



PLANNING COMMISSION AGENDA

Notice is hereby given that the Draper Planning Commission will hold a **Business Meeting** on **Thursday, July 25, 2019 at 6:30 PM**, in the 1020 East Pioneer Road, Draper, Utah 84020.

The Agenda will be as follows:

5:30 p.m. Dinner

6:00 p.m. Study Meeting

6:30 p.m. Business Meeting

1. Public Hearing: Kessler Lot Plat Amendment

A request by Lane Myers Construction for a plat amendment in the RA1 (Residential Agricultural, 40,000 square foot lot minimum) zoning district to create one lot from two existing lots. The property is located at approximately 13462 S. 1400 East. Staff contact: Maryann Pickering at (801) 576-6391 or maryann.pickering@draper.ut.us.

2. Public Hearing: Windsor Mill Townhomes Preliminary Plat

A request by Jim Poloncic, representing Think Architecture, to subdivide 4.79 acres into 30 townhome lots and an office parcel. The property is located at approximately 11450 S. 820 W. in the RM1 and CN zoning districts. Staff contact: Dennis Workman, dennis.workman@draper.ut.us, Application SUBD-658-2019.

3. Public Hearing: Draper Towns Conditional Use Permit, Site Plan & Preliminary Plat

A request by Natalie Nichols, representing AWA Engineering, for approval of a conditional use permit, site plan, and preliminary plat for a 25-unit townhome project. The property is located at 11622 S. Nate Lane in the CSD-11400-LPP zoning district. Staff contact: Dennis Workman, dennis.workman@draper.ut.us, Application USE-666-2019, SPR-643-2019 and SUBD-654-2019

4. Public Hearing: Marion Vista - Zoning Map and Text Amendment Requests

This application is a request for approval of a text amendment and zoning map amendment for approximately 6.5 acres located at approximately 14875 S. Minuteman Drive. The property is currently zoned A5 (Agricultural, 5 acre lot minimum). The applicant is requesting to rezone the property to a newly created mixed use zoning district called Major Freeway Arterial Frontage Road (MFAF). The proposed MFAF zoning district will be located in Chapter 9-11 (Commercial Uses) in the Draper City Municipal Code (DCMC). Staff contact is Maryann Pickering at 801576-6391 or maryann.pickering@draper.ut.us. Application TEXTMAP-670-2019 and TEXTMAP-671-2019.

5. Staff Reports

- a. Discussion Items
- b. Administrative Reports
- c. Other Items

6. Adjournment

Any person adversely affected by a decision of the Planning Commission regarding the transfer, issuance or denial of a conditional use permit may appeal such decision to the City Council by filing written notice of appeal stating the grounds therefore within fourteen (14) days from the date of such final determination.

SALT LAKE COUNTY / UTAH COUNTY, STATE OF UTAH

I, the City Recorder of Draper City, certify that copies of this agenda were posted on the Draper City Electronic Bulletin Board, Draper City website www.draper.ut.us, the Utah Public Meeting Notice website at www.utah.gov/pmn, and sent by email to The Salt Lake Tribune, and The Deseret News.

Date Posted:



Laura Oscarson, City Recorder
Draper City, State of Utah



PUBLIC HEARING PROCEDURE AND ORDER OF BUSINESS. In compliance with the American with Disabilities Act, any individuals needing special accommodations including auxiliary communicative aides and services during this meeting shall notify Laura Oscarson, City Recorder at (801) 576-6502 or laura.oscarson@draper.ut.us, at least 24 hours prior to the meeting. Meetings of the Draper City Council may be conducted by electronic means pursuant to Utah Code Annotated Section 52-4-207. In such circumstances, contact will be established and maintained by telephone and the meeting will be conducted pursuant to Draper City Municipal Code 2-1-040(e) regarding electronic messages.



MEMO

To: Planning Commission
From: Maryann Pickering, AICP
CC:
Date: July 25, 2019
Re: Public Hearing: Kessler Lot Plat Amendment

Comments:

This application is a request for approval of a plat amendment for approximately 2.30 acres located at the cul-de-sac end of 1400 East. The property is currently zoned RA1 (Residential Agricultural, 40,000 square foot lot minimum). The applicant is requesting that a plat amendment be approved to allow for the combination of two existing lots into one larger lot. The primary property (which is developed) is located within the Shady Downs I Subdivision. The other lot proposed to be combined is not located within a recorded subdivision. The Shady Downs I Subdivision was recorded in August 23, 1994. The primary property is Lot 3 of that subdivision.

The findings are as follows:

For approval:

1. That there is good cause to amend the plat, as required by state law.
2. That the amendment will not cause material harm to other owners in the plat, as required by state law.
3. That the proposed amended plat will not be out of character with the surrounding area.
4. That the proposed plat amendment supports or does not violate the visioning statements contained in the General Plan.
5. That the amended plat and subsequent development of the subject parcel will not be detrimental to the health, safety or general welfare of those persons working or residing in the area.

For denial:

1. There is not good cause to amend the plat and will cause material harms to other owners within the boundary of the plat.

ATTACHMENTS:

Description	Upload Date	Type
PC Staff Report	7/18/2019	Cover Memo



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

STAFF REPORT

July 16, 2019

To: Draper City Planning Commission
Business Date: July 25, 2019

From: Development Review Committee

Prepared By: Maryann Pickering, AICP, Planner III
Planning Division
Community Development Department
(801) 576-6391 or maryann.pickering@draper.ut.us

Re: Kessler Lot Amendment – Plat Amendment Request

Application No.: SUBD-503-2019
Applicant: Lane Myers Construction
Project Location: 13462 S. 1400 East
Current Zoning: RA1 (Residential Agricultural, 40,000 square foot lot minimum)
Acreage: 2.30 acres (approximately 100,188 square feet)
Request: Request for approval of a plat amendment in the RA1 (Residential Agricultural, 40,000 square foot lot minimum) zoning district to create one lot from two existing lots.

BACKGROUND and SUMMARY

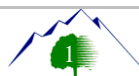
This application is a request for approval of a plat amendment for approximately 2.30 acres located at the cul-de-sac end of 1400 East. The property is currently zoned RA1 (Residential Agricultural, 40,000 square foot lot minimum). The applicant is requesting that a plat amendment be approved to allow for the combination of two existing lots into one larger lot. The primary property (which is developed) is located within the Shady Downs I Subdivision. The other lot proposed to be combined is not located within a recorded subdivision. The Shady Downs I Subdivision was recorded in August 23, 1994. The primary property is Lot 3 of that subdivision.

ANALYSIS

General Plan and Zoning. The Land Use Map of the General Plan calls for the Low/Medium Density land use designation for the subject property. This category “includes areas of very large lot single-family neighborhoods and ranchettes.”

Additionally, the property has been assigned the RA1 zoning designation. The purpose of the RA1 and RA2 zone is to “foster low density development with little impact on its surroundings and municipal services; to generally preserve the character of the City’s semi-rural areas; and to promote and preserve conditions favorable to large-lot family life, including the keeping of limited numbers of animals and fowl”.

The RA1 and RA2 zoning designations are identified by the General Plan as a preferred zoning



classification for the Low/Medium Density land use designation. The property is primarily surrounded by RA1 zoning. There is a piece of RA2 zoning to the west.

Lane Myers Construction is representing the property owner who lives in the subject (developed) property located within the recorded plat. That property owner has purchased the lot to the south, which is not within a recorded plat, and would like to combine it with their current lot. The structures on the lot to be combined have been removed at this time. The newly created lot will meet all of the development standards for the RA1 zoning district.

Criteria for Approval. The grounds for review and potential approval of a subdivision plat amendment request is found in Section 17-9-040 of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

The Planning Commission may approve the vacation or amendment of a plat by signing an amended plat showing the vacation or amendment if the Land Use Authority finds that there is good cause for the vacation or amendment; and no public street, right-of-way, or easement has been vacated or amended.

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the plat amendment. Comments, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions has completed their review of the plat amendment. Comments, if any, can be found in Exhibit A.

Building Division Review. The Draper City Building Division has completed their review of the plat amendment. Comments, if any, can be found in Exhibit A.

Draper City Fire Review. The Draper City Fire Marshal has completed their review of the plat amendment. Comments, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission review the request, receive public comment and make a decision based on the findings listed below and the criteria for approval, or denial, listed within the staff report.

If the Planning Commission decides to approve the request, staff recommends they include the following conditions of approval:

1. The applicant takes the Community Development Department approved and signed mylar and applicable deeds to the Salt Lake County Recorder's Office to be recorded.
2. The building envelope lines shall be added to the plat prior to recordation.

The findings for approval are as follows:

1. That there is good cause to amend the plat, as required by state law.
2. That the amendment will not cause material harm to other owners in the plat, as required by state law.

3. That the proposed amended plat will not be out of character with the surrounding area.
4. That the proposed plat amendment supports or does not violate the visioning statements contained in the General Plan.
5. That the amended plat and subsequent development of the subject parcel will not be detrimental to the health, safety or general welfare of those persons working or residing in the area.

The finding for denial are as follows:

1. There is not good cause to amend the plat and will cause material harms to other owners within the boundary of the plat.

MODEL MOTIONS

Sample Motion for Approval

“I move that we approve the plat amendment request, as requested by Lane Myers Construction, application SUBD-503-2019, based on the findings and subject to the conditions listed in the staff report dated July 16, 2019.”

Sample Motion for Approval with Modifications

“I move that we approve the plat amendment request, as requested by Lane Myers Construction, application SUBD-503-2019, based on the findings and subject to the conditions listed in the staff report dated July 16, 2019, and as modified by the findings and conditions below:”

1. List any additional findings and conditions . . .

Sample Motion for Denial

“I move that we deny the plat amendment request, as requested by Lane Myers Construction, application SUBD-503-2019, based on the findings and subject to the conditions listed in the staff report dated July 16, 2019.”

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.




Draper City Public Works



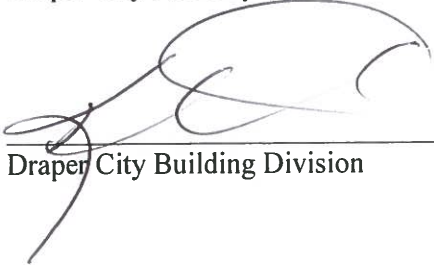
Draper City Planning Division



Draper City Fire Department



Draper City Legal Counsel



Draper City Building Division

EXHIBIT A
DEPARTMENT/DIVISION COMMENTS

Planning Division Review.

1. The applicant takes the Community Development Department approved and signed mylar and applicable deeds to the Salt Lake County Recorder's Office to be recorded.
2. The building envelope lines shall be added to the plat prior to recordation.

Engineering and Public Works Divisions Review.

No comments.

Building Division Review.

No comments.

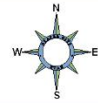
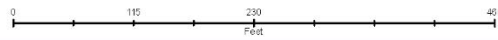
Draper City Fire Review.

No comments.

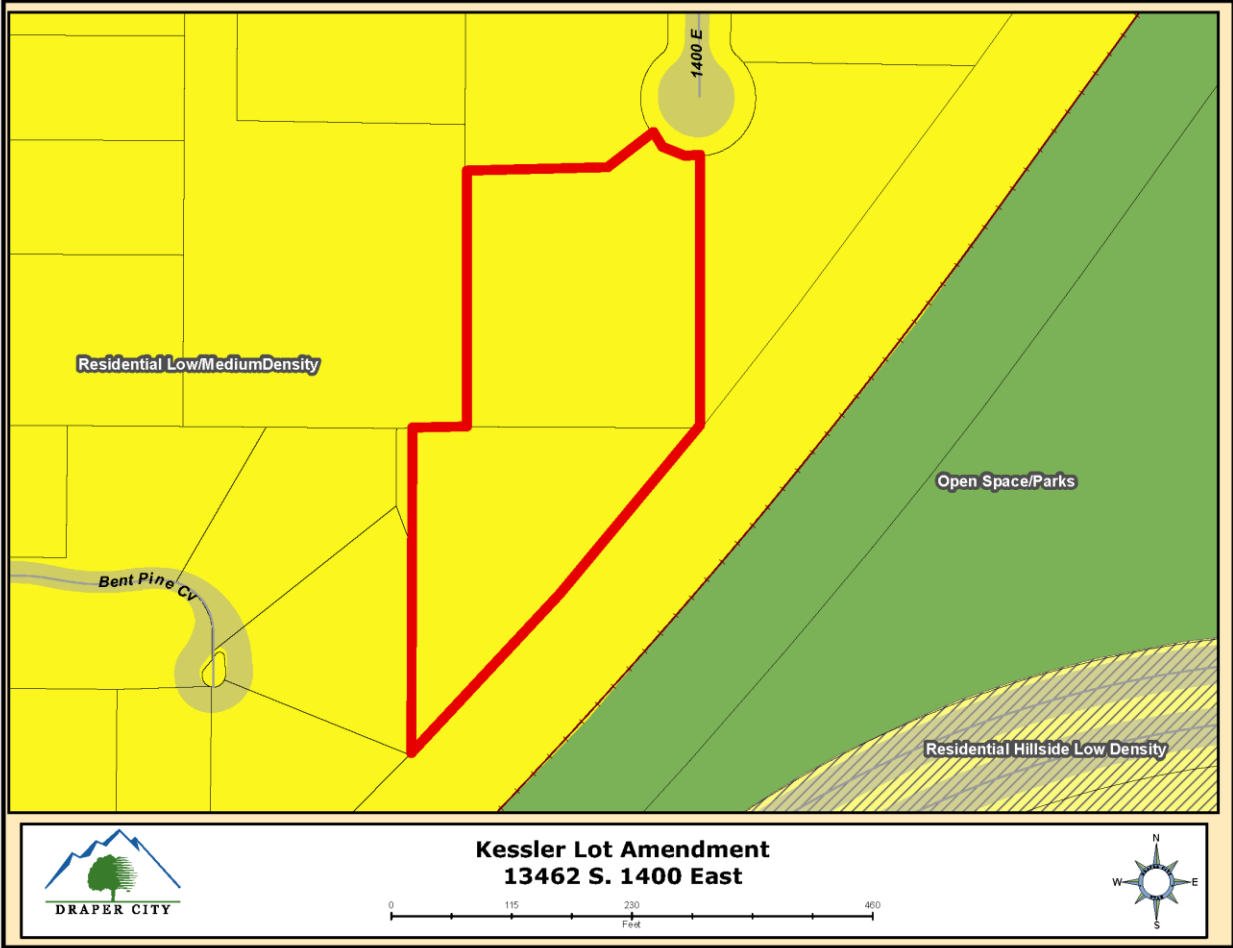
**EXHIBIT B
AERIAL MAP**



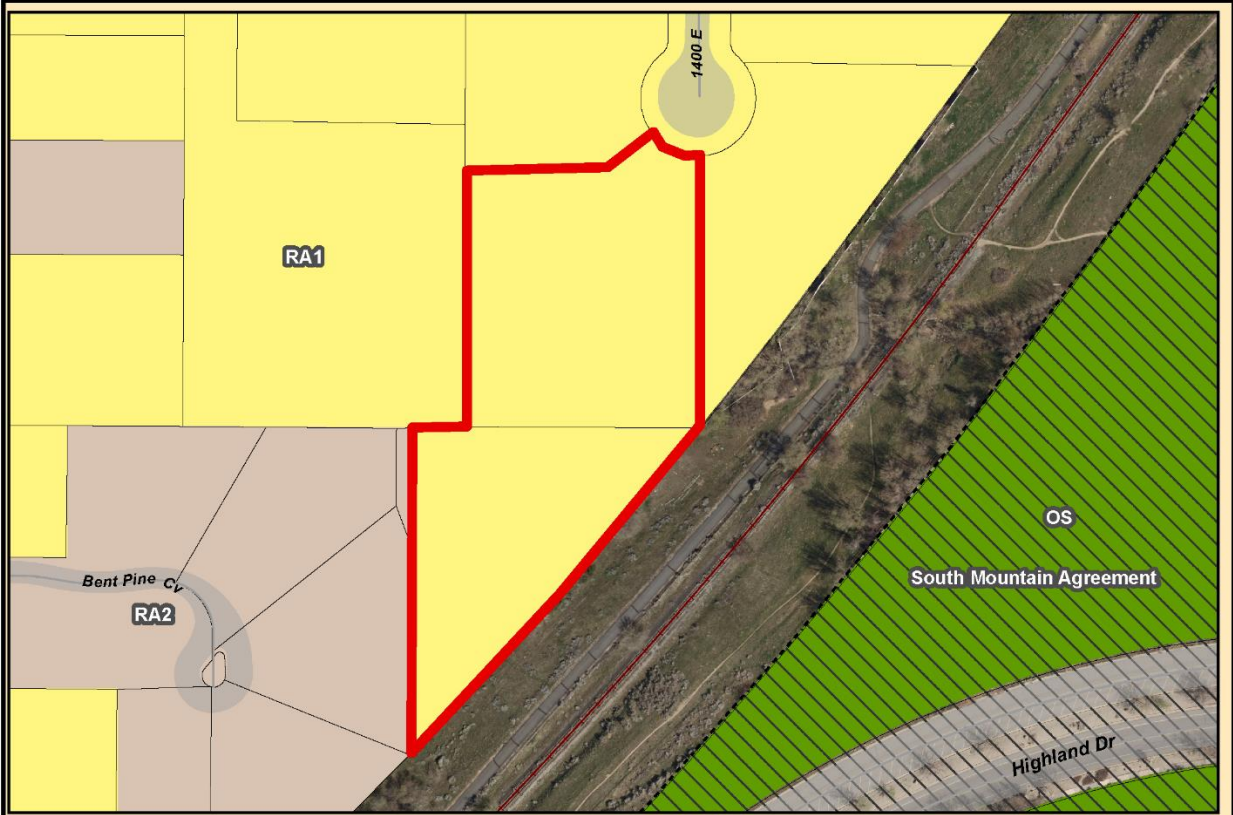
**Kessler Lot Amendment
13462 S. 1400 East**



**EXHIBIT C
LAND USE MAP**



**EXHIBIT D
ZONING MAP**



**Kessler Lot Amendment
13462 S. 1400 East**

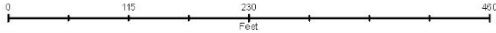


EXHIBIT E PROPOSED PLAT AMENDMENT

SHADY DOWNS SUBDIVISION AMENDING LOT 3

LOCATED IN THE NORTHWEST 1/4 OF SECTION 4, TOWNSHIP 4 SOUTH,
RANGE 1 EAST, SALT LAKE BASIN AND MERIDIAN
DRAPER CITY, SALT LAKE COUNTY, UTAH
MARSH 2019

DESCRIPTION

AMENDING LOT 3: 1.00 AC

AMENDING LOT 4: 1.00 AC

AMENDING LOT 5: 1.00 AC

AMENDING LOT 6: 1.00 AC

AMENDING LOT 7: 1.00 AC

AMENDING LOT 8: 1.00 AC

AMENDING LOT 9: 1.00 AC

AMENDING LOT 10: 1.00 AC

PURPOSE OF AMENDMENT

Amending Lot 3 to conform to the original plat and to correct errors in the original plat.

NOTES

All measurements are in feet and inches.

All bearings are in degrees, minutes, and seconds.

All distances are in feet.

LEGEND

- ORIGINAL PLAT BOUNDARY
- BOUNDARY
- EASEMENT
- EASEMENT
- EASEMENT

SURVEY CERTIFICATE

I, the undersigned, being a duly licensed and qualified surveyor, have surveyed the above described land and certify that the same is correctly and truthfully shown on the attached plat.

BOUNDARY DESCRIPTION

The boundary of the above described land is as follows: ...

DATE OF SURVEY AND DATE TO RECORD

Surveyed and returned on this _____ day of _____, 2019.

ADDITIONAL COMMENTS

None.

APPROVALS

Surveyor: _____

City Mayor: _____

City Recorder: _____

OWNER	CONVEYOR	RECORDING AGENCY	CELEBRITY LINK	BOOK/MOUNTAIN/TOWNSHIP
APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____
OWNER'S ASSOCIATES	BOARD OF HEALTH	SOUTH VALLEY SCVCP DISTRICT	PLANNING COMMISSION	ENGINEER'S CERTIFICATE
APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____
APPROVAL AS TO FORM	CITY MAYOR	RECORDER		
APPROVED BY: _____	APPROVED BY: _____	APPROVED BY: _____		



MEMO

To: Planning Commission
From: Dennis Workman
CC:
Date: July 25, 2019
Re: Windsor Mill Townhomes Preliminary Plat

Comments:

In February 2019, the planning commission approved the site plan for this project which consists of 30 residential townhome units and a 16,000 square foot office building. The developer now seeks to subdivide the property into a townhome portion with 30 townhome lots and a parcel for the office portion.

The findings are as follows:

For approval:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
 - a. The Residential Medium/High Density designation supports up to eight dwelling units per acre.
 - b. The Neighborhood Commercial designation supports commercial land uses that target local residents.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development conforms to the general aesthetic and physical development of the area.
4. The public services in the area are adequate to support the subject development, including culinary water, sewer service, and traffic considerations.

For denial:

1. The proposed development plans do not meet the intent, goals and objectives of the Draper City General Plan.
2. The proposed development plans do not meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development does not conform to the general aesthetic and physical development of the area.
4. The public services in the area are inadequate to support the subject development, including culinary water, sewer service, and traffic considerations

ATTACHMENTS:

Description	Upload Date	Type
Windsor Mill Townhomes Preliminary Plat	7/19/2019	Cover Memo



Development Review Committee

1020 East Pioneer Road

Draper, UT 84020

July 12, 2019

To: Draper City Planning Commission
Hearing Date: July 25, 2019

From: Development Review Committee

Prepared by: Dennis Workman, Planner II
Planning Division
801-576-6522, dennis.workman@draper.ut.us

Re: Windsor Mill Townhomes Preliminary Plat

Application No.: SUBD-658-2019

Applicant: Jim Poloncic, representing Think Architecture

Project Location: 11450 S. 820 W.

Current Zoning: RM1 (Residential Multi-family, up to 8 dwelling units per acre) and CN (Neighborhood Commercial)

Acreage: 4.79 acres (Approximately 208,591 ft²)

Request: Approval to subdivide the 4.79 acres into 30 townhome lots and an office parcel.

SUMMARY

In February 2019, the planning commission approved the site plan for this project which consists of 30 residential townhome units and a 16,000 square foot office building. The developer now seeks to subdivide the property into a townhome portion with 30 townhome lots and a parcel for the office portion.

ANALYSIS

General Plan and Zoning. The general plan identifies the multi-family portion of the site as Residential Medium-High Density, which supports 4-8 dwelling units per acre. The office portion has a land use designation of Neighborhood Commercial. This category supports commercial uses which target local residents and neighborhoods.

The zoning map identifies the multi-family portion as RM1 (Residential Multi-family, up to 8 dwelling units per acre). As such, the RM1 zone is consistent with the land use designation it falls under. Density for this 30-unit townhome development is 7.9 units per acre. The office portion of the property is zoned CN (Neighborhood Commercial). The purpose of the CN zone is to provide areas where commercial uses may be established which are generally oriented toward local residents.

Preliminary Plat. The Windsor Mill Townhomes preliminary plat shows nine duplexes and four triplexes, for a total of 30 townhome units. All units will be accessed by a 42-foot private lane that connects to Windsor Mill Drive at a single location on the south. The private lane will consist of 30 feet of drivable surface with a six-foot sidewalk on each side. The driveway for each unit will exceed 20 feet in length, as required by code. The plat shows room reserved for what will be eight dedicated visitor parking stalls. It contains a legend denoting private areas, common areas, and limited common areas, and delineates a wetland area to ensure that it stays undisturbed. There will be two types of townhome units, and the plat calls each one out as either Type A or Type B. The plat dedicates the west end of Windsor



Mill Drive to the city to be used as a trailhead and parking lot. A 20-foot sanitary sewer easement running north-south through the project is depicted on the plat. Parcel A on the plat will contain 1.01 acres of property. This parcel will contain the already approved office building and associated parking and landscaping.

Criteria For Approval. The criteria for review and potential approval of a preliminary subdivision plat request is found in Section 17-3-040(a) of the Draper City Municipal Code. This section depicts the standard of review for such requests as:

A. Planning Commission: The Planning Commission shall review the preliminary plat submittal and determine compliance with the standards and criteria set forth in this chapter and all other ordinances of Draper City, including, but not limited to, the land use ordinance, general plan, master street plan, and City standard specifications and design criteria. Notice of the public meeting at which the Planning Commission reviews the proposed preliminary plat shall be provided in accordance with section 17-1-085 of this title. The Planning Commission shall make findings specifying any inadequacy in the application, noncompliance with City regulations, questionable or undesirable design or engineering, and the need for any additional information. The Planning Commission may review all relevant information pertaining to the proposed development, including fire protection, sufficient supply of culinary and secondary water to the proposed subdivision, sewer service, traffic considerations, and the potential for flooding. The Planning Commission may approve, approve with conditions or if the project does not meet City ordinances or sanitary sewer or culinary water requirements, deny the preliminary or final subdivision plat application. and recommendations regarding approval or disapproval of the preliminary plat to the City Council.”

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the preliminary plat submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review. The Draper City Engineering and Public Works Divisions have completed their reviews of the preliminary subdivision submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical Review. Taylor Geo-Engineering, LLC, in working with the Draper City Building and Engineering Divisions, has completed their review of the geotechnical report that was included with the preliminary plat submission. Comments from this division, if any, can be found in Exhibit A.

Fire Division Review. The Draper City Fire Marshal has completed his review of the preliminary subdivision submission. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends the Planning Commission review the request, receive public comment, and make a decision based on the findings listed below and the criteria for approval, or denial, listed within the staff report.

If the Planning Commission decides to approve the application, staff recommends they include the following conditions:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire

Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.

2. That all requirements of the geotechnical report are satisfied throughout the development of the site and the construction of all buildings on the site.
3. That the Home Owner's Association and its associated documents do not apply to Parcel A.

The findings for approval as are follows:

1. The proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
 - a. The Residential Medium/High Density designation supports up to eight dwelling units per acre.
 - b. The Neighborhood Commercial designation supports commercial land uses that target local residents.
2. The proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development conforms to the general aesthetic and physical development of the area.
4. The public services in the area are adequate to support the subject development, including culinary water, sewer service, and traffic considerations.

The findings for denial as are follows:

1. The proposed development plans do not meet the intent, goals and objectives of the Draper City General Plan.
2. The proposed development plans do not meet the requirements and provisions of the Draper City Municipal Code.
3. The proposed development does not conform to the general aesthetic and physical development of the area.
4. The public services in the area are inadequate to support the subject development, including culinary water, sewer service, and traffic considerations

MODEL MOTIONS

Sample Motion for Approval. I move that we approve the Windsor Mill Townhomes Preliminary Subdivision, as requested by Jim Polonic, representing Think Architecture, application SUBD-658-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019.

Sample Motion for Modified Approval. I move that we approve the Windsor Mill Townhomes Preliminary Subdivision, as requested by Jim Polonic, representing Think Architecture, application SUBD-658-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019, and as modified by the findings and conditions below:

1. List any additional findings and conditions.

Sample Motion for Denial. I move that we deny the Windsor Mill Townhomes Preliminary Subdivision, as requested by Jim Polonic, representing Think Architecture, application SUBD-658-2019, based on the findings listed in the staff report dated July 12, 2019.

EXHIBIT A DEPARTMENT REVIEWS

REVIEWS ARE NOT MEANT TO BE AN ALL INCLUSIVE LIST OF POSSIBLE COMMENTS OR CONDITIONS.

Geotechnical Review

Based substantially in and on reliance of the technical documentation and assurances provided by CMT, including their opinions and conclusions, it is TG's opinion that CMT has adequately addressed geotechnical parameters at the site, consistent with concern for public health, safety and welfare; reasonable professional standards of practice and Draper City's Geologic Hazards Ordinance.

Engineering Division Review Comments

1. Plat closure and bearing information will be verified at final plat application per DCMC 17-4-030(G).
– *Informational comment, no action required at this time.*

Fire Division Review Comments

1. Fire Department Access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.

D103.6 Signs. Where required by the fire code official, fire apparatus access roads shall be marked with permanent **NO PARKING—FIRE LANE** signs complying with Figure D103.6. Signs shall have a minimum dimension of 12 inches (305mm) wide by 18 inches (457mm) high and have red letters on a white reflective background. Signs shall be, posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2.

2. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site **shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits.** If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any and all permits could be revoked.

3. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.

4. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.

5. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.

Street Signs required and are to be posted and legible prior to building permits being issued. All lots to have lot number or address posted and legible.

Planning Review

1. Prior to submitting mylar for signatures, amend mylar to include the wetlands delineation area hatching in the legend.
2. Prior to submitting mylar for signatures, amend mylar note 6 to list the correct type of property designation for driveways in the common area calculation.



DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

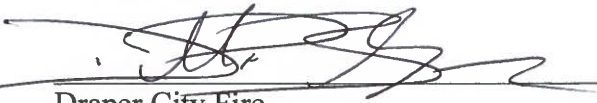
We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.



