

AGENDA

CITY OF SOUTH JORDAN PLANNING COMMISSION MEETING

MARCH 12, 2019

NOTICE IS HEREBY GIVEN THAT THE SOUTH JORDAN CITY PLANNING COMMISSION WILL HOLD ITS REGULAR MEETING ON TUESDAY, MARCH 12, 2019, IN THE CITY COUNCIL CHAMBERS AT SOUTH JORDAN CITY HALL, 1600 WEST TOWNE CENTER DRIVE, SOUTH JORDAN, UTAH. PERSONS WITH DISABILITIES WHO MAY NEED ASSISTANCE SHOULD CONTACT THE PLANNING STAFF AT (801) 254-3742 AT LEAST 24 HOURS PRIOR TO THIS MEETING. THE REGULAR MEETING WILL BEGIN AT 6:30 PM AND THE AGENDA WILL BE AS FOLLOWS:

6:30 PM

REGULAR MEETING

I. GENERAL BUSINESS

- A. Welcome and Roll Call
- B. Motion to Approve Agenda
- C. Approval of the Minutes from the Meeting held on February 26, 2019

II. INFORMATIONAL ITEMS AND OTHER BUSINESS

- A. Staff Business
- B. Comments from Planning Commission Members

III. CITIZEN COMMENT

Any person wishing to comment on any item not otherwise on the Agenda may address the Planning Commission at this point by stepping to the microphone and giving his or her name and address for the record. Comments should be limited to not more than three (3) minutes, unless additional time is authorized by the Governing Body. Citizen groups will be asked to appoint a spokesperson. This is the time and place for any person who wishes to comment on non-hearing, non-Agenda items. Items brought forward to the attention of the Planning Commission will be turned over to staff to provide a response outside of the Planning Commission meeting. Time taken on non-agenda items, interrupts the process of the noticed Agenda. In rare cases where it is determined appropriate to address items raised from Citizen Comments, these items will be noted and be brought back at the conclusion of the printed agenda.

IV. SUMMARY ACTION

None

V. ACTION

None

VI. PUBLIC HEARINGS AND POTENTIAL **ADMINISTRATIVE ACTION ITEMS

**Administrative Action = Less Discretion, Substantial Evidence (Objective Standard)

**A.1 Issue: Daybreak Oquirrh Plat Amended
Subdivision Amendment**

Location: 10521 South Lake Avenue

File No: PLPLA201900074

Applicant: Daybreak Communities

A.2 Potential Action Item – (See VI.A.1)

**B.1 Issue: 106 Exchange II
Site Plan**

Location: 489 West South Jordan Parkway

File No: PLSPR201801175

Applicant: Greg Goffin/Thrive Development

B.2 Potential Action Item – (See VI.B.1)

**C.1 Issue: Rocky Mountain Power Line Upgrade
Conditional Use Permit**

Location: Redwood to Draper

File No: PLCUP201800742

Applicant: Lisa Romney

C.2 Potential Action Item – (See VI.C.1)

**D.1 Issue: Ashcroft Acres Subdivision
Preliminary Subdivision**

Location: 10700 South 1055 West

File No: SUB-2016.01

Applicant: Charles Judd, J Lamar Holdings, Inc.

D.2 Potential Action Item – (See VI.D.1)

VII. PUBLIC HEARINGS AND POTENTIAL **LEGISLATIVE ACTION ITEMS

****Legislative Action = More Discretion, Reasonably Debatable (Subjective Standard)**

None

VIII. OTHER BUSINESS

None

ADJOURNMENT

CERTIFICATE OF POSTING

STATE OF UTAH)
 : §
COUNTY OF SALT LAKE)

I, Anna M. West, certify that I am the duly appointed City Recorder of South Jordan City, State of Utah, and that the foregoing Planning Commission Agenda was faxed or emailed to the media at least 24 hours prior to such meeting, specifically the Deseret News, Salt Lake Tribune and the South Valley Journal. The Agenda was also posted at City Hall, on the City's website www.sjc.utah.gov and on the Utah Public Notice Website www.pmn.utah.gov.

Dated this 7th day of March 2019.



Anna M. West, CMC
South Jordan City Recorder

CITY OF SOUTH JORDAN
PLANNING COMMISSION MEETING
COUNCIL CHAMBERS
February 26, 2019

Present: Commissioner Mark Woolley, Commissioner Julie Holbrook, Commissioner Earl Jolley, Commissioner Sean Morrissey, Commissioner Michael Haynes, Commissioner John Ellis, City Planner Greg Schindler, Planner Damir Drozdek, Deputy City Engineer Jeremy Nielsen, Staff Attorney Todd Sheeran, Deputy Recorder Cindy Valdez

Others: See Attachment A.

6:30 P.M.

REGULAR MEETING

I. GENERAL BUSINESS

A. Welcome and Roll Call

Chairman Mark Woolley welcomed everyone present. He noted that all Commissioners are present, except Commissioner Jolley and he is on his way here.

B. Motion to Approve Agenda

Commissioner Holbrook made a motion to approve the February 26, 2019 Planning Commission Agenda. Commissioner Ellis seconded the motion. Vote was unanimous in favor.

C. Approval of the Minutes from the Meeting held on January 22, 2019

Commissioner Haynes made a motion to approve the February 12, 2019 Planning Commission Meeting minutes with changes. Commissioner Ellis seconded the motion. Vote was unanimous in favor.

II. INFORMATIONAL ITEMS AND OTHER BUSINESS

A. Staff Business

Staff Attorney Todd Sheeran said as you know we have a Rocky Mountain Power conditional use permit that is pending with City Staff right now. On February 7, 2019, RMP wrote a letter asking the Planning Commissioner to have their application heard on March 12, 2019, and stated the statute which requires a determination by 45 days of that letter. We will need to know which staff is going to be present for the meeting, so we know that we will have a quorum. We have also talked about having a work session a half hour or forty-five minutes before the meeting to go over some of the items, and dinner will be provided.

