



Public Works  
Planning & Development Services Division  
<http://www.utah.gov/pmn/index.html>

## Magna Township Planning Commission

### Public Meeting Agenda

# Thursday, March 14, 2013

## 6:30 P.M.

THE MEETING WILL BE HELD IN THE MEETING ROOM AT THE SALT LAKE COUNTY  
MAGNA LIBRARY, 8950 WEST MAGNA MAIN STREET, MAGNA, UT 84044.

**ANY QUESTIONS, CALL 385-468-6700**

*REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 468-2120 OR 468-2351: TDD 468-3600.*

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

### **Business Items - 6:30 P.M.**

- 1) Adoption of minutes from the February 14, 2013 meeting.
- 2) Other Business

### **Public Hearing Items - Starting immediately following Business Items**

**28266** – Nefi Garcia on behalf of Verizon Wireless is requesting approval of a Conditional Use Permit for a new Monopole Wireless Telecommunication Facility – **Address:** 3904 South 8000 West – **Zone:** M-1 (Manufacturing) – **Community Council:** Magna – **Planner:** Nancy Moorman.

**28302** – David Murdock is requesting site plan review for a new Family Dollar Retail Store as part of PUD Subdivision #27193 – **Address:** 2750 South 8400 West – **Zone:** C-2 (Commercial) – **Community Council:** Magna – **Planner:** Nancy Moorman.

### **Adjournment**

## **Rules of Conduct for the Planning Commission Meeting**

- First: Applications will be introduced by a Staff Member.
- Second: The applicant will be allowed up to 15 minutes to make their presentation.
- Third: The Community Council representative can present their comments.
- Fourth: Persons in favor of, or not opposed to, the application will be invited to speak.
- Fifth: Persons opposed to the application will be invited to speak.
- Sixth: The applicant will be allowed 5 minutes to provide concluding statements.
- Speakers will be called to the podium by the Chairman.
  - Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
  - All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
  - For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 2 minutes per person, or 5 minutes for a group spokesperson.
  - After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.



**MEETING MINUTE SUMMARY**  
**MAGNA TOWNSHIP PLANNING COMMISSION MEETING**  
 Magna Library, Magna

February 14, 2013 6:30 p.m.

**Approximate meeting length:** 25 minutes

**Number of public in attendance:** 6

**Summary Prepared by:** Jocelyn Walsh-Magoni

**Meeting Conducted by:** Commissioner Kunz, Chair

**IN ATTENDANCE**

**Commissioners / Staff:**

Commissioner Name	Present		Absent Excused
	Public	Business	
Paul Kunz (Chair)	x	x	
Dan Cripps (Vice Chair)	x	x 6:40	
Michael Brooks	x	x	
John Bodenhofer			x
Lance Jacob	x	x	
Kelly Harman	x	x	
Nathan Pilcher	x	x	

Planning:	Public Hearing	Business Meeting	Other:	Public Hearing	Business Meeting
Max Johnson	x	x	Chris Preston (DA)	x	x
Jocelyn Walsh-Magoni	x	x			
Nancy Moorman	x	x			

**Business Meeting**

**Meeting began at 6:35 p.m.**

**1) Adoption of minutes from the January 17, 2013 meeting.**

**Motion:** To approve the minutes from the January 17, 2013 meeting as presented to the Commission.

**Motion by:** Commissioner Harman

**2<sup>nd</sup> by:** Commissioner Jacob

**Vote:** Unanimous (Commissioner Cripps arrived after approval of Minutes)

**2) Other Business**

Nancy Moorman provided an update on two upcoming meetings. The first is the Magna Main Street meetings that are coming up soon. Staff is in process of writing Form Based Code. She asked for volunteers from the Planning Commission to be part of the review committee, for a duration of 3-6 months. There will be an informational session on February 28, 2013 from 3:00 – 4:00 p.m. at the South Salt Lake City Hall. There will be regular monthly meetings after that.

The other meetings will be for the Magna Main Street Implementation Committee. In particular, this will affect those who live, work, and use Magna Main Street. The first meeting is Tuesday, February 19, 2013 at 5:30 p.m. at the Magna Library.

### **PUBLIC HEARING**

**Began at 6:43 p.m.**

**28261** – Sharon & Ann Rushton are requesting approval of a Preliminary Plat for a 7-lot Subdivision on a 2.55 acre site – **Address:** 2902 South 7200 West – **Zone:** A-1/zc (Agricultural – excluding duplexes and dwelling groups) – **Community Council:** Magna – **Planner:** Nancy Moorman.

**Presentation:** Nancy Moorman, Planner **Recommendation:** See the attached Staff Report

*There was a brief discussion between staff and the Planning Commission.*

### **PUBLIC DISCUSSION OPENED**

**Speaker # 1:** Applicant

**Name:** Sharon Rushton

**Address:** 2928 South 7200 West 2928 S

**Issue:** Mr. Rushton requested clarification on what the differences are between the current setbacks and what he submitted to Planning Staff. He explained to the commission that he has two developers interested in the project but there has not been a decision as to who will be selected. Each lot is under ¼ of an acre, and he is unsure what the exact square footage of the homes will be.

**Speaker # 2:** Magna Town Community Council representative

**Name:** Todd Richard

**Address:** Not provided

**Issue:** This was presented to the town council for informational purposes only. Mr. Richard was under the impression that they had to see subdivisions of 5 lots or more. Nancy clarified that subdivision applications are not taken to the community councils.

### **PUBLIC DISCUSSION CLOSED**

**Motion:** To recommend approval of application # 28261 to County Council with recommendations outlined in the Staff Report.

**Motion by:** Commissioner Cripps

**2<sup>nd</sup> by:** Commissioner Harman

**Vote:** Unanimous

**28275 – Continued from the January 17<sup>th</sup> Meeting** – Salt Lake County is considering amendments to Salt Lake County Ordinance 19.92 BOARD OF ADJUSTMENT and all other chapters and sections of Salt Lake County Ordinances which reference the Board of Adjustment (BOA). Specifically, the County is considering replacing the BOA with an Appeal Authority/Administrative Law Judge (AA/ALJ). **Community Council:** Magna. **Planner:** Nancy Moorman.

**Presentation:** Nancy Moorman, Planner **Recommendation:** See the attached Staff Report

*Nancy Moorman stated that this application will be presented to the Magna Town Council next week and she will submit their feedback to the commission. There was a brief discussion between staff and the Planning*

*Commission. Cripps stated that there have been concerns about the current appeals process and he feels that this amendment will be more beneficial.*

**PUBLIC DISCUSSION OPENED**

**Speaker # 2:** Magna Town Council representative

**Name:** Todd Richards

**Address:** 3455 S. 8260 W., Magna

**Issue:** The Magna Town Council has met and discussed the proposed ordinance amendment and they recommend approval.

**PUBLIC DISCUSSION CLOSED**

**Motion:** To recommend approval of the proposed ordinance amendment in application #28275 to the County Council as outlined in the Staff Report.

**Motion by:** Commissioner Cripps

**2<sup>nd</sup> by:** Commissioner Brooks

**Vote:** Unanimous

**MEETING ADJOURNED**

**Time adjourned:** 7:00 p.m.



**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Magna Township Planning Commission								
<b>Meeting Date and Time:</b>	Thursday, March 14, 2013	06:30 PM	<b>File No:</b>	2	8	2	6	6	
<b>Applicant Name:</b>	Nefi Garcia	<b>Request:</b>	Conditional Use						
<b>Description:</b>	Monopole Wireless Telecommunication Facility								
<b>Location:</b>	3904 South 8000 West								
<b>Zone:</b>	M-1 Light Industrial	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Community Council Rec:</b>	Varies								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Nancy Moorman								

**1.0 BACKGROUND**

**1.1 Summary**

Nefi Garcia is requesting Conditional Use approval on behalf of Verizon Wireless for a new Monopole Wireless Telecommunication Facility located on the southwest corner of the property: 3904 South 8000 West. The property is located in an M-1 zone but is within 300 feet of a residential zone boundary. Therefore, a Conditional Use approval is needed from the Planning Commission.

The applicant would like the tower to be 80 feet in height in order to provide the level of service necessary for the area. Since the property is in such close proximity to a residential neighborhood, a stealth design is required (see the ordinance reference in 2.2 below).

The proposed tower will sit about 40 feet from the only access way to a residential subdivision containing 29 approved single-family lots, 15 pending single-family lots, and an additional subdivision phase that has not been submitted yet. Since this will be the only point of entry/exit for the subdivision, the residents will drive by this tower every day.

**1.3 Neighborhood Response**

No neighborhood response has been received at the time of this report.

**1.4 Community Council Response**

The Magna Town Community Council heard this application at their February 7, 2013 meeting. The council agreed that the 80' height was ok to achieve the level of service the community would like. However, the council discussed that the stealth design of the tree is inappropriate for the area, and they would like to see a different type of stealth design.

The Magna Area Community Council heard this application at their February 21, 2013 meeting. A

recommendation is not available at the time of this report.

## 2.0 ANALYSIS

### 2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		The proposed plans comply with all applicable provisions of the zoning ordinance.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Compliance with other agency reviews and requirements will be completed as part of the technical review process prior to the issuance of final approval by planning staff.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		The proposed plans will not present a traffic hazard for the area and have been approved by the Traffic Engineer.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		Any identified issues relating to the above list will be addressed as part of the technical review, prior to issuance of the final conditional use permit by planning staff.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		The proposed plans with the compliance of the conditions listed in this staff report will not significantly impact the quality of life of residents in the vicinity.

### 2.2 Zoning Requirements

#### 19.83.060 - Facility types and standards

Wireless telecommunications facilities are characterized by the type and location of the antenna structure. There are four general types of antenna structures: wall mounted; roof mounted; monopoles; and lattice towers. Standards for the installation of each type of antenna are as follows:

C. Monopole. The following provisions apply to monopoles:

1. The height limit for monopoles is sixty feet except the planning commission may allow a monopole up to eighty feet in the C-2, C-3, M-1, and M-2 zones if it finds: (1) that the monopole will blend in with surrounding structures, poles, or trees and is compatible with surrounding uses, (2) the monopole will be available for co-location with other companies, and (3) the monopole will be setback at least three hundred feet from any residential zone boundary. The height shall be measured from the top of the structure including antennas, to the original grade directly adjacent to the monopole.
2. In all R-1, R-2, and R-4-8.5 zones, monopoles will only be allowed in conjunction with an existing public or quasi-public use. Public and quasi-public uses, as defined in Sections 19.04.440 and 19.04.450, include but are not limited to churches, schools, utilities, and parks.
3. No monopoles shall be allowed in the front yard setback of any lot.
4. Monopoles shall be setback from any residential structure a distance equal to its height.
5. Stealth monopole facilities are encouraged and shall be allowed to vary from the provisions of this section as determined by development services division for permitted uses and the planning commission for conditional uses. Stealth monopoles are not required to be located with public or quasi-public uses in all R-1, R-2 and R-4.95 zones (see Table 19.83.050).

#### **19.83.070 - Color**

Monopoles, antennas, and any associated buildings or equipment shall be painted to blend with the surroundings which they are most commonly seen. The color shall be determined on a case-by-case basis by the planning commission for conditional uses and development services division for permitted uses. Within six months after the facility has been constructed, the planning commission or the development services division may require the color be changed if it is determined that the original color does not blend with the surroundings.

#### **19.83.090 - Additional requirements**

The following shall be considered by the planning commission for conditional uses:

A. Compatibility of the proposed structure with the height and mass of existing buildings and utility structures.

B. Location of the antenna on other existing structures in the same vicinity such as other monopoles, buildings, water towers, utility poles, athletic field lights, parking lot lights, etc. where possible without significantly impacting antenna transmission or reception.

C. Location of the antenna in relation to existing vegetation, topography including ridge lines, and buildings to obtain the best visual screening.

D. Spacing between monopoles which creates detrimental impacts to adjoining properties.

E. Installation of, but not limited to, curb, gutter, sidewalk, landscaping, and fencing as per Sections 19.76.210 and 19.84.050

### **19.83.100 - Accessory buildings**

Accessory buildings to antenna structures must comply with the required setback, height and landscaping requirements of the zoning district in which they are located. All utility lines on the lot leading to the accessory building and antenna structure shall be underground.

### **2.3 Other Agency Recommendations or Requirements**

**Building Review:** No issues with the site plan, however I denied it at this point to make sure the applicant is aware of the issues with putting the equipment shelter as close to the property line as is indicated on the submitted drawings. The building code has regulations based on the proximity of the building to the actual property lines.

At 10' from the property line there would be no issues. Currently the equipment shelter is noted at being 4' from the property line. To be this close to the property line, the wall of the shelter facing the property line would be required to be 1 hour rated with no openings at all allowed in that wall facing the property line including those for vents, etc.

Typically, the mechanical code also requires the intake and exhaust vents must be located a minimum of 10' from the property lines with some exceptions.

At time of building permit application, please provide two complete sets of plans and engineering calculations at time of building permit application.

These issues will be dealt with at the building permit stage

**Grading Review:** Submit a copy of the Geotechnical soils report. Submit site grading and drainage plans for review and comment.

**Urban Hydrology:** The developer shall grade this property in accordance with the approved site grading and lot drainage plan so as not to discharge any additional storm water onto adjacent properties. The developer shall be required to permanently contain all generated water on his own property or routed to a county drainage system.

**Health Department:** Approved

**Traffic Engineering:** Approved.

### **3.0 STAFF RECOMMENDATION**

#### **3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:**

- 1 ) The monopole shall have a maximum height of 60 feet unless the Planning Commission approves an appropriate stealth facility design.
- 2 ) The applicant shall comply with all applicable ordinances and the recommendations and requirements of the individual reviewers as part of the technical review.
- 3 ) The monopole tower shall be made available to other wireless telecommunications providers for co-location of their antennas.
- 4 ) Future applications for co-location upon this tower to be approved by planning staff.
- 5 ) The facility shall be screened with a solid, decorative, opaque fence to be finalized with planning staff.

#### **3.2 Reasons for Recommendation**

- 1 ) Co-locating other antennas on this monopole will further reduce the potential visual impact of the site.
- 2 ) Since the addition of new antennas will have minimal impact on the community once the monopole is constructed, it is recommended that staff review and approve applications for future co-location to allow other telecommunications providers to obtain approval quickly, serving their interest as well as the interest of the public for enhanced service.
- 3 ) Screening the facility with an opaque fence will reduce the visual impact to the neighboring residential subdivision that uses the adjacent road for entry/exit.