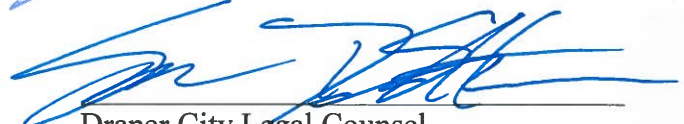
Draper City Engineering/Public Works



Draper City Planning



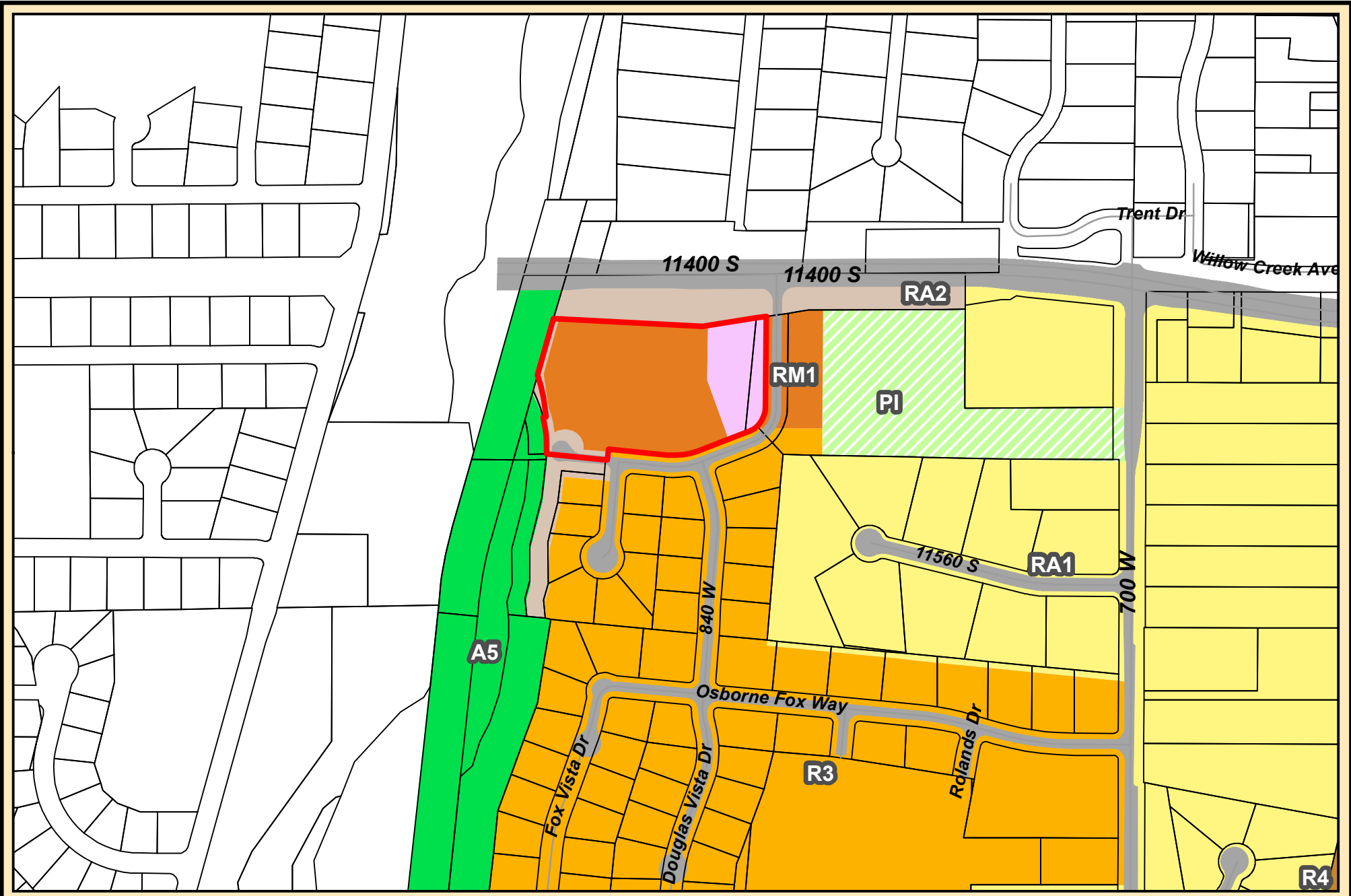
Draper City Fire



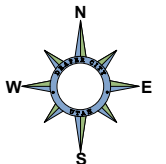
Draper City Legal Counsel

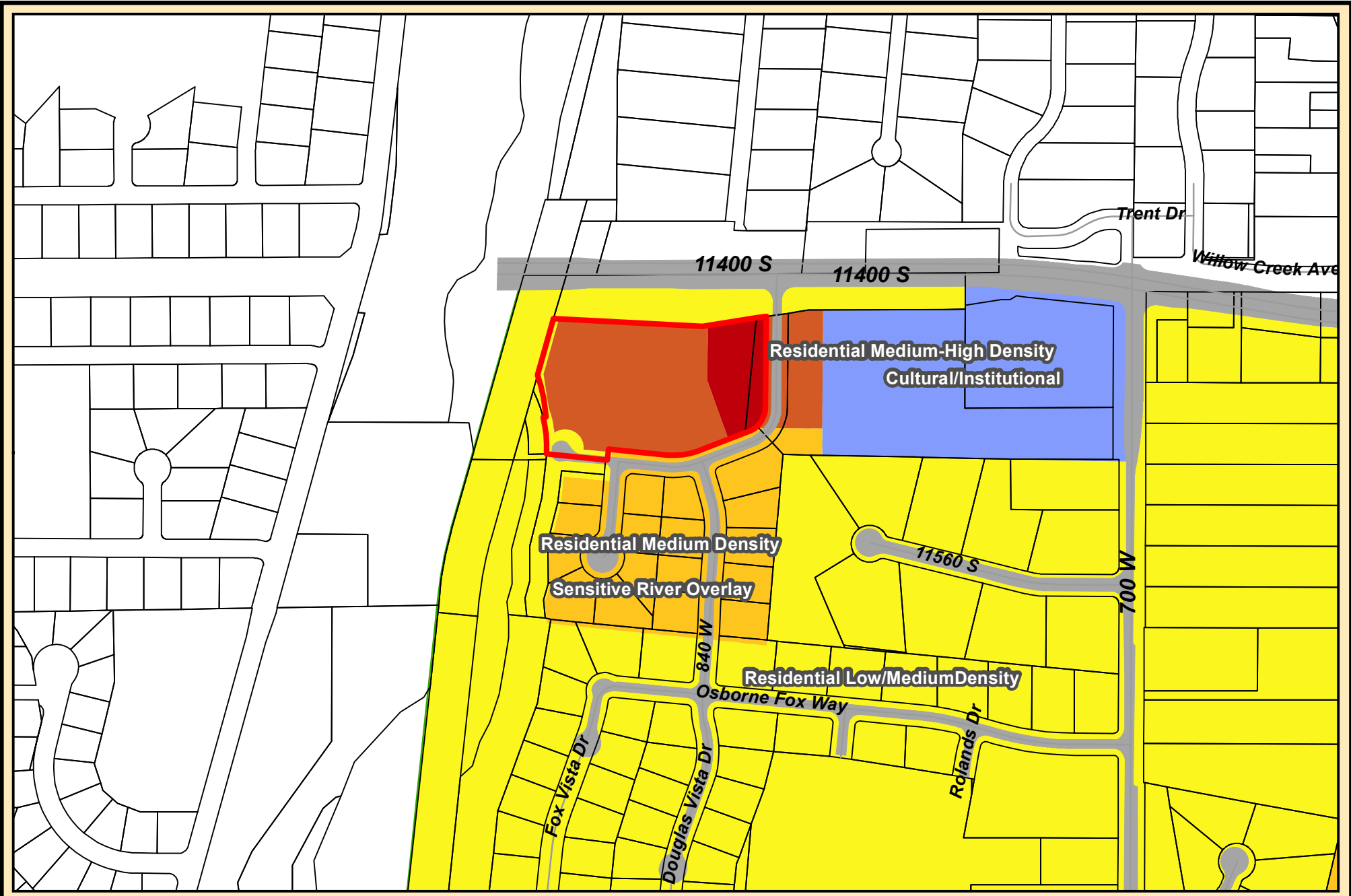


Draper City Building

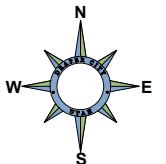


Zoning Map for Windsor Mill Townhomes Preliminary Plat



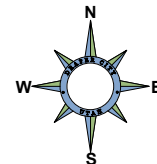


Land Use Map for Windsor Mill Townhomes Preliminary Plat





Aerial Map for Windsor Mill Townhomes Preliminary Plat

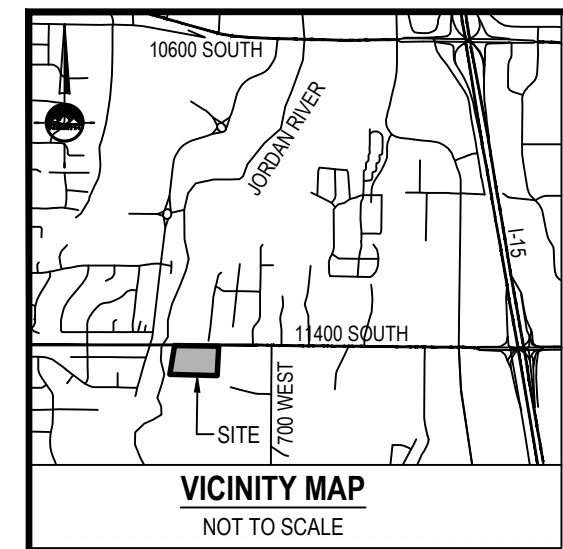


WINDSOR MILL TOWNHOMES PLAT

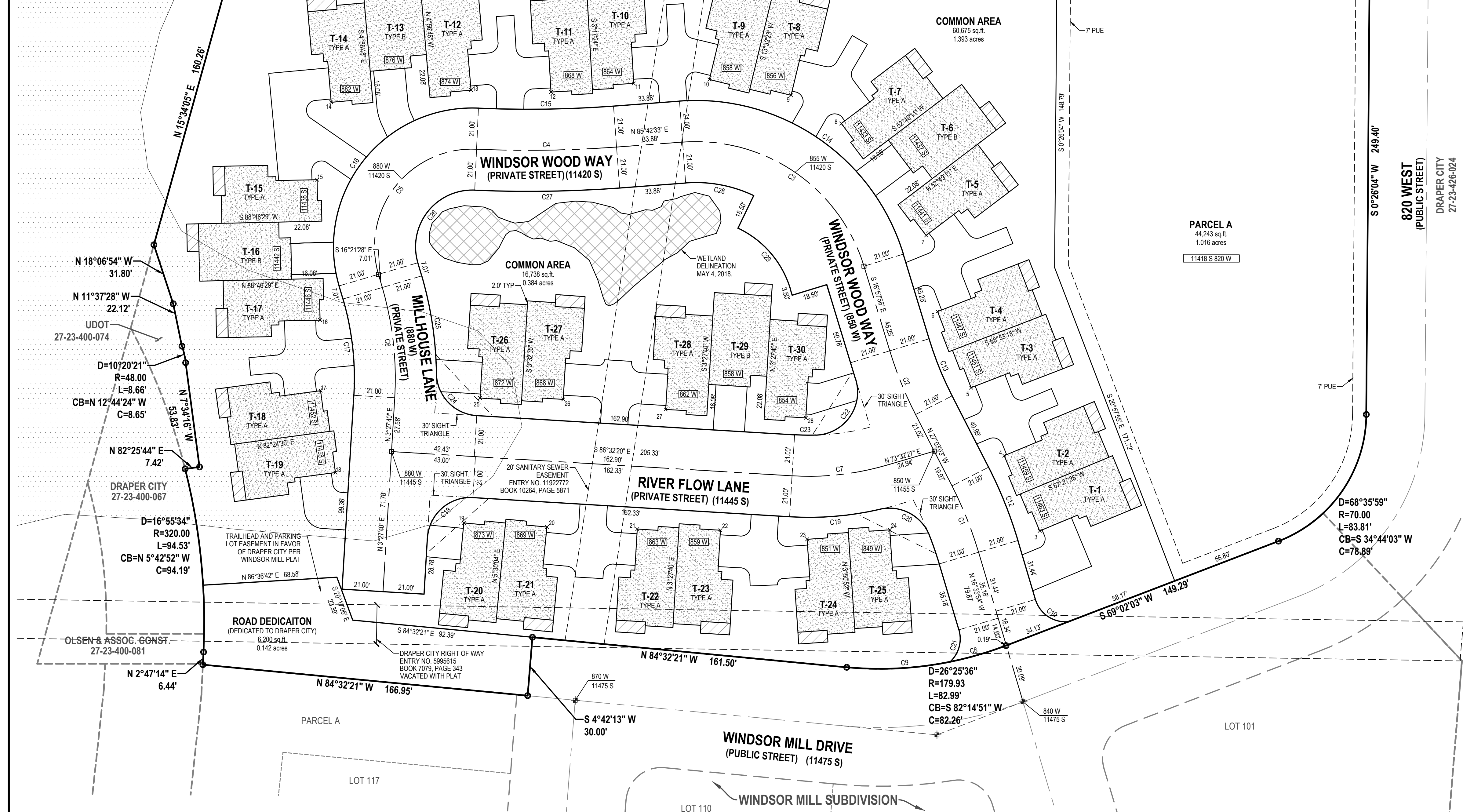
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
DRAPER CITY, SALT LAKE COUNTY, UTAH
JULY 2019
FINAL PLAT

S 89°26'50" W BASIS OF BEARING
5228.74 (MEASURED)

EAST QUARTER CORNER
SECTION 23
T.3.S. R.1.W. SLB&M
(NOT FOUND)



UTAH DEPARTMENT OF NATURAL RESOURCES, DIV OF PARKS & REC.
27-23-400-050-4002



CURVE	RADIUS	LENGTH	DELTA	BEARING	CHORD
C1	200.0'	36.60'	10°29'09"	N21°48'29"W	36.55'
C2	200.1'	35.23'	10°05'08"	S22°00'30"E	35.18'
C3	90.00'	121.46'	77°19'31"	N55°37'41"W	112.45'
C4	600.00'	71.69'	6°50'45"	N89°07'56"E	71.65'
C5	50.00'	95.04'	108°54'46"	S38°05'55"W	81.37'
C6	165.00'	57.07'	19°49'08"	N6°26'54"W	56.79'
C7	142.08'	49.40'	19°55'13"	N83°30'03"E	49.15'
C8	179.93'	29.92'	9°31'40"	N73°47'53"E	29.89'
C9	179.93'	53.07'	16°53'56"	N87°00'41"E	52.88'
C10	16.00'	22.15'	79°18'14"	S56°13'01"E	20.42'
C11	221.00'	40.45'	10°29'09"	N21°48'29"W	40.39'
C12	179.12'	31.53'	10°05'08"	S22°00'30"E	31.49'
C13	111.00'	149.80'	77°19'31"	N55°37'41"W	138.69'
C14	579.00'	69.18'	6°50'45"	N89°07'56"E	69.14'
C15	71.00'	134.98'	108°54'46"	S38°05'55"W	115.54'
C16	144.00'	49.81'	19°49'08"	N6°26'54"W	49.56'
C17	22.00'	34.56'	90°00'00"	S48°27'40"W	31.11'
C18	163.08'	46.48'	16°19'53"	N85°17'43"E	46.33'
C19	22.00'	31.25'	81°23'01"	N62°10'43"W	28.69'
C20	16.00'	17.97'	64°20'19"	N15°36'15"E	17.04'
C21	22.00'	40.42'	105°16'00"	N35°40'04"E	34.97'
C22	121.08'	10.90'	5°09'35"	S89°07'08"E	10.90'
C23	22.00'	32.93'	85°44'58"	S43°39'52"E	29.94'
C24	186.00'	50.54'	15°34'05"	N8°34'25"W	50.38'
C25	29.00'	55.13'	108°54'46"	S38°05'55"W	47.19'
C26	621.00'	74.20'	6°50'45"	N89°07'56"E	74.15'
C27	69.00'	35.79'	29°43'14"	N79°25'49"W	35.39'
C28	50.50'	42.08'	47°45'24"	N40°50'38"W	40.88'

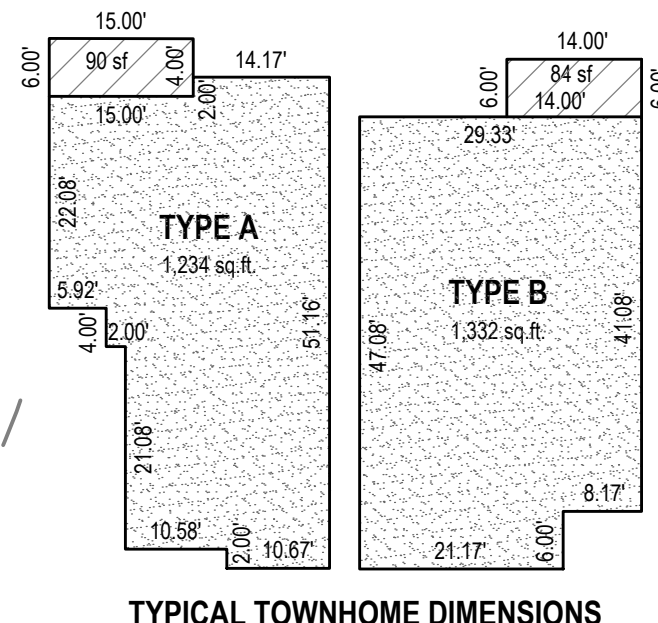
SURVEYOR'S CERTIFICATE
I, PATRICK M. HARRIS, do hereby certify that I am a Licensed Land Surveyor, and that I hold Certificate No. 28682, as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as WINDSOR MILL TOWNHOMES PLAT, and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet footage width and area requirements of the applicable zoning ordinances.

BOUNDARY DESCRIPTION
Beginning at the intersection of the west line of 820 West Street and the south line of 11400 South Street said point being South 89°26'50" West 997.31 feet along the section line and South 116.71 feet from the East Quarter Corner of Section 23, Township 3 South, Range 1 East, Salt Lake Base and Meridian; and running
thence South 00°26'04" West 249.40 feet along the west line of said 820 West Street;
thence Southwesterly 83.81 feet along the arc of a 70.00 foot radius curve to the right (center bears North 89°33'56" West and the chord bears South 34°44'03" West 78.89 feet with a central angle of 68°35'59") along the west line of said 820 West Street to the north line of Windsor Mill Drive;
thence South 69°02'03" West 149.29 feet along the north line of Windsor Mill Drive;
thence Westerly 82.99 feet along the arc of a 179.93 foot radius curve to the right (center bears North 20°57'57" West and the chord bears South 82°14'51" West 82.26 feet with a central angle of 26°25'36") along the north line of Windsor Mill Drive;
thence North 84°32'21" West 161.50 feet along the north line of Windsor Mill Drive;
thence North 04°42'13" West 30.00 feet;
thence North 89°06'54" West 31.80 feet;
thence North 84°32'21" West 166.95 feet;
thence North 02°47'14" East 6.44 feet;
thence Northerly 94.53 feet along the arc of a 320.00 foot radius curve to the left (center bears North 87°15'05" West and the chord bears North 05°42'52" West 94.19 feet with a central angle of 16°55'34");
thence North 82°25'44" East 7.42 feet;
thence North 87°15'05" East 405.98 feet along the south line of said 11400 South Street;
thence North 80°59'05" East 175.87 feet along the south line of said 11400 South Street to the point of beginning.

Contains 208,591 Square Feet or 4.789 Acres and 30 Units and 1 Parcel



DATE: _____ PATRICK M. HARRIS
P.L.S. 28682



UTILITY DEDICATION
By execution of this plat, the Owner(s) shown below does hereby grant and convey to the Draper City and other public utility companies, a permanent easement and right of way in and to those areas reflected on the map and defined as "PRIVATE STREETS", and "COMMON" for construction and maintenance of approved public utilities and appurtenances together with right of access thereon.

RESERVATION OF COMMON AREAS
By execution of this plat, the Owner(s) shown below does hereby reserve all areas shown on this plat "COMMON AREA" for the common enjoyment of all owners and such owners guests and invites to the project.

OWNER'S DEDICATION
Know all men by these presents that I/we, the undersigned owner (s) of the heron described tract of land, hereby set apart and subdivide the same into lots and street as shown on this plat and said plat

WINDSOR MILL TOWNHOMES PLAT

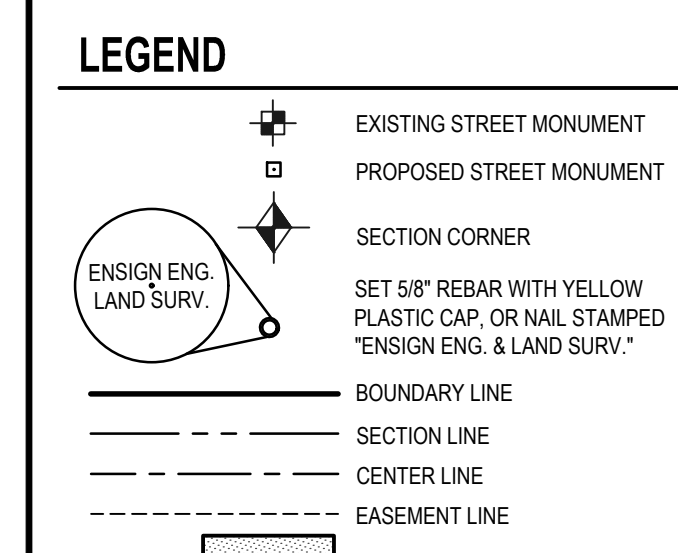
and do hereby dedicate, grant and convey to Draper City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown herein, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trails or easements, or of similar designation.

In witness whereof I/we have hereunto set our hand (s) this _____ day of _____ A.D., 20____

By: _____

CORPORATE ACKNOWLEDGMENT

STATE OF _____) S.S.
COUNTY OF _____)
ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED
BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR SAID COUNTY OF _____ IN SAID STATE OF _____ WHO
BEING DULY SWORN, DID SAY TO ME THAT _____ IS THE _____ OF _____
AND THAT THE FOREGOING INSTRUMENT WAS SIGNED IN BEHALF OF SAID
CORPORATION BY AUTHORITY OF ITS ORGANIZATIONAL DOCUMENTS, AND SAID _____ DULY ACKNOWLEDGED TO
ME THAT SAID CORPORATION EXECUTED THE SAME.
MY COMMISSION EXPIRES: _____
NAME: _____ NOTARY PUBLIC
NO. _____ RESIDING IN _____ COUNTY
A NOTARY PUBLIC COMMISSION IN UTAH



ROCKY MOUNTAIN POWER NOTES:
1. PURSUANT TO UTAH CODE ANN. § 54-3-27 THIS PLAT CONVEYS TO THE OWNER(S) OR OPERATORS OF UTILITY FACILITIES A PUBLIC UTILITY EASEMENT ALONG WITH ALL THE RIGHTS AND DUTIES DESCRIBED THEREIN.
2. PURSUANT TO UTAH CODE ANN. § 17-27A-603(4)(C)(II) ROCKY MOUNTAIN POWER ACCEPTS DELIVERY OF THE PLAT AS DESCRIBED IN THIS PLAT AND APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS AND APPROXIMATES THE LOCATION OF THE PUBLIC UTILITY EASEMENTS, BUT DOES NOT WARRANT THEIR PRECISE LOCATION. ROCKY MOUNTAIN POWER MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT AFFECT ANY RIGHT THAT ROCKY MOUNTAIN POWER HAS UNDER:
2.1. A RECORDED EASEMENT OR RIGHT-OF-WAY
2.2. THE LAW APPLICABLE TO PRESCRIPTIVE RIGHTS
2.3. TITLE 54, CHAPTER 8A, DAMAGE TO UNDERGROUND UTILITY FACILITIES OR
2.4. ANY OTHER PROVISION OF LAW.

Dominion Energy Utah - Note:
Questar Gas Company dba Dominion Energy Utah, approves this plat for the purpose of approximating the location, boundaries, course and dimensions of the Rights-of-Way and Easement Grants and existing underground facilities. Nothing herein shall be construed to warrant or verify the precise location of such items. The Rights-of-Way and easements are subject to numerous restrictions appearing on the recorded right-of-way and easement grants). Dominion Energy Utah also approves this plat for the purpose of confirming that the plat contains public utility easements; however, Dominion Energy Utah may require additional easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set in the Owners Declaration or the Notes, and does not constitute a guarantee of particular terms or conditions of natural gas service. For further information please contact Dominion Energy Utah's Right-of-Way Department at 801-366-8532.

POINT TABLE				POINT TABLE				POINT TABLE			
NO.	NORTHING	EASTING	DESC.	NO.	NORTHING	EASTING	DESC.	NO.	NORTHING	EASTING	DESC.
1	5000.00	5000.00	SECT MON	11	4793.65	3826.03	BLDG	21	4565.65	3827.86	BLDG
2	4949.55	328.49	SECT MON	12	4789.23	3583.72	BLDG	22	4565.06	3670.40	BLDG
3	4564.71	3833.74	BLDG	13	4790.20	3542.82	BLDG	23	4560.43	3714.76	BLDG
4	4603.20	3815.62	BLDG	14	4784.00	3471.25	BLDG	24	4565.26	3757.03	BLDG
5	4638.01	3798.66	BLDG	15	4744.38	3464.02	BLDG	25	4632.64	3547.42	BLDG
6	4676.94	3781.50	BLDG	16	4672.57	3465.55	BLDG	26	4631.99	3589.97	BLDG
7	4715.89	3775.66	BLDG	17	4638.44	3465.83	BLDG	27	4626.87	3642.38	BLDG
8	4773.12	3732.25	BLDG	18	4594.57	3473.41	BLDG	28	4622.53	3714.08	BLDG
9	4787.61	3706.54	BLDG	19	4568.81	3539.10	BLDG				
10	4795.63	3664.76	BLDG	20	4566.70	3581.60	BLDG				

NOTES:
1. A geotechnical evaluation report has been prepared for the Windsor Mill Development by CMT Engineering Laboratories dated April 25, 2018. The recommendation and specific requirements as outlined in the report shall be complied with for site, utility and building construction. A copy of said report is on file with Draper City.
2. Due to the potential of fluctuating groundwater conditions in this subdivision the maximum depth of the finished floor can be no more than four feet below the native soils, to be verified by the geotechnical engineer. The geotechnical report for this subdivision is available for review at Draper City Hall.
3. All roads and utilities are private and shall be maintained by an home owners association. All private roads are also dedicated as public utility easements.
4. All subsurface drains or land drains require a private maintenance plan and protective covenants.
5. Flood Zones shown as delineated by F.E.A.A. Flood Insurance Rate Map, Community Panel Map #490352-041G, with an effective date of September 5, 2009.
6. Common Area parcel net parcel areas are calculated as total common area plus limited common area plus driveway limited common area (d/c) less building area.



LAYTON POWER#18471100
TOOLEE POWER#43843330
CLONDA CITY POWER#4358631453
RICHFIELD POWER#4338662863
PROJECT NUMBER: 3358D
MANAGER: DAJ
DRAWN BY: KFW
CHECKED BY: PMH
DATE: 6/20/19

EASEMENT APPROVAL	
CENTURYLINK	DATE _____
ROCKY MOUNTAIN POWER	DATE _____
DOMINION ENERGY UTAH	DATE _____
COMCAST	DATE _____

SOUTH VALLEY SEWER DISTRICT APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY SOUTH VALLEY SEWER DISTRICT.
SOUTH VALLEY SEWER DISTRICT MANAGER

PLANNING COMMISSION APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY DRAPER CITY PLANNING COMMISSION
CHAIR, DRAPER CITY PLANNING COMMISSION

SALT LAKE COUNTY HEALTH DEPARTMENT APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY SALT LAKE VALLEY HEALTH DEPARTMENT.
SALT LAKE VALLEY HEALTH DEPARTMENT

CITY ENGINEER APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY DRAPER CITY ENGINEER.
DRAPER CITY ENGINEER

CITY MAYOR APPROVAL
PRESENTED TO THE MAYOR AND DRAPER CITY COUNCIL THIS _____ DAY OF _____ A.D. 20____ AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.
ATTEST: CLERK _____ MAYOR _____

CITY ATTORNEY'S APPROVAL
APPROVED THIS _____ DAY OF _____, 20____
BY DRAPER CITY ATTORNEY.
DRAPER CITY ATTORNEY

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FEES _____ DEPUTY SALT LAKE COUNTY RECORDER

WINDSOR MILL TOWNHOMES PLAT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 23,
TOWNSHIP 3 SOUTH, RANGE 1 EAST, SALT LAKE BASE & MERIDIAN
DRAPER CITY, SALT LAKE COUNTY, UTAH

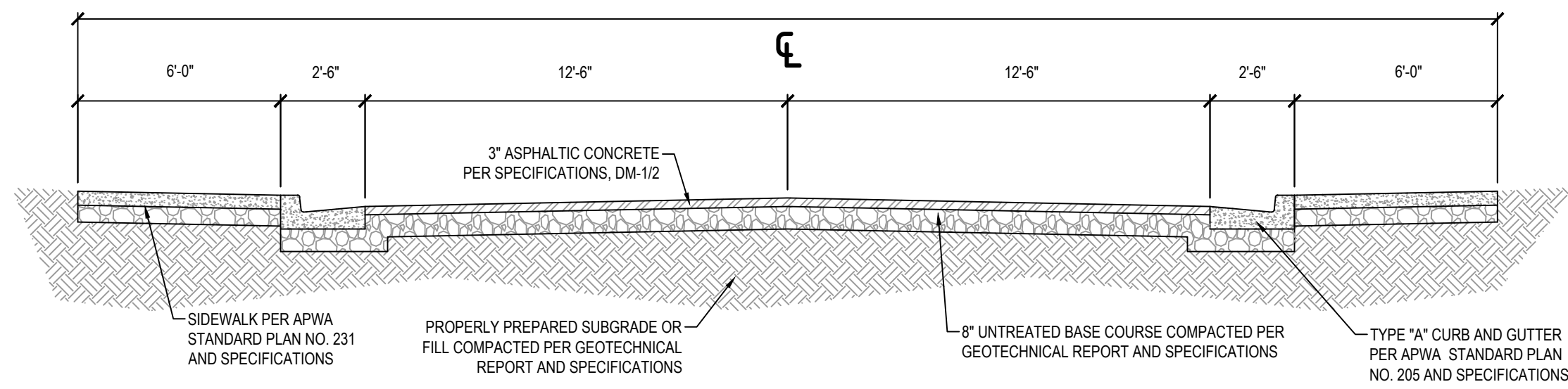
811
Know what's below.
Call before you dig.

