



City of Moab
217 East Center Street
Moab, Utah 84532
Main Number (435) 259-5121
Fax Number (435) 259-4135
www.moabcity.org

**Moab City Planning Commission Meeting
217 E. Center Street**

Thursday, December 13, 2012

WORKSHOP AGENDA

6:30 PM

1. Planning Commission Workshop – 6:30 pm

******* NO WORKSHOP THIS MEETING *******

REGULAR MEETING AGENDA

7:00 PM

1. Citizens to be Heard

2. Action Item

Approval of Minutes
October 11, 2012

3. Action Item – Planning Resolution 15-2012

A Resolution Conditionally Approving a Commercial Site Plan for “Entrada Inn” on property located in the C-2 Commercial Zoning District at 161 W. Center Street

4. Action Item – Planning Resolution 16-2012

A Resolution Conditionally Approving a Commercial Site Plan for “Moab Ice” on located in the C-3 Commercial Zoning District at 356 S. Main Street

5. Discussion Item – Proposed Ordinance 2013-xx

An Ordinance Amending the City of Moab Municipal Code, Title 16.00, Subdivisions, and Especially Section 16.12.030, Existing Conditions

6. Discussion Item – Proposed Ordinance 2013-xx

An Ordinance Amending the City of Moab Municipal Code, Title 17.00, Zoning, and Especially Section 17.09.660, Site Plan-Required, Clarifying the Specific Elements of a Floor Plan

7. Discussion Item – Proposed Ordinance 2013-xx

An Ordinance Amending the City of Moab Municipal Code, Title 17.00, Zoning, and Especially Section 17.09.660, Site Plan-Required,

8. Discussion Item

Planning Commission Priorities List

9. Future Agenda Items

DRAFT

**MOAB CITY PLANNING COMMISSION
MEETING**

:: MINUTES :: OCTOBER 11, 2012 ::

Members Present:	Kelly Thornton, Joe Downard, Laura Uhle Wayne Hoskisson (arrived at 7:10 pm)
Members Absent:	Jeanette Kopell
City Staff:	Planning Director Jeff Reinhart, Zoning Administrator/Planning Assistant Sommar Johnson, City Engineer Rebecca Andrus
Public Members:	6

The Moab City Planning Commission held its regular meeting on the above date in the Council Chambers of Moab City Offices, located at 217 East Center Street, Moab, Utah. Planning Commission Chair Kelly Thornton called the meeting to order at 7:05 pm.

1. Planning Commission Workshop – 6:30

Planning Commission members did not hold a workshop this meeting.

1. Citizens to be Heard

There were no citizens to be heard.

2. Action Item

Approval of Minutes
September 27, 2012

Commissioner Uhle moved to approve the minutes for September 27, 2012 as written. Commissioner Downard seconded the motion. The motion carried 3-0 aye.

3. Action Item – Planning Resolution 14-2012

A Resolution Conditionally Approving the Final Plat for Phase II of the Mill Creek Village Planned Unit Development for Property Located in the RA-1 Residential Agricultural Zoning District at Powerhouse Lane

Commissioner Downard moved to approve Planning Resolution 14-2012, A Resolution Conditionally Approving the Final Plat for Phase II of the Mill Creek Village Planned Unit Development for Property Located in the RA-1 Residential Agricultural Zoning District at Powerhouse Lane, as written. Commissioner Uhle seconded the motion. The motion carried 4-0 aye.

4. Public Hearing – Proposed Ordinance 2012-13

An Ordinance to Amend Title 17.00 of the Moab Land Use Code, Specifically Chapters 17.15, 17.42, 17.45, 17.48, and 17.51 and Those Sections Dealing Specifically with the Area, Width, and Location Requirements for Residential Uses

DRAFT

Commission Chair Thornton opened the public hearing at 7:21 pm

Diane Walker read her written comments that were presented to the Planning Commission.

Drake Taylor stated that solar gain on his property in Telluride, Colorado was impacted by an adjacent structure and they have an ordinance to deal with the issue in their code. Mr. Taylor stated that he would like to build a storage shed in his front setback. He questioned why the setback was 20 feet in the R2 and 15 feet in the R3 and R4. It was his opinion that people don't hang out in their front yard and we should allow a smaller front setback. He also felt that varying the position of the building breaks up the regularity and makes the streets more interesting.

Commission Chair Thornton closed the public hearing at 7:32 pm.

5. Action Item – Proposed Ordinance 2012-13

Recommendation to City Council

An Ordinance to Amend Title 17.00 of the Moab Land Use Code, Specifically Chapters 17.15, 17.42, 17.45, 17.48, and 17.51 and Those Sections Dealing Specifically with the Area, Width, and Location Requirements for Residential Uses

Commissioner Downard moved to send Ordinance 2012-13 as written to City Council with a positive recommendation. Commissioner Uhle seconded the motion. The motion carried 4-0 aye.

6. Discussion Item

Planning Commission Priorities List

Planning Commission members reviewed their priorities list. The Affordable Housing Overlay zone and Planned Unit Development regulations were moved up the priorities list. Commissioner Thornton requested that renewable energy be added to the list. Commission members requested the priorities list be reviewed once a month.

Adjournment

Planning Commission Chair Kelly Thornton adjourned the meeting at 8:30 pm.



AGENDA SUMMARY
MOAB CITY PLANNING COMMISSION MEETING
December 13, 2012



PL-12-157

Agenda Item

#: 3

Title: Adoption of Planning Resolution #16-2012 for the Conditional Approval of the Commercial Site Plan for Entrada Inn, a Nightly Rental Development, on Property Located in the C-2 Zoning District at 161 W Center Street

Fiscal Impact: N/A

Staff Presenter(s): Jeff Reinhart, City Planner

Department: Planning and Zoning

Applicant: Tim Keogh

Background/Summary: Mr. Keogh owns a tract of land approximately .18 acre (7,830 square feet) acres in size, and has applied to develop the property with a 2,465.5 square foot single story structure, consisting of two units with two bedrooms apiece.

The property is located at 161 West Center Street and the short term rental use is an allowed use in the C-2 zoning district.

Staff has reviewed this proposal for compliance with various titles of the Moab Municipal Code and has found that the proposal meets the code requirements for parking, landscaping, setbacks, and building height. The storm water drainage plan and geotechnical reports have been reviewed and are acceptable to the engineering and public works departments.

One issue has been identified by staff that reveals the lack of right-of-way for the development to front on a public street. Many meetings have been held with Mr. Keogh on the subject and a consensus has been reached as to what is needed by the city for public access. It is recommended by staff that the appropriate right-of-way dedication be completed prior to issuance of a building permit.

Options:

- 1) The Commission can adopt Resolution #15-2012 and thus approve the proposal as submitted,
- 2) The Commission can adopt Resolution #15-2012 with the inclusion of other conditions and approve the proposal with those changes,
- 3) The Commission can vote to table the application if additional information is required.

Staff Recommendation: City Staff recommends approval of the proposal with conditions:

1. Adequate right-of-way shall be dedicated by the applicant and accepted by the Council prior to issuance of a building permit.

