,706.00	75,000.00	50,294.00	32.9

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

WATER IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>IMPACT FEE PROJECTS</u>					
81-80-70 CAPITAL OUTLAY - IMPACT FEE	343.76	601.58	75,000.00	74,398.42	.8
TOTAL IMPACT FEE PROJECTS	343.76	601.58	75,000.00	74,398.42	.8
TOTAL FUND EXPENDITURES	343.76	601.58	75,000.00	74,398.42	.8
NET REVENUE OVER EXPENDITURES	1,902.24	24,104.42	.00	(24,104.42)	.0

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

SEWER IMPACT FEES

<u>ASSETS</u>			
82-1190	CASH - ALLOCATION FROM GENERAL		85,180.30
	TOTAL ASSETS		<u>85,180.30</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
82-2980	BALANCE BEGINNING OF YEAR	76,805.08	
	REVENUE OVER EXPENDITURES - YTD	<u>8,375.22</u>	
	BALANCE - CURRENT DATE		<u>85,180.30</u>
	TOTAL FUND EQUITY		<u>85,180.30</u>
	TOTAL LIABILITIES AND EQUITY		<u>85,180.30</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

SEWER IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
82-37-20 SEWER IMPACT FEES	985.32	8,375.22	20,000.00	11,624.78	41.9
TOTAL OPERATING REVENUES	985.32	8,375.22	20,000.00	11,624.78	41.9
TOTAL FUND REVENUE	985.32	8,375.22	20,000.00	11,624.78	41.9

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

SEWER IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>IMPACT FEE PROJECTS</u>					
82-80-70 CAPITAL OUTLAY - IMPACT FEE	.00	.00	20,000.00	20,000.00	.0
TOTAL IMPACT FEE PROJECTS	.00	.00	20,000.00	20,000.00	.0
TOTAL FUND EXPENDITURES	.00	.00	20,000.00	20,000.00	.0
NET REVENUE OVER EXPENDITURES	985.32	8,375.22	.00	(8,375.22)	.0

ALPINE CITY CORPORATION

BALANCE SHEET

OCTOBER 31, 2019

PI IMPACT FEES

<u>ASSETS</u>			
85-1190	CASH - ALLOCATION FROM GENERAL		212,813.35
	TOTAL ASSETS		<u>212,813.35</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
85-2980	BALANCE BEGINNING OF YEAR	166,589.73	
	REVENUE OVER EXPENDITURES - YTD	<u>46,223.62</u>	
	BALANCE - CURRENT DATE		<u>212,813.35</u>
	TOTAL FUND EQUITY		<u>212,813.35</u>
	TOTAL LIABILITIES AND EQUITY		<u>212,813.35</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

PI IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
85-37-20 PI IMPACT FEES	4,138.19	46,223.62	80,000.00	33,776.38	57.8
TOTAL OPERATING REVENUES	4,138.19	46,223.62	80,000.00	33,776.38	57.8
TOTAL FUND REVENUE	4,138.19	46,223.62	80,000.00	33,776.38	57.8

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

PI IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEXPENDED	PCNT
<u>IMPACT FEE PROJECTS</u>					
85-80-70 CAPITAL OUTLAY - IMPACT FEE	.00	.00	80,000.00	80,000.00	.0
TOTAL IMPACT FEE PROJECTS	.00	.00	80,000.00	80,000.00	.0
TOTAL FUND EXPENDITURES	.00	.00	80,000.00	80,000.00	.0
NET REVENUE OVER EXPENDITURES	4,138.19	46,223.62	.00	(46,223.62)	.0

ALPINE CITY CORPORATION
 BALANCE SHEET
 OCTOBER 31, 2019

STORM DRAIN IMPACT FEES

<u>ASSETS</u>			
86-1190	CASH - ALLOCATION FROM GENERAL		133,129.40
	TOTAL ASSETS		<u>133,129.40</u>
<u>LIABILITIES AND EQUITY</u>			
<u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
86-2920	CONTRA IMPACT FEE	(164,127.13)	
86-2980	BALANCE BEGINNING OF YEAR	286,535.53	
	REVENUE OVER EXPENDITURES - YTD	<u>10,721.00</u>	
	BALANCE - CURRENT DATE		<u>133,129.40</u>
	TOTAL FUND EQUITY		<u>133,129.40</u>
	TOTAL LIABILITIES AND EQUITY		<u>133,129.40</u>

ALPINE CITY CORPORATION
 REVENUES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

STORM DRAIN IMPACT FEES

	PERIOD ACTUAL	YTD ACTUAL	BUDGET	UNEARNED	PCNT
<u>OPERATING REVENUES</u>					
86-37-20 STORM DRAIN IMPACT FEES	.00	12,800.00	55,000.00	42,200.00	23.3
TOTAL OPERATING REVENUES	.00	12,800.00	55,000.00	42,200.00	23.3
TOTAL FUND REVENUE	.00	12,800.00	55,000.00	42,200.00	23.3

ALPINE CITY CORPORATION
 EXPENDITURES WITH COMPARISON TO BUDGET
 FOR THE 4 MONTHS ENDING OCTOBER 31, 2019

STORM DRAIN IMPACT FEES

	<u>PERIOD ACTUAL</u>	<u>YTD ACTUAL</u>	<u>BUDGET</u>	<u>UNEXPENDED</u>	<u>PCNT</u>
<u>IMPACT FEE PROJECTS</u>					
86-80-70 CAPITAL OUTLAY - IMPACT FEE	1,029.00	2,079.00	55,000.00	52,921.00	3.8
TOTAL IMPACT FEE PROJECTS	<u>1,029.00</u>	<u>2,079.00</u>	<u>55,000.00</u>	<u>52,921.00</u>	<u>3.8</u>
TOTAL FUND EXPENDITURES	<u>1,029.00</u>	<u>2,079.00</u>	<u>55,000.00</u>	<u>52,921.00</u>	<u>3.8</u>
NET REVENUE OVER EXPENDITURES	<u>(1,029.00)</u>	<u>10,721.00</u>	<u>.00</u>	<u>(10,721.00)</u>	<u>.0</u>

ALPINE CITY CORPORATION
BALANCE SHEET
OCTOBER 31, 2019

FUND 91

ASSETS

91-1611	LAND	22,775,041.33	
91-1621	BUILDINGS	1,844,182.97	
91-1631	IMPROVEMENTS OTHER THAN BUILDI	36,946,053.30	
91-1651	MACHINERY AND EQUIPMENT	1,014,311.17	
91-1690	ACCUMULATED DEPRECIATION	(21,619,404.86)	
	TOTAL ASSETS		<u>40,960,183.91</u>

LIABILITIES AND EQUITY

FUND EQUITY

UNAPPROPRIATED FUND BALANCE:			
91-2980	BEGINNING OF YEAR	38,150,052.63	
91-2985	ADDITIONS - CURRENT YEAR	2,810,131.28	
	BALANCE - CURRENT DATE		<u>40,960,183.91</u>
	TOTAL FUND EQUITY		<u>40,960,183.91</u>
	TOTAL LIABILITIES AND EQUITY		<u>40,960,183.91</u>

ALPINE CITY CORPORATION
 BALANCE SHEET
 OCTOBER 31, 2019

GENERAL LONG-TERM DEBT

<u>ASSETS</u>			
95-1610	DEFERRED OUTFLOW PENSION	158,775.00	
95-1611	AMOUNT TO BE PROVIDED-GEN FUND	406,671.07	
	TOTAL ASSETS		<u>565,446.07</u>
<u>LIABILITIES AND EQUITY</u>			
<u>LIABILITIES</u>			
95-2090	SWEEPER LEASE	144,543.00	
95-2290	NET PENSION LIABILITY	302,985.00	
95-2410	DEFERRED INFLOWS PENSION	20,163.00	
	TOTAL LIABILITIES		467,691.00
<u>FUND EQUITY</u>			
UNAPPROPRIATED FUND BALANCE:			
95-2940	ACC COMP ABSENCES-CURRENT	89,474.35	
95-2950	ACC COMP ABSENCES	8,280.72	
	BALANCE - CURRENT DATE	97,755.07	
	TOTAL FUND EQUITY		<u>97,755.07</u>
	TOTAL LIABILITIES AND EQUITY		<u>565,446.07</u>

ALPINE CITY COUNCIL AGENDA

SUBJECT: Major Subdivision Concept Plan – Anson Farmstead Subdivision

FOR CONSIDERATION ON: 19 November 2019

PETITIONER: Breezy Anson

ACTION REQUESTED BY PETITIONER: Approve PRD status for the Anson Farmstead Subdivision Concept Plan.

BACKGROUND INFORMATION:

The Anson Farmstead Subdivision consists of 10 lots on 13.59 acres. The development is located at approximately 487 Westfield Road, and in the CR 40,000 zone. The concept plan shows a connection to the Alpine View Estates Subdivision on the north end of the property. The proposed concept and number of lots is based on bonus density that would be received from a Planned Residential Development (PRD). PRD status is dependent on a recommendation of from Planning Commission and approval by City Council.

Regarding the concept plan and PRD status of the proposed subdivision the Planning Commission made the following motion:

***MOTION:** Bryce Higbee moved to approve the Anson Farmstead Subdivision Concept Plan and recommend PRD status with the following conditions:*

- 1. PRD status be approved by the City Council*

Alan Macdonald seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

*Bryce Higbee
Jane Griener
John MacKay
David Fotheringham
Alan MacDonald*

Nays:

None

STAFF RECOMMENDATION:

Review the concept plan approved by the Planning Commission and consider approving PRD status for the proposed subdivision.

SAMPLE MOTION TO APPROVE

I motion to approve PRD status for the Anson Farmstead Subdivision concept plan.

SAMPLE MOTION TO DENY

I motion that PRD status for the Anson Farmstead Subdivision concept plan be denied based on the following:

- *****Insert Finding*****



**ALPINE CITY
STAFF REPORT**
November 5, 2019

To: Alpine City Planning Commission & City Council

From: Staff

Prepared By: Austin Roy, City Planner
Planning & Zoning Department

Jed Muhlestein, City Engineer
Engineering & Public Works Department

Re: **Anson Farmstead Subdivision – CONCEPT**

Applicant: Breezy Anson
Project Location: 487 Westfield Road
Zoning: CR-40,000 Zone
Acreage: 13.59 Acres
Lot Number & Size: 10 lots ranging from 0.46 acres to 2.38 acres
Request: Recommend and approve Concept Plan

SUMMARY

The Anson Farmstead Subdivision consists of 10 lots on 13.59 acres. The development is located at approximately 487 Westfield Road, and in the CR 40,000 zone. The concept plan shows a connection to the Alpine View Estates Subdivision on the north end of the property. The proposed concept and number of lots is based on bonus density that would be received from a Planned Residential Development (PRD). PRD status is dependent on a recommendation of from Planning Commission and approval by City Council.

BACKGROUND

The Anson Farmstead Subdivision property has been in the Anson family for many years. There is currently has a single home, barn and other accessory structures on the property. The Anson family worked with the developer of the Alpine View Estates Subdivision (new adjacent subdivision to the north) to make sure that both properties would tie in together, including the connection for Blue Spruce Road, connected open space, and a trail that provides a connection to Westfield Road through the Anson Property.

ANALYSIS

PRD Status and Requirements

“It shall be the City’s sole discretion to decide if a project should be a PRD within the intent of the ordinance...the Planning Commission shall make a recommendation to the City Council and the City Council shall make the final decision in deciding whether a project should be a PRD prior to a concept approval being given” (Article 3.09.010.2). To qualify as a PRD, a project must demonstrate that it will:

- a) Recognize and incorporate natural conditions of site;
- b) Efficiently utilize land resources and benefit the public in delivery of utilities and services;
- c) Help to provide variety to style of dwelling available;
- d) Preserve open space for recreational, scenic and public service needs;
- e) Be consistent with objectives of underlying zone.

The developer has proposed to preserve the hillsides located on the property as public open space. The PRD ordinance requires that a minimum of 25% of the overall property be dedicated as public open space. The concept plan shows 36.9% to be dedicated as public open space.

This proposed plan ties into utilities off 400 West and Whitby Woodlands Drive. See Engineering and Public Works Review for further details.

PRD status would allow smaller lots and higher density, which would allow for diversity of style of homes in the area.

Developer has proposed to leave the hillsides as open space, which could potentially be used for recreational or scenic purposes. The concept shows a trail alignment that would connect Westfield Road to the trails in the subdivision to the Alpine View Estates Subdivision to the north. Overall, the proposed concept seems to be consistent with the objectives of the underlying zone.

Planning Commission should review the above requirements for PRD and make recommendation, and City Council shall determine if the proposed subdivision qualifies as a PRD. Ultimately, the proposed plan only works as a PRD. If PRD status is not granted plans should be revised to meet the requirements of the underlying zone (CR-40,000).

Lot Width and Area

Lot width requirements for the CR-40,000 zone are 110 feet for a standard lot, and 80 feet for a cul-de-sac lot located on a curve. Lots located within a PRD shall have a width of not less than 90 feet (measured 30 feet back from the front property line) and the length of the front lot line abutting the City street shall not be less than 60 feet. The proposed lots appear to meet the lot width requirements for a PRD.

Lots in the CR-40,000 zone are required to be a minimum of 40,000 square feet in size. However, the Anson Farmstead Subdivision is being proposed as a PRD, which grants density bonuses for the dedication of public and/or private open space. According to a slope analysis of the property (see attached), they have a base density of 8 lots. With the dedication of the

appropriate amount of private open space, density would increase to 9 lots, and with the dedication of the appropriate amount of public open space, density would increase to 10 lots. The proposed concept appears to meet the density requirements set forth in the PRD ordinance.

Based on the plans, which show 36.9% of the land to be dedicate as open space, the proposed subdivision meets the 25% minimum for the zone and thus qualifies for a base density of 10 lots.

Use

The developer is proposing that the lots be used for single-unit detached dwellings, which is consistent with the permitted uses for the CR-20,000 zone.

Sensitive Lands (Wildland Urban Interface)

See the Engineering and Public Works, and the Lone Peak Fire Department Reviews below for further comments on sensitive lands requirements.

Trails

The City Trail Master Plan shows a private proposed trail through the development area. The concept plan has incorporated this trail into the plans. The trail from the Trail Master Plan was added after the Anson's and the developer of Alpine View Estates discussed the benefits of having a connected trail. One of the conditions of approval for Alpine View Estates was that they were able to connect their trail with the Anson Subdivision. The trail shown on the concept would fulfill the intentions of the proposed trail from the Trail Master Plan.

General Plan

The Street Master Plan, from the General Plan, shows a proposed new local street running through the Anson Farmstead Subdivision property, connecting West Blue Spruce Road with North Blue Spruce Road. The concept plan shows this street and has incorporated it into the overall plan for the subdivision.

Other

None.

REVIEWS

PLANNING AND ZONING DEPARTMENT REVIEW

The analysis section in the body of this report serves as the Planning and Zoning Department review.

ENGINEERING AND PUBLIC WORKS DEPARTMENT REVIEW

Streets

At Concept Engineering checks the streets for general compliance with the Street Master Plan. The plans show completion of a master planned residential street by connecting the northern section of Blue Spruce Rd to the southern portions of said road. A compliant cul-de-sac (less than 450 feet) is shown extending off the new section of Blue Spruce. The roads appear to meet

ordinance regarding width, length, and curvature. A more detailed review of roadway design is done at preliminary.

Lots

If the plan is approved to be developed as a PRD, Development Code section 3.09.040.3 has strict requirements regarding open space. In general, this section states that hazardous areas (rockfall, slide, flood, etc.) and areas containing slopes greater than 25% must be included in the open space areas. There is a 15% allowance per lot and each lot does meet the ordinance. The ordinance also states that *“Once a Concept Plan has been approved by the Planning Commission, lot lines of the approved concept plan may be adjusted by the City Engineer to square up the lot by straightening and eliminating multiple segmented property lines.”* If approved as is, Engineering will work with the Developer to straighten up the lot lines on this plan as there are several areas with crooked lot lines. A cleaner version will come back at Preliminary.

Utilities – All

The utilities will be discussed at length at Preliminary Review. At concept the overall ability of the City to serve the area is evaluated. In this situation, the necessary infrastructure to serve the area exists on both the east and west sides of the development. The development is well below the 5,350-foot elevation, which is the highest elevation the existing water system can serve and still provide the minimum 40 psi required by ordinance. The master plans for all city utilities do account for the area. Horrocks Engineers has compared the plan to the water, sewer, and pressurized irrigation master plans and the plan fits well within the models.

Natural Hazards

The proposed development falls within the Geologic Hazards Overlay Zone which has areas identified as having the potential for rockfall, slide, fault, and debris flows. The Developer will be required to provide a hazard study that deems the proposed lots safe, or provides recommendations that would make building safe, at Preliminary Approval.

Other

The property has existing buildings onsite. Prior to the recordation of any phase of development that contains existing buildings which would be in conflict with property lines and setbacks, the existing building(s) must be removed, existing services either re-used or cut/capped/removed; or a bond provided to ensure those things will happen prior to a building permit being issued on the affected lot(s).

LONE PEAK FIRE DEPARTMENT REVIEW

See the attached review from the Lone Peak Fire Department.

HORROCKS ENGINEER’S REVIEW

See the attached review from Horrocks Engineering.

NOTICING

Notice has been properly issued in the manner outlined in City and State Code.

STAFF RECOMMENDATION

Review staff report and findings and make a recommendation, or decision to either approve or deny the proposed subdivision concept plan and PRD status. Findings are outlined below.

Findings for a Positive Motion:

- A. The streets and general layout appear to meet ordinance;
- B. Proposed roadway construction appears to meet Alpine City design standards;
- C. Frontage improvements are shown throughout the development;
- D. Plan appears to comply with the General Plan and Street Master Plan.
- E. The property appears to meet the requirements of a PRD, based on slope analysis, lot width, and density requirements, as well as the other requirements including:
 - a. Recognize and incorporate natural conditions of site;
 - b. Efficiently utilize land resources and benefit the public in delivery of utilities and services;
 - c. Help to provide variety to style of dwelling available;
 - d. Preserve open space for recreational, scenic and public service needs;
 - e. Be consistent with objectives of underlying zone.

Findings for Negative Motion:

- A. None.

MODEL MOTIONS

SAMPLE MOTION TO APPROVE

I motion to approve the Anson Farmstead Subdivision concept plan with the following conditions:

- PRD status be approved by the City Council.

SAMPLE MOTION TO DENY

I motion that the Anson Farmstead Subdivision concept plan be denied based on the following:

- ***Insert Finding***



LONE PEAK FIRE DISTRICT
5582 PARKWAY WEST DRIVE
HIGHLAND, UTAH 84003
(801) 763-5365
WWW.LONEPEAKFIRE.COM

REED M. THOMPSON, FIRE CHIEF

MEMORANDUM

DATE: 31 October 2019

TO: Jed Muhlestein, City Engineer, Alpine City
CC: Austin Roy, City Planner, Alpine City
FROM: Reed M. Thompson, Fire Chief *Reed M. Thompson*
SUBJECT: ANSON SUBDIVISION

In review of the proposed site development concept plan, a 3-page document (C1—Cover, C2—Photo, and C3—Slope) for “Anson Subdivision”, dated 16 April 2019, listed as 487 Westfield Road, Alpine, Utah; please note:

- With the challenging slopes associated with Wildland Urban Interface firefighting, a gated access will be required for any fencing along Westfield Road of the proposed public open space (identified as Parcel A—4.60 Acres), allowing for access of firefighting apparatus and/or equipment.
- Language needs to identify that this project is within the Wildland Urban Interface and as such is subject to compliance with the Alpine City Sensitive Land Ordinance, and the WUI Site Plan/Development Review Guide with its associated survey.
- Completion of the Blue Spruce Road will complete connectivity for the area allowing multiple public safety access points. The cul-de-sac access and access road shall be an all-weather access road capable of sustaining the weight limits of fire apparatus as required in the current International Fire Code; paying special attention that road slopes do not exceed 10%.
- Any existing structures or other hazardous materials located on the property will need to be reviewed prior to demolition. If a structure is slated for demolition, it would be the desire of the fire district to utilize them for fire training prior to demolition and following any asbestos abatement.

If you have further questions regarding this information, please contact me directly.

To: Jed Muhlestein
Alpine City

From: John E. Schiess, P.E.

Date: Oct 1, 2019

Memorandum

Subject: Anson Development Hydraulic Modeling Results and Recommendations

The proposed Anson development consists of 10 residential lots between the east end of Blue Spruce Dr and Westfield Road.

The development proposes 10 culinary ERC's, 4.35 irrigated acres, and 10 sanitary sewer ERU's. The current master plan anticipated 9.7 culinary ERC's, 8.9 irrigated acres, and 9.7 sanitary sewer ERU's. Proposed connections fall well within the current master plans.

The proposed culinary water improvements have not been modeled at this time. The proposed improvements fit well within the City's culinary water master plan. The following comments and recommendations are noted for the proposed culinary water system.

The proposed pressurized irrigation improvements have not been modeled at this time. The proposed improvements fit well within the City's pressurized irrigation master plan. The following comments and recommendations are noted for the proposed pressurized irrigation system.

The proposed sanitary sewer improvements have not been modeled at this time. The proposed improvements fit well within the City's sanitary sewer master plan. The following comments and recommendations are noted for the proposed sanitary sewer system.

Recommendations:

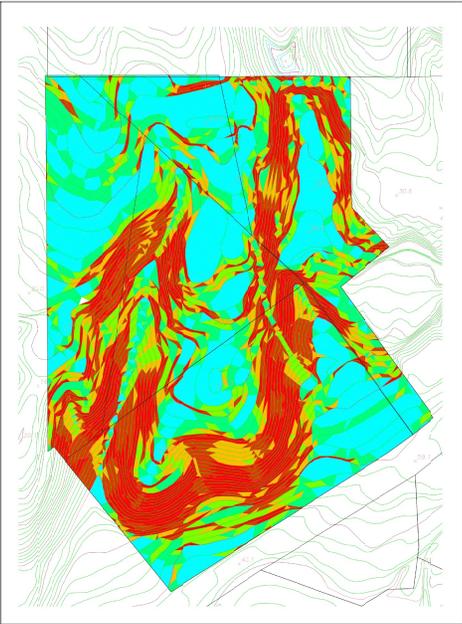
1. Minimum pipe sizes are adequate.

Comments:

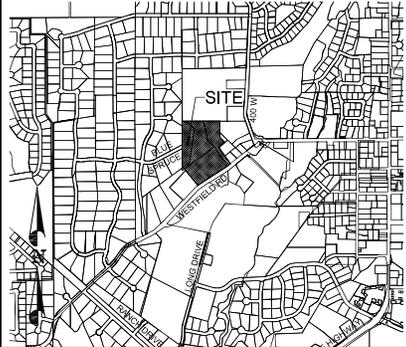
2. Fire flow available in the area surrounding the proposed improvements should be over 3000 gallons per minute at 20 psi for the proposed lines.

CR-40,000 Zone

Acreage	Acres	Total Square Feet			
Property	13.59	591,987.35			
Zone Total Acreage					
13.59					
Slope Percentages	Percent Acres Within that range	SF within slope range	Acres within slope range	Required Acres per Lot	Allowed Lots for this range
0-9.99%	31.6%	187249.36	4.30	1.50	1.45
10-14.99%	16.1%	95067.26	2.18	1.50	1.45
15-19.99%	11.4%	67769.13	1.56	2.00	0.78
20-24.99%	9.8%	58145.12	1.33	3.00	0.44
25-29.99%	11.6%	68455.37	1.57	4.00	0.39
30%+	19.5%	115301.31	2.65	5.00	0.53
Totals	100.0%		13.59		
			Private Open Space (10% Max Bonus), PRD	8	
			Public Open Space (25% Max Bonus), PRD	9	
				Base Density	8

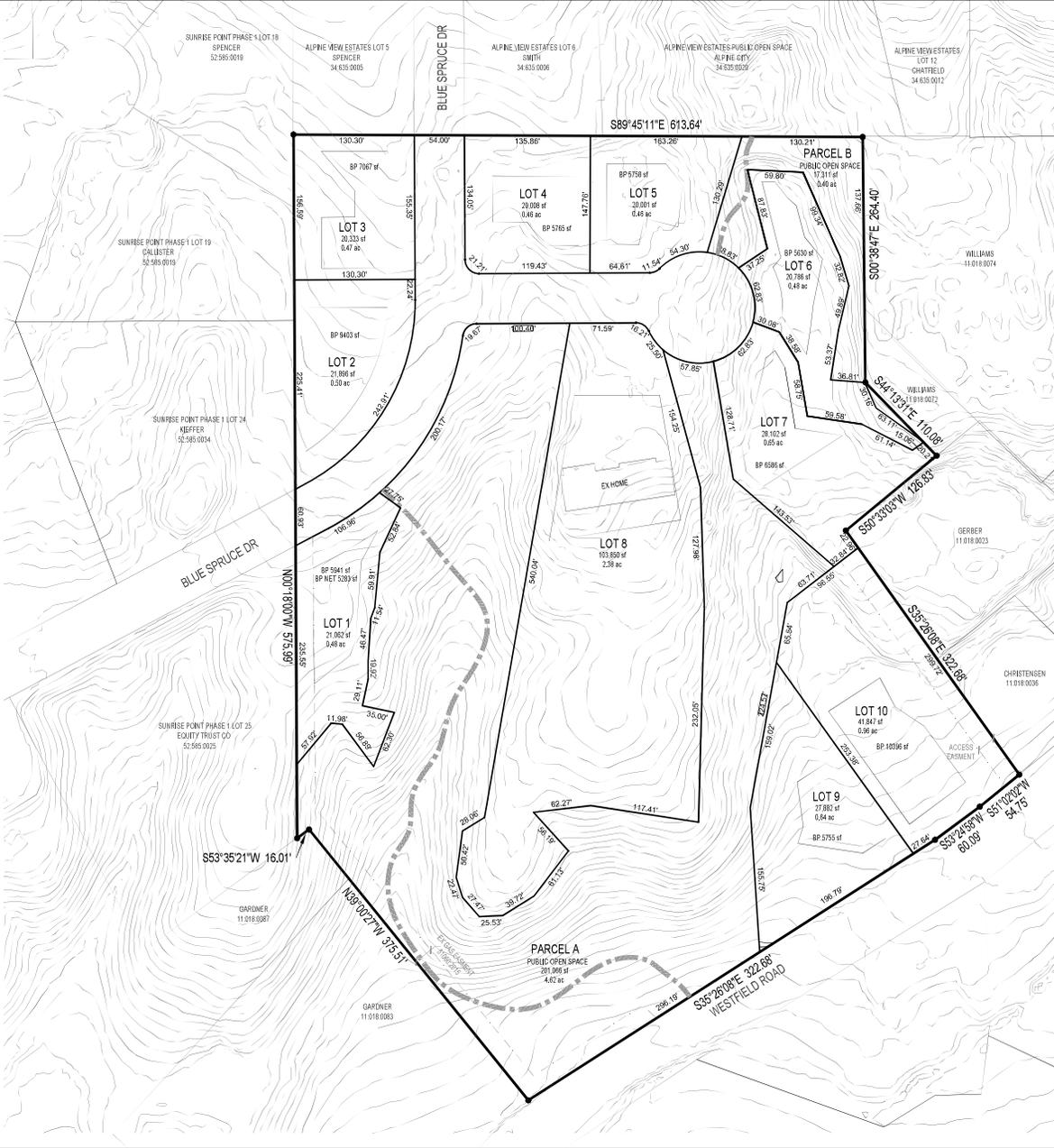


VICINITY MAP



SLOPE LEGEND

Slope	Minimum	Maximum	Color
0%	0.00%	2.99%	Blue
1%	3.00%	9.99%	Cyan
2%	10.00%	19.99%	Green
3%	20.00%	29.99%	Yellow
4%	30.00%	39.99%	Orange
5%	40.00%	49.99%	Red



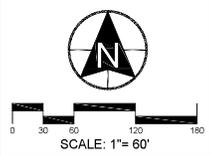
DEVELOPMENT

ANSON SUBDIVISION

487 WESTFIELD RD
ALPINE, UT

CR-40,000 ZONE
PRD PROPOSED

DEVELOPER



BERG CIVIL ENGINEERING
11038 N Highland Blvd Suite 400
Highland UT, 84053
office (801) 492-1277
cell (801) 616-1677

PROJECT STATUS	DATE	DESCRIPTION	SEAL
1		THIS DOCUMENT IS INCOMPLETE AND IS FOR REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.	
2			
3			
4			
5			
6			
7			

ACTION

CONCEPT

DATE

10/31/19

PROJECT

ANSON SUBDIVISION

DESCRIPTION

CONCEPT PLAN

SHEET NAME

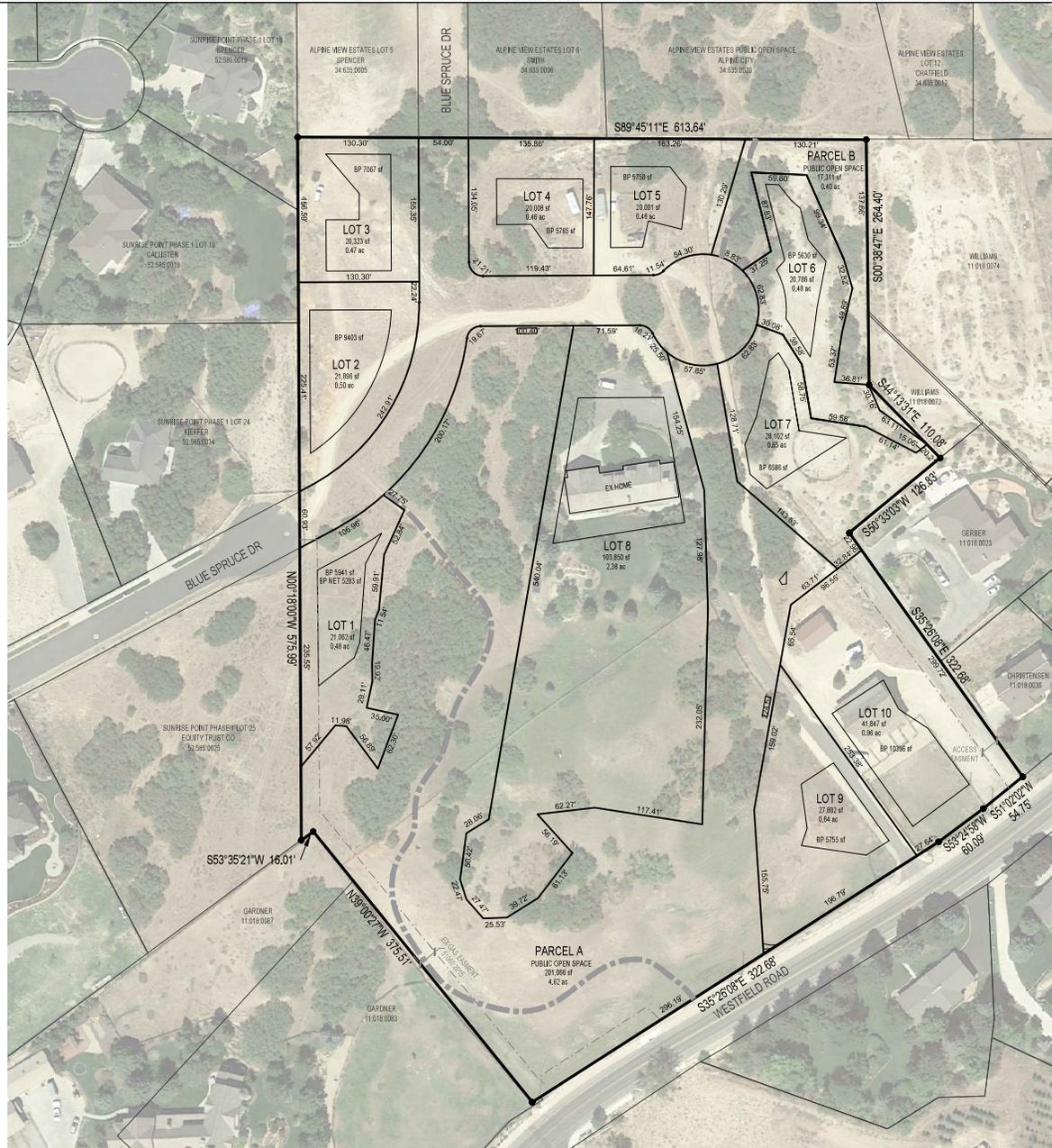
COVER

SHEET NUMBER

C1

SUBDIVISION TABULATIONS

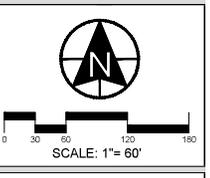
DESCRIPTION	AREA (sf)	%
TOTAL PROJECT AREA	591,810	100.00%
PUBLIC OPEN SPACE	218,377	36.90%
DEDICATED RIGHT OF WAY	47,676	8.06%
LOT AREA	325,757	55.04%



DEVELOPMENT

ANSON SUBDIVISION
 487 WESTFIELD RD
 ALPINE, UT
 CR-40,000 ZONE
 PRD PROPOSED

DEVELOPER



berg
 CIVIL ENGINEERING
 11038 N Highland Blvd Suite 400
 Highland UT, 84003
 office (801) 492-1277
 cell (801) 616-1677

PROJECT STATUS	SEAL
1	THIS DOCUMENT IS INCOMPLETE AND IS RELEASED TEMPORARILY FOR INTERIM REVIEW ONLY. IT IS NOT INTENDED FOR CONSTRUCTION INCLUDING OR PERMITS PURPOSES. KENNETH B. BERG P.E. SERIAL NO. 34880 DATE:
2	
3	
4	
5	
6	
7	

ACTION	DATE
CONCEPT	10/31/19

PROJECT

ANSON SUBDIVISION

DESCRIPTION

CONCEPT PLAN

SHEET NAME	SHEET NUMBER
PHOTO	C2

VICINITY MAP



CR-40,000 Zone

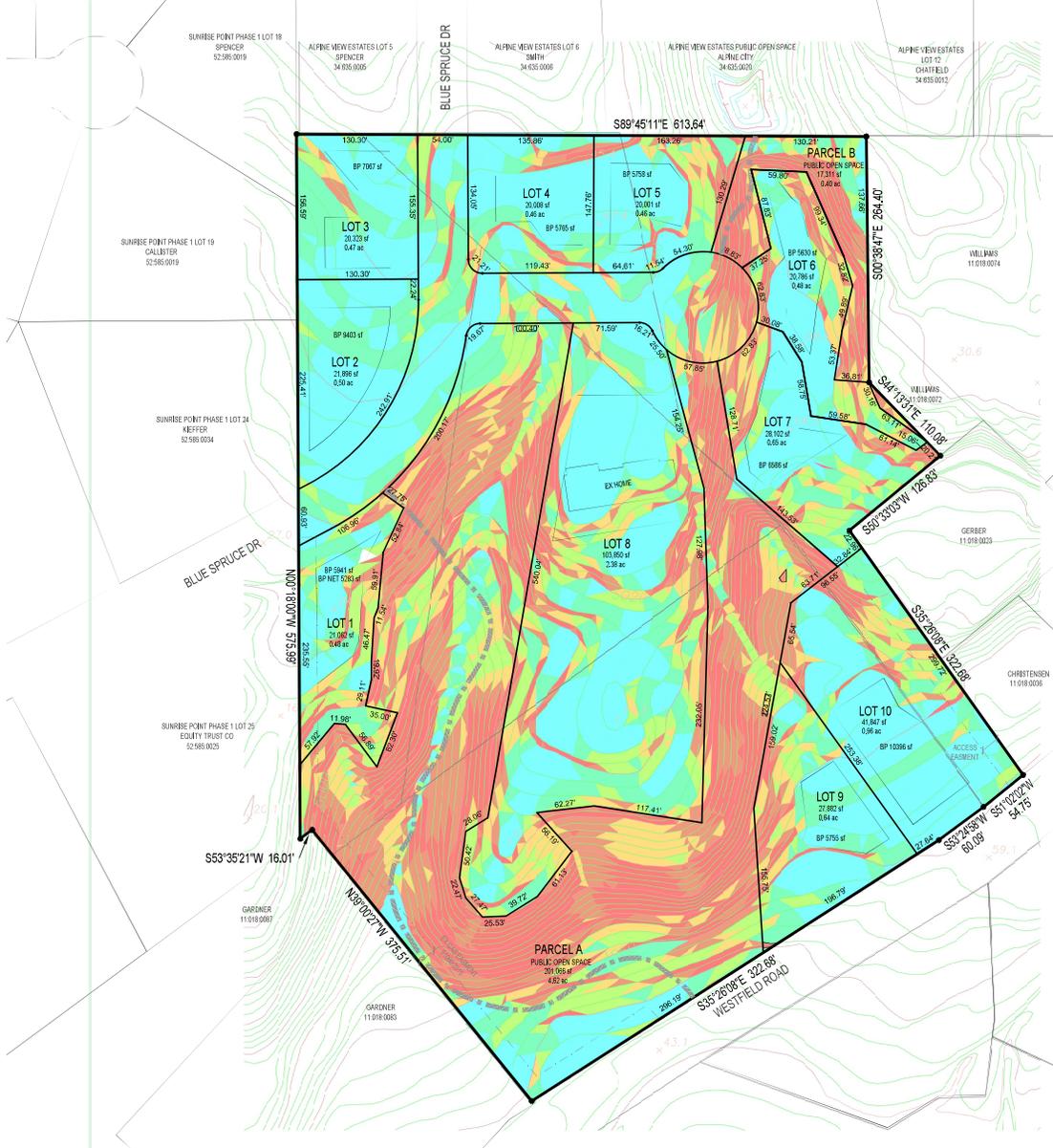
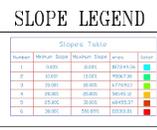
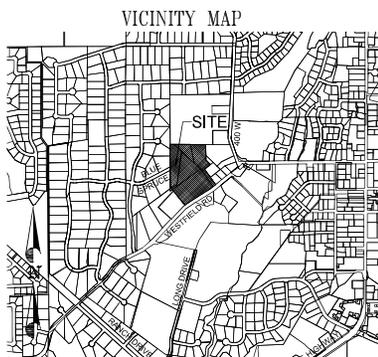
Acreage	13.59	Total Square Feet	101,987.83
Property			
Zone Total Acreage	13.59		

Slope Percentages	Pc'ent Acres Within that range	SF within slope range	Acres within slope range	Required Acres per Lot	Allowed Lots for this range
0-9.99%	31.6%	187249.36	4.30	1.00	4.30
10-14.99%	16.1%	95067.06	2.18	1.50	1.45
15-19.99%	11.4%	67769.13	1.56	2.00	0.78
20-24.99%	9.2%	58145.12	1.33	3.00	0.44
25-29.99%	11.6%	68455.37	1.57	4.00	0.39
30%+	19.5%	115301.81	2.65	5.00	0.53
Totals	100.0%		13.59		

Base Density	8
Private Open Space (11% Max Bonus), PRD	9
Public Open Space (2% Max Bonus), PRD	10

LOT SLOPE CALCULATIONS

LOT #	LOT AREA (sf)	LOT AREA W/		BUILDING PAD		BP >20%	BP NET
		>25% SLOPE	%	W/< 20% (sf)	BP >20%		
1	21,062	2,955	14.03%	5941	658	0	5283
2	21,896	10	0.05%	9403	0	0	9403
3	20,323	641	3.15%	7067	0	0	7067
4	20,008	1,462	7.31%	5765	0	0	5765
5	20,001	2,609	13.04%	5758	0	0	5758
6	20,786	3,105	14.94%	5630	0	0	5630
7	28,102	3,560	12.67%	6586	0	0	6586
8	103,850	15,220	14.66%	EXISTING HOME			
9	27,882	4,178	14.98%	5755	0	0	5755
10	41,847	4,512	10.78%	10396	0	0	10396



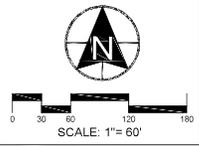
DEVELOPMENT

ANSON SUBDIVISION

487 WESTFIELD RD
ALPINE, UT

CR-40,000 ZONE
PRD PROPOSED

DEVELOPER



BERG
CIVIL ENGINEERING
11038 N Highland Blvd Suite 400
Highland, UT, 84003
office (801) 492-1277
cell (801) 616-1677

PROJECT	STATUS	SEAL
1	DATE	OCCUPATION
2	DATE	OCCUPATION
3	DATE	OCCUPATION
4	DATE	OCCUPATION
5	DATE	OCCUPATION
6	DATE	OCCUPATION
7	DATE	OCCUPATION

PROJECT

ANSON SUBDIVISION

DESCRIPTION

CONCEPT PLAN

SHEET NAME: **SLOPE** SHEET NUMBER: **C3**

ALPINE CITY COUNCIL AGENDA

SUBJECT: 2019 Municipal Election Canvass

FOR CONSIDERATION ON: 19 November 2019

PETITIONER: Recorder

**ACTION REQUESTED BY PETITIONER: Accept the Election Canvass for
the 2019 General Election**

BACKGROUND INFORMATION:

Attached are the official results for the 2019 Municipal Election

STAFF RECOMMENDATION:

Accept the 2019 Election Canvass

The following information is taken from the returns of the General Election held November 5, 2019 at Alpine City, Utah	Alpine City Election Returns 2019 Official Canvass for the General Municipal Election							
	Precinct AL01	Precinct AL02	Precinct AL03	Precinct AL04	Precinct AL05	Precinct AL06	Total	Percent Ballots cast
Total # of Registered Voters	1022	1094	1149	1261	878	961	6335	
# of Ballots Cast	474	439	434	532	328	418	2626	41.25%
City Council Candidates 4-year term (3 seats)								
Kimberly Arnold Bryant							1038	16.13%
*Lon Lott							1857	28.85%
*Gregory S. Gordon							1808	28.09%
*Judi Pickell							1733	26.93%
City Council Candidate 2-year term (1 seat)								
*Jason Thelin							2059	100%
Percentage turnout by precinct	46.39%	40.13%	37.77%	42.19%	37.36%	43.60%		
Provisional ballots	8 Provisional Ballots							
*Candidates that were elected								
VOTER TURNOUT	41.25%							

Signed _____
Charmayne G. Warnock, Election Official

ALPINE CITY COUNCIL AGENDA

SUBJECT: Annual Meeting Schedule for 2020

FOR CONSIDERATION ON: 19 November 2019

PETITIONER: Recorder

ACTION REQUESTED BY PETITIONER: Approve the City Council meeting schedule for 2020.

BACKGROUND INFORMATION:

Attached is the proposed schedule for City Council meetings for 2020. Review it as proposed and approve with any necessary changes.

STAFF RECOMMENDATION:

Adopt the Annual City Council meeting schedule for 2020.



**2020 ANNUAL MEETING SCHEDULE
FOR
ALPINE CITY, UTAH**

PLANNING COMMISSION MEETINGS for the 2020 calendar year are scheduled on the 1st and 3rd Tuesday of each month as follows unless otherwise indicated:

January 7	May 5	September 1
January 21	May 19	September 15
February 4	June 2	October 6
February 18	June 16	October 20
March 3	July 7	November 17
March 17	July 21	December 1
April 21	August 11	

CITY COUNCIL MEETINGS for the 2020 calendar year are scheduled on the 2nd and 4th Tuesday of each month as follows unless otherwise indicated:

January 14	May 12	September 8
January 28	May 26	September 22
February 11	June 9	October 13
February 25	June 23	October 27
March 10	July 14	November 10
March 24	July 28	November 24
April 14	August 11	December 8
April 28	August 25	

All Planning Commission and City Council meetings will begin at 7:00 pm unless otherwise posted. Meetings are held at Alpine City Hall, 20 North Main, Alpine, Utah 84004.

Charmayne G. Warnock
City Recorder

THE PUBLIC IS INVITED TO ATTEND ALL PUBLIC CITY MEETINGS. If you need a special accommodation to participate in the meeting, please call the City Recorder's Office at 801-756-6347 ext. 4.

CERTIFICATION OF POSTING. The undersigned duly appointed recorder does hereby certify that the above agenda notice was posted in three public places within Alpine City limits. These public places being a bulletin board located inside City Hall at 20 North Main and located in the lobby of the Bank of American Fork, Alpine Branch, 133 S. Main, Alpine, UT; and the bulletin board located at The Junction, 400 S. Main, Alpine, UT. The above agenda notice was sent by e-mail to The Daily Herald located in Orem, UT and local newspapers circulated in Alpine, UT. This agenda is also available on the City's web site at www.alpynecity.org and on the Utah Public Meeting Notices website at www.utah.gov/pmn/index.html.

ALPINE CITY COUNCIL AGENDA

SUBJECT: Amendment to Development Code – Fences on Retaining Walls

FOR CONSIDERATION ON: 19 November 2019

PETITIONER: City Council

ACTION REQUESTED BY PETITIONER: Approve the proposed change.

BACKGROUND INFORMATION:

In October 2019 the Planning Commission recommended an amendment to the ordinance regarding fences on retaining walls. The City Council reviewed the proposed change and decided to send the item back to Planning Commission for additional changes. In particular, the City Council wanted the language changed so that privacy fences on retaining walls could be permitted when adjacent property owners agree. The idea is to prevent a resident from building a tall wall with a privacy fence without neighbor consent.

Planning Commission made the following motion:

***MOTION:** Alan MacDonald moved to recommend that the proposed Amendments to Article 3.21.060 of the Development Code be approved as proposed.*

Jane Griener seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Bryce Higbee
Jane Griener
John MacKay
David Fotheringham
Alan MacDonald

Nays:

None

STAFF RECOMMENDATION:

Approve the proposed amendment to the Development Code.

SAMPLE MOTION TO APPROVE:

I motion to that the proposed amendments to Article 3.21.060 of the Development Code be approved as proposed.

SAMPLE MOTION TO APPROVE WITH CONDITIONS:

I motion that the proposed amendments to Article 3.21.060 of the Development Code be approved with the following conditions/changes:

- ***Insert Finding***

SAMPLE MOTION TO DENY:

I motion that the proposed amendments to Article 3.21.060 of the Development Code be denied based on the following:

- ***Insert Finding***

**ALPINE CITY
ORDINANCE 2019-20**

AN ORDINANCE ADOPTING AMENDMENTS TO ARTICLE 3.21.060 OF THE ALPINE CITY DEVELOPMENT CODE PERTAINING TO FENCES, WALLS AND HEDGES.

WHEREAS, The Alpine City Council has deemed it in the best interest of Alpine City to amend the Fences, Walls and Hedges ordinance; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed Amendments to the Development Code, held a public hearing, and has forwarded a recommendation to the City Council; and

WHEREAS, the Alpine City Council has reviewed the proposed Amendments to the Development Code:

NOW THEREFORE, be it ordained by the Council of Alpine City, in the State of Utah, as follows: The amendments to Article 3.21.060 contained in the attached document will supersede Article 3.21.060 as previously adopted. This ordinance shall take effect upon posting.

SECTION 1: **AMENDMENT** “3.21.060 Fences, Walls And Hedges” of the Alpine City Development Code is hereby *amended* as follows:

B E F O R E A M E N D M E N T

3.21.060 Fences, Walls And Hedges

1. **Requirement.** All fences must be approved by the planning and zoning department and a building permit obtained.
2. **Front Yard Fences.** Privacy fences, walls and hedges along the street frontage of a lot shall not exceed 3 feet in height when placed within 10 feet of the front property line. Open style fences shall not exceed 4 feet in height when placed within 10 feet of the front property line. Front yard fences may be eight (8) feet in height if they are placed at least 10 feet back from the front property line.
3. **Interior Side Yard Fences.** Fences alongside yards shall not exceed 3 feet in height for privacy fences and 4 feet in height for open style fences when they are within 10 feet of the front property line. Side yard fences may be eight (8) feet in height when they are located at least 10 feet back from the front property line.
4. **Rear Yard Fences.** A rear yard fence may be eight (8) feet in height.

5. **Corner Lot Fences within the Sight Triangle.** The sight triangle on corner lots shall not be obstructed. Privacy fences, walls, or hedges shall not exceed three (3) feet in height, and open-style fences shall not exceed four (4) feet in height, when located within the sight triangle on a corner lot. The sight triangle is defined as the area formed by connecting the corner of the property to points 35 feet back along each property line abutting the street.
6. **Corner Lot Fences outside the Sight Triangle.** Side yard fences abutting the street may be eight (8) feet in height when they are located at least 35 feet back from the front property line, outside the sight triangle. For interior side fence see DCA 3.21.060 Part 2.
7. **Fences on Retaining Walls.** Under no condition shall a fence and wall exceed nine (9) feet on the same plane. If a privacy fence that is on top of a retaining wall would exceed nine (9) feet, the fence shall be set back at least four (4) feet from the back side of the retaining wall. Open style fences including but not limited to rail fences, field fences, or chain link fences are permitted to be on the same plane as a retaining wall.
8. **Agricultural Fences.** Fences on property where an identifiable commercial agricultural product is produced shall not exceed eight (8) feet in height, and shall be an open style fence.
9. **Fences Along Public Open Space and Trails.** See DCA 3.16, DCA 3.16.100 Part 1 and DCA 3.17 and DCA 3.17.100 Part 3,a.

Fences or borders along property lines adjacent to a trail or open space must meet with the City Planner and meet specific standards.

- a. When the width of the open space or trail easement is less than 50 feet, bordering fences may not exceed eight (8) feet in height, and shall not obstruct visibility. (Open style fences such as rail fences, field fence, or chain link are preferable.)
 - b. When the width of the open space or trail easement is 50 feet or more, fence standards as specified elsewhere in this ordinance apply.
 - c. Fences and hedges must be completely within the boundaries of the private property.
 - d. Hedges or shrubs must be maintained to the same height requirements as fences.
 - e. The owner of the fence or hedge must maintain the side facing the open space.
10. **Conditional Uses for Interior Fences.** A conditional use permit may be approved by the City Planner for an interior fence over eight (8) feet in height for such things as sports courts, gardens and swimming pools. A conditionally approved interior fence shall not exceed twelve (12) feet in height and shall be an open style fence. (Ord. No. 2015-06, 05/26/15)

(amended by Ord. No. 2005-02, 2/8/05; Ord. No. 2013-10, 7/9/13; Ord. No. 2015-06, 05/26/15; Ord. No. 2017-01, 01/10/17; Ord. No. 2017-13, 06/27/17)

A F T E R A M E N D M E N T

3.21.060 Fences, Walls And Hedges

1. **Requirement.** All fences must be approved by the planning and zoning department and a building permit obtained. Fences, walls and hedges must be completely within the boundaries of the private property.
2. **Front Yard Fences.** Privacy fences, walls and hedges along the street frontage of a lot shall not exceed 3 feet in height when placed within 10 feet of the front property line. Open style fences shall not exceed 4 feet in height when placed within 10 feet of the front property line. Front yard fences may be eight (8) feet in height if they are placed at least 10 feet back from the front property line.
3. **Interior Side Yard Fences.** Fences alongside yards shall not exceed 3 feet in height for privacy fences and 4 feet in height for open style fences when they are within 10 feet of the front property line. Side yard fences may be eight (8) feet in height when they are located at least 10 feet back from the front property line.
4. **Rear Yard Fences.** A rear yard fence may be eight (8) feet in height.
5. **Corner Lot Fences within the Sight Triangle.** The sight triangle on corner lots shall not be obstructed. Privacy fences, walls, or hedges shall not exceed three (3) feet in height, and open-style fences shall not exceed four (4) feet in height, when located within the sight triangle on a corner lot. The sight triangle is defined as the area formed by connecting the corner of the property to points 35 feet back along each property line abutting the street.
6. **Corner Lot Fences outside the Sight Triangle.** Side yard fences abutting the street may be eight (8) feet in height when they are located at least 35 feet back from the front property line, outside the sight triangle. For interior side fence see DCA 3.21.060 Part 2.
7. **Fences on Retaining Walls.** ~~Under no condition shall a fence and wall exceed nine (9) feet on the same plane.~~ If a privacy fence that is on top of a retaining wall would exceed a total combined height of nine (9) feet on the same plane, then the fence shall be set back at least four (4) feet from the back side of the retaining wall unless adjacent property owners agree in writing to allow a privacy fence. Open style fences including but not limited to rail fences, field fences, or chain link fences are permitted to be on the same plane as a retaining wall.
8. **Agricultural Fences.** Fences on property where an identifiable commercial agricultural product is produced shall not exceed eight (8) feet in height, and shall be an open style fence.
9. **Fences Along Public Open Space and Trails.** See DCA 3.16, DCA 3.16.100 Part 1 and DCA 3.17 and DCA 3.17.100 Part 3,a.

