



## Planning and Zoning

47 S. Main Street • Room 208 • Tooele, UT 84074

Phone: (385) 843-3160 • Fax: (435) 843-3252

<http://www.co.tooele.ut.us/Building/planning.htm>

SUB 2018-13

# Subdivision Summary and Recommendation

**Public Body:** Tooele County Planning Commission

**Parcel ID:** 05-029-0-0001

**Meeting Date:** August 7, 2019

**Current Zone:** RR-1 (Rural Residential, 1 Acre Min)

**Property Address:** Located south of Lake Point Vistas (Plat 1) between 1200 East and Adobe Lane.

**Request:** Preliminary and final plat approval for the proposed 34-lot Lake Point Vistas (Plat 2) Subdivision.

**Unincorporated:** Lake Point

**Planner:** Jeff Miller

**Planning Commission Recommendation:** Not yet received

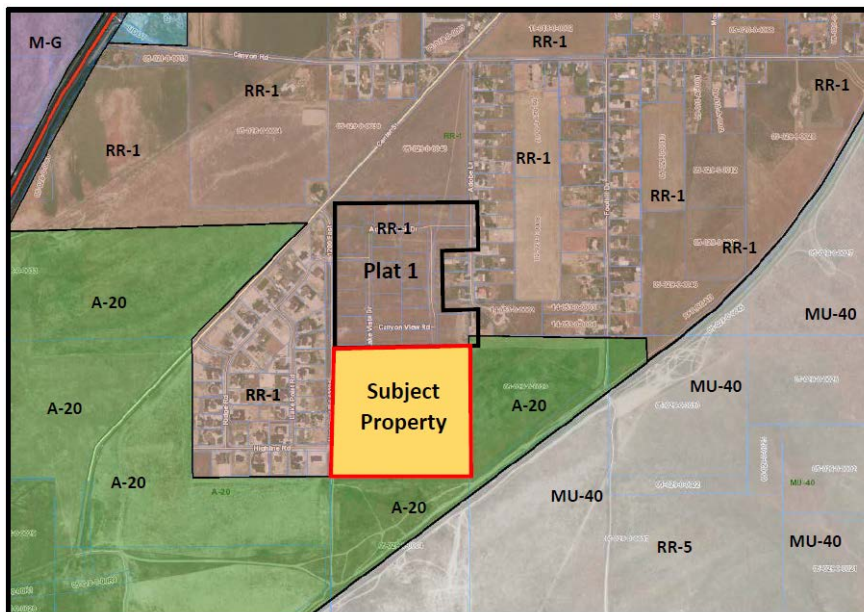
**Planning Staff Recommendation:** Approval with Conditions

**Applicant Name:** Howard Schmidt

## PROJECT DESCRIPTION

Howard Schmidt is requesting preliminary and final plat approval for the proposed 34-lot Lake Point Vistas (Plat 2) Subdivision. Recently, the Tooele County Commission adopted an ordinance update proposed by the applicant allowing up to a 6% reduction for lot sizes in the RR-1 zone with certain conditions attached for the dedication of collector class type roads. Approximately 3.74 acres are being dedicated to the County for the future construction of 1200 East.

## SITE & VICINITY DESCRIPTION (see attached map)



The subject property is located south of Lake Point Vistas (Plat 1) between 1200 East and Adobe Lane. The property is surrounded by parcels zoned RR-1 to the west, north, and northeast. The parcels immediately to the west and north are occupied by single-family homes. There are parcels zoned A-20 (Agricultural, 20 Acre Minimum) to the east and south. There is a large area of undeveloped parcels zoned MU-40 (Multiple Use, 40 Acre Minimum) across the railroad tracks to the south.

## ZONE CONSIDERATIONS (RR-1 Zone)

Requirement	Standard	Compliance Verified
Height	35 Feet	N/A
Front Yard Setback	30 Feet	Can Comply
Side Yard Setback	<b>Main Building:</b> 15 Feet  <b>Accessory Buildings:</b> 1) from the front setback to distance ten feet behind the main dwelling – 15 Feet.  2) from a distance 10 feet behind the dwelling to the rear of the lot – 10 Feet	Can Comply
Rear Yard Setback	<b>Main Building:</b> 30 Feet  <b>Accessory Buildings:</b> 10 Feet	Can Comply
Lot Width	125 Feet	Yes
Lot Coverage	Maximum Building Coverage of 20%	Can Comply
Lot Area	1 Acre Minimum (up to 6% reduction in lot sizes equal to the cumulative square footage of land dedicated to the County for 1200 East, which will be a collector class type road ).	Qualifies for a 6% reduction in lot sizes (2.04 acres) based on approximately 3.74 acres being dedicated to the County for the future construction of 1200 East.
Required Improvements	Street Grading, Street Base, On-Site Surface Drainage Facilities, Culinary Water Facilities, Wastewater Disposal and Street Monuments.	Yes

Compatibility with existing buildings in terms of size, scale and height.	Yes
Compliance with the General Plan.	Yes

## GENERAL PLAN CONSIDERATIONS

The proposed development is consistent with the Tooele County General Plan.

## ISSUES OF CONCERN/PROPOSED MITIGATION

Planning Staff has not identified any issues of concern with the proposed development.

## NEIGHBORHOOD RESPONSE

Planning Staff has not received any response from the surrounding neighbors. Any response that is received will be presented to the Tooele County Planning Commission on August 7, 2019.

## **REVIEWING AGENCIES RESPONSE**

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AGENCY: County Surveying

DATE: July 18

RECOMMENDATION: Approval, no further issues.

AGENCY: Ensign Engineering

DATE: July 19, 2019

RECOMMENDATION: Approval, no further issues.

AGENCY: North Tooele Fire District

DATE: May 22, 2019

RECOMMENDATION: Approval, Subdivision will have two main points of access.

Compliance with current building, construction, engineering, fire, health, landscape and safety standards will be verified prior to final approval.

## **PLANNING STAFF ANALYSIS**

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Planning Staff has analyzed the proposed subdivision and has found that it is cohesive with surrounding zones and uses, the Tooele County General Plan, and the Tooele County Land Use Ordinance.

The applicant is currently working with the Tooele County Commissioners to determine when 1200 East should be required to be constructed. 1200 East will currently dead end at the south end of Plat 2 of the Lake Point Vistas Subdivision. It is anticipated that it would be beneficial to construct the collector class road once a connection point to the future extension of Pole Canyon and further residential development in the area merits the construction of the road. Constructing the road before it is routinely used will cause the road to quickly deteriorate and increase maintenance costs (asphalt needs to be driven on regularly in order to be prevent premature deterioration).

Additional information regarding any decision that has been made by the County Commissioners will be presented to the Planning Commission on August 7<sup>th</sup>. 1200 East will be of beneficial use to the County once fully constructed, therefore the dedication and preservation of this transportation corridor is important (alternatively residential lots would exist across the area that is being dedicated, and this transportation corridor would most likely not be able to be constructed in the future or would be cost prohibitive to construct due to land acquisition that would be required to take place).

## **PLANNING STAFF RECOMMENDATION**

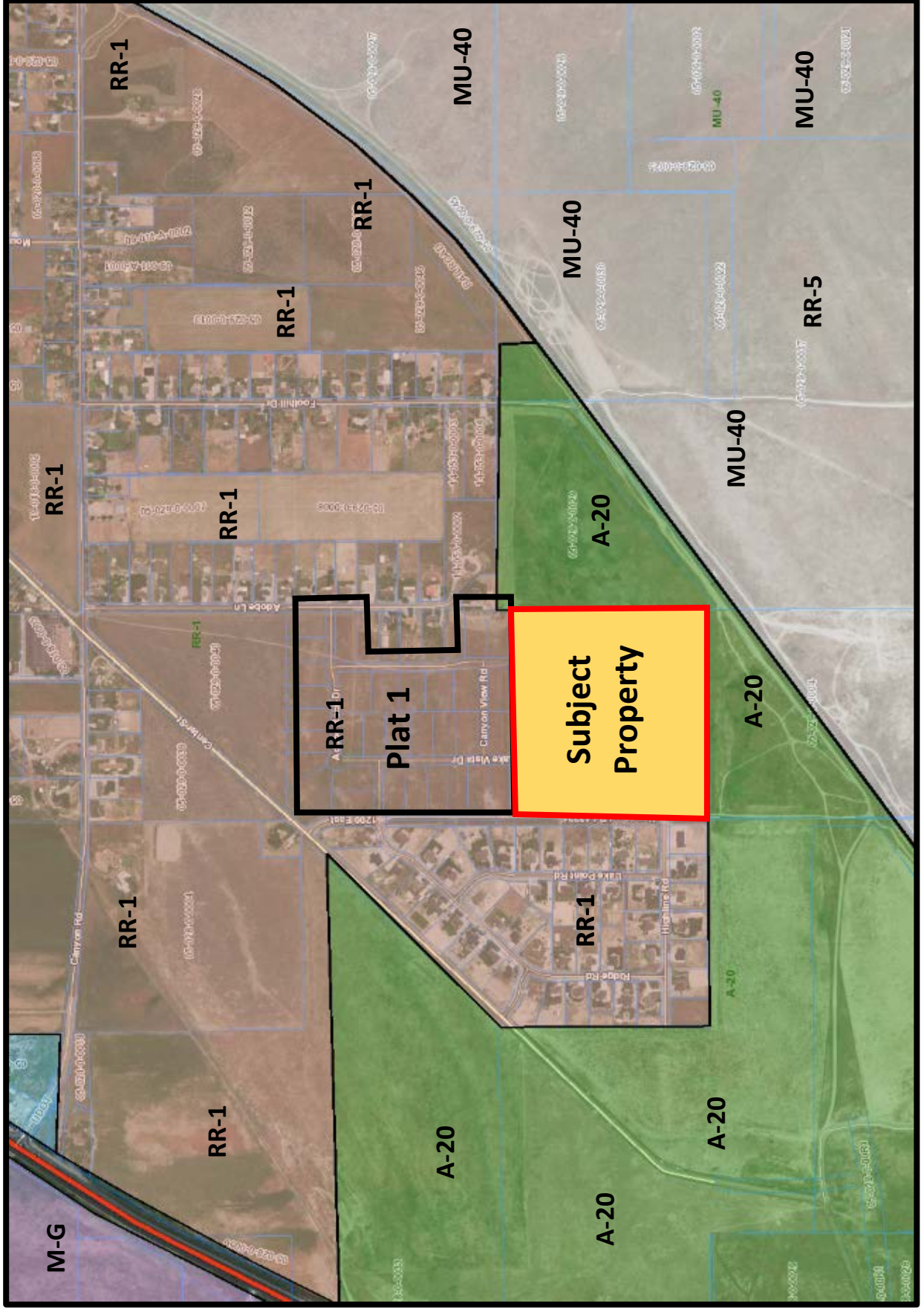
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Planning Staff recommends that the Tooele County Planning Commission makes a motion to grant approval to the preliminary and final plat for the proposed 34-Lot Lake Point Vistas (Plat 2) Subdivision, subject to the following conditions:

1. The civil bonding must be in place prior to the recordation of the Final Plat.
2. Building permits cannot be applied for until the Final Plat has been recorded.
3. A decision is reached by the County Commissioners regarding the future construction of 1200 East prior to recordation of the Final Plat.

**SUB 2018-13: Preliminary and Final Plat Approval for the Lake Point Vistas (Plat 2) Subdivision.**

*Location south of Lake Point Vistas (Plat 1) between 1200 East and Adobe Lane (Unaddressed Parcel ID: 05-029-0-0001)*





FINAL PLAT – LAKE POINT VISTAS PLAT 2  
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST  
HALF OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE  
AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH

OWNER'S DEDICATION, GRANT, AND DECLARATION

KNOW ALL MEN by these presents, that LAKE POINT VISTAS, L.C., a Utah limited liability company, ("Grantor"), the undersigned owner of the tract of land described herein under the heading "Boundary Description" (the "Tract"), does hereby create a subdivision to be hereafter known as "Lake Point Vistas Plat 2" (the "Subdivision" or when referring to this document, the "Plat"), and, subject to the "Notice to Purchasers" contained herein and any matters of record, does hereby:

- Cause the Tract to be subdivided into lots (singularly, a "Lot", or if more than one, the "Lots").
- Grant, convey and dedicate to Tooele County, a body corporate and politic (the "County") those areas identified on this Plat as "Dedicated Public Road";
- Grant, convey, and dedicate to the County and to public and private providers of utility services perpetual, non-exclusive easements and rights-of-way, for the purpose of installing, maintaining, operating, and replacing buried utilities and facilities necessary or convenient to provide underground or buried utility services, over, through, and across Parcel A and all areas identified on this Plat as "PUDE"; ("Public Utility and Drainage Easements").
- Grant, convey and dedicate to the County perpetual, non-exclusive easements and rights-of-way, for purposes of installing, repairing, maintaining, and replacing storm drainage conveyance, retention, and/or detention improvements or structures over, through, and across all areas identified on this Plat as PUDEs.
- Subject to the provisions of Item #3 hereinabove, Grant, convey, and dedicate Parcel A to the County as right-of-way for a future dedicated public road.

NOTICE TO PURCHASERS

- CC&Rs. The Lots and Parcels created by this Plat are subject to: (a) that certain "Declaration of Covenants, Conditions, and Easements for Lake Point Vistas" dated \_\_\_\_\_, 201\_\_\_\_, and recorded as Declaration of Covenants, Conditions, and Easements for Lake Point Vistas" dated \_\_\_\_\_, 201\_\_\_\_, in the Office of the Tooele County Recorder (the "Recorder's Office"), as further amended by that certain "Plat 2 Amendment to the Declaration of Covenants, Conditions, and Easements for Lake Point Vistas" dated \_\_\_\_\_, 201\_\_\_\_, and filed with the Recorder's Office on \_\_\_\_\_, 201\_\_\_\_, as Entry No. \_\_\_\_\_, as may be further amended from time to time (collectively, the "LPV Declaration"); and (b) that certain "Declaration of Covenants, Conditions and Restrictions for Water Conservation at Lake Point Vistas Plat 2" (the "Water Declaration") dated \_\_\_\_\_, 201\_\_\_\_, and recorded as \_\_\_\_\_, 201\_\_\_\_, in the Recorder's Office. The LPV Declaration and the Water Declaration are collectively referred to herein as the "CC&Rs". The CC&Rs specify, among other things, the manner in which approval for construction of all structures within the Plat will occur. No building permits may be applied for and no construction commenced until written approval under the CC&Rs of the building, drainage swale crossings, drainage retention, and site plans has been granted, stating that the plans comply with the applicable requirements of the CC&Rs.
- WATER SERVICE. Indoor and outdoor water service to the Lots is provided by Oquirrh Mountain Water Company, a private mutual water company ("OMWC"), based upon the quantity of Class B Shares of OMWC owned by the Owner(s) of each Lot. The Water Declaration further governs how such water may be used, including the implementation of certain water conservation measures to prevent wasting water.
- RURAL AREA. The Subdivision is located in the Lake Point area of the County which enjoys a semi-rural lifestyle, including the boarding, caring for, grazing, feeding, riding, and training of horses and other livestock, farm animals, and pets often found in rural areas (collectively, "Livestock"), and their attendant noises, odors, and sights. The CC&Rs govern the degree to which Livestock may be permitted by the Owners within the Subdivision. Each Owner takes title to the Lots or Parcels with an acknowledgment that the Lake Point area surrounding the Subdivision is a rural area which allows and welcomes Livestock and that such Owners hereby agree not to challenge, oppose, complain about, or otherwise try to prohibit, outlaw, or restrict Livestock in the Lake Point area.
- STORM DRAINAGE MANAGEMENT. All runoff from each individual Lot shall be contained within such Lot by its owner. Runoff shall not be allowed to discharge onto adjacent Lots. Grading within each Lot will likely be required to contain the runoff within such Lot. Runoff can either be retained within the Lot, discharged into the drainage swales constructed along the Dedicated Public Roads, or into the drainage channels constructed within the PUDE along the rear Lot lines.
- MINING PROTECTION AREA. Each Owner of a Lot hereby agrees to not fill-in, block, regrade or in any way decrease the capacity of the drainage swales that are constructed within the PUDE. The PUDEs shall be crossed by driveways or other hard surfaces must be piped at the Owner's expense with an eighteen-inch (18") reinforced concrete pipe with a concrete flared end section on the interior of the pipe.
- FUTURE COLLECTOR ROAD. By this Plat, the Grantor has dedicated the right-of-way for a future collector road along the western edge of the Subdivision in the area identified as "Future Collector Road". The Future Collector Road will have an intersection that will include a connection to and an extension of the current publicly dedicated road known as 1200 East. Lot owners: (a) are by this reference notified of the proposed Future Collector Road, including its potential risks and potential impacts on views, noise, traffic, and other impacts as may be associated therewith (both during construction and when completed), (b) hereby agree not to challenge, oppose, file a complaint, complain about, or otherwise try to prohibit the construction and use of the Future Collector Road, and (c) for those Lots abutting the Future Collector Road, acknowledge that there is no access from such Lots onto the Future Collector Road.
- MINING PROTECTION AREA. The Lots are located within the vicinity of an established mining protection area in which normal mining uses and activities have been afforded the highest priority use status. It can be anticipated that the mining uses and activities may now or in the future be conducted on property included in the mining protection area. The use and enjoyment of the Lots is expressly conditioned on acceptance of any annoyance or inconvenience that may result from the normal mining uses and activities.