Planning and Development  
Interactive GIS Map

Layer Options Basemaps

Identify

Parcel  
ID 10: 1432431010  
ID 14: 14324310100000  
Address: 3904 S 8000 W  
Acreage: 4.33  
Owner: GEORGE, TERRY C &  
Owner Address: 8735 W 3500 S

500 ft  
Latitude: 40.690212 Longitude: -112.080679

POWERED BY esri

**Planning and Development**  
Interactive GIS Map

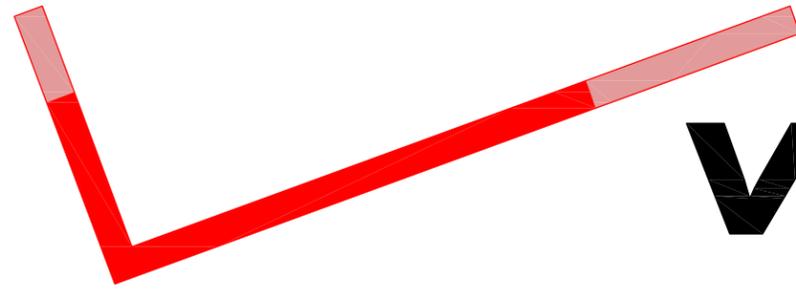
Layer Options Basemaps

**Identify**

Parcel  
ID 10: 1432431010  
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Address: 3904 S 8000 W  
Acreage: 4.33  
Owner: GEORGE, TERRY C &  
Owner Address: 8735 W 3500 S

500 ft  
Latitude: 40.690212 Longitude: -112.090453

POWERED BY esri



# verizonwireless

# SAL - FILLING STATION

**verizon**  
wireless

VERIZON WIRELESS  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84088

**TAEC**

Technology Associates Engineering Corporation Inc.  
**TECHNOLOGY ASSOCIATES**

UTAH MARKET OFFICE  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070

CORPORATE OFFICE  
5473 KEARNY VILLA ROAD, SUITE 300  
SAN DIEGO, CALIFORNIA 92123

DRAWN BY: JAY C  
CHECKED BY: NEFI G

### SITE INFORMATION

**APPLICANT:**  
VERIZON WIRELESS  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84088

**SITE ADDRESS:**  
3904 SOUTH 8000 WEST  
MAGNA, UTAH 84044

**LATITUDE AND LONGITUDE:**  
N 40°41'12.21", W 112°05'04.88"

**ZONING JURISDICTION:**  
SALT LAKE COUNTY

**PROJECT DESCRIPTION:**  
VZW IS PROPOSING TO CONSTRUCT AN UNMANNED COMMUNICATIONS FACILITY CONSISTING OF ANTENNAS MOUNTED TO A NEW MONOPINE WITH EQUIPMENT LOCATED INSIDE A 11'-6" X 26" PREFABRICATED EQUIPMENT SHELTER

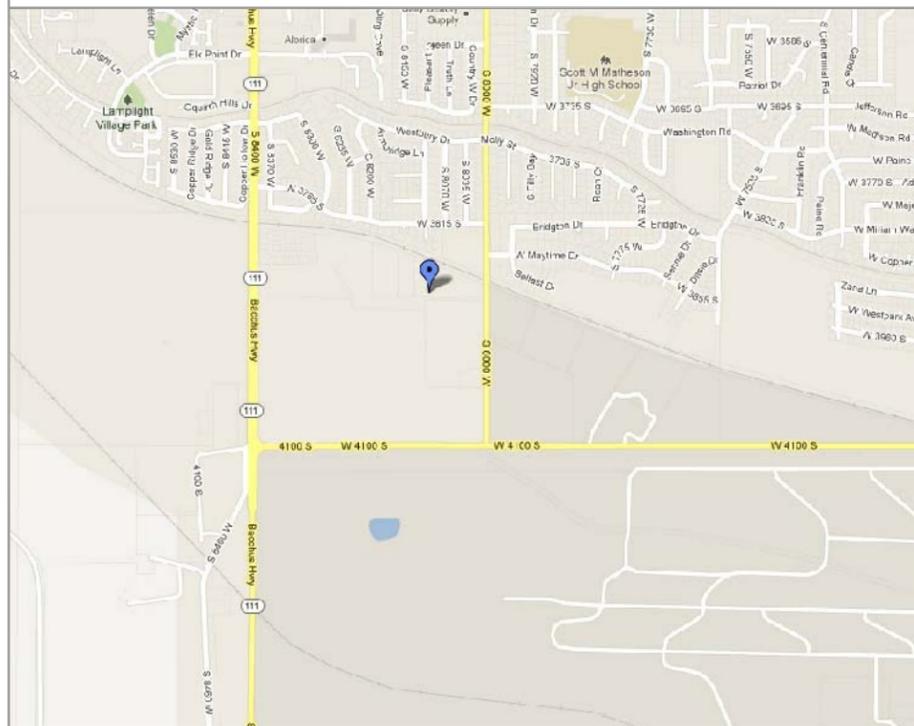
**TYPE OF CONSTRUCTION:**  
PRE-FAB SHELTER, MONOPINE, AND ANTENNAS

**HANDICAP REQUIREMENTS:**  
FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION, HANDICAP ACCESS REQUIREMENTS DO NOT APPLY

**POWER COMPANY:**  
ROCKY MOUNTAIN POWER, 1-888-221-7070

**TELEPHONE COMPANY:**  
CENTURY LINK, 1-800-244-1111

### LOCATION MAP



### APPROVALS

VERIZON WIRELESS REPRESENTATIVE:  
VERIZON WIRELESS RF ENGINEER:  
TAIC SITE ACQUISITION:  
TAIC CONSTRUCTION MANAGER:  
SITE OWNER:

### DRAWING INDEX

SHEET NO.	SHEET TITLE	REV	REV DATE
T100	TITLE SHEET, VICINITY MAP, GENERAL SITE INFORMATION	1	01.22.2013
SURV	SITE SURVEY	1	01.18.2013
C100	OVERALL SITE PLAN	1	01.22.2013
C101	ENLARGED SITE PLAN	1	01.22.2013
C200	SITE ELEVATIONS	1	01.22.2013

REV	DATE	DESCRIPTION
1	01.22.2013	MOVED LEASE AREA
0	12.07.2012	ZONING DRAWINGS

### DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, AND EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME

### DRIVING DIRECTIONS

FROM VZW OFFICE AT 9656 SOUTH PROSPERITY ROAD, GO NORTH TO NEW BINGHAM HWY. TURN LEFT (WEST) AND PROCEED TO SR 111. TURN RIGHT (NORTH) AND FOLLOW ROAD TO 4100 SOUTH. TURN RIGHT (EAST) ON 4100 SOUTH AND PROCEED TO 8000 WEST. TURN LEFT (NORTH) AND FOLLOW 8000 WEST TO HELEN DRIVE (3904 SOUTH) WHICH IS ON THE LEFT SIDE OF ROAD AND JUST BEFORE THE RAILROAD TRACKS. THE SITE IS LOCATED ON THE RIGHT (NORTH) SIDE OF THE HELEN DRIVE.

### CONTACT INFORMATION

**SITE ACQUISITION:**  
TECHNOLOGY ASSOCIATES  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070  
CONTACT: NEFI GARCIA  
PHONE: 801-463-1020

**SAL - FILLING STATION**  
SE SEC 32, T1S, R2W  
3904 SOUTH 8000 WEST  
MAGNA, UTAH 84044  
-- RAWLAND SITE --

SHEET TITLE  
TITLE SHEET  
VICINITY MAP  
GENERAL INFORMATION

SHEET NUMBER  
**T100**



**UNDERGROUND SERVICE ALERT, CALL 'BLUE STAKES OF UTAH' @ 811 OR 1-800-662-4111**  
THREE WORKING DAYS BEFORE YOU DIG

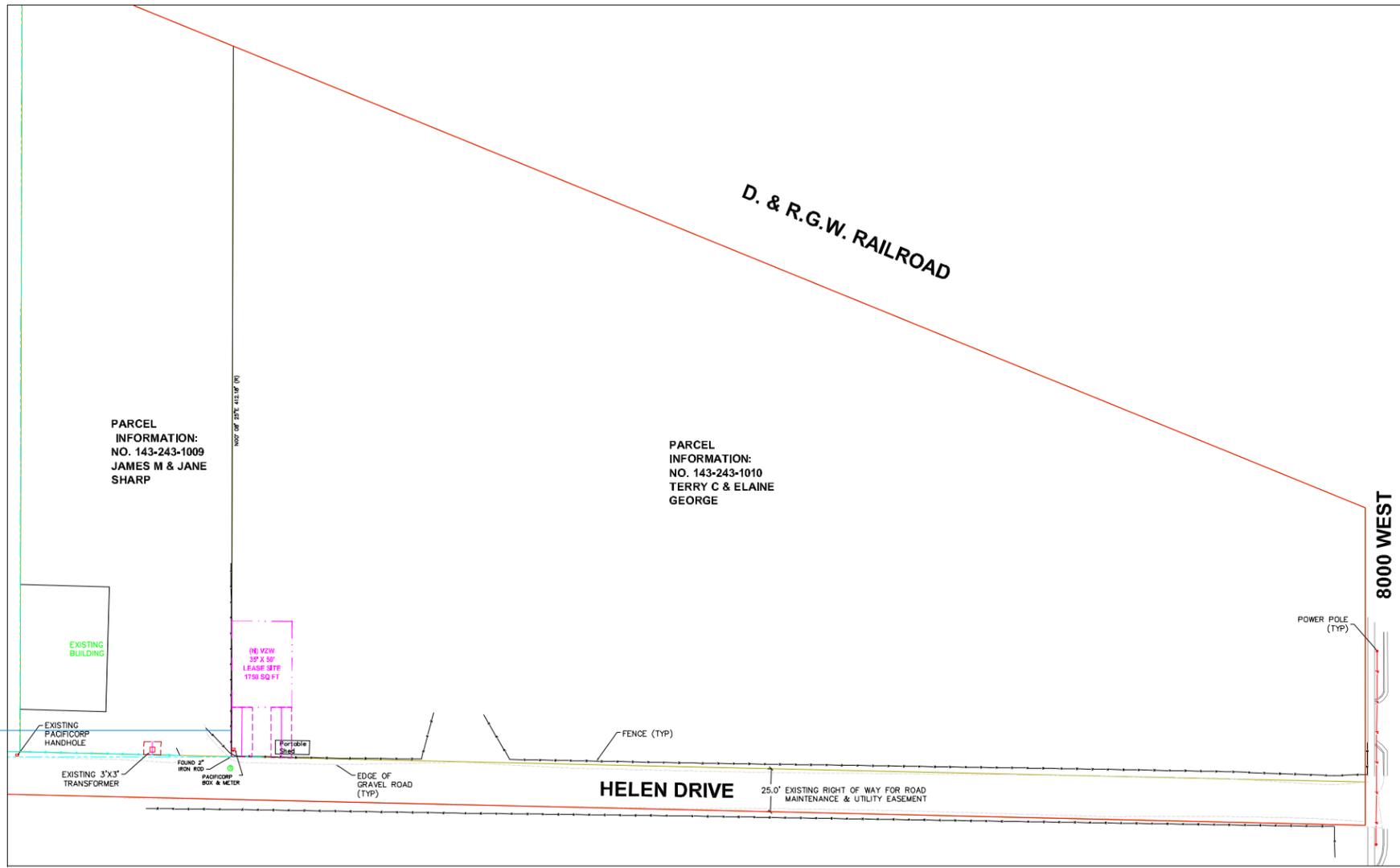


32  
32  
FOUND BRASS CAP MONUMENT MARKING THE CENTER OF SECTION 32, T1S, R2W

BASIS OF BEARING  
NORTH 00°08'25" EAST 2639.07' (R) (M)

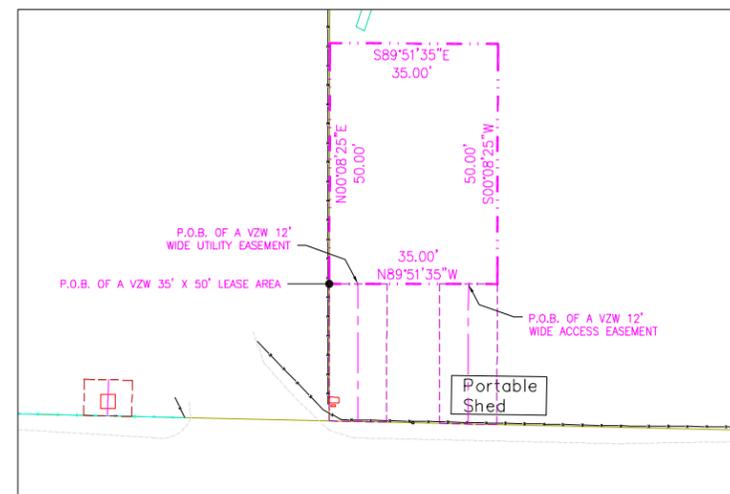
NORTH 1691.30' (M)

5  
5  
FOUND BRASS CAP MONUMENT MARKING THE SOUTH QUARTER CORNER OF SECTION 32, T1S, R2W



PARCEL INFORMATION:  
NO. 143-243-1009  
JAMES M & JANE SHARP

PARCEL INFORMATION:  
NO. 143-243-1010  
TERRY C & ELAINE GEORGE



ENLARGED SITE DETAIL - NOT TO SCALE

**NOTE: THE REBAR AND CAPS SET BY MILLER ASSOCIATES AT THE TIME OF SURVEY (STAMPED L.S. 155641) DO NOT REPRESENT THE CURRENT LEASE AREA**

**CERTIFICATE OF SURVEY:**  
I, RICHARD W. MILLER, PROFESSIONAL LAND SURVEYOR, STATE OF UTAH, LICENSE NUMBER 155641, CERTIFY THAT I HAVE SUPERVISED A SURVEY ON THE GROUND AS SHOWN HEREON:

**VERIZON WIRELESS LEASE SITE DESCRIPTION:**  
BEGINNING AT A POINT LOCATED NORTH 1704.79 FEET AND EAST 1972.31 FEET FROM THE SOUTH QUARTER CORNER OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN (BASIS OF BEARING NORTH 00°08'25" EAST 2639.07 FEET BETWEEN THE SOUTH QUARTER AND CENTER OF SAID SECTION) AND RUNNING THENCE NORTH 00°08'25" EAST 50.00 FEET; THENCE SOUTH 89°51'35" EAST 35.00 FEET; THENCE SOUTH 00°08'25" WEST 50.00 FEET; THENCE NORTH 89°51'35" WEST 35.00 FEET TO THE POINT OF BEGINNING.  
CONTAINS: 1750 SQ FT OR 0.04 ACRES.

**VERIZON WIRELESS 12' WIDE ACCESS EASEMENT DESCRIPTION:**  
A 12 FOOT WIDE ACCESS EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS, BEING 6 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
BEGINNING AT A POINT WHICH LIES NORTH 1704.72 FEET AND EAST 2001.31 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION, (BASIS OF BEARING BEING NORTH 00°08'25" EAST BETWEEN THE SOUTH QUARTER CORNER AND THE CENTER OF SECTION 32) AND RUNNING THENCE SOUTH 00°08'25" WEST 29.09 FEET, MORE OR LESS TO THE NORTH LINE OF AN EXISTING 25' WIDE ACCESS AND UTILITY EASEMENT.  
CONTAINS: 349 SQ FT OR 0.008 ACRES.

**VERIZON WIRELESS 12' WIDE UTILITY EASEMENT DESCRIPTION:**  
A 12 FOOT WIDE UTILITY EASEMENT FOR THE PURPOSE OF INSTALLING UNDERGROUND UTILITIES, BEING 6 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:  
BEGINNING AT A POINT WHICH LIES NORTH 1704.77 FEET AND EAST 1978.31 FEET FROM THE SOUTH QUARTER CORNER OF SAID SECTION, (BASIS OF BEARING BEING NORTH 00°08'25" EAST BETWEEN THE SOUTH QUARTER CORNER AND THE CENTER OF SECTION 32) AND RUNNING THENCE SOUTH 00°08'25" WEST 28.63 FEET, MORE OR LESS TO THE NORTH LINE OF AN EXISTING 25' WIDE ACCESS AND UTILITY EASEMENT.  
CONTAINS: 344 SQ FT OR 0.007 ACRES.

**NARRATIVE:**  
(1) THE PURPOSE OF THIS SURVEY IS TO LOCATE AND SURVEY A PROPOSED COMMUNICATIONS TOWER SITE.  
(2) THE BASIS OF BEARING USED FOR THIS SURVEY IS AS SHOWN ON THIS PLAT, FROM FOUND MONUMENTS AS LOCATED IN THE FIELD.  
(M) = MEASURED DISTANCE.  
(R) = RECORDED DISTANCE.

(3) REFERENCE PLATS:  
(A) NO S92-01-0046 PETERSON & WANLASS SURVEY FOR RON THOMPSON DATED MAY 1, 1991.  
(B) NO S99-08-0573 KUNZ ENGINEERING FOR TERRY GEORGE DATED DECEMBER 3, 1999.  
(C) NO S02-08-0337 MONIEL ALTA/ASCM DATED MAY 14, 2002.

**INFORMATION FOR THE CENTER OF THE VZW TOWER**  
STATE PLANE COORDINATES - NAD 83 (FT)  
NORTHING=7419419 EASTING=11478261  
GEODETIC COORDINATES - NAD 83  
LATITUDE = N 40°41'12.21"  
LONGITUDE = W 112°06'04.88"  
GROUND ELEVATION - NAVD88  
4519.99' A.M.S.L.  
STATE OF UTAH, CENTRAL ZONE



**TAECS**  
Technology Associates Engineering Corporation  
**TECHNOLOGY ASSOCIATES**

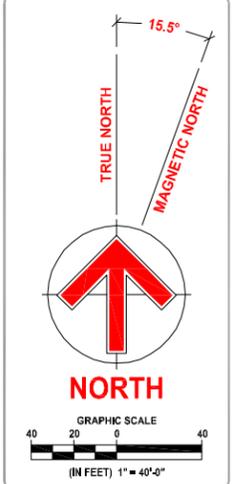
**UTAH MARKET OFFICE**  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070  
**CORPORATE OFFICE**  
5930 PRIESTLY DRIVE  
CARLSBAD, CALIFORNIA 92008

SURVEY PREPARED BY:  
**MILLER ASSOCIATES INC.**  
3225 W. CALIFORNIA AVE., SUITE 202  
SALT LAKE CITY, UTAH 84104  
PHONE: 801-975-1083  
FAX: 801-975-1081

PROJECT NO: 12196  
DRAWN BY: BH  
CHECKED BY: RM

REV	DATE	DESCRIPTION
1	01.18.2013	MOVED LEASE AREA
0	11.28.2012	SITE SURVEY

REV	DATE	DESCRIPTION



SAL - FILLING STATION  
SE SEC 32, T1S, R2W  
3904 SOUTH 8000 WEST  
MAGNA, UTAH 84044  
-- RAWLAND SITE --

SHEET TITLE  
**SITE SURVEY**

SHEET NUMBER  
**SURV**

ASAC INFORMATION SHEET 91:003

INFORMATION REGARDING SURVEY DATA SUBMITTED TO THE FAA

FAA Order 8260.19c requires proponents of certain proposed construction (located beneath instrument procedures) provide the FAA with a site survey and/or letter, from a licensed land surveyor, which certifies the site coordinates and the surface elevation at the site. On October 15, 1992, the FAA started using the North American Datum of 1983 (NAD-83), and therefore all site coordinates should be based on NAD-83. The FAA requires that the survey letter contain an accuracy statement that meets accuracy tolerances required by the FAA. The most requested tolerances are +/- 50 feet in the horizontal and +/- 20 feet in the vertical (2-C). When the site coordinates and/or site elevation can be certified to a greater accuracy than requested by the FAA, please do so.

