



Leadership 101

Charting Park City's Future

Wednesday, February 13, 2013
Yarrow Hotel & Conference Center

8:30 AM - 4:30 PM

\$30 Registration Fee Includes Lunch & Breaks

AGENDA

8:30 - 8:50 AM **Registration (hotel lobby)**

PAST LEADS TO THE FUTURE

8:50 - 9:00 AM **Welcome & Overview**
9:00 - 10:00 **How We Got Here: Myles Rademan, Leadership PC**
10:00 - 10:30 **Where Are We - Mayor Dana Williams**

10:30 - 10:40 **Break** (refreshments provided)

10:45 - 11:00 **Managing the Future - Interim Manager Diane Foster**

11:00 - 11:15 **Future of Park City Schools - Moe Hickey, School Bd**

11:15 - 12:00 **Summit County's Next Decade - County Councilors
& County Manager Bob Jasper**

12:00 - 1:00 **LUNCH**

ISSUES & DIRECTIONS

1:00 - 1:30 PM **Planning/Developing/Sustaining Park City's Future**
Thomas Eddington - PC Planning Director
Jonathan Wiedenhamer - PC Development Dir
Tyler Poulson - PC Sustainability Coordinator

1:30 - 2:00 **Proving Essential Services - Water/Sewer**
Clint McAfee, Park City Water Manager
Mike Luers, Dir, Snyderville Basin Reclamation

2:00 - 2:30 **Cultivating the Mind - Literacy/Arts/Culture**
Linda Tillson - Park City Library Director
Teri Orr - Ex Dir, PC Performing Arts Foundation
Robin Marrouche - Director, Kimball Art Center

2:30 - 2:50 **Business & Tourism - Bill Malone, Chamber President**

2:50 - 3:00 PM

BREAK (refreshments provided)

3:00 – 4:30 PM

**Park City's Non-Profit Landscape – hosted by the
Park City Foundation**

Trisha Worthington – Ex Dir, Park City Foundation

Katie Wright – Program Director, PC Foundation

Non-Profit Panel:

- **Connie Nelson – Alf Engen Museum**
- **Abby McNulty – Park City Education Foundation**
- **John Paulding – Swaner Nature Preserve**
- **Sandra Morrison – Park City Historical Museum**
- **Rob Harter – Christian Center**
- **Aimee Preston – Winter Sports Alliance**
- **Charlie Sturgis – Mountain Trails Foundation**

TO REGISTER:

**Call or email: ReNae Rezac at 615-5201 or
renae@parkcity.org**

**Timberline Special Service District Interviews
Wednesday, February 13, 2013**

1:40 PM Peter Ingle

**1 Vacancy
1 Interview**

**North Summit Fire District Interviews
Wednesday, February 13, 2013**

1:50 PM Marci Hansen

2:00 PM Melvin Richins

2:10 PM Gale Pace

3 Vacancies

3 Interviews

**Board of Trustees for Service Area #5 Interviews
Wednesday, February 13, 2013**

2:20 PM Alan Lindsley

2:30 PM Cody Staley

**1 Vacancy
2 Interviews**



Memorandum

To: Summit County Council (SCC)
Memo Date: Wednesday, February 6, 2013
Meeting Date: Wednesday, February 13, 2013
Author: Amir Caus, County Planner
Project Name or Topic: Utah Olympic Park SPA – Development Agreement (D.A.)
Type of Item: Work Session

Executive Summary

On March 14, 2012 the Summit County Council approved the Utah Olympic Park Specially Planned Area (SPA) Rezone and SPA Plan with several conditions. As part of the approved SPA and Rezone a D.A. is required. Between November and December of 2012, the Snyderville Basin Planning Commission (SBPC) held several meetings regarding the proposed D.A.

The SCC approved the subject SPA with the following Findings of Fact, Conclusions of Law, and Conditions:

Findings of Fact:

SPA approval requires a rezone as outlined in Section 10-7-4 of the Code, and a SPA plan as identified in Section 10-3-3 of the Code.

The application complies with Section 10-7-4 as follows:

1. The amendment complies with the goals, objectives, and policies of the General Plan and neighborhood plan.
2. The amendment is compatible with adjacent land uses and will not be overly burdensome.
3. The plan is required to be in accordance with Chapters 3 and 4 of the Code.
4. The amendment does not adversely affect the public health, safety, and general welfare.

The application complies with Section 10-3-3 as follows:

1. There are substantial tangible benefits in the form of workforce/affordable housing, trail connections, and tax base contributions that significantly outweigh those if the development occurred under the existing zone district.
2. There are unique circumstances that justify the use of the SPA.
3. The development furthers the goals, objectives, and policies of the General Plan and applicable sections of the Code.
4. A SPA designation is to be implemented through a Development Agreement.
5. The SPA designation will not adversely affect the public health, safety, and general welfare.

Conclusions of Law:

1. The application meets the criteria of Section 10-7-4 of the Code (rezone), and Section 10-3-3 (SPA).

Conditions:

1. The SPA and DA are required to be returned to the SBPC and SCC for finalization of the Final SPA Plan and Development Agreement, per Section 10-3-11(C)(4) of the Code.
2. Approval is based on a condition that all buildings be approved on a case-by-case basis pending verification of adequate traffic capacity of Highway 224, with the caveat that, in the process of working on the Development Agreement, the applicant shall come to a meeting of the minds with the County's traffic engineer.
3. The applicant shall make efforts to shield the proposed workforce housing from visibility to and from Kimball Junction, possibly including relocation of the building pads.
4. The lighting shall be engineered so that it confines the spillover to within the buildings, including the residential buildings.

On November 13, 2012 the SBPC conducted a public hearing regarding the proposed Olympic Park D.A. The SBPC continued the public hearing to December 11, 2012 to have more time to review the proposed D.A. before forwarded a recommendation to the Summit County Council. In addition, the SBPC agreed to send individual comments to Staff to give the applicant a layout of the future discussions that will take place.

Members of the SBPC provided comments to Staff to identify any questions, concerns, and/or comments regarding the proposed D.A. On November 27, 2012 the SBPC conducted a work session to gather answers and further discuss the questions, concerns, and/or comments they provided to Staff.

During the December 11, 2012 public hearing the SBPC concluded their comments and continued the decision to December 18, 2012.

During the December 18, 2012 meeting, the SBPC voted unanimously to forward a positive recommendation to the SCC for the proposed D.A. as outlined in the attached exhibits.

Overall, the discussions that took place with the SBPC were more of the design nature. SBPC, Staff, and the Applicant expected the policy discussions to take place during the SCC review.

Recommendation

Staff recommends that the SCC give clear direction to Staff and the Applicant in helping finalize the proposed D.A. for a later scheduled public hearing where the SCC may take action for the proposed D.A. language.

Attachment(s) – as presented to the SBPC:

Exhibit A – Vicinity/Aerial Map – **Page 4**

Exhibit B – Details Discussed by SBPC(MINOR COMMENTS ADDED) – **Pages 5-72**

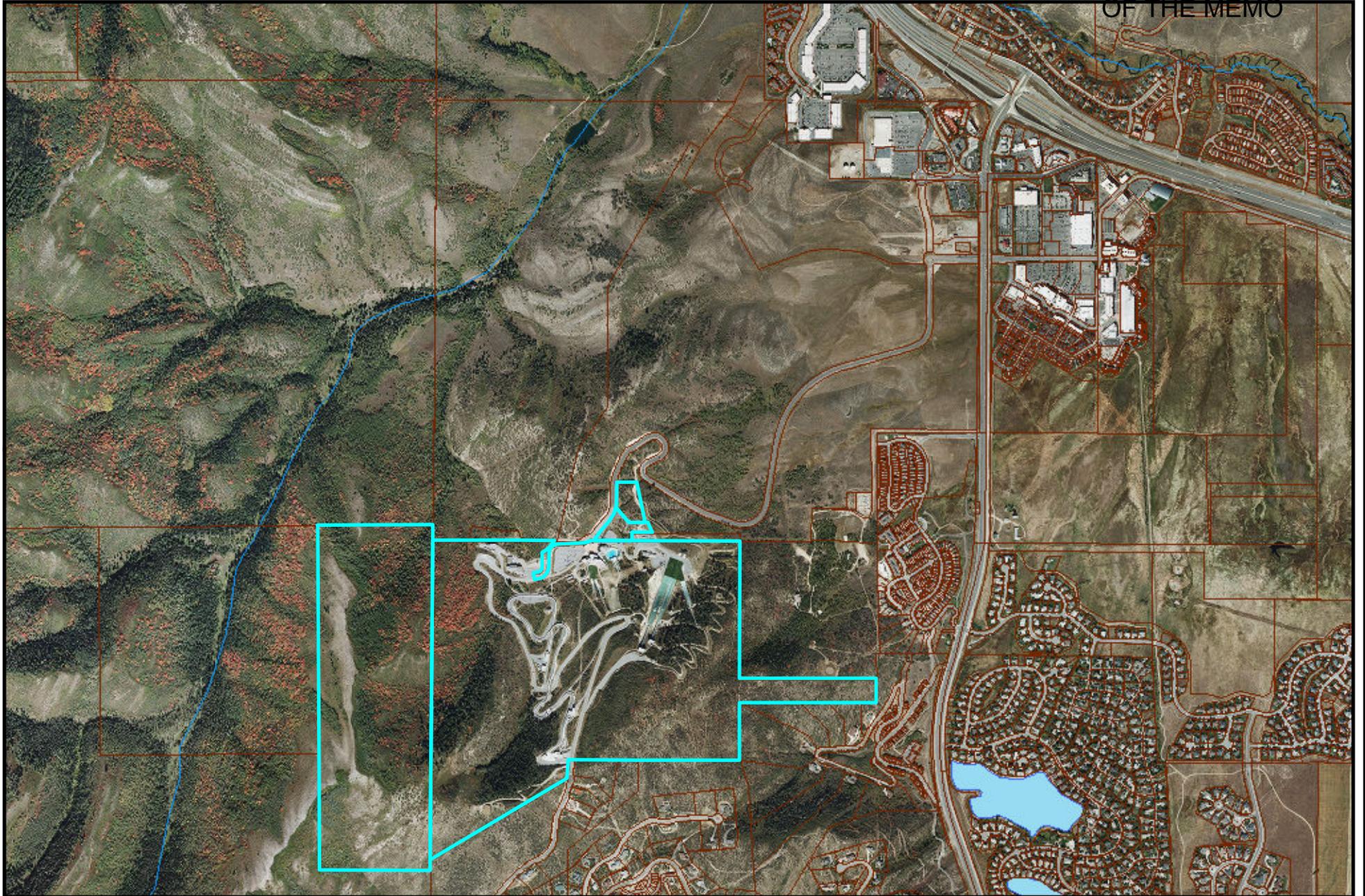
Exhibit C – Findings of Fact and Conclusions of Law – **Pages 73-79**

Exhibit D – Design Guidelines Applicant Responses 12-11-12 – **Pages 80-82**

Exhibit E – Economic Impact Study (DRAFT) – **Pages 83-88**

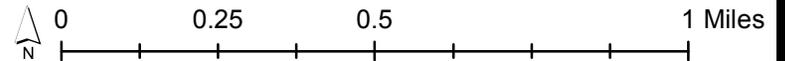
Exhibit F – SBPC Minutes (Nov. 13, 2012 approved, Nov. 27, 2012 approved, Dec. 11, 2012 draft) **Pages 89-106** ---- Dec 18, 2012 not available

Exhibit G – Proposed D.A. Language with Deputy Attorney Jami Brackin Comments
Pages 107-128



Utah Olympic Park Vicinity/Aerial Map

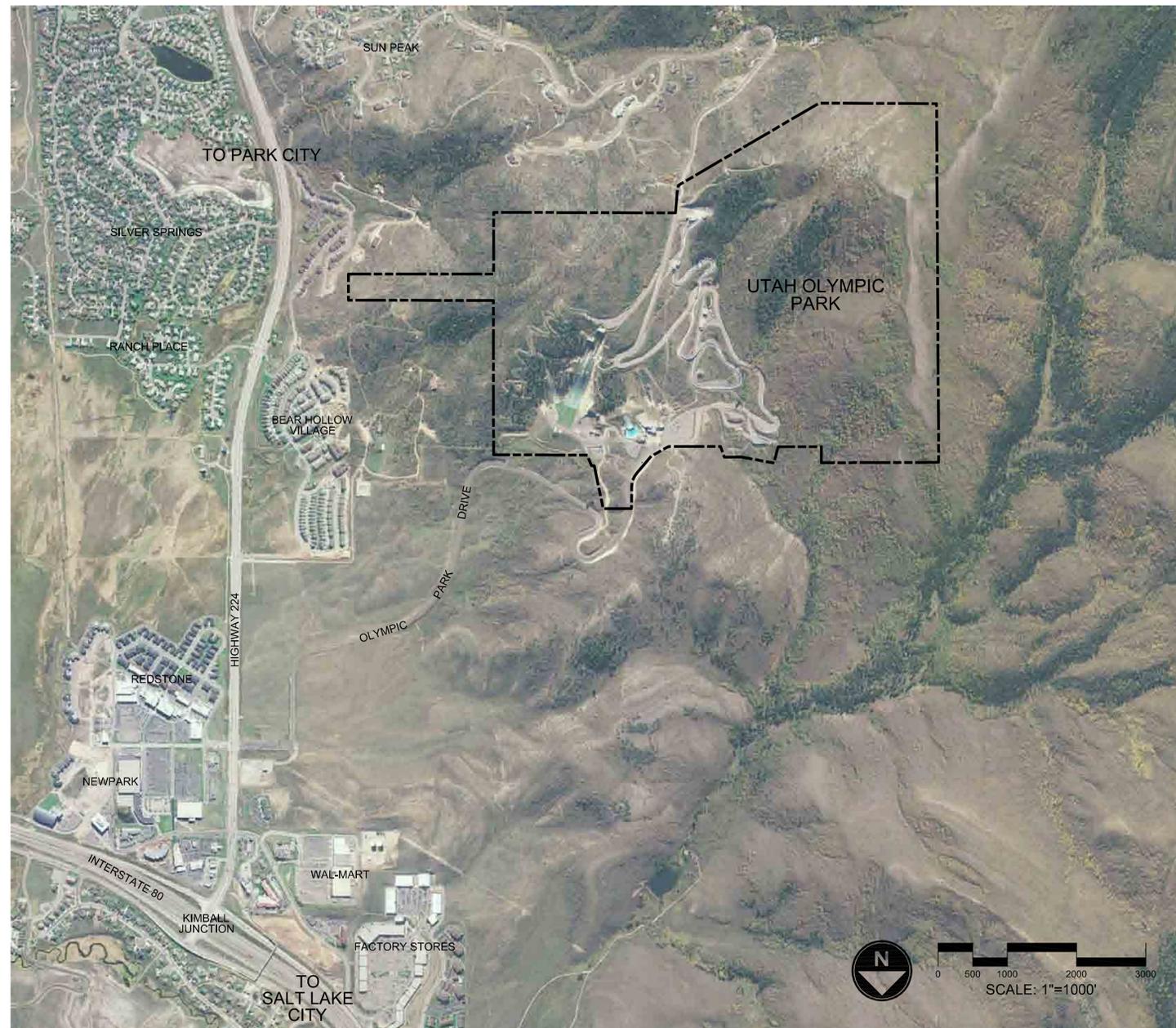
Prepared by Summit County
Community Development Department



This drawing is neither a legally recorded map, nor a survey, and is not intended to be used as such. The information displayed is a compilation of records, information, and data obtained from various sources including Summit County. Summit County is not responsible for the timeliness or accuracy of information shown.



LOCATION MAP:



PREPARED FOR:

UTAH ATHLETIC FOUNDATION
COLIN HILTON
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200

CONSULTANTS:

LAND PLANNING:
LANGVARDT DESIGN GROUP
1525 WESTMORELAND DRIVE
SALT LAKE CITY, UTAH 84105
801.583.1295

ARCHITECT:
ELLIOTT WORKGROUP
364 MAIN STREET
PARK CITY, UTAH 84060
435.415.1839

ENGINEERING AND SURVEYING:
ALLIANCE ENGINEERING
P.O. BOX 2664
PARK CITY, UTAH 84060
435.649.9467

ECONOMIC ANALYSIS:
LODESTAR WEST, INC.
P.O. BOX 1011
PARK CITY, UTAH 84060
435.901.8434

TRAFFIC ENGINEERING:
FEHR & PEERS
2180 SOUTH 1300 EAST, SUITE 220
SALT LAKE CITY, UTAH 84106
801.463.7600

SHEET INDEX:

- 1 COVER SHEET
- 2 BOUNDARY SURVEY
- 3 EXISTING CONDITIONS
- 4 SLOPE ANALYSIS
- 5 MASTER PLAN
- 6 PHASING PLAN
- 7 BASE SITE PLAN
- 8 OLYMPIC PLAZA SITE PLAN
- 9 CONCEPT UTILITY PLAN
- 10 CONCEPT UTILITY PLAN
- 11 CONCEPT UTILITY PLAN
- 12 GRADING AND DRAINAGE PLAN
- 13 GRADING AND DRAINAGE PLAN
- 14 GRADING AND DRAINAGE PLAN
- 15 ARCHITECTURAL VERNACULAR
- 16 ARCHITECTURAL VERNACULAR
- 17 ARCHITECTURAL VERNACULAR
- 18 BASE LANDSCAPE PLAN
- 19 LIGHTING AND SIGNAGE PLAN

UTAH OLYMPIC PARK
 RESORT CENTER SPA SUBMITTAL
 SUMMIT COUNTY, UTAH



DATE:	SEPTEMBER 9, 2011
PROJECT:	000.0000.00
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	SPA SUBMITTAL
REVISIONS:	

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
1



SURVEYOR'S CERTIFICATE

I, John Demkowicz, certify that I am a Registered Land Surveyor and that I hold Certificate No. 154491, as prescribed by the laws of the State of Utah, and that a survey of the following described property was performed under my direction.

PARCEL 1

That part of the SUN PEAK PARCEL contained within Section 25 and the E½ NE¼ and the NE¼ SE¼, of Section 26, Township 1 South, Range 3 East, Salt Lake Base and Meridian, described as follows:

BEGINNING at the Northeast Corner of Section 25, Township 1 South, Range 3 East, Salt Lake Base and Meridian, said corner being a Brass Cap Monument set by the Summit County Surveyor in 1975; thence South 0°04'26" East 1645.34 feet along the East section line of said Section 25; to a point on the boundary between the SUN PEAK PARCEL and the LDS CHURCH PARCEL, said point being the true point of beginning (Basis of bearing being the section line between the Northeast Corner and Southeast Corner of said Section 25); thence South 0°04'26" East 300 feet along said section line; thence leaving the section line West 1652.50 feet; thence South 7°00' feet; thence North 89°50'17" West 2120 feet; thence South 51°55'24" West 2018.43 feet to the West line of said Section 25; thence North 89°47'29" West 1338.79 feet; thence North 0°20'06" West 4068.54 feet; thence North 89°47'04" East 1339.22 feet to the Northeast Corner of said Section 26; thence South 01°31'52" West 178.08 feet along section line to the Northwest Corner of said Section 25; thence South 89°50'17" East 3737.03 feet along the section line to the LDS CHURCH PARCEL boundary; thence South 1650.00 feet along said church parcel boundary; thence East 1652.11 feet along said church parcel boundary to the true point of beginning.

LESS AND EXCEPTING therefrom any portion within the bounds of the following:

A parcel of land in fee for an access road known as Project No. STP-2589(1)(0) being part of an entire tract of property, situate in Section 25, Township 1 South, Range 3 East, Salt Lake Base and Meridian. The boundaries of said parcel are described as follows:

BEGINNING at a point which is 1041.205 meters North 89°47'54" West, along the section line from the Southeast corner of Section 24, Township 1 South, Range 3 East, Salt Lake Base and Meridian; said point being 18.365 meters perpendicularly distant right from Engineers centerline station 1+021.006; thence South 32°22'32" West, a distance of 4.635 meters to a point which is 19.786 meters perpendicularly distant right from Engineers centerline station 1+017.365; thence Southwesterly, on a curve to the right having a radius of 33.000 meters, through a central angle of 54°08'33", a distance of 28.349 meters (chord bears S 59°26'48" West, 27.306 meters) to a point which is 19.343 meters perpendicularly distant right from Engineers centerline station 0+994.879; thence South 89°31'05" West, a distance of 93.594 meters to a point which is 12.912 meters perpendicularly distant right from Engineers centerline station 0+907.449; thence Southwesterly, on a curve to the left having a radius of 32.808 meters, through a central angle of 85°06'51", a distance of 48.737 meters (chord bears 43°57'40" W, 44.378 meters) to a point which is 12.192 meters perpendicularly distant right from Engineers centerline station 0+840.601; thence South 11°24'15" West, a distance of 51.886 meters to a point which is 12.192 meters perpendicularly distant right from Engineers centerline station 0+788.615; thence Southwesterly, on a curve to the right having a radius of 42.192 meters, through a central angle of 79°19'36", a distance of 58.415 meters (chord bears S 41°04'01" W, 53.860 meters) to a point which is 12.192 meters perpendicularly distant right from Engineers centerline station 0+747.082; thence South 89°43'53" West, a distance of 18.757 meters to a point which is 12.192 meters perpendicularly distant right from Engineers centerline station 0+728.323; thence North 9°16'10" West, a distance of 24.384 meters to a point which is 12.192 meters perpendicularly distant left from Engineers centerline station 0+728.323; thence North 80°43'50" East, a distance of 18.757 meters to a point which is 12.192 meters perpendicularly distant left from Engineers centerline station 0+747.082; thence Northwesterly, on a curve to the left having a radius of 17.808 meters, through a central angle of 79°19'35", a distance of 24.855 meters (chord bears N 41°04'01" E, 22.733 meters) to a point which is 12.192 meters perpendicularly distant left from Engineers centerline station 0+788.615; thence North 1°24'15" East, a distance of 51.886 meters to a point which is 12.192 meters perpendicularly distant left from Engineers centerline station 0+840.601; thence Northwesterly, on a curve to the right having a radius of 62.865 meters, through a central angle of 63°20'02", a distance of 69.490 meters (chord bears N 33°04'14" E, 66.006 meters) to a point which is 15.532 meters perpendicularly distant left from Engineers centerline station 0+894.116; thence South 89°47'54" East, a distance of 136.583 meters to the point of BEGINNING.

PARCEL 2

A parcel of land lying within the SUN PEAK PARCELS MAP in the Southwest Quarter of Section 25, Township 1 South, Range 3 East, Salt Lake Base and Meridian, County of Summit, State of Utah, more particularly described as follows:

COMMENCE at the Northwest Corner of Section 31, Township 1 South, Range 4 East, Salt Lake Base and Meridian, said Section Corner being a brass cap set by the County Surveyor in 1936; thence North, a distance of 2424.90 feet; thence West, a distance of 3780.42 feet to the Westerly right of way of Bear Hollow Drive and point of beginning; (Basis of bearing being the Northwest Corner of said Section 31 and the West Quarter Corner of Section 31 North 0°00'06" West) thence leaving said right of way South 59°49'56" West, a distance of 1856.83 feet to the West line of said Section 25; thence North 51°55'25" East along the line common to Parcel 21 of the BEAR HOLLOW SUBDIVISION PLAT and the WINTER SPORTS PARK PROPERTY, a distance of 2018.47 feet; thence continuing along said line South 89°50'17" East, a distance of 48.39 feet to the Westerly right of way of Bear Hollow Drive and point of intersection with a non-tangent curve, concave Easterly, having a radius of 2278.40 feet and a central angle of 00°48'09"; thence Southerly along said right of way and arc of said curve to the left; from which the radial bearing bears South 84°26'05" East, a distance of 2278.40 feet, said arc subtended by a chord which bears South 05°09'51" West, a distance of 31.91 feet to the curve's end; thence South 04°45'46" West, a distance of 192.08 feet to the beginning of a curve, concave Westerly, having a radius of 692.73 feet and a central angle of 07°23'38"; thence Southerly along the arc of said curve to the right, a distance of 89.50 feet to the curve's end, and the point of beginning.