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

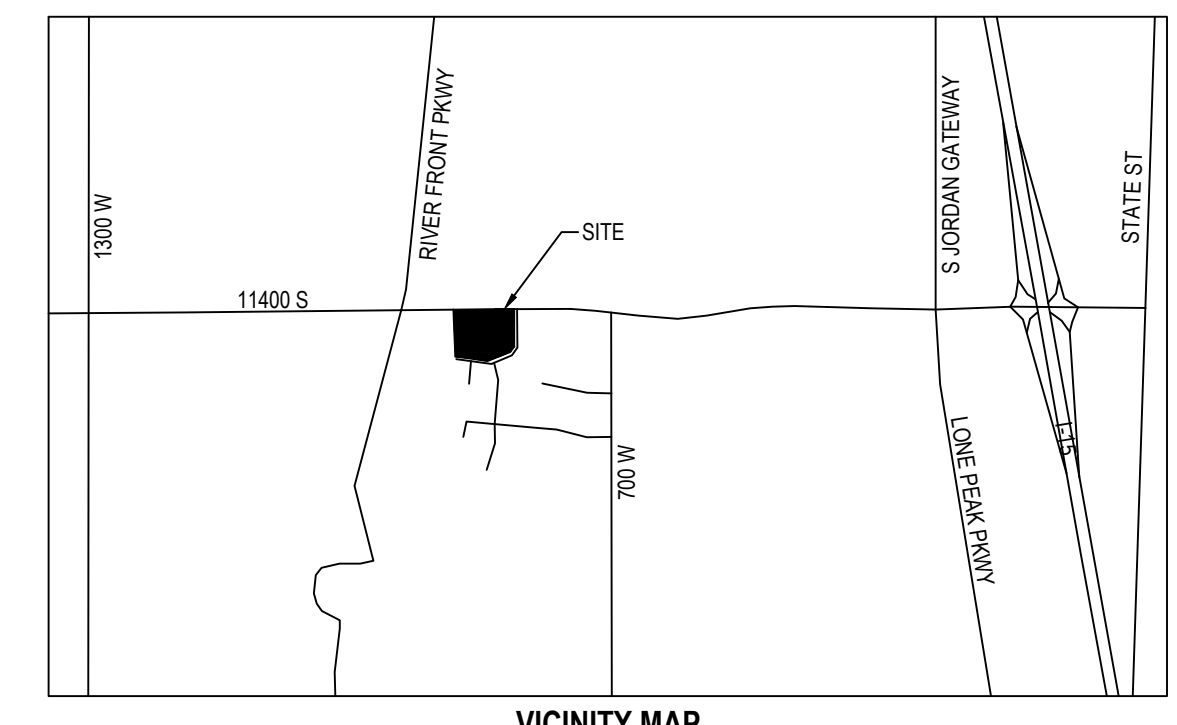
EAST QUARTER CORNER
SECTION 23, T3S, R1W
SALT LAKE BASE AND MERIDIAN
(FOUND BRASS CAP)

ELEVATION = 4401.32

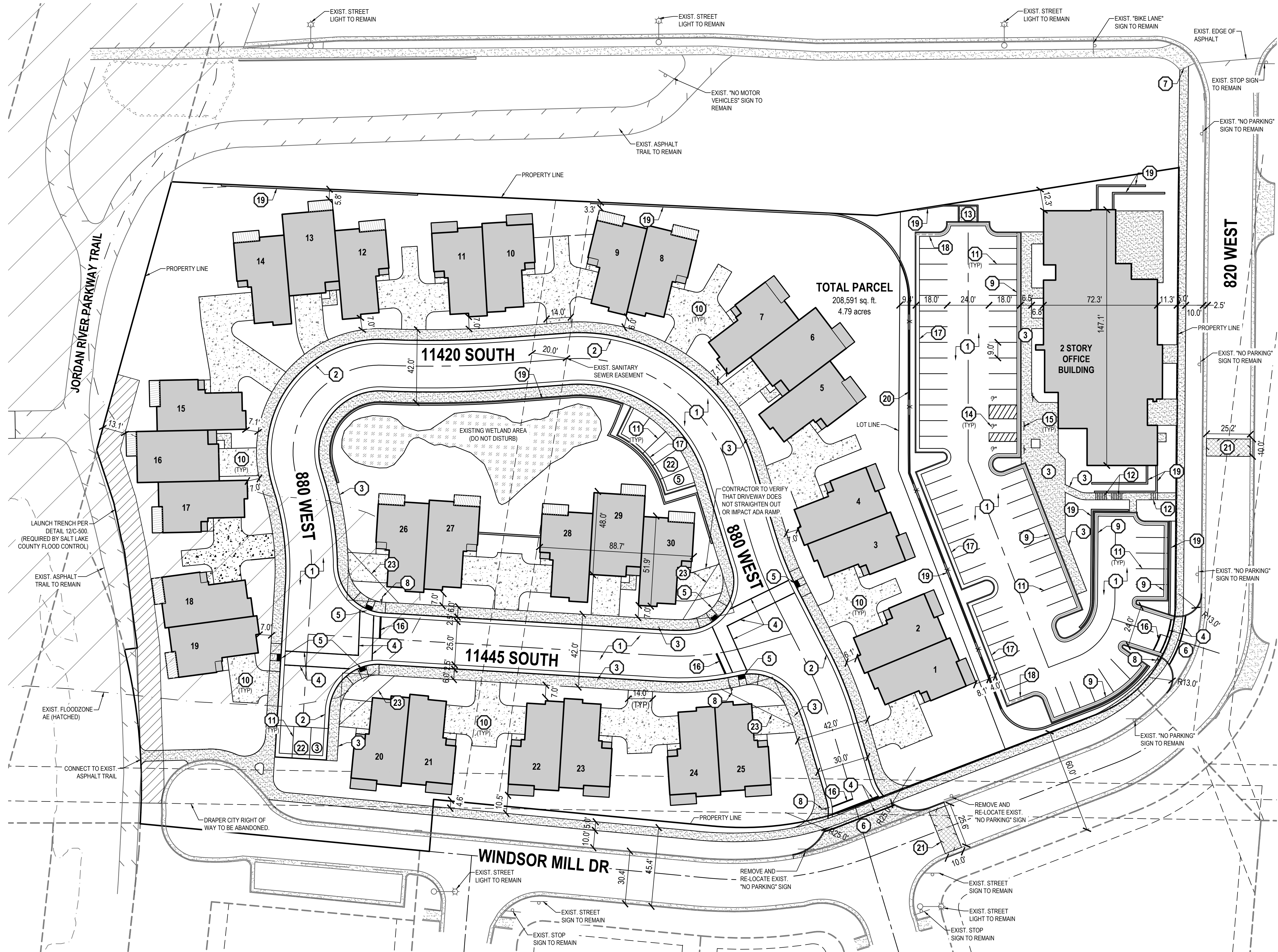


1 ROAD CROSS SECTION
SCALE: NONE

- GENERAL NOTES**
- ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
 - ALL HYDRANTS AND A FORM OF ACCEPTABLE TEMPORARY FIRE DEPARTMENT ACCESS TO THE SITE SHALL BE INSTALLED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. IF AT ANY TIME DURING THE BUILDING PHASE ANY OF THE HYDRANTS OR TEMPORARY FIRE DEPARTMENT ACCESS BECOMES NON-COMPLIANT, ANY AND ALL PERMITS COULD BE REVOKED.
 - NO COMBUSTIBLE CONSTRUCTION SHALL BE ALLOWED PRIOR TO HYDRANT INSTALLATION AND TESTING BY WATER PURVEYOR. ALL HYDRANTS MUST BE OPERATIONAL PRIOR TO ANY COMBUSTIBLE ELEMENTS BEING RECEIVED OR DELIVERED ON BUILDING SITE.
 - NO COMBUSTIBLE CONSTRUCTION SHALL BE ALLOWED PRIOR TO HYDRANT INSTALLATION AND TESTING BY WATER PURVEYOR. ALL HYDRANTS MUST BE OPERATIONAL PRIOR TO ANY COMBUSTIBLE ELEMENTS BEING RECEIVED OR DELIVERED ON BUILDING SITE.
 - STREET SIGNS ARE REQUIRED AND ARE TO BE POSTED AND LEGIBLE PRIOR TO BUILDING PERMITS BEING ISSUED. ALL LOTS TO HAVE LOT NUMBER AND ADDRESS POSTED AND LEGIBLE.



VICINITY MAP
(NOT TO SCALE)



SCOPE OF WORK:
PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED. THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 8" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 6/C-500.
- 30" TYPE "1" CURB AND GUTTER PER DRAPER CITY STANDARD PLAN ST-10.
- CONCRETE SIDEWALK PER DRAPER CITY STANDARD PLAN ST-12.
- WHITE CROSSWALK MARKING PER M.U.T.C.D. STANDARD PLANS
- HANDICAP ACCESS RAMP W/ DETECTABLE WARNING SURFACE PER DRAPER CITY PLANS ST-04 AND ST-05.
- COMMERCIAL DRIVE APPROACH PER DRAPER CITY STANDARD PLAN ST-07, ST-08, ST-09.
- CONNECT TO EXISTING SIDEWALK
- STOP SIGN PER M.U.T.C.D. STANDARDS
- 30" REVERSE PAN CURB AND GUTTER PER DETAIL 6/C-500.
- CONCRETE PAVEMENT: 6" THICK CONCRETE W/ 6" UNTREATED BASE AND PROPERLY PREPARED SUB-BASE PER DETAIL 7/C-500.
- 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- CONCRETE STAIRS PER DETAIL 6/C-500.
- DUMPSTER PER DETAILS 9, 10, 11 AND 14/C-500.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER M.U.T.C.D. STANDARD PLANS.
- 12" WIDE SOLID WHITE STOP BAR PER M.U.T.C.D. STANDARD PLANS.
- 30" CONCRETE STANDARD CURB AND GUTTER PER DRAPER CITY STANDARD PLAN ST-10.
- TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- RETAINING WALL. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- INSTALL 6" HIGH SOLID DIVIDER ON TOP OF RETAINING WALL. SEE ARCHITECTURAL PLANS FOR DETAILS.
- SAWCUT AND PATCH EXISTING ASPHALT PAVEMENT FOR UTILITY INSTALLATION. "SEE DETAIL 14/C-500 FOR ROAD CROSS SECTION.
- VISITOR PARKING AREA FOR RESIDENTIAL DEVELOPMENT.
- 30-FOOT SIDE TRIANGLE.

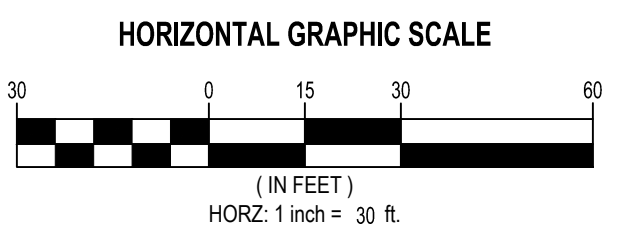
RESIDENTIAL SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	58,676	36%
ROOF	42,110	26%
LANDSCAPING	63562	38%
TOTAL SITE	164,348	100%
	3,773 ACRES	

COMMERCIAL SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT	23,504	53%
ROOF	7,907	18%
LANDSCAPING	12,831	29%
TOTAL SITE	44,242	100%
	1,016 ACRES	

COMMERCIAL PARKING DATA TABLE	
STANDARD STALLS	60
ADA - ACCESSIBLE STALLS	3
TOTAL STALLS	63

RESIDENTIAL PARKING DATA TABLE	
GARAGE STALLS	60
PERSONAL DRIVEWAY STALLS	60
COMMUNAL VISITOR STALLS	8
TOTAL STALLS	128

COMMERCIAL BUILDING DATA TABLE	
FOOTPRINT AREA	7,907 SF
AREA PER FLOOR	7,907 SF
NUMBER OF FLOORS	2
GROSS SF (ALL FLOORS)	15,814 SF



Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

5151 South 900 East, Suite 200
Salt Lake City, UT 84117
Ph: 801.269.0355
Fax: 801.269.1425
www.thinkaec.com

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These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WINDSOR MILL TOWNHOMES

11450 SOUTH 820 WEST
DRAPER UTAH

PROJECT NO. 17055
DATE: 18 APRIL 2019

REVISIONS:

NO.	DATE	REVISION	BY
1			
2			
3			
4			
5			
6			
7			
8			

SHEET TITLE: **SITE PLAN**

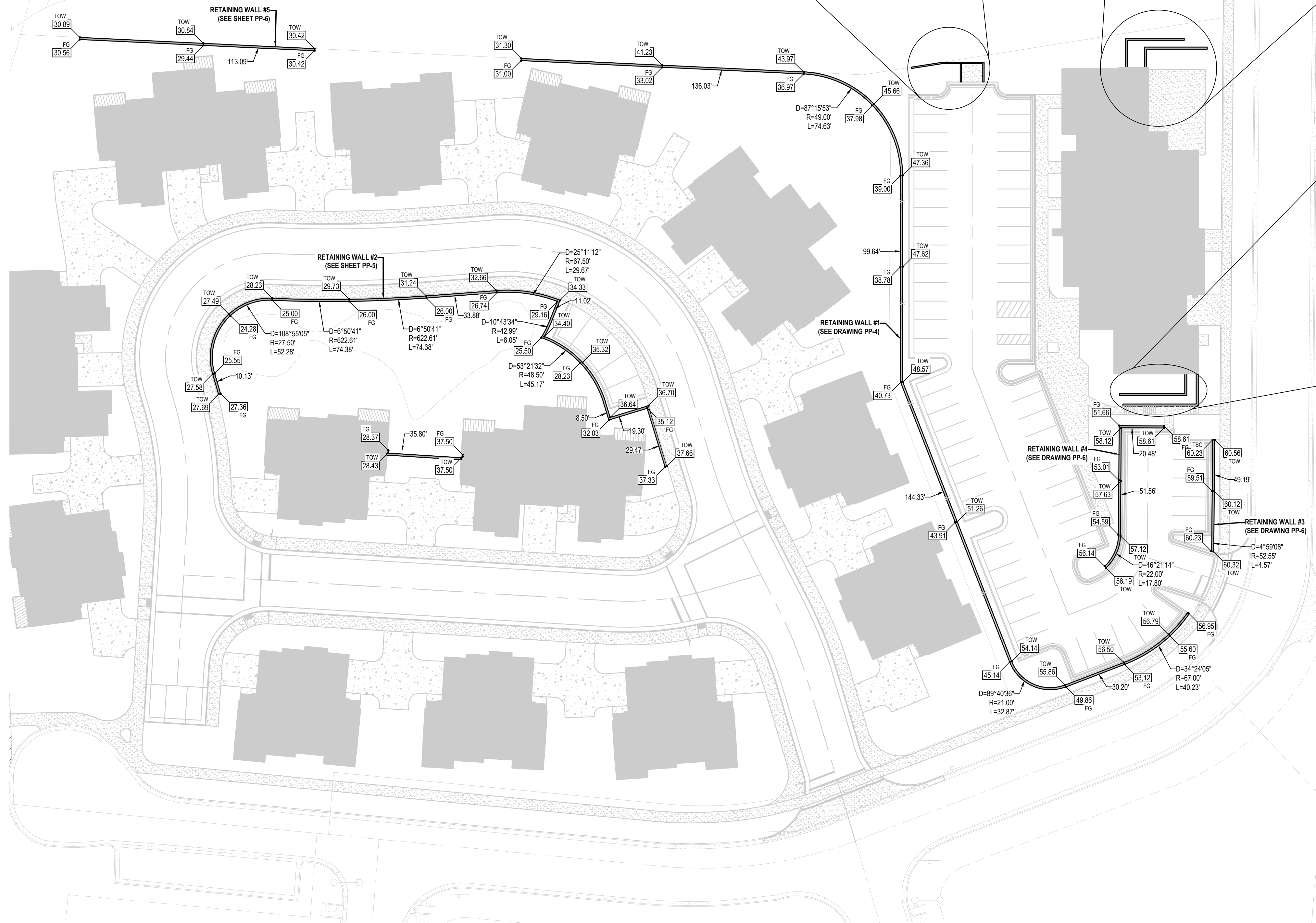
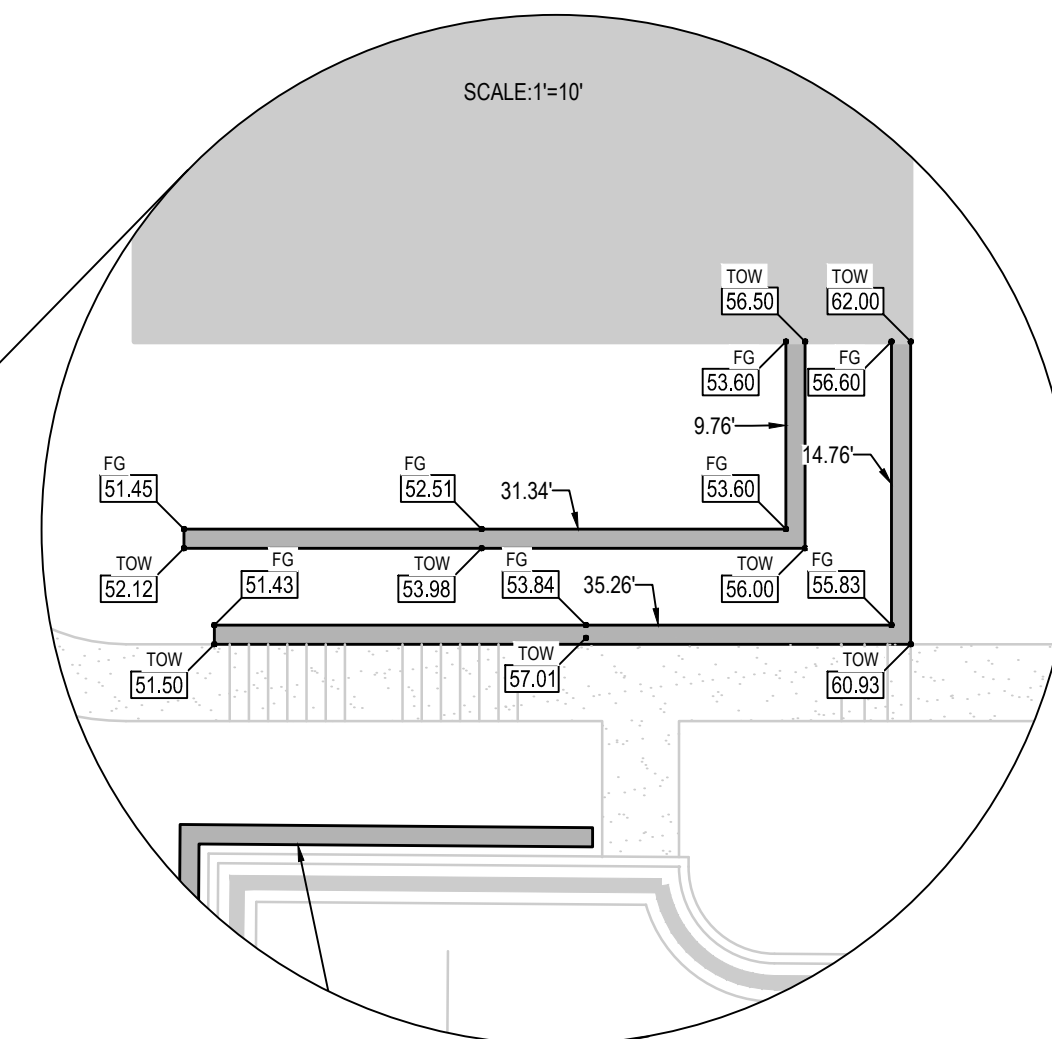
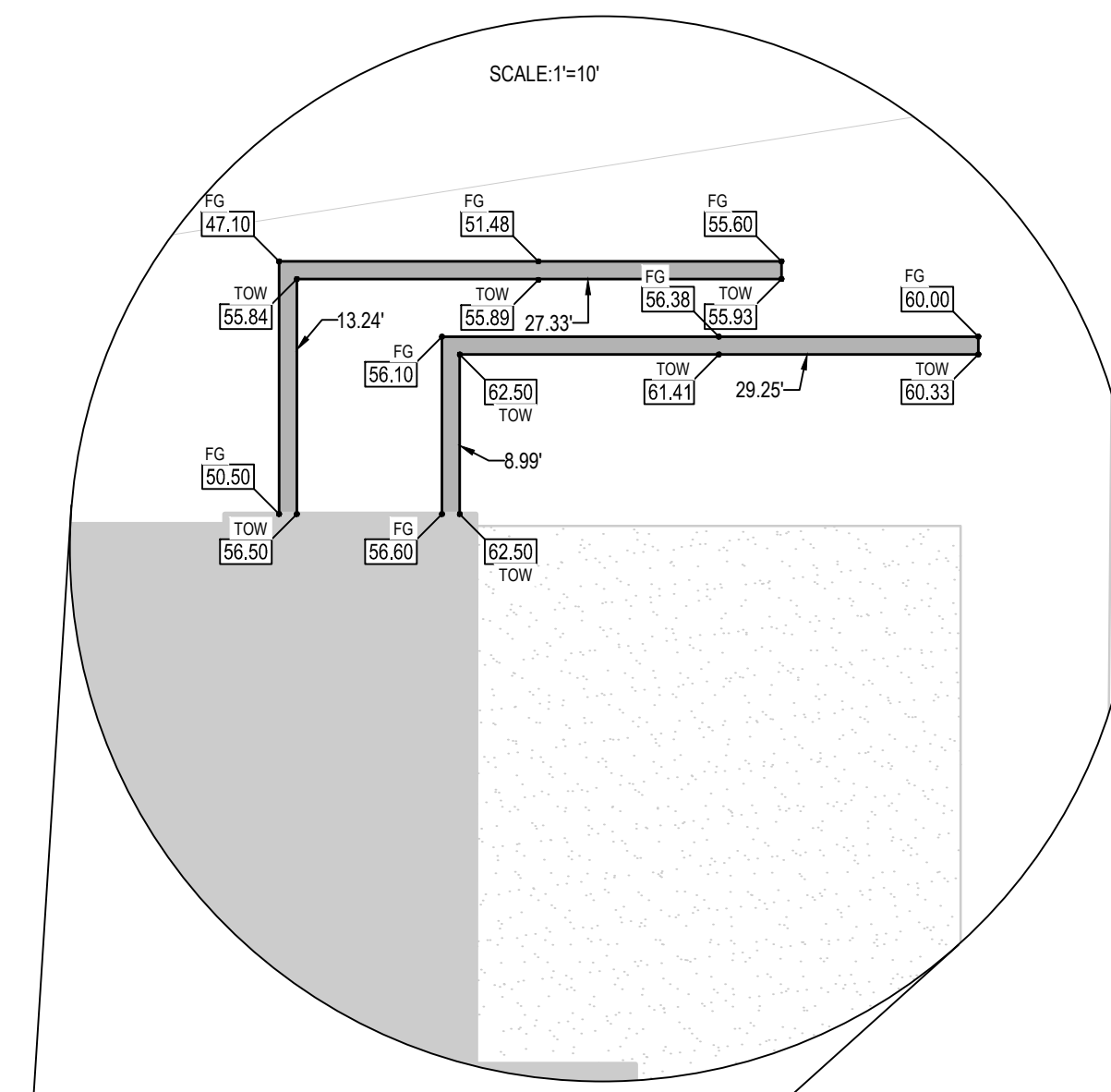
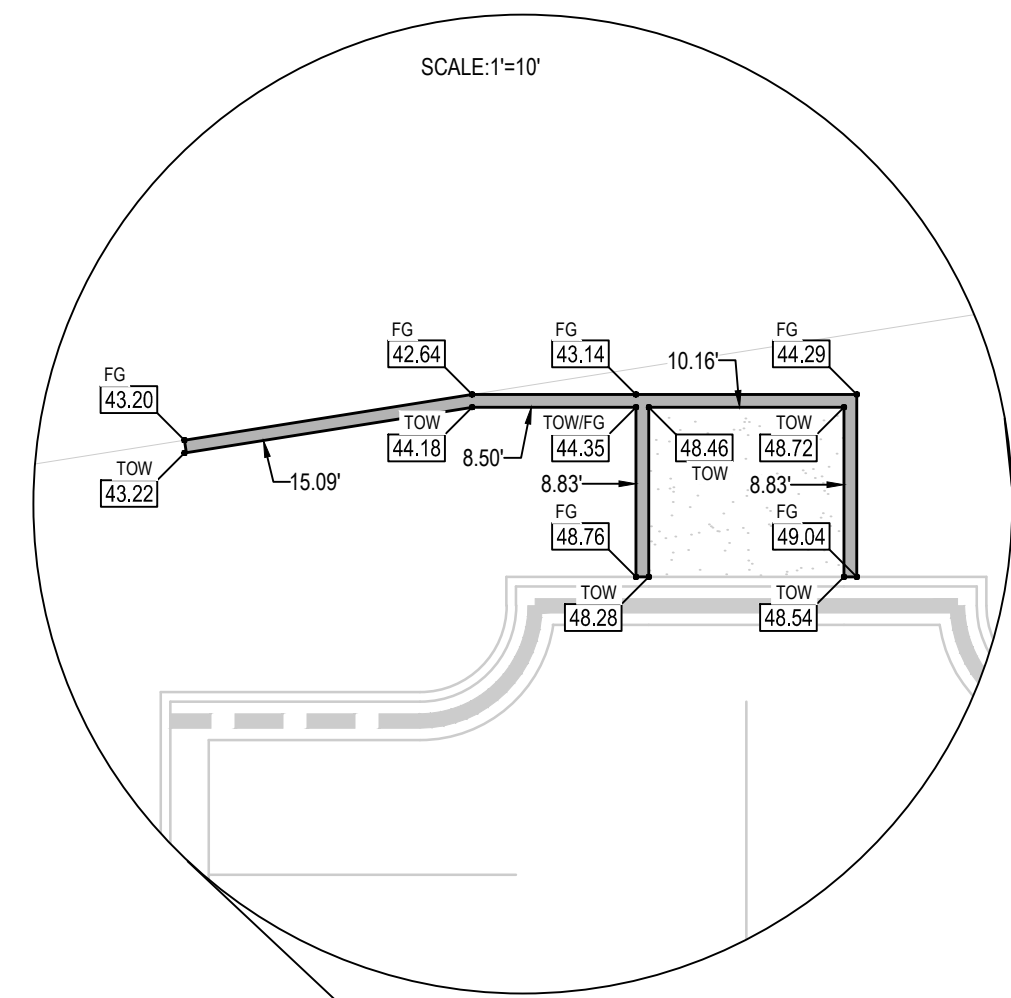
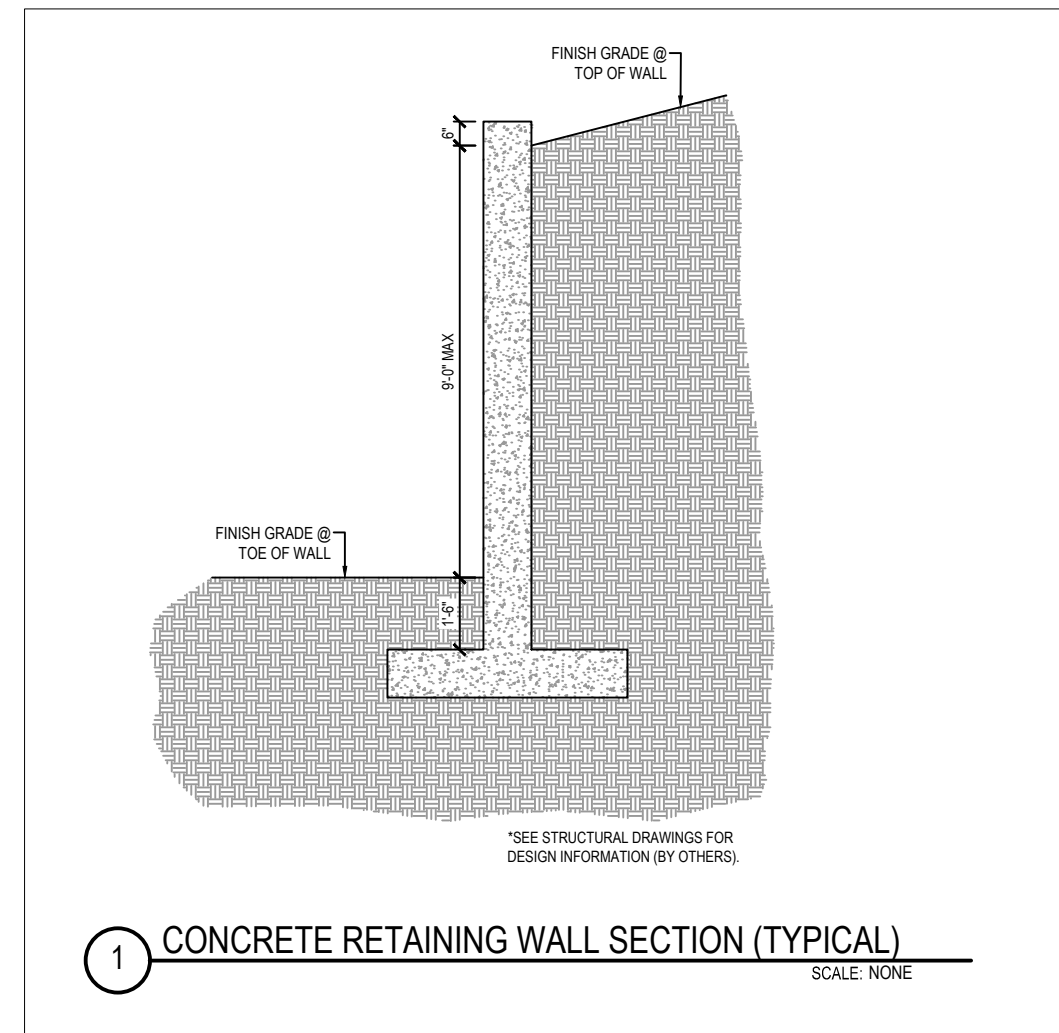
SHEET NUMBER: **C-100**

CIVIL

FOR REVIEW

BENCHMARK
 EAST QUARTER CORNER
 SECTION 23, T3S, R1W
 SALT LAKE BASE AND MERIDIAN
 (FOUND BRASS CAP)
 ELEVATION = 4401.32

811 CALL BLUESTAKES
 @ 811 AT LEAST 48 HOURS
 PRIOR TO THE
 COMMENCEMENT OF ANY
 CONSTRUCTION.
Know what's below. Call before you dig.