Fences or borders along property lines adjacent to a trail or open space must meet with the City Planner and meet specific standards.

- a. When the width of the open space or trail easement is less than 50 feet, bordering fences may not exceed eight (8) feet in height, and shall not obstruct visibility. (Open style fences such as rail fences, field fence, or chain link are preferable.)
- b. When the width of the open space or trail easement is 50 feet or more, fence standards as specified elsewhere in this ordinance apply.

- c. Fences and hedges must be completely within the boundaries of the private property.
- d. Hedges or shrubs must be maintained to the same height requirements as fences.
- e. The owner of the fence or hedge must maintain the side facing the open space.

10. **Conditional Uses for Interior Fences.** A conditional use permit may be approved by the City Planner for an interior fence over eight (8) feet in height for such things as sports courts, gardens and swimming pools. A conditionally approved interior fence shall not exceed twelve (12) feet in height and shall be an open style fence. (Ord. No. 2015-06, 05/26/15)

(amended by Ord. No. 2005-02, 2/8/05; Ord. No. 2013-10, 7/9/13; Ord. No. 2015-06, 05/26/15; Ord. No. 2017-01, 01/10/17; Ord. No. 2017-13, 06/27/17)

PASSED AND ADOPTED BY THE ALPINE CITY COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Lon Lott	_____	_____	_____	_____
Kimberly Bryant	_____	_____	_____	_____
Carla Merrill	_____	_____	_____	_____
Ramon Beck	_____	_____	_____	_____
Jason Thelin	_____	_____	_____	_____

Presiding Officer

Attest

Troy Stout, Mayor, Alpine City

Charmayne G. Warnock, City
Recorder Alpine City

**ALPINE CITY
ORDINANCE 2019-20**

AN ORDINANCE ADOPTING AMENDMENTS TO ARTICLE 3.21.060 OF THE ALPINE CITY DEVELOPMENT CODE PERTAINING TO FENCES, WALLS AND HEDGES.

WHEREAS, The Alpine City Council has deemed it in the best interest of Alpine City to amend the Fences, Walls and Hedges ordinance; and

WHEREAS, the Alpine City Planning Commission has reviewed the proposed Amendments to the Development Code, held a public hearing, and has forwarded a recommendation to the City Council; and

WHEREAS, the Alpine City Council has reviewed the proposed Amendments to the Development Code:

NOW THEREFORE, be it ordained by the Council of Alpine City, in the State of Utah, as follows: The amendments to Article 3.21.060 contained in the attached document will supersede Article 3.21.060 as previously adopted. This ordinance shall take effect upon posting.

SECTION 1: **AMENDMENT** “3.21.060 Fences, Walls And Hedges” of the Alpine City Development Code is hereby *amended* as follows:

A M E N D M E N T

3.21.060 Fences, Walls And Hedges

1. **Requirement.** All fences must be approved by the planning and zoning department and a building permit obtained. Fences, walls and hedges must be completely within the boundaries of the private property.
2. **Front Yard Fences.** Privacy fences, walls and hedges along the street frontage of a lot shall not exceed 3 feet in height when placed within 10 feet of the front property line. Open style fences shall not exceed 4 feet in height when placed within 10 feet of the front property line. Front yard fences may be eight (8) feet in height if they are placed at least 10 feet back from the front property line.
3. **Interior Side Yard Fences.** Fences alongside yards shall not exceed 3 feet in height for privacy fences and 4 feet in height for open style fences when they are within 10 feet of the front property line. Side yard fences may be eight (8) feet in height when they are located at least 10 feet back from the front property line.
4. **Rear Yard Fences.** A rear yard fence may be eight (8) feet in height.

5. **Corner Lot Fences within the Sight Triangle.** The sight triangle on corner lots shall not be obstructed. Privacy fences, walls, or hedges shall not exceed three (3) feet in height, and open-style fences shall not exceed four (4) feet in height, when located within the sight triangle on a corner lot. The sight triangle is defined as the area formed by connecting the corner of the property to points 35 feet back along each property line abutting the street.
6. **Corner Lot Fences outside the Sight Triangle.** Side yard fences abutting the street may be eight (8) feet in height when they are located at least 35 feet back from the front property line, outside the sight triangle. For interior side fence see DCA 3.21.060 Part 2.
7. **Fences on Retaining Walls.** If a privacy fence that is on top of a retaining wall would exceed a total combined height of nine (9) feet on the same plane the fence shall be set back at least four (4) feet from the back side of the retaining wall unless adjacent property owners agree in writing to allow a privacy fence. Open style fences including but not limited to rail fences, field fences, or chain link fences are permitted to be on the same plane as a retaining wall.
8. **Agricultural Fences.** Fences on property where an identifiable commercial agricultural product is produced shall not exceed eight (8) feet in height, and shall be an open style fence.
9. **Fences Along Public Open Space and Trails.** See DCA 3.16, DCA 3.16.100 Part 1 and DCA 3.17 and DCA 3.17.100 Part 3,a.

Fences or borders along property lines adjacent to a trail or open space must meet with the City Planner and meet specific standards.

- a. When the width of the open space or trail easement is less than 50 feet, bordering fences may not exceed eight (8) feet in height, and shall not obstruct visibility. (Open style fences such as rail fences, field fence, or chain link are preferable.)
 - b. When the width of the open space or trail easement is 50 feet or more, fence standards as specified elsewhere in this ordinance apply.
 - c. Fences and hedges must be completely within the boundaries of the private property.
 - d. Hedges or shrubs must be maintained to the same height requirements as fences.
 - e. The owner of the fence or hedge must maintain the side facing the open space.
10. **Conditional Uses for Interior Fences.** A conditional use permit may be approved by the City Planner for an interior fence over eight (8) feet in height for such things as sports courts, gardens and swimming pools. A conditionally approved interior fence shall not exceed twelve (12) feet in height and shall be an open style fence. (Ord. No. 2015-06, 05/26/15)

(amended by Ord. No. 2005-02, 2/8/05; Ord. No. 2013-10, 7/9/13; Ord. No. 2015-06, 05/26/15; Ord. No. 2017-01, 01/10/17; Ord. No. 2017-13, 06/27/17)

PASSED AND ADOPTED BY THE ALPINE CITY COUNCIL

_____.

	AYE	NAY	ABSENT	ABSTAIN
Lon Lott	_____	_____	_____	_____
Kimberly Bryant	_____	_____	_____	_____
Carla Merrill	_____	_____	_____	_____
Ramon Beck	_____	_____	_____	_____
Jason Thelin	_____	_____	_____	_____

Presiding Officer

Attest

Troy Stout, Mayor, Alpine City

Charmayne G. Warnock, City
Recorder Alpine City

ALPINE CITY COUNCIL AGENDA

SUBJECT: Alpine City Construction Standard Specifications and Details

FOR CONSIDERATION ON: 19 November 2019

PETITIONER: Staff

ACTION REQUESTED BY PETITIONER: Approve the proposed standard specifications and details.

BACKGROUND INFORMATION:

Alpine City needs to adopt a city specific set of construction standards. The Planning Commission has reviewed the proposed documents, held a public hearing, and made the following recommendation to City Council:

***MOTION:** Bryce Higbee moved to recommend adoption of the Alpine City Construction Standard Specifications as proposed.*

Jane Griener seconded the motion. There were 5 Ayes and 0 Nays (recorded below). The motion passed.

Ayes:

Bryce Higbee
Jane Griener
John MacKay
David Fotheringham
Alan MacDonald

Nays:

None

STAFF RECOMMENDATION:

Adopt the Alpine City Construction Standard Specifications and Details as proposed.

SAMPLE MOTION TO APPROVE:

I motion to approve and adopt the Alpine City Construction Standard Specifications and Details as proposed.

SAMPLE MOTION TO TABLE:

I motion that the proposed Alpine City Construction Standard Specifications and Details be tabled for the following:

- ***Insert Finding***

SAMPLE MOTION TO DENY:

I motion that the proposed Alpine City Construction Standard Specifications and Details be denied based on the following:

- ***Insert Finding***



**ALPINE CITY
STAFF REPORT**
November 7, 2019

To: Alpine City Planning Commission & City Council

From: Engineering

Prepared By: Jed Muhlestein, City Engineer
Engineering & Public Works Department

Re: **Alpine City Construction Standard Specifications and Details**
Request: Recommend Adoption of the Standard Specifications and Details

Alpine City does not currently have a complete city specific set of adopted construction standards. The City has adopted the 2017 version of the American Public Works Association (APWA) Manual of Standard Specifications. The City also has the Development Code, Municipal Code, and Stormwater Design Manual. Engineering has had a set of standard details that have been referenced but never adopted. All these things are good and needed but they don't cover all the details pertaining to construction. Most cities have their own construction standard specifications and details (aka – a “spec book”) which clarifies exactly what materials to put in the ground (or above), how, and when. These kinds of details are typically not found in ordinance, municipal codes, or other manuals meant to cover a wide range of topics. This is why the city needs its own spec book; to cover all the “nuts and bolts” of construction.

Staff has taken the spec book of a neighboring city and spent the last three years modifying it to what we feel would be best for Alpine City. Please review the standards and details and provide feedback to Staff.

STAFF RECOMMENDATION

Review the proposed Alpine City Construction Standard Specifications and make a recommendation for City Council to adopt them.

MODEL MOTIONS

SAMPLE MOTION TO RECOMMEND ADOPTION

I motion to recommend adoption of the Alpine City Construction Standard Specifications as proposed.

SAMPLE MOTION TO TABLE

INSERT MOTION

**ALPINE CITY
ORDINANCE 2019-23**

**AN ORDINANCE ADOPTING CONSTRUCTION STANDARD SPECIFICATIONS AND
DETAILS SPECIFIC TO THE CITY OF ALPINE**

WHEREAS, it has been deemed in the best interest of the City of Alpine to adopt a City specific set of construction standard specifications and details, and;

WHEREAS, the Planning Commission of Alpine City has held a public hearing, reviewed the proposed construction standard specifications and details, and made a recommendation to the City Council, and;

WHEREAS, the City Council of Alpine City has reviewed the proposed construction standard specifications and details:

NOW THEREFORE, be it ordained by the City Council of Alpine City as follows:

1. Exhibit A, attached, is hereby adopted as part of Alpine City standards and shall apply to all future development until amended or repealed.
2. This ordinance shall take effect upon posting in accordance with state law.

PASSED this 19 day of November 2019.

Mayor Troy Stout

ATTEST:

Charmayne G. Warnock, City Recorder



Jed Muhlestein
Alpine City Engineer



CONSTRUCTION STANDARD SPECIFICATIONS

Adopted _____



ALPINE CITY CONSTRUCTION STANDARDS

- Section 100. General Provisions.**
- Section 200. Improvement and Design Requirements.**
- Section 250. Inspection and Testing.**
- Section 300. Contractor Requirements.**
- Section 350. Earthwork and Trenches.**
- Section 400. Drinking Water.**
- Section 450. Pressurized Irrigation.**
- Section 500. Sanitary Sewer**
- Section 550. Storm, Land and Groundwater Drains.**
- Section 600. Streets and Pavements.**
- Section 650. Portland Cement Concrete and Masonry Work.**
- Section 700. Reserved.**
- Section 750. Reserved.**
- Section 850. Surface Irrigation Systems.**
- Section 900. Landscaping.**
- Section 950. Irrigation Sprinkler Systems.**
- Section 1000. Standard Details**

Section 100. General Provisions.

SECTION INDEX

100.010. Improvement Requirements.

- A. General.
- B. Improvements Made Before Recording.
- C. Variations, Substitutions, Exceptions and Changes.
- D. Protection of Existing Improvements.
- E. Maintaining Existing Road Surfaces.
- F. New Materials.
- G. City Furnished Products.
- H. Product Delivery and Handling.
- I. Product Storage and Protection.
- J. Building Permits.
- K. Other Specifications and Standards.

100.020. Definitions.

100.010. Improvement Requirements.

- A. General. This policy defines the general requirements for improvements to be built by the Developer, sub-divider, owner, or Contractor for all types of construction, (to include residential, commercial, industrial, institutional, governmental and professional office). All improvements which are in areas that are or will become public rights-of-way and/or easements, or that will be under the responsibility of a homeowners association shall meet the requirements of these specifications.

The improvements shall include all street improvements in front of all lots and along all dedicated streets to a connection with existing improvements of the same kind and to the boundaries of the development. Layout must provide for future extension to adjacent development and to be compatible with the contour of the ground for proper drainage. All drinking water, sanitary sewer, pressurized irrigation, electric, communication, storm, land or groundwater drains and any other buried utilities or conduits shall be installed to the boundary lines of the Subdivision or development.

- B. Improvements Made Before Recording. No improvements shall be commenced until a final plat is approved and inspection fees paid.
- C. Variations, Substitutions, Exceptions and Changes. Any variation, substitution or exception from the standards in this policy must be authorized in writing by the City Engineer or his/her designee. Product options and substitutions must meet the requirements of APWA 01 25 00 (Product Options and Substitutions). Any item of construction not covered in these standards must have plans and specifications approved by the City Engineer or his/her designee. Requests for changes to the Construction Standards shall be made in writing to the City Engineer. These requests will be reviewed during revision process conducted in conjunction with the APWA revisions.
- D. Protection of Existing Improvements. The Contractor shall be responsible for the protection of any existing improvements on public or private property at the start of work or placed there during the progress of the work. Existing improvements shall include but are not limited to permanent surfacing, curbs, ditches, driveways, culverts, fences, walls and landscaping. Any surface improvements damaged as a result of construction shall be restored or replaced to an equal or better condition than before. This shall be accomplished in a timely manner.
- E. Maintaining Existing Road Surfaces. The Contractor shall be responsible for maintaining existing road surfaces suitable for travel by the public. The Contractor shall be responsible for all dust and mud control and all claims and damages resulting from failure to maintain the construction area.
- F. New Materials. Only new materials may be used during construction unless otherwise authorized by the City Engineer or his/her designee. In such a case where used materials are proposed, only materials of similar use may be installed in a new system with the same use. Example: Only previously used storm drain pipe can be evaluated for use in a new storm drain system or only previously used culinary main line may be evaluated for use in a new culinary system. If approved, the used materials must meet all applicable standards, thoroughly cleaned, and be restored to their original condition prior to installation.
- G. City Furnished Products. If the City furnishes any products the Contractor shall conform to requirements and specifications of APWA 01 64 00 (Owner-furnished Products).
- H. Product Delivery and Handling. The Contractor shall conform to requirements and specifications of APWA 01 65 00 (Product Delivery and Handling).
- I. Product Storage and Protection. The Contractor shall conform to requirements and specifications of APWA 01 66 00 (Product Storage and Protection).
- J. Building Permits. The City may issue a building permit upon application, in compliance with all laws, ordinances, rules, and regulations. No building permit will be issued until all the improvements essential to meet the building code and fire code are installed, accepted, and in service and all building permit and impact fees are paid.

When asphalt pavement plants are closed for the winter, building permits may be issued before paving if there is eight inches of compacted road base in all areas to be paved.

The City Engineer or his/her designee is hereby designated as the responsible official to accept the improvements.

Adopted _____

- K. Other Specifications and Standards. City standards and ordinances shall supersede all other Standards whenever they conflict. Alpine City hereby adopts 2017 APWA (American Public Works Association). If not covered in these specifications and details, 2017 APWA specifications shall be used.

100.020. Definitions.

- A. AASHTO. The American Association of State Highway and Transportation Officials, is a standards setting body which publishes specifications, test protocols and guidelines which are used in highway design and construction throughout the United States.
- B. APWA. The Utah Section, American Public Works Association Manual of Standard Specifications, latest edition with all approved supplements. These standard specifications can be obtained at <http://utah.apwa.net/>. When sections of the APWA manual are referred to in these standards, the Contractor shall also adhere to the requirements and specifications of all related sections referred to by the section of the APWA manual.
- C. AWWA. The American Water Works Association Standards, latest edition.
- D. City. The City of Alpine, Utah.
- E. City Engineer. The person appointed by the City to be the City Engineer.
- F. City Planner. The person appointed by the City to be the City Planner.
- G. Civil Engineer. A person-licensed with the State of Utah to practice as a professional engineer.
- H. County. Utah County, Utah.
- I. Construction Plans. Construction plans include drawings showing all required improvements for a development showing their location, size, grade, and elevations.
- J. Customer. A person or company receiving service from any City utilities
- K. Contractor. A person or company hired by the City or a Developer to perform construction in or for the City, having appropriate state licenses to perform said work.
- L. Council or City Council. The governing body of the City.
- M. Cul-de-sac. A permanent dead-end street.
- N. Developer. Person, persons, partnership or corporation developing residential, commercial or industrial property.
- O. Development Code. The Alpine City Development Code as currently adopted by the City Council.
- P. Final Plat. An original recordable plat drawn on mylar in a form approved by the City and County, showing all lots, streets, utility easements, etc.
- Q. Flood Plain. That area designated on the most recent Flood Insurance Rate Map for the City of Alpine, prepared by the Federal Emergency Management Agency, as a flood plain as amended.
- R. General Plan. The general plan document as approved by the City Council.
- S. Improved Lot. A lot which has all the improvements required in the Alpine City Development Code.
- T. Improvements. Includes roads, streets, curb, gutters, sidewalks, grading, landscaping, water and sanitary sewer systems, irrigation systems, drainage systems, power and communication systems, fences, public facilities, trees or other requirements by this Section or by the City.
- U. Land Surveyor. A person licensed with the State of Utah to practice as a licensed land surveyor.

Adopted _____

- V. Lot. A parcel or tract of land within a subdivision which is or may be occupied by a building or structure and the accessory buildings, structures or uses customarily incident thereto, including such open spaces as are arranged and designed to be used in connection with the building according to the zone within which the lot is located.
- W. LID. Low Impact Development is an approach to land development that works with nature to manage storm water as close to its source as possible. LID employs principles such as preserving and creating natural landscape features, minimizing effective imperviousness to create functional and appealing site drainage that treats storm water as a resource rather than a waste product.
- X. MUTCD. The Manual on Uniform Traffic Control Devices defines the standards used by road managers nationwide to install and maintain traffic control devices on all public streets, highways, bikeways, and private roads open to public traffic.
- Y. NEC. The National Electrical Code is a United States standard for the safe installation of electrical wiring and equipment.
- Z. NESC. The National Electrical Safety Code establishes rules which govern: a) methods of grounding; b) installation and maintenance of electric-supply stations and equipment, of overhead supply and communication lines, and of underground and electric-supply and communication lines; and c) operation of electric-supply and communication lines and equipment.
- AA. Offsite Facilities. Facilities outside of the boundaries of the subdivision or development site which are designated and located to serve the needs of the subdivision or development or adjacent property, usually lying between a development and existing facilities.
- BB. Onsite Facilities. Facilities installed within or on the perimeter of the subdivision or development site.
- CC. OSHA. The Occupational Safety and Health Administration is the main federal agency charged with the enforcement of safety and health legislation.
- DD. Parcel of Land. A contiguous area of land in the possession or ownership of one person with one tax identification number.
- EE. Planning Commission. The Planning Commission of Alpine City.
- FF. Preliminary Plat. A map or plat of a proposed subdivision or development with accompanying supplementary documents.
- GG. Public Utility Easements. The easements required to place public utilities across any privately owned property.
- HH. ROW. A public Right of Way is a strip of land that is granted, through an easement or other mechanism, for transportation purposes, such as for a trail, driveway, rail line or highway. A right-of-way is reserved for the purposes of maintenance or expansion of existing services with the right-of-way.
- II. Site Plan. A plan for a commercial, industrial, institutional, governmental or planned residential development in the City.
- JJ. Streets. A thoroughfare which has been dedicated and accepted by the City Council, which the City has acquired by prescriptive right or which the City owns, or is offered for dedication on an approved recorded final plat. For further explanation see the streets section.
- KK. Subdivision. Any parcel of land that is divided, re-subdivided or proposed to be divided into two or more lots, parcels, sites, units, plots, or other division of land for the purpose, whether immediate or future, for offer, sale, lease, or development either on the installment plan or upon any and all other plans, terms, and conditions. A subdivision includes (1) the division or development of land whether by deed, metes and bounds description, devise and testacia, lease, map, plat, or other recorded instrument; and (2) divisions of land for all land for all residential and nonresidential uses, including land used or to be used for commercial, agricultural, and industrial purposes.

- LL. Utilities. Includes drinking water lines; irrigation lines; sanitary sewer; storm, land and groundwater drains; gas lines; electric power lines; cable television and telephone lines; underground conduits; and junction boxes and all appurtenances to the above.

Section 200. Improvement and Design Requirements.**SECTION INDEX****200.010. General.**

- A. Easement.
- B. Traffic Control.
- C. Survey.
- D. Temporary Controls.
- E. Landfill, Construction Debris, or Garbage.

200.015. Specialized Engineering.

- A. General
- B. Geotechnical Engineering.

200.020. Construction Plans.

- A. General.
- B. Plan Sheets.
- C. Electric and Communication Plans.
- D. Street, Parking Lot and Driveway Plans.
- E. Sanitary Sewer, Storm, Land and Groundwater Drain Plans.
- F. Drinking Water and Pressurized Irrigation Plans.
- G. Landscaping Plans.
- H. Irrigation Canal and Pipe Plans.

200.030. Street Improvements.

- A. General.
- B. Access
- C. Cul-de-sacs.
- D. Curbs, Gutters, and Sidewalks.
- E. Partial-Streets Widths.
- F. Driveway and Intersection Location.
- G. Parking.
- H. Reverse Frontage Lots.
- I. Temporary Turn-Arounds.
- J. Allowable Grades.
- K. Stamped Concrete or Pavers.
- L. Precast Concrete or Block Walls.
- M. Pedestrian Ramps.
- N. Horizontal and Vertical Curve.

200.040. Utility Improvements.

- A. General.
- B. Communication.
- C. Electric.
- D. Pressurized Irrigation.
- E. Sanitary Sewer.
- F. Storm Drain.
- G. Drinking Water.

200.010. General.

A. Easements. Developer shall provide easements for all utility extensions through private property. Developer shall also provide a 10 foot public utility easement along public right-of-ways or streets, along all exterior property boundaries of the development, and 5 foot public utility easements along all interior property lines of the development. If setbacks are less than 10 feet then public utility easements shall be the extent of the setback.

B. Traffic Control. A traffic control plan shall be submitted to the City prior to construction in or along public streets. All traffic control shall comply with APWA 01 55 26 (Traffic Control) and the MUTCD.

C. Survey. The alignment of the side property lines for each lot in a subdivision shall be marked in the top back of curb with a lot line witness marker that meets the requirements and specifications of APWA 31 05 10 (Boundary Markers and Survey Monuments). Developer shall provide survey bench marks and monuments as required by the City Engineer or his/her designee.

All property corners shall be marked with a rebar corner marker that meets the requirements and specifications of APWA 31 05 10 (Boundary Markers and Survey Monuments). Corners must be marked before acceptance of a subdivision's improvements by the City. The rebar must be offset 2 to 4 inches by a steel tee post four feet out of the ground on the property line alignment.

D. Temporary Controls. Temporary controls such as noise, dust, mud, surface water, ground water, pollution and erosion controls shall be made. Controls shall meet the requirements and specifications of APWA 01 57 00 (Temporary Controls). The pumping of groundwater across sidewalks, into gutters or into the sanitary sewer system is prohibited.

E. Landfill, Construction Debris or Garbage. No buildings, paved parking lots, paved roads, curb, gutter, or sidewalks are allowed to be located over landfills, construction debris, or garbage.

200.015. Specialized Engineering.

A. General. Any specialized engineering beyond the expertise of city staff such as, but not limited to, geotechnical, traffic, environmental, hillside, floodplain, bank stabilization and erosion control will require the review of qualified consultants. All review costs shall be paid by the property owner/developer.

B. Geotechnical Engineering. All Major subdivisions, as outlined in the Development Code, shall be required to submit a site specific geotechnical report. The geotechnical report shall include sufficient subsurface exploration, laboratory testing and geotechnical engineering analysis to render design level geotechnical recommendations and opinions regarding slope stability and required mitigation to protect planned or future development above and below the slope(s) from earth deformations and other adverse soil or geologic conditions.

All work completed in connection with the site specific geotechnical report shall be performed by an experienced geotechnical engineering firm and under the direct supervision and direction of a professional geotechnical engineer properly licensed in the state of Utah.

The scope of work described below is considered the minimum requirement for the geotechnical investigation. The geotechnical firm (Consultant) shall use their experience and engineering judgment in conjunction with the minimum requirements outlined below to develop an appropriate site-specific geotechnical scope of work and report.

1. Field Explorations. Prior to commencing field explorations the geotechnical engineer shall review available geologic maps, aerial photographs and other pertinent literature to develop an understanding of the site and its geologic setting.

Locate utilities within areas of explorations by notifying the appropriate local one-call state utility locate service. Independent private utility locates may be required for utilities not identified by the local one-call service. Complete subsurface explorations, as many as needed to obtain a representative sample of all soil conditions for the entire site, but specifically shall be obtained for proposed roadway locations and residential building.

Boring (s) shall be located within close proximity to slope crests so as to render a representative soil profile of the slope for analysis. The boring(s) shall extend to a minimum depth of 15 feet

below the top of the slope. For example, if a 30-foot tall slope is being evaluated the boring shall extend at least 45 feet below the top of the slope. Borings shall extend through existing fill materials so that at least one sample is collected in native soil. Adjust boring depths for anticipated site development cuts and fills and for known soil conditions.

The geotechnical shall consider past property use and location. Additional soil borings shall be planned for sites located in areas that are known or suspected to have had previous slope deformations or seeps, springs or other adverse features. Special attentions shall be given to identifying, to the extent practical, the presence and extent of existing fill.

Collect a minimum of four (4) soil samples in the upper ten (10) feet of the profile and at intervals of five (5) feet thereafter. Adjust sampling intervals to include major changes in soil layering. Collect a sufficient number of undisturbed samples in fine-grained soils to properly assess strength and consolidation properties. Perform split barrel sampling in granular soils. Field blow counts should be corrected for energy and depth and presented as Standard Penetration Test (SPT) blow counts on the soil boring logs.

Field classify encountered soil in accordance with the American Standard for Testing and Materials (ASTM) and Unified Classification System (USCS).

Borings encountering bedrock shall be extended a minimum of 5 feet into the bedrock. Rock coring equipment shall be used where practical to aid in assessing rock properties. Where cores are collected, Rock Quality Designator (RQD) values should be presented on the boring logs.

2. Laboratory Testing. Samples collected in the field shall be properly packaged to avoid disturbance or freezing and transported to an accredited geotechnical and materials testing laboratory for further observation and testing. Laboratory testing shall be performed under the direction of a Utah licensed professional geotechnical engineer and in accordance with appropriate ASTM standards. At a minimum laboratory testing shall include the following:

- a. Sieve analysis – determine grain size distribution and percent fines (minus 200 sieve)
- b. Atterberg tests – classification, indexing, shrinkage and expansiveness
- c. In-place density
- d. Natural moisture content
- e. Shear strength – Direct Shear and/or Triaxial Shear

Additional laboratory testing may be required to address site conditions and provide necessary engineering properties for analysis. The geotechnical engineer shall use his professional judgment and local experience to determine an appropriate scope for laboratory testing.

Laboratory test results shall be presented in the Geotechnical Report, on individual summary sheets in the report appendix or on the boring logs.

3. Geotechnical Report Requirements. The results of the field and laboratory programs shall be evaluated by a Utah registered professional geotechnical engineer. Based on the results of their evaluation, an engineering report shall be prepared that details the results of the testing performed, provides logs of the borings and a diagram of the site/boring layout and provides geotechnical recommendations and information regarding following:

- a. General suitability of the site for the planned development
- b. Recommended precautions and limitations
- c. Subsurface exploration procedures
- d. Soil and rock conditions encountered
- e. Groundwater depth during and after drilling
- f. Geologic setting
- g. Geologic hazards (ie – fault, slide, rock fall, etc.)
- h. Slope stability including provisions, recommendations and designs to mitigate the effects of unstable slopes and other geologic hazards that may adversely impact planned developments above and below the slope(s)
- i. Special design and construction provisions for footings or foundations near steep slopes, including type and depth of foundation system and set back distance from slopes
- j. Surface water runoff control and drainage

- k. Subsurface drainage
- l. Site grading and earthwork requirements, as appropriate

Detailed individual boring logs and graphical cross sections summarizing soil / rock profiles and slope stability analysis and results shall be included in the geotechnical report. The logs shall contain sufficient detail to render a clear description of the soil stratigraphy, soil descriptions and classifications, SPT blow counts, sample locations and depths, ground water depths and appropriate laboratory test results. Individual boring logs shall include a description of the boring location, exploration equipment used, relative or actual elevation, date of exploration and other pertinent information relative to the field exploration. The cross sections shall contain sufficient detail to render a clear description of the slope stability analysis results and any mitigation measures required. The cross sections shall contain soil profile data and a summary of engineering properties and parameters used in the analysis for each significant soil / rock layer.

The final geotechnical report shall bear the geotechnical engineer's stamp and seal. One (1) electronically submitted PDF copy of the report shall be delivered to the City of Alpine within sufficient time for review and comment. The City will have the report reviewed by its own geotechnical engineer. The cost of that review will be borne by the applicant.

200.020. Construction Plans.

- A. General. The following instructions are for the purpose of standardizing the preparation of construction plans to obtain uniformity in appearance, clarity, size, and style. Plans and designs shall meet the standards defined in the specifications and drawings hereinafter outlined. All drawings and/or prints shall be clear and legible and conform to good engineering and drafting room practice.

Include the following in construction plans for all developments:

- 1. A copy of the proposed final plat or site plan;
- 2. A plan view of the entire project showing all utilities, roads, and appurtenances;
- 3. Plan and profiles of all storm, land and groundwater drains, sanitary sewer, curb, gutter, and irrigation;
- 4. Detail drawings of street cross sections according to the standard drawings and other detail drawings only for items not found in the City standard drawings. Detail drawings shall be to scale and completely dimensioned and described. All items shall be designed in accordance with minimum requirements established by the City Construction Standards;
- 5. Complete plans for all off-site work to be done in conjunction with the project;
- 6. A stamp and signature of a Civil Engineer licensed in the state of Utah on each plan sheet, detail drawing, and design sheet;
- 7. Engineer's take off quantities and cost estimate for all construction work related to the project;

- B. Plan Sheets. Include the following on each plan sheet:

- 1. North Arrow;
- 2. A standard engineering scale between 1 inch equals 10 feet and 60 feet. A scale of 1 inch equals 100 feet may be used on the plan view of the entire project if necessary to fit project on one sheet;
- 3. Title block along right side of sheet with title of drawing in lower right corner. Include in title block:
 - a. Name of subdivision and plat or site plan;
 - b. Name of city;
 - c. Specific type of drawing (construction drawings, plan view, plan and profiles, off-site construction, detail drawings);
 - d. Name of engineer, surveyor, or firm preparing drawings;
 - e. Drawing number of total number of drawings;
- 4. Also include the following with profile drawings:
 - a. Vertical scale of 1 inch equals 1, 2, 3, 4, 5, or 6 feet;
 - b. Reference to the vertical datum. The 1929 or 1988 North American Vertical Datum (NAVD29 or NAVD88) shall be used for all elevation data;
 - c. Benchmark location and elevation for checking construction;
 - d. Stationing aligned from plan view with the profile view;
 - e. Existing ground, ditch, and utility lines;
 - f. A sheet index on each sheet showing profiled area in relation to the overall project.

- C. Electric and Communication Plans. Construction plans must include the location of all existing poles, transformers, secondary junction boxes, gas lines, sectionalizers, overhead electrical wire and overhead

communication cable. Developers will be required to work separately with owners of these companies to obtain the necessary approvals from them.

- D. Street, Parking Lot, and Driveway Plans. Include the following for curb, gutter, storm, land and groundwater drains, drainage structures, sidewalks, and street surfacing plans:
 1. Plan and profile for top back of curb for each side of the street. Label profile line as top back of curb for both sides of street if it is the same;
 2. Stationing and top back of curb elevations with curve data for curb returns;
 3. Flow direction and type of cross drainage structures at intersections with adequate flow line elevations;
 4. Type of curb and gutter if other than the standard twenty-four inch curb and gutter in the standard drawings;
 5. Location and width of driveways;
 6. Street cross sections with all proposed and existing utilities and base sections as per soils report and Construction and Development Standards;

- E. Sanitary Sewer, Storm, Land and Groundwater Drain Plans. Include the following for sanitary sewer, storm, land and groundwater drain plans:
 1. Plan and profile of all new and existing mains and manholes;
 2. Box and manhole size, location, and elevations of flow lines and rim;
 3. Location, size, grade, and type of pipe of new and existing mains;
 4. Location of each lateral with distance stubbed back into property clearly drawn and dimensioned;
 5. Storm water calculations per the Alpine City Storm Water Drainage Design Manual and Appendicies;
 6. Storm inlet boxes shall be located on street corners and or property lines.

- F. Drinking Water and Pressurized Irrigation Plans. Include the following for drinking water and pressurized irrigation plans:
 1. Location, size, and type of pipe of new and existing water mains;
 2. Location of valves, fittings, hydrants, boxes, meters, and appurtenances;
 3. Minimum cover;
 4. Location of each lateral with distance stubbed back into property clearly drawn and dimensioned;
 5. Looping of the drinking waterline will be required at the discretion of the City Engineer or his/her designee to provide adequate fire flows and redundancy.

- G. Landscaping Plans. For landscaping that will be maintained by the City, developments with landscaping restrictions (Three Falls, Summit Pointe, etc.), or a homeowner's association submit one copy of the landscaping plans including all irrigation system layouts, details, legends, and drawings. These project plans shall meet the requirements of the Section 900. Landscaping and Section 950. Irrigation Sprinkler Systems, as well as the specific requirements of the development in which they are located.

- H. Irrigation Canal and Pipe Plans. Plans that affect canals or irrigation pipes must be stamped approved by those responsible for their maintenance before they will be approved by the City.

200.030. Street Improvements.

- A. General. The Developer shall construct all streets and appurtenances required for the development as specified by the City Council in accordance with the City Construction and Development Standards and/or other codes adopted by the City. The design and all street work shall be done as directed and under the supervision of the City Engineer or his/her designee.

- B. Access. Access requirements shall be in accordance with the Development Code.

- C. Cul-de-sacs. The maximum length of a cul-de-sac is 450 feet measured from the nearest right-of-way line of the adjoining street to the center of the cul-de-sac. The minimum radius of the cul-de-sac is 60 feet at the property line.

- D. Curbs, Gutters and Sidewalks. Curbs, gutters, and sidewalks shall be built along all public streets according to the standard drawings. All curbs, gutters, and sidewalks shall connect to existing curbs, gutters, and sidewalks within a reasonable area as determined by the City Engineer or his/her designee.

- E. Partial-Streets Widths. Per Alpine City Development Code

- F. Driveway and Intersection Location. Driveways and street intersection locations shall be designed according to Alpine City Transportation Master Plan. No driveway shall be constructed within 40 feet from an adjoining street. The distance is measured from the adjoining street's Top Back Curb (TBC) to the edge of driveway for access.

Curb cuts shall only be allowed for driveways. Driveways shall be a minimum of 3 feet from any above grade utility box. All accesses and streets onto arterials must be approved by the City Engineer or his/her designee.
- G. Parking. Per Alpine City Development Code.
- H. Reverse or Double Frontage Lots. Per Alpine City Development Code
- I. Temporary Turn-Arounds. Per Alpine City Development Code.
- J. Allowable Grades. Per Alpine City Development Code
- K. Stamped Concrete or Pavers. Alpine City does not allow colored/stamped concrete or pavers on city owned concrete flatwork unless recommended by the Planning Commission and approved by the City Council.
- L. Precast Concrete or Block Walls. The design of all walls greater than four feet of exposed height must be approved through the Building Department. Design must be stamped and signed by a licensed professional civil engineer registered in the state of Utah.
- M. Pedestrian Ramps. Pedestrian ramps shall be placed at all corners of intersections and at all other locations of regular pedestrian traffic across roads as determined by the City Engineer or his/her designee. All ramps shall conform to the requirements of the Americans with Disabilities Act and City standards.
- N. Horizontal and Vertical Curve. Per Alpine City Development Code

200.040. Utility Improvements.

- A. General. It shall be the responsibility of the Developer to connect to existing utilities or improvements wherever they are located and extend those improvements to and through the development. Workmanship and details of construction shall be in accordance with the City Construction Standards and/or other codes adopted by the City. All work shall be done under the supervision of the City Engineer or his/her designee.
- B. Communication. Communication lines shall be underground except when the City Engineer or his/her designee feels that such underground lines are not in the best interest of the City.
- C. Electric. Electrical lines shall be underground except when the City Engineer or his/her designee feels that such underground lines are not in the best interest of the City. Lines shall be located opposite of water and pressurized irrigation lines.
- D. Pressurized Irrigation. The Developer shall connect the development with the city pressurized irrigation system with all appurtenances and shall make such pressurized irrigation available to each lot or unit within the development. Adequacy of supply and sizes of pressurized irrigation mains shall be established by the City Engineer or his/her designee. Meter boxes shall be located per Alpine City Standard Details.
- E. Sanitary Sewer. The Developer shall provide each lot with a sanitary sewer system in accordance with the ordinances of the City. All measures should be taken to utilize a gravity sewer system before the City will consider a pumped system. All said work shall be done as directed and under the supervision of the City Engineer or his/her designee.
- F. Storm Drain. The Developer shall provide on-site storm drainage facilities according to the storm water Drainage Design manual and in accordance with the ordinances of the City. Storm drainage systems shall incorporate Low Impact Development (LID) systems. The maximum allowable storm water discharge from any commercial and industrial development will be limited to 0.07 cfs/acre of development. Individual lots shall retain the 90th Percentile Storm.
- G. Drinking Water. The Developer shall connect the development with the city drinking water system with all appurtenances and shall make such drinking water is available to each lot or unit within the development. Adequacy of supply and sizes of drinking water mains shall be established by the City Engineer or his/her

CONSTRUCTION STANDARDS

Alpine City

designee. Pipes shall be located opposite from electrical lines. Looping of the drinking waterline will be required at the discretion of the City Engineer or his/her designee to provide adequate fire flows and redundancy. Meter locations shall be per Alpine City Standard Details.

Adopted _____

Section 250. Inspection and Testing.

SECTION INDEX

250.010. General.

- A. Quality Assurance.
- B. Submittals.
- C. Preconstruction Meeting.
- D. Inspection and Testing Notification.
- E. Testing and Sampling.
- F. Testing Agency.
- G. Work without Required Inspection and Testing.
- H. Inspection and Testing Fees.
- I. Sub-standard Work and Pay Factors.
- J. Weekly Progress Meetings.
- K. Road Construction.
- L. As-Built Survey.
- M. Acceptance of Improvements.

250.020. Earthwork.

- A. Compaction and Moisture Content Tests.
- B. Red-head Inspection.
- C. Proof Roll Inspection.
- D. Thickness Test.

250.030. Landscaping and Irrigation Sprinkler Systems.

- A. Plant Material Inspection.
- B. Sprinkler System Assembly Inspection.
- C. Fall Sprinkler Winterizing Test
- D. Spring Sprinkler Energizing Test.
- E. Final Acceptance Inspection.

250.040. Portland Cement Concrete Work.

- A. General.
- B. Slump, Temperature, and Air Entrainment Test.
- C. Compression Test.
- D. Forms and String Line Inspection.
- E. Gutter Drainage Inspection.
- F. Thickness Test.
- G. Curing Inspection.

250.050. Pressurized Irrigation.

- A. General.
- B. Main Line Inspection.
- C. Pressurized Irrigation Service Inspection.
- D. Pressure Test.
- E. Leakage Test.

250.060. Sanitary Sewer.

- A. General.
- B. Main Line Inspection.
- C. Service Inspection.
- D. Air Pressure Test.
- E. Video Inspection.
- F. Deflection Test.

250.070. Storm, Land and Groundwater Drains.

- A. General.
- B. Main Line Inspection.
- C. Air Pressure Test.
- D. Video Inspection.
- E. Deflection Test.

250.080. Streets.

- A. Asphalt Pavement Material Tests.
- B. Compaction Tests.
- C. Grading Inspection.
- D. Thickness Test.
- E. Profile Tolerance Inspection.
- F. Asphalt Concrete Temperature Test.
- G. Asphalt Paving Limitations.

250.090. Drinking Water.

- A. General.
- B. Main Line Inspection.
- C. Drinking Water Service Inspection.
- D. High Chlorine Test.
- E. Pressure Test.
- F. Leakage Test.
- G. Bacteria Test.

250.010. General.

- A. Quality Assurance. The following work shall be subject to the inspection and testing requirements of this Section:
 1. Work on existing or proposed City property;
 2. Work on property that will be owned by a property owners association;
 3. Work on existing or proposed streets, easements, or right-of-ways;
 4. Work on existing or proposed City utilities.

The Contractor must ensure that all inspection and testing required by these standards is performed and accepted by the City Engineer or his/her designee. The Contractor must also ensure that any additional inspection and testing required by the City or a testing company is performed and accepted by the City. In projects other than those bid out by the City, the Developer is ultimately responsible for the work of the Contractor.

- B. Submittals. Contractor shall turn in submittals for all testing not performed by the City.
 1. *Field Test Report.* Contractor must submit original field test report immediately to City whenever possible. Reports may not be submitted later than the end of the current day.
 2. *Laboratory Test Report.* Submit original report to the City within 48 hours after test results are determined.

Material and Equipment Specifications. One copy of the manufacturer's specifications and manuals for equipment and materials used must be submitted to the City 7 days before the pre-construction meeting.
- C. Preconstruction Meeting. The Contractor must schedule a preconstruction meeting with the City's engineering department before any work on a new development or City project may begin.

The Contractor, Developer, project engineer, and all sub-contractors must be present at the preconstruction meeting. Any sub-contractor not attending the preconstruction meeting must schedule an additional preconstruction meeting with the City before beginning work. Work must begin within 4 weeks of the preconstruction meeting or a new preconstruction meeting must be scheduled by the Contractor at the discretion of the City Engineer.

- D. Inspection and Testing Notification. The City may contract with a private company to conduct any inspections or testing specified to be performed by the City. All inspections and tests must be scheduled with the City or company contracted by the City a minimum of 1 full business day before needed. Requests for inspection on work requiring continuous inspection shall be made 3 full business days prior to commencing the work.
- E. Testing and Sampling. The City Engineer or City Inspector may require that sampling be performed in their presence, in which case the Developer or Contractor shall be notified of this requirement in writing at the time the building permit is issued, or at the preconstruction meeting, or when construction drawings are released by the City for construction, as applicable.

Each sample or test shall be accompanied by the following written data, which shall be reported to the City with test results:

1. Name of Project.
 2. Name of Developer/Contractor.
 3. Project Street Address.
 4. Appropriate Test Name.
 5. Date of Sampling.
 6. Sample Number (if more than one sample per day).
 7. Name of technician who performed the testing.
 8. Location of sample.
- F. Testing Agency. All materials testing, whether in a laboratory or in the field, shall be conducted by a testing agency approved by the City Engineer or his/her designee.
 - G. Work without Required Inspection and Testing. Any work performed without required inspection or testing will give the City the option to call the bond covering that portion of the improvements in violation, or, require the removal and replacement of the un-inspected work. For City projects, the City Engineer may also accept the work at a reduced price if the lowest pay factor is applied.

- H. Inspection and Testing Fees. Inspection fees and/or connection fees shall be paid and permits required shall be obtained prior to commencement of construction.
- I. Sub-standard Work and Pay Factors. If any inspection or test indicates that work does not meet City standards the City Engineer may require that the work be redone. If the work has a pay factor option in the standards, the City Engineer may accept the work at a reduced price upon condition that the pay factors outlined in the City standards apply. Payment reduction amounts shall either be assessed to the developer as a fee based upon bond estimates for the work, or be applied against payments to Contractors for City contracts. When any work is done to a lower standard than allowed for in the pay factor tables the work shall be redone until it meets City standards.
- J. Weekly Progress Meetings. At the pre-construction meeting it will be determined if weekly construction meetings are required. The City Engineer or his/her designee, City inspectors, the Contractor, and sub-contractors shall be in attendance.
- K. Road Construction. Road construction may not commence until all underground utilities (both City and privately owned) are installed and pass all the inspections and tests required by these standards.
- L. As-Built Survey. The Contractor shall notify the City to survey all underground utilities either installed or uncovered in the course of construction. Contractor shall give the City 24 hour's notice to survey utilities.
- M. Acceptance of Improvements. Inspections made by the City or a company hired by the City to determine compliance with the specifications do not imply final acceptance of the work. The City requires the completion of all facilities before any are accepted for maintenance. The following inspections must be scheduled and passed before final acceptance of any improvements:
 - 1. End of Construction Inspection. The Contractor must schedule with the City an end of construction inspection once all the improvements in a development or project are completed according to the Construction and Development Standards.
 - 2. Final Acceptance Inspection. One year after the Contractor or Developer passes the end of construction inspection, he or she must schedule a final acceptance inspection.

If the Contractor or Developer does not pass one of these inspections a punch list of work items necessary to pass the inspection will be given to the Contractor or Developer within 2 business days of the inspection. The Contractor or Developer must reschedule inspections with the City until the project or development passes the inspection.

All improvements shall be free from defects, damage, or debris at the time of these inspections. The Contractor or Developer shall not be responsible for debris or damage not caused as a result of his or her work or quality of work.

Any faulty or defective work shall be corrected by the Contractor within 30 days of the failed inspection or according to the contract the City has with the Contractor.

If the Contractor or Developer fails to do so, the City Engineer or his/her designee shall have such repairs made, and the cost of such repairs shall be paid by the Developer together with 25% in addition thereto for stipulated damages for such failure on the part of the Developer to make the repairs.

250.020. Earthwork.

- A. Compaction and Moisture Content Tests. The Contractor will test all sub-grade and fill material for compaction and moisture content and will provide these tests to the city within 48 hours of testing. Test locations shall be determined by the City.
 - 1. Trenches. Tests will generally be taken 1 per 200 lineal foot of trench per 8 inch lift.
 - 2. Streets. Tests will generally be taken 3 per 200 lineal foot of street per 8 inch lift.
 - 3. Other Cuts and Fills. Tests will generally be taken 1 per 2,000 square feet of compacted area.
- B. Red-head Inspection. The project engineer must provide red-heads for all grade work when brought to within 3 inches of finish grade. The City must inspect and accept finished grading to the engineered red-heads.
- C. Proof Roll Inspection. Prior to placing fill material for roadbed backfills, proof roll sub-grade using gross weight of 18,000 pounds per tandem axle, with a tire pressure at least 90 psi, unless otherwise specified by

the soils report. Contractor shall proof roll under the supervision of the City according to the following conditions:

1. *Passes.* All proof roll passes will traverse the sub-grade parallel to the roadbed centerline. All subsequent passes will be offset half the vehicle width until the entire sub-grade is tested.
 2. *Mitigation.* The City will analyze, determine, designate, and measure the areas, if any, requiring additional compaction or reconstruction.
 3. *Sub-grade Protection.* Once sub-grade passes the proof rolling test, protect the surface from construction operations and traffic damage. Repair all cuts, ruts, and breaks. Keep surface in a satisfactory condition until geotextile fabric or base course has been placed.
- D. Thickness Test. Material thickness tests will be conducted by the City when the City Engineer or his/her designee considers it necessary. The total depth shall be reasonably close to that shown on the typical section. Depth analysis shall be made on at least four holes for each section. Base thickness shall be accepted if 75% of the test holes are less than 1/4" below the specified thickness and no individual hole shall be more than 3/4" below the specified thickness.

250.030. Landscaping and Irrigation Sprinkler Systems.

- A. Plant Material Inspection. All plant materials are to be inspected and approved by the City at the time of delivery on site. This approval does not constitute final acceptance of any plant material by the City Parks Department Representative. All plant materials will be inspected again at time of final inspection and once again at the end of the warranty period. Any plant found to be unacceptable at any of these inspections shall be immediately removed and replaced.
- B. Sprinkler System Assembly Inspection. An on-site inspection shall be conducted by the City after the entire sprinkler system is assembled and prior to backfilling the trenches. During this inspection all fittings, bends, sweeps, valves, sprinkler heads and any other appurtenance on the system shall be surveyed by the City.
- C. Fall Sprinkler Winterizing Test. In the fall of the year during the installation and guarantee period, the Contractor shall meet with the City on the project site. The Contractor shall winterize the system by draining all the water and doing everything necessary to insure the protection of the system until spring. Blowing out the lines by compression shall be permitted during the 1 year guarantee. The individuals involved from both parties shall exchange all information necessary for the eventual takeover of the system by the Alpine City Maintenance Personnel.
- D. Spring Sprinkler Energizing Test. The Contractor with the City Maintenance Personnel in attendance shall energize the sprinkler irrigation system the spring following the fall winterizing test. Contractor shall repair all defects found as a result of winter damage, improper installation, improper maintenance, defective materials or inadequate sprinkler drainage.
- E. Final Acceptance Inspection. At the end of the guarantee period, all landscaping and irrigation sprinkler systems must then be inspected and tested by the City. As-built drawings shall be furnished to the City at the time of the final inspection.

Irrigation sprinkler systems must operate in a satisfactory manner, with a full uniform coverage of the areas that are indicated to be sprinkled. Sprinkler heads shall be adjusted to proper level.

Landscape and irrigation sprinkler systems will not be inspected for acceptance in parts. Where inspected work does not comply with requirements, Contractor shall replace rejected work and continue specified maintenance until reinspected by the City and found to be acceptable. Remove rejected plants and materials promptly from the project site.

250.040. Portland Cement Concrete Work.

- A. General. All materials and processes involved in concrete work shall be subject to inspection and testing as detailed in the various paragraphs of this section and in general compliance with ASTM E105-54T. Results of tests performed by laboratories approved by the City to the satisfaction of the City Engineer or his/her designee shall be accepted by the supplier as a basis for acceptance or rejection of any and all materials.

The latest appropriate ASTM tests and methods shall be considered to be standard, and will include but not be limited to concrete, cement, aggregates additives, curing compounds, parting compounds and jointing materials. A copy of all batch tickets for concrete placed shall be submitted to the City.

- B. Slump, Temperature and Air Entrainment Test. The Contractor shall test slump, temperature, and air entrainment on every fifty cubic yards or less of concrete placed each day. Tests shall be taken after ½ to 1 yard has been poured from the mixer. Once a sample is taken the concrete pour shall be stopped until tests show that the concrete meets City standards. Concrete that does not meet mix design requirements for slump, temperature, and air entrainment shall not be used. Any that may already have been poured shall be removed before hardening.
- C. Compression Test. The Contractor shall test compression on every fifty cubic yards or less of concrete placed each day according to ASTM C143, C231, C1064, C172, and C31. Three cylinder specimens shall be taken for each test, one shall be broken at 7 days, one at 28 days and the third held for 45 days after submittal in case further testing is required.