PARCEL 3

BEGINNING at a point on a fence line, said point being North 89°50'17" West 4657.09 feet from the Southeast Corner of Section 24, Township 1 South, Range 3 East, Salt Lake Base and Meridian, and running thence North 89°50'17" West 236.35 feet along said fence line; thence North 14°56'15" East 193.16 feet; thence South 79°30'11" East 217.51 feet; thence South 10° 28'45" West 150.18 feet to the point of beginning.

PARCEL 4

BEGINNING at a point on a fence line, said point being North 89°50'17" West 4657.09 feet from the Southeast Corner of Section 24, Township 1 South, Range 3 East, Salt Lake Base and Meridian, and running thence North 10°28'45" East 150.18 feet; thence South 79°30'11" East 158.80 feet; thence East 193.68 feet; thence South 20°04'23" East 127.50 feet to said fence line; thence North 89°50'17" West 421.89 feet along said fence line to the point of beginning.

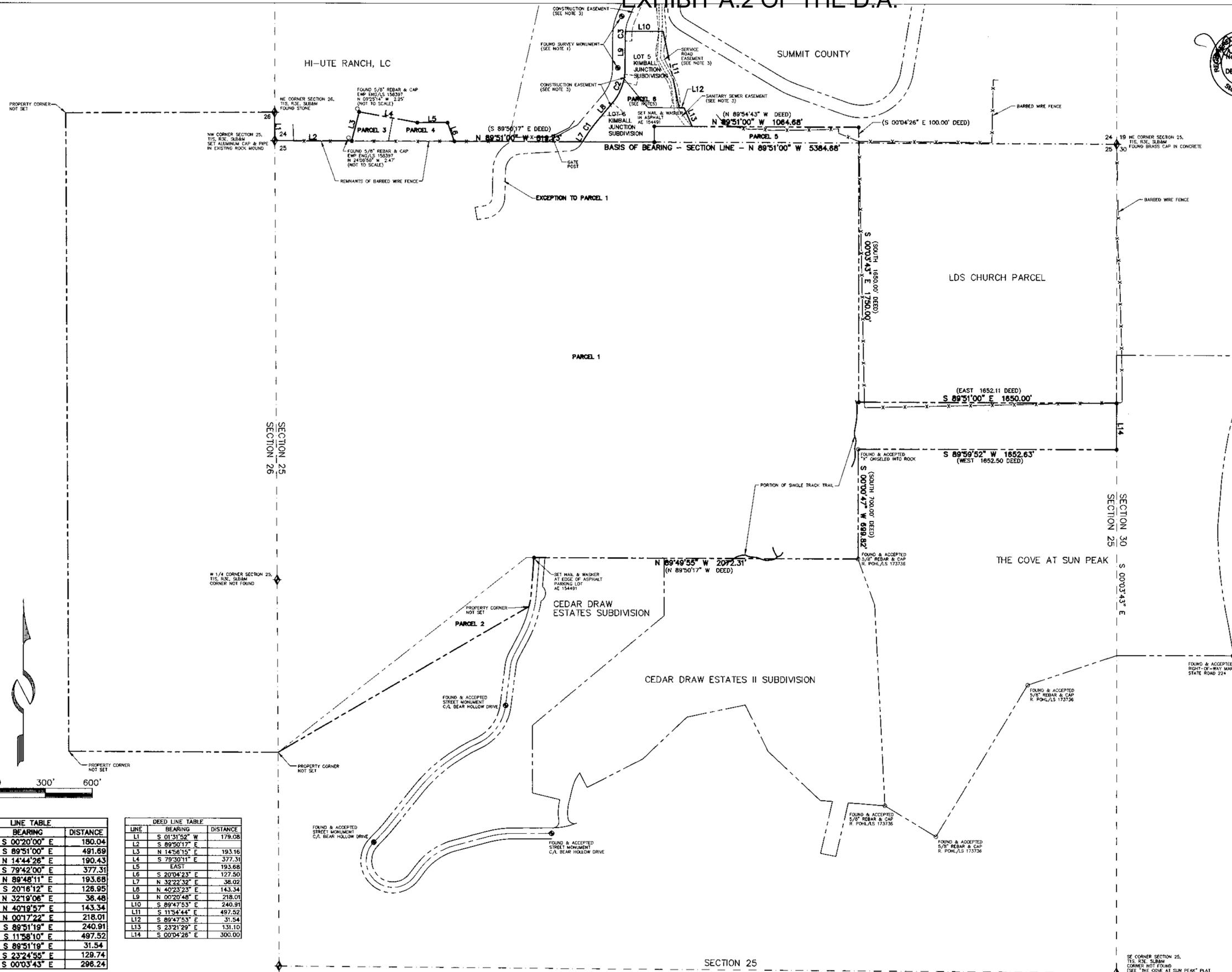
PARCEL 5

Part of the South Half of Section 24, Township 1 South, Range 3 East, Salt Lake Base and Meridian, more particularly described as follows:

BEGINNING at the intersection of the South line of said Section 24 and the West line of the LDS Church Parcel boundary as described in Book M-42 at Page 608 in the Office of the Summit County Recorder, which point is 1650 feet North 89°54'43" West from the Summit County Monument found marking the Southeast Corner of said Section 24 (the basis of bearings being South 0°04'26" East along the Section line between the Summit County monuments marking the said Southeast Corner of Section 24 and the Southeast Corner of Section 25, Township 1 South, Range 3 East, Salt Lake Base and Meridian) and running thence North 89°54'43" West 1306.80 feet along the South line of said Section 24; thence North 0°04'26" East 100 feet; thence South 89°54'43" East 1306.80 feet; thence South 0°04'26" East 100 feet to the point of beginning.

PARCEL 6

LOTS 5 AND 6, KIMBALL JUNCTION SUBDIVISION, according to the official plat thereof on file and of record in the office of the Summit County Recorder.



LINE	BEARING	DISTANCE
L1	S 00°20'00" E	180.04
L2	S 89°51'00" E	491.69
L3	N 14°44'26" E	190.43
L4	S 79°42'00" E	377.31
L5	N 89°48'11" E	193.68
L6	S 20°16'12" E	128.95
L7	N 32°19'06" E	36.48
L8	N 40°19'57" E	143.34
L9	N 00°17'22" E	218.01
L10	S 89°51'19" E	240.91
L11	S 11°58'10" E	497.52
L12	S 89°51'19" E	31.54
L13	S 23°24'55" E	129.74
L14	S 00°03'43" E	296.24

LINE	BEARING	DISTANCE
L1	S 01°51'52" W	179.08
L2	S 89°50'17" E	193.16
L3	N 14°56'15" E	193.16
L4	S 79°30'11" E	377.31
L5	EAST	193.68
L6	S 20°04'23" E	127.50
L7	N 32°22'32" E	38.02
L8	N 40°23'23" E	143.34
L9	N 00°20'48" E	218.01
L10	S 89°47'53" E	240.91
L11	S 11°54'44" E	497.52
L12	S 89°47'53" E	31.54
L13	S 23°21'29" E	131.10
L14	S 00°04'26" E	300.00

CURVE	RADIUS	LENGTH	DELTA
C1	960.00	134.28	08°00'51"
C2	335.27	234.32	40°02'35"
C3	255.27	23.14	05°11'47"

- NOTES:**
- The basis of survey of Parcel 6 are the existing street monuments shown on the survey and positioned as shown on the CRS survey, recorded August 4, 2003, as Survey No. S-4659.
 - A rotation of -00°03'25" was applied to Parcel 6
 - Refer to Kimball Junction Subdivision, First Amended recorded October 28, 2010, as Entry No. 909755 in the Office of the Summit County Recorder.

- LEGEND**
- Found survey monument
 - Set 5/8" rebar w/cap, ALLIANCE ENR/LS 154491, unless otherwise noted
 - Found rebar & cap, unless otherwise noted

Alliance Engineering Inc.
 CONSULTING ENGINEERS LAND PLANNERS SURVEYORS
 323 Main Street P.O. Box 2664 Park City, Utah 84060-2664
 (435) 649-9467

STAFF:
 JOHN DEMKOWICZ
 MARSHALL KING
 MARTY MORRISON
 BLAKE MYERS

REVISED: 12/13/10
DATE: 12/5/06

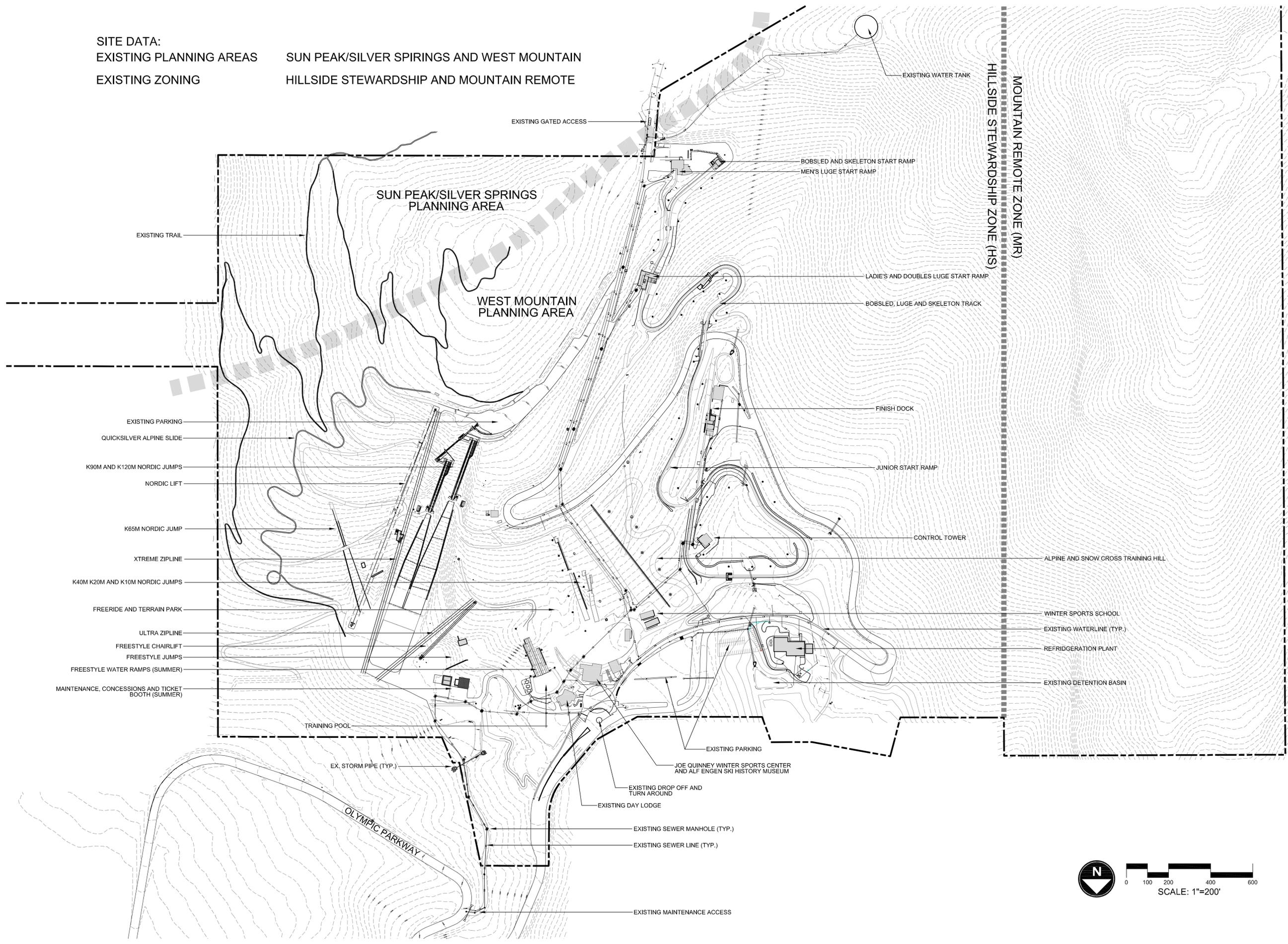
BOUNDARY SURVEY
UTAH OLYMPIC PARK

FOR: UTAH ATHLETIC FOUNDATION
JOB NO.: 4-9-10
FILE: X:\UtahOlympicPark\dwg\sr\sr\10\040910.dwg

SHEET
 1
 OF
 1



SITE DATA:
 EXISTING PLANNING AREAS SUN PEAK/SILVER SPRINGS AND WEST MOUNTAIN
 EXISTING ZONING HILLSIDE STEWARDSHIP AND MOUNTAIN REMOTE



UTAH OLYMPIC PARK
 SPA SUBMITTAL
 SUMMIT COUNTY, UTAH

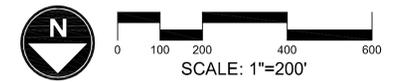
PREPARED FOR:
 UTAH ATHLETIC FOUNDATION
 P.O. BOX 980337
 PARK CITY, UTAH 84098
 435-658-4200



DATE:	JULY 22, 2011
PROJECT:	000.0000.00
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	SPA SUBMITTAL
REVISIONS:	

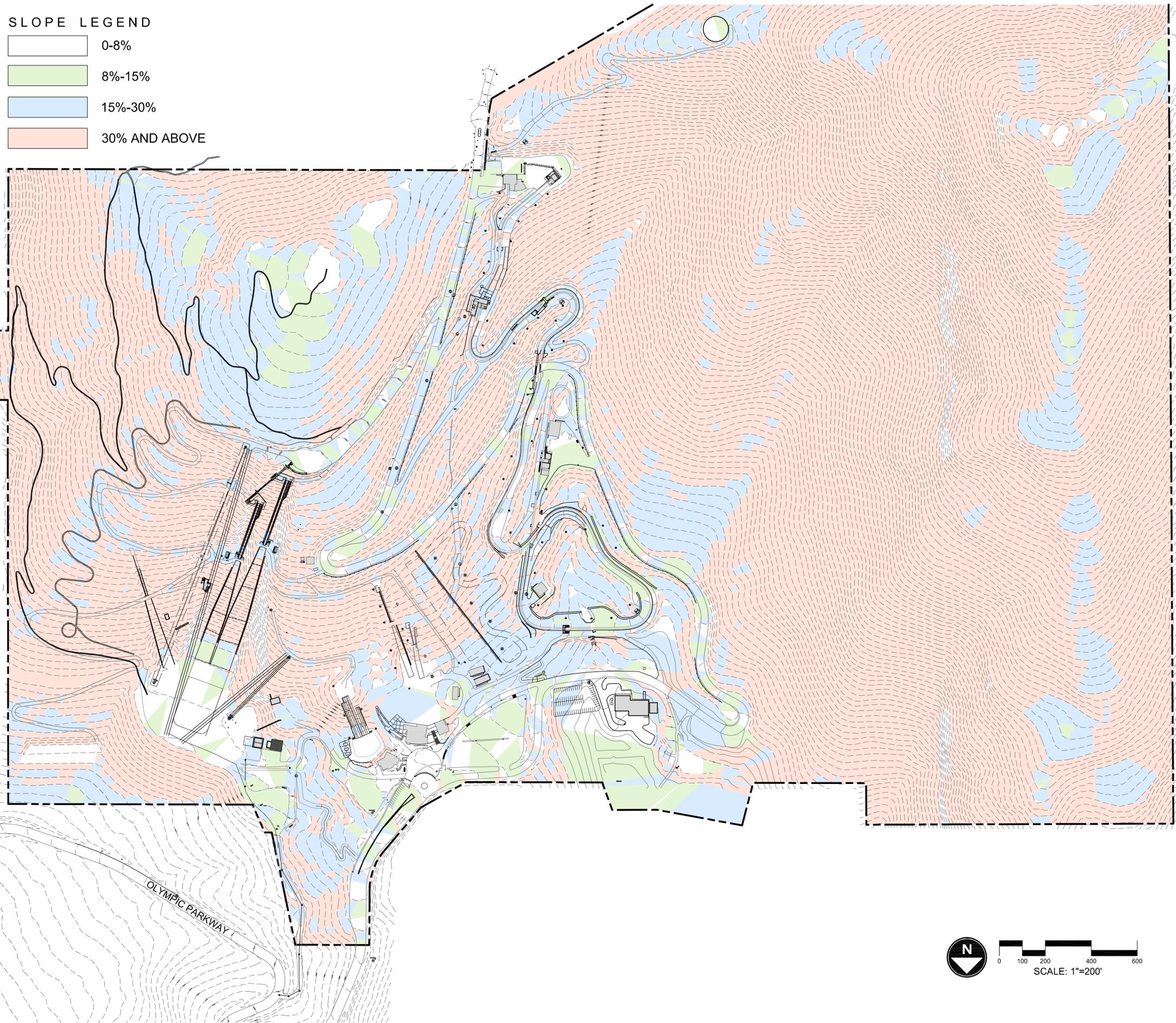
SHEET TITLE:
EXISTING CONDITIONS

SHEET NUMBER:
3



SLOPE LEGEND

-  0-8%
-  8%-15%
-  15%-30%
-  30% AND ABOVE



UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:

UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200

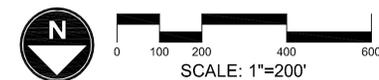


DATE:	JULY 22, 2011
PROJECT:	000.0000.00
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	SPA SUBMITTAL
REVISIONS:	

SHEET TITLE:
SLOPE ANALYSIS

SHEET NUMBER:

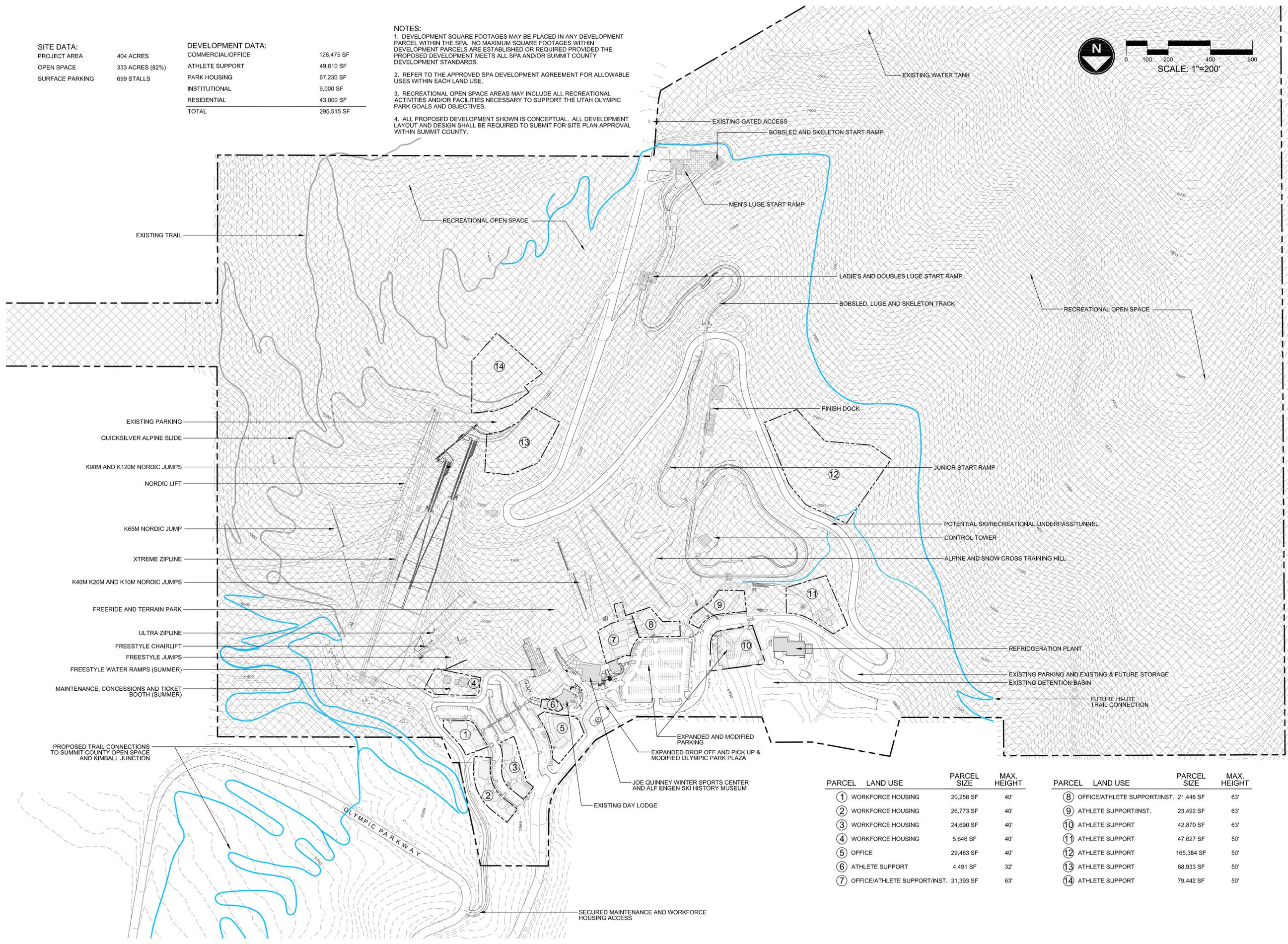
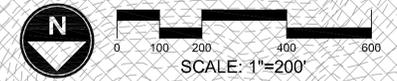
4





SITE DATA:		DEVELOPMENT DATA:	
PROJECT AREA	404 ACRES	COMMERCIAL/OFFICE	126,475 SF
OPEN SPACE	333 ACRES (82%)	ATHLETE SUPPORT	49,810 SF
SURFACE PARKING	699 STALLS	PARK HOUSING	67,230 SF
		INSTITUTIONAL	9,000 SF
		RESIDENTIAL	43,000 SF
		TOTAL	295,515 SF

NOTES:
 1. DEVELOPMENT SQUARE FOOTAGES MAY BE PLACED IN ANY DEVELOPMENT PARCEL WITHIN THE SPA. NO MAXIMUM SQUARE FOOTAGES WITHIN DEVELOPMENT PARCELS ARE ESTABLISHED OR REQUIRED PROVIDED THE PROPOSED DEVELOPMENT MEETS ALL SPA AND/OR SUMMIT COUNTY DEVELOPMENT STANDARDS.
 2. REFER TO THE APPROVED SPA DEVELOPMENT AGREEMENT FOR ALLOWABLE USES WITHIN EACH LAND USE.
 3. RECREATIONAL OPEN SPACE AREAS MAY INCLUDE ALL RECREATIONAL ACTIVITIES AND/OR FACILITIES NECESSARY TO SUPPORT THE UTAH OLYMPIC PARK GOALS AND OBJECTIVES.
 4. ALL PROPOSED DEVELOPMENT SHOWN IS CONCEPTUAL. ALL DEVELOPMENT LAYOUT AND DESIGN SHALL BE REQUIRED TO SUBMIT FOR SITE PLAN APPROVAL WITHIN SUMMIT COUNTY.