In order to avoid FAA processing delays, the original site survey or certifying letter should be attached to the 7460 when it is filed at the FAA's regional office. It must be signed and sealed by the licensed land surveyor having performed or supervised the survey.

The FAA accuracy codes and a sample accuracy statement are listed below.

ACCURACY CODES:

<u>HORIZONTAL</u>		<u>VERTICAL</u>	
<u>Code</u>	<u>Tolerance</u>	<u>Code</u>	<u>Tolerance</u>
1	+/- 15 ft	A	+/- 3 ft
2	+/- 50 ft	B	+/- 10 ft
3	+/- 100 ft	C	+/- 20 ft
4	+/- 250 ft	D	+/- 50 ft
5	+/- 500 ft	E	+/- 125 ft
6	+/- 1000 ft	F	+/- 250 ft
7	+/- 1/2 NM	G	+/- 500 ft
8	+/- 1 NM	H	+/- 1000 ft
9	Unknown	I	Unknown

Date: NOVEMBER 27, 2012

Re: SAL - FILLING STATION

SE 1/4 OF SECTION 32, TOWNSHIP 1 SOUTH, RANGE 2 WEST, SALT LAKE MERIDIAN  
3904 SOUTH 8000 WEST, MAGNA, UTAH 84044

I certify that the latitude of N 40°41'12.21", and the longitude of W 112°05'04.88", are accurate to within 15 feet horizontally and the site elevation of 4519.99 feet, AMSL (American Mean Sea Level), is accurate to within +/- 3 feet vertically. The horizontal datum (coordinates) are in terms of the North American Datum of 1983 (NAD-83) and are expressed as degrees, minutes and seconds, to the nearest (tenth/hundredth) of a second. The vertical datum (heights) are in terms of the (NAVD88) and are determined to the nearest foot.



Professional Licensed Land Surveyor:  
1-A FAA Letter

Richard W. Miller, Utah LS no. 155641

**verizon**  
wireless

VERIZON WIRELESS  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84088

**TAEC**

Technology Associates Engineering Corporation Inc.

**TECHNOLOGY ASSOCIATES**

UTAH MARKET OFFICE  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070

CORPORATE OFFICE  
5473 KEARNY VILLA ROAD, SUITE 300  
SAN DIEGO, CALIFORNIA 92123

DRAWN BY: JAY C

CHECKED BY: NEFI G

REV	DATE	DESCRIPTION
1	01.22.2013	MOVED LEASE AREA
0	12.07.2012	ZONING DRAWINGS

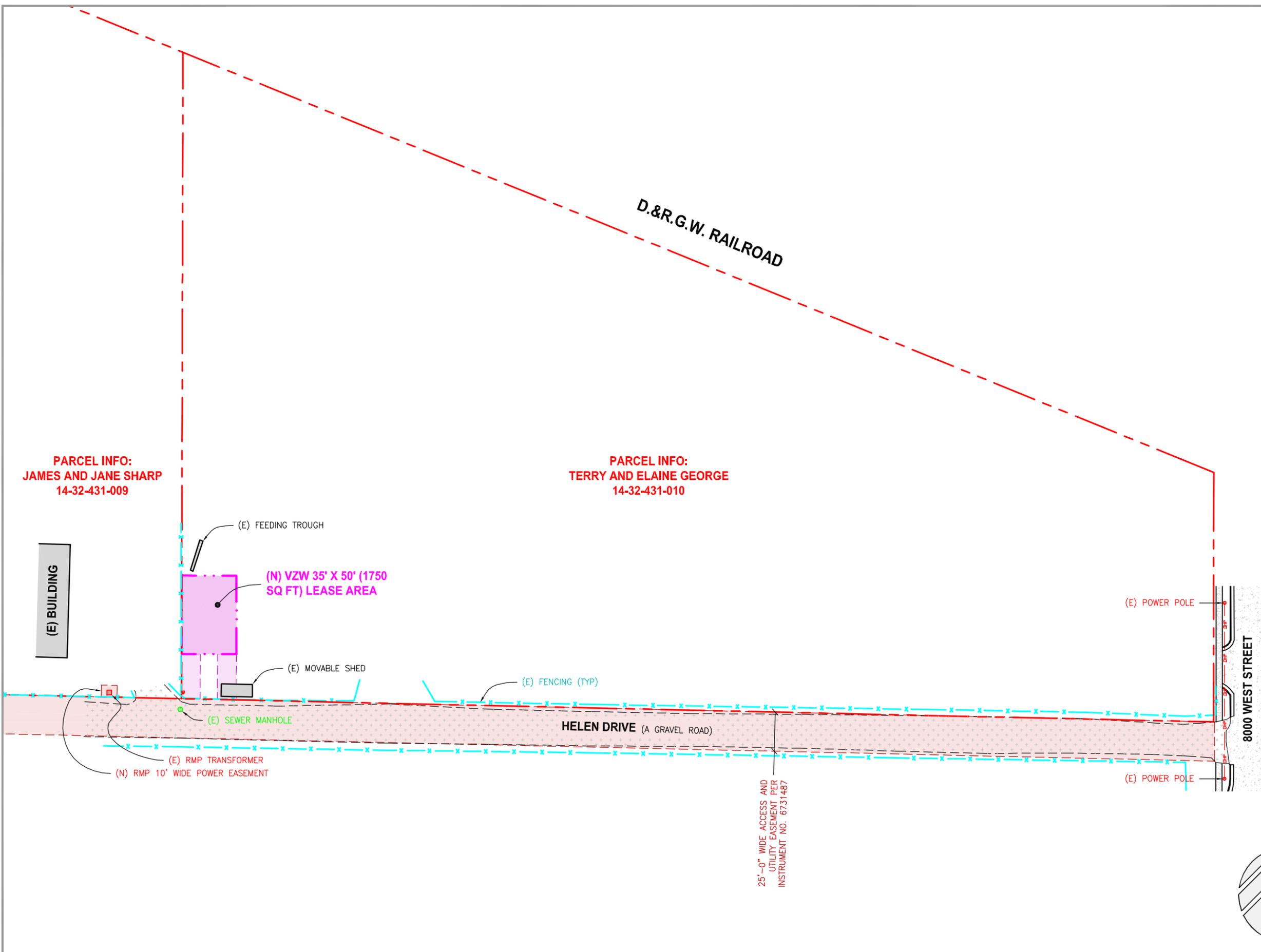
SAL – FILLING STATION  
SE SEC 32, T1S, R2W  
3904 SOUTH 8000 WEST  
MAGNA, UTAH 84044  
-- RAWLAND SITE --

SHEET TITLE

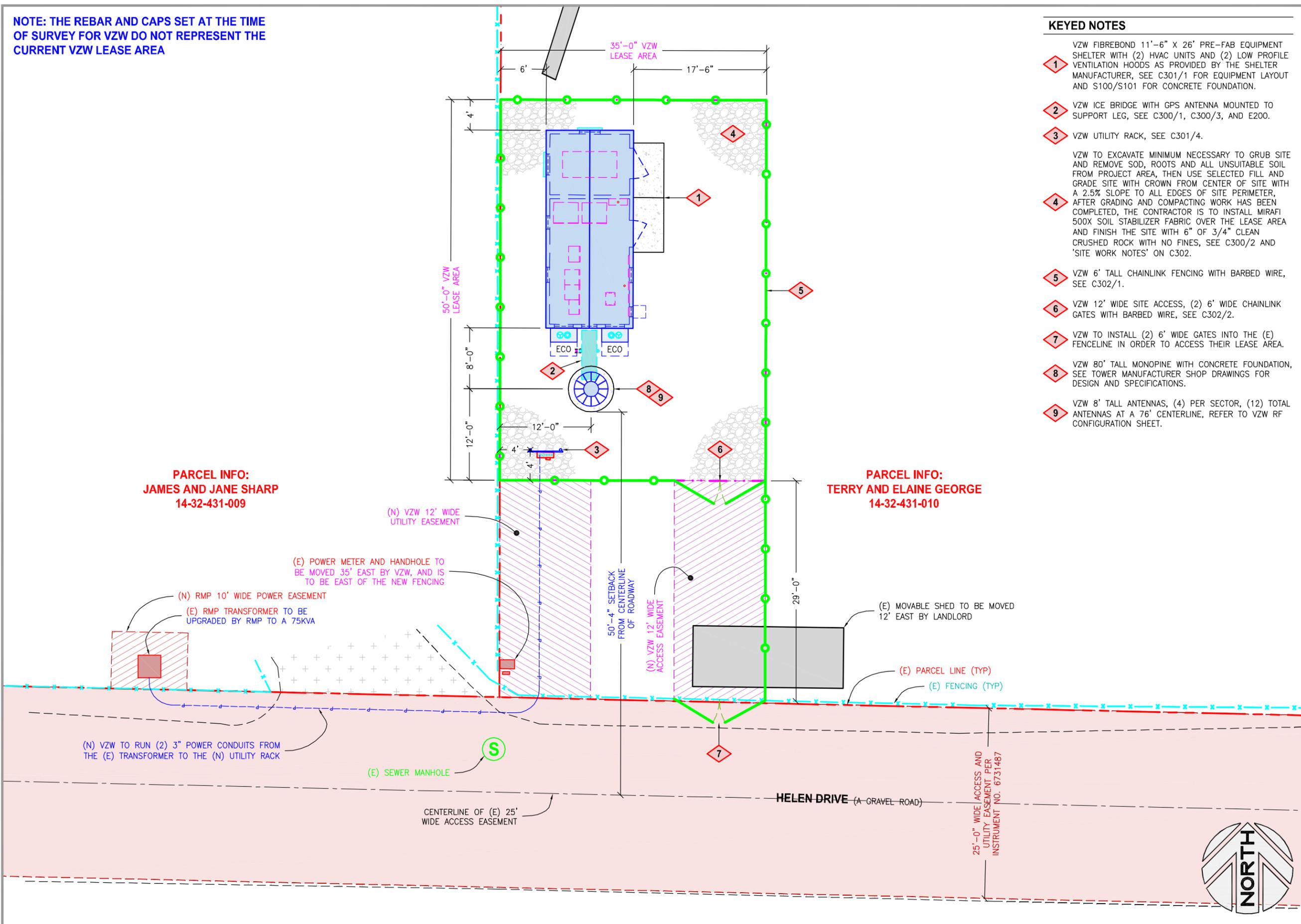
OVERALL SITE PLAN

SHEET NUMBER

**C100**



NOTE: THE REBAR AND CAPS SET AT THE TIME OF SURVEY FOR VZW DO NOT REPRESENT THE CURRENT VZW LEASE AREA



**KEYED NOTES**

- 1 VZW FIBREBOND 11'-6" X 26' PRE-FAB EQUIPMENT SHELTER WITH (2) HVAC UNITS AND (2) LOW PROFILE VENTILATION HOODS AS PROVIDED BY THE SHELTER MANUFACTURER, SEE C301/1 FOR EQUIPMENT LAYOUT AND S100/S101 FOR CONCRETE FOUNDATION.
- 2 VZW ICE BRIDGE WITH GPS ANTENNA MOUNTED TO SUPPORT LEG, SEE C300/1, C300/3, AND E200.
- 3 VZW UTILITY RACK, SEE C301/4.
- 4 VZW TO EXCAVATE MINIMUM NECESSARY TO GRUB SITE AND REMOVE SOD, ROOTS AND ALL UNSUITABLE SOIL FROM PROJECT AREA, THEN USE SELECTED FILL AND GRADE SITE WITH CROWN FROM CENTER OF SITE WITH A 2.5% SLOPE TO ALL EDGES OF SITE PERIMETER, AFTER GRADING AND COMPACTING WORK HAS BEEN COMPLETED, THE CONTRACTOR IS TO INSTALL MIRAFI 500X SOIL STABILIZER FABRIC OVER THE LEASE AREA AND FINISH THE SITE WITH 6" OF 3/4" CLEAN CRUSHED ROCK WITH NO FINES, SEE C300/2 AND 'SITE WORK NOTES' ON C302.
- 5 VZW 6' TALL CHAINLINK FENCING WITH BARBED WIRE, SEE C302/1.
- 6 VZW 12' WIDE SITE ACCESS, (2) 6' WIDE CHAINLINK GATES WITH BARBED WIRE, SEE C302/2.
- 7 VZW TO INSTALL (2) 6' WIDE GATES INTO THE (E) FENCELINE IN ORDER TO ACCESS THEIR LEASE AREA.
- 8 VZW 80' TALL MONOPINE WITH CONCRETE FOUNDATION, SEE TOWER MANUFACTURER SHOP DRAWINGS FOR DESIGN AND SPECIFICATIONS.
- 9 VZW 8' TALL ANTENNAS, (4) PER SECTOR, (12) TOTAL ANTENNAS AT A 76' CENTERLINE, REFER TO VZW RF CONFIGURATION SHEET.