Chairman Woolley asked the Commissioner's if they would be able to attend the Tuesday March 12, 2019 Planning Commission Meeting, and all of the Commissioners will be in attendance except for Commissioner Morrissey, he will be out of town.

B. Comments from Planning Commission Members

None

III. CITIZEN COMMENT

Any person wishing to comment on any item not otherwise on the Agenda may address the Planning Commission at this point by stepping to the microphone and giving his or her name and address for the record. Comments should be limited to not more than three (3) minutes, unless the Governing Body authorizes additional time. The citizen groups will be asked to appoint a spokesperson. This is the time and place for any person who wishes to comment on non-hearing, non-Agenda items. Items brought forward to the attention of the Planning Commission will be turned over to staff to provide a response outside of the Planning Commission meeting. Time taken on non-agenda items, interrupts the process of the noticed Agenda. In rare cases where it is determined appropriate to address items raised from Citizen Comments, these items will be noted and be brought back at the conclusion of the printed agenda.

Chairman Woolley opened the Citizens comment.

Collin Tanner, South Jordan – said originally they had a street on and off as a collector route to Bangerter Highway. I am wondering if they would reconsider that, because there is plenty of room to have a collector street and people can come on and off Bangerter, and they would not have to go through the subdivision. I would like you to please think about this.

City Planner Greg Schindler asked Deputy City Engineer if he would like to address Mr. Tanner's comments.

Deputy City Engineer Jeremy Nielsen said I will give him my business card and he can contact me, or City staff and we will work with him that way. I would like to understand exactly what his concerns are.

Chairman Woolley closed the Citizens Comment period.

IV. SUMMARY ACTION

None

V. ACTION

None

VI. PUBLIC HEARINGS AND POTENTIAL **ADMINISTRATIVE ACTION ITEMS

****Administrative Action = Less Discretion, Substantial Evidence (Objective Standard)**

**A.1 Issue: GARDEN PARK PHASE 3 AMENDMENT
CONDOMINIUM PLAT AMENDMENT**

Location: 11199 South Oakmond Road
File No: PLPLA201800093
Applicant: Darin Haskell

City Planner Greg Schindler reviewed background information on this item from the staff report.

Chairman Woolley opened the Public Hearing to comments. There was none. He closed the Public Hearing.

A.2 Potential Action Item – (See VI.A.1)

Commissioner Ellis motioned to approve File No. PLPLA201800093 as proposed. Commissioner Holbrook seconded the motion; Roll Call Vote was 5-0 unanimous in favor.

**B.1 Issue: DAYBREAK SOUTH JORDAN CITY PUBLIC SAFETY CENTER
PRELIMINARY SUBDIVISION**

Location: 5443 West Lake Avenue
File No: PLPP201801003
Applicant: Daybreak Communities/Gary Langston

City Planner Greg Schindler reviewed background information on this item from the staff report.

Chairman Woolley opened the Public Hearing to comments. There was none. He closed the Public Hearing.

B.2 Potential Action Item – (See VI.B.1)

Commissioner Holbrook motioned to approve File No. PLPP201801003 as proposed. Commissioner Jolley seconded the motion; Roll Call Vote was 5-0 unanimous in favor.

**C.1 Issue: RIVER HEIGHTS MEDICAL OFFICE BUILDING
SITE PLAN**

Location: 10654 South River Heights Drive
File No: PLSR201900053
Applicant: Greg Goffin/Thrive Development

Planner Damir Drozdek reviewed background information on this item from the staff report.

Commissioner Holbrook said did I read the staff report correctly that this building going to be 58ft. tall.

Planner Drozdek said that is correct.

Commissioner Holbrook said isn't that higher than what is allowed?

Planner Drozdek said a building could be as high as 70ft. tall in the Office Zone.

Chaz Johnson, South Jordan – said I represent Thrive Development, we have done a handful of other similar medical and profession office buildings in the last 3 years, and we are excited to be able to work with these doctors. I am here to answer any questions that you may have for me.

Commissioner Holbrook said this looks like a marvelous building.

Chairman Woolley opened the Public Hearing to comments. There was none. He closed the Public Hearing.

C.2 Potential Action Item – (See VI.C.1)

Commissioner Ellis motioned to approve application **PLSPR201900053** to allow for construction of a medical office building to be located at **10654 S. River Heights Dr.** Commissioner Morrissey seconded the motion; Roll Call Vote was **5-0** unanimous in favor.

VII. PUBLIC HEARINGS AND POTENTIAL **LEGISLATIVE ACTION ITEMS

****Legislative Action = More Discretion, Reasonably Debatable (Subjective Standard)**

**D.1 Issue: REZONE AND LAND USE AMENDMENT
REZONING LEISURE VILLAS SENIOR COMMUNITY FROM
THE EXISTING ZONE OF RESIDENTIAL, 1.8 LOTS OR UNITS
PER ACRE TO THE PROPOSED ZONE OF RESIDENTIAL-
MULTIPLE.**

Location: 3401 West 9000 South
File No: PLZBA201801157
Applicant: Dave Erickson

Planner Damir Drozdek reviewed background information on this item from the staff report.

Commissioner Holbrook said could you go back to the map where the empty lot is. Is it going to be on the east side that you will be accessing, or will it be the south, and the east side, and will that go into the neighborhoods.

City Planner Schindler said there would not be any access from the existing subdivisions directly into this neighborhood, because all the accesses are coming from 3400 West.

Chairman Woolley opened the Public Hearing to comments.

Zane Christensen, South Jordan – said if you look at the southern entrance on the project this entrance is directly across the street from my driveway. That raises a very big concern for me having 168 homes and the main entrance will be directly across the street from my driveway. I have three

young daughters, and other children that walk to school on this road, and you are proposing to put a minimum of 168 more cars on this very small road and I am supposed to just sit back and take it. The Community College could easily have an access road through its portion and have access into the community. I don't think both access points need to be on 3400 W. Originally, we were promised to have green space where this was. I grew up next door to where we currently live. I worked hard to purchase a home next door to my parents so my kids could live next door to grandpa and grandma, and now were being forced out. I strongly oppose approving this the way it is proposed.