PARCEL	LAND USE	PARCEL SIZE	MAX. HEIGHT	PARCEL	LAND USE	PARCEL SIZE	MAX. HEIGHT
①	WORKFORCE HOUSING	20,258 SF	40'	⑧	OFFICE/ATHLETE SUPPORT/INST.	21,446 SF	63'
②	WORKFORCE HOUSING	26,773 SF	40'	⑨	ATHLETE SUPPORT/INST.	23,492 SF	63'
③	WORKFORCE HOUSING	24,690 SF	40'	⑩	ATHLETE SUPPORT	42,870 SF	63'
④	WORKFORCE HOUSING	5,646 SF	40'	⑪	ATHLETE SUPPORT	47,627 SF	50'
⑤	OFFICE	29,483 SF	40'	⑫	ATHLETE SUPPORT	165,384 SF	50'
⑥	ATHLETE SUPPORT	4,491 SF	32'	⑬	ATHLETE SUPPORT	68,933 SF	50'
⑦	OFFICE/ATHLETE SUPPORT/INST.	31,393 SF	63'	⑭	ATHLETE SUPPORT	79,442 SF	50'

UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
 UTAH ATHLETIC FOUNDATION
 P.O. BOX 980337
 PARK CITY, UTAH 84098
 435-658-4200



DATE: JULY 22, 2011
 PROJECT: 000.0000.00
 DRAWN BY: EL
 REVIEW BY: EL
 VERSION: SPA SUBMITTAL
 REVISIONS:

SHEET TITLE:
MASTER PLAN

SHEET NUMBER:
5

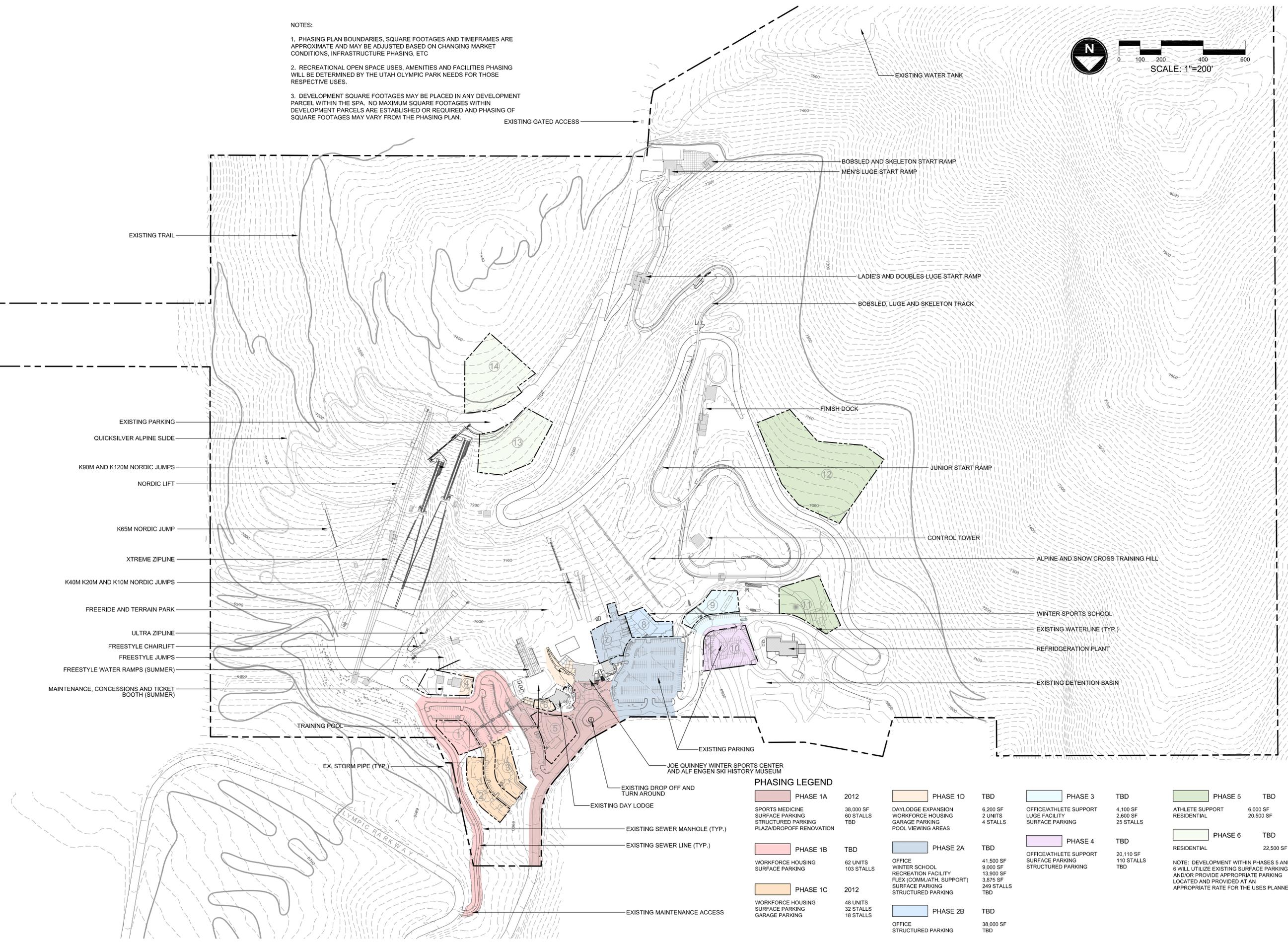


UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

NOTES:

1. PHASING PLAN BOUNDARIES, SQUARE FOOTAGES AND TIMEFRAMES ARE APPROXIMATE AND MAY BE ADJUSTED BASED ON CHANGING MARKET CONDITIONS, INFRASTRUCTURE PHASING, ETC
2. RECREATIONAL OPEN SPACE USES, AMENITIES AND FACILITIES PHASING WILL BE DETERMINED BY THE UTAH OLYMPIC PARK NEEDS FOR THOSE RESPECTIVE USES.
3. DEVELOPMENT SQUARE FOOTAGES MAY BE PLACED IN ANY DEVELOPMENT PARCEL WITHIN THE SPA. NO MAXIMUM SQUARE FOOTAGES WITHIN DEVELOPMENT PARCELS ARE ESTABLISHED OR REQUIRED AND PHASING OF SQUARE FOOTAGES MAY VARY FROM THE PHASING PLAN.



PHASING LEGEND

PHASE 1A 2012	PHASE 1D TBD	PHASE 3 TBD	PHASE 5 TBD
SPORTS MEDICINE 38,000 SF	DAYLODGE EXPANSION 6,200 SF	OFFICE/ATHLETE SUPPORT 4,100 SF	ATHLETE SUPPORT 6,000 SF
SURFACE PARKING 60 STALLS	WORKFORCE HOUSING 9,000 SF	LUGE FACILITY 2,600 SF	RESIDENTIAL 20,500 SF
STRUCTURED PARKING TBD	GARAGE PARKING 13,900 SF	SURFACE PARKING 25 STALLS	
PLAZA/DROPOFF RENOVATION TBD	RECREATION FACILITY 3,875 SF		
	SURFACE PARKING 249 STALLS	PHASE 4 TBD	PHASE 6 TBD
PHASE 1B TBD	PHASE 2A TBD	OFFICE/ATHLETE SUPPORT 20,110 SF	RESIDENTIAL 22,500 SF
WORKFORCE HOUSING 62 UNITS	OFFICE WINTER SCHOOL 41,500 SF	SURFACE PARKING 110 STALLS	
SURFACE PARKING 103 STALLS	RECREATION FACILITY 9,000 SF	STRUCTURED PARKING TBD	
	FLEX (COMM./ATH. SUPPORT) 13,900 SF		
PHASE 1C 2012	PHASE 2B TBD		
WORKFORCE HOUSING 48 UNITS	OFFICE STRUCTURED PARKING 38,000 SF		
SURFACE PARKING 32 STALLS	TBD		
GARAGE PARKING 18 STALLS			

NOTE: DEVELOPMENT WITHIN PHASES 5 AND 6 WILL UTILIZE EXISTING SURFACE PARKING AND/OR PROVIDE APPROPRIATE PARKING LOCATED AND PROVIDED AT AN APPROPRIATE RATE FOR THE USES PLANNED.

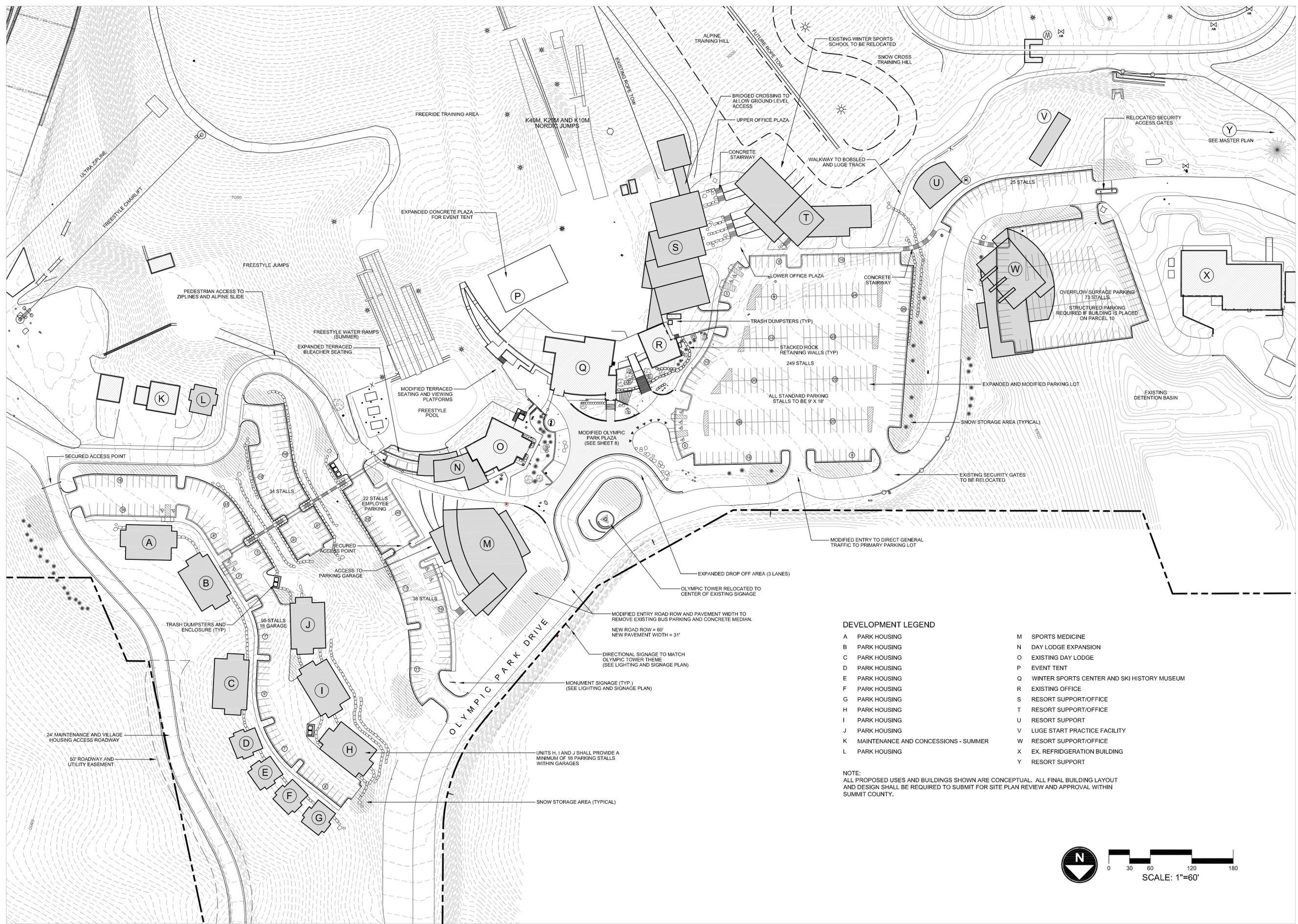
PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: JULY 29, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

SHEET TITLE:
PHASING PLAN

SHEET NUMBER:
6



UTAH OLYMPIC PARK
SPA SUBMITTAL
SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



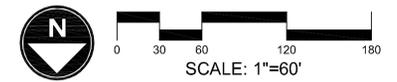
DATE: SEPTEMBER 9, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

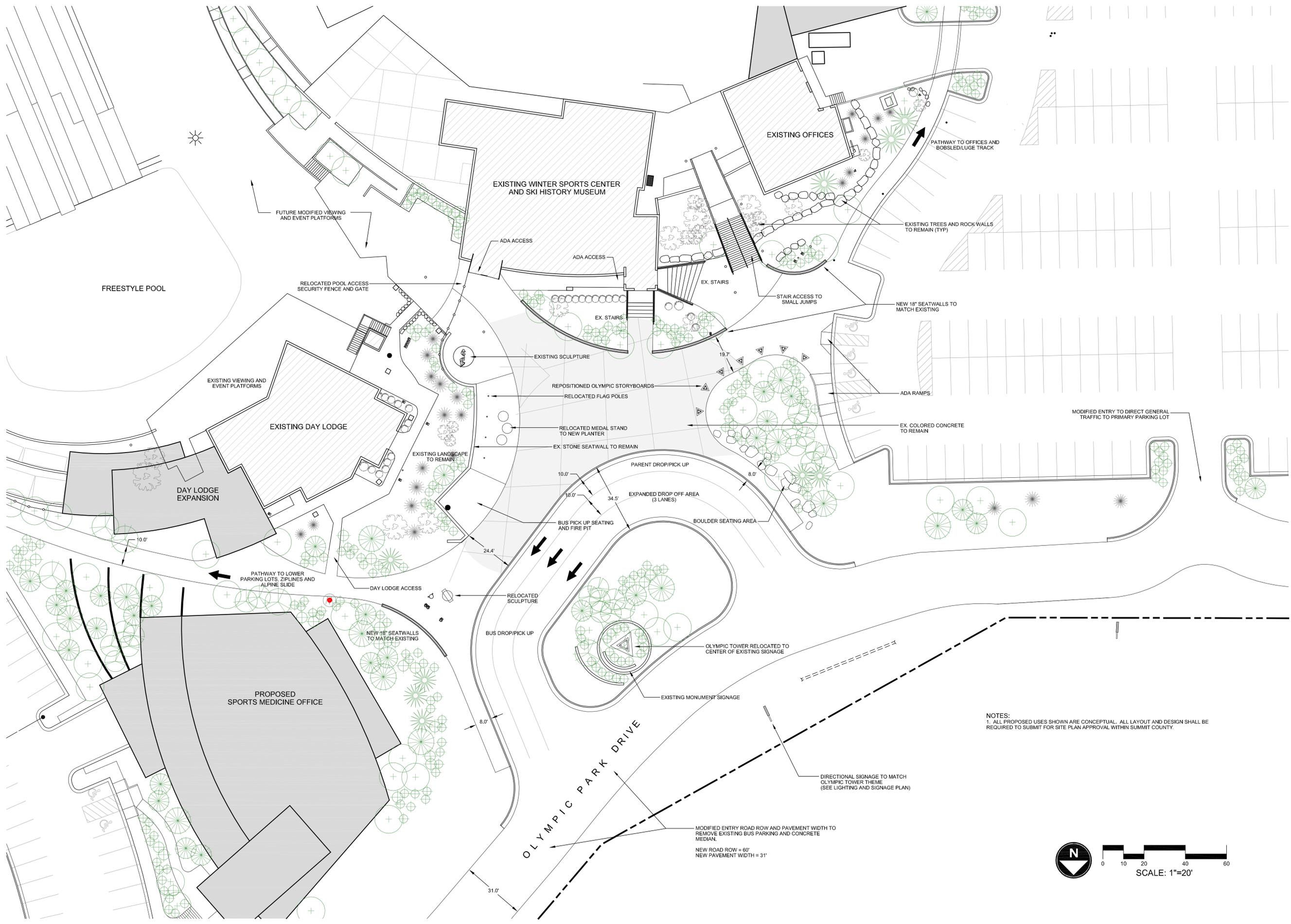
SHEET TITLE:
BASE SITE PLAN
SHEET NUMBER:

7

- DEVELOPMENT LEGEND**
- | | |
|--|---|
| A PARK HOUSING | M SPORTS MEDICINE |
| B PARK HOUSING | N DAY LODGE EXPANSION |
| C PARK HOUSING | O EXISTING DAY LODGE |
| D PARK HOUSING | P EVENT TENT |
| E PARK HOUSING | Q WINTER SPORTS CENTER AND SKI HISTORY MUSEUM |
| F PARK HOUSING | R EXISTING OFFICE |
| G PARK HOUSING | S RESORT SUPPORT/OFFICE |
| H PARK HOUSING | T RESORT SUPPORT/OFFICE |
| I PARK HOUSING | U RESORT SUPPORT |
| J PARK HOUSING | V LUGE START PRACTICE FACILITY |
| K MAINTENANCE AND CONCESSIONS - SUMMER | W RESORT SUPPORT/OFFICE |
| L PARK HOUSING | X EX. REFRIDGERATION BUILDING |
| | Y RESORT SUPPORT |

NOTE:
ALL PROPOSED USES AND BUILDINGS SHOWN ARE CONCEPTUAL. ALL FINAL BUILDING LAYOUT AND DESIGN SHALL BE REQUIRED TO SUBMIT FOR SITE PLAN REVIEW AND APPROVAL WITHIN SUMMIT COUNTY.





NOTES:
1. ALL PROPOSED USES SHOWN ARE CONCEPTUAL. ALL LAYOUT AND DESIGN SHALL BE REQUIRED TO SUBMIT FOR SITE PLAN APPROVAL WITHIN SUMMIT COUNTY.



UTAH OLYMPIC PARK

SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: SEPTEMBER 9, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

SHEET TITLE:
**OLYMPIC PLAZA
SITE PLAN**

SHEET NUMBER:
8



UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE:	AUGUST 5, 2011
PROJECT:	4-9-10
DRAWN BY:	MD
REVIEW BY:	SBWRD & MRW
VERSION:	SPA SUBMITTAL
REVISIONS:	

SHEET TITLE:
CONCEPT UTILITY
PLAN

SHEET NUMBER:

9



UTAH OLYMPIC PARK
SPA SUBMITTAL
SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: AUGUST 5, 2011
PROJECT: 4-9-10
DRAWN BY: MD
REVIEW BY: SBWRD & MRW
VERSION: SPA SUBMITTAL
REVISIONS:

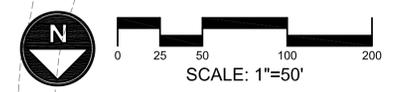
SHEET TITLE:
CONCEPT UTILITY
PLAN

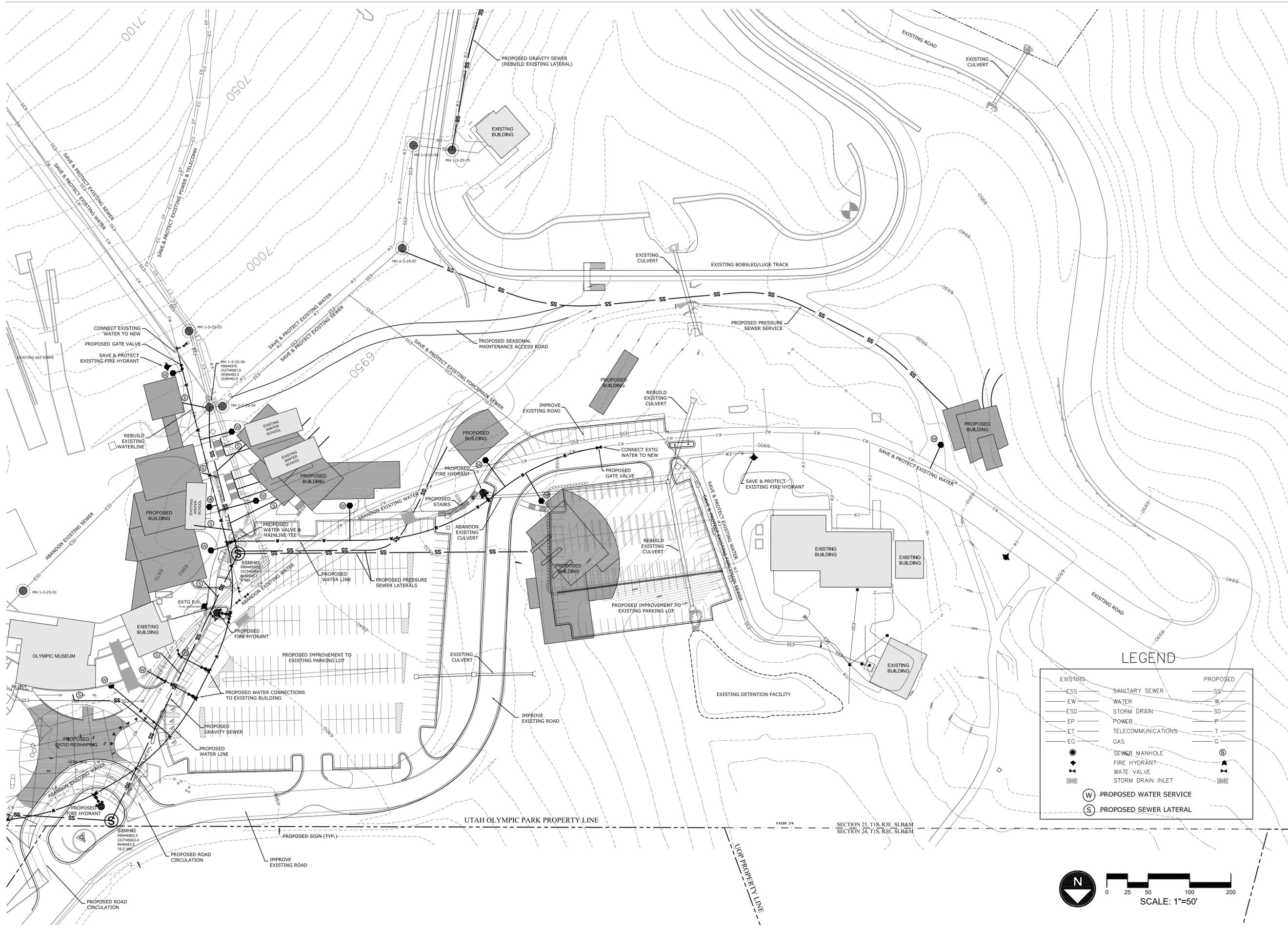
SHEET NUMBER:
10

LEGEND

EXISTING	PROPOSED
ESS	SS
EW	W
ESD	SD
EP	P
ET	T
EG	G
(Circle with M)	(Circle with S)
(Circle with H)	(Circle with V)
(Circle with I)	(Circle with W)
(Circle with S)	(Circle with S)