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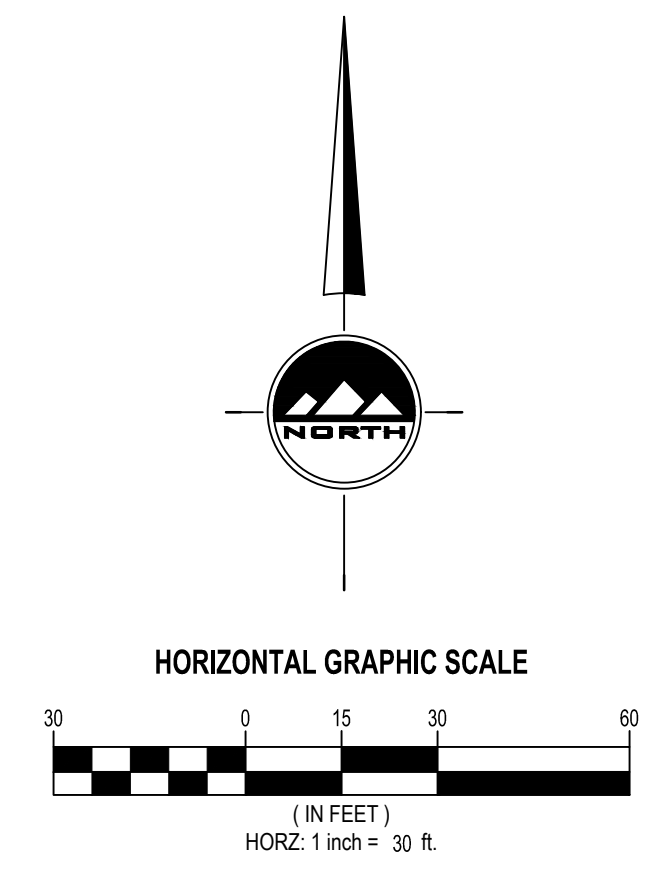
WINDSOR MILL TOWNHOMES
 11450 SOUTH 820 WEST
 DRAPER, UTAH

PROJECT NO. 17055
 DATE: 18 APRIL 2019

REVISIONS:

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
3			
4			
5			
6			
7			
8			

SHEET TITLE:
RETAINING WALL ISOLATION
 SHEET NUMBER:
C-101
CIVIL



FOR REVIEW

BENCHMARK
 EAST QUARTER CORNER
 SECTION 23, T3S, R1W
 SALT LAKE BASE AND MERIDIAN
 (FOUND BRASS CAP)
 ELEVATION = 4401.32

811
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 COMMENCEMENT OF ANY
 CONSTRUCTION.

SCOPE OF WORK:
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE
 DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

1. DETENTION POND
 VOLUME REQUIRED = 7,700 CU. FT.
 VOLUME PROVIDED = 7,904 CU. FT.
 TOP OF POND ELEVATION = 4326.25
 BOTTOM OF POND ELEVATION = 4323.00
 10-YR HIGH WATER ELEVATION = 4325.25
2. PROPOSED RETAINING WALL, WALLS # 4 AND OVER REQUIRE BUILDING PERMIT.
3. DETENTION OVERFLOW BOX PER DETAIL, 15C-500. INSTALL 3" 8' CRIFICE PLATE IN WEIR WALL PER DETAIL 13C-500.
4. EXISTING DRAINAGE SWALE TO BE RE-ROUTED THROUGH PROPOSED SYSTEM.

LEGEND

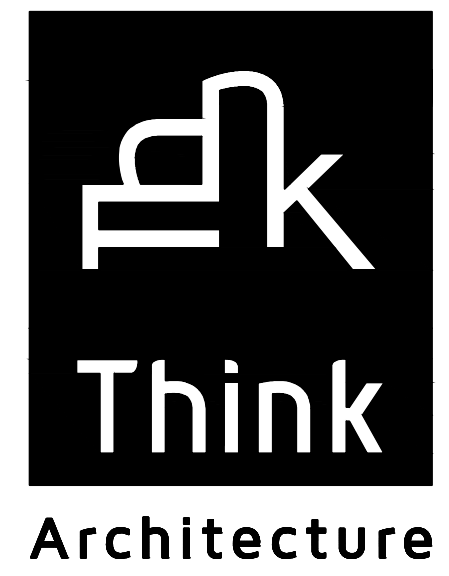
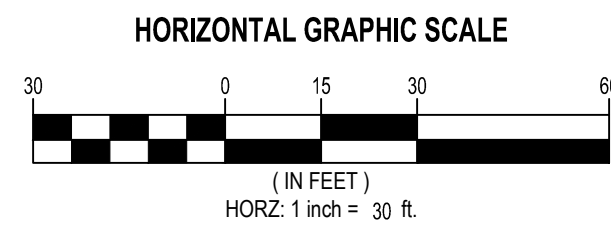
- PROPOSED PORCH
- PROPOSED DECK (ELEVATED)
- PROPOSED SWALE/FLOWLINE
- PROPOSED RIDGE/GRADE BREAK

GENERAL NOTES

1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
3. ALL WORK SHALL COMPLY WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER POSSIBLY INCLUDING, BUT NOT LIMITED TO, REMOVAL OF UNDOCUMENTED FILL, ORGANICS, AND DEBRIS, PLACEMENT OF SUBSURFACE DRAIN LINES AND GEOTEXTILE, AND OVEREXCAVATION OF UNSUITABLE BEARING MATERIALS AND PLACEMENT OF ACCEPTABLE FILL MATERIAL.
4. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE EXISTING SOIL CONDITIONS.
5. ELEVATIONS HAVE BEEN TRUNCATED FOR CLARITY. 31.85 REPRESENTS AN ELEVATION OF 4831.85 ON THESE PLANS.
6. LANDSCAPED AREAS REQUIRE SUBGRADE TO BE MAINTAINED AT A SPECIFIC ELEVATION BELOW FINISHED GRADE AND REQUIRE SUBGRADE TO BE PROPERLY PREPARED AND SCARIFIED. SEE LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.
7. SLOPE ALL LANDSCAPED AREAS AWAY FROM BUILDING FOUNDATIONS TOWARD CURB AND GUTTER OR STORM DRAIN INLETS.
8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTORS FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
9. ALL STORM DRAIN INFRASTRUCTURE TO BE INSTALLED PER DRAPER CITY'S STANDARD PLANS AND SPECIFICATIONS.
10. ENSURE MINIMUM COVER OVER ALL STORM DRAIN PIPES PER MANUFACTURER'S RECOMMENDATIONS. NOTIFY ENGINEER IF MINIMUM COVER CANNOT BE ATTAINED.
11. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
12. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE, ASPHALT, OR STORM DRAIN STRUCTURES OR PIPES.
13. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
14. ALL BASEMENTS ARE REQUIRED TO BE 3 FEET ABOVE GROUND WATER.



VICINITY MAP
(NOT TO SCALE)



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 Interior Design
 Landscape Architecture
 Land Planning
 Construction Management

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WINDSOR MILL TOWNHOMES

11450 SOUTH 820 WEST
 DRAPER, UTAH

PROJECT NO. 17055
 DATE: 18 APRIL 2019

REVISIONS:

NO.	DATE	REVISION	BY
1		FOR REVIEW	
2			
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5			
6			
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8			

SHEET TITLE:
 GRADING &
 DRAINAGE PLAN

SHEET NUMBER:
 C-200

CIVIL

FOR REVIEW

BENCHMARK
 EAST QUARTER CORNER
 SECTION 23, T3S, R1W
 SALT LAKE BASE AND MERIDIAN
 (FOUND BRASS CAP)
 ELEVATION = 4401.32

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GENERAL NOTES

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- EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.
- ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY STANDARD PLANS AND SPECIFICATIONS.
- ALL WATER INFRASTRUCTURE TO BE INSTALLED PER GOVERNING AGENCY OR APWA STANDARD PLANS AND SPECIFICATIONS.
- DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH ALL UTAH DIVISION OF DRINKING WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
- THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
- THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL HYDRANTS AND A FORM OF ACCEPTABLE TEMPORARY FIRE DEPARTMENT ACCESS TO THE SITE SHALL BE INSTALLED AND APPROVED BY THE FIRE DEPARTMENT PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS. IF AT ANY TIME DURING THE BUILDING PHASE ANY OF THE HYDRANTS OR TEMPORARY FIRE DEPARTMENT ACCESS BECOMES NON-COMPLIANT, ANY AND ALL PERMITS COULD BE REVOKED.
- NO COMBUSTIBLE CONSTRUCTION SHALL BE ALLOWED PRIOR TO HYDRANT INSTALLATION AND TESTING BY WATER PURVEYOR. ALL HYDRANTS MUST BE OPERATIONAL PRIOR TO ANY COMBUSTIBLE ELEMENTS BEING RECEIVED OR DELIVERED ON BUILDING SITE.
- NO COMBUSTIBLE CONSTRUCTION SHALL BE ALLOWED PRIOR TO HYDRANT INSTALLATION AND TESTING BY WATER PURVEYOR. ALL HYDRANTS MUST BE OPERATIONAL PRIOR TO ANY COMBUSTIBLE ELEMENTS BEING RECEIVED OR DELIVERED ON BUILDING SITE.
- STREET SIGNS ARE REQUIRED AND ARE TO BE POSTED AND LEGIBLE PRIOR TO BUILDING PERMITS BEING ISSUED. ALL LOTS TO HAVE LOT NUMBER AND ADDRESS POSTED AND LEGIBLE.

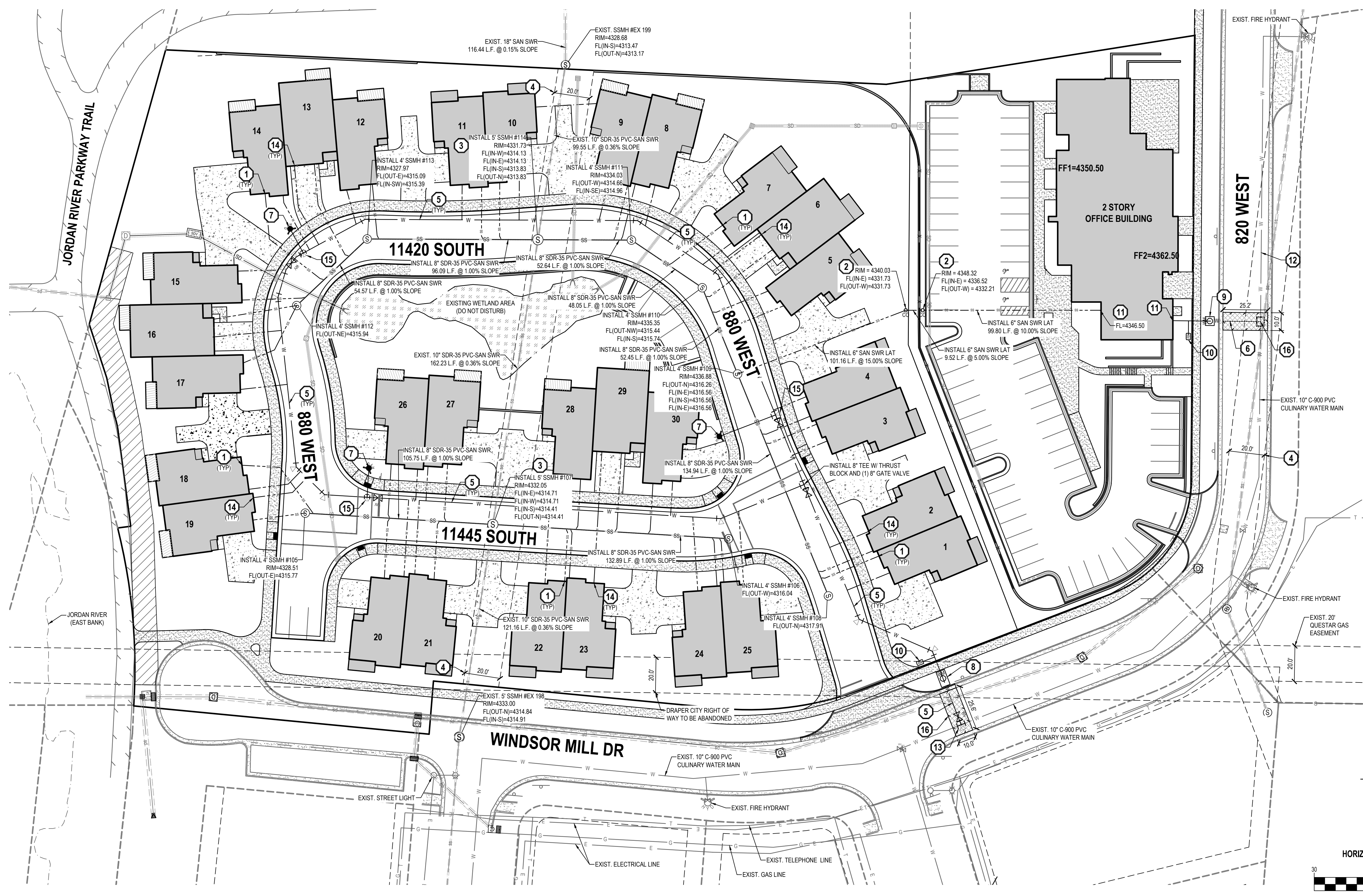
SCOPE OF WORK:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 4" SDR-35 PVC SANITARY SEWER LATERAL @ 2.00% MIN SLOPE, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACINGS. INSTALLATION AND TRENCHING PER SOUTH VALLEY SEWER DISTRICTS STANDARDS AND SPECIFICATIONS.
- SANITARY SEWER CLEANOUT PER SOUTH VALLEY SEWER DISTRICTS STANDARDS AND SPECIFICATIONS.
- CONNECT TO EXISTING SEWER MAIN PER SOUTH VALLEY SEWER DISTRICTS STANDARDS AND SPECIFICATIONS.
- EXISTING 20' WIDE SANITARY SEWER EASEMENT.
- 8" C-900 PVC CULINARY WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER DRAPER CITY STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER APWA STANDARDS AND SPECIFICATIONS.
- 4" C-900 PVC CULINARY WATER LINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER DRAPER CITY STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER APWA STANDARDS AND SPECIFICATIONS.
- FIRE HYDRANT ASSEMBLY COMPLETE PER DRAPER CITY STANDARD PLAN NO. 3066.
- 4" CULINARY MASTER METER W/ BYPASS AND CONCRETE VAULT PER APWA STANDARD PLAN NO. 505 AND SPECIFICATIONS.
- 2" CULINARY WATER METER W/ CONCRETE VAULT PER APWA STANDARD PLAN NO. 505 AND SPECIFICATIONS.
- POINT OF CONNECTION FOR IRRIGATION CONTRACTOR.
- SEE MECHANICAL PLANS FOR CONTINUATION.
- HOT TAP AND CONNECT TO EXISTING WATER MAIN PER DRAPER CITY STANDARDS AND SPECIFICATIONS.
- CONNECT TO EXISTING WATER LINE WITH 10"x8" TEE AND 8" GATE VALVE PER DRAPER CITY STANDARDS AND SPECIFICATIONS.
- 1" CULINARY WATER SERVICE PER DRAPER CITY STANDARDS AND SPECIFICATIONS.
- MAIN LINE TIE-IN PER DRAPER CITY STANDARD PLAN NO. WT-3045.
- SAWCUT AND PATCH EXISTING ASPHALT PAVEMENT PER DRAPER CITY STANDARD PLANS NO. ST-19 AND -20.

*FIRE FLOW REQUIREMENT FOR RESIDENTIAL SUBDIVISION:
 1,750 GPM FOR 2 HOURS (4,280 SF TYPE V BUILDING)

*FIRE FLOW REQUIREMENT FOR COMMERCIAL DEVELOPMENT:
 2,000 GPM FOR 2 HOURS (7,910 SF TYPE IIB BUILDING)



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WINDSOR MILL TOWNHOMES
 11450 SOUTH 820 WEST
 DRAPER UTAH

PROJECT NO. 17055
 DATE: 18 APRIL 2019

REVISIONS:

NO.	DATE	REVISION	BY
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SHEET TITLE:
 UTILITY PLAN

SHEET NUMBER:
 C-300

CIVIL

FOR REVIEW

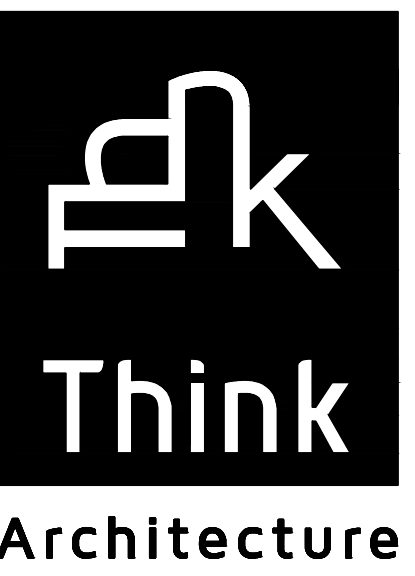
BENCHMARK
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- SCOPE OF WORK:**
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- 1 INLET PROTECTION PER DETAIL 1/C-500
 - 2 SILT FENCE PER DETAIL 2/C-500.
 - 3 PORTABLE TOILET PER DETAIL 3/C-500.
 - 4 VEHICLE WASHDOWN AND STABILIZED CONSTRUCTION ENTRANCE PER DETAIL 4/C-500.
 - 5 SUGGESTED TEMPORARY CONSTRUCTION SITE PARKING, STAGING, DUMPSTER, AND MATERIAL STORAGE AREA.
 - 6 SUGGESTED STOCKPILE AREA.
 - 7 CONTRACTOR TO RE-SEED DISTURBED SLOPE W/ NATIVE SEED MIX.

- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNS THROUGHOUT SITE.
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOD, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.



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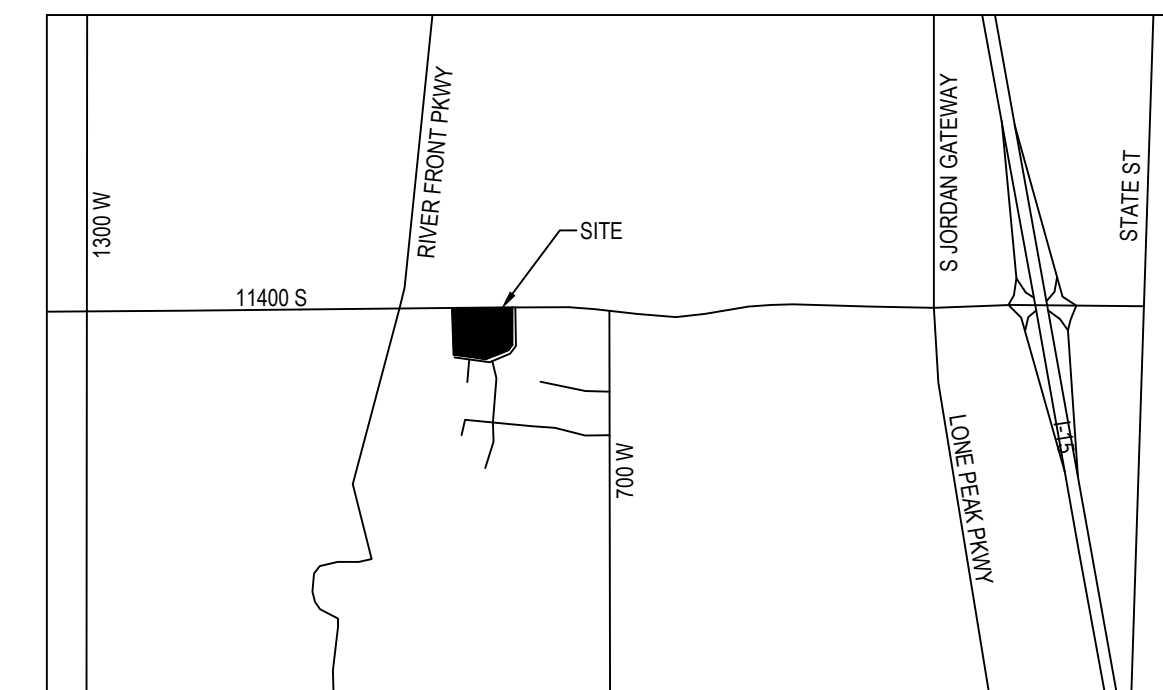
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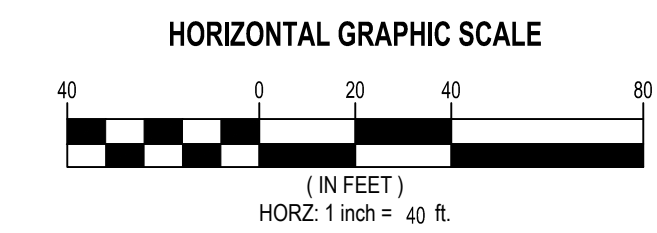
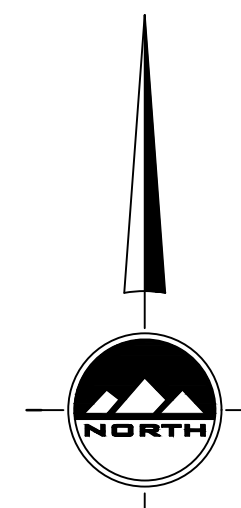
SHEET TITLE:
EROSION CONTROL PLAN

SHEET NUMBER:
C-400
CIVIL

FOR REVIEW



VICINITY MAP
 (NOT TO SCALE)





MEMO

To: Planning Commission

From: Dennis Workman

CC:

Date: July 25, 2019

Re: Draper Towns Conditional Use Permit, Site Plan & Preliminary Plat

Comments:

In June 2018, the City Council rezoned the seven acres south of the Larry H. Miller dealership from A2 and CR to CSD-11400-LPP (11400 South Lone Peak Parkway Commercial Special District). In addition, the council amended the text of Section 9-18J of the Draper City Municipal Code (DCMC) by updating its map exhibits to show the increased area. In October of the same year, the zoning administrator approved a request to amend the Larry H. Miller site plan by adding a parking area on 4.91 acres of the newly acquired seven acres. The remaining 2.21 acres is the subject of this report. The applicant wishes to construct a 25-unit townhome development on the property. The text of the CSD stipulates that multifamily housing in the zone is allowed pursuant to conditional use permit (CUP) approval. With this application, the property owner is asking for three things: CUP approval, site plan approval, and preliminary plat approval for a 25-unit townhome development.

The findings are as follows:

For approval:

1. That the proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
 - a. The CSD-11400-LPP zone allows a multi-family development pursuant to conditional use permit approval.
2. That the proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. That the proposed development conforms to the general aesthetic and physical development of the area.
4. That the public services in the area are adequate to support the subject development, including culinary water, sewer service, and traffic considerations.
5. That the plat is in compliance with the standards and criteria set forth in the subdivision code and all other ordinances of Draper City, including, but not limited to, the land use ordinance, general plan, master street plan, and City standard specifications and design criteria.
6. That the proposed use is suitable for the area and acts as a buffer for between the single-family residential and the commercial uses.

For denial:

1. That the proposed development plans do not meet the intent, goals and objectives of the Draper

City General Plan.

2. That the use is incompatible with surrounding uses, especially the single-family development that abuts on the south.
3. That the proposed development plans do not meet the requirements and provisions of the Draper City Municipal Code.
4. That the proposed development does not conform to the general aesthetic and physical development of the area.
5. That the public services in the area are inadequate to support the subject development, including culinary water, sewer service, and traffic considerations.

ATTACHMENTS:

Description	Upload Date	Type
Draper Towns Conditional Use Permit, Site Plan and Preliminary Plat	7/19/2019	Cover Memo



Development Review Committee

1020 East Pioneer Road
Draper, UT 84020

STAFF REPORT

July 12, 2019

To: Planning Commission
Business Date: July 25, 2019

From: Development Review Committee
Prepared by Dennis Workman, Planner II
801-576-6522, dennis.workman@draper.ut.us

Re: **Draper Towns Conditional Use Permit, Site Plan and Preliminary Plat**
Application No.: USE-666-2019, SPR-643-2019 and SUBD-654-2019
Applicant: Natalie Nichols, representing AWA Engineering
Project Location: 11622 S. Nate Lane
Current Zoning: CSD-11400-LLP (11400 South Lone Peak Parkway Commercial Special District)
Acreage: 2.216 Acres (Approximately 96,517 ft²)
Request: Approval of a conditional use permit, site plan and preliminary plat for a 25-unit townhome project

BACKGROUND

In June 2018, the City Council rezoned the seven acres south of the Larry H. Miller dealership from A2 and CR to CSD-11400-LPP (11400 South Lone Peak Parkway Commercial Special District). In addition, the council amended the text of Section 9-18J of the Draper City Municipal Code (DCMC) by updating its map exhibits to show the increased area. In October of the same year, the zoning administrator approved a request to amend the Larry H. Miller site plan by adding a parking area on 4.91 acres of the newly acquired seven acres. The remaining 2.21 acres is the subject of this report. The applicant wishes to construct a 25-unit townhome development on the property. The text of the CSD stipulates that multifamily housing in the zone is allowed pursuant to conditional use permit (CUP) approval. With this application, the property owner is asking for three things: CUP approval, site plan approval, and preliminary plat approval for a 25-unit townhome development.

ANALYSIS

General Plan and Zoning. The land use map of the general plan designates this area as Community Commercial. The intent of the Community Commercial designation is to allow the full scope of commercial land uses that are destination oriented.

The property has been assigned the CSD-11400-LLP zoning designation. The purpose of this zone is to create a master planned retail and office project designed as an automobile center. The Community Commercial land use category supports the current zoning on the property. Currently, CSD-11400-LPP abuts the subject property along its north border, and R3 (Single-Family Residential, 13,000 square foot lot minimum) zone abuts along its south border. To the east is the CSD-1140-LLP and the A2 (Agricultural, two acre lot minimum) zone. To the west is the FrontRunner line.



Conditional Use Permit

Abutting the subject property on its north side is the Larry H. Miller car dealership, and on its south side is Sunrise Station Phase 3, which is a single-family housing subdivision in the R3 zone. The proposed use will have no significant impact on the car dealership which is already buffered from the subject property by a 250-foot wide parking lot. The residents in the Sunrise Station homes, however, may sense an impact. The townhome project makes a logical buffer between the more intense car dealership and the less intense use of single-family housing, as it provides a gradual increase in land use intensity. The possible effects on the neighborhood to the south will be may also be mitigated by the requirement in Section 9-18J-070(H)(1) that “a landscape buffer of 20 feet shall be provided between office, parking lot or commercial uses when located adjacent to a residential zone.” The proposed landscape plan (Sheet L1.1 of the construction set) shows compliance with the 20-foot buffer requirement. The code does not require a wall in addition to the 20-foot buffer, stating that a wall is required only between abutting commercial or office land “uses” and residential zones. Note: there is an existing six-foot vinyl fence along the south property line which will help to mitigate impact.

Criteria for Approval. Section 9-5-080(E)(4) of the DCMC lists factors that are to be reviewed and considered when deciding whether to issue a conditional use permit. They are as follows:

- a. The harmony and compliance of the proposed use with the objectives and requirements of the city's general plan and this title;
- b. The suitability of the specific property for the proposed use;
- c. Whether the proposed use or facility may be injurious to potential or existing development in the vicinity;
- d. The economic impact of the proposed facility or use on the surrounding area;
- e. The aesthetic impact of the proposed facility or use on the surrounding area;
- f. The safeguards proposed or provided to ensure adequate utilities, transportation access, drainage, parking, loading space, lighting, screening, landscaping, open space, fire protection, and pedestrian and vehicular circulation;
- g. The safeguards provided or proposed to prevent noxious or offensive emissions such as noise, glare, dust, pollutants and odor from the proposed facility or use; and
- h. The impact of the proposed facility or use on the health, safety, and welfare of the city, the area, and persons owning or leasing property in the area.

