

GENERAL NOTES:

- ALL PROPERTY CORNERS SHALL BE STAKED/PINNED.
- THE CONTRACTOR IS REQUIRED TO CALL THE CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
- ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER AND IVINS CITY PRIOR TO CONSTRUCTION.
- OWNER IS RESPONSIBLE FOR ALL ON-SITE DRAINAGE AND DETENTION.
- THE CONTRACTOR SHALL PROVIDE A TEMPORARY TRASH ENCLOSURE ON SITE DURING ALL CONSTRUCTION ACTIVITIES TO CONTAIN DEBRIS AND PREVENT AIRBORNE LITTERING OFF SITE.
- A WATER TRUCK SHALL BE USED ON SITE TO WET DOWN ALL EARTHWORK AND TO CONTROL AIRBORNE PARTICLES.
- UNLESS SHOWN OTHERWISE ON THESE PLANS ALL CONSTRUCTION SHALL CONFORM TO "THE IVINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION," "THE INTERNATIONAL PLUMBING CODE" AND "THE INTERNATIONAL BUILDING CODE" LATEST EDITIONS AS ADMINISTERED BY IVINS CITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
- ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF IVINS CITY, SPECIFICALLY APPENDIX "J" OF "THE INTERNATIONAL BUILDING CODE" LATEST EDITION AND RECOMMENDATIONS INCLUDED IN THE FEBRUARY 20, 2019, TECHNICAL MEMO - PAVEMENT ADDENDUM TO THE GEOTECHNICAL STUDIES PREPARED FOR KANTA VILLAGE, BY AGE, PROJECT NUMBER 2100945, DATED SEPTEMBER 12, 2019 AND FOR MOVARA VILLAS, PREPARED BY AGE, PROJECT NUMBER 2101545, DATED JANUARY 19, 2019, 1420 SOUTH 270 EAST, ST. GEORGE, UTAH, 84710.
- PROJECTS SHALL INSTALL AN INFORMATIONAL SIGN ON SITE BEFORE CONSTRUCTION BEGINNING. THIS SIGN WILL HAVE A MINIMUM SIZE, PLACE/MENT LOCATION AND CONTENT INFORMATION WITH THE COMPANY NAME, PHONE CONTACT & GRADING PERMIT NUMBER.
- PROJECTS SHALL SUBMIT A DUST CONTROL PLAN WITH DETAILS ON EQUIPMENT, SCHEDULING AND REPORTING OF DUST CONTROL ACTIVITIES.
- A MANDATORY PRE-CONSTRUCTION MEETING WILL BE REQUIRED ON ALL PROJECTS PRIOR TO ANY GRUBBING, GRADING, OR CONSTRUCTION ACTIVITIES. THE PERMIT HOLDER WILL BE REQUIRED TO NOTIFY ALL DEVELOPMENT SERVICES INSPECTORS.
- ALL WORK AND MATERIALS SHALL MEET IVINS CITY STANDARDS.
- ALL OBJECTS SHALL BE KEPT OUT OF THE SIGHT DISTANCE CORRIDORS THAT MAY OBSTRUCT THE DRIVER'S VIEW.

WATER

IVINS CITY - PUBLIC WORKS  
55 NORTH MAIN STREET  
IVINS, UTAH 84738  
(435) 634-0684

SEWER

IVINS CITY - PUBLIC WORKS  
55 NORTH MAIN STREET  
IVINS, UTAH 84738  
(435) 634-0684

POWER

ROCKY MOUNTAIN POWER  
455 NORTH OLD HAY 91  
HURRICANE, UTAH 84731  
(435) 688-3708

NATURAL GAS

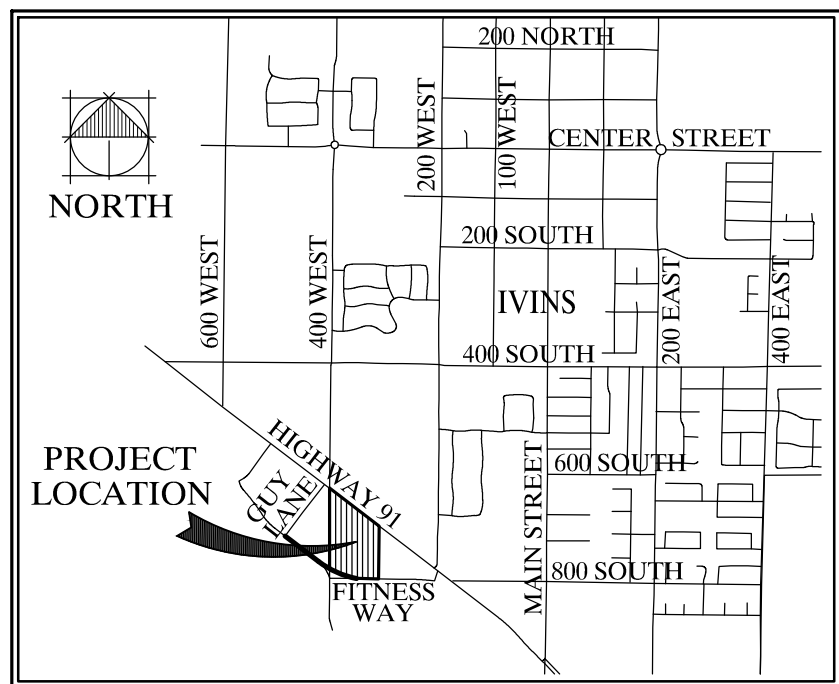
DOMINION ENERGY  
1155 EAST 350 NORTH  
ST. GEORGE, UTAH 84710  
(435) 674-6157

CATV SERVICE

TDS TELECOM  
912 WEST 1600 SOUTH #B103  
ST. GEORGE, UTAH 84710  
(435) 814-4590

TELEPHONE

CENTURY LINK COMMUNICATIONS  
596 N. 1400 E. (TRAILER)  
ST. GEORGE, UTAH 84710  
(435) 673-9634



VICINITY MAP:

NOT TO SCALE

SOUTH QUARTER CORNER  
SECTION 6, TOWNSHIP 42 SOUTH  
RANGE 16 WEST, SALT LAKE BASE  
& MERIDIAN

# KANTA VILLAGE

A TOWNHOME DEVELOPMENT  
LOCATED IN NORTH  $\frac{1}{4}$  OF SECTION 6, TOWNSHIP 42 SOUTH, RANGE 16 WEST  
OF THE SALT LAKE BASE AND MERIDIAN IN IVINS CITY, WASHINGTON COUNTY, UTAH.

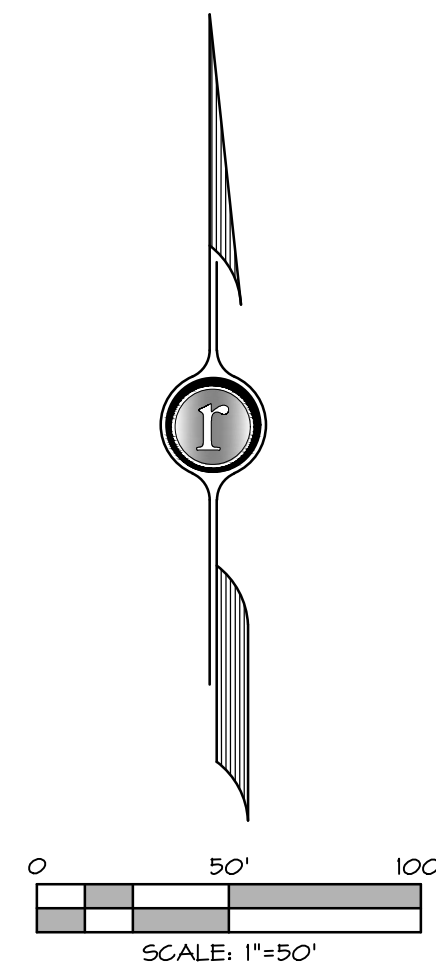
ENGINEER'S ACKNOWLEDGMENT:

I, ROBERT A. REID, ST. GEORGE, UTAH DO HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH AND THAT I HOLD CERTIFICATE OF REGISTRATION (LICENSE) NUMBER 184106. I FURTHER CERTIFY THAT THE DESIGN OF THESE IMPROVEMENT PLANS WAS MADE UNDER MY DIRECTION AND SUPERVISION AND IS ACCURATELY REPRESENTED ON THESE PLANS.

DATE: \_\_\_\_\_

Robert A. Reid, P.E.

Certificate No. 184106



LEGEND

- =EXISTING ASPHALT
- =PROPOSED CONC. SIDEWALK ALONG PUBLIC STREET
- =PROPOSED CONSTRUCTION AREA OF FITNESS WAY PUBLIC STREET



Know what's below.  
Call before you dig.

NOTES:  
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

PROPERTY LOCATION

THE PROPERTY IS LOCATED WEST OF MOVARA ALONG THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY 91 AND ALONG THE NORTH RIGHT-OF-WAY LINE OF FITNESS WAY IVINS, UTAH

PROPERTY ADDRESS

KANTA VILLAGE  
343 WEST HIGHWAY 91  
IVINS, UT 84738

PARCEL ACREAGE

347,312 SQ. FT. - .912 ACRES

OWNER/DEVELOPER

OWNER: KAL MALHI  
OWNER REPRESENTATIVE:  
MAC BOWELL  
17544 WEST AGAVE COURT  
GOODYEAR, AZ 85338  
(623) 606-3247

CIVIL ENGINEER

ROB A. REID, P.E.  
ROSENBERG ASSOCIATES  
352 EAST RIVERSIDE DRIVE,  
SUITE A2  
ST. GEORGE, UTAH 84710  
(435) 673-8586

GEOTECHNICAL ENGINEER

AGEC  
ARNOLD DECASTRO, P.E.  
1420 SOUTH 270 EAST  
ST. GEORGE, UTAH 84710  
(435) 680-6849

## SHEET LAYOUT

SHEET NUMBER SHEET DESCRIPTION

C1.0	COVER SHEET
C1.1	SITE PLAN & SIGNING PLAN
C2.0	GRADING & DRAINAGE PLAN
C2.1	GRADING & DRAINAGE PLAN
C2.2	STORM DRAIN & DRAINAGE IMPROVEMENTS
C2.3	STORM DRAIN & DRAINAGE IMPROVEMENTS
C3.0	UTILITY PLAN - POWER, WATER & SEWER
C3.1	UTILITY PLAN - POWER, WATER & SEWER
C3.2	UTILITY PLAN - GAS TELEPHONE & TV
C3.3	UTILITY PLAN - GAS TELEPHONE & TV
C3.4	UTILITY PLAN - UTILITY NOTES
C4.0	STRIPING PLAN - HIGHWAY 91
C4.1	PLAN FOR PROFILE - FITNESS WAY
C4.2	PROFILE - FITNESS WAY

## APPROVALS

PUBLIC WORKS	_____
CITY ENGINEER	_____
PARKS & RECREATION	_____
LANDSCAPE PLANS & IRRIGATION PLANS	_____
BUILDING & ZONING	_____
PUBLIC SAFETY	_____
IVINS IRRIGATION COMPANY	_____
CENTURY LINK	_____
DOMINION ENERGY	_____
ROCKY MOUNTAIN POWER	_____
TDS TELECOM	_____
POSTMASTER	_____

DATE: 3-13-19  
JOB NO.: 5881-18  
DESIGNED BY: LMM  
CHECKED BY: RAR  
DWG: BaseMap 5881

REVISIONS

DATE	DESCRIPTION

**ROSENBERG**  
A S S O C I A T E S  
CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2  
St. George, Utah 84790  
Ph (435) 673-8586; Fx (435) 673-8397  
www.rscivil.com

COVER SHEET  
FOR  
KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C1.0



# LEGEND

- EXISTING ASPHALT
- PROPOSED CONC. SIDEWALK ALONG PUBLIC STREET
- PROPOSED CONSTRUCTION AREA OF FITNESS WAY PUBLIC STREET
- EXISTING CONTOUR
- EXISTING SEWER MAIN
- EXISTING SEWER MANHOLE
- PROPOSED SEWER MANHOLE
- PROPOSED SEWER LINE
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN CATCH BASIN
- EXISTING WATER MAIN
- PROPOSED WATER LINE
- PROPOSED WATER LATERAL & METER
- EXISTING IRRIGATION LINE
- PROPOSED IRRIGATION LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING POWER POLE
- OVERHEAD POWER LINE
- TRANSFORMER
- GROUND SLEEVE JUNCTION BOX
- ACCESSIBLE PARKING SPACE AND SIGN



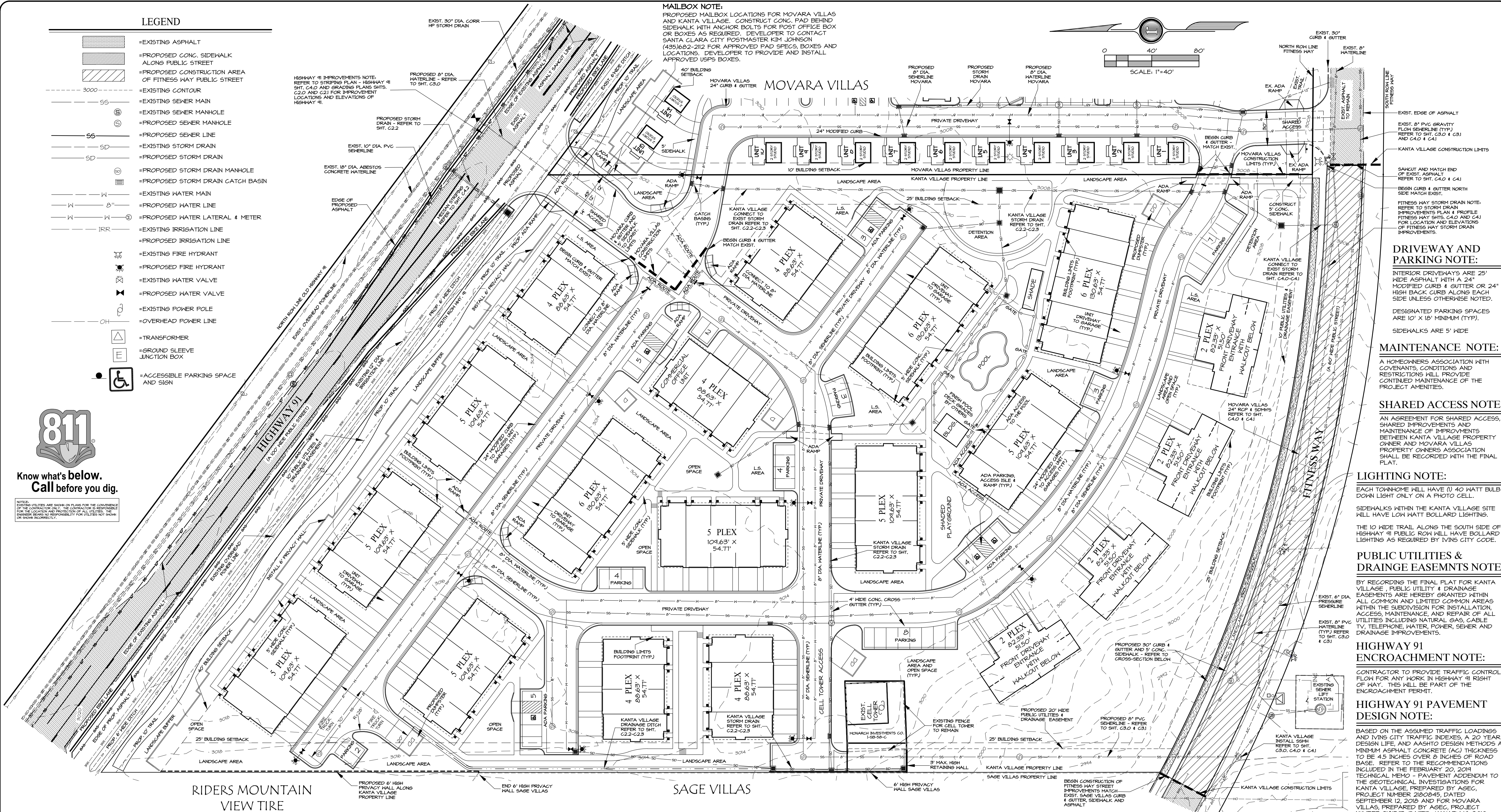
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## MAILBOX NOTE:

PROPOSED MAILBOX LOCATIONS FOR MOVARA VILLAS AND KANTA VILLAGE. CONSTRUCT CONC. PAD BEHIND SIDEWALK WITH ANCHOR BOLTS FOR POST OFFICE BOX OR BOXES AS REQUIRED. DEVELOPER TO CONTACT SANTA CLARA CITY POSTMASTER KIM JOHNSON (408)802-2112 FOR APPROVED PAD SPECS, BOXES AND LOCATIONS. DEVELOPER TO PROVIDE AND INSTALL APPROVED USPS BOXES.