IN WITNESS WHEREOF, we have hereunto set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_.

Lake Point Vistas, L.C., a Utah limited liability company

By: Christopher F. Robinson, Manager  
By: Howard J. Schmidt, Manager

STATE OF UTAH )  
COUNTY OF \_\_\_\_\_ ) SS.

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_, by Christopher F. Robinson and Howard J. Schmidt, as the Managers of Lake Point Vistas, L.C., a Utah limited liability company.

My Commission Expires: \_\_\_\_\_

Notary Public  
Residing at: \_\_\_\_\_

Bank of Utah hereby consents to the creation of this Subdivision and the grants, conveyances, and dedications contained herein.

Bank of Utah,  
A Utah corporation

By: \_\_\_\_\_  
Print Name: \_\_\_\_\_  
Title: \_\_\_\_\_

STATE OF UTAH )  
COUNTY OF \_\_\_\_\_ ) SS.

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, by \_\_\_\_\_ of Bank of Utah, a Utah corporation.

My Commission Expires: \_\_\_\_\_

Notary Public  
Residing at: \_\_\_\_\_



TOOELE COUNTY ENGINEERING	TOOELE COUNTY SURVEY DEPARTMENT	TOOELE COUNTY PLANNING COMMISSION	OFFICER, OQUIRRH MOUNTAIN WATER COMPANY	LAKE POINT IMPROVEMENT DISTRICT	NORTH TOOELE FIRE DISTRICT	BOARD OF HEALTH
APPROVED THIS _____ DAY OF _____ A.D., 2019.	APPROVED THIS _____ DAY OF _____ A.D., 2019.	APPROVED THIS _____ DAY OF _____ A.D., 2019.	APPROVED THIS _____ DAY OF _____ A.D., 2019.	APPROVED THIS _____ DAY OF _____ A.D., 2019.	APPROVED THIS _____ DAY OF _____ A.D., 2019.	APPROVED THIS _____ DAY OF _____ A.D., 2019.
TOOELE COUNTY ENGINEER	TOOELE COUNTY SURVEY DIRECTOR	CHAIRMAN, TOOELE COUNTY PLANNING COMMISSION	CHAIRMAN, LAKE POINT IMPROVEMENT DISTRICT	TOOELE COUNTY ATTORNEY	TOOELE COUNTY ATTORNEY	DIRECTOR, TOOELE COUNTY BOARD OF HEALTH

FINAL PLAT – LAKE POINT VISTAS PLAT 2  
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST  
HALF OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE  
BASE AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH

RECORDED ENTRY No. _____	RECORDED ENTRY No. _____
State of Utah, County of Tooele, Recorded and Filed at the request of: _____	State of Utah, County of Tooele, Recorded and Filed at the request of: _____
Date: _____ Time: _____ Book: _____ Page: _____	Date: _____ Time: _____ Book: _____ Page: _____
Fee \$ _____	Fee \$ _____
Date 05/15/2019	Date 05/15/2019
Proj. # 5570	Proj. # 5570
Sht 1	Sht 1
of 3	of 3

SURVEYOR'S CERTIFICATE

I, D. Gregg Meyers, a Professional Land Surveyor licensed under Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act holding License No. 312770, do hereby certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described hereon, and have subdivided said tract of land into Lots and streets (public rights-of-way), and that the same has been surveyed and staked on the ground as shown on this plat.

BOUNDARY DESCRIPTION

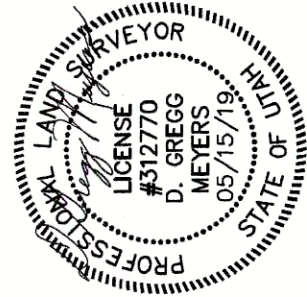
Beginning at the southwest corner of Lake Point Vistas Plat 1 as recorded in the Office of the Tooele County Recorder as Entry No. 282039, said point lies South 00°11'20" East 40.00 feet and East 40.00 feet from the West Quarter Corner of Section 11, T2S, R4W), and running thence along the south line of said Lake Point Vistas Plat 1 the following five (5) courses and distances: 1) South 89°48'40" East 306.28 feet, 2) South 85°29'20" East 60.17 feet, 3) South 89°48'40" East 561.14 feet, 4) North 79°24'49" East 61.08 feet and 5) South 89°48'45" East 297.05 feet to the southeast corner of said Lake Point Vistas Plat 1; thence South 00°11'15" West 1249.96 feet; thence North 89°31'58" West 1324.51 feet to west line of said Section 11, said point also being on the extension of the centerline of said 1200 East Street; thence North 89°58'12" West 40.00 feet to the southeast corner of Lake Point Estates Phase 2 as recorded in said office as Entry No. 293407 (said point also being on the extension of the west right-of-way line of said 1200 East Street), thence along the east line of said Lake Point Estates Phase 2, and the east line of said Lake Point Estates Phase 1, amended and extension of said west right-of-way line of said 1200 East Street, East 2021.63 feet to the south line of said Lake Point Vistas Plat 1 as defined in said Plat 1; and thence South 89°48'40" East 80.00 feet to the west line of said Lake Point Vistas Plat 1 (said line also being the east right-of-way line of said 1200 East Street); thence South 00°11'20" West along said west line 784.89 feet to the point of beginning.

Containing 1,753,843 Square Feet or 40,263 Acres, 34 Lots, 1 Open Space Parcel, and 4 streets.

REVIEW ONLY

Date: May 15, 2019

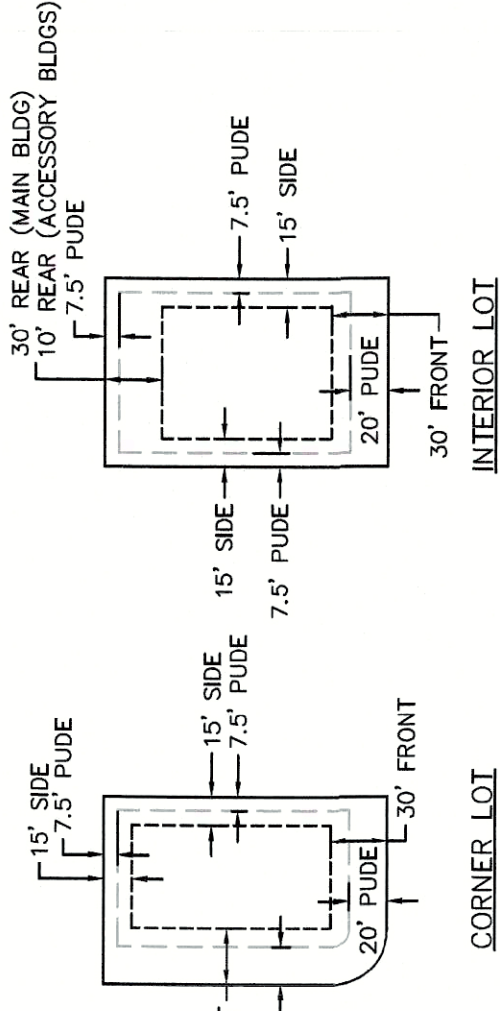
D. Gregg Meyers  
P.L.S. 312770



NOTES:

- The street monuments shown hereon are to be set as a part of any road construction done subsequent to the recording of this plat.
- Front and rear Lot corners will be located and marked on the ground with a 3/8"x24" rebar with a plastic cap labeled "BINGHAM ENG".
- Lots designated with (6) are restricted access. Lots 201–208 shall not access 1200 East Street.

TYPICAL SETBACK & PUDE DETAILS



RECEIVED  
MAY 15 2019  
SUBMITTAL # 194







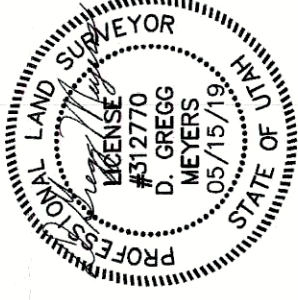
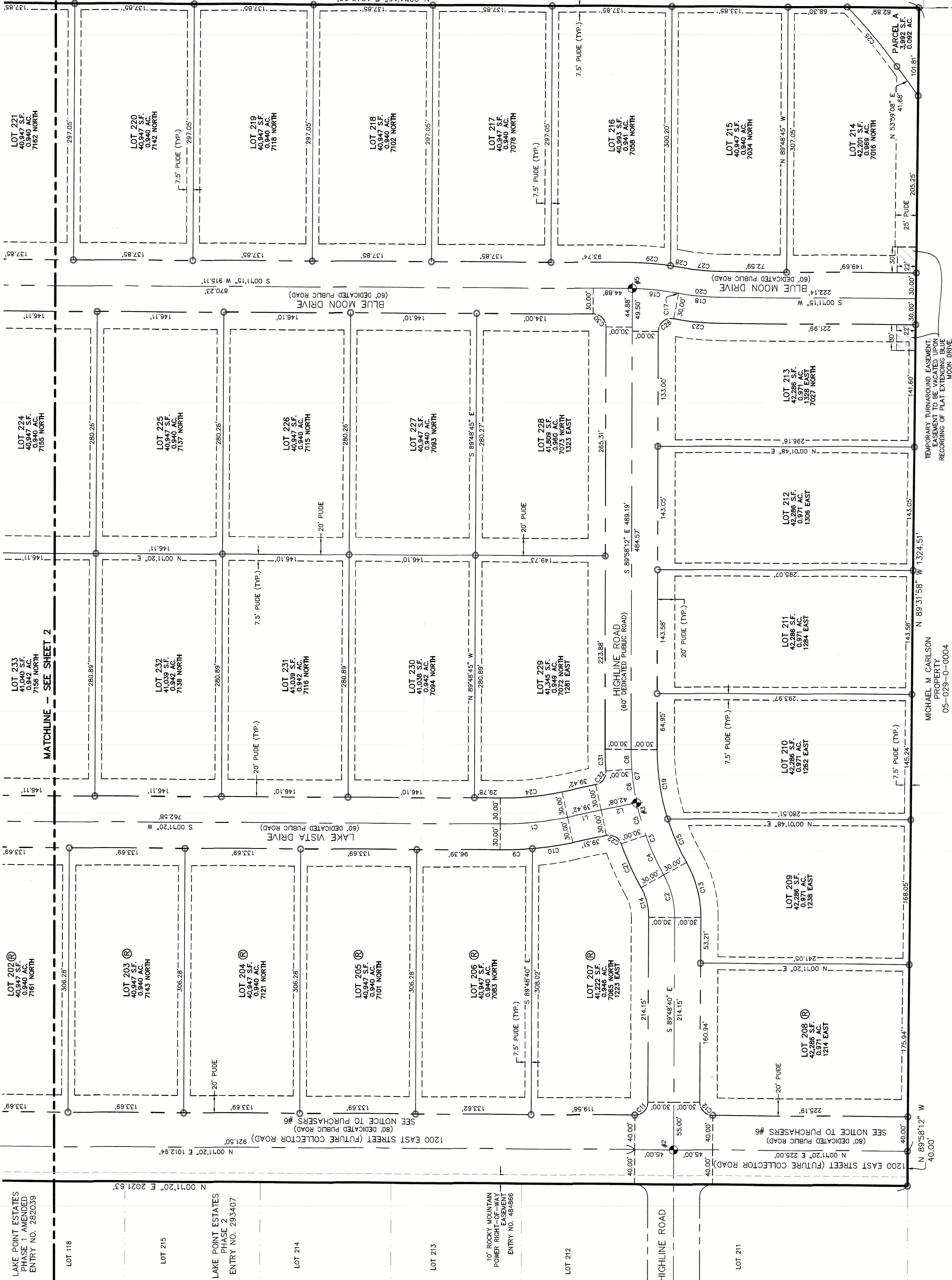
FINAL PLAT – LAKE POINT VISTAS PLAT 2  
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST  
HALF OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE  
AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH

NORTHWEST CORNER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 4 WEST,  
SALT LAKE BASE AND MERIDIAN  
TCS DEPENDENT RESURVEY MONUMENT  
1983 (EN 366758)  
W.C. TO NW CORNER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 4 WEST,  
SALT LAKE BASE AND MERIDIAN  
TCS 1984 DEPENDENT RESURVEY  
MONUMENT 1983 (EN 366758)  
S00°11'00"W 57.89'

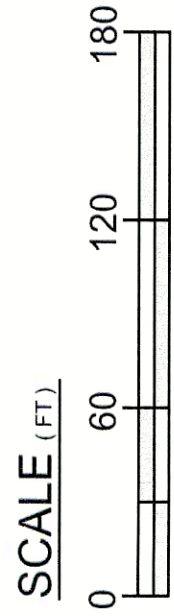
WEST QUARTER CORNER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 4 WEST,  
SALT LAKE BASE AND MERIDIAN  
TCS MONUMENT DEPENDENT RESURVEY  
1984 (EN 370362)

NOTE: POINT OF BEGINNING  
AT NORTHWEST CORNER  
OF LOT 201. SEE SHEET 2.

LAKE POINT ESTATES  
PHASE 1 AMENDED  
ENTRY NO. 282039



REVIEW ONLY



LEGEND:

- BLM 05-029-0029
- ALL SECTION CORNERS ARE TOOELE COUNTY DEPENDANT RESURVEY MONUMENTS UNLESS OTHERWISE NOTED
- STREET MONUMENT (TO BE SET OR AS NOTED)
- EXISTING STREET MONUMENT
- SET REBAR 5/8"x24" W/ CAP STAMPED "BINGHAM ENG."
- AT ALL LOT & BOUNDARY CORNERS
- RIGHT-OF-WAY DEDICATION BOUNDARY LINE
- SECTION LINE
- SUBDIVISION BOUNDARY LINE
- LOT LINE
- (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT
- ADJOINING LOT LINES
- CENTERLINE
- RESTRICTED ACCESS: LOTS 201-208 SHALL NOT ACCESS 1200 EAST STREET

FINAL PLAT – LAKE POINT VISTAS PLAT 2  
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST  
HALF OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE  
AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH

RECORDED ENTRY NO. \_\_\_\_\_  
State of Utah, County of Tooele,  
Recorded and Filed at the request of:  
Date: \_\_\_\_\_ Time: \_\_\_\_\_ Book: \_\_\_\_\_ Page: \_\_\_\_\_

Date 05/15/2019 Proj. # 5370 Sht 3 of 3  
Tooele County Recorder

**BINGHAM ENGINEERING**  
Design: JRL  
Drawn: JLS  
Checked: JRL  
Reviewed: JRL  
284 N. Main Street, Ste. 100, Salt Lake City, UT 84101  
(801) 532-2520 www.binghamnet.com



## OWNER'S DEDICATION, GRANT, AND DECLARATION

ALL MEN by these presents, that LAKE POINT VISTAS, L.C., a Utah limited liability company, ("Grantor"), the undersigned owner of the tract of land described herein under the heading "Boundary Description" (the "Tract"), hereby create a subdivision to be hereafter known as "Lake Point Vistas Plat 2" (the "Subdivision" or when referring to this document, the "Plat"), and, subject to the "Notice to Purchasers" contained herein and any matters of record, does hereby:

- Cause the Tract to be subdivided into lots (singularly, a "Lot", or if more than one, the "Lots").
1. Grant, convey and dedicate to Tooele County, a body corporate and politic (the "County") those areas identified on this Plat as "Dedicated Public Road".
  2. Grant, convey and dedicate to the County and to public and private providers of utility services perpetual, non-exclusive easements and rights-of-way, for the purpose of installing, maintaining, operating, and replacing buried utilities and facilities necessary or convenient to provide underground or buried utility services, over, through, and across Parcel A and all areas identified on this Plat as "PUDE" ("Public Utility and Drainage Easements").
  3. Grant, convey and dedicate to the County perpetual, non-exclusive easements and rights-of-way, for purposes of installing, repairing, maintaining, and replacing storm drainage conveyance, retention, and/or detention improvements or structures over, through, and across all areas identified on this Plat as PUDEs.
  4. Subject to the provisions of Item #3 hereinabove, Grant, convey, and dedicate Parcel A to the County as right-of-way for a future dedicated public road.