Recommended Motion: I move to adopt Planning Resolution #15-2012, conditionally approving the Entrada Inn development at 161 West Center Street with the condition that adequate right-of-way be provided by the applicant and accepted by Council.

Attachment(s): Site Plan (sheet A1.0), Floor Plan sheet (A2.1), nd Project Narrative

**CITY OF MOAB
PLANNING RESOLUTION #15-2012**

**A RESOLUTION CONDITIONALLY APPROVING A COMMERCIAL SITE PLAN FOR “ENTRADA INN”
ON PROPERTY LOCATED IN THE C-2 ZONING DISTRICT AT 161 WEST CENTER STREET**

WHEREAS, Mr. Tim Keogh, P.O. Box 396, Moab, Utah 84532, as the owner of record (“Owner”) of a parcel that is approximately .16-acre in size within the C-2 Commercial Zone, and located at 161 West Center Street, Moab, Utah, has applied to the City of Moab (City) for approval of a site plan for commercial development; and

WHEREAS, the applicant provided the City with the necessary documents, plans and drawings to complete the development application for a two-unit short term rental development as required in Code Chapter 17.09.660; and

WHEREAS, the City of Moab Planning Commission (“Commission”) reviewed said commercial site plan in a public meeting held on December 13, 2012; and,

WHEREAS, the proposal consists of a single-story structure consisting of about 1200 square feet and two short term rental units with a total of four bedrooms (two per unit), four parking spaces, and adequate landscaping, curb, gutter, and sidewalk as evidenced on the submitted plan sheet A1.0, titled, “Site Plan, Entrada Inn”, dated 11/07/2012, and plan sheet A2.1, titled “Floor Plan” and dated 11/07/2012; and

WHEREAS, the proposed short- term rental use is an allowed use in the C-2 zoning district; and

WHEREAS, the Commission, having considered city staff recommendations, and discussed the pertinent aspects of the development, determined that the Commercial Site Plan and Floor Plan for the Entrada Inn development on the property described above has met or can meet the requirements of The Moab Municipal Code, Title 17.00.

NOW, THEREFORE, be it resolved by the City of Moab Planning Commission that adoption of Resolution #15-2012 hereby conditionally approves the submitted Commercial Site Plan for the Entrada Inn to be located at 161 West Center Street, Moab, Utah with the following conditions:

1. Adequate right-of-way shall be dedicated by the applicant and accepted by the Council prior to issuance of a building permit.

Kelly Thornton
Chair

Date

PROJECT NARRATIVE
ENTRADA INN-MOAB
161 WEST CENTER STREET
MOAB, UTAH 84532

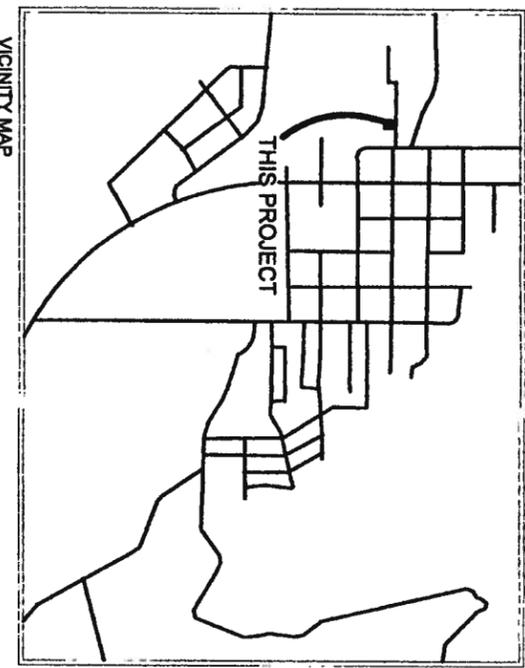
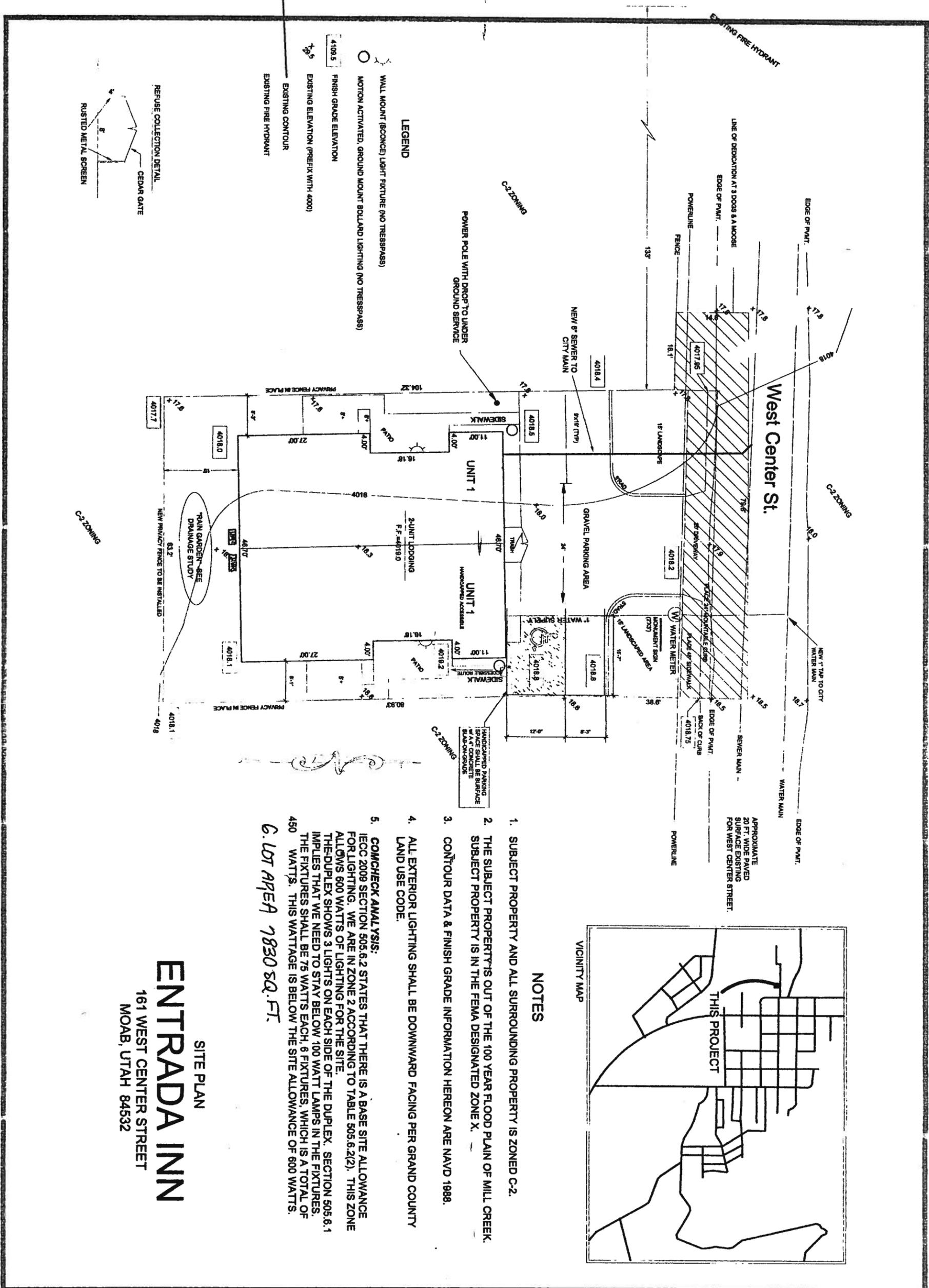
Visitors to Moab seeking lodging within the core area of the city, typically within pedestrian reach of Main and Center Streets, and those seeking a longer stay, will be the targeted clientele of the Entrada Inn.