Site Plan

Access and Layout. Draper Towns will consist of five five-plexes, for a total of 25 units and a density of 11.4 dwelling units per acre. The residential density cap for the zone, as stated in DCMC Section 9-18J-060(N), is 12 units per acre. All units will be two-stories in height. Access into the site will be primarily from Nate Lane/River Chapel Road. There will be a large tot lot area, including playground equipment and picnic table, located centrally. All units will be rear loaded, with units 11-15 accessing directly from the primary access road, and the remaining units accessing by way of an alley. An interconnecting concrete pedestrian walkway will be installed in front of all units and along the open space.

Landscaping. DCMC Section 9-18J-060(N)(4) states that “all multi-family development shall be in accordance with Chapter 32 of this title,” and Chapter 9-32 requires that no less than 30% of the site be landscaped. The landscape plan shows that landscaping will cover 30,154 square feet, which equates to 32% of the site. The CSD code does, however, address landscape requirements when a project within the zone is adjacent to a residential zone, which is the case on the south. It requires that “a landscape buffer of 20 feet shall be provided between office, parking lot or commercial uses when located adjacent to a residential zone.” The landscape plan shows that this buffer requirement is satisfied. This section of code further states that “trees within the buffer area shall be planted at one evergreen tree per 20 linear feet of frontage adjacent to the residential zone.” The landscape plan does not comply with this requirement. As

such, staff has added a condition of approval requiring trees along the south buffer in accordance with this code. To be clear, the CSD code (Section 9-18J-070-H) requires a wall only when commercial or office land uses abut a residential zone. Such is not the case, so no wall is required.

Parking. According to Table 9-25-1 of the DCMC, each multi-family dwelling unit requires two parking spaces. Each unit of the proposed development will have a two-car garage accessed by an alley on the rear side of the unit. The requirement for visitor parking is one space for every four units, which means six visitor spaces are needed for this project. The site plan shows 25 visitor spaces located along the north side of the primary access road. The CSD does not have a maximum number of parking spaces for residential uses.

Architecture. DCMC Section 9-18J-060(B) states: “Primary building materials shall be selected which require low maintenance, such as brick, split face CMU, aluminum composite material panels, stone, ceramic tile, wood or concrete fiber composite siding, cultured stone, metal or hardiboard.” Secondary materials may include stucco and other metals. No percentages are stipulated. The building facades feature composite concrete materials, cultured stone, stucco, and long board siding and are in compliance with the code.

Outdoor Lighting. As noted on the site plan (Sheet C1.1) three light poles will be installed along the primary access road. Staff recommends a condition that a note be added to the plan stating that the light poles shall not exceed 30 feet in height (including base, if any) and that the light sources are shielded and downward directed to eliminate glare onto adjoining properties.

Signage. Any and all signage shall be required to receive separate sign permit approval. All signage must comply with Section 9-18J-080. A condition so stating is contained within the recommended list of conditions at the end of this report.

Criteria for Approval. The criteria for review and potential approval of a site plan request is found in Section 9-5-090(E) of the DCMC. This section depicts the standard of review for such requests as:

- E. Standards For Approval: The following standards shall apply to the approval of a site plan:
1. The entire site shall be developed at one time unless a phased development plan is approved.
 2. A site plan shall conform to applicable standards set forth in this title. In addition, consideration shall be given to the following:
 - a. Considerations relating to traffic safety and traffic congestion:
 - (1) Effect of the site development plan on traffic conditions on abutting streets and neighboring land uses, both as existing and as planned;
 - (2) Layout of the site with respect to location and dimensions of vehicular and pedestrian entrances, exits, driveways, and walkways;
 - (3) Arrangement and adequacy of off street parking facilities to prevent traffic congestion and compliance with the provisions of city ordinances regarding the same;
 - (4) Location, arrangement, and dimensions of truck loading and unloading facilities;
 - (5) Vehicular and pedestrian circulation patterns within the boundaries of the development;
 - (6) Surfacing and lighting of off street parking facilities; and
 - (7) Provision for transportation modes other than personal motor vehicles, including such alternative modes as pedestrian, bicycle, and mass transit.
 - b. Considerations relating to outdoor advertising:

- (1) Compliance with the provisions of chapter 26 of this title. Sign permit applications shall be reviewed and permits issued as a separate process. Action may be taken simultaneously with or following site plan review.
- c. Considerations relating to landscaping:
 - (1) Location, height, and materials of walls, fences, hedges, and screen plantings to provide for harmony with adjacent development, or to conceal storage areas, utility installations, or other unsightly development;
 - (2) Planting of ground cover or other surfaces to prevent dust and erosion;
 - (3) Unnecessary destruction of existing healthy trees; and
 - (4) Compliance with the Draper City general plan guidelines to promote consistent forms of development within the districts of the city as identified in the general plan.
- d. Considerations relating to buildings and site layout:
 - (1) The general silhouette and mass, including location on the site and elevations, in relationship to the character of the district or neighborhood and the applicable provisions of the general plan; and
 - (2) Exterior design in relation to adjoining structures in height, bulk, and area openings, breaks in facade facing on the street, line and pitch of roofs, the arrangement of structures on the parcel, and appropriate use of materials and colors to promote the objectives of the general plan relating to the character of the district or neighborhood.
- e. Considerations relating to drainage and irrigation:
 - (1) The effect of the site development plan on the adequacy of the storm and surface water drainage; and
 - (2) The need for piping of irrigation ditches bordering or within the site.
- f. Other considerations including, but not limited to:
 - (1) Buffering;
 - (2) Lighting;
 - (3) Placement of trash containers and disposal facilities; and
 - (4) Location of surface, wall and roof mounted equipment.
3. In order to assure that the development will be constructed to completion in an acceptable manner, the applicant shall enter into an agreement and provide a satisfactory letter of credit or escrow deposit. The agreement and letter of credit or escrow deposit shall assure timely construction and installation of improvements required by a site plan approval.
4. In a planned center, individual uses shall be subject to the following requirements:
 - a. The overall planned center shall have been approved as a conditional use, which shall include an overall site plan, development guidelines and a list of allowable uses in the center.
 - b. The city and the developer of the planned center shall enter into a development agreement governing development of the center. The agreement shall include a provision to the effect that staff review and approval of uses and the site plan is typically sufficient.
 - c. Development guidelines for a center shall, as a minimum, address the following topics:
 - (1) General site engineering (e.g., storm drainage, provision of utilities, erosion control, etc.);
 - (2) Architectural guidelines, including building setbacks, height, massing and scale, site coverage by buildings, materials, and colors;
 - (3) Landscaping and open space standards;
 - (4) Signage;
 - (5) Exterior lighting;
 - (6) Parking, pedestrian and vehicular circulation, and access to the site;

- (7) Rights of access within the center (use of cross easements, etc.);
- (8) Development phasing and improvements/amenities to be completed with each phase;
- (9) Outdoor sales, storage and equipment;
- (10) Fencing and walls; and
- (11) Maintenance standards and responsibilities.

Preliminary Plat

The preliminary plat depicts a 25-unit townhome development, consisting of five stand-alone 5-plexes. There will be a single access into the site at the intersection of Nate Lane and River Chapel Road. The road will contain an approved fire department turn-around at its west end. Visitor parking stalls will line the north side of the access with all townhome units located on the south. Units 11-15, which comprise the middle 5-plex, will be served directly by the access road, while the remaining units will be served by alleys running perpendicular to the access road. The plat shows an area located centrally that will be used for open space, shown on the site plan to contain playground equipment and a covered patio. It also shows a detention basin in the northwest corner of the site. The plat contains all of the required signature blocks for utility companies, local/county officials, and owner's dedication.

Currently, the site for the proposed townhome project is on the same parcel as the north-abutting parking lot. Prior to plat recordation, the applicant will be required to execute a parcel boundary adjustment to separate the two, which will put the townhome project on its own parcel. This staff report includes a condition of approval so stating. With this change, the size of the parking lot parcel will be 4.89 acres, and the size of the townhome parcel will be 2.21 acres.

Criteria for Approval. The criteria for review and potential approval of a preliminary subdivision plat request is found in Section 17-3-040(a) of the DCMC. This section depicts the standard of review for such requests as:

A. Planning Commission: The Planning Commission shall review the preliminary plat submittal and determine compliance with the standards and criteria set forth in this chapter and all other ordinances of Draper City, including, but not limited to, the land use ordinance, general plan, master street plan, and City standard specifications and design criteria. Notice of the public meeting at which the Planning Commission reviews the proposed preliminary plat shall be provided in accordance with section 17-1-085 of this title. The Planning Commission shall make findings specifying any inadequacy in the application, noncompliance with City regulations, questionable or undesirable design or engineering, and the need for any additional information. The Planning Commission may review all relevant information pertaining to the proposed development, including fire protection, sufficient supply of culinary and secondary water to the proposed subdivision, sewer service, traffic considerations, and the potential for flooding. The Planning Commission may approve, approve with conditions or if the project does not meet City ordinances or sanitary sewer or culinary water requirements, deny the preliminary or final subdivision plat application. and recommendations regarding approval or disapproval of the preliminary plat to the City Council.”

REVIEWS

Planning Division Review. The Draper City Planning Division has completed their review of the latest submission. Comments from this division, if any, can be found in Exhibit A.

Engineering and Public Works Divisions Review.

The Draper City Engineering and Public Works Divisions have completed their reviews of the latest submission. Comments from this division, if any, can be found in Exhibit A.



Building Division Review. The Draper City Building Division has completed their review of the latest submission. Comments from this division, if any, can be found in Exhibit A

Draper City Fire Review. The Draper City Fire Marshal has completed his review of the latest submission. Comments from this division, if any, can be found in Exhibit A.

Geotechnical Review. Taylor Geo-Engineering, LLC, in working with the Draper City Building and Engineering Divisions, has completed their review of the geotechnical report submitted as a part of the site plan and preliminary plat. Comments from this division, if any, can be found in Exhibit A.

Noticing. Notice has been properly issued in the manner outlined in the City and State Codes.

STAFF RECOMMENDATION

Staff recommends that the Planning Commission review the request, receive public comment, and make a decision based on the findings listed below and the criteria for approval, or denial, listed within the staff report.

If the Planning Commission decides to approve the application, staff recommends they include the following condition:

1. That all requirements of the Draper City Engineering, Public Works, Building, Planning, and Fire Divisions are satisfied throughout the development of the site and the construction of all buildings on the site, including permitting.
2. That a parcel boundary adjustment shall be recorded prior to the recordation of the plat. Said boundary adjustment will alter the property line between parcels 27-24-376-065 and 27-24-451-027 so that the commercial parking lot and proposed residential development are on their own parcels.
3. That the landscape plan is amended to comply with the buffer tree requirements found in DCMC Section 9-18J-070(H) prior to obtaining a land disturbance permit.
4. That the lighting plan be amended to include a note that light poles shall not exceed 30 feet in height (including base, if any) and that the light sources are shielded and downward directed to eliminate glare onto adjoining properties prior to obtaining a land disturbance permit.
5. That all signage must comply with Section 9-18J-080 and obtain a separate sign permit.

The findings for approval as are follows:

1. That the proposed development plans meet the intent, goals, and objectives of the Draper City General Plan.
 - a. The CSD-11400-LPP zone allows a multi-family development pursuant to conditional use permit approval.
2. That the proposed development plans meet the requirements and provisions of the Draper City Municipal Code.
3. That the proposed development conforms to the general aesthetic and physical development of the area.
4. That the public services in the area are adequate to support the subject development, including culinary water, sewer service, and traffic considerations.
5. That the plat is in compliance with the standards and criteria set forth in the subdivision code and all other ordinances of Draper City, including, but not limited to, the land use ordinance, general plan, master street plan, and City standard specifications and design criteria.

6. That the proposed use is suitable for the area and acts as a buffer for between the single-family residential and the commercial uses.

The findings for denial as are follows:

1. That the proposed development plans do not meet the intent, goals and objectives of the Draper City General Plan.
2. That the use is incompatible with surrounding uses, especially the single-family development that abuts on the south.
3. That the proposed development plans do not meet the requirements and provisions of the Draper City Municipal Code.
4. That the proposed development does not conform to the general aesthetic and physical development of the area.
5. That the public services in the area are inadequate to support the subject development, including culinary water, sewer service, and traffic considerations.

MODEL MOTIONS

Conditional Use Permit

Sample Motion for Approval. I move that we approve the conditional use permit for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application USE-666-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019.

Sample Motion for Modified Approval. I move that we approve the conditional use permit for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application USE-666-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019, and as modified by the findings and conditions below:

1. List any additional findings and conditions.

Sample Motion for Denial. I move that we deny the conditional use permit for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application USE-666-2019, based on the findings listed in the staff report dated July 12, 2019.

Site Plan

Sample Motion to Approve. I move that we approve the site plan for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application SPR-643-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019.

Sample Motion to Approve with Modifications. I move that we approve the site plan for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application SPR-643-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019, and as modified by the findings and conditions below:

1. List any additional findings and conditions.

Sample Motion to Deny. I move that we deny the site plan for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application SPR-643-2019, based on the findings listed in the staff report dated July 12, 2019.



Preliminary Plat

Sample Motion for Approval. I move that we approve the preliminary plat for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application SUBD-654-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019.

Sample Motion for Modified Approval. I move that we approve the preliminary plat for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application SUBD-654-2019, based on the findings and subject to the conditions listed in the staff report dated July 12, 2019, and as modified by the findings and conditions below:

1. List any additional findings and conditions.

Sample Motion for Denial. I move that we deny the preliminary plat for Draper Towns, as requested by Natalie Nichols, representing AWA Engineering, application SUBD-654-2019, based on the findings listed in the staff report dated July 12, 2019.



EXHIBIT A

Engineering Review Comments

1. Stormwater Maintenance Plan and Agreement are now required for every private storm drainage system, per DCMC 16-2-170. **Submission of the maintenance plan is now required prior to site approval.** The maintenance agreement is a condition of approval; it is required to be recorded and returned to the city prior to issuance of the Land Disturbance Permit for construction of the site.
2. Retaining walls are to comply with DCMC 9-27-085. Retaining walls are not reviewed or approved with this review and approval process. *Informational note – no action required prior to approval.*
3. Once site plan has been approved, a Land Disturbance Permit is required prior to construction activities onsite. Permit is obtained through the Engineering Division and is required prior to Building Permit issuance. *Informational note – no action required prior to approval.*
4. Any work in the public right-of-way will require an Encroachment Permit obtained through the Engineering Division. *Informational note – no action required prior to approval.*

Plat

5. Remove landscaping, contours, and other construction related information from final plat.
6. Put “Private Storm Drainage” easement over the detention basin area or add note indicating detention basin and SD piping onsite are required and are to be maintained by HOA.
7. Common area and private streets are to be dedicated as public utility easements per DCMC 17-5-050(G).

Grading and Drainage

8. Orifice calculation in Drainage Report is different from representation on construction drawings. Update report or site construction.
9. Verify retaining wall stability is not impacted by detention basin at capacity.
10. Has the detention basin been evaluated by putting the retaining walls on south and east sides of basin rather than north and west?

Geotechnical Review Comments

Based substantially in and on reliance of the technical documentation and assurances provided by GSH in their May 17, 2019 and June 10, 2019 documents, including their opinions and conclusions, it is TG’s opinion that GSH has adequately addressed geotechnical engineering parameters for the proposed project.

Draper City Fire Comments

1. Fire Department Access is required. An unobstructed minimum road width of twenty-six (26) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.
2. Hydrants and Site Access. All hydrants and a form of acceptable temporary Fire Department Access to the site shall be installed and APPROVED by the Fire Department prior to the issuance of any Building Permits. If at any time during the building phase any of the hydrants or temporary Fire Department Access becomes non-compliant any, and all permits could be revoked.
3. No combustible construction shall be allowed prior to hydrant installation and testing by water purveyor. All hydrants must be operational prior to any combustible elements being received or delivered on building site.
4. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
6. Street Signs required and are to be posted and legible prior to building permits being, issued. All lots to have lot number or address posted and legible.

Planning Review Comments


The townhome project abuts a parking lot on its north side, which will create no adverse impact to that neighbor. To the south of the townhome project is a single-family residential development. The CSD code requires that “a landscape buffer of 20 feet shall be provided between office, parking lot or commercial uses when located adjacent to a residential zone.” It also states that “trees within the buffer area shall be planted at one evergreen tree per 20 linear feet of frontage adjacent to the residential zone.” One of staff’s recommended conditions of approval is that the final approved construction sets include a landscape plan that complies with this buffer requirement. It is staff’s opinion that full compliance with this code will mitigate any adverse impact the subject development could have on the single-family residents.

DEVELOPMENT REVIEW COMMITTEE ACKNOWLEDGEMENT

We, the undersigned, as duly appointed members of the Draper City Development Review Committee, do acknowledge that the application which provides the subject for this staff report has been reviewed by the Committee and has been found to be appropriate for review by the Draper City Planning Commission and/or City Council.



Draper City Engineering Division



Draper City Building Division



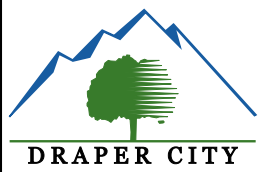
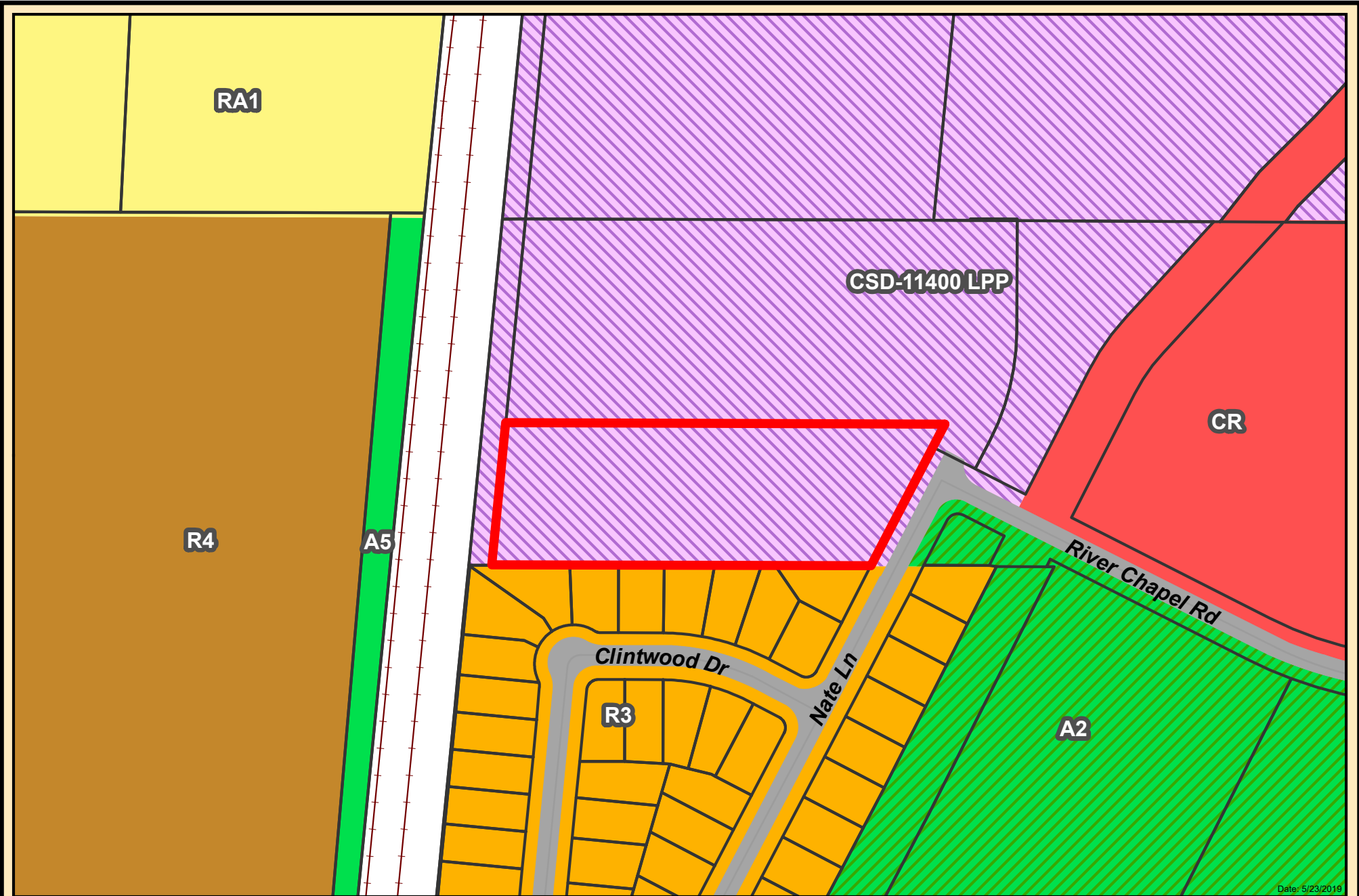
Draper City Legal Counsel



Draper City Planning Division

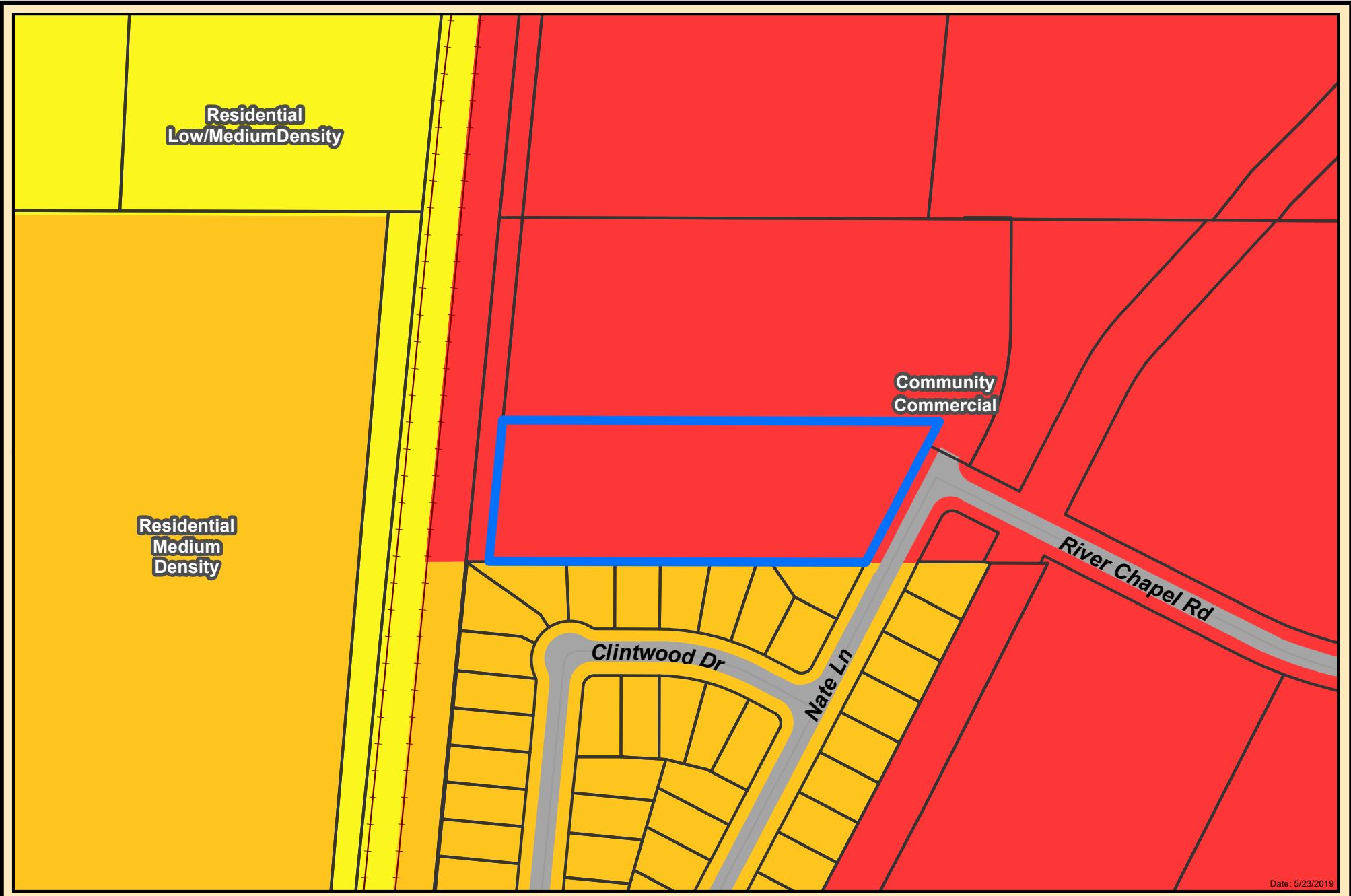


Draper City Fire



Zoning Map for Draper Towns CUP, Site Plan, and Preliminary Plat





Land Use Map for Draper Towns CUP, Site Plan, and Preliminary Plat





Date: 5/23/2019



DRAPER CITY

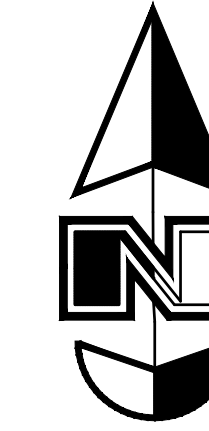
Aerial Map for Draper Towns CUP, Site Plan, and Preliminary Plat



Draper Towns Subdivision

A Part of the South Half of Section 24, Township 3 South, Range 1 West
Salt Lake Base and Meridian, U.S. Survey Draper City, Salt Lake County, Utah

June 2019



Scale: 1" = 30'



Surveyor's Certificate

I, Bruce D. Pimper, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 362256 as prescribed under the Laws of the State of Utah. I further certify that by the authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as Draper Towns Subdivision

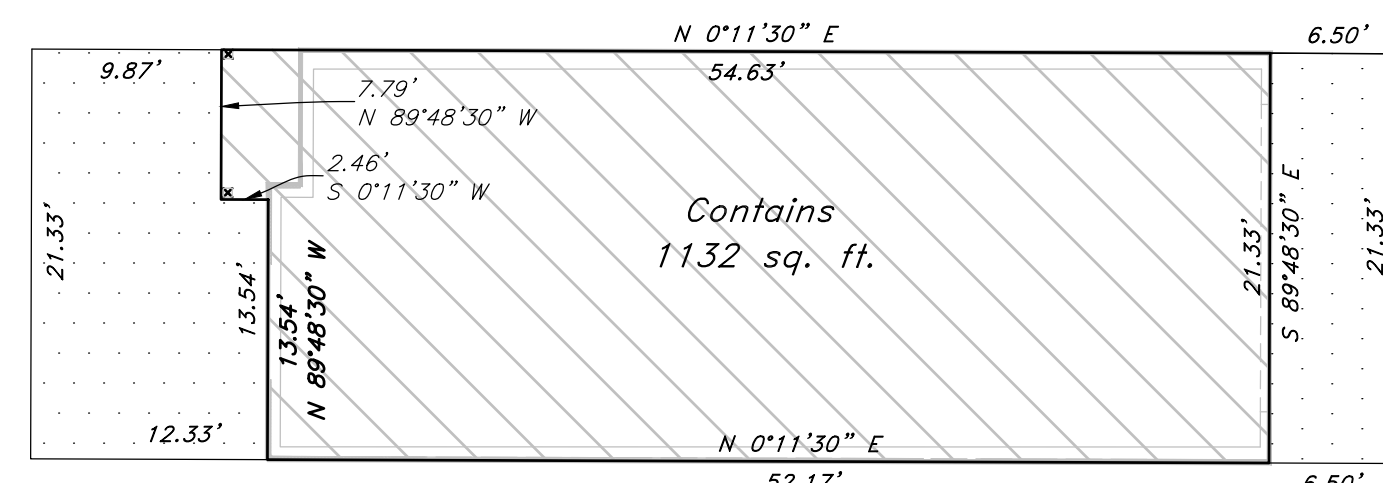
And that the same has been correctly surveyed and staked on the ground as shown on this plat.