(W) PROPOSED WATER SERVICE
 (S) PROPOSED SEWER LATERAL





UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

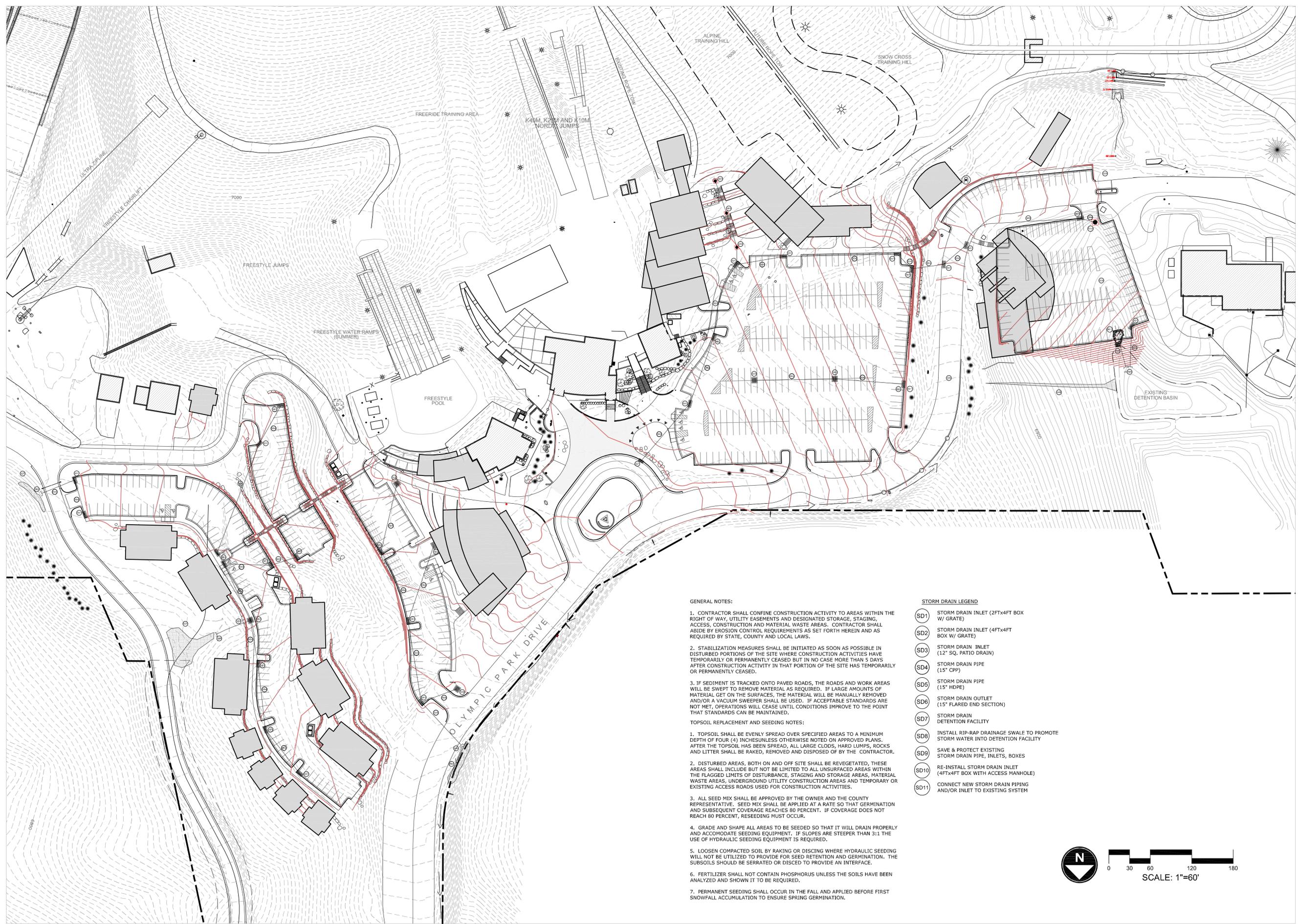
PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: AUGUST 5, 2011
PROJECT: 4-9-10
DRAWN BY: MD
REVIEW BY: SBWRD & MRW
VERSION: SPA SUBMITTAL
REVISIONS:

SHEET TITLE:
CONCEPT UTILITY PLAN

SHEET NUMBER:
11



GENERAL NOTES:

1. CONTRACTOR SHALL CONFINE CONSTRUCTION ACTIVITY TO AREAS WITHIN THE RIGHT OF WAY, UTILITY EASEMENTS AND DESIGNATED STORAGE, STAGING, ACCESS, CONSTRUCTION AND MATERIAL WASTE AREAS. CONTRACTOR SHALL ABIDE BY EROSION CONTROL REQUIREMENTS AS SET FORTH HEREIN AND AS REQUIRED BY STATE, COUNTY AND LOCAL LAWS.
2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED BUT IN NO CASE MORE THAN 5 DAYS AFTER CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.
3. IF SEDIMENT IS TRACKED ONTO PAVED ROADS, THE ROADS AND WORK AREAS WILL BE SWEEPED TO REMOVE MATERIAL AS REQUIRED. IF LARGE AMOUNTS OF MATERIAL GET ON THE SURFACES, THE MATERIAL WILL BE MANUALLY REMOVED AND/OR A VACUUM SWEEPER SHALL BE USED. IF ACCEPTABLE STANDARDS ARE NOT MET, OPERATIONS WILL CEASE UNTIL CONDITIONS IMPROVE TO THE POINT THAT STANDARDS CAN BE MAINTAINED.

TOPSOIL REPLACEMENT AND SEEDING NOTES:

1. TOPSOIL SHALL BE EVENLY SPREAD OVER SPECIFIED AREAS TO A MINIMUM DEPTH OF FOUR (4) INCHES UNLESS OTHERWISE NOTED ON APPROVED PLANS. AFTER THE TOPSOIL HAS BEEN SPREAD, ALL LARGE CLODS, HARD LUMPS, ROCKS AND LITTER SHALL BE RAKED, REMOVED AND DISPOSED OF BY THE CONTRACTOR.
2. DISTURBED AREAS, BOTH ON AND OFF SITE SHALL BE REVEGETATED, THESE AREAS SHALL INCLUDE BUT NOT BE LIMITED TO ALL UNSURFACED AREAS WITHIN THE FLAGGED LIMITS OF DISTURBANCE, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS AND TEMPORARY OR EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
3. ALL SEED MIX SHALL BE APPROVED BY THE OWNER AND THE COUNTY REPRESENTATIVE. SEED MIX SHALL BE APPLIED AT A RATE SO THAT GERMINATION AND SUBSEQUENT COVERAGE REACHES 80 PERCENT. IF COVERAGE DOES NOT REACH 80 PERCENT, RESEEDING MUST OCCUR.
4. GRADE AND SHAPE ALL AREAS TO BE SEEDDED SO THAT IT WILL DRAIN PROPERLY AND ACCOMMODATE SEEDING EQUIPMENT. IF SLOPES ARE STEEPER THAN 3:1 THE USE OF HYDRAULIC SEEDING EQUIPMENT IS REQUIRED.
5. LOOSEN COMPACTED SOIL BY RAKING OR DISCING WHERE HYDRAULIC SEEDING WILL NOT BE UTILIZED TO PROVIDE FOR SEED RETENTION AND GERMINATION. THE SUBSOILS SHOULD BE SERRATED OR DISCED TO PROVIDE AN INTERFACE.
6. FERTILIZER SHALL NOT CONTAIN PHOSPHORUS UNLESS THE SOILS HAVE BEEN ANALYZED AND SHOWN IT TO BE REQUIRED.
7. PERMANENT SEEDING SHALL OCCUR IN THE FALL AND APPLIED BEFORE FIRST SNOWFALL ACCUMULATION TO ENSURE SPRING GERMINATION.

STORM DRAIN LEGEND

- (SD1) STORM DRAIN INLET (2FTx4FT BOX W/ GRATE)
- (SD2) STORM DRAIN INLET (4FTx4FT BOX W/ GRATE)
- (SD3) STORM DRAIN INLET (12" SQ. PATIO DRAIN)
- (SD4) STORM DRAIN PIPE (15" CPP)
- (SD5) STORM DRAIN PIPE (15" HDPE)
- (SD6) STORM DRAIN OUTLET (15" FLARED END SECTION)
- (SD7) STORM DRAIN DETENTION FACILITY
- (SD8) INSTALL RIP-RAP DRAINAGE SWALE TO PROMOTE STORM WATER INTO DETENTION FACILITY
- (SD9) SAVE & PROTECT EXISTING STORM DRAIN PIPE, INLETS, BOXES
- (SD10) RE-INSTALL STORM DRAIN INLET (4FTx4FT BOX WITH ACCESS MANHOLE)
- (SD11) CONNECT NEW STORM DRAIN PIPING AND/OR INLET TO EXISTING SYSTEM



UTAH OLYMPIC PARK
SPA SUBMITTAL
 SUMMIT COUNTY, UTAH

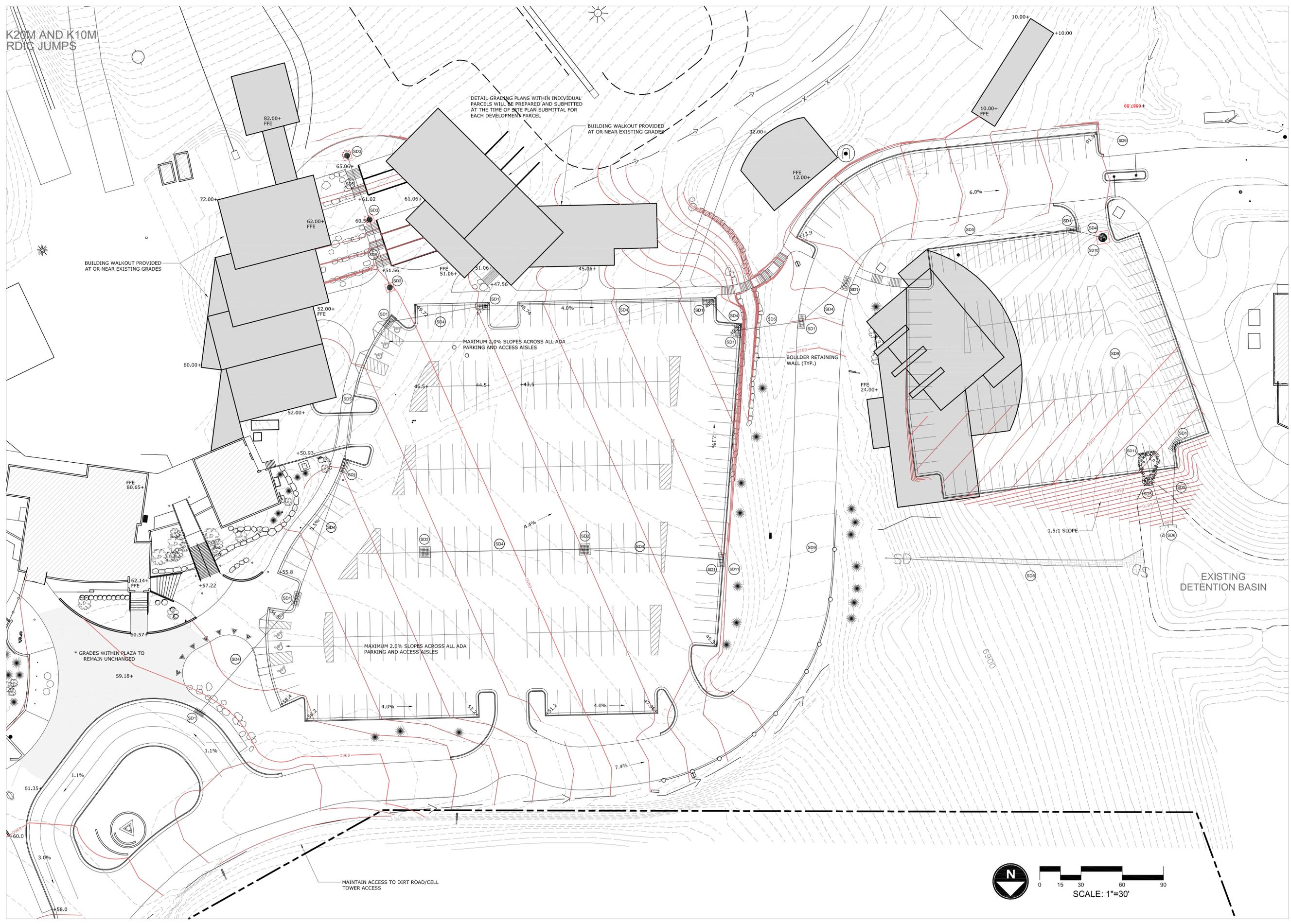
PREPARED FOR:
 UTAH ATHLETIC FOUNDATION
 P.O. BOX 980337
 PARK CITY, UTAH 84098
 435-658-4200



DATE: SEPTEMBER 9, 2011
 PROJECT: 000.0000.00
 DRAWN BY: EL
 REVIEW BY: EL
 VERSION: SPA SUBMITTAL
 REVISIONS:

SHEET TITLE:
MASTER GRADING & DRAINAGE PLAN

SHEET NUMBER:
12



UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE:	SEPTEMBER 9, 2011
PROJECT:	000.0000.00
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	SPA SUBMITTAL
REVISIONS:	

SHEET TITLE:
GRADING
& DRAINAGE PLAN

SHEET NUMBER:

13



UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

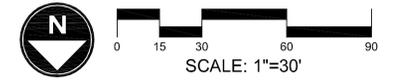
PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: SEPTEMBER 9, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

SHEET TITLE:
GRADING
& DRAINAGE PLAN
SHEET NUMBER:

14



**elliott
workgroup**
architecture

LANGVARDT

DESIGN GROUP LLC



PARK HOUSING VIEW FROM OLYMPIC PARK DRIVE - LOOKING SOUTHWEST

UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: SEPTEMBER 9, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

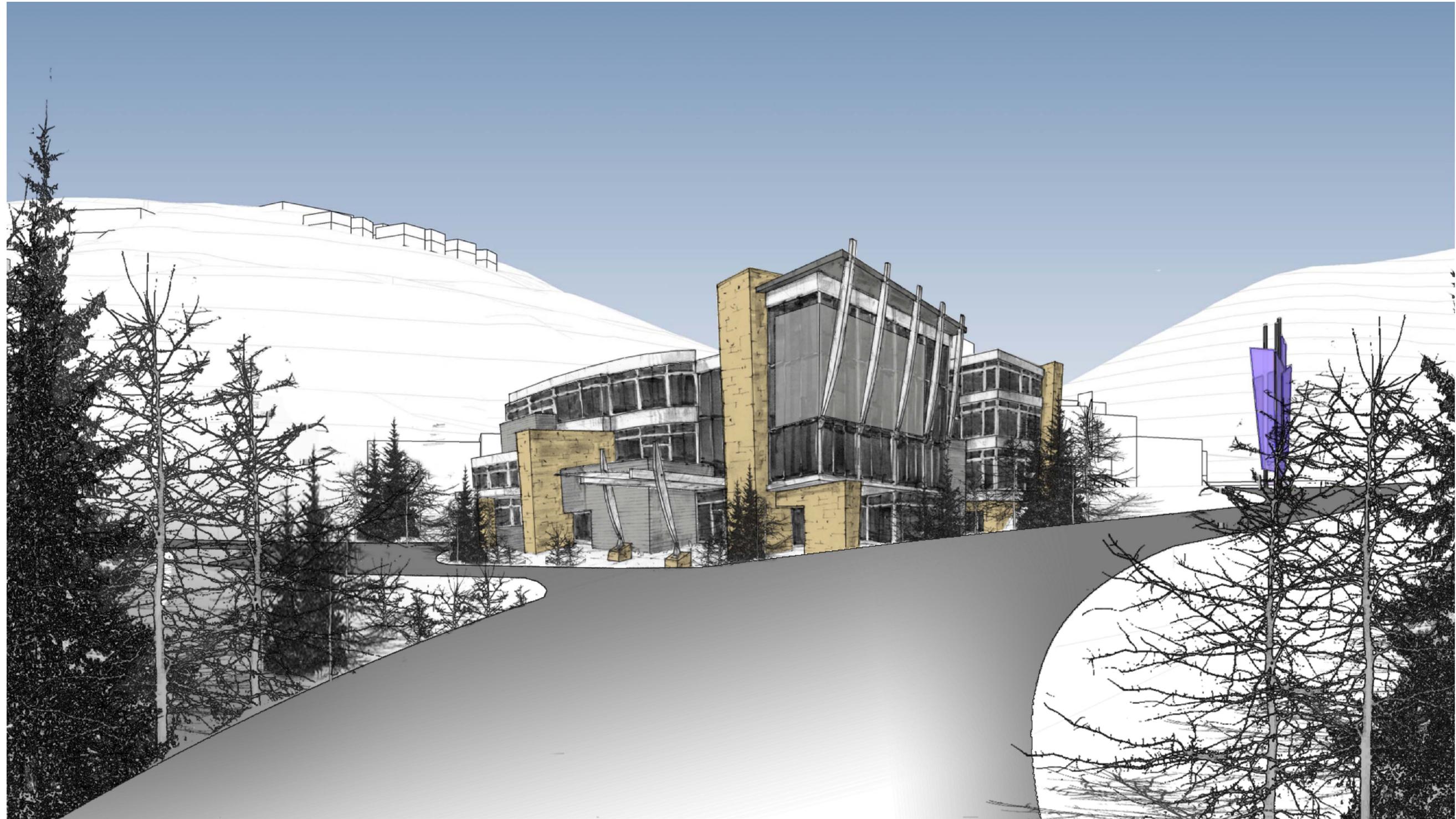
SHEET TITLE:
ARCHITECTURAL
VERNACULAR

SHEET NUMBER:

15

**elliott
workgroup**
architecture

LANGVARDT
DESIGN GROUP LLC



SPORTS MEDICINE BUILDING ALONG PARK APPROACH

UTAH OLYMPIC PARK

SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE: SEPTEMBER 9, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

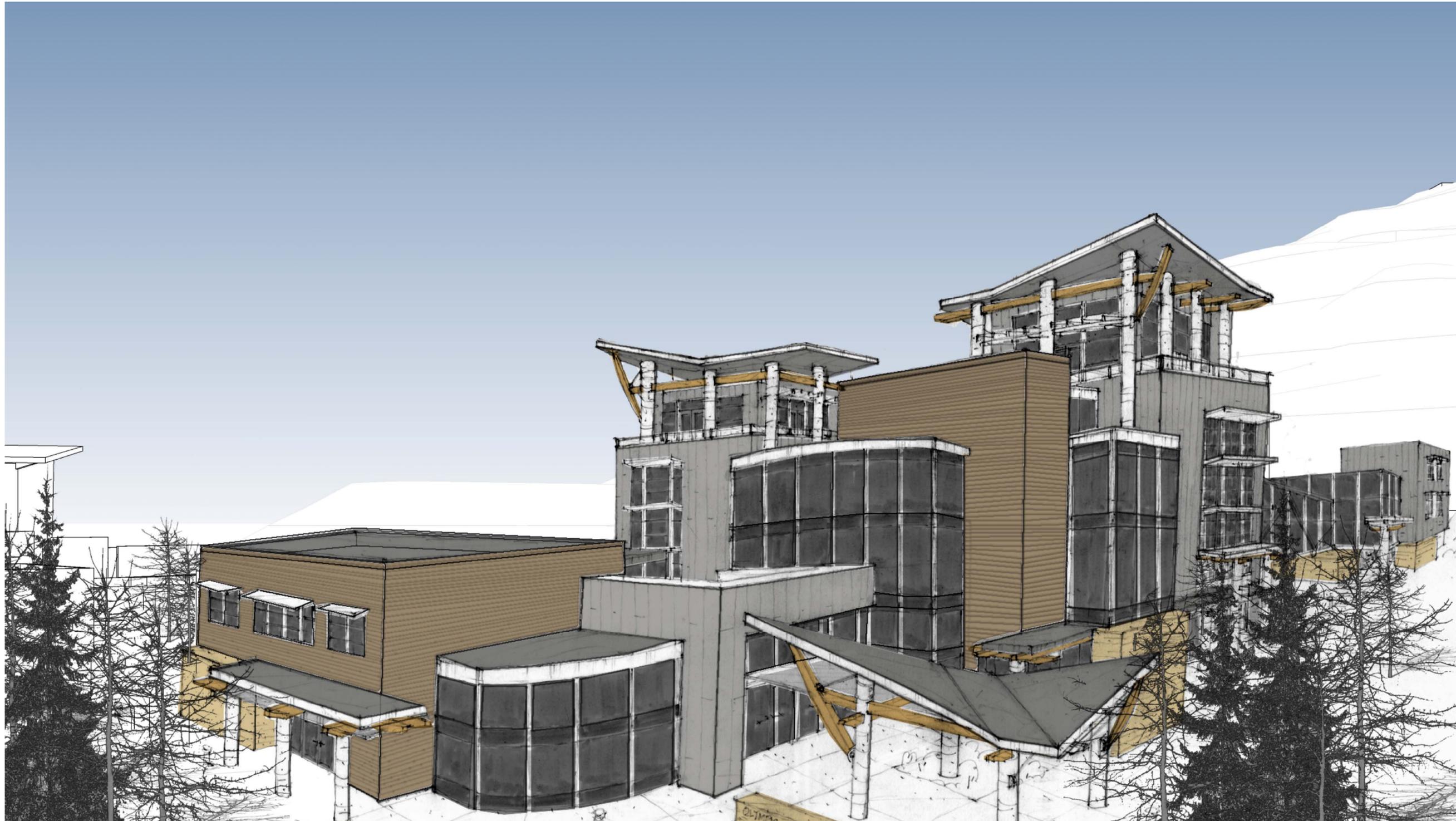
SHEET TITLE:
ARCHITECTURAL
VERNACULAR

SHEET NUMBER:

16

**elliott
workgroup**
architecture

LANGVARDT
DESIGN GROUP, LLC



OFFICE/RESORT SUPPORT MIXED USE BUILDING

UTAH OLYMPIC PARK

SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200

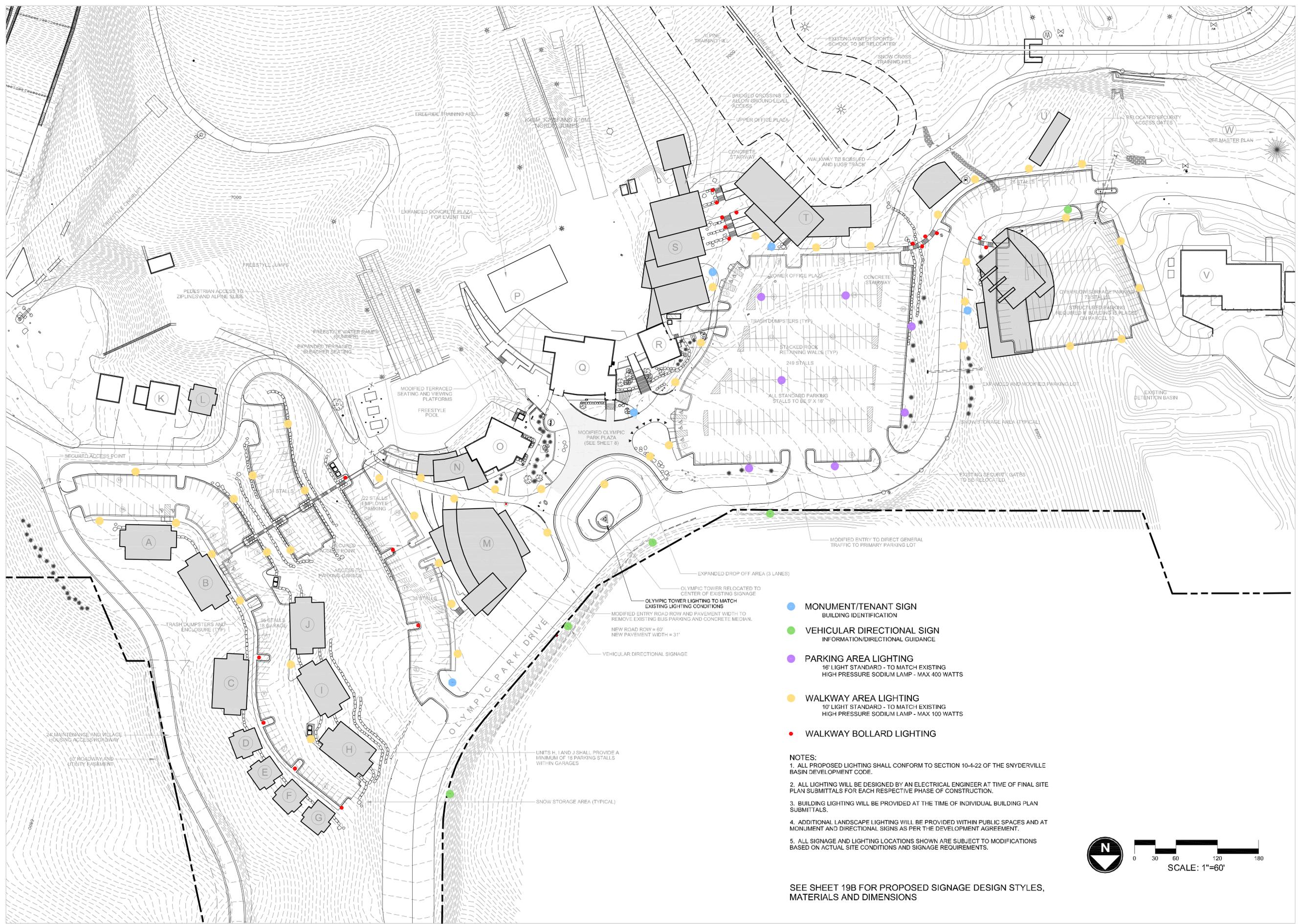


DATE: SEPTEMBER 9, 2011
PROJECT: 000.0000.00
DRAWN BY: EL
REVIEW BY: EL
VERSION: SPA SUBMITTAL
REVISIONS:

SHEET TITLE:
ARCHITECTURAL
VERNACULAR

SHEET NUMBER:

17



UTAH OLYMPIC PARK
SPA SUBMITTAL

SUMMIT COUNTY, UTAH

PREPARED FOR:
UTAH ATHLETIC FOUNDATION
P.O. BOX 980337
PARK CITY, UTAH 84098
435-658-4200



DATE:	NOVEMBER 21, 2012
PROJECT:	000.0000.00
DRAWN BY:	EL
REVIEW BY:	EL
VERSION:	SPA SUBMITTAL
REVISIONS:	

SHEET TITLE:
LIGHTING AND SIGNAGE PLAN

SHEET NUMBER:

19

- MONUMENT/TENANT SIGN
BUILDING IDENTIFICATION
- VEHICULAR DIRECTIONAL SIGN
INFORMATION/DIRECTIONAL GUIDANCE
- PARKING AREA LIGHTING
18' LIGHT STANDARD - TO MATCH EXISTING
HIGH PRESSURE SODIUM LAMP - MAX 400 WATTS
- WALKWAY AREA LIGHTING
10' LIGHT STANDARD - TO MATCH EXISTING
HIGH PRESSURE SODIUM LAMP - MAX 100 WATTS
- WALKWAY BOLLARD LIGHTING

- NOTES:
- ALL PROPOSED LIGHTING SHALL CONFORM TO SECTION 10-4-22 OF THE SNYDERVILLE BASIN DEVELOPMENT CODE.
 - ALL LIGHTING WILL BE DESIGNED BY AN ELECTRICAL ENGINEER AT TIME OF FINAL SITE PLAN SUBMITTALS FOR EACH RESPECTIVE PHASE OF CONSTRUCTION.
 - BUILDING LIGHTING WILL BE PROVIDED AT THE TIME OF INDIVIDUAL BUILDING PLAN SUBMITTALS.
 - ADDITIONAL LANDSCAPE LIGHTING WILL BE PROVIDED WITHIN PUBLIC SPACES AND AT MONUMENT AND DIRECTIONAL SIGNS AS PER THE DEVELOPMENT AGREEMENT.
 - ALL SIGNAGE AND LIGHTING LOCATIONS SHOWN ARE SUBJECT TO MODIFICATIONS BASED ON ACTUAL SITE CONDITIONS AND SIGNAGE REQUIREMENTS.

SEE SHEET 19B FOR PROPOSED SIGNAGE DESIGN STYLES, MATERIALS AND DIMENSIONS

The Utah Olympic Park SPA Development Agreement

Land Use & Zoning

PARCEL REF #	MAXIMUM BUILDING HEIGHT	MAX GROSS BUILDING AREA	COMMERCIAL/ RETAIL SUPPORT	PRINCIPLE USES
1	40'	18,400	-	<i>Workforce/Athlete Housing</i>
2	40'	23,950	-	<i>Workforce/Athlete Housing</i>
3	40'	22,080	-	<i>Workforce/Athlete Housing</i>
4	40'	2,800	-	<i>Workforce/Athlete Housing</i>
5	40'	40,000	2,000	<i>Office/Medical</i>
6	32'	6,200	2,000	<i>Athlete Support/Reception</i>
7	63'	68,275	3,875	<i>Office/Athlete Support/Commercial</i>
8	63'	38,000	-	<i>Office/Athlete Support</i>
9	63'	6,700	-	<i>Office/Athlete Support</i>
10	63'	20,110	-	<i>Athlete Support</i>
11	50'	6,000	2,000	<i>Athlete Support</i>
12	50'	20,500	-	<i>Athlete Support/Residential</i>
13	50'	15,000	-	<i>Athlete Support/Residential</i>
14	50'	7,500	-	<i>Athlete Support/Residential</i>

Totals 295,515 9,875

Notes:

1. Development square footages may be placed in any development parcel within the SPA. No maximum square footages within development parcels are established or required provided the proposed development meets all SPA and/or Summit County Development Standards.

EXHIBIT B.2 OF THE D.A.

EXHIBIT B.21 OF THE MEMO

Uses	Allowed	Low Impact	Conditional	Temporary	
Accessory Buildings under 2,000 sf including Athlete Support	X				in code
Accessory Buildings between 2,000 sf and 10,000 sf including Athlete support		X			in code
Accessory Buildings over 10,000 sf including Athlete support			X		in code
Art/Sculpture/Architectural Icon		X			not in code but may help for Olympic Icon sculpters ie Alf and Quinney or sports related art
Athlete Support Facilities	X				moved to Accessory Buildings
Bars, Taverns, Private Clubs			X		in code use would be in the event of a private entity that provided hospitality services
Beauty Shop, Barber	X				in code
Bed and Breakfast Inn			X		in code potential use for up hill sites
Building and Maintenance Services	X				in code These are specific to use such as jump maintenance and ice sheet
Private Car Port		X			not in code neither surface nor structured parking, ie Newpark Hotel
Child Care, Commercial	X				self explanatory
Churches, Schools, Institutional Uses	X				in code
Construction Trailer/Offices				X	in code
Cultural Activity		X			in code no definition stated. Moved to low impact
Dwelling Unit, Accessory under 1,000 sf	X				in code
Dwelling Unit, Loft	X				not in code but may be useful for loft over retail
Dwelling Unit, Athlete, Dormitory	X				athlete housing
Dwelling Unit, Multi-Family	X				combine Apartment and Condo into Multi Fam in code
	X				
Dwelling Unit, Multi-Family, Townhouse	X				in code as a duplex
Dwelling Unit, Single-Family detached	X				added detached
Event Tent, Private	X				not in code added for the unique Park events
Food cart, outdoor/mobile food vendor	X				not in code same as above
Health Care Facilities	X				in code as health facilities
Hotel, Inn			X		in code
Indoor Entertainment, Commercial	X				in code but narrowly defined in code as bowling alley skating etc. As deemed compatible with Parks existing facilities
Laundromat	X				in code primarily for athlete housing or hotel facilities
Maintenance Facility, Park or HOA	X				delete
Newsstand	X				delete
Property Management Offices/Check-in facilities	X				in code
Offices, General	X				in code
Offices, Medical and Dental	X				in code
Open Recreation Uses		X			in code not defined move to Low impact
Outdoor Dining	X				not in code but similar to other resorts
Outdoor Display of Merchandise, on premise		X			in code as conditional use move to low impact
Parks	X				in code with no description as an allowed use in all commercial zones
Stand alone above ground Parking Structure			X		changed definition and moved to conditional use
Parking Lot, Surface or under building footprint	X				in code but we added under building footprint
Property Management		X			delete here since we added PM to earlier use
Public Facilities		X			in code ill defined but could be broad like grandstand or concessions or restrooms. Move to low impact
Reception Center	X				delete
Recreation, Public	X				in code as conditional use. However we have pre existing with zip line, alpine slide bob sled
Recreation and Athletic Facilities, Commercial	X				in code
Recreation and Athletic Facilities, Private		X			in code we will designate as low impact
Restaurant, Deli or take out, Neighborhood		X			in code took out drive in window, take out and Neighborhood. Move to low impact.
Restaurant, Full Service		X			in code move to low impact
Retail Sales, Associated with recreation Commercial	X				in code move to low impact change to associated with recreation commercial
Retail Sales, Food	X				delete
Retail Sales, General		X			in code move to low impact Oakley glasses or Skull Candy?
Ski Lifts, New			X		already addressed
Signs		X			in code. We agree to no changeable copy
Skating Rink, Outdoor	X				delete as it can come under recreational uses commercial
Ski Lifts, Replacement	X				ok
Ski Runs, New			X		already addressed
Storage UOP or maintenance	X				in code but this would relate to Park activities and events. Drop word private
Swimming Pool, Public and Private		X			not in code move to low impact
Telecommunication Facilities		X			in code
Temporary Structures				X	in code
Trailhead	X				in code
Trails, Community Wide	X				in code
Transportation services/ Facilities		X			changed Transit to Transportation services move to low impact
Utility Facilities, Underground	X				in code
Utility Facilities, Above-Ground		X			in code
Utility Facilities, Major			X		in code
Vehicle Control Gate	X				in code for residential however our Park gate is for security and controls the entire facility. We agree to move residential and commercial to low impact and leaver resort operations allowed.
Vendor, Short Term				X	

related art. Move to low impact

for up mountain site

private added UOP or maintenance

Notes:

1. All uses not listed herein but shown within the specific SPA Plan Book of Exhibits shall be allowed uses.
2. Recreational open space areas may include all recreational activities and/or facilities necessary to support the Utah Olympic Park goals and objectives

Architectural Design Guidelines

The purpose of the architectural design guidelines is to provide direction for development of the vertical elements of the Utah Olympic Park in order to achieve a built environment that is in harmony with the natural setting, existing structures where appropriate, and provides a comfortable, distinctive, and stimulating environment. Two distinct styles of architecture exist at the park. These styles were developed in different eras with different goals. The first phase buildings are modern interpretations of mountain lodge structures. The second phase structures were built as machines of sport. The goal of the design of new structures is to incorporate both styles into a new architectural expression that connects the two previous styles and creates a strong aesthetic that can stand on it's own.



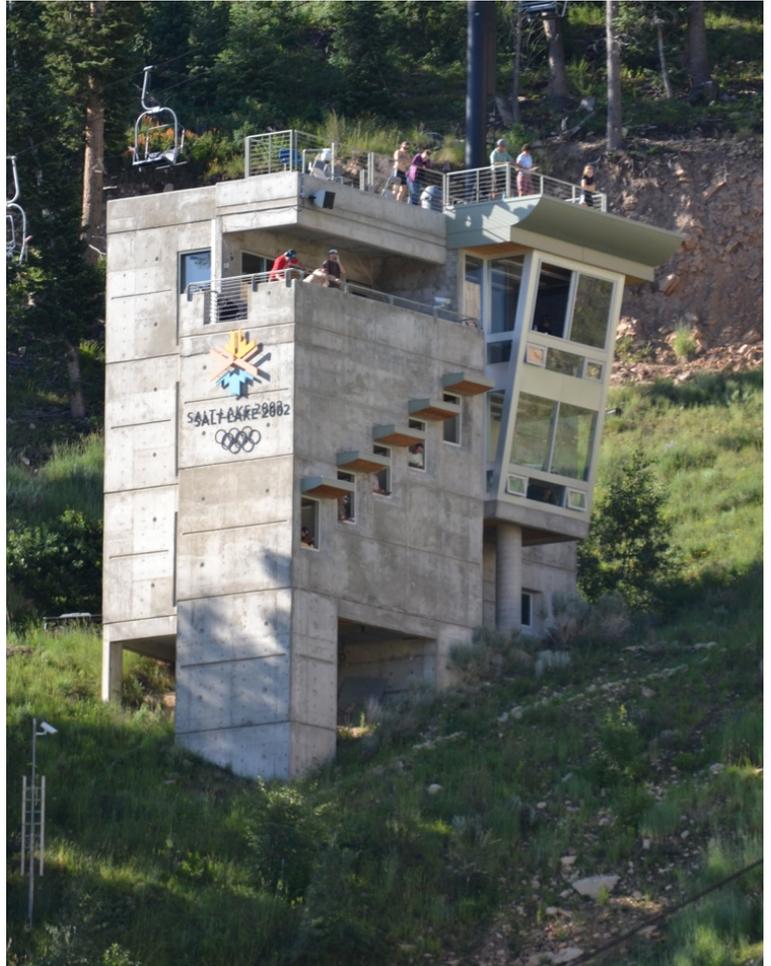
Day Lodge depicting a modern interpretation of a mountain lodge.



Joe Quinney Museum design inspired as machines of sport.

General Guidelines

- Each new building or combination of buildings should have a distinct architectural concept that is consistent in theme but rich in subtle variation.
- Buildings should be designed to provide a clear, unified, and easily identifiable image. Methods to achieve this include using similar architectural styles and materials, complementary roof forms, signs, colors, and pavement.
- All buildings should relate visually to one another, be compatible with adjacent buildings, and not obscure desirable views from nearby proposed buildings.
- Encouraged architectural qualities and design elements for Utah Olympic Park buildings are:
 - Building modulation and architectural details;
 - Building entry accentuation;
 - Screening of equipment and storage areas; and
 - Landscaping to soften building exteriors and buffer between uses.
 - Minimize visual impact to Kimball Junction.



Clearly identifiable building form.



Landscaping as a buffer between uses.

Height and Mass

- The height and mass of Utah Olympic Park buildings should consider the visual and physical relationship to adjacent uses. A structure that dominates its environment by its relative size is prohibited.
- The mass of a larger building should be broken down into a group of buildings clustered into traditional building compounds or a campus setting to create a sense of community and shelter.
- Building design should employ clean, simple, geometric forms and coordinated massing to produce overall unity, scale, and interest.
- Varying building heights/massing and setbacks to define different functions such as offices and residential is encouraged.
- Buildings should relate to the terrain and each other in their massing and forms. Larger masses should be located at the centers of building compositions, with smaller forms stepping outwards and down.
- Design buildings to follow natural terrain and help break up mass. Use landscape materials to reinforce tiered building forms. “Stepped down approaches” are especially appropriate for breaking up larger structures.



Clustered buildings with simple forms following the terrain.

Building Design

- Variety in building forms should be employed to create visual character and interest.
- Facades with a high level of visual interest from both vehicular and pedestrian viewpoints on site are encouraged. The exterior character of all buildings should enhance pedestrian activity in their immediate vicinities.
- Long building facades should be broken up with architectural details. Facades with varied front setbacks are encouraged to provide visual interest.
- All building facades should provide building offsets.
- Entrances to individual buildings should be readily identifiable to visitors through the use of recesses or pop-outs, roof elements, columns, or other architectural elements.



Variety of form.



High level of visual interest.

Roofs

- Roofs should be integral to the architectural theme of Utah Olympic Park buildings and contribute to the visual continuity. Rooflines of business park buildings should include variations to avoid long, continuous planes.
- Rooftops should be considered as design elements from various viewpoints: at ground level, from other buildings, and from adjacent perimeter roadways. Mixing roof forms on buildings creates variety in the “roofscape.” Roofs should also be interesting when seen from above in higher buildings or from upper levels of the mountain terrain.
- Rooftop equipment shall be screened from view on all four sides by architectural features integrated with the design of the building.
- Roof design shall allow solar panels to be integrated into the roof design, flush with the roof slope. Building orientation and shading design should minimize solar gain and maximize daylight harvesting.



Roof as an integral architectural theme.



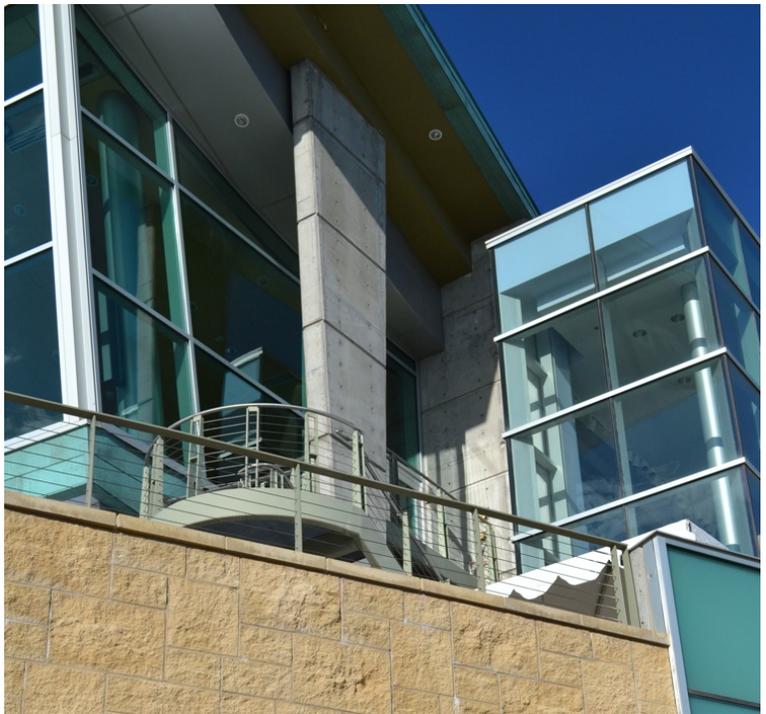
Roof as a design element.

Materials and Color

- Materials should be chosen to withstand abuse by vandals or accidental damage by machinery. False facades and other simulated materials and ornamentation are discouraged.
- Clear or lightly tinted low-e glass (glazing) should be used, particularly at pedestrian levels where transparency between indoor and outdoor spaces is desirable.
- The use of various siding material (i.e. masonry, concrete, metal, or wood siding to produce effects of texture and relief that provide architectural interest) are encouraged.
- Storage containers or accessory structures shall be architecturally treated on all four exterior sides of the building.
- Storage containers or accessory structures should employ a variety of building forms, materials, colors and other architectural treatments to add visual interest.
- The use of compatible colors in a single facade or composition is required. Compatible colors add interest and variety while reducing building scale and breaking up plain walls.
- A color palette should be used on Utah Olympic Park buildings to help reduce their perceived size. Contrasting trim and color bands that help break up the vertical monotony of flat walls are encouraged.



Example of Material Palette.



Example of Material Palette.



**LIGHTING PLAN
FOR THE UTAH OLYMPIC PARK SPECIALLY PLANNED AREA
3419 OLYMPIC PARKWAY, PARK CITY, SUMMIT COUNTY, UTAH**

December 5, 2012

The below statements correlate with the Utah Olympic Park Resort Center SPA Submittal, EXHIBIT A: Final Site Plans on sheet 19 showing conceptual locations.

Lighting Standards within Utah Olympic Park shall conform to the Snyderville Basin Development Code Section 10-4-22 unless otherwise identified to deviate from those standards below. These standards are intended to allow reasonable enjoyment and practical use of all Olympic Park venues, facilities and amenities, providing adequate lighting levels of parking and pedestrian areas, while also protecting adjacent property owners and residents of Snyderville Basin.

GENERAL STANDARDS

High pressure sodium is the lamp source to be utilized throughout the Snyderville Basin for all roadway, pathway, area and building facade illumination. Sport facility or outdoor recreation lighting is the only application where a metal halide lamp source may be used, subject to the limitations herein. No floodlighting shall be permitted. Light Standards may include prefabricated or custom poles, arms and fixtures to complement the existing and proposed architectural and signage styles. Fixtures shall be of a full cutoff variety. Foot Candles shall meet or exceed the requirements within the Code for each respective Light type.

Lighting use will generally plan and implement fixture use so as to minimize bleeding/spillover. Additionally, as technology and light fixture efficiencies are improved over time, the Utah Olympic Park commits to replace outdated fixtures with new energy efficient light fixtures as finances allow.

LIGHTING APPLICATIONS

Parking Lot Lighting

- A. For new parking areas, parking lot fixtures shall not be mounted more than sixteen feet (16') above grade, as measured to the top of the fixture or a horizontal plane being lit by the fixture. Existing parking lot fixtures with above grade heights of twenty-four feet (24') are allowed. Any enlargements to existing parking lots shall allow fixtures to match the height, style, and type of existing fixtures.
- B. The fixture lamp shall not exceed four hundred (400) watts per pole.
- C. Fixtures shall be used in interior parking/site installations only.
- D. Timers and motion sensor devices shall be used wherever practical to minimize light pollution within the Snyderville Basin.

Roadway Lighting

- A. Roadway pole fixtures shall not exceed twenty-five feet (25') in height.
- B. Fixtures should house a high pressure sodium lamp, not to exceed one hundred fifty (150) watts/pole.
- C. Fixtures should have die-cast aluminum housing, and shall be a type II, III or IV distribution pattern.
- D. Decorative roadway pole-mounted fixtures:
 - Shall not be mounted above sixteen feet (16') above grade.

- Shall house a high pressure sodium lamp, with no more than one hundred fifty (150) watts/pole.

Area Lighting, Pedestrian Walkways, Plazas, etc.

- A. New area lighting fixtures shall not be mounted more than twelve feet (12') above grade directly below the fixture, as measured to the top of the fixture or a horizontal plane being lit by the fixture. For existing area lighting, any enlargements or modifications to these areas would look to match those heights and lighting fixture type.
- B. The fixture shall house a high pressure sodium lamp, not to exceed one hundred fifty (150) watts per pole.

Building Canopy/Soffit Lighting

- A. If lighting an area with fixtures mounted on a canopy, or off of a soffit of a building, the fixture cannot be mounted above twenty feet (20'), as measured from the top of the fixture to the adjacent grade or the horizontal plane being lit by the fixture. Such lighting shall be minimized to the extent possible.
- B. The fixture should house a high pressure sodium lamp, not to exceed one hundred fifty (150) watts.
- C. Canopy/soffit-mounted fixtures should be mounted a minimum distance of seventy feet (70') from the circulation area, or other critical light cutoff boundaries.
- D. Lights should be integrated into the buildings architectural features in order to maximize effectiveness while minimizing exposure.