## NOTICE TO PURCHASERS

1. CC&Rs. The Lots and Parcels created by this Plat are subject to: (a) that certain "Declaration of Covenants, Conditions, and Easements for Lake Point Vistas" dated \_\_\_\_\_, 201\_\_\_\_, and re-recorded \_\_\_\_\_, 201\_\_\_\_, as Entry No. \_\_\_\_\_ in the Office of the Tooele County Recorder (the "Recorder's Office"), as further amended by that certain "Plat 2 Amendment to the Declaration of Covenants, Conditions, and Easements for Lake Point Vistas" dated \_\_\_\_\_, 201\_\_\_\_, and filed with the Recorder's Office on \_\_\_\_\_, 201\_\_\_\_, as Entry No. \_\_\_\_\_, as may be further amended from time to time (collectively, the "LPV Declaration"); and (b) that certain "Declaration of Covenants, Conditions and Restrictions for Water Conservation at Lake Point Vistas Plat 2" (the "Water Declaration") dated \_\_\_\_\_, 201\_\_\_\_, as recorded \_\_\_\_\_, 201\_\_\_\_, as Entry No. \_\_\_\_\_ in the Recorder's Office. The LPV Declaration and the Water Declaration are collectively referred to herein as the "CC&Rs". The CC&Rs specify, among other things, the manner in which approval for construction of all structures within the Plat will occur. No building permits may be applied for and no construction commenced until written approval under the CC&Rs of the building, drainage swale crossings, drainage retention, and site plans has been granted, stating that the plans comply with the applicable requirements of the CC&Rs.

water and the promotion of water conservation. The Lake Point area of the County which enjoys a semi-rural lifestyle, including the boarding, grazing, feeding, riding, and training of horses and other livestock, farm animals, and pets often found in rural areas (collectively, "Livestock"), and their attendant noises, odors, and sights. The C&Ts govern the degree to which Livestock may be permitted by the Owners within the Subdivision. Each Owner takes title to the Lots or Parcels with an acknowledgment that the Lake Point area surrounding the Subdivision is a rural area which allows Livestock and that such Owners hereby agree not to challenge, oppose, complain about, or otherwise try to prohibit, outlaw, or restrict Livestock in the Lake Point area. All run-off from any individual Lot shall be contained within such Lot by its owner. Runoff shall not be allowed to discharge onto adjacent Lots. Grading within each Lot will likely be required to contain runoff from the Lot, and shall be retained within the Lot, and shall be discharged into the drainage swales constructed along the Public Roads, or into the drainage channels constructed within the PUDE along the rear Lot lines.

[illegible]

IN WITNESS WHEREOF, we have hereunto set our hands this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_\_.

Lake Point Vistas, L.C., a Utah limited liability company

By: \_\_\_\_\_  
Christopher F. Robinson, Manager

By: \_\_\_\_\_  
Howard J. Schmidt, Manager

STATE OF UTAH )  
COUNTY OF \_\_\_\_\_ ) ss.

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 201\_\_\_\_, by Christopher F. Robinson and Howard J. Schmidt, as the Managers of Lake Point Vistas, L.C., a Utah limited liability company.

My Commission Expires:

Notary Public  
Residing at: \_\_\_\_\_

Bank of Utah hereby consents to the creation of this Subdivision and the grants, conveyances, and dedications contained herein.

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Title: \_\_\_\_\_

STATE OF UTAH )  
COUNTY OF ) ss. )

the foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 2019, by  
he \_\_\_\_\_ of Bank of Utah, a Utah corporation.

My Commission Expires:

Notary Public  
residing at: \_\_\_\_\_

TOOELE COUNTY ENGINEERING

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 2019.

\_\_\_\_\_  
TOOELE COUNTY ENGINEER

TOOELE COUNTY SURVEY DEPARTMENT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 2019,  
R.O.S.#: 2006-0078

TOOELE COUNTY SURVEY DIRECTOR

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D., 2019.

T IMPROVEMENT DISTRICT THIS _____ DAY OF _____ A.D. 20____	NORTH APPROVED _____ _____
LAKE POINT IMPROVEMENT DISTRICT TOOLEE COUNTY TREASURER APPROVED THIS _____ DAY OF _____ A.D. 2018.	_____ NO. _____ TOOLEE COUNTY TREASURER

TOOELE FIRE DISTRICT

THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_\_,

TOOELE COUNTY ATTORNEY \_\_\_\_\_

TOOELE FIRE DISTRICT \_\_\_\_\_

TOOELE COUNTY ATTORNEY \_\_\_\_\_

APPROVED AS TO FORM THIS \_\_\_\_\_  
DAY OF \_\_\_\_\_ A.D., 2019.

TOOELE COUNTY ATTORNEY \_\_\_\_\_

BOARD OF HEALTH

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

DIRECTOR: \_\_\_\_\_

DEPARTMENT OF COMMUNITY DEVELOPMENT

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 2018.

DIRECTOR OR PLANNER \_\_\_\_\_

PRELIMINARY PLAT – LAKE POINT VISTAS PLAT 2  
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST  
HALF OF SECTION 11, TOWNSHIP 36 NORTH, RANGE 12 WEST, LANE  
BASE AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH

---

RECORDED ENTRY No. \_\_\_\_\_

State of Utah, County of Tooele,  
Recorded and Filed at the request of: \_\_\_\_\_

Date: \_\_\_\_\_ Time: \_\_\_\_\_ Book: \_\_\_\_\_ Page: \_\_\_\_\_

---

Fee \$	Tooele County Recorder
Date 05/15/2019	Procl. # 5370
	Sheet of 1

SURVEYOR'S CERTIFICATE

I, Gregg Meyers, a Professional Land Surveyor licensed under Title 58, Chapter 22, Professional Land Surveyors, State of North Carolina, License No. 312770, do hereby certify that by the authority of the owners, I have made a survey of the tract of land shown on this plat and described hereon, and have subdivided said tract of land into Lots and streets (public rights-of-way), and that the same has been surveyed and staked on the ground as shown on this plat.

BOUNDARY DESCRIPTION	BOUNDARY TYPE	BOUNDARY VALUE
Top	Free	$\sigma_{zz} = \tau_{zx} = \tau_{zy} = 0$
Bottom	Fixed	$u = v = w = 0$
Left	Free	$\sigma_{xx} = \tau_{xy} = \tau_{xz} = 0$
Right	Free	$\sigma_{xx} = \tau_{xy} = \tau_{xz} = 0$
Front	Free	$\sigma_{yy} = \tau_{xy} = \tau_{yz} = 0$
Back	Free	$\sigma_{yy} = \tau_{xy} = \tau_{yz} = 0$

Beginning at the southwest corner of Lake Point lots Plat 1 as recorded in the Office of the Tooele County Recorder as Entry No. 468254, said plat lies on the extension of the east right-of-way line of 1200 East Street as defined in Lake Point Estates Phase 1 Amended as recorded in the Office of the Tooele County Recorder as Entry No. 282039, said point lies South 07°11'20" West along the section line 91.4 feet and extends East 40.00 feet from the West Quarter Corner of said Section 11, T2S, R4W, to the southeast corner of Lake Point Vistas Plat 1; thence North 89°58'12" East between the West Quarter Corner and Northwest Corner of said Section 11, T2S, R4W, and running thence along the south line of said Lake Point Vistas Plat 1 following the five (5) courses and distances: 1) South 89°48'40" East 306.28 feet, 2) South 85°29'20" East 63.748 feet, 3) South 89°48'40" East 561.14 feet, 4) North 79°24'43" East 61.08 feet, 5) South 89°48'45" East 297.05 feet to the southeast corner of said Lake Point Vistas Plat 1; thence South 07°11'15" West 1249.98 feet; thence North 89°31'58" West 1324.51 foot to west line of said Section 11, said point also being on the extension of the centerline of said 1200 East Street; thence North 89°58'12" West 40.00 feet to the southeast corner of Lake Point Estates Phase 2 as recorded in said office as Entry No. 283407 (said point also being on the extension of the west right-of-way line of said "1200 East Street"); thence along the east line of said Lake Point Estates Phase 2, and the east line of said Lake Point Estates Phase 1 Amended and extension of said East Street right-of-way line 120.00 feet East to the southeast corner of said Lake Point Estates Phase 1 Amended as recorded in said Plat 1. And notice that said 1200 East Street dedicated as shown and defined in said Plat 1 runs North 89°48'40" East along the east line of said South 07°11'20" West line of said Lake Point Vistas Plat 1 (said line also being the east right-of-way line of said 1200 East Street); thence South 07°11'20" West along said west line 44.58 feet to the point of beginning.

Containing 1,753,843 Square Feet or 40.263 Acres, 34 Lots, 1 Open Space Parcel, and 4 streets.

## REVIEW ONLY

Date: May 15, 2019

D. Gregg Meyers  
P.L.S. 312770

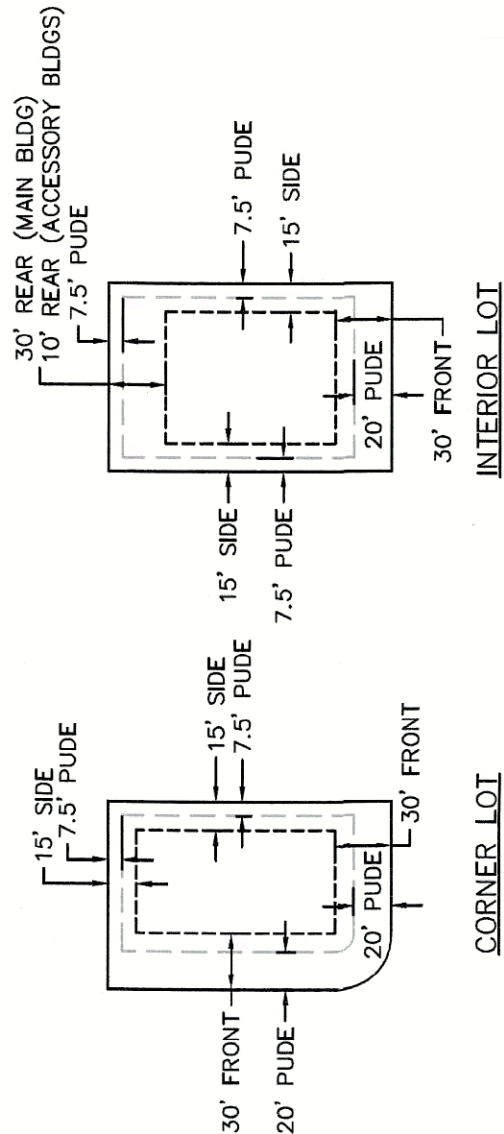
D. Gregg Meyer  
P.L.S. 312770

D. Gregg Meyer  
P.L.S. 312770

**NOTES:**

- 1.) The street monuments shown herein are to be set as a part of any road construction done subsequent to the recording of this plat.
- 2.) Front and rear Lot corners will be located and marked on the ground with a 5/8"x24" rebar with a plastic cap labeled "BINGHAM ENG."
- 3.) Lots designated with (R) are restricted access. Lots 201-208 shall not access 1200 East Street.

## TYPICAL SETBACK & PUDE DETAILS





NORTHWEST CORNER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 4 WEST,  
SALT LAKE BASE AND MERIDIAN  
TCS 1984 DEPENDENT RESURVEY  
MONUMENT 1983 (EN 366758)  
S0011'00" W 57.89'  
(BASIS OF BEARING)  
N 0011'20" E 2655.40'  
(COR. TO COR.)

W.C. TO NW CORNER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 4 WEST,  
SALT LAKE BASE AND MERIDIAN  
TCS 1984 DEPENDENT RESURVEY  
MONUMENT 1983 (EN 366758)  
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(COR. TO COR.)

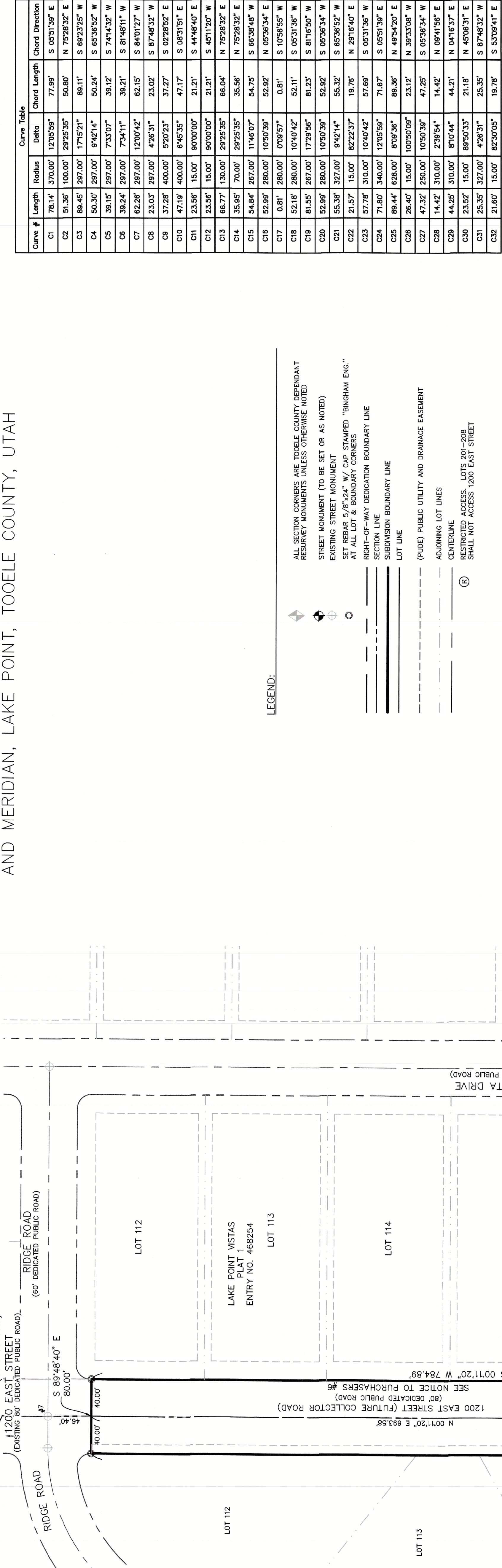
W.C. TO NW CORNER OF SECTION 11,  
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(COR. TO COR.)

# PRELIMINARY PLAT – LAKE POINT VISTAS PLAT 2

## A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST HALF OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH



ALL SECTION CORNERS ARE TOOELE COUNTY DEPENDANT RESURVEY MONUMENTS UNLESS OTHERWISE NOTED

EXISTING STREET MONUMENT

SET REBAR 5/8"x24" W/ CAP STAMPED "BINGHAM ENG."

AT ALL LOT & BOUNDARY CORNERS

RIGHT-OF-WAY DEDICATION BOUNDARY LINE

SECTION LINE

SUBDIVISION BOUNDARY LINE

LOT LINE

(PUE) PUBLIC UTILITY AND DRAINAGE EASEMENT

ADJOINING LOT LINES

CENTERLINE

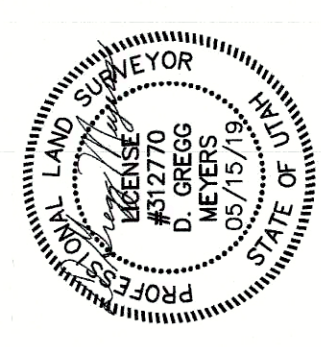
RESTRICTED ACCESS: LOTS 201-208 SHALL NOT ACCESS 1200 EAST STREET

LEGEND:

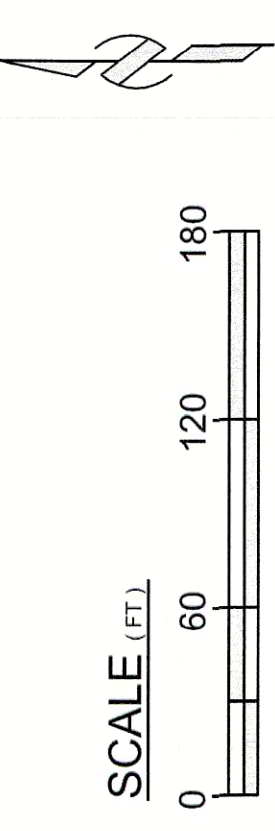
Line #	Direction	Length
L1	S 11°54'39" E	36.51'
L2	S 11°54'39" E	41.98'

STREET MON. #	Direction	Length	STREET MON. #
#1	S 0011'20" W	1027.94'	#2
#1	N 0011'20" E	729.98'	#7
#2	N 83°51'34" E	404.04'	#3
#3	N 01°15'15" W	1053.03'	#4
#3	N 89°48'40" E	595.91'	#5
#4	S 89°48'40" E	621.13'	#6
#5	N 0011'15" E	1054.58'	#6

Curve #	Length	Radius	Delta	Chord Length	Chord Direction
C1	78.14'	370.00'	12°05'59"	77.98'	S 05°51'39" E
C2	51.36'	100.00'	29°25'35"	50.80'	N 75°28'32" E
C3	88.45'	297.00'	17°52'21"	88.11'	S 69°23'25" W
C4	50.30'	297.00'	9°42'14"	50.24'	S 65°36'52" W
C5	39.15'	297.00'	7°33'07"	39.12'	S 74°14'32" W
C6	39.24'	297.00'	7°34'11"	39.21'	S 81°48'11" W
C7	62.28'	297.00'	12°00'42"	62.15'	S 84°01'27" W
C8	37.28'	400.00'	5°20'23"	37.27'	S 02°28'52" E
C9	47.19'	400.00'	6°45'35"	47.17'	S 08°31'51" E
C10	23.56'	15.00'	90°00'00"	21.21'	S 44°48'40" E
C12	23.56'	15.00'	90°00'00"	21.21'	S 45°11'20" W
C13	66.77'	130.00'	29°25'35"	66.04'	N 75°28'32" E
C14	35.95'	70.00'	29°25'35"	35.56'	N 75°28'32" E
C15	54.84'	267.00'	11°46'07"	54.75'	S 66°38'48" W
C16	52.98'	280.00'	10°50'39"	52.92'	N 05°36'34" E
C17	0.81'	280.00'	0°09'57"	0.81'	S 10°56'55" W
C18	52.18'	280.00'	10°40'42"	52.11'	S 05°31'36" W
C19	81.55'	267.00'	17°29'56"	81.23'	S 81°16'50" W
C20	52.89'	280.00'	10°50'39"	52.92'	S 05°36'34" W
C21	55.39'	327.00'	9°42'14"	55.32'	S 65°36'52" W
C22	21.57'	15.00'	82°22'37"	19.78'	N 29°16'40" E
C23	57.78'	310.00'	10°40'42"	57.69'	S 05°31'36" W
C24	71.80'	340.00'	12°05'59"	71.67'	S 05°51'39" E
C25	88.44'	628.00'	8°09'36"	88.36'	N 49°54'20" E
C26	26.40'	15.00'	100°50'08"	23.12'	N 39°33'08" W
C27	47.32'	250.00'	10°50'39"	47.25'	S 05°36'34" W
C28	14.42'	310.00'	2°39'54"	14.42'	N 09°41'56" E
C29	44.25'	310.00'	8°10'44"	44.21'	N 04°16'37" E
C30	23.52'	15.00'	86°50'33"	21.18'	N 45°06'31" E
C31	25.35'	327.00'	4°26'31"	25.35'	S 87°48'32" W
C32	21.60'	15.00'	82°30'05"	19.78'	S 53°09'41" E