Boundary Description

A part of the South Half of Section 24, Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey in Draper City, Salt Lake County, Utah:

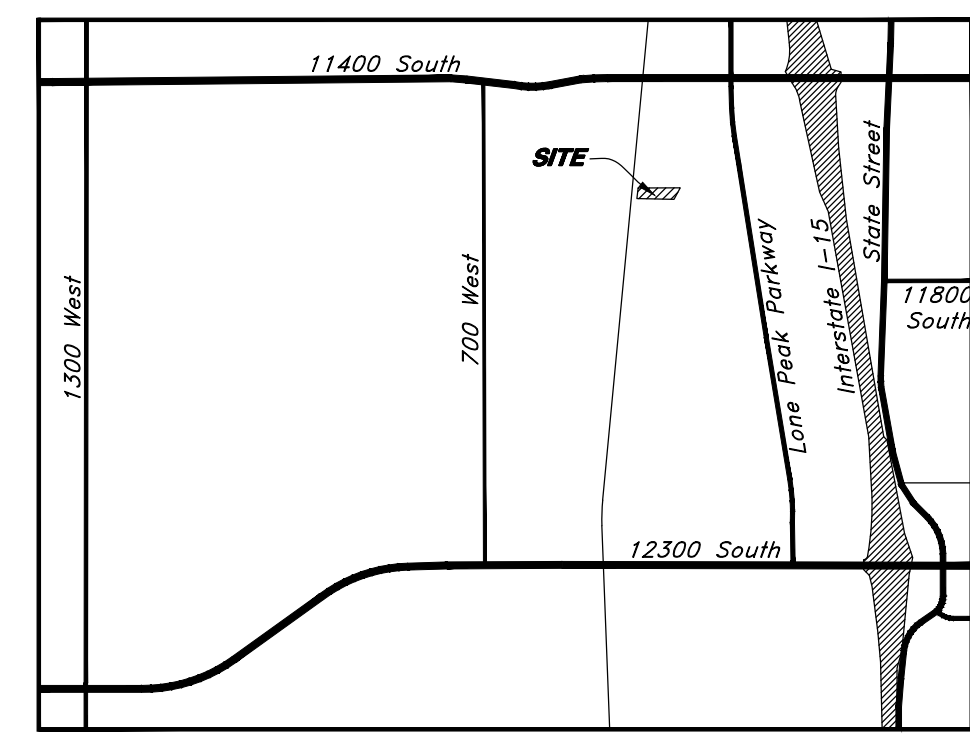
Beginning at the Northeast Corner of Lot 107, Sunrise Station Phase 3 Subdivision as it exists on the ground located 1599.64 feet South 0°21'11" West along the Quarter Section Line; and 146.24 feet North 89°51'40" West from the Center of said Section 24; and running thence North 89°51'40" West 486.12 feet along said North Boundary Line to the Southeastery Line of the Railroad Right-of-Way; thence North 5°33'46" East 183.05 feet along said Railroad Right-of-Way Line; thence South 89°47'40" East 79.46 feet along the South Side of an existing wall; thence North 0°11'30" East 28.51 feet; thence South 89°48'30" 37.34 feet; thence South 0°11'30" West 28.52 feet; thence South 89°47'40" East 446.35 feet along the South Side of an existing wall; thence South 27°35'31" West 204.62 feet to the point of beginning.

Contains 96,517 sq. ft. or 2.216 acres



Contains 1132 sq. ft.

R = Reversed layout
For Lot 11 through 15 bearings will rotate 90 degrees counter clockwise



Vicinity Map
Not to Scale

Narrative

This Survey and Subdivision was requested by Miller Family Real Estate.
This Survey retraces and honors previous Larry H. Miller Surveys and the Subdivision to the North, as well as an unrecorded 2015 subdivision plat for River Chapel Subdivision by Diamond Land Surveying.
A line between monuments found for The Southeast Corner and the South Quarter Corner of Section 24 was assigned the bearing of South 89°32'31" East as the Basis of Bearings to retrace the previous surveys and Subdivision.

East Quarter Corner Section 24, T3S, R1W, SLB&M, U.S. Survey (found monument)

Notes

Reciprocal access easements are in effect per the Grant of Easements and Declaration of Covenants, Conditions & Restrictions recorded as Entry No. _____, in Book _____, Page _____, of Official Records. This Declaration provides public utility easements over all Common Areas.

Rocky Mountain Power

"Utilities shall have the right to install, maintain and operate their equipment above and below ground and all other related facilities within the Public Utility Easements identified on this plat map as may be necessary or desirable in providing utility services within and without the lots identified herein, including the right of access to such facilities and the right to require removal of any obstructions including structures, trees and vegetation that may be placed within the PUE. The utility may require the lot owner to remove all structures within the PUE at the lot owner's expense, or the utility may remove such structure within the PUE at the lot owner's expense. At no time may any permanent structures be placed within the PUE or any other obstruction which interferes with the use of the PUE without the prior written approval of the utilities with facilities in the PUE."

Questar

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgement of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Questar's Right-of-Way department at 1-800-366-8532.

Owner's Dedication

Know all men by these presents that I/we, the undersigned owner(s) of the herein described tract of land, hereby set apart and subdivide the same into lots and streets as shown on this plat and name said Subdivision Name, and do hereby dedicate, grant and convey to Draper City, Utah: (1) all those parts or portions of said tract of land designated as streets, the same to be used as public thoroughfares forever; (2) those certain public utility and drainage easements as shown hereon, the same to be used for the installation, maintenance, and operation of public utility service lines and drainage; and (3) those parcels designated as public open space, parks, trail or easements, or of similar designation. In witness whereof, we have hereunto set our hands this day of _____, 20____.

In witness whereof I Have hereunto set my hand This _____ Day of _____ AD, 20____.

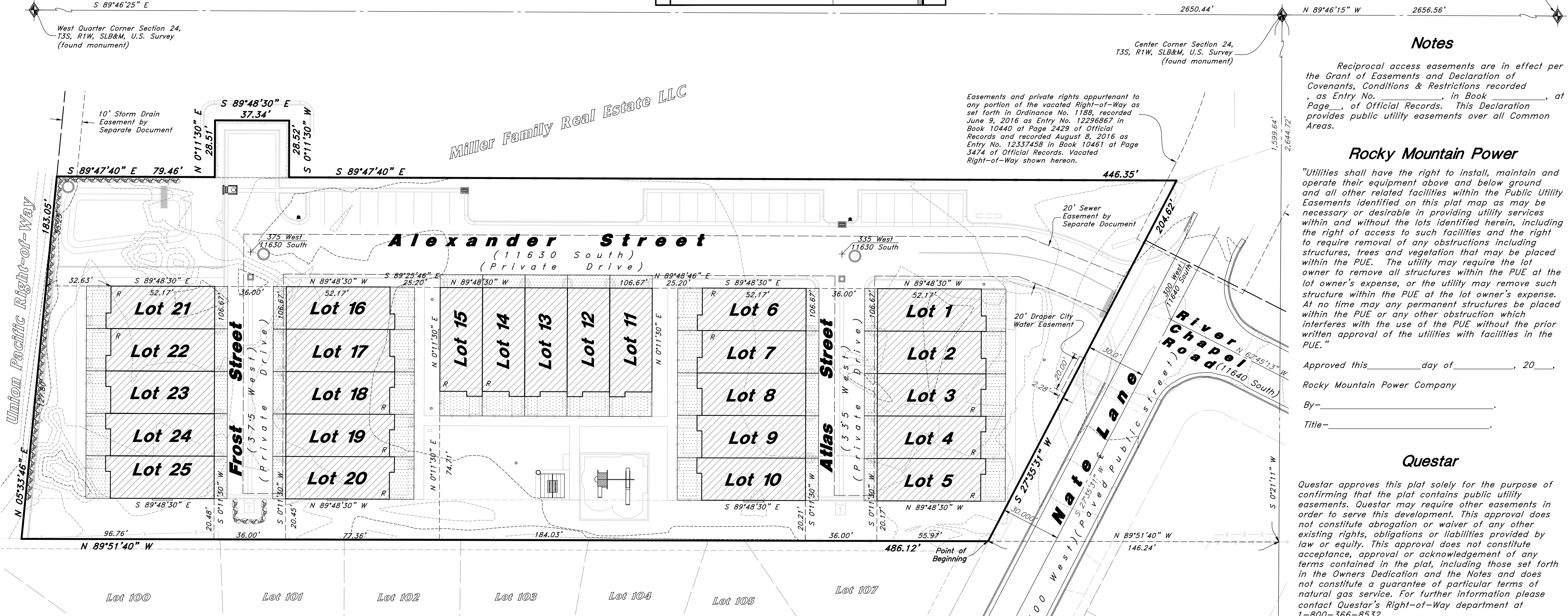
Miller Family Real Estate, LLC

By: Brad Holmes
Its: President

Acknowledgment

State of Utah } ss
County of Salt Lake }
On the _____ day of _____, 20____, personally appeared before me, the undersigned Notary Public, _____, who being by me duly sworn did say that he is the _____, and that this plat of subdivision was signed in behalf of said LLC by authority of its organizational documents, and he acknowledged to me that said LLC executed the same.
Residing at: _____
Notary Public Full Name: _____
Commission Number: _____ My Commission Expires: _____
A Notary Public Commissioned in Utah
(If above information is provided, no stamp required per Utah Code, Title 46, Chapter 1, Section 16)

Print Name _____ A Notary Public



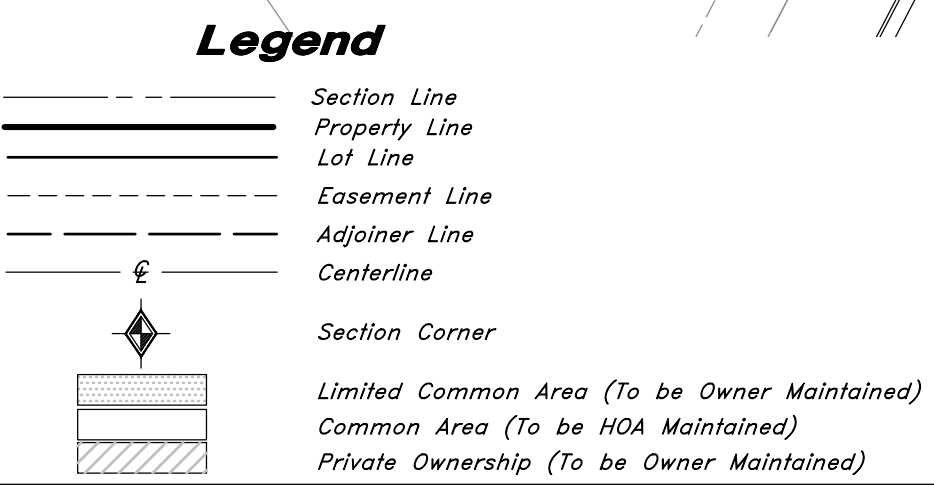
Miller Family Real Estate LLC

Union Pacific Right-of-Way

South Valley Sewer District Notes:
- Shallow sewer depths! Contractor shall verify sewer lateral depth and set foundation elevation to provide adequate fall into sewer lateral. Buildings with a basement may not have sewer service available for basement.
- The signature of South Valley Sewer District on this plat does not constitute any guarantee of availability of sanitary sewer service to the property or any approval of sewer lines or facilities. The owner(s) of the property must provide satisfactory plans to the Sewer District for review and approval before connecting to the District's sewer system and will be required to comply with the District's rules and regulations.

Sunrise Station Subdivision Phase 3

AWA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801 521-8529 - AWEngineering.net



<p>Board of Health Approved this _____ Day of _____ A.D., 20____.</p> <p>Salt Lake City and County Board of Health</p>	<p>Draper City Engineer Approved this _____ Day of _____ A.D., 20____.</p> <p>Draper City Engineer</p>	<p>Planning Commission Approved this _____ Day of _____ A.D., 20____.</p> <p>Planning Commission</p>	<p>Draper Towns Subdivision A Part of the South Half of Section 24, Township 3 South, Range 1 West, Salt Lake Base and Meridian, U.S. Survey, Draper City, Salt Lake County, Utah</p>
<p>South Valley Sewer District Approved this _____ Day of _____ A.D., 20____.</p> <p>South Valley Sewer District</p>	<p>Comcast Approved this _____ Day of _____ A.D., 20____.</p> <p>Comcast</p>	<p>CenturyLink Approved this _____ Day of _____ A.D., 20____.</p> <p>CenturyLink</p>	<p>Draper City Water Approved this _____ Day of _____ A.D., 20____.</p> <p>Draper City Water</p>
<p>Approval as to Form Approved as to Form this _____ Day of _____ A.D., 20____.</p> <p>Draper City Attorney</p>	<p>Recorded # State of Utah, County of Salt Lake, Recorded and Filed at the Request of _____ Date _____ Time _____ Book _____ Page _____ Fee \$ _____ Salt Lake County Recorder</p>		

Survey Control Note:

The surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Anderson Wahlen and Associates ALTA Surveys or Anderson Wahlen and Associates Construction Improvement Plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal control from the survey monuments and for verifying any additional control points shown on an ALTA survey, improvement plan, or an electronic data provided by Anderson Wahlen and Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or an electronic data provided by Anderson Wahlen and Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

Construction Survey Note:

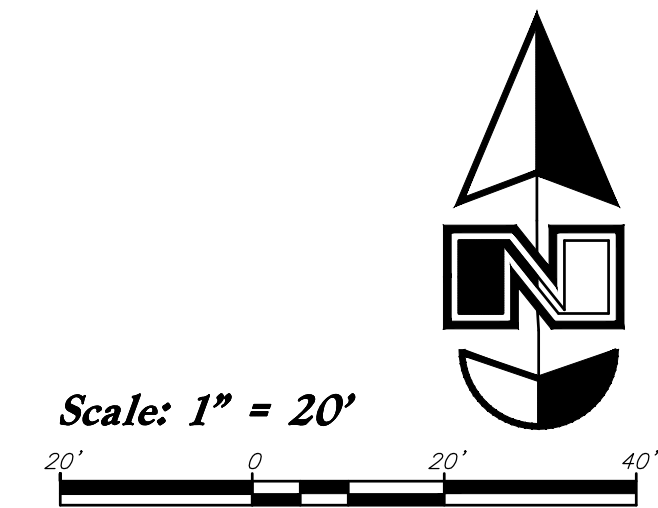
The Construction Survey Layout for this project will be provided by Anderson Wahlen & Associates. The Layout Proposal and Professional Services Agreement will be provided to the General Contractor(s) for inclusion in base bids. The Survey Layout proposal has been broken out into Building Costs and Site Costs for use in the Site Work Bid Form.

General Site Notes:

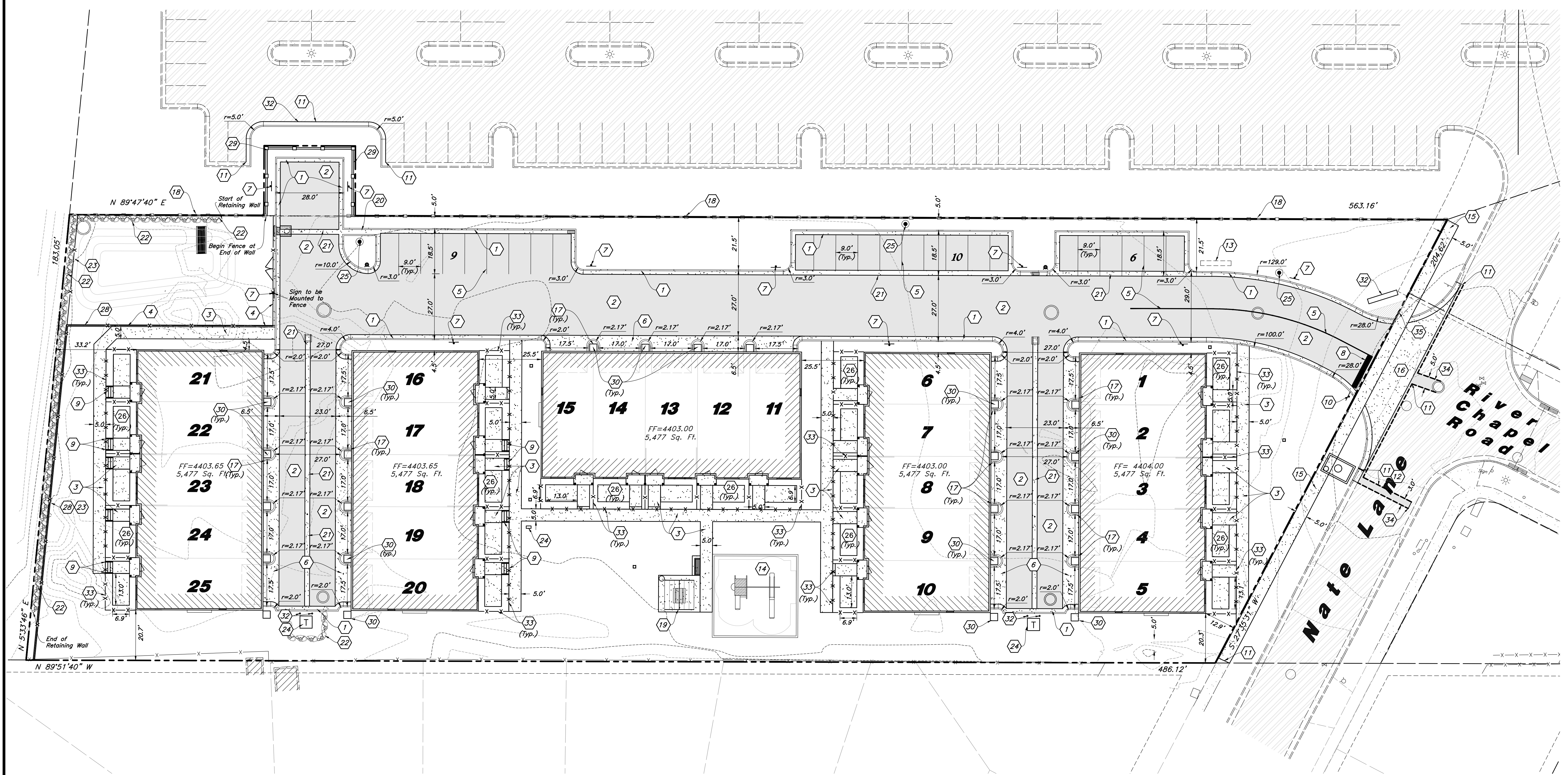
- All dimensions are to back of curb unless otherwise noted.
- Fire lane markings and signs to be installed as directed by the Fire Marshal.
- Asile markings, directional arrows and stop bars will be painted at each driveway as shown on the plans.
- Const. curb transition at all points where curb abuts sidewalk, see detail.
- Contractor shall place asphalt paving in the direction of vehicle travel where possible.

Site Construction Notes

- | | | |
|---|--|--|
| 1 Const. 24" Curb & Gutter | 13 Const. Mail Box Cabinet. See Arch. Plans | 26 Const. Concrete Patio. See Arch. Plans |
| 2 Const. Asphalt Paving | 14 Const. Playground. See Arch. Plans | 27 Const. Curb and Gutter per Draper City Std. |
| 3 Const. Conc. Sidewalk | 15 Const. Conc. Sidewalk per Draper City Stds | 28 Const. 8" Concrete Curbing. See Landscape Plan |
| 4 Const. 4' Tall Black Vinyl Coated Fence w/10' Wide Access Gate to Pond | 16 Const. Conc. Drive Approach per Draper City Stds | 29 Const. "Olympus (Formerly Owell, Precast" (Coordinate w/ Ted Hanson 801-514-3288) or Approved Equal 15"x18" Precast Concrete Post, 20" Post Cap & 8" Non-Retaining Panel Wall. Exterior Finish (Both Sides) Shall be Masonry/Asker Formed Finish Upon Post, Cap Edge & Wall Panels w/Opaque Stain per Precast Manufacturer (Design Plans by Contractor) Match to Existing Wall. |
| 5 Const. 4" White Paint Stripe (Typ.) Contractor shall provide 15 mils min. thickness | 17 Const. Curb 6" Wall | 30 Const. AC Unit. See Arch. Plans |
| 6 Const. Conc. Paving | 18 Existing Post & Panel Wall | 31 Const. Bollards |
| 7 Const. "No Parking Any Time" Sign per MUTCD R7-200 | 19 Const. Covered Patio. See Arch. Plans | 32 Const. Monument Sign (By Separate Permit) |
| 8 Const. 24" White Stop Bar. Provide 15 mils min. thickness | 20 Const. 2' Thru Planter | 33 Const. 3' Tall Picket Vinyl Fence with Gate. See Arch. Plans. |
| 9 Const. Handrails and Conc. Stairs | 21 Const. 2' Waterway | 34 Patch Street Cut per Draper City Std. Detail ST-19 and ST-21 |
| 10 Const. Stop Sign per MUTCD R1-1 | 22 Const. Natural Rock Retaining Wall | 35 12'x12' Clear View Triangle |
| 11 Conn. & Match Existing Improvements | 23 Const. 4' Tall Black Vinyl Coated Fence | |
| 12 Sawcut; Provide Smooth Clean Edge | 24 Transformer Location | |
| | 25 Light Pole Location for Reference Only (See Electrical Plans) | |



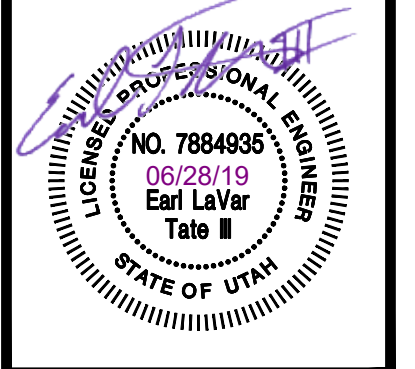
Site Data
 Site Area = 96,517 s.f. (2.21 ac.)
 Landscape Area Provided = 33,170 s.f. (34%)
 Impervious Area Provided = 35,962 s.f. (37%)
 Building Area = 27,385 s.f. (29%)
 Parking Provided = 25 stalls



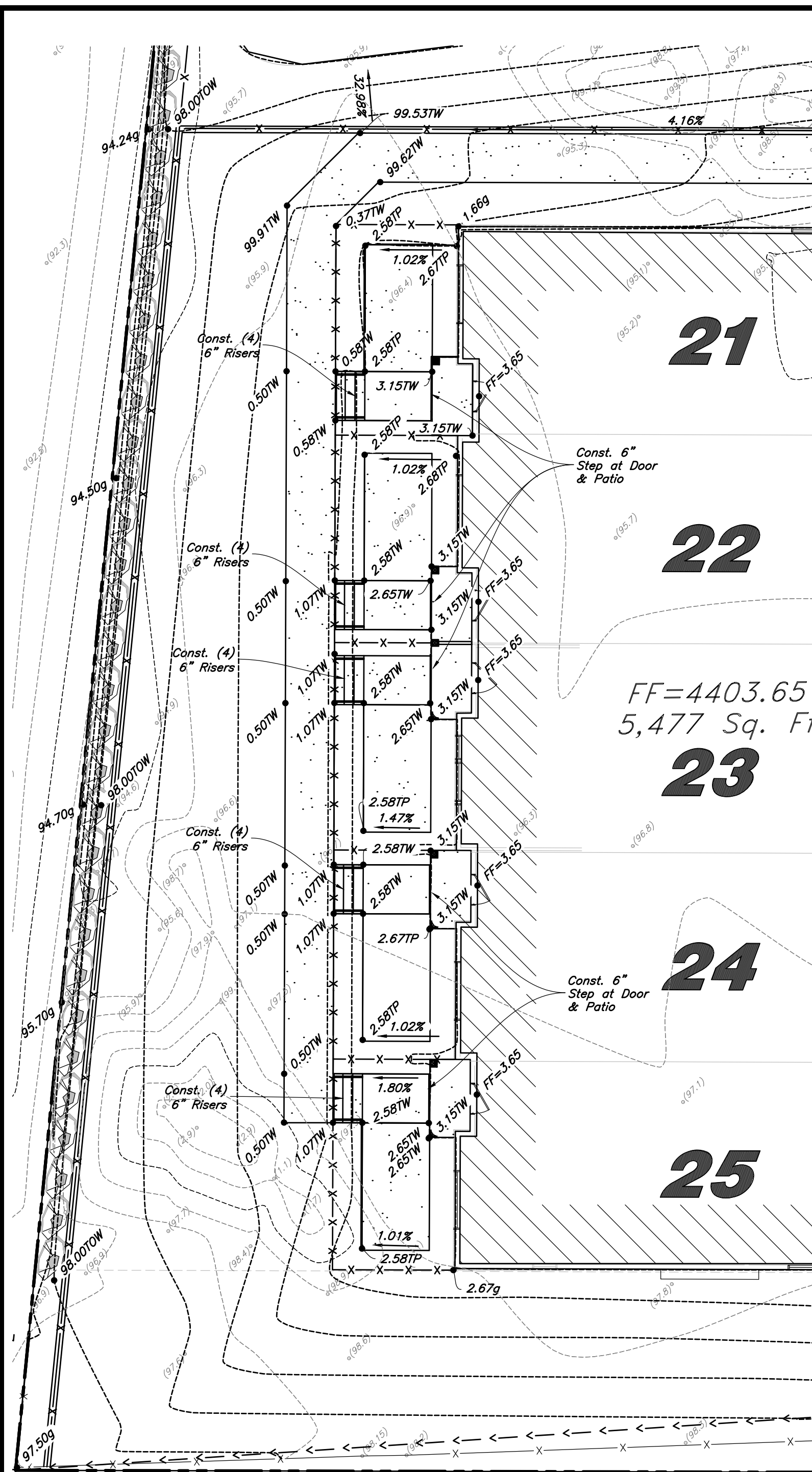
Designed by: JT
 Drafted by: NN
 Client Name: MFRE
 19-041 SP

ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 801-521-0529 - ah@andersonwahlen.com