Matt Harper, South Jordan – said I live near the proposed development. I am representing a group of people in the local community. I am asking everyone that is here tonight and lives near this proposed development to please stand (the entire room stood). We understand that the land south of SLCC is no longer going to be used for the college, and many here believe that this Developer is offering a reasonable alternative. We are just asking for a few things to be considered so it will help the bordering community. The Development will be 168 homes built in four-plexes for senior citizens on 40 acres of land. As we understand it, this is Leisure Villas largest development, and it is the one with the worst access points. The Developer has told us that this development would create 650 car trips per day, with less peak hour usage, and total trips than a standard single-family residential neighborhood. I assume you know that 3400 W. dead ends on the north side, meaning that the main access point will be off 9800 S 3400 W, next to Elk Meadows Elementary. The high traffic already exists in the morning and when school ends. During rush hour in that area, making turns onto 9800 S is nearly impossible. How much more work this will become with 650 more daily trips? An important point to note about the study, it does not take into account the current level of trips from the local community and the total impact of those 650 additional trips. Not only do we worry about the extra traffic at the corner of 9800 S, and 3400 West, we know that even more traffic will run through our neighborhood roads to avoid that corner congestion. We have been told by SLCC that they will eventually, and inevitably need another road to exit their campus onto 3400 W. Many, many more cars will use our streets for convenience as a result. Our neighborhood roads are narrow and make it unwise for two cars to pass by one parked car, so when cars are parked on both sides of the road, only one car can pass at a time. Also, the extra trips plus the non-peak hours are times when children that are out riding bikes and playing in their front yards. Obviously, everyone is concerned about the increased risk to our children because of the added traffic. In addition to traffic from this development, there will be added traffic during the construction of 10400 and Bangerter interchange. Residents living west of us will likely find 9800 South to be a good alternate corridor, and the added traffic will worsen the issue for a time. Do we understand how much more traffic will be pushed to that area? The developer should be required to diver his traffic south of Iron Gate to discourage neighborhood road use, and connect his neighborhood to the northwest SLCC road, which already exits at a street light on 9000 S. This is displayed on this updated plot map. An official from SLLC has already told us that they would welcome this road connection because they eventually need another exit from their campus per fire code. Alternatively, they will eventually connect on the north-end side of 3400 West, funneling even more cars from the college through our neighborhood. Connecting the proposed development to the existing northwest SLCC road and moving the other entrance south of our neighborhood streets just make sense. It offers the new residents another route to and from their homes, it reduces extra traffic through the neighborhoods, and it reduces strain on our current and loyal residents. The current residents deserve that consideration. Our next issue regards open green space: If you can see on the map, the black box represents the proposed plot location. The green trees represent the City Parks. If you will notice, there are no parks in our area. We live in a "park desert" which would have been addressed in original SLCC Campus masterplan. What we are requesting is at least 3-5 acres to be set aside in the development as a passive green space/park. Our community needs green space to keep it beautiful, to

give the residents a place to play and bond with their neighbors, and to provide open space to an ever-growing city. Lastly, we also believe the South Jordan City needs to meet with SLCC to see what their future plans are for the remaining 15 acres of land on the West Jordan side of the field. That is responsible engineering. We have no idea what is planned there and we should absolutely be looking ahead to understand the impact to our citizens in that area. We have brought some signed petitions for you that ask for a delay in development until Bangerter Highway interchanges are completed. Another one asks for the roads in the development to be changed to help reduce traffic burden. The last one requests a passive park to preserve green space and reduce units. Thank you for your time and efforts.

Steven Christensen, South Jordan – said South Jordan's website says that they have 35 parks in South Jordan, but none of those are even close to our district, or even close to where this projected project lies. South Jordan's website states that parks and open space are one of the top strategic initiatives. We would think that you could do something about the top strategic issues by helping us revise the proposed plan. As currently situated, the traffic on Lady Dove Lane and Star Fire Road would be considered a service level "A" type of facility. The roads are approximately 25ft. wide, and the statutory requirement is 28ft wide. That make for a narrow road with a very dangerous corner before you get to 3200 West. If you add 650 trips down that street it would be a travesty, and it would create a number of problems. If even one child was injured it could cost millions of dollars. We have one such child that was injured in an automobile accident when they were going 35mph, and he has had millions of dollars of medical care. I would like to ask you to reconsider this and not approve the project as proposed.

Brad Ashby, South Jordan – said I have two kids that go to Elk Meadows Elementary, and 3400 West is not only walking route, but is where all of the children in the neighborhood walk down that street every day to go back and forth to school. If you are adding all of these homes, I think it is fair that you as a Commission understand that it does put in jeopardy the safety of our children. I feel like there has been a lot of pressure from the developer. There are certain people within the City have told us to support the development and get some things that would lessen the impact. From my perspective that isn't the only thing we should be considering here. I am genuinely concerned that because of the nature of where this sits, it really is a landlocked. It really is a landlocked piece of ground, and for us to put a bunch of units in a landlocked piece of property, and then to assume that these few streets are going to feed all of that traffic, based on traffic studies is ridiculous. The numbers may be there, but the reality is, we live there and we interact with these issues on a daily basis. If you lived there, you would understand why you have all of these people here tonight. I will let you know that I spent many hours researching these developments, and this is the largest development the Leisure Villas will have. If you look at their other developments this one has the worst access by far. I understand that this meets the City Codes, but we would not all be here if we weren't passionate that this is not the right development for this piece of ground. It may fit, and it may work, but I submit to you that it does not work well. If you approve this, I will guarantee that there will be issue in the future. I would like to ask you to slow this down and give it some serious thought about how this will impact everyone involved. I appreciate your willingness to consider this, but I would just ask you to be careful about what you are approving and how it will impact people for years, and years to come.

David Pratt, South Jordan – said I live north of 9800 S on the west side, and my wall is Bangerter Highway. I went when UDOT had their 10400 S Meeting, there were people at that meeting that lived on the domain west side when they had their home built about 3 years ago, and now they are being destroyed when they start the interchange on Bangerter. I guess my question is, has City Staff coordinating with UDOT, and does one hand know what the other hand is doing?