Building Facade Lighting

Any proposal for building facade lighting is subject to County approval. As a general rule it will not be allowed. It may be considered if the following apply:

- A. The building surface being lit is not in the line of sight of any residential living unit.
- B. The facade lighting shall be turned off by ten o'clock (10:00 p.m.) each night, and not turned on until dusk the following day.

Sport Lighting

- A. Sport lighting fixtures should not be mounted above seventy feet (70'), as measured from the top of the fixture to the adjacent grade or the horizontal plane being lit by the fixture.
- B. Fixtures should house lamps not to exceed one thousand five hundred (1,500) watts.
- C. Lighting for outdoor recreation uses should be shut off no later than eleven o'clock (11:00 p.m.). Lighting duration may need to be expanded periodically for special events, facility maintenance that includes such activities as ice making on the bobsled track, and snowmaking on the ski jumps.

Landscape/Holiday Lighting

Lighting may occur year round within public plaza or public use spaces for holiday, seasonal or landscape lighting to include strand lighting on trees, over pedestrian spaces or up lighting on landscape or sculptural elements within or adjacent to these spaces.

Existing Facility Lighting

- A. It is recognized that the original Utah Winter Sports Park (now named Utah Olympic Park) was built under the State of Utah oversight in the early 1990s. Therefore, lighting standards and facility specifications do not completely conform to local code.
- B. Where financially practical and prudent, the Utah Athletic Foundation commits to update and replace old and failing fixtures to meet local code.



**COMPREHENSIVE SIGN PLAN FOR THE
UTAH OLYMPIC PARK SPECIALLY PLANNED AREA
3419 OLYMPIC PARKWAY, PARK CITY, SUMMIT COUNTY, UTAH**

December 5, 2012

The below statements correlate with the Utah Olympic Park Resort Center SPA Submittal, **EXHIBIT A:** Final Site Plans on sheet 19 showing conceptual locations.

A Comprehensive Sign Plan for Utah Olympic Park is permitted under the Snyderville Basin Development Code Section 10-8-2: Sign Regulations. Within the previously approved Utah Olympic Park Comprehensive Sign Plan dated October 24, 2007, Utah Olympic Park and Summit County agreed to memorialize certain pre-existing 2002 Olympic Signage. Certain approvals shall continue for existing Utah Olympic Park signage within the current Development Agreement.

GENERAL

Within Utah Olympic Park, businesses and activity areas should be identified by an appropriate blend of permitted sign types including an Olympic Park Monument Sign, business area entry signs, freestanding signs, façade mounted signs, projecting signs, suspended or supported signs, banners, directional signs, and window signs. Materials for all signs shall be compatible with the surrounding architectures and mountain environment. Materials and color schemes of all exposed surfaces of signs shall complement the building located on the premises.

Signs will generally conform to the character and sizes represented in the attached illustrations. Signs shall be placed so as not to detract from the architectural elements and shall be located so as not to cause interruption to other architectural elements of buildings. Wood, metals, and materials similar in appearance to existing facility architecture, signage, and the surrounding natural environment are the materials of preference.

HISTORICAL 2002 OLYMPIC WINTER GAMES SIGNAGE

Olympic Towers

Two Olympic towers exist, one at the roundabout entry to Olympic Parkway and one in front of the Olympic Plaza. They serve as permanent reminders of Utah's 2002 Olympic Winter Games and ongoing Olympic Legacy. Periodic maintenance on these towers include rewinding of the Olympic winter sport graphics and painting of the metal structures. Upkeep and maintenance of these towers is the sole responsibility of the Utah Athletic Foundation under license agreement with the United States Olympic Committee. The towers may be lit so long as they comply with County down lighting regulations.

Existing Scoreboards

The electronic scoreboards installed for the 2002 Olympics (20'x 60' in size) are permitted as shown in the attached visual. Any change in size or location is subject to Low Impact Permit review.

Existing Flags

The national flags located at the top and base of the jumping hills and surrounding the sliding track are permitted.

“Look of the Games”

Numerous buildings and sport support areas have graphics and Olympic marks that are historical and appropriate in their continued visibility. Examples include logo etchings on facility windows, large banners with winter athlete pictures, and numerous renditions of Olympic rings displays. These are permitted for continued visual display.

UTAH OLYMPIC PARK MONUMENT ENTRY SIGN

One project entry monument sign for the development is allowed to represent Utah Olympic Park on a permanent basis. The entry sign may be designed to accommodate non-electronic changeable copy displays and/or banners affixed to the structure or other similar means promoting civic or special events. The size of the individual letters of the civic or special event shall be proportional to the size of the structure and will be as approved through a Low Impact Permit.

Sign Location and Size

The sign shall be located similar to previously approved in the October 24, 2007 Utah Olympic Park Comprehensive Sign Plan at the southwest corner of SR-224 and Olympic Parkway in the Summit County right-of-way. All parts of the sign and any landscaping above grade shall be located at least ten feet from the back of the curb. The display area of the sign shall not exceed forty-five (45) square feet.

Sign Type and Material

The monument sign shall be constructed with a monument base of stone, wood, concrete or a combination of the three. The display area (sign board) shall be made of real metal (non-reflective), wood, wood composite material, stone, or similar. Sign copy may be applied, painted, engraved, wood, or solid letters applied directly on the sign board. Colors may include Utah Olympic Park colors or colors which are neutral and compatible with the surrounding architectures and mountain environment.

Sign Copy

The sign will include the permanent copy of "Utah Olympic Park" and may include the Utah Olympic Park logo. The copy "USA", the Olympic Rings, and the copy "U.S. Olympic Training Site" may be also included in the facility identification. Changeable copy is intended to promote civic or special events.

BUSINESS AREA ENTRY SIGNS

Multiple business area entry signs for the development are allowed to represent business partner locations on a permanent basis. The project entry sign may include individual tenant names and locations. The size of the individual letters of the project name and individual tenants shall be proportional to the size of the structure.

Sign Location and Size

Signs shall be located at the entry location of the various building clusters as conceptually identified in sheet 19 of the Resort Center SPA Submittal Site Plans. The display area of the sign shall not exceed twenty-seven (27) square feet.

Sign Type and Material

Signs shall be constructed with a base of stone, wood, concrete or a combination of the three. The display area (sign board) shall be made of metal (non-reflective), wood, wood composite material, or Coroplast. The copy may be applied, painted, engraved, wood, or solid letters applied directly on the

sign board. Colors may include the Utah Olympic Park colors or colors which are neutral and compatible with the surrounding architectures and mountain environment.

Sign Copy

The sign may include company or brand names. Discounts on activities shall not be advertised.

FREESTANDING SIGNS

Existing signs, as shown in attached illustrations, are permitted. New signs or changes to existing signs are subject to Low Impact Permit review. Signs may be wood, metal, or a material which complements the building. The copy may be applied, painted, engraved, wood, or solid letters applied directly on the sign board. Colors may include the Utah Olympic Park colors or colors which are neutral and compatible with the surrounding architectures and mountain environment. Sign copy shall identify a building or area, be directional in nature, or interpretive relative to the natural environment, Utah's 2002 Olympic Winter Games, or the ongoing Olympic Legacy. The copy shall not include advertisements, brand names or logos, excluding the Utah Olympic Park name and logo.

FAÇADE MOUNTED SIGNS

Existing signs, as shown in attached illustrations, are permitted. New signs or changes to existing signs are subject to Low Impact Permit review. Signs may be wood, metal, or a material which complements the building. The copy may be applied, painted, engraved, wood, or solid letters applied directly on the sign board. Colors may include the Utah Olympic Park colors or colors which are neutral and compatible with the surrounding architectures and mountain environment. Sign copy shall identify the building or be directional in nature. The copy shall not include advertisements, brand names or logos, excluding the Utah Olympic Park name and logo.

PROJECTING SIGNS

The bottom of projecting signs shall be a sufficient height above ground to prevent damage or hazardous conditions. Signs shall be proportionate in scale to their respective buildings and are subject to Low Impact Permit review and approval.

SUSPENDED OR SUPPORTED SIGNS

The bottom of suspended or supported signs shall be located sufficiently and at a height sufficient to prevent damage or hazardous conditions. Signs shall be proportionate in scale to their respective buildings and are subject to Low Impact Permit review and approval.

BANNERS & FLAGS

Parking Lot Banners

Banners may be installed within parking lots. The bottom of the banners shall be a sufficient height above the parking lot or sidewalk to prevent damage or hazardous conditions. The size of the banner shall be proportional with the light pole on which it is placed. These banners will be made of nylon or other strong weather resistant fabric material. Each banner may contain artistic expressions and colors. Banners may display the Utah Olympic Park name and logo and/or advertise certain events.

Pedestrian Area Banners

Banners may be installed on decorative and/or light poles and building facades throughout Utah Olympic Park. The purpose of these banners is to animate and identify key pedestrian environments. The bottom of the banners shall be a sufficient height above ground to prevent damage or hazardous conditions. The size of the banner shall be proportional with the pole on which it is placed. Each

banner may contain artistic expressions and colors. Banners may contain the Utah Olympic Park name and logo, the name and/or logo of certain tenants within Utah Olympic Park, and may advertise certain events.

DIRECTIONAL SIGNS

Pedestrian & Vehicular Directional Signs

Additional pedestrian and vehicular directional signs may be installed with the purpose of increasing safety, easing vehicular traffic, identifying pedestrian traffic areas, and differentiating between vehicular and pedestrian areas.

Existing Directional Signs

The directional sign on Olympic Parkway was installed by the Utah Department of Transportation prior to the 2002 Olympics and is permitted. Other directional signs, examples of which can be seen in Exhibit D, are necessary to direct patrons around the site and are permitted.

WINDOW SIGNS

Signs may be stenciled or etched on windows or doors and may contain the Utah Olympic Park name and logo, the name and/or logo of certain tenants within Utah Olympic Park, or hours of operation.

SIGN ILLUMINATION

Sign lighting shall comply with lighting standards established in the Snyderville Basin Development Code. Lighting for all signs, if illuminated and with the exception of the scoreboard, shall be from external illumination sources. However, back lighting is permitted so long as the light source is screened from view. All external illumination sources shall be shielded from public view. Light shall be concentrated on the sign face. The amount of light cast to areas other than the sign shall be reduced to the extent possible.

Exposed neon tubing and/or individual light bulbs forming the sign copy shall not be permitted without approval of O.A. Exposed neon signs shall be permitted inside a business if set back ten (10) feet minimum from the storefront window (with permission).

PROHIBITED SIGNS

Unless otherwise addressed in this Comprehensive Sign Plan, those signs identified in Section 10-8-2(F) of the Snyderville Basin Development Code are prohibited unless approved by separate permit.

PERMITS REQUIRED

Except as provided herein, no sign shall be erected without securing any permits required under Snyderville Basin Development Code Section 10-8-2: Sign Regulations and any other permits specifically required hereunder.

MINIMUM STANDARD

These guidelines constitute a minimum standard for signs. The developer intends to operate above the minimum standard in terms of quality and expression.

Types of Signs	Number	Size	Code	Location
Entrance Sign (changeable copy displays)	2	45 square feet (no advertising)	No	Entrance to the UOP
Freestanding/Monument	1 per building, area, activity, vehicular access, or directional area	30 square feet	Yes	Entry Location to the Buildings (see location map)
Primary Wall Sign	1 per building	1:2 up to 60 square feet or up to 75 sq ft if building façade is 250' min length	Yes	Building Facades
Secondary Wall Sign	1 per building	1/2 the size of primary wall sign	Yes	None proposed
Projecting Sign	1 per building	6 square feet	Yes	Pending new development
Suspended Sign	1 per building	Not specified	Yes	Pending new development
Awning Sign	1 per building	N/A	Yes	Pending new development
Banners on Light Poles	No more than 50% of signs	15 square feet	No	Pending new development
Temporary Signs	per code	20 square feet	Yes	Pending new development
Open House Off-Premise Signs	N/A	N/A	Yes	Pending new development
Non-Commercial Opinion Signs	N/A	N/A	Yes	Pending new development
Property Subject to Development or Construction	per code	20 square feet	Yes	Pending new development
Property Subject to Sale, Lease, Rent, or Auction	N/A	N/A	Yes	Pending new development
Flags	Existing Exemption	Existing Exemption	Yes	Pending new development
Window Signs	N/A	25% of the Window Area	Yes	Pending new development
Neon Signs	N/A	N/A	Yes	Pending new development

Additional Sport Signage

Various Utah Olympic Park Banners

60 square feet maximum

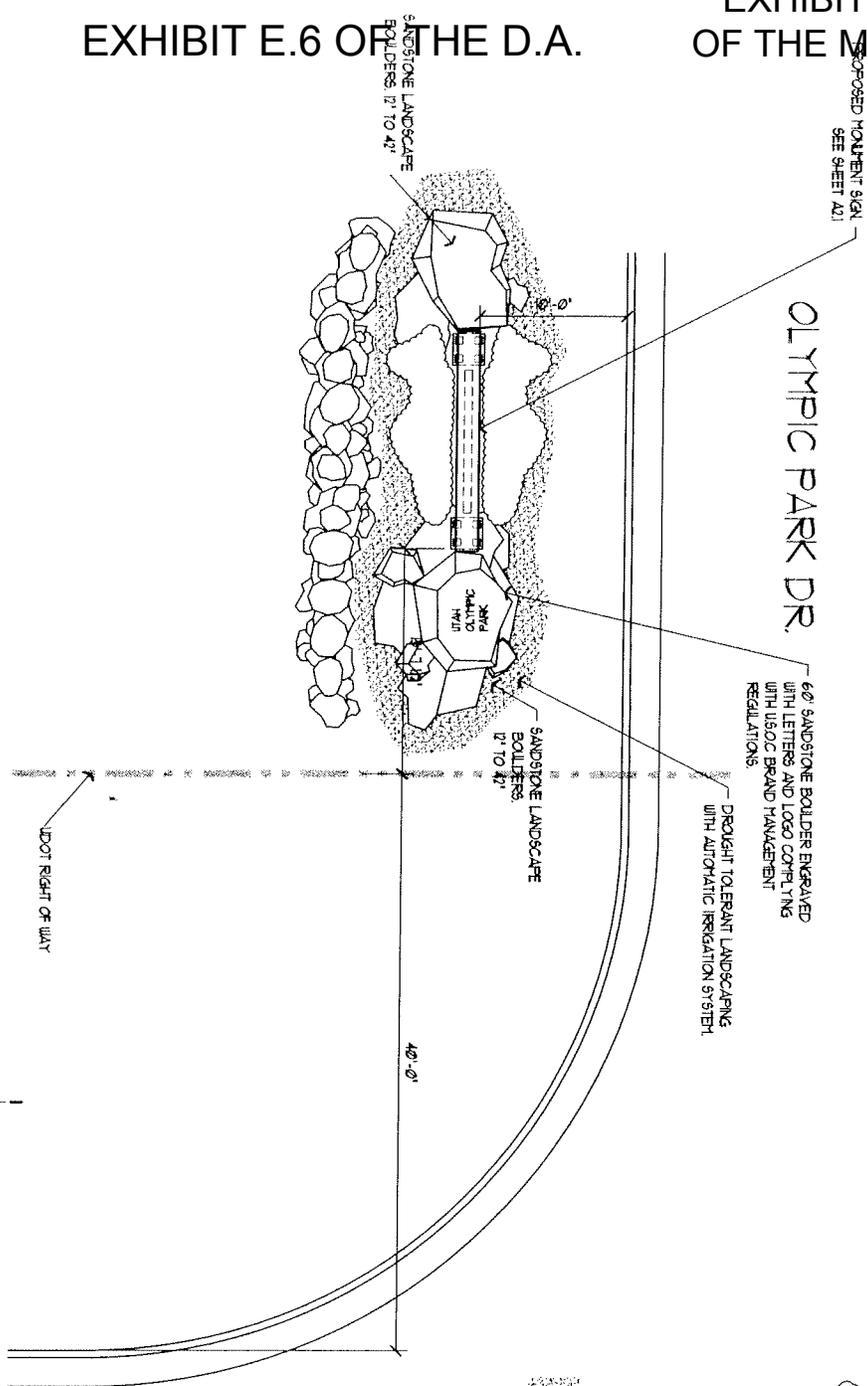
Aerials Pool Jump Signs

100 square feet

Utah Olympic Park fully intends to make every effort to meet the intent of all sign regulations. Sign design will ensure that materials and color schemes are compatible with Snyderville Basin's mountain environment with all materials and color schemes of exposed sign surfaces complementing the building located on the premises. Size and height will be determined by respective locations and purpose due to the scale of the various environments and particular snow loads, but generally with a maximum of height of 10' where not already exempted.

UTAH OLYMPIC PARK MONUMENT ENTRY SIGN
PRELIMINARY RENDERING & LOCATION

(CONCEPTUAL ONLY AS PREVIOUSLY APPROVED OCTOBER 24, 2007)



LANDSCAPE PLAN



PLANT LIST

COMMON NAME	LOT#	% BULK LBS.
PARK CITY SEED MIX GRANITE SEED COMPANT		
ACTOSTAPHYLOS UVA-URSI		
CORONARISTE DAMPEN LOUISIANE		
TRICHOARPENS		Creeching Colorado Holly
GALLIARIDA BRITATA		Blanket Flower
GERANIUM SERGIUNIAN		Bloody Cranesbill
AQUILEGA CANADENSIS		Roddy Mountain Columbine
RUDEBECKIA WILGIDA 'GOLDSTUM'		Black Eyed Susan
SHEEP RESCUE		
TALL WHEAT GRASS	PROVY -31816	4120
MOUNTAIN BROTCRASS	AGEL -31755	2250
CHOKECHERRY	BR74 -31894	2250
UTOPING BIG SAGEBRUSH	PREV1 -23252	210
ARTRW -31061		1530

HWY 224

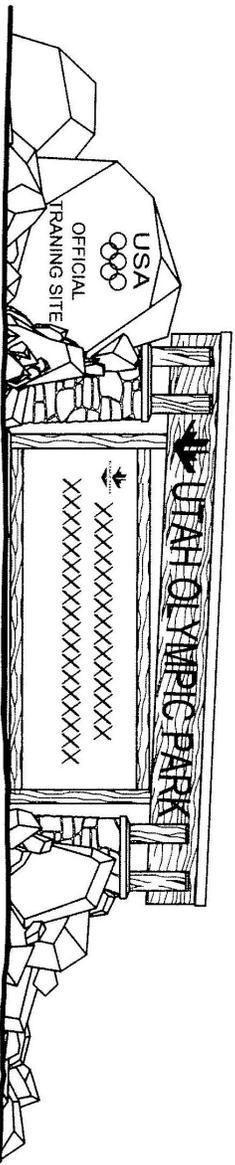
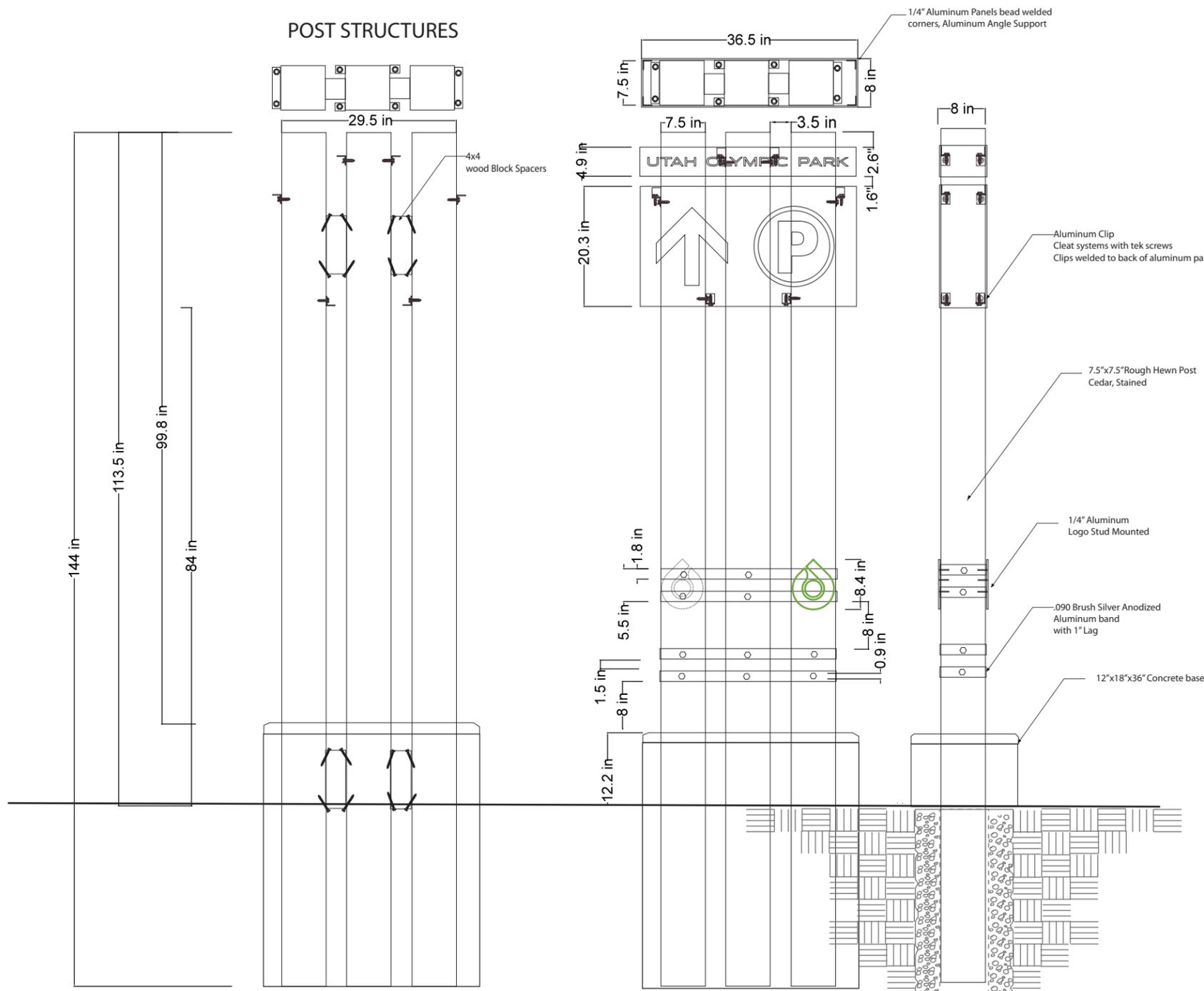
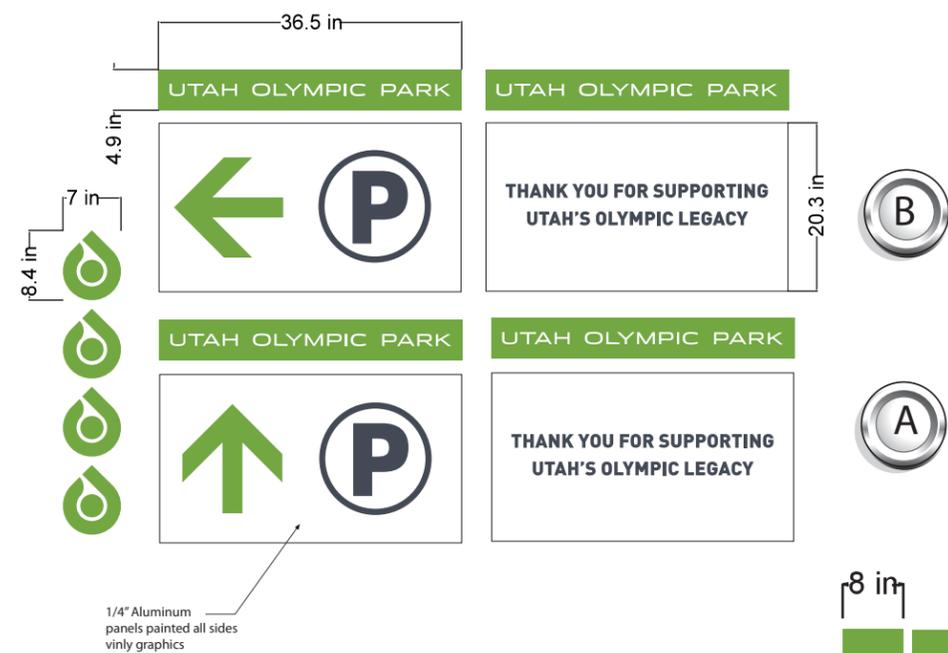


EXHIBIT E.7 OF THE D.A.