This facility will be handled via web site booking just as adjacent properties. Like those adjacent properties, the guests will experience a nice quiet stay just a stroll away from the activities, shopping and dining offered in the core area. The largest difference for this facility is that it will be built to meet these needs as opposed to residential properties retrofitted to lodging. The property will consist of two suites, each containing two bedrooms/two bathrooms, a kitchen and a living room. Both of the units will have private outdoor patio areas with hot tub and outdoor cooking facilities.

As shown on the site plan, this project will have the required off street parking, curb, gutter and sidewalk along West Center Street with landscaping on the street side as well as interior property areas. Architecture of the building will blend nicely with the mix of neighborhood commercial uses already present.

Infrastructure to accommodate this project is in place. New water and sewer connections will be placed to mains existing in the street while the parking area and roof run-off will be directed into landscaped swales onsite. Gas, power, cable and telephone are already to the site. Should visitors have trailers for their vehicles, those will be accommodated offsite. Traffic, considering pedestrian access, should be kept to a minimum. Estimates are that the establishment will generate some 12 trips per day on West Center.

The Entrada Inn will offer lodging in the premium range and produce sales and room taxes that will benefit Moab City. It will accommodate boutique lodging, offering visitors to Moab easily accessible lodging in the heart of downtown.



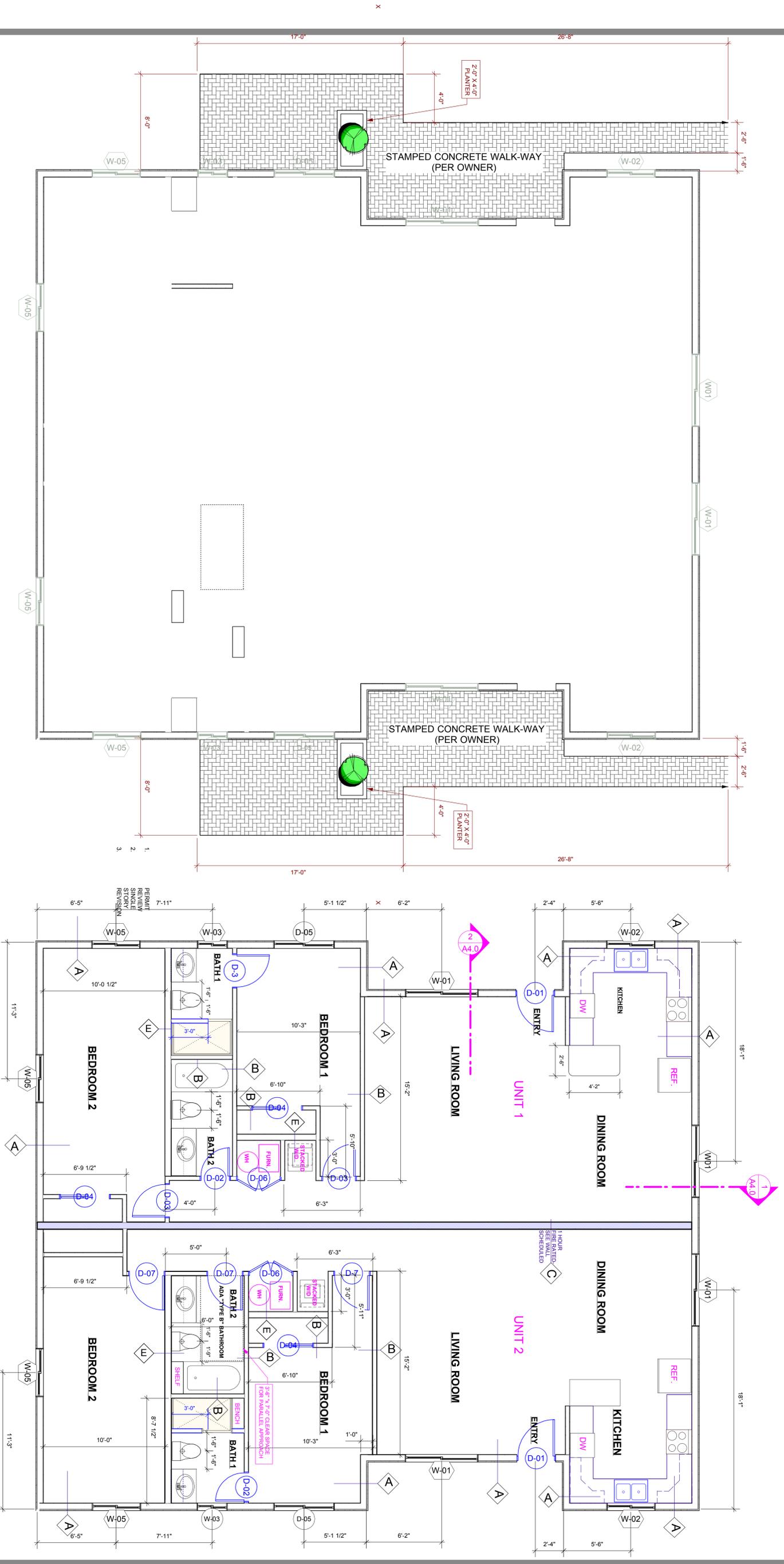
SITE PLAN
ENTRADA INN
161 WEST CENTER STREET
MOAB, UTAH 84532



UT 112002 PERMIT REVIEW
11/17/2010 PERMIT SET

ENTRADA INN
161 WEST 100 NORTH
MOAB, UTAH 84532

GREGG ASSOCIATES
151 LITTLE PARK ROAD
TELE 970 245 9864
GRAND JUNCTION, COLORADO 81507
E-MAIL: rjg@ga.com



UNIT 1
 STAMPED CONCRETE WALKWAY AREA = 540 S.F. AS SHOWN
 UNIT 1
 (Handicapped accessible)

1 WALKWAY & PLANTING PLAN PLAN
 Scale: Actual Size



UNIT 1
 UNIT 1
 (Handicapped accessible)

1 FLOOR PLAN
 Scale: 1/4" = 1'-0"



ENTRADA INN
 165 WEST 100 NORTH
 MOAB, UTAH 84532

10/11/2012 PERMIT REVIEW
 11/07/2012 PERMIT SET

GREGG ASSOCIATES
 151 LITTLE PARK ROAD
 TELE: 970.245.9654
 GRAND JUNCTION, COLORADO 81507
 E-MAIL: rbgreg@aol.com



AGENDA SUMMARY
MOAB CITY PLANNING COMMISSION MEETING

December 13, 2012



PL-12-166

Agenda Item

#: 4

Title: Adoption of Planning Resolution #16-2012 for the Conditional Approval of the Commercial Site Plan for "Moab Ice" on Property Located in the C-3 Zoning District at 356 South Main Street

Fiscal Impact: N/A

Staff Presenter(s): Jeff Reinhart, City Planner

Department: Planning and Zoning

Applicant: Eben Abshire, Grand Junction Ice

Background/Summary: The site for the construction of the ice machine is the southeast corner of property located at 356 South Main Street, adjacent to Main Street and owned by Mr. Ray Klepzig. The structure will front the street and consist of approximately 200 square feet with a height of nine feet.