REVIEW ONLY



PRELIMINARY PLAT – LAKE POINT VISTAS PLAT 2  
A SUBDIVISION LOCATED IN THE EAST HALF OF SECTION 10 AND THE WEST HALF OF SECTION 11, TOWNSHIP 2 SOUTH, RANGE 4 WEST, SALT LAKE BASE AND MERIDIAN, LAKE POINT, TOOELE COUNTY, UTAH

RECORDED ENTRY NO. \_\_\_\_\_  
State of Utah, County of Tooele,  
Recorded and Filed at the request of:  
Date: \_\_\_\_\_ Time: \_\_\_\_\_ Book: \_\_\_\_\_ Page: \_\_\_\_\_  
Tooele County Recorder

MATCHLINE – SEE SHEET 3

**BINGHAM**  
ENGINEERING

201 N. 1000 E. SUITE 100  
MIDWINTER, UT 84044  
(901) 532-2520  
www.binghamnet.com

Design: JRL  
Drawn: JJS  
Checked: JRL  
Reviewed: JRL

Design: JRL  
Drawn: JJS  
Checked: JRL  
Reviewed: JRL



PRELIMINARY PLAT – LAKE POINT VISTAS PLAT 2  
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NORTHWEST CORNER OF SECTION 11,  
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SALT LAKE BASE AND MERIDIAN  
TCS DEPENDENT RESURVEY MONUMENT  
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TCS 1984 DEPENDENT RESURVEY  
MONUMENT 1983 (EN 366758)  
S0011°00'W 57.89'

WEST QUARTER CORNER OF SECTION 11,  
TOWNSHIP 2 SOUTH, RANGE 4 WEST,  
SALT LAKE BASE AND MERIDIAN  
TCS MONUMENT DEPENDENT RESURVEY  
1984 (EN 370362)

LAKE POINT ESTATES  
PHASE 1 AMENDED  
ENTRY NO. 282039

LOT 118

LOT 215

LAKE POINT ESTATES  
PHASE 2  
ENTRY NO. 293407

LOT 214

LOT 213

10' ROCKY MOUNTAIN  
POWER RIGHT-OF-WAY  
EASEMENT  
ENTRY NO. 406066

LOT 212

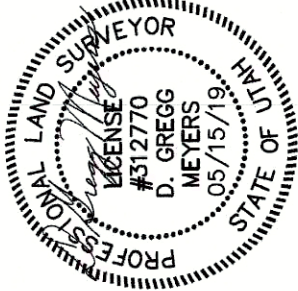
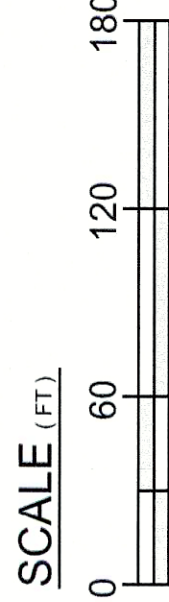
HIGHLINE ROAD

LOT 211



NOTE: POINT OF BEGINNING  
AT NORTHWEST CORNER  
OF LOT 201. SEE SHEET 2.

REVIEW ONLY



LEGEND:

- BLM 05-029-0029
- ALL SECTION CORNERS ARE TOOELE COUNTY DEPENDANT RESURVEY MONUMENTS UNLESS OTHERWISE NOTED
- STREET MONUMENT (TO BE SET OR AS NOTED)
- EXISTING STREET MONUMENT SET REBAR 5/8" X 24" W/ CAP STAMPED "BINGHAM ENG." AT ALL LOT & BOUNDARY CORNERS
- RIGHT-OF-WAY DEDICATION BOUNDARY LINE
- SECTION LINE
- SUBDIVISION BOUNDARY LINE
- LOT LINE
- (PUDE) PUBLIC UTILITY AND DRAINAGE EASEMENT
- ADJOINING LOT LINES
- CENTERLINE
- RESTRICTED ACCESS: LOTS 201-208 SHALL NOT ACCESS 1200 EAST STREET

RECEIVED  
MAY 15 2019

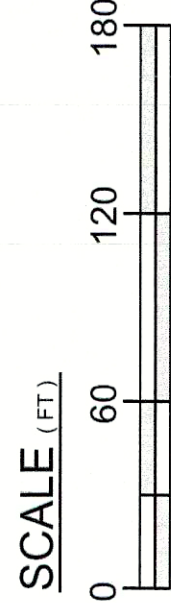
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Date: \_\_\_\_\_ Time: \_\_\_\_\_ Book: \_\_\_\_\_ Page: \_\_\_\_\_

Date 05/15/2019 Proj. # 5370 Sht 3 of 3  
Tooele County Recorder



REVIEW ONLY

MICHAEL M. CARLSON  
PROPERTY  
05-029-0-0004

TEMPORARY TURNAROUND EASEMENT,  
EASEMENT TO BE VACATED UPON  
RECORDING OF PLAT EXTENDING BLUE  
MOON DRIVE.

Design: JRL  
Drawn: JRL  
Checked: JRL  
Reviewed: JRL  
BINGHAM ENGINEERING  
2814 West 2000 South, Suite 100  
Salt Lake City, UT 84119  
(801) 532-2520 www.binghamnet.com



# LAKE POINT VISTAS, L.C.

## LAKE POINT VISTAS PLAT 2

### TOOELE COUNTY, UT



#### SHEET LAYOUT

G-00  
G-01  
G-02

TITLE SHEET  
GENERAL NOTES  
SHEET INDEX

—DETAILS—  
ROADWAY CROSS SECTIONS  
WATER DETAILS  
MISC. DETAILS  
SEWER DETAILS  
PRV DETAILS

D1  
D2  
D3  
D4  
D5

#### —STREET PLAN & PROFILE—

LAKE VISTA DRIVE — STA: 20+00 TO STA: 24+40  
LAKE VISTA DRIVE — STA: 24+40 TO STA: 29+40  
HIGHLINE ROAD — STA: 10+00 TO STA: 13+00  
HIGHLINE ROAD — STA: 13+00 TO STA: 18+00  
HIGHLINE ROAD — STA: 18+00 TO STA: 20+06  
BLUE MOON DRIVE — STA: 59+40 TO STA: 64+00  
BLUE MOON DRIVE — STA: 64+00 TO STA: 69+00  
BLUE MOON DRIVE — STA: 69+00 TO STA: 74+00  
1200 EAST STREET — STA: 21+00 TO STA: 26+00  
1200 EAST STREET — STA: 26+00 TO STA: 31+00  
1200 EAST STREET — STA: 31+00 TO STA: 36+00  
1200 EAST STREET — STA: 36+00 TO STA: 41+00  
OFFSITE SEWER — STA: 20+00 TO STA: 24+20

PP01  
PP02  
PP03  
PP04  
PP05  
PP06  
PP07  
PP08  
PP09  
PP10  
PP11  
PP12  
PP13

MASTER UTILITY PLAN  
MASTER GRADING & DRAINAGE PLAN  
SIGNAGE PLAN

M1  
M2  
M3

—SWPPP—  
STORM WATER POLLUTION  
PREVENTION PLAN

SW1

LAKE POINT VISTAS L.C.  
925 WEST 100 NORTH SUITE F  
NORTH SALT LAKE, UT 84054

TOOELE COUNTY ROADS DEPARTMENT APPROVAL

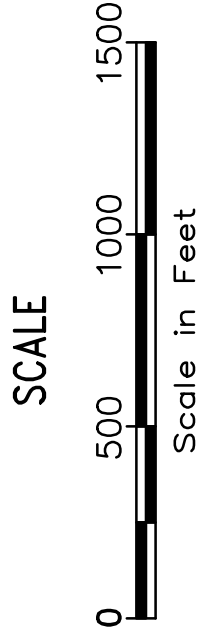
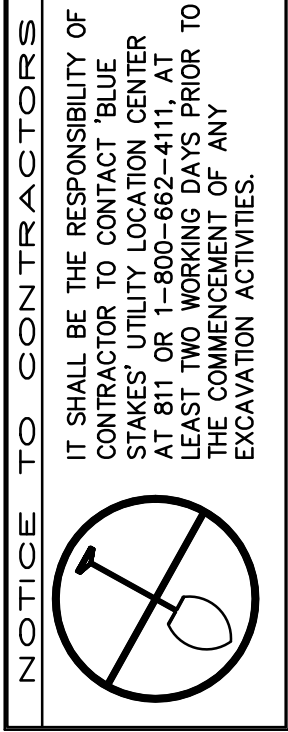
OCQUIRHH MOUNTAIN WATER COMPANY APPROVAL

LAKE POINT IMPROVEMENT DISTRICT APPROVAL

TOOELE COUNTY BUILDING & DEVELOPMENT SERVICES

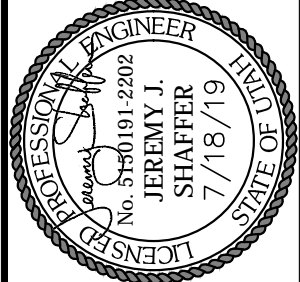
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BY THE TOOELE COUNTY BUILDING & DEVELOPMENT SERVICES

DIRECTOR, TOOELE COUNTY BUILDING & DEVELOPMENT SERVICES



REV.	BY	DATE	DESCRIPTION
D	JJS	07/18/19	COUNTY SUBMITTAL
C	JJS	07/01/19	LPID REVIEW
B	JJS	04/01/19	COUNTY RE-SUBMITTAL
A	JJS	11/01/18	COUNTY SUBMITTAL

07/18/2019 jeremyf:\5370\CAD\Ph2\5370Ph2\_Cover&Notes.dwg

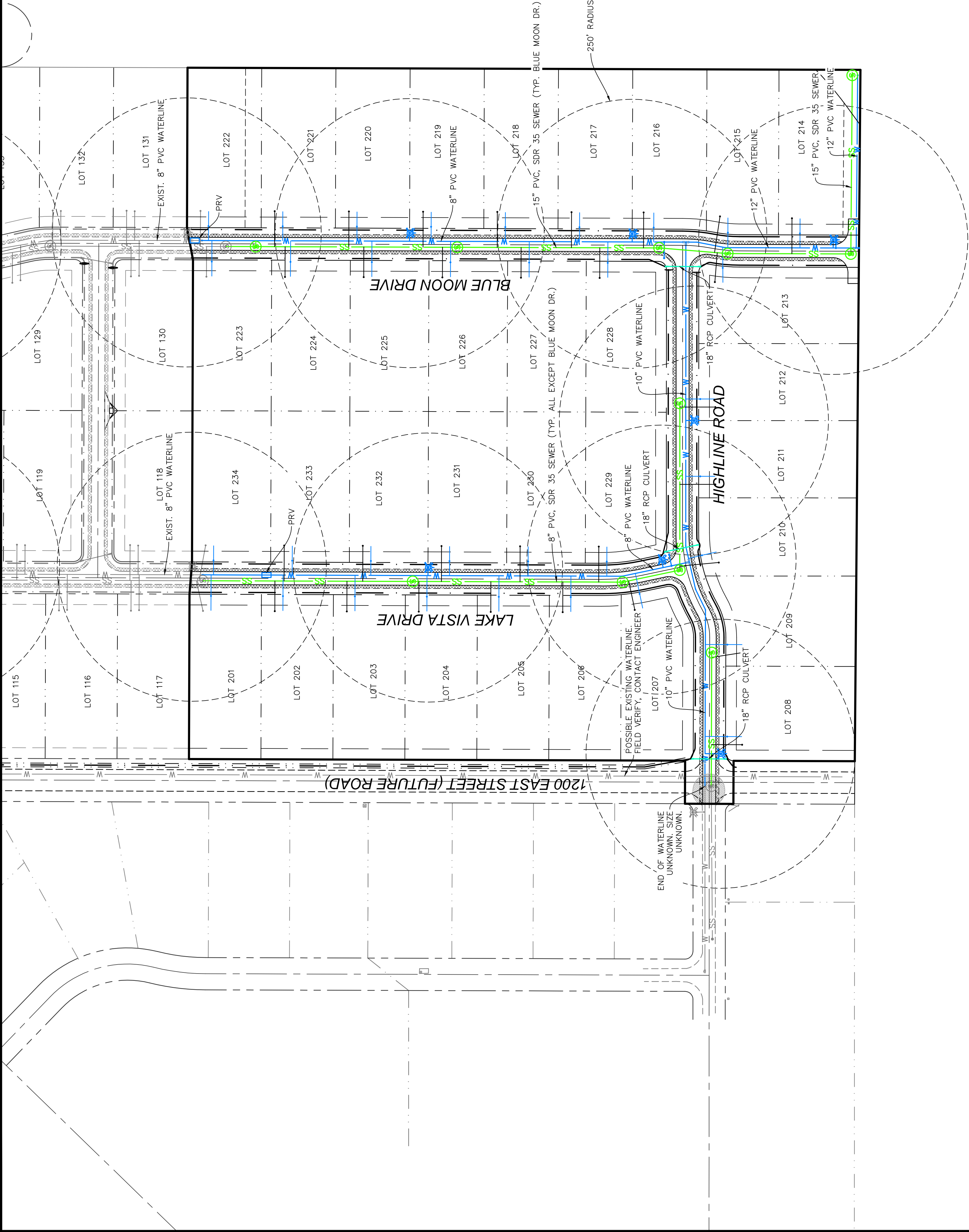


PREPARED BY:  
**PBINGHAM**  
**ENGINEERING**  
262 WRIGHT BROTHER DRIVE  
SALT LAKE CITY, UTAH 84116

LAKE POINT VISTAS PLAT 2  
VICINITY MAP & INDEX SHEET

Sht  
**G-00**  
of  
3

LAKE POINT VISTAS, L.C.  
LAKE POINT VISTAS PLAT 2

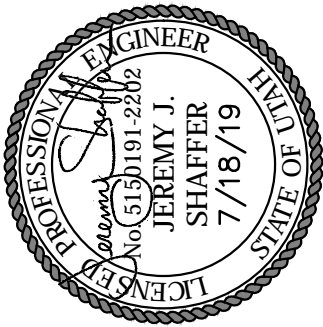
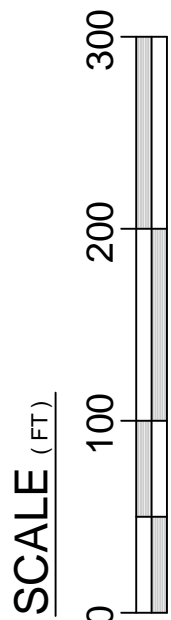


NOTES:

- 1. POWER, GAS, CABLE AND PHONE WILL BE LOCATED IN 20' RUDE IN FRONT OF EACH LOT.
- 2. THE "MANUAL OF STANDARD PLANS" AND "THE MANUAL OF STANDARD SPECIFICATIONS" BY THE UTAH CHAPTER, AMERICAN PUBLIC WORKS ASSOCIATED GENERAL CONTRACTORS, 2017 EDITION ARE ADOPTED IN ITS ENTIRETY.
- 3. ALL SEWER LATERALS TO BE 4" Ø.
- 4. ALL CULINARY WATER LATERALS TO BE 1"Ø TUBING, WITH A METER SETTER FOR 3/4" X 5/8" METER. METER SETTER TO HAVE CONNECTIONS FOR 1" CTS TUBING.