SIGN SPECIFICATIONS



GRAPHIC PANELS



SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Inon illuminated wayfinding pylon
- Quantity: one (1) each - 2 total double sided
- Overall height of sign Panel: 25" / Overall length of sign panel: 36.5"
- Overall height above grade: 9.5'
- Total square feet: 6'
- Cabinet depth: 8"
- Retainer size: N/A
- Face type: 1/4" Aluminum painted MP/Vinyl Graphics
- Mounting method: 3 Rough Hewn Cedar Posts Stained

OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

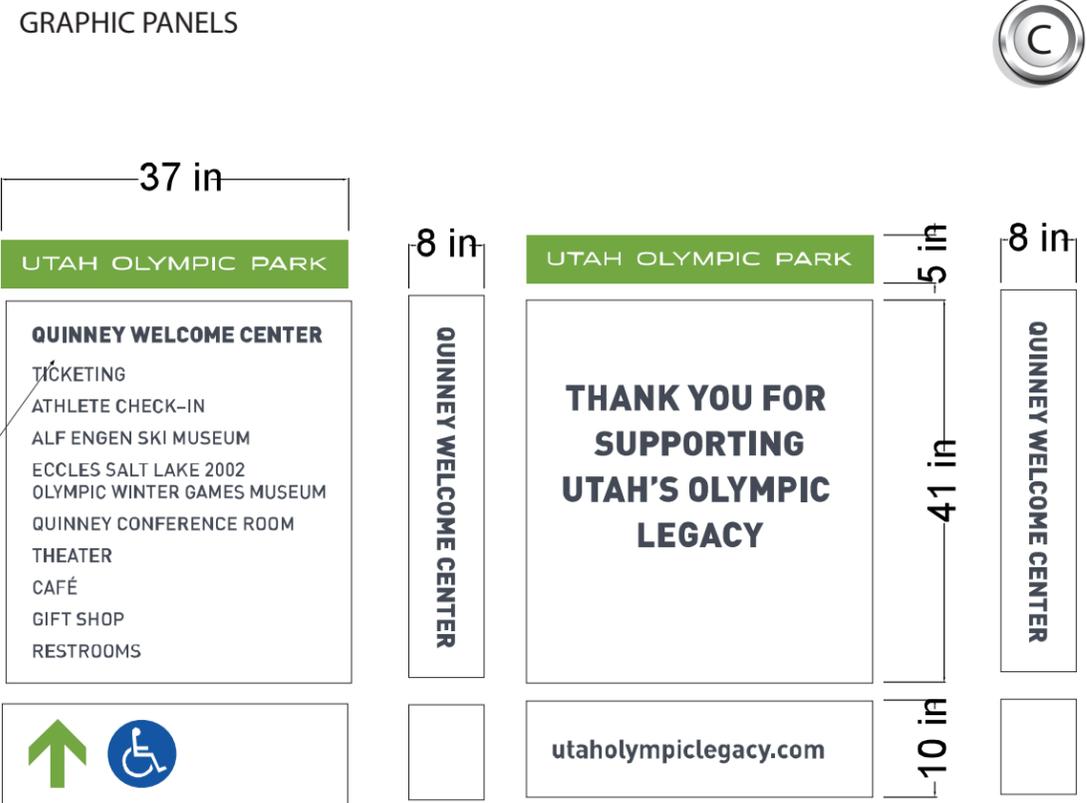
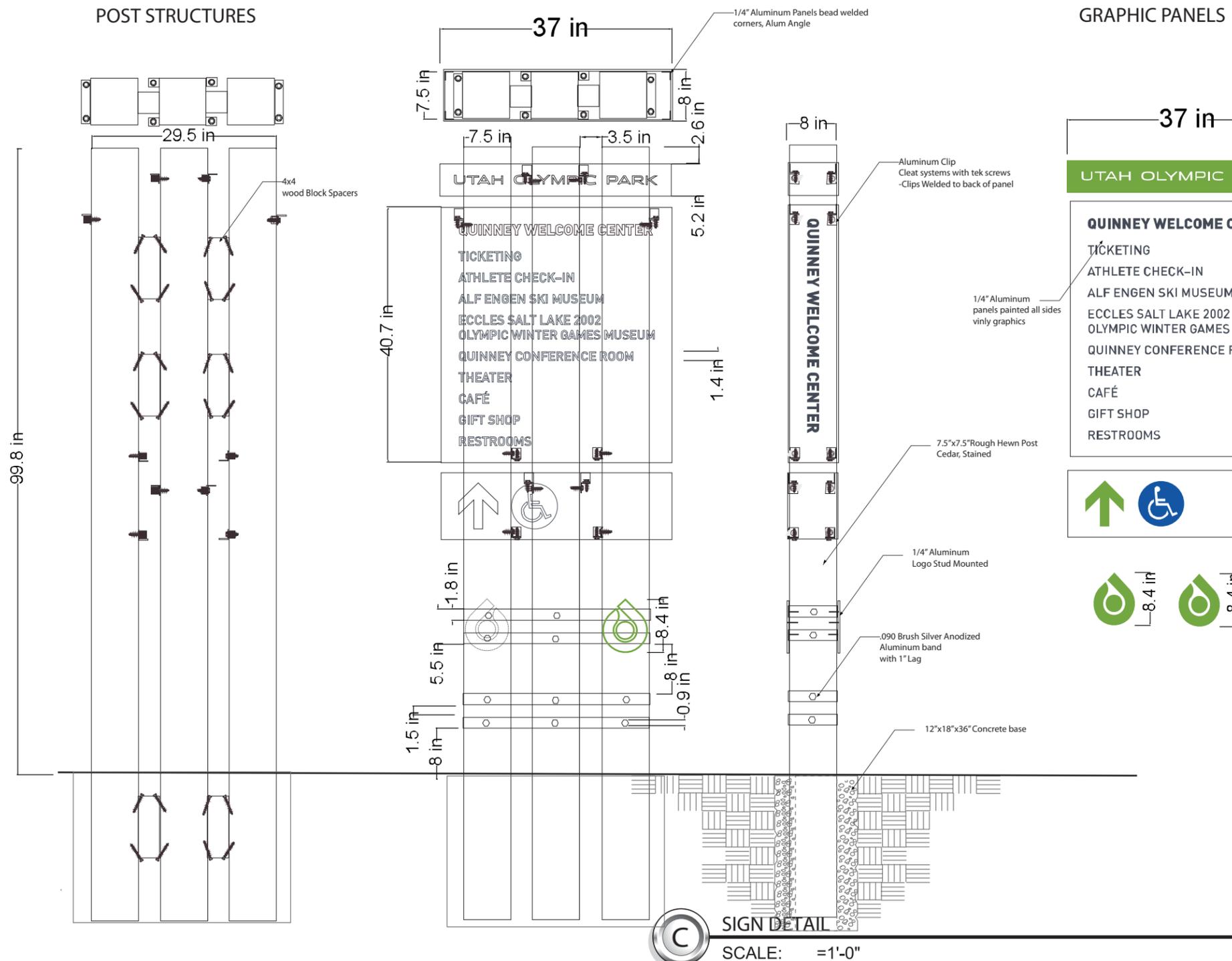
Logo always mounted to right most post when viewing sign in elevation

A SIGN DETAIL
SCALE: =1'-0"

Franchise: _____

Customer Code: _____

EXHIBIT E.8 OF THE D.A.
SIGN SPECIFICATIONS



SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Inon illuminated wayfinding pylon
- Quantity: one (1) each - double sided
- Overall height of sign Panel: 56" / Overall length of sign panel: 37"
- Overall height above grade: 8.4'
- Total square feet: 15'
- Cabinet depth: 8"
- Retainer size: N/A
- Face type: 1/4" Aluminum painted MP/Vinyl Graphics
- Mounting method: 3 Rough Hewn Cedar Posts Stained

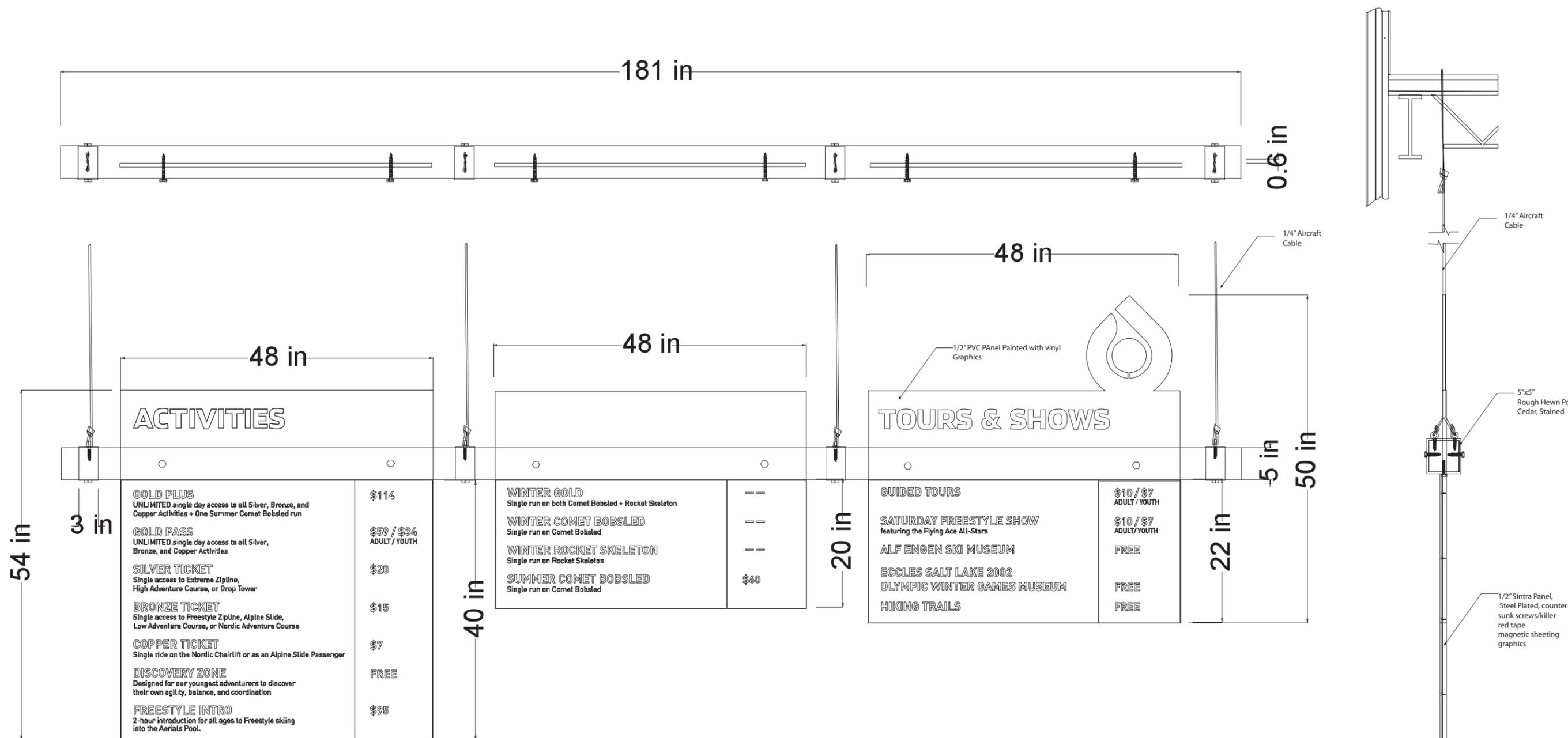
OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

Logo should be installed on far right post at sign elevation

Franchise: _____

Customer Code: _____

EXHIBIT E.9 OF THE D.A.
SIGN SPECIFICATIONS



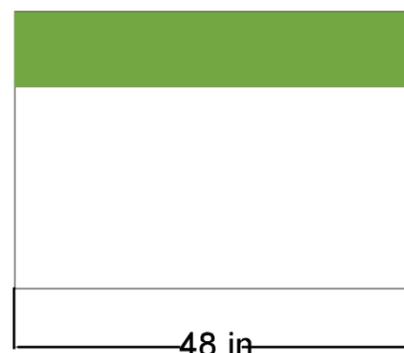
E SIGN DETAIL
SCALE: =1'-0"

Franchise: _____ Customer Code: _____

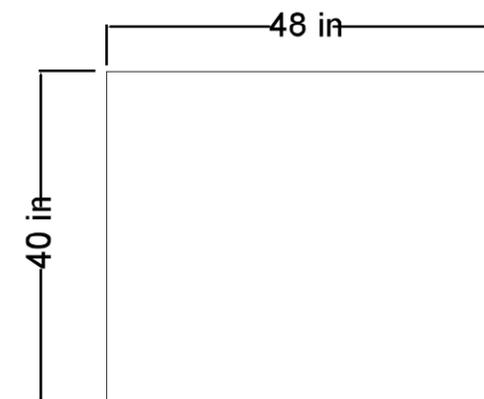
EXHIBIT E.10 OF THE D.A.
SIGN SPECIFICATIONS

E GRAPHIC PANELS

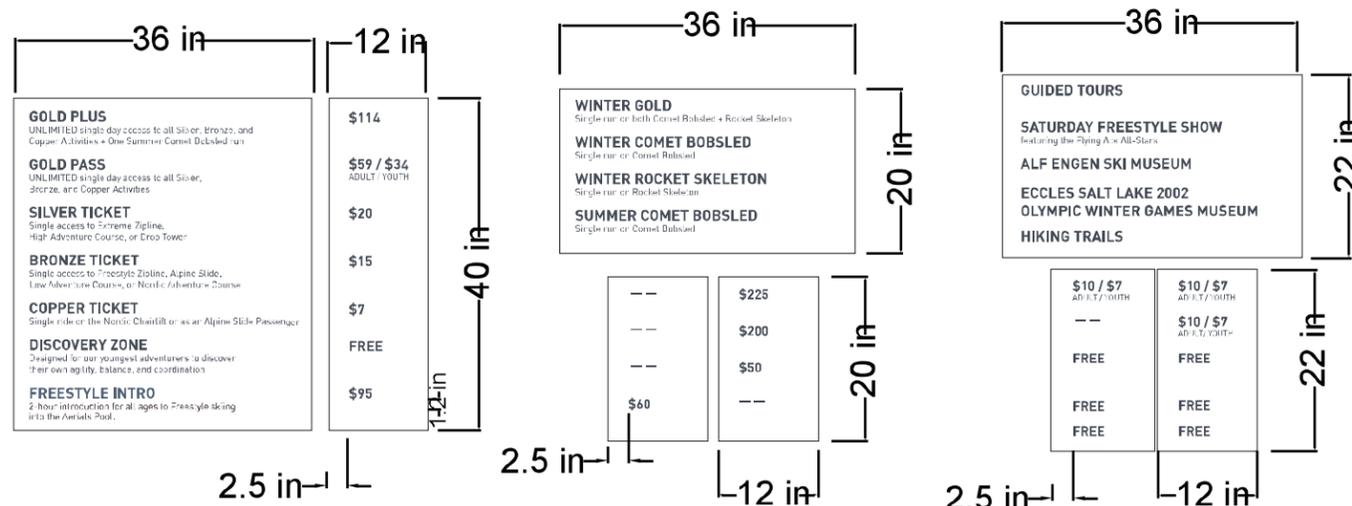
1/2" thick sintra panels, mask and painted