Staff has reviewed this proposal for compliance with various sections of the MMC and has found that the proposal meets the code requirements for the C-3 Zone. The storm water drainage plan and geotechnical reports have been reviewed and are acceptable to the engineering department. The water and sewer connections will require easements and connections must be coordinated with the public works and city engineering departments.

Options:

- 1) The Commission can adopt Resolution #16-2012 without conditions and thus approve the proposal as submitted,
- 2) The Commission can adopt Resolution #16-2012 with the recommended conditions and approve the proposal,
- 3) The Commission can adopt Resolution #16-2012 with the inclusion of other conditions and approve the proposal with those changes,
- 4) The Commission can vote to table the application if additional information is required.

Staff Recommendation: City Staff recommends approval of the proposal with conditions:

1. Water and sewer easements shall be created and recorded in the office of the Grand County Recorder;
 2. The construction of the service connections for water and sanitary sewer shall be coordinated with the public works and engineering departments.
 3. Impact fees shall be paid prior to issuance of a building permit.
-

Recommended Motion: I move to adopt Planning Resolution #16-2012, conditionally approving the Moab Ice machine at 356 South Main Street with the conditions that:

1. Water and sewer easements shall be created and recorded in the office of the Grand County Recorder;
2. The construction of the service connections for water and sanitary sewer shall be coordinated with the public works and engineering departments.
3. Impact fees shall be paid prior to issuance of a building permit.

Attachment(s): Resolution #16-2012, Site Plan, Aerial, Ice machine details (2 sheets), and Project Narrative

**CITY OF MOAB
PLANNING RESOLUTION #16-2012**

**A RESOLUTION CONDITIONALLY APPROVING A COMMERCIAL SITE PLAN FOR “MOAB ICE” ON
PROPERTY LOCATED IN THE C-3 ZONING DISTRICT AT 356 SOUTH MAIN STREET**

WHEREAS, Mr. Eben Abshire of Grand Junction Ice, with offices at 641 Levi Court, Grand Junction, Colorado 81506, as agent (Applicant”) for Mr. Ray Klepzig, 356 South Main Street, Moab, UT 84532, as the owner of record (“Owner”) of a parcel located at 356 South Main Street, Moab, Utah that is located within the C-3 Commercial Zone, has applied to the City of Moab (City) for approval of a site plan for commercial development; and

WHEREAS, the applicant provided the City with the necessary documents, plans and drawings to complete the development application for a stand-alone ice dispensing machine as required in Code Chapter 17.09.660; and

WHEREAS, the City of Moab Planning Commission (“Commission”) reviewed said commercial site plan in a public meeting held on December 13, 2012; and,

WHEREAS, the proposal consists of a single-story structure consisting of about 200 square feet and nine feet in height along with the required parking area as evidenced on the submitted site plan titled, “Grand Junction Ice, Moab Site, Moab, Utah”, dated 11/08/2012,; and

WHEREAS, the proposed use is an allowed use in the C-3 zoning district; and

WHEREAS, the Commission, having considered city staff recommendations, and discussed the pertinent aspects of the development, determined that the Commercial Site Plan for the Moab Ice development on the property described above has met or can meet the requirements of The Moab Municipal Code, Title 17.00.

NOW, THEREFORE, be it resolved by the City of Moab Planning Commission that adoption of Resolution #16-2012, hereby conditionally approves the submitted Commercial Site Plan for Moab Ice to be located at 356 South Main Street, Moab, Utah with the following conditions:

1. Water and sewer easements shall be created and recorded in the office of the Grand County Recorder;
2. The construction of the service connections for water and sanitary sewer shall be coordinated with the public works and engineering departments;
3. Impact fees shall be paid prior to issuance of a building permit.

Kelly Thornton
Chair

Date

Project Narrative

Grand Junction Ice, LLC is planning on putting a freestanding ice machine at 356 South Main next to Car Quest Auto Parts. The machine is a self-contained unit that vends 16 pounds of ice in a bag or 20 pounds of ice in a cooler and it also dispenses water in 1 or 5 gallons.

The freestanding ice machine is 9 feet tall, 8 feet 4 inches wide, and 24 feet long. The machine is approximately 200 sq ft. As seen in Exhibit A, the machine is nice looking, clean and professionally put together.

A huge benefit of the machine is that it can be accessed 24 hrs a day. This is a drive up unit with no employees. The convenience of our ice machine is very similar to a giant pop machine. These machines produce ice on site and on demand, thus eliminating the need for truck delivery and unnecessary carbon emissions. The machine also promotes sanitary cleanliness, as the only hands that touch the ice are the hands of our customers. Bulk purchases require no plastic bags that so often end up adding to overburdened landfills. In addition, our filtered bulk water system allows customers to reuse water containers, thus cutting back on the amount of plastic water containers that are thrown away everyday.

Building Size - 9 feet tall, 8 feet 4 inches wide, and 24 feet long.

Parking - Vacant parking lot allows lots of parking for cars, bicycles, trailers, etc.

Traffic Circulation – Easy ingress and egress access off of Main, also parking along Main Street

Landscaping – N/A

Storm water drainage – The parking lot is sloped South to North so there is no need to have any storm water drainage.

Utilities – Water – Is in front of Car Quest with a vacant water meter already installed. Sewer is directly behind the store, just needs to be tapped. Electrical is available behind store.