Brian Sorenson, South Jordan – I have a picture on my phone showing an accident that happened right in front of my house. I had some children and grandchildren just walking out to leave when this happened. This happened when there was only one car parked on the side of the road, if there would have been two cars parked on the road the chances of this happening would have been greater. If there is a car turned over on our street, the roads are too narrow for traffic. I have been a resident here for over 25 years; we work together as a community, and with the college. I know there were promises made, and things do change, but I would like to see some greenspace there, and I would also like to see that we do not have all of that traffic coming down our roads. I fear that this kind of stuff is not going to be a one- time occurrence, but will become a regular occurrence. I would like you to consider working with the community, the developer, and the college.

Curtis Peterson, South Jordan – said I live in this subdivision and one of the egresses is on the route where my house is. I personally approve of this concept. I feel that a retirement community can, and will be a good thing. There are a few considerations that I have. Collin Tanner originally had proposed an access egress onto, and parallel Bangerter. I would support, that as you exit Bangerter coming down and joining the egress from the college, and from the community, and propose going over to the interchange that will go under 9800 S. Another concern that I have is the density. This is a 40-acre piece of property and they are requesting RM-5 Zoning, which will give them the opportunity to have 200 dwellings. They are only proposing 168, which is a density of 4.2. I would propose that it be RM-4.0 with a maximum density of 160 units. He would lose two buildings to create that egress on to Bangerter, and to increase visitor parking. It is a retirement community and some of the driveways, particularly the ones off the cul-de-sac circle service eight houses. If someone comes to visit there is no visitor parking for them to park in. There needs to be a few places where visitor parking can pull off the road and park. I would like to propose smaller density to increase visitor parking, and increase the egress on to the Bangerter off ramp.

Shane Royce, South Jordan – said the gentleman that spoke before me mentioned the idea of punching 3400 West all the way through 9800 south. When we moved in that was already a dead end street and in talking to the neighbors, that was a very dangerous piece of road. It is a very straight road and there is a lot of excess speeding, so speeding is definitely an issue, especially that close to neighborhoods. I think the proposal of the northwest access that leads up to the college road is a much better proposal. I would also like to keep 3400 West a cul-de-sac, because it makes sense to have an access point that leads up to the hospital, but I don't want the road punched through on 3400 W.

LynDee Royce, South Jordan – said one problem that we have is that we live right on the West Jordan and South Jordan border. We have had some problems with speeding, but because we live on the edge of both cities, we have a hard time getting either city to respond. We have formed our own neighborhood watch and we have been very successful with it. That was brought about because we can't get the police agencies out from either area. That is another reason that if we open up 3400 west we will not have the police coverage on that road.

Jane Richardson, South Jordan – said I would like to reiterate the dangers of pushing the traffic through the neighborhoods. My home is on the corner where Iron Gate turns from a north-south street to an east-west street. We have had numerous occasions where people have run into our street trees because they haven't been able to make that 90-degree corner. If we increase this traffic as much as this development will, I am sure these accidents will happen much more frequently. I am asking you to please, look at the traffic situation.

Mel Boaily, South Jordan – said I am here to address a few of the traffic issues. I am a traffic engineer so I would like to share my perspective on that. There are a couple of issues on some of the traffic that has been done here on this project. The way the master plan has changed, and the way traffic moves through the area it is considered only by numbers. When we talk about 650 vehicles per day, that is one number, but it doesn't consider when the traffic from the SLCC is going to be rerouted through these neighborhoods. There is going to be a much more significant number. I think in the traffic study they need to consider the background traffic, and there needs to be some consideration on how the changes to the Community College property will affect the number that move through here as well. The original site plan for the Community College routed traffic around the access to these neighborhoods, protecting them from the Community College traffic, and that is not showing any of those numbers here in the traffic study. I would suggest a plan that connects to the northwest part of the sight, and to the southeast corner of the sight, and possibly realigning 3400 W. I recognize that there may be some impacts on the UDOT detention basin, but I still think that works. I think the traffic issue that has not been addressed is on 3200 W and Lady Dove Lane. That corner has a very short distance when your turn off of 3200 W. and make right turn on Lady Dove. There is not good visibility, because there are walls, and other structures that are in the way of visibility, and makes it is a very dangerous intersection. I would recommend as traffic professionals that you look at the traffic numbers again.

Linda Sue Conner, South Jordan – said I don't think you have done a complete study on this. Where is the visitor parking for all of these new homes? Have you thought about that? Let me show you what will happen. The visitors will come and they are going to drive down 3400 W, and they are going to park between the two street entrances, and they are all going to park on the east side of 3400 West. I urge you to relook at this layout.

Rosalee Ashby, South Jordan – said I have children that attends Elk Meadows Elementary, and a child that attends Elk Ridge Middle School, and 3400 west is a walking route to the middle school with a bus stop. Are we considering the safety of our children? There are all the children that are walking, but what about all of the children that are being picked up, and dropped off at the school? I personally am afraid to have my children out in the neighborhood playing with their friends if there is this much traffic going through. I don't believe it is in the best interest to be changing the zoning of the surrounding community.

Kristin Peterson, South Jordan – said we already have a problem with the SLCC, specifically the LDS Institute. We already have people that don't want to pay for parking, so what they do is they park right in front of our homes. My friend Nancy had to call the cops to get out of her driveway when it snowed last Sunday. I drive a little sedan and the way the cars were parked, I could barely get down to the cul-de-sac to turn around. If there had been an emergency, they would never have been able to get down that street.