White powder coated steel blanks

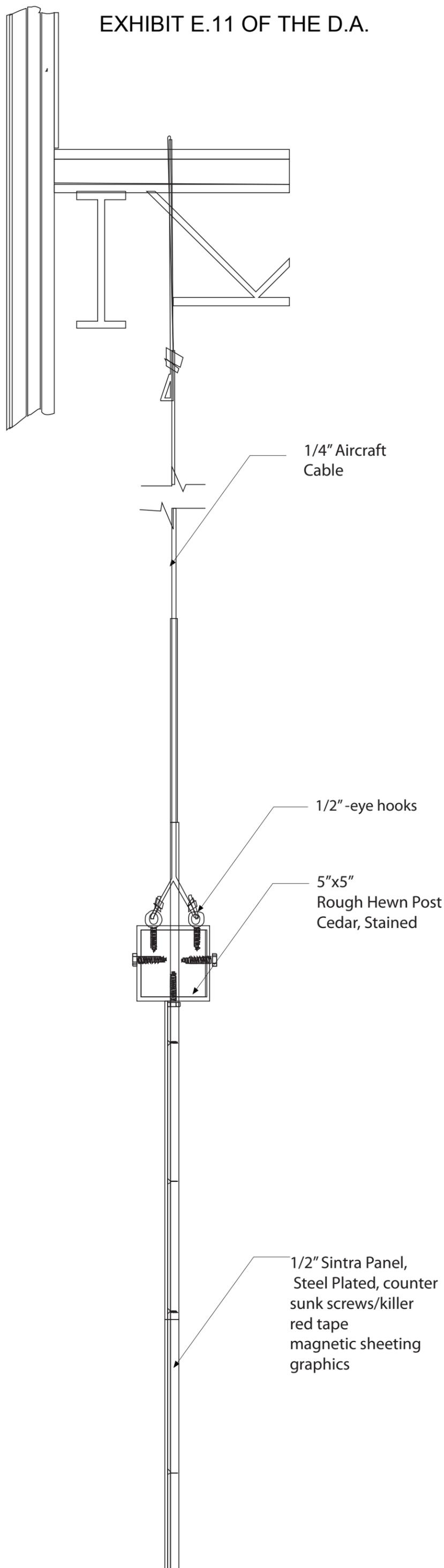


Magnetic Panels , Flat Bed Printed



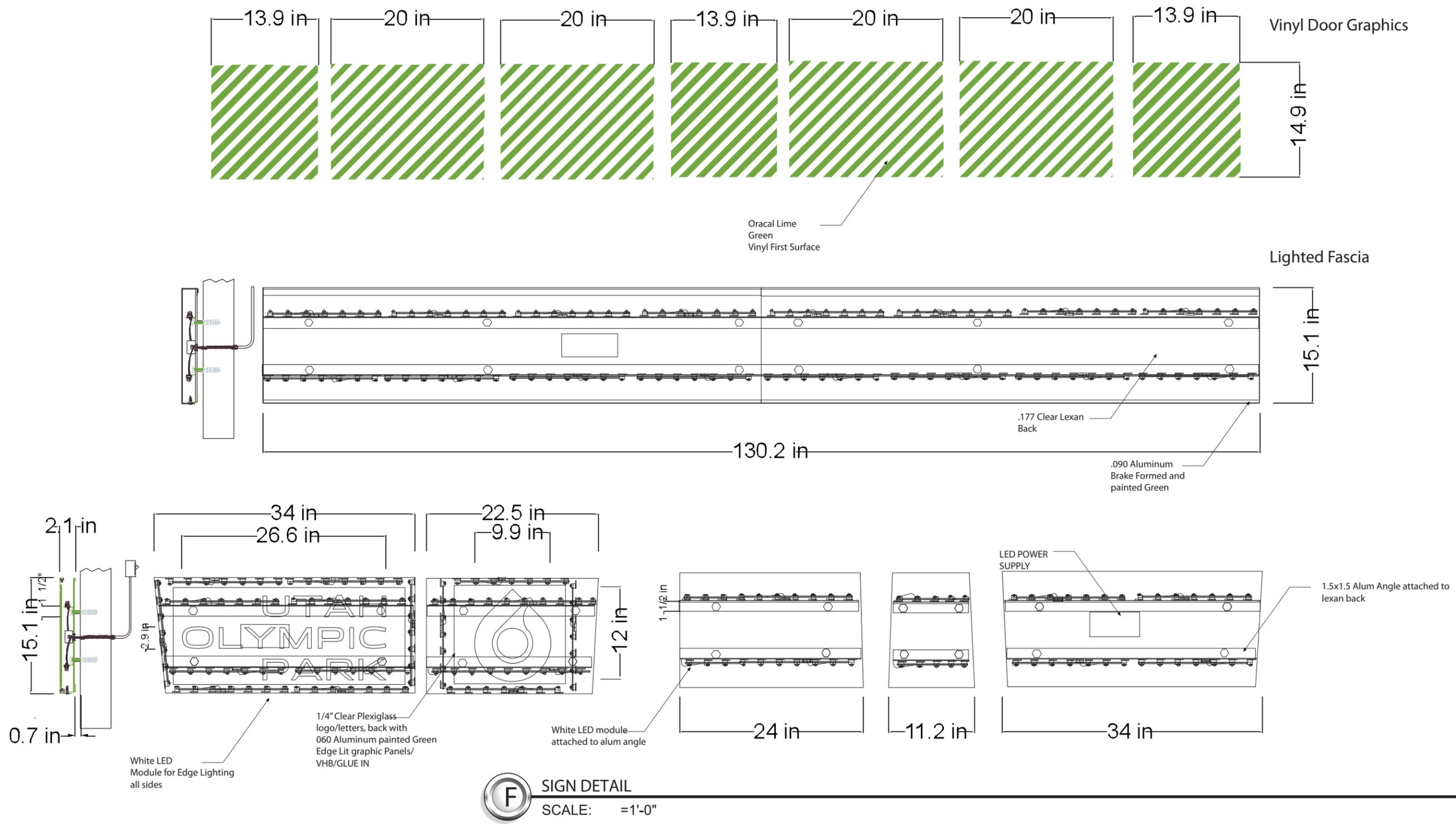
Franchise: _____

Customer Code: _____



Install Detail

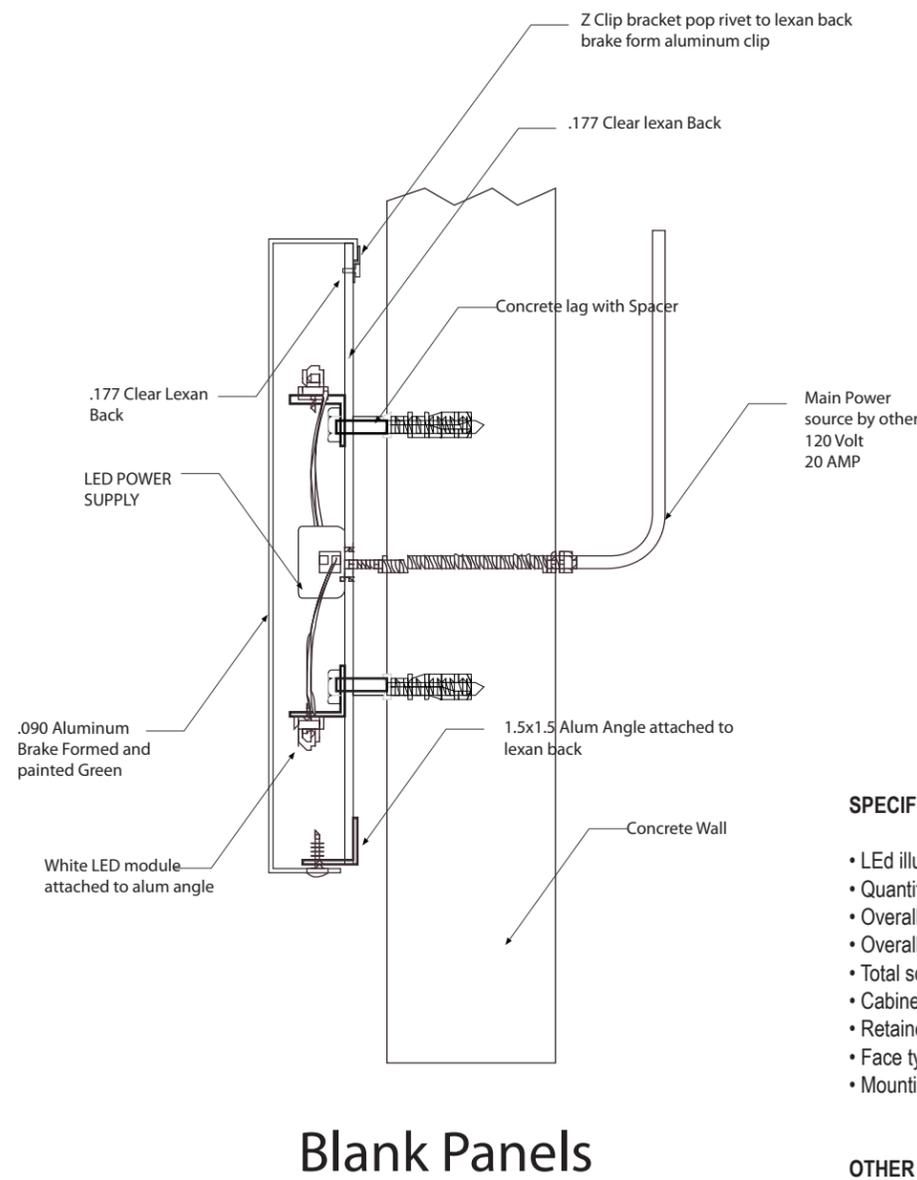
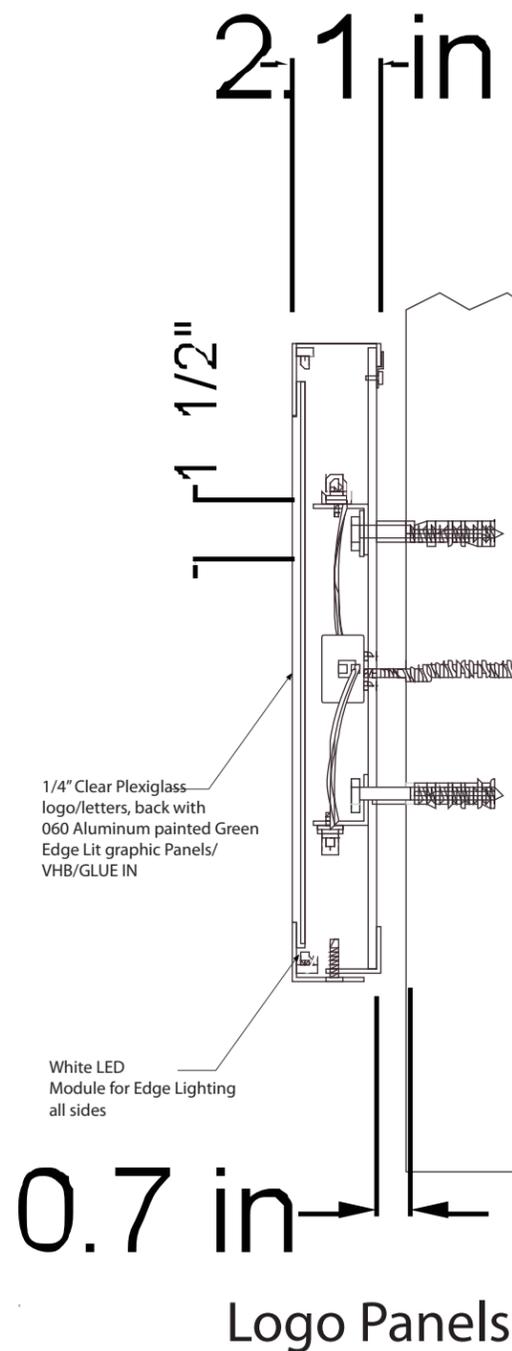
EXHIBIT E.12 OF THE D.A.
SIGN SPECIFICATIONS



Franchise: _____ Customer Code: _____

EXHIBIT E.13 OF THE D.A.
SIGN SPECIFICATIONS

ELECTRICAL NOTES
 Sign Company DOES NOT provide primary electrical to sign.
 Power to the sign must be done by a licensed electrical contractor or licensed electrician.
 Each sign must have: 1. A minimum of one dedicated 120V 20A circuit
 2. Junction box installed within 6 feet of sign
 3. Three wires: Line, Ground, Neutral



SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- LED illuminated Fascia Band
- Quantity: one (1) each - Single Sided
- Overall height of sign Panel: 15" / Overall length of sign panel: As Needed
- Overall height above grade: 4'
- Total square feet: TBD
- Cabinet depth: 2"
- Retainer size: N/A
- Face type: .090 Aluminum painted MP/
- Mounting method: Concrete Anchors/Spaces

OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

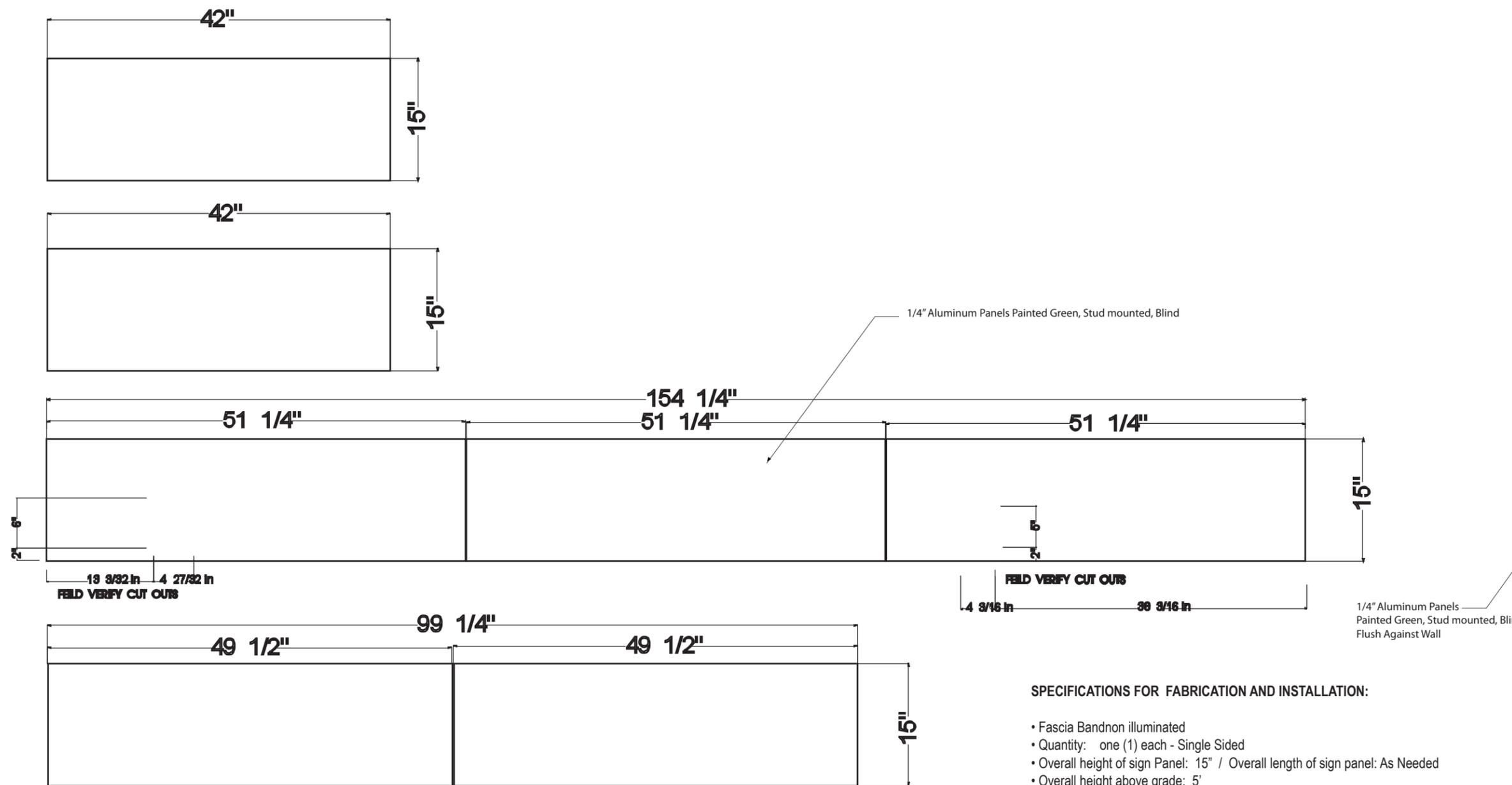
F SIGN DETAIL
SCALE: =1'-0"

Franchise: _____

Customer Code: _____



SIGN SPECIFICATIONS



SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Fascia Bandnon illuminated
- Quantity: one (1) each - Single Sided
- Overall height of sign Panel: 15" / Overall length of sign panel: As Needed
- Overall height above grade: 5'
- Total square feet: TBD
- Cabinet depth: 1/4"
- Retainer size: N/A
- Face type: 1/4" Aluminum Panels Paint MP
- Mounting method: Stud Mount Flush

F SIGN DETAIL
SCALE: =1'-0"

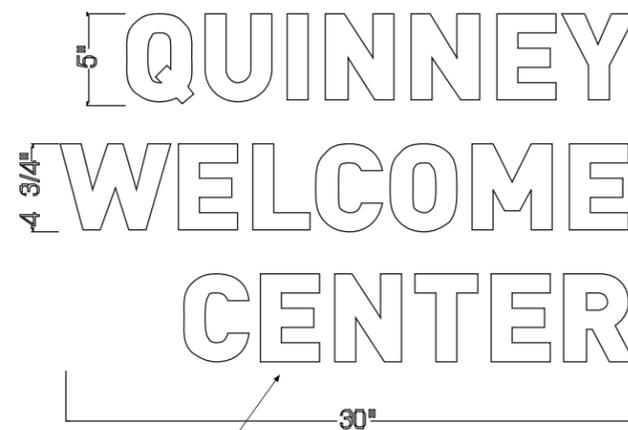
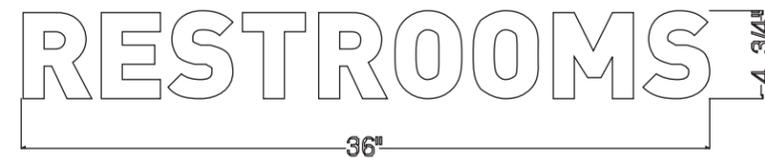
OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

Franchise: _____

Customer Code: _____

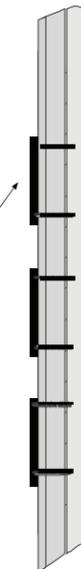
EXHIBIT E.15 OF THE D.A.
SIGN SPECIFICATIONS

Dimensional
Letters



1/2" plexiglass
painted Green, Faces to
be 040 White Aluminum laminated to top
of plexiglass, Stud Mount Flush

1/2" plexiglass
painted Green, Faces to
be 040 White Aluminum laminated to top
of plexiglass, Stud Mount Flush



SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Raised Letters non illuminated
- Quantity: one (1) each - Single Sided
- Overall height of sign Panel: 5" / Overall length of sign panel: As Needed
- Overall height above grade: 6'
- Total square feet: TBD
- Cabinet depth: 1/2"
- Retainer size: N/A
- Face type: 1/2" Plexiglass /040 Aluminum painted MP/
- Mounting method: Stud Mount Flush

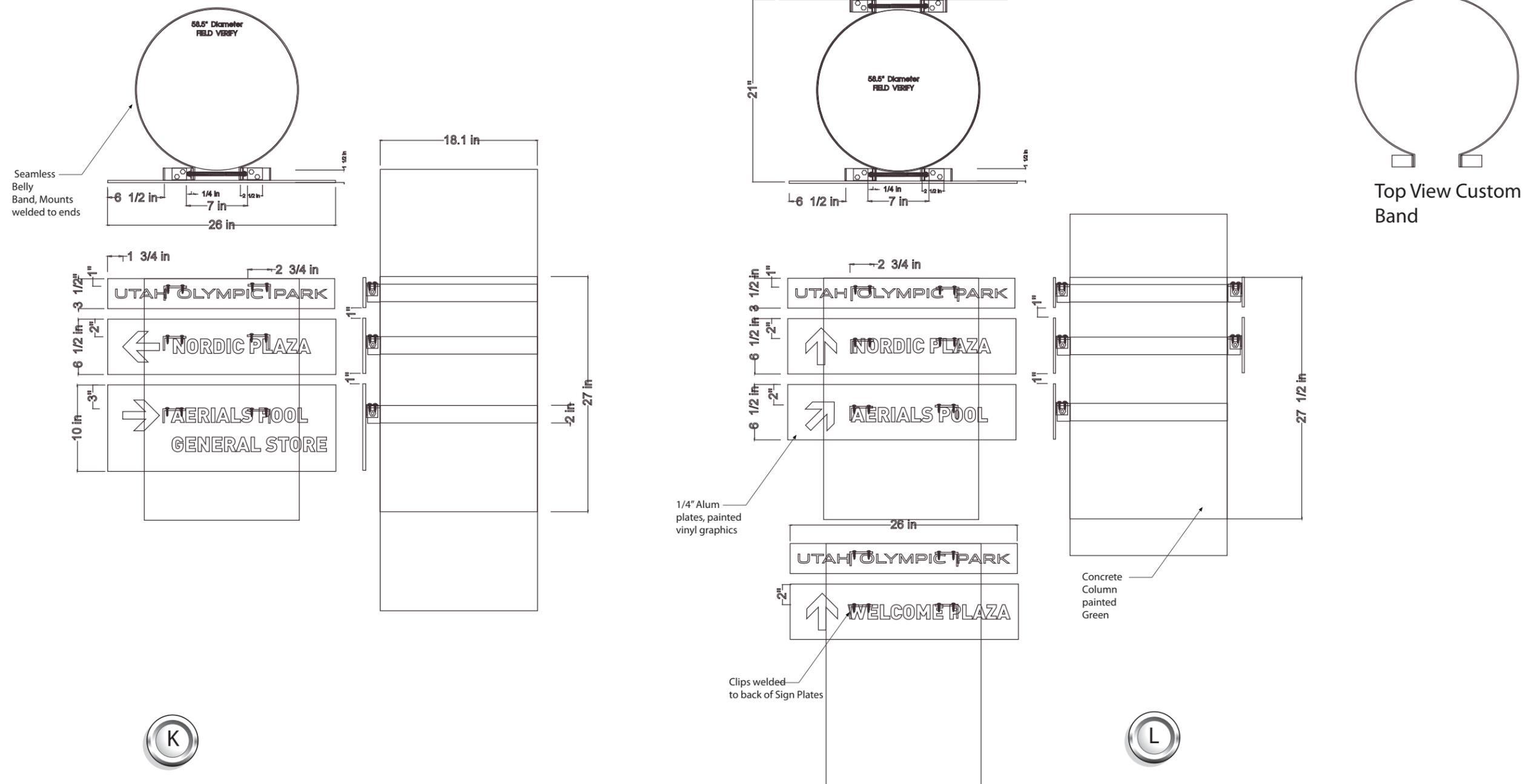
OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

 SIGN DETAIL
SCALE: =1'-0"

Franchise: _____

Customer Code: _____

EXHIBIT E.16 OF THE D.A.
SIGN SPECIFICATIONS

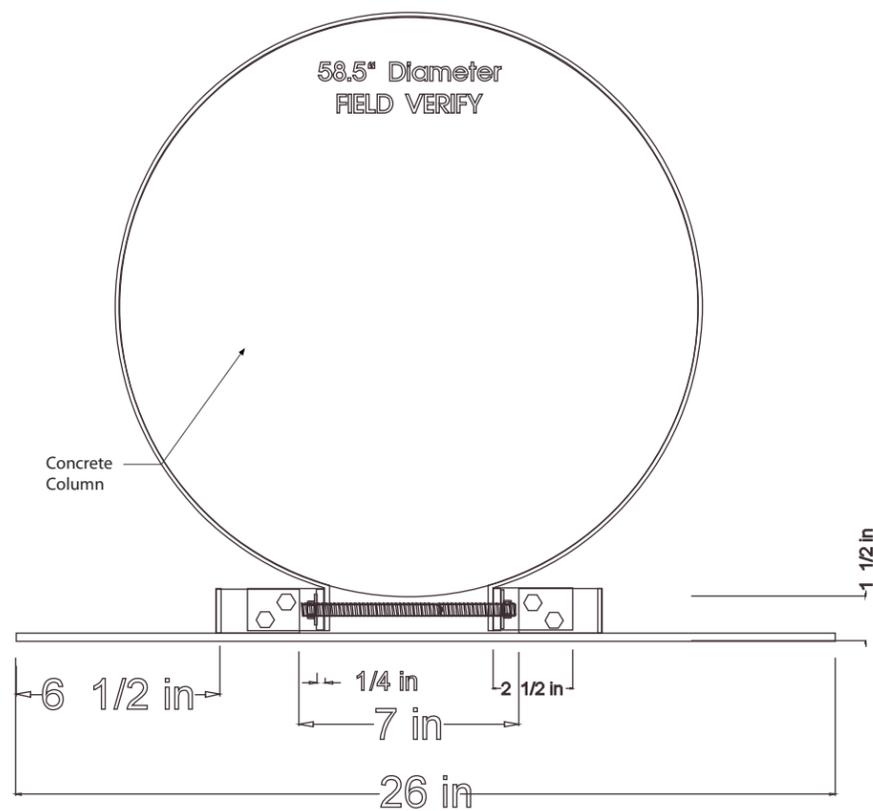


SIGN DETAIL
SCALE: =1'-0"

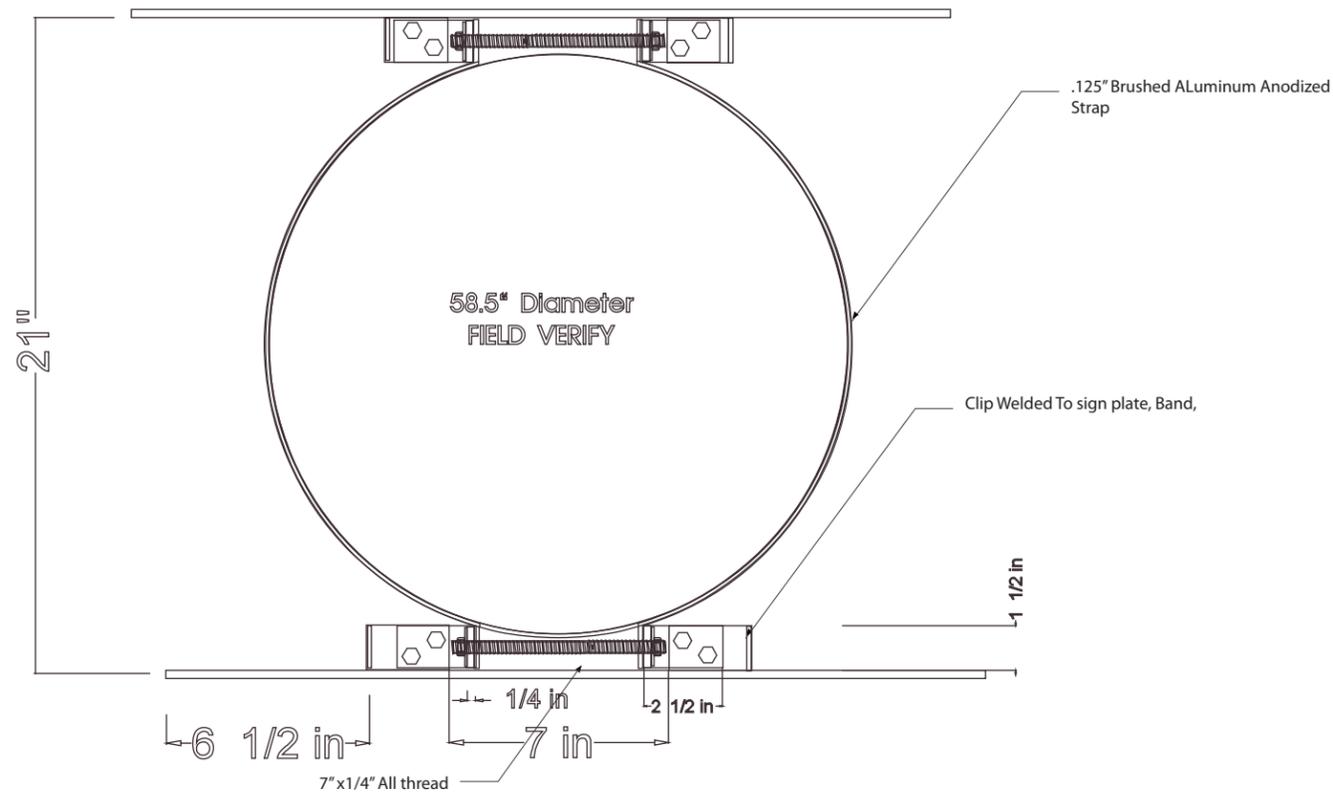
Franchise: _____

Customer Code: _____

EXHIBIT E.17 OF THE D.A.
SIGN SPECIFICATIONS



Single Sided Mount



Double Sided Mount

SPECIFICATIONS FOR FABRICATION AND INSTALLATION:

- Column mounted Directionals
- Quantity: one (1) each - Single Sided, one (1) - Double Sided
- Overall height of sign Panel: as noted
- Overall height above grade: TBD
- Total square feet: TBD
- Cabinet depth: 1/4"
- Retainer size: N/A
- Face type: 1/4" Aluminum Plate painted MP/
- Mounting method: Custom Band

OTHER COMPONENTS / SPECIAL CONSTRUCTION CONSIDERATIONS:

 SIGN DETAIL
SCALE: =1'-0"

Franchise: _____

Customer Code: _____