RECEIVED

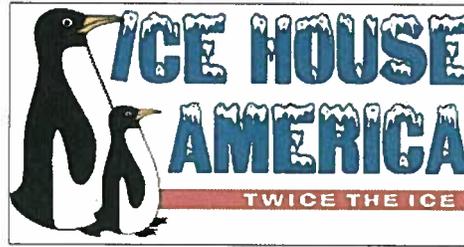
OCT 16 2012

CITY OF MOAB

Exhibit A

Grand Junction Ice, LLC

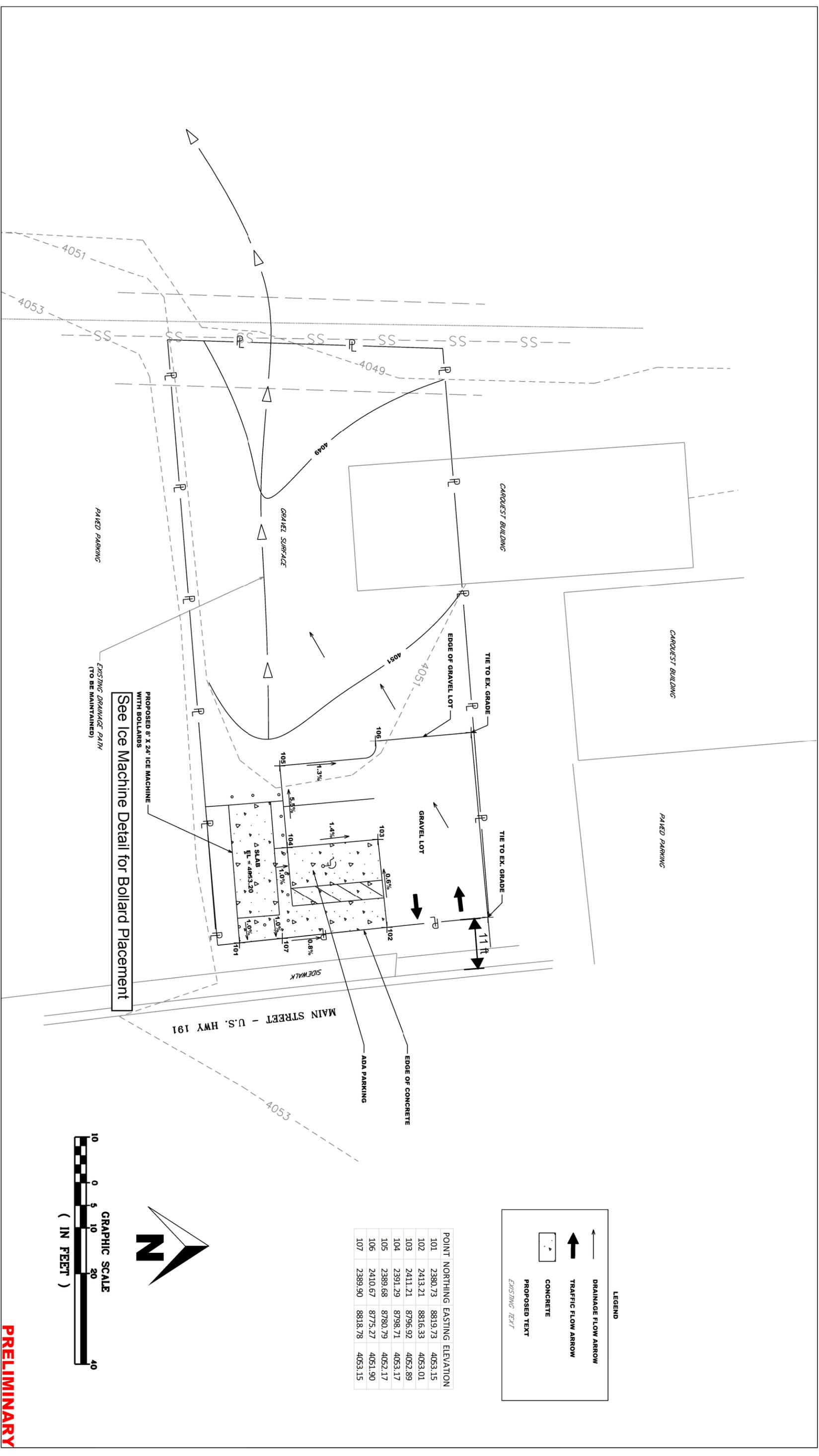
**Eben Abshire
Thomas H. Slaphey
654 Levi Court
Grand Junction, Co 81506
(970) – 309-9196
(970) – 712-8089
tomslaphey@gmail.com
Grandjunctionice@gmail.com
www.icehouseamerica.com**



Ice House Information: **Height: 9 ft.**
 Width: 8 ft. - 4 in.
 Length: 24 ft.

Total land space required: 200 sq. ft.

Ice House America
www.icehouseamerica.com



See Ice Machine Detail for Bollard Placement

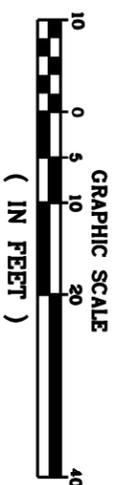
PROPOSED 8' X 24' ICE MACHINE WITH BOLLARDS

EXISTING DRAINAGE PATH (TO BE MAINTAINED)

LEGEND

- DRAINAGE FLOW ARROW
- ↑ TRAFFIC FLOW ARROW
- ▭ CONCRETE
- ▭ PROPOSED TEXT
- EXISTING TEXT

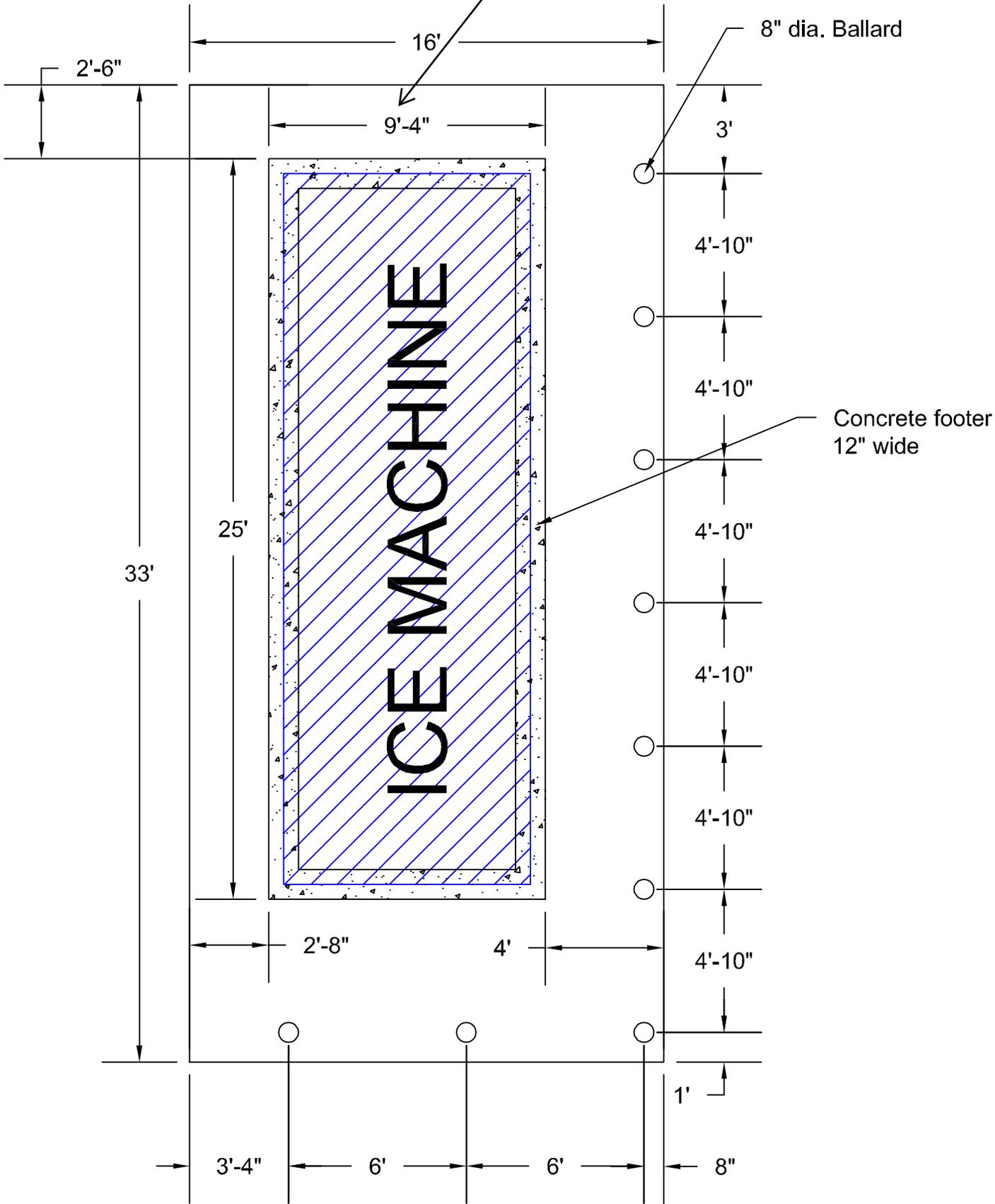
POINT	NORTHING	EASTING	ELEVATION
101	2380.73	8819.73	4053.15
102	2413.21	8816.33	4053.01
103	2411.21	8796.92	4052.89
104	2391.29	8798.71	4053.17
105	2389.68	8780.79	4052.17
106	2410.67	8775.27	4051.90
107	2389.90	8818.78	4053.15