Specimens shall attain the specified strength at 28 days. One lot is 1 day's production. A lot with sub-standard compressive strength may be accepted at reduced price if the appropriate pay factor is applied to the whole lot. The following table outlines the pay factors for sub-standard Portland cement concrete strength:

PORTLAND CEMENT CONCRETE
COMPRESSIVE STRENGTH PAY FACTORS

Pay Factor	Tolerance (psi below 28 day specified strength)
0.98	1 to 100
0.94	101 to 200
0.88	201 to 300
0.80	301 to 400
0.50	401 to 500
Replace	More than 500

These pay factors may not be applied toward concrete in structures.

- D. Forms and String Line Inspection. The City shall inspect all forms and string lines before concrete may be placed.
- E. Gutter Drainage Inspection. The City shall inspect all gutters for drainage prior to paving. Water shall be let into all gutters and any gutters with standing water in excess of 1/4 inch after runoff shall be replaced. Contractor must supply water truck for gutter drainage inspection.
- F. Thickness Test. The City shall determine the number, if any, and location of core tests necessary to ensure the proper thickness of Portland cement concrete. Tests shall be taken at equal intervals in a test area. A test area shall be defined as a total area placed at the same time and by the same process. The average thickness shall then be determined from all the cores taken. Tests shall be taken and verified by a certified testing lab, paid for by the Contractor.

When the average thickness is more than 0.25 inches below the specified thickness, a minimum of 1 core per 1,500 square feet of pavement shall be taken. Work with sub-standard thickness may be accepted at reduced price if the appropriate pay factor for the lowest tested thickness is applied to all of the sub-standard work. The following table outlines the pay factors for sub-standard Portland cement concrete thickness:

PORTLAND CEMENT CONCRETE
THICKNESS PAY FACTORS

Pay Factor	Tolerance (inches below specified thickness)
1.00	0.00 to 0.25
0.90	0.26 to 0.50
0.70	0.51 to 0.75
0.50	0.76 to 1.00
Replace	More than 1.00

- G. Curing Inspection. The City shall inspect the curing of all Portland cement concrete work within 24 hours of pouring the concrete.

250.050. Pressurized Irrigation.

- A. General. The inspections and tests in this section are required for all pressurized irrigation construction in the City boundaries and on all construction relating to the City pressurized irrigation system outside the city boundaries.
- B. Main Line Inspection. The City must inspect all pressurized irrigation main line installation on an ongoing basis. Inspection notification must be given before any construction of the main line may begin. All crosses, tees, bends, valves, and drains must be inspected and surveyed by the City before they are backfilled.
- C. Pressurized Irrigation Service Inspection. The City must inspect all pressurized irrigation services before service trenches are backfilled. The City must be able to survey services at the main during the inspection.
- D. Pressure Test. The Contractor must pressure test all pressurized irrigation systems, system extensions and service laterals to the setter in the presence of the City Engineer or his/her designee or have tests documented and submitted by a certified testing company approved by the City. Pressure tests must meet the requirements and specifications of APWA 33 08 00 (Commissioning of Water Utilities). Provide a 210 psi test pressure for 2 hours unless specified otherwise. The pressure of 210 psi must be provided at the highest point in the section of pipe being tested unless elevations are such that this would create pressures over 250 psi at the lowest point in the section of pipe tested. In such a case, consultation with the City Engineer is required and AWWA standards will be considered.
- E. Leakage Test. For test lengths of pipe greater than 1,500 feet, a leakage allowance may be considered. There will be no allowance for leakage on test sections less than 1,500 feet. When allowed, leakage tests shall be conducted concurrently with the pressure tests. Leakage shall be defined as the quantity of water that must be supplied into the newly laid pipe, or any valved section thereof, to maintain pressure within 5 psi of the specified test pressure after the air in the pipeline has been expelled and the pipe has been filled with water.

No pipe installation will be accepted if the leakage is greater than that determined by the following formula:

$$Q \equiv \frac{LD * \sqrt{P}}{133,200}$$

In which Q is the allowable leakage, in gallons per hour; L is the length of pipeline tested in feet; P is the average test pressure, in pounds per square inch (gage) and D is the nominal diameter of the pipe in inches.

If any test of pipe laid discloses leakage greater than specified, the Contractor shall, at their own expense, locate and repair the defective material until the leakage is within the specified allowance. All visible leaks are to be repaired regardless of the amount of leakage.

250.060. Sanitary Sewer.

- A. General. The inspections and tests in this section are required for all sanitary sewer construction in the City boundaries and on all construction relating to the City sanitary sewer system outside the city boundaries.
- B. Main Line Inspection. The City must inspect all sanitary sewer main line installation on an ongoing basis. Inspection notification must be given before any construction of the main may begin.
- C. Service Inspection. The City must inspect all sanitary sewer services before service trenches are backfilled. The City must be able to survey services at each end during the inspection.
- D. Air Pressure Test. Contractor shall conduct a low pressure air test by the following method under the direction of the City Engineer or his/her designee with equipment equal to Cherne Industrial, Inc., or provide proof that test was conducted by a certified testing company. Sanitary sewer pipes with inside diameters of 30 inches or larger shall be leak tested according to manufacturer’s specifications.

All wyes, tees, or ends of lateral stubs shall be suitably capped and braced to withstand the internal test pressures. Caps shall be easily removable for future lateral connections or extensions. After a manhole to manhole section of line has been backfilled and cleaned, it shall be plugged at each manhole with pneumatic plugs.

Low pressure air shall be introduced into the sealed line until the internal air pressure reaches 4 psi-G greater than the average back pressure of any ground water that may be over the pipe. At least 2 minutes shall be allowed for the air pressure to stabilize.

The portion of line being tested shall be accepted if the portion under test does not lose air at a rate greater than 0.003 cubic feet per minute per square foot of internal pipe surface or 2.0 cubic feet per minute minimum when tested at an average 3.0 psi-G greater than any back pressure exerted by ground water that may be over the pipe at the time of the test.

The pipe and joints shall also be considered acceptable when the time required in minutes for pressure to decrease from 3.5 To 2.5 psi-G (greater than the average back pressure of any ground water that may be over the pipe) shall not be less than the time shown for the given diameters in the following table:

PRESSURE REDUCTION TIME LIMITS

Pipe Diameter (inches)	Time (minutes)
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5
18	8.5
21	10.0
24	11.5

If the installation fails to meet this requirement, the Contractor shall determine at his/her own expense the source of leakage. He shall repair or replace all defective materials and/or workmanship. All sanitary sewer mains shall be tested, cleaned and accepted by Alpine City before laying the street surface.

- E. Video Inspection. Contractor shall clean and provide the City with video inspection of all sanitary sewer main lines **prior to paving**. The City must approve video inspection company.

Adopted _____

Cleaning shall be done using a high pressure jet cleaning machine, producing a minimum of 800 psi. Waste water and debris shall not be permitted to enter the City sanitary sewer system, but shall be removed at the lowest manhole of the extension.

Video Inspection shall be done by the Contractor. A digital video disk (DVD or thumb drive) of video inspection and log report shall be submitted by the inspection company to the City Engineer or his/her designee.

Main line determined to be defective by the City Engineer or his/her designee shall be remedied by the Contractor. Contractor shall then clean and video inspect the main lines again.

- F. Deflection Test. Contractor shall perform a displacement test on all sewer lines after video inspection. Deflections tests must be conducted in the presence of the City Engineer or his/her designee or be documented and submitted by a certified testing company approved by the City. In no case shall pipe be accepted that has a deflection of more than 5% after it has been backfilled. The Mandrel must be pulled by hand or air. A pipe deflection test shall be required of the Developer/Contractor after backfilling and compaction of the trench.

250.070. Storm, Land and Groundwater Drains.

- A. General. The inspections and tests in this section are required for all storm, land and groundwater drain construction in the City boundaries and on all construction relating to the City storm, land and groundwater drain system outside the city boundaries.
- B. Main Line Inspection. The City must inspect all storm, land and groundwater drain main lines during installation on an ongoing basis. Inspection notification must be given before any construction of the pipe may begin. All groundwater drains shall be pre-approved by the City Engineer or his/her designee.
- C. Air Pressure Test. Contractor shall conduct a low pressure air test for all sealed drains by the following method under the direction of the City Engineer or his/her designee with equipment equal to Cherne Industrial, Inc., or provide proof that test was conducted by a certified testing company. Storm drain pipes with inside diameters of 30 inches or larger shall be leak tested according to manufacturer’s specifications.

All wyes, tees, or ends of lateral stubs shall be suitably capped and braced to withstand the internal test pressures. Caps shall be easily removable for future lateral connections or extensions. After a manhole to manhole section of line has been backfilled and cleaned, it shall be plugged at each manhole with pneumatic plugs.

Low pressure air shall be introduced into the sealed line until the internal air pressure reaches 4 psi-G greater than the average back pressure of any ground water that may be over the pipe. At least 2 minutes shall be allowed for the air pressure to stabilize.

The portion of line being tested shall be accepted if the portion under test does not lose air at a rate greater than 0.003 cubic feet per minute per square foot of internal pipe surface or 2.0 cubic feet per minute minimum when tested at an average 3.0 psi-G greater than any back pressure exerted by ground water that may be over the pipe at the time of the test.

The pipe and joints shall also be considered acceptable when the time required in minutes for pressure to decrease from 3.5 To 2.5 psi-G (greater than the average back pressure of any ground water that may be over the pipe) shall not be less than the time shown for the given diameters in the following table:

PRESSURE REDUCTION TIME LIMITS	
Pipe Diameter (inches)	Time (minutes)
4	2.0
6	3.0
8	4.0
10	5.0
12	5.5
15	7.5
18	8.8
21	10.0
24	11.5

If the installation fails to meet this requirement, the Contractor shall determine at his/her own expense the source of leakage. He shall repair or replace all defective materials and/or workmanship. All storm drain lines shall be tested, cleaned and accepted by Alpine City before laying the street surface.

- D. Video Inspection. Contractor shall clean and then video inspect all storm, land and groundwater drain lines before paving. The City must approve video inspection company.

Cleaning shall be done using a high pressure jet cleaning machine, producing a minimum of 800 psi. Debris shall not be permitted to enter the City storm drain system.

Video inspection shall clearly show any debris, broken pipe, misaligned pipe, displaced pipe and defective joints for all sections of the main line. All defects and their location shall be detailed on a separate video log report. A digital video disk (DVD or thumb drive) of video inspection and log report shall be submitted by the inspection company to the City Engineer or his/her designee.

Log reports shall be submitted on the City video form or an approved equivalent. Log reports must be submitted with an 11x17 copy of the plans. All manholes in the log report must reference the labeled manholes numbers on the plans. Each manhole must also have a street address clearly shown on the log report.

- E. Deflection Test. Contractor shall perform a displacement test on all non-concrete storm drain lines after video inspection. Deflections tests must be conducted in the presence of the City Engineer or his/her designee or be documented and submitted by a certified testing company approved by the City. In no case shall pipe be accepted that has a deflection of more than 5% after it has been backfilled. The Mandrel must be pulled by hand or air. A pipe deflection test shall be required of the Developer/Contractor after backfilling and compaction of the trench.

250.080. Streets.

- A. Asphalt Pavement Material Tests. Material tests will be conducted by the Contractor when the City Engineer or his/her designee considers it necessary.
- B. Compaction Tests. The Contractor will test all bituminous pavement for compaction and moisture content. Test locations shall be determined by the City but will generally be taken 3 per 200 lineal foot of street or 1 per 2,000 square foot of paved area. Pay factors as per APWA 32 12 16 (Plant-Mix Asphalt Paving) shall apply.
- C. Grading Inspection. The sub-grade, sub-base, and road base shall all be graded to an engineered red-head and accepted by Alpine City. Red-heads shall be placed every 50 feet at the crown of the road. If the distance between red-heads and edge of pavement exceeds 25 feet additional redheads shall be installed half way between the crown and edge of pavement. Red-heads shall also be placed every 50 feet at the edge of pavement where there is no curb and gutter.
- D. Thickness Test. Material depth tests will be conducted by the City when the City Engineer or his/her designee considers it necessary. The total depth shall be reasonably close to that shown on the typical section. Depth analysis shall be made on at least four holes for each section. Base thickness shall be accepted if 75% of the test holes are less than 1/4" below the specified thickness and no individual hole shall be more than 3/4" below the specified thickness. Work with sub-standard thickness may be accepted at reduced price if the appropriate pay factor for the lowest tested thickness is applied to all of the sub-standard work. The following table outlines the pay factors for sub-standard asphalt pavement thickness:

PAVEMENT DEPTH PAY FACTORS

Pay Factor	Tolerance (inches below specified thickness)
0.95	0.00 to 0.25
0.90	0.26 to 0.50
Replace	More than 0.5

- E. Profile Tolerance Inspection. Profile tolerance inspections may be required by the City any time within a year of paving. Collector and arterial streets shall meet the “Tolerances” requirements of APWA 32 12 16 (Plant-Mix Asphalt Paving). For local streets profiling, the maximum vertical distance from the pavement surface to a straight edge is:
 - a. 1/4-inch in 10-feet parallel to centerline.
 - b. 3/8-inch in 10-feet perpendicular to centerline except at cross section grade breaks.

- F. Asphalt Concrete Temperature Test. This test shall be conducted on the first three loads of asphalt concrete installed, and on one in four of all future loads as required by the City. Testing shall be conducted according to the requirements and specifications of APWA 32 12 16 (Plant-Mix Asphalt Concrete Paving). Temperature gauge shall be allowed to stabilize for 1 minute before taking reading if using probe type. If using infra-red “gun” type, reading shall consist of an average of a minimum of 3 readings, where reading is taken immediately after displacing a minimum of 2 inches of material from the surface being tested and the “gun” is within 18” of the surface being tested.

- G. Asphalt Paving Limitations. In the event the City Engineer approves a paving plan proposed between November 15th and April 1st, and if temperatures never rise above 60 degrees during the paving process, an overlay in the spring will be required as outlined in the table below. Do not place HMA on frozen base or during adverse climatic conditions such as precipitation or when roadway surface is icy or wet. Use a release agent that does not dissolve asphalt and is acceptable to the City Engineer or his/her designee for all equipment and hand tools used to mix, haul, and place the HMA. Placement of HMA between November 15th and April 1st will be allowed when the air temperature in the shade and the roadway surface temperature are above 45 degrees Fahrenheit. Paving that occurs between the dates below, which requires a spring overlay, shall be finished 1.5 inches below lip of curb to accept the required 2-inch overlay in the spring.

PAVEMENT DEPTH AFTER NOVEMBER 15TH / BEFORE APRIL1ST
TEMPERATURES ARE BETWEEN **45-50 DEGREES** FAHRENHEIT*

Street	Typical	Base Asphalt	Spring Overlay	Total Asphalt
Local / Secondary Access / Parking Lots / Driveway	3"	3"	2"	5"
Collector / Arterial	4"	3"	2"	5"

*See 2017 APWA 32-12-16.13. If temperatures are between 45-50 degrees, the minimum lift to be placed at a time must be 3 inches to retain heat and obtain compaction. 50-59 degrees, 2 inches minimum lift. 60-69, 1.5 inches minimum lift.

PAVEMENT DEPTH AFTER NOVEMBER 15TH / BEFORE APRIL1ST
TEMPERATURES ARE BETWEEN **50-60 DEGREES** FAHRENHEIT*

Street	Typical	Base Asphalt	Spring Overlay	Total Asphalt
Local / Secondary Access / Parking Lots / Driveway	3"	2.5"	2"	4.5"
Collector / Arterial	4"	3"	2"	5"

PAVEMENT DEPTH AFTER NOVEMBER 15TH / BEFORE APRIL1ST
TEMPERATURES ARE ABOVE **60 DEGREES** FAHRENHEIT*

Street	Typical	Base Asphalt	Spring Overlay	Total Asphalt
Local / Secondary Access / Parking Lots / Driveway	3"	3"	n/a	3"
Collector / Arterial	4"	3"	n/a	4"

250.090. Drinking Water.

- A. General. The inspections and tests in this section are required for all drinking water construction in the City boundaries and on all construction relating to the City drinking water system outside the city boundaries.
- B. Main Line Inspection. The City must inspect all drinking water main line installations on an ongoing basis. Inspection notification must be given before any construction of main line may begin. All crosses, tees, bends, valves and hydrants must be inspected and surveyed by the City before they are backfilled.
- C. Drinking Water Service Inspection. The City must inspect all drinking water services before service trenches are backfilled. The City must be able to survey services at the main during the inspection.
- D. High Chlorine Test. High Chlorine tests shall meet the requirements and specifications of APWA 33 13 00 (Disinfection). The Contractor must conduct a high chlorine test at every hydrant on a new drinking water main installation. If a hydrant does not exist on the test section, tests must be taken at the end of each line. The chlorine residual shall be at least 25 mg/L.
- E. Pressure Test. Pressure test must be conducted after the successful completion of the bacteria test. The Contractor must pressure test all drinking water systems, system extensions and service laterals to the setter in the presence of the City Engineer or his/her designee or have tests documented and submitted by a certified testing company approved by the City. Pressure tests must meet the requirements and specifications of APWA 33 08 00 (Commissioning of Water Utilities). Provide a 210 psi test pressure for 2 hours unless specified otherwise. The pressure of 210 psi must be provided at the highest point in the section of pipe being tested unless elevations are such that this would create pressures over 250 psi at the lowest point in the section of pipe tested. In such a case, consultation with the City Engineer is required and AWWA standards will be considered.
- F. Leakage Test. For test lengths of pipe greater than 1,500 feet, a leakage allowance may be considered. There will be no allowance for leakage on test sections less than 1,500 feet. When allowed, leakage tests shall be conducted concurrently with the pressure tests. Leakage shall be defined as the quantity of water that must be supplied into the newly laid pipe, or any valved section thereof, to maintain pressure within 5 psi of the specified test pressure after the air in the pipeline has been expelled and the pipe has been filled with water.

No pipe installation will be accepted if the leakage is greater than that determined by the following formula:

$$Q \equiv \frac{LD * \sqrt{P}}{133,200}$$

In which Q is the allowable leakage, in gallons per hour; L is the length of pipeline tested in feet; P is the average test pressure, in pounds per square inch (gage) and D is the nominal diameter of the pipe in inches.

If any test of pipe laid discloses leakage greater than specified, the Contractor shall, at their own expense, locate and repair the defective material until the leakage is within the specified allowance. All visible leaks are to be repaired regardless of the amount of leakage.

- G. Bacteria Test. Bacteria tests shall meet the requirements and specifications of APWA 33 13 00 (Disinfection). Tests may only be scheduled at certain regular times set by the City. The Contractor shall be present and open all hydrants or other locations to be tested from. The City shall submit samples to a certified lab to be tested according to state drinking water regulations.

If any sample point fails on the first test, the line will be flushed and re-tested at all sample points. If any sample point fails a second time, the complete line will be re-disinfected and re-tested at all sample points. If any samples come back marked "presence", which means coliform bacteria is present, the line will be re-disinfected and re-tested at all sample sites. Contractor is responsible to pay for all bacteria tests and retests.

CONSTRUCTION STANDARDS

Alpine City

Drinking water services will not be installed until bacteria sample results have been approved by the City Engineer or his/her designee. All testing lab fees shall be paid for by the Contractor.

Adopted _____

Section 300. Contractor Requirements.

SECTION INDEX

300.010. General.

- A. Contractors Working for a Developer.
- B. Contractors Working for the City.
- C. Status Verification System.

300.020. Insurance.

- A. General.
- B. Workers' Compensation.
- C. Commercial General Liability Insurance.
- D. Automobile Liability Insurance.

300.030. Bonding.

- A. General.

300.040. Excavation Permits.

- A. General.
- B. Contractors.
- C. Property Owners.

300.050. Inspection Fees.

- A. General.

300.060. Materials Submittals.

- A. General.

300.070. Quality Control.

- A. General.
- B. Materials Production.
- C. Testing and Inspection.

300.010. General.

- A. Contractors Working for a Developer. Contractors and Sub-Contractors working for a Developer must prequalify before doing any work in existing or proposed City property, streets, easements, or right-of-way and for any work on existing or proposed City utilities. To prequalify the following must be on file in the City Engineer’s office:
 - 1. A current Contractor’s license specified for project type according to Utah State Code;
 - 2. Insurance information;
 - 3. Contractor information sheet;
 - 4. Project Bond;
 - 5. Excavation Permit;
 - 6. UDOT Permit for construction in state right-of-way; and

Failure to pre-qualify before doing any construction shall constitute grounds for legal action.

- B. Contractors Working for the City. Bids for City projects will only be awarded to the lowest responsible bidder with current contractor’s license specified for the project type according to the Utah State Code. The City’s contractor qualifications and experience forms shall be completely filled out and submitted with bid. Failure to do so is basis to reject the bid. Alpine City reserves the right to determine a non-responsible bidder based upon these forms or any other research conducted by the city.
- C. Status Verification System. Contractor agrees that it, and its subcontractors, will register with and use a Status Verification System to verify the federal employment authorization status of all employees hired after July 1, 2009. Contractor, and its subcontractors, will comply, in all respects, with Utah Code Annotated §63g-11-103, as it may be amended from time to time.

300.020. Insurance.

- A. General. A Contractor must acquire the insurance stipulated in this section to prequalify to do construction work. The city must receive and accept proof of the insurance before any work may begin. The submittal of said evidence to the City shall not relieve or decrease the liability of the Contractor hereunder.
- B. Workers’ Compensation. Contractor shall obtain workers compensation insurance as required by State law.
- C. Commercial General Liability Insurance. The following commercial general liability insurance must be obtained and submitted on ISO Form CG 00 01 (11/85) or equivalent, occurrence policy, with limits not less than:
 - 1. General Aggregate \$1,000,000
 - 2. Products - Comp/OPS Aggregate \$1,000,000
 - 3. Personal and Advertising Injury \$ 500,000
 - 4. Each Occurrence \$ 500,000
 - 5. Fire Damage (any one fire) \$ 50,000
 - 6. Medical Expense (any one person) \$ 5,000

Also include the follow endorsements or their equivalents attached thereto:

- 1. ISO Form CG 25 03 (11/85), Amendment of Limits of Insurance (Designated Project or Premises), describing the subject contract and specifying limits as shown above.
- 2. ISO Form CG 20 10 (11/85), Additional Insured -- Alpine City, Lessees, or Contractors (Form B), naming the City as additional insured and containing the following statement, “This Endorsement Also Constitutes Primary Coverage in the Event of any Occurrence, Claim, or Suit”.
- D. Automobile Liability Insurance. Contractor shall obtain automobile liability insurance with limits of not less than \$500,000 Combined Single Limit per accident. Coverage shall apply to any auto.

300.030. Bonding.

- A. General. The owners and/or developers of property shall deposit security with the City prior to recording the final plat to guarantee proper installation of all required improvements in accordance with the plans, specifications, time limitations, and conditions relating thereto as meets with the approval of the City Council or such personnel as the City Council shall designate. Security shall be in the form of cash, an irrevocable letter of credit, surety bond, financial institution bond, or an escrow bond. The amount of the security shall be 110% of the City’s estimated costs of the improvements plus the estimated asphalt preservation coat costs.

Irrevocable letters of credit or escrow bonds shall be executed by financial institutions acceptable to the City and authorized to conduct business in the State of Utah, and must be in the form approved by the City. The bond or letter of credit as required by this section must be posted prior to recording. Upon completion of the punch list for the end of construction inspection, the security, less 10%, shall be released to the Developer. Ten percent (10%) of the security amount shall be held for a period of one (1) year following final inspection and acceptance to warrant improvements for this time period. The ten percent retained shall be the amount required as the minimum security. The amount estimated for the asphalt preservation coat shall be deposited to the City in the form of cash and held in escrow prior to recording. These funds will be held until used for the asphalt preservation coat for the applicable development either by the developer or City (see 600.020).

300.040. Excavation Permits. (aka – Street Cut Permit)

- A. General. Contractors are required to qualify before obtaining an excavation permit to do construction work unless a project is already approved, bonded and insured. The permit must be approved 48 hours prior to construction. The permittee is given a copy of the permit and plan after the City Engineer or his/her designee has approved and signed them.

The City may stipulate time limits for completion of work and suspend permits for non-compliance. A copy of the excavation permit shall be on site during construction. For fees related to Excavation Permits, please refer to the Alpine City Consolidated Fee Schedule.

- B. Contractors. Contractors are required to submit the following information to obtain an excavation permit:
 1. Copy of Contractors license;
 2. Certificate of Insurance;
 3. License and permit bond;
 4. Detailed drawing of proposed work and traffic control.
- C. Property Owners. Individual property owners doing his/her own work for drive approaches and other similar, minor concrete work in the City right-of-way are required to submit the following information to obtain an excavation permit:
 1. Proof of homeowners or similar insurance;
 2. Detailed drawings of the proposed work, including safety, barricades, traffic and pedestrian control.

Any cuts or changes to the curb shall be performed by a licensed contractor who has obtained an excavation permit or building permit.

300.050. Inspection Fee.

- A. General. For bonded developments, an inspection fee will be collected. The fee will be for city costs relating to the construction. These costs include but are not limited to survey, inspection, testing and administration. The fee will be estimated based upon previous projects. Portions of the fee not used shall be refunded to the Developer after the punch list of the final acceptance inspection is completed.

If City costs relating to inspection exceed the inspection fee, these costs will be paid for by the developer or they will be deducted from the 10% warranty portion of the bond.

300.060. Materials Submittals.

- A. General. Contractors are required to provide materials submittals for all materials to be used to the City for review and approval.
 1. For pre-manufactured items, documentation must be submitted a minimum of 2 weeks before installation and must include sufficient information, including shop drawings, if applicable, to establish models, colors, sizes, installation requirements, etc. that will be used.
 2. For on-site manufactured items, such as asphalt, concrete or base courses, submit mix designs, hot/cold weather installation plans, and materials certifications a minimum of 5 working days prior to planned installation.
 3. Submittals for the following, at a minimum, should be submitted:
 - a. All pre-manufactured items meeting city standards such as light fixtures, electrical components, utility fixtures and piping, landscaping, etc.
 - b. Hot Mix Asphalt Mix Designs
 - c. Portland Cement Concrete Mix Designs
 - d. Treated Base Course Mix Designs
 - e. Untreated Base Course Job Mix Formulas
 - f. Tack and Prime Coats

- g. Concrete Curing Compounds
- 4. Submit copies of all Quality Control testing and inspection reports within 48 hours of placement of materials.

300.070. Quality Control.

- A. General. Perform Quality Control work in accordance with applicable materials sections of the APWA Standard Specifications unless otherwise directed.

The contractor is responsible for performing quality control work sufficient to meet requirements of APWA Standard Specifications and to demonstrate compliance with acceptance criteria. The City will perform assurance functions at their discretion and inform the contractor of acceptance or rejection.

- B. Materials Production Use UDOT certified facilities for asphalt and Portland cement concrete.
 - 1. Submit verification of Plant Certifications with mix designs.
- C. Testing and Inspection. Use UDOT certified laboratories and personnel.
 - 1. Submit names, certificate levels and years of experience of testing agency's Field Technician that are assigned to work. Laboratory must comply with ASTM Standards. Use AMRL certified laboratory and WAQTC/UDOT TTQP certified technicians.
 - 2. Submit verification of lab and personnel with mix designs.

Section 350. Earthwork and Trenches.

SECTION INDEX

350.010. Excavation.

- A. General.
- B. Safety.
- C. In Gravel and Paved Surface Areas.
- D. In Areas with Concrete.
- E. Rock Excavations.
- F. Site Clearing and the Disposal of Excess Materials.

350.020. Sub-surface Pipe Installation.

- A. General.
- B. Boring or Jacking.
- C. Tunneling.

350.030. Sub-grade.

- A. Preparation.
- B. Soft and Yielding Areas.
- C. Trenches.
- D. Roads.
- E. Structures.

350.040. Fill Material.

- A. General.
- B. Bedding Material.
- C. Engineered Fill.
- D. Untreated Base Course.
- E. Cement Treated Fill.
- F. Defective Fill.

350.050. Slopes, Embankments, Fills and Open Channels.

- A. Preparation.
- B. Material.
- C. Grading.
- D. Slope Safety.
- E. Erosion and Sedimentation Control.
- F. Gabions.
- G. Rip Rap and Rock Lining.

350.060. Installation and Compaction of Earth Materials.

- A. General.
- B. Streets.
- C. Soft and Yielding Spots.
- D. Backfill in Trenches.
- E. Pipe Zone.

350.070. Geotextiles, Geogrids and Geocomposites.

- A. General.

350.010. Excavation.

- A. General. Excavation shall meet the requirements and specifications of APWA 31 23 16 (Excavation) unless otherwise indicated.
- B. Safety. All construction shall be done in accordance with the provisions of the Utah State Industrial Commission, OSHA regulations and APWA 31 23 16 (Excavation). No trenches deeper than 4 feet shall be left open at any time unless construction is in process. When construction is in process only 200 feet of trench may be open at one time and must be completely backfilled before proceeding. No trenches shall be left open at any time unless guarded with adequate barricades, warning lamps and signs.

Any injury or damage resulting from lack of adequate bracing and shoring shall be the responsibility of the Developer/Contractor and the Developer/Contractor shall, at his/her own expense, effect all necessary repairs or reconstruction resulting from such damage. No inspections will be done in unsafe trenches and will be the cause for immediate shutdown at the project until the trench is deemed to be safe by the City Engineer or his/her designee.

- C. In Gravel and Paved Surface Areas. Where any excavation occurs in a gravel or paved surface area such as a road, driveway or parking area, the surface shall be restored according to the requirements and specifications of APWA 33 05 25 (Pavement Restoration, requires t-patching on trenches) and the following conditions:
 - 1. *Base.* Only Engineered Fill (Section 350.040.C) may be used as backfill or sub-base material under gravel and paved surfaces. A minimum of 8 inches of untreated base course shall be placed over backfill or sub-base. All fill material shall be placed and compacted to City standards. Flowable fill shall not be allowed for backfill unless authorized by the City.
 - 2. *Surface Maintenance.* The surface shall be maintained by blading, sprinkling, rolling, adding gravel, etc., to maintain a safe uniform surface satisfactory to the City.
 - 3. *Cutting of Pavement.* Before any excavation in a paved area, the surface along the entire excavation shall be cut to provide a vertical joint in the surface. Cut shall be made 6 inches from the edge of excavation in straight lines parallel or perpendicular to the trench or edge of pavement. A pavement saw shall be used for all pavement cutting. If excavation damages the cut pavement, pavement shall be cut again before t-patching. A roto-milled edge shall be acceptable as a cut.
 - 4. *Time Limitation.* All road cuts shall be repaired within 2 working days of excavation unless otherwise authorized by the City Engineer or his/her designee.
 - 5. *Cold Weather Patching.* Trenches cut during winter months or when roadbed temperatures and temperatures in the shade are less than 40 degrees (APWA 33 05 25) or when asphalt plants are not operating, shall be patched the same day of the cut with a good quality cold mix according to the requirements and specifications of APWA 32 12 17 (Cold-Mix Asphalt Paving). These trenches shall be maintained until asphalt plants open. When asphalt plants open, the temporary cold patch shall be removed and a new t-patch (per APWA Plan 255) of hot mix asphalt shall be placed. All cold mix patches shall be replaced with hot mix patches within 30 days of the opening of the hot mix plant.
 - 6. *Adjust Incidental Structures to Grade.* Adjust incidental structures to grade according to APWA 33 05 14 (Utility Grade Adjustment). City standard concrete collars around valves and manholes shall be installed within 1 year from the time that pavement is placed or at the time of an overlay.
 - 7. *Residential vs Non-residential streets.* APWA 33 05 25 mentions “*Match existing pavement thickness plus 1 inch, but not less than four (4) inches. Maximum thickness is six (6) inches in residential areas and eight (8) inches in non-residential areas.*” Residential areas are to be defined as Local, Secondary Access, or Parking Lots per the most currently adopted Alpine City Transportation Master Plan. Non-residential is to be defined as Collector or Arterial Class streets per the most currently adopted Alpine City Transportation Master Plan.
- D. In Areas with Concrete. When damaged, existing concrete improvements shall be removed and replaced to the next joint or scoring line beyond the damaged or broken sections. In the event that joints or scoring lines do not exist or are three or more feet from the removed or damaged section, the damaged portions shall be removed and reconstructed to neat, plane faces. All concrete work shall meet the requirements and specifications of Section 650. Portland Cement Concrete Work and APWA 33 05 25 (Pavement Restoration).
- E. Rock Excavations. Rock excavations shall meet the requirements and specifications of APWA 31 23 17 (Rock Removal).

- F. Site Clearing and the Disposal of Excess Materials. Site clearing shall be conducted according to APWA 31 11 00 (Site Clearing). All excavation material, which is not required for construction or is unsuitable for fill material, shall be immediately disposed of by the Contractor. All roads, sidewalks, curbs, gutters and ditches shall be kept clean of excavated material except as outlined in Title 14.08.05 (Clean Streets) of the Alpine City Municipal Code.

All demolition work shall meet the requirements and specifications of APWA 02 41 13 (Selective Site Demolition), APWA 02 41 14 (Pavement Removal) and APWA 02 41 15 (Pavement Pulverizing).

Removal and disposal of Asbestos Cement Pipe shall be per the Utah Department of Environmental Quality (DEQ) Division of Air Quality (DAQ) guidance document, *How to Handle Non-friable Asbestos Cement Pipe, A Guide for Meeting Utah Department of Environmental Quality/Division of Air Quality Rules* ("Guidance").

350.020. Sub-surface Pipe Installation.

- A. General. Pipes, conduits or casings, 4 inches in diameter or less, may be bored, jacked, augured or jetted under sidewalk, curb, gutter if authorized by the City Engineer or his/her designee. The resulting hole diameter shall not exceed 1 inch plus the outside diameter of the pipe or sleeve installed.
- B. Boring or Jacking. Boring or jacking work shall meet the requirements and specifications of APWA 33 05 23 (Trenchless Utility Installation).
- C. Tunneling. Where sidewalk, curb, and gutter exists, excavation may be made by tunneling provided the following requirements are met:
1. Excavation shall be vertical and as near to the curb or sidewalk as possible;
 2. The length of the tunnel shall not exceed the width of the sidewalk, curb, and gutter;
 3. Where a separate sidewalk and curb exist, an excavation shall be made between the sidewalk and the curb;
 4. At least three feet of undisturbed earth shall be left under the sidewalk or curb; and
 5. Where the sidewalk has been tunneled, the hole shall be filled from each end with flowable fill. Where the excavation cannot meet these requirements, a section of sidewalk, curb, or gutter, from joint to joint shall be removed and replaced.

350.030. Sub-grade.

- A. Preparation. All sub-grade shall be shaped and compacted in reasonably close conformity with lines, grades and typical cross section as established by the City Engineer or his/her designee. All grading shall be based on an engineered survey, accepted by Alpine City.

In trenches and cut or fill areas the subgrade shall be scarified to a depth of 8 inches and compacted according to the compaction standards of this chapter. No rocks larger than 4 inches in diameter, organic material, soft clay, spongy material, or other deleterious material will be permitted in this scarified sub-grade layer.

- B. Soft and Yielding Areas. Soft and yielding areas which do not compact to City standards shall be removed and replaced with enough compacted engineered fill to bridge the area. Trenches excavated within 10 feet of the lip of gutter shall be removed and replaced as part of the trench asphalt pavement repair, or otherwise approved by the City Engineer.
- C. Trenches. When the sub-grade material does not afford a sufficiently solid foundation to support the pipe and superimposed load, the trench shall be over-excavated to a sufficient depth and backfilled with enough compacted fill as approved by the City to bridge the area.
- D. Roads. Road sub-grades shall be shaped and graded to within a tolerance of 0.15 feet of design grade. Drainage shall be maintained at all times.
- E. Structures. Sub-grade material for all concrete structures, regardless of type or location, shall be firm, dense, thoroughly compacted and consolidated; shall be free from mud and muck; and shall be sufficiently stable to remain firm and intact under the feet of the workmen engaged in sub-grade surfacing, laying reinforcing steel, and depositing concrete.

Coarse gravel or crushed stone may be used for subsoil reinforcement if results are satisfactory to the City Engineer or his/her designee. Such material shall be applied in layers, not exceeding 6 inches in thickness, each layer being embedded in the sub-soil by thorough tamping. All excess soil shall be removed to

compensate for the displacement of the gravel or crushed stone and the finished elevation of any subsoil reinforced in this manner and shall not be above the specified sub-grade.

The City Engineer may require a soil analysis and design for any area.

350.040. Fill Material.

- A. General. All fill material shall be placed on sub-grade prepared according to the specifications of this chapter. All fill material shall be compacted according to the specifications of this chapter.

Only engineered fill or untreated base course may be used as fill material under and within a foot of streets, future street areas, driveways, and concrete unless otherwise specified. All fill material under and within a foot of electrical and communications boxes shall be untreated base course. In other areas native excavated material may normally be used unless such material cannot be properly compacted according to specifications in this chapter. All fill material, including native fill material, must be free from debris, organic material, and rocks larger than 4 inches in diameter and have a liquid limit not to exceed 35 and plastic limit not to exceed 15.

- B. Bedding Material. Use APWA No. 4 sewer rock for gravity pipe bedding material. Use sand as a bedding material for pressure pipe and electrical and communication conduit. Bedding sand must compact sufficiently to support the pipe and shall meet the following gradation:

SAND GRADATION

Sieve/Screen Size	% Passing
No. 4	100
No. 200	10 to 20

- C. Engineered Fill. Engineered fill shall be used for all imported material unless otherwise specified. Engineered fill shall be granular and well graded meeting the following gradation:

ENGINEERED FILL GRADATION

Sieve/Screen Size	% Passing
4"	100
¾"	70 to 100
No. 200	0 to 15

On that portion of the aggregate passing the No. 40 sieve, the liquid limit shall not exceed 30, nor shall the plasticity index exceed 15 when tested in accordance with AASHTO T89 and T90. Imported material under city streets shall have a minimum CBR of 25.

Reclaimed asphalt pavement (RAP) may NOT be used as engineered fill.

- D. Untreated Base Course. All untreated base course shall meet the requirements and specifications of APWA 32 11 23 (Crushed Aggregate Base) Grade 3/4 for untreated base course. The use of slag as an untreated base course shall not be permitted.
- E. Cement Treated Fill. Cement treated fill shall meet the requirements and specifications of APWA 31 05 15 (Cement Treated Fill). Cement treated fill includes following fill materials:
 1. Controlled low-strength material (CLSM) (flowable fill),
 2. Lime treated fill,
 3. Asphalt treated fill.
- F. Defective Fill. Fill not conforming to the requirements of this specification shall be reworked to the requirements or removed and replaced with acceptable fill.

350.050. Slopes, Embankments, Fills and Open Channels.

- A. Preparation. Unsuitable materials that occur in the foundation for slopes, embankments, and fills shall be removed by clearing, stripping, and/or grubbing. Where suitable materials occur, after stripping, the foundation shall be scarified to a depth of not less than 8 inches. All materials in slopes, embankments, and fills, including the scarified foundation layer, shall be placed, moistened, and compacted according to the compaction standards in this chapter.
- B. Material. When the slope, embankment, or fill exceeds the amount of excavation, sufficient additional material shall be obtained from borrow pits provided by the Contractor. All material proposed to be imported shall be subject to the review and approval of the City Engineer or his/her designee prior any hauling operations.

The materials used for slope, embankment and fill construction shall be free from sod, grass, trash, rocks larger than 6 inches in diameter and all other material unsuitable for construction of compacted fills.

- C. Grading. Grading of completed slope, embankment, or fill shall bring the surfaces to a smooth, uniform condition with final grades being within 0.1 foot of the design grade. All grading shall be done to an engineered red-head.
- D. Slope Safety. All slope construction shall be in accordance with all City, State and Federal regulations. Plans and Specifications for structures must be approved by the City if the excavation is greater than five (5) feet. No permanent slopes steeper than 3:1 shall be allowed without a retaining structure unless otherwise approved in writing by the City Engineer or his/her designee. The width of the excavation shall be increased if necessary to provide space for sheeting, bracing, shoring and/or other supporting installations. Unsafe slopes will be the cause for immediate shutdown of the project.
- E. Erosion and Sedimentation Control. Erosion and sedimentation control shall meet the requirements and specifications of APWA 31 25 00 (Erosion and Sedimentation Control).
- F. Gabions. Gabions shall meet the requirements and specifications of APWA 31 36 00 (Gabions)
- G. Rip Rap and Rock Lining. Rip rap and rock lining work shall meet the requirements and specifications of APWA 31 37 00 (Riprap or Rock Lining).

350.060. Installation and Compaction of Earth Materials.

- A. General. The installation of all fill material shall meet the requirements and specifications of APWA 33 05 20 (Backfilling Trenches), APWA 31 23 23 (Backfilling Structures), APWA 32 05 10 (Backfilling Roadways) and APWA 31 23 26 (Compaction). Fill material outside of pavement areas, as defined by APWA 32 05 10 (Backfilling Roadways), and more than 24 inches from any utility box shall be compacted to not less than 90% of the maximum dry density.
- B. Streets. Sub-base and road-base shall be graded to an engineered red head. Loose rock, roots, brush, and other materials that may be encountered in shaping the sub-base must be removed.
- C. Soft and Yielding Spots. Any soft and yielding spots in the fill or sub-grade which do not compact to the specified density shall be removed and replaced with Engineered Fill installed and compacted to City standards.
- D. Backfill in Trenches. Backfill shall be carefully placed around and over pipes and shall not be permitted to fall directly on a pipe from such a height or in such a manner as to cause damage.
- E. Pipe Zone. The pipe zone includes the full width of trench from 3 inches below the pipe to 6 inches above the pipe for all pipes except for large reinforced concrete pipe (RCP). Large RCP includes RCP with internal diameters larger than 24 inches. The pipe zone for large RCP shall include the full width of trench from 6 inches below the pipe to 6 inches above the pipe. The pipe zone shall extend horizontally a minimum of 6 inches from either side of the pipe except for electrical and communication conduit. Electrical and communication conduit may be placed against the sides of trenches. Trenches shall be wide enough to compact fill material according to the specifications in this chapter.

The pipe zone for all pipes shall be filled with compacted bedding material. Pipe zone materials shall be placed and compacted under and around the pipe in horizontal layers not to exceed 8 inches and tamped by

Adopted _____

hand or pneumatic tampers.

350.070. Geotextiles, Geogrids and Geocomposites.

A. General. All geotextile work shall meet the requirements and specifications of APWA 31 05 19 (Geotextiles). Geogrid and geocomposite work shall meet the requirements and specifications of APWA 31 05 21 (Geogrids/Geocomposites). Geotextile, geogrid and geocomposite work includes but is not limited to the following geotextile applications:

1. Stabilization-separation,
2. Silt fence,
3. Erosion control,
4. Roadway pavements,
5. Drainage,
6. Weed barrier
7. Granular base reinforcement,
8. Asphalt concrete reinforcement, and
9. Soil reinforcement.

Section 400. Drinking Water.**SECTION INDEX****400.010. General.**

- A. Specifications.
- B. Pipe.
- C. Size.
- D. Location.
- E. Unusual Piping and Plumbing.
- F. Dead Ends.
- G. Drains.
- H. Surface Water Crossings.

400.020. Installation.

- A. General.
- B. Pipe Cleanliness.
- C. Identification Tape.
- D. Lateral Displacement.
- E. Restraining.
- F. Connections to Existing Drinking Water Lines.
- G. Bedding.

400.030. Pipe and Fittings.

- A. Polyvinyl Chloride Pipe (PVC).
- B. Ductile Iron Pipe.
- C. Polyethylene Pipe.
- D. Steel Pipe - Lined and Coated.
- E. Copper Tubing.
- F. Fittings.

400.040. Valves and Couplings.

- A. General.
- B. Resilient Seated Gate Valve.
- C. Butterfly Valve.
- D. Valve Boxes.
- E. Couplings.
- F. Pressure Regulation Valves.
- G. Tapping Valves.
- H. Air Vacuum and Release Valves.
- I. Isolation Valves.
- J. Backflow Devices.

400.050. Fire Hydrants.

- A. General.
- B. Placement and Location.

400.060. Meters and Services.

- A. General.
- B. Placement and Location.
- C. Meters.

400.070. Flushing.

- A. General.
- B. Velocity.

400.080. Disinfection of Drinking Water Lines.

- A. Cleaning.
- B. Methods.

400.010. General.

- A. Specifications. These specifications cover the installation of drinking water lines. See Section 200 for improvement and design requirements, Section 250 for inspection and testing requirements, and Section 350 for earthwork and trench requirements. See standard drawings related to water.
- B. Pipe. PVC or polyethylene pipe shall be used for all culinary drinking water mains unless otherwise authorized by the City Engineer or his/her designee. Polyethylene pipe shall be used for the service lateral in conjunction with PVC main lines. Where ductile main line exists, copper pipe is to be used for the service lateral. Special precautions shall be taken in areas of contamination. Pipe and joint materials which are not susceptible to contamination, such as permeation by organic compounds, shall be used. Non-permeable materials shall be used for all portions of the system including water mains, service connections, and hydrant leads. The Division of Drinking Water shall be contacted to establish specific design requirements in areas of contamination or potential contamination such as sewer treatment plants, septic systems, or industrial sites.
- C. Size. The City Engineer or his/her designee must approve the sizes of all proposed drinking water lines. It is required to have the design hydraulically modeled by the City's designated Hydraulic Engineer, the Hydraulic Engineer must confirm that the design meets Utah Division of Drinking Water Standards. The minimum size of drinking water pipe is 8 inch diameter for main lines and 1 inch diameter for services unless otherwise authorized by the City Engineer or his/her designee.
- D. Location. Drinking water mains shall be located on either the north or east sides of a street 4 feet from the edge of curb. All drinking water appurtenances shall conform to the minimum separation standards from sanitary sewer systems as outlined in Utah Code R309-550-7 and R309-550-12. See standard drawings for utility locations.
- E. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards. They shall be approved by the City Engineer or his/her designee.
- F. Dead Ends. To provide increased reliability of service and reduce head loss, dead ends shall be minimized by making appropriate tie-ins whenever practical. Where dead-end mains occur, they shall be provided with a fire hydrant or with an approved flushing hydrant or blow-off for flushing purposes. See section 400.070 for flushing specifications.
- G. Drains. No drain within the culinary water system or other such appurtenances to the distribution system can be connected to the sanitary sewer or storm drain system. Where drains cannot be drained to daylight, underground gravel-filled absorption pits may be used if the site is not subject to flooding and conditions will assure adequate drainage. Sump pumps may also be considered if a drain to daylight or absorption pit is not feasible.
- H. Surface Water Crossings. Surface water crossings, whether over or under water, require Division of Drinking Water approval and shall conform to Utah Code R309-550-8 (8).

400.020. Installation.

- A. General. Drinking water distribution and transmission systems shall be installed according to the Utah State-adopted plumbing code as well as the requirements and specifications of APWA 33 11 00, 33 05 05, 33 05 06, 33 05 07, AWWA M23; 2003, and AWWA M55; 2006. (Water Distribution and Transmission).
- B. Pipe Cleanliness. All foreign matter or dirt shall be removed from the inside of the pipe before it is placed and it shall be kept clean during and after laying. No debris, tools, or other materials shall be placed in the pipe during laying operations. When laying of pipe is not in progress, the pipe shall be closed by a water-tight plug.
- C. Identification Tape. All drinking water mains shall be installed with identification tape that meets the requirements and specifications of APWA 33 05 20 (Backfilling Trenches). Tape shall be buried 12 inches above the pipe.
- D. Lateral Displacement. All pipes shall be protected from lateral displacement resulting from impact or unbalanced loading during backfilling operations.

- E. Restraining. Either thrust blocks or mechanical restraining devices shall be used for all tees, valves, plugs, caps and bends. Restraining shall be accomplished according to the most recent APWA standards.
- F. Connections to Existing Drinking Water Lines. The Contractor will be responsible to verify actual size, type of material and location of existing utilities in the field. The fittings and materials required for construction must be approved by the City Engineer or his/her designee.

Where fitting sizes, such as tees and crosses, are shown on the plans, those sizes will be used. However, no attempt has been made to show all needed fittings or materials.

Tapping tees may only be installed when authorized by the City Engineer or his/her designee and when the existing main is at least one size larger than the proposed intersecting line.

- G. Bedding. A continuous and uniform bedding shall be provided in the trench for all buried pipe. Stones larger than 3/4" for plastic pipe or 2-inch minus for ductile iron pipe shall be removed for a depth of at least 6 inches below the bottom of the pipe. Bedding materials shall otherwise be installed per APWA standards

400.030. Pipe and Fittings.

- A. Polyvinyl Chloride Pipe (PVC). PVC pipe shall meet the standards and specifications of APWA 33 05 07 (Polyvinyl Chloride Pipe), AWWA C900 and C905. Only blue or white, SDR-18 pressure class 150 psi PVC pipe may be used for drinking water mains.
- B. Ductile Iron Pipe. Ductile iron pipe shall meet the standards and specifications of APWA 33 05 05 (Ductile Iron Pipe). Only a pressure class of 150 psi or larger may be used. A tubular black polyethylene encasement must be installed according to AWWA C105 over all ductile iron pipe and fittings. Flanges, when required, shall meet the requirements and specifications of AWWA C115.
- C. Polyethylene Pipe. Polyethylene pipe shall meet the standards and specifications of APWA 33 05 06 (Polyethylene Pipe) and AWWA C906 which includes NSF-61 certification.
- D. Steel Pipe - Lined and Coated. Steel pipe shall meet the standards and specifications of APWA 33 05 09 (Steel Pipe - Lined and Coated).
- E. Copper Tubing. Copper tubing shall be "soft annealed" and shall conform to the standards for "Type K," prescribed in ANSI/AWWA C800-89 Section A.2 for "Copper Water Tubing" and to ASTM, designation B42 and B88-99, and current revisions thereof. It shall be free from grooving cracks, indentations, flaws or other defects. At intervals of not greater than one and one-half feet, the tubing shall bear clear, permanent markings indicating the type and manufacturer.
- F. Fittings. Use Ductile Iron fittings that conform to the provisions of ANSI/AWWA C110/A21.10 or C153/A21.53 unless otherwise recommended by the manufacturer and authorized by the City Engineer or his/her designee. All PVC pipe being inserted into fittings shall have the bevel end removed. All the bolts and nuts of all fittings shall be greased. All fittings shall have an 8 mil vinyl wrap plastic cover.

Minimum pressure Class will be 250 for pipes larger than 12 inch diameter. Pipes of 12 inch diameter and smaller shall be pressure Class 350.

FLOW REQUIREMENTS FOR FLUSHING

Pipe Diameter	Flow in Gallons Per Minute
4 inch	100
6 inch	220
8 inch	390
10 inch	610
12 inch	880
16 inch	1,567
18 inch	1,980
20 inch	2,450
24 inch	3,525

30 inch	5,507
---------	-------

400.040. Valves and Couplings.

- A. General. All valves shall meet the requirements of APWA 33 11 00 (Water Distribution and Transmission) and APWA 33 12 16 (Water Valves).
- B. Resilient Seated Gate Valve. All valves on 4 inch to 12 inch drinking water mains shall be resilient seated gate valves. Valves shall also be of iron body have non-rising bronze stems and meet the following specifications:
 - 1. Mechanical Joint. When valves are Mechanical Joint, they shall be furnished with all necessary glands, followers, and bolts and nuts to complete installation.
 - 2. Valve Stems. Bronze valve stems shall be interchangeable with stems of the double disc valves of the same size, direction of opening and manufacture.
- C. Butterfly Valve. All valves 14 inches and larger shall be butterfly valves which meet the requirements and specifications of APWA 33 11 00 (Water Distribution and Transmission) and APWA 33 12 16 (Water Valves) and the following specifications:
 - 1. General. Valve bodies shall be cast iron, ASTM A-126 Class B. Body ends shall be flanged with facing and drilling in accordance with ANSI B16.1, Class 125; or mechanical joint in accordance with AWWA C111. All mechanical joint end valves shall be furnished complete with joint accessories (bolts, nuts, gaskets, and glands). All valves shall conform to AWWA Standard C-504, Table 3, Laying Lengths for Flanged Valves and Minimum Body Shell Thickness for all Body Types.
 - 2. Disc. Valve disc shall be ductile iron ASTM A-536, grade 65-45-12. Valve disc shall be of the offset design providing 360 degree uninterrupted seating.
 - 3. Shaft Bearings. Shaft bearings shall be contained in the integral hubs of the valve body and shall be self-lubricated sleeve type.
 - 4. Coating. All valves shall be coated with epoxy in conformance to AWWA Standard C-550, latest revision. Interior wetted ferrous surfaces shall be coated a nominal 10 mils thick for long life; and body exterior shall have a minimum of 3 to 4 mils coating thickness in order to provide superior base for field-applied finish coats.
- D. Valve Boxes. Valves shall be bolted to the cross in the intersection of streets as a cluster valve set. Earth fill shall be carefully tamped around the valve box to a distance of 4 feet on all sides of the box, or to the undisturbed trench face if less than 4 feet.