Site Plan
Draper Towns
 Nate Lane & River Chapel Road
 Draper, Utah

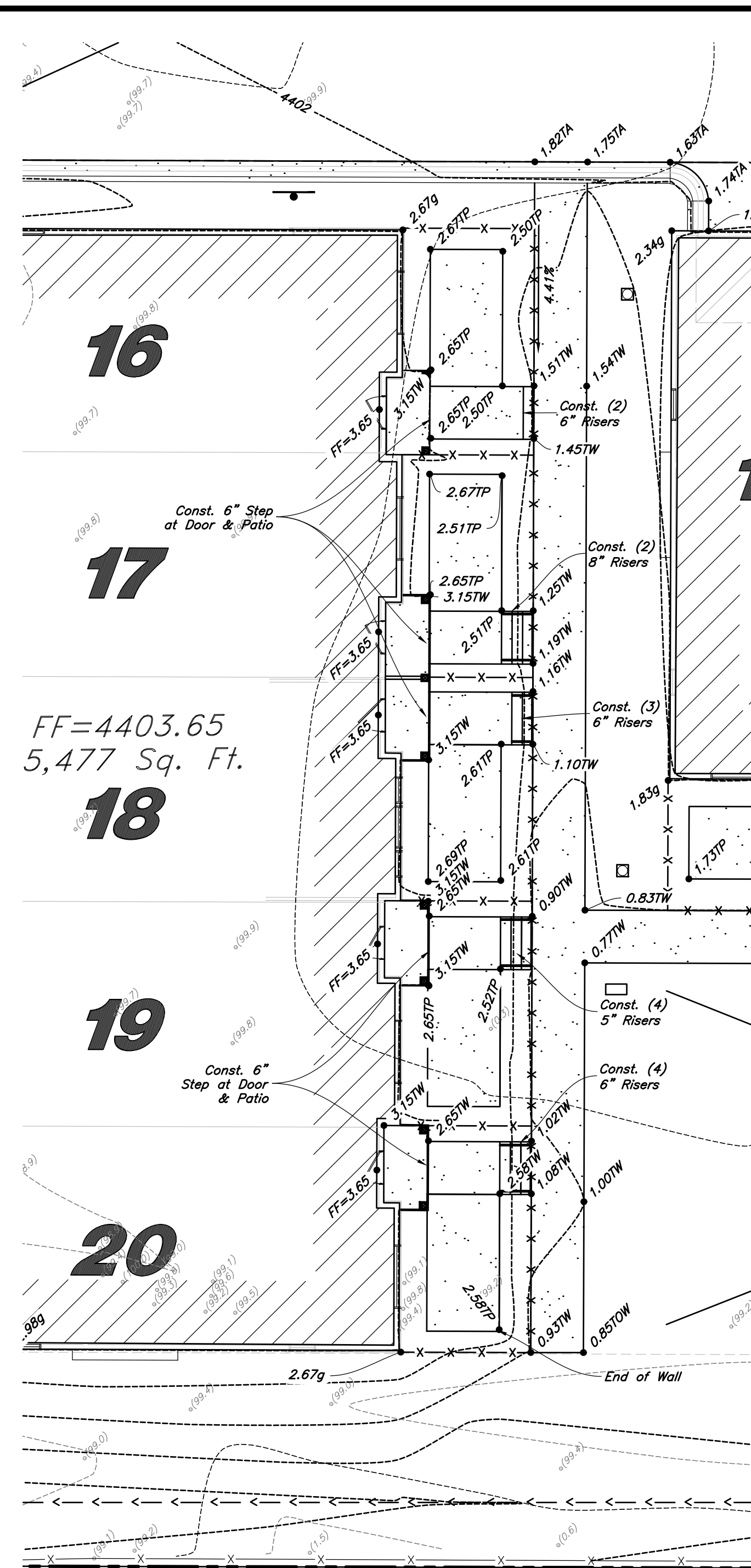


10 May, 2019
 SHEET NO.
C1.1



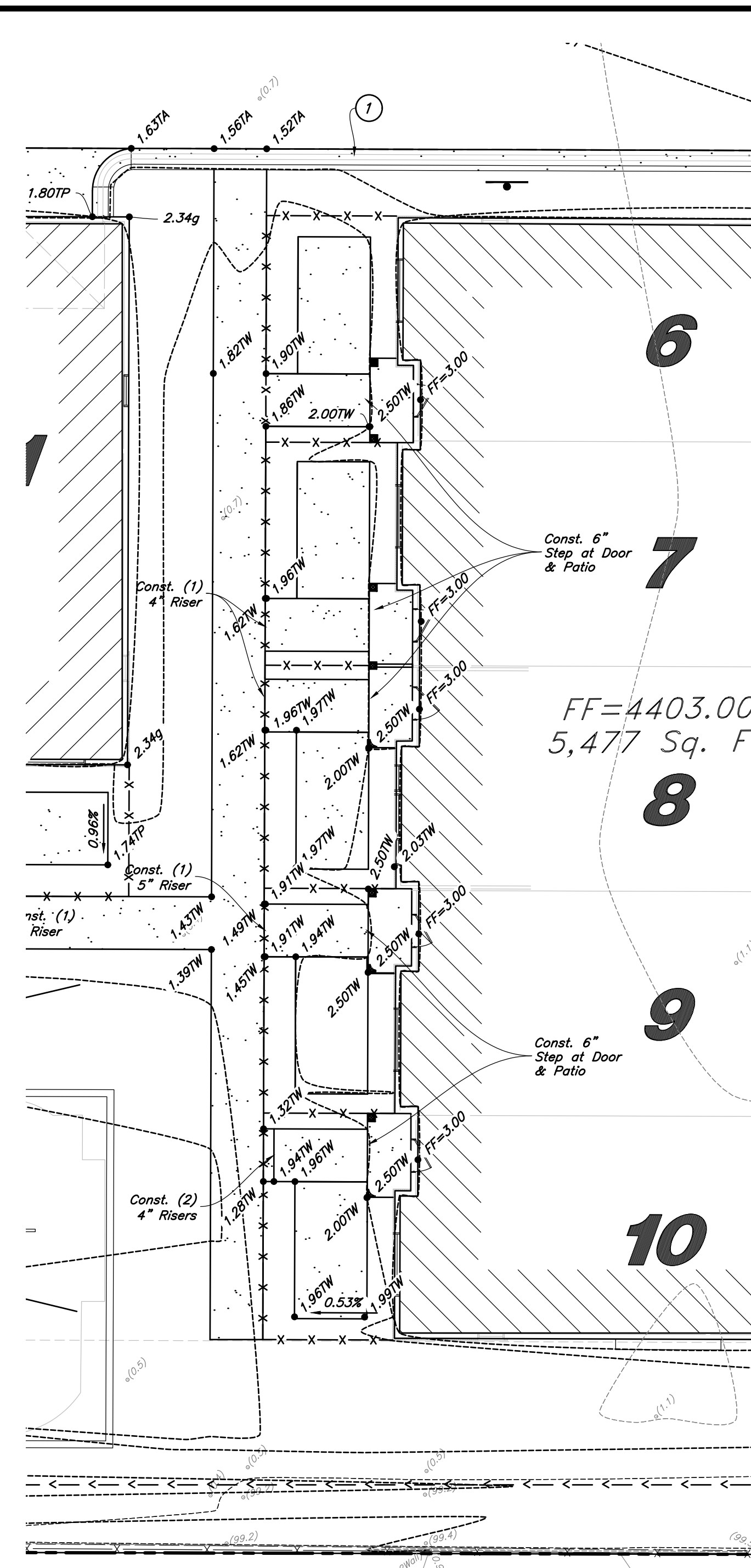
Building 5

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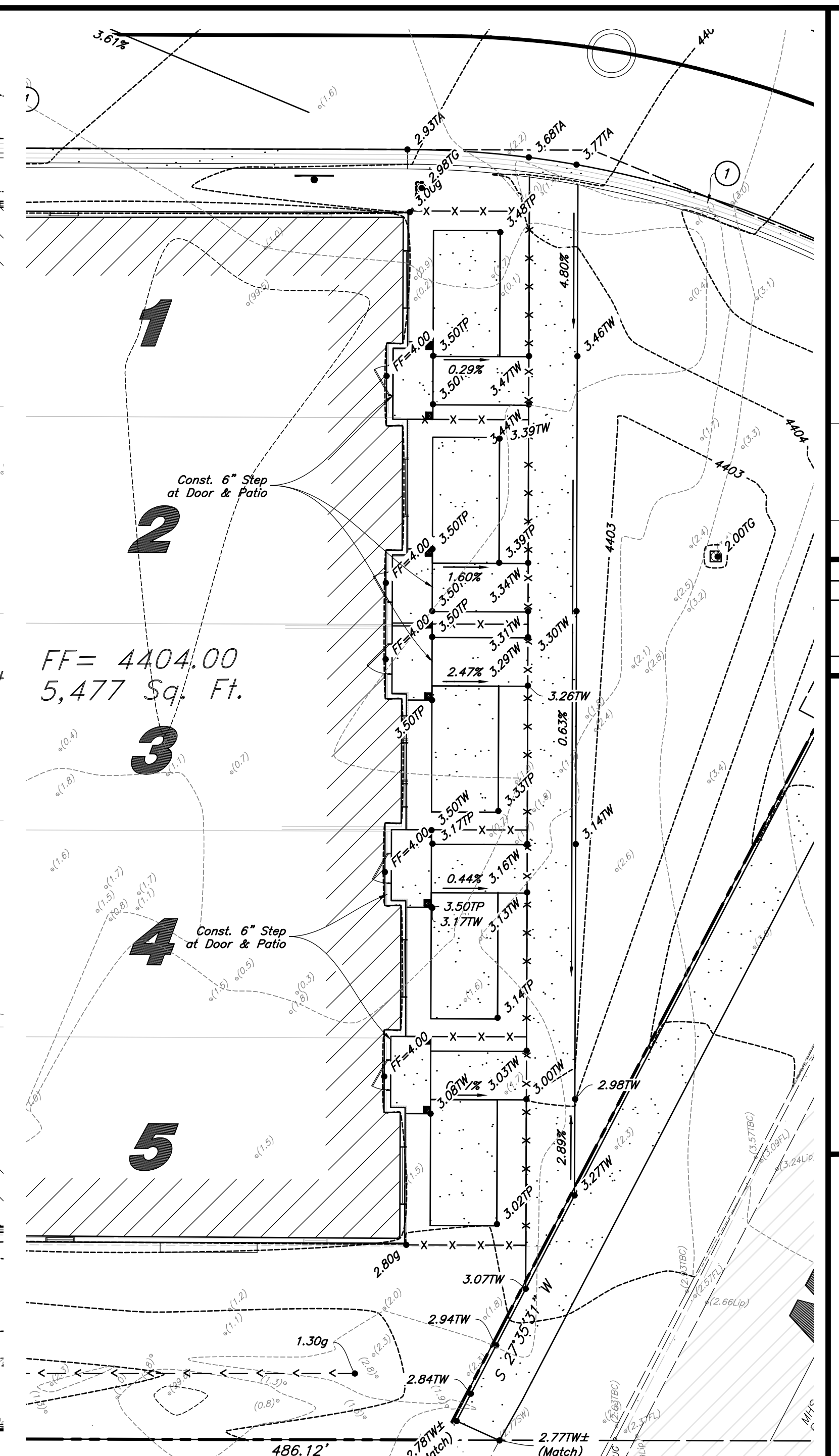
Building 4

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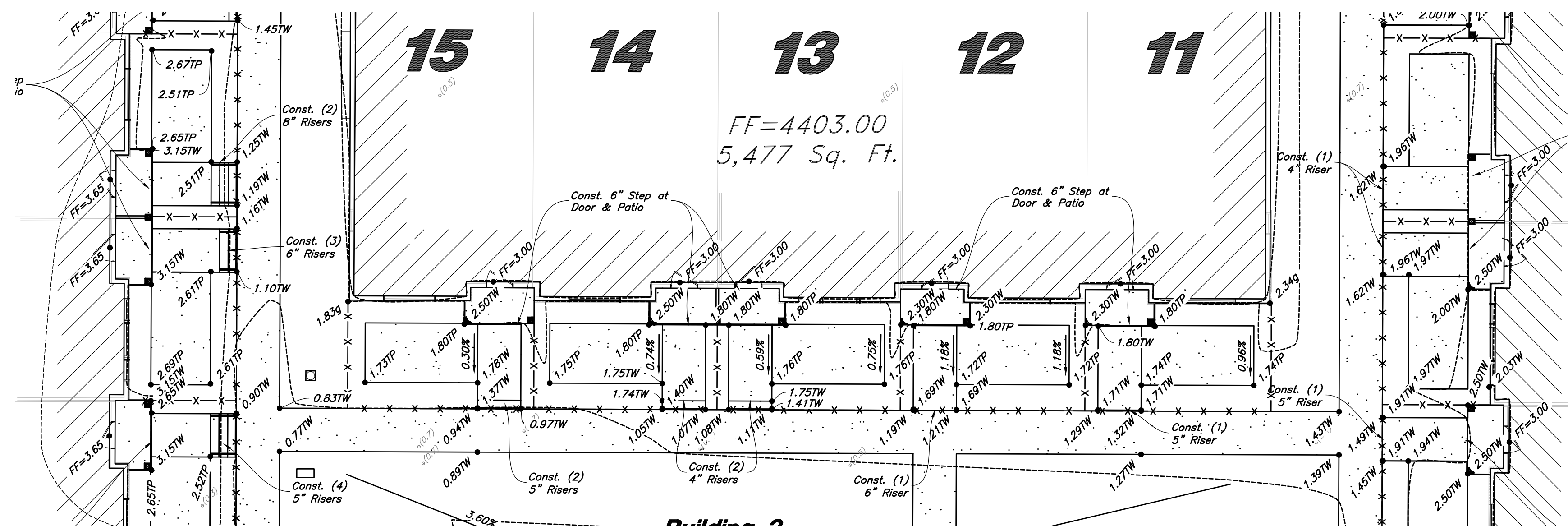
Building 2

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Building 1

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Building 3

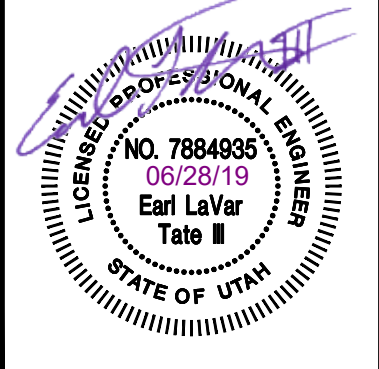
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REV	DATE	DESCRIPTION

Designed by: JT
 Drafted by: NN
 Client Name: NN
 MFRE
 19-041 GR

ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 801.521.8529 - AWengineering.net

Enlarged Grading and Notes
Draper Towns
 Note Lane & River Chapel Road
 Draper, Utah



Storm Drain Note:
All Storm Drainage Pipe Lengths and Slopes are from Center of Box to Center of Box.

South Valley Sewer Notes:

- All construction shall comply with South Valley Sewer District's Design Standards and Construction Specifications.
- Contractor shall field verify locations and invert elevations of existing manholes and other utilities before staking or constructing any new sewer lines.
- Four feet of cover is required over all sewer lines.

CAUTION:

The locations and/or elevations of existing utilities as shown on these plans are based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete.

NOTE:
All Downspouts are to Daylight with Splash Pads Unless Shown Otherwise on Utility Plan

Utility Piping Materials:

All piping materials shall be per local agency standards or the specifications below at a minimum. All utility piping shall be installed per manufacturers recommendations. Refer to project specifications for more detailed information regarding materials, installation, etc.

Culinary Service Laterals

- Polyethylene (PE) Water Pipe (Up to 3 inches diameter), AWWA C901, PE 3408, SDR 9 (200 psi)
- Copper Pipe (Up to 3 inches diameter): Type "K."

Water Main Lines and Fire Lines

- Water lines up to 10" are required to be Class 305 DR14.
- Water lines 10" and above are required to be Class 52 ductile iron with butterfly valves.

Sanitary Sewer Lines

- All sewer piping to be Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35

Storm Drain Lines

- 12" pipes or smaller - Polyvinyl Chloride (PVC) sewer pipe, ASTM D3034, Type FSM, SDR 35
- 15" pipes or larger - Reinforced Concrete Pipe, ASTM C76, Class III

General Utility Notes:

- All sewer and water facilities shall be constructed per local jurisdiction standards and specifications. Contractor is responsible to obtain standards and specifications.
- Coordinate all utility connections to building with plumbing plans and building contractor.
- Verify depth and location of all existing utilities prior to constructing any new utility lines. Notify Civil Engineer of any discrepancies or conflicts prior to any connections being made.
- All catch basin and inlet box grates are to be bicycle proof.
- Refer to the site electrical plan for details and locations of electrical lines, transformers and light poles.
- Gas lines, telephone lines, and cable TV lines are not a part of these plans.
- Water meters are to be installed per city standards and specifications. It will be the contractor's responsibility to install all items required.
- Water lines, valves, fire hydrants, fittings etc. are to be constructed as shown. Contractor is responsible, at no cost to the owner, to construct any vertical adjustments necessary to clear sewer, storm drain, or other utilities as necessary including valve boxes and hydrant spools to proper grade.
- Contractor shall install a 12" concrete collar around all manholes, valves, catch basins, cleanouts & any other structures located within the asphalt.

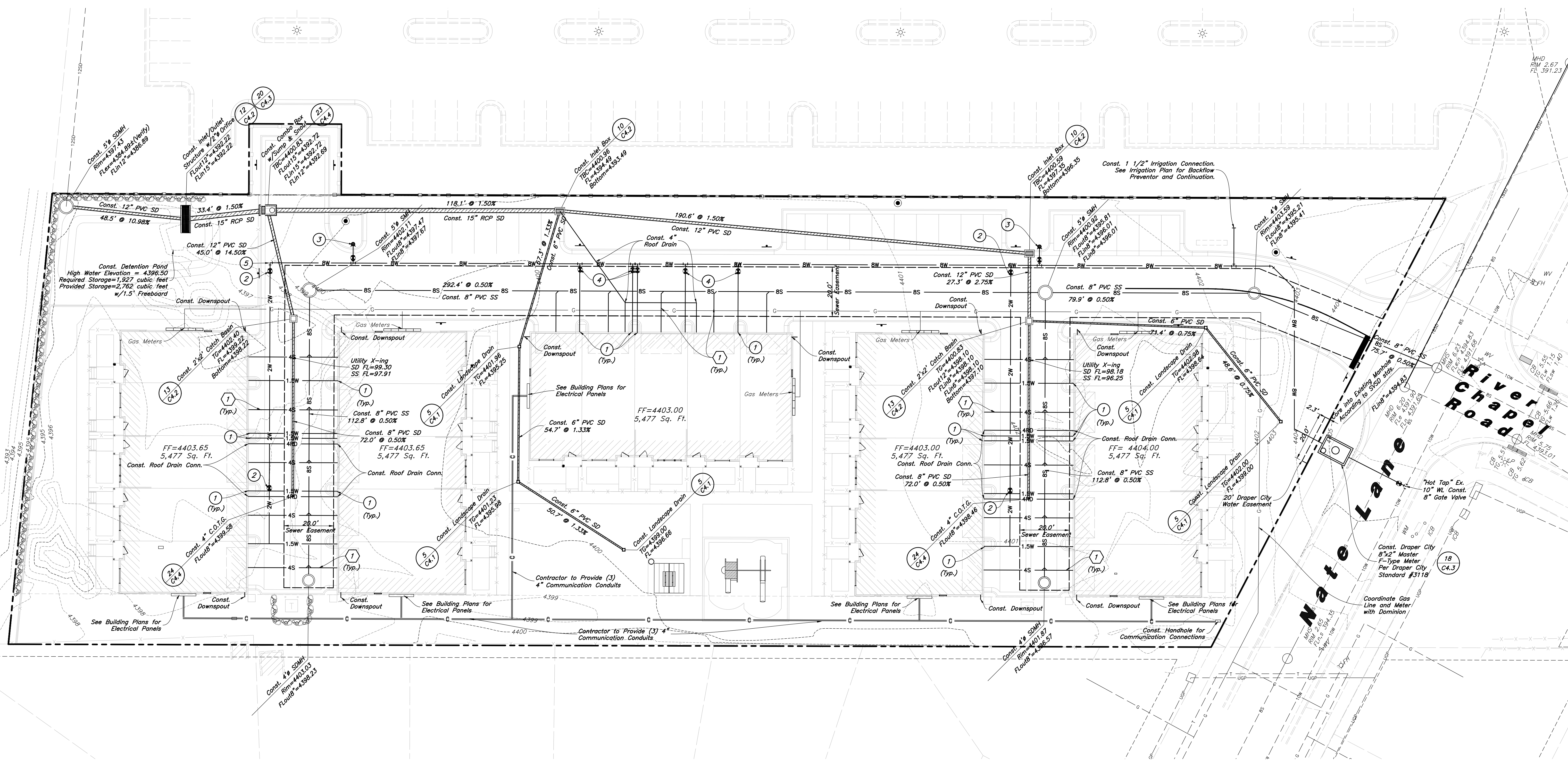
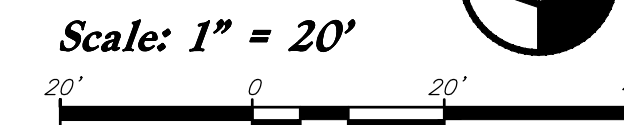
Sewer Keynotes:

- 1 Const. 4" Sewer Lateral S=2% Min.

Waterline Keynotes:

- 1 Const. 1" Waterline Building Connection.
- 2 Const. 2" Water Valve
- 3 Const. Fire Hydrant with Valve per Draper City Std.
- 4 Const. 1" Water Valve
- 5 Const. 8" to 2" Reducer

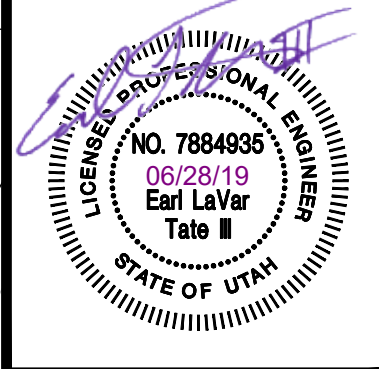
Building Data	
Type:	SB
Square Footage:	5,477
Fire Sprinkled:	Yes
Building Height:	32'
Fire Flow Required:	1,000 gpm



Designed by: JT
Drafted by: NN
Client Name: MFRE
19-041 UT

AWWA
ANDERSON WAHLEN & ASSOCIATES
2010 North Redwood Road, Salt Lake City, Utah 84116
801-521-6229 - ahk@andwh.com

Utility Plan
Draper Towns
Nate Lane & River Chapel Road
Draper, Utah



10 May, 2019
SHEET NO.
C3.1

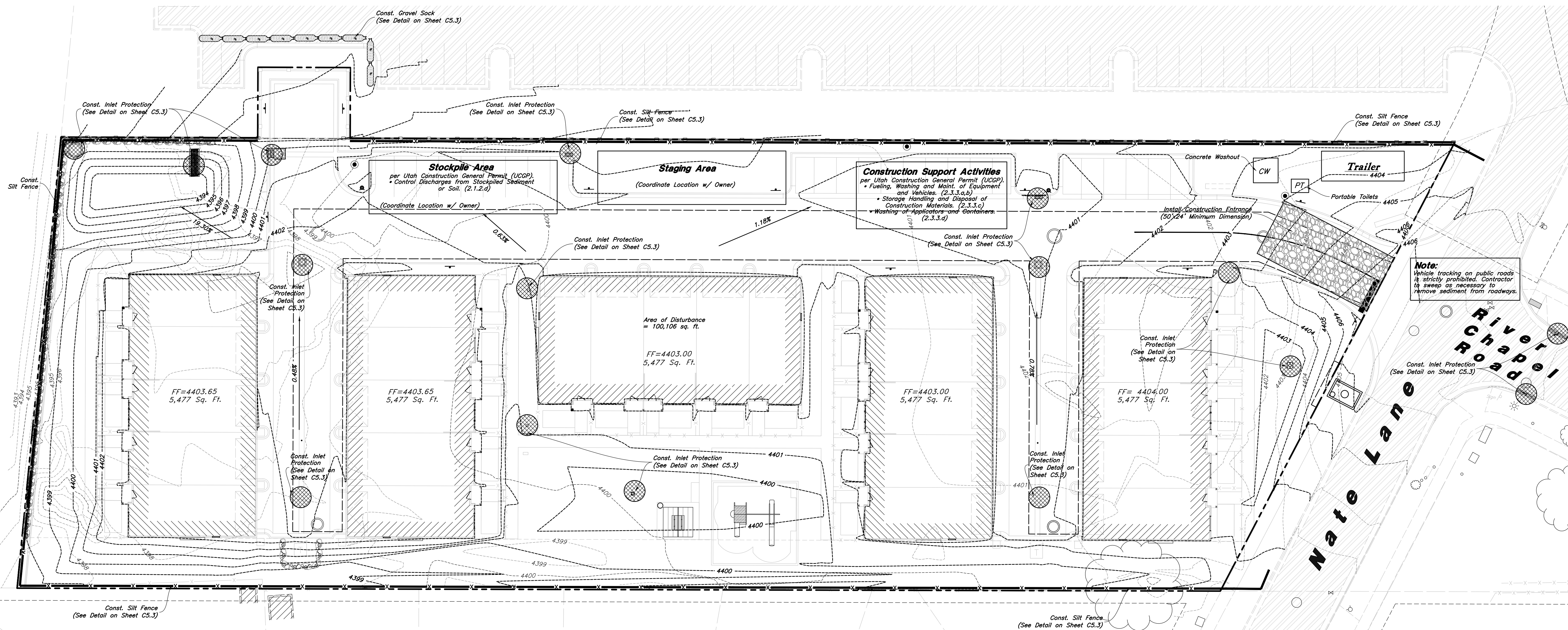
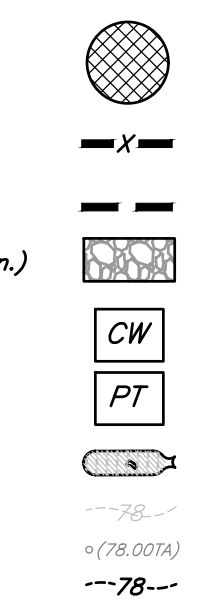
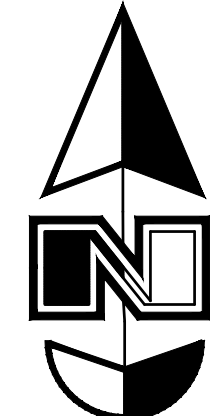
Erosion Control Notes

- Storm water will be discharged into an existing drainage system. Existing Lines shall be inspected prior to Certificate of Occupancy and cleared if necessary.
- The Storm Water Prevention Plan shall conform to all State Division of Environmental Protection Regulations.
- All Construction equipment will enter thru Designated Entrances.
- Coordinate Entrance locations with the local jurisdiction.
- Inlet Protection Devices and Barriers shall be Repaired or Replaced if they Show Signs of Undermining or Deterioration.
- Silt Fences shall be Repaired to their Original Conditions if Damaged. Sediment shall be Removed from Silt Fences when it Reaches one-half the Height of the Silt Fence.
- The Construction Entrances shall be Maintained in a Condition which will Prevent Tracking or Flow of Mud onto Public Right-of-Way. This may Require Periodic Top Dressing of the Construction Entrances as Conditions Demand.
- All Materials Spilled, Dropped, Washed or Tracked from Vehicles onto Roadways or into Storm Drains must be Removed Immediately.
- Due to the Grade Changes During the Development of the Project, the Contractor shall be Responsible for Adjusting the Erosion Control Measures (Silt Fences, Inlet Protection, Etc...) to Prevent Erosion.
- Contractor shall use Vehicle Tracking Control at all Locations where Vehicles will Enter or Exit the Site. Control Facilities will be Maintained while Construction is in Progress, Moved when Necessary and Removed when the Site is Paved.
- Inlet Protection Devices shall be Installed Immediately upon Individual Inlets becoming Functional.
- This Document is Fluid Allowing for Changes, Modifications, Updates and Alternatives. It is the Responsibility of the Contractor to Keep a Record of all Alterations made to the Erosion Control Measures Implemented for the Project on this Plan and in the Storm Water Pollution Prevention Plan.
- Cover Exposed stockpiles of soils, construction and landscaping materials with heavy plastic sheeting.
- Re-vegetate areas where landscaping has died or not taken hold.
- Divert storm water runoff around disturbed soils with berms or dirt swales.
- Contractor to provide permanent stabilization to any areas disturbed by construction by hydroseeding native vegetation (if not otherwise stabilized).
- Contractor is responsible for obtaining a fugitive dust control permit through the Division of Air Quality. All responsibilities relating to the production of the dust control plan shall be the responsibility of the Contractor.

Legend

- Place Inlet Protection at all Inlet Locations to prevent boxes from silting.
- Silt Fence
- Limit of Disturbance
- Construction Entrance / Truck Wash (50'x24' Min.)
- Concrete Washout Area
- Portable Toilet
- Gravel Sock
- Existing Contour
- Existing Spot
- Proposed Contour

Scale: 1" = 20'

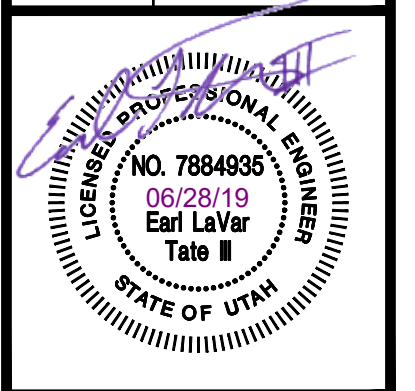


Note:
Vehicle tracking on public roads is strictly prohibited. Contractor to sweep as necessary to remove sediment from roadways.

Designed by: JT
 Drafted by: NN
 Client Name: MFRE
 19-041 EC

AWA
ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 801-521-0229 - ah@andwh.com

Erosion Control Plan - Phase 2
Draper Towns
 Nate Lane & River Chapel Road
 Draper, Utah



10 May, 2019
 SHEET NO.
C5.2

Landscape Keynotes

- 1 Install Landscape Concrete Curbing
- 2 Existing Landscape Shall Remain; Blend New into Existing
- 3 Install Playground Wood Chips - See Material for More Detail
- 4 Existing 6" High Vinyl Fence
- 5 New Mailboxes - See Architectural Plans
- 6 New Electrical Transformer - See Elect. Plans
- 7 Existing 8' High Privacy Wall
- 8 New Retaining Wall with Landscape Boulders; Dirt Shall be Cleaned Out Between Boulders & Decorative Stone Added to Keep Out Weeds - See Civil Plans for Construction of Wall
- 9 Install Backflow Enclosure Between Plant Material - See Irrigation Plan for More Details

- 10 New Fire Hydrant - See Utility Plan
- 11 Detention Pond - See Civil Plans for Grading
- 12 Install Playground Concrete Curbing - See Material Sch.
- 13 Air Conditioning Unit; Install Weed Barrier & Decorative Stone #1 Around AC Pads
- 14 4' High Vinyl Coated Chain-Link Fence Without 8" Wide Concrete Curb - See Civil Plans for Fence
- 15 Install Double Slide Deluxe Playset Distributor: Lifetime Products (1-800-424-3865 Ext 1) Model: 90240 Color: Earthtone Mount: Surface Verify Colors w/ Owner Prior to Ordering
- 16 Install 6' Long Backed Bench by Dumor Inc. Distributor: Big T Recreation (1-877-919-2448) Model: 194-60 Color: Green Mount: Surface Verify Colors w/ Owner Prior to Ordering

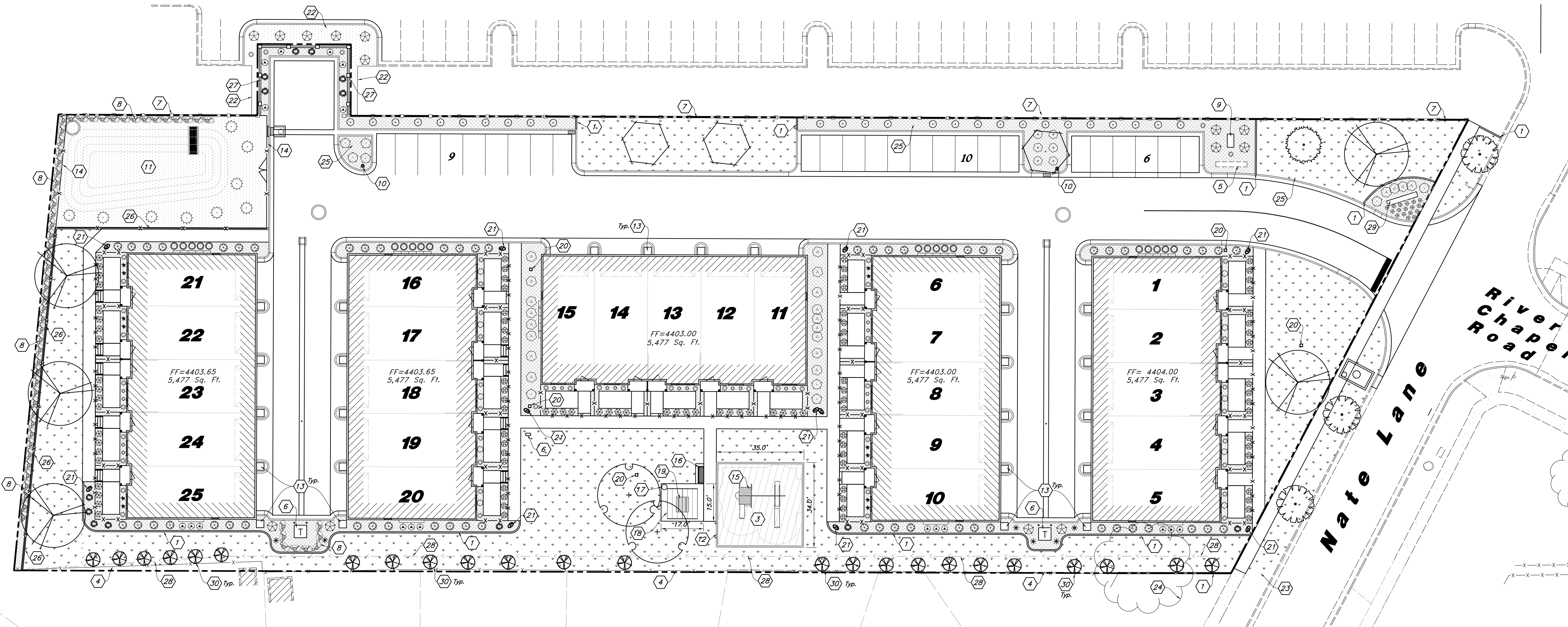
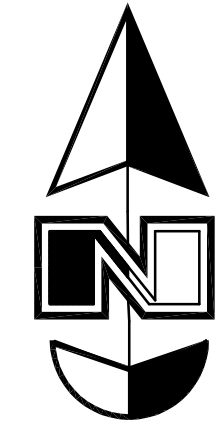
- 17 Install Trash Receptacle by Dumor Inc. Distributor: Big T Recreation (1-877-919-2448) Model: 196-32-710 Color: Green Verify Colors w/ Owner Prior to Ordering
- 18 Install 12' x 12' Pavilion by Icon Shelter Inc. or Approved Equal (1-800-748-0985); Model: SD125-PB Roof Color: Green Roof Post Color: Almond Verify Colors w/ Owner Prior to Ordering
- 19 Install 6' Long Planic Table by Dumor Inc. Distributor: Big T Recreation (1-877-919-2448) Model: 71 Series (Aluminum) Color: Green Mount: Surface Verify Colors w/ Owner Prior to Ordering
- 20 Landscape Drain - See Utility Plan; Top of Stone Shall be Slightly Below Top of Landscape Drain in Shrub Planters; Verify That Drain is Free of Landscape Material

