



# City of Hurricane

Mayor  
John W. Bramall

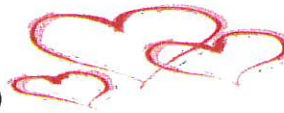
City Manager  
Clark R. Fawcett

## Planning Commission

Ralph Ballard, Chair  
Bob Petersen  
Yovonda Hall  
Paul Farthing  
Rebecca Bronemann  
Michelle Cloud  
Mark Borowiak  
Chris Christensen

## AGENDA OF A MEETING OF THE HURRICANE CITY PLANNING COMMISSION 6:00 p.m.

Thursday, February 14, 2019



Notice is hereby given that the Hurricane City Planning Commission will hold a Regular Meeting starting at 6:00 p.m. in the Council Room at 147 N. 870 West, Hurricane, UT. A roll call will be taken, along with the Pledge of Allegiance and prayer and /or thought by invitation.

### Public Hearing to take comments on the following:

1. A request for a Zoning Map amendment from RA-.5, Residential Agricultural half acre, to R-1-10, Single Family Residential 10,000 sq. ft. lots for a .70 acre lot located at 722 W 650 South
2. A request for a Zoning Map amendment on a 2.98 acre parcel located on 100 North at approximately 728 West from R-1-10, Single Family Residential 10,000 sq. ft. lots to RM-3, Multi-family residential up to 15 units per acre.

### New Business:

2019-ZC-02	Consideration and possible recommendation to the City Council on a Zoning Map amendment from RA-.5, Residential Agricultural half acre, to R-1-10, Single Family Residential 10,000 sq. ft. lots for a .70 acre lot located at 722 W 650 South – Brad and Jeanette Campbell
2019-ZC-03	Consideration and possible recommendation to the City Council on Zoning Map amendment on a 2.98 acre parcel located on 100 North at approximately 728 West from R-1-10, Single Family Residential 10,000 sq. ft. lots to RM-3, Multi-family residential up to 15 units per acre – AGH Investments applicant
2019-CUP-01	Consideration and possible approval of a Conditional Use Permit for a metal accessory building at 2111 W. 100 South – Patrick and Mary Beth Price
2019-FSP-04	Consideration and possible approval of a final site plan for Cover It Storage at 759 S. 520 West in the Quail Creek Industrial Park – Vance Swartz
2019-FSP-05	Consideration and possible approval of a final site plan for Color Country RV Sales at 1539 W State Street – Joe Holland
2019-APP-01	Consideration and possible recommendation to the City Council on an amended preliminary plat for the Gateway North Industrial Subdivision at Old Highway 91



	and 5500 North –Truck-Pro applicant
2019-FSP-06	Consideration and possible approval of a final site plan for a multifamily building on Lot k-3 in Marla at Elim Valley 1437 S. Regent Park Road- Silver Stream Advisors
2019-FSP-07	Consideration and possible approval of a final site plan for the updated Chevron site at 685 W. State Street –Vasu Patel applicant

**Approval of Minutes:** January 10, 2019 and January 23, 2019

**Planning Commission business:**

1. Discussion on other vending cart options
2. Planning Commission concerns and ideas
3. Report on City Council actions
4. Proposed land use code changes for buildings and pools in front yards and current standards
5. Nomination and election of vice-chair for 2019

**Adjournment**



# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:  
File No. 2019-2C-03  
Receipt No. 8.118178

Name: Bradley & Jeanette Campbell Telephone: 435-668-3291

Address: 722 W 650 S Hurricane Fax No. —

Agent (If Applicable): — Telephone: —

Email: jeanettec622@gmail.com

Address/Location of Subject Property: 722 W 650 S.

Tax ID of Subject Property: H-3-2-3-4123 Existing Zone District: RA-0.5

Proposed Zoning District and reason for the request (Describe, use extra sheet if necessary)

Propose change to R1-10. We want to split  
our lot into 2 parcels.

**Submittal Requirements:** The zone change application shall provide the following:

- ☒ a. The name and address of every person or company the applicant represents;
- ☒ b. An accurate property map showing the existing and proposed zoning classifications;
- ☒ c. All abutting properties showing present zoning classifications;
- ☒ d. An accurate legal description of the property to be rezoned;
- ☒ e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- ☒ f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note:** It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

(Office Use Only)  
Date Received: 1/14/2019 Application Complete: YES ☒ NO ☐  
Date application deemed to be complete: 27 1/14/19 Completion determination made by: 53



have a variety of old and new styles.

**2. *Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?***

**Response:** This amendment is for property located across 700 West from R-1-10 lots and single family homes. The property to the south is developed as a single family home on one large, 1 acre, lot. The pasture to the west will undoubtedly be developed with a single family house in the future but the existing house will already be adjacent to it. This amendment for a smaller single family lot is harmonious with existing development to the east but not as much with development to the west and south.

**3. *Will the proposed amendment affect adjacent property?***

**Response:** The property that will be most affected by the proposed amendment is the applicant's own property. The next most affected will be the property to the north. If no objection is heard from them at the Public Hearing staff would conclude the effect of this amendment is minimal. Other properties are either across major streets or beyond existing houses so will not be affected.

**4. *Are public facilities and services adequate to serve the subject property?***

**Response:** Yes. Just as a note, the driveway to serve the new property if the rezone is approved and a lot split finalized will have to be located as far from the 700 West/650 South intersection as possible to preserve the function of those roads.

**Findings:** Staff makes the following findings:

1. The proposed amendment is compatible with the existing General Plan map and some important goals and objectives of the General Plan.
2. The proposed amendment is harmonious with the overall character of existing development in the vicinity.
3. Public facilities and services are adequate to serve the property.
4. The proposed amendment will affect adjacent property because it is anticipated it will bring an additional house on the property. This is a minimal effect.

**Recommendation:** Staff recommends the Planning Commission recommend approval for this zone change to the City Council.





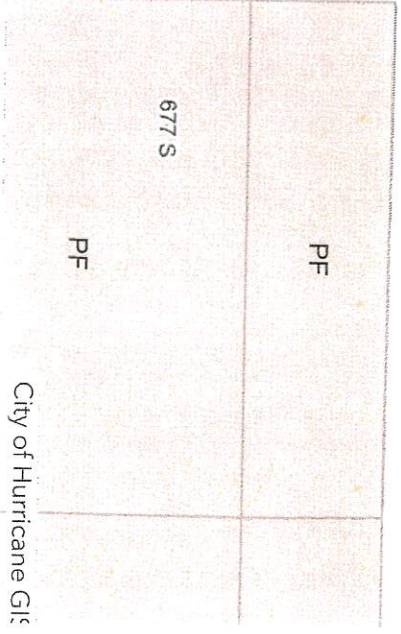
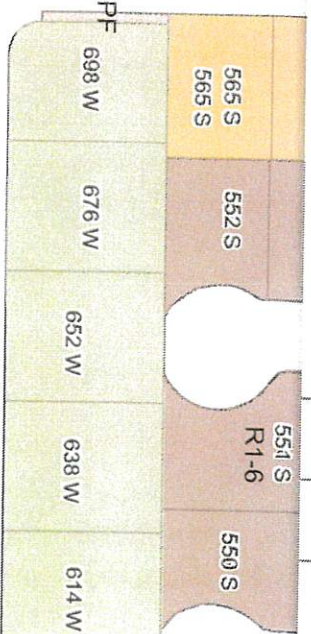
# City of Hurricane Zoning

City of Hurricane Planning Department



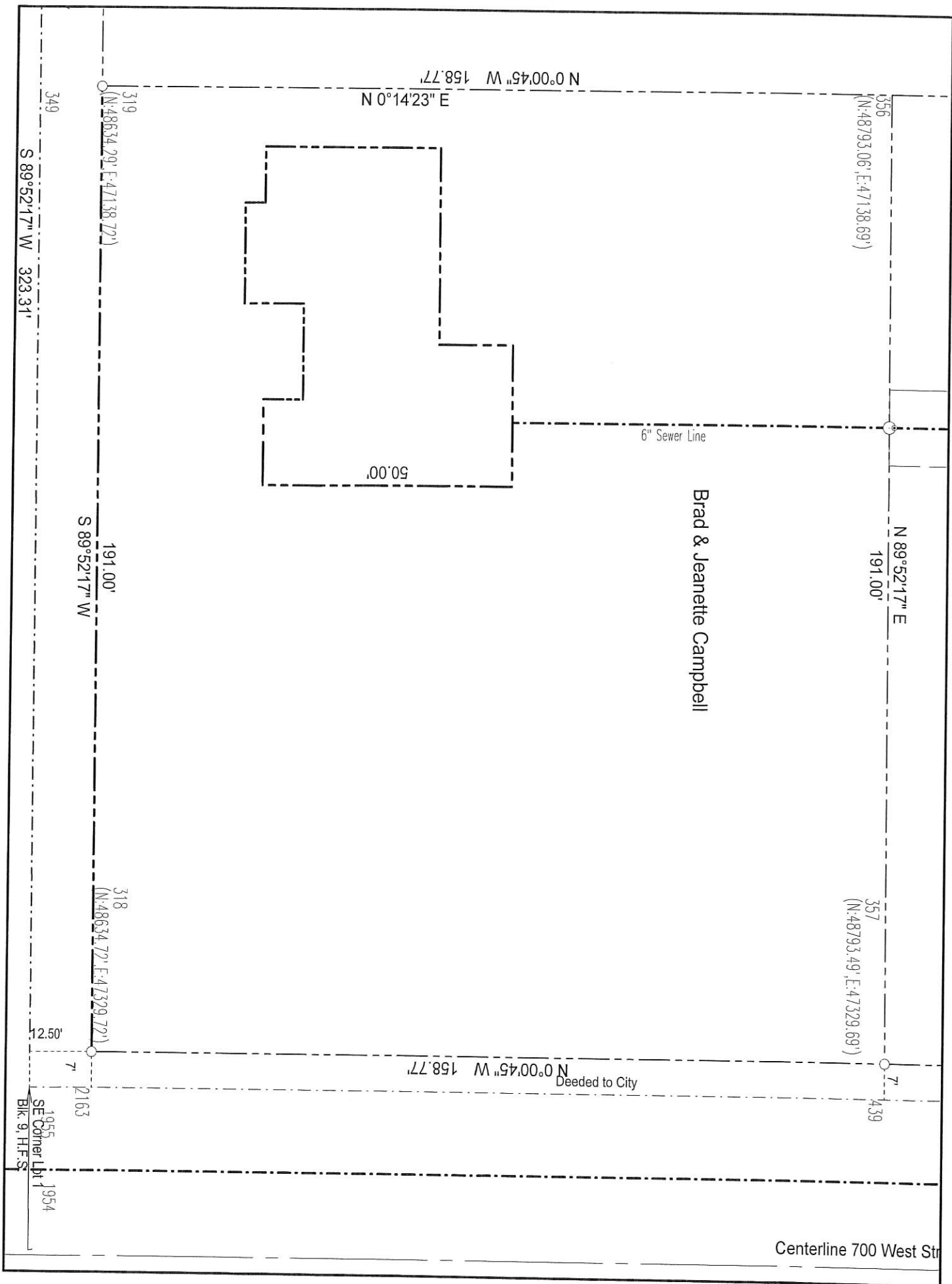
650 South

1500 West



City of Hurricane GIS







# ZONE CHANGE APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$500.00

For Office Use Only:

File No. 2019-20-03

Receipt No. 7.623033

Name: AGH Investments, LLC Telephone: 435-229-6078

Address: 344 Sunland Drive, Ste 9, St George UT, 84790 Fax No. \_\_\_\_\_

Agent (If Applicable): Joseph C Goodwin Telephone: 435-229-6078

Email: joegoodwin916@gmail.com

Address/Location of Subject Property: NW Corner of 100 North and 700 West

Tax ID of Subject Property: H-3-1-34-4220-A Existing Zone District: R1-10

**Proposed Zoning District and reason for the request** (Describe, use extra sheet if necessary)  
RM-3; Reason for request is to build forty townhomes. These townhomes will be ideal for individuals or families wanting a smaller home close to the city center. These homes will be roughly 1300 sf, 3 bedroom, 2.5 bath, with a single car garage and will be within walking distance to schools, parks and shopping.

**Submittal Requirements:** The zone change application shall provide the following:

- X a. The name and address of every person or company the applicant represents;
- X b. An accurate property map showing the existing and proposed zoning classifications;
- X c. All abutting properties showing present zoning classifications;
- X d. An accurate legal description of the property to be rezoned;
- X e. Stamped envelopes with the names and addresses of all property owners within 250 feet of the boundaries of the property proposed for rezoning.
- X f. Warranty deed or preliminary title report or other document (see attached Affidavit) showing evidence that the applicant has control of the property

**Note:** It is important that all applicable information noted above along with the fee is submitted with the application. An incomplete application will not be scheduled for Planning Commission consideration. Planning Commission meetings are held on the second Thursday and fourth Wednesday of each month at 6:00 p.m. Contact the Planning Department for the deadline date for submissions. Once your application is deemed complete, it will be put on the agenda for the next Planning Commission meeting. A deadline missed or an incomplete application could result in a month's delay.

\*\*\*\*\*

Date Received: 1/28/19 (Office Use Only) Application Complete: YES ☐ NO ☐

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2019-ZC-3

**Type of Application:** Zone Change

**Applicant:** AGH Investments, LLC

**Request:** A zone change on a 2.98 acre lot from R-1-10 to RM-3

**Location:** 728 W. 100 North

**General Plan:** Multi-residential types

**Existing Zoning:** Single Family Residential 10,000 sq. ft. lots

**Discussion:** This property is located on the corner of the future extension of 700 West and 100 North approximately one tenth of a mile from the 1.29 acre parcel changed to R-1-15 in December. While the General Plan does call for this to be multi-family development, the language on the map states “Density is according to zoning.” This zone change request is when the density on this property is set. A sample layout has been provided with the zone change but the actual layout will be determined at final site plan when access points and the location of 700 West are finalized. While the applicant has stated the intent is for “forty townhomes that will be ideal for individuals or families wanting a smaller home closer to the city center”, this does not mean it will be quality development or meet the standard of affordable for median income or low income buyers.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	PDO/R-1-8	Single family houses
East	R-1-10	Future 700 West and single family houses
South	HC	Single family houses and duplexes
West	NC & R-1-10	CUP for horses and Calvary Chapel church site

In order to change the zoning on any parcel of land within the City of Hurricane the following questions need to be addressed:

***1. Is the proposed amendment consistent with goals, objectives and policies of the City’s General Plan?***

**Response:** The General Plan includes the following policy: “....*high density housing should be planned near support facilities such as collector and arterial roads, schools, shopping, and employments centers. ....high density housing should be located between low density housing and other land uses. Blending of uses can be accomplished by requiring increased setbacks, landscaping buffers, or other means acceptable to the City.*” This proposal for high density housing is located near collector roads, though 700 West is not currently a road, the elementary schools, and shopping. It is located between lower density housing and other possible land uses.



However, another policy states *“Single family detached housing is expected to continue as the dominant style of residential development.”* One General Plan vision statement is *“A city with generally low profile form of development and uncrowded feel.”* The goal for the quality of the built environment says *“Guide development in a way that enhances the qualities that bring both visitors and residents to Hurricane rather than destroy the very features that make Hurricane unique.”* This property is currently zoned for single family detached housing. The City has recently changed zoning on properties or approved site plans to allow the development of over 500 multifamily units in areas from SR-9 to Old Highway 91. Approximately 300 of those approved units are located within a mile and a half or less of this property. Perhaps this is not an area that needs to be changed to multi-family zoning at this time. Single family lots with this proximity to schools and shopping would help support the vision for an “uncrowded feel” and “guided development.”

**2. *Is the proposed amendment harmonious with the overall character of existing development in the vicinity of the subject property?***

**Response:** There are no high density developments within the immediate vicinity of the subject property. The Ivy Wood lots directly to the north are some of the largest lots in that subdivision developed with single level houses. Multifamily structures to the south on the Highway Commercial properties are duplexes. The single family lot to the west is large, approximately 3 acres, and the owners intend developing it as one single family house. It is currently used for horses. Properties to the east are single family houses on various size lots. Additionally, there is a 30' Canal Company Easement for a water line along the east side of the property that would be better accommodated in a larger back yard of a single family house or a road than on common area needed to provide open space for the residents.

**3. *Will the proposed amendment affect adjacent property?***

**Response:.** The proposed amendment will affect adjacent property with the development of much higher density housing in the neighborhood. The proposed layout does not have any real buffers between the single family development and this high density development. Concerns about traffic along 100 North have been expressed by property owners during hearings for zone changes along this corridor but any development on this property will increase traffic to some level.

**4. *Are public facilities and services adequate to serve the subject property?***

**Response:** Upgrades and design for sewer, power, and water will be needed to serve this property. These services are within the area. There are no nearby park facilities except the elementary school grounds. It is recommended access be from a common entry point shared by the Neighborhood Commercial property to the west to ensure the function of 100 North is not compromised by too many entry points in this area.

**Findings:** Staff makes the following findings:

1. The proposed amendment does propose to locate high density housing in a location near support facilities. However, it proposes to replace the dominant style of housing, single family, with development that is crowded and high profile, defeating the vision and goals of the General Plan.
2. The proposed amendment is not harmonious with the overall character of existing



development in the vicinity.

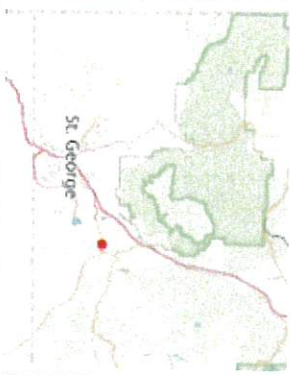
3. Public facilities and services are adequate to serve the property.
4. The proposed amendment will affect adjacent property because it intensifies the level of permitted development in an area already affected by other high density zoning and approvals.