All top of valve boxes located in streets shall be installed 1/2 inch below grade. When an overlay is required, the pavement surrounding the valve box shall be neatly cut to form a 30 inch round opening with the valve box centered, and a concrete collar shall be cast around the box 1/2 inch below grade and the valve box set 1/2 inch below grade. Valve boxes in off-road areas shall extend 6 inches above grade. Lid detail shall be similar to Comco C-6517.
- E. Couplings. Couplings shall be equal to the product of Smith-Blair or Dresser with cast iron couplings being used on all cast iron and PVC pipe. Couplings shall be of the straight, transition, or reducing style as required by the specific installation. All steel fittings and bolts shall be coated with a non-oxide coating and wrapped with polyethylene.
- F. Pressure Regulation Valves. Pressure regulation valves (PRV) which are required in a development when static pressures exceed 150 psi and shall be designed by the Developers engineer, the design shall be submitted to the City Engineer or his/her designee for review and approval prior to starting construction. All PRV's shall be Cla-Val with a 4" bypass or approved by the City Engineer, be placed in a concrete vault, have isolation valves on each side, and have telemetry included.
- G. Tapping Valves. Tapping valves may only be used when approved by the City Engineer or his/her designee. Tapping saddles with an "O" ring may be used if the drinking water main line to be tapped is larger than the new drinking water main line. Where the tap is the same size as the existing main, cast iron or stainless steel tapping sleeves shall be used, which encase the full perimeter of the pipe. The valve shall be a tapping valve with a guide lip on the flanged side. The opposite side of the valve shall have a mechanical joint connection.
- H. Air, Vacuum and Release Valves. Combination air, vacuum and release valves shall be installed according to the standard drawings at high points in the system as required by the City Engineer or his/her designee.

Adopted _____

- I. Isolation Valves. A sufficient number of valves shall be provided on water mains so that inconvenience and sanitary hazards will be minimized during repairs. Valves shall be located at every roadway intersection or block on all segments of pipe. Where a proposed system may serve widely scattered customers and where future development is not expected, the valve spacing shall not exceed two thousand (2,000) feet.
- J. Backflow Assemblies. Installation of backflow assembly shall conform to City ordinances and the State-adopted plumbing code. Alpine City has strict guidelines regarding cross connections. In the event a cross connection is allowed, a reduced pressure zone (RPZ) backflow assembly is the only allowed style of backflow prevention assembly. A RPZ may be required in other circumstances, each situation will be evaluated on an individual basis.

400.050. Fire Hydrants.

- A. General. Fire hydrants shall meet the requirements and specifications of APWA 33 12 19 (Hydrants). All fire hydrants shall be Mueller Super Centurion 250 or approved equivalent and red in color. They shall have a 5 ¼ inch barrel diameter and 6 inch mechanical joint connection. The six inch gate valve will be mechanical joint by flange connected to the tee joint at the main line in the street. Hydrants shall be frost proof. The threads shall be National Standard Fire Hose Thread. Spacing of fire hydrants shall be according to the Uniform Fire Code but more specifically, hydrants are required to be located within 250' of any structure, typically located on property lines. The fire flow level of service Alpine City has established is 1,750 gpm for 2 hours at every hydrant, this will be verified when the proposed plan is submitted and reviewed by the City's designated Hydraulic Engineer.
- B. Placement and Location. Fire hydrant location to be approved by the City Engineer or his/her designee. Fire hydrants shall be set vertical and held in place by adequate concrete blocking which shall be left in the trench. Hydrants shall be set at a height that will allow approximately 2 inches exposed between the finished ground and the sidewalk flange. A gravel filled drip area shall be provided. Hydrant drains shall not be connected to or located within 10 feet of sanitary sewers. Where possible hydrant drain shall not be located within 10 feet of storm drains. See standard drawing for fire hydrants.

The relocation of fire hydrants shall meet the requirements and specifications of APWA 33 11 11 (Relocate Water Meters and Fire Hydrants) and related sections.

400.060. Meters and Services.

- A. General. Alpine City owns and maintains the water system up to and including the water meter. Between the water meter and home is the responsibility of the homeowner. See Standard Drawings for drinking water services. The minimum size of new drinking water service lines is 1 inch, while the standard meter size is 3/4 -inch. All drinking water services shall have dual check valves. Drinking water services shall extend 20 feet beyond the back of curb and shall be capped until connected to a building. Meter and service line installation shall conform to the State-adopted plumbing code and conform to the standard meter installation detail as noted in the Alpine City Standard Details.
- B. Placement and Location. All meter boxes shall have their location and grade staked prior to installation. No meter boxes shall be set in sidewalks, driveways, or encased in concrete in any way. Service taps shall be a minimum of 36 inches apart. No taps will be allowed within 36 inches of the end of the pipe.

Service laterals shall extend perpendicular from the main to the meter box. If a meter must be coordination with the City Engineer is required. When a new service line is installed the old corporation stop shall be shut off at the main and the old service line cut two feet from the main.

Drinking water service lines shall meet the separation from sanitary sewer requirements in this Section. Drinking water services shall extend 20 feet beyond the back of curb and capped until connected to a building.

The relocations of drinking water meters shall meet the requirements and specifications of APWA 33 11 11 (Relocate Water Meters and Fire Hydrants) and related sections. Services 3/4 – 2 inch shall be copper tubing shall be "soft annealed" and shall conform to the standards for "Type K," prescribed in ANSI/AWWA C800-89 Section A.2 for "Copper Water Tubing" and to ASTM, designation B42 and B88-99, and current revisions thereof. Pipe damaged by scratches, cuts, kinks, or buckled areas shall not be installed. PVC, as mentioned in section 400.010 (B) shall be used in conjunction with PVC mains where corrosive soils exist and shall conform to the requirements and specifications of APWA 33 05 06 (Polyethylene Pipe), only CTS SDR9 200 psi blue polyethylene pipe shall be used for service lines. Deflection in joints shall meet

manufacturer's specifications and shall be approved by the City Engineer or his/her designee or shall be replaced with the proper fitting.

- C. Meters. The standard meter size is 3/4-inch. All meters shall be paid for by the Contractor and supplied by the City. Meter boxes shall be in good repair. They shall not be set at an angle, crushed, or dented. The inside of boxes must be free from obstructions such as dirt, rocks or debris.

400.070. Flushing.

- A. General. All drinking water lines shall be flushed after the high chlorine test and prior to the pressure test. See Section 250. Testing and Inspection for testing information. Flushing shall be accomplished through hydrants and at the end each line. No flushing device shall be directly connected to a sewer or storm drain.
- B. Velocity. The Contractor shall install a tap sufficient in size to provide for 2½ foot per second flushing velocity in the line. The following is the flow quantity required to provide a 2½ foot per second flushing velocity.

FLOW REQUIREMENTS FOR FLUSHING

Pipe Diameter in Inches	Flow in Gallons per Minute
4 inch	100
6 inch	220
8 inch	390
10 inch	610
12 inch	880
16 inch	1,567
18 inch	1,980
20 inch	2,450
24 inch	3,525
30 inch	5,507

400.080. Disinfection of Drinking Water Lines.

- A. Cleaning. The pipe shall be clean prior to disinfection. If in the opinion of the City, contamination is such that it cannot be removed by flushing, the pipe shall be cleaned by mechanical means and then swabbed with a 1% hypochlorite disinfection solution.
- B. Methods. All drinking water pipeline shall be disinfected as outlined in AWWA C651 by one of the following methods:
 1. *Tablet Method.* The tablet method shall consist of placing calcium hypochlorite tablets at the specified rate in the main during construction at the upstream end of each section of pipe. The tablet shall be attached with an adhesive, such as Permatex No. 1 or equivalent as approved by the City Engineer or his/her designee. The line shall then be filled slowly (velocities less than 1 ft/sec), expelling all air pockets and maintaining the disinfection solution in the line for at least 24 hours, 48 hours if the water temperature is less than 41° F. The disinfection solution shall have a concentration of at least 25 mg/l of available chlorine.
 2. *Continuous Feed Method.* The continuous feed shall be done exactly as outlined in AWWA C651 and shall have a twenty-five mg/l available Chlorine after 24 hours.

Under both methods the Contractor shall not be allowed to flush the line until the chlorine residual test has been passed by the City. If necessary drinking water lines shall be re-chlorinated until satisfactory bacteriological testing is obtained. See Section 250. Testing and Inspection for testing information.

Section 450. Pressurized Irrigation.**SECTION INDEX****450.010. General.**

- A. Specifications.
- B. Pipe.
- C. Size.
- D. Location.
- E. Unusual Piping and Plumbing.

450.020. Installation.

- A. General.
- B. Pipe Cleanliness.
- C. Minimum Cover.
- D. Identification Tape.
- E. Lateral Displacement.
- F. Restraining.
- G. Connections to Existing Pressurized Irrigation Lines.

450.030. Pipe and Fittings.

- A. Polyvinyl Chloride Pipe (PVC).
- B. Ductile Iron Pipe.
- C. Polyethylene Pipe.
- D. Steel Pipe - Lined and Coated.
- E. Fittings.

450.040. Valves and Couplings.

- A. General.
- B. Resilient Seated Gate Valve.
- C. Butterfly Valve.
- D. Valve Boxes.
- E. Couplings.
- F. Pressure Regulation Valves.
- G. Tapping Valves.
- H. Air, Vacuum and Release Valves.

450.050. Meters, Boxes and Services.

- A. General.
- B. Placement and Location.
- C. Meters and Boxes.
- D. Polyethylene Pipe.

450.060. Flushing.

- A. General.
- B. Velocity.

450.010. General.

- A. Specifications. These specifications cover the installation of pressurized irrigation lines. See Section 200 for improvement and design requirements, Section 250 for inspection and testing requirements, and Section 350 for earthwork and trench requirements. See standard drawings related to pressurized irrigation.
- B. Pipe. Polyvinyl Chloride (PVC) pipe shall be used for all pressurized irrigation mains 12 inches in diameter and smaller unless otherwise authorized by the City Engineer or his/her designee. Ductile iron, PVC, or polyethylene pipe shall be used for pressurized irrigation mains larger than 12 inches in diameter as approved by the City Engineer or his/her designee. Only PVC or polyethylene pipe may be used in corrosive soils.
- C. Size. The City Engineer or his/her designee must approve the sizes of all proposed pressurized irrigation lines. The minimum size of pressurized irrigation pipe in thru streets is 6 inch diameter for main lines, 4 inch diameter for cul-de-sacs unless otherwise specified in the Pressurized Irrigation System Master Plan. 1 inch diameter for services are required for each lot. A dual service shall be 1½" to the service tee.
- D. Location. Pressurized irrigation mains shall be located on either the south or west sides of a street 3 feet from the edge of curb. See standard drawings for utility locations.
- E. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards.

Tapping tees may only be installed when authorized by the City Engineer or his/her designee and when the existing main is at least one size smaller than the proposed main.

450.020. Installation.

- A. General. Pressurized irrigation distribution and transmission systems shall be installed according to the requirements and specifications of APWA 33 11 00 (Water Distribution and Transmission). PVC pipe shall also be installed according to the requirements and specifications of AWWA C605.
- B. Pipe Cleanliness. All foreign matter or dirt shall be removed from the inside of the pipe before it is placed and it shall be kept clean during and after laying. No debris, tools, or other materials shall be placed in the pipe during laying operations. When laying of pipe is not in progress, the pipe shall be closed by a water-tight plug.
- C. Minimum Cover. All pressurized irrigation mains shall have a minimum cover of 2 feet to the top of the pipe.
- D. Identification Tape. All pressurized irrigation mains shall be installed with identification tape that meets the requirements and specifications of APWA 33 05 20 (Backfilling Trenches). Tape shall be buried 12 inches above the pipe.
- E. Lateral Displacement. All pipes shall be protected from lateral displacement resulting from impact or unbalanced loading during backfilling operations.
- F. Restraining. Either thrust blocks or mechanical restraining devices shall be used for all tees, valves, plugs, caps and bends. Restraining shall be accomplished according to the standard drawings.
- G. Connections to Existing Pressurized Irrigation Lines. The Contractor will be responsible to verify actual size, type of material and location of existing utilities in the field. The fittings and materials required for construction must be approved by the City Engineer or his/her designee.

Where fitting sizes, such as tees and crosses, are shown on the plans, those sizes will be used. However, no attempt has been made to show all needed fittings or materials.

450.030. Pipe and Fittings.

- A. Polyvinyl Chloride Pipe (PVC). PVC pipe shall meet the requirements and specifications of APWA 33 05 07 (Polyvinyl Chloride Pipe) and AWWA C900 and C905. Only purple, SDR-18 pressure class 150 psi pipe may be used for pressurized irrigation mains.
- B. Ductile Iron Pipe. Ductile iron pipe shall meet the standards and specifications of APWA 33 05 05 (Ductile Iron Pipe). Only a pressure class of 150 psi or larger may be used. A tubular purple polyethylene encasement must be installed according to AWWA C105 over all ductile iron pipe and fittings. Flanges,

Adopted _____

when required, shall meet the requirements and specifications of AWWA C115. Ductile iron may be directed tapped for the use of corporation stops.

- C. Polyethylene Pipe. Polyethylene pipe shall meet the standards and specifications of APWA 33 05 06 (Polyethylene Pipe).
- D. Steel Pipe - Lined and Coated. Steel pipe shall meet the standards and specifications of APWA 33 05 09 (Steel Pipe - Lined and Coated).
- E. Fittings. Use Ductile Iron fittings that conform to the provisions of ANSI/AWWA C110/A21.10 or C153/A21.53 unless otherwise recommended by the manufacturer and authorized by the City Engineer or his/her designee. All PVC pipe being inserted into fittings shall have the bevel end removed. All the bolts and nuts of all fittings shall be greased. All fittings shall have an 8 mil vinyl wrap plastic cover.

450.040. Valves and Couplings.

- A. General. All valves shall meet the requirements of APWA 33 11 00 (Water Distribution and Transmission) and APWA 33 12 16 (Water Valves).
- B. Resilient Seated Gate Valve. All valves on 4 inch to 12 inch water mains shall be resilient seated gate valves. Valves shall also be of iron body have non-rising bronze stems and meet the following specifications:
 - 1. *Mechanical Joint.* When valves are Mechanical Joint, they shall be furnished with all necessary glands, followers, and bolts and nuts to complete installation.
 - 2. *Valve Stems.* Bronze valve stems shall be interchangeable with stems of the double disc valves of the same size, direction of opening and manufacture.
- C. Butterfly Valve. All valves 14 inches and larger shall be butterfly valves which meet the requirements and specifications of APWA 33 11 00 (Water Distribution and Transmission) and APWA 33 12 16 (Water Valves) and the following specifications:
 - 1. *General.* Valve bodies shall be cast iron, ASTM A-126 Class B. Body ends shall be flanged with facing and drilling in accordance with ANSI B16.1, Class 125; or mechanical joint in accordance with AWWA C111. All mechanical joint end valves shall be furnished complete with joint accessories (bolts, nuts, gaskets, and glands). All valves shall conform to AWWA Standard C-504, Table 3, Laying Lengths for Flanged Valves and Minimum Body Shell Thickness for all Body Types.
 - 2. *Disc.* Valve disc shall be ductile iron ASTM A-536, grade 65-45-12. Valve disc shall be of the offset design providing 360 degree uninterrupted seating.
 - 3. *Shaft Bearings.* Shaft bearings shall be contained in the integral hubs of the valve body and shall be self-lubricated sleeve type.
 - 4. *Coating.* All valves shall be coated with epoxy in conformance to AWWA Standard C-550, latest revision. Interior wetted ferrous surfaces shall be coated a nominal 10 mils thick for long life; and body exterior shall have a minimum of 3 to 4 mils coating thickness in order to provide superior base for field-applied finish coats.
- D. Valve Boxes. All buried valves shall be installed complete with two-piece, cast iron, slip type, 5-1/4-inch shaft valve box with drop lid. The lid shall have the word "IRRIGATION" or "DRAIN" according to the standard drawing cast in the metal.

Valves and valve boxes shall be installed where shown on the drawings. Valves and valve boxes shall be set plumb. Valve boxes shall be centered directly over the valve. Valves shall be aligned with property lines where possible. Earth fill shall be carefully tamped around the valve box to a distance of 4 feet on all sides of the box, or to the undisturbed trench face if less than 4 feet. Valves shall have the interiors cleaned of all foreign matter before installation.

All top of valve boxes located in streets shall be installed 1/2 inch below grade. The pavement surrounding the valve box shall be neatly cut to form a 30 inch round opening with the valve box centered, and a concrete collar shall be cast around the box. Valve boxes in off-road areas shall extend 6 inches above grade unless otherwise specified by the City Engineer or his/her designee. Lid detail shall be similar to Comco C-6517.

- E. Couplings. Couplings shall be equal to the product of Smith-Blair or Dresser with cast iron couplings being used on all cast iron and PVC pipe. Couplings shall be of the straight, transition, or reducing style as

required by the specific installation. All steel fittings and bolts shall be coated with a non-oxide coating and wrapped with polyethylene.

- F. Pressure Regulation Valves. Pressure regulation valves (PRV) which are required in a development shall be designed by the Developers engineer and the design shall be submitted to the City Engineer or his/her designee for review and approval prior to starting construction. All PRV's shall be Cla-Val with a 4" bypass or as specified by design, be placed in a concrete vault and have telemetry included.
- G. Tapping Valves. Tapping valves may only be used when approved by the City Engineer or his/her designee. Tapping saddles with an "O" ring may be used if the water main line to be tapped is larger than the new water main line. Where the tap is the same size as the existing main, cast iron or stainless steel tapping sleeves shall be used, which encase the full perimeter of the pipe. The valve shall be a tapping valve with a guide lip on the flanged side. The opposite side of the valve shall have a mechanical joint connection.
- H. Air, Vacuum and Release Valves. Combination air, vacuum and release valves shall be installed according to the standard drawings at high points in the system as required by the City.

450.050. Meters, Boxes and Services.

- A. General. See the standard drawings for pressurized irrigation services. The minimum size of new pressurized irrigation service lines is 1 inch for single service and 1 ½" for dual service.
- B. Placement and Location. All meters and boxes shall have their location and grade staked prior to installation. No meters or boxes shall be set in sidewalks or driveways. Meters and boxes are to be set 5 feet uphill from the water meter, 1 foot behind the sidewalk or 10 feet behind the curb. Service taps shall be a minimum of 36 inches apart. No taps will be allowed within 36 inches of the end of the pipe.

Service laterals shall extend perpendicular from the main to the meter or box. For dual pressurized irrigation services, laterals shall extend perpendicular from the main to the tee.

If a meter must be moved coordination with the City Engineer is required. When a new service line is installed the old corporation stop shall be shut off at the main and the old service line cut two feet from the main.

- C. Meters and Boxes. All meters shall be paid for by the developer and ordered by the City. Meter boxes and pressurized irrigation boxes shall be in good repair. They shall not be set at an angle, crushed, or dented. The inside of boxes must be free from obstructions such as dirt, rocks or debris. Meters shall be installed by the Developer or Contractor.
- D. Polyethylene Pipe. Only CTS SDR9 200 psi purple polyethylene pipe shall be used for pressurized irrigation service lines. Pipe damaged by scratches, cuts, kinks or buckled areas shall not be installed.

The bottom of trench shall be flat with no hollows, no lumps and no rock. If these conditions do not occur pipe must be bedded in coarse sand. No rocks shall be allowed within six inches of pipe.

Pipe shall be cut with either a wheel or scissor type tubing cutter with a blade specifically designed for plastic. Cuts shall be square and clean. Cutter manufacturer instructions shall be followed when cutting pipe. All connections shall have stainless steel stiffeners.

There shall be no unnecessary bending of pipe. Taps shall be exactly horizontal to the pressurized irrigation main. If bending cannot be avoided maximum bending radius shall be 25 times the pipe diameter as measured in inches (i.e.: a 16 inch pipe cannot bend on a curvature having a radius less than 16 x 25= 400 feet). There shall be no bending within 3 feet of a fixed point and no "S" shape curves.

450.060. Flushing.

- A. General. All pressurized irrigation lines shall be flushed before placed in service. Flushing shall be accomplished through the end of each line.
- B. Velocity. The Contractor shall install a tap sufficient in size to provide for 2 ½ feet per second flushing velocity in the line. The following is the flow quantity required to provide a 2 ½ foot per second flushing velocity.

CONSTRUCTION STANDARDS

Alpine City

FLOW REQUIREMENTS FOR FLUSHING

Pipe Diameter	Flow in Gallons Per Minute
4 inch	100
6 inch	220
8 inch	390
10 inch	610
12 inch	880
16 inch	1,567
18 inch	1,980
20 inch	2,450
24 inch	3,525
30 inch	5,507

Adopted _____

Section 500. Sanitary Sewer.**SECTION INDEX****500.010. General.**

- A. Specifications.
- B. Pipe.
- C. Size.
- D. Locations.
- E. Minimum Slopes.
- F. Sanitary Sewer Lift Stations.
- G. Unusual Piping and Plumbing.

500.020. Pipe and Fittings.

- A. General.
- B. Polyvinyl Chloride Pipe (PVC).
- C. ADS Sanitite HP Pipe.

500.030. Services.

- A. General.
- B. Clean-outs.

500.010. General.

- A. Specifications. Sanitary sewer facilities shall meet the requirements and specifications of APWA 33 31 00 (Sanitary Sewerage Systems). These specifications cover the installation of sanitary sewer lines. See Section 200 for improvement and design requirements, Section 250 for inspection and testing requirements, and Section 350 for earthwork and trench requirements. See standard drawings related to sanitary sewers.
- B. Pipe. All sanitary sewer pipe 18 inches in diameter and larger shall be ADS Sanitite HP pipe or approved equivalent unless otherwise approved by City Engineer or his/her designee. All other sanitary sewer pipe shall be constructed with polyvinyl chloride (PVC) pipe.
- C. Size. The City Engineer or his/her designee must approve the sizes of all proposed sanitary sewer lines. Minimum size of pipe is 8 inch diameter for main lines and 4 inch diameter for services.
- D. Location. Sanitary Sewer mains shall be located on either the south or west sides of a street 7 feet from the centerline. A maximum of 400 feet of pipe shall be allowed between manholes unless otherwise approved by the City Engineer.
- E. Minimum Slopes. Slopes shall be designed to have a 2 foot per second velocity unless otherwise approved by the City Engineer. The following table lists minimum slopes for sanitary sewer for each size of pipe:

MINIMUM SANITARY SEWER SLOPES

Pipe Diameter (inches)	Minimum Slope (%)
4	2.000
6	1.000
8	0.334
10	0.248
12	0.194
14	0.158
15	0.144
16	0.132
18	0.113
21	0.092
24	0.077
27	0.066
30	0.057
36	0.045
48	0.031
54	0.027
60	0.023

- F. Sanitary Sewer Lift Stations. Sanitary sewer lifts stations require prior approval. All possible options for a gravity flow system shall be considered prior to requesting approval of a sanitary sewer lift station or equivalent system. Sanitary sewer lift stations or equivalent systems which are approved to be used in a development shall be designed by the Developer's engineer; the design shall be submitted to the City Engineer or his/her designee for review prior to Preliminary Approval of the development. Lift stations will be the wet well / dry well type, will have standby power, proper ventilation, telemetry, and will be designed for large areas, not individual subdivisions.
- G. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards.

500.020. Pipe and Fittings.

- A. General. ADS Sanitite HP pipe or approved equivalent shall be used for all sanitary sewer lines larger than 18 inches in diameter. All other sanitary sewer lines shall be constructed with polyvinyl chloride (PVC) pipe.

Pipe buried more than 12 feet deep shall require manufacturing and engineering specifications to be submitted to the City Engineer or his/her designee for written approval.
- B. Polyvinyl Chloride Pipe (PVC). PVC pipe shall meet the requirements and specifications of APWA 33 05 07 (Polyvinyl Chloride Pipe) and shall have a minimum rating of SDR-35.

- C. ADS Sanitite HP Pipe. Sanitite HP pipe with sizes up to 30 inches shall meet the requirements and specifications of ASTM F2732. Sanitite HP pipe with sizes over 30 inches shall meet the requirements of ASTM F2764.

500.030. Services.

- A. General. All sanitary sewer services shall be connected to existing sanitary sewer mains by use of an Inline Y or approved equivalent Insert-a-Tee type connection, and shall be approved by the City Engineer. Sewer services shall extend 10 feet beyond the back of sidewalk and plugged until connected to a building. The minimum cover of sewer laterals is at 3' 6" at the property line.
- B. Clean-outs. Clean-outs, per City details, shall be installed every 100 feet on all service lines.

Section 550 Storm, Land and Groundwater Drains.**SECTION INDEX****550.010. General.**

- A. Specifications.
- B. Size.
- C. Location.
- D. Minimum Slopes.
- E. Unusual Piping and Plumbing.
- F. Groundwater Drains.

550.020. Pipe and Fittings.

- A. General.
- B. Concrete Pipe.
- C. Polyethylene Pipe.
- D. Polyvinyl Chloride Pipe.
- E. Corrugated Metal Pipe.

550.030. Sumps and Appurtenances.

- A. Connecting to Existing Drains Lines.
- B. Sumps.
- C. Inlet and Clean Out Structures.
- D. Headwalls.

550.040. Retention/Detention Basins.

- A. General.
- B. Retention Basins.
- C. Detention Basins.

550.050. Low Impact Development.

- A. General.

550.010. General.

- A. Specifications. Storm, land and groundwater drain facilities shall meet the requirements and specifications of APWA 33 41 00 (Storm Drainage Systems). These specifications cover the installation of storm, land and groundwater lines. See Section 200 for improvement and design requirements, Section 250 for inspection and testing requirements, and Section 350 for earthwork and trench requirements. See standard drawings related to storm, land and groundwater drains. Land and groundwater drains shall be approved by the City Engineer and shall be installed lower in elevation than the sewer mainline.
- B. Size. The City Engineer or his/her designee must approve the sizes of all proposed drain lines. The minimum size of pipe is 15" diameter for all lines, both mains and laterals.
- C. Location. Drain lines shall be located along the centerline of the street, typically below water mains to reduce conflicts. Unless approved otherwise, a maximum of 400 feet of pipe shall be allowed between manholes.
- D. Minimum Slopes. Slopes shall be designed to have a 2 foot per second velocity unless otherwise approved by the City Engineer. The following table lists minimum slopes for drain lines for each size of pipe:

MINIMUM DRAIN LINE SLOPES

Pipe Diameter (inches)	Minimum Slope (%)
12	0.194
14	0.158
15	0.144
16	0.132
18	0.113
21	0.092
24	0.077
27	0.066
30	0.057
36	0.045
48	0.031
54	0.027
60	0.023

- E. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards.
- F. Groundwater Drains. All plans for groundwater drains must be designed and stamped by a licensed professional civil engineer in the State of Utah. Only rigid pipe may be used.

550.020. Pipe and Fittings.

- A. General. Reinforced concrete pipe shall be used for all lines with less than 2 feet of cover or more than 8 feet of cover. Corrugated metal pipe (CMP) may only be used when authorized by the City Engineer or his/her designee.
- B. Concrete Pipe. Concrete pipe shall meet the requirements and specifications of APWA 33 05 02 (Concrete Pipe and Culvert). Reinforced concrete pipe (RCP) shall be Class III. Only new pipe may be used unless otherwise authorized by the City Engineer or his/her designee.
- C. Polyethylene Pipe. Polyethylene pipe shall meet the requirements and specifications of APWA 33 05 06 (Polyethylene Pipe) Type S for storm drains and Type SP for land or groundwater drains.
- D. Polyvinyl Chloride Pipe (PVC). PVC pipe shall meet the requirements and specifications of APWA 33 05 07 (Polyvinyl Chloride Pipe).
- E. Corrugated Metal Pipe (CMP). CMP shall meet the requirements and specifications of APWA 33 05 04 (Corrugated Metal Pipe).

550.030. Sumps, and Appurtenances.

- A. Connecting to Existing Drain Lines. Manholes and sumps used to connect proposed storm drain to existing storm drain shall be plumb and centered on the existing storm drain. The new pipe shall be placed against the existing pipe at the elevation designated by the project engineer and the base poured as specified above. Care shall be taken not to disturb the alignment of the existing storm drain during the excavation procedure. Any damage to the existing storm drain shall be repaired.
- B. Sumps. Sumps may only be constructed of reinforced concrete, precast sections and shall meet the requirements of ASTM C478-73. Sumps shall have eccentric lids to ensure adjustments in alignment.
- C. Inlet and Clean Out Structures. Surface water must enter the City storm drain system through standard City inlet boxes. In no case may water inlet directly into storm manholes, clean-outs, or sumps. Inlets and clean out structures shall not exceed 400 ft spacing unless approved otherwise by the City Engineer.

All inlet and clean out structures shall be reinforced concrete boxes. They may be precast or cast-in-place. Grate and Frame Material. All castings shall be of ASTM A-48, Class 35 iron free from blowholes and shrinkage defects. Castings shall be free from fins and burrs and shall be shot-blasted to remove sand and other foreign matter. Freedom from cracks and defects shall be ascertained by the engineer prior to installation.

- D. Headwalls. A headwall shall be installed at all ditch to pipe transitions. Headwall designs must be stamped by a licensed professional civil engineer in the State of Utah and approved by the City Engineer or his/her designee.

550.040. Retention/Detention Basins.

- A. General. Basin designs shall be designed with the following side slopes:

Basin Finish	Min. Side Slope
Non-landscaped	3:1
Landscaped	4:1

- B. Retention Basins. All retention basins shall have a freeboard of 12 inches. Design of retention basins shall be according to the Storm Water Drainage Design Manual. All retention basins shall have a series of interconnected sumps connected to curb inlet boxes or storm drain main lines.

All retention basins shall be constructed for drainage areas designated in the Storm Drain Master Plan. Basins for smaller areas may be allowed only with prior written approval of the City Engineer or his/her designee.

- C. Detention Basins. All detention basins shall have 12 inches of freeboard. Design of detention basins shall be according to the Storm Water Drainage Design Manual. Detention basins may be constructed in landscape or parking areas. Each detention basin shall incorporate LID storm drain principles and have an overflow to the City storm drain system.

550.050. Low Impact Development.

General. All new development and roadways shall incorporate LID storm drain in the form of bioretention swales, underground retention cells and other methods as approved by the City Engineer or his/her designee. LID systems shall be designed in accordance with the Stormwater Design Manual.

Section 600. Streets and Pavements.

SECTION INDEX

600.010. General.

- A. Street Designations.
- B. Time Limitation after Curb and Gutter.
- C. Geotextiles, Geogrids and Geocomposites.
- D. Pavers.
- E. Painted Traffic Lines and Markings.
- F. Traffic Barriers.
- G. Vehicle Delineators.

600.020. Street Section.

- A. Soils Investigation.
- B. Pavement Section.
- C. Road-base Section.
- D. Sub-base Section.
- E. Grading.

600.030. Trail Section.

- A. General.
- B. Survey.
- C. Weed Abatement.
- D. Geotextile Fence.
- E. Sub-grade.
- F. Weed Barrier.
- G. Limestone Crusher Fines.
- H. Trail Markings.
- I. Clean-up.

600.040. Bituminous Surface Course.

- A. Paving Asphalts.
- B. Asphalt Concrete.
- C. Prime Coat.
- D. Tack Coat.
- E. Overlays and Patches.
- F. Slurry Seal.
- G. Chip Seal.
- H. Micro-Surfacing.
- I. Pavement Crack Seal.
- J. High Density Mineral Bond Seal

600.010. General.

- A. Street Designations. Street designations include: local streets, secondary access, collector streets and arterial streets. Designations shall be assigned by the City in compliance with the Alpine City Transportation Master Plan.
- B. Time Limitation after Curb and Gutter is Placed. Pavement shall be placed at least 7 days after and before 45 days after the placement of curb and gutter unless an extension is granted by the City Engineer or his/her designee.
- C. Geotextiles, Geogrids and Geocomposites. All geotextile work shall meet the requirements and specifications of APWA 31 05 19 (Geotextiles) and APWA 32 12 16 (Plant-Mix Asphalt Paving). Geogrid and geocomposite work shall meet the requirements and specifications of APWA 31 05 21 (Geogrids/Geocomposites) and APWA 32 12 16 (Plant-Mix Asphalt Paving).
- D. Pavers. Pavers and installation shall meet the requirements and specifications of APWA 32 14 13 (Precast Concrete Unit Paving) and APWA 32 14 16 (Brick Unit Paving).
- E. Painted Traffic Lines and Markings. Painted traffic lines and markings shall meet the requirements and specifications of APWA 32 17 23 (Pavement Markings) and the MUTCD.
- F. Traffic Barriers. Vehicle barriers shall meet the requirements and specifications of APWA 34 71 13 (Vehicle Barriers) and the MUTCD.
- G. Vehicle Delineators. Vehicle delineators shall meet the requirements and specifications of APWA 34 71 19 (Vehicle Delineators) and the MUTCD.

600.020. Street Section.

- A. Soils Investigation. A soils investigation shall be performed for all new roads and those roads for which work will be performed. The results of this investigation and a design of the road cross section shall be submitted to and accepted by the City Engineer or his/her designee.

The following guidelines shall be used as a minimum requirement for street cross sections. They should be used unless the soils investigation indicates they are not adequate. Any variations from these standards must be approved by the City Engineer or his/her designee.

- B. Pavement Section. All roads shall be paved with asphalt concrete according to City standards unless authorized by the City Engineer or his/her designee. The following table shall be used for minimum asphalt pavement surfacing depths:

ASPHALT PAVEMENT COURSE THICKNESS

Application	Minimum Pavement
Parking Lots and Driveways	3 inch
Local Streets	3 inch + preservation coat after 1 year
Secondary Access Roads	3 inch + preservation coat after 1 year (if pavement is required)
Collector/Arterial Streets	4 inch + preservation coat after 1 year

Streets shall have an approved preservation coat installed 1 year after the end of construction inspection, pending amenable conditions for installation. At the City's discretion, the contractor may arrange to have the City install the preservation coat at the Contractor's expense. The funds for a preservation coat shall be provided in escrow prior to recording the subdivision plat.

- C. Road-base Section. All roads shall have a minimum 8 inches of road-base under the pavement section. Road-base shall be an untreated base course installed according to City standards. See Section 350. Earthwork and Trenching. Road-base shall be finished to a smooth uniform line and grade and shall extend a minimum of 12" beyond the pavement surface for placements without curb and gutter. For placements with curb and gutter it shall extend 12" beyond the back of curb.

Adopted _____

- D. Sub-base Section. All sub-base shall be an engineered fill that meets and is installed according to City standards. See Section 350. Earthwork and Trenching. Sub-base shall be finished to a smooth uniform line and grade and shall extend a minimum of 12" beyond the pavement surface for placements without curb and gutter. For placements with curb and gutter it shall extend 12" beyond the back of curb. The thicker section shall be used in the case where CBR may be in conflict. The following table shall be used for minimum sub-base course thicknesses for the following California Bearing Ratio (CBR) values of sub-grade:

PARKING LOTS AND DRIVEWAYS
MINIMUM SUB-BASE COURSE THICKNESSES

Sub-grade CBR	Minimum Sub-base Thickness (inches)
Less than 2	12
2.1 to 8.0	8
More than 8	No Sub-base Required

LOCAL STREET / SECONDARY ACCESS
MINIMUM SUB-BASE COURSE THICKNESS

Sub-grade CBR	Minimum Sub-base Thickness (inches)
Less than 2	15
2.1 to 3.0	12
3.1 to 10.0	8
More than 10	No Sub-base Required

COLLECTOR / ARTERIAL STREET
MINIMUM SUB- BASE COURSE THICKNESS

Sub-grade CBR	Minimum Sub-base Thickness (inches)
Less than 2.0	18
2.1 to 3.0	15
3.1 to 5.0	12
5.1 to 15.0	8
More than 15	No Sub-base Required

- E. Grading. The sub-grade, sub-base, and road base shall all be graded to an engineered red-head and accepted by the City. Red-heads shall be placed every 50 feet at the crown of the road. If the distance between red-heads and edge of pavement exceeds 25 feet additional redheads shall be installed halfway between the crown and edge of pavement.

600.030. Trail Section.

- A. General. A pavement and soils investigation shall be performed for Class A and B trails. The results of this investigation and a design of the trail section shall be submitted to and accepted by the City Engineer or his/her designee.

The following guidelines shall be used as a minimum requirement for Class A thru D trail cross sections. They should be used unless the soils investigation indicates they are not adequate. Any variations from these standards must be approved by the City Engineer or his/her designee. All trail materials shall be placed according to City standards.

1. *Engineered Fill.* Compacted engineered fill shall be placed in all areas where fills are required to meet grade or the requirements of the soils investigation.
2. *Untreated Base Course.* 6 inches of compacted untreated base course shall be placed under the surface course of Class A thru D trails.
3. *Bituminous Surface Course.* A minimum of 2 inches of APWA DM-1/2, PG 58-28, 50 Blow or SP-3/8, PG58-28, 75Nd bituminous surface course shall be placed across 8 feet of the trail section.

- a. A maximum of 15% RAP or 15% Recycled Binder Replacement, whichever is less, will be allowed.
- B. Survey. Both sides of a trail shall be laid out by a survey and approved by the City before construction. Lath shall be placed at 100 foot intervals and at bends and obstacles the trail comes near.
- C. Weed Abatement. All weeds shall be sprayed and killed with Roundup or an approved equivalent one week before any work may be performed, and within 3 weeks of the placement of untreated base course.
- D. Geotextile Fence. An APWA 31 05 19 (Geotextiles) silt fence shall be installed along the limits of the trail construction at hillsides, river embankments, or by or through City Open Space.
- E. Sub-grade. The sub-grade shall be grubbed of all trees, bushes and other organic matter. Sub-grade shall be graded to meet the following ADA requirements for walkways when required on ADA accessible pathways:
 - 1. *Maximum Slope.* Sub-grade shall not have a slope greater than 8.33%.
 - 2. *Maximum Run for Steep Slopes.* For slopes between 5.00% and 6.25% the maximum run shall be 40 feet. For slopes between 6.25% and 8.33% the maximum run shall be 30 feet.
- F. Weed Barrier. Weed barrier geotextile shall meet the requirements and specifications of APWA 31 05 19 (Geotextiles).
- G. Trail Markings. Trail lanes shall be delineated by a center single dashed yellow line. Painted traffic lines and markings shall meet the requirements and specifications of APWA 32 17 23 (Pavement Markings) and the MUTCD.
- H. Clean-up. Upon completion of the trail section all windrows, survey and construction debris shall be removed from along the edges of the trail.

600.040. Bituminous Surface Course.

- A. Paving Asphalts. Paving asphalts shall meet the requirements and specifications of APWA 32 12 03 (Paving Asphalts). Recycled Asphalt Pavement (RAP) or Recycled Asphalt Binder (RAB) content may not exceed 15% in any mix design.

For all new construction, paving shall not occur until gas, power, and dry utility crossings are installed and approved by the City Engineer or his/her designee. Crossings shall be surveyed and included on the asbuilt drawings.

For all streets, parking lots, trails, and repairs; use 1/2" 50 Blow PG 58-28 mix design.

For paving limitations, see Asphalt Paving Limitations, Section 250.

- B. Asphalt Concrete. Asphalt concrete shall meet the specifications and requirements of APWA 32 12 05 (Asphalt Concrete), APWA 32 12 16 (Plant-Mix Asphalt Paving) and APWA 32 12 17 (Cold-Mix Asphalt Paving).

Cold-mix asphalt concrete shall only be installed when allowed by the City Engineer or his/her designee. All cold-mix asphalt concrete shall be replaced with hot-mix within 30 days of when it becomes available.

- C. Prime Coat. Prime coat only as required by the plans or the City. Prime coat shall meet the requirements and specifications of APWA 32 12 13 (Prime Coat).
- D. Tack Coat. Install tack coat as required and according to APWA 32 12 14 (Tack Coat). Use CSS-1 or CSS-1h tack emulsion diluted 2:1 (concentrate to water).
- E. Thin Overlays and Patches. Use binder and bituminous concrete as defined in Article A based on paver or hand applications. Apply tack coat to all horizontal and vertical surfaces sufficient to achieve minimum 95% coverage prior to placement of overlay or patch.
- F. Slurry Seal. Slurry seals shall meet the requirements and specifications of APWA 32 01 13 (Slurry Seal). The type of slurry seal applied to a City street shall be approved and specified by the City Engineer.

Adopted _____

- G. Chip Seal. Chip seals shall meet the requirements and specifications of APWA 32 01 13 (Chip Seal).
- H. Micro-Surfacing. Micro-surfacing shall meet the requirements and specifications of APWA 32 01 15 (Micro-Surface Seal).
- I. Pavement Crack Seal. Pavement crack seals shall meet the requirements and specifications of APWA 32 01 17 (Pavement Crack Seal).
- J. High Density Mineral Bond Seal. High densit mineral bond seals shall meet the requirements and specifications of APWA 32 01 13 (High Density Mineral Bond Seal).

Section 650. Portland Cement Concrete and Masonry Work.**SECTION INDEX****650.010. General.**

- A. Specifications.
- B. Allowable Grades.
- C. American Disabilities Act (ADA) Requirements.
- D. Combination Curb, Gutter, and Sidewalk.
- E. Cold Weather Concrete.
- F. Debris in Gutters.
- G. Sidewalk.
- H. Drive Approaches.
- I. Protection of Wet Concrete.
- J. Repair.

650.020. Installation.

- A. Cutting Pavement.
- B. Forms and Joints.
- C. Base Material.
- D. Mixing and Conveying.
- E. Finishing.
- F. Curing.

650.030. Materials.

- A. Coarse Aggregate.
- B. Fine Aggregate.
- C. Cement.
- D. Water.

650.040. Concrete Mixes.

- A. Mix Design.
- B. Proportioning.
- C. Control.
- D. Water Adjustments.

650.050. Masonry.

- A. General.

650.010. General.

- A. Specifications. These specifications cover the installation of concrete work including but not limited to curbs, gutters, sidewalks, boxes, and thrust blocks. All concrete work shall meet the requirements and specifications of APWA Division 03 Concrete and related sections. Concrete driveway, sidewalk, curb and gutter work shall meet the requirements and specifications of APWA 32 16 13 (Driveway, Sidewalk, Curb, Gutter). See Section 200 for improvement and design requirements, Section 250 for inspection and testing requirements, and Section 350 for earthwork and trench requirements. Also, see standard drawings related to concrete work.

All concrete work shall be constructed where indicated on the plans or as directed by the project engineer and shall conform in all respects to the specified lines, grades, and dimensions and City standards.

- B. Allowable Grades. The minimum grade allowed for any gutter is 0.50%. See Alpine City Development Code for maximum allowable grades of City streets.
- C. American Disabilities Act (ADA) Requirements. All pedestrian facilities will conform to the current federal ADA standards.
- D. Combination Curb, Gutter, and Sidewalk. Combination curb, gutter, and sidewalk will not be allowed unless authorized by the City Engineer or his/her designee.
- E. Cold Weather Concrete. Concrete shall not be placed when a descending air temperature in the shade and away from artificial heat falls below 35°F. Concrete shall not be poured on frozen ground. Where temperatures are projected to descend below 32°F within 72 hours after placement, concrete shall be covered or otherwise protected against freezing. No calcium based add mixtures may be used. Any other add mixtures must be approved by the City Engineer or his/her designee.

If concrete is not protected by insulation blankets for 72 hours following installation and the temperature drops below 45 degrees a pay factor of 0.50 shall apply.

Per APWA Division 03, concrete placed between October 1 and March 1 requires an increase in mix design strength by 1 class, i.e. Class 3000 becomes Class 4000, Class 4000 becomes Class 5000, etc.

- F. Debris in Gutters. Once curb and gutter and surface course is in place they shall be kept as clean as possible. Dirt and gravel shall not be placed in gutter or on street. Gutter shall flow freely at all times.
- G. Sidewalk. Sidewalk shall be 5 inches thick with 6 inches of compacted road base. To protect the structural integrity of new sidewalk, all dry utilities shall be installed prior to installing sidewalk. When equipment is required to cross over sidewalk, bridging must be provided to protect concrete.
- H. Drive Approaches. All City owned drive approaches shall be 5 inches thick with 6 inches of compacted road base. Commercially owned drive approaches are recommended to be 6 inches thick.
- I. Protection of Wet Concrete. The Contractor shall be responsible to protect wet concrete. Any concrete that is vandalized before setting up shall be replaced at the contractor's expense.
- J. Repair. When authorized by the City Engineer or his/her designee, Contractor may repair concrete damage with Concrete Solution's Ultra Surface Concrete Polymer installed to manufacturer's specifications or an equivalent that is approved by the City Engineer or his/her designee.

650.020. Installation.

- A. Cutting Pavement. When replacing gutter, the pavement shall be cut along the entire excavation to provide a vertical joint in the surface. Cut shall be a minimum of 12 inches from lip of gutter. A pavement saw shall be used for all pavement cutting. If excavation damages the cut pavement, pavement shall be cut again before patching. All road cuts shall be repaired within 2 working days.
- B. Forms and Joints. When pouring concrete along a curve, flexible forms with enough stakes to hold the forms at an even curve shall be used.

Curb and gutter contraction joints shall be constructed every 10 feet by using steel templates 1/8 inch in thickness. Sidewalk contraction joints shall meet APWA requirements with the minimum distance between joints being 5 feet.

- C. Base Material. A minimum of 6 inches of untreated base course shall be installed under all concrete and shall extend out 1 foot in all directions from concrete unless otherwise specified. Untreated base course shall be compacted and installed according to City standards. See Section 350. Earthwork and Trenches.
- D. Mixing and Conveying. Concrete transported in a truck mixer, agitator, or other transportation device shall be discharged at the job and placed in its final position in the forms within 1 hour after the introduction of the mixing water to the cement and the aggregate, or the cement to the aggregate, except that in hot weather or under other conditions contributing to quick stiffening of the concrete, the maximum allowable time may be reduced by the City Engineer or his/her designee. The maximum volume of mixed concrete transported in an agitator shall be in accordance with the specified rating. During adverse weather conditions the City Engineer or his/her designee may deem it necessary for the use of a concrete pump truck.
- E. Finishing. As soon as the concrete has set sufficiently to retain its shape without support of the face form, the clamps, spreaders and face forms shall be removed. While the concrete is still green, the surface shall be thoroughly floated with a magnesium or moist wooden float to provide an even smooth surface, then broomed lightly.
- F. Curing. As soon as possible after final finishing, the finished surface shall be coated with a curing compound. The compound shall be an ASTM C-1315 Type 2 curing compound that meets the APWA 03 39 00 (Concrete Curing) specifications. The compound shall be applied in accordance with the manufacturer's recommendations. During the months of October through February exposed concrete shall be covered with an insulated curing blanket that meets the ACI 306 specification for 3 days when temperatures remain at 15 degrees Fahrenheit or higher and for 7 days for temperatures below 15 degrees Fahrenheit. Insulated curing blankets shall only be removed during the warmest parts of the day. The curing compound shall then be applied within 24 hours of the blankets being removed.

650.030. Materials.

- A. Coarse Aggregate. A coarse aggregate shall consist of hard durable particles of a mixture of crushed and natural gravel possessing at least 50% of broken surface area. The coarse aggregate shall be free from substances which are chemically active relative to hydrated cement and shall be subject to particularly the following:
 1. Loss on abrasion by Los Angeles Abrasion Test not more than 40% by weight.
 2. Loss on exposure to 5 cycles of sodium sulfate soundness test, not more than 8% by weight.
 3. Deleterious substances shall not exceed the values in the following table:

PORTLAND CEMENT CONCRETE
COURSE AGGREGATE DELETERIOUS SUBSTANCES

Substance	Maximum % by Weight
Soft Fragments	3.0
Coal Lumps	1.0
Clay Lumps	0.5
Material passing 39 100 Sieve	1.5
Organic Material	0.1
Total for All of the Above	3.0

The maximum size of aggregate to be used shall not exceed 1 1/2 inches in terms of this size definition contained in ASTM Standards except that the maximum size shall not exceed 1/4 of the least dimension of the finished concrete in which the aggregate is to be used.

Coarse aggregate shall be uniformly graded within the following range:

PORTLAND CEMENT CONCRETE
COARSE AGGREGATE GRADATION

Sieve Size	Minimum Retained (%)	Maximum Retained (%)
1 1/2 inch	0	10
3/4 inch	30	70
1/4 inch	75	100
No. 4	95	100

- B. Fine Aggregate. Fine aggregate shall consist of clean, hard durable particles of natural sands, subject to the following limitations:
1. Organic Calorimetric Test using sodium hydroxide shall result in a color not darker than Number 2 in the acceptance range.
 2. Loss on exposure to 5 cycles of the sodium sulfate soundness tests shall not exceed 8% by weight.
 3. Deleterious substances shall not exceed the values in the following table:

PORTLAND CEMENT CONCRETE
FINE AGGREGATE DELETERIOUS SUBSTANCES

Substance	Maximum % by Weight
Soft Fragments	3.0
Coal Lumps	1.0
Material passing 39 100 Sieve	3.0
Micaceous or Flaky Particles	3.0
Total for All of the Above	5.0

Fine aggregate shall be uniformly graded within the following range:

PORTLAND CEMENT CONCRETE
FINE AGGREGATE GRADATION

Sieve Size	Minimum Retained (%)	Maximum Retained (%)
No. 4	0	5
No. 8	0	20
No. 16	20	50
No. 30	50	75
No. 50	75	90
No. 100	95	100

- C. Cement. All cement used shall be Type II unless otherwise allowed by the City Engineer or his/her designee. All cement and dry additives shall be stored in damp-proof conditions. Shipments of cement shall be marked and stored in such a manner as to provide positive identification. The supplier shall keep and have available for inspection at all times an accurate record of supplies and use of cement of the various types and shipments. No cement shall be used which has been subject to dampness or exposure.
- D. Water. Water used for concrete shall be potable and free from excess salts, organic material, or other deleterious substances. Addition of water to the mixed concrete after specified workability has been obtained will not be allowed, nor shall any concrete be re-tempered or re-mixed.

Adopted _____

650.040. Concrete Mixes.

A. Mix Design. Concrete mix designs shall meet the following requirements:

PORTLAND CEMENT CONCRETE MIX DESIGN REQUIREMENTS		
Property	Standard Requirement	Thrust Block Material
Cement Content	6.5 Bags per Cubic Yard (Minimum)	3.5 Bags per Cubic Yard (Minimum)
28 Day Compressive Strength	4000 psi (Minimum)*	2000 psi (Minimum)*
Slump Range	1 to 3 inches	1 to 6 inches
Flatwork Slump Range	3 to 4 inches	NA
Air Content	5% to 7%	NA

* Per APWA 03 30 04, increase cement content in the mix design by 1 class between **October 1 and March 1**, i.e. Class 4000 becomes Class 5000.