PARCEL INFO:  
JAMES AND JANE SHARP  
14-32-431-009

PARCEL INFO:  
TERRY AND ELAINE GEORGE  
14-32-431-010



VERIZON WIRELESS  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84088



TECHNOLOGY ASSOCIATES

UTAH MARKET OFFICE  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070

CORPORATE OFFICE  
5473 KEARNY VILLA ROAD, SUITE 300  
SAN DIEGO, CALIFORNIA 92123

DRAWN BY: JAY C

CHECKED BY: NEFI G

REV	DATE	DESCRIPTION
1	01.22.2013	MOVED LEASE AREA
0	12.07.2012	ZONING DRAWINGS

SAL - FILLING STATION  
SE SEC 32, T1S, R2W  
3904 SOUTH 8000 WEST  
MAGNA, UTAH 84044  
-- RAWLAND SITE --

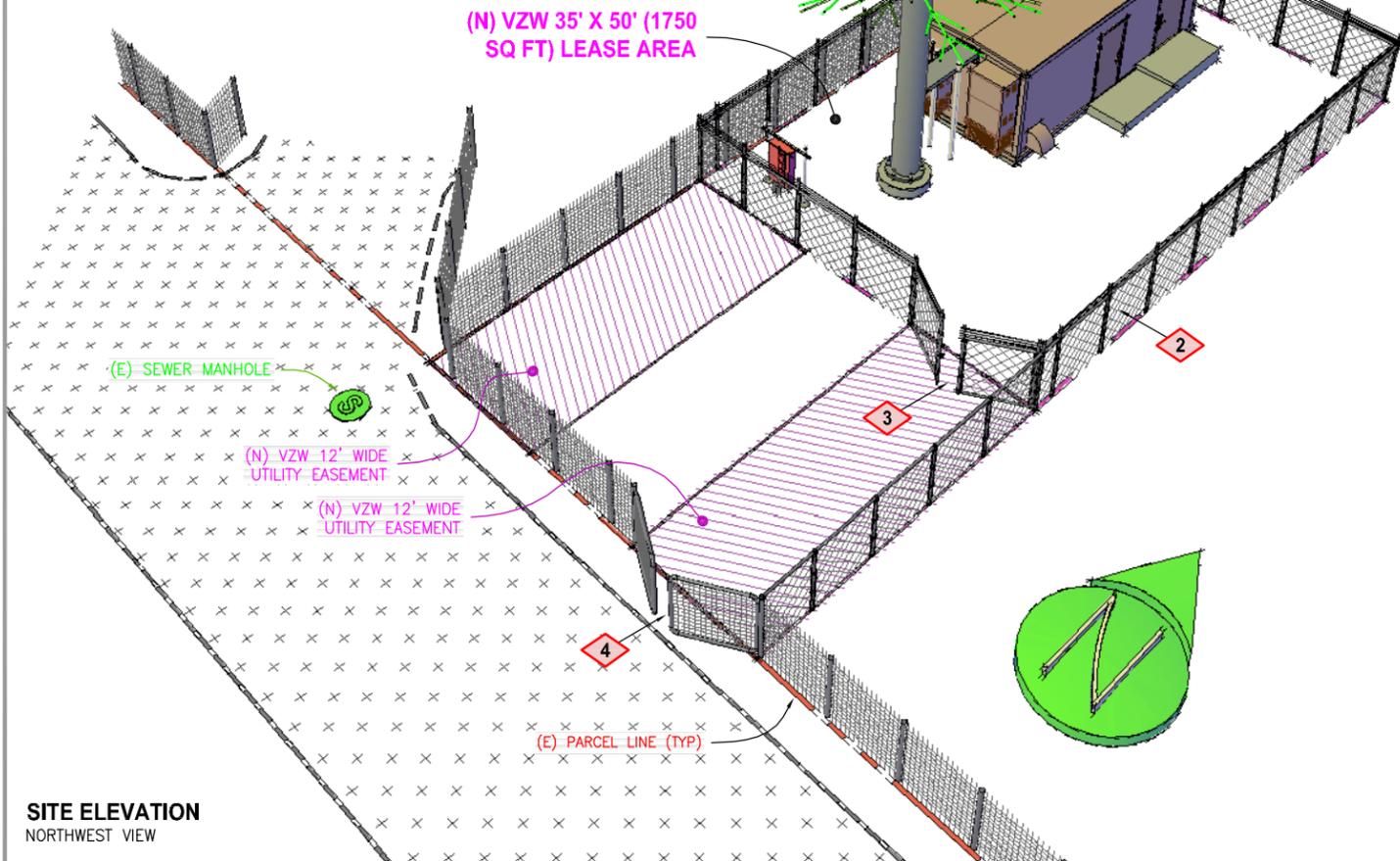
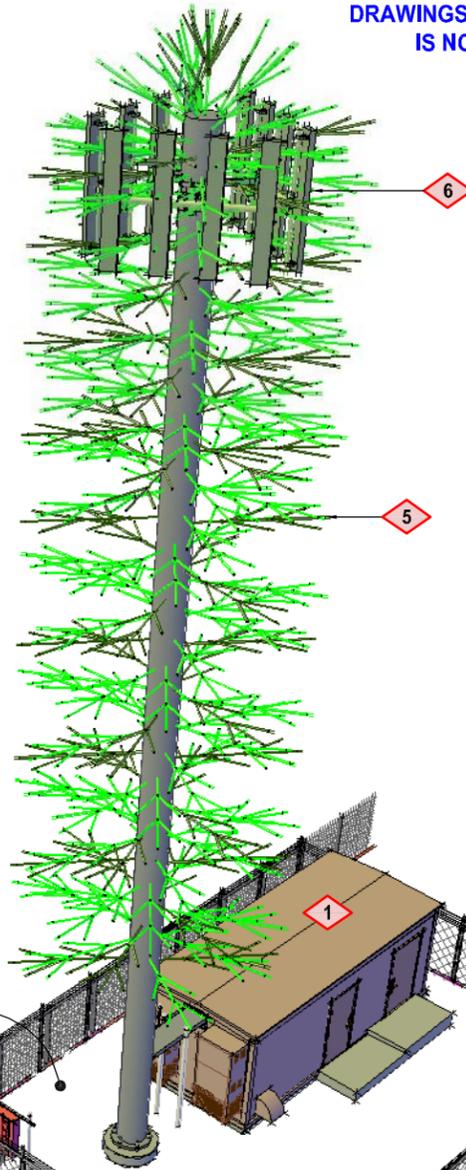
SHEET TITLE  
ENLARGED SITE PLAN

SHEET NUMBER  
**C101**

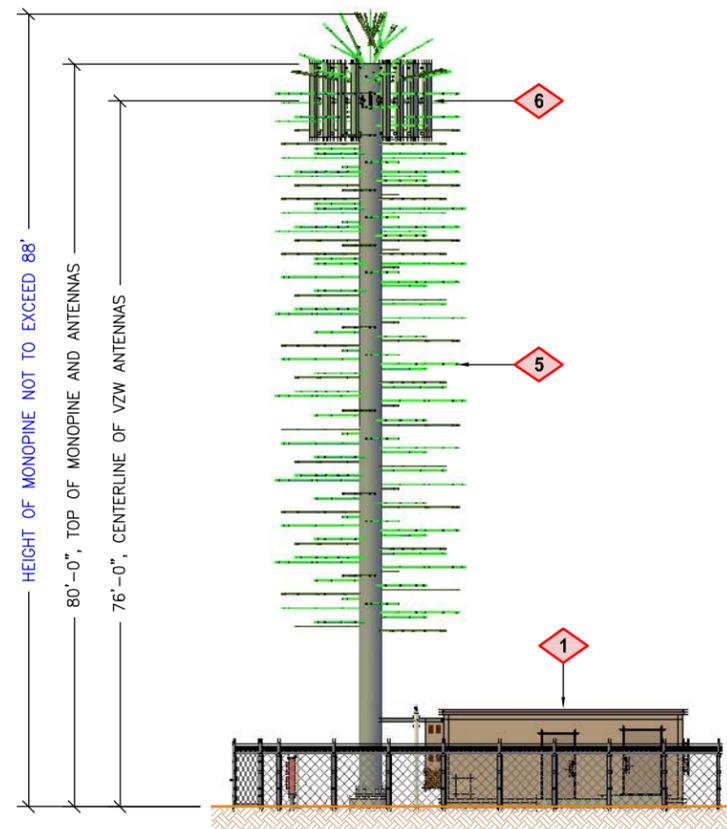
**KEYED NOTES**

- 1 VZW FIBREBOND 11'-6" X 26' PRE-FAB EQUIPMENT SHELTER WITH (2) HVAC UNITS AND (2) LOW PROFILE VENTILATION HOODS AS PROVIDED BY THE SHELTER MANUFACTURER, SEE C301/1 FOR EQUIPMENT LAYOUT AND S100/S101 FOR CONCRETE FOUNDATION.
- 2 VZW 6' TALL CHAINLINK FENCING WITH BARBED WIRE, SEE C302/1.
- 3 VZW 12' WIDE SITE ACCESS, (2) 6' WIDE CHAINLINK GATES WITH BARBED WIRE, SEE C302/2.
- 4 VZW TO INSTALL (2) 6' WIDE GATES INTO THE (E) FENCELINE IN ORDER TO ACCESS THEIR LEASE AREA.
- 5 VZW 80' TALL MONOPINE WITH CONCRETE FOUNDATION, SEE TOWER MANUFACTURER SHOP DRAWINGS FOR DESIGN AND SPECIFICATIONS.
- 6 VZW 8' TALL ANTENNAS, (4) PER SECTOR, (12) TOTAL ANTENNAS AT A 76' CENTERLINE, REFER TO VZW RF CONFIGURATION SHEET.

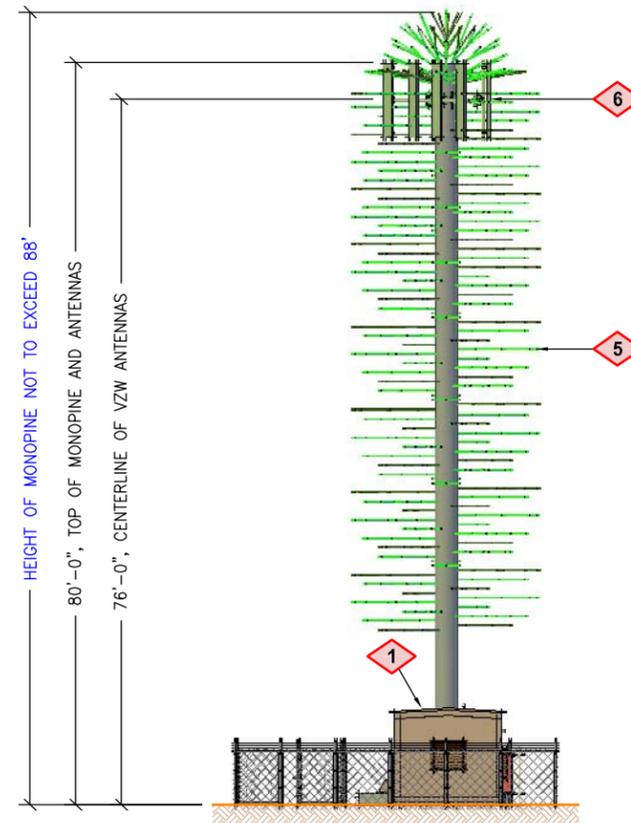
**NOTE: PER MANUFACTURER DRAWINGS, THE MONOPINE IS NOT TO EXCEED 88'**



**SITE ELEVATION**  
NORTHWEST VIEW



**SITE ELEVATION**  
LOOKING WEST



**SITE ELEVATION**  
LOOKING SOUTH



**VERIZON WIRELESS**  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84088

**TAEC**  
Technology Associates Engineering Corporation Inc.  
**TECHNOLOGY ASSOCIATES**

UTAH MARKET OFFICE  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070

CORPORATE OFFICE  
5473 KEARNY VILLA ROAD, SUITE 300  
SAN DIEGO, CALIFORNIA 92123

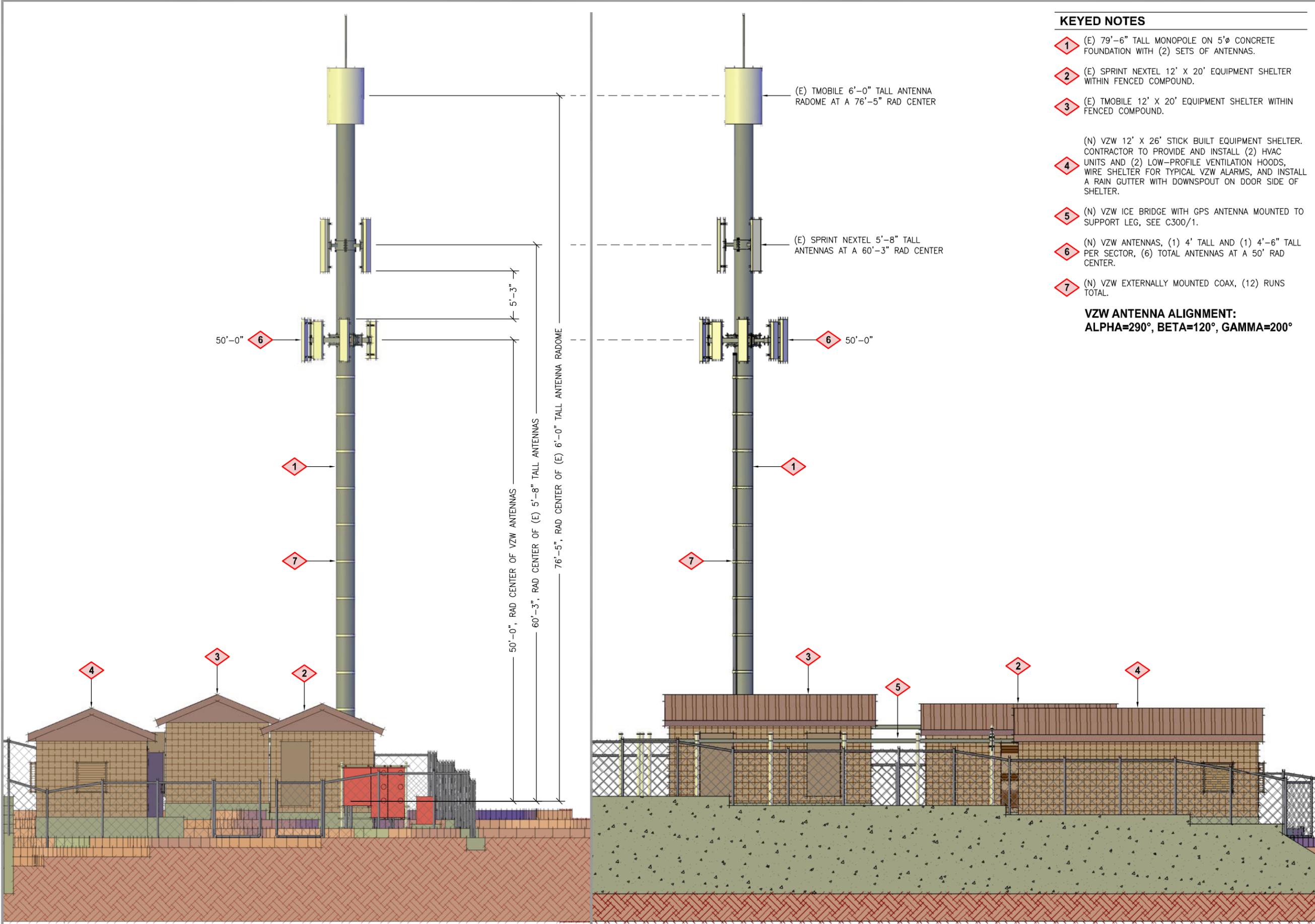
DRAWN BY: JAY C  
CHECKED BY: NEFI G

REV	DATE	DESCRIPTION
1	01.22.2013	MOVED LEASE AREA
0	12.07.2012	ZONING DRAWINGS

**SAL - FILLING STATION**  
SE SEC 32, T1S, R2W  
3904 SOUTH 8000 WEST  
MAGNA, UTAH 84044  
-- RAWLAND SITE --

SHEET TITLE  
**SITE ELEVATIONS**

SHEET NUMBER  
**C200**



**KEYED NOTES**

- 1 (E) 79'-6" TALL MONOPOLE ON 5'Ø CONCRETE FOUNDATION WITH (2) SETS OF ANTENNAS.
- 2 (E) SPRINT NEXTEL 12' X 20' EQUIPMENT SHELTER WITHIN FENCED COMPOUND.
- 3 (E) TMOBILE 12' X 20' EQUIPMENT SHELTER WITHIN FENCED COMPOUND.
- 4 (N) VZW 12' X 26' STICK BUILT EQUIPMENT SHELTER. CONTRACTOR TO PROVIDE AND INSTALL (2) HVAC UNITS AND (2) LOW-PROFILE VENTILATION HOODS, WIRE SHELTER FOR TYPICAL VZW ALARMS, AND INSTALL A RAIN GUTTER WITH DOWNSPOUT ON DOOR SIDE OF SHELTER.
- 5 (N) VZW ICE BRIDGE WITH GPS ANTENNA MOUNTED TO SUPPORT LEG, SEE C300/1.
- 6 (N) VZW ANTENNAS, (1) 4' TALL AND (1) 4'-6" TALL PER SECTOR, (6) TOTAL ANTENNAS AT A 50' RAD CENTER.
- 7 (N) VZW EXTERNALLY MOUNTED COAX, (12) RUNS TOTAL.

**VZW ANTENNA ALIGNMENT:  
ALPHA=290°, BETA=120°, GAMMA=200°**



**VERIZON WIRELESS**  
9656 SOUTH PROSPERITY ROAD  
WEST JORDAN, UTAH 84088



Technology Associates Engineering Corporation  
**TECHNOLOGY ASSOCIATES**

**UTAH MARKET OFFICE**  
9847 SOUTH 500 WEST  
SANDY, UTAH 84070

**CORPORATE OFFICE**  
5930 PRIESTLY DRIVE  
CARLSBAD, CALIFORNIA 92008

DRAWN BY: JAY C  
CHECKED BY: NEFI G / MARK K

REV	DATE	DESCRIPTION
1	12.05.2011	REVISIONS PER CB
0	05.03.2011	CONSTRUCTION DWGS



**SAL - PANAMA**  
NE SEC 6, T4S, R1W  
13588 SOUTH 4000 WEST  
RIVERTON, UTAH 84065  
-- SITE CO-LOCATION --

SHEET TITLE  
**NORTH AND WEST  
SITE ELEVATIONS**

SHEET NUMBER  
**C201**

SITE ELEVATION (LOOKING WEST)

SITE ELEVATION (LOOKING NORTH)





**STAFF REPORT**

Executive Summary									
<b>Hearing Body:</b>	Magna Township Planning Commission								
<b>Meeting Date and Time:</b>	Thursday, March 14, 2013	06:30 PM	<b>File No:</b>	2	8	3	0	2	
<b>Applicant Name:</b>	David Murdock	<b>Request:</b>	Conditional Use						
<b>Description:</b>	New Family Dollar Retail Store								
<b>Location:</b>	2750 South 8400 West								
<b>Zone:</b>	C-2 Community Commercial	<b>Any Zoning Conditions?</b>	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>					
<b>Community Council Rec:</b>	Varies								
<b>Staff Recommendation:</b>	Approval with Conditions								
<b>Planner:</b>	Nancy Moorman								

**1.0 BACKGROUND**

**1.1 Summary**

David Murdock is seeking approval for site plan review for a new Family Dollar retail store located at 2750 South 8400 West. This site is currently vacant and going through a 7-Lot Commercial Subdivision application. The Family Dollar will be located on 0.72 acres, just south of the Chevron on 8400 West.