## MOVARA VILLAS

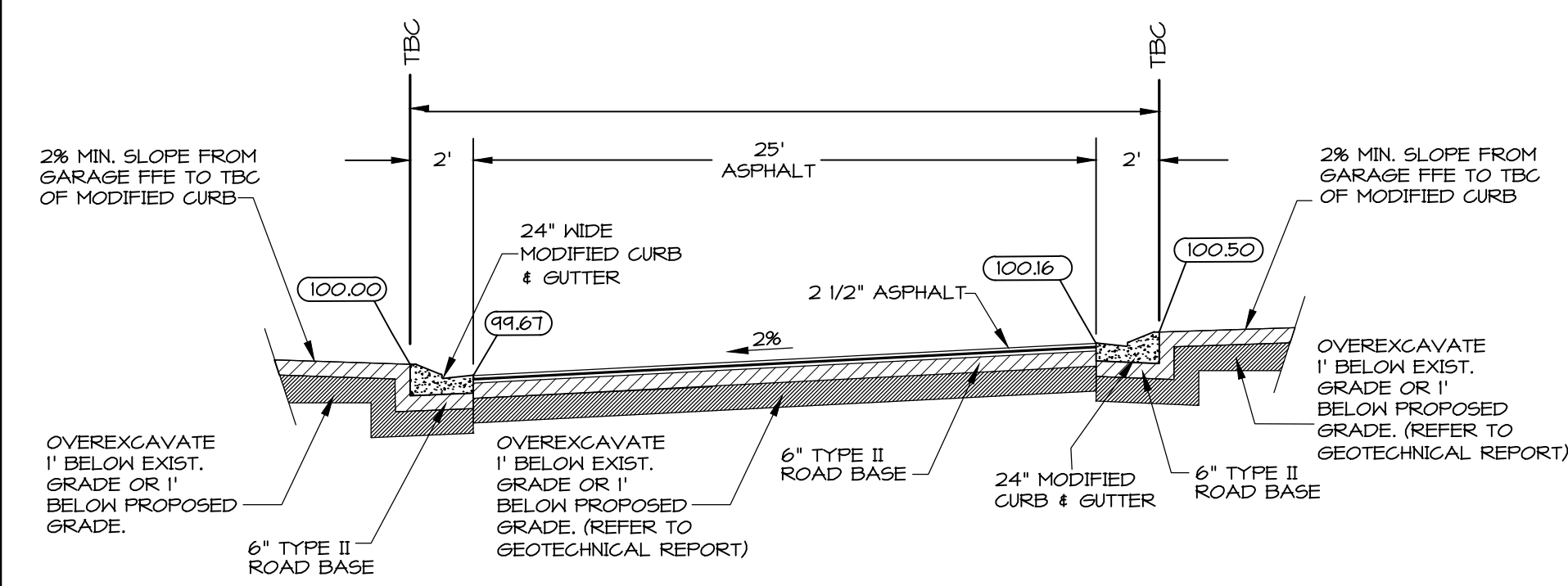


## RIDERS MOUNTAIN VIEW TIRE

## SAGE VILLAS

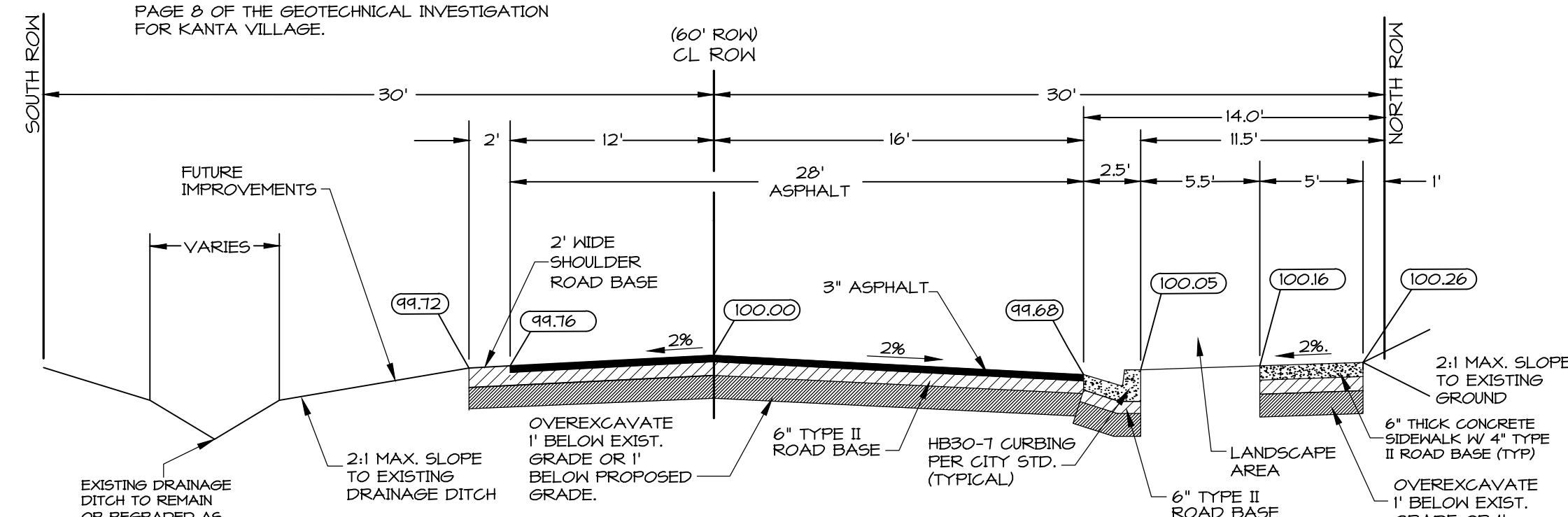
## OVEREXCAVATION NOTE:

FOR FLATWORK AND PAVEMENT - NON EXPANSIVE. OVEREXCAVATE 1 FOOT BELOW EXIST. GRADE OR 1 FOOT BELOW PROPOSED GRADE. REFER TO PAGE 9 OF THE GEOTECHNICAL INVESTIGATION FOR KANTA VILLAGE.



## INTERIOR PRIVATE DRIVEWAY STREET

SCALE: N.T.S.



## PROPOSED FITNESS WAY- HALF STREET CONSTRUCTION

SCALE: N.T.S.

## KANTA VILLAGE SITE DATA

TAX ID NUMBER: 1-58-50-A-1

CURRENT ZONES:

R-M (HIGH DENSITY RESIDENTIAL MULTI-FAMILY DISTRICT)

MU (MIXED USE DEVELOPMENT OVERLAY DISTRICT)

C-1 (COMMUNITY COMMERCIAL DISTRICT)

TOTAL AREA: 3,913.32 SQ. FT. - 9.12 ACRES

PROJECT LAND USE: TOWNHOMES

NUMBER OF TOWNHOMES: 80 - 8.7 TOWNHOMES PER ACRE

NUMBER OF COMMERCIAL UNITS: 1 UNIT FOR MANAGING RENTAL UNITS

BUILDING FOOTPRINT AREA:

TOTAL 4 PLEX FOOTPRINT AREA: 88,631' x 54.71' = 4,854 SQ. FT.

TOTAL 5 PLEX FOOTPRINT AREA: 104,631' x 54.71' = 5,704 SQ. FT.

TOTAL 6 PLEX FOOTPRINT AREA: 130,631' x 54.71' = 7,135 SQ. FT.

TOTAL WALKOUT FOOTPRINT AREA: 82,331' x 51.50' = 4,240 SQ. FT. (2 PLEX)

HEIGHT OF BUILDING:

NOT TO EXCEED 35' BEYOND 60' OF PROPERTY LINE

NOT TO EXCEED 25' WITHIN 60' OF PROPERTY LINE

PARKING:

TOTAL PARKING SPACES REQUIRED= 2 PER TOWNHOME (2 PARKING SPACES PROVIDED IN EACH GARAGE)

TOTAL GUEST SPACES REQUIRED= 20

(1 FOR EVERY 4 TOWNHOMES)

TOTAL GUEST SPACES PROVIDED= 40 (INCLUDES 5 VAN ACCESSIBLE SPACES)

OPEN SPACE:

TOTAL USEABLE OPEN SPACE REQUIRED= 10% OF MIXED USE PROJECT PLAN AREA= 3,913.32 SQ. FT.

TOTAL USEABLE OPEN SPACE PROVIDED= 3,135 MIN. SQ. FT.

(INCLUDES ACTIVE AND PASSIVE RECREATION AREAS, PLANTING AREAS, TREES, WALKWAYS AND PATHS)

LANDSCAPE:

LANDSCAPE PROVIDED IN ALL SETBACK AND OPEN SPACE AREAS.

DATE: 3-13-19

JOB NO: 5801-18-018

DESIGNED BY: LMM

CHECKED BY: RAR

DWG: BM 5801 Master

DATE:

REVISIONS:

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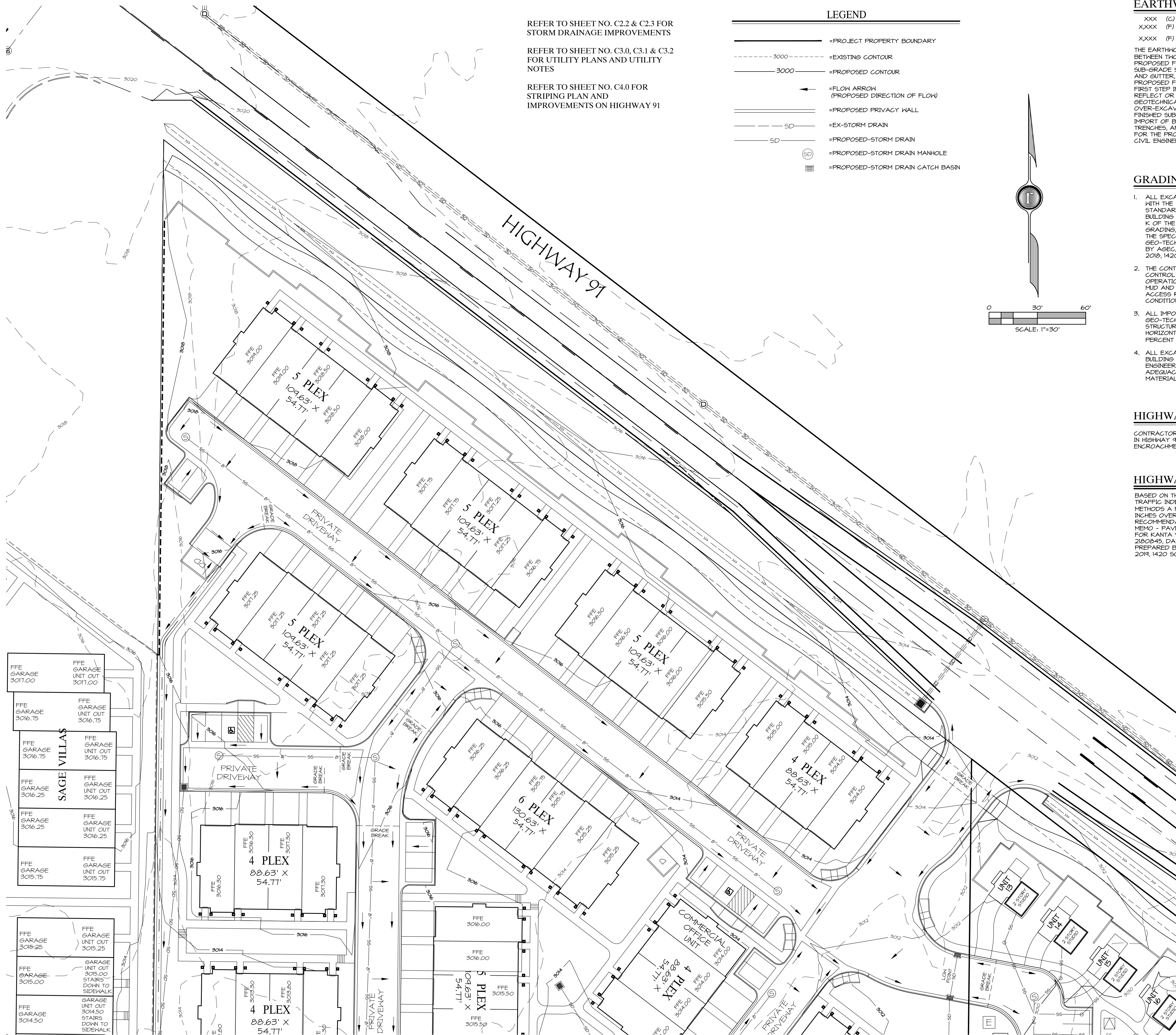
352 East Riverside Drive, Suite A-2  
St. George, Utah 84770  
Ph: (435) 673-8888; F: (435) 673-8397  
www.rscivil.com

SITE & SIGNING PLAN  
FOR  
KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C1.1



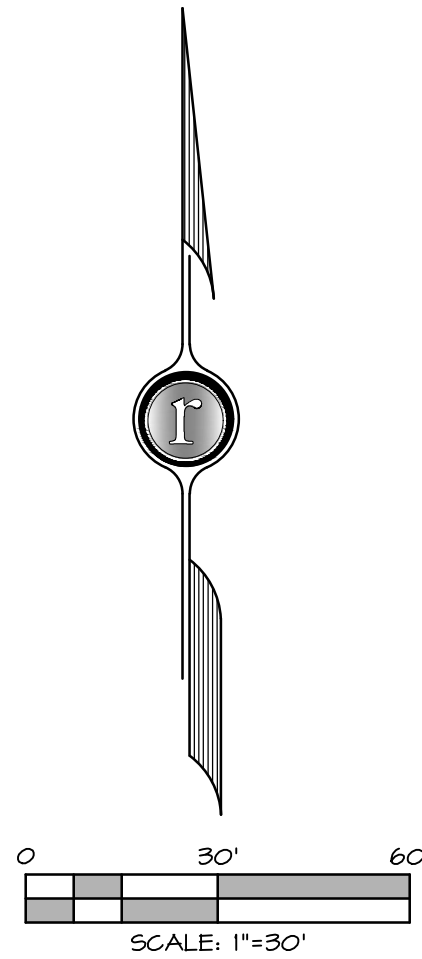


REFER TO SHEET NO. C2.2 & C2.3 FOR STORM DRAINAGE IMPROVEMENTS

REFER TO SHEET NO. C3.0, C3.1 & C3.2 FOR UTILITY PLANS AND UTILITY NOTES

REFER TO SHEET NO. C4.0 FOR STRIPING PLAN AND IMPROVEMENTS ON HIGHWAY 91

- LEGEND**
- PROJECT PROPERTY BOUNDARY
  - - - - - 3000 — EXISTING CONTOUR
  - 3000 — PROPOSED CONTOUR
  - FLOW ARROW (PROPOSED DIRECTION OF FLOW)
  - PROPOSED PRIVACY WALL
  - SD — EX-STORM DRAIN
  - SD — PROPOSED-STORM DRAIN
  - ⊙ SD — PROPOSED-STORM DRAIN MANHOLE
  - — PROPOSED-STORM DRAIN CATCH BASIN



**EARTHWORK VOLUMES:**

XXX (C) CU. YD. CUT  
X.XXX (F) CU. YD. FILL  
X.XXX (F) CU. YD. NET

THE EARTHWORK CUT AND FILL VOLUMES SHOWN ON THIS PLAN ARE BASED ON THE VOLUME DIFFERENCES BETWEEN TWO DIGITAL TERRAIN MODELS (DTMs), OR SURFACES; THE EXISTING GROUND SURFACE AND THE PROPOSED FINISHED GRADE SURFACE. THE CONTRACTOR IS TO CALCULATE THE PROPOSED FINISHED SUB-GRADE SURFACE BY SUBTRACTING THE VOLUME OF THE PROPOSED IMPROVEMENTS; ASPHALT, CURB AND GUTTER, SIDEWALK, WATERWAYS, HANDICAP RAMPS, AND BASE COURSE FROM VOLUME OF THE PROPOSED FINISHED GROUND SURFACE. THIS COMPARISON IS PRESENTED FOR REFERENCE ONLY AS THE FIRST STEP IN THE PROCESS OF PERFORMING THOROUGH EARTHWORK CALCULATIONS AND DOES NOT REFLECT OR REPRESENT A FINAL ESTIMATE OF ACTUAL EARTH TO BE MOVED. UPON REVIEW OF THE GEOTECHNICAL REPORT, THE CONTRACTOR RESPONSIBLE FOR EXCAVATION SHALL ACCOUNT FOR OVER-EXCAVATION, SCARIFYING, AND ADJUSTMENT FOR ALL IMPROVEMENTS NOT ACCOUNTED FOR IN THE FINISHED SUB-GRADE SURFACE, INCLUDING LANDSCAPING, BULKING AND/OR SHRINKAGE OF MATERIAL, IMPORT OF BEDDING MATERIAL AND OTHER MATERIALS, EXCAVATION AND COMPACTION OF UTILITY TRENCHES, AND OTHER FACTORS TO MAKE A FINAL DETERMINATION OF THE TOTAL EARTHWORK REQUIRED FOR THE PROJECT. IN SOME CASES, ADDITIONAL CONSULTATIONS WITH THE GEOTECHNICAL ENGINEER AND CIVIL ENGINEER MAY BE REQUIRED.