**Recommendation:** Staff recommends the Planning Commission recommend denial for this zone change to the City Council.





# Title



## Legend

☐ Parcels

### Ownership

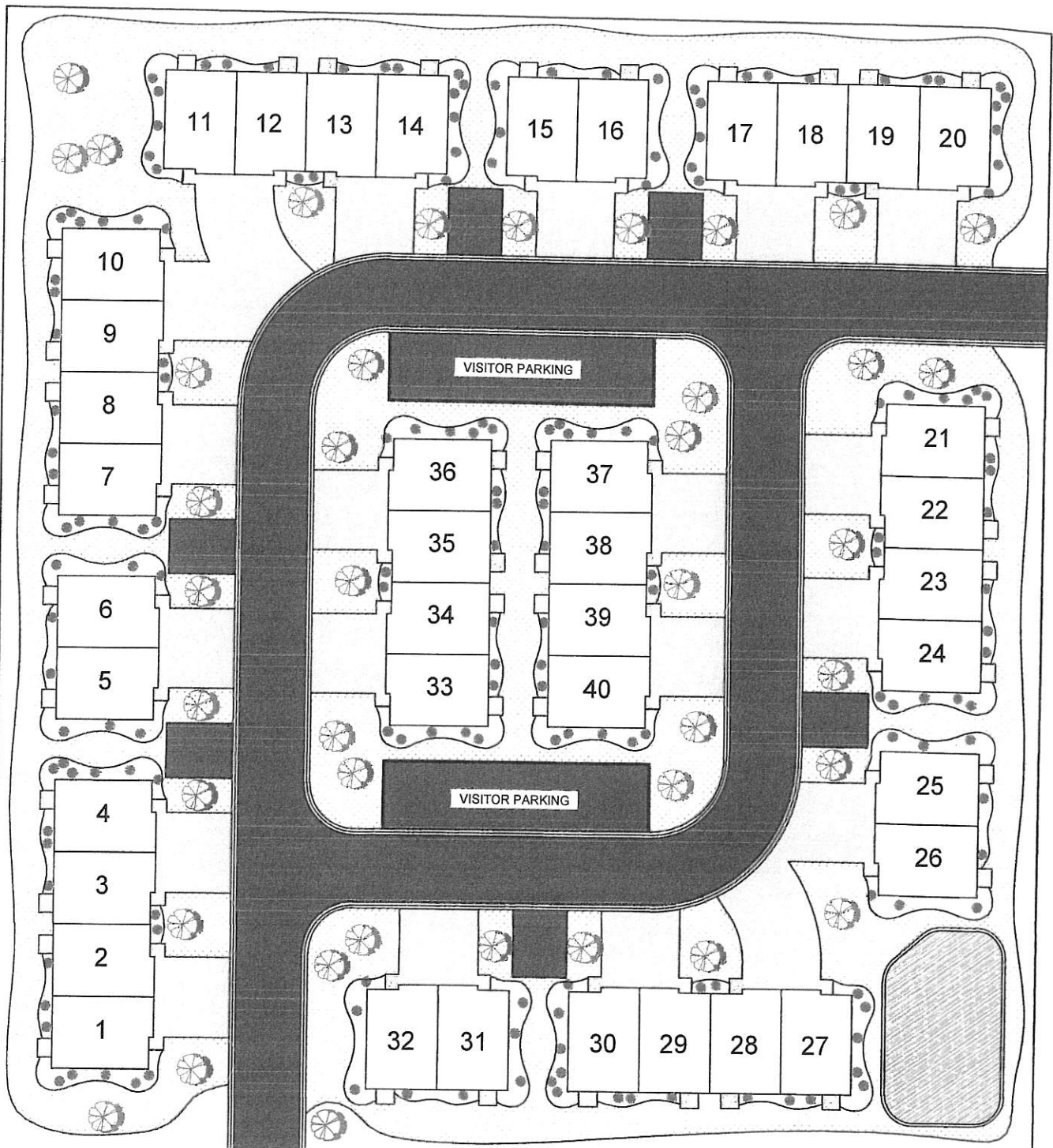
- ☐ U.S. Forest Service
- ☐ U.S. Forest Service Wilderness
- ☐ Bureau of Land Management
- ☐ Bureau of Land Management Wildlife
- ☐ National Park Service
- ☐ Shilohs Reservation
- ☐ Utah Division of Wildlife Resources
- ☐ Utah Division of Transportation
- ☐ State Park
- ☐ State of Utah
- ☐ Washington County
- ☐ Municipally Owned
- ☐ School District
- ☐ Privately Owned
- ☐ Water
- ☐ Water Conservancy District
- ☐ State Assessed Oil and Gas
- ☐ Mining Claim

## Notes

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.

376.2 0 188.08 376.2 Feet  
WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere





PARCEL: H-3-1-34-4220-A  
 LOCATION: NW CORNER OF 100 N. & 700 W.  
 HURRICANE, UTAH  
 OWNER: RONN B MUNFORD TRUST  
 APPLICANT: AGH INVESTMENTS, LLC  
 JOSEPH C. GOODWIN  
 435-229-6078

## PRELIMINARY LAYOUT

**TRD**  
 ENGINEERING



# CONDITIONAL USE PERMIT

City of Hurricane  
147 N 870 W  
Hurricane, Utah 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$ 250

For office use only:

File No: 2019-CUP-01

Receipt: 7.620543

## APPLICATION & SUBMITTAL CHECKLIST

Name: Patrick & Mary Beth Price Telephone: 801-389-4819

Address: 2111 W. 2005. Hurricane, UT Fax No. \_\_\_\_\_

Email: patprice45@gmail.com

Agent (If applicable): \_\_\_\_\_ Agent's Phone: \_\_\_\_\_

Agent email: \_\_\_\_\_

Address of Subject Property: 2111 W. 2005. Hurricane, UT

Tax ID of Subject Property: \_\_\_\_\_ Zone District: \_\_\_\_\_

Proposed Conditional Use: (Describe, use extra sheet if necessary) build metal garage

### This application shall be accompanied by the following:

- \_\_\_\_ 1. A plot plan showing the following:
  - \_\_\_\_ Property boundaries, dimensions and existing streets.
  - \_\_\_\_ Location of existing and proposed building or livestock facility
  - \_\_\_\_ Adjoining property lines and uses within one hundred (100) feet of subject property.
- \_\_\_\_ 2) A reduced copy of all plans (8 1/2 x 11 if readable, or 11 x 17) if original plans are larger.
- \_\_\_\_ 3) Building floor plans for new construction
- \_\_\_\_ 4) A statement of how the applicant intends to meet the conditions for the use desired
- \_\_\_\_ 5) Signed and notarized Affidavit of Property owner showing evidence that the applicant has control of the property or copy of warranty deed

**NOTE: It is important that all applicable information noted above is submitted with the application. An incomplete application cannot be reviewed until it is complete. Fee is part of the application.**

\*\*\*\*\*

(Office Use Only)

Date Received: 12/18/18

Received by: CB

Date application deemed to be complete: \_\_\_\_\_ Completion determination made by: \_\_\_\_\_



## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2019-CUP-01

**Type of Application:** Conditional Use Permit

**Applicant:** Patrick & Mary Beth Price

**Agent:** N/A

**Request:** A Conditional Use Permit for a pre-engineered metal building in a PDO zone

**Location:** 2111 W 200 South

**General Plan:** Single Family Residential

**Existing Zoning:** Planned Development Overlay/RM-2 underlining zone

**Discussion:** The applicant is proposing to construct a pre-engineered metal building in a residential location. The land use code states this requires a conditional use permit: 10-33-3: *BUILDING DESIGN 5. Preengineered metal buildings:*

*a. Shall be permitted in all agricultural, residential agriculture, industrial, and public facility zones;*

*b. Shall be allowed by conditional use permit in all commercial and residential zones.*

Standards for approval are as follows:

The building must meet the following design standards:

- 1. Exterior building materials shall be durable, require low maintenance, and be of the same or higher quality as surrounding developments.***

The proposed building will be a metal building and roof, all materials are durable, require low maintenance, and are of the same quality as surrounding development.

- 2. Details of proposed colors and materials, including color chips, samples, and colored building elevations, shall be shown on building plans when a development project application is submitted. Colors shall be compatible with surrounding structures.***

The color for the proposed building will be Pebble Beige which is a color similar to the houses nearby.

- 3. Reflective surfaces or colors which may produce excessive reflections or glare that may create a potential safety problem are prohibited.***

N/A

### Findings:

1. The proposed building is of durable, low maintenance materials
2. Colors are compatible with surrounding structures.



3. No problems with glare or reflectivity are anticipated.

**Recommendation:** Based on the above findings, staff recommends approval of a conditional use permit for the proposed pre-engineered metal building.





# Title



## Legend

☐ Parcels

### Ownership

- ☐ U.S. Forest Service
- ☐ U.S. Forest Service Wilderness
- ☐ Bureau of Land Management
- ☐ Bureau of Land Management Wildlife
- ☐ National Park Service
- ☐ Shiwits Reservation
- ☐ Utah Division of Wildlife Resources
- ☐ Utah Division of Transportation
- ☐ State Park
- ☐ State of Utah
- ☐ Washington County
- ☐ Municipally Owned
- ☐ School District
- ☐ Privately Owned
- ☐ Water
- ☐ Water Conservancy District
- ☐ State Assessed Oil and Gas
- ☐ Mining Claim

## Notes

188.1 0 94.04 188.1 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

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# **QUALITY CARPORTS, INC**

**1464 WEST 40 SO SUITE 400**

**LINDON UTAH 84042**

**Specifications for 26 x 30 garage for Pat Price Hurricane Utah**

**SIZE: 26 wide X 30 Long A-Frame**

**Snow Load: 40lb snow load**

**Vertical roof for snow release**

**Sides: Closed**

**Ends: Closed**

**Frame: 14 GA 2.5 X 2.5 galvanized sq tubing**

**Height: 12 Ft side walls**

**Roof: 3 /12 pitch**

**Sheet Metal: 29 Ga standard**

**Doors: 2 - 10 x 10 roll up doors**

**Doors: 1- 36 x 80 walk in door**

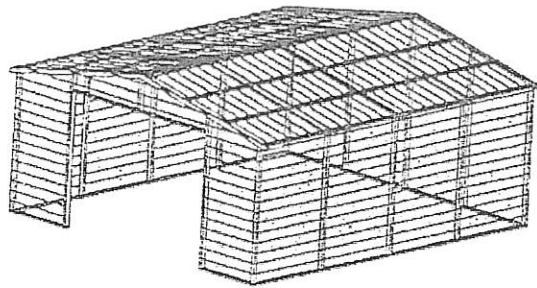
**Windows: 2**

**Anchors: 16 concrete anchors for 115 MPH wind**

**All Quality Structures are engineered by A & A engineering**

**Sales: Brent Johnson 435-619-5680**







# ADDITIONAL OPTIONS

17

## • GARAGE ROLL UP DOORS •

Color: White

6' X 6'	\$350.00
8' X 7'	\$375.00
8' X 8'	\$400.00
9' X 7'	\$425.00
9' X 8'	\$450.00
10' X 8'	\$500.00



## • WINDOWS •



30" X 30"  
\$150.00

## • WALK IN DOORS •

Color: White



32" X 72" \$225  
36" X 80" \$275

NOTE - walk in doors have a diamond window

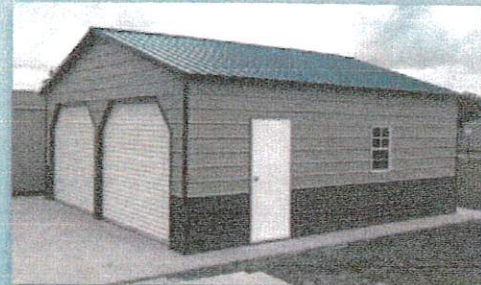
## VAPOR BARRIER INSULATION \$1.50 PER SQUARE FOOT



## SIDES & ENDS WAINSCOTING STYLE. \$3.75 PER LINEAR FOOT

Price is for an A-frame Style with VERTICAL walls

\* For prices on HORIZONTAL walls please contact your local Dealer.



## HEXAGONAL BARN

Please add the cost below to any of the building packages of the left page to get an hexagonal style roof.

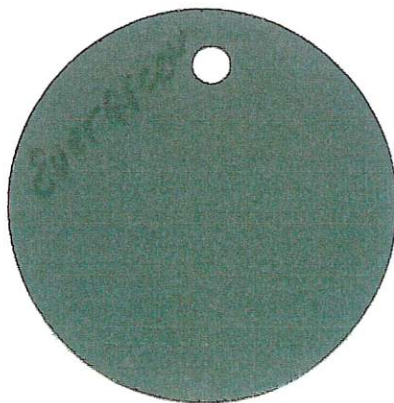
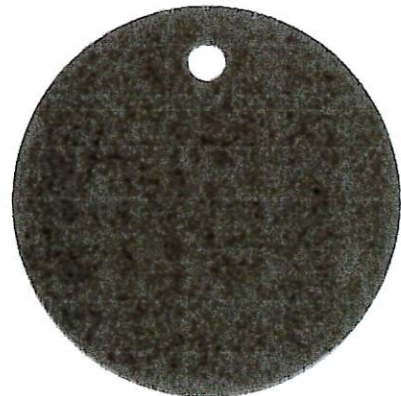
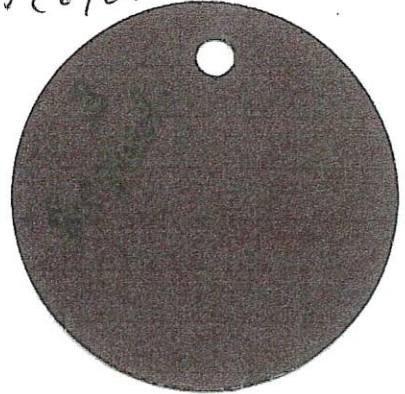
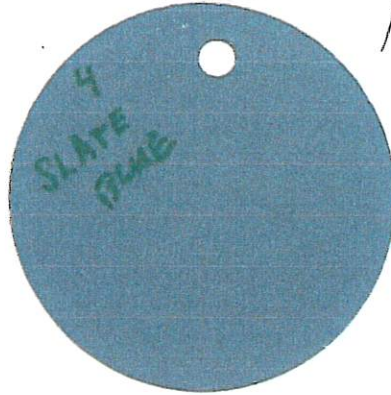
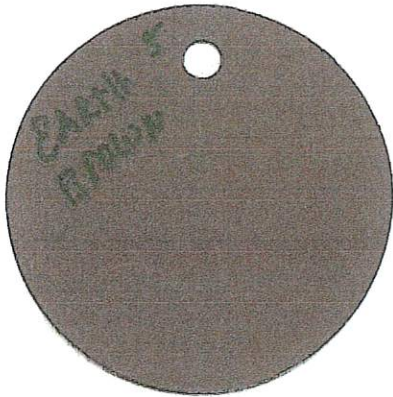
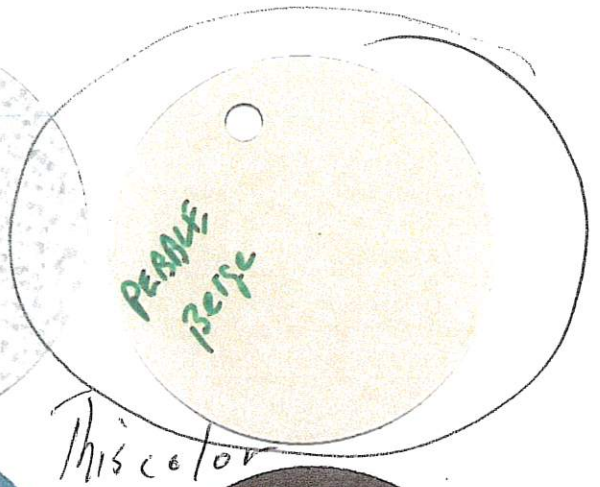
Note: Sides must be fully enclosed in order to get the Hexagonal Roof Style - Customer is responsible for providing a lift (reach lift)

12' Wide to 20' Wide  
22' Wide to 24' Wide  
26' Wide to 30' Wide

20' L	25' L	30' L	35' L	40' L
\$650	\$775	\$900	\$1,000	\$1,200
\$850	\$975	\$1,100	\$1,225	\$1,350
\$1,075	\$1,225	\$1,375	\$1,525	\$1,675









# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:

File No. 2019-FSP-04  
Receipt No. 7623064

Name: Vance Swartz / Cover it Storage Telephone: (928) 640-0012

Address: 3799 S. Stonewall Hill Rd Fax No. \_\_\_\_\_  
Washington UT 84780

Agent (If Applicable): \_\_\_\_\_ Telephone: \_\_\_\_\_

Email: Hammeradventures @ Hotmail.com

Address/Location of Subject Property: Quail Creek Industrial Park lot 2-4  
900 S. 5300 W. Hurricane UT 84737

Tax ID of Subject Property: 83-2401452 Zone District: Industrial 759 S. 5520 West

Proposed Use: (Describe, use extra sheet if necessary) Covered RU & Boat  
storage

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

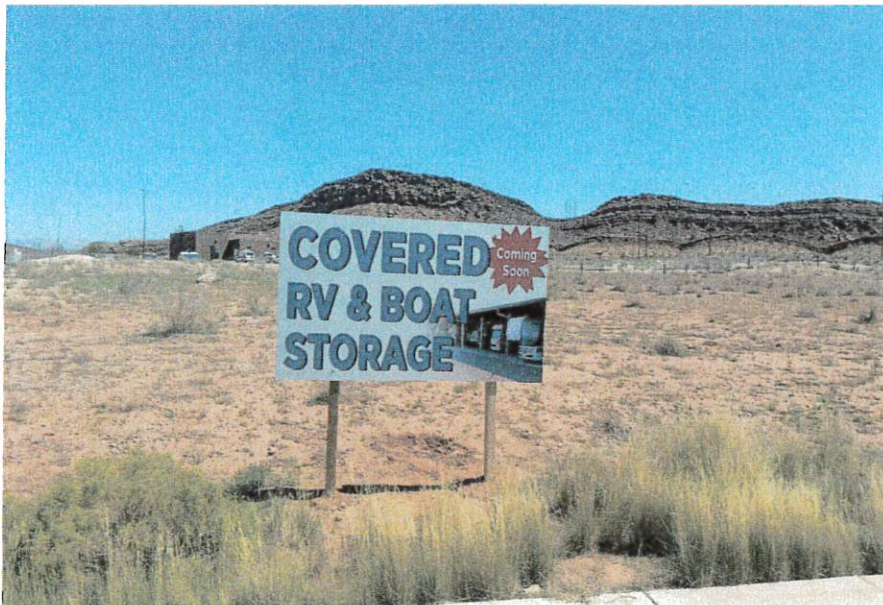
- \_\_\_\_\_ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- \_\_\_\_\_ b) Layout, dimensions, and names of existing and future road rights-of-way;
- \_\_\_\_\_ c) Project name, North arrow, and tie to a section monument;
- \_\_\_\_\_ d) The boundary lines of the project site with bearings and distances;
- \_\_\_\_\_ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- \_\_\_\_\_ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- \_\_\_\_\_ g) Location of man-made features including irrigation facilities, bridges, and buildings
- \_\_\_\_\_ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- \_\_\_\_\_ i) Identification of property, if any, not proposed for development, and;
- \_\_\_\_\_ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.



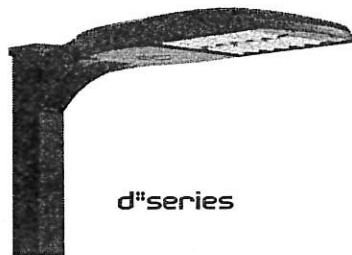
## LOCATION & DIMENSION OF SIGN

Sign will be mounted on the center wall between the entrance and exit gates.