B. Proportioning. The supplier shall determine proportions by weight of aggregates, cement, additives, and water required to comply with strength, workability, and other requirements detailed herein. Such proportions shall be submitted to the City Engineer or his/her designee in three copies annually along with the following tests on materials and shall be subject to his/her approval.

1. Coarse aggregate
 - a. Source
 - b. Deleterious substances
 - c. Los Angeles Abrasion Test
 - d. Sodium Sulfate Soundness Test
 - e. Sieve
2. Fine aggregate
 - a. Source
 - b. Deleterious substances
 - c. Calorimetric Test for Organics
 - d. Sodium Sulfate Soundness Test
 - e. Sieve and fineness modulus
3. Cement
 - a. Type
 - b. Supplier
 - c. Analysis

Upon approval, all concrete shall be prepared in terms of the proportions so approved unless variation becomes necessary by reason of materials or conditions to achieve the requirements of these specifications, in which case such variation shall be approved in writing by the City Engineer or his/her designee. Approval by the engineer of mix proportions shall not relieve the supplier from the responsibility for obtaining the concrete strengths specified or complying will all other provisions of this specification.

C. Control. Measurements of materials except water shall be by weight. Equipment used shall be capable of controlling weight within 1% of each ingredient. Water may be measured either by volume or weight provided that an accuracy of 1% is maintained. Cement may be assumed to weigh 94 pounds per sack but proportioning aggregates for fractional sacks of cement will not be permitted unless the fractional amount is weighed for each batch.

D. Water Adjustments. Compensation for the water contained in the aggregates shall be made at least once daily or as often as inspection of the concrete may indicate that variation from this cause has occurred. The Pycnometer Method of assessing water in aggregate may be used for its determination for the purposes of this paragraph.

650.050. Masonry.

A. General. All masonry work shall meet the requirements and specifications of APWA Division 04 Masonry and related sections.

Section 850. Surface Irrigation Systems.

SECTION INDEX

850.010. General.

- A. Specifications.
- B. Size.
- C. Location.
- D. Minimum Slopes.
- E. Unusual Piping and Plumbing.

850.020. Pipe and Fittings.

- A. General.
- B. Concrete Pipe.
- C. Polyethylene Pipe.
- D. Corrugated Metal Pipe.

850.010. General.

- A. Specifications. Piped irrigation facilities shall be required per Alpine City Development Code. Facilities shall meet the requirements and specifications of APWA 33 41 00 (Storm Drainage Systems). These specifications cover the installation of storm/irrigation lines. See Section 200 for improvement and design requirements, Section 250 for inspection and testing requirements, and Section 350 for earthwork and trench requirements. See standard drawings related to storm/irrigation lines.
- B. Size. The City Engineer or his/her designee must approve the sizes of all proposed drain lines. The minimum size shall be determined based on Alpline Irrigation Company and Alpine City needs.
- C. Location. Piped irrigation systems shall be located as close to the original ditch system as possible. Variations in location must be approved by the City Engineer or his designee and the Alpine Irrigation Company. A maximum of 400 feet of pipe shall be allowed between manholes.
- D. Minimum Slopes. Slopes shall be designed to have a 2 foot per second velocity unless otherwise approved by the City Engineer. The following table lists minimum slopes for irrigation lines for each size of pipe:

MINIMUM IRRIGATION PIPE SLOPES

Pipe Diameter (inches)	Minimum Slope (%)
24	0.077
30	0.057
36	0.045
48	0.031
54	0.027
60	0.023

- E. Unusual Piping and Plumbing. Special and unusual piping and plumbing for equipment or structures are treated as separate items and are not included in these standards.

850.020. Pipe and Fittings.

- A. General. Reinforced concrete pipe shall be used for all lines with less than 2 feet of cover or more than 8 feet of cover. Corrugated metal pipe (CMP) may only be used when authorized by the City Engineer or his/her designee.
- B. Concrete Pipe. Concrete pipe shall meet the requirements and specifications of APWA 33 05 02 (Concrete Pipe and Culvert). Reinforced concrete pipe (RCP) shall be Class III. Only new pipe may be used unless otherwise authorized by the City Engineer or his/her designee.
- C. Polyethylene Pipe. Polyethylene pipe shall meet the requirements and specifications of APWA 33 05 06 (Polyethylene Pipe) Type S for storm drains and Type SP for land or groundwater drains.
- D. Corrugated Metal Pipe (CMP). CMP shall meet the requirements and specifications of APWA 33 05 04 (Corrugated Metal Pipe).

Section 900. Landscaping.

SECTION INDEX

900.010. General.

- A. Specifications.
- B. Appurtenances.
- C. As-Built Drawings.
- D. Government Regulations.
- E. Source.
- F. Fences and Walls.
- G. Tree Grates.
- H. Vegetation Control.

900.020. Lawns and Grasses.

- A. General.
- B. Grading.

900.030. Ground Cover.

- A. General.

900.040. Trees.

- A. General.
- B. Tree Sizes.
- C. Labels.

900.010. General.

- A. Specifications. These specifications are for landscape work completed on public property or private property that will become public property.
- B. Appurtenances. Any minor items of labor or materials not specifically noted on the drawings or specifications; but obviously necessary for the proper completion of the work, are to be considered as incidental to and are to be included in the contract.
- C. As-Built Drawings. The contractor must furnish as-built drawings to the City. These drawings should be updated whenever a change from the design is made to assure accuracy. The drawings must show a record of all departures from the contract drawings that occur during construction. These shall be kept on a clean set of prints of the contract drawings.

The Project Manager/Owner will review the "as-built drawings" to verify that changes are being recorded as construction occurs. These drawings and maintenance manuals must be submitted at the time of final inspection or in accordance to the general conditions.

- D. Government Regulations. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
- E. Source. Provide trees and shrubs, and other plants grown in a recognized nursery in accordance with good horticultural practice. Provide healthy, vigorous stock grown under climatic conditions similar to the locality of the project and free of disease, insects, eggs, larvae, and defects such as knots, sun-scale, injuries, abrasions, or disagreement.

Plant Materials and other landscape items will be evaluated according to compliance with drawings, schedules, and specifications; as well as overall aesthetic quality, grower or supplier reputation, physical inspection, and American Association of Nurseryman Standards (AANS). Select plants that will not be adversely affected by the existing soil chemistry at the planting location.

The source or supplier for all plant materials shall be furnished to the City prior to the delivery of any plant materials on site or stored elsewhere.

- F. Fences and Walls. All fences and walls must be approved by the City. Chain link and field wire fencing shall meet the requirements and specifications of APWA 32 31 13 (Chain Link Fences and Gates) and APWA 32 31 16 (Welded Wire Fences and Gates) respectively. The relocation of fences and gates shall meet the requirements and specifications of APWA 32 01 10 (Relocate Fences and Gates) and related sections.
- G. Tree Grates. Only 4 foot square D&L O-8644 or approved equivalent grates shall be used. Grates shall be set to grade with the top back of curb and sidewalk. Grates shall be set in metal frame manufactured specifically for grate. Frame shall be set in concrete extending a minimum of 6 inches from sides of frame. Concrete shall be installed to City standards for Portland Cement Concrete.
- H. Vegetation Control. Vegetation control shall meet the requirements and specifications of APWA 31 31 19 (Vegetation Control).

900.020. Lawns and Grasses.

- A. General. Lawns and grasses shall meet the requirements and specifications of APWA 32 92 00 (Turf and Grasses).
- B. Grading. Till soil to a depth of 4 inches and remove rocks and debris over 1 inch in diameter. The elevation of top soil relative to walks, hard surfaces or edges shall be:
 - 1. Seeded Areas. 1/2 inches below.
 - 2. Sodded Areas. 1 1/2 inches below.

900.030. Ground Cover.

- A. General. Ground cover shall meet the requirements and specifications of APWA 32 93 13 (Ground Cover) and APWA 32 01 90 (Plant Maintenance). Install according to APWA plan number 683.

900.040. Trees.

- A. General. Tree and work relating to trees shall meet the requirements and specifications of APWA 32 93 43 (Tree), APWA 32 01 91 (Tree Root Cutting), APWA 32 01 93 (Pruning Trees) and 32 01 90 (Plant Maintenance). Install according to APWA plan number 681. Use 6 foot posts for any tree staking. Trees may be planted without a certified arborist when authorized by the City Engineer or his/her designee.
- B. Tree Sizes. Follow Alpine City Tree Guidebook
- C. Labels. Label at least one plant of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name.

Section 950. Irrigation Sprinkler Systems.**SECTION INDEX****950.010. General.**

- A. Specifications.
- B. Appurtenances.
- C. Pressure Verification.
- D. Plan Modifications.
- E. As-Built Drawings.
- F. Final Inspection.

950.020. Pipe and Fittings.

- A. Pipe.
- B. Main Line Fittings.
- C. Circuit Pipe Fittings.
- D. Sleeves.

950.030. Sprinkler Heads.

- A. General.
- B. Spray Heads.
- C. Rotary Heads.

950.040. Controller, Valves and Flow Meters.

- A. Controller.
- B. Manual Main Line Isolation Valve.
- C. Manual Circuit Isolation Valve.
- D. Automatic Valves.
- E. Master Valves and Flow Meters.
- F. Automatic Drain Valves.
- G. Back Flow Preventer.
- H. Stop and Waste Valves.
- I. Quick Coupler Valves.
- J. Valve Boxes.
- K. Control Wire.

950.050. Installation.

- A. Schedule.
- B. Depth and Location.
- C. Trench Backfill Material.
- D. Thrust Blocks.
- E. Flushing.
- F. Gluing.
- G. Marking Zones.

950.010. General.

- A. Specifications. These specifications are for landscape work completed on private property that will become public property. All underground irrigation systems shall meet the requirements and specifications of APWA 32 84 23 (Underground Irrigation Systems).
- B. Appurtenances. Any minor items of labor or materials not specifically noted on the drawings or specifications; but obviously necessary for the proper completion of the work, are to be considered as incidental to and are to be included in the contract.
- C. Pressure Verification. The Contractor, prior to installing the system, must verify existing water pressure. If there is a failure to obtain the needed pressure or if an excess of pressure exists for normal operation, the Contractor shall contact the City for any adjustments to the system. Failure to report any discrepancies in pressure due to whatever reason, and installation done prior to notification of City Parks Department shall be done at the expense of the Contractor.
- D. Plan Modifications. The plans show the general arrangement of all piping. Should local conditions necessitate the rearrangement of some, or if piping can be run to better advantage, the contractor, before proceeding with the work, shall prepare and submit drawings of such to the office of the Alpine City Parks Department Representative and obtain written approval before commencing work shown by these drawings.
- E. As-Built Drawings. Before the final inspection is complete, the contractor must furnish as-build drawings. These drawings should be updated on a daily basis to assure accuracy. The drawings must show the location of all valves, pipe, heads, controller control lines, and drain valves used on the job. These drawings and maintenance manuals must be submitted at the time of final inspection or in accordance to the general conditions.
- F. Final Inspection. The Contractor shall operate, maintain, and guarantee the irrigation sprinkler system until all landscaping on the project is approved by the Alpine City Parks Department at a final inspection. Contractor shall submit manufacturer's technical product maintenance data and installation instructions for irrigation sprinkler system materials and products to the City before final inspection.

950.020. Pipe and Fittings.

- A. Pipe. Use solvent weld schedule 40 PVC for main line pipe 3 inches in diameter and smaller. Use Class 200 PVC for main line pipe larger than 3 inches in diameter.
- B. Main Line Fittings. Use solvent weld schedule 40 PVC fittings for pipe smaller than 3 inches in diameter. All fittings for pipe 3 inch and larger pipe shall be ductile iron, grade 65-45-12 in accordance with ASTM A-536.

Fittings shall have deep bell push on joints with gaskets meeting ASTM F977. Fittings shall be Harco Deep Bell as manufactured by the Hanington Corporation of Lynchburg, VA or approved equivalent. Transition gaskets are not allowed.

- C. Circuit Pipe Fittings. Use solvent weld schedule 40 PVC fittings.
- D. Sleeves. Pipe and control wiring and tubing under walks, roads and other hard surfaces shall be installed in solvent weld Class 40 PVC sleeves of adequate size. Sleeves for pipes shall be a minimum of 3 inches in diameter or one and a half times the size of the pipes whichever is greater. Sleeves shall be straight and level or less than 2% grade. All wiring shall be placed in its own conduit. Wire conduit may be ran inside of sprinkler pipe sleeves. Conduit for control wires shall have minimum inside diameters according to the following chart:

MINIMUM SLEEVE CONDUIT SIZES	
Number of Wires	Conduit I.D.
1 to 7	1 inch
8 to 11	1 ½ inch
12 to 22	2 inch
23 to 31	2 ½ inch
32 to 36	3 inch

950.030. Sprinkler Heads.

- A. General. Install according to APWA plan number 621 and 622, but do not install PVC elbow and riser.

- B. Spray Heads. All spray type sprinkler heads shall be Rainbird "1804" PRS (pressure reducing spray) series or approved equivalent. All lawn spray heads shall be installed on swing pipe with two spiral barbed ells.
- C. Rotary Heads. All rotary type sprinkler heads shall be Rainbird Falcon 6500 or RS5000 series or approved equivalent. All stream rotary and impact heads capable of distributing 10 gallons per minute or more shall be installed on pre-assembled swing joint by Spears or an approved equivalent.

950.040. Controller, Valves and Flow Meters.

- A. Controller. Controller and pedestal shall be the same type as those used in the City central control system. The controller shall be as described in the irrigation legend on the drawings.
- B. Manual Main Line Isolation Valve. See standard drawing for pressure pipe main line valves.
- C. Manual Circuit Isolation Valve. Brass ball valve with handle.
- D. Automatic Valves. Automatic valves shall be Rainbird PEB electric remote control valves or an approved equivalent. A manual circuit isolation valve shall be installed on the supply side of each automatic valve. Install according to APWA plan number 633, but do not install schedule 80 PVC union.
- E. Master Valves and Flow Meters. Master valves and flow meters must be installed on main supply line and/or according to design and must be compatible with the City central control system.
- F. Automatic Drain Valves. Install according to APWA plan number 632.
- G. Back Flow Preventer. Shall be required on connections to the drinking water system. See section 400.040, Backflow Assemblies.
- H. Stop and Waste Valves. Stop and waste valves shall be Mueller H - 10288 Oraseal or an approved equivalent. Stop and Waste valve shall be of manual type for operation by handle key. Stop and waste valves shall be installed in a typical water meter can, see Standard Details.
- I. Quick Coupler Valves. Quick coupler valves shall be installed with brass riser and pre-manufactured swing joint. At least 2 quick coupler valves shall be installed, one at each end of main line. Valves shall be 1 inch standard.
- J. Valve Boxes. Valves shall be located in lawn or planted areas. Avoid locating valves in areas of high pedestrian and vehicular circulation. Valve boxes shall be at finished grade with valve stems 4 inches minimum and 12 inches maximum below top of box and with 3 inches of pea gravel or 3/4 inch minus crushed gravel under the valve. Valve boxes shall be rectangular, heavy duty and green in color. Valve boxes for automatic valves shall be large enough to enclose manual circuit isolation valve and automatic valve.
- K. Control Wire. Install wire according to APWA plan number 651. Add two extra blue control wires per controller to the longest run for emergency use and mark it in the control box as an extra wire.

950.050. Installation.

- A. Schedule. Contractor shall submit a construction schedule of anticipated work time to facilitate timely visits for review of work. Schedule must be submitted to the City before any landscaping may begin
- B. Depth and Location. Lines bordering curbs or sidewalks shall be 6 inches away to allow for maintenance and access to the lines. Control wires must be buried at least 12 inches below finished grade and bundled with a plastic tape every 20 feet.
- C. Trench Backfill Material. All trenches shall be backfilled in 12 inch lifts and tamped sufficiently to insure no settling of the surface. No rocks larger than 1 inch shall be allowed within 3 inches of the pipe. The Contractor, in placing the irrigation lines, and appurtenances, may uncover material not suitable for finished grading. This material shall be removed from the site. After the installation of the lines, the finished grading shall be smoothed over and restored to its original condition, using additional topsoil where necessary.
- D. Thrust Blocks. All mainlines greater than 2 inches in size shall be installed with thrust blocks wherever a change of direction occurs. Thrust blocks shall be installed as follows:

1. Bearing area of concrete thrust-block based on 200-PSI pressure and safe soil bearing load of 2,000 pounds per square foot.
 2. Concrete blocking shall be cast in place and have a minimum of 1/4 square foot bearing against the fittings.
 3. Block shall bear against fittings only and shall be clear of joints.
 4. Contractor shall install block adequate to withstand full test pressure as well as to continuously withstand operation pressure under all conditions of service.
- E. Flushing. When the pipe lines are connected and the sprinkler risers in place but before any heads are installed, the control valves shall be opened and flushed with a full head of water to clean out the system.
- F. Gluing. Gluing of PVC pipes shall be done with gray "Weld-on 711" and "Weld-on P70" primer.
- G. Marking Zones. Valves must be tagged with labels indicating which zone they operate.

Section 1000. Standard Details



Signed: Jed Muhlestein
Alpine City Engineer

CONSTRUCTION DETAILS

Adopted _____



ALPINE CITY STANDARD DETAILS

ALPINE CITY ADOPTS 2017 APWA STANDARD SPECIFICATIONS AND DETAILS. FOR CITY SPECIFIC DETAILS, PLEASE SEE THE FOLLOWING:

STREETS

1. Street Cross-Sections
2. Alternate Street Cross-Sections
3. Street Cross-Sections Unequal Elevations
4. Sidewalk, Curb & Gutter, Waterway
5. Class A & B Trail Cross-Sections
6. Class C, D, & E Trail Cross-Sections
7. Cul-de-sac Detail
8. Knuckle Detail
9. Standard Setbacks
10. Temporary Turn-a-round

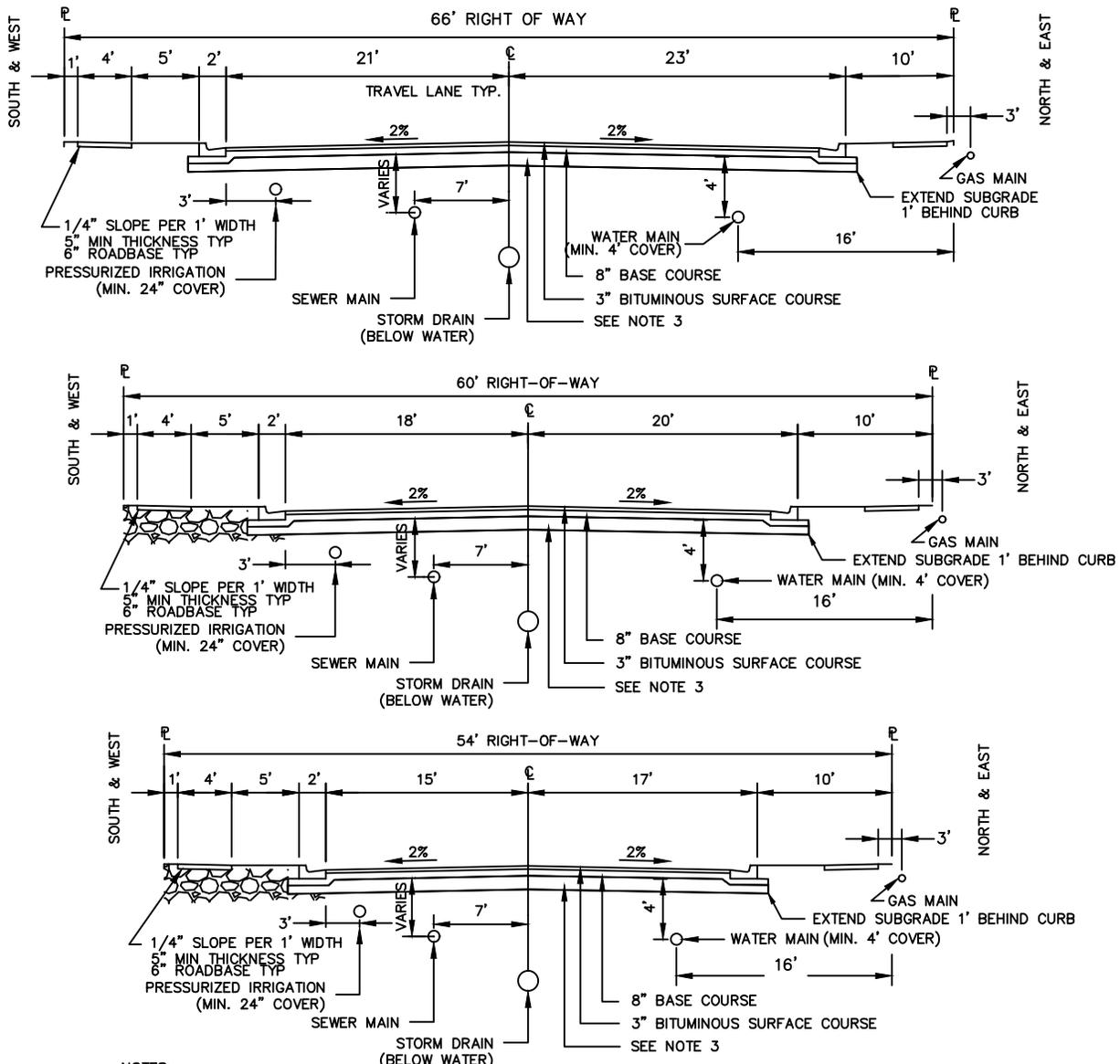
UTILITIES

11. Standard Street Intersection and Utility Location
12. Standard Lot Utility Locations
13. Utility Conflict
14. City Utilities in Common Trench
15. Ditch Crossing
16. Manhole Ring & Cover (typical)
17. Sewer Manhole & Service Connection (typical)
18. Storm Drain Sump (typical)
19. Sump Disposal (typical)
20. Curb Face Drop Inlet Box (typical)
21. Dipstone Outlet
22. Flush Valve (typical)
23. Fire Hydrant
24. Pressurized Irrigation Service
25. Pressurized Irrigation Service w/ PRV
26. Pressurized Irrigation Airvac
27. Water Connection & Valve Box Details
28. Temporary Sewer Main Cleanout

MISC

29. Public Open Space Fencing
30. Fencing Regulations
31. Street Lights

32. Sight Triangle
33. Standard Seed Mixtures
34. Irrigation Company Ditches

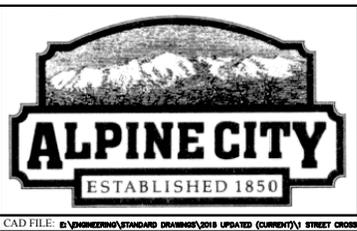


- NOTES:**
1. WATER VALVES AND 5-INCH VALVE OPENING MUELLER FIRE HYDRANTS SHALL BE LOCATED AS APPROVED.
 2. NO WATER LINE SMALLER THAN 8-INCH DIA. SHALL BE INSTALLED WITHOUT APPROVAL OF CITY COUNCIL.
 3. SUBGRADE DEPTHS VARY DEPENDING ON CBR VALUE OF THE AREA, SEE ALPINE CITY STANDARD SPECIFICATIONS
 4. CULINARY WATER MAINS SHALL BE ON THE NORTH AND EAST SIDES OF THE STREET.
PRESSURIZED IRRIGATION AND SEWER LINES SHALL BE ON THE SOUTH AND WEST SIDES OF THE STREET.

STREET CROSS-SECTIONS & UTILITY LOCATIONS

N.T.S.

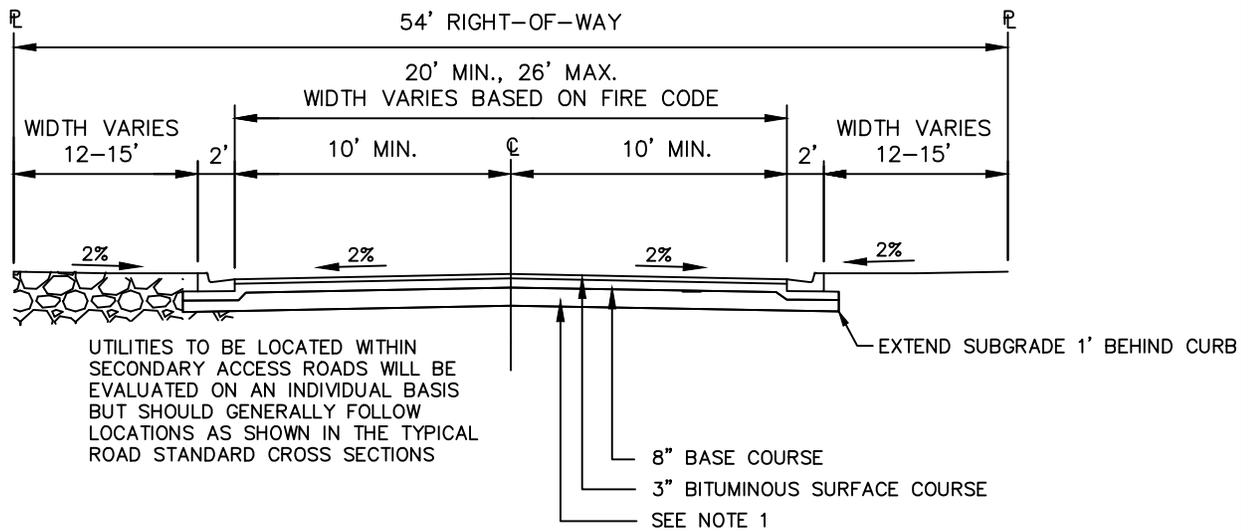
STATEMENT OF USE	
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPRTATION CAN NOT BE HELD LIABLE FOR MISSUSE OR CHANGES REGARDING THIS DOCUMENT.	
REVISION	
NO.	BY APRIL DATE



STREET CROSS-SECTIONS

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

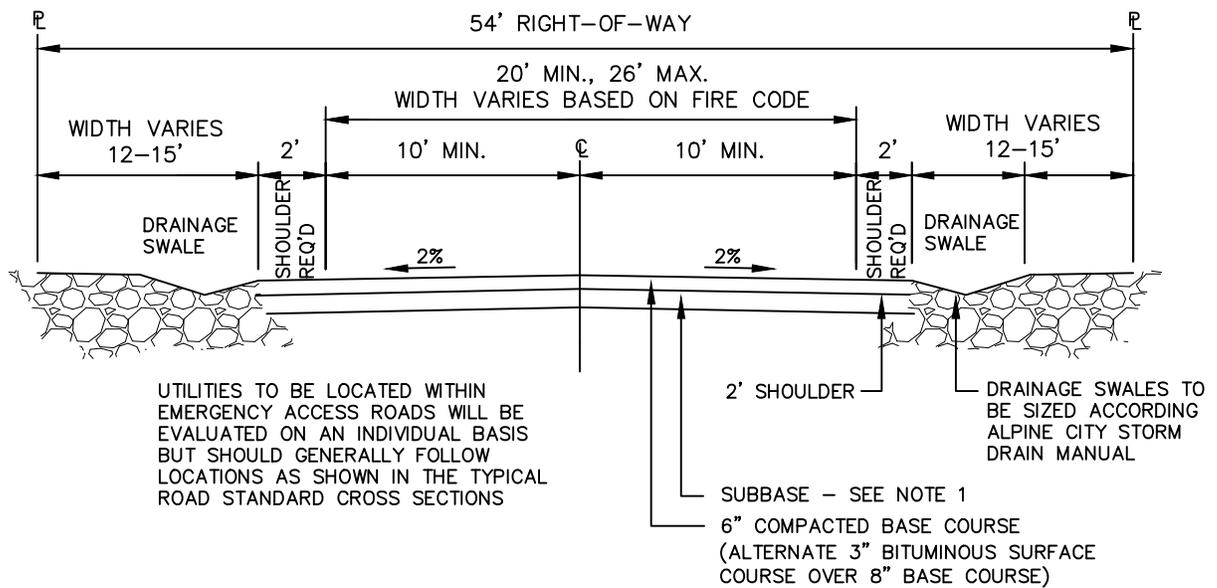
STANDARD DRAWING NUMBER:	1
PLOT SCALE:	N.T.S.
DRAWN BY:	B.D.B.
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	10/13/05



NOTES:

1. SUBGRADE DEPTHS VARY DEPENDING ON CBR VALUE OF THE AREA, SEE ALPINE CITY STANDARD SPECIFICATIONS
2. FIRE CODE REQUIRES AN "ALL WEATHER" SURFACE FOR SECONDARY ACCESS ROUTES. IT IS AT THE DISCRETION OF THE CITY COUNCIL WHETHER SECONDARY ACCESS ROADS WILL BE ASPHALT OR GRAVEL. SEE GRAVEL OPTION BELOW.

SECONDARY ACCESS



NOTES:

1. SUBGRADE DEPTHS VARY DEPENDING ON CBR VALUE OF THE AREA, SEE ALPINE CITY STANDARD SPECIFICATIONS
2. CURB AND GUTTER MAY OR MAY NOT BE REQUIRED AT THE DISCRETION OF THE CITY COUNCIL

SECONDARY ACCESS OPTION

STREET CROSS-SECTIONS

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.



STREET CROSS-SECTIONS

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **1A**

PLOT SCALE: N.T.S.

DRAWN BY: B.D.B.

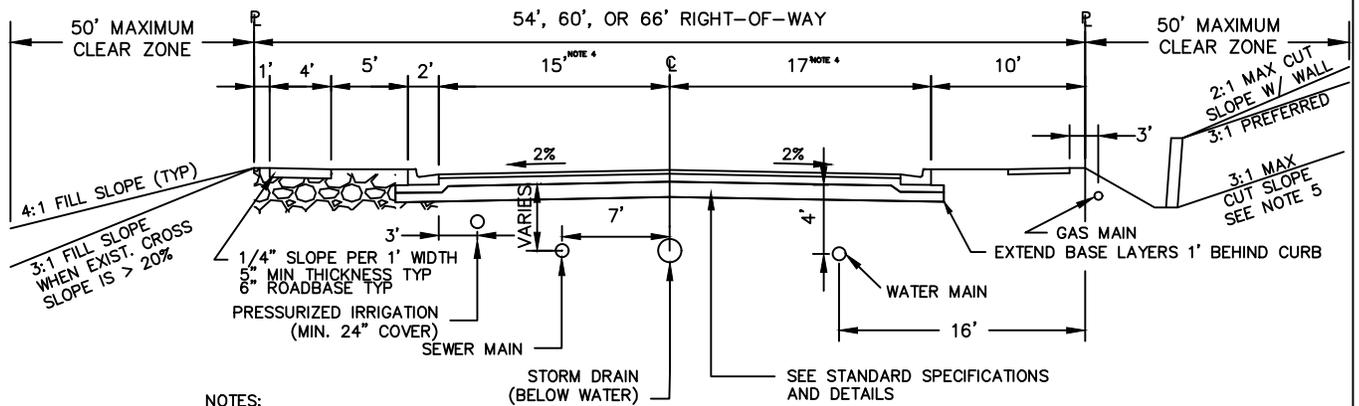
DESIGN BY:

CHECKED BY:

ADOPTED DATE: 10/13/05

REVISION

NO.	DATE	BY	DESCRIPTION



NOTES:

1. CLEAR ZONE DEFINES THE MAXIMUM HORIZONTAL DISTANCE PERPENDICULAR TO ROAD THAT CAN BE DISTURBED TO CONSTRUCT STREET SECTION.
2. ENGINEERED RETAINING WALLS ARE ALLOWED PER DEVELOPMENT CODE SECTION 3.32
3. BORROW DITCH AND CROSS DRAIN PIPES SHALL BE DESIGNED SUCH THAT SILTS AND MATERIAL WILL NOT ENTER STREET CROSS SECTION. POND ON CUT SIDE OF ROAD, AND / OR DRAIN TO APPROPRIATE COLLECTION / DETENTION SYSTEM ON FILL SIDE OF ROAD. REFER TO ALPINE CITY STORM DRAIN DESIGN MANUAL.
4. WIDTH VARIES PER RIGHT OF WAY, SEE STANDARD DETAILS.
5. CUT SLOPES GREATER THAN 3:1 MAY BE ALLOWED PER GEOTECHNICAL REPORT RECOMMENDATION. UNDER NO CIRCUMSTANCE WILL A CUT SLOPE GREATER THAN 2:1 BE ALLOWED WITHOUT A RETAINING WALL.

STREET CROSS-SECTIONS WITH REQUIRED CUT AND FILL SLOPES

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL	DATE



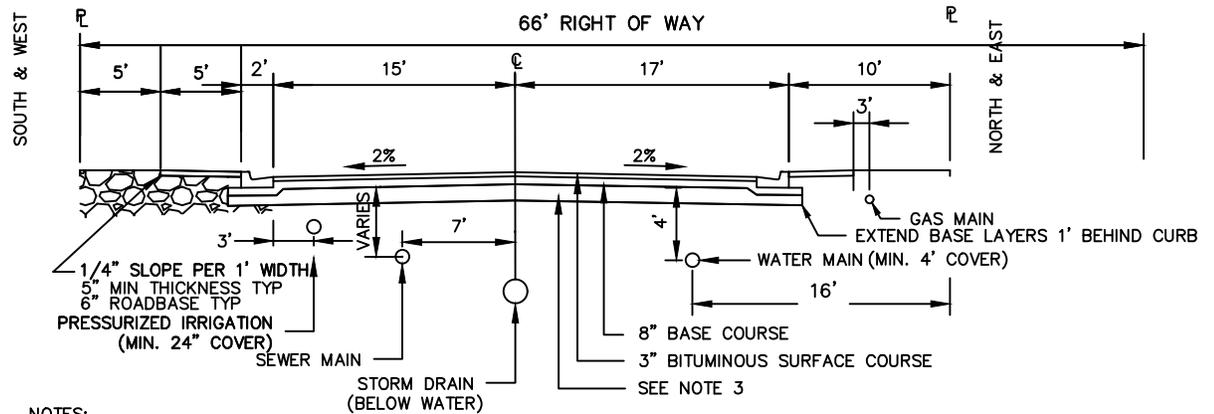
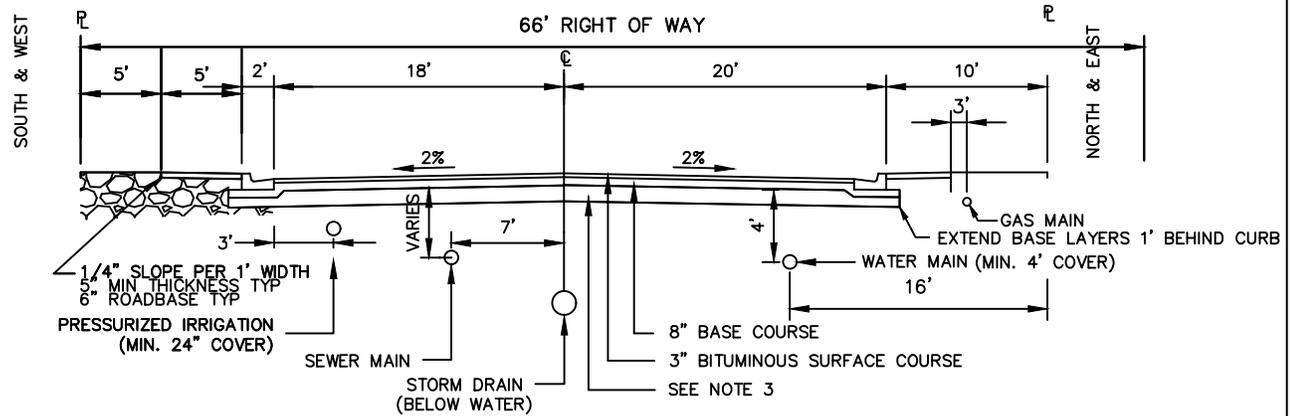
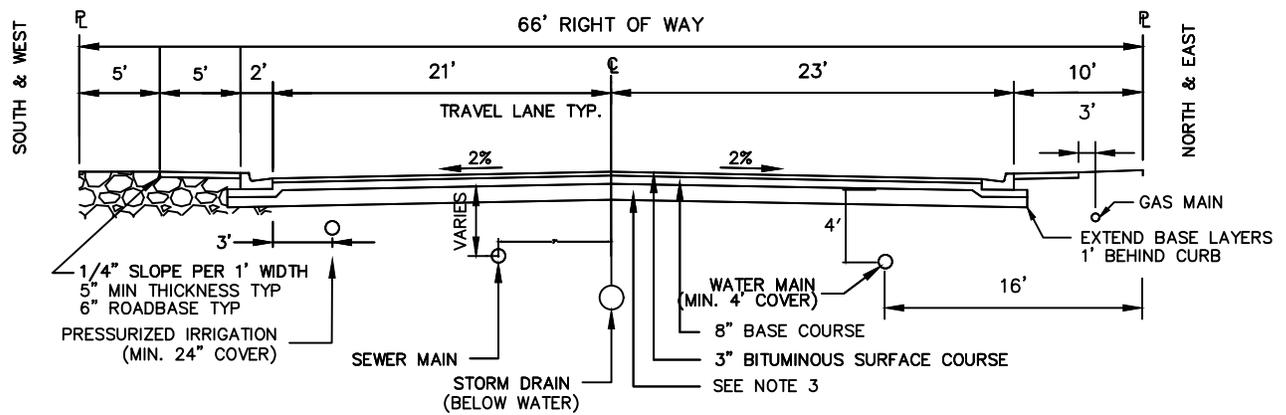
STREET CROSS-SECTIONS

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:

1b

PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	10/13/05



NOTES:

1. WATER VALVES AND 5-INCH VALVE OPENING MUELLER FIRE HYDRANTS SHALL BE LOCATED AS APPROVED.
2. NO WATER LINE SMALLER THAN 8-INCH DIA. SHALL BE INSTALLED WITHOUT APPROVAL OF CITY COUNCIL.
3. SUBGRADE DEPTHS VARY DEPENDING ON CBR VALUE OF THE AREA, SEE ALPINE CITY STANDARD SPECIFICATIONS.
4. CULINARY WATER MAINS SHALL BE ON THE NORTH AND EAST SIDES OF THE STREET. PRESSURIZED IRRIGATION AND SEWER LINES SHALL BE ON THE SOUTH AND WEST SIDES OF THE STREET.
5. USE OF ALTERNATE STREET CROSS-SECTIONS REQUIRES APPROVAL BY ALPINE CITY.

ALTERNATE STREET CROSS-SECTIONS & UTILITY LOCATIONS

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL	DATE



ALTERNATE STREET CROSS-SECTIONS

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:

2

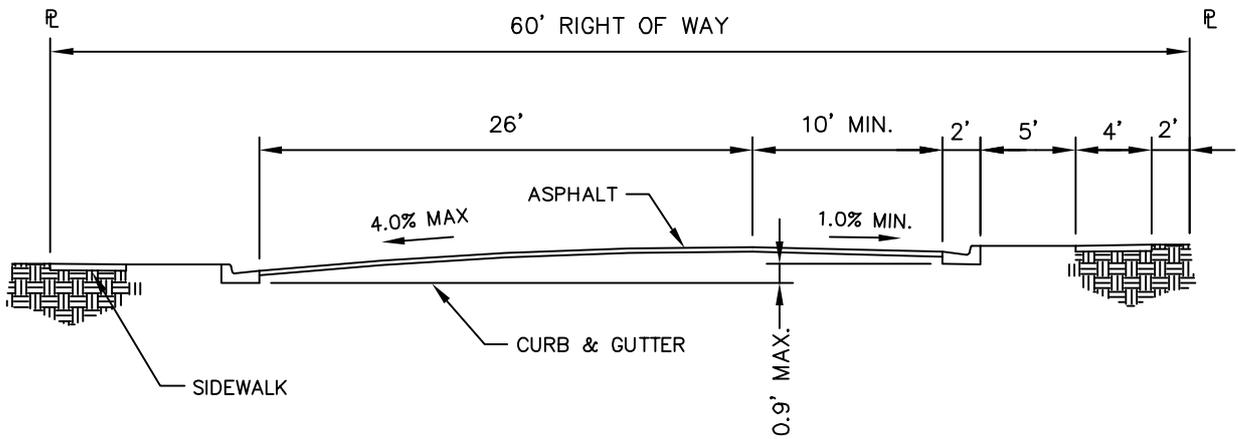
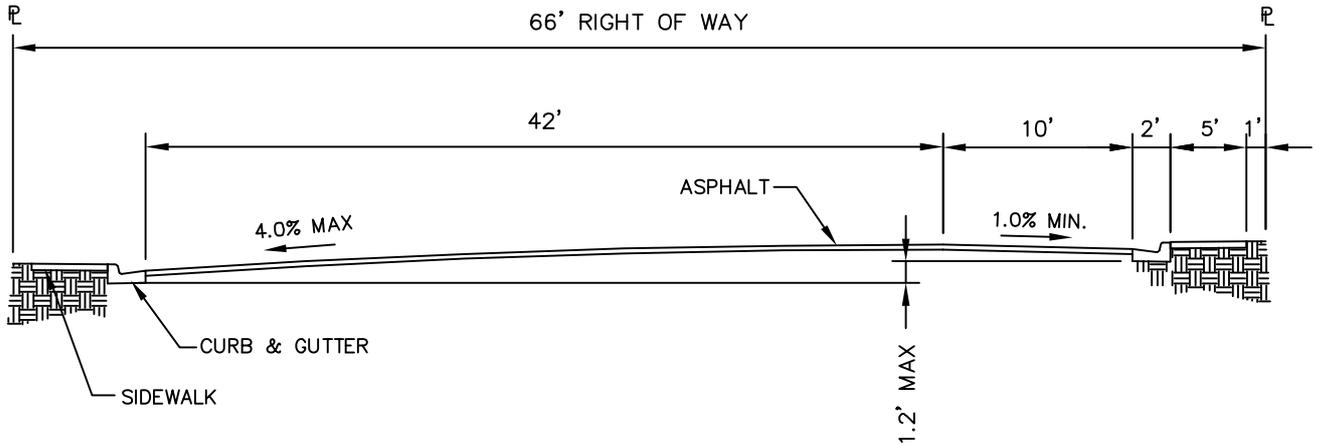
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 2015



STREET CROSS-SECTIONS

(CURBS AT UNEQUAL ELEVATIONS)

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APPROVAL DATE



STREET CROSS-SECTIONS UNEQUAL ELEVATIONS

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **3**

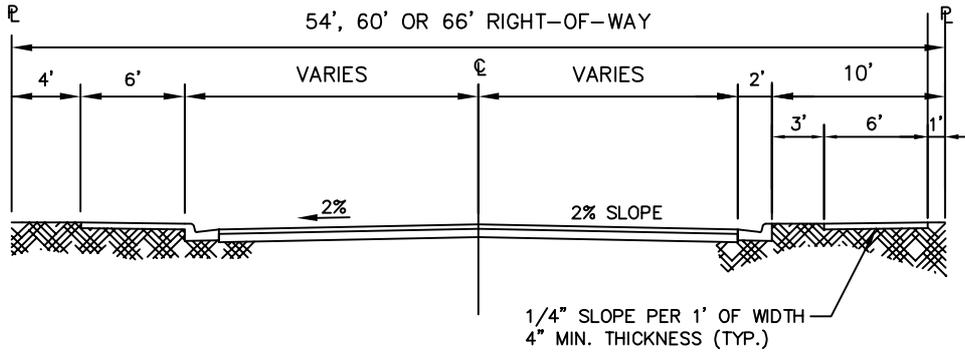
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/14/04

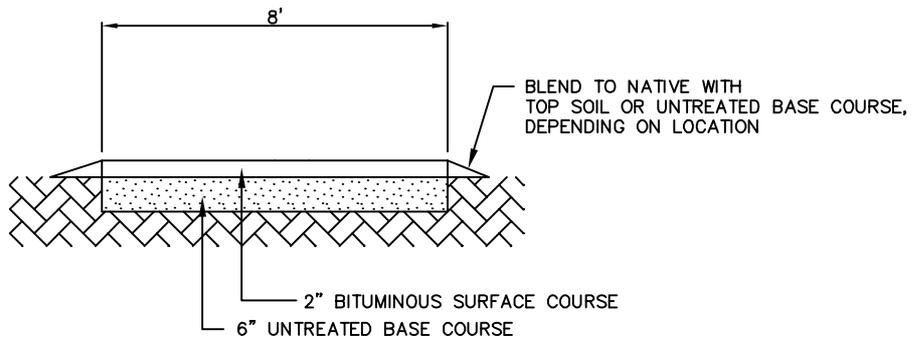


NOTES:

1. ALPINE CITY RESERVES THE RIGHT TO DETERMINE WHETHER THE COMBINATION OR PLANTER STRIP OPTION WILL BE CONSTRUCTED ON A CASE-BY-CASE BASIS.
2. IN SOME CASES, A 5' SIDEWALK WILL BE SUBSTITUTED. IF THE 5' SIDEWALK IS CONSTRUCTED, THE PLANTER STRIP WIDTH WILL BE INCREASED TO 4'.
3. ALL DEVELOPER BUILT TRAILS (NEW OR REFURBISHED) MUST BE BUILT TO INDUSTRY RECOGNIZED STANDARDS AND BE APPROVED BY THE ALPINE CITY TRAIL COMMITTEE. IF TRAILS ARE BUILT ON FILL, THE FILL MUST BE ENGINEERED FILL, COMPACTED AND TESTED, PER ALPINE CITY STANDARD SPECIFICATIONS.

CLASS A (6' SIDEWALK) TRAIL CROSS-SECTION

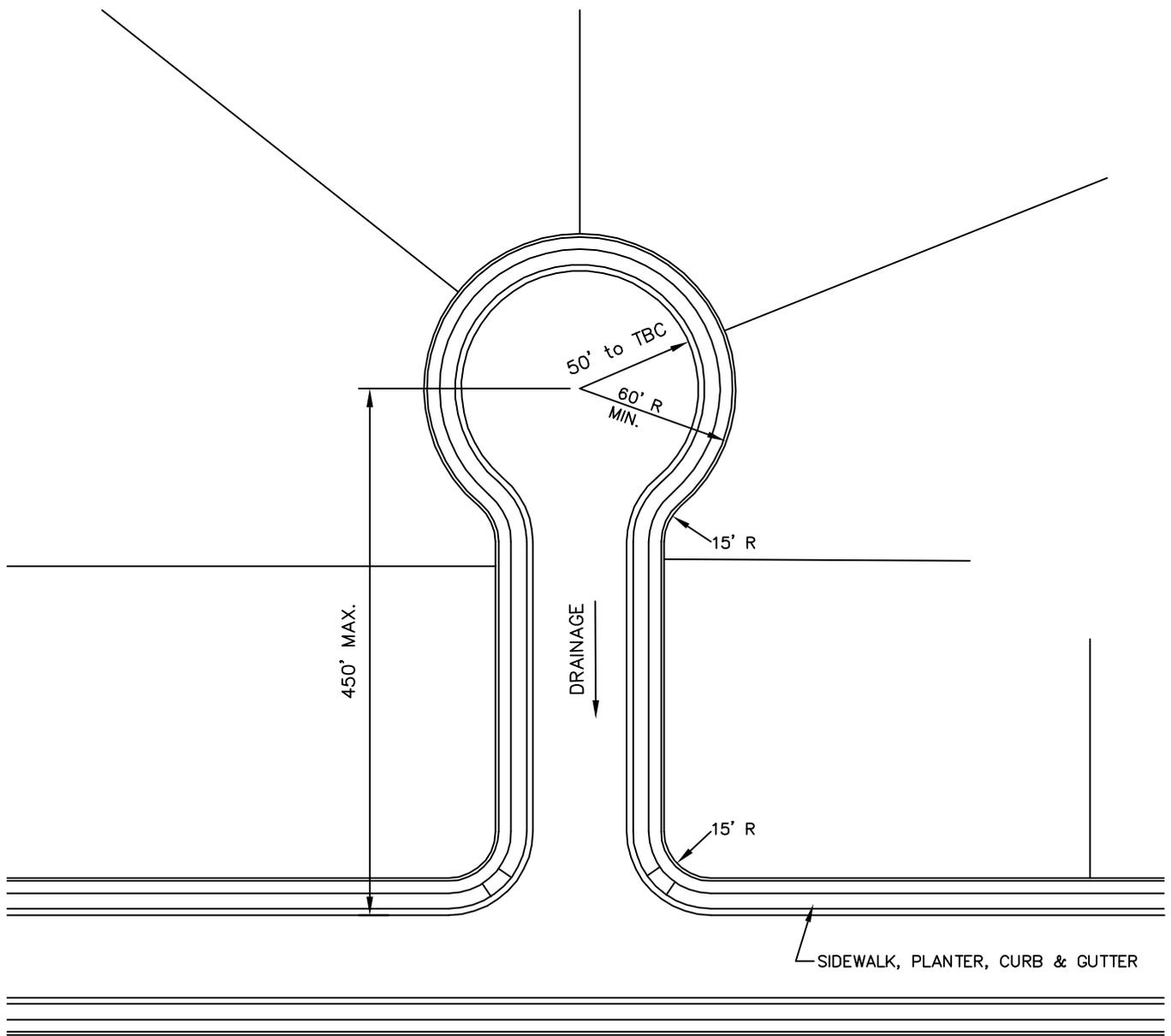
N.T.S.



CLASS B (ASPHALT) TRAIL CROSS-SECTION

N.T.S.

<p>STATEMENT OF USE</p> <p>THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.</p>		<h3>CLASS A & B TRAIL CROSS-SECTIONS</h3> <p>ALPINE CITY 20 NORTH MAIN ALPINE, UT 84004</p>	<p>STANDARD DRAWING NUMBER: 5</p> <p>PLOT SCALE: N.T.S.</p> <p>DRAWN BY: WJM</p> <p>DESIGN BY:</p> <p>CHECKED BY:</p> <p>ADOPTED DATE: 4/14/04</p>								
<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">BY</th> <th style="width: 15%;">APRIL DATE</th> <th style="width: 65%;">CAD FILE: C:\Program Files\Autodesk\AutoCAD 2010\UPDATES\CONTENTLIB\CLASS A & B TRAIL CROSS-SECTIONS</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	BY	APRIL DATE	CAD FILE: C:\Program Files\Autodesk\AutoCAD 2010\UPDATES\CONTENTLIB\CLASS A & B TRAIL CROSS-SECTIONS							
NO.	BY	APRIL DATE	CAD FILE: C:\Program Files\Autodesk\AutoCAD 2010\UPDATES\CONTENTLIB\CLASS A & B TRAIL CROSS-SECTIONS								



CUL-DE-SAC DETAIL

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



CUL-DE-SAC DETAIL

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **7**

PLOT SCALE: N.T.S.