**GRADING NOTES:**

- ALL EXCAVATIONS AND GRADINGS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF IVINS CITY CONSTRUCTION DESIGN STANDARDS, SPECIFICALLY APPENDIX 33 OF THE "UNIFORM BUILDING CODE," LATEST EDITION FOR FEE SCHEDULES, APPENDIX K OF THE UTAH UNIFORM BUILDING STANDARD ACT RULES FOR GRADING, EXCAVATION AND EARTHWORK CONSTRUCTION AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE GEO-TECHNICAL INVESTIGATION FOR KANTA VILLAGE, PREPARED BY AGECE, PROJECT NUMBER 2180845, DATED SEPTEMBER 12, 2018, 1420 SOUTH 270 EAST, ST. GEORGE, UTAH, 84740.
- THE CONTRACTOR SHALL PROVIDE SUITABLE EQUIPMENT TO CONTROL DUST AND AIR POLLUTION CAUSED BY CONSTRUCTION OPERATIONS. THE CONTRACTOR SHALL ALSO PROVIDE SUITABLE MUD AND DIRT CONTAINMENT TO MAINTAIN THE WORK SITE, ACCESS ROADWAYS AND ADJACENT PROPERTIES IN A CLEAN CONDITION.
- ALL IMPORTED STRUCTURAL FILL SHALL BE APPROVED BY THE GEO-TECHNICAL ENGINEER PRIOR TO DELIVERY TO THE SITE. ALL STRUCTURAL FILL SHALL BE PLACED IN 8 INCH LOOSE HORIZONTAL LIFTS AND COMPACTED TO A MINIMUM OF 95 PERCENT OF MAXIMUM DRY DENSITY (ASTM D-1557).
- ALL EXCAVATIONS, GRADING AND FILL OPERATIONS WITHIN THE BUILDING AREA SHOULD BE OBSERVED BY THE GEO-TECHNICAL ENGINEER TO VERIFY SUB-SOIL CONDITIONS AND DETERMINE ADEQUACY OF SITE PREPARATION, SUITABILITY OF FILL MATERIALS AND COMPLIANCE WITH COMPACTION REQUIREMENTS.

**HIGHWAY 91 ENCROACHMENT NOTE:**

CONTRACTOR TO PROVIDE TRAFFIC CONTROL FLOW FOR ANY WORK IN HIGHWAY 91 RIGHT OF WAY. THIS WILL BE PART OF THE ENCROACHMENT PERMIT.

**HIGHWAY 91 PAVEMENT DESIGN:**

BASED ON THE ASSUMED TRAFFIC LOADINGS AND IVINS CITY TRAFFIC INDEXES, A 20 YEAR DESIGN LIFE, AND AASHTO DESIGN METHODS A MINIMUM ASPHALT CONCRETE (AC) THICKNESS TO BE 4.5 INCHES OVER 8 INCHES OF ROAD BASE. REFER TO THE RECOMMENDATIONS INCLUDED IN THE FEBRUARY 20, 2014 TECHNICAL MEMO - PAVEMENT ADDITION TO GEOTECHNICAL INVESTIGATIONS FOR KANTA VILLAGE, PREPARED BY AGECE, PROJECT NUMBER 2180845, DATED SEPTEMBER 12, 2018 AND FOR NOVAYA VILLAS, PREPARED BY AGECE, PROJECT NUMBER 218154, DATED JANUARY 14, 2019, 1420 SOUTH 270 EAST, ST. GEORGE, UTAH, 84740.



Know what's below.  
Call before you dig.

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**OWNER/DEVELOPER**

OWNER: KAL MAHLI  
OWNER REPRESENTATIVE:  
MAC BOWELL  
17594 WEST AGAVE COURT  
GOODYEAR, AZ 85338  
(623) 606-3297

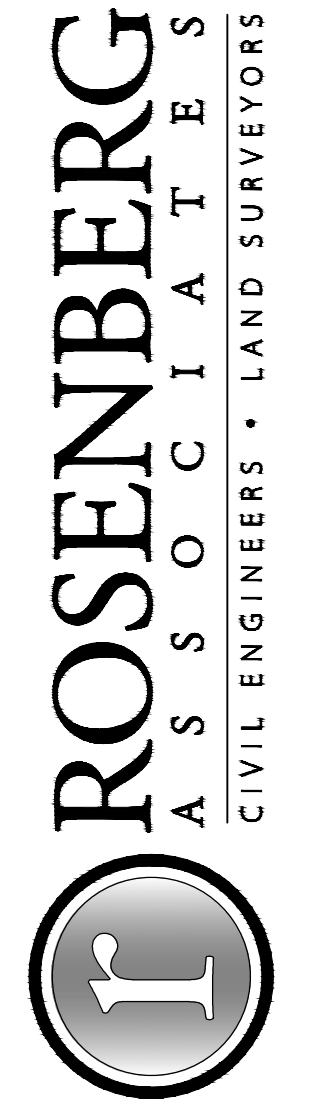
**CIVIL ENGINEER**

ROB A. REID, P.E.  
ROSENBERG ASSOCIATES  
352 EAST RIVERSIDE DRIVE,  
SUITE A2  
ST. GEORGE, UTAH 84740  
(435) 673-8586

**GEOTECHNICAL ENGINEER**

AGEC  
ARNOLD DECASTRO, P.E.  
1420 SOUTH 270 EAST  
ST. GEORGE, UTAH 84740  
(435) 680-6849

DATE:	3-13-19
JOB NO.:	10156-17
DESIGNED BY:	LMM
CHECKED BY:	RAR
DWG:	BMap 5881 Master
DATE:	
REVISIONS:	



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St. George, Utah 84740  
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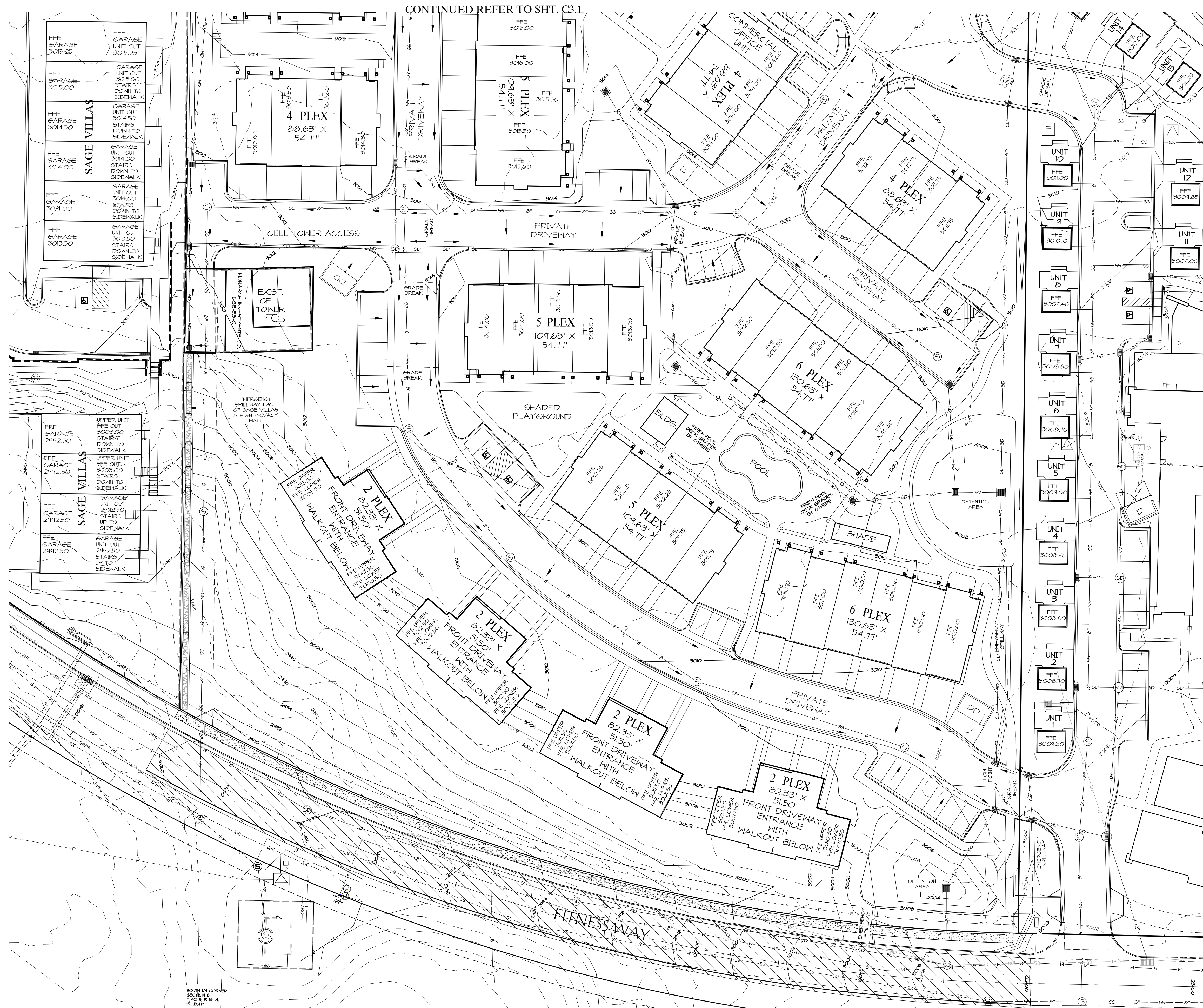
GRADING AND DRAINAGE PLAN  
FOR  
KANTA VILLAGE

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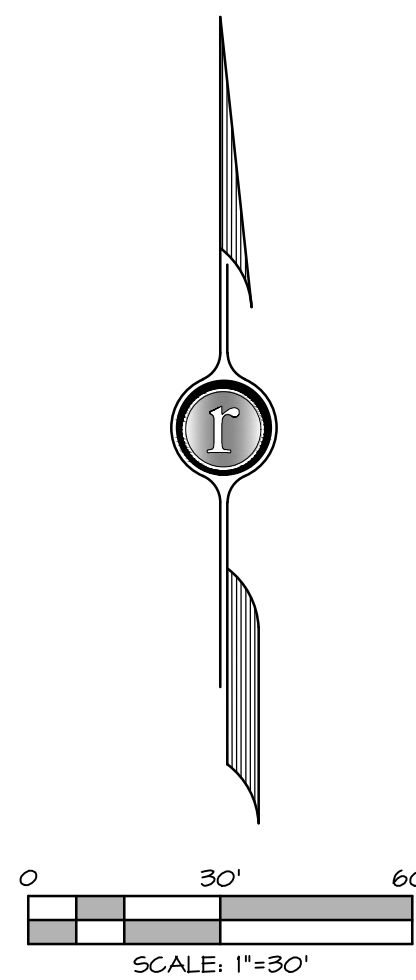
C2.0

CONTINUED REFER TO SHT. C3.1





LEGEND	
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#### HIGHWAY 91 PAVEMENT DESIGN:

BASED ON THE ASSUMED TRAFFIC LOADINGS AND IVINS CITY TRAFFIC INDEXES, A 20 YEAR DESIGN LIFE, AND AASHTO DESIGN METHODS A MINIMUM ASPHALT CONCRETE (AC) THICKNESS TO BE 4.5 INCHES OVER 8 INCHES OF ROAD BASE. REFER TO THE RECOMMENDATIONS INCLUDED IN THE FEBRUARY 20, 2019 TECHNICAL MEMO - PAVEMENT ADDENDUM TO THE GEOTECHNICAL INVESTIGATIONS FOR KANTA VILLAGE, PREPARED BY AGEK, PROJECT NUMBER 2180845, DATED SEPTEMBER 12, 2018 AND FOR MOVARA VILLAS, PREPARED BY AGEK, PROJECT NUMBER 2181545, DATED JANUARY 14, 2019, 1420 SOUTH 270 EAST, ST. GEORGE, UTAH, 84740.

REFER TO SHEET NO. C2.2 & C2.3 FOR STORM DRAINAGE IMPROVEMENTS

REFER TO SHEET NO. C3.0, C3.1 & C3.2 FOR UTILITY PLANS AND UTILITY NOTES

REFER TO SHEET NO. C4.0 FOR STRIPING PLAN AND IMPROVEMENTS ON HIGHWAY 91

DATE:	3-13-19
JOB NO.:	10156-17
DESIGNED BY:	LMM
CHECKED BY:	RAR
DWG. BY:	BMap 5881 Master
DATE:	
REVISIONS:	

**ROSENBERG**  
ASSOCIATES  
CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2  
St. George, Utah 84790  
Ph (435) 673-8886; Fx (435) 673-8397  
www.rscivil.com

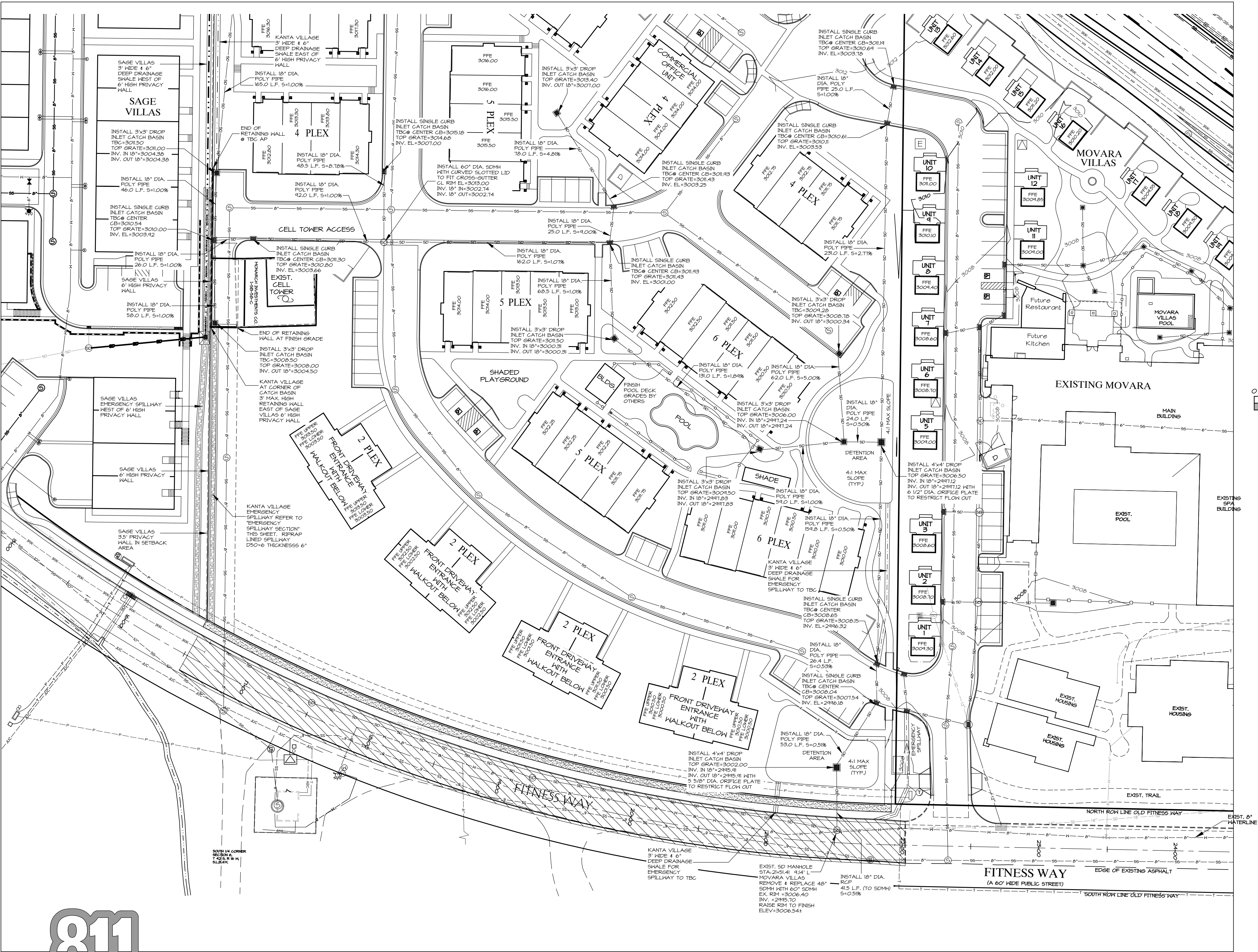
### GRADING AND DRAINAGE PLAN FOR KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C2.1



CONTINUED REFER TO SHT. C2.3



LEGEND

- SS = EX-SEWER MAIN
- ⊕ = EX-SEWER MANHOLE
- ⊕ = PROPOSED-SEWER MANHOLE
- SS = PROPOSED-SEWER LINE
- SD = EX-STORM DRAIN
- SD = PROPOSED-STORM DRAIN
- ⊕ = PROPOSED-STORM DRAIN MANHOLE
- ⊕ = PROPOSED-STORM DRAIN CATCH BASIN
- W = EX-WATER MAIN
- W = PROPOSED-WATER LINE
- IRR = PROPOSED IRRIGATION LINE
- ⊕ = EX-FIRE HYDRANT
- ⊕ = PROPOSED-FIRE HYDRANT
- ⊕ = EX-WATER VALVE
- ⊕ = PROPOSED-WATER VALVE
- ⊕ = EX-POWER POLE
- OH = OVERHEAD POWER LINE

NOTE:

UTILITIES SHOWN ON THE PLANS ARE SCHEMATIC AND NOT TO SCALE TO SHOW DETAIL. ACTUAL LOCATION OF UTILITIES TO BE WITHIN THE PUBLIC UTILITIES EASEMENT OR DEDICATED RIGHT-OF-WAY.