Sign will be 4 x 8 vinyl. (Similar to photo below)





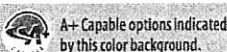
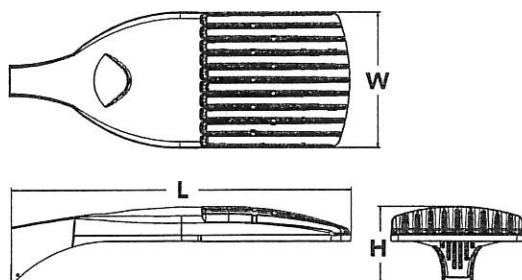


# D-Series Size 1 LED Area Luminaire



## Specifications

EPA:	1.01 ft <sup>2</sup> (0.09 m <sup>2</sup> )
Length:	33" (83.8 cm)
Width:	13" (33.0 cm)
Height:	7-1/2" (19.0 cm)
Weight (max):	27 lbs (12.2 kg)



Catalog  
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

## A+ Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency
- This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability<sup>1</sup>
- This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background<sup>1</sup>

To learn more about A+, visit [www.acuitybrands.com/aplus](http://www.acuitybrands.com/aplus).

1. See ordering tree for details.
2. A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: [Link to Roam](#); [Link to DTL DLL](#)

## Ordering Information

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA DDBXD

DSX1LED											
Series	LEDs			Color temperature		Distribution			Voltage	Mounting	
DSX1 LED	Forward optics			30K	3000 K	T1S	Type I short	T5S	Type V short	MVOLT <sup>4,5</sup> 120 <sup>6</sup> 208 <sup>5,6</sup> 240 <sup>5,6</sup> 277 <sup>6</sup> 347 <sup>5,6,7</sup> 480 <sup>5,6,7</sup>	Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor <sup>8</sup> RPUMBA Round pole universal mounting adaptor <sup>8</sup>  Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) <sup>9</sup>
	P1	P4	P7	40K	4000 K	T2S	Type II short	T5M	Type V medium		
	P2	P5	P8	50K	5000 K	T2M	Type II medium	T5W	Type V wide		
	P3	P6	P9	AMBPC	Amber phosphor converted <sup>2</sup>	T3S	Type III short	BLC	Backlight control <sup>2,3</sup>		
	Rotated optics					T3M	Type III medium				
	P10 <sup>1</sup>	P12 <sup>1</sup>				T4M	Type IV medium	LCCO	Left corner cutoff <sup>2,3</sup>		
	P11 <sup>1</sup>	P13 <sup>1</sup>				TFTM	Forward throw medium	RCCO	Right corner cutoff <sup>2,3</sup>		
						T5VS	Type V very short				

Control options	Other options	Finish
<b>Shipped installed</b> NLTAIR2 nLight AIR generation 2 enabled <sup>10</sup> PER NEMA twist-lock receptacle only (controls ordered separate) <sup>11</sup> PER5 Five-wire receptacle only (controls ordered separate) <sup>11,12</sup> PER7 Seven-wire receptacle only (controls ordered separate) <sup>11,12</sup> DMG 0-10V dimming extend out back of housing for external control (leads exit fixture) DS Dual switching <sup>13,14</sup> PIR Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 5fc <sup>5,15,16</sup> PIRH Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 5fc <sup>5,15,16</sup> PIRHN Network, Bi-Level motion/ambient sensor <sup>17</sup> PIR1FC3V Bi-level, motion/ambient sensor, 8-15' mounting height, ambient sensor enabled at 1fc <sup>5,15,16</sup>	PIR1HC3V Bi-level, motion/ambient sensor, 15-30' mounting height, ambient sensor enabled at 1fc <sup>5,15,16</sup> BL30 Bi-level switched dimming, 30% <sup>5,14,18</sup> BL50 Bi-level switched dimming, 50% <sup>5,14,18</sup> PNMTDD3 Part night, dim till dawn <sup>5,19</sup> PNMT5D3 Part night, dim 5 hrs <sup>5,19</sup> PNMT6D3 Part night, dim 6 hrs <sup>5,19</sup> PNMT7D3 Part night, dim 7 hrs <sup>5,19</sup> FAO Field adjustable output <sup>20</sup>	<b>Shipped installed</b> HS House-side shield <sup>21</sup> SF Single fuse (120, 277, 347V) <sup>5</sup> DF Double fuse (208, 240, 480V) <sup>5</sup> L90 Left rotated optics <sup>1</sup> R90 Right rotated optics <sup>1</sup> <b>Shipped separately</b> BS Bird spikes <sup>22</sup> EGS External glare shield <sup>22</sup>
		DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white



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DSX1-LED  
Rev. 03/21/18  
Page 1 of 7

\$1300.00 each light  
14' - 47000 each ball

6 weeks



## Ordering Information

### Accessories

Ordered and shipped separately.

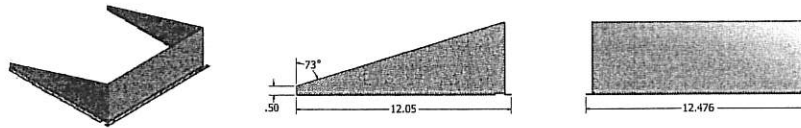
DL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) <sup>21</sup>
DL1347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>21</sup>
DL1480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>21</sup>
DSHORT 58K U	Shorting cap <sup>21</sup>
DSX1HS 30C U	House-side shield for 30 LED unit <sup>21</sup>
DSX1HS 40C U	House-side shield for 40 LED unit <sup>21</sup>
DSX1HS 60C U	House-side shield for 60 LED unit <sup>21</sup>
PUMBA DDBXD U*	Square and round pole universal mounting bracket (specify finish) <sup>24</sup>
KMAB DDBXD U	Master arm mounting bracket adaptor (specify finish) <sup>24</sup>

For more control options, visit [acuitybrands.com](#) and [roamonline.com](#).

### NOTES

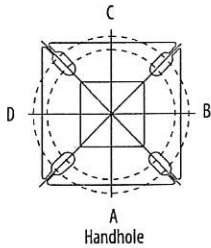
- P10, P11, P12 or P13 and rotated optics (L50, R90) only available together.
- AMBPC is not available with BLC, LCCO, RCCO or P4, P7, P8, P9 or P13.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- Any PIRx with BL30, BL50 or PNMT, is not available with 208V, 240V, 347V, 480V or MVOLT. It is only available in 120V or 277V specified.
- Single fuse (SF) requires 120V, 277V or 347V Double fuse (DF) requires 208V, 240V or 480V.
- Not available in P1 or P10. Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANSI C136.31.
- Must order fixture with SPA option. Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Must be ordered with PIR-IV.
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option. Shorting cap included.
- If ROAM\* node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming. Shorting cap included.
- Provides 50/50 fixture operation via (2) independent drivers. Not available with PER, PER5, PER7, PIR or PIRH. Not available P1, P2, P3 or P4.
- Requires (2) separately switched circuits.
- Reference Motion Sensor table on page 3.
- Reference PER table on page 3 to see functionality.
- Must be ordered with NLTAIR2. For more information on nLight Air 2 visit [the link](#).
- Not available with 347V, 480V, PNMT, DS. For PER5 or PER7, see PER Table on page 3. Requires isolated neutral.
- Not available with 347V, 480V, DS, BL30, BL50. For PER5 or PER7, see PER Table on page 3. Separate Dusk to Dawn required.
- Not available with other dimming controls options.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- Must be ordered with fixture for factory pre-drilling.
- Requires luminaire to be specified with PER, PER5 or PER7 option. See PER Table on page 3.
- For retrofit use only.

## External Glare Shield



## Drilling

### HANDHOLE ORIENTATION



### Tenon Mounting Slipfitter\*\*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-490
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-490
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-490

Pole drilling nomenclature: # of heads at degree from handhole (default side A)					
DM19AS	DM28AS	DM29AS	DM32AS	DM39AS	DM49AS
1 @ 90°	2 @ 280°	2 @ 90°	3 @ 120°	3 @ 90°	4 @ 90°
Side B	Side B & D	Side B & C	Round pole only	Side B, C, & D	Sides A, B, C, D

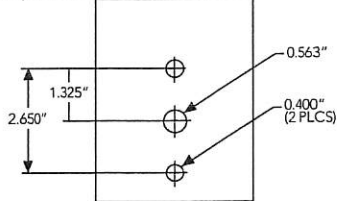
Note: Review luminaire spec sheet for specific nomenclature

Pole top or tenon O.D.	4.5" @ 90°	4" @ 90°	3.5" @ 90°	3" @ 90°	4.5" @ 120°	4" @ 120°	3.5" @ 120°	3" @ 120°
DSX SPA	Y	Y	Y	N	-	-	-	-
DSX RPA	Y	Y	N	N	Y	Y	Y	Y
DSX SPUMBA	Y	N	N	N	-	-	-	-
DSX RPUMBA	N	N	N	N	Y	Y	Y	N

\*3 fixtures @ 120 require round pole top/tenon.

Template #8

Top of Pole

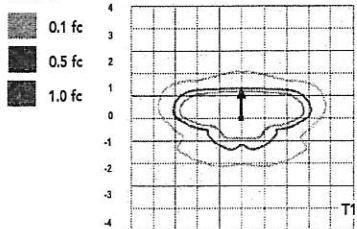


## Photometric Diagrams

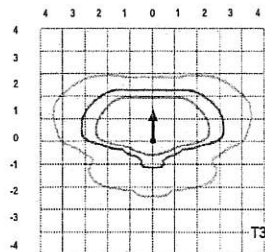
To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's D-Series Area Size 1 homepage.

Isofootcandle plots for the DSX1 LED 60C 1000 40K. Distances are in units of mounting height (25').

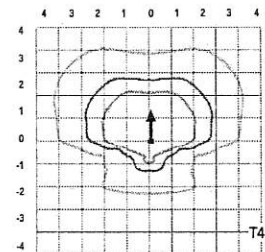
### LEGEND



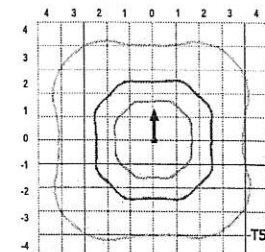
Test No. LTL2221 tested in accordance with IESNA LM-79-06.



Test No. LTL221648 tested in accordance with IESNA LM-79-06.



Test No. LTL2222 tested in accordance with IESNA LM-79-06.



Test No. LTL2227 tested in accordance with IESNA LM-79-06.



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DSX1-LED

Rev. 03/21/18

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## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2019-FSP-06

**Type of Application:** Final Site Plan

**Applicant:** Vance Swartz – Cover It Storage

**Request:** Final Site Plan review for RV storage

**Location:** 759 S. 5520 West

**General Plan:** Business/Light Industrial

**Existing Zoning:** M-1, Light Industrial

**Discussion:** This is a final site plan for a proposed storage facility for RV and boat storage. The site will be fenced and the applicant has stated the covers will be added as budget allows.

1. Total Site 1.28 acres
2. Access drive 2 45' driveways

**JUC:** Construction drawings are signed.

### Planning Staff comments:

1. The plan includes a 10' landscape strip across the road frontage consisting of trees, shrubs, boulders, and rock mulch.
2. The lot will be accessed from recessed gates in a block wall. The remainder of the lot is fenced in a combination block and chain link fence as provided in the photos..
3. The sign is located between the gates and details have been provided.
4. Ground surface will be asphalt. Drainage structures have been designed and approved.
5. Until covers are built, Cover It storage will just be fenced storage.
6. Five lights complying with Dark Sky standards are shown on the plan.

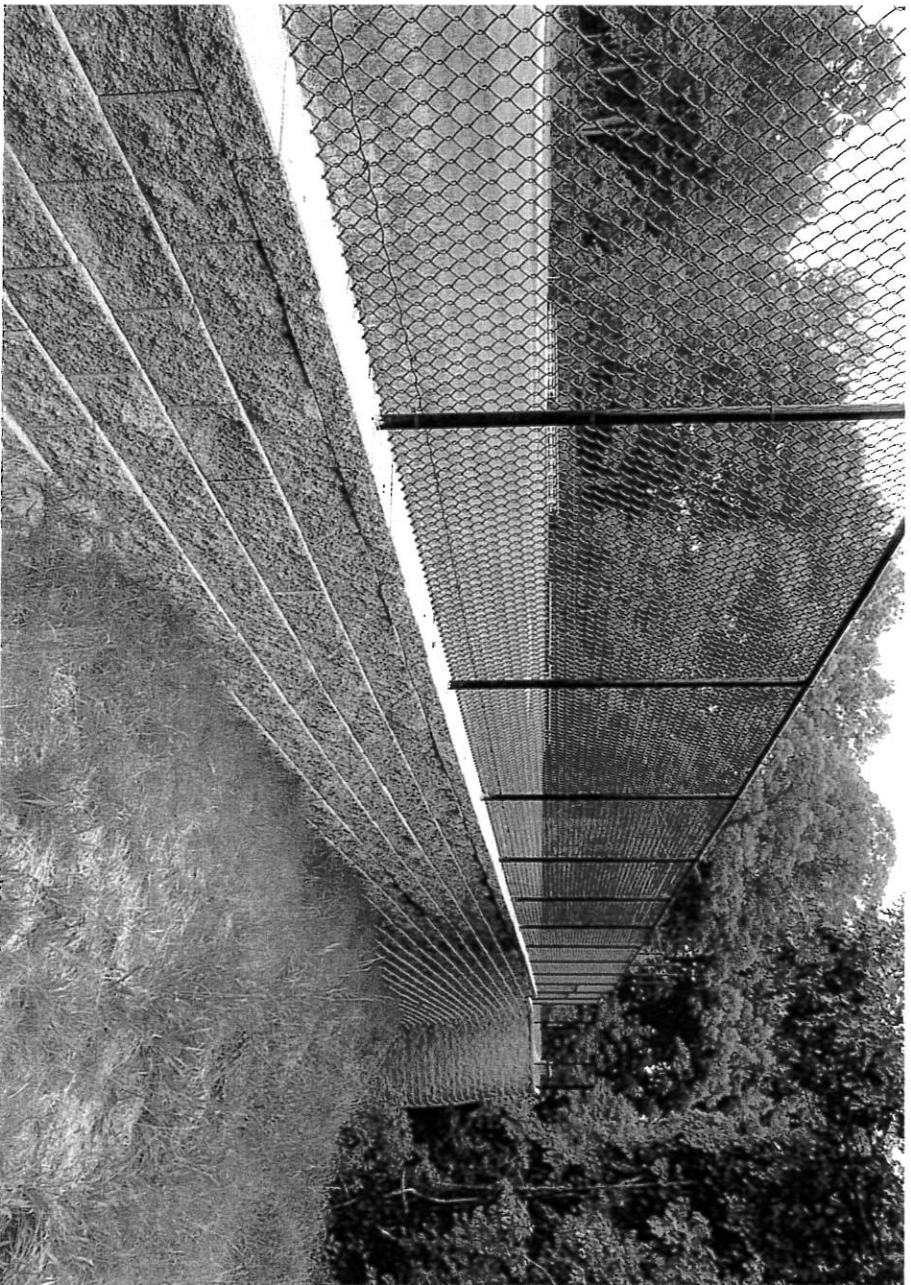
**Recommendation:** Staff recommends approval of this final site plan based on the following findings:

1. The property is zoned for light industrial uses and personal storage is an approved use.
2. The fencing and landscaping on the front will ensure an attractive street view.
3. The project will meet the code requirements and lighting meets Dark Sky objectives.
4. Construction drawings have been signed.







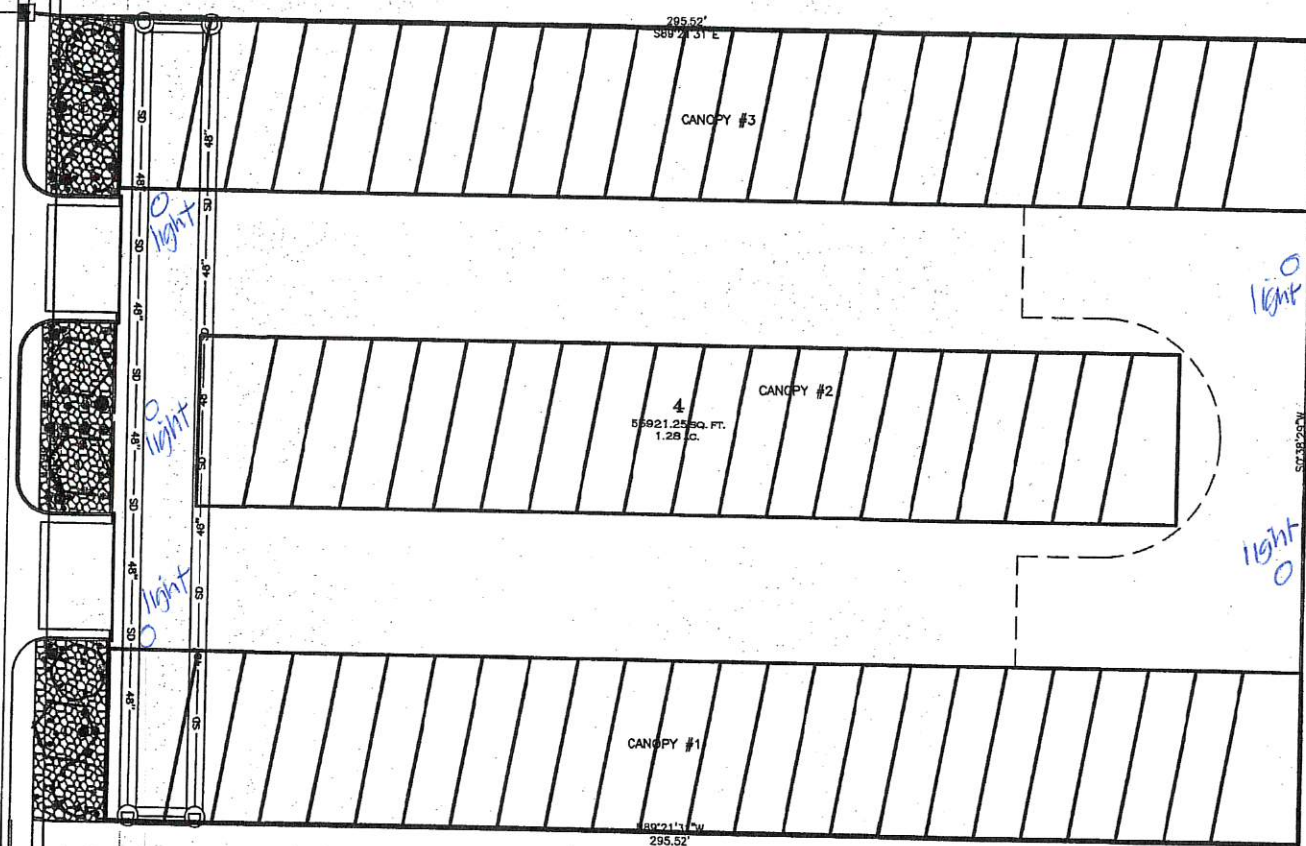


4 ft block wall

(6" Fence Top Natural)