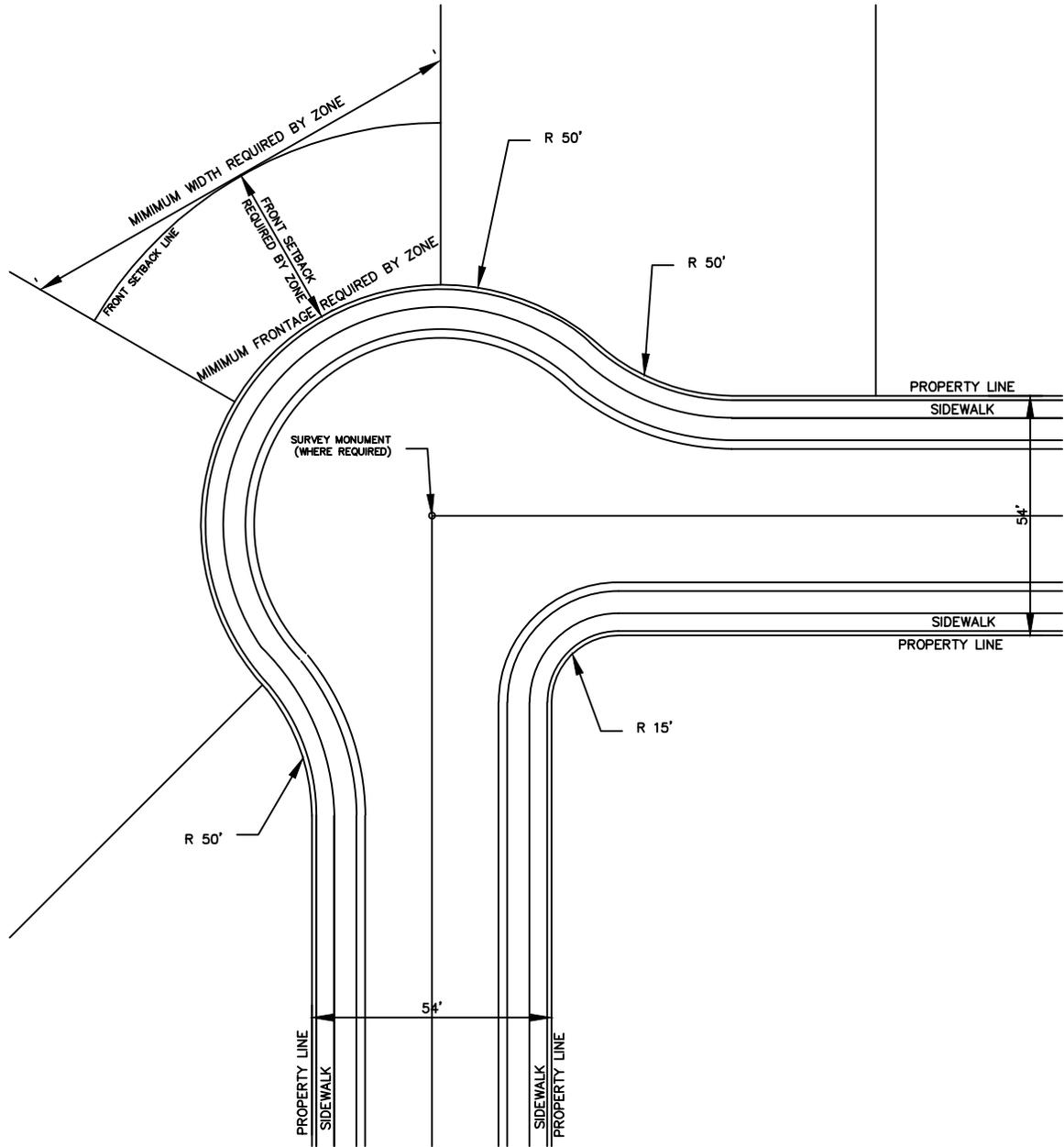
DRAWN BY: BDB

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 10/13/05

CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2015 UPDATED\7 CUL-DE-SAC DETAIL



KNUCKLE DETAIL

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.



KNUCKLE DETAIL

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:

8

PLOT SCALE: N.T.S.
DRAWN BY: BDB
DESIGN BY:
CHECKED BY:
ADOPTED DATE: 10/11/05

REVISION

NO.	BY	APPROVAL	DATE

CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2015 UPDATED\8 KNUCKLE DETAIL

FRONT, REAR, AND SIDE YARDS

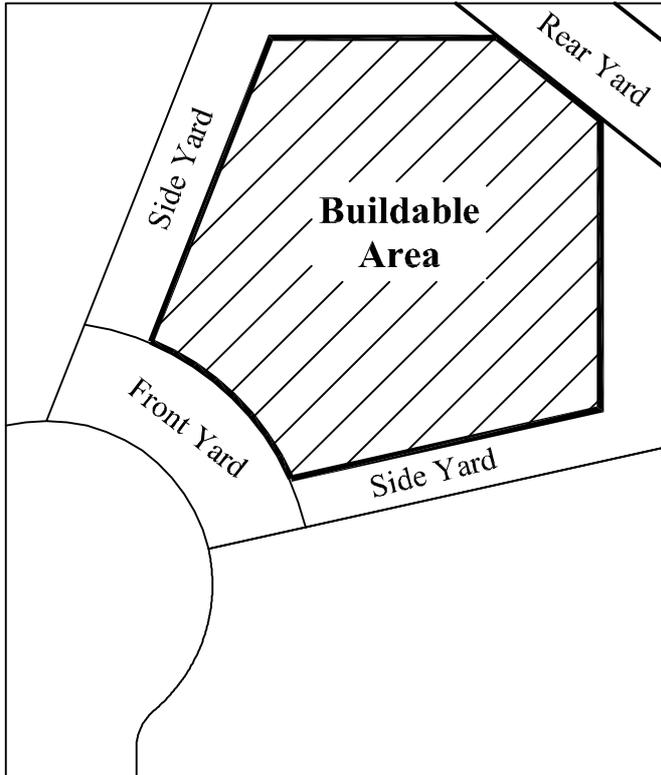


Figure A:
Cul-de-Sac
or
Irregular Shaped
Lot

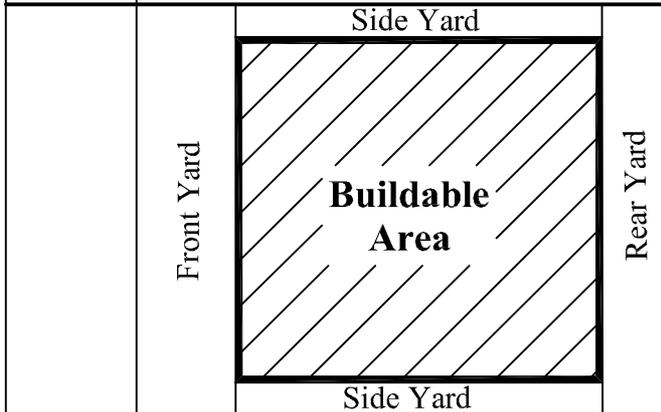


Figure B:
Interior Lot
(Typical)

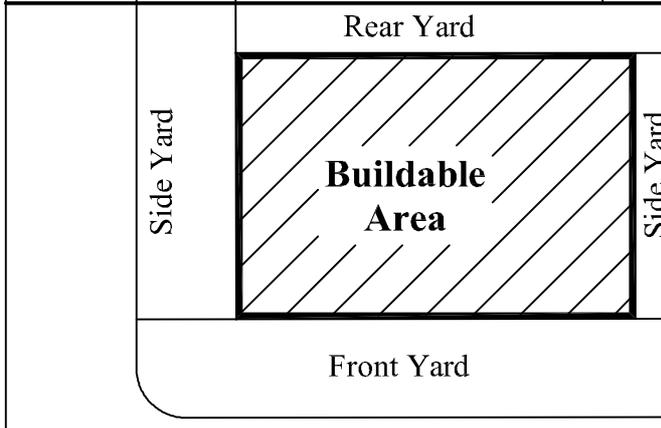


Figure C:
Corner Lot
(Typical)

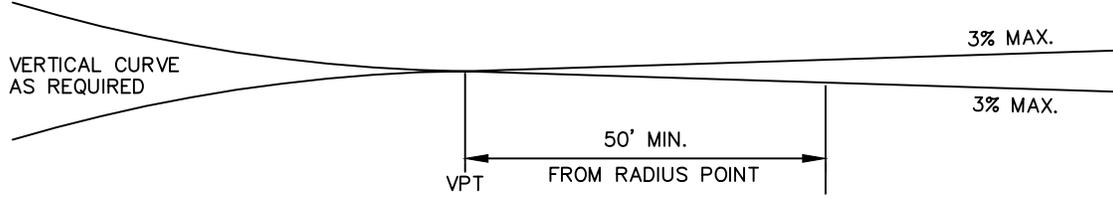
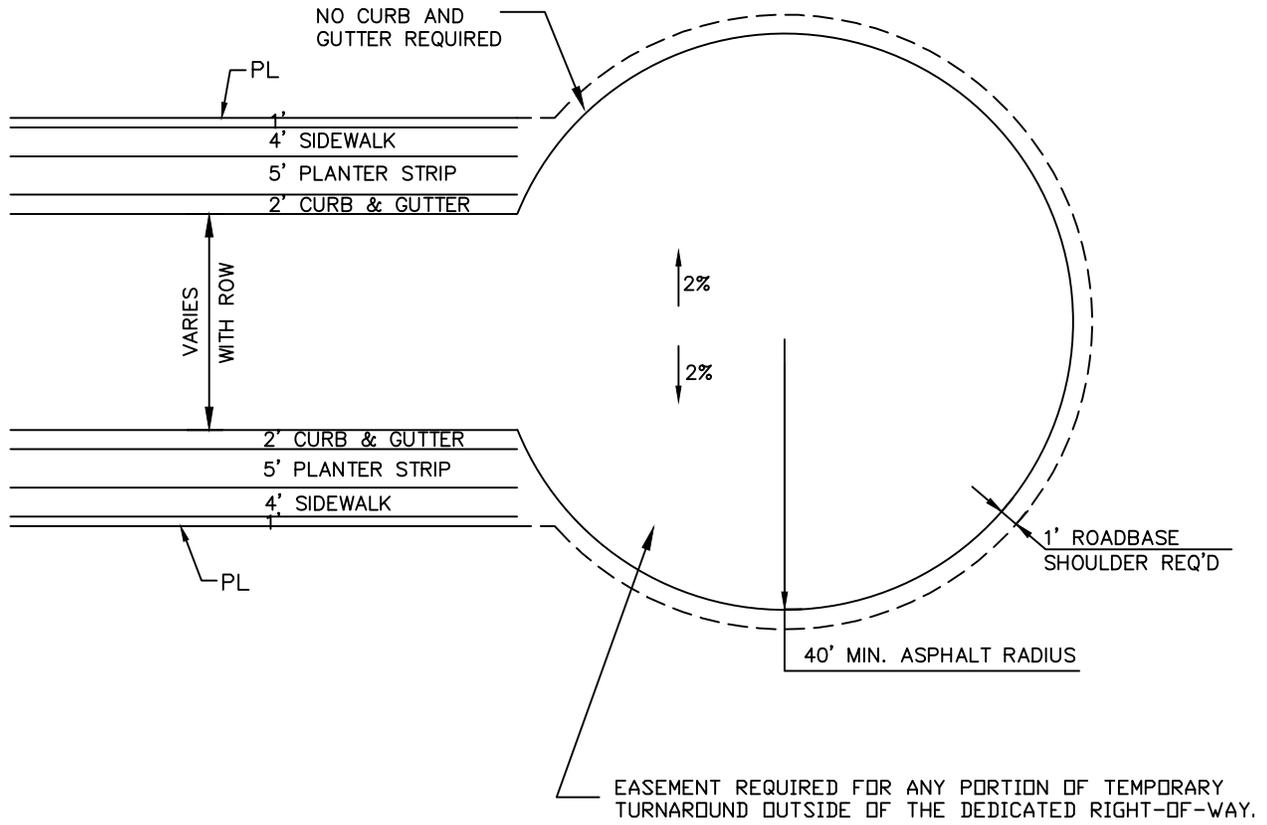
STATEMENT OF USE			
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.			
REVISION			
NO.	BY	APRIL DATE	



Standard Setbacks

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:	9
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/14/04



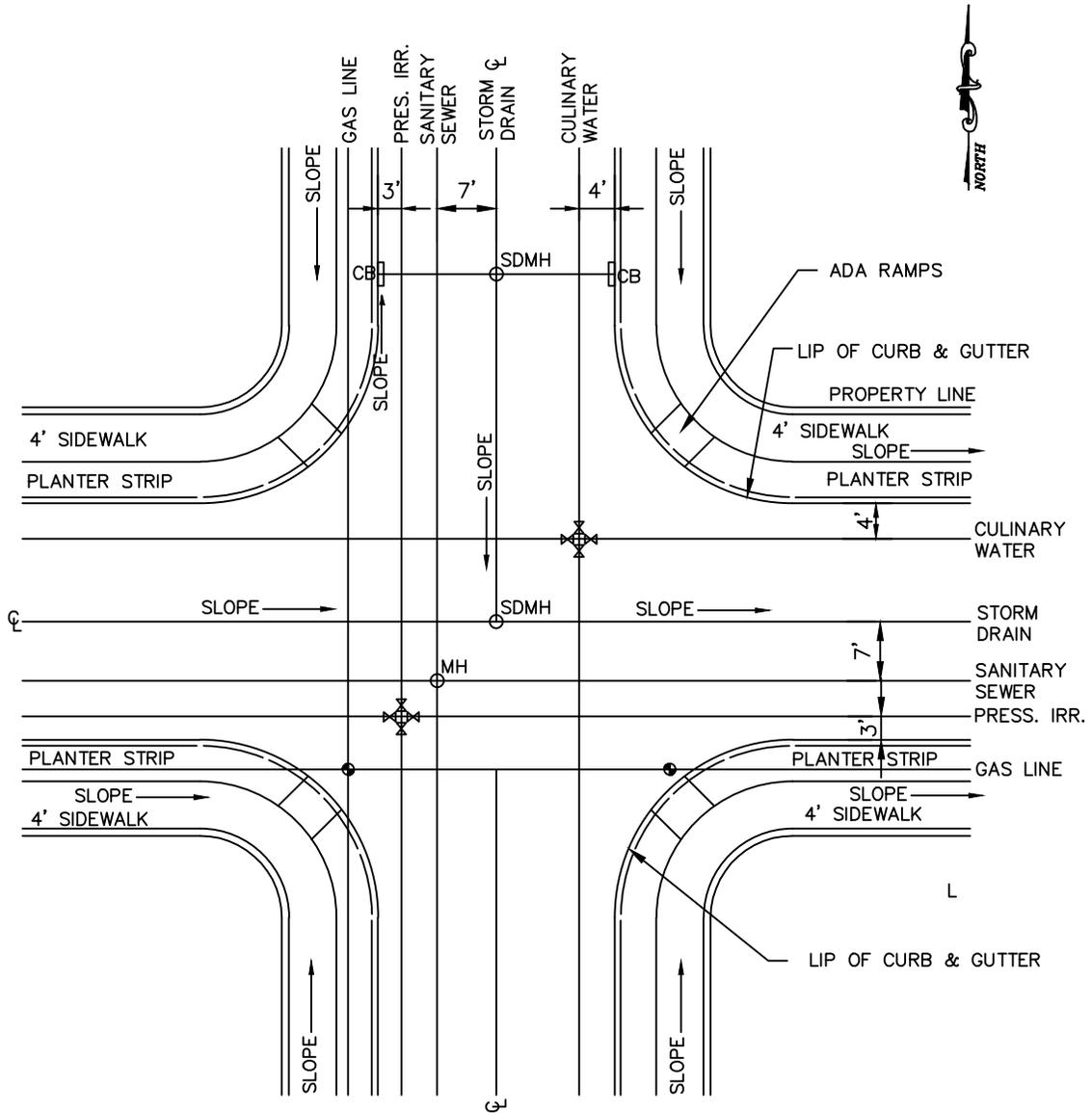
GENERAL CONSTRUCTION NOTES:

1. SUBGRADE SHALL CONFORM TO CITY CONSTRUCTION STANDARDS, SEE STREET CROSS SECTION DETAIL 1.
2. 8" MIN. CRUSHED GRAVEL BASE COURSE.
3. 3" MIN. COMPACTED PLANT MIX ASPHALT SURFACING.

TEMPORARY TURNAROUND

NTS

<p>STATEMENT OF USE</p> <p>THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.</p>		<p style="font-size: 2em; font-weight: bold;">TEMPORARY TURNAROUND</p> <p>ALPINE CITY 20 NORTH MAIN ALPINE, UT 84004</p>	<p>STANDARD DRAWING NUMBER:</p> <p style="font-size: 3em; font-weight: bold;">10</p>								
<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 15%;">BY</td> <td style="width: 15%;">APRIL</td> <td style="width: 15%;">DATE</td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	BY	APRIL	DATE					<p>CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2015 UPDATED (CURRENT)\10 TEMPORARY TURNAROUND</p>		<p>PLOT SCALE: N.T.S.</p> <p>DRAWN BY: BDB</p> <p>DESIGN BY:</p> <p>CHECKED BY:</p> <p>ADOPTED DATE: 10/18/05</p>
NO.	BY	APRIL	DATE								



STANDARD STREET INTERSECTION AND UTILITY LOCATION

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.



STANDARD STREET INTERSECTION AND UTILITY LOCATION

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD
DRAWING
NUMBER:

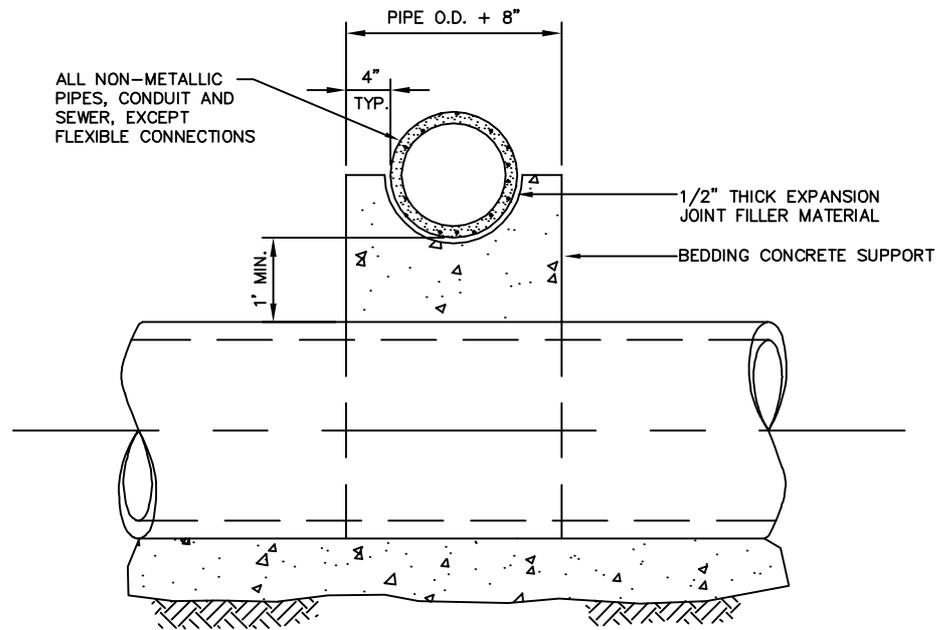
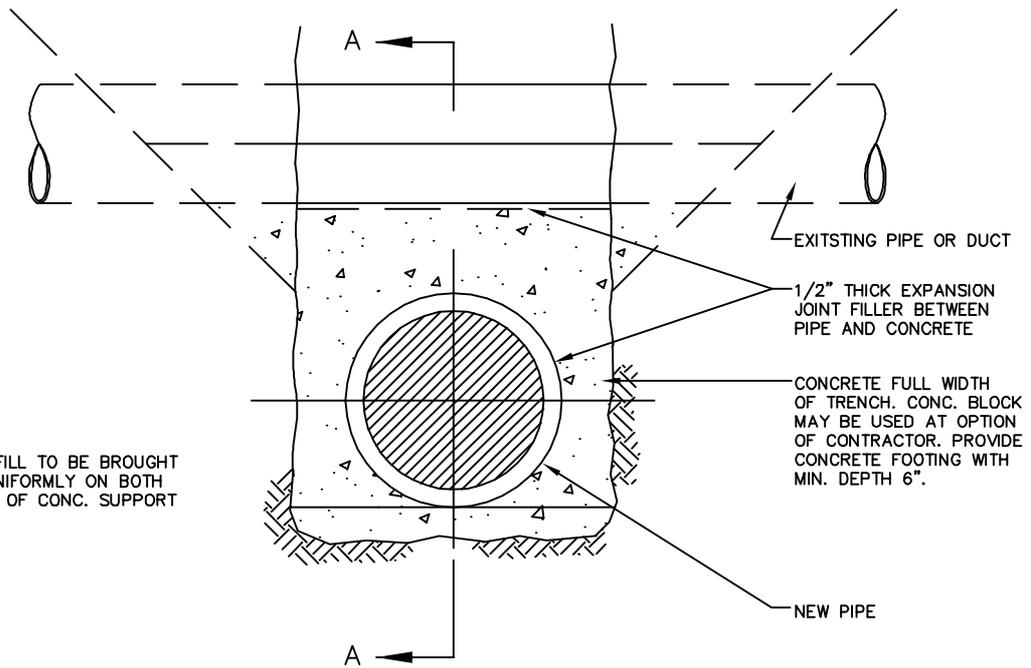
11

PLOT SCALE: N.T.S.
DRAWN BY: BDB
DESIGN BY:
CHECKED BY:
ADOPTED DATE: 10/13/05

REVISION

NO.	BY	APPROVAL	DATE

CAD FILE: D:\WORKING\STANDARD DRAWINGS\2010 UPDATE\11 INTERSECTION AND UTILITY LOCATION



SECTION A-A

UTILITY CONFLICT

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



UTILITY CONFLICT

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: 13

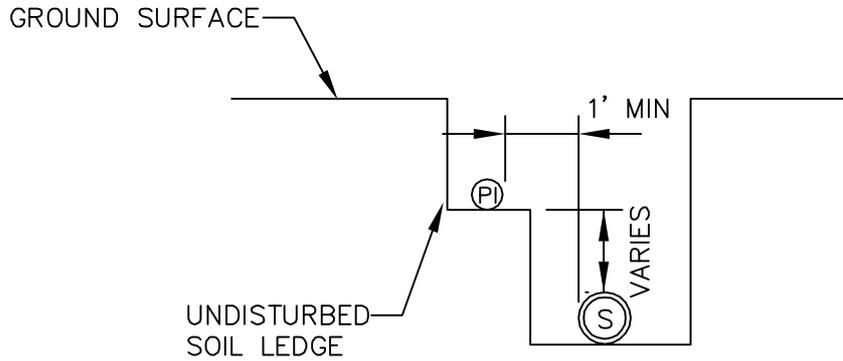
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/14/04

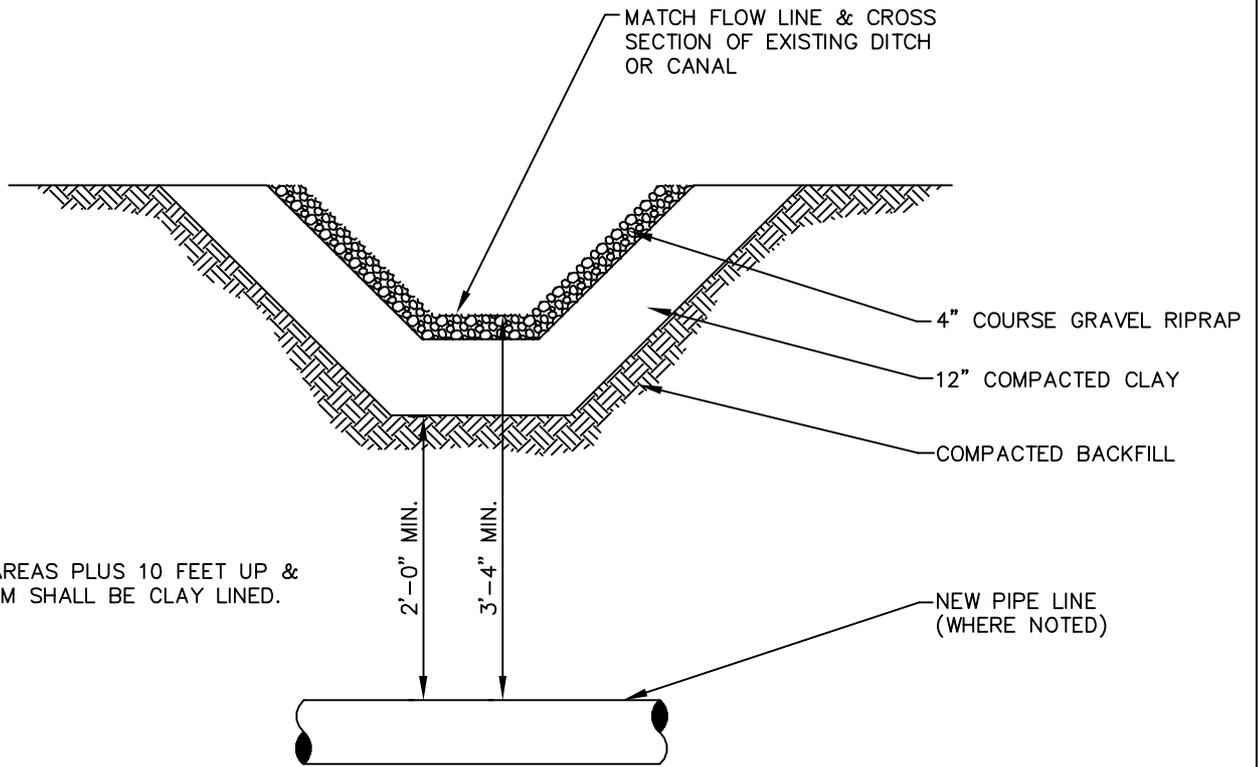


NOTE:
 ALL PLUMBING PRACTICES SHALL CONFORM
 TO THE PLUMBING CODE ADOPTED BY
 ALPINE CITY

SEWER & PI LATERALS IN COMMON TRENCH

N.T.S.

<p>STATEMENT OF USE</p> <p>THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISSUSE OR CHANGES REGARDING THIS DOCUMENT.</p>		<p>CITY UTILITY LATERALS IN SAME TRENCH</p>	<p>STANDARD DRAWING NUMBER: 14</p>								
<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">BY</th> <th style="width: 15%;">APRIL DATE</th> <th style="width: 65%;">CAD FILE: C:\ENGINEERING\STANDARD DRAWINGS\2016 UPDATED\14 UTILITIES IN SAME TRENCH</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	BY	APRIL DATE	CAD FILE: C:\ENGINEERING\STANDARD DRAWINGS\2016 UPDATED\14 UTILITIES IN SAME TRENCH					<p>ALPINE CITY 20 NORTH MAIN ALPINE, UT 84004</p>	<p>PLOT SCALE: N.T.S.</p> <p>DRAWN BY: WJM</p> <p>DESIGN BY:</p> <p>CHECKED BY:</p> <p>ADOPTED DATE: 4/14/04</p>	
NO.	BY	APRIL DATE	CAD FILE: C:\ENGINEERING\STANDARD DRAWINGS\2016 UPDATED\14 UTILITIES IN SAME TRENCH								



NOTE:
DISTURBED AREAS PLUS 10 FEET UP &
DOWN STREAM SHALL BE CLAY LINED.

DITCH CROSSING

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



DITCH CROSSING

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **15**

PLOT SCALE: N.T.S.

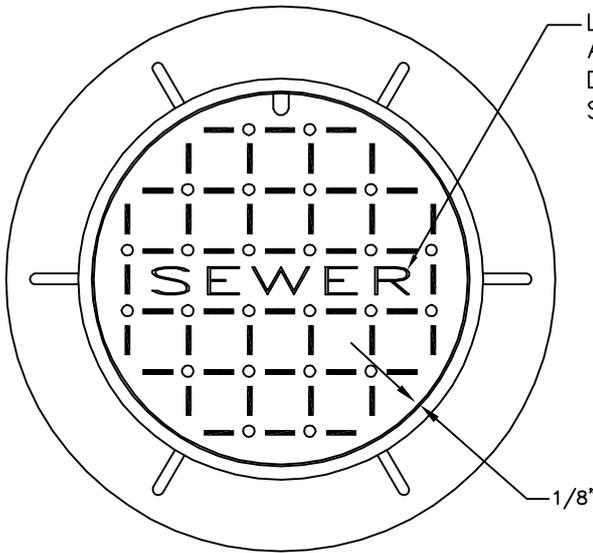
DRAWN BY: WJM

DESIGN BY:

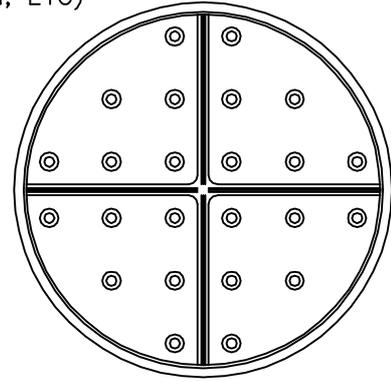
CHECKED BY:

ADOPTED DATE: 4/14/04

CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2015 UPDATED\15 DITCH CROSSING

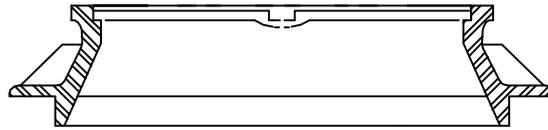


LID TO BE STAMPED WITH APPROPRIATE UTILITY DESIGNATION (SEWER, WATER, STORM DRAIN, ETC)



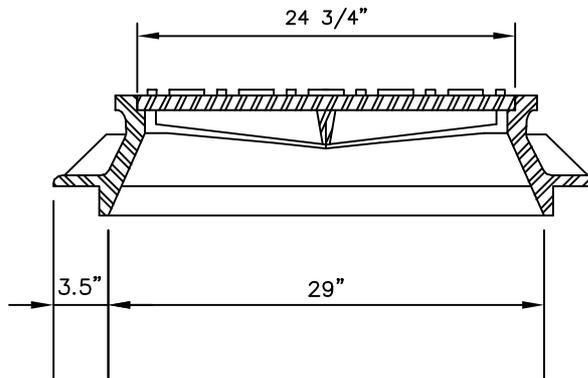
BOTTOM VIEW OF COVER

PLAN OF COVER AND RING



SECTIONS

D&L A-1180 OR APPROVED EQUAL



**HEAVY DUTY, 400 LB. MINIMUM,
MANHOLE RING AND COVER**

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



MANHOLE RING & COVER (typical)

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **16**

PLOT SCALE: N.T.S.

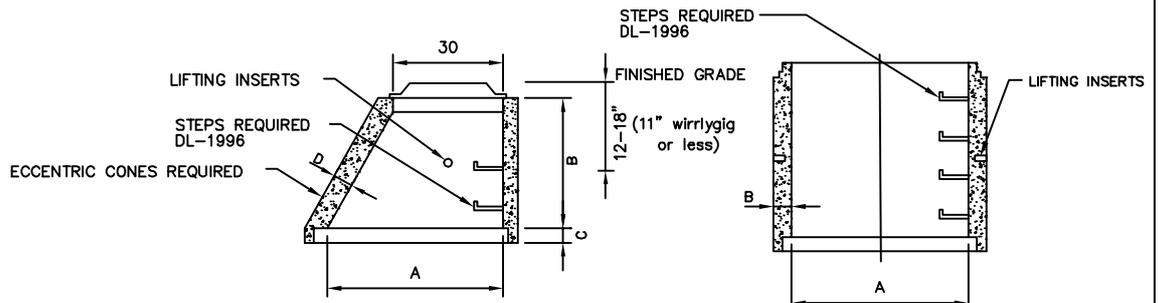
DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/14/04

CAD FILE: D:\MHEEDROW\STANDARD DRAWINGS\2013 UPDATED\16 TYPICAL MANHOLE RING & COVER



SIZE A (INCHES)	HEIGHT B (INCHES)	FLANGE C (INCHES)	WALL D (INCHES)	WEIGHT (LBS. EA.)
48	36	4	5	2720
60	39	6	6	4300

USE 5' DIA. MIN. FOR ALL PIPE 14" & LARGER USE 4' MIN. DIA. FOR ALL PIPE UP TO AND INCLUDING 12" DIA. UNLESS 3' OR ENTER THE MANHOLE. FOR ALL MANHOLES 15' OR DEPTH FROM RIM TO INV., USE 5' DIA. MANHOLE.

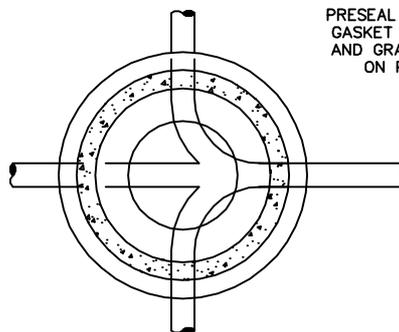
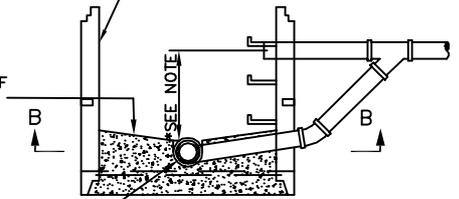
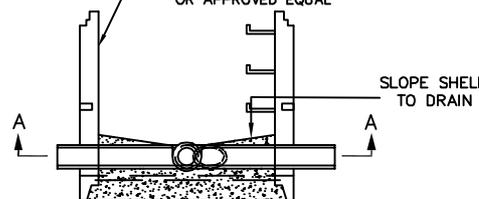
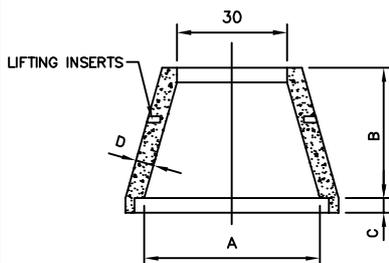
SIZE A (INCHES)	WALL B (INCHES)	WEIGHT (LBS. EA.)
48	5	900
60	6	1380

*NOTE: MINIMUM AS DIRECTED BY CITY ENGINEER

DROP PIPE INSTALLED IN CONCRETE

PRE-CAST M.H. BASES MANUFACTURED IN 2', 3' OR 4' SECTIONS BY GENEVA PIPE/ASTM C-478 OR APPROVED EQUAL

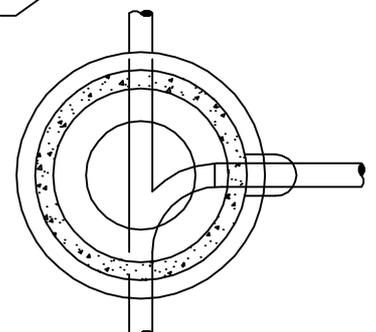
PRE-CAST M.H. BASES MANUFACTURED IN 2', 3' OR 4' SECTIONS BY GENEVA PIPE/ASTM C-478 OR APPROVED EQUAL



SECTION A-A

TYPICAL JUNCTION MANHOLE

N.T.S.



SECTION B-B

TYPICAL DROP MANHOLE

N.T.S.

NOTE: USE OF DROP MANHOLES REQUIRES APPROVAL OF CITY ENGINEER AND PUBLIC WORKS DIRECTOR. FOR ALL OTHER SPECIFICATIONS, SEE APWA.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISSUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



SEWER MANHOLE (TYPICAL)

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **17**

PLOT SCALE: N.T.S.

DRAWN BY: WJM

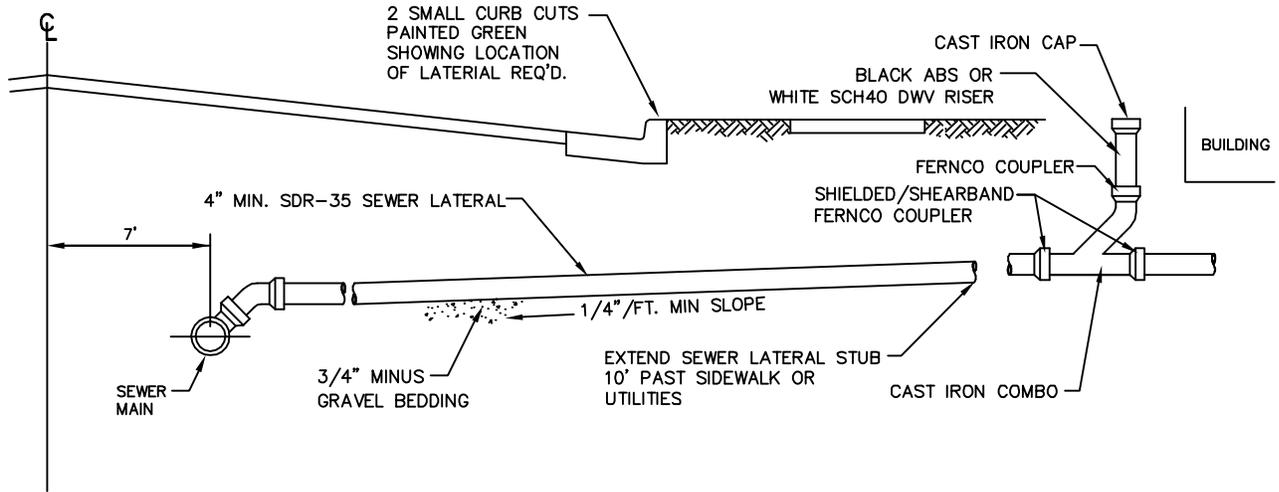
DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/14/04

NOTES:

1. A CLEANOUT IS REQUIRED NEXT TO THE BUILDING.
2. ADDITIONAL CLEANOUTS REQUIRED BETWEEN THE BUILDING AND SEWER MAIN AT MAXIMUM 100 FOOT INTERVALS.
3. THE COMBO SHALL CONSIST OF CAST IRON, ABS MATERIAL (OR WHITE SCH40 DWV) FOR RISER.
4. FERNCO COUPLERS (AS SHOWN) SHALL BE USED WHEN CONNECTING CAST IRON TO RISER OR SDR-35 LATERAL PIPE.
5. ALL CLEANOUTS SHALL HAVE CAST IRON CAPS.
6. ALL SEWER LATERALS SHALL BE SDR-35 PIPE, BEING LAID WITH THE BELL END OF THE PIPE IN THE UP HILL DIRECTION.
7. ALL SEWER LATERALS SHALL BE BEDDED WITH 3/4" MINUS GRAVEL.
8. BACKFILL MATERIAL SHALL BE ENGINEERED FILL WITHIN CITY RIGHT OF WAYS, AS CLASSIFIED IN ALPINE CITY STANDARDS AND SPECIFICATIONS.
9. BACKFILL MATERIAL AROUND PIPE SHALL BE COMPACTED TO 95% OF DENSITY AS MEASURED BY AASHTO T-99.
10. SEWER LATERAL MUST BE INSPECTED BY AN AUTHORIZED REPRESENTATIVE OF THE CITY PRIOR TO BACKFILLING TRENCH.
11. A TIE SKETCH SHOWING THE LOCATION OF ALL SEWER LATERALS MUST BE SUBMITTED TO THE CITY.
12. THE CITY SHALL BE NOTIFIED 24 HOURS PRIOR TO WHEN A SEWER LATERAL INSPECTION IS NEEDED.
13. ALL APPROPRIATE EXCAVATION PERMITS MUST BE OBTAINED FROM THE CITY AND OTHER AGENCY PRIOR TO ANY EXCAVATION.
14. ALL APPROPRIATE IMPACT FEES MUST BE PAID PRIOR TO CONNECTING TO THE SEWER.
15. MARK END OF LATERAL STUB WITH 2x4 POST PAINTED GREEN. ALL OTHER MARKERS MUST BE PRE-APPROVED PRIOR TO USE.



TYPICAL SEWER SERVICE CONN.

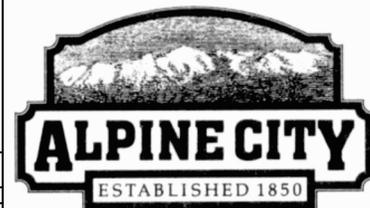
N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL	DATE



CAD FILE:

TYPICAL SEWER SERVICE CONN.

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **17a**

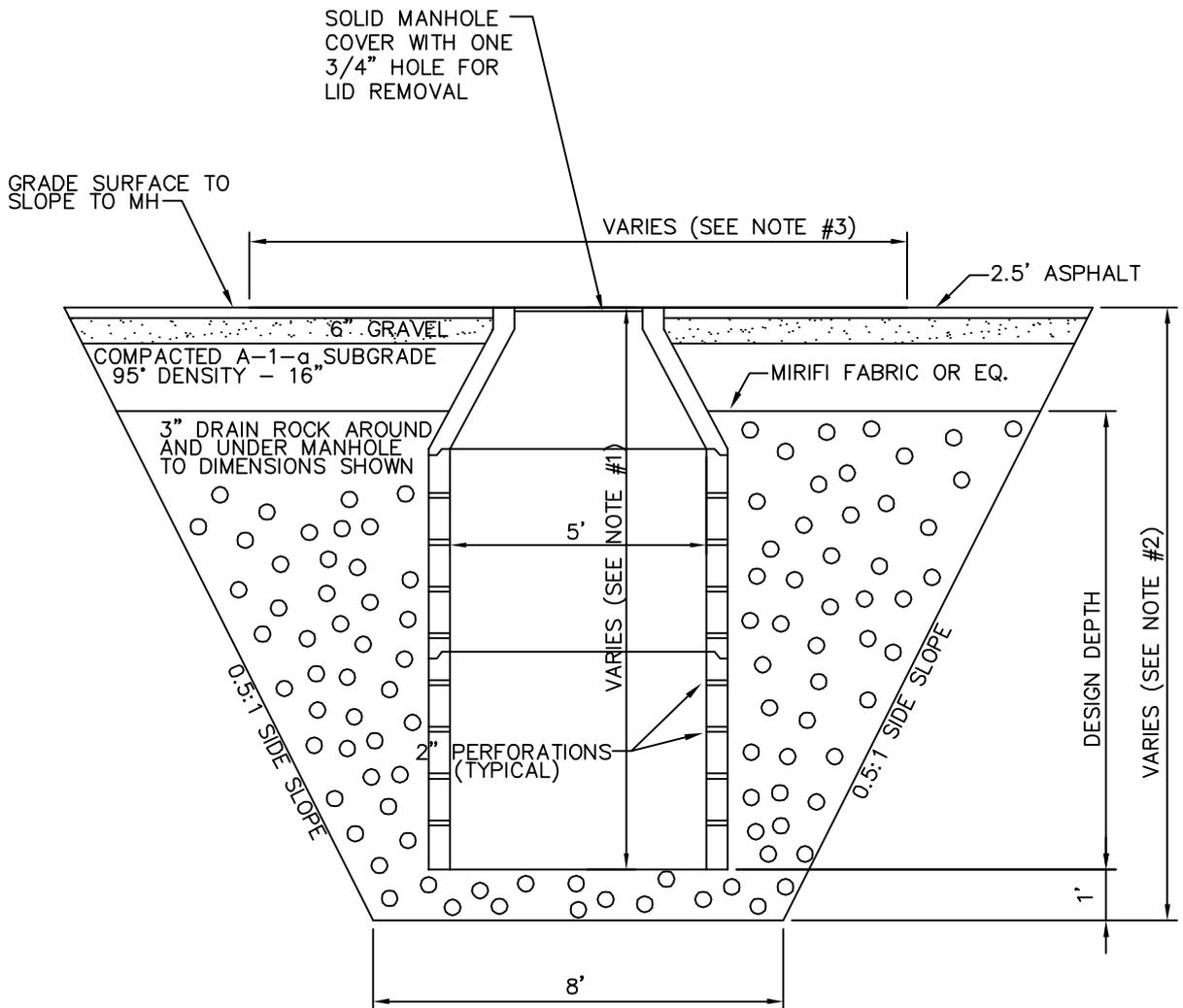
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/1/04



- NOTES:
 #1. DESIGN DEPTH + 2'
 #2. DESIGN DEPTH + 3'
 #3. DESIGN DEPTH + 11'

STORM DRAINAGE SUMP

N.T.S.

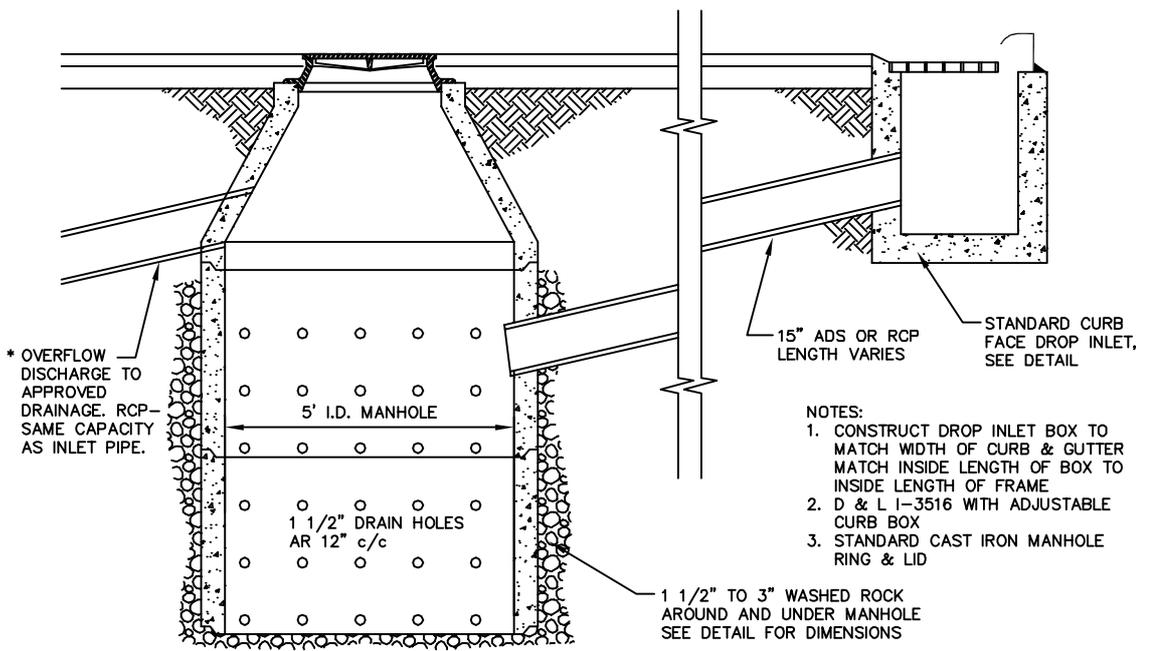
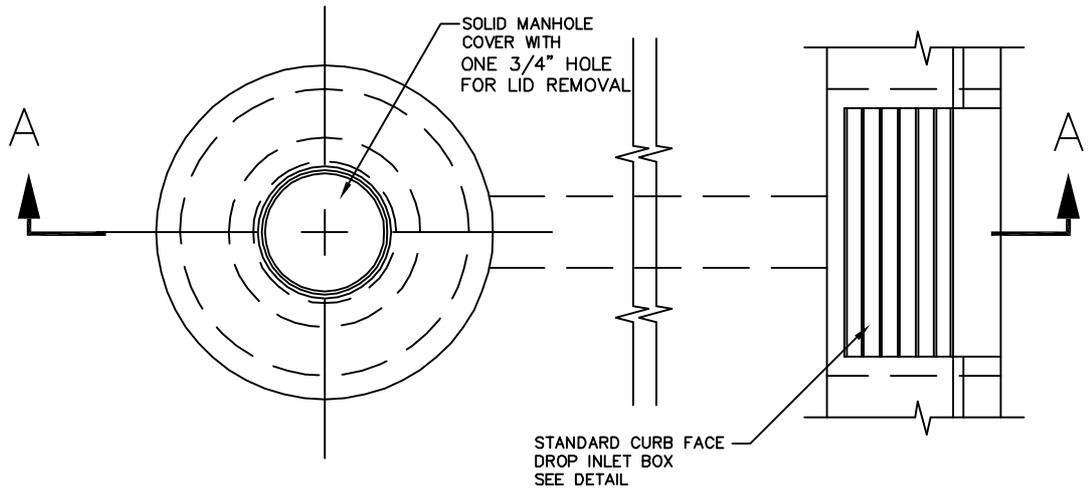
STATEMENT OF USE			
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.			
REVISION			
NO.	BY	APPROVAL DATE	



TYPICAL STORM DRAINAGE SUMP

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

STANDARD DRAWING NUMBER:	18
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/14/04



* OVERFLOW DISCHARGE TO APPROVED DRAINAGE. RCP - SAME CAPACITY AS INLET PIPE.

- NOTES:
1. CONSTRUCT DROP INLET BOX TO MATCH WIDTH OF CURB & GUTTER MATCH INSIDE LENGTH OF BOX TO INSIDE LENGTH OF FRAME
 2. D & L I-3516 WITH ADJUSTABLE CURB BOX
 3. STANDARD CAST IRON MANHOLE RING & LID

* MAY BE REQ'D BY CITY ENGINEER

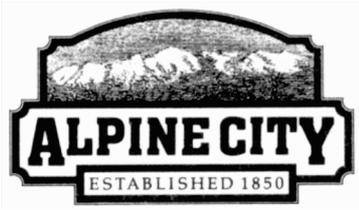
SECTION A-A

SUMP DISPOSAL

N.T.S.

NOTE: ONLY ALLOWED IN CERTAIN CIRCUMSTANCES. PRE-TREATMENT REQ'D

STATEMENT OF USE	
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.	
REVISION	
NO.	BY APRIL DATE

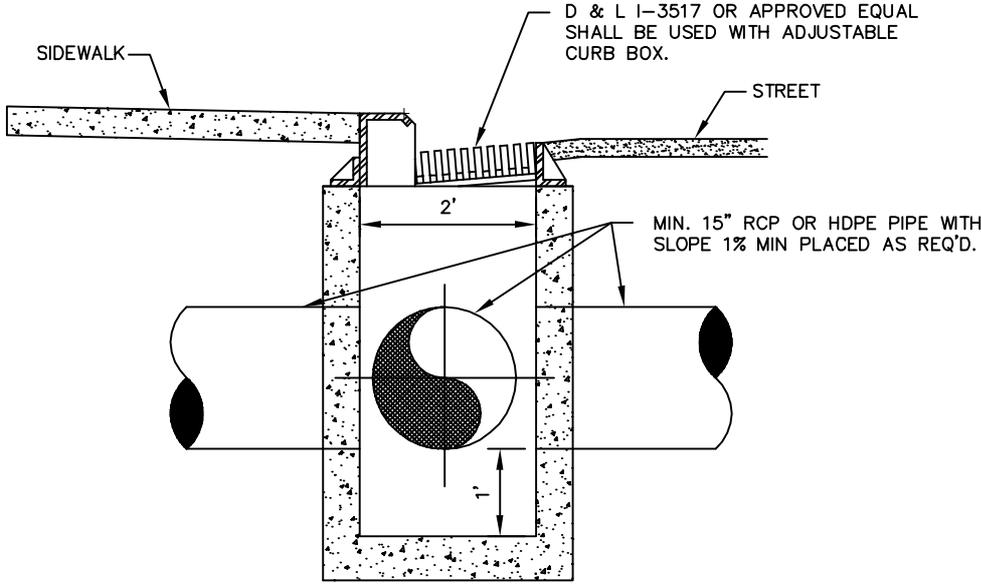
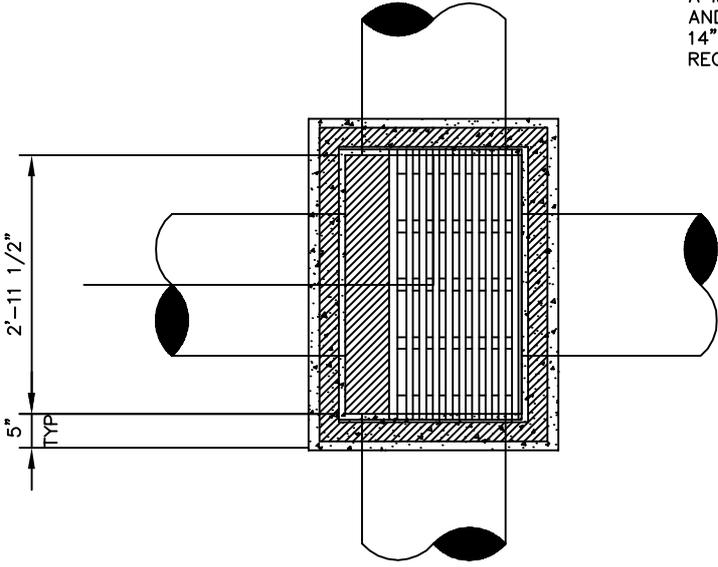


SUMP DISPOSAL
(Typical)

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:	19
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/14/04

NOTE:
 #4 REBAR SPACED AT
 A MINIMUM OF 12" O.C. HORIZ.
 AND 8" O.C. VERTICAL.
 14" OVERLAP OR REBAR
 REQUIRED.