Carlos Sousa- South Jordan – said one of the things we have been focusing on is traffic, and everyone here tonight is concerned about it. If we have another storm like we did a few weeks ago, the plows do not come by for days, and that creates a danger for people traveling down these streets. I think that putting in high density in this area will change the demographics in the entire area. I moved into this neighborhood to raise my family, and my children would have a yard so they would be safe. I am sure that anyone that buys a home has the same goal. As we are changing the demographics of the area, it will change the value of our homes, because people do not want to buy homes where there is

going to be danger for their children. There is not going to be enough room for emergency vehicles to get down the streets because they will not be able to turn around. I think to enter 9800 S on the northwest corner would be a better idea. These homes are going to be from \$450,000 to \$600,000 homes, and who is going to buy those homes? It will be people coming from California. They will have sold their homes in California, and they want to buy the ones here. We want the people who have their homes here, to stay here. I am in danger with my home down the road too. They will put another street between 3400 and 3200 and that will put my home right in the middle of that. If you were in our position and it was your house, what would you do?

Steve Allred, South Jordan – said I am probably the oldest resident in this neighborhood. I own a horse facility business in that area too. I have seen growth from the very start. I have kids on horses, and they also walk the horses, and if you don't have that road on the northwest corner, the college is going to put a road there, and they are going to go right down my property to 3400 West.

Shawn Winterbottom, South Jordan – said I have a few concerns with this since I do construction myself. In the near future, we have 9800 S and Bangerter that is going to be under construction, and that is going to be a large project. I am hoping that you will not have these two projects overlap. That is my concern.

Steven Gibson, South Jordan – said change is difficult for everybody, because we all look at the world that way we think it is supposed to be. We have reached a point where compromise is not a daily thing.

My way of looking at this is, you gave the citizens of the community very little time to add input on what the City had in mind for this project. I received a 10-day notice, and if it hadn't been for Chris Yates and several others, we wouldn't know what our options were, and what we had. My concern is that we take time, and not make an immediate decision, we come to an overall of what this property can be. It can be a little bit of everything for all of us, and still give us something we can have and want.

Greg Larsen, South Jordan – asked every to raise their hand that would like to see the road go up around to the community college (the majority raised their hands).

Paul Bateman, South Jordan – said I want to clarify something on that northwest access. I think most of the people would be ok with this development if the traffic issues were addressed. When this was originally proposed we talked about it being a gated entrance so the people in that development could use it, and the Community College would have access to that in case of an emergency.

Chris Yates, South Jordan – said I want it to be know that I am not a fan of that gate.

Chairman Woolley closed the Public Hearing.

Dan McKay (Applicant) – Introduced himself

David Erickson (Applicant) - said we took notes during the Public Hearing so we can answer them as consensually as we can. I think we will show our presentation and then answer questions after.

Presentation: (Attachment I)

Mr. Erickson said I would like to let you know a little bit about who we are. The majority of the comments tonight were primarily due to density, and traffic, more so traffic than density. The only thing I need to make sure everyone realizes is that Leisure Villas has built more senior communities than anyone in the valley. We have been in business for 20 years, and we are working on our 20th project. We have built over 1600 homes, and these are truly restricted communities to 55 and over. Unlike, most of the communities you have in South Jordan, these are restricted to 55 plus. We believe that our success is that we actually have listened to our buyers over the years, so we have tweaked our homes to what our folks are looking for. We are all going to be senior citizens eventually. We are creating communities inside communities. Any neighborhood we build there is going to be traffic. Our traffic comes at odd hours, because senior citizens don't need to be somewhere at 8:00 am in the morning, or at 5:00 in the afternoon. They actually try to avoid those hours of traffic. Our density is just over four per acre. However, we have less than half per home of a normal subdivision, so roughly we have about the same amount of people as a much less development. We have a traffic engineer here tonight that can speak to any of the traffic related questions. He can address any of the issues that have been raised. We haven't built a community in South Jordan yet, but we have built 2 communities right next to South Jordan on 9200 S and 2200 W. with almost 300 homes there. All of that traffic dumps off to 9200 south, which is shared with West Jordan and South Jordan, and to my knowledge, we have never had a single complaint about additional traffic. I know this is a legitimate concern I am not trying to say it isn't. I would suggest that you drive through there and see for yourself how much traffic they have. I really think it will surprise you how little there is. All of our homes have two car garages, with room for two cars in the driveway. The only time you are going to see people visiting there is on Sunday's or on Mother's Day. There is off street parking provided throughout the community. In our other communities, you rarely see cars parked on the road. There is a huge need for what we create. In South Jordan, you have had a doubling of seniors in your own community in the last five years, and it is going to continue to increase. What we are trying to create here is a nice place for people who already live in South Jordan.

Mr. Erickson said there was a question about how we can access Bangerter. I reconfirmed that when Governor Huntsman and his department was under UDOT, they told Salt Lake Community College under no circumstances will there be any access from any of this property on Bangerter Highway. That was made pretty clear from the state. There were some concerns about construction traffic that the state will be doing on 9800 S. and Bangerter Highway. I check with UDOT and 9800 S is currently not a funded project. They will not start construction until after the completion of 10400 S, and 12600 S. I asked UDOT to give me an estimated guess of when they would start construction, and they said possibly 2024, so we don't see an overlap of construction being an issue. That being said we know that construction traffic can be an issue, so we would like to work with the City to plan for construction traffic. I think that is something that we can work through with the City. There were a couple of comments about punching through 9000 S, and I think I answered that earlier. It is not impossible, but I think it would be hard. There is private ownership on that right of way and that makes it very difficult. There was also a thought that there should be an access through to 3400 West. We originally got involved in this process because we were looking at the Fairchild property, and developing there. What we found is that there is not a clean "For Sale" ability to punch through to 3200 W. from 3400 West without getting involved with West Jordan, and that is out of our control in South Jordan. I will say that I do think that it make sense, I just don't know how it happens, or what that time line looks like, but I do think it makes sense. There was a question about greenspace. We have a 5-acre detention pond and we have talked to the City about improvements through the detention pond and what can be done there. It is hard in Salt Lake County to find 5 acres. Where do you find 5 acres of property that is just open? My personal feeling is that it is just a waste if we do nothing with that detention pond, so we have

talked to City Staff and Leadership to see if there is a way to incorporate that detention pond, as long as the City is willing to maintain it long term. It is not going to be easy. It is going to require some work with UDOT to come up with a joint use agreement for that detention. We have addressed it a little bit, because they are going to take some drainage from the subdivision, so we have started to make some changes in the direction. There was a request to decrease density. The hard part about decreasing density is that at the end of the day you create more HOA space will need to be managed by the HOA, and increasing costs to the residents, I am not saying to “no” to this, it is just a conversation that we need to have.