PRELIMINARY

Ice Machine Detail

Also place bollards on this end at same spacing as the opposite end



ORDINANCE #2013-__

**AN ORDINANCE AMENDING THE CITY OF MOAB MUNICIPAL CODE, Title 16.00
SUBDIVISIONS, AND ESPECIALLY SECTION 16.12.030, EXISTING CONDITIONS**

WHEREAS, the City Council (“Council”) adopted the Moab Municipal Code (“MMC”) and especially Chapter 16.00.00, Subdivisions, in an effort to encourage and facilitate orderly growth and development in the City of Moab (“City”) as well as to promote a more attractive and wholesome environment; and

WHEREAS, from time to time the City must amend the code to be in line with state and federal regulations; and

WHEREAS, the City of Moab Planning Commission (“Commission”) in a duly advertised public hearing held on _____ 2013, to hear testimony and determine the merits of the changes to the Code; and

WHEREAS the Commission found that the proposed changes would benefit Moab residents as a whole and unanimously voted to recommend to Council that adoption of the new language was in the best interests of the citizens of Moab; and,

WHEREAS, Council reviewed Ordinance #2013-__ in a regularly scheduled public meeting held on _____, 2013, to hear and decide the merits of the proposed change to MMC Section 16.12.030, *Existing Conditions*, subsection I; and,

WHEREAS, Council found that the proposed amendments to the code are in the best interests of the City.

NOW, THEREFORE, the Moab City Council hereby ordains that Ordinance #2013-__ is adopted to amend Section 16.12.030, I of the Moab Municipal Code to read:

- I. Contours at vertical intervals of not more than two feet, high water levels of all watercourses, if any, shall be indicated in the same datum for contour elevations **and, without exception, shall be shown in the most current North American Vertical Datum (NAVD) available.**

EFFECTIVE IMMEDIATELY UPON ADOPTION.

PASSED AND APPROVED in open Council by a majority vote of the Governing Body of Moab City Council on _____, 2013.

SIGNED:

David L. Sakrison, Mayor

ATTEST:

Rachel Ellison, Recorder

ORDINANCE #2013-

AN ORDINANCE AMENDING THE CITY OF MOAB MUNICIPAL CODE, TITLE 17.09.660, SITE PLAN-REQUIRED, CLARIFYING THE SPECIFIC ELEMENTS OF A FLOOR PLAN

WHEREAS, the City Council (“Council”) adopted the Moab Municipal Code (“Code”) and especially Chapter 17.00.00, also known as “The Zoning Ordinance of Moab City, Utah” in an effort to encourage and facilitate orderly growth and development in the City of Moab (“City”) as well as to promote a more attractive and wholesome environment; and

WHEREAS, from time to time the City has determined that there is a need to amend the Code in order to make the text more contemporary, align the language with Utah State Code, and provide for a use that was not anticipated at the time of adoption; and

WHEREAS, the City has found that certain developers have omitted floor plans from the required site plan information because the code does not specify what details the floor plan must exhibit; and

WHEREAS, the City of Moab Planning Commission (“Commission”) in a duly advertised public hearing held on April 12, 2012, met to hear testimony and determine the merits of the changes to Chapter 17.09.220 of the Moab Municipal Code; and

WHEREAS the Commission unanimously voted to recommend that Council adopt the amended language and that adoption of Ordinance #2013- is in the best interests of the citizens of Moab; and,

WHEREAS, the Commission found that the proposed changes to said code chapter would benefit the public at large and the City to insure that appropriate detailed site plans are submitted with a development application; and

WHEREAS, Council agrees with the Planning Commission and found that the amendments to the code are in the best interests of the City and residents.

NOW, THEREFORE, the Moab City Council hereby ordains that Ordinance #2013- is hereby adopted to amend the Municipal Code as follows:

17.09.660 Site plan--Required.

E. Floor Plan. A floor plan, at a minimum, shall consist of a drawing to scale showing a view from above, of the relationships between rooms, spaces and other physical features at each floor level of a structure. All dimensions shall be drawn between the walls to specify room sizes and wall lengths. The floor plan shall show the physical layout of:

1. Interior walls and hallways,
2. Bathrooms,
3. Windows, doors, landings, decks, and patios,
4. Appliances such as stoves, refrigerators, water heater etc.,
5. Plumbing features such as sinks, showers, bathtubs, etc.,
5. Interior features such as fireplaces, saunas, hot tubs, and whirlpools,
6. Symbols for electrical items.

The use of all rooms shall be indicated and floor plans may also include notes for construction to specify finishes and construction methods. All finished first floor elevations shall be shown at two (2) feet above the determined base flood elevation.

F. Location and Typical Elevations of structures. Applicants shall submit four copies of drawings depicting all side elevations of existing or proposed buildings and structures. Drawings shall clearly define the location, dimensions, construction components, quality and delineation of materials, methods of construction, finishes and descriptions of all pertinent equipment and architectural elements. Each view should show the dimensions, heights and appropriate schedules and show openings and identify materials used on the facade and roof. Methods for the screening of rooftop mechanical devices shall be included. Each building shall be located using a minimum of two location dimensions.