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES, STORM DRAIN, SEWER LINES AND WATER LINES SHOWN OR NOT SHOWN ON UTILITY PLAN AND RELOCATE IF THERE IS CONFLICTS WITH PROPOSED STRUCTURES OR PROPOSED SITE CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH "MINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION 2010", "THE INTERNATIONAL BUILDING CODE" LATEST EDITIONS AS ADMINISTERED BY MINS CITY.

FINISH ELEVATIONS NOTE:

FOR SITE FINISH ELEVATIONS AND SLOPES REFER TO GRADING PLAN SHT. 2.0

FITNESS WAY STORM DRAIN NOTE:

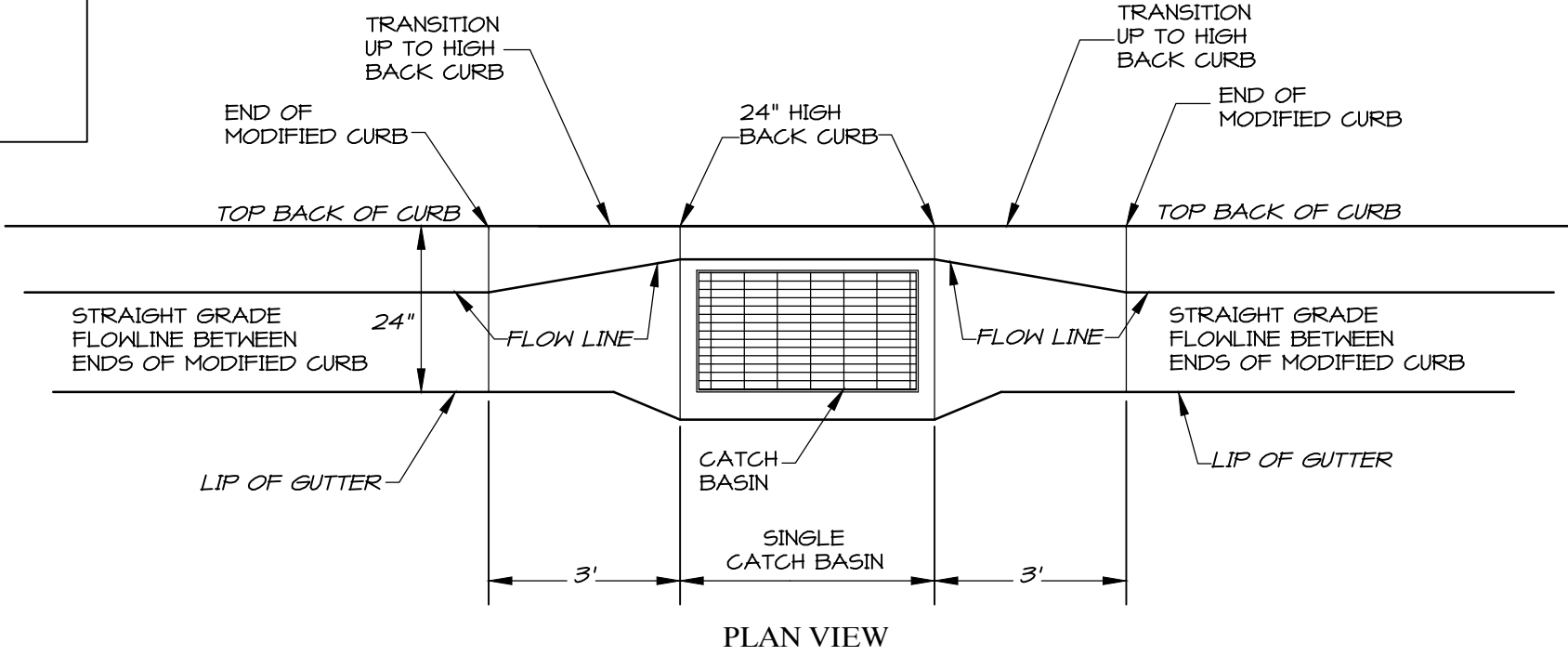
REFER TO STORM DRAIN IMPROVEMENTS PLAN & PROFILE - FITNESS WAY SHTS. C4.0. AND C4.1 FOR LOCATION AND ELEVATIONS OF FITNESS WAY STORM DRAIN IMPROVEMENTS.

HIGHWAY 91 ENCROACHMENT NOTE:

CONTRACTOR TO PROVIDE TRAFFIC CONTROL FOR ANY WORK IN HIGHWAY 91 RIGHT OF WAY. THIS WILL BE PART OF THE ENCROACHMENT PERMIT.

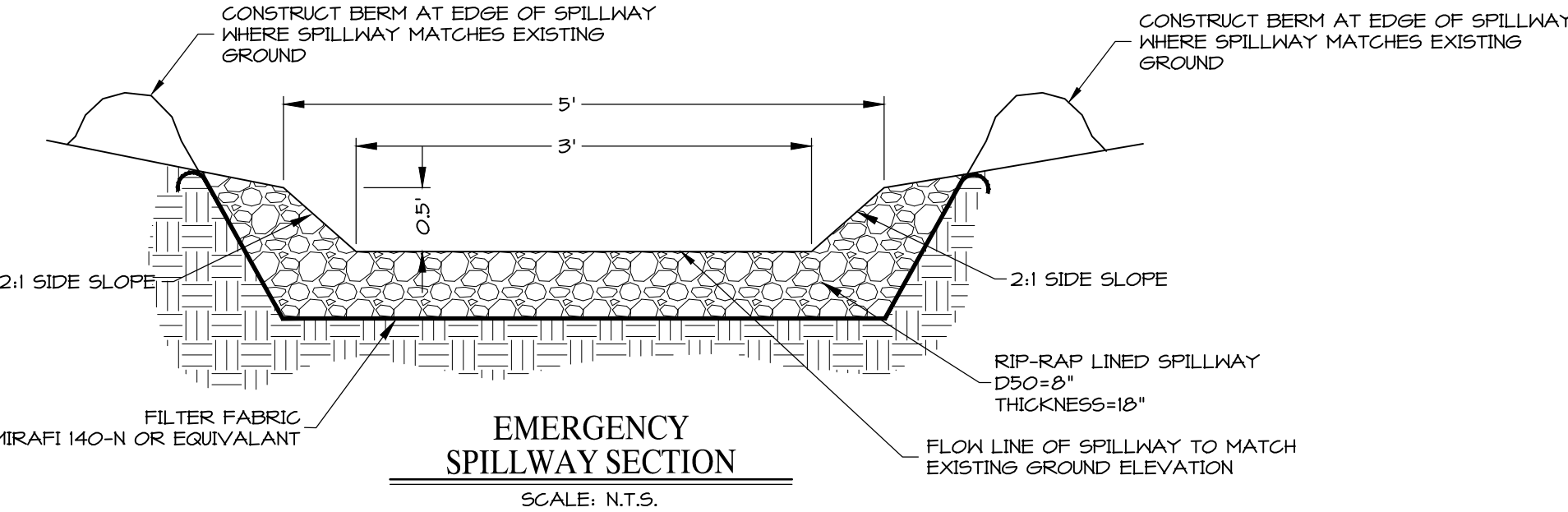
CATCH BASIN NOTE:

CONSTRUCT 24" HIGH BACK CURB & GUTTER AT ALL CURB INLET CATCH BASINS. MATCH AND HOLD FLOWLINE BETWEEN 24" MODIFIED CURB & GUTTER. TRANSITION BACK TO 24" MODIFIED CURB AND GUTTER 3 FEET BEYOND EACH END OF CATCH BASIN.



MODIFIED CURB TRANSITION AT CURB INLET CATCH BASINS

SCALE: N.T.S.



EMERGENCY SPILLWAY SECTION

SCALE: N.T.S.



Know what's below.  
Call before you dig.

NOTICE: EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

DATE: 3-13-19  
JOB NO.: 5081-18-017  
DESIGNED BY: LMM  
CHECKED BY: RAR  
DWG: BM 5081 Master

REVISIONS

ROSENBERG  
ASSOCIATES  
CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2  
St. George, Utah 84790  
Ph: (435) 673-8886; Fx: (435) 673-8397  
www.rscivil.com

STORM DRAIN AND DRAINAGE IMPROVEMENTS  
FOR  
KANTA VILLAGE

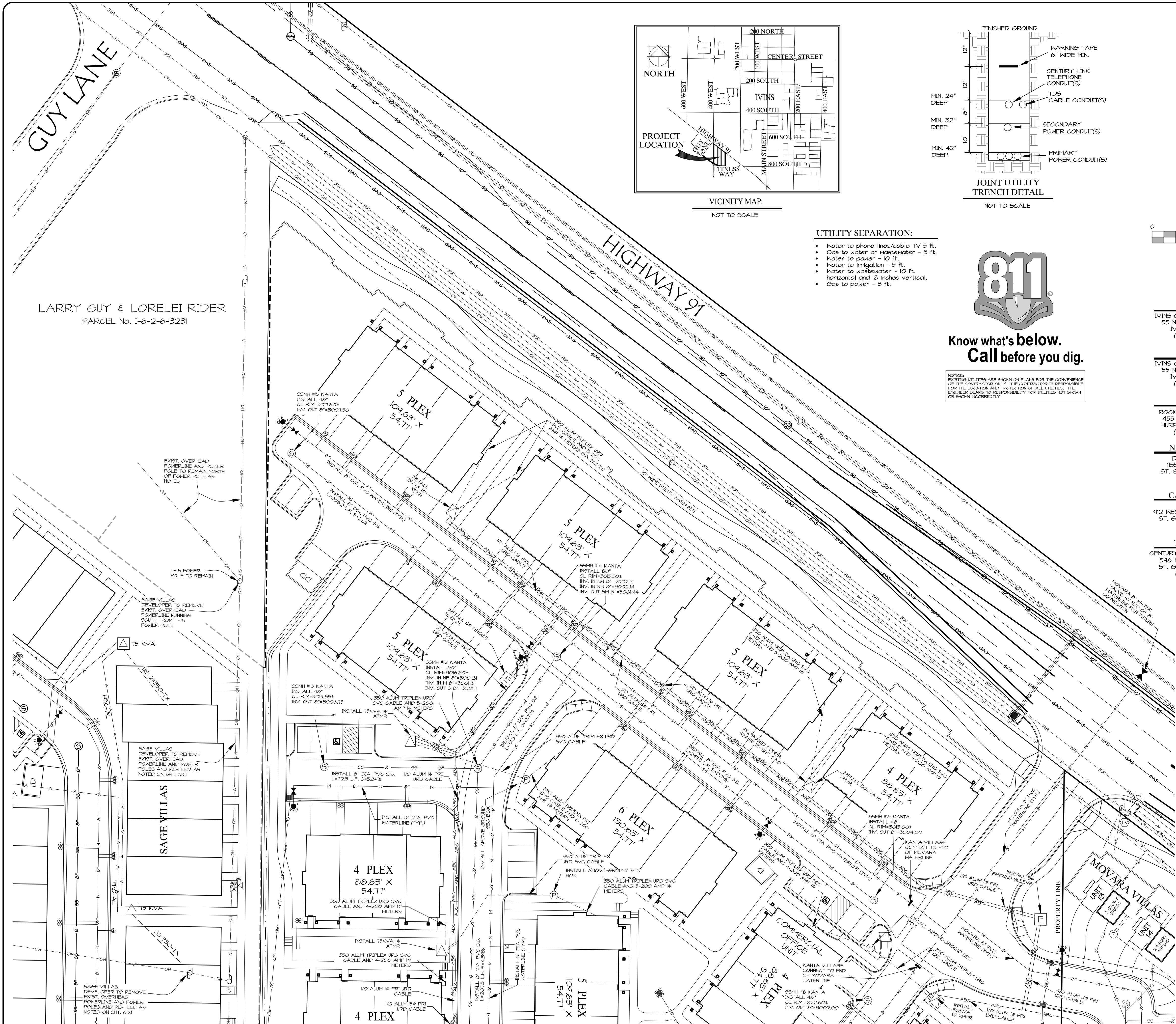
NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C2.2









UTILITY SEPARATION:

- Water to phone lines/cable TV 5 ft.
- Gas to water or wastewater - 3 ft.
- Water to power - 10 ft.
- Water to irrigation - 5 ft.
- Water to wastewater - 10 ft.
- Horizontal and 18 inches vertical.
- Gas to power - 3 ft.



NOTICE: EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER DEANS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR SHOWN INCORRECTLY.

WATER

IVINS CITY - PUBLIC WORKS  
55 NORTH MAIN STREET  
IVINS, UTAH 84738  
(435) 634-0684

SEWER

IVINS CITY - PUBLIC WORKS  
55 NORTH MAIN STREET  
IVINS, UTAH 84738  
(435) 634-0684

POWER

ROCKY MOUNTAIN POWER  
455 NORTH OLD HWY 91  
HURRICANE, UTAH 84737  
(435) 688-3708

NATURAL GAS

DOMINION ENERGY  
1155 EAST 350 NORTH  
ST. GEORGE, UTAH 84770  
(435) 674-6157

CATV SERVICE

TD5 TELECOM  
912 WEST 1600 SOUTH #B103  
ST. GEORGE, UTAH 84770  
(435) 319-4510

TELEPHONE

CENTURY LINK COMMUNICATIONS  
546 N. 1400 E. (TRAILER)  
ST. GEORGE, UTAH 84770  
(435) 673-4634

NOTE:

UTILITIES SHOWN ON THE PLANS ARE SCHEMATIC AND NOT TO SCALE TO SHOW DETAIL. ACTUAL LOCATION OF UTILITIES TO BE WITHIN THE PUBLIC UTILITIES EASEMENT OR DEDICATED RIGHT-OF-WAY.

CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES, STORM DRAIN, SEWER LINES AND WATER LINES SHOWN OR NOT SHOWN ON UTILITY PLAN AND RELOCATE IF THERE IS CONFLICTS WITH PROPOSED STRUCTURES OR PROPOSED SITE CONSTRUCTION.

ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH IVINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION 2010, "THE INTERNATIONAL BUILDING CODE" LATEST EDITIONS AS ADMINISTERED IVINS CITY.

PUBLIC UTILITY & DRAINAGE EASEMENTS NOTE:

BY RECORDING THE FINAL PLAT FOR MOVARA VILLAS, PUBLIC UTILITY & DRAINAGE EASEMENTS ARE HEREBY GRANTED WITHIN ALL COMMON AND LIMITED COMMON AREAS WITHIN THE SUBDIVISION FOR INSTALLATION, ACCESS, MAINTENANCE, AND REPAIR OF ALL UTILITIES INCLUDING NATURAL GAS, CABLE TV, TELEPHONE, WATER, POWER, SEWER AND DRAINAGE IMPROVEMENTS.