Dan McKay (Applicant) – said we know our product and we know our buyer. We know what our buyers want, so that is why we provide usable open space. The last thing our buyers wants is a big field that they are never going to use and they have to pay to maintain. They are focusing more on lounging around the pool, watching a movie with their grandkids, or working out in the facility that we have. They don’t want a Frisbee field, or a soccer field. All of our stuff is designed around what our buyers are looking for.

Commissioner Haynes said there was a question about depreciation of their property values.

Mr. Erickson said in some ways you have the belief that there is going to be additional traffic that will hurt the values, and I know that is a concern for those that live on 3400 W. As I look at the values on Zillow most of the homes in this are a valued at what the mid-price will be for our homes. I don’t think there will be a depreciation issue.

Commissioner Jolley said the issue tonight is zoning, but to accommodate the residents we have been talking a lot about your proposed site plan, which will come up in another meeting for a preliminary site plan. We can revisit that if the zoning is changed by the City Council. Regarding your proposed site plan you have heard comments from the residents and we have some ideas of modifying accesses, most importantly the one at the north-west corner seems to be the predominate one. Are you open to making some minor site plan adjustments for your access points?

Mr. Erickson said I can see what was proposed around the detention basin, and that is not going to get through engineering. It will not meet the standards of the City.

Commissioner Morrissey said my question is for staff around the development agreement, if there is one. I would like to hear more about development agreement and where we are at with it.

Planner Drozdek said there is one. I know there was a question brought up earlier about the density, and the number of units. That is going to be addressed in the agreement. The concern was if we grant an R-5 Zone to the developer they can create the number of units, but that number will be in the agreement so they won’t be able to change that number.

Commissioner Morrissey said give me the terms that are in the agreement and what we are seeing with the site plan, because that is my concern in changing the zoning.

Planner Drozdek said the site plan and the layout is in the agreement, so for now this is the layout we are using. There is Architecture, Landscaping, Density and some of the sections to the code are in the agreement.

Commissioner Morrissey said was that included in your packet.

Planner Drozdek said I was instructed by the Planning Director to not put it in the packet.

Staff Attorney Todd Sheeran said that direction actually came from the Legal Department. The applicant is here tonight for a rezone, not to negotiate or discuss the site plan. The layout is going to be discussed at the site plan, and that will be decided by the City Council.

Commissioner Morrissey said I didn't bring up the development agreement, or the site plan to discuss the specifics of the site plan. It was all in conjunction with this land use change, because if we change the land use and there isn't specifics on how we use that land, I am concerned.

Commissioner Holbrook said I like what has been said. I don't think anyone is against your development, it's just that there is some tweaking that needs to be done and it sounds like you are willing to do that. One of my first questions was if you had met with the neighbors, and you said you had. The other question was about the open space and what you could do with it, and it sounds like you are working on that, and like you said, it is a little too early to know what it is going to be. I will have to disagree with you on the 55 and older do not drive. They are still working until age 66, because that is the retirement age now and a lot of people work past that, so to say that people 55 and over don't drive at peak hours is not the case at this time. Also, this doesn't follow our future land use map, because it said "public use", but like I said, people are not against your development, it is just some of the aspects of it. Tonight we are just considering the rezone, and in my opinion, your using this plan development floating zone, which I have never been a fan of, because it just surprises people (here is what we are putting here). I think your development is a good use, but in my opinion going to an R-5 Zone is a little bit much from an R-1.8

Commissioner Ellis said I have a problem with 3400 W. because it is already too narrow to be a collector street, and to add all of that high density housing on to that you would have to widen the street to make it safe. You would also have to treat all of these east-west streets as though they were going to become through streets, and they are not wide enough. Not everyone drives small cars some people drive large cars and park away from the curb. When one person parks on a street like that, it obstructs the flow of traffic and makes it unsafe, and as it was pointed out, it would be impossible for emergency vehicles to respond. There is a serious traffic problem here. One of the problems I have with this density is it doesn't quite follow the model in our strategic planning, and having denser housing in the center of the City, and when we get to the edge of the City we taper out to lower density homes, and larger lots. This might be ok, but it does create kind of a pocket of high density in an area surrounded by R-1.8, and A-5. It just seems odd. It may be the best use for that property, I don't know. I struggle with rezoning, because it creates the peninsula, or island. I found it interesting in the Public Comment period that only two people addressed density, which I kind of understand because they were concerned with the site plan, but the majority of the residents indicated in general they were ok with this type of development, which I think fits this type of area. The point is we are addressing the rezone tonight, and I don't think we have a lot of kickback on that.

Chairman Woolley said I am personally not opposed to the rezone. I think we have a lot of work to do between now and then to get an appropriate site plan that will work.

Commissioner Morrissey said what are the developers rights in the future on that piece of property if we approve this rezone. What are their rights under our City ordinances and codes?

Planner Drozdek said the next step would be to submit for a subdivision approval. There will be a Public Hearing with the Planning Commission.

Commissioner Morrissey said that Public Hearing would be for a site plan, so can their options for a site plan can change from this?

City Planner Schindler said it cannot change from whatever the development agreement says. We would need to follow that. Whatever the City Council approves in the development agreement it would be the responsibility of the Planning Commission to make sure they are meeting the development agreement.

Commissioner Holbrook said when I first read the staff report I was totally against it. The most density around it is R-3, and this is to R-5. I get that it is a senior facility. It fits well, and the people are not against the development itself. I am glad you are here tonight, because I wanted to see how many people would show up, and I wanted to hear what they had to say. I am impressed that you are all so involved, so I wanted to thank you for that. I just can see going from R-3 to R-5 on the zoning. I understand you are a great developer, but it will be City Council that will decide this.