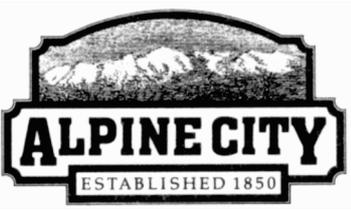


CURB FACE DROP INLET BOX

N.T.S.

STATEMENT OF USE
 THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

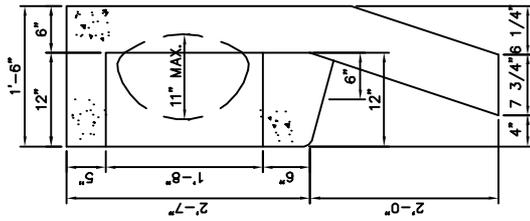
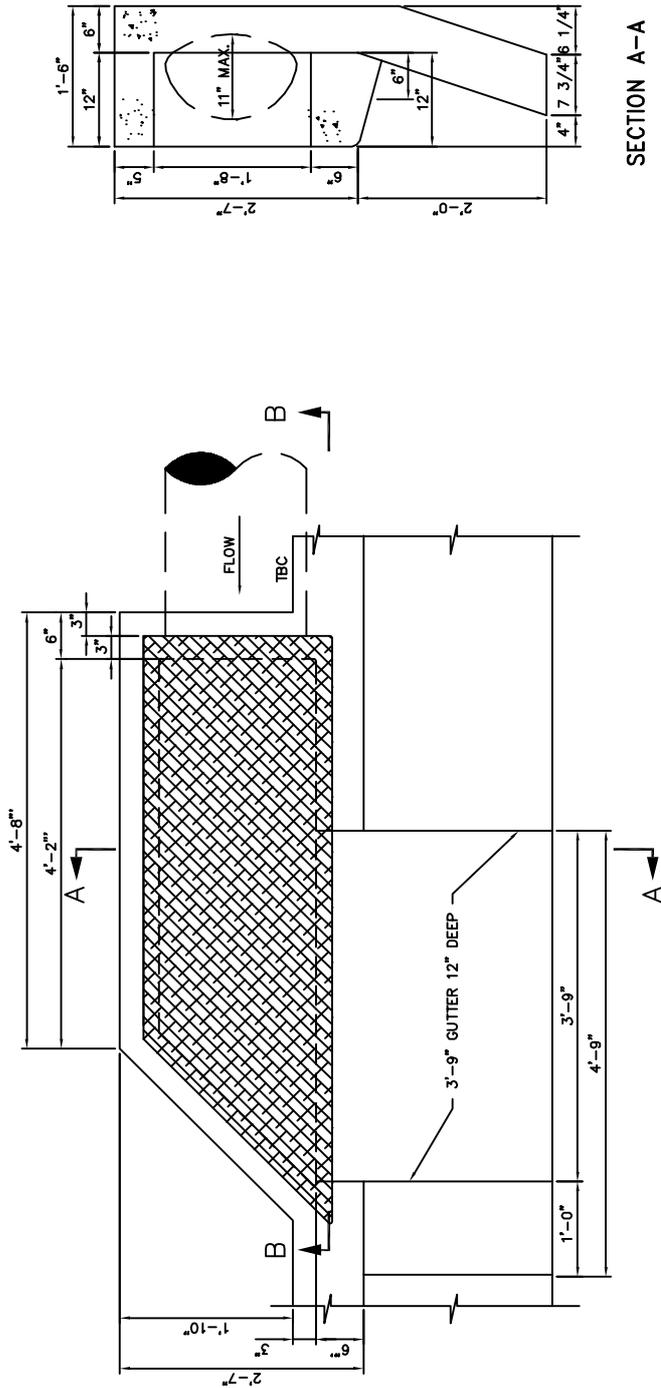
REVISION			
NO.	BY	APRIL DATE	CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2016 UPDATED\20 DROP\INLT



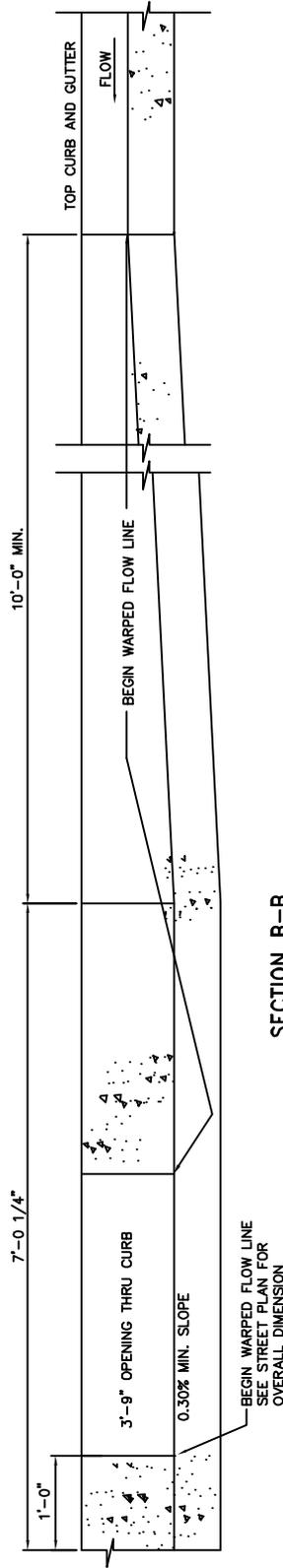
CURB FACE DROP INLET BOX (Typical)

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

STANDARD DRAWING NUMBER:	20
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/14/04



SECTION A-A



SECTION B-B

GENERAL NOTES

1. ALL MATERIALS, CONSTRUCTION, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH ALPINE CITY SPECIFICATIONS AND AS DIRECTED BY THE ALPINE CITY ENGINEER OR HIS REPRESENTATIVE.
2. ALL CONCRETE TO BE 4000 P.S.I. @ 28 DAYS.
3. UNDER CONDITIONS WHERE PIPE SIZE, PIPE TYPE, OR EARTH COVER IS CRITICAL USE MODIFIED OUTLET BOX.
4. 1/4" PLATE SHALL BE PLACED ON THE OULET AS A COVER. THE PLAT SHALL BE PAINTED GREY

DIPSTONE OUTLET
N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISSUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



DIPSTONE OUTLET

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:

21

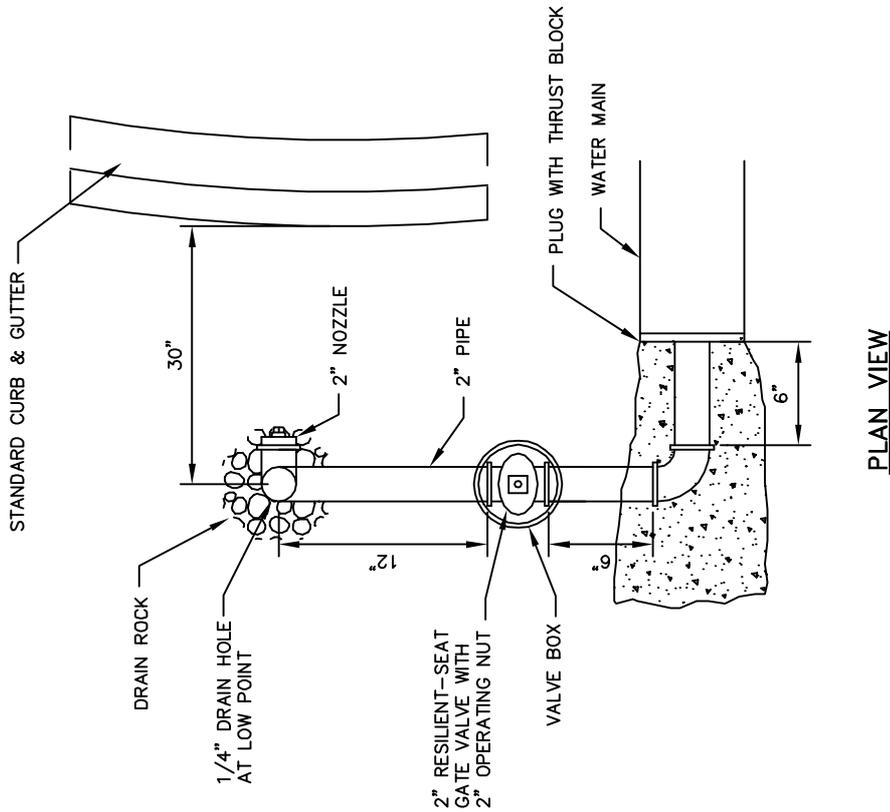
PLOT SCALE: N.T.S.

DRAWN BY: WJM

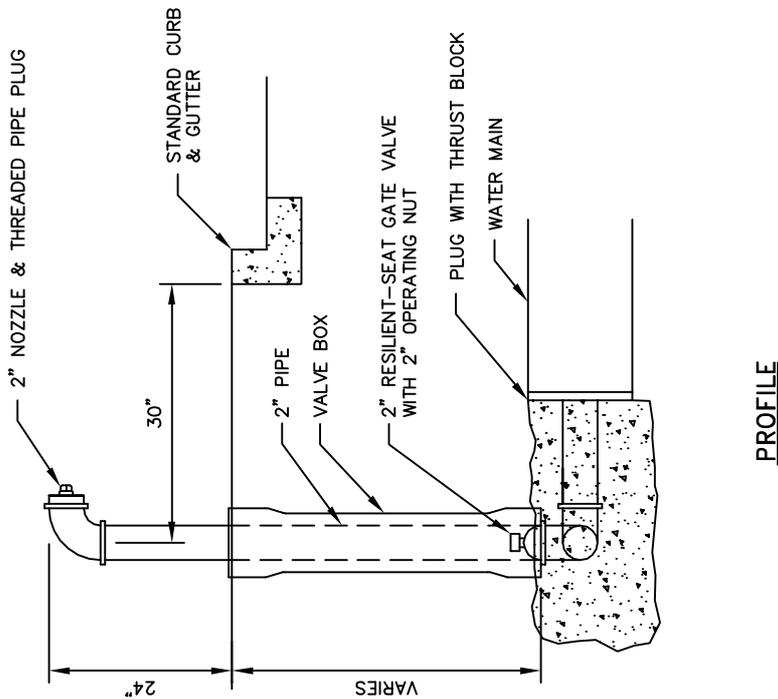
DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/14/04



PLAN VIEW



PROFILE

FLUSH VALVE

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



FLUSH VALVE (Typical)

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **22**

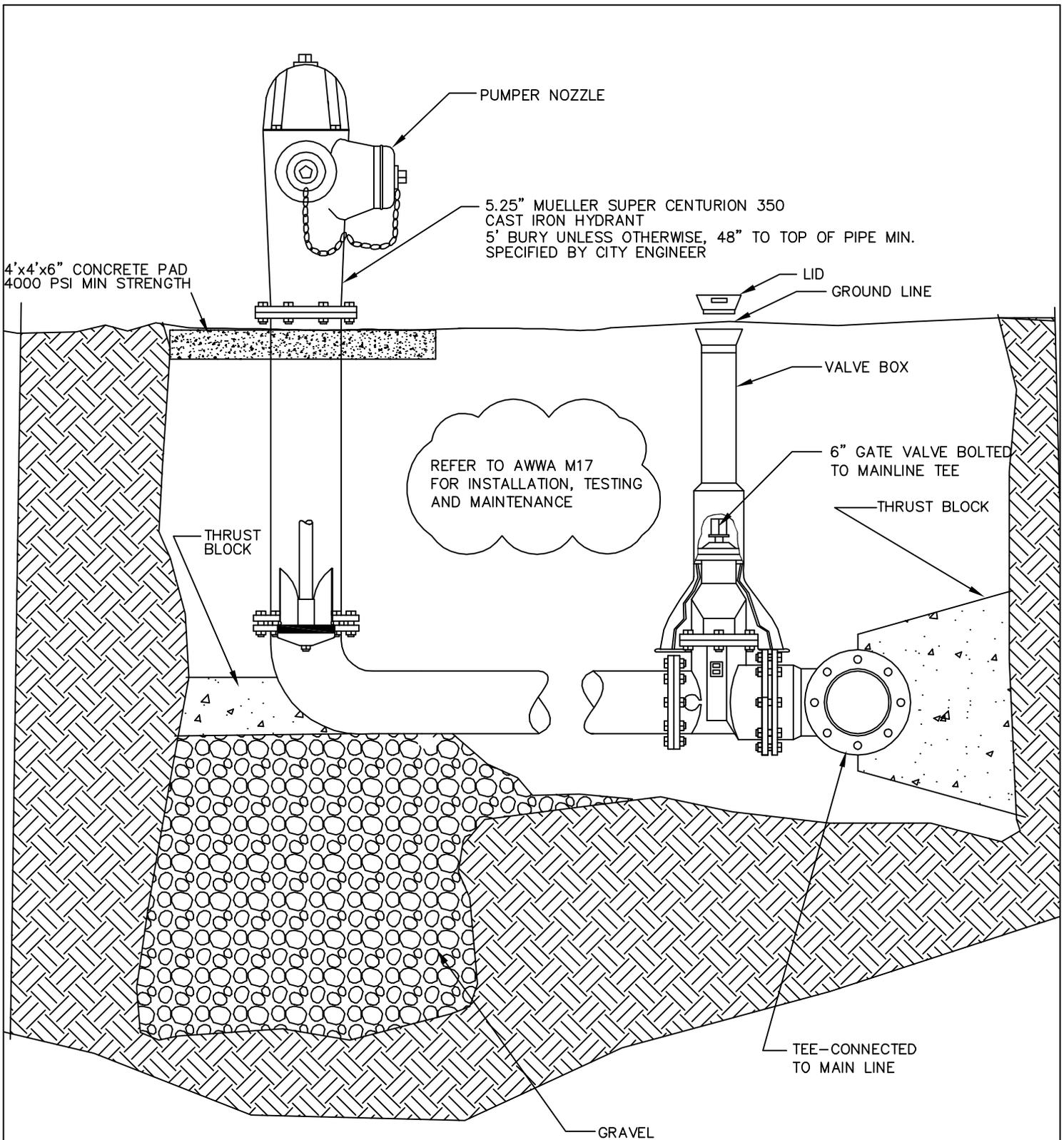
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

ADOPTED DATE: 4/14/04



STANDARD FIRE HYDRANT DETAIL

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL	DATE



CAD FILE: \\sage\corpl\standard drawings\2015 Aerial\Plot - 18.dwg

TYPICAL FIRE HYDRANT

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD
DRAWING
NUMBER:

23

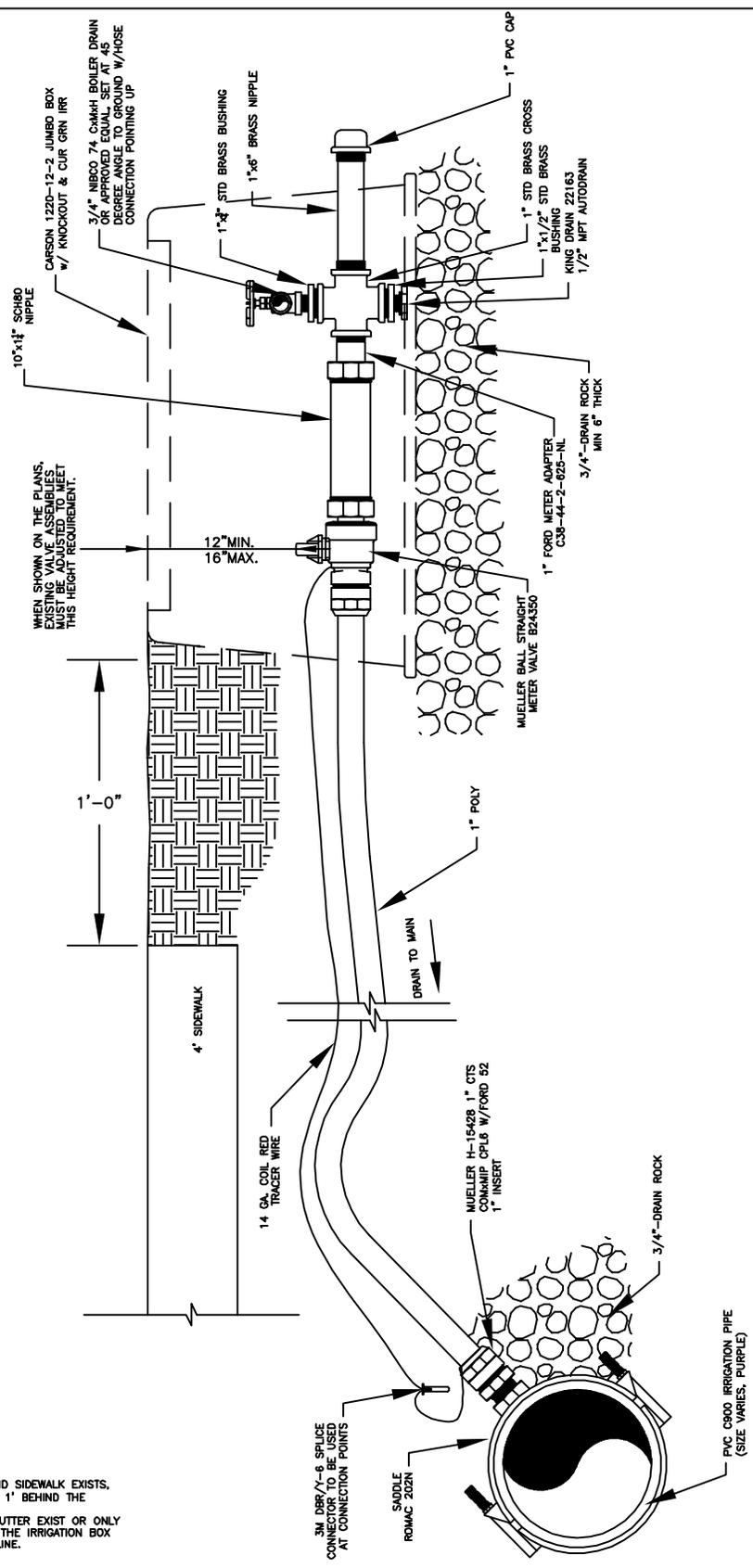
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

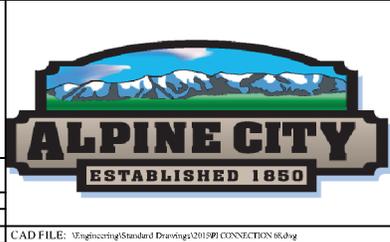
CHECKED BY:

ADOPTED DATE: 4/1/04



- NOTES:**
1. WHERE COMBINATION CURB, GUTTER, AND SIDEWALK EXISTS, THE IRRIGATION BOX SHALL BE PLACED 1' BEHIND THE SIDEWALK. IN LOCATIONS, WHERE NO CURB AND GUTTER EXIST OR ONLY CURB AND GUTTER WITHOUT SIDEWALK, THE IRRIGATION BOX SHALL BE PLACED ON THE PROPERTY LINE.

STATEMENT OF USE			
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CANNOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.			
REVISION			
NO.	BY	APRIL	DATE

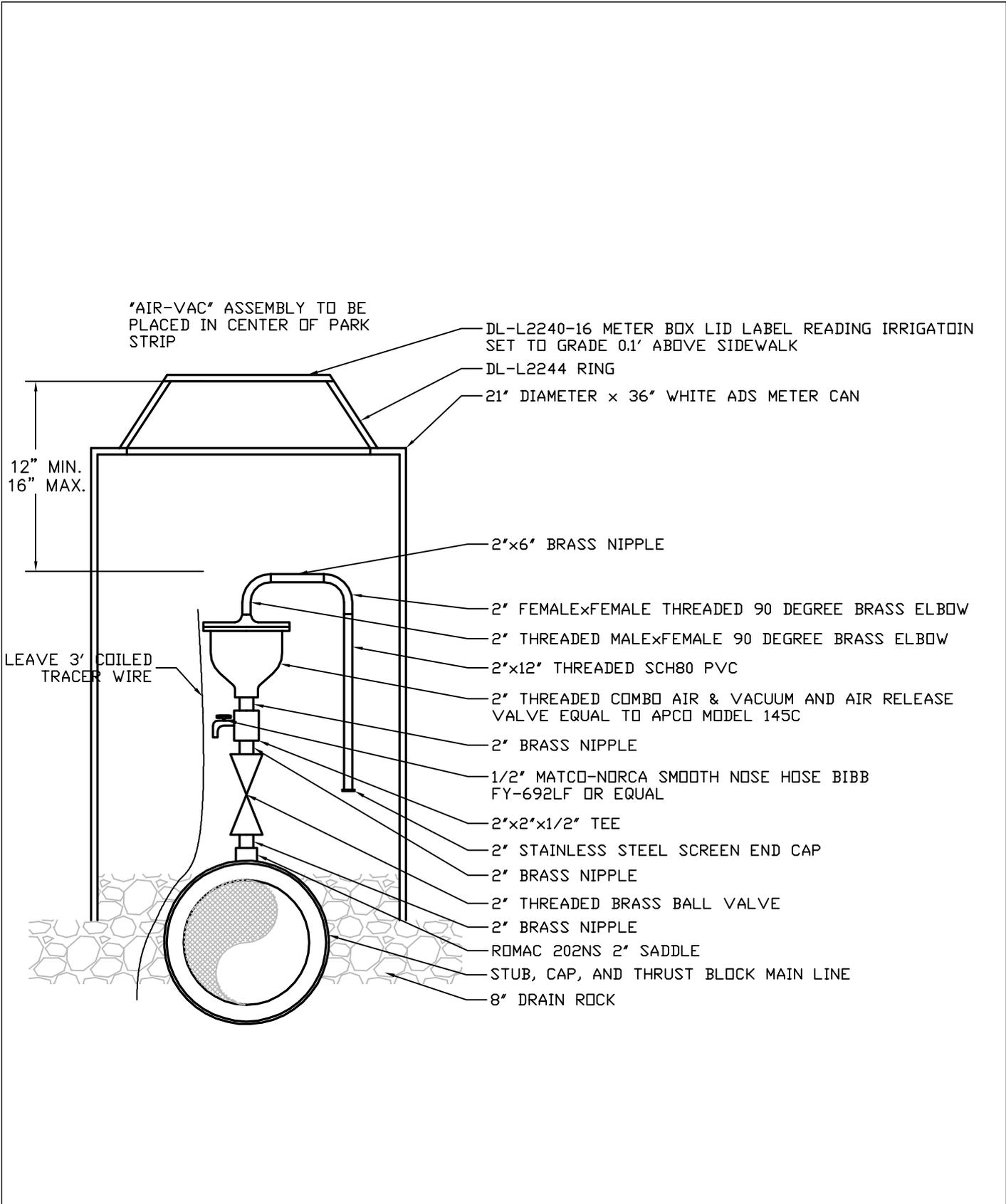


Pressurized Irrigation Distribution System

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

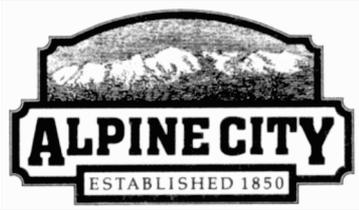
STANDARD DRAWING NUMBER:	24
PLOT SCALE:	N.T.S.
DRAWN BY:	B.D.B.
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	8/10/05

CAD FILE: C:\Engineering\Standard Drawings\2010\PI CONNECTION 24.dwg



STATEMENT OF USE
 THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION			
NO.	BY	APRIL DATE	CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2015 UPDATED (CURRENT)\26 PI AIRVAC

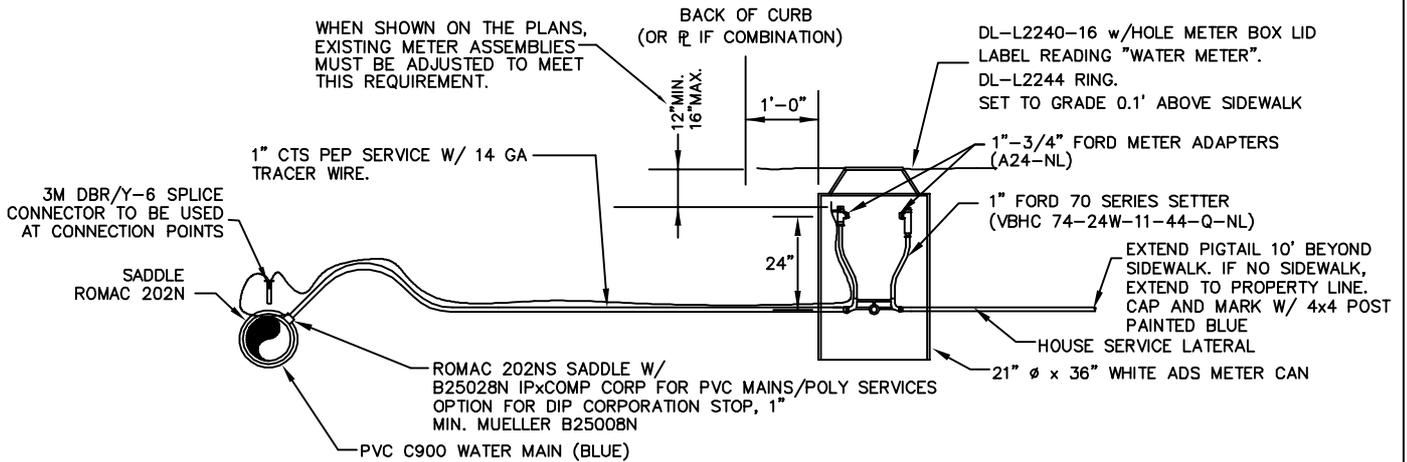


SECONDARY WATER AIR-VAC ASSEMBLY

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

STANDARD DRAWING NUMBER:	26
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	12/7/18

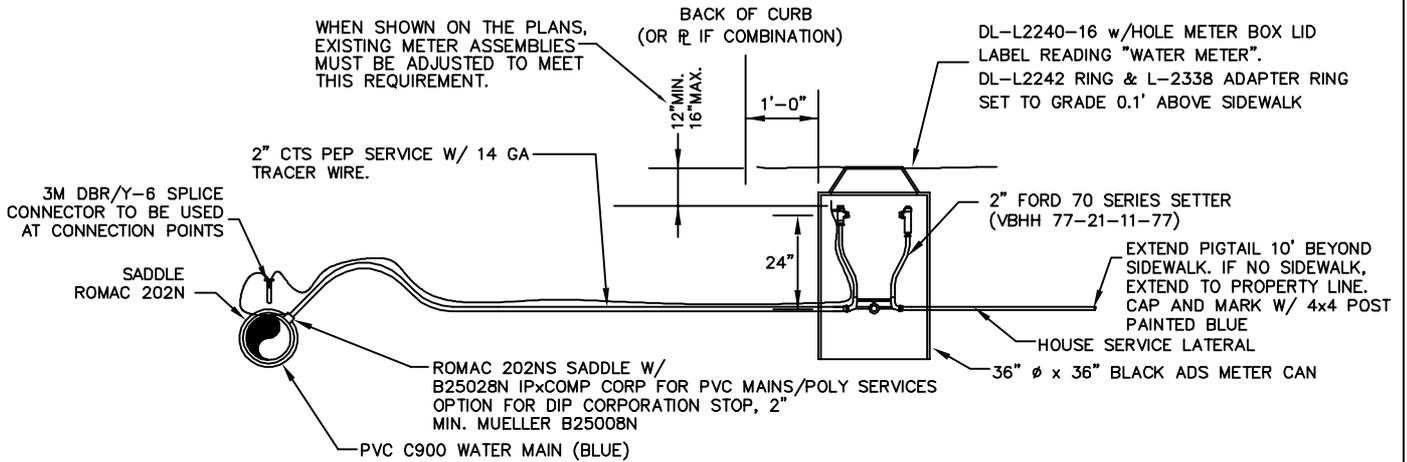
NOTE: METER BOX, COVER, COPPERSETTER, CORPORATION STOP, & SERVICE LINES TO BE FURNISHED AND INSTALLED BY DEVELOPER.



1" WATER SERVICE CONNECTION

N.T.S.

NOTE: METER BOX, COVER, COPPERSETTER, CORPORATION STOP, & SERVICE LINES TO BE FURNISHED AND INSTALLED BY DEVELOPER.

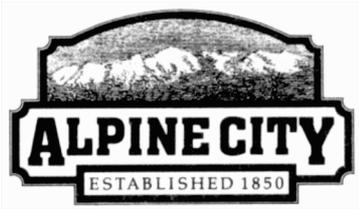


NOTE: FOR 1.5" SERVICES: ALL PARTS SHOWN ABOVE ARE THE SAME EXCEPT THE SERVICE LINE AND SETTER, WHICH WOULD BOTH BE CHANGED TO 1.5"

1.5" & 2" WATER SERVICE CONNECTIONS

N.T.S.

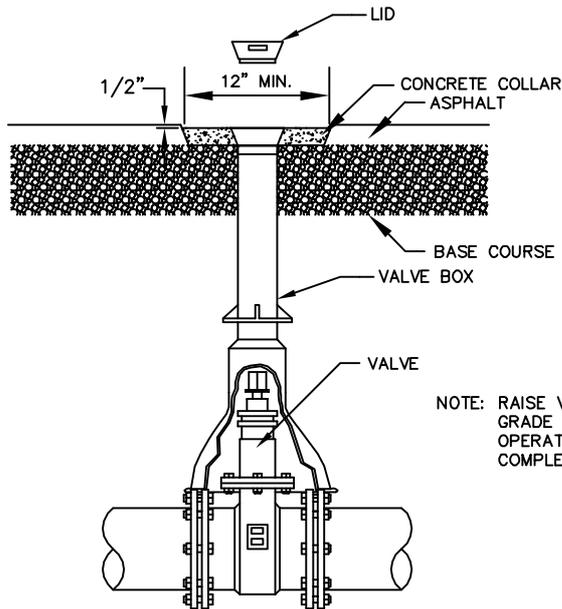
STATEMENT OF USE	
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.	
REVISION	
NO.	BY APRIL DATE



WATER SERVICE CONNECTION DETAIL

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:	27
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/14/04



NOTE: RAISE VALVE BOX TO GRADE AFTER PAVING OPERATIONS ARE COMPLETED.

VALVE BOX COLLAR DETAIL

N.T.S.

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APPL. DATE



VALVE BOX DETAIL

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **27a**

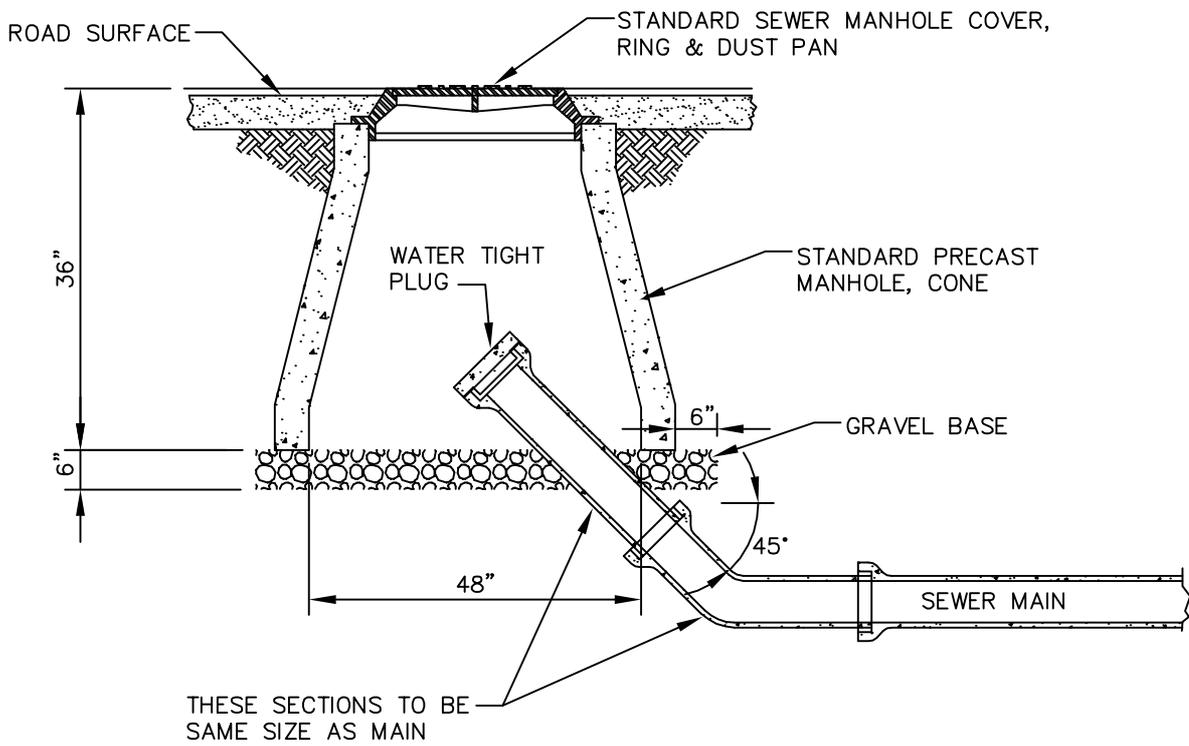
PLOT SCALE: N.T.S.

DRAWN BY: WJM

DESIGN BY:

CHECKED BY:

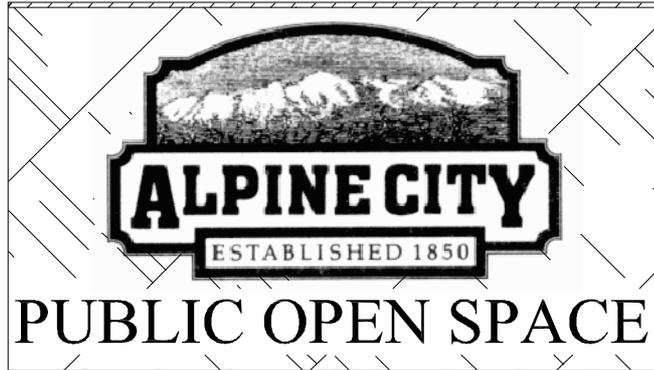
ADOPTED DATE: 4/14/04



TEMPORARY SEWER MAIN CLEANOUT

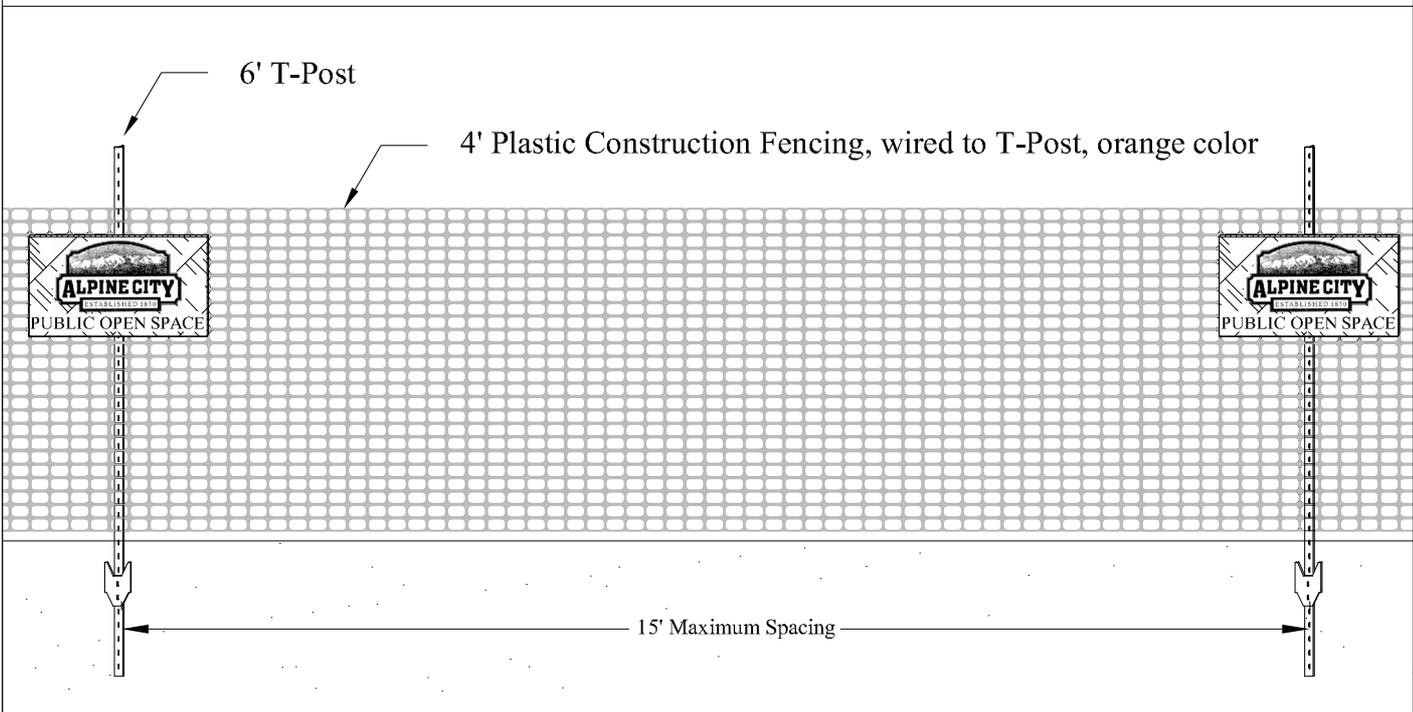
N.T.S.

<p>STATEMENT OF USE</p> <p>THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.</p>			<p>TEMPORARY SEWER MAIN CLEANOUT</p>		<p>STANDARD DRAWING NUMBER: 28</p>					
<p>REVISION</p> <table border="1"> <tr> <td>NO.</td> <td>BY</td> <td>APRIL DATE</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>			NO.	BY	APRIL DATE				<p>ALPINE CITY 20 NORTH MAIN ALPINE, UT 84004</p>	
NO.	BY	APRIL DATE								
<p>CAD FILE: E:\ENGINEERING\STANDARD DRAWINGS\2015 UPDATED (CURRENT)\28 BENCHOUT</p>										



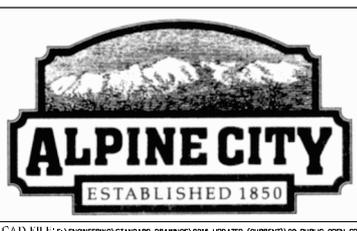
SIGN SPECIFICATIONS

- SIGN TO BE 18"x24"
- PRINTED WITH BLACK LETTERS, WHITE BACKGROUND
- LAMINATED AND STAPLED TO PLYWOOD
- WIRED TO T-POSTS
- SPACED ONE PER JOB SITE IN A VISIBLE LOCATION
IF MORE THAN 300' OF FENCING REQ'D, ONE SIGN TO
BE PLACED EVERY 300'



STATEMENT OF USE
 THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

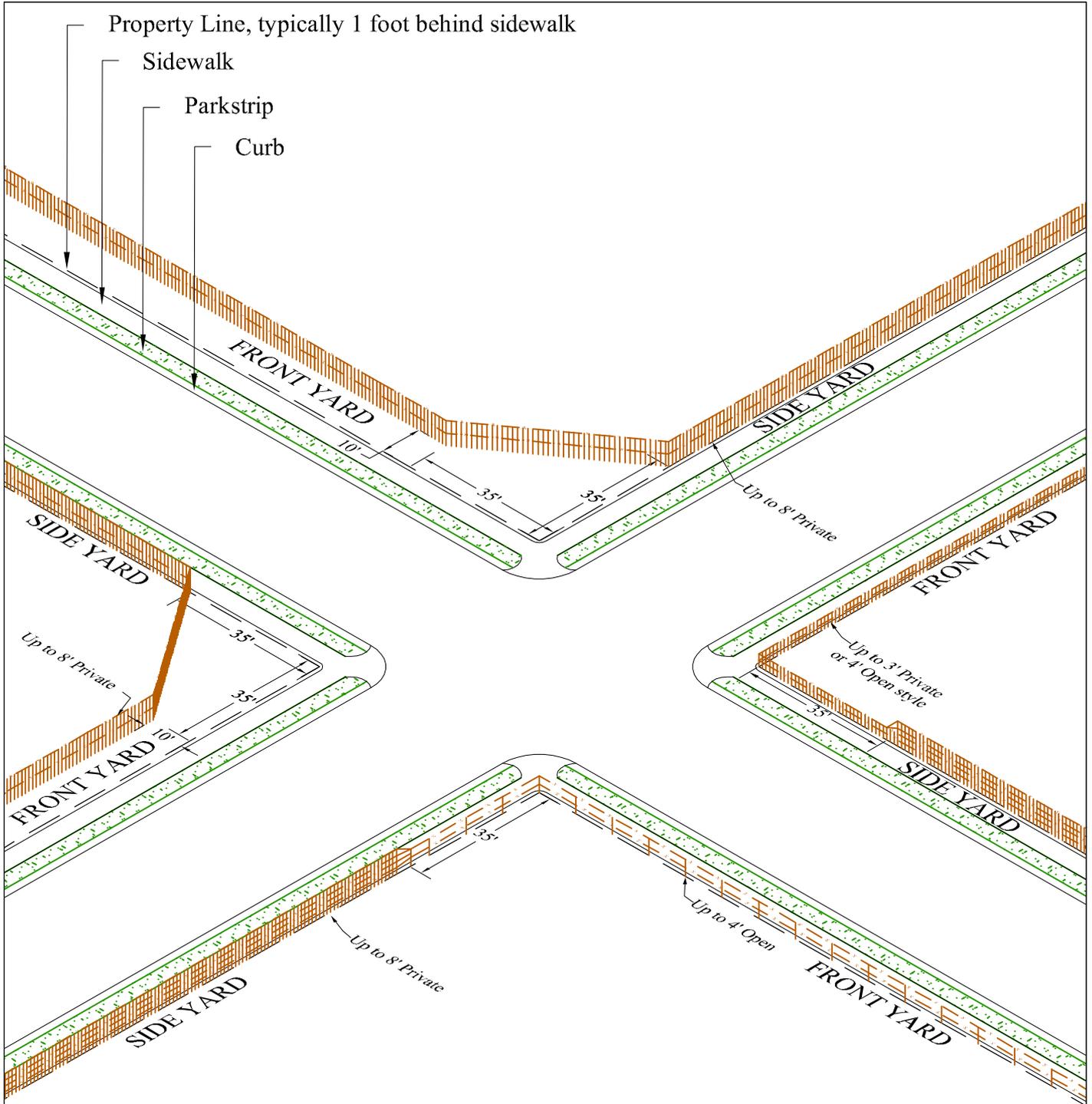
REVISION			
NO.	BY	APRIL DATE	



PUBLIC OPEN SPACE FENCING

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

STANDARD DRAWING NUMBER:	29
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/14/04



NOTE: SEE DEVELOPMENT CODE SECTION 3.21.6
 ALL PARTS OF THE FENCE TO BE PLACED NO CLOSER THAN
 1 FOOT BEHIND SIDEWALK (OR ON PROPERTY LINES) WITH
 HEIGHTS AS SHOWN. FREE BUILDING PERMIT
 REQUIRED.

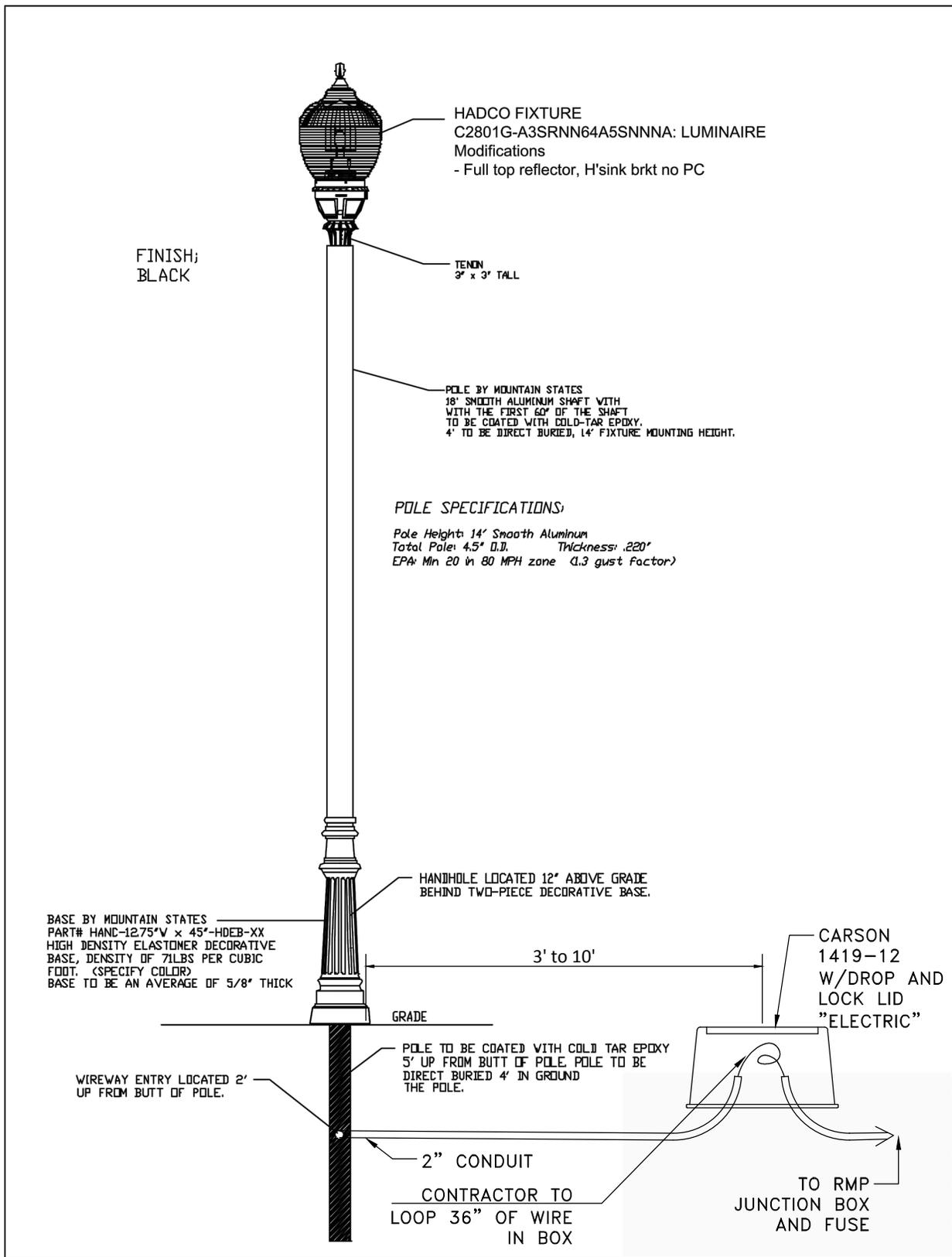
STATEMENT OF USE	
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.	
REVISION	
NO.	BY APRIL DATE



FENCING REGULATIONS

ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

STANDARD DRAWING NUMBER:	30
PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	4/1/04



STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPRATION CAN NOT BE HELD LIABLE FOR MISSUSE OR CHANGES REGARDING THIS DOCUMENT.



**RESIDENTIAL
STREET LIGHT**

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD
DRAWING
NUMBER: **31**

PLOT SCALE: N.T.S.
DRAWN BY: WJM
DESIGN BY:
CHECKED BY:
ADOPTED DATE: 12/7/18

REVISION

NO.	BY	APRIL	DATE

HADCO FIXTURE
 C2801E: LUMINARE
 MODIFICATIONS: Logo Case

Finish;
 Black

Tenon 3" x 3" Tall

Pole by Mountain States Lighting
 14' extruded fluted aluminum shaft
 with the first 16" of the shaft
 to be coated with cold-tar epoxy

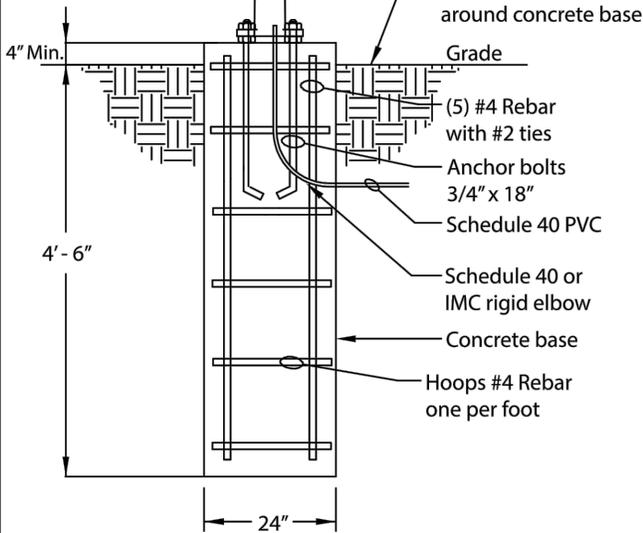
Pole Specifications:
 Mounting Height: 14'
 Pole O.D.: 5.0"

Wall Thickness: .250"

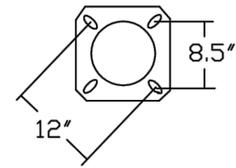
EPA: Min 20 in 80 MPH zone (1.3 gust factor)

Anchor Plate: 12" bolt circle w/ 3/4" x 18" bolts

Note!
 If depth cannot be
 met mass must be
 equivalent to mass
 shown



ARTERIAL - CONCRETE BASE DETAIL



Anchor base detail
 12" bolt circle
 Anchor bolts: 3/4" x 18"

Base by Mountain States Lighting
 Part # Hanc-12.75" W x 45" -HDEB-BK
 High density elastomer decorative
 base, (Non-corroding).
 Density: 71lbs per cubic ft.
 Base to be an average of 5/8" thick

Handhole located 12" above grade
 behind two-piece decorative base.