HIGHWAY 91 ENCROACHMENT NOTE:

CONTRACTOR TO PROVIDE TRAFFIC CONTROL FLOW FOR ANY WORK IN HIGHWAY 91 RIGHT OF WAY. THIS WILL BE PART OF THE ENCROACHMENT PERMIT.

HIGHWAY 91 PAVEMENT DESIGN NOTE:

BASED ON THE ASSUMED TRAFFIC LOADINGS AND IVINS CITY TRAFFIC INDEXES, A 20 YEAR DESIGN LIFE, AND AASHTO DESIGN METHODS A MINIMUM ASPHALT CONCRETE (AC) THICKNESS TO BE 4.5 INCHES OVER 8 INCHES OF ROAD BASE. REFER TO THE RECOMMENDATIONS INCLUDED IN THE FEBRUARY 20, 2019 TECHNICAL MEMO - PAVEMENT APPENDIX TO THE GEOTECHNICAL INVESTIGATIONS FOR KANTA VILLAGE, PREPARED BY ASEC, PROJECT NUMBER 210845, DATED SEPTEMBER 12, 2019 AND FOR MOVARA VILLAS, PREPARED BY ASEC, PROJECT NUMBER 210854, DATED JANUARY 19, 2019, 1420 SOUTH 270 EAST, ST. GEORGE, UTAH, 84770.

CIVIL ENGINEER

ROB A. REID, P.E.  
ROSENBERG ASSOCIATES  
352 EAST RIVERSIDE DRIVE,  
SUITE A2  
ST. GEORGE, UTAH 84790  
(435) 673-8586

GEOTECHNICAL ENGINEER

ASEC  
ARNOLD DECASTRO, P.E.  
1420 SOUTH 270 EAST  
ST. GEORGE, UTAH 84790  
(435) 680-6844

OWNER/DEVELOPER

OWNER: KAL MALHI  
OWNER REPRESENTATIVE:  
MAC BOWELL  
17544 WEST AGAVE COURT  
60024, AZ 85338  
(602) 606-3241

PROPERTY LOCATION

THE PROPERTY IS LOCATED WEST OF MOVARA ALONG THE SOUTH RIGHT-OF-WAY LINE OF HIGHWAY 91 AND ALONG THE NORTH RIGHT-OF-WAY LINE OF FITNESS WAY IVINS, UTAH

PROPERTY ADDRESS

KANTA VILLAGE  
343 WEST HIGHWAY 91  
IVINS, UT 84738

PARCEL ACREAGE

391,312 SQ. FT. - 4.12 ACRES

KANTA VILLAGE

POWER, SEWER AND WATER PLAN

LOCATED IN SOUTH 1/4 OF SECTION 6, TOWNSHIP 42 SOUTH, RANGE 16 WEST OF THE SALT LAKE BASE AND MERIDIAN IN THE CITY OF IVINS, WASHINGTON COUNTY, UTAH.

DATE:	3-13-19
JOB NO.:	10156-17
DESIGNED BY:	LMM
CHECKED BY:	RAR
DWG. BY:	Map 5881 Master
DATE:	
REVISIONS:	

**ROSENBERG**  
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Ph: (435) 673-8586; Fx: (435) 673-8397  
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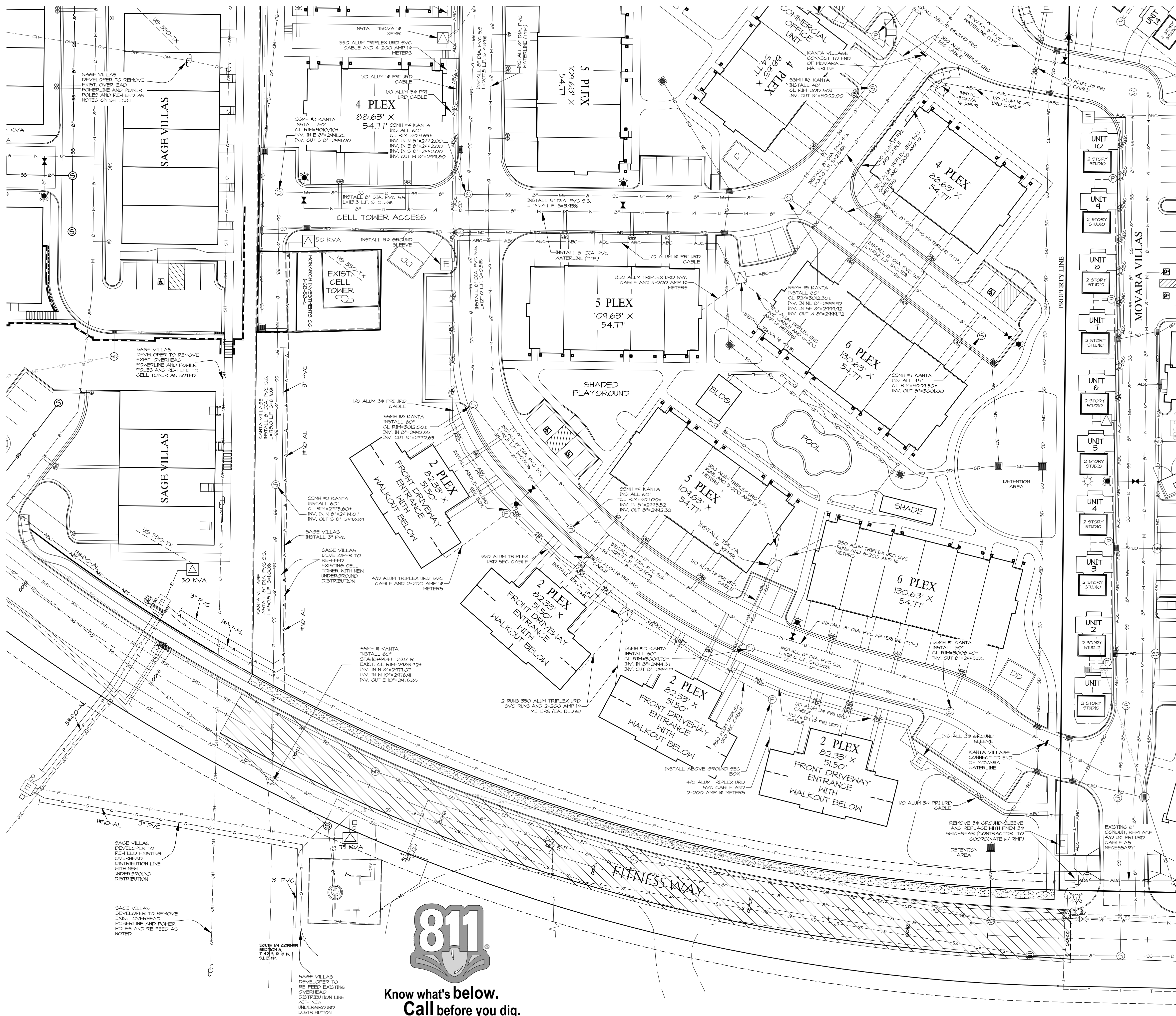
UTILITY PLAN - POWER, SEWER & WATER  
FOR  
KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

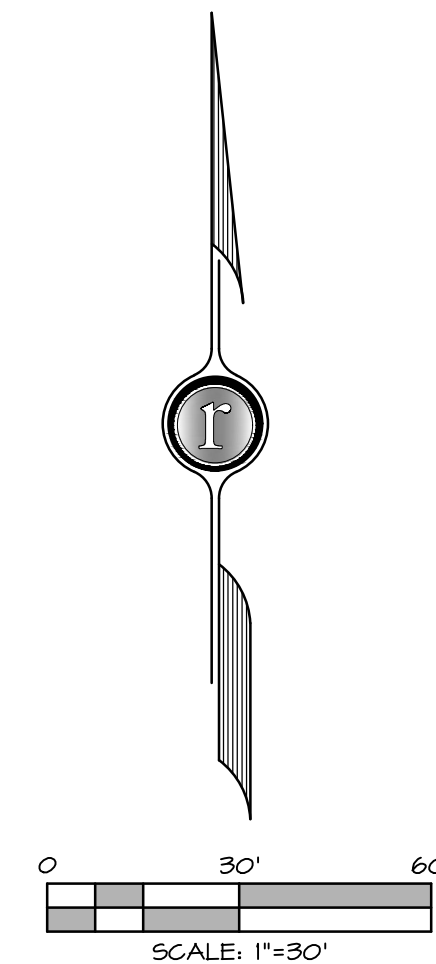
C3.0



CONTINUED REFER TO SHT. C3.0



- LEGEND**
- = EXISTING ASPHALT
  - = FUTURE CONC. SIDEWALK
  - = PROPOSED CONSTRUCTION AREA OF FITNESS WAY PUBLIC STREET
  - = EXISTING SEWER MAIN
  - = EXISTING SEWER MANHOLE
  - = PROPOSED SEWER LINE
  - = EXISTING STORM DRAIN
  - = PROPOSED STORM DRAIN
  - = PROPOSED STORM DRAIN MANHOLE
  - = PROPOSED STORM DRAIN CATCH BASIN
  - = EXISTING WATER MAIN
  - = PROPOSED WATER LINE
  - = PROPOSED WATER LATERAL 4 METER
  - = EXISTING IRRIGATION LINE
  - = PROPOSED IRRIGATION LINE
  - = EXISTING FIRE HYDRANT
  - = PROPOSED FIRE HYDRANT
  - = EXISTING WATER VALVE
  - = PROPOSED WATER VALVE
  - = EXISTING POWER POLE
  - = OVERHEAD POWER LINE
  - = TRANSFORMER
  - = GROUND SLEEVE JUNCTION BOX
  - = ACCESSIBLE PARKING SPACE AND SIGN
  - = EXISTING TV
  - = EXISTING TELEPHONE
  - = PROPOSED TV
  - = PROPOSED TELEPHONE
  - = EXISTING NATURAL GAS (SIZE NOTED ON PLAN)
  - = PROPOSED NATURAL GAS (SIZE NOTED ON PLAN)



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UTILITY PLAN - POWER, SEWER & WATER  
FOR  
KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

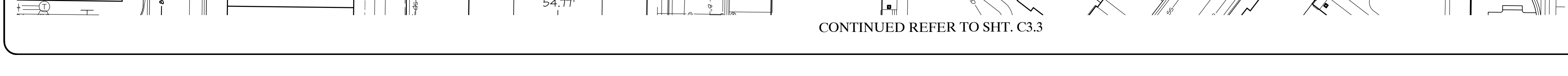
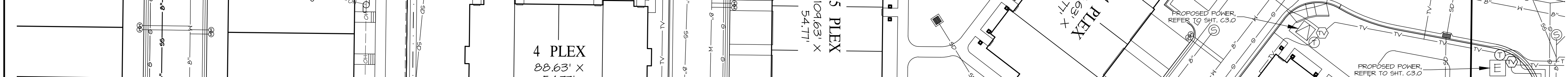
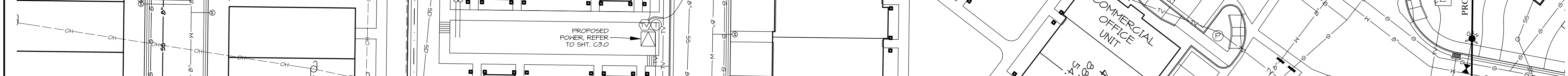
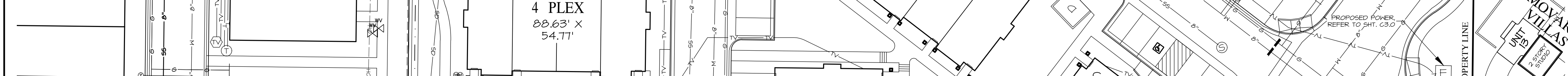
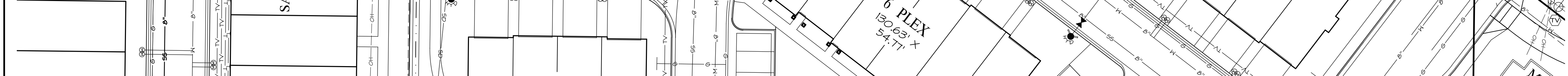
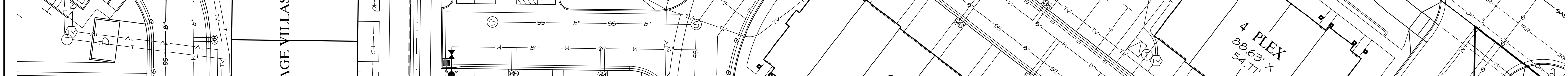
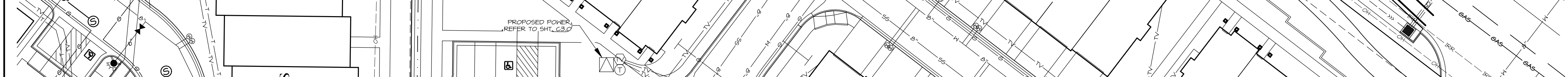
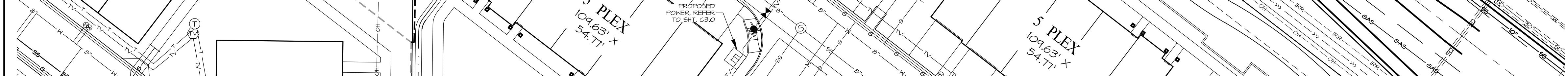
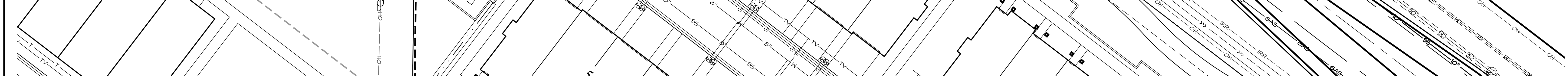
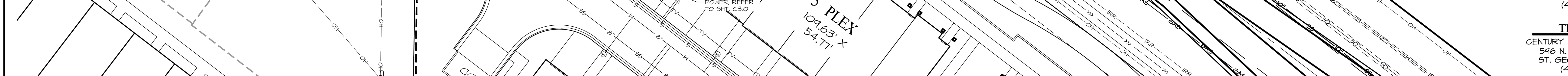
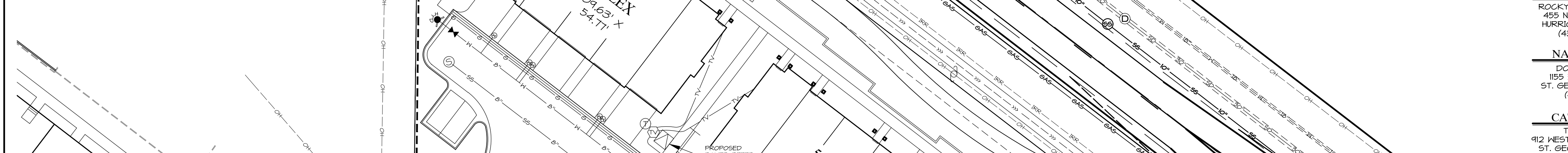
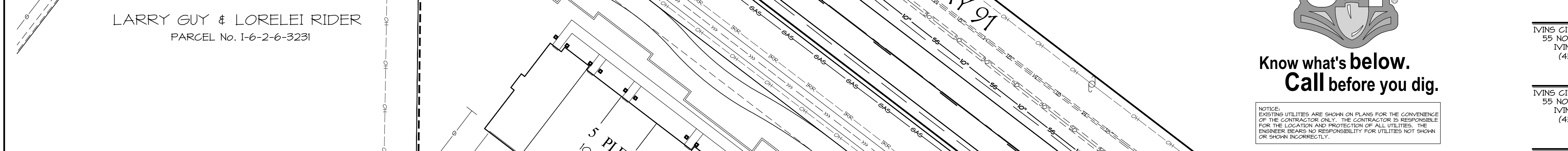
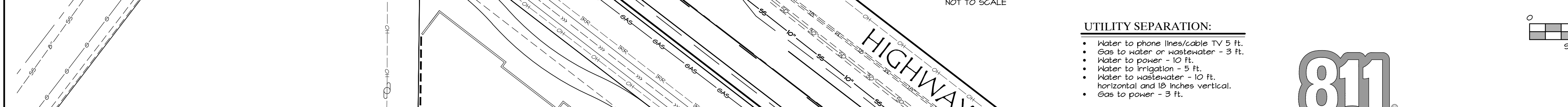
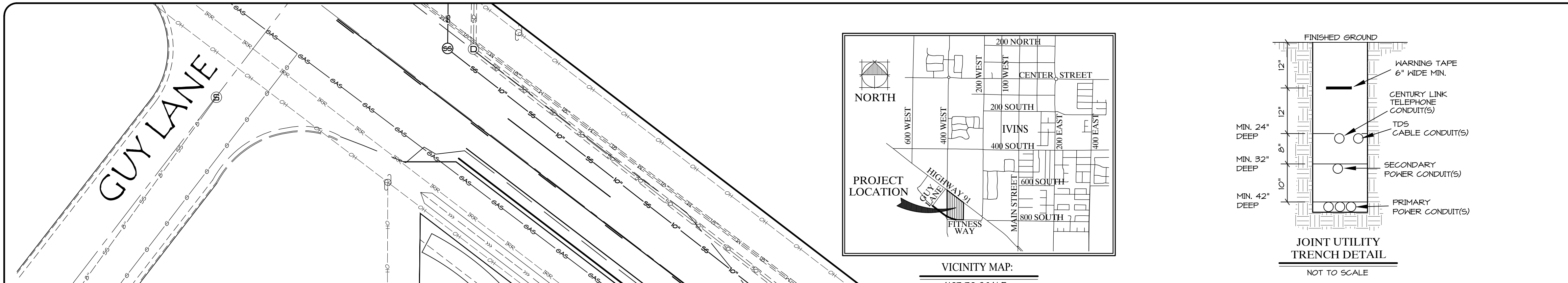
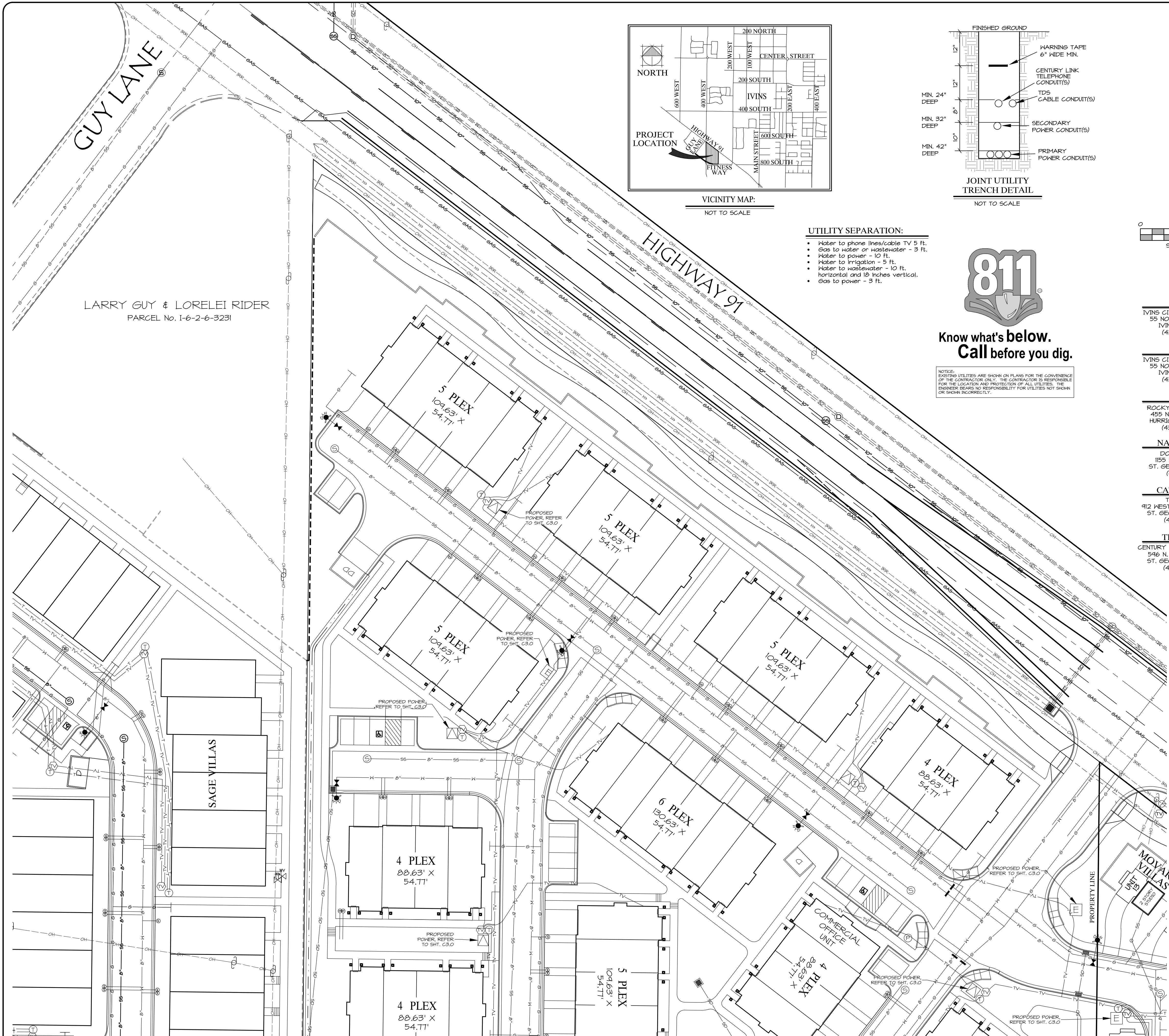
C3.1