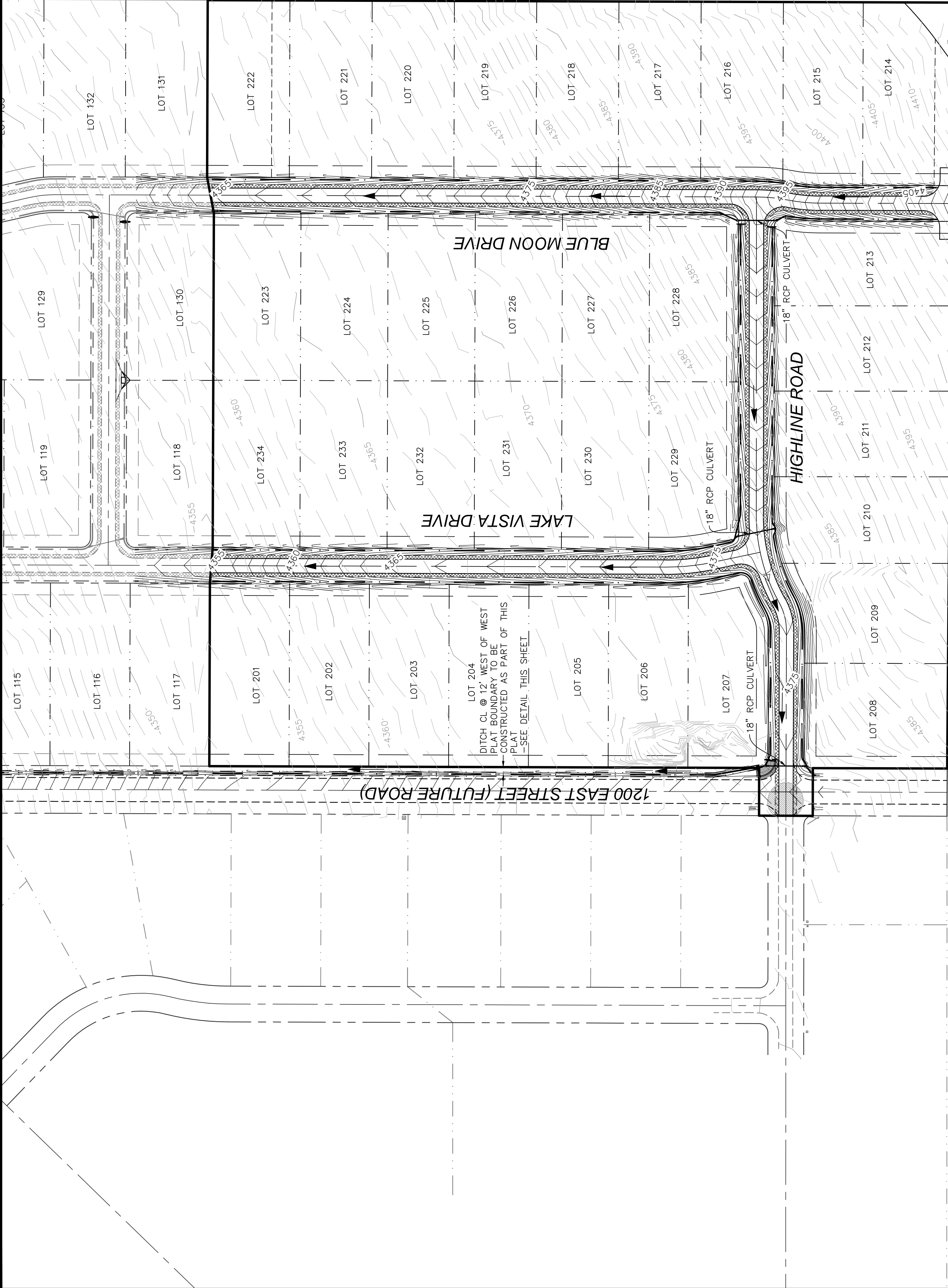
LEGEND

- PROPOSED WATERLINE
- EXISTING WATERLINE
- PROPOSED SANITARY SEWER
- EXISTING SANITARY SEWER
- PROPOSED STORM DRAIN
- EXISTING STORM DRAIN
- PROPOSED DITCH
- EXISTING DITCH
- GRAVEL SHOULDER
- PROPOSED CENTERLINE
- EXISTING CENTERLINE
- PROPOSED ROW
- EXISTING RIGHT OF WAY
- PROPOSED LOT LINE
- SEWER MANHOLE
- FIRE HYDRANT



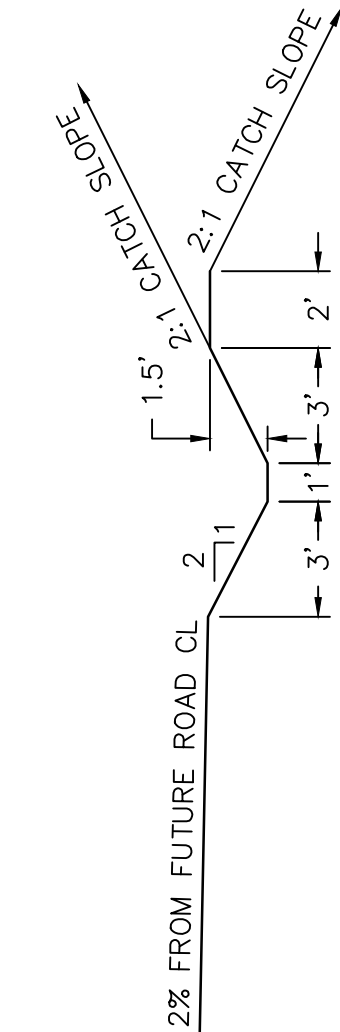
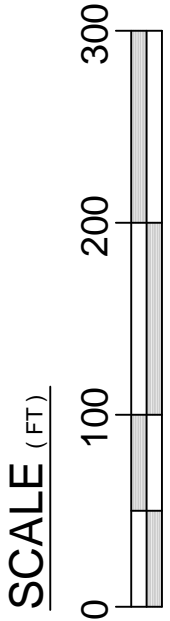
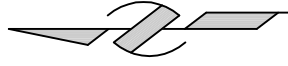
LAKE POINT VISTAS, L.C.		LAKE POINT VISTAS PLAT 2		MASTER UTILITY PLAN		<b>PBINGHAM</b> ENGINEERING SALT LAKE CITY • (801) 522-2520 OGDEN • (801) 399-1662	Den: JJS Drw: JJS Chk: JRL Rvw: JRL	SH <b>M1</b> of 3	Print Date: 07/18/2019 Created: 10/01/18 Proj. # 5370	Copyright © 2019 Bingham Engineering, Inc. Drawing not to be reused in part or in whole without written permission.	F:\5370\CAD\Plat2\5370Ph2 Utility Plan.dwg
D	JJS	07/18/19	COUNTY SUBMITTAL								
C	JJS	07/01/19	LPID REVIEW								
B	JJS	04/01/19	COUNTY RE-SUBMITTAL								
A	JJS	11/01/18	COUNTY SUBMITTAL								
Rev.	By	Date	Remarks								



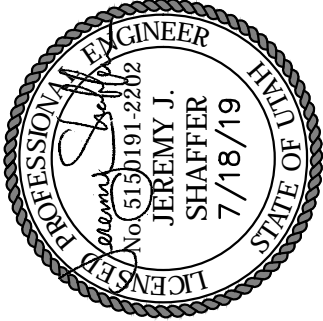


NOTES:

- 1. ALL DRAINAGE CHANNELS WILL ULTIMATELY DISCHARGE INTO A RETENTION POND LOCATED IN THE NORTHWEST CORNER OF PLAT 1. REFER TO THE DRAINAGE REPORT PREPARED FOR PLAT 1 THAT ADDRESSES THE DRAINAGE FOR BOTH PLATS 1 AND 2.
- 2. RETENTION FOR THE ENTIRE LOT MUST BE PROVIDED BY EACH HOME BUILDER. RETENTION PROVIDED BY ROADSIDE DITCHES IS ONLY FOR ROAD RUN OFF.
- 3. LOT GRADING IS TO BE DEVELOPED BY THE HOME BUILDER AND APPROVED BY THE COUNTY DURING THE BUILDING PERMIT APPROVAL PROCESS.



1200 EAST STREET DITCH



LAKE POINT VISTAS, L.C.

LAKE POINT VISTAS PLAT 2

MASTER GRADING & DRAINAGE PLAN

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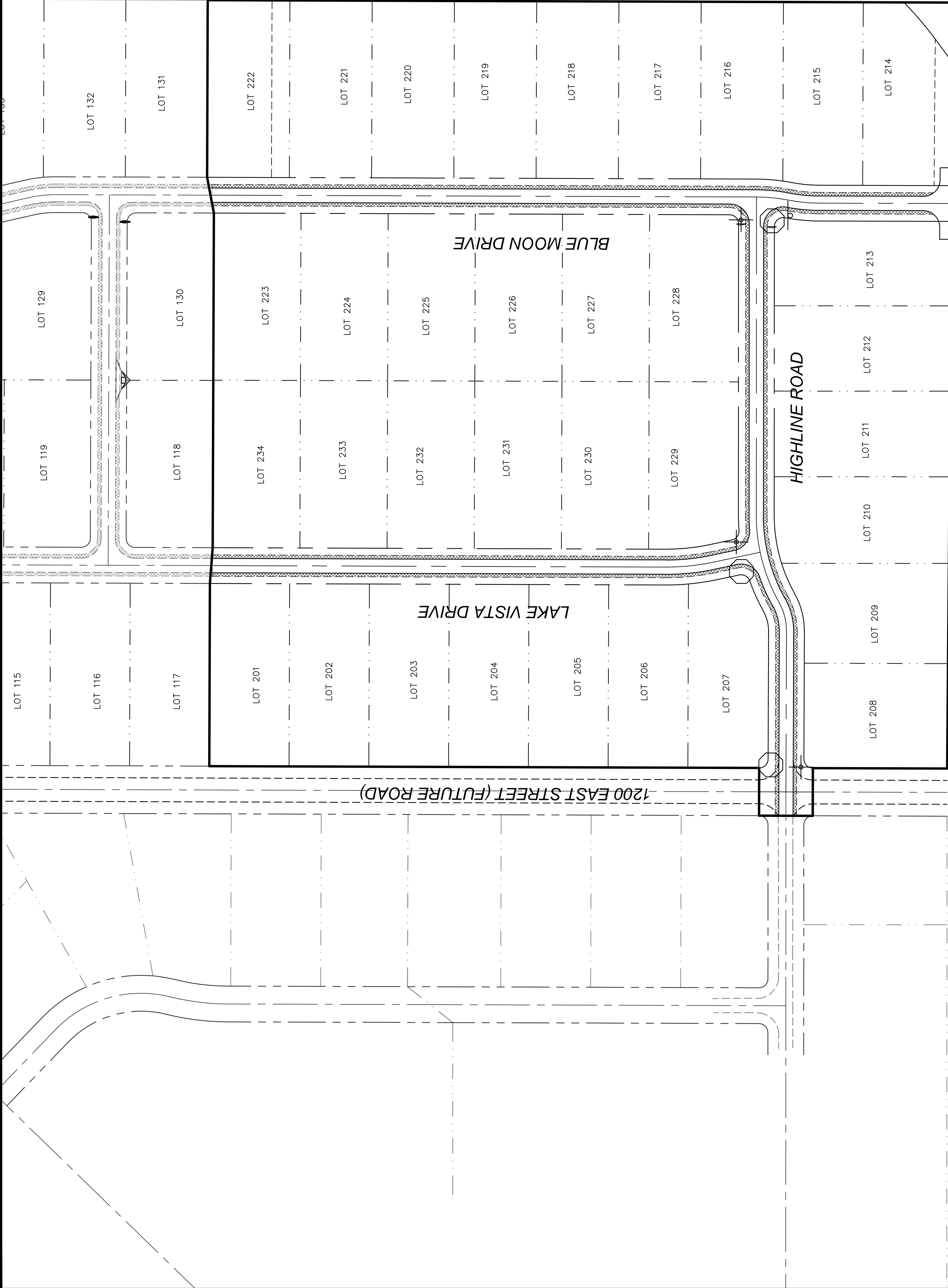
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**M2**  
of 3

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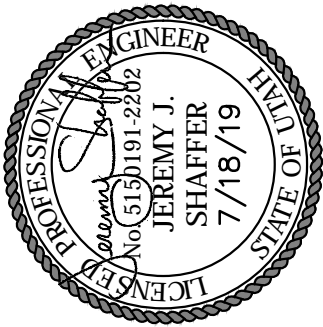
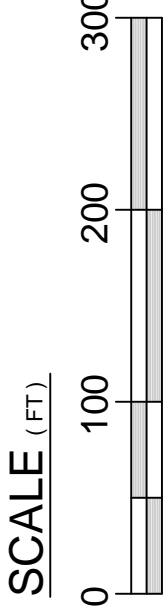
Rev.	By	Date	Remarks
D	JUS	07/18/19	COUNTY SUBMITTAL
C	JUS	07/01/19	LPID REVIEW
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A	JUS	11/01/18	COUNTY SUBMITTAL



PROPOSED END OF ROAD SIGNS (THREE)



PROPOSED STOP SIGN  
PROPOSED STREET SIGN  
PROPOSED DEAD END SIGN  
PROPOSED END OF ROAD SIGN



LAKE POINT VISTAS, L.C.  
LAKE POINT VISTAS PLAT 2  
MASTER SIGNAGE PLAN

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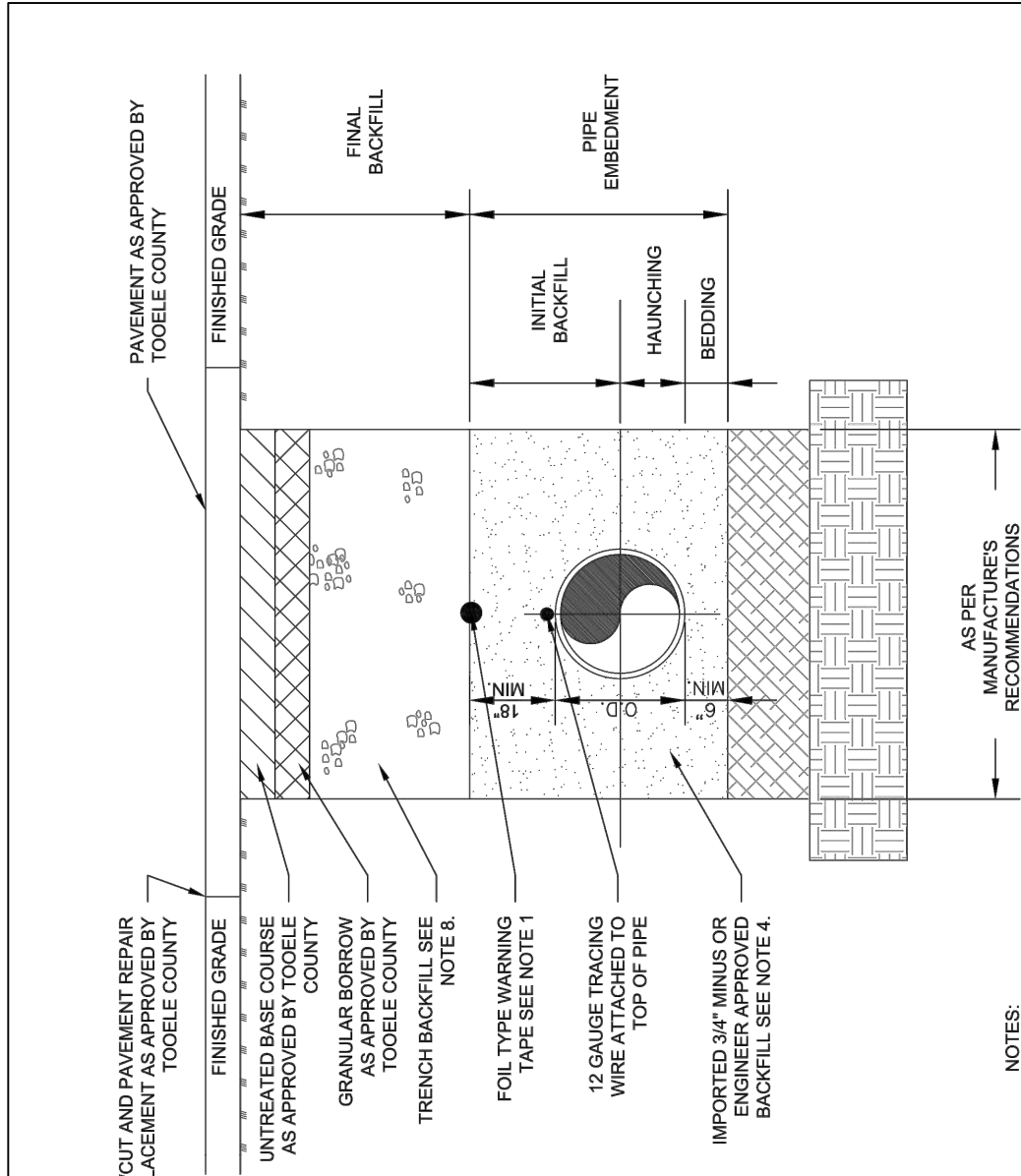