6 ft chain link Fence on top  
vinyl slats in Fence (Tan)



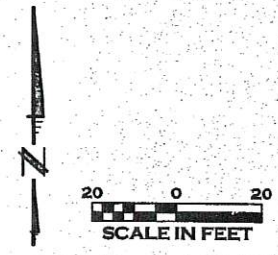
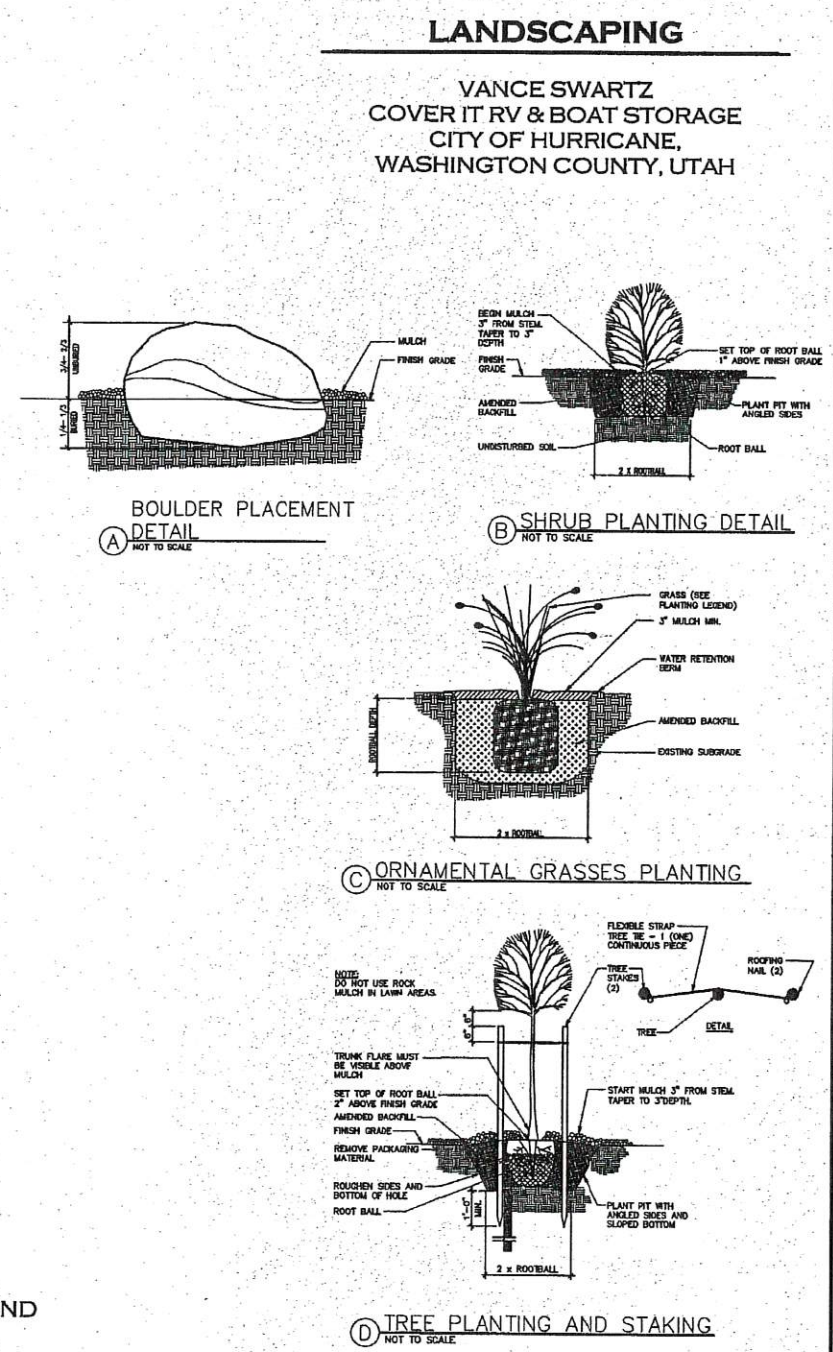


5  
55921.25 SQ. FT.  
1.28 AC.

### LANDSCAPE NOTES

1. VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION
2. ALL PLANT MATERIAL SHALL BE HEALTHY STOCK, FREE FROM DISEASE AND DISFIGUREMENT, HAVING FULL NATURAL SHAPES.
3. PLANT MATERIAL SHALL BE THE SAME SIZE (OR LARGER) AS DESCRIBED IN THE PLANT LEGEND.
4. ALL PLANT MATERIAL TO BE PLANTED ACCORDING TO THE DETAILS.
5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM THAT MEETS CITY CODES. TREES AND SHRUBS TO BE IRRIGATED WITH A DRIP SYSTEM.
6. ANY LANDSCAPING, INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION SHALL BE INSTALLED AND MAINTAINED BY DEVELOPER/OWNER AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

PLANTING LEGEND		
	EASTERN REDBUD CERCIS CANADENSIS	24" BOX
	'RED PUSH' PISTACHE PISTACHIA X 'RED PUSH'	24" BOX
	'PINKIE' INDIAN HAWTHORN RHAPHOLEPIS INDICA 'PINKIE'	5 GAL.
	RED YUCCA RED HESPERALOE	5 GAL.
	'REGAL MIST' PINK MUHLY GRASS MUHLENBERGIA CAPILLARIS 'LENKA'	5 GAL.
	BOULDER	2'-4' DIAMETER



NOV 15 2018

REVISIONS

NO.	DATE	APPROVED BY	REMARKS

**PRAT ENGINEERING, P.C.**

CIVIL ENGINEERING AND LAND SURVEYING

51 NORTH 1000 WEST, SUITE 3 - HURRICANE, UTAH 84737

TEL: (435) 635-5765 FAX: (435) 635-5329

LANDSCAPING

COVER IT RV & BOAT STORAGE

FOR

VANCE SWARTZ

CITY OF HURRICANE, WASHINGTON COUNTY, UTAH

QUAIL CREEK INDUSTRIAL PARK LOT #4

FILE NAME:

18080304

DATE:

11/6/2018

CHECKED:

SCALE:

SHEET

C4

OF 4



# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:  
File No. 2019-FSP-05  
Receipt No. 7.623121

Name: Joseph R. Holland Telephone: 435-705-1630

Address: 1536 S. Cane Tropicville, UT 84774 Fax No. 435-635-9492

Agent (If Applicable): \_\_\_\_\_ Telephone: \_\_\_\_\_

Email: ccacars@gmail.com

Address/Location of Subject Property: 1539 W. State St.

Tax ID of Subject Property: H-3-1-33-3222 Zone District: \_\_\_\_\_

Proposed Use: (Describe, use extra sheet if necessary) RV/camper Display Lot

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- VA a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- VA b) Layout, dimensions, and names of existing and future road rights-of-way;
- VA c) Project name, North arrow, and tie to a section monument;
- VA d) The boundary lines of the project site with bearings and distances;
- VA e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- VA f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- VA g) Location of man-made features including irrigation facilities, bridges, and buildings
- VA h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- VA i) Identification of property, if any, not proposed for development, and;
- VA j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.



96"

48"

Dealer #8143



**COLOR  
COUNTRY  
AUTOMOTIVE** + **RV**

**CONSIGNMENT & SALES**

TRADES • FINANCING • WARRANTIES • AVAILABLE 24/7

**435.767.1446**

COLORCOUNTRYRV.COM



## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2019-FSP-05

**Type of Application:** Final Site Plan

**Applicant:** Joseph Holland

**Request:** Final Site Plan for an RV sales display lot

**Location:** 1539 W. State Street

**General Plan:** Commercial

**Existing Zoning:** Highway Commercial

**Discussion:** This final site plan is for Phase 1 development of a commercial parcel for an RV/camper sales display lot only. The applicant owns Color Country Automotive and RV sales and intends to develop the whole site. This first phase is to develop the front portion of the property with landscaping, a water service, gravel parking surface, and gate to display for sale vehicles to free up more room on the existing repair lot in the Hurricane Industrial Park. Mr. Holland has verified with the Motor Vehicle Division that a separate display lot is permitted for a vehicle sales license as long as sales take place at the licensed location. The long term plan for the property is to build a new building and finish the property accommodate the entire business.

### Final Site Plan review

1. Total Site 4.06 acres
2. Area included in this application Approximately .8 acre

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	HC	Auto sales and tour business
East	HC	Dog day care and grooming
South	RA-1	Houses, fields, and orchards
West	HC	Church and storage units

### Staff Review

1. Shared access for this phase uses the Baptist Church/storage unit access drive. The applicant will move the fence back 15' from the property line to allow cars to pull off the driveway if people come look at RV's without a representative from the sales location.



2. The entire phase is covered in gravel to control dust.
3. A 10' landscape strip including 1 tree and 3 shrubs for every 35' of frontage is shown. The area is covered in rock ground cover and watered with drip irrigation.
4. A 4' X 8' sign is shown at the northwest corner and details on the sign design and location have been provided. This meets the code and is required by the dealer licensing requirements for a display lot.
5. This property is impacted by the future 1530 (approximately) West road and a layout of how that will be accommodated in the future is provided.
6. Access through the adjoining property has been approved by the property owner.
7. This is a display only site and no power or lighting will be provided at this time.

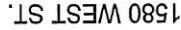
**Recommendation:** Staff recommends approval of this final site plan.



## Color Country Automotive RV Sales

Located in Hurricane City, Washington, Utah

2019



SR-9

1 TREE &  
3 BUSHES  
EVERY 35'

LANDSCAPE  
GRAVEL

RELOCATE EXISTING  
FENCE 15' FROM  
PROPERTY LINE

EXISTING  
BAPTIST CHURCH

EXISTING  
VETERINARIAN  
OFFICE

GRAVEL

PROPERTY LINE &amp; FENCE

FUTURE DEVELOPMENT  
UNDISTURBED

PROPERTY LINE &amp; FENCE

N90°00'00"E 327.50'

Hurricane, Utah  
Scale: 1" = 40'

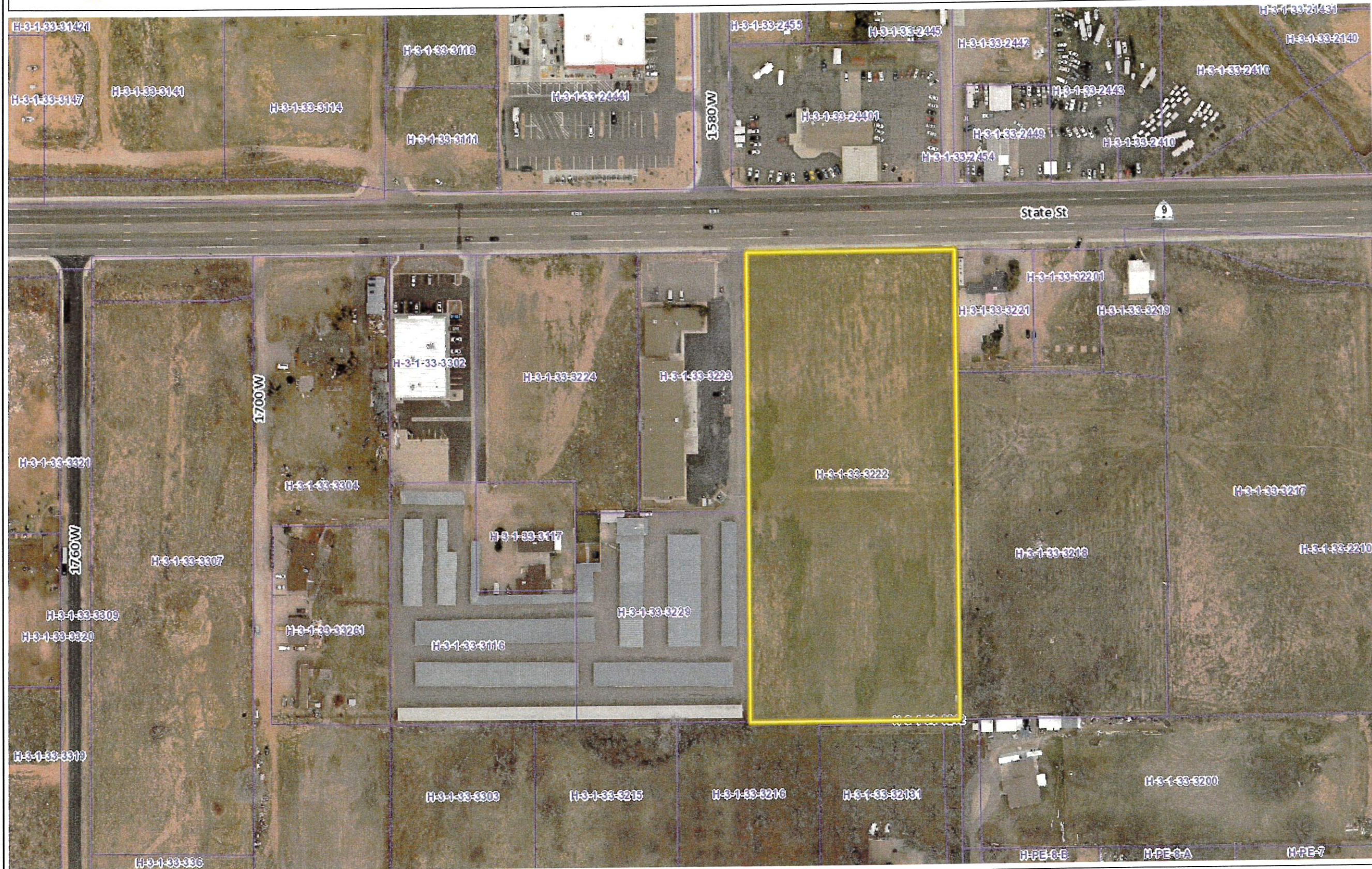
Scale: 1" = 40'

Scale: 1" = 40'





# Title



- Legend**
- ☐ Parcels
- Ownership**
- ☐ U.S. Forest Service
  - ☐ U.S. Forest Service Wilderness
  - ☐ Bureau of Land Management
  - ☐ Bureau of Land Management Wildlife
  - ☐ National Park Service
  - ☐ Shivwits Reservation
  - ☐ Utah Division of Wildlife Resources
  - ☐ Utah Division of Transportation
  - ☐ State Park
  - ☐ State of Utah
  - ☐ Washington County
  - ☐ Municipally Owned
  - ☐ School District
  - ☐ Privately Owned
  - ☐ Water
  - ☐ Water Conservancy District
  - ☐ State Assessed Oil and Gas
  - ☐ Mining Claim

**Notes**

376.2 0 188.08 376.2 Feet

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere

DISCLAIMER: The information shown on this map was compiled from different GIS sources. The land base and facility information on this map is for display purposes only and should not be relied upon without independent verification as to its accuracy. Washington County, Utah will not be held responsible for any claims, losses or damages resulting from the use of this map.



*Amended*

## PRELIMINARY PLAT APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$150.00

For Office Use Only:

File No. 2014-APP-01

Receipt No. 7.622092

Name: TRUCKPRO, L.C. Telephone: (801) 956-2711

Address: 5296 W. 2400 S., WEST VALLEY CITY, UT 84120 Fax No. (801) 428-6364

Email: JAMES.WARNER@UTAHANK.COM

Agent (If Applicable): BART WARNER Telephone: (801) 707-5577

Address/Location of Subject Property: OLD HIGHWAY 91 AND 5500 WEST  
(GATEWAY NORTH INDUSTRIAL PARK PHASE 1 - AMENDED)

Tax ID of Subject Property: SEE ATTACHED SHEET Zone District: PDO

Proposed Use: (Describe, use extra sheet if necessary) ADD ADDITIONAL LOTS TO  
THE EXISTING PLAT (GATEWAY NORTH - AMENDED) FOR VARIOUS USES AS PER PDO.

Submittal Requirements: The preliminary plat application shall provide the following:

1. Description: In a title block located in the lower right-hand corner of the sheet the following is required:

- ☒ a. The proposed name of the subdivision.
- ☒ b. The location of the subdivision, including the address and section, township and range.
- ☒ c. The names and addresses of the owner or subdivider, if other than the owner.
- ☒ d. Date of preparation, and north point.
- ☒ e. Scale shall be of sufficient size to adequately describe in legible form, all required conditions of Chapter 39, City Subdivision regulations.

2. Existing Conditions: The preliminary plat shall show:

- ☒ a. The location of the nearest monument.
- ☒ b. The boundary of the proposed subdivision and the acreage included.
- ☒ c. All property under the control of the subdivider, even though only a portion is being subdivided. (Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in light of existing Master Street Plan or other Commission studies.)
- ☒ d. The location, width and names/numbers of all existing streets within two hundred (200) feet of the subdivision and of all prior streets or other public ways, utility rights of way, parks and other public open spaces, within and adjacent to the tract.
- N/A e. The location of all wells and springs or seeps, proposed, active and abandoned, and of all reservoirs or ponds within the tract and at a distance of at least one hundred feet (100') beyond the tract boundaries.
- ☒ f. Existing sewers, water mains, culverts or other underground facilities within the tract, indicating the pipe sizes, grades, manholes and the exact locations.



## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2018-APP-01

**Type of Application:** Preliminary Plat

**Applicant:** Truckpro LC

**Agent:** Bart Warner

**Request:** Amended Preliminary Plat for Gateway North Industrial Park Phase 1, 2<sup>nd</sup> Amendment

**Location:** 5500 West and SR-9

**General Plan:** Business/Light Industrial

**Existing Zoning:** PDO/M-1

**Discussion:** This subdivision is located in the Gateway Industrial Park. The plat was first recorded in August of 1994 with 4 lots along 5500 West. In January of 1995 the first amendment was recorded, splitting Lot 2 into 2 parcels and adding a section of Old Highway 91 and lot 13A. Subsequently, Lot 2B has become lots 2B and 2C but no record of another amendment has been found.

In July of 2018, a second amendment adding 10 lots and amending lot lines, as well as recognizing lot 2B was approved. This application is for an amendment of that approved plat by the addition of a lot 5 located immediately behind Lot 6. The "lot" is the property where a building housing a tire business is located. This additional lot is granted an access and utility easement across the proposed reconfigured Lot 1. This preliminary plat replaces the previously approved preliminary plat.