- 21 Install Landscape Boulder
- 22 Install Weed Barrier, Plant Material & Decorative Stone as Shown; Match & Blend into Existing Decorative Stone
- 23 Blend New Lawn into Existing
- 24 Adjust New Landscape as Needed to Accommodate Existing Tree; Coordinate w/ Adjacent Owner & Limb up Low Growing Branches That Over Hang Site; Limb & Prune per Industry Standards
- 25 New Light Pole - See Elect. Plan
- 26 4' High Vinyl Coated Chain-Link Fence with 8" Wide Concrete Curb - See Civil Plans for Fence (Curbing Shall be Used Where Lawn is Against Fence)
- 27 New 8' High Privacy Wall
- 28 Provide Movable Lawn Swale - See Grading Plan for More Detail
- 29 New Entry Sign by Separate Permit; Adjust Plant Material as Needed to Accommodate Size of Sign
- 30 Required Evergreen Tree in Residential Buffer; Adjust Trees as Needed to Accommodate Swale in Lawn Area; Provide a 24" Diameter Tree Ring for Each Tree With Wood Mulch; Adjust Trees as Needed to Install Sprayheads and Rotors Between Trees; See Irrigation Plan for More Detail

Landscape Data

Site Area = 96,517 s.f. (2.21 ac.)
 Landscape Area Provided = 33,170 s.f. (34%)
 Parking Provided = 25 stalls
 Parking Lot Area = 12,594 s.f.
 Parking Lot Landscape Required (10%) = 1,259 s.f.
 Parking Lot Landscape Provided = 1,829 s.f.
 24 Evergreen Trees Required for Residential Buffer (1 Tree per 20 l.f. of Frontage) 24 Provided

Scale: 1" = 20'



Landscape Notes:

1. Plant material quantities are provided for bidding purposes only. It is the contractor's responsibility to verify all quantities listed on the plans and the availability of all plant material and their specified sizes prior to submitting a bid. The contractor must notify the Landscape Architect prior to submitting a bid if the contractor determines a quantity deficiency or availability problem with specified material. The contractor shall provide sufficient quantities of plants equal to the symbol count or to fill the area shown on the plan using the specified spacing. Plans take precedence over plant schedule quantities.
2. Contractor shall call Blue Stake before excavation for plant material.
3. Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
4. The landscape contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
5. The contractor shall provide all materials, labor and equipment required for the proper completion of all landscape work as specified and shown on the drawings.
6. See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
7. Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
8. All new plant material shall conform to the minimum guidelines established by the American Standard for Nursery Stock Published by the American Association of Nurserymen, Inc. In addition, all new plant material shall be of specimen quality.
9. The Owner/Landscape Architect has the right to reject any and all plant material not conforming to the plans and specifications.
10. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit and culture only as approved by the Landscape Architect.
11. It is the contractor's responsibility to furnish all plant materials free of pests or plant diseases. It is the contractor's obligation to maintain warranty all plant materials.
12. The contractor shall take all necessary scheduling and other precautions to avoid winter, climatic, wildlife, or other damage to plants. The contractor shall install the appropriate plants at the appropriate time to guarantee life of plants.
13. The contractor shall install all landscape material per plan, notes and details.
14. All existing and relocated trees shall be properly protected. Trees damaged during construction shall be replaced at no cost to the owner.
15. Plant names are abbreviated on the drawings, see plant schedule for symbols, abbreviations, botanical, common names, sizes, estimated quantities and remarks.
16. No grading or soil placement shall be undertaken when soils are wet or frozen.
17. Existing topsoil to be stripped and stockpiled for landscape use. Contractor shall verify existing topsoil amounts and quality with the general contractor. The landscape contractor shall perform a soil test on existing & imported topsoil and amend per soil test recommendations. Soil test to be done by certified soil testing agency. Provide new imported topsoil as needed from a local source. Imported topsoil must be a premium quality dark sandy loam, free of rocks, clods, roots, and plant matter. Topsoil to be installed in all landscaping areas.
18. Prior to placement of topsoil in all landscaping areas, all subgrade areas shall be loosened by scarifying the soil to a depth of 6 inches in order to create a transition layer between existing and new soils.
19. Provide a 12" depth of stockpiled or imported topsoil in parking islands and an 8 inch depth in all other shrub areas.
20. All plant material holes shall be dug twice the diameter of the rootball and 6 inches deeper. Excavated material shall be removed from the site and replaced with plant backfill mixture. The top of the root balls, shall be planted flush with the finish grade.
21. Plant backfill mix shall be composed of 3 parts topsoil to 1 part soil pep, and shall be mixed at the planting hole. Deep water all plant material immediately after planting. Add backfill mixture to depressions as needed. Fine ground wood mulch shall be installed in the plant well and extend up near the base of the plant. The wood mulch shall be covered with the specified stone and the remainder of the planter.
22. All new plants to be balled and burlapped or container grown, unless otherwise noted on plant schedule. Container grown trees shall have the container cut and removed. Trees in ball and burlap shall have the strings, burlap or plastic cut and pulled away from the trunk exposing 1/3 of the root ball. For trees in wire baskets, cut and remove the wire basket.
23. Upon completion of planting operations, all landscape areas with trees, shrubs, and perennials, shall receive specified stone over Dawit ProS Weed Barrier or equal.
24. Stone shall be evenly spread on a carefully prepared grade free of weeds. The top of stone should be slightly below finish grade and concrete areas.
25. All deciduous trees shall be double staked per tree staking detail. It is the contractor's responsibility to remove tree staking in a timely manner once staked trees have taken root. Deciduous tree ties to be V.I.T. Cinche Ties #CT32.
26. Install landscape concrete curbing between lawn and planting areas. Curbing shall be installed level and uniform and shall match top finish grades of concrete walks and curbs. See landscape concrete curbing detail.
27. Provide a 4 inch depth of stockpiled or imported topsoil in all lawn areas.
28. Sod must be premium quality, evenly cut, established, healthy, weed and disease free, and from an approved source.
29. All lawn areas to have uniform grades by float raking. Prior to laying sod, apply a starter fertilizer at a rate recommended by the manufacturer. Sod must be laid with no gaps between pieces on a carefully prepared topsoil layer. Sod to be slightly below finish grade and concrete walks and curbing. The laid sod must be immediately watered after installation. Any burned areas will require replacement. Adjust sprinkler system to assure healthy green survival of the sod without water waste.
30. All trees located in lawn areas shall have a 24 inch diameter tree ring w/ a layer of wood mulch.
31. The contractor shall comply with all warranties and guarantees set forth by the Owner, and in no case shall that period be less than one year following the date of completion and final acceptance.

<p>Designed by: JT Drafted by: NN Client Name: MFRE 19-041 LS</p>	<p>REV. DATE</p>
<p>ANDERSON WAHLEN & ASSOCIATES 2010 North Redwood Road, Salt Lake City, Utah 84116 801.521.8529 - AWEngineering.net</p>	
<p>Landscape Plan Draper Towns Nate Lane & River Chapel Road Draper, Utah</p>	
<p>Know what's below. Call before you dig.</p>	
<p>10 May, 2019 SHEET NO. L1.1</p>	

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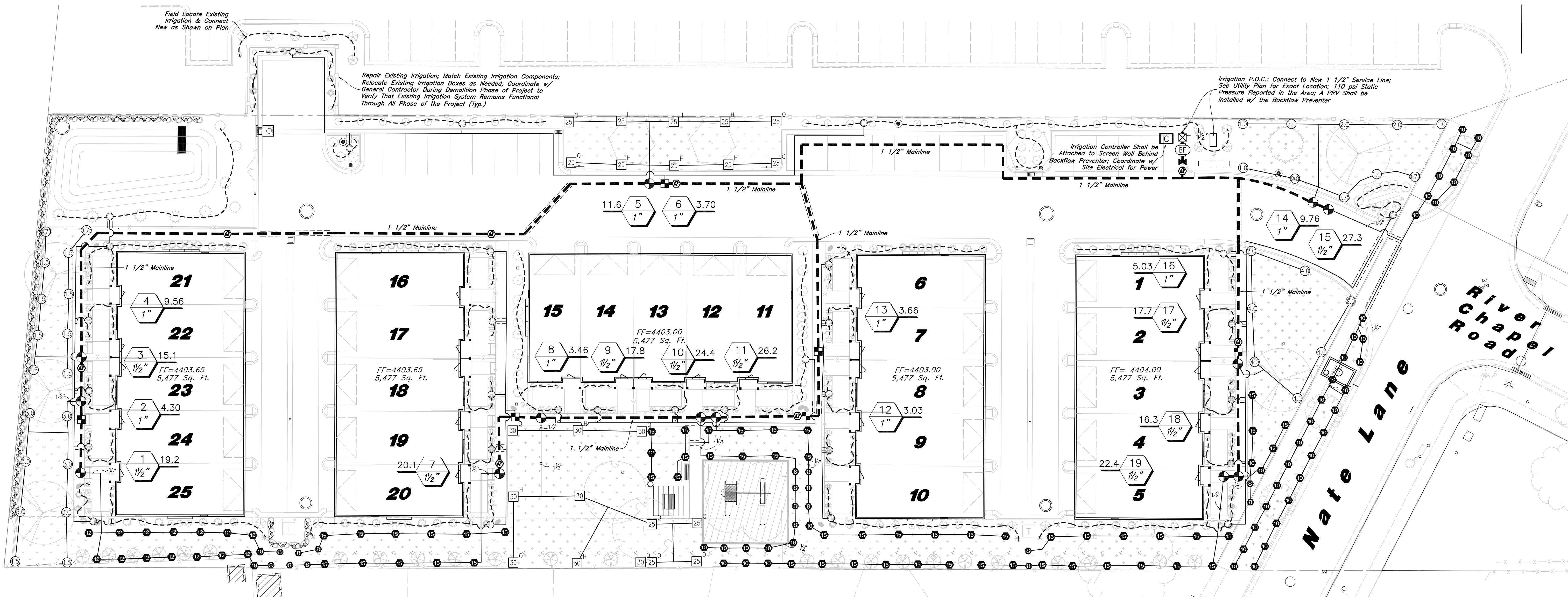
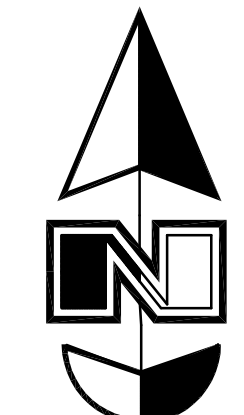
General Irrigation Note

Main Service Line & Other Irrigation Components Are Shown In Paved Or Hardscape Surfaced For Clarity Purposes ONLY! Install All Irrigation Components within Landscaped Areas.

Irrigation Notes

- See Sheet L1.1 for Plant Layout and Sheet L1.2 for Plant Schedule and Details.
- See Sheet L2.2 for Irrigation Schedule & Details.

Scale: 1" = 20'



Landscape Notes:

- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. It shall be the responsibility of the contractor to protect all utility lines during the construction period, and repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the landscape construction.
- The irrigation contractor shall examine the site conditions under which the work is to be performed and notify the general contractor in writing of unsatisfactory conditions. Do not proceed until conditions have been corrected.
- The contractor shall provide all materials, labor and equipment required for the proper completion of all irrigation work as specified and shown on the drawings.
- See civil and architectural drawings for all structures, hardscape, grading, and drainage information.
- Contractor safety and cleanup must meet OSHA standards at all times. All contractors must have adequate liability, personnel injury and property damage insurance. Clean-up must be performed daily, and all hardscape areas must be washed free of dirt and mud on final cleanup. Construction must occur in a timely manner.
- The Owner/Landscape Architect has the right to reject any and all irrigation material not conforming to the plans and specifications.
- The contractor shall install all irrigation material per plan, notes and details.
- Irrigation system components must be premium quality only and installed to manufactures requirements and specifications. The contractor is responsible for checking state and local laws for all specified materials and workmanship. Substitutions must be approved by landscape architect. Provide owner and maintenance personnel with instruction manual and all products data to operate, check, winterize, repair, and adjust system.
- Irrigation system guarantee for all materials and workmanship shall be one year from the time of store opening or final project acceptance (whichever is longer). Guarantee will include, but is not limited to winterizing, spring activation, repair, trench setting, backfilling depressions, and repairing freeze damage. Contractor must contact Landscape Architect to schedule pre and post guarantee inspection meetings. Failure to do so will mean the official guarantee period has not been activated or de-activated.
- Irrigation system check must be done before the system is backfilled. Irrigation mainline and each control valve section must be flushed and pressure checked. Assure the complete system has no documented problems and full head to head coverage with adequate pressure for system operation. Adjust system to avoid spray on building, hardscape, and adjacent property. Any problems or plan discrepancies must be reported to the landscape architect.
- Irrigation laterals must be schedule 40 P.V.C. with schedule 40 fittings, one (1) inch minimum size. Solvent weld all joints as per manufactures specifications for measured static p.s.i. Teflon tape all threaded fittings. The minimum depth of lateral lines shall be twelve (12) inches. Adapt system to manual compression air blowout.

- Irrigation mainline that are 2" and smaller mainlines shall be schedule 40 PVC pipe with schedule 40 fittings. Solvent weld all joints as per manufactures specifications for measured static pressure. Use teflon tape on all threaded joints. Line depth must be eighteen (18) inches minimum.
- Install dielectric fittings whenever dissimilar metals are joined.
- Design locations are approximate. Make minor adjustments necessary to avoid plantings and obstructions such as signs and light standards. Maintain 100% percent irrigation coverage of areas indicated.
- Controller valves to be grouped together wherever possible. Install valve boxes with long side perpendicular to walk, curb, lawn, building or landscape features. Valve boxes to conform with finish grades.
- Control valve wire shall be #14 single conductor: white for common wire, red for hot wire and blue for the spare wire. Provide (2) two spare wire that runs the length of the mainline and to the controller. All wiring shall be UF-UL rated. All connections shall be made with water tight connectors (DBR/Y or equivalent) and contained in control valve boxes. Provide 36" extra wire length at each remote control valve in valve box. Install control wiring with main service line where possible. Provide slack in control wires at all changes in direction.
- Control valve size, type, quantity, and location to be approved by landscape architect, install in heavy duty plastic vandal proof box. Size boxes according to valve type and size for ease of maintenance and repair. Install one (1) cubic feet of pea gravel for sump in base of boxes. Boxes to be Carson Brooks or equal.
- Quick couplers shall be a Rain Bird 33DRC with a 3/4 inch Lasco unionized swing joint assembly. Support with rebar in each retainer lug. Install where shown on the plans.
- Irrigation system backfill must occur only after system check is completed as specified. Use only rock free clean fill around pipes, valves, drains, or any irrigation system components. Water settle all trenches and excavations.
- All irrigation pipe running through walls, under sidewalk, asphalt, or other hard surface shall be sleeved prior to paving. It is the irrigation contractors responsibility to coordinate sleeving with concrete and pavement contractors. Sleeves will be schedule 40 P.V.C. The depth for mainline sleeves shall be twenty-four (24) inches minimum. Depth for lateral sleeves shall be sixteen (16) inches minimum. Sleeves shall be a minimum of two sizes larger than the pipe to be sleeved. All valve wiring shall be contained in separate sleeving.
- Plans are diagrammatic and approximate due to scale, where possible, all piping is to be installed within the planting areas. No tees, elbows, or changes in direction shall occur under hardscape.
- It is the contractors responsibility to verify all quantities based upon the plan prior to completion of a construction cost estimate.
- The irrigation contractor shall flush and adjust all sprinkler heads for optimum performance and to prevent possible overspray onto walks, roadways, and/or buildings as much as possible. This shall include selecting the

- best degree of arc to fit the site and to throttle the flow control of each valve to obtain the optimum operating pressure for each system. All mainlines shall be flushed prior to the installation of irrigation heads.
- All sprinkler heads shall be set perpendicular to finish grade of the areas to be irrigated and shall be installed 6"-8" from buildings walls, or within 4" of pavement, curbs, or header edges.
- Drip system piping shall consist of a rigid schedule 40 PVC pipe distribution system connecting drip irrigated planter areas. Poly tubing or drip line shall be run off the rigid PVC in each planting area or island with a PVC to poly tubing adapter. No poly tubing shall run under pavement.
- Electrical power source at the controller location shall be provided by electrical contractor. Contractor shall verify location of controller prior to installation with owner.
- Provide and install all manufacturer's recommended surge and lighting protection equipment on all controllers.
- All lines shall slope to manual drains (see details). If field conditions necessitate additional drains, these drains shall be installed for complete drainage of the entire system. Provide a gravel sump under each drain. All drains shall be a minimum of 6" below grade.
- Upon completion and approval of irrigation system, irrigation contractor to provide the owner with two sets of drawings indicating actual location of piping, valves, sprinkler heads, wiring, and zones.
- An irrigation zone map shall be provided in a protective jacket and be kept with the main irrigation controller. The map shall show all approved irrigation and include all zone valve locations.
- It shall be the responsibility of the sprinkler contractor to demonstrate to the Owner the proper winterization and start-up procedures for the entire system prior to final payment.

CRITICAL ANALYSIS

Generated:	2019-06-28 08:40
P.O.C. NUMBER: 01	
Water Source Information:	Draper City reported around 110 psi
FLOW AVAILABLE	
Point of Connection Size:	1-1/2"
Flow Available:	47.66 gpm
PRESSURE AVAILABLE	
Static Pressure at P.O.C.:	110.00 psi
Pressure Available:	110.00 psi
DESIGN ANALYSIS	
Maximum Station Flow:	27.26 gpm
Flow Available at P.O.C.:	47.66 gpm
Residual Flow Available:	20.41 gpm
Critical Station:	11
Design Pressure:	30.00 psi
Friction Loss:	2.07 psi
Fittings Loss:	0.21 psi
Elevation Loss:	0.00 psi
Loss through Valve:	3.72 psi
Pressure Req. at Critical Station:	36.00 psi
Loss for Fittings:	0.63 psi
Loss for Main Line:	6.32 psi
Loss for POC to Valve Elevation:	0.00 psi
Loss for Backflow:	12.00 psi
Critical Station Pressure at POC:	64.95 psi
Pressure Available:	110.00 psi
Residual Pressure Available:	55.05 psi



Know what's below.
Call before you dig.

Irrigation Plan
Draper Towns
 Nate Lane & River Chapel Road
 Draper, Utah

ANDERSON WAHLEN & ASSOCIATES
 2010 North Redwood Road, Salt Lake City, Utah 84116
 801-521-8529 - AWEngineering.net

Designed by: JT
 Drafted by: NN
 Client Name: MFRE
 19-041 IR



10 May, 2019
 SHEET NO.
L2.1



"SOHO II" REV

"SOHO I" REV

"ASTORIA I"

"SOHO I"

"SOHO II"

Summary New 2-Story
5 Plex Town-homes:

- 1st Floor: 5,477 Gross S.F.
- 2nd Floor: 5,257 Gross S.F.
- Total Gross Floor Area: 10,734 S.F.
- Parking: (1) 2 Car Garage per Unit
(10 Total Spaces per 5 plex)



Boulevard Townhomes

Draper Towns



"SOHO II" REV

"SOHO II"



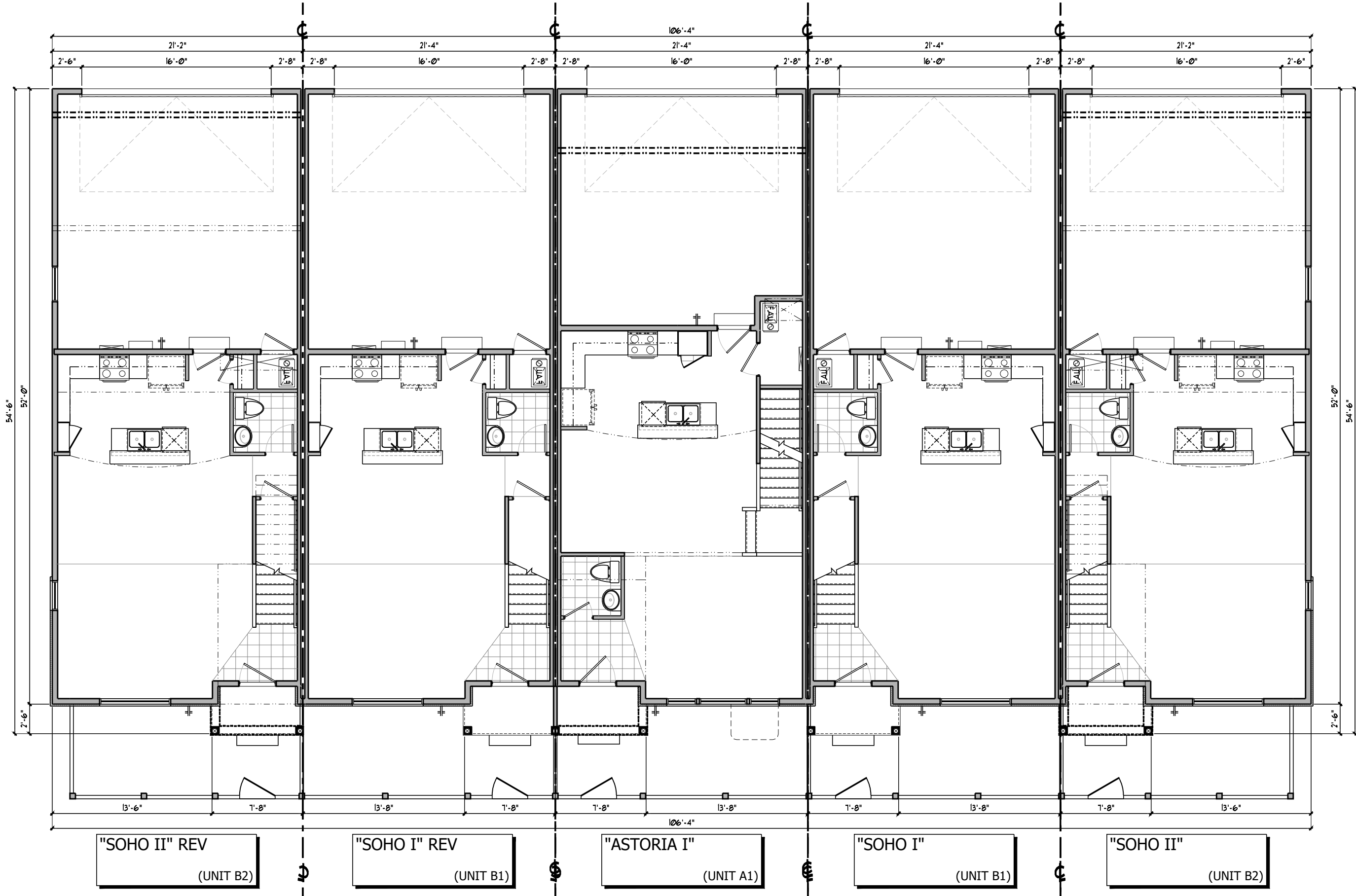
"SOHO II"

"SOHO I"

"ASTORIA I"

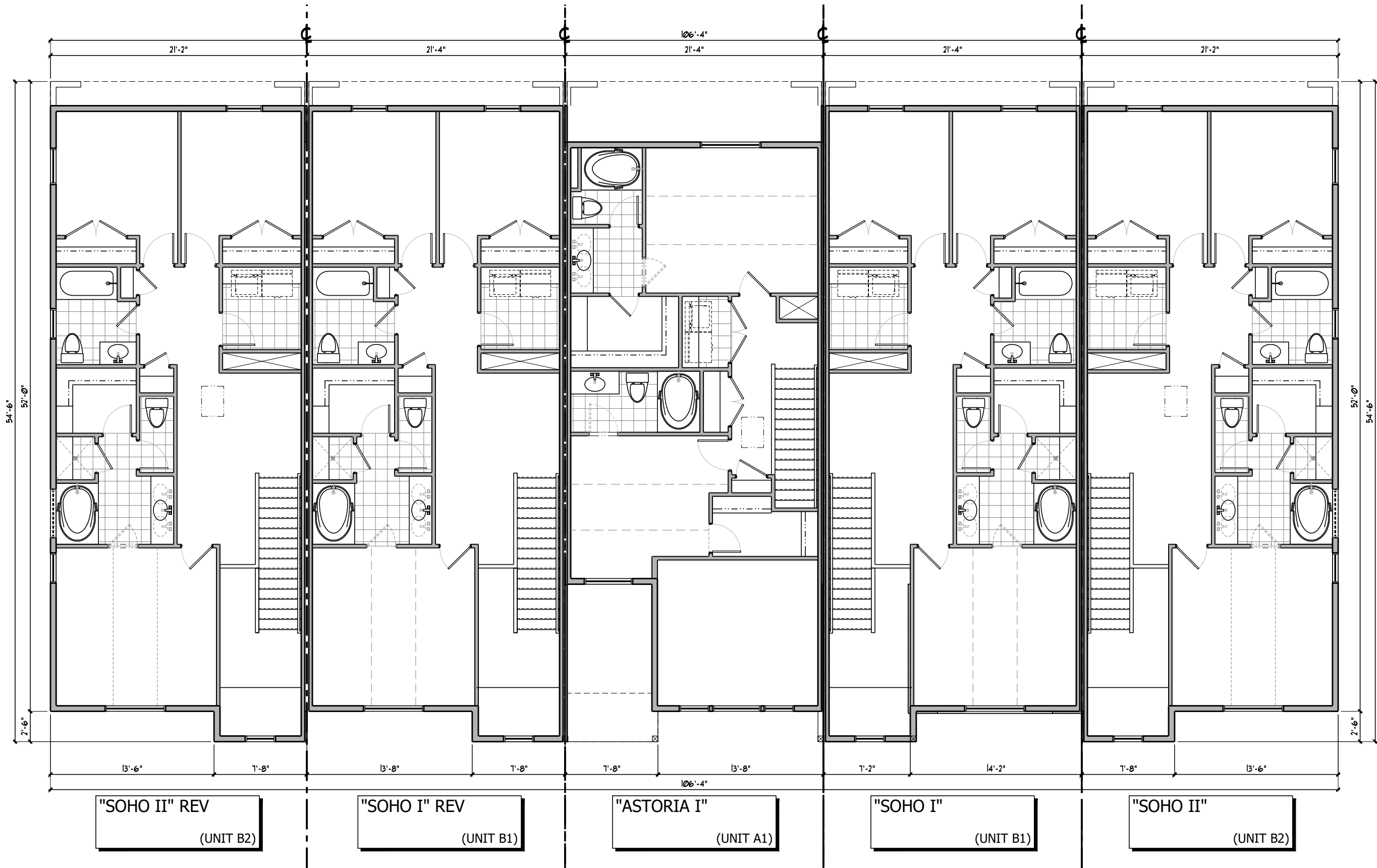
"SOHO I" REV

"SOHO II" REV



Boulevard Townhomes

Draper Towns



Boulevard Townhomes

Draper Towns



MEMO

To: Planning Commission

From: Maryann Pickering, AICP

CC:

Date: July 25, 2019

Re: Public Hearing: Marion Vista - Zoning Map and Text Amendment Requests

Comments:

This application is a request for approval of a text amendment and zoning map amendment for approximately 6.5 acres located at approximately 14875 S. Minuteman Drive. The property is currently zoned A5 (Agricultural, 5 acre lot minimum). The applicant is requesting to rezone the property to a newly created mixed use zoning district called Major Freeway Arterial Frontage (MFAF). The proposed MFAF zone will be located in Chapter 9-11 (Commercial Uses) in the Draper City Municipal Code (DCMC).

The City only has one other zoning district that allows for mixed use, the TC (Town Center) zone. By creating a new zoning district, rather than amending an existing district standards, the applicant is limiting the location of mixed uses within the City. That limitation does not preclude another property owner requesting a rezone to the proposed MFAF zone, subject to public hearings before the Planning Commission and City Council.

The findings are as follows:

Findings for a positive recommendation:

1. That Section 9-5-060(E) provides for and outlines the process for amending the text of the DCMC.
2. That this map amendment does not compromise any of the five factors listed in Section 9-5-060(E)(1).
3. That this text amendment does not compromise any of the six factors listed in Section 9-5-060(E)(2).
4. That the proposed text change is consistent with the goals, objectives and policies of the City's General Plan.

Findings for a negative recommendation:

1. That this map amendment compromises one or more of the five factors listed in Section 9-5-060(E)(1).
2. That this text amendment compromises one or more of the six factors listed in Section 9-5-060(E)(2).
3. That the proposed text change is not consistent with the goals, objectives and policies of the City's General Plan.