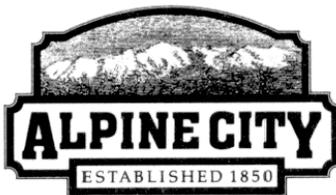
** SEE DETAIL 31 **
 FOR REQUIRED
 JUNCTION BOX
 AT BASE

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPRTATION CAN NOT BE HELD LIABLE FOR MISSUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL	DATE

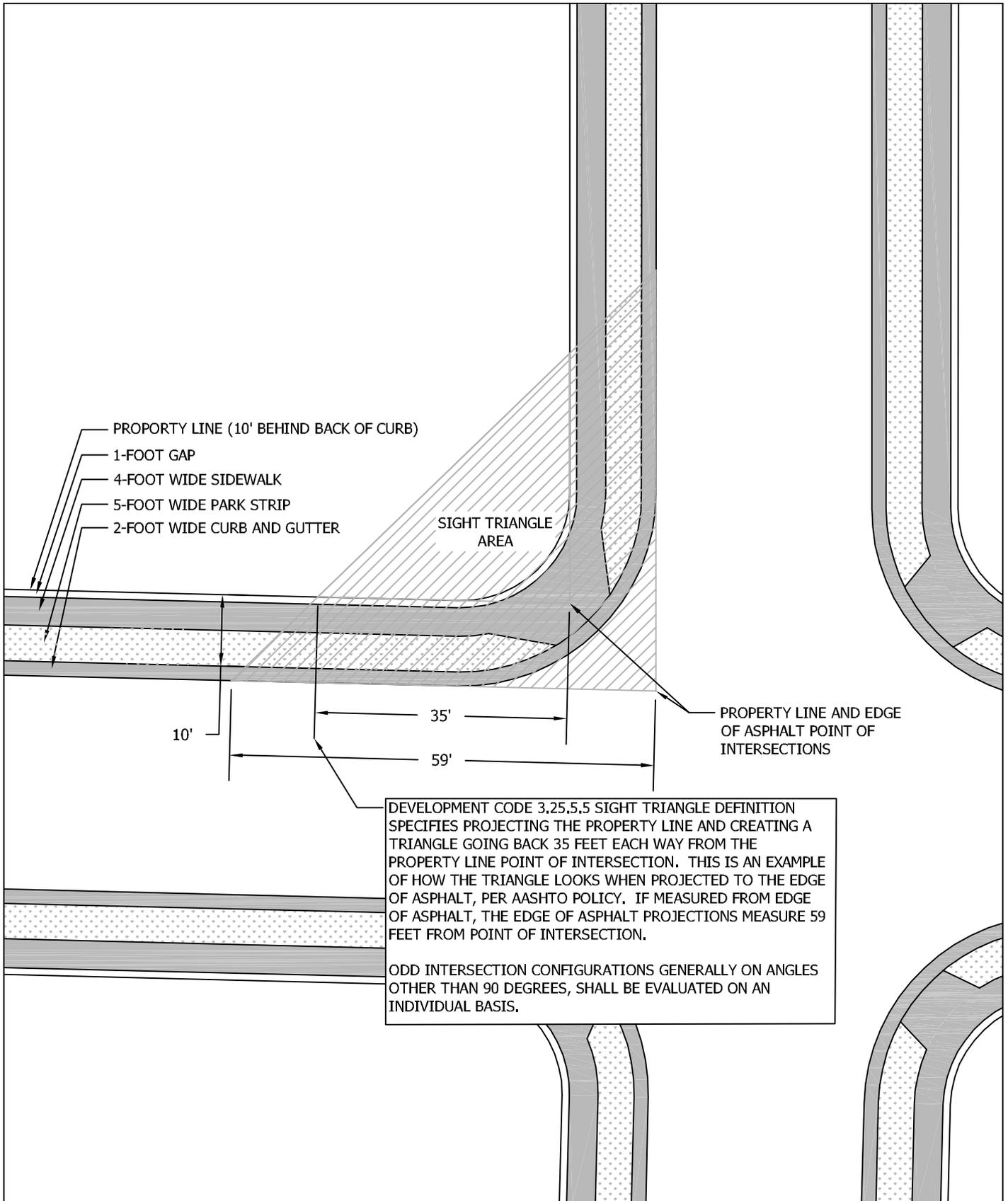


**DOWNTOWN
 STREET LIGHT**

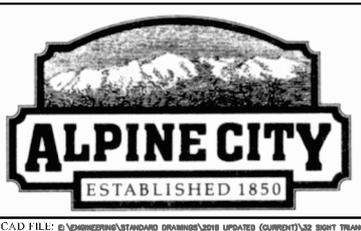
ALPINE CITY
 20 NORTH MAIN
 ALPINE, UT 84004

STANDARD DRAWING NUMBER: **31a**

PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	12/7/18



STATEMENT OF USE			
THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.			
REVISION			
NO.	BY	APRIL DATE	



SIGHT TRIANGLE

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER:	32
PLOT SCALE:	N.T.S.
DRAWN BY:	J.M.
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	10/13/11

PASTURE GRASS MIX

20 lbs CABIN BLEND AND 5 lbs ROCKY MOUNTAIN WILDFLOWER MIX PER ACRE

CABIN BLEND	
SPECIES	% BY WEIGHT
MOUNTAIN BROME	30
SLENDER WHEATGRASS	25
SANDBERG BLUEGRASS	5
BIG BLUEGRASS	5
SHEEP FESCUE	5
WESTERN WHEATGRASS	20
BEARDLESS BLUEBUNCH WHEATGRASS	10

WETLANDS/STREAM BANK GRASS MIX
15 LBS PER ACRE

WETLAND/STREAMBANK MIX	
SPECIES	% BY WEIGHT
INLAND SALTGRASS	13.3
WESTERN WHEATGRASS	13.3
STREAMBANK WHEATGRASS	13.3
NEBRASKA SEDGE	20
BLUEJOINT REEDGRASS	1.67
BEAKED SEDGE	20
BALTIC RUSH	1.67
MEADOW SEDGE	16.67

ROCKY MOUNTAIN WILDFLOWER MIX	
SPECIES	% BY WEIGHT
BLUE FLAX	9
PURPLE CONEFLOWER	10
BLACKEYED SUSAN	2
CALIFORNIA POPPY	11
WALLFLOWER	6
FIREWHEEL	7
WILD LUPINE	10
LANCE-LEAVED COREOPSIS	8
PRAIRIE CONEFLOWER	2
MEXICAN HAT	2
FLANDERS POPPY	2
YELLOW COSMOS	5
BACHELOR BUTTON	6
PLAINS COREOPSIS	2
MOUNTAIN PHLOX	1
ROCKY MOUNTAIN IRIS	3
MOUNTAIN LUPINE	6
SHOWY GOLDENEYE	3
BLANKET FLOWER	6

STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APPL. DATE



STANDARD SEED MIXTURES

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **33**

PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	12/7/18

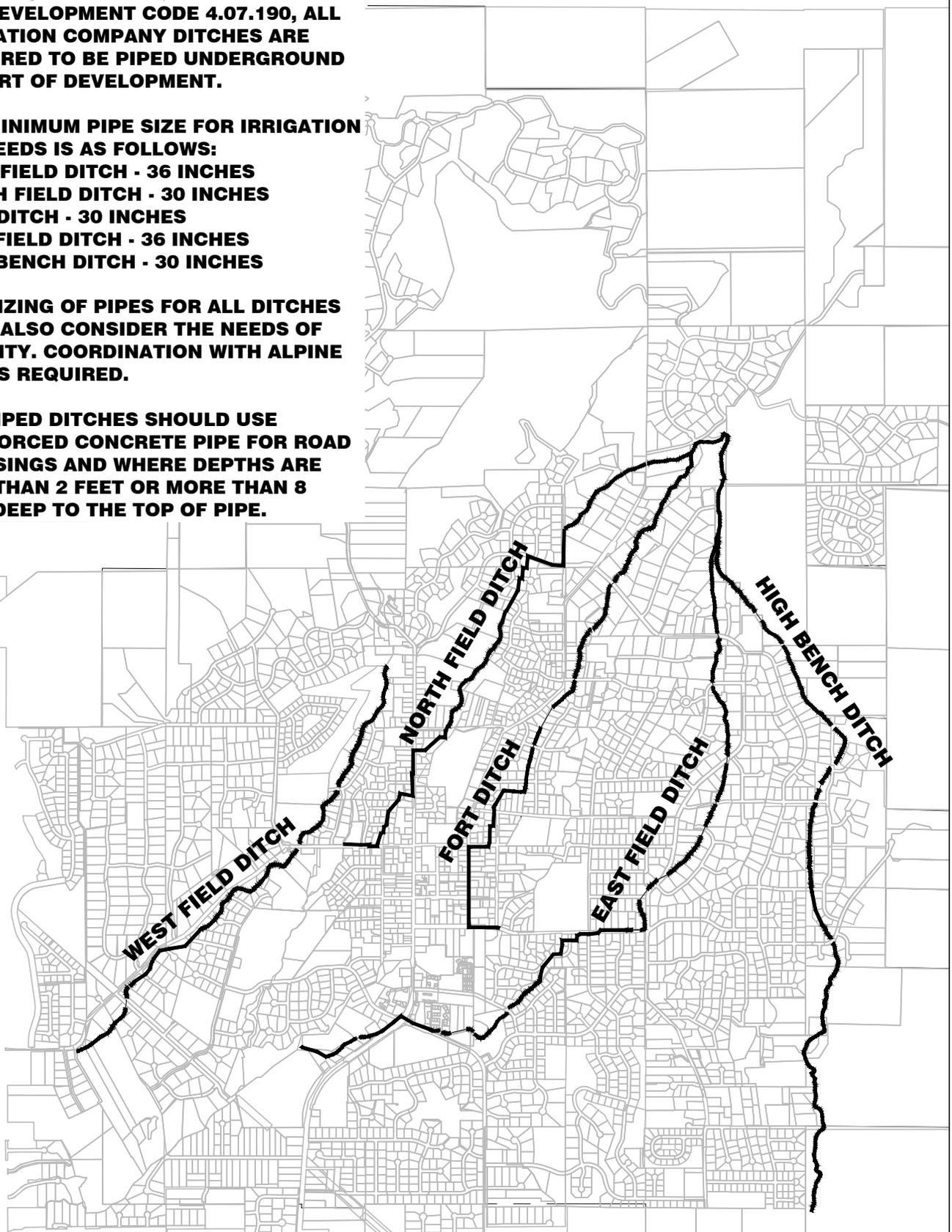
PER DEVELOPMENT CODE 4.07.190, ALL IRRIGATION COMPANY DITCHES ARE REQUIRED TO BE PIPED UNDERGROUND AS PART OF DEVELOPMENT.

THE MINIMUM PIPE SIZE FOR IRRIGATION CO. NEEDS IS AS FOLLOWS:

- WEST FIELD DITCH - 36 INCHES**
- NORTH FIELD DITCH - 30 INCHES**
- FORT DITCH - 30 INCHES**
- EAST FIELD DITCH - 36 INCHES**
- HIGH BENCH DITCH - 30 INCHES**

THE SIZING OF PIPES FOR ALL DITCHES MUST ALSO CONSIDER THE NEEDS OF THE CITY. COORDINATION WITH ALPINE CITY IS REQUIRED.

ALL PIPED DITCHES SHOULD USE REINFORCED CONCRETE PIPE FOR ROAD CROSSINGS AND WHERE DEPTHS ARE LESS THAN 2 FEET OR MORE THAN 8 FEET DEEP TO THE TOP OF PIPE.

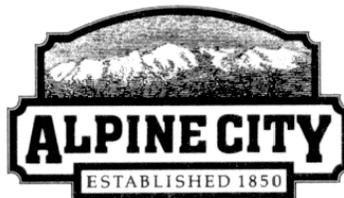


STATEMENT OF USE

THIS DOCUMENT AND ANY ILLUSTRATIONS HEREON ARE PROVIDED AS STANDARD CONSTRUCTION DETAILS WITHIN ALPINE CITY. DEVIATION FROM THIS DOCUMENT REQUIRES APPROVAL OF ALPINE CITY. ALPINE CITY CORPORATION CAN NOT BE HELD LIABLE FOR MISUSE OR CHANGES REGARDING THIS DOCUMENT.

REVISION

NO.	BY	APRIL DATE



IRRIGATION CO. DITCHES

ALPINE CITY
20 NORTH MAIN
ALPINE, UT 84004

STANDARD DRAWING NUMBER: **34**

PLOT SCALE:	N.T.S.
DRAWN BY:	WJM
DESIGN BY:	
CHECKED BY:	
ADOPTED DATE:	12/7/18

City of Alpine City Council Meeting

November 19, 2019

Site Plan Application, Verizon Cell Tower

Burgess Park

verizon[✓]

Site Location Process

1. Identify the search area based on a gap in coverage and capacity.
2. Review City Code to identify locations in the area that meet City requirements.
3. Determine if the locations that meet City code have adequate utilities and access.
4. Contact property owners to determine if they are willing to lease space.
5. Design a site that meets City Code and design requirements.



Wireless Telecommunications Ordinance

- “The public policy objectives to reduce the proliferation of telecommunications towers and to mitigate their impact can be best facilitated by locating telecommunications and antenna support structures on property owned, leased or used by Alpine City as a highest priority whenever feasible.”
- With this direction, we have considered all feasible City owned properties as a location for the site.

-Burgess Park

-Legacy Park

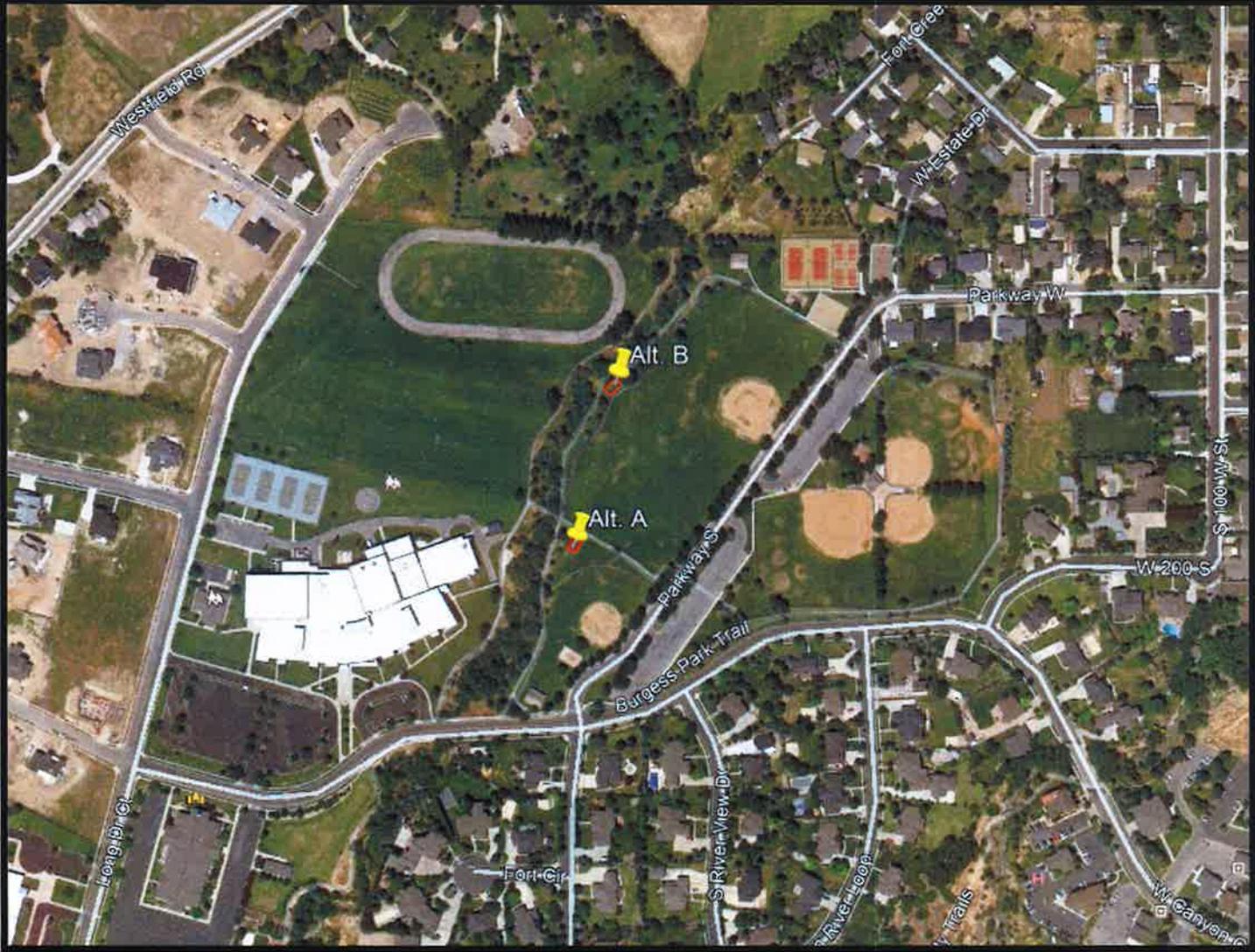
-Alpine City Trails

-City Hall

-Peterson Park

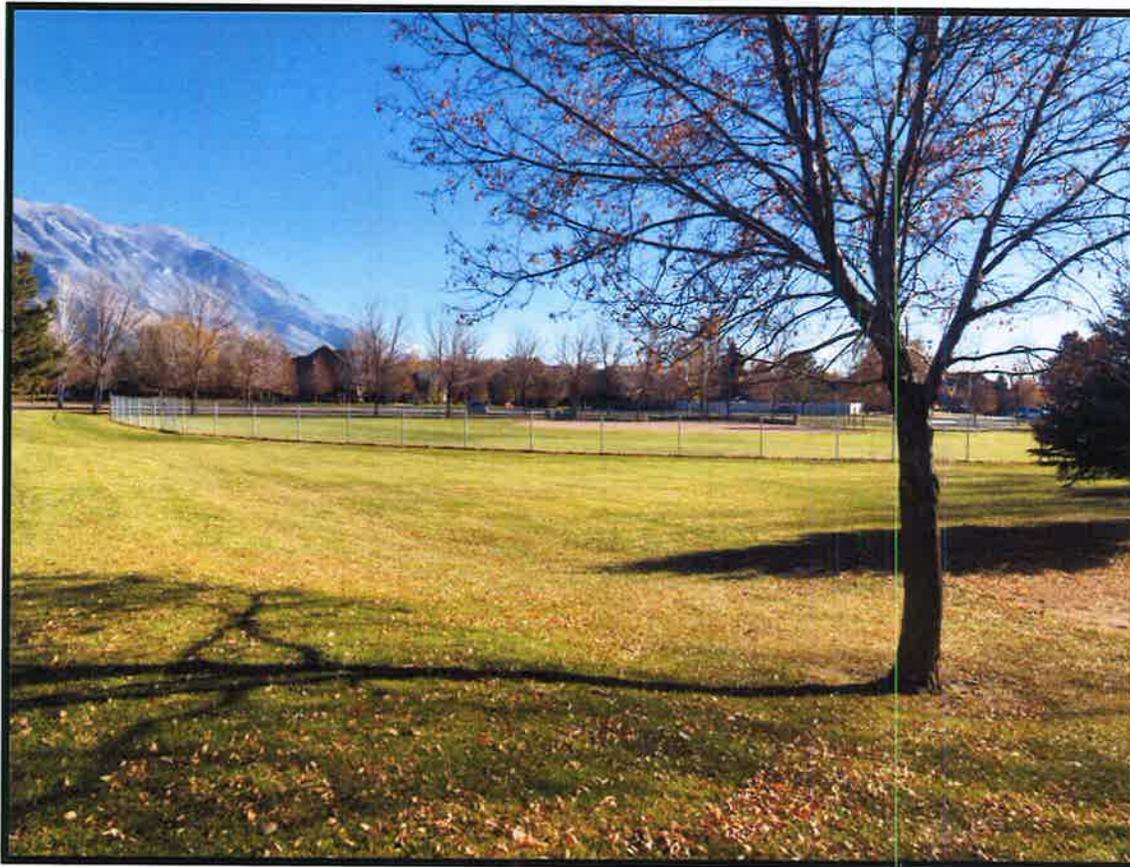
-Creekside Park

Burgess Park (alt. A and B)



Burgess Park (alt. A)

- Public Park- Surrounding uses are residential and institutional.



Burgess Park (alt. B)

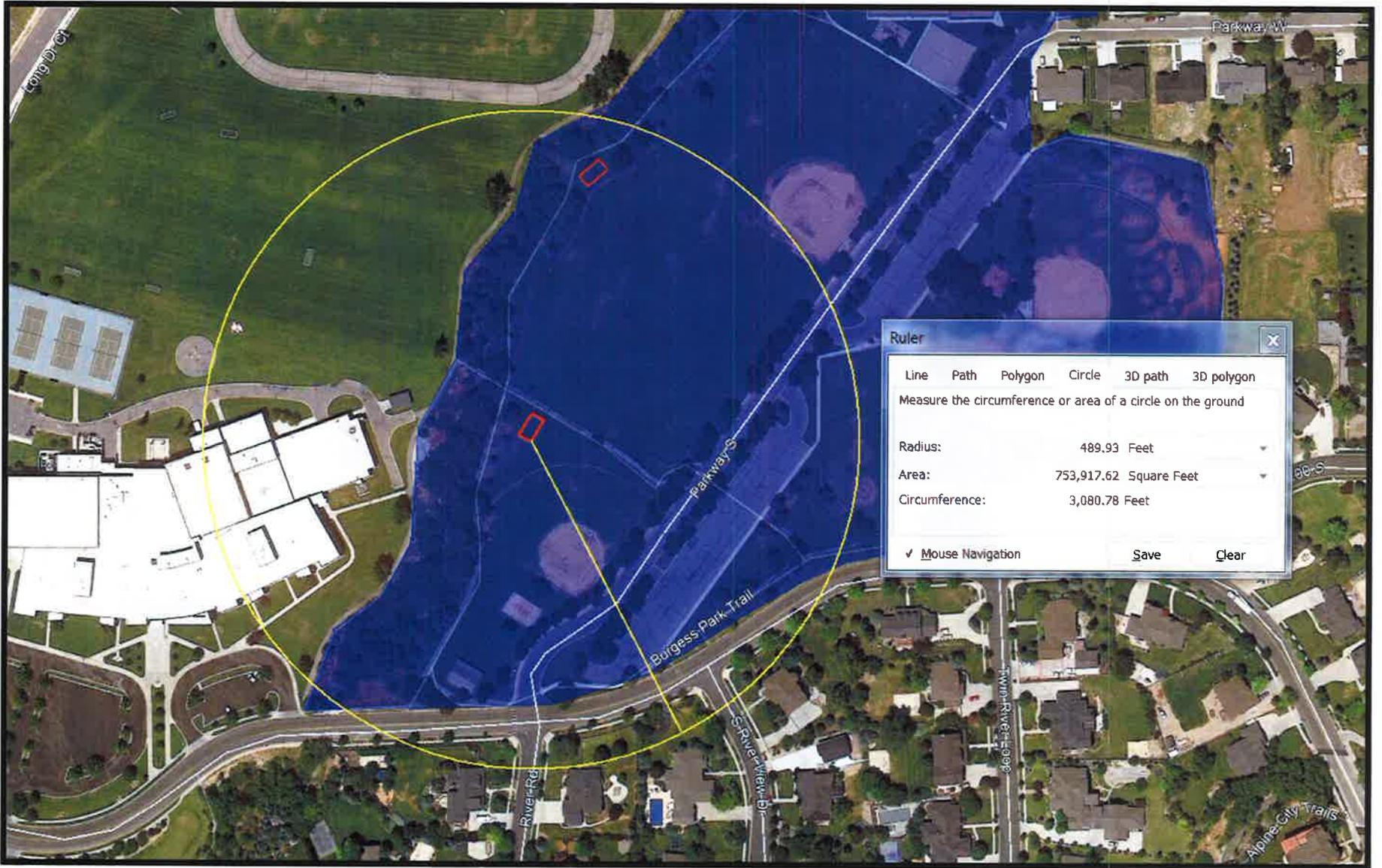
- Public Park- Surrounding uses are residential and institutional.



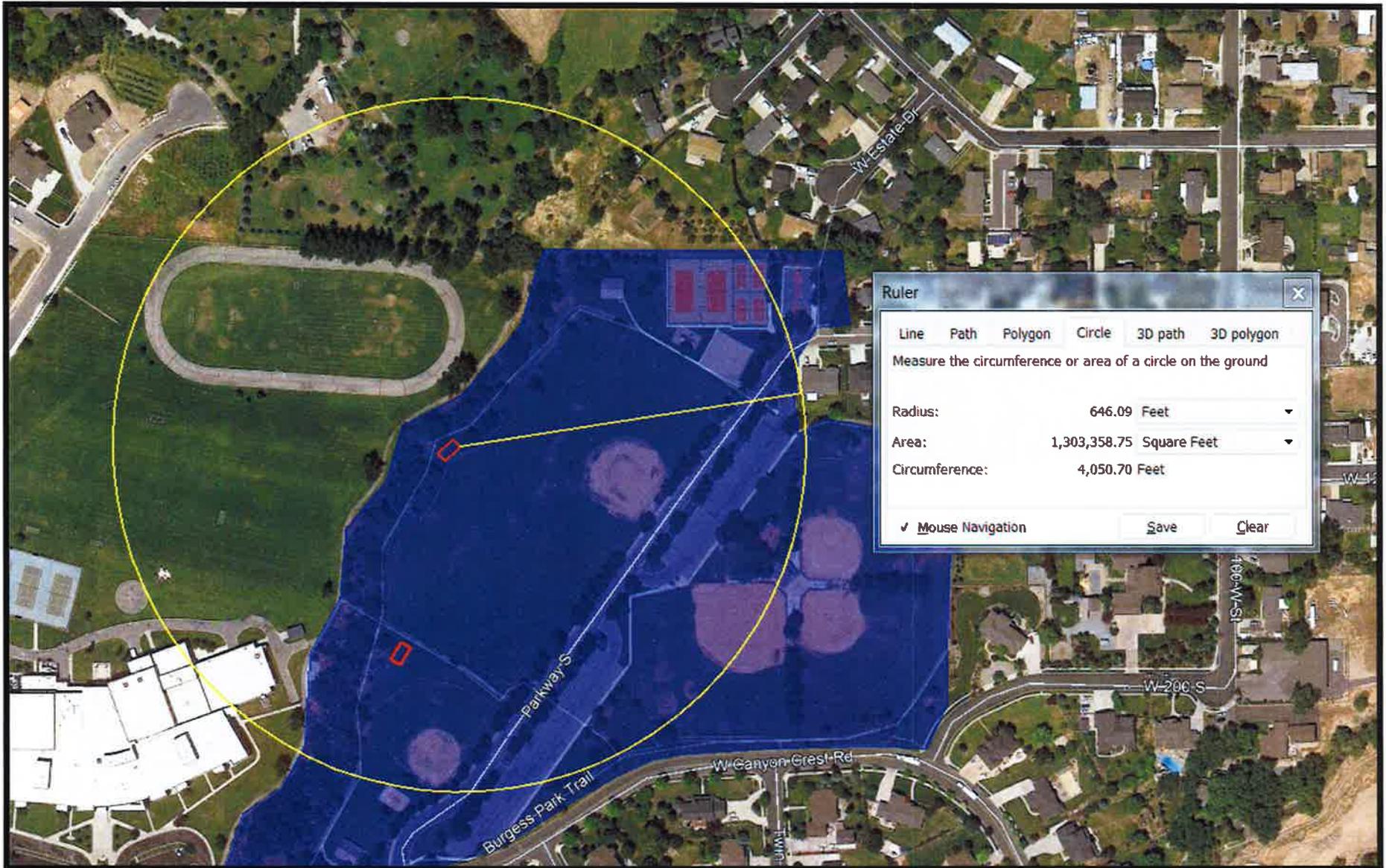
The proposed Wireless Communication Facility is the least visually intrusive means to improve service in the area;

- The tower has been designed to blend in with the surroundings, as best it can.
- There are pine trees near the proposed lease area and there are few locations, in Verizon's search ring, where the site would blend in as well as it would at Burgess Park.
- The alternate site location, at Burgess Park, is near the west property line, in an area with limited space for recreational activity.
- The distance the tower would be setback from the nearest residence, would likely be greater than the setback at any other property approved for a wireless communication facility, in our search area.

Burgess Park Alt. A



Burgess Park Alt. B



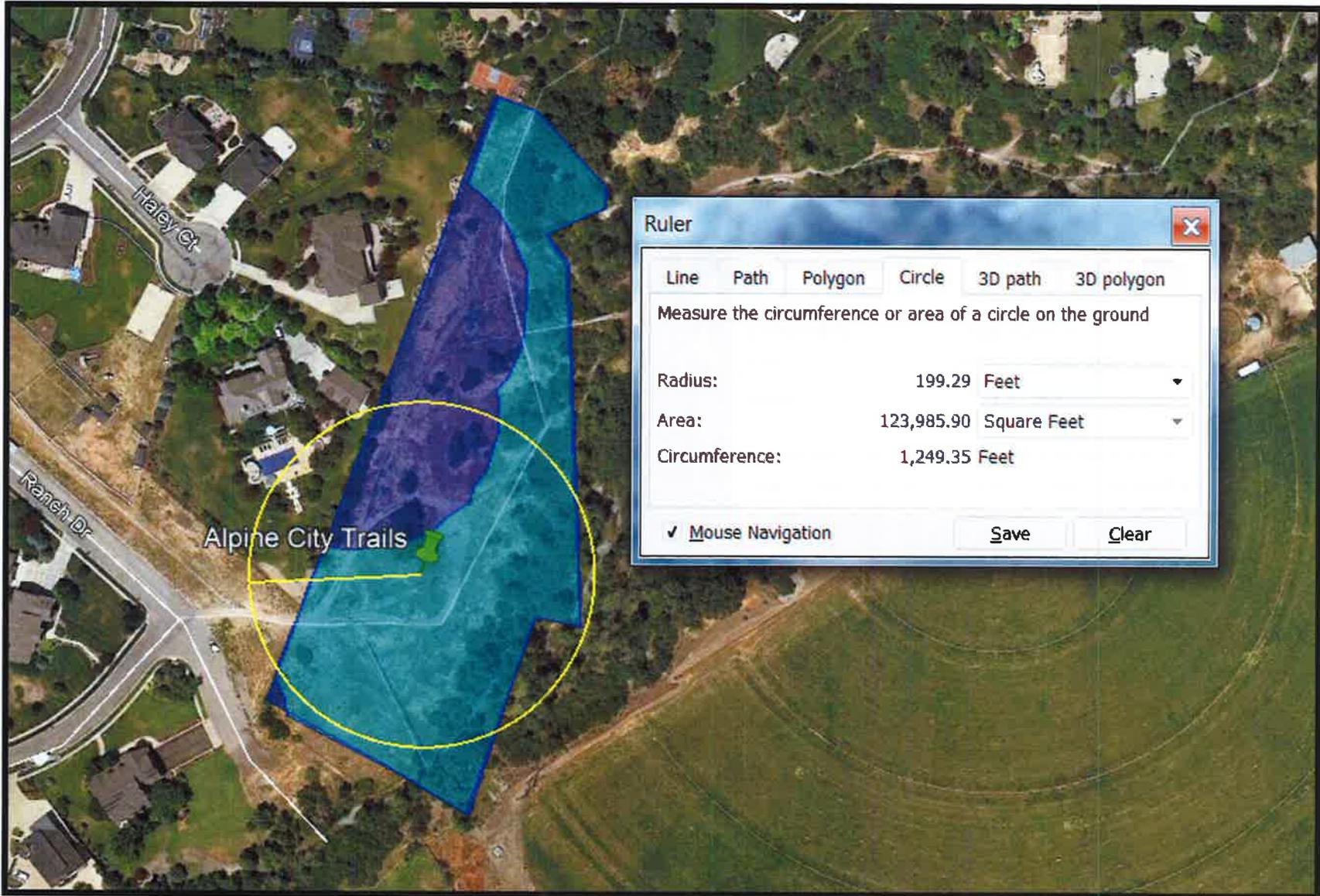
Creekside Park



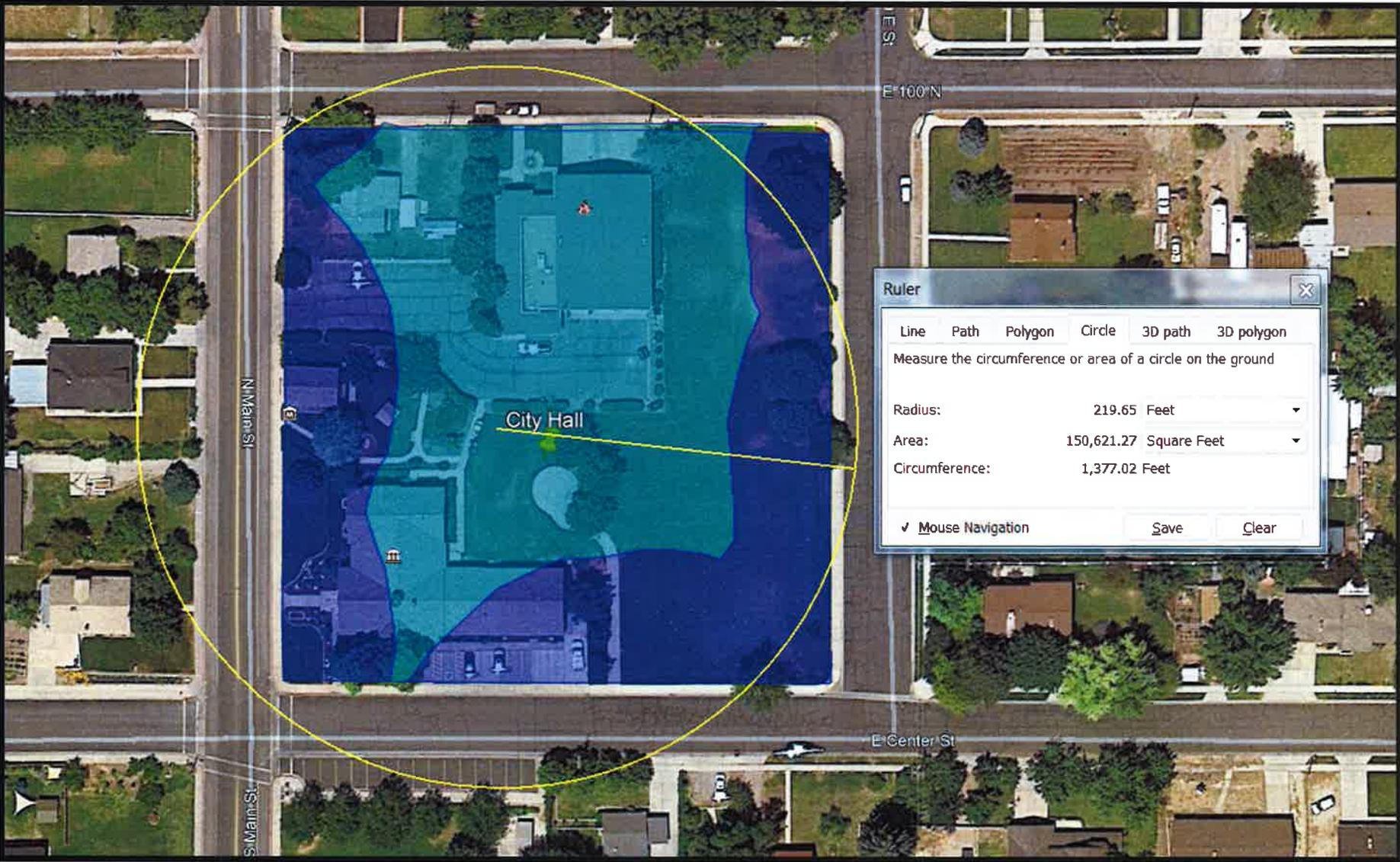
Peterson Park



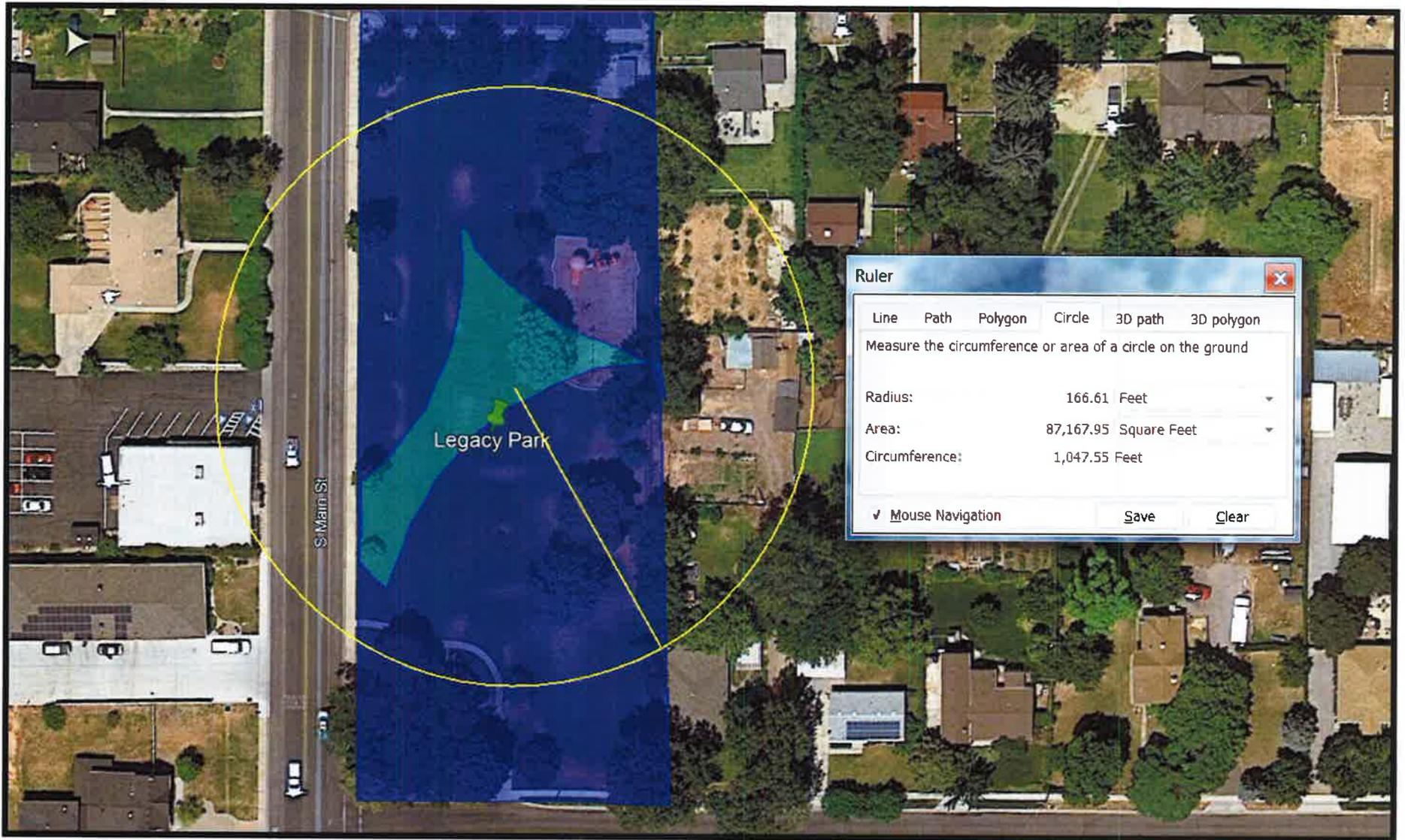
Alpine City Trails



City Hall



Legacy Park



Alternatives

- Commercial property in the business commercial zone
- Property in conjunction with a quasi-public or public use

Commercial Properties in the Business Commercial Zone



Properties in conjunction with a Public Use



- Timberline Middle
- Westfield Elementary

Properties in conjunction with a Quasi-Public Use



Conclusion

- **Service data and maps show a gap in coverage and capacity and a site needs to be located in a sensitive area to fix the service gap. Locations outside of the search area, such as the City's property off of Lakeview drive, are simply too far away to achieve the radio frequency and performance engineering requirements for coverage and capacity improvements in the target area.**
- **We designed the site to meet the City's ordinance requirements and believe the proposed site is the least intrusive means to address the gap in coverage/capacity and to address the community's wireless needs.**

ALPINE CITY COUNCIL AGENDA

SUBJECT: Road Design for East End of Moyle Drive

FOR CONSIDERATION ON: 19 November 2019

PETITIONER: Staff

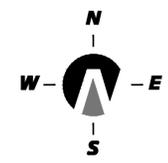
ACTION REQUESTED BY PETITIONER: Approve the proposed design to eliminate the hump at the end of Moyle Drive

BACKGROUND INFORMATION:

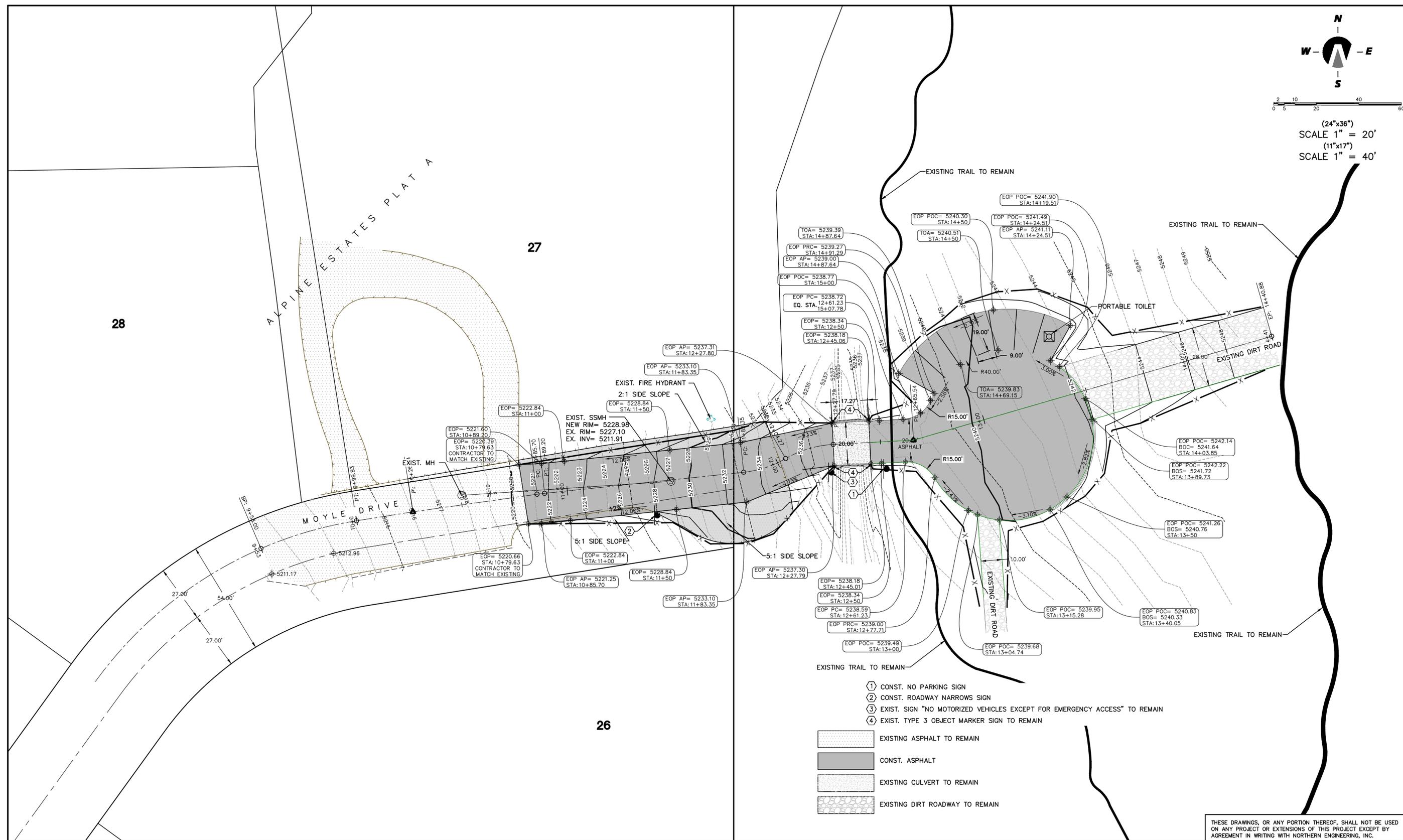
The hump at the end of Moyle Drive where it meets the emergency access road in Lambert Park creates an access problem for emergency vehicles such as fire trucks. Attached are the plans to resolve the access issue.

STAFF RECOMMENDATION:

Consider approving the recommended road design for the end of Moyle Drive.



(24"x36")
 SCALE 1" = 20'
 (11"x17")
 SCALE 1" = 40'



- ① CONST. NO PARKING SIGN
 - ② CONST. ROADWAY NARROWS SIGN
 - ③ EXIST. SIGN "NO MOTORIZED VEHICLES EXCEPT FOR EMERGENCY ACCESS" TO REMAIN
 - ④ EXIST. TYPE 3 OBJECT MARKER SIGN TO REMAIN
- EXISTING ASPHALT TO REMAIN
 - CONST. ASPHALT
 - EXISTING CULVERT TO REMAIN
 - EXISTING DIRT ROADWAY TO REMAIN

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED BY:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

Northern ENGINEERING INC
 ENGINEERING—LAND PLANNING
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

MOYLE DRIVE

MOYLE DRIVE PLAN	JOB NO. 3-19-033
ALPINE CITY, UTAH	SHEET NO. 1



NOTES TO CONTRACTOR:

- 1) CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- 2) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

(24"x36")
 HORIZONTAL 1" = 20'
 VERTICAL 1" = 5'

(11"x17")
 HORIZONTAL 1" = 40'
 VERTICAL 1" = 10'

NO.	REVISIONS	BY	DATE	REV. COGO FILE	DATE
5					
4					
3					
2					
1					

DESIGNED BY:	DATE:
DRAWN BY:	DATE:
CHECKED BY:	DATE:
APPROVED:	DATE:
COGO FILE:	DATE:
REV. COGO FILE:	DATE:


Northern ENGINEERING INC
 ENGINEERING-LAND PLANNING
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

MOYLE DRIVE

MOYLE DRIVE PROFILE	JOB NO. 3-19-033
ALPINE CITY, UTAH	SHEET NO. 2

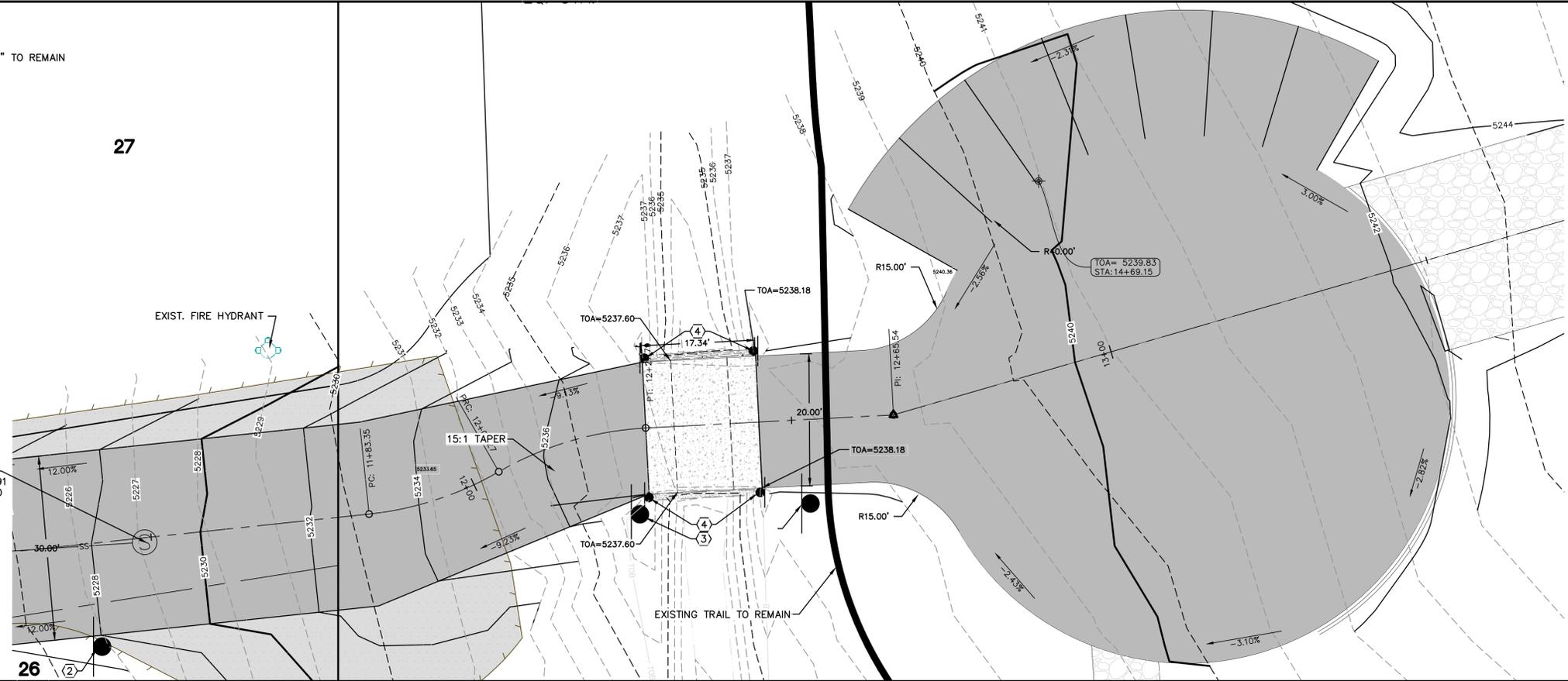
K:\3-19-033-00 Moyle D\CAD\Design\XR BASE MOYLE DR-2 TEST-1.dwg 11/8/2019 11:30 AM

- ① CONST. NO PARKING SIGN
- ② CONST. ROADWAY NARROWS SIGN
- ③ EXIST. SIGN "NO MOTORIZED VEHICLES EXCEPT FOR EMERGENCY ACCESS" TO REMAIN
- ④ EXIST. TYPE 3 OBJECT MARKER SIGN TO REMAIN

- █ CONST. ASPHALT
- ▨ EXISTING CULVERT TO REMAIN
- ▨ EXISTING DIRT ROADWAY TO REMAIN
- BOS= BOTTOM OF SWALE



27



NOTES TO CONTRACTOR:

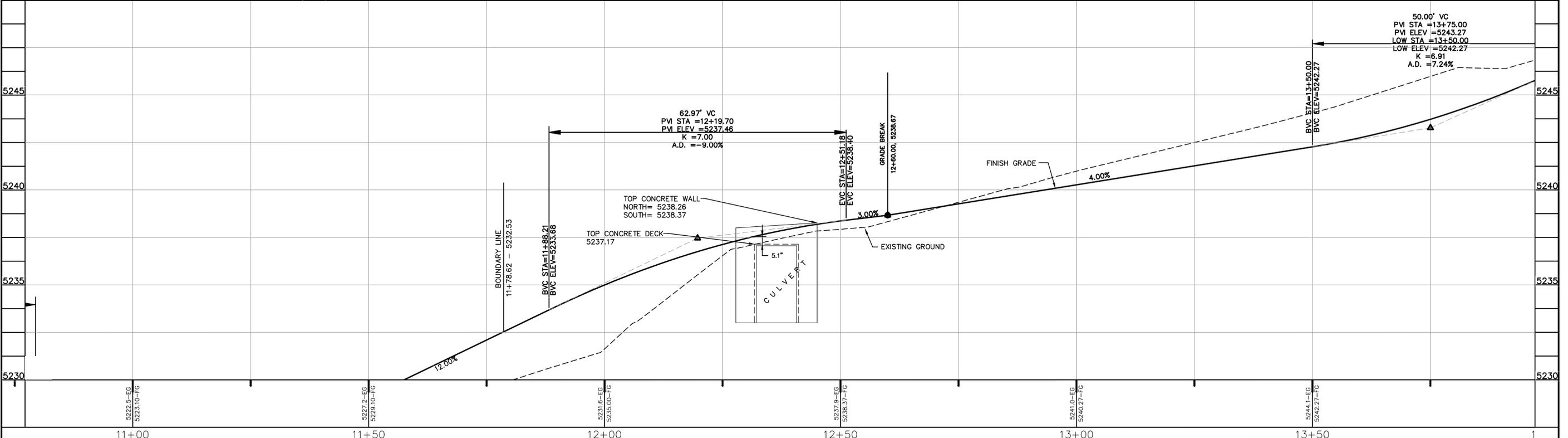
- 1) CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, CHANNEL CROSSINGS, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- 2) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

(24"x36")
 HORIZONTAL 1" = 10'
 VERTICAL 1" = 2.5'

(11"x17")
 HORIZONTAL 1" = 20'
 VERTICAL 1" = 5'

26



NO.	REVISIONS	BY	DATE	REV. COGO FILE	DATE
5					
4					
3					
2					
1					

Northern ENGINEERING INC
 ENGINEERING-LAND PLANNING
 CONSTRUCTION MANAGEMENT

1040 E. 800 N.
 OREM, UTAH 84097
 (801) 802-8992

MOYLE DRIVE

MOYLE DRIVE PLAN	JOB NO. 3-19-033
ALPINE CITY, UTAH	SHEET NO. 3

K:\3-19-033-00 Moyle D\CAD\Design\MOYLE DR P&P-2 TEXT-1.dwg 11/8/2019 11:40 AM