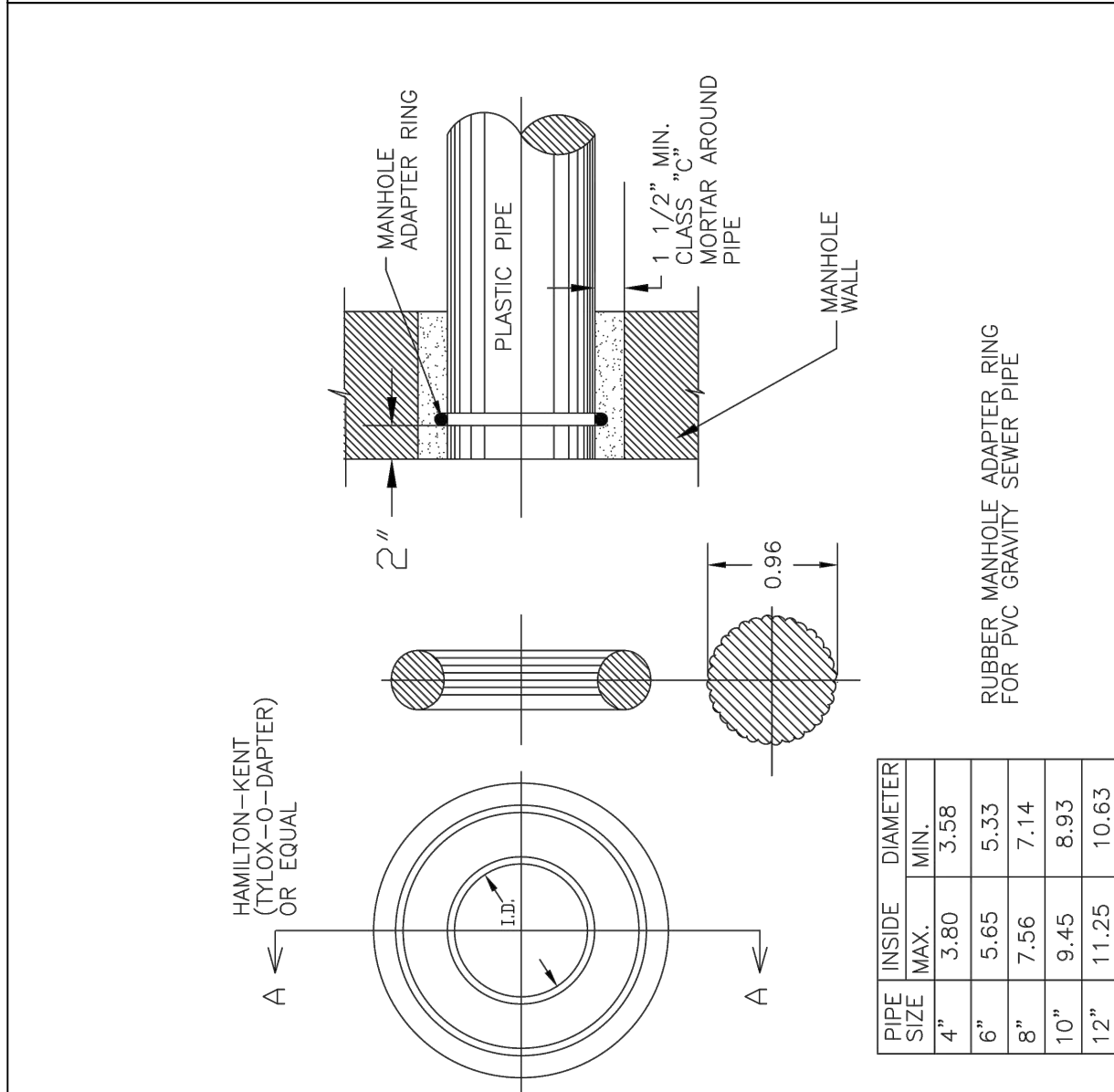
NOTES:

1. All sewer mains and appurtenances shall be designed, constructed, tested, and placed in service in accordance with all applicable laws, rules, regulations, ordinances, and requirements including, but not limited to, the requirements of OSHA, the State Division of Water Quality, and Lake Point Improvement District. All work shall be performed in accordance with these requirements, the requirements of the most recent editions of the Utah Chapter of the American Public Works Association (APWA) Manual of Standard Specifications and Manual of Standard Plans, and the Recommended Standards for Wastewater Facilities (a.k.a. Ten States Standards) unless specific written approval has been obtained from the District Engineer. In the event of a conflict, the District Engineer shall be notified in writing of the conflict, and shall respond in writing to resolve the conflict.
2. If ground water is present, pumps with well points along the trench shall be required to minimize water intrusion at a level below the working area at all times. Ground water shall only be evacuated to an approved discharge point, and shall not impact adjacent property owners. If discharge is made to a storm drain facility, it shall be approved by Tooele County, and adequate erosion and sediment control may be required.
3. When ground water is present all manhole section joints and boots shall be sealed with a flexible joint sealant (Mastic) per ASTM C990 and ASTM C991. All manhole sections shall have an asphalt-based coating and District approved poly-wrap. All manholes shall be inspected prior to installation.
4. No public sewer facilities shall be constructed on any private property unless specific written approval has been obtained from the District Engineer.
5. Any flushing into the sanitary sewer system is strictly prohibited.
6. Sewer pipelines shall be PVC ASTM D 3034 with integral bell and gasket joints, with gasketed joints and a standard dimension ratio (SDR) of 35. When other materials are required, the use of such materials shall be subject to the written approval of the District Engineer.
7. Manhole steps shall be provided for all manholes. Manhole steps shall begin not more than 12 inches above the floor and end not more than 12 inches below the rim. Manhole steps shall be spaced not more than one foot on center.
8. The location of the stub ends of all laterals shall be marked in the field (see detail) extending from the end of the lateral to a minimum of three feet above the ground surface. The 24" x 48" post shall be placed at the end of the lateral and shall be maintained at the project site showing accurate locations of all lateral connections measured from the nearest manhole and all lateral stubs measured from the nearest property line. No laterals shall be directly connected to manholes. Sewer laterals shall be stubbed to or beyond the far side of the Public Utility Easements (P.U.E's).
9. Following placement of asphalt, all sewer lines shall be flushed and cleaned, and all manhole lids adjusted to finish grade in accordance with the requirements herein.
10. Prior to paving deflection testing shall be performed on all flexible pipe no sooner than 30 days after the final backfill has been placed. Testing shall be performed using a mandrel with a diameter equal to 95 percent of the inside diameter of the pipe. Flexible sewer pipeline not meeting the requirements of the deflection test shall not be accepted by the District.



- NOTES:
1. UTILITY RINGS REQUIRE A MINIMUM TYPE 5. SQUEEZE AND/OR PEA GRAVEL ARE NOT ALLOWED WITHIN THE PIPE ZONE.
  2. TRENCH BACKFILL AND COMPACTION IS SUBJECT TO APPROVAL BY THE DISTRICT ENGINEER.
  3. SEE TOOELE COUNTY SPECIFICATIONS FOR ASPHALT TYPE AND INSTALLATION REQUIREMENTS.
  4. WITHIN PUBLIC RIGHTS-OF-WAY, REPAIRS, REPLACEMENT, AND ALL OTHER WORK SHALL BE CONDUCTED IN ACCORDANCE WITH TOOELE COUNTY STANDARDS.
  5. THE 3/4\"/>

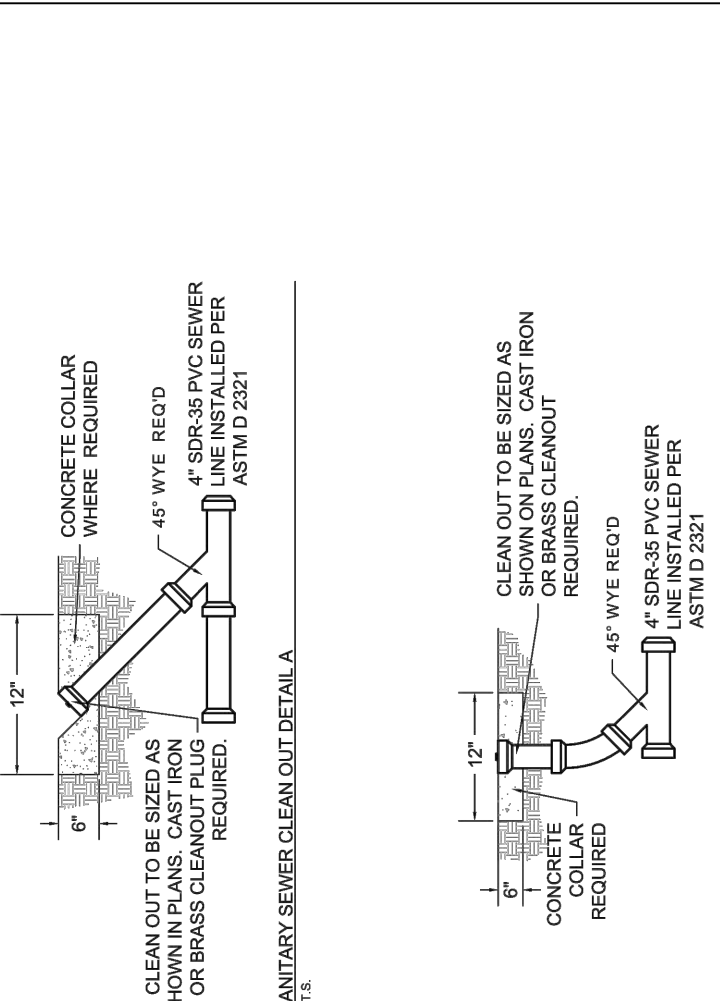
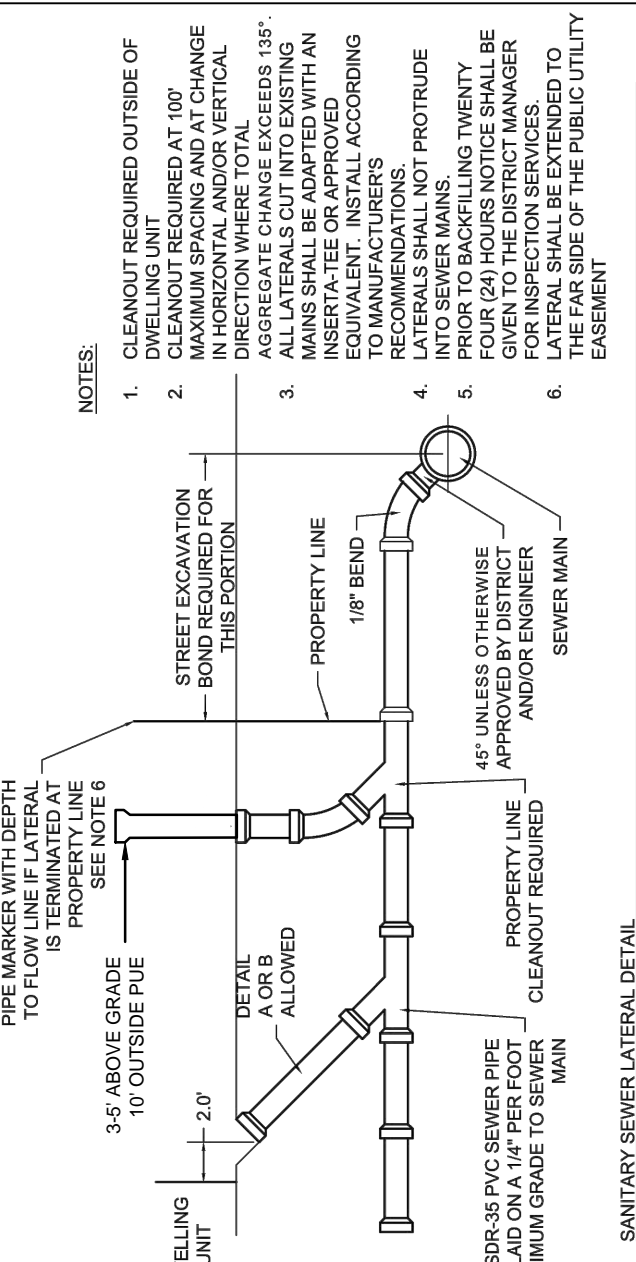
STANDARD DRAWING	UTILITY TRENCH DETAIL	02/16/2016
206	NOT TO SCALE	LAKE POINT IMPROVEMENT DISTRICT



PIPE SIZE	INSIDE DIA.	DIAMETER
4"	MIN.	3.36
6"	5.65	5.33
8"	7.56	7.14
10"	9.45	8.93
12"	11.25	10.83

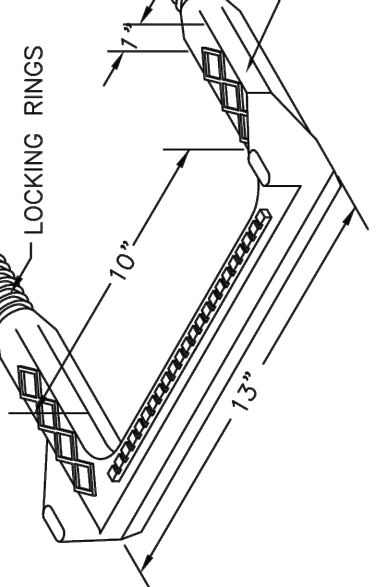
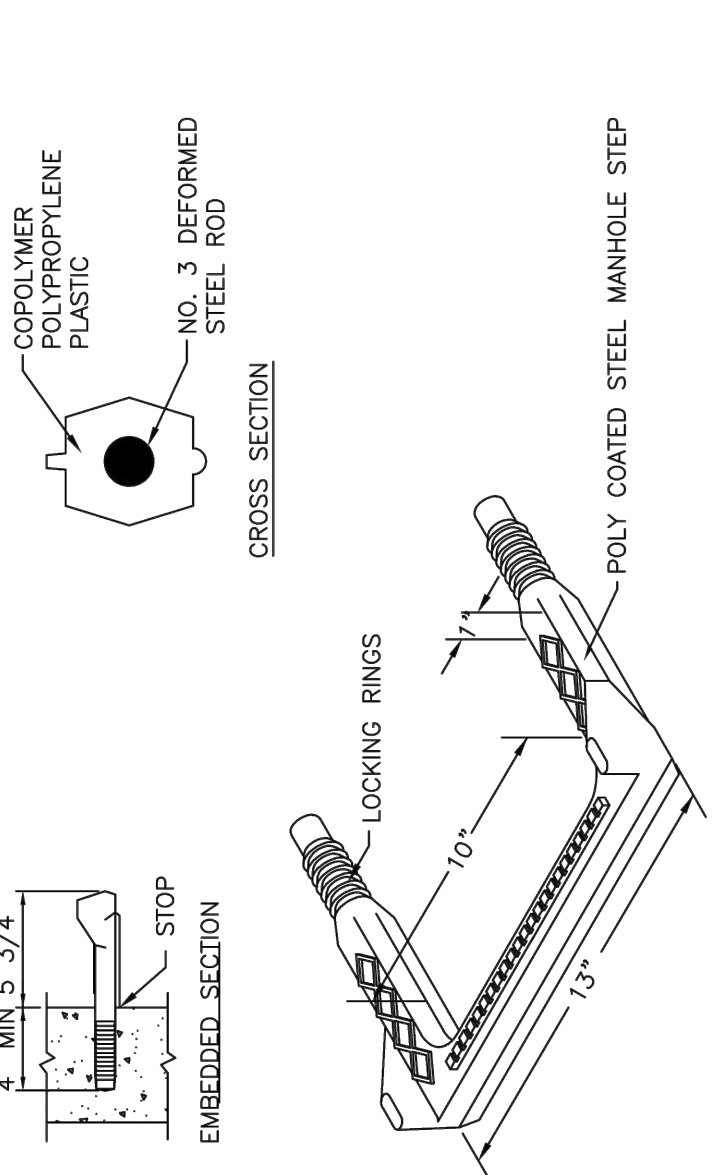
- NOTES:
- 1- FLAT OR CLEANED LID ACCEPTABLE.
  - 2- MEET TRAFFIC HB 20 RATING MIN.
  - 3- FILL ANNUAL SPACE AROUND FRAME AND COVER WITH CONCRETE. APPLY A BROOM FINISH. APPLY A CURING AGENT.

STANDARD DRAWING	MANHOLE COVER DETAILS	02/16/2016
202	NOT TO SCALE	LAKE POINT IMPROVEMENT DISTRICT

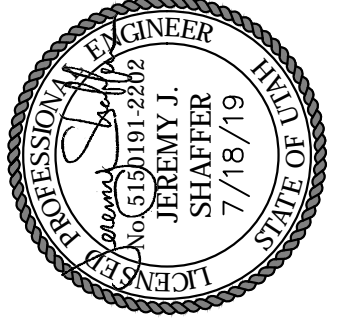


STANDARD DRAWING	SEWER LATERAL AND CLEANOUT DETAIL	02/16/2016
205	NOT TO SCALE	LAKE POINT IMPROVEMENT DISTRICT

1. ALL MANHOLE STEPS SHALL PROTRUDE 5" FROM INSIDE FACE OF THE STRUCTURE WALL AND SHALL BE EMBEDDED A MINIMUM OF 4" INTO THE STRUCTURE WALL.
2. MANHOLE STEPS SHALL BE CAPABLE OF WITHSTANDING A SINGLE CONCENTRATED LOAD OF 300 POUNDS APPLIED AT A DISTANCE OF 5" FROM THE FACE OF THE STRUCTURE WALL.
3. STEPS ARE TO BE VERTICALLY ALIGNED AND UNIFORMLY SPACED WITH A MINIMUM SPACING OF 12" AND A MAXIMUM SPACING OF 16".
4. MANHOLE STEPS MAY BE CAST-IN-PLACE, OR GROUTED INTO STRUCTURE WALL IN SUCH A MANNER AS TO PREVENT PULLOUT UNDER A LOAD OF 300 POUNDS APPLIED 5" FROM THE FACE OF THE STRUCTURE WALL.
5. STEEL REINFORCING OF MANHOLE STEPS SHALL CONFORM TO ASTM DESIGNATION A-615, GRADE 60 PLASTIC COATING OF MANHOLE STEPS SHALL CONFORM TO ASTM DESIGNATION D-2146, TYPE II GRADE 16806.
6. DIMENSIONS SHOWN MAY VARY ACCORDING TO MANUFACTURERS DESIGN.