**KANTA VILLAGE**  
POWER, SEWER AND WATER PLAN  
LOCATED IN SOUTH 1/4 OF SECTION 6, TOWNSHIP 42 SOUTH, RANGE 16 WEST  
OF THE SALT LAKE BASE AND MERIDIAN IN THE CITY OF IVINS, WASHINGTON COUNTY, UTAH.

**811**  
Know what's below.  
Call before you dig.

NOTICE:  
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ENGINEER BEARS NO RESPONSIBILITY FOR UTILITIES NOT SHOWN  
OR SHOWN INCORRECTLY.





DATE: 3-13-19

JOB NO.: 10156-17

DESIGNED BY: LMM

CHECKED BY: RAR

DWG: BMap 5081 Master

REVISIONS

DATE

DESCRIPTION

ROSENBERG

A S S O C I A T E S

CIVIL ENGINEERS • LAND SURVEYORS

352 East Riverside Drive, Suite A-2

St. George, Utah 84770

Ph (435) 673-8880; Fs (435) 673-8397

www.rscivil.com

UTILITY PLAN - GAS, TELEPHONE & CATV

FOR

KANTA VILLAGE

NOT FOR CONSTRUCTION

PLANS NOT APPROVED

C3.2

## KANTA VILLAGE

### GAS, PHONE AND CATV PLAN

LOCATED IN SOUTH 1/4 OF SECTION 6, TOWNSHIP 42 SOUTH, RANGE 16 WEST OF THE SALT LAKE BASE AND MERIDIAN IN THE CITY OF IVINS, WASHINGTON COUNTY, UTAH.

#### CIVIL ENGINEER

ROB A. REID, P.E.  
ROSENBERG ASSOCIATES  
352 EAST RIVERSIDE DRIVE,  
SUITE A2  
ST. GEORGE, UTAH 84770  
(435) 673-8586

#### GEOTECHNICAL ENGINEER

AGEC  
ARNOLD DECASTRO, P.E.  
1420 SOUTH 270 EAST  
ST. GEORGE, UTAH 84770  
(435) 680-6844

#### OWNER/DEVELOPER

OWNER: KAL MALHI  
OWNER REPRESENTATIVE:  
MAC BOWELL  
17544 WEST AGAVE COURT  
GOODYEAR, AZ 85338  
(623) 606-3241

#### PROPERTY LOCATION

THE PROPERTY IS LOCATED  
WEST OF MOVARA ALONG THE  
SOUTH RIGHT-OF-WAY LINE OF  
HIGHWAY 91 AND ALONG THE  
NORTH RIGHT-OF-WAY LINE OF  
FITNESS WAY IVINS, UTAH

#### PROPERTY ADDRESS

KANTA VILLAGE  
343 WEST HIGHWAY 91  
IVINS, UT 84738

#### PARCEL ACREAGE

391,312 SQ. FT. - 4.12 ACRES







1. DEVELOPER NEEDS TO CONTACT QUESTAR GAS MARKETING DEPARTMENT, PRIOR TO BREAKING GROUND, FOR HAS SIGN UP -> JEFF BURTON @ 435-632-4566
2. DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPERS EXPENSE
3. IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COST. A MAP WILL BE AVAILABLE AT QUESTAR GAS FOR CASING LOCATIONS (N/E 350 N - ST. GEORGE).
4. ALL OF THE 10 FOOT UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE HAS LINES WILL BE INSTALLED. \*\*\*\*\* DEVELOPER WILL BE RESPONSIBLE FOR THE CLOSING. ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION.
5. ALL TRENCHES SHALL BE BACKFILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
6. PROPERTY LOT LINES, BACK OF BURN AND GRADE MUST BE STAKED BY DEVELOPER BEFORE HAS WILL BE INSTALLED.
7. WATER AND SEWER LINES, CULVERTS OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
8. FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF GAS SERVICE TO THIS PROJECT.
9. CONTACT JEFF BURTON @ 435-632-4566 AT LEAST TWO WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
10. \*\*\*\*\*IMPORTANT NOTICE\*\*\*\*\* GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED, STREETS ARE WITHIN 6 INCHES OF CURB AND THE 10 FOOT UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.
11. HIGH PRESSURE GAS NOTE, IF HIGH PRESSURE GAS LINES ARE LOCATED IN OR NEAR YOUR DIGGING AREA,  
BEFORE DIGGING PLEASE CALL:  
ERRY JONES @ 435-664-0889 OR  
CORDELL NAYLOR @435-664-2337

1. DEVELOPER TO PLACE CONDUIT IN ALL JOINTS, GREEKS, AND JOBS OF OWNER LOCATION. CONTACT CENTURY LINK ENGINEER FOR PRINT IF NEEDED.
2. CENTURY LINK WILL PROVIDE ALL CONDUIT AND DELIVER TO JOB SITE. CALL 432-6093 TO SCHEDULE DELIVERY.
3. CONTRACTOR TO INSTALL CONDUIT AND PLACE PULL STRING IN ALL CONDUIT TO VERIFY CONDUIT INTEGRITY.
4. ALL CONDUIT IS 2" UNLESS OTHERWISE NOTED.
5. ANY QUESTIONS TO JJC. APPROVED PLANS PLEASE CONTACT CENTURY LINK ENGINEER AT 673-4634
6. ANY PLANT RELATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE TO OWNER/DEVELOPER. CENTURY LINK ENGINEER MUST BE CONTACTED A MINIMUM OF 4 WEEKS BEFORE RELOCATION IS REQUIRED.
7. DEVELOPER IS RESPONSIBLE TO PROVIDE ALL STREET NAMES AND ADDRESSES. WITHIN 3 WEEKS OF ANY APPROVAL. FAILURE TO PROVIDE ADDRESSES WILL RESULT IN A DELAY OF SERVICE TO PROJECT.

1. CONTACT MATT HEATON (801) 930-0444 FOR QUESTIONS.
2. TO SCHEDULE SITE VISIT CONTACT MATT HEATON (801) 930-0444 OR GENE MORRIS (435) 705-4977 (45 DAY ADVANCE NOTICE)
3. TQN WILL PROVIDE CONDUIT IN EXISTING OPEN TRENCH. PLEASE CONTACT MATT OR GENE 10 DAYS BEFORE TRENCH OPENS.

1. THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILL TO THE DEVELOPER.
2. TDS WILL PROVIDE CONDUITS. CONTACT DAVID TRANTVEIN AT (435) 703-8432 AT LEAST TWO WEEKS PRIOR TO OPENING TRENCH TO SCHEDULE WORK.
3. FOR MOUS AND COMMERCIAL UNITS THERE MUST BE ONE RG-6 COAXIAL CABLE COMING FROM EACH UNIT TO THE DEMARC LOCATION.
4. ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARD DAVID TRANTVEIN WITH TDS AT (435) 703-8432.
5. RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR.
6. ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WELL AS DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

BY RECORDING THE FINAL PLAT FOR MOVARA VILLAS, PUBLIC UTILITY & DRAINAGE EASEMENTS ARE HEREBY GRANTED WITHIN ALL COMMON AND LIMITED COMMON AREAS WITHIN THE SUBDIVISION FOR INSTALLATION, ACCESS, MAINTENANCE, AND REPAIR OF ALL UTILITIES INCLUDING NATURAL GAS, CABLE TV, TELEPHONE, WATER, POWER, SEWER AND DRAINAGE IMPROVEMENTS.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION.
2. THE CONTRACTOR IS REQUIRED TO CALL IVINS CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
3. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
4. ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
5. UNLESS OTHERWISE ON THESE PLANS ALL CONSTRUCTION SHALL CONFORM TO THE "IVINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION 2002" (THE "INFORM FLUMING CODE" AND THE "UNIFORM BUILDING CODE") LATEST EDITIONS AS ADMINISTERED BY IVINS CITY.
6. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITY, STORM DRAIN AND FIRE SERVICE LINES SHOWN OR NOT SHOWN ON UTILITY PLAN.
7. ALL EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE "UTAH STATE DEPARTMENT OF HIGHWAYS INTERNATIONAL BUILDING CODE," LATEST EDITION AND REQUIREMENTS INCLUDED IN THE FEBRUARY 20, 2014 TECHNICAL MEMO - PAVEMENT REPAIRS TO BE MADE TO THE DRIVEWAY AT THE KANAB AND MOJAVE VILLAS PREPARED BY AGEC, PROJECT NUMBER 2180B4A5, DATED SEPTEMBER 12, 2018 AND FOR MOJAVE VILLAS, PREPARED BY AGEC, PROJECT NUMBER 2180B4A5, DATED JANUARY 14, 2019, 1420 SOUTH W 1600 EAST, GEORGE JENSEN UTILITY, 84740.

1. ALL WATERLINE NOZZLES MUST BE INSTALLED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY IVINS CITY WATER DEPARTMENT.
2. ALL CONSTRUCTION SHALL CONFORM TO THE "IVINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION 2001" (THE "INTERNATIONAL PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY IVINS CITY.
3. CONTRACTOR SHALL POT-HOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION.
4. THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW PER THE INTERNATIONAL PLUMBING CODE (IPC) SECTION 608.16.5 AND FOR FIRE SPRINKLER SYSTEMS PER (IPC) 608.16.4.
5. APPROVED BACKFLOW PREVENTION DEVICES SHALL BE INSTALLED FOR ALL REQUIRED IN-AREA PRIVATE FIRE SERVICE.
6. 1/4 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES, THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
7. THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS, USE MEGA-LOG ON THE FITTINGS AND FIELD LOCK GASKETS ON THE JOINTS.
8. ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH LINE ON EACH SIDE OF THE TRENCH.
9. CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UNUSED SUB LINES THAT WILL BE ABANDONED.
10. ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND IDENTIFIED BY THE IVINS CITY WATER SERVICES ENGINEER.
11. FIRE HYDRANTS AND WATER METERS SHALL BE INSTALLED 3 FT. BEHIND BACK OF CURB.
12. CONSTRUCT WATERLINE TO HAVE MINIMUM 3.5 FT. COVER FROM EXISTING GROUND.

1. NO SEWER UNDER 9' DEEP UNLESS APPROVED BY IVINS CITY.
2. ANY SEWERS NOT IN PUBLIC STREETS SHALL SHOW RECORDED EASEMENTS.
3. BUILDINGS MAY REQUIRE INTERCEPTORS AT A LATER DATE.
4. ALL SEWER MANHOLES SHALL HAVE IVINS CITY LOGO LIDS FOR FINAL INSPECTION.
5. 100' MAXIMUM SPACE BETWEEN SEWER LATERAL CLEANOUTS.
6. PRIVATE SEWER LINES TO BE MAINTAINED BY OWNER.

1. CONTACT ROCKY MOUNTAIN POWER FOR EXACT DESIGN.
2. CONTRACTOR TO FOLLOW ALL BLUE STAKES PROTOCOLS.
3. THE POWER DESIGN ON THIS UTILITY PLAN IS CONSIDERED BY ROCKY MOUNTAIN POWER ENERGY SERVICES AS PRELIMINARY AND NON-BIDABLE UNTIL ACCOMPANIED BY A JC APPROVAL STAMP.
4. ALL PRIMARY UNDERGROUND POWER WORK/INSTALLATION MUST BE COMPLETED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY ROCKY MOUNTAIN POWER. ALL OVERHEAD POWER/INSTALLATION MUST BE COMPLETED BY ROCKY MOUNTAIN POWER.
5. ALL WORK DONE BY ROCKY MOUNTAIN POWER WILL BE PREPAID BY THE DEVELOPER.
6. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO PROVIDE LOCATION AND ELEVATION OF ALL EXISTING AND DESIGN UNDERGROUND/OVERHEAD UTILITIES AND STRUCTURES THAT WILL IMPACT THE ROCKY MOUNTAIN POWER DESIGN.
7. ALL JUC TRENCHES WILL BE BACKFILL AND COMPACTED IN 6" TO 8" LIFTS TO A COMPACTION OF 95% IN ROADWAYS/SIDEWALKS AND 90% BELOW SIDEWALK. TESTING IS TO BE DONE AT MIDDLE AND TOP OF TRENCH.
8. ALL CHANGES TO EXISTING GRADES NAR EXISTING POWER UTILITIES MUST BE APPROVED BY ROCKY MOUNTAIN POWER PRIOR TO CONSTRUCTION.
9. ANY IN FIELD CHANGES TO JUC APPROVED POWER DESIGN WILL BE AT THE DEVELOPER'S EXPENSE AND MUST BE PRE-APPROVED AND DOCUMENTED BY ROCKY MOUNTAIN POWER PRIOR TO INSTALLATION.