	<u>Zoning</u>	<u>Adjacent Land Use</u>
North	PF	I-15
South	PDO/M-1	Pepsi plant and future storage units
East	PDO/M-1	Litehouse, Boulevard Distribution, and vacant
West	PDO/M-1	Walmart Distribution Center

**JUC Comments: The following will have to be addressed during the construction drawing phase of this project:**

1. Full improvements of Old Highway 91 frontages are required.
2. Each lot must be served by separate utilities.
3. Full stormwater design required to match proposed detention areas.
4. Signed construction drawings required before final plat
5. Power to be supplied by Hurricane City power. Design to be coordinated with Power Department.

**Staff Comments:**

1. Lots are all appropriate for industrial uses. There are no minimum lot sizes in M-1 zones.
2. The 10' public utility easements along all street frontages are required
3. The map provided shows the property is not located in a tortoise take area.



4. This property is located where a possible interchange on I-15 has been discussed for over a decade. Consultation with UDOT will be required before construction begins. This plat does provide a 60' setback line between the I-15 property line and lot lines for 3D, 3E, and 3F.

**Recommendation:** Staff recommends the Planning Commission forward a unanimous recommendation of approval to the City Council for this preliminary plat replacing the preliminary plat approved in July with a strong recommendation for UDOT coordination before Lots 3A-3F are developed .





PROJECT LOCATION

SUBDIVIDER

THE SUBDIVIDER FOR THIS PROJECT IS  
TRUCKPRO  
BART WARNER  
5346 N. 2400 S. WEST VALLEY CITY, UTAH 84020  
(800) 707-5577

PROJECT LOCATION

THE PROJECT IS LOCATED AT:  
GATEWAY NORTH INDUSTRIAL PARK  
HURRICANE, UTAH

ENERGY SERVICES

HURRICANE CITY POWER  
526 N. 600 N.  
HURRICANE, UTAH 84781  
(435) 635-5536

WATER

HURRICANE CITY WATER  
646 N. 600 N.  
HURRICANE, UTAH 84781  
(435) 635-4442

SEWER

ASH CREEK SPECIAL SERVICES DISTRICT  
1950 S. SAND HOLLOW RD.  
HURRICANE, UTAH 84781  
(435) 635-2348

NATURAL GAS

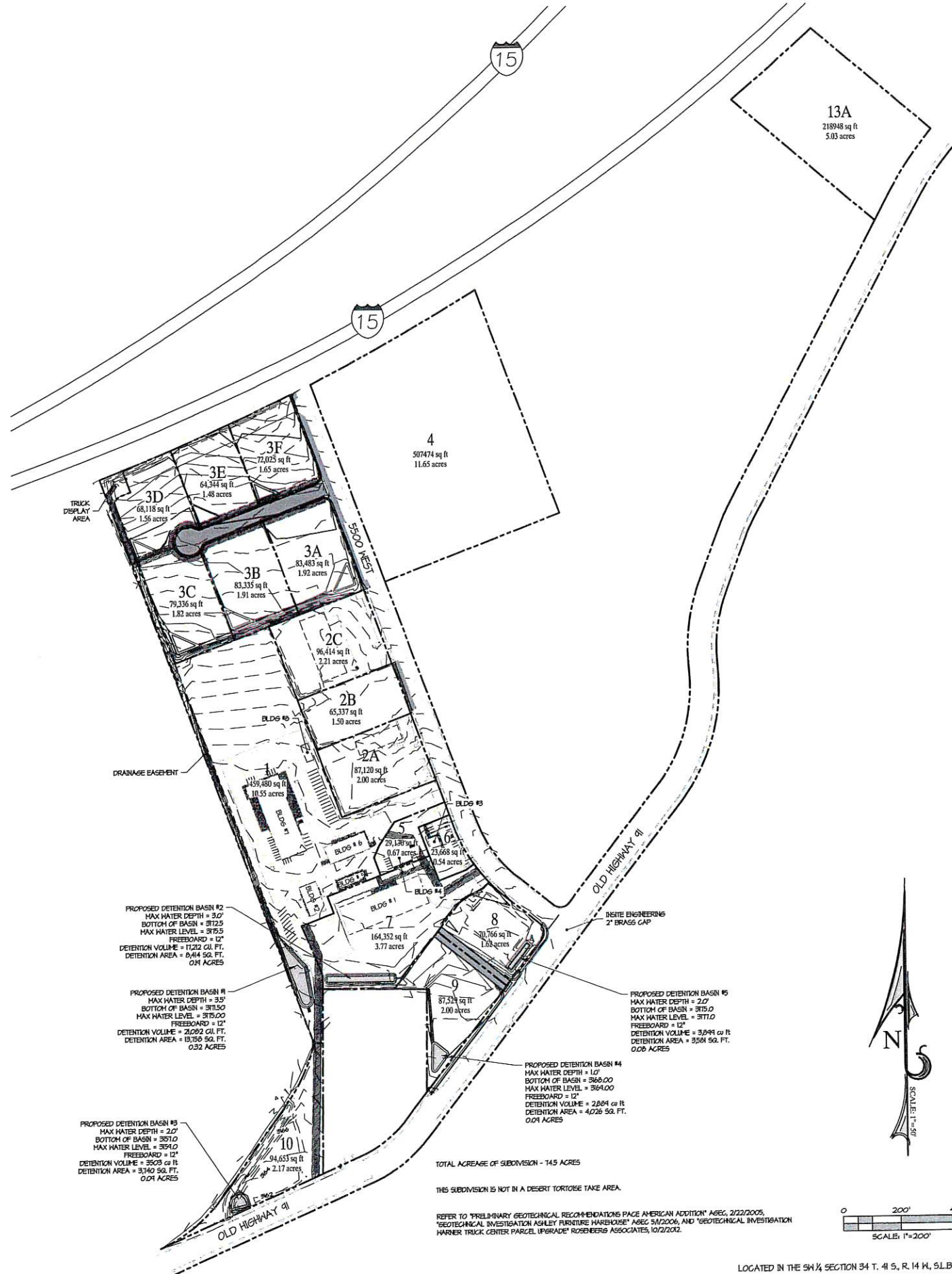
DOMINION ENERGY  
155 EAST 350 NORTH  
ST. GEORGE, UTAH 84770  
(435) 675-1314

TELEPHONE

CENTURYLINK  
546 N. 1400 E. (TRAILER)  
ST. GEORGE, UTAH 84770  
(435) 675-4634

CATV SERVICE

TD5 TELECOM  
912 WEST 1600 SOUTH  
ST. GEORGE, UTAH 84770  
(800) 422-5282



DATE: 1-21-2019  
JOB NO.: 1494-IT-004  
DESIGNED BY: BOH  
CHECKED BY: RAR  
DWG: 1494-IT-004

REVISIONS

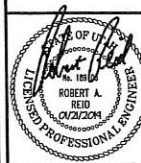
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ASSOCIATES  
CIVIL ENGINEERS • LAND SURVEYORS

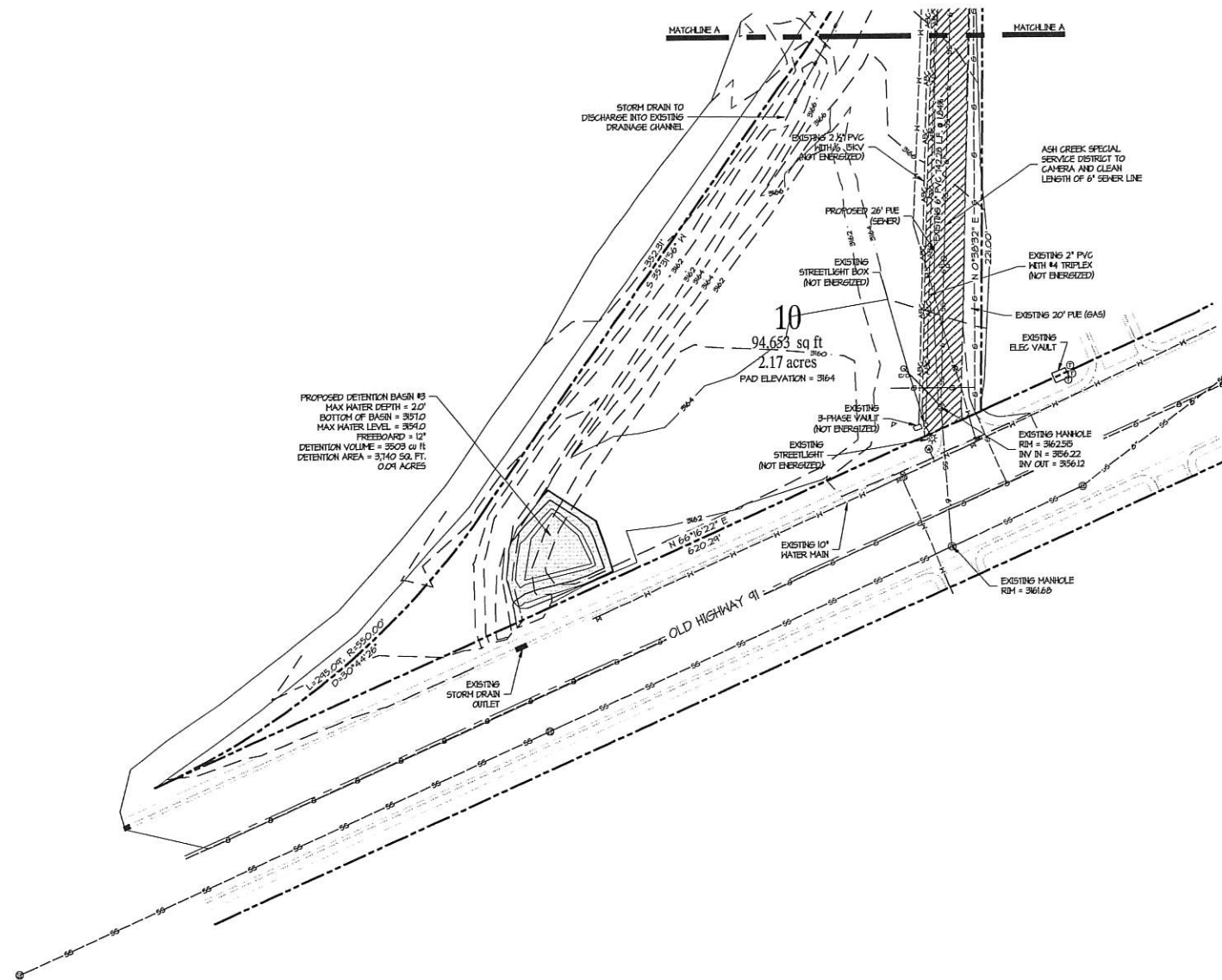
**R**

332 East Riverside Drive, Suite  
A-2 St. George, Utah 84790  
Ph (435) 675-8586 Fax (435) 675-8397  
www.rachill.com

AMENDED PRELIMINARY PLAT  
FOR  
GATEWAY NORTH INDUSTRIAL PARK PHASE 1  
2ND AMENDED & EXTENDED  
HURRICANE, UTAH







LEGEND

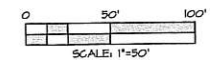
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- H---H--- PROPOSED WATER LINE (SIZE INDICATED ON PLAN)
- ABC--- EXISTING UNDERGROUND 3 PHASE POWER
- ABC--- PROPOSED UNDERGROUND 3 PHASE POWER
- SS--- EXISTING SEWER MAIN (SIZE INDICATED ON PLAN)
- SS--- PROPOSED SEWER LATERAL (SIZE INDICATED ON PLAN)
- G--- EXISTING GAS LINE
- G--- PROPOSED GAS LINE
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- T---T--- PROPOSED TELEPHONE LINE
- TV---TV--- EXISTING CATV LINE
- TV---TV--- PROPOSED CATV LINE
- FO---FO--- EXISTING FIBER OPTIC LINE
- FO---FO--- PROPOSED FIBER OPTIC LINE

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LOCATED IN THE SW 1/4 SECTION 34 T. 41 S., R. 14 W., S.L.B.#14

DATE: 1-21-2019  
JOB NO.: 1444-17-004  
DESIGNED BY: BOH  
CHECKED BY: RAR  
DWG: 1444-17-004

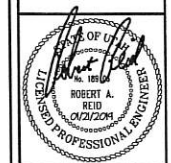
REVISIONS

DATE	DESCRIPTION

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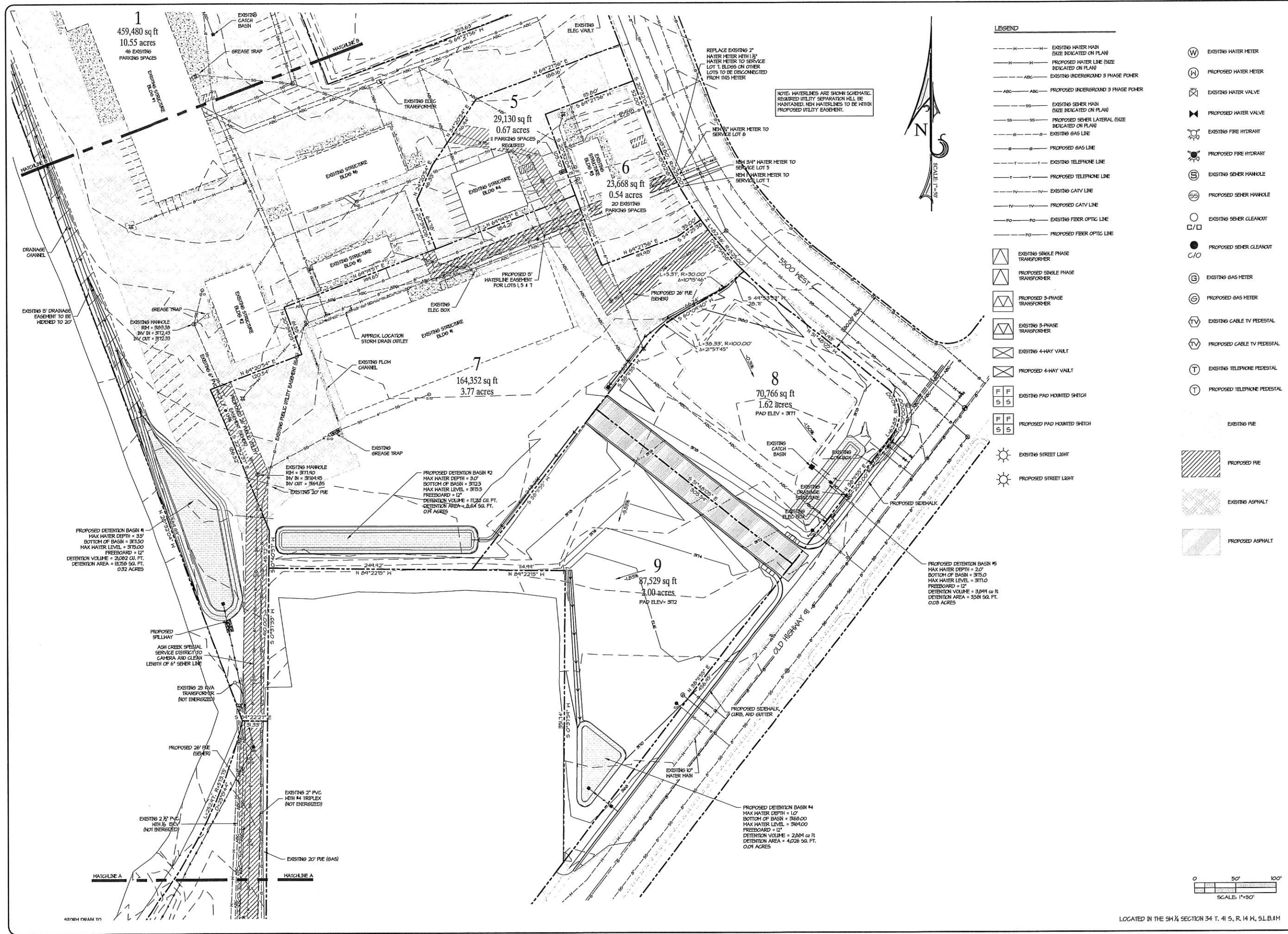
312 East Riverside Drive, Suite A-2 St. George, Utah 84790  
Ph (435) 673-8386 Fx (435) 673-8397  
www.rscivil.com

LOT 10  
FOR  
GATEWAY NORTH INDUSTRIAL PARK PHASE 1  
2ND AMENDED & EXTENDED  
HURRICANE, UTAH



SHEET  
**2**  
2 OF 6 SHEETS





LEGEND

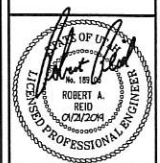
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- EXISTING TELEPHONE PEDESTAL
- PROPOSED TELEPHONE PEDESTAL
- EXISTING PUE
- PROPOSED PUE
- EXISTING ASPHALT
- PROPOSED ASPHALT