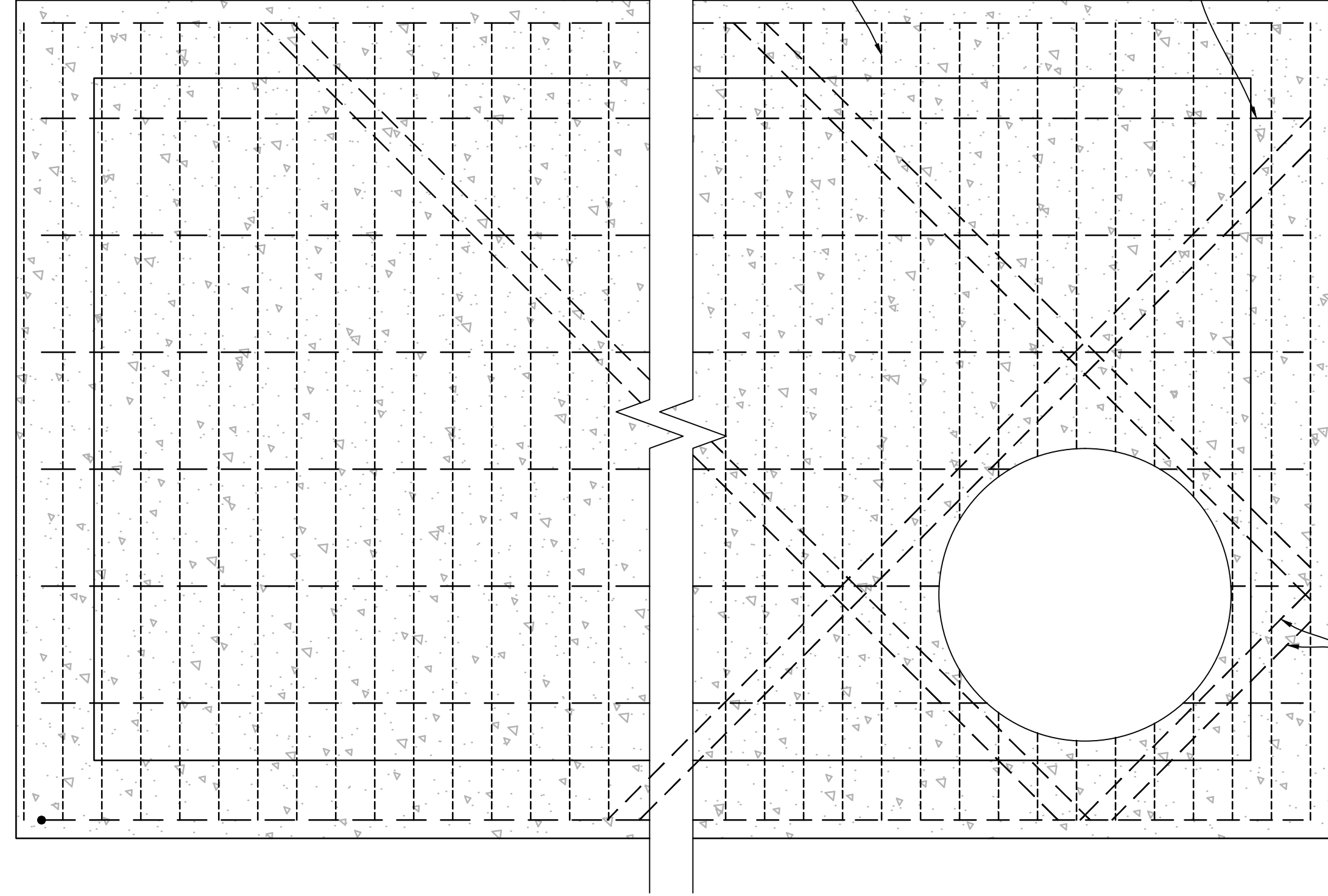


STANDARD DRAWING	MANHOLE STEP DETAIL	02/16/2016
204	NOT TO SCALE	LAKE POINT IMPROVEMENT DISTRICT

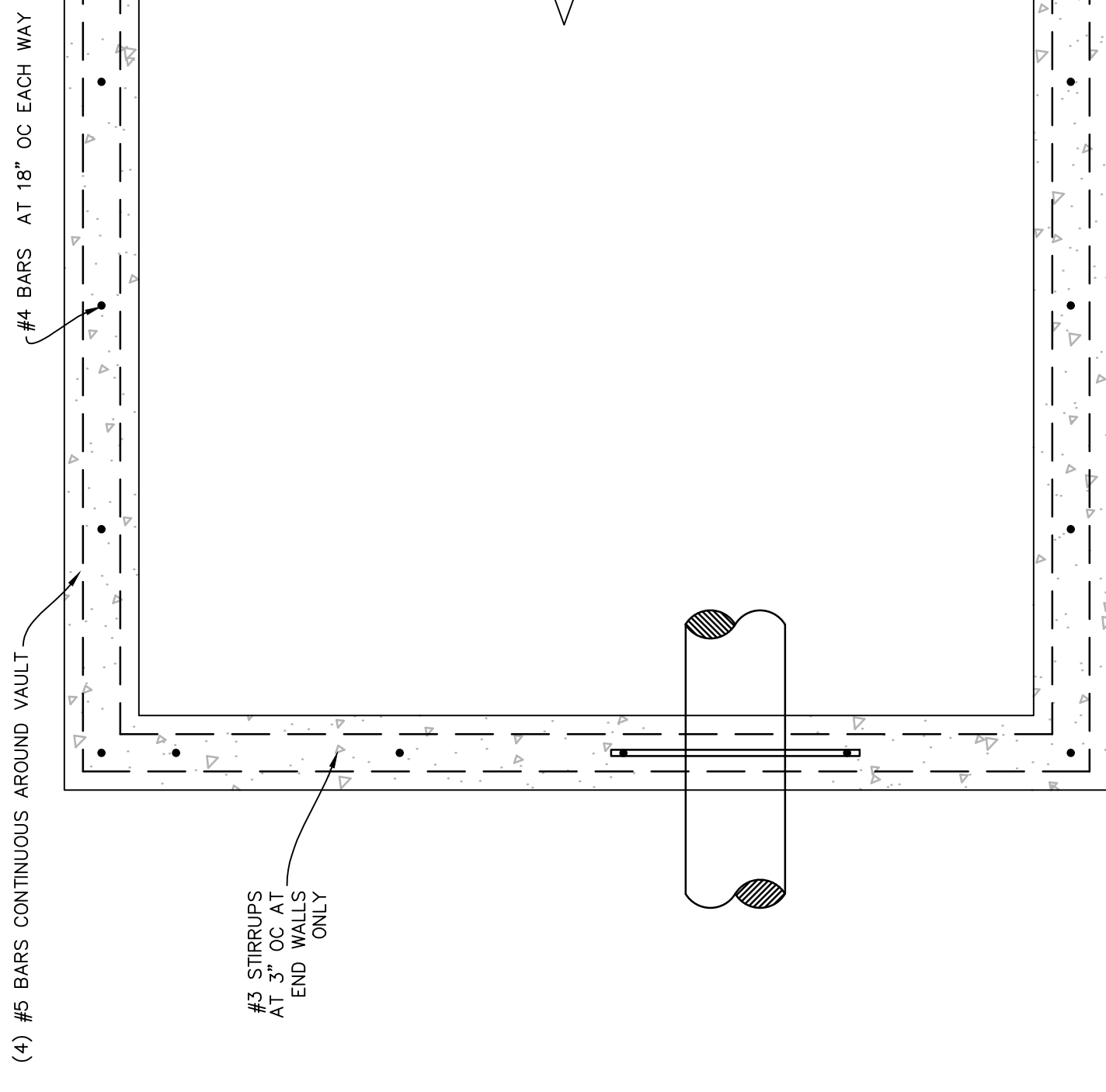


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C	J	07/01/19	LPID REVIEW
B	J	04/01/19	COUNTY RE-SUBMITTAL
A	J	11/01/18	COUNTY SUBMITTAL
Rev.	By	Date	Remarks
LAKE POINT VISTAS, L.C.			
LAKE POINT VISTAS PLAT 2			
STANDARD DETAILS			
SEWER DETAILS			
SHEET			
D4			
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Dan: AEP			
Chk: JRL			
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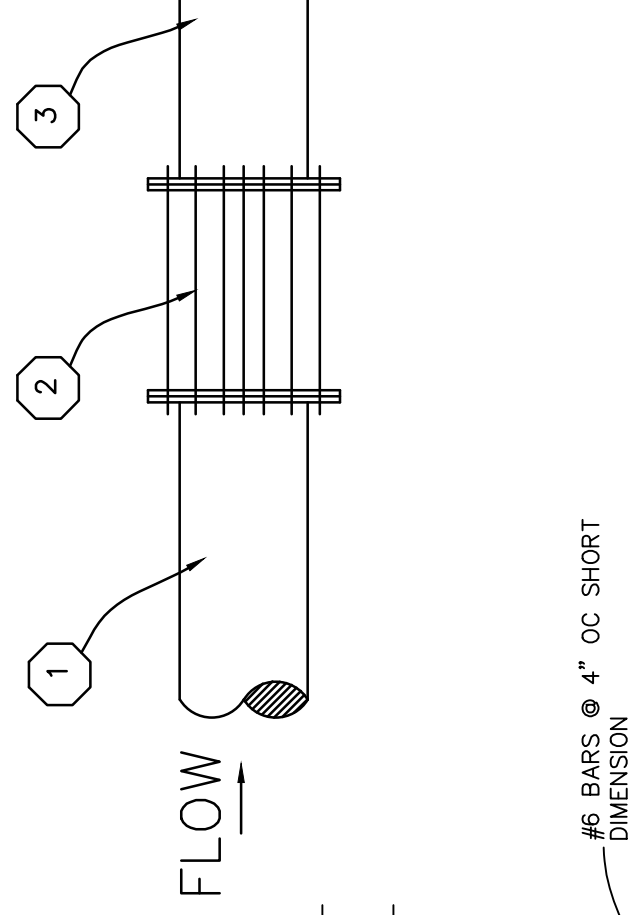


VAULT TOP PLAN VIEW



PLAN VIEW

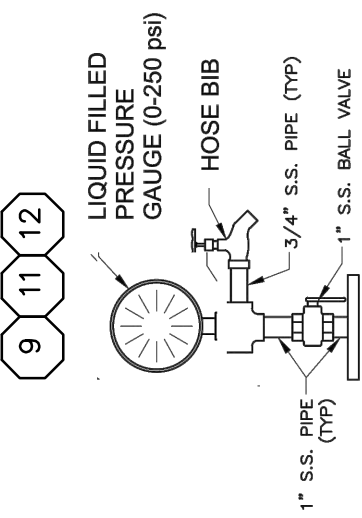
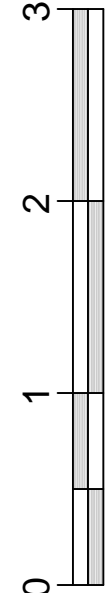
- CONCRETE NOTES
1. CONCRETE SHALL OBTAIN THE MINIMUM 28-DAY STRENGTH REQUIREMENTS OF 4,000 PSI
  2. MAXIMUM SLUMP FOR CONCRETE WITHOUT PLASTICIZERS IS 4.5 INCH MAXIMUM
  3. MAXIMUM AGGREGATE SIZE SHALL BE 3/4" FOR ALL CONCRETE.
  4. ALL CONCRETE SHALL HAVE AN AIR ENTRAINMENT OF  $6\% \pm 1\%$ .
  5. PROPORTIONING OF BATCH MIX SHALL BE IN ACCORDANCE WITH ASTM C-94 AND ALL MIX DESIGNS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO ANY CONCRETE PLACEMENT.
  6. NO FREE VERTICAL DROP OF MORE THAN 6' SHALL BE ALLOWED FOR CONCRETE PLACEMENT. VIBRATORS SHALL NOT BE USED TO TRANSPORT CONCRETE.
  7. LAP SPLICES, BAR SUPPORTS, BAR TIES AND BAR COVERAGE SHALL BE IN ACCORDANCE WITH CURRENT ACI AND CRSI STANDARDS, UNLESS OTHERWISE NOTED. NO WELDED SPLICES SHALL BE ALLOWED ( #5 BARS - 42" MIN, #6 BARS - 71" MIN).
  8. ALL REINFORCING STEEL SHALL BE GRADE 60 BILLET STEEL AND SHALL CONFORM TO ASTM A615-09.
  9. ALL REINFORCING STEEL SHALL BE SECURELY TIED AND HELD IN PLACE.
  10. NO CONCRETE SHALL BE PLACED UNTIL THE FORMS AND REINFORCING STEEL (WHERE APPLICABLE) HAVE BEEN PLACED, INSPECTED AND APPROVED.



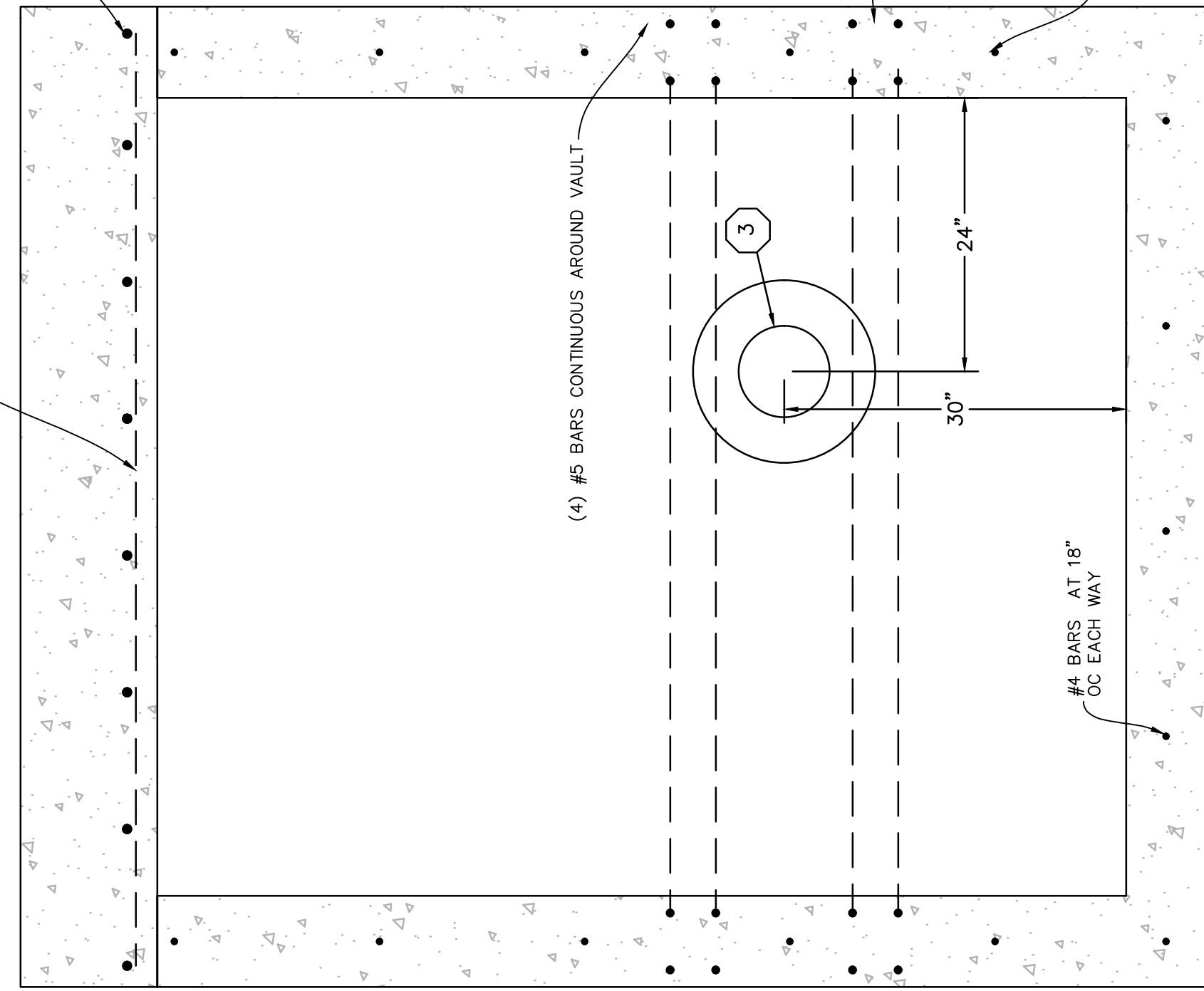
#6 BARS @ 4" OC SHORT DIMENSION

## PRESSURE REDUCING STATION

SCALE (FT.)