A retail store of this nature is a permitted use in the C-2 zone if located on a property under one acre in size. However, this application is coming before the Planning Commission as part of a condition set on the PUD subdivision (#27193) that all developments shall go through a PUD approval process. This means that the Planning Commission will look at the application to ensure the site layout, building design, and access fits with the overall PUD subdivision, but the actual use of the retail store is permitted by the zone.

**1.3 Neighborhood Response**

No neighborhood response has been received at the time of this report.

**1.4 Community Council Response**

The Magna Area Community Council discussed this item at their February 21, 2013 meeting. Much discussion occurred regarding potential traffic issues on 8400 West. No recommendation was given at the time of this report.

The Magna Town Community Council will hear this item at their March 7, 2013 meeting. A recommendation will be available at the Planning Commission meeting.

**2.0 ANALYSIS**

## 2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A`:</u> <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		The applicant is working with planning staff to bring the site plan into compliance with the zoning ordinance, particularly in regards to landscaping. Compliance with the zoning ordinance will be established through the technical review process.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B`:</u> <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		Compliance with all other applicable laws and ordinances will be established through the technical review process.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C`:</u> <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		The traffic engineer has reviewed the site access and indicated that there are no issues with the proposal. A traffic impact study was completed as part of the subdivision review. An executive summary of these results is attached.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D`:</u> <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		These issues will be dealt with during the technical review with staff and at the time of the building permit. No perceived threats to safety are anticipated.
YES <input checked="" type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E`:</u> <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		The plan as proposed will not significantly impact the quality of life of residents in the vicinity. All potential negative impacts are mitigated through compliance with agency requirements and the conditions listed in this staff report.

## 2.2 Zoning Requirements

### Chapter 19.62 - C-2 Commercial Zone

### Chapter 19.80 Off-Street Parking Requirements

Retail stores, shops, etc., except as provided in this subsection, one space for each two hundred fifty square feet of gross floor area.

## 2.3 Other Agency Recommendations or Requirements

### Planning

1. Complete the Landscape Irrigation Water Allowance Worksheet.
2. Provide 2 bicycle parking spaces out of the way of pedestrian access.
3. 20% of the site will need to be landscaped. Please propose an alternative landscape plan if you wish to provide a lower percentage of landscaping on the site (but not less than 15%).
4. Follow Chapter 19.77 Water Efficient Landscaping as close as possible, particularly regarding the use and mix of evergreen and deciduous shrubs, herbaceous perennials, and non-turf groundcover in landscaped areas.
5. Provide 4 hard copies and 1 electronic copy of the elevation for each side of the building. Include any additional architectural features or plantings along the building.
6. Provide pedestrian walkways so there is access between the property and surrounding properties or public space.
7. If you would like to have additional landscaped area at the rear of the property, let me know as soon as possible, so we can have the easement on the subdivision adjusted before it is recorded.
8. Pay the \$300 Comprehensive Sign Review fee. Adjust the sign plans to comply with Chapter 19.82 Signs.

### Grading

9. Submit a copy of the Geotechnical Engineering report.
10. Submit site grading and drainage plans including erosion control plans. The Grading plans you submitted will work for review; however, there are no Erosion control plans or N.O.I. Please submit these as well.

### Hydrology

11. The hydrology on the site cannot be looked at until the hydrology for the subdivision has been approved.

### Fire

12. There needs to be 2 fire hydrants shown on the plans. This means that 1 additional fire hydrant is required.
13. Complete a fire flow from Magna Water District that shows the minimum 2000 G.P.M.
14. A lock box is required.

### Building

15. Adjust the exit in the rear of the building so there is a paved walkway leading to the north or south of the property.

### Health

16. Provide a water and sewer availability letter from Magna Water District 801-250-2118.

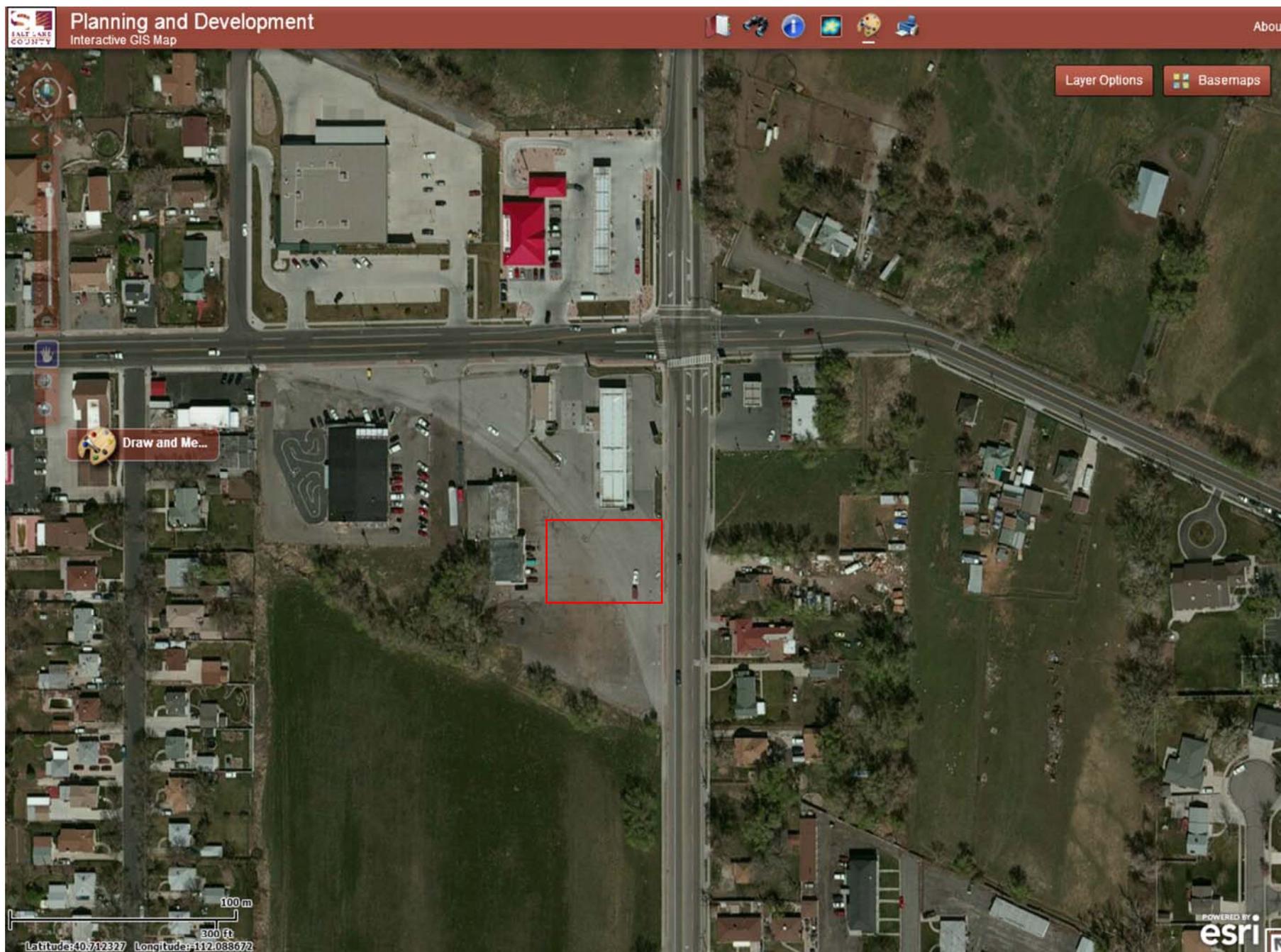
## 3.0 STAFF RECOMMENDATION

### 3.1 Staff recommends APPROVAL of the proposed Conditional Use with the following conditions:

- 1 ) The applicant shall comply with all applicable ordinances and the recommendations and requirements of the individual reviewers as part of the technical review.

### 3.2 Reasons for Recommendation

- 1 ) All criteria for approval can be met through adherence to the recommendations and requirements of the reviewing entities.
- 2 ) The proposed plans comply with the Conditional Use criteria as described in Section 2.1 above.



# FLANGAS CROSSING P.U.D. SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF SECTION 29  
TOWNSHIP 1 SOUTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN

DEN-MAR SUBDIVISION

LOT 14

WESTERN DR.  
(2840'-50.0' ST.)

DEN-MAR NO. 2 SUBDIVISION

LOT 1

LOT 5

LOT 6

2910 SO. ST.

LOT 7

- NOTES:**
- ALL LOTS MUST HAVE A CROSS ACCESS AGREEMENT TO ALLOW FOR TRAFFIC CIRCULATION AND POTENTIAL SHARED PARKING.
  - SETBACKS:
    - USES/STRUCTURES ADJACENT TO 8400 WEST STREET SHALL HAVE A MAXIMUM SETBACK OF 25 FEET FROM THE RIGHT-OF-WAY LINE.
    - USES/STRUCTURES ADJACENT TO MAGNA MAIN STREET SHALL HAVE A MAXIMUM SETBACK OF 10 FEET FROM THE RIGHT-OF-WAY LINE.
    - ALL OCCUPIED STRUCTURES SHALL BE SETBACK A MINIMUM OF 30 FEET FROM ADJACENT SINGLE-FAMILY LOTS.
    - THERE SHALL BE A MINIMUM OF 15 FEET BETWEEN ALL STRUCTURES.
  - ALL LOTS WITHIN THE PUD SUBDIVISION REQUIRE A SEPARATE PUD APPROVAL.
  - FENCING IS NOT PERMITTED BETWEEN LOTS WITHIN THE SUBDIVISION.

CENTER OF SECTION 29  
TOWNSHIP 1 SOUTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
FOUND BRASS CAP MONUMENT

3100 SOUTH STREET

**SURVEYOR'S CERTIFICATE**

I, C. DAVID MCKINNEY DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5251295 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

C. DAVID MCKINNEY  
LIC. 5251295

**LOTS 1 THROUGH 7 FLANGAS CROSSING P.U.D. SUBDIVISION PROPERTY DESCRIPTION**

BEGINNING AT A POINT ON THE SOUTH LINE OF A STATE HIGHWAY WITH A HALF WIDTH OF 33 FEET, SAID POINT BEING THE NORTHEASTERLY CORNER OF LOT 52, OQUIRRH HILLS SUBDIVISION OF SALT LAKE COUNTY ACCORDING TO THE OFFICIAL PLAT THEREOF ON FILE, AND OF RECORD IN THE OFFICE OF THE COUNTY RECORDER OF SALT LAKE COUNTY, STATE OF UTAH, SAID POINT ALSO BEING NORTH 89°30'05" WEST 631.51 FEET AND NORTH 00°11'35" EAST 27.40 FEET FROM THE NORTH QUARTER CORNER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 88°50'33" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE OF A STATE HIGHWAY 404.11 FEET; THENCE SOUTH 00°22'47" WEST 100.51 FEET TO THE BEGINNING OF A CURVE TO THE RIGHT; SAID CURVE BEING CONCAVE TO THE SOUTH AND WEST AND HAVING A RADIUS OF 600 FEET; THENCE ALONG THE CURVE 110.47 FEET (CHORD BEARS SOUTH 45°03'52" EAST 110.31 FEET); THENCE SOUTH 00°23'10" WEST 33.60 FEET; THENCE SOUTH 89°36'30" EAST 109.59 FEET TO THE WEST RIGHT-OF-WAY LINE OF 8400 WEST STREET WITH A HALF WIDTH OF 40 FEET; THENCE SOUTH 00°11'35" WEST ALONG SAID RIGHT-OF-WAY LINE 1282.44 FEET TO THE NORTH LINE OF FLANGAS SUBDIVISION; THENCE THE FOLLOWING THREE COURSES ALONG THE NORTH LINE OF SAID SUBDIVISION: (1) NORTH 89°35'04" WEST 189.59 FEET, (2) NORTH 00°38'16" EAST 10.00 FEET, AND (3) NORTH 89°35'04" WEST 49.95 FEET; THENCE NORTH 00°38'16" EAST 115.00 FEET; THENCE NORTH 89°35'04" WEST 250.00 FEET; THENCE NORTH 00°24'56" EAST 25.00 FEET; THENCE NORTH 89°35'04" WEST 103.03 FEET TO THE EAST LINE OF PROPERTY OWNED BY THE BOARD OF EDUCATION OF GRANITE SCHOOL; THENCE RUNNING NORTH 00°11'35" EAST ALONG SAID EAST PROPERTY LINE AND ALSO ALONG THE EAST LINE OF THE OQUIRRH HILLS SUBDIVISION 1332.77 FEET TO THE POINT OF BEGINNING. CONTAINS 18.37 ACRES, CONTAINS 7 LOTS.

**OWNER'S DEDICATION**

Known all men by these presents that \_\_\_\_\_, the undersigned owner ( ) of the above described tract of land, having caused same to be subdivided into lots, Parcel A and streets to be hereafter known as the

**FLANGAS CROSSING P.U.D. SUBDIVISION**

do hereby grant, dedicate and convey to South Jordan City, Salt Lake County, Utah, for the use of the public, those streets shown on this plat as public right-of-way, in witness whereof \_\_\_\_\_ have hereunto set \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_

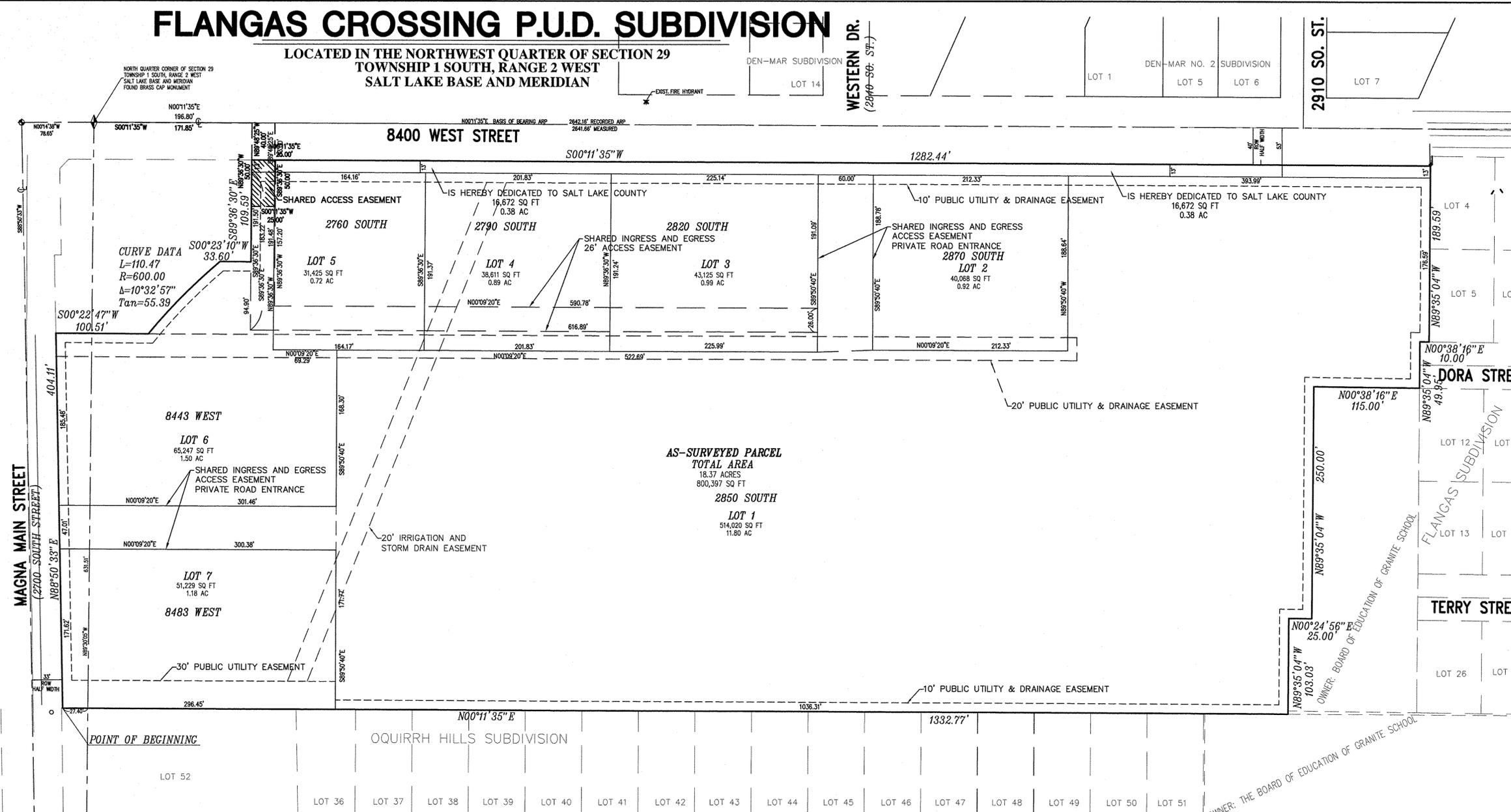
**ACKNOWLEDGMENT**

STATE OF UTAH } S.S.  
COUNTY OF SALT LAKE }  
On the \_\_\_\_\_ day of \_\_\_\_\_ A.D., 20\_\_\_\_, personally appeared before me, the undersigned Notary Public, in and for said County of Salt Lake in said State of Utah, the signer ( ) of the above Owner's dedication \_\_\_\_\_ in number, who duly acknowledged to me that \_\_\_\_\_ signed it freely and voluntarily and for the uses and purposes therein mentioned. MY COMMISSION EXPIRES: \_\_\_\_\_