GF. Conceptual Master Sign Plan. If signage is anticipated, applicants shall submit four copies of a master sign plan showing the location and dimensions of all signs and areas in square feet of all buildings and individual business spaces within each building. Signs are not specifically approved through this review process but are subject to a separate permitting, review, and approval process by the zoning administrator.

HG. Lighting Plan. The lighting plan shall show number and types of fixtures for walkways, building exterior lighting, and parking area illumination. Light fixtures shall consist of a full cutoff, fully shielded, downward directed type of light. Internal or external shielding may be used to prevent glare toward other properties or into the roadway. Lighting of required parking areas shall be a minimum of .5 foot-candles at all areas of the parking lot. Wall mounted flood lights that direct outward toward other properties and roadways are prohibited for this function.

IH. Landscape Plan. Applicants shall submit four copies of a landscape plan. Details shall include size and species of plantings, an irrigation plan, xeriscape plan, care and maintenance plan. All applicable code sections of the Moab Municipal Code must be used to develop the landscape plan. Proposed erosion control and details must also be noted on the landscape plan.

J. Wetlands and Riparian Areas. Riparian areas, probable wetlands, and areas where stream channels may be altered by planned development must be delineated on the site plan. Where probable wetlands are located on the project site the application must be accompanied by a letter from a wetlands consultant or hydrologist describing the nature and character of same. Flood zones and the accompanying designation must be shown and will require an engineered review to mitigate storm water drainage issues and possible flood damage to structures;

KJ. Adequate Drainage. Four copies of the storm water drainage plan shall be submitted and show calculations and other information specified below:

1. Storm Water Drainage Plan. This study or report shall show the acreage draining into the development, points of runoff through and away from the property. A developer shall provide, at his expense, drainage structures that will become

integral parts of the existing street or roadway drainage system, and the dimensions of all drainage structures must be approved by the city public works director prior to installation. The developer shall show that the drainage plan complies with existing master drainage plan of the city and failure to provide such proof will constitute grounds for denial of the application. Drainage structures and ditches shall be of a size and nature sufficient to carry the calculated storm water from streets, roadways and open drainage areas as based on standard engineering principles. The drainage plan shall demonstrate that proposed development will result in no net increase in stormwater discharge, as compared to pre-development conditions. A grading and drainage plan as described below shall accompany any application that may require a drainage study. The plan shall be prepared, signed and sealed by a professional engineer of the state of Utah and include, at a minimum, the following information:

- a. Project site, including three hundred feet beyond its boundaries;
- b. Existing contours at two-foot intervals shown as dashed lines;
- c. Proposed contours at two-foot intervals shown as solid lines;
- d. Indication of a permanent benchmark referenced to mean sea level;
- e. Drainage system shown in plan view with estimated cubic feet per second flow for a ten-year storm;
- f. Location of all natural drainage channels and water bodies;
- g. Existing and proposed drainage easements;
- h. Type, size, and location of existing and proposed drainage structures such as pipes, tiles, culverts, retention ponds, detention areas, etc.;
- i. One hundred-year (base) flood areas;
- j. Additional grading and drainage standards may be required in specific flood zones to satisfy Federal Emergency Management Administration requirements;
- k. Erosion control plan showing adequate sedimentation control which shall be accomplished throughout construction phases as well as during the ongoing operation of the use and any permanent sedimentation control structures and/or facilities to mechanically stabilize the soil (e.g., sedimentation ponds, dikes, seeding, retaining walls, rip-rap, etc.); and
- l. Flood hazards.

2. **Minimum Standards.** All provisions for drainage and flood control shall be established at a minimum to handle the anticipated one hundred-year frequency storms for maximum period of intensity over the entire drainage basin, which the subdivision serves, and they shall be made in accordance with the approved improvement plan. The one hundred-year floodplain referred to herein shall mean that floodplain calculated on the basis of a fully-developed watershed, regardless of any regulated floodplain designations.
3. **Erosion.** Where free fall of water occurs, satisfactory means shall be provided to prevent erosion of soil. Culverts shall have concrete head walls and wing walls where conditions require.
4. **Catch Basins.** Standard drop inlet catch basins shall be constructed.
5. **Engineered Design.** The city requires that improvements be designed and stamped by a Utah registered engineer.
6. **Water and Sewer System Protection.** Water supply systems and sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters.
7. **Retention Areas.** For control of on-site drainage that may impact downstream flows from storm run-off, the developer may be required to construct retention areas. It may be necessary for the developer to supply, at his expense, a drainage plan to support the size or absence of retention areas on the site, as described in this section.

LK. **Planned Grading.** Grading for surface drainage (shown by contours and spot elevations) should also show the planned grading and paving of driveways, access roads, and parking areas. Grading and paving shall be shown on plans, profiles, cross sections, and details as necessary to describe new construction. Details of curbs, gutters, sidewalks, drainage structures, and conveyance systems, dimensions of all improvements, size location, thickness, materials, strengths, and necessary reinforcement can be shown on the site plan if a small project or, on a separate drawing based on the complexity of the project.

ML. **Narrative.** The application shall describe in reasonable detail the proposed development, lot and block and subdivision description. Name(s), addresses and telephone numbers of the property owners and applicable consultants must be included. A regional or vicinity map shall accompany the submitted application to indicate the location of the project.

NM. **Utility Plan.** All utilities and points of connections to utility mains for sewer, water, communication services, gas, telephone, cable TV, and electric service must be shown.

ON. **Evidence of Title.** The application shall be accompanied by one copy each of a current title insurance commitment, ownership and encumbrance report, or abstract of title prepared by a title insurance company or attorney showing all ownership interests, easements, and encumbrances applicable to the subject parcel. If common elements are to be included in the

proposed development the applicant shall provide draft covenants, conditions, and restrictions for review.

PE. Slopes. If proposed development is likely to result in grading of hillsides, City staff may require the applicant to submit four copies of a slope study prepared by an engineer or surveyor utilizing the most current topographical information.

QP. Surface and Subsurface Soils Report. The application shall include four copies of a surface and subsurface soils report and provide evidence establishing soil suitability for the proposed development. The report may be based upon information from the National Resource Conservation Service (NRCS) of the United States Department of Agriculture (USDA), a licensed geotechnical engineer or another form acceptable to city staff. At a minimum, the report shall include:

- A description of soil types;
 - Locations and characteristics with supporting soil maps;
 - Soil logs of test pits and auger holes;
 - All other information necessary to determine soil suitability for the scope of the development; constraints on development based on the findings;
 - Analysis and evaluation of such information with recommendations regarding structural constraints, erosion control; and
 - A determination of the adequacy of the characteristics of the soil as they relate to the proposed uses and development.
1. The surface mapping report of the area shall be accompanied by a written narrative and map that is titled, dated and signed by a Utah licensed professional engineer. The report must address the above concerns and any geological or flood hazards/limitations.
 2. Subsurface soils investigations shall include a map locating test pits or auger holes as well as the classification logs.
 3. The scope and detail of the soils analysis shall be determined by the Utah licensed professional engineer.