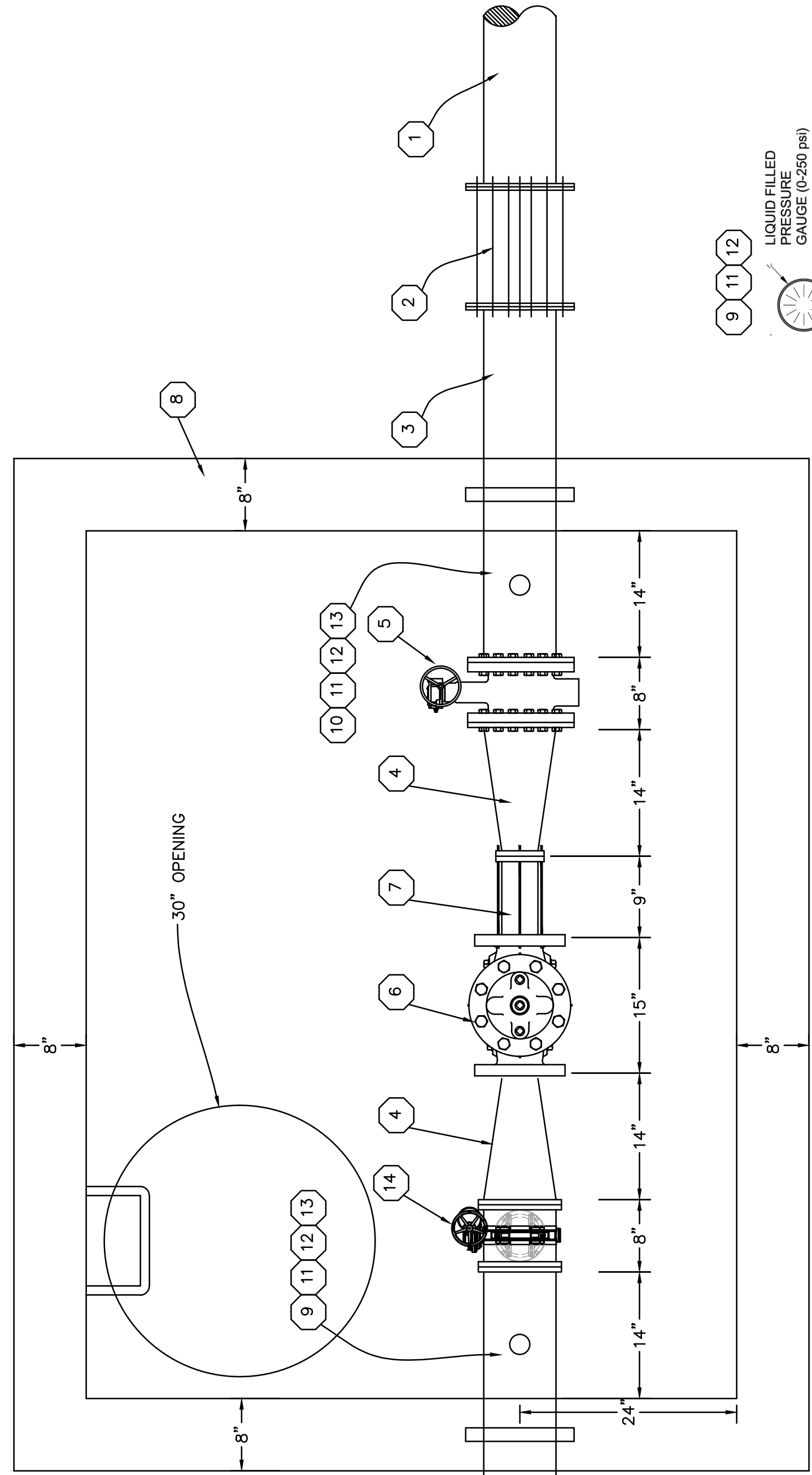
#6 BARS @ 4" OC SHORT DIMENSION



(4) #5 BARS CONTINUOUS AROUND VAULT. MINIMUM LAP SPLICE FOR #5 BARS IS 42"

#4 BARS AT 18" OC EACH WAY

#3 STIRRUPS AT 3" OC WELDED WALLS ONLY



## NOTES:

1. VAULT SHALL BE CONSTRUCTED TO ALLOW IT TO BE RELOCATED IN THE FUTURE IF NECESSARY.
2. ALL EXCAVATION BACKFILL W/ SELECT GRANULAR MATERIAL AND COMPACTION TO BE INCLUDED IN UNIT PRICE.
3. LOCATION OF VAULT TO BE DETERMINED AFTER ALIGNMENT OF THE 8" MAIN IS DETERMINED.
4. PLACE PRECAST VAULT ON 12" OF COMPACTED 3" CRUSHED ROCK. BACKFILL VAULT EXCAVATION WITH SELECT GRANULAR IMPORT MATERIAL.
5. INSTALL GRADE RINGS AS REQUIRED TO BRING MANHOLE TO 6" ABOVE GRADE. GRADE TO DIRECT WATER AWAY FROM MANHOLE.
6. INSTALL PIPE SUPPORTS AS REQUIRED.
7. USE STAINLESS STEEL BOLTS FOR ALL FLANGED FITTINGS IN VAULT.
8. COAT ALL BURED DUCTILE IRON FITTINGS WITH SPRAY-ON UNDERDRAINING MATERIALS. SECURE ALL BOLTS WITH FUL GREASE AND WRAP FITTING WITH POLYETHYLENE SHEETING
9. INSTALL TRACER WIRE FROM VAULT TO VALVE BOX ON MAIN. EXTEND TRACER WIRE TO INSIDE OF VALVE BOX. BRING THE WIRE THROUGH THE 12" BORED PILE. SECURE WIRE TO FITTING AND BENDS TO ASSURE WIRE FOLLOWS PIPING.

### LAKE POINT VISTAS PLAT 2 PRESSURE SUSTAINING / PRESSURE REDUCING VALVE STATION BILL OF MATERIALS

ITEM	DESCRIPTION	QUANTITY
1	8" C-900 PVC PIPING	-
2	8" COUPLER - ROMAC 501 OR APPROVED EQUAL FOR BURIED SERVICE, WITH GASKETS FOR CDD (PVC) AND IPS (WALL PIPE)	2
3	8" WELDED STEEL WALL PIPE 1/2" X 48" LONG, WITH 20" DIAMETER, 1/2" THICK WALL PLATE WELDED TO THE PIPE 1/8" FROM THE FLANGE, WITH A 1" THREADED TAP WELDED TO THE TOP OF THE PIPE AT A DISTANCE OF 6" FROM THE REAR OF THE FLANGE. PIPE TO BE EPOXY COATED AND LINED AFTER FABRICATION.	2
4	8" X 4" FLANGED CONCENTRIC REDUCER	2
5	8" FLANGED ANWA C-504 BUTTERFLY VALVE WITH HAND WHEEL VALMATIC 2022/IC6A.XF OR APPROVED EQUAL	1
6	4" FLANGED SINGER PRESSURE REDUCING/PRESSURE SUSTAINING VALVE WITH INTEGRAL BACK UP, MODEL 106 PK-R-SM-AC-4", NSF 61 CERTIFIED	1
7	4" DISMANTLING JOINT, ROMAC MODEL DI400 OR APPROVED EQUAL	1
8	8' X 6' (INSIDE DIMENSIONS) PRECAST CONCRETE VAULT, 6' 6" INTERIOR HEIGHT, WITH REINFORCEMENT AS SHOWN, WITH SEPARATE LID (ATTACHMENT METHOD BY PRECAST COMPANY), WITH 30" RING AND COVER, MARKED WATER VAULT TO BE CONSTRUCTED AROUND ASSEMBLED PIPING TO ASSURE FITS AND TO CAST WALL PIPES IN WALLS.	1
9	0-250 PSI LIQUID FILLED PRESSURE GAUGE	1
10	0-100 PSI LIQUID FILLED PRESSURE GAUGE	1
11	STAINLESS STEEL NIPPLES, FITTINGS AND REDUCERS AS REQUIRED, NSF 61 CERTIFIED	As needed
12	1" STAINLESS STEEL BALL VALVE, NSF 61 CERTIFIED, 250 PSI WORKING PRESSURE	2
13	1" HOSE BIB, RATED AT 250 PSI, NSF 61 CERTIFIED, 250 PSI WORKING PRESSURE	2
14	8" FLANGED HIGH PERFORMANCE (250 psi) BUTTERFLY VALVE WITH HAND WHEEL, AV-TEX model AT-CEX-12"-AHW NSF 61 CERTIFIED	1



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LAKE POINT VISTAS, L.C.			

### LAKE POINT VISTAS PLAT 2

## PRESSURE REDUCING AND

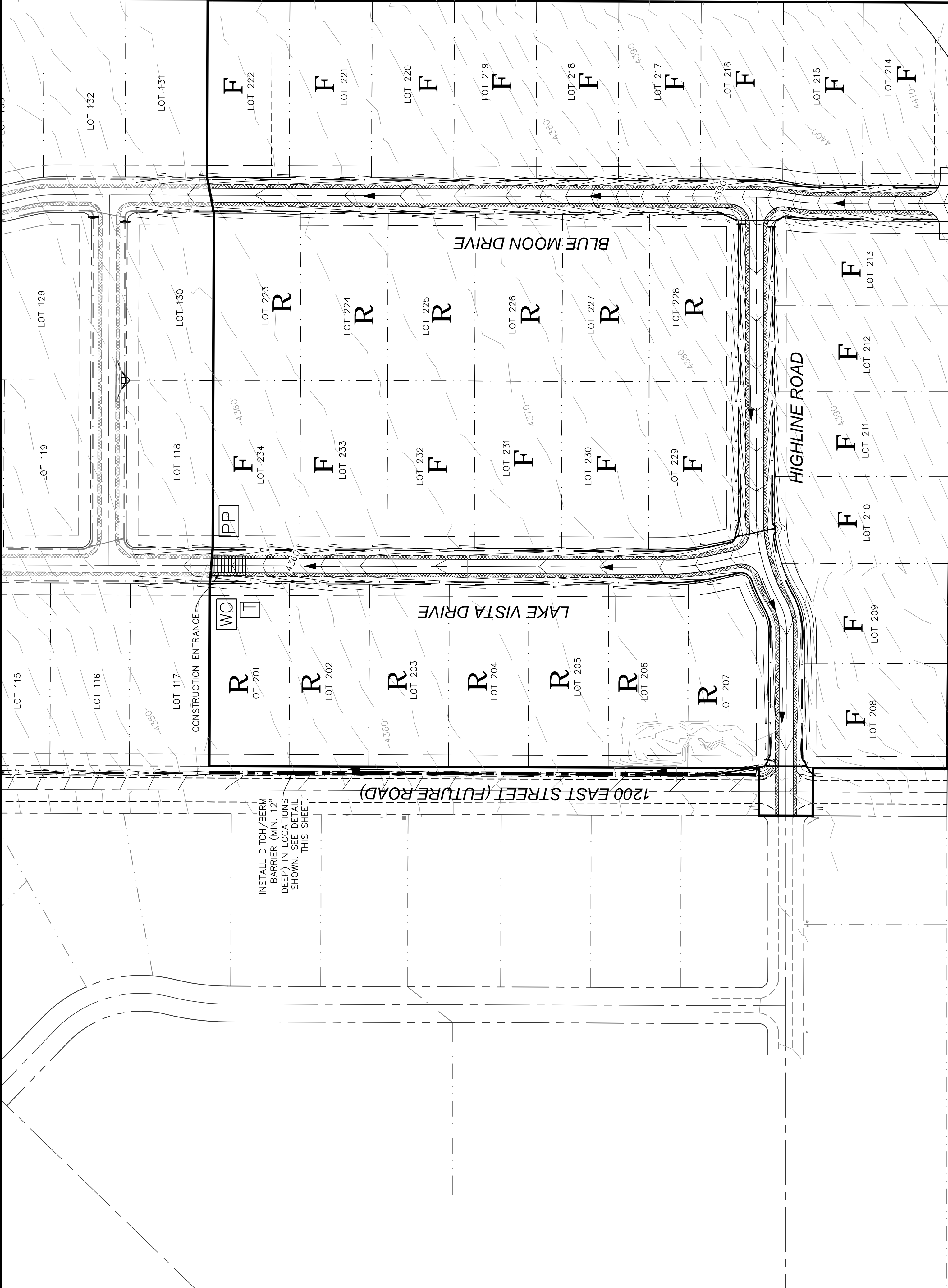
## PRESSURE SUSTAINING STATION

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NOTES

- 1. REVEGETATION TO BE EVALUATED AND IDENTIFIED AT LATER DATE. COSTS TO BE NEGOTIATED AFTER PLAN IS SOLIDIFIED.
- 2. RETENTION FOR THE ENTIRE LOT MUST BE PROVIDED BY EACH HOME BUILDER. RETENTION PROVIDED BY ROADSIDE DITCHES IS ONLY FOR ROAD RUN OFF. SEE THE GRADING PLAN (M2) FOR MORE DETAILS.
- 3. WASHOUT AREA, DUMPSTER AND PORT-O-LET LOCATIONS ARE SCHEMATIC. ACTUAL LOCATIONS TO BE DETERMINED IN THE FIELD. LOCATIONS MAY CHANGE DURING COURSE OF DEVELOPMENT.
- 4. DUST CONTROL SHALL BE MAINTAINED THROUGHOUT THE ENTIRETY OF CONSTRUCTION ACTIVITIES AND IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. CONSTRUCT A STABILIZED PAD OF CRUSHED STONE FOR WASHING OF EQUIPMENT AND CONSTRUCTION VEHICLES. MIN. PAD SIZE 50 FT X 15 FT. THIS AREA ALSO CAN BE USED AS A FILLING POINT FOR WATER TRUCKS.
- 6. CONTRACTOR RESPONSIBLE TO KEEP MUD AND DIRT OF ALL PAVED ROADS.
- 7. BERMS ON DOWNHILL LOT LINES SHALL BE INCORPORATED INTO LOT GRADING PLAN TO BE DEVELOPED BY HOME BUILDER.

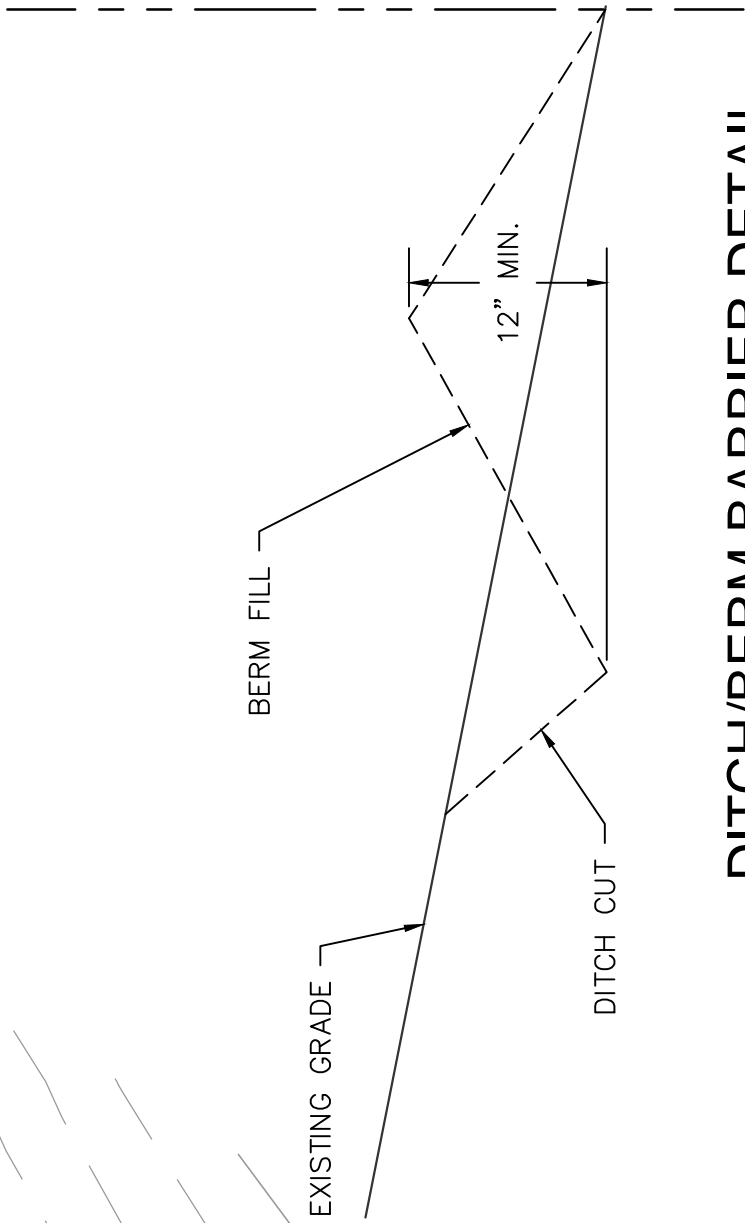
F – LOT DRAINS TO FRONT

R – LOT DRAINS TO REAR

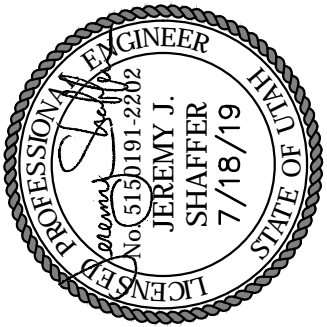
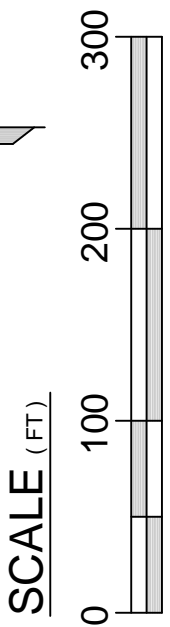
WO WASHOUT AREA

PP PORT-O-LET

T DUMPSTER



DITCH/BERM BARRIER DETAIL



LAKE POINT VISTAS, L.C.

LAKE POINT VISTAS PLAT 2

STORM WATER POLLUTION PREVENTION PLAN

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