NOTARY PUBLIC  
RESIDING IN SALT LAKE COUNTY

**FLANGAS CROSSING P.U.D. SUBDIVISION**  
2700 SOUTH 8400 WEST  
MAGNA, UTAH

LOCATED IN THE NORTHWEST QUARTER OF SECTION 29  
TOWNSHIP 1 SOUTH, RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN

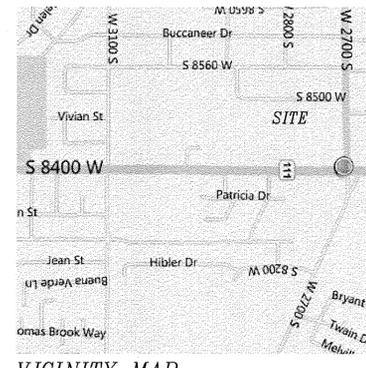


**AS-SURVEYED PARCEL**  
**TOTAL AREA**  
18.37 ACRES  
800,397 SQ FT

**2850 SOUTH**  
**LOT 1**  
514,020 SQ FT  
11.80 AC

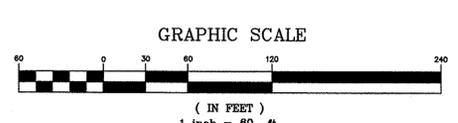
**LEGEND**

- BOUNDARY LINE
- - - SUBDIVISION LINE
- - - DEED LINES
- - - EASEMENT LINES
- - - CENTER AND SECTION LINES
- ☆ LIGHT POLE
- ⊗ FIRE HYDRANT
- ◆ SECTION CORNER
- ◆ STREET MONUMENTS



NOTE: ALL SUBDIVIDED LOTS TO HAVE CROSS-ACCESS

**SHARED ACCESS EASEMENT**  
BEGINNING AT A POINT ON THE WEST RIGHT-OF-WAY LINE OF 8400 WEST STREET (HAVING A HALF WIDTH OF 40 FEET) SAID POINT ALSO BEING SOUTH 00°11'35" WEST 171.85 FEET AND NORTH 89°48'25" EAST 40.00 FEET FROM THE NORTH QUARTER CORNER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 89°36'30" WEST 50.00 FEET; THENCE SOUTH 00°11'35" WEST 25.00 FEET; THENCE NORTH 89°36'30" WEST 50.00 FEET TO SAID WEST RIGHT-OF-WAY LINE; THENCE NORTH 00°11'35" EAST ALONG SAID RIGHT-OF-WAY LINE 25.00 FEET TO THE POINT OF BEGINNING.



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Land Surveying and Engineering  
5151 South 900 East #200  
Salt Lake City, Utah 84117  
Phone (801) 859-2416 email BROMAC@LIVE.COM

<b>APPLICANT INFORMATION</b> OQUIRRH HILLS PROPERTY, LLC THOMAS PRAGGASTIS 191 FIFTH STREET WEST, POST OFFICE BOX 6090 KETCHUM, IDAHO 83340	<b>SALT LAKE COUNTY FLOOD CONTROL</b> APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE SALT LAKE COUNTY FLOOD CONTROL. DIRECTOR, SALT LAKE COUNTY FLOOD CONTROL	<b>PLANNING COMMISSION</b> APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE SALT LAKE COUNTY PLANNING COMMISSION. COUNTY PLANNER	<b>BOARD OF HEALTH</b> APPROVED THIS _____ DAY OF _____ A.D., 20____ BY _____ Salt Lake County Board of Health, Director	<b>PLAN CHECK</b> I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE. DATE _____ PLAN REVIEW SECTION MANAGER	<b>UNIFIED FIRE AUTHORITY APPROVAL</b> DATE _____ SIGNED _____	<b>UTILITIES, STREET AND ADDRESS FRONTAGE APPROVAL</b> DATE _____ SIGNED _____	<b>CHECKED FOR ZONING COMPLIANCE</b> ZONE: _____ LOT AREA: _____ LOT WIDTH: _____ FRONT YARD: _____ SIDE YARD: _____ REAR YARD: _____ DATE _____ SIGNATURE _____	<b>APPROVAL AS TO FORM</b> APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____ SALT LAKE COUNTY DISTRICT ATTORNEY	<b>COUNTY MAYOR'S APPROVAL</b> PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D., 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED. COUNTY MAYOR, OR DESIGNEE	<b>RECORDED #</b> STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF DATE _____ TIME _____ BOOK _____ PAGE _____ FEE \$ _____ CLERK _____ SALT LAKE COUNTY RECORDER
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2765 SOUTH  
8400 WEST

MAGNA, UTAH

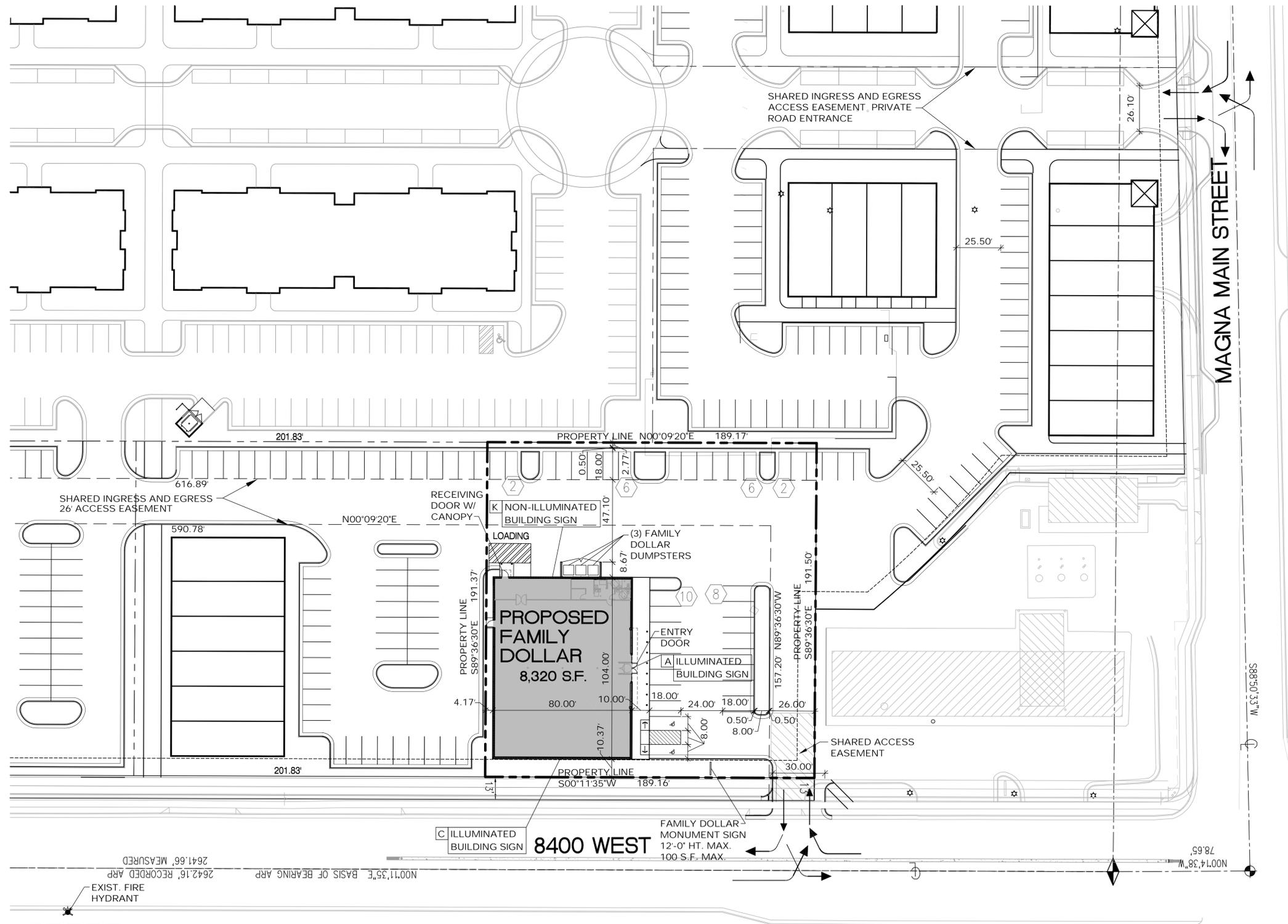
FAMILY DOLLAR  
PLAN # 2012-02  
80 X 104

SITE PLAN

SCALE: 1" = 30'-0"  
FEBRUARY 1, 2013  
10NR05SD1.dwg



SD.1



PROJECT SUMMARY	
GROSS LAND AREA	36,213 SF 0.83 ACRES
GROSS BUILDING AREA INCLUDING PROPOSED	8,320 SF
NUMBER OF PARKING SPACES	34

SEE SITE PLANS PROVIDED BY ENGINEER FOR DRAINAGE, GRADING, SPOT ELEVATIONS, AND PROPERTY BOUNDARY DESCRIPTION.

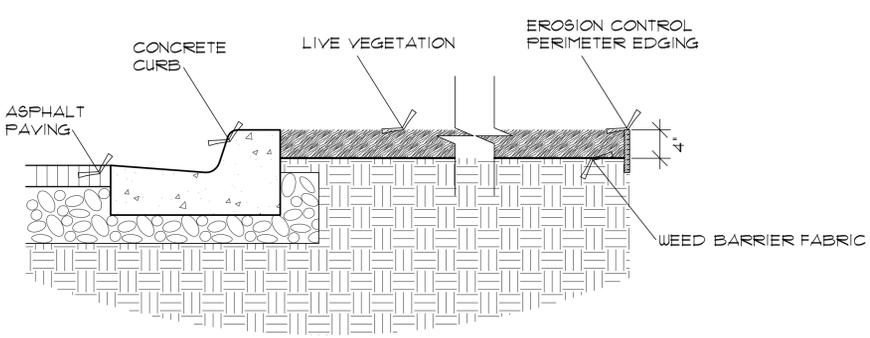
ALL GRADING ELEVATIONS SHOWN REPRESENT MINIMUM GRADING REQUIREMENTS OF 2%. NOTIFY ARCHITECT OF NEW GRADES THAT EXCEED 6%.

LANDSCAPE REQUIREMENTS	
GROSS LAND AREA	36,213 SF 0.83 ACRES
TOTAL LANDSCAPED AREA	3,836
PERCENTAGE OF LANDSCAPED AREA	10.59%

DECIDUOUS TREES  
 - MIN. 2" CALIPER FOR STREET TREES  
 - MIN. 1 1/2" CALIPER ON SITE TREES  
 \* MEASURED FROM 18" ABOVE GRADE

PROVIDE LINE ITEM BID FOR LANDSCAPE.

ALL TREES LESS THAN 2" CALIPER SHALL BE DOUBLE STAKED.



① LANDSCAPE DETAIL  
 SCALE 1"=1'-0"

- NOTES:
- 5% OF PARKING AREA TO BE INTERIOR LANDSCAPE MIN.
  - ALL MECHANICAL EQUIPMENT SUCH AS METERS AND ETC. WILL BE SCREENED WITH ADEQUATE LANDSCAPING AND PAINTED WITH A SIMILAR COLOR OF PAINT AS THE BUILDING.
  - 80% MIN. DROUGHT-TOLERANT TREES REQUIRED.

PLANT LEGEND				
TREES LEGEND				
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
AG	9	AMUR MAPLE	ACER GINNALA	2" CALIPER
TH(CCVI)	4	THORNLESS HAWTHORN	CRATAEGUS CRUSGALLI VAR. INERMIS	2" CALIPER
ER(CC)	5	EASTERN REDBUD	CERCIS CANADENSIS	2" CALIPER
CC	0	PYRUS COLUMNAR	CALLERYANA CHANTICLEER	2" CALIPER
SHRUBS LEGEND				
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE
PCI	42	PURPLE SAND CHERRY	PRUNUS CISTENA	5 GAL.
SY	35	POCAHONTAS LILAC	SYRINGA VULAGRIS	5 GAL.
MP	0	MUGO PINE	PINUS MUGO	5 GAL. (3' TO 5' MATURE HT.)

NOTES FOR CONTRACTOR:

- ALL IRRIGATION HEADS TO HAVE WATER SAVING, LOW ANGLE NOZZLES
- CONTROLLER TO PROVIDE SEPARATE ZONES, WATER BUDGETING, MULTIPLE START TIMES AND MEET ALL MANUF. REQUIREMENTS FOR OUTDOOR INSTALLATION.
- ALL IRRIGATION WIRING TO MEET IBC REQUIREMENTS.
- ALL SPRINKLERS TO HAVE MATCH PRECIPITATION RATES
- USE DRIP IRRIGATION FOR ALL TREES AND SHRUBS
- ALL IRRIGATION LINES TO HAVE WINTERIZATION BLOW-OUTS

LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES ARE NOT EXCEEDED:

3/4"	12 GPM
1"	20 GPM
1 1/2"	26 GPM

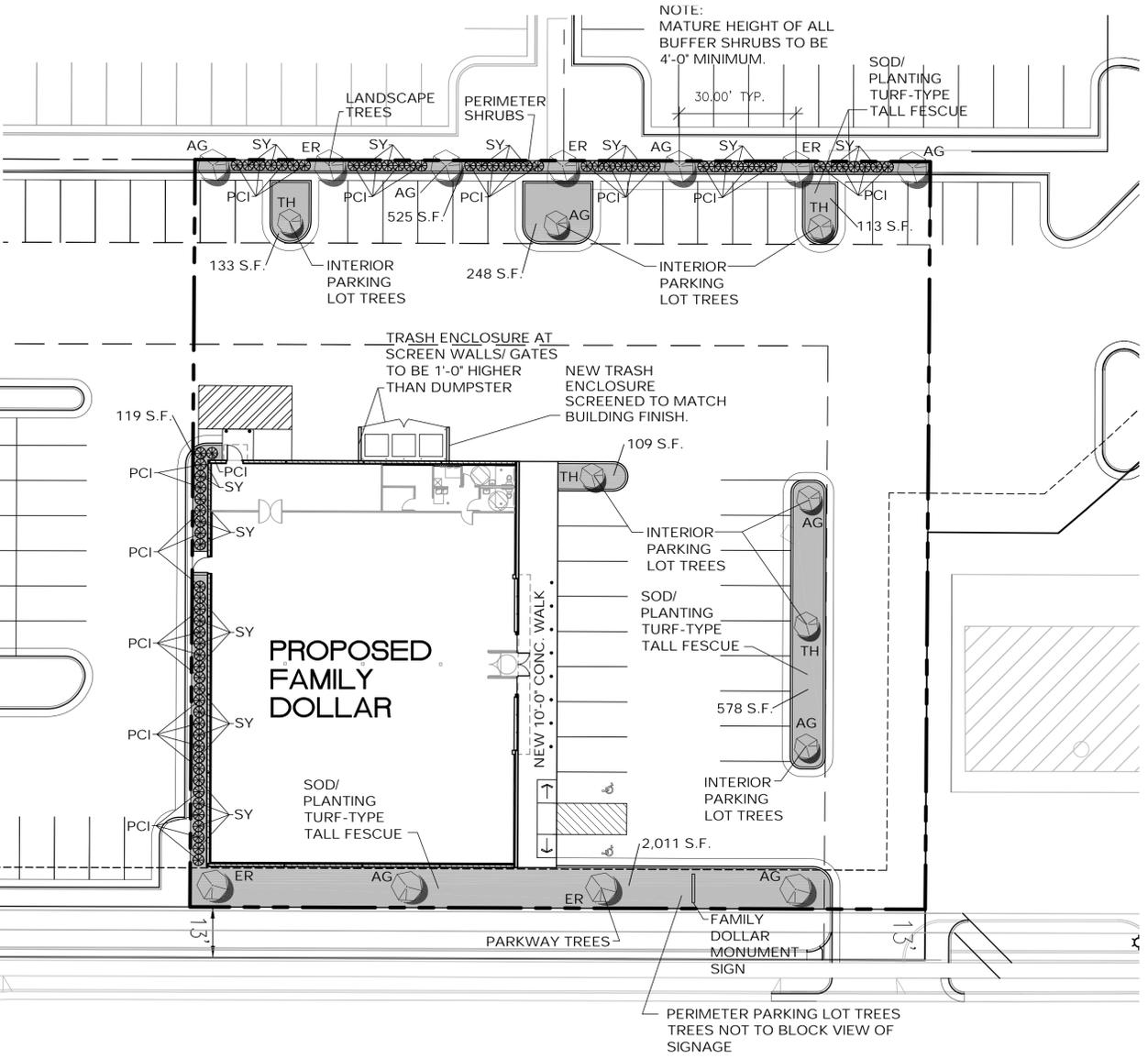
ALL CONDUITS UNDER CONCRETE MUST BE A MINIMUM 4". SEE DETAILS FOR TRENCHING DEPTHS.