DATE:		3-13-19							
JOB NO.:		10156-17							
DESIGNED BY:		LMM							
CHECKED BY:		RAR							
DWG:		BMap 5881 Master							
REVISIONS	DATE								



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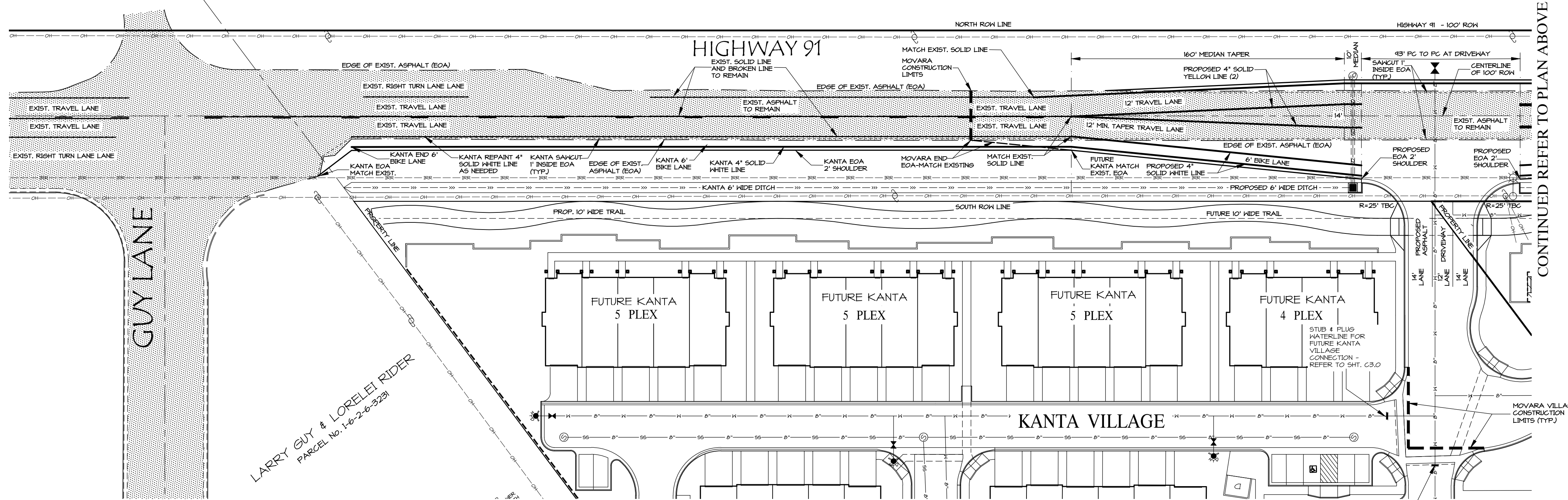
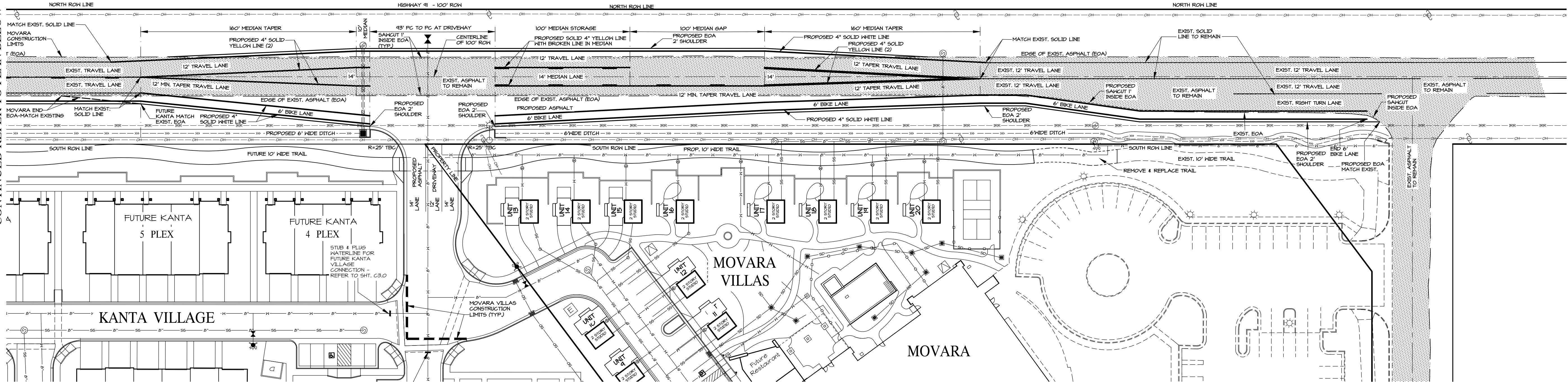
# UTILITY NOTES FOR KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

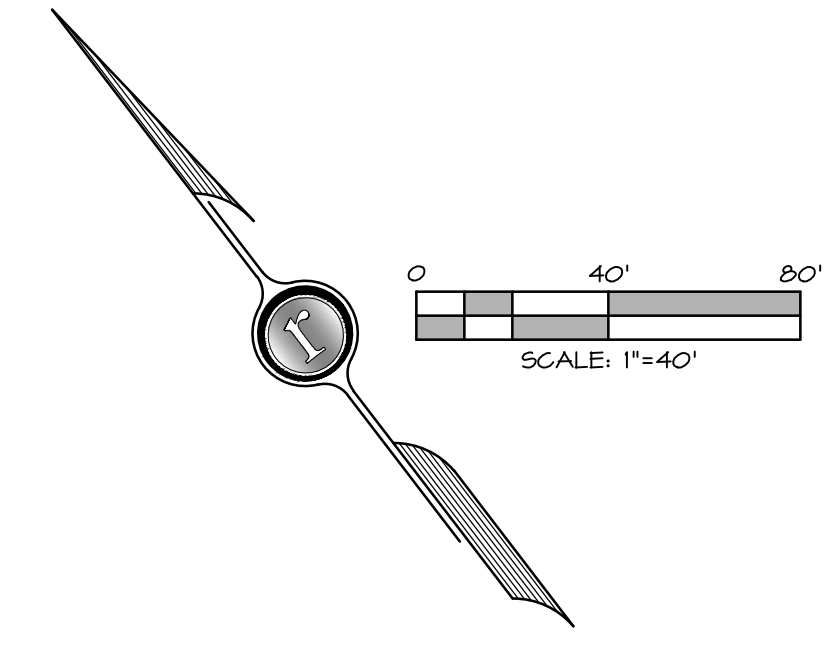
### C3.4



CONTINUED REFER TO PLAN BELOW



CONTINUED REFER TO PLAN ABOVE



LEGEND	
— OH —	=EXISTING OVERHEAD POWER LINE
— IRR —	=EXISTING IRRIGATION LINE
— W — 8" —	=PROPOSED WATER LINE
— SD — SD —	=PROPOSED STORM DRAIN
— SS — SS —	=PROPOSED SEWER LINE
— W — W —	=PROPOSED WATER LINE
— ABC —	=PROPOSED PRIMARY POWER
— — —	=PROPOSED SECONDARY POWER
▨	=EXISTING ASPHALT

- NOTES:
1. THE EXISTING 30" STORM DRAIN LINE, THE EXISTING 10" SANITARY SEWER LINE AND THE EXISTING 18" WATERLINE ALONG THE NORTH SIDE OF HIGHWAY 91 ARE NOT SHOWN ON THIS PLAN FOR VISIBILITY OF PAVEMENT MARKINGS, NOTES AND EDGE OF ASPHALT.
  2. ALL TRAFFIC CONTROL SIGNS AND LANE LINES SHALL CONFORM TO THE IVINS CITY STANDARD SPECIFICATIONS FOR "DESIGN AND CONSTRUCTION" AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  3. PERMISSIBLE LANE TAPER OF 160 FEET BASED ON L=1604 WHERE W=6 AND S=40 MPH.

HIGHWAY 91 ENCROACHMENT NOTE:

CONTRACTOR TO PROVIDE TRAFFIC CONTROL FLOW FOR ANY WORK IN HIGHWAY 91 RIGHT OF WAY. THIS WILL BE PART OF THE ENCROACHMENT PERMIT.

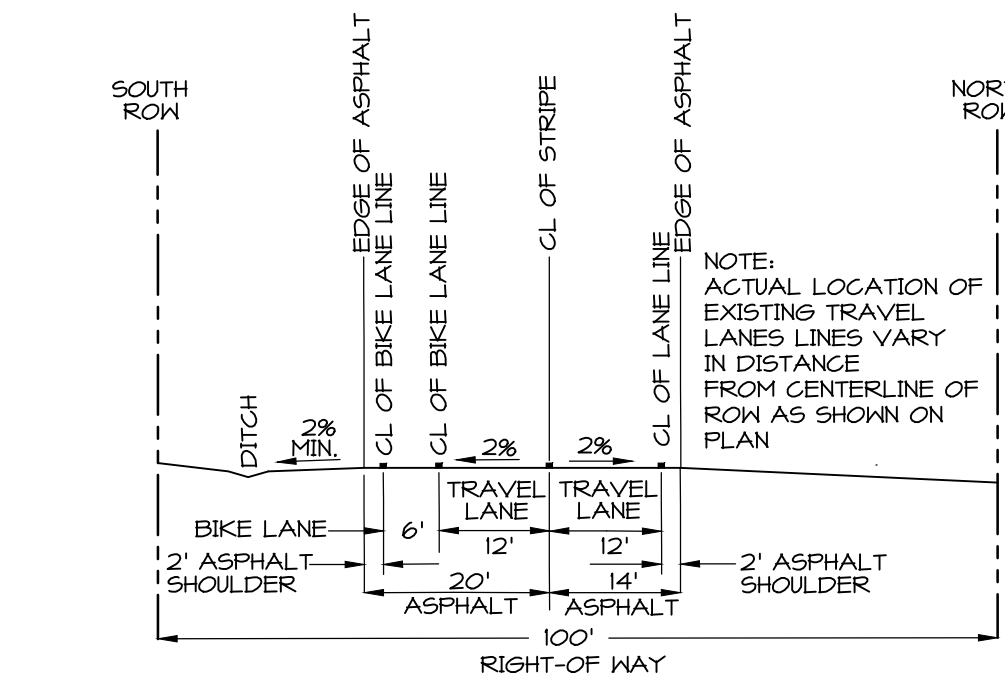
HIGHWAY 91 PAVEMENT DESIGN:

BASED ON THE ASSUMED TRAFFIC LOADINGS AND IVINS CITY TRAFFIC INDEXES, A 20 YEAR DESIGN LIFE, AND AASHTO DESIGN METHODS A MINIMUM ASPHALT CONCRETE (AC) THICKNESS TO BE 4.5 INCHES OVER 8 INCHES OF ROAD BASE. REFER TO THE RECOMMENDATIONS INCLUDED IN THE FEBRUARY 20, 2019 TECHNICAL MEMO - PAVEMENT ADDENDUM TO THE GEOTECHNICAL INVESTIGATIONS FOR KANTA VILLAGE, PREPARED BY AGEC, PROJECT NUMBER 200045, DATED SEPTEMBER 12, 2018 AND FOR MOVARA VILLAS, PREPARED BY AGEC, PROJECT NUMBER 218145, DATED JANUARY 19, 2019, 1420 SOUTH 270 EAST, ST. GEORGE, UTAH, 84790.



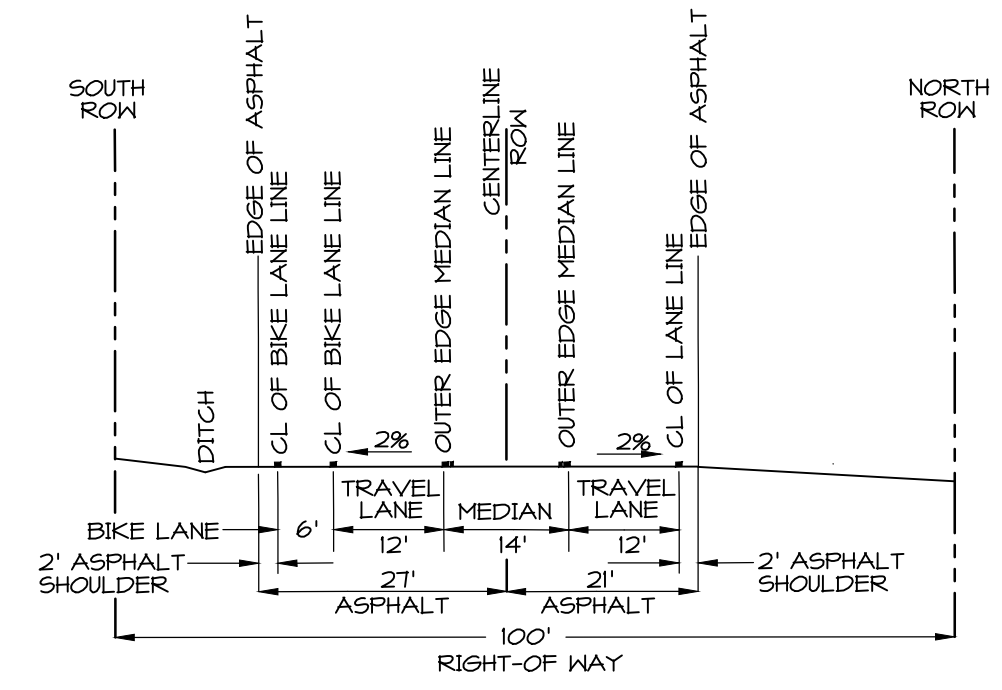
Know what's below.  
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NOTES: UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND DEPTHS OF ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITIES NOT SHOWN ON PLANS. (SEE UTILITY RECORDS).



PROPOSED HIGHWAY 91 CROSS-SECTION (2-LANE)

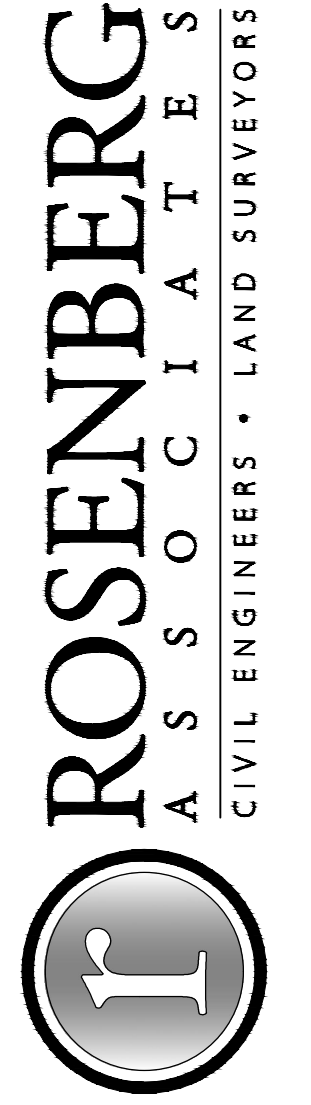
SCALE: N.T.S.