Because the utility plan, roadway plan, grading and drainage and erosion control plans are inter-related with the soils investigation plan, they may be shown on the same sheet of the submitted plans if it does not result in undue confusion and congestion on the plan sheet.

RQ. Other Submittals. Other information may be required by the Moab Land Use Code or by city staff to clarify plan drawings but will not affect the completeness of the application.

EFFECTIVE IMMEDIATELY UPON ADOPTION.

PASSED AND APPROVED in open Council by a majority vote of the Governing Body of Moab City Council on the __ day of _____, 2013.

SIGNED:

David L. Sakrison, Mayor

ATTEST:

Rachel Stenta, Recorder

p:\planning department\2013\draft ordinances\ord to add floor plans.docx

ORDINANCE #2013-__

AN ORDINANCE AMENDING THE CITY OF MOAB MUNICIPAL CODE, Title 17.00 ZONING, AND ESPECIALLY SECTION 17.09.660, SITE PLAN REQUIRED

WHEREAS, the City Council (“Council”) adopted the Moab Municipal Code (“MMC”) and especially Chapter 16.00.00, Subdivisions, in an effort to encourage and facilitate orderly growth and development in the City of Moab (“City”) as well as to promote a more attractive and wholesome environment; and

WHEREAS, from time to time the City must amend the code to be in line with state and federal regulations; and

WHEREAS, the City of Moab Planning Commission (“Commission”) in a duly advertised public hearing held on _____ 2013, to hear testimony and determine the merits of the changes to the Code; and

WHEREAS the Commission found that the proposed changes would benefit Moab residents as a whole and unanimously voted to recommend to Council that adoption of the new language was in the best interests of the citizens of Moab; and,

WHEREAS, Council reviewed Ordinance #2013-__ in a regularly scheduled public meeting held on _____, 2013, to hear and decide the merits of the proposed change to MMC Section 17.09.660, *Site Plan Required*, subsection 8 and 16; and,

WHEREAS, Council found that the proposed amendments to the code are in the best interests of the City.

NOW, THEREFORE, the Moab City Council hereby ordains that Ordinance #2013-__ is adopted to amend Section 16.12.030, I of the Moab Municipal Code to read:

17.09.660 Site plan--Required.

8. Topography. All site conditions including terrain contours, buildings, structures, utilities, drainage, and other physical features on or near the site. Existing and finished grades must be shown in different shades/colors. **All elevations shall be shown in the most current North American Vertical Datum (NAVD).** Small projects may contain this topographic survey on the site plan but larger projects must show a separate survey;

16. Floodplain Status. The floodplain status of property and the elevation of lowest floor of structure, if required. **All elevations on the plan shall be shown in the most current North American Vertical Datum (NAVD), without exception.**

EFFECTIVE IMMEDIATELY UPON ADOPTION.

PASSED AND APPROVED in open Council by a majority vote of the Governing Body of Moab City Council on _____, 2013.

SIGNED:

David L. Sakrison, Mayor

ATTEST:

Rachel Ellison, Recorder

p:\planning department\2013\draft ordinances\17.09.660 site plan navd updatedocx.docx



*City of Moab
Planning and Zoning Department
Correspondence*

PLANNING PRIORITIES 7-08-2010

Modified 10-16-2012

PL-12-149

Complex	Priority level	Ranking	Appx. Completion date	Completed	Comments	Reason
* Aff Hsg Plan Implementation	High	1	Ongoing	-		Comply with the General Plan
Lot size	High					#1 identified barrier to affordable housing
Lot width						Requires longer streets and utility extensions adding to hsg costs
Setbacks						Can lead to wider lots.
Density:						Review and increase- look at the bonuses
Densities in PUDs						Review and increase- look at the bonuses
Densities in MPDs						Review and increase- look at the bonuses
Minimum home size						Let the market dictate....
Open space requirements for apartments						Uses valuable property that could be developed with housing.. have some req's for landscaping around buildings
Excessive street widths						Wide streets lead to increased development costs and maintenance costs for the city
Inflexible sidewalk standards						Very wide sidewalks are costly to construct
Height restrictions						Heights that are too low can reduce development of effective aff hsg projects
Value to community to have mixed economic levels in neighborhoods (lack of inclusionary zoning)						
Infrastructure regulations						Wide streets and lots lead to increased development costs and maintenance costs for the city
Aff Hsg Overlay Zone	High					Allows property owners a wide range of options and the zone does not affect every property n a zone, but targets those with greater areas for development
Protection strips	High	9	4-5 mos	Draft		Unlawful?
*Definitions	Medium	4	2-3 mos	Draft	A-K completed L-Z pending	Need to be updated
*Fence permits	Medium	5	3 mos	Draft		Issue of persons fencing in the right of way against the back of curb so that sidewalk cannot be constructed.
<i>PUD Regulations</i>	<i>High</i>					<i>Update and clarify: especially the location of structures and allowed densities. Increased density will lower housing prices</i>

Renewable Energy	Medium	8	6-8 mos	Draft		Hard to determine if we are creating islands or if the open areas have some connectivity. Also need a default zone for annexations.
Open Zone	Medium	8	6-8 mos	Draft		Residents are fearful of canyon effect development in older neighborhoods with smaller houses.
In-fill Regulations	Low	2	2-3 mos	Draft		Landscaping is scattered throughout the code, too hard to get all of the information in one place
Landscaping consolidation	Low	4	5-6 months	Draft		Streamline looking up uses in zones
*Matrix of Use Regulations	Low	1	After conditional uses	Draft		
*Matrix of Area Regulations	Low	2	After In-fill	Draft		Streamline looking up setbacks, etc. in zones
*Matrix of Parking Regulations	Low	3	5-6 months	Draft		Streamline looking up parking requirements for all uses
Trails (site design standards)	High	5	1-2 mos	✓		Clarity trail and sidewalk construction standard
Completed						
Hillside Development (gov.1)	High	N/A		✓	Final-PH February 9, 2010	
*Site Plans	High	4	2-3 mos	✓	Final-PH November 23, 2010	
*Appeal Authority	High	7	1-2 mos	✓	Final-PH October 12, 2010	
*Conditional Uses	High	2	2 mos	Draft	Final-PH July 8, 2010	
*Non-conforming Uses	High	3	2 mos	Draft	Final-PH July 8, 2010	
Accessory bldgs/structures	High	8	3-4 mos	Draft	Final-PH October 26, 2010	
*Site Design Standards	Medium	1	1-2 mos	-	Final-PH October 26, 2010	
*Setbacks for acc. str.	Medium	6	3 mos	Draft	Final-PH October 26, 2010	
Front setbacks for porches	Low	5	5 mos	Draft	Final-PH October 26, 2010	
Townhomes (definitions)	High	6	2-3 mos	Draft	Final-PH September, 2011	
Parking exceptions	Medium	7	4 mos		Final-PH September 25, 2012	Too restrictive for infill development in C-3
Secondary dwelling regulations	High				Final-PH April 24, 2012	