WATER CONSERVATION PLAN:

- PLANNING AND DESIGN--PLANTINGS ARE GROUPED TOGETHER.
- LOW WATER USING PLANTS--PLANTS SELECTED FOR DROUGHT TOLERANCE
- NOT USED.
- NOT USED.
- EFFICIENT IRRIGATION--CONTRACTOR TO CREATE HYDROZONES AND ISOLATE WATER USAGE.
- MAINTENANCE--LAWN AREAS ARE EASY TO MAINTAIN AND PLANTINGS ARE GROUPED.

SOD/PLANTING TURF-TYPE TALL FESCUE

NOTE:  
 OWNER TO OBTAIN A SIGN PERMIT FOR ALL PROPOSED SIGNS. ALL SIGNAGE SHALL COMPLY WITH MAGNA CITY SIGN REQUIREMENTS.



NOTE:  
 MATURE HEIGHT OF ALL BUFFER SHRUBS TO BE 4'-0" MINIMUM.  
 30.00' TYP.  
 SOD/PLANTING TURF-TYPE TALL FESCUE



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2765 SOUTH  
 8400 WEST

MAGNA, UTAH

FAMILY DOLLAR  
 PLAN # 2012-02  
 80 X 104

LANDSCAPE PLAN

SCALE: 1" = 20'-0"  
 FEBRUARY 1, 2013  
 10NR05L1.dwg



L1.1

PROJECT SUMMARY

TOTAL BUILDING AREA	8,320 SF	TOTAL PERIMETER SHRUBS (SIDE/REAR)	
PARKING LOT AREA	6,998 SF	REQUIRED (1/3'-0")	35
PARKING LOT AREA	5,402 SF	PROVIDED	35
TOTAL PARKING LOT AREA	12,400 SF	LANDSCAPE TREES	
TOTAL INTERIOR LANDSCAPE OF LOT AREA		REQUIRED (1/30'-0")	7
REQUIRED (5%)	620 SF	PROVIDED	7
PROVIDED	1,181 SF	LANDSCAPE SHRUBS	
TOTAL PARKWAY TREES		PROVIDED	42
STREET FRONTAGE 164.75'			
REQUIRED (1/30'-0")	6		
PROVIDED	4		
TOTAL INTERIOR PARKING LOT TREES			
REQUIRED (1/120 SF)	6		
PROVIDED	7		



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2765 SOUTH  
8400 WEST

MAGNA, UTAH

FAMILY DOLLAR  
PLAN # 2012-02  
80 X 104

FLOOR PLAN

SCALE: 1/8" = 1'-0"  
FEBRUARY 1, 2013  
10NR0511.dwg



A1.1

**FINISH/ CONSTRUCTION NOTE:**

THE MATERIALS USED FOR THE EXTERIOR FINISH MUST BE APPROVED BY THE FAMILY DOLLAR STORE REPRESENTATIVE. MATCHING EXISTING NEARBY STRUCTURES MATERIALS MUST BE DESCRIBED FOR FAMILY DOLLAR STORE CONSIDERATION. CONSTRUCTION DETAILS MUST BE SEALED BY A LICENSED STATE STRUCTURAL ENGINEER OR QUALIFIED ARCHITECT. IF A METAL BUILDING IS USED, BUILDING REACTIONS MUST BE PROVIDED FOR STRUCTURAL ENGINEER TO DESIGN FOUNDATION.

**INSULATION NOTE:**

WALLS TO ATTAIN INSULATION RATING WITH FOAM IN CMU, BATT INSULATION AND/OR RIGID INSULATION TO TOTAL R-13 MINIMUM. EXPOSED AREAS OF INSULATION ARE TO BE WHITE VINYL.

ROOF TO ATTAIN INSULATION RATING TOTAL R-20 MINIMUM (POLYISOCYANURATE).

FOUNDATION PERIMETER TO ATTAIN INSULATION RATING WITH RIGID INSULATION TO TOTAL R-8 MINIMUM.

FOLLOW LOCAL ENERGY CODE (IECC TYP) FOR ACTUAL REQUIREMENTS.

**SITE SOILS NOTE:**

GEOTECHNICAL INVESTIGATION RECOMMENDATIONS OF THE SOIL BELOW THE BUILDING AND PARKING LOT ARE TO BE FOLLOWED, AS WELL AS ANY COMPLIANCE WITH DOT STANDARDS FOR SITE WORK, AS REQUIRED. FOLLOW RECOMMENDATIONS OF SOILS REPORT FOR EACH SPECIFIC SITE. L.L. RESPONSIBLE FOR BORINGS AT FINAL BLDG. LOCATION CHOSEN. VERIFY GRADING PER CIVIL DRAWINGS. CONSULT ARCH/STRUCTURAL ENG. IF GRADING REQUIRES STEPPED FOOTINGS, PRIOR TO CONSTRUCTION.

**NOTE:**

THE INTERIOR FINISHED WALLS OF THE SALES AREA MUST BE FLUSH WITH NO OBSTRUCTIONS OR PROJECTIONS WITH EXCEPTION TO COLUMNS AT EACH SIDE OF THE STOREFRONT WHICH ARE TO BE FURRED OUT AS SHOWN. 80'-2" X 11'-10" ARE THE MINIMUM REQUIRED FINISHED DIMENSIONS OF THE SALES FLOOR. CHANGES TO THE EXTERIOR BUILDING MATERIAL OR STRUCTURAL ELEMENTS WILL REQUIRE THE BUILDING BE ENLARGED TO MAINTAIN THE MIN. INTERIOR CLEAR DIMENSIONS.

**FRP NOTE:**

INSTALL FRP (KEMITE - LASCOCOBOARD # 419 WHITE W/ EMBOSSED FINISH, OR EQUAL) TO 4'-0" AFF. ON ALL WALL SURFACES IN THE RESTROOMS. INSTALL FRP TO 4'-0" AFF. BEHIND THE MOP SINK AND WATER COOLER A MINIMUM OF 1 FT TO EACH SIDE. COMPLETE FRP W/ TRIP CAP ON TOP, SIDES, CORNERS AND JOINTS, INCLUDING CAULKING AS REQ. BY MFG. VERIFY LOCAL CODE FOR ANY REQ'D ADDITIONAL APPLICATION.

**NOTE:**

TINT WINDOWS PER FDS FIXTURE PLAN.

**WALL TYPES**

	NEW 3-5/8" 25 GAUGE METAL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE
	NEW 6" 20 GAUGE METAL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE
	8" C.M.U. WALL SYSTEM W/ 3-5/8" 25 GAUGE METAL STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE W/ R-11 BATT INSULATION. EXTEND TO 12'-0" A.F.F. U.N.O
	8" C.M.U. WALL SYSTEM W/ 6" 20 GAUGE METAL STUDS @ 16" O.C. W/ 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE W/ R-11 BATT INSULATION. EXTEND TO 12'-0" A.F.F. U.N.O
	8" C.M.U. WALL SYSTEM W/ 5/8" GYP. BD. OR METAL LINER PANEL TO 12'-0" A.F.F. 7/8" HAT CHANNELS AT 24" O.C. VERTICALLY.

GENERAL CONTRACTOR SHALL CHALK-LINE ALL NEW WALLS FOR ARCHITECT'S APPROVAL, PRIOR TO ANY NEW CONSTRUCTION, TO INSURE THAT SPACE BUILD-OUT MEETS TENANT REQUIREMENTS.

**KEY NOTES**

1 WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP-RESISTANT SURFACE AND BE SECURELY ATTACHED. (2009 IBC 1003.4)

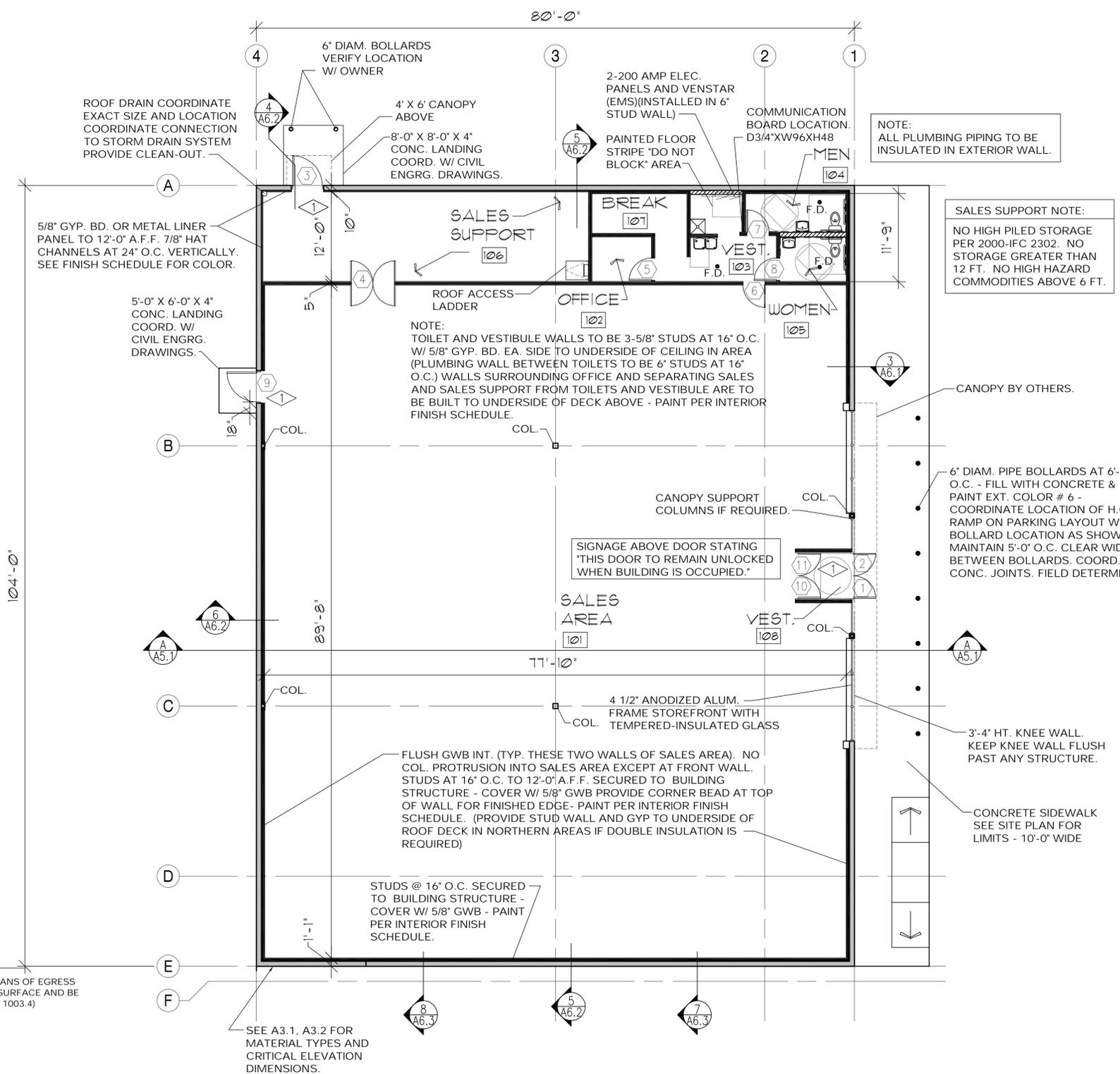
G.C. IS RESPONSIBLE FOR GETTING 'CERTIFICATE OF OCCUPANCY'. CERTIFICATE TO BE FRAMED AND MOUNTED IN THE MANAGERS OFFICE. IF MUNICIPALITY DOES NOT ISSUE A CoFO, IT IS THE RESPONSIBILITY OF THE G.C. TO GET A LETTER FROM THE MUNICIPALITY STATING AS SUCH ON CITY/ COUNTY LETTERHEAD AND THAT LETTER IS TO BE FRAMED AND MOUNTED IN MANAGER'S OFFICE

GENERAL CONTRACTOR IS ADVISED THAT IT IS THEIR RESPONSIBILITY TO INSURE THAT ALL CONSTRUCTION IS IN COMPLIANCE WITH STATE AND LOCAL CODES AND THE AMERICAN WITH DISABILITIES ACT. G.C. IS TO VERIFY THE COORDINATION OF THE VARIOUS DRAWINGS. IF CONFLICT OF INFORMATION IS FOUND CONTACT THE PARTIES IN THE DISCREPANCY BEFORE PROCEEDING.

3 FIRE EXTINGUISHERS MIN PER FDS. MIN. RATING OF A PORTABLE F.E. IS 3A40BC. FINAL NUMBER AND LOCATION TO BE APPROVED BY FIRE MARSHALL

KNOX BOX ENTRY SYSTEM, IF REQUIRED BY CODE MUST BE PROVIDED PRIOR TO DELIVERY. KNOX BOX CONTACT # 866-625-4563

IF LOCAL CODES REQUIRE A FIRE ALARM SYSTEM BE INSTALLED A LICENSED ENGINEER SHOULD PROVIDE LIFE SAFETY DRAWINGS SHOWING LOCATION AND ELEVATION OF ALL EQUIPMENT.



**NOTE:**

ALL PLUMBING PIPING TO BE INSULATED IN EXTERIOR WALL.

**SALES SUPPORT NOTE:**

NO HIGH PILED STORAGE PER 2000-IFC 2302. NO STORAGE GREATER THAN 12 FT. NO HIGH HAZARD COMMODITIES ABOVE 6 FT.

CANOPY BY OTHERS.

6" DIAM. PIPE BOLLARDS AT 6'-0" O.C. - FILL WITH CONCRETE & PAINT EXT. COLOR # 6 - COORDINATE LOCATION OF H.I. RAMP ON PARKING LAYOUT W/ BOLLARD LOCATION AS SHOWN MAINTAIN 5'-0" O.C. CLEAR WIC BETWEEN BOLLARDS. COORD. CONC. JOINTS. FIELD DETERM

3'-4" HT. KNEE WALL. KEEP KNEE WALL FLUSH PAST ANY STRUCTURE.

CONCRETE SIDEWALK SEE SITE PLAN FOR LIMITS - 10'-0" WIDE

ROOF DRAIN COORDINATE EXACT SIZE AND LOCATION COORDINATE CONNECTION TO STORM DRAIN SYSTEM PROVIDE CLEAN-OUT.

5/8" GYP. BD. OR METAL LINER PANEL TO 12'-0" A.F.F. 7/8" HAT CHANNELS AT 24" O.C. VERTICALLY. SEE FINISH SCHEDULE FOR COLOR.

5'-0" X 6'-0" X 4" CONC. LANDING COORD. W/ CIVIL ENGRG. DRAWINGS.

**NOTE:**

TOILET AND VESTIBULE WALLS TO BE 3-5/8" STUDS AT 16" O.C. W/ 5/8" GYP. BD. EA. SIDE TO UNDERSIDE OF CEILING IN AREA (PLUMBING WALL BETWEEN TOILETS TO BE 6" STUDS AT 16" O.C.) WALLS SURROUNDING OFFICE AND SEPARATING SALES AND SALES SUPPORT FROM TOILETS AND VESTIBULE ARE TO BE BUILT TO UNDERSIDE OF DECK ABOVE - PAINT PER INTERIOR FINISH SCHEDULE.

SIGNAGE ABOVE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."