PROPOSED HIGHWAY 91 CROSS-SECTION (3-LANE)

DATE: 3-13-19  
JOB NO.: 5881-18  
DESIGNED BY: LMM  
CHECKED BY: RAR  
DWG: BaseMap 5881

REVISIONS	DATE	DESCRIPTION



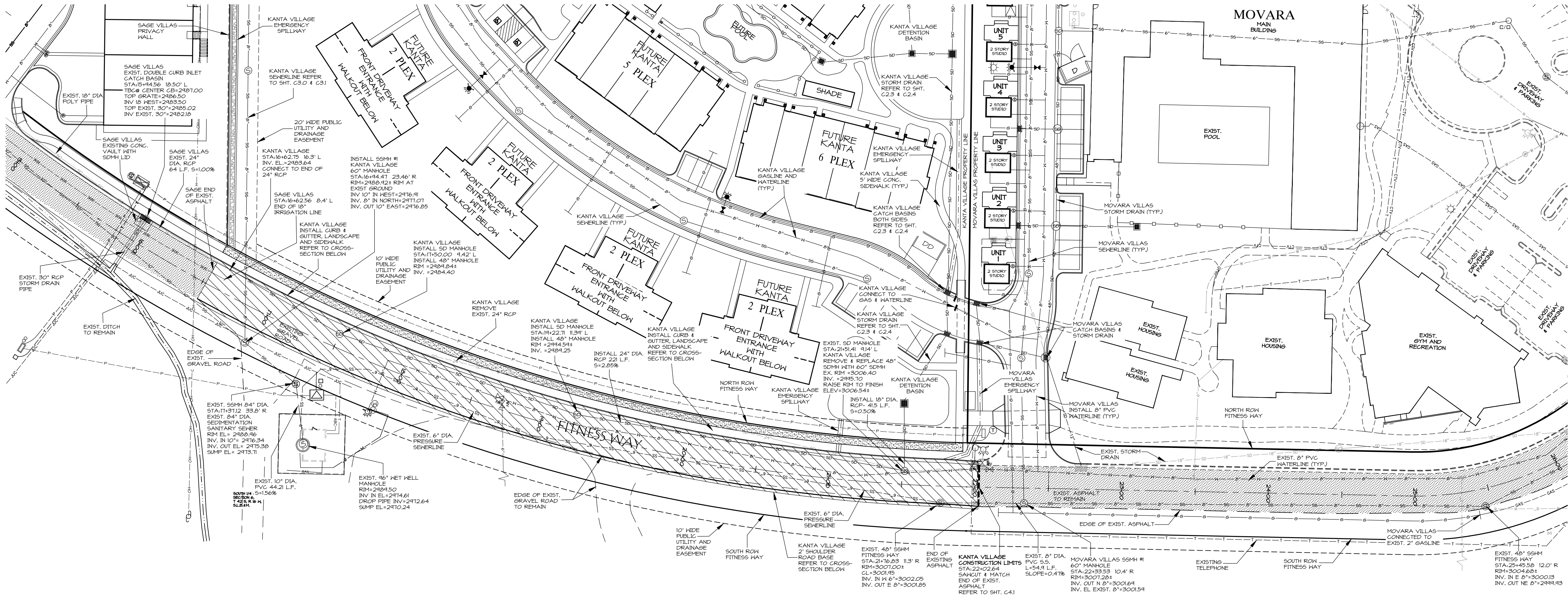
352 East Riverside Drive, Suite A-2  
St. George, Utah 84790  
Ph (435) 673-8800, Fx (435) 673-8397  
www.racivil.com

STRIPING PLAN - HIGHWAY 91  
FOR  
KANTA VILLAGE & MOVARA VILLAS

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C4.0





FITNESS WAY NOTE:  
FOR FITNESS WAY PROFILE REFER TO SHT. C4.1

PLAN VIEW  
FITNESS WAY

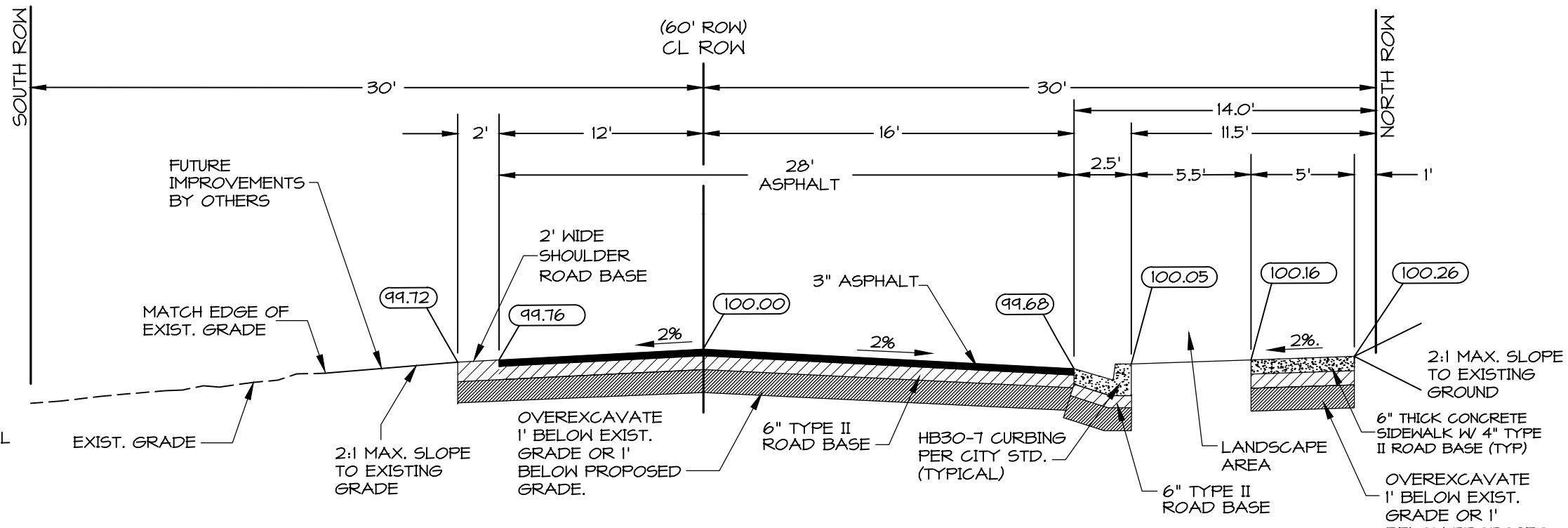
SCALE: 1"=40'

NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXACT LOCATION AND PROTECTION OF ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL ADJUST EXISTING WATER VALVES AND MANHOLES TO FINISH GRADE. REFER TO IVINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION 2010.
2. THE CONTRACTOR IS REQUIRED TO CALL IVINS CITY FOR INSPECTION OF ALL IMPROVEMENTS RELATED TO THIS PROJECT.
3. THE CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FOR ANY WORK DONE IN A PUBLIC RIGHT-OF-WAY.
4. ANY NECESSARY MODIFICATIONS SHALL BE APPROVED BY THE DESIGN ENGINEER PRIOR TO CONSTRUCTION.
5. UNLESS OTHERWISE ON THESE PLANS ALL CONSTRUCTION SHALL CONFORM TO THE IVINS CITY STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION 2010, THE UNIFORM PLUMBING CODE, AND THE "UNIFORM BUILDING CODE" LATEST EDITIONS AS ADMINISTERED BY IVINS CITY.
6. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITY, STORM DRAIN AND FIRE SERVICE LINES SHOWN OR NOT SHOWN ON UTILITY PLAN.
7. ALL KANTA VILLAGE ONSITE EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF IVINS CITY AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE FEBRUARY 20, 2019 TECHNICAL MEMO - PAVEMENT ADDENDUM TO THE GEOTECHNICAL INVESTIGATIONS FOR KANTA VILLAGE, PREPARED BY AGE, PROJECT NUMBER 2102045, DATED SEPTEMBER 12, 2019, AND FOR MOVARA VILLAS, PREPARED BY AGE, PROJECT NUMBER 2101545, DATED JANUARY 14, 2019, 1420 SOUTH 210 EAST, ST. GEORGE, UTAH, 84740.
8. FITNESS WAY EXCAVATIONS AND GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF IVINS CITY AND THE SPECIFICATIONS AND REQUIREMENTS INCLUDED IN THE FEBRUARY 20, 2019 TECHNICAL MEMO - PAVEMENT ADDENDUM TO THE GEOTECHNICAL INVESTIGATIONS FOR KANTA VILLAGE, PREPARED BY AGE, PROJECT NUMBER 2102045, DATED SEPTEMBER 12, 2019, AND FOR MOVARA VILLAS, PREPARED BY AGE, PROJECT NUMBER 2101545, DATED JANUARY 14, 2019, 1420 SOUTH 210 EAST, ST. GEORGE, UTAH, 84740.

FITNESS WAY  
OVEREXCAVATION NOTE:

FOR FLATWORK AND PAVEMENT-NON EXPANSIVE, OVEREXCAVATE 1 FOOT BELOW EXIST. GRADE OR 1 FOOT BELOW PROPOSED GRADE. REFER TO PAGE B OF THE GEOTECHNICAL INVESTIGATION FOR KANTA VILLAGE. REFER TO NOTE NO. 8 THIS SHEET.



FITNESS WAY - KANTA VILLAGE IMPROVEMENTS  
HALF STREET CONSTRUCTION

SCALE: N.T.S.

LEGEND	
	=EXISTING ASPHALT
	=PROPOSED CONC. SIDEWALK ALONG PUBLIC STREET KANTA VILLAGE
	=PROPOSED CONSTRUCTION AREA OF FITNESS WAY PUBLIC STREET
	=EXISTING SEWER MAIN
	=EXISTING SEWER MANHOLE
	=PROPOSED SEWER LINE
	=EXISTING STORM DRAIN
	=PROPOSED STORM DRAIN
	=PROPOSED STORM DRAIN MANHOLE
	=PROPOSED STORM DRAIN CATCH BASIN
	=EXISTING WATER MAIN
	=PROPOSED WATER LINE
	=PROPOSED WATER LATERAL 4" METER
	=EXISTING IRRIGATION LINE
	=EXISTING FIRE HYDRANT
	=PROPOSED FIRE HYDRANT
	=EXISTING WATER VALVE
	=PROPOSED WATER VALVE
	=EXISTING POWER POLE
	=OVERHEAD POWER LINE
	=POWER (EXIST OR PROPOSED)
	=EXISTING TV
	=EXISTING TELEPHONE
	=PROPOSED TV
	=PROPOSED TELEPHONE
	=EXISTING NATURAL GAS (SIZE NOTED ON PLAN)
	=PROPOSED NATURAL GAS (SIZE NOTED ON PLAN)

DATE: 3-13-19  
JOB NO.: 5081-18-017  
DESIGNED BY: LMM  
CHECKED BY: RAR  
DWG: BM 5081 Master

REVISIONS	DATE

**ROSENBERG**  
ASSOCIATES  
CIVIL ENGINEERS • LAND SURVEYORS

0 40' 80'  
SCALE: 1"=40'

**811**  
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NOTES: (OPTIONAL) FILTERS ARE SHOWN ON PLANS FOR THE CONVENIENCE OF THE USER. THE USER SHALL BE RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FILTERS NOT SHOWN OR SHOWN INCORRECTLY.

352 East Riverside Drive, Suite A-2  
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PLAN FOR PROFILE ON FITNESS WAY  
FOR  
KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C4.1



FITNESS WAY NOTE:  
FOR FITNESS WAY PLAN REFER TO SHT. C4.0

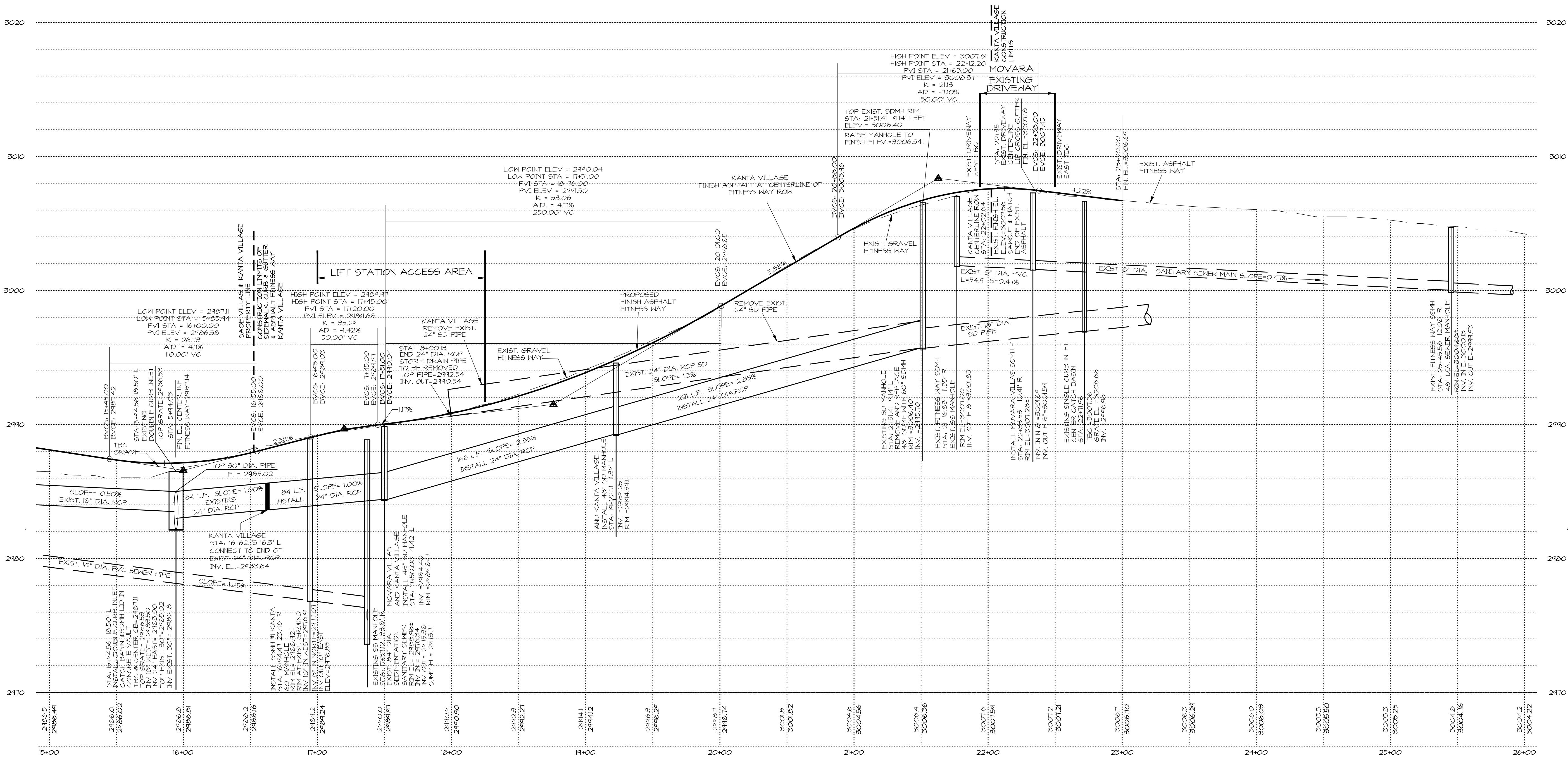


Know what's below.  
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NOTES:  
EXISTING UTILITIES ARE SHOWN ON PLANS FOR THE CONVENIENCE  
OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE  
FOR THE LOCATION AND PROTECTION OF ALL UTILITIES. HE  
HEREBY DISCLAIMS ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN  
ON PLANS ACCURATELY.

LEGEND

	=EXISTING ASPHALT		=EXISTING FIRE HYDRANT
	=PROPOSED CONC. SIDEWALK ALONG PUBLIC STREET KANTA VILLAGE		=PROPOSED FIRE HYDRANT
	=PROPOSED CONSTRUCTION AREA OF FITNESS WAY PUBLIC STREET		=EXISTING WATER VALVE
	=EXISTING SEWER MAIN		=PROPOSED WATER VALVE
	=EXISTING SEWER MANHOLE		=EXISTING POWER POLE
	=PROPOSED SEWER LINE		=OVERHEAD POWER LINE
	=EXISTING STORM DRAIN		=POWER (EXIST OR PROPOSED)
	=PROPOSED STORM DRAIN		=EXISTING TV
	=PROPOSED STORM DRAIN MANHOLE		=EXISTING TELEPHONE
	=PROPOSED STORM DRAIN CATCH BASIN		=PROPOSED TV
	=EXISTING WATER MAIN		=PROPOSED TELEPHONE
	=PROPOSED WATER LINE		=EXISTING NATURAL GAS (SIZE NOTED ON PLAN)
	=PROPOSED WATER LATERAL 4 METER		=PROPOSED NATURAL GAS (SIZE NOTED ON PLAN)
	=EXISTING IRRIGATION LINE		



FITNESS WAY - PROFILE VIEW  
STA:15+00-26+00

HORIZ. SCALE: 1"=40'  
VERT. SCALE: 1"=8'

DATE:	3-13-19
JOB NO.:	5081-10-07
DESIGNED BY:	LMM
CHECKED BY:	RAR
DWG:	BM 5081 Master
DATE:	
REVISIONS:	

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PROFILE FITNESS WAY  
FOR  
KANTA VILLAGE

NOT FOR  
CONSTRUCTION  
PLANS NOT  
APPROVED

C4.2