DATE: 1-21-2019  
JOB NO.: 1444-IT-004  
DESIGNED BY: BOH  
CHECKED BY: RAR  
DWG: 1444-IT-004

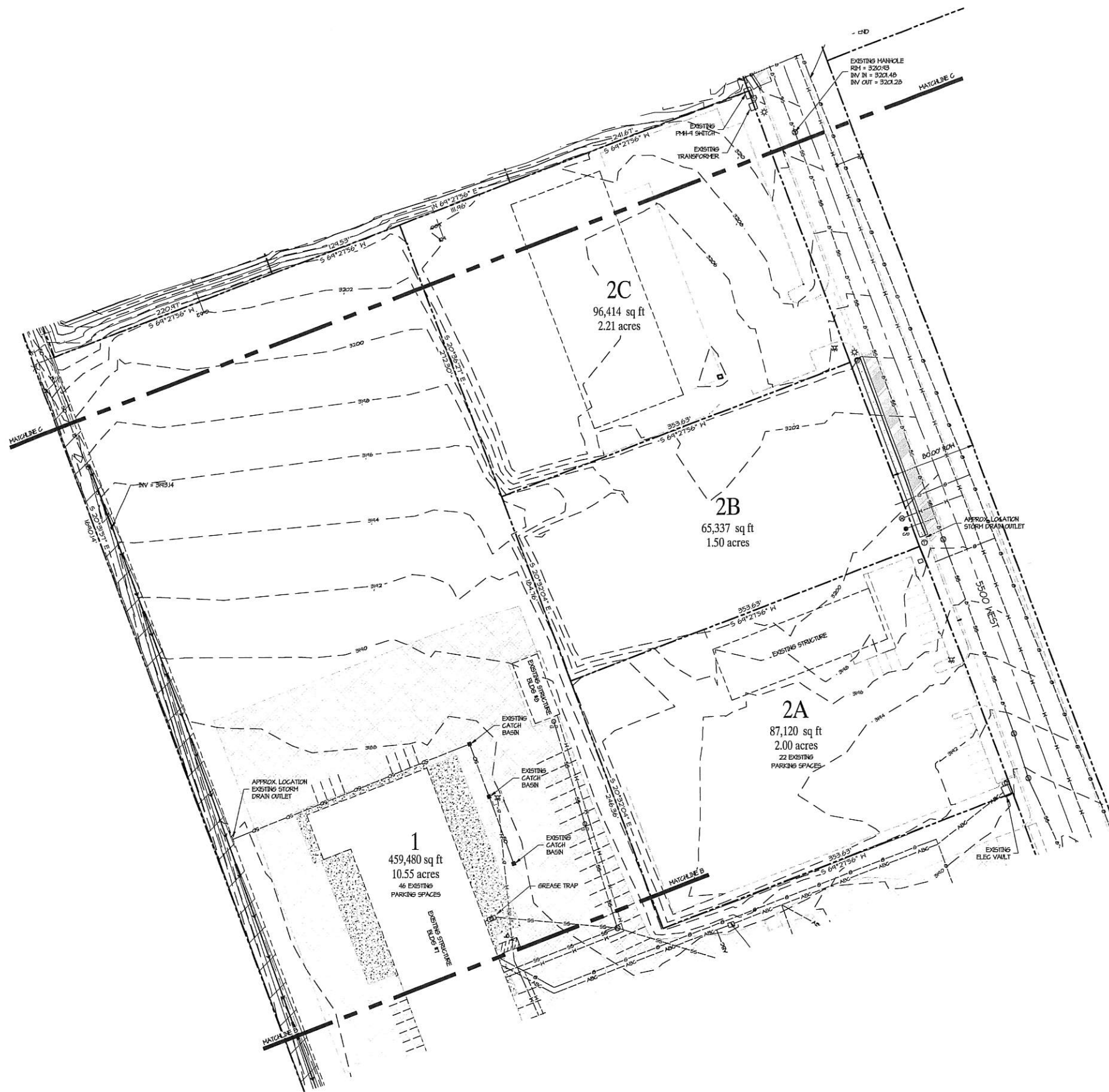
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LOTS 1 & 5-9  
FOR  
GATEWAY NORTH INDUSTRIAL PARK PHASE 1  
2ND AMENDED & EXTENDED  
HURRICANE, UTAH







LOCATED IN THE SW 1/4 SECTION 34 T. 41 S., R. 14 W., S.L.B.#1

EXISTING PUE

PROPOSED PUE

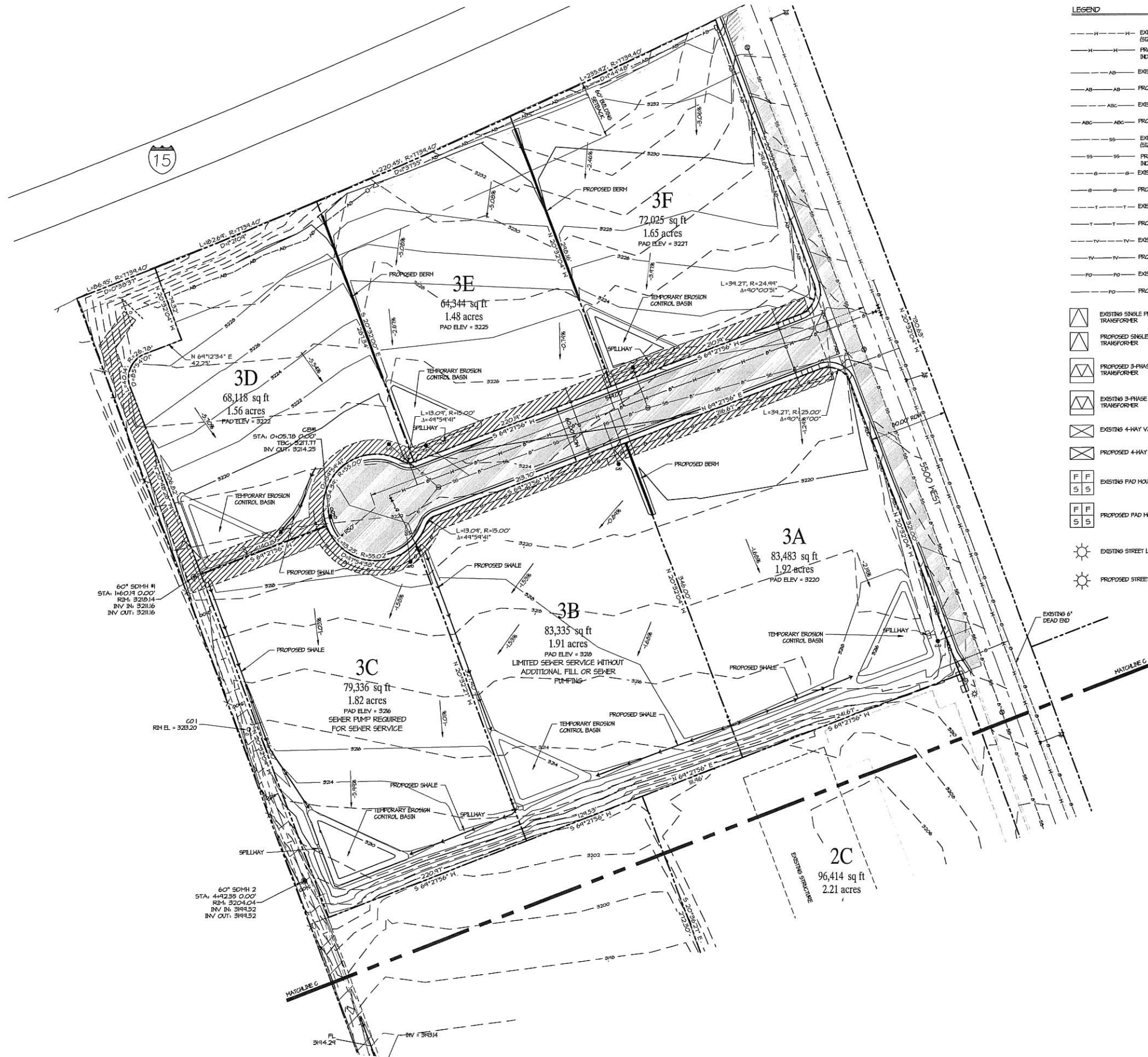
EXISTING ASPHALT

PROPOSED ASPHALT





SCALE: 1"=50'



#### LEGEND

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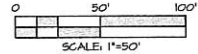
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SCALE: 1"=50'

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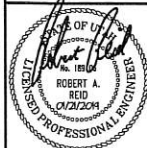
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JOB NO.:	1444-TT-004
DESIGNED BY:	BOH
CHECKED BY:	RAR
DWG.:	1444-TT-004
DATE:	
REVISIONS:	



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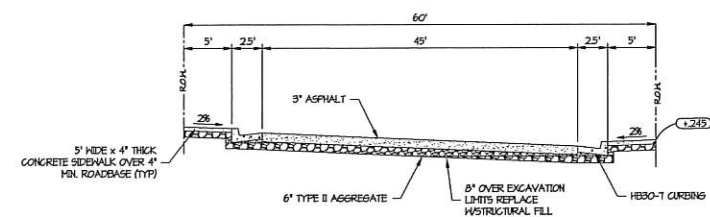
353 East Riverside Drive, Suite  
A-2 St. George, Utah 84790  
Ph (435) 673-8586 Fx (435) 673-8397  
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LOTS 3A-3F  
FOR  
GATEWAY NORTH INDUSTRIAL PARK PHASE 1  
2ND AMENDED & EXTENDED  
HURRICANE, UTAH

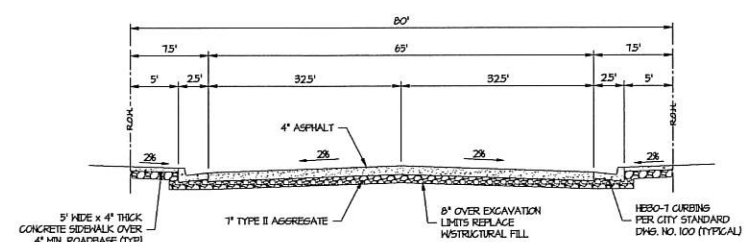


SHEET  
5  
5 OF 6 SHEETS





MINOR COLLECTOR - 60" R.O.W.  
SCALE: N.T.S.



MAJOR COLLECTOR - 80" R.O.W.  
SCALE: N.T.S.

DATE: 1-21-2019

JOB NO.: 1494-17-004

DESIGNED BY: BDH

CHECKED BY: RAR

DWG: 1494-17-004

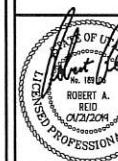
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ASSOCIATES  
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A-2 St. George, Utah 84790  
Ph (435) 673-8586 Fx (435) 673-8397  
[www.racivil.com](http://www.racivil.com)

STREET SECTIONS  
FOR  
GATEWAY NORTH INDUSTRIAL PARK PHASE 1  
2ND AMENDED & EXTENDED  
HURRICANE, UTAH



SHEET  
6  
6 OF 6 SHEETS



# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:  
File No. 2019-PSP-06  
Receipt No. 7-623122

Name: Silver Stream Advisors Telephone: 801-574-9856  
Address: 4275 W. Hampshire Rd Fax No. 435-216-3003  
Agent (If Applicable): Gregg Wood Telephone: Same  
Email: GreggW@SilverStream.com  
Address/Location of Subject Property: K-3 Marla at Elm Valley  
Tax ID of Subject Property: <sup>H-</sup>MARV-1-K-3 Zone District: T-5  
Proposed Use: (Describe, use extra sheet if necessary) T-5 Apartment 10 unit  
with a Flex unit.

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way;
- ☒ c) Project name, North arrow, and tie to a section monument;
- ☒ d) The boundary lines of the project site with bearings and distances;
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings
- ☒ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- ☒ i) Identification of property, if any, not proposed for development, and;
- ☒ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.



## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2019-FSP-06

**Type of Application:** Final Site Plan

**Applicant:** Silver Stream Advisories/Gregg Wood

**Request:** Final Site Plan for Lot K3 in Marla at Elim Valley

**Location:** The corner of Regent Park Rd. and Iron Bridge Blvd.

**General Plan:** Master Planned Community

**Existing Zoning:** PDO/R-18

**Discussion:** This lot is located within Marla at Elim Valley, which was designed as Traditional Neighborhood Development when it was approved in 2008. When the final site plan for Marla was approved this lot was labeled as “proposed apartment (site plan by later submittal)”. That time has come with this application for a final site plan.

**JUC:** The construction drawings have been signed.

- |    |                      |                                  |
|----|----------------------|----------------------------------|
| 1. | Total Site           | .38 (16,522 sq. ft.)             |
| 2. | Total Buildings      | 1 building                       |
| 3. | Total dwelling units | 10 + flex space on parking level |
| 4. | Parking              | 20 spaces provided               |

### Planning Staff had the following comments

1. The zoning in Elim Valley is by transect and the transect for this building is “T-5”. The T-5 apartment house is described as *a rear yard residential building type accommodating multiple dwellings disposed above and beside each other*. Setbacks are very close to the front and side streets and the height is less than 35’, which meets the design guidelines for this transect.
2. The ground floor level of this building is parking for the upper floors. The footprint layout shows access to the internal stairways from the street and the parking garage.
3. The signed construction drawings show the corners of the parking garage as fenced storage space, not separate rooms.
4. Landscaping is shown on the building frontages and in the parking lot.
5. A dumpster location is provided in the rear. The enclosure must match the building.
6. Parking is accommodated in the parking garage and parking lot. The Elim Valley design



code requires one parking space for each unit for residential uses. For lodging uses, such as short term rental, the requirement is one parking space per bedroom used for lodging. The applicant has not provided information what type of uses are intended in this building. Assuming ten units with two bedrooms each, the requirement is 20 spaces for lodging use. If those same units have three bedrooms, the requirement jumps to 30 spaces. For residential occupancy, the ten units and the flex space are well served with the 20 spaces.

7. A reference has been made to the finished ground floor space as a “flex space”. If this is intended for retail use, the parking requirement is 3 assigned spaces per 1,000 sq. ft. This area measures 812 sq. ft. so at least 2 spaces must be assigned to this area if it is used for retail purposes. For office use the requirement is 2 spaces per 1,000 sq. ft. so at least one is required if the space is used for office. There is a shared parking factor chart that may modify these requirements.
8. The building façade is improved with benches and trash cans next to the street entrances as well as foundation landscaping and street trees. A bike rack is provided on the Iron Bridge Blvd frontage.
9. This plan does not provide any lighting detail. A lighting plan must be submitted and approved before a building permit for the site is issued. Lighting must meet Dark Sky guidelines by being less than 3000 Kelvin and totally downcast
10. The color rendering is of a pale building in light stucco colors with black windows, building pop-outs, and third floor dormers to add character. No stone accents are shown and each entrance is accessed via stairs from the sidewalk.

**Recommendation:** Staff recommends the Planning Commission approve the final site plan with the following comments and conditions:

1. The lighting plan is submitted and approved before work starts on the site.
2. A building permit is required before building construction commences.
3. All landscaping and site improvements such as benches and bike racks are installed before occupancy is granted.









PRIMARY STUCCO:  
SYNTHETIC STUCCO, SMOOTH FINISH  
COLOR: SHERWIN WILLIAMS SW7013 IVORY LACE

EAVE TRIM:  
CONCRETE TILE ROOFING  
COLOR: 4802 CONCORD BLEND  
OFFICE: BEL AIR

EAVES AND TRIM:  
HIGH DENSITY FOAM CAP WITH  
SYNTHETIC STUCCO, SMOOTH FINISH  
COLOR: SHERWIN WILLIAMS SW7013 IVORY LACE

PARAPET CAP:  
HIGH DENSITY FOAM CAP WITH  
SYNTHETIC STUCCO, SMOOTH FINISH  
COLOR: SHERWIN WILLIAMS SW7013 IVORY LACE  
WINDOWS:  
AMSCO ARTISAN SERIES  
COLOR: BLACK FRAMES  
OPTIONAL: SIMULATED DIVIDED LIGHT GRIDS (BLACK)

FLEX UNIT WINDOWS:  
ALUMINUM STOREFRONT WINDOW & DOOR SYSTEM  
COLOR: BLACK

SECONDARY STUCCO:  
SYNTHETIC STUCCO, SMOOTH FINISH  
COLOR: SHERWIN WILLIAMS SW6106 KILIM BEIGE  
OR  
OPTIONAL BRICK VENEER - ROBINSON BRICK  
COLOR: PEPPERMILL

COURTYARD WALLS:  
SYNTHETIC STUCCO, SMOOTH FINISH  
COLOR: SHERWIN WILLIAMS SW7013 IVORY LACE  
PRECAST CONCRETE CAP  
COLOR: WHITE

RAILINGS & ACCENT IRON WORK:  
WROUGHT IRON  
COLOR: BLACK

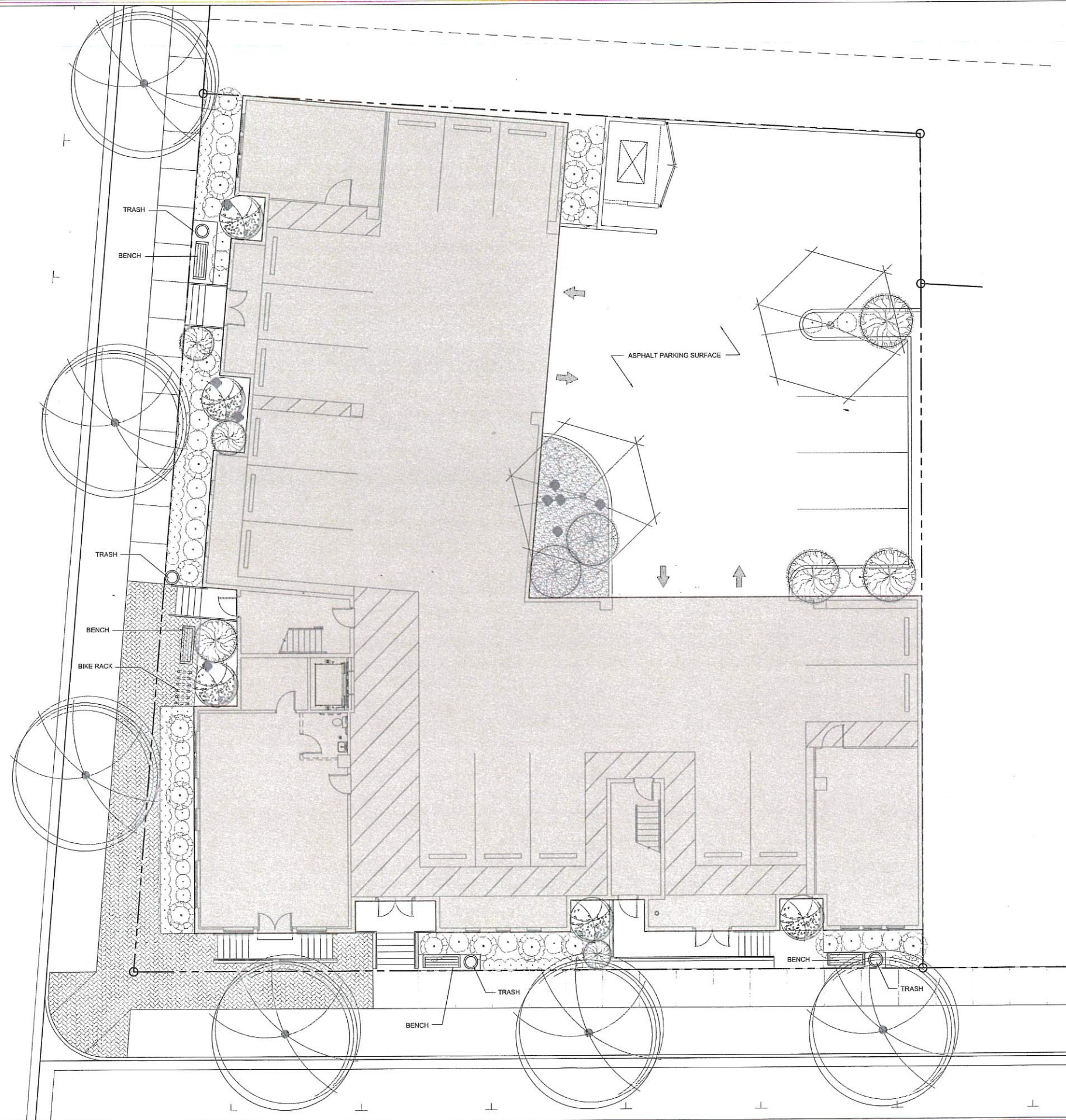
# CONCEPT RENDERING - COLORS AND MATERIALS

NOT TO SCALE









### TREES

- EXISTING ELM VALLEY STREET TREE.
- PISTACHE CHINENSIS 'RED PUSH' (CHINESE PISTACHE)
- LIGUSTRUM LUCIDUM (GLOSSY PRIVET)
- POPULUS TREMULA 'ERECTA' (SWEDISH COLUMNAR ASPEN)

### SHRUBS

- PYRACANTHA
- LIGUSTRUM JAPANICUM (JAPANESE PRIVET)
- BUXUS SEMPERVIRENS 'SUFFRUTICOSA' (DWARF ENGLISH BOXWOOD)

### MISC.

- LANDSCAPE BOULDER - LAVA ROCK
- GRAVEL BED. SEE GENERAL NOTES FOR SPECIFICATIONS.
- CONC. PAVER SIDEWALK

### GENERAL NOTES

- CONTRACTOR TO ENSURE THAT THE DESIGN INTENT OF THE LANDSCAPE IS UPHELD AT ALL TIMES DURING THE CONSTRUCTION PHASE OF THE PROJECT.
- ANY CONFLICTING INFORMATION THAT RELATES TO THE DESIGN INTENT OF THIS PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. IF ANY INFORMATION IS WITHHELD THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE OF SUCH NOTIFICATIONS.
- CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING SITE CONDITIONS AND UNDERGROUND UTILITIES. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND UTILITY COMPANIES FOR ALL LOCATES PRIOR TO CONSTRUCTION.
- ALL LANDSCAPING AND PLANTING TO CONFORM TO THE HURRICANE CITY LANDSCAPING REQUIREMENTS CONSISTENT WITH CHAPTER 10-32 OF THE LAND USE ORDINANCE.
- PLANTS INSTALLED SHALL CONFORM TO OR EXCEED THE PLANT QUALITY OF THE MOST RECENT EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO ACCEPTED NURSERY PRACTICES.
- DESIGNER IS NOT RESPONSIBLE FOR LAYOUT AND/OR DESIGN CHANGES AND/OR MODIFICATIONS MADE BY THE OWNER AND/OR PROJECT CONTRACTOR WITHOUT THE EXPRESSED CONSENT OF THE DESIGNER.
- CRUSHED ROCK (C.R.) - INSTALL A 2" LAYER OF APPROVED 3/4" CRUSHED ROCK IN ALL PLANTERS UNDER ALL TREES AND SHRUBS. KEEP TOP OF ROCK 1" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL AFTER INSTALLATION OF PLANT MATERIAL.
- ALL SLEEVING SHALL BE INSTALLED PRIOR TO INSTALLATION OF CONCRETE SURFACES. CONCRETE CONTRACTOR TO VERIFY INSTALLATION OF SUCH ITEMS AND LOCATIONS WITH LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR RESPONSIBLE FOR THE PROPER INSTALLATION OF ALL SLEEVES AND SIZES.

### LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

**EXCEL DESIGN ASSOCIATES**  
"ENGINEERING EXCELLENCE"  
DESIGN - ENGINEERING - LAND PLANNING - REAL ESTATE  
1185 WEST UTAH AVENUE, STE 102, HILDALE, UTAH 84784  
TEL: (435) 706-8758  
edesign@exceldesign.us

**PARK PLACE VACATION VILLAS**  
MARLA, PHASE 1, LOT K-3

ELIM VALLEY  
HURRICANE, UTAH

### REVISIONS

REV.	DATE	DESCRIPTION
1		
2		
3		
4		

PROJECT NO.:

DRAWN BY: C.T.

DESIGNED BY:

FIELD CREW:

CHECKED BY:

DATE: 1/28/19

SHEET TITLE:

**LANDSCAPE PLAN**

**L1.1**



# FINAL SITE PLAN APPLICATION

City of Hurricane  
147 North 870 West  
Hurricane, UT 84737  
(435) 635-2811  
FAX (435) 635-2184

Fee: \$250.00

For Office Use Only:

File No. 2019-FSP-07

Receipt No. 7.623629

Name: Vasu Patel Telephone: 435-703-0057

Address: \_\_\_\_\_ Fax No. \_\_\_\_\_

Agent (If Applicable): Tyler Hoskins Telephone: 435-668-9882

Email: Kornermart@gmail.com

Address/Location of Subject Property: 685 West State Street, Hurricane, UT 84737

Tax ID of Subject Property: 0423239 (H-266-E) Zone District: HC

Proposed Use: (Describe, use extra sheet if necessary) Gas Station and Restaurant

**Submittal Requirements:** This application must be accompanied by a set of development plans which meet the following standards:

- Plans shall be drawn at a scale of no smaller than 1"=100'
- Submit one (1) set of plans on 11 x 17 inch paper. Also submit one (1) copy of all plans on larger sheets when ever a reduction is required.
- Except for the landscaping plan, the other plans shall be prepared, stamped and signed by a professional engineer licensed by the State of Utah.

The following shall be shown on separate sheets:

1) Site plan including:

- ☒ a) All facilities related to the project located within two hundred and fifty (250) feet of the site boundary;
- ☒ b) Layout, dimensions, and names of existing and future road rights-of-way;
- ☒ c) Project name, North arrow, and tie to a section monument;
- ☒ d) The boundary lines of the project site with bearings and distances;
- ☒ e) Layout and dimensions of proposed streets, buildings, parking areas, and landscape areas;
- ☒ f) Location, dimensions, and labeling of other features such as bicycle racks, dumpsters, trash cans, fences, signage, and mechanical equipment;
- ☒ g) Location of man-made features including irrigation facilities, bridges, and buildings
- ☒ h) A tabulation table showing total gross acreage, square footage of street rights-of-way, square footage of building footprint, square footage of total building floor area, number of parking spaces, and, if any, the number and type of dwellings and the percentage devoted to each dwelling type and overall dwelling unit density;
- ☒ i) Identification of property, if any, not proposed for development, and;
- ☒ j) Proposed reservations for parks, playgrounds, and school or other public facility sites, if any.



## STAFF COMMENTS

**Agenda:** February 14, 2019 **File Number:** 2019-FSP-07

**Type of Application:** Final Site Plan

**Applicant:** Vasu Patel

**Request:** Final Site Plan for amending the current site with a larger convenience store/drive up restaurant and reconfigured gas pumps.

**Location:** 685 W. State Street

**General Plan:** Commercial

**Existing Zoning:** Highway Commercial

**Discussion:** The owners of this property would like to improve the site by tearing down the existing multiple pump lane gas canopy and building and replacing it with a larger building and single pump gas canopy

- |    |                            |                             |
|----|----------------------------|-----------------------------|
| 1. | Total Site                 | .922 acres                  |
| 2. | Total Buildings            | 1 building and 1 gas canopy |
| 4. | Total parking provided     | 22 spaces                   |
| 5. | Gas canopy stacking spaces | One per pump                |

### JUC Comments:

Construction drawings have been signed.

### Staff Review

1. The plan includes a 7,145 sq. ft. new building. During the preliminary site plan review the Planning Commission approved fewer spaces than required by code because this is a replacement site and the parking has proved adequate in the past.
2. Gas pumps are required to provide 1 stacking space per pump. Enough room to accommodate these spaces is shown on the plan.
3. Stacking spaces for the drive up window are shown as needed.
4. This plan does not show a free standing sign location. Signs on the building face are shown on the building elevations. Permits for these signs and any free standing sign will be required since they are not included in this application. LED signs must be adjustable for brightness.
5. The site has been enhanced with additional landscaping along the west side of the property, including on the 700 West right of way being held for future widening. On site drainage features



are included along the 700 West right of way and these basins include some trees as well as shrubs. All irrigation is by drip or sprinkler.

6. Two street lights are shown, one at each driveway from SR-9. No details have been provided. All building and site lighting must meet Dark Sky requirements for shielding, including under the canopy, and must be 300 K or lower in temperature to prevent over lighting. The applicants have failed to provide information verifying these standards will be met. **NO EXTERIOR LIGHTING MAY BE INSTALLED ON SITE WITHOUT SUBMITTING A LIGHTING PLAN AND HAVING THAT PLAN APPROVED.**
7. A dumpster enclosure is shown on the site plan but no details have been provided. Dumpsters must be fully enclosed in materials that match the building including gates.
8. Building elevations include different stucco textures, relief features such as columns and canopies, and multiple windows along the front.
9. The elevations and the floor plan appears to anticipate either two restaurant spaces or two doors into the same space. Parking was not approved for two restaurant spaces.

**Recommendation:** Staff recommends approval of this final site plan with the conditions that:

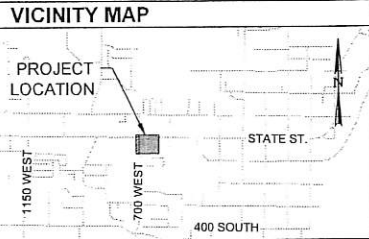
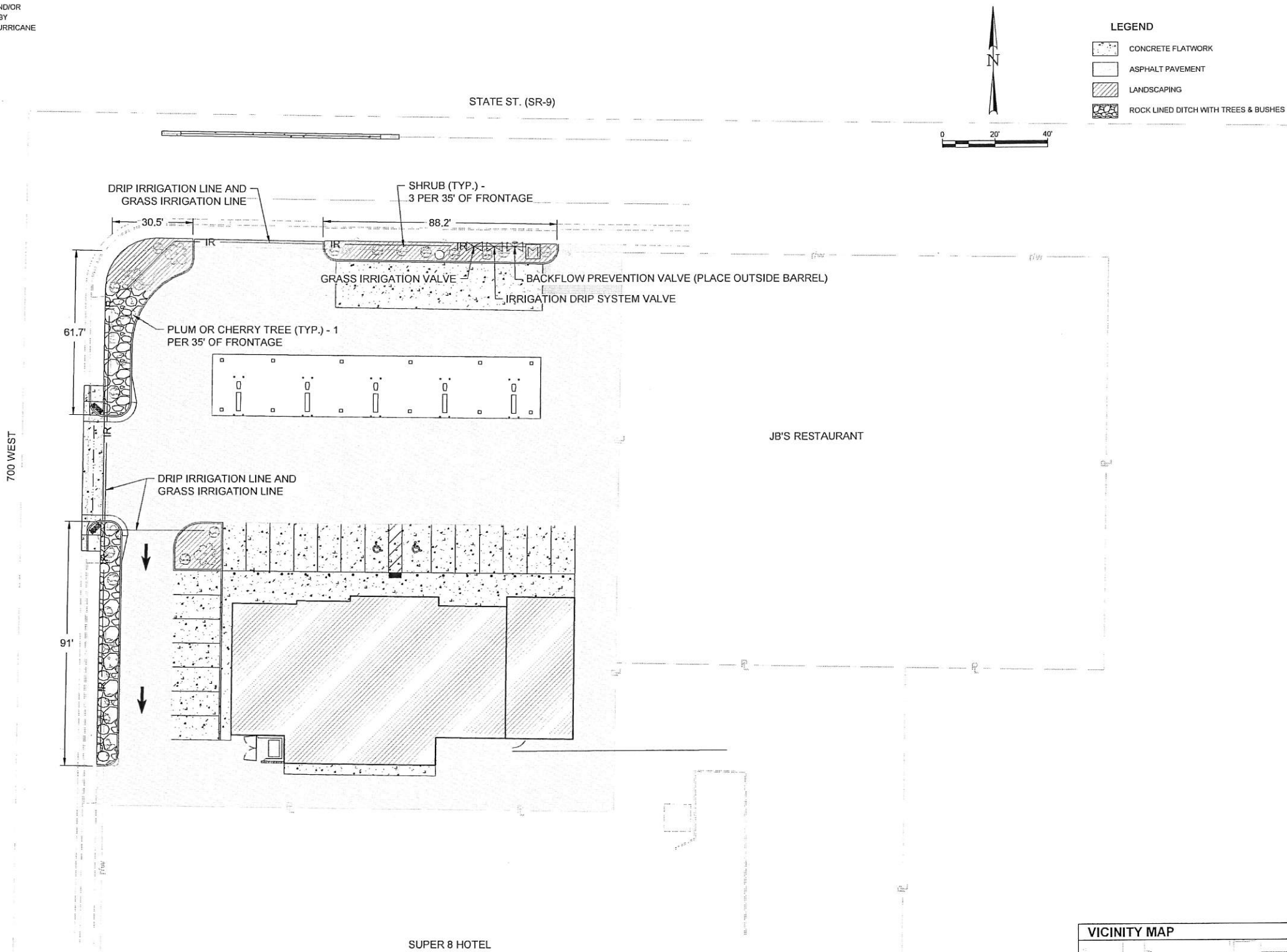
1. a lighting plan meeting the requirements outlined in 6 above be submitted and approved before any lights are ordered or installed.
2. details on the dumpster enclosure are submitted and approved before it is constructed
3. signs will require separate permits



LANDSCAPING NOTES

1 ANY LANDSCAPING, INCLUDING STREET LANDSCAPE STRIPS AND/OR MEDIANS AND ASSOCIATED IRRIGATION, SHALL BE INSTALLED BY DEVELOPER/OWNER(S) AND IS NOT THE RESPONSIBILITY OF HURRICANE CITY PARKS DEPARTMENT TO MAINTAIN.

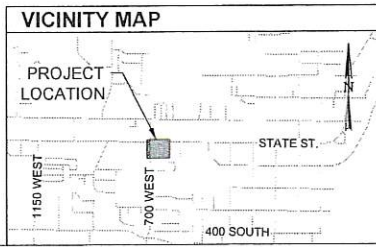
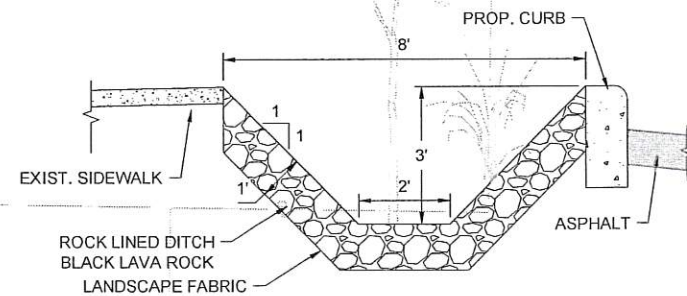
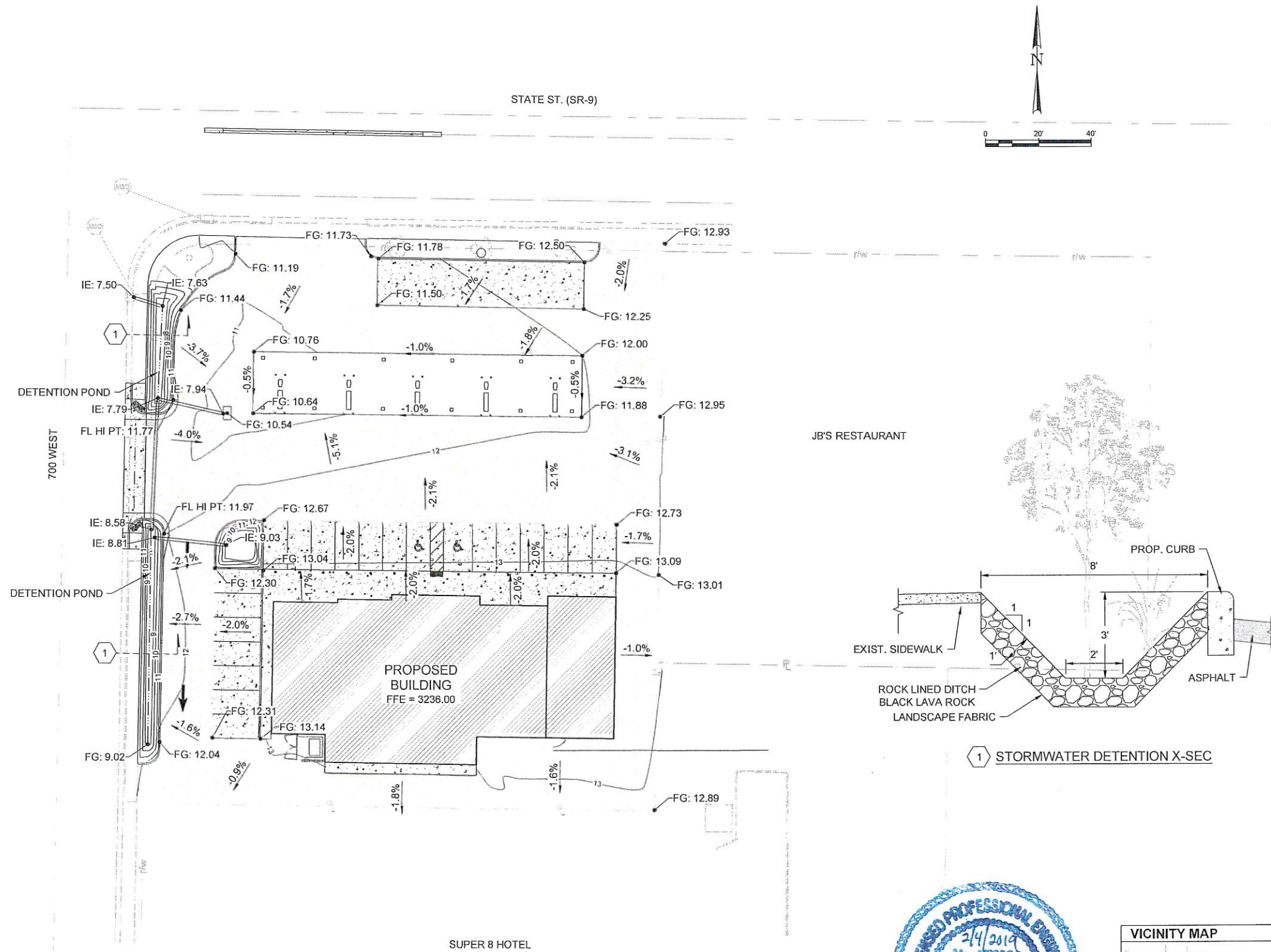
LANDSCAPING  
TOTAL AREA: 2,557 SQ. FT. (0.06 ACRES)  
TOTAL FRONTAGE: 272'  
TOTAL SHRUBS: 23  
TOTAL TREES: 7



**PRELIMINARY**  
NOT FOR CONSTRUCTION

CITY OF HURRICANE 1671 N. 1ST ST. HURRICANE, UT 84737 435-435-2811		DESIGNED BY: AWO	CHECKED BY: TH
WCEC ENGINEERS, INC. 9900 SOUTH 300 WEST, SUITE 200 SANDY, UT 84070 PHONE: 801-455-3847 FAX: 801-618-4157		DATE: JAN. 14, 2019	SCALE: 1"=20' (24x36)
HURRICANE CHEVRON 687 STATE ST. 18-173		APPROVED PROFESSIONAL ENGINEER	
PROJECT NUMBER	LANDSCAPING PLAN		
SHEET NO. LP101			