FLUSH GWB INT. (TYP. THESE TWO WALLS OF SALES AREA). NO COL. PROTRUSION INTO SALES AREA EXCEPT AT FRONT WALL. STUDS AT 16" O.C. TO 12'-0" A.F.F. SECURED TO BUILDING STRUCTURE - COVER W/ 5/8" GWB PROVIDE CORNER BEAD AT TOP OF WALL FOR FINISHED EDGE - PAINT PER INTERIOR FINISH SCHEDULE. (PROVIDE STUD WALL AND GYP TO UNDERSIDE OF ROOF DECK IN NORTHERN AREAS IF DOUBLE INSULATION IS REQUIRED)

STUDS @ 16" O.C. SECURED TO BUILDING STRUCTURE - COVER W/ 5/8" GWB - PAINT PER INTERIOR FINISH SCHEDULE.

SEE A3.1, A3.2 FOR MATERIAL TYPES AND CRITICAL ELEVATION DIMENSIONS.



2765 SOUTH  
8400 WEST

MAGNA, UTAH

FAMILY DOLLAR  
PLAN # 2012-02  
80 X 104

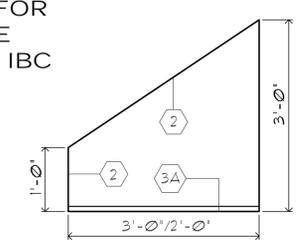
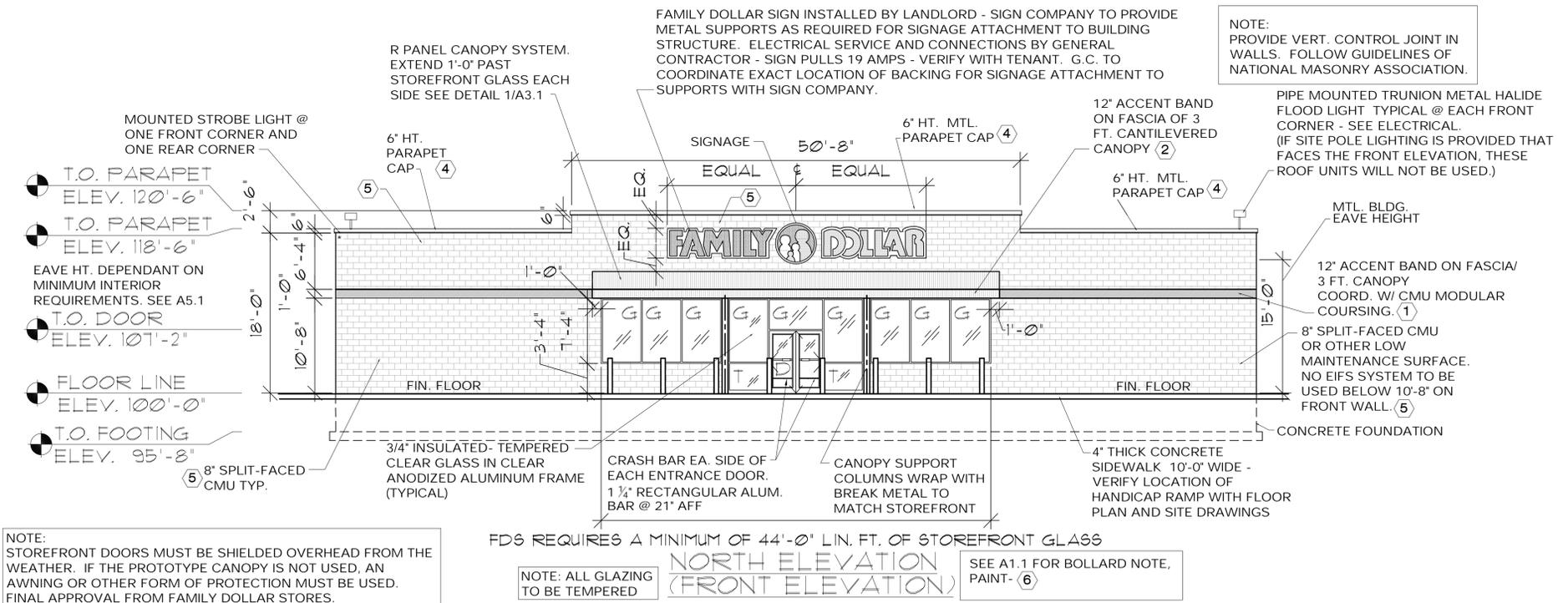
EXTERIOR  
ELEVATIONS

SCALE: 1/8" = 1'-0"

FEBRUARY 1, 2013  
10NR0531.dwg

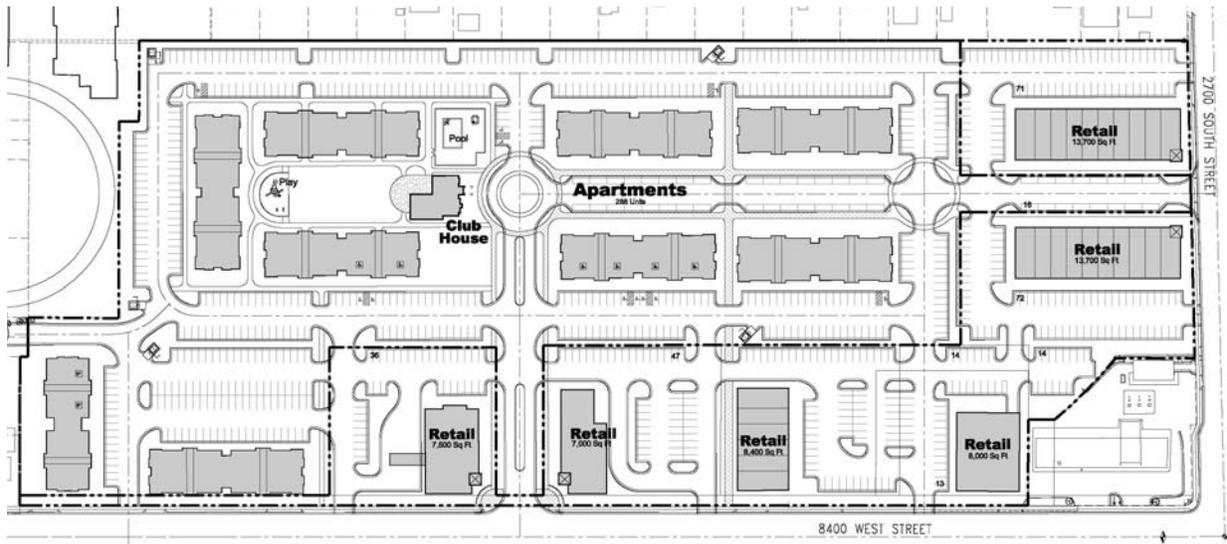
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EXTERIOR FINISH SCHEDULE	
NO.	AREA
1	10'-8" TO 11'-8" FASCIA BAND (FRONT ELEV)
2	METAL CANOPY ROOF AND BAND
3	SOFFIT PANELS
4	DOORS, MTL. TRIM & PARAPET CAP
5	SPLIT FACED CMU
6	STEEL BOLLARDS



# Oquirrh Hills Plaza

## Traffic Impact Study



## Magna, Utah

October 2011

UT11-305

## **EXECUTIVE SUMMARY**

This study addresses the traffic impacts associated with the proposed Oquirrh Hills Plaza development located in Magna, Utah. The proposed mixed use project, containing apartments and retail space, is located south of 2700 South and west of 8400 West (SR-111).

Included within the analyses for this study are the traffic operations and recommended mitigation measures for existing conditions and plus project conditions (conditions after development of the proposed project) at key intersections and roadways in the vicinity of the site. Future (2016 and 2040) conditions are also analyzed.

### **TRAFFIC ANALYSIS**

The following is an outline of the traffic analysis performed by Hales Engineering for the traffic conditions of this project.

#### **Existing (2011) Background Conditions Analysis**

Hales Engineering performed weekday p.m. (4:00 to 6:00) peak period traffic counts at the following intersections:

- 8490 West / 2700 South
- Business Accesses onto 2700 South
- 2700 South / 8400 West (SR-111)
- Business Accesses on 8400 West
- 2840 South / 8400 West
- 2910 South / 8400 West
- 3100 South / 8400 West

The counts were performed on Tuesday, September 20, Wednesday, September 21, and Wednesday, September 28, 2011. The p.m. peak hour was determined to be between the hours of 5:00 and 6:00 p.m. Detailed count data are included in Appendix A.

As shown in Table ES-1, most of the study intersections have acceptable levels of delay during the p.m. peak period with the exception of 3100 South / 8400 West. Queuing is discussed in the body of the report.

#### **Project Conditions Analysis**

The proposed land use for the development has been identified as follows:

- Apartments: 288 dwelling units
- Retail: 43,800 square feet

- Fast-food Restaurant: 3,500 square feet
- Drive-in bank: 3,500 square feet

The projected gross trip generation for the development is as follows:

- Daily Trips: 6,005
- a.m. peak Hour Trips: 405
- p.m. Peak Hour Trips: 548 (360 after reductions)
- Saturday Daily Trips: 7,023
- Saturday Peak Hour Trips: 665

#### **Existing (2011) Plus Project Conditions Analysis**

As shown in Table ES-1, most of the study intersections experience acceptable levels of delay during the p.m. peak hour. Queuing is discussed in the body of the report.

#### **Future (2016) Background Conditions Analysis**

As shown in Table ES-1, the study intersections experience acceptable levels of delay during the p.m. peak hour. Queuing is discussed in the body of the report.

#### **Future (2016) Plus Project Conditions Analysis**

As shown in Table ES-1, most of the study intersections experience unacceptable levels of delay during the p.m. peak hour. Queuing is discussed in the body of the report.

#### **Future (2040) Background Conditions Analysis**

As shown in Table ES-1, all of the study intersections experience unacceptable levels of delay during the p.m. peak hour. Queuing is discussed in the body of the report.

#### **Future (2040) Plus Project Conditions Analysis**

As shown in Table ES-1, most of the study intersections experience unacceptable levels of delay during the p.m. peak hour. Queuing is discussed in the body of the report.

**TABLE ES-1  
P.M. Peak Hour  
Magna - Oquirrh Hills Plaza TIS**

Intersection Description	Existing 2011 Background	Existing 2011 Background - Mitigated	Existing 2011 Plus Project	Future 2016 Background	Future 2016 Plus Project	Future 2016 Plus Project - Mitigated	Future 2040 Background	Future 2040 Background - Mitigated	Future 2040 Plus Project	Future 2040 Plus Project - Mitigated
	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>	LOS (Sec/Veh) <sup>1</sup>
8490 West / 2700 South	SB / A (6.9)	SB / A (7.4)	SB / C (24.1)	SB / A (6.8)	SB / F (>50.0)	SB / A (9.2)	SB / F (>50.0)	SB / F (>50.0)	SB / F (>50.0)	SB / C (22.9)
Post Office Egress (Project Access A) / 2700 South	SB / C (15.8)	SB / A (8.3)	NB / D (27.5)	SB / B (14.3)	SB / F (>50.0)	SB / C (20.9)	SB / F (>50.0)	SB / F (>50.0)	SB / F (>50.0)	NB / D (27.3)
Project Access B / 2700 South <sup>2</sup>	-	-	NB / D (29.8)	-	NB / F (>50.0)	NB / D (30.4)	-	-	NB / F (>50.0)	NB / D (26.6)
Post Office Ingress (Project Access C) / 2700 South	NB / C (17.5)	NB / B (13.1)	NB / F (>50.0)	NB / D (26.1)	NB / F (>50.0)	NB / F (>50.0)	NB / F (>50.0)	NB / F (>50.0)	NB / F (>50.0)	NB / E (49.4)
2700 South / 8400 West (SR-111)	D (35.6)	B (19.6)	C (25.2)	C (26.0)	D (35.5)	C (25.1)	F (>80.0)	C (28.4)	D (35.3)	D (36.1)
Old Highway (Project Access D) / 8400 West	EB / C (20.5)	EB / A (7.6)	EB / B (14.3)	EB / B (10.4)	EB / E (42.0)	EB / C (21.0)	EB / E (35.9)	EB / C (18.2)	EB / E (36.2)	EB / D (29.4)
Project Access E / 8400 West <sup>2</sup>	-	-	EB / D (27.2)	-	EB / F (>50.0)	EB / D (38.2)	-	-	EB / F (>50.0)	EB / F (50.9)
2840 South (Project Access F) / 8400 West	WB / B (13.0)	WB / A (6.7)	EB / D (33.2)	WB / A (9.4)	EB / E (35.7)	EB / D (27.2)	WB / E (37.9)	WB / D (30.4)	EB / F (>50.0)	EB / F (>50.0)
Project Access G / 8400 West <sup>2</sup>	-	-	EB / B (14.5)	-	EB / C (21.0)	EB / C (20.2)	-	-	EB / F (>50.0)	EB / E (46.4)
2910 South (Project Access H) / 8400 West	WB / A (4.8)	WB / A (6.7)	EB / C (18.4)	WB / B (12.5)	EB / C (18.5)	EB / C (19.7)	WB / F (>50.0)	WB / D (26.0)	EB / E (41.3)	EB / F (50.4)
3100 South / 8400 West	F (>80.0)	B (19.6)	C (25.2)	C (25.2)	C (29.7)	C (26.6)	F (>80.0)	C (24.6)	C (28.4)	C (29.9)

1. Intersection LOS and delay (seconds/vehicle) values represent the overall intersection average for signalized and all-way stop controlled intersections and the worst approach for all other unsignalized intersections.  
2. This intersection is a project access and was only analyzed in "plus project" scenarios.

Source: Hales Engineering, October 2011

## RECOMMENDATIONS

The following mitigation measures are recommended:

### **Existing (2011) Background Conditions Analysis**

The following mitigation measures are recommended:

#### **8400 West:**

- Widen 8400 West between SR-201 and 3500 South from a two/three-lane cross section to a five-lane cross section.
- Coordinate the traffic signals on 8400 West.

### **Existing (2011) Plus Project Conditions Analysis**

No mitigation measures are recommended.

### **Future (2016) Background Conditions Analysis**

No mitigation measures are recommended.

### **Future (2016) Plus Project Conditions Analysis**

The following mitigation measures are recommended:

#### **2700 South / 8400 West:**

- Provide a permitted/protected phase for the northbound to westbound left-turn movement.

### **Future (2040) Background Conditions Analysis**

This scenario assumed that 8400 West would be widened to a seven-lane cross section. The following mitigation measures are also recommended:

#### **2700 South / 8400 West:**

- Provide a permitted/protected phase for the northbound to westbound left-turn movement.

#### **3100 South / 8400 West:**

- Provide right-turn pockets for the east and west approaches.

### **Future (2040) Plus Project Conditions Analysis**

The following mitigation measures are recommended:

#### **2700 South / 8400 West:**

- Lengthen the eastbound to northbound left-turn pocket to between 300 to 400 feet long.
- Adjust signal timing to allow more east/west green time

#### **Access “C” / 2700 South:**

- Limit access to right-in/right-out (RIRO) only (due to lengthened turn pocket).

#### **Accesses “D” – “H” / 8400 West:**

- Provide separate left- and right-turn egress lanes. This reduces delay for right-turning vehicles.

### **SUMMARY OF KEY FINDINGS/RECOMMENDATIONS**

The following is a summary of key findings and recommendations:

- Currently, there is significant southbound queuing on 8400 west due to high southbound peak hour traffic flow and a signalized intersection at 3100 South. The estimated ADT on this portion of 8400 West is approximately 18,000 vehicles per day which is at above the capacity of a three-lane cross section.
- 8400 West should be widened to a five-lane cross section, with or without the addition of this project.
- Salt Lake County is currently studying the feasibility of realigning SR-111 to 9200 West. Because this study is on-going, future traffic volumes for this TIS were estimated assuming that SR-111 will not be re-aligned to 9200 West, as recommended for analysis by Salt Lake County. This provides a “worst-case” scenario for traffic volumes on 8400 West.
- With the project added in 2016, permitted/protected phasing will be required for the northbound to westbound left-turn movement at 2700 South / 8400 West intersection.
- This TIS assumed that 8400 West would be widened to a seven-lane cross section by year 2040. At this point, without the project, the permitted/protected phasing for the northbound to westbound left-turn movement at 2700 South / 8400 West will be required. Right-turn pockets will also be required for the east and west legs at 3100 South / 8400 West.
- By year 2040, with project traffic, the westbound to northbound left-turn lane at 2700 South / 8400 West should be lengthened to at least 300 feet long, Access “C” should be changed to a right-in/right-out access, and all of the accesses along 8400 West

- should have separate left- and right-turn egress lanes. Building foot prints should be set back a sufficient distance to allow for separate egress lanes.
- Realigning SR-111 to 9200 West will reduce traffic on 8400 West and likely reduce the need for some future roadway widening.