SHEET NO. CG101

PROJECT  
HURRICANE CHEVRON  
687 STATE ST.  
18-173  
GRADING PLAN

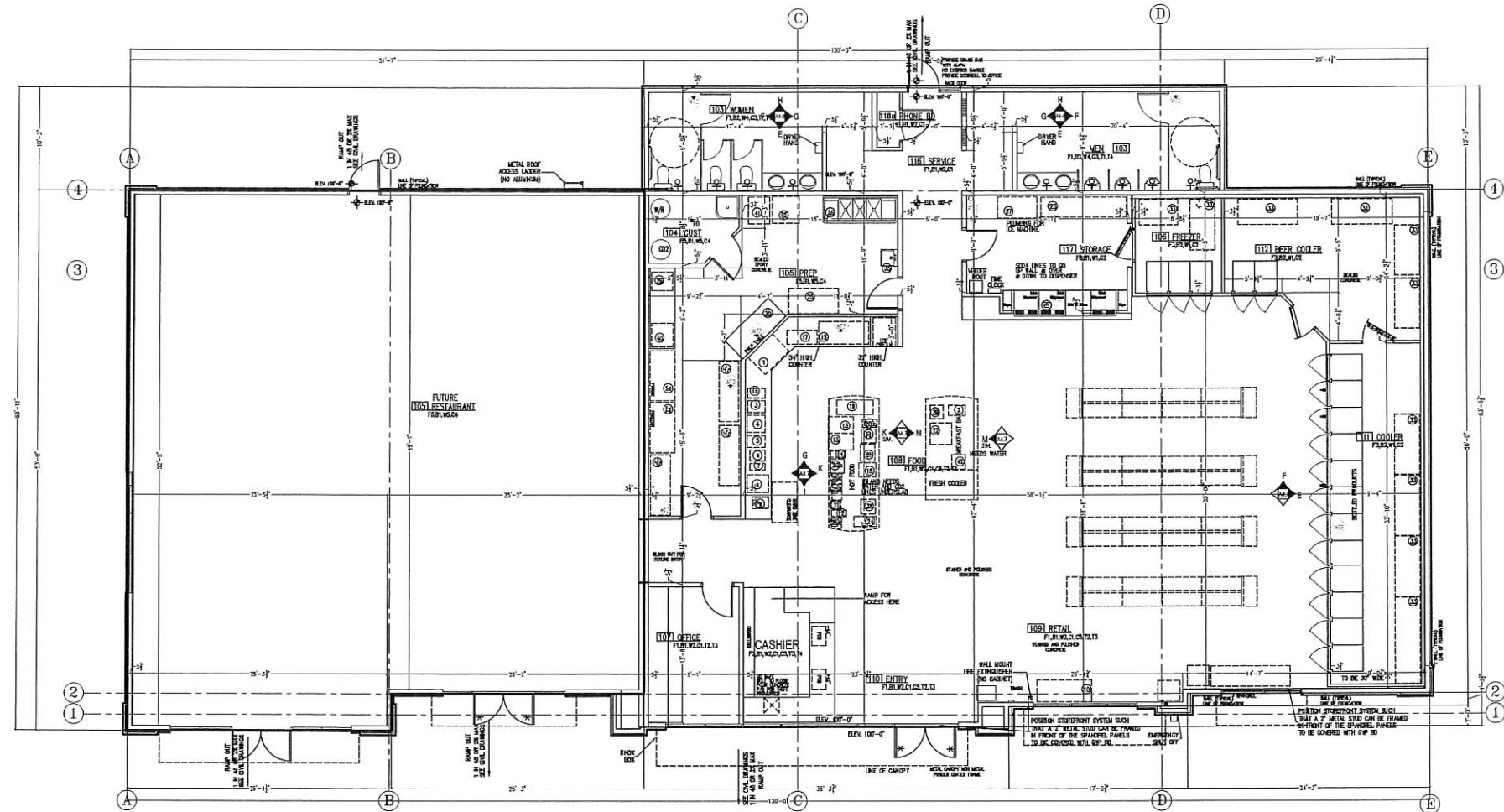
**WCEC** ENGINEERS, INC.  
980 SOUTH WEST, SUITE 200  
SALT LAKE CITY, UT 84119  
PHONE: 801-455-3847 FAX: 801-418-4157

CITY OF HURRICANE  
147 N 970 W  
HURRICANE, UT 84737  
435-535-5011

**PRELIMINARY**  
NOT FOR CONSTRUCTION

APPROVED  
\_\_\_\_\_  
PROFESSIONAL ENGINEER  
SCALE: 1"=20' (24x36)  
DATE: JAN. 14, 2019  
DESIGNED BY: AWO  
CHECKED BY: TH



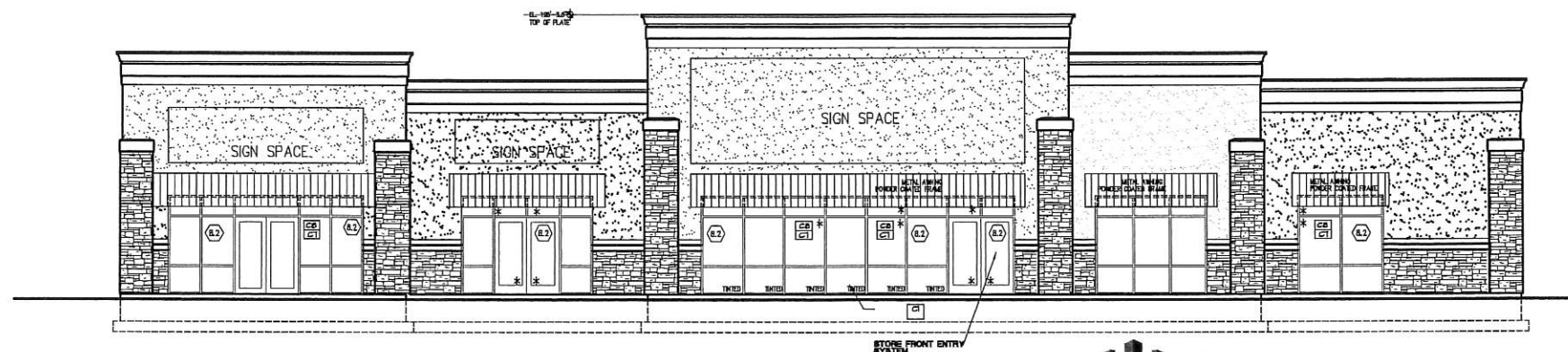


**RESTAURANT FLOOR PLAN**  
(OCCUPANCY GROUP A) 2,677 SQ. FT.

**SU C-STORE FLOOR PLAN**  
(OCCUPANCY GROUP M) 3,656 SQ. FT.

**FOODSERVICE SCHEDULE - OWNER TO VERIFY & APPROVE ALL EQUIPMENT**

- |                                     |                                     |                                     |
|-------------------------------------|-------------------------------------|-------------------------------------|
| 1. 1/2" BURNER (4) 12" x 18" x 12"  | 11. 1/2" BURNER (4) 12" x 18" x 12" | 21. 1/2" BURNER (4) 12" x 18" x 12" |
| 2. 1/2" BURNER (4) 12" x 18" x 12"  | 12. 1/2" BURNER (4) 12" x 18" x 12" | 22. 1/2" BURNER (4) 12" x 18" x 12" |
| 3. 1/2" BURNER (4) 12" x 18" x 12"  | 13. 1/2" BURNER (4) 12" x 18" x 12" | 23. 1/2" BURNER (4) 12" x 18" x 12" |
| 4. 1/2" BURNER (4) 12" x 18" x 12"  | 14. 1/2" BURNER (4) 12" x 18" x 12" | 24. 1/2" BURNER (4) 12" x 18" x 12" |
| 5. 1/2" BURNER (4) 12" x 18" x 12"  | 15. 1/2" BURNER (4) 12" x 18" x 12" | 25. 1/2" BURNER (4) 12" x 18" x 12" |
| 6. 1/2" BURNER (4) 12" x 18" x 12"  | 16. 1/2" BURNER (4) 12" x 18" x 12" | 26. 1/2" BURNER (4) 12" x 18" x 12" |
| 7. 1/2" BURNER (4) 12" x 18" x 12"  | 17. 1/2" BURNER (4) 12" x 18" x 12" | 27. 1/2" BURNER (4) 12" x 18" x 12" |
| 8. 1/2" BURNER (4) 12" x 18" x 12"  | 18. 1/2" BURNER (4) 12" x 18" x 12" | 28. 1/2" BURNER (4) 12" x 18" x 12" |
| 9. 1/2" BURNER (4) 12" x 18" x 12"  | 19. 1/2" BURNER (4) 12" x 18" x 12" | 29. 1/2" BURNER (4) 12" x 18" x 12" |
| 10. 1/2" BURNER (4) 12" x 18" x 12" | 20. 1/2" BURNER (4) 12" x 18" x 12" | 30. 1/2" BURNER (4) 12" x 18" x 12" |

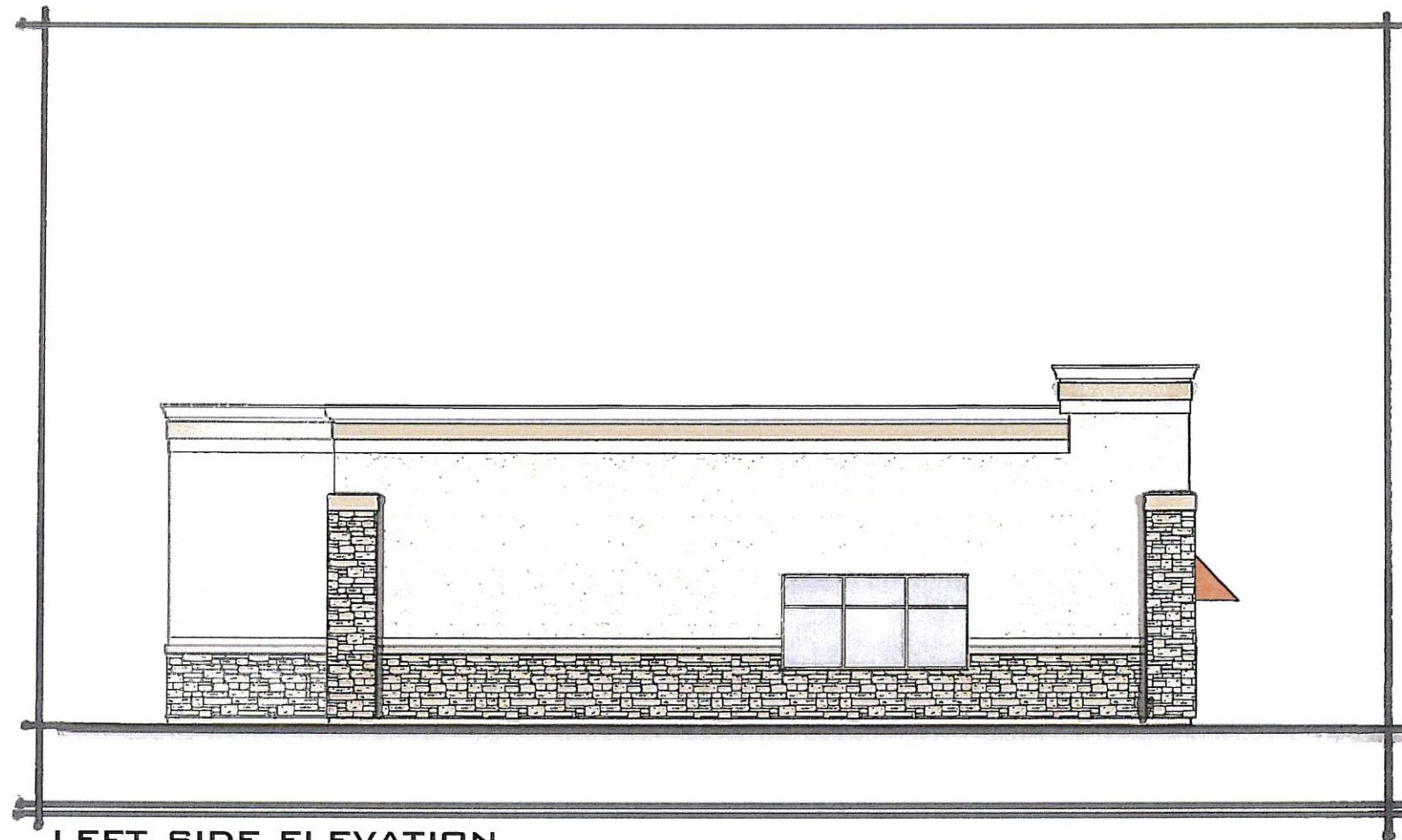


**FRONT ELEVATION**



**HARRIS ARCHITECTURE**  
3550 UNIVERSITY AVENUE #200, PROVO UT 84604 | 801-377-4333 | WWW.HARRIS-ARCHITECTURE.COM

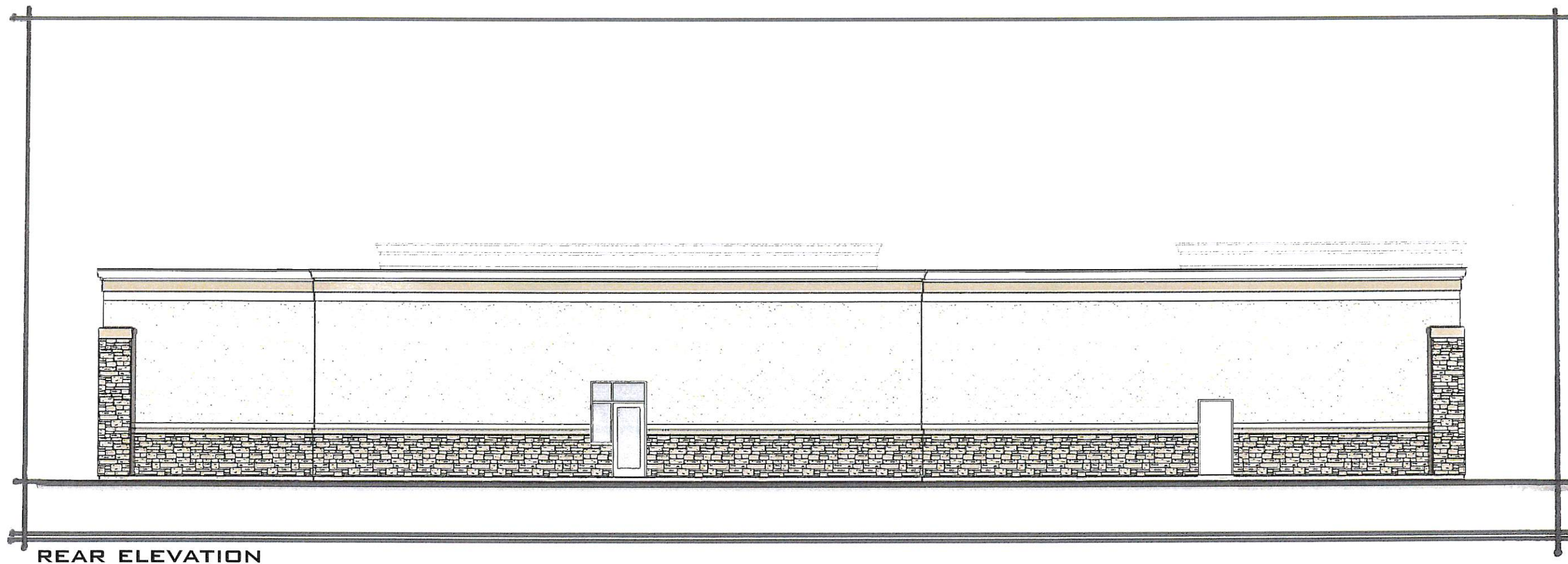




LEFT SIDE ELEVATION

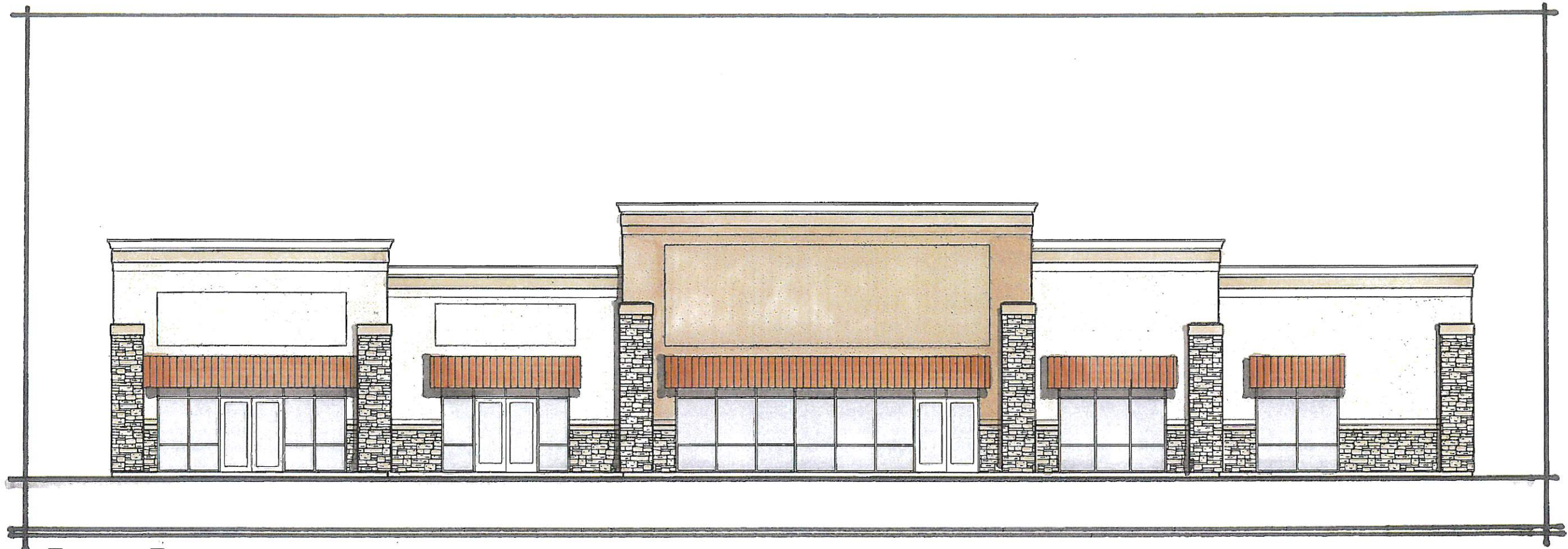
## SOUTHERN UTAH - C-STORE





## SOUTHERN UTAH - C-STORE





FRONT ELEVATION

## SOUTHERN UTAH - C-STORE