D.2 Potential Action Item – (See VII.D.1)

Commissioner Jolley motioned to send a positive recommendation to City Council to adopt: Resolution R2019-16 Approving the Land Use Amendment, from Public Use to Medium Density. Chairman Woolley seconded the motion; Roll Call Vote was 3-2 in favor. Commissioner Holbrook and Commissioner Ellis Voted No.

Commissioner Jolley motioned to send a positive recommendation to City Council to adopt: Ordinance No. 2019-02-Z approving the zone change from A-5 Agricultural to a RM-5 with a PD Zone, and Overlay Zone. I also recommend to the City Council that in developing the Development Agreement that they restrict the density to the proposed density (4.2 units per acre.) Also that the City Council and Staff have the appropriate road width on 3400 W to accommodate the proposed traffic that will be increased. Commissioner Morrissey seconded the motion; Roll Call Vote was 3-2 in favor; Commissioner Holbrook and Commissioner Ellis Vote No.

**E.1 Issue: TEXT AMENDMENT
PROPOSAL TO REDUCE ROOF PITCH FOR ACCESSORY
BUILDINGS.**

**File No: PLZTA201900054
Applicant: City of South Jordan**

City Planner Greg Schindler reviewed background information on this item from the staff report.

Chairman Woolley said with a change like that, do you see any unforeseen challenges that we are not thinking about?

Planner Schindler said I cannot think of any.

Commissioner Haynes said is South Jordan Unique to this pitch requirement.

Planner Schindler said I don't know if it is completely unique or not. I know that West Jordan does not have a pitch requirement. They have setbacks, but they are very different than the setbacks we have in South Jordan.

Chairman Woolley opened the Public Hearing.

Douglas Kennedy, South Jordan – said I walked down my street and took some pictures of other accessory building in my neighborhood to show that what I am requesting already exists.

Chairman Woolley closed the Public Hearing.

Commissioner Jolley said by reducing this minimum you are saying they could build one with a 1/12 pitch, but we could also have one that is steeper.

Planner Schindler said yes that is correct there is no limit on the high end.

E.2 Potential Action Item – (See VII.E.1)

Commissioner Ellis recommend to the City Council that it approve Ordinance No. 2019-06. Commissioner Holbrook seconded the motion; Roll Call Vote was 5-0 unanimous in favor.

VIII. OTHER BUSINESS

Chairman Woolley said we are going to have a work session at the next Planning Commission Meeting on Tuesday March 12, 2019 at 5:45 p.m.in, the Oak Conference Room and dinner will be provided. We will not be discussing the packet it will be strictly about issues with Rocky Mountain Power and what your roll is as the Planning Commission.

ADJOURNMENT

Commissioner Holbrook motioned to adjourn the February 26, 2019 Planning Commission meeting. Commissioner Ellis seconded the motion. Vote was unanimous in favor.

The February 26, 2019 Planning Commission Meeting adjourned at 9:30 p.m.

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 03-12-2019

Issue: DAYBREAK OQUIRRH LAKE PLAT AMENDED
SUBDIVISION AMENDMENT

Address: Approx. 10521 S. Lake Avenue

Project No: PLPLA201900074

Applicant: Daybreak Communities

Submitted By: Greg Schindler, City Planner
Chris Clinger, Senior Engineer

Staff Recommendation (Motion Ready): Approve Project No. PLPLA201900074 subject to the following:

1. That all South Jordan City requirements are met prior to recording the subdivision amendment.

BACKGROUND

ACREAGE	13.945 Acres
CURRENT LU DESIGNATION	Large Scale Master Planned Community
CURRENT ZONING	PC
CURRENT USE	Landscaping, trails, etc.
NEIGHBORING LU DESIGNATIONS, (ZONING)/USES	North- Large Scale Master Planned Community (P-C)/ Vacant South - Large Scale Master Planned Community (P-C)/Various types of residential development East - Large Scale Master Planned Community (P-C)/Townhomes West - Large Scale Master Planned Community (P-C)/Park-Open Space

Daybreak Communities has filed an application for review of an amendment to the Daybreak Oquirrh Lake Plat, originally recorded in February of 2013. The purpose of the proposed amendment is to divide lots O-101, O-102 and O-103 of the original plat into 4 civic/commercial lots (C-lots), one park lot (P-lot), and leaving smaller remainders of the original lots O-101 through O-103.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- The proposed amendment is consistent with the PC zone and Kennecott Master Subdivision requirements.

- All State and Local codes and review requirements have been followed.

Conclusions:

- The proposed amended subdivision remains consistent with both the Community Structure Plan and Daybreak Development Plan.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and approve the subdivision amendment subject to the requirement listed, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

FISCAL IMPACT:

- Minimal.

ALTERNATIVES:

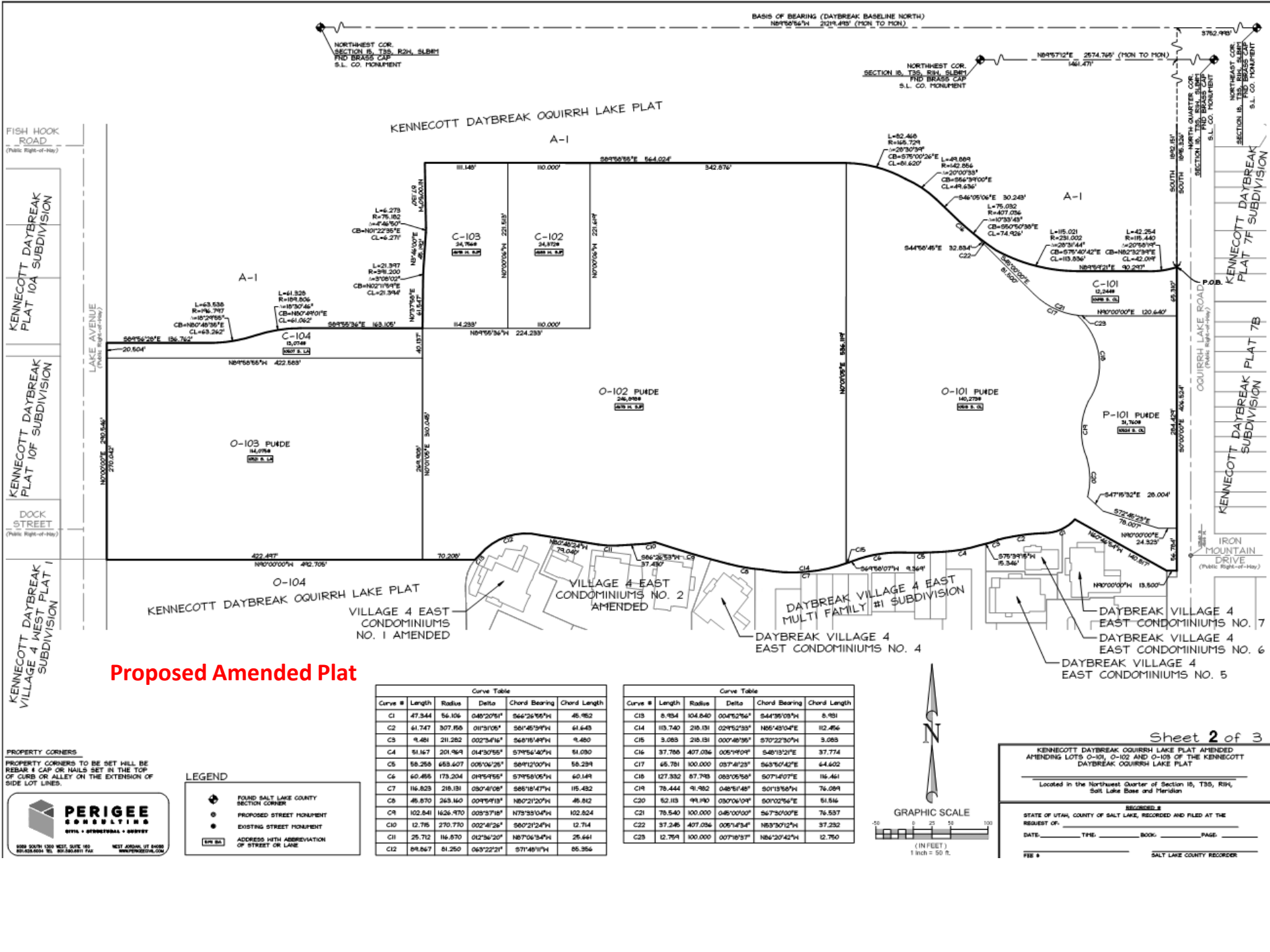
- Approve the subdivision amendment.
- Deny the subdivision amendment.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Aerial Map
- Proposed Amended Plat
- Original Subdivision Plat



Location Map



Proposed Amended Plat

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C1	47.544	54.106	049°20'51"	S66°23'55"W	45.952
C2	61.747	307.958	01°31'05"	S81°45'59"W	61.643
C3	9.481	211.282	002°34'16"	S69°18'49"W	9.480
C4	61.167	201.964	04°30'55"	S79°56'40"W	61.080
C5	58.258	653.607	005°04'26"	S89°12'00"W	58.239
C6	60.486	173.204	01°54'55"	S79°58'05"W	60.149
C7	116.823	218.131	03°04'08"	S85°18'47"W	115.432
C8	46.870	263.160	00°54'18"	N80°21'20"W	46.812
C9	102.841	1636.970	00°54'18"	N79°33'04"W	102.824
C10	12.716	270.770	002°41'26"	S80°21'34"W	12.714
C11	26.712	116.870	012°36'20"	N87°06'34"W	26.661
C12	89.867	81.250	063°22'21"	S71°49'11"W	85.356

Curve Table					
Curve #	Length	Radius	Delta	Chord Bearing	Chord Length
C13	8.934	104.640	004°15'56"	S44°35'03"W	8.931
C14	113.740	215.131	02°45'23"	N85°43'04"E	112.456
C15	3.083	215.131	007°48'59"	S70°22'30"W	3.083
C16	37.768	407.036	005°44'09"	S48°13'21"E	37.774
C17	65.781	100.000	037°41'23"	S63°10'42"E	64.602
C18	127.332	87.793	033°05'58"	S07°14'07"E	116.461
C19	78.444	91.982	048°51'48"	S01°13'56"W	76.089
C20	62.113	99.190	030°06'09"	S07°02'56"E	61.516
C21	78.540	100.000	048°00'00"	S67°30'00"E	76.537
C22	37.346	407.036	005°44'34"	N83°30'12"W	37.232
C23	12.764	100.000	007°16'57"	N86°20'42"W	12.750

Sheet 2 of 3

KENNECOTT DAYBREAK OQUIRRH LAKE PLAT AMENDED
AMENDING LOTS O-101, O-102 AND O-103 OF THE KENNECOTT
DAYBREAK OQUIRRH LAKE PLAT

Located in the Northwest Quarter of Section 15, T35, R14,
Salt Lake Base and Meridian

RECORDED # _____
STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
REQUEST OF: _____
DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
FILE # _____ SALT LAKE COUNTY RECORDER

PROPERTY CORNERS
PROPERTY CORNERS TO BE SET WILL BE
REBAR 1 CAP OR NAILS SET IN THE TOP
OF CURB OR ALLEY ON THE EXTENSION OF
SIDE LOT LINES.

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE

PERIGEE CONSULTING
CITY • SUBURBAN • RURAL

200 SOUTH 1200 WEST, SUITE 101 WEST JORDAN, UT 84086
801-468-0004 801-468-0011 FAX 801-468-0012 WWW.PERIGEECONSULTING.COM

Oquirrh Lake Road

T DAYBREAK PLAT 07

South Jordan Parkway

Proposed Subdivision
Amendment Area

Lake Avenue

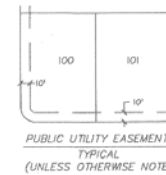
Original Plat

LEGEND

- FOUND SALT LAKE COUNTY SECTION CORNER
- PROPOSED STREET MONUMENT
- EXISTING STREET MONUMENT
- ADDRESS WITH ABBREVIATION OF STREET OR LANE

NOTE:

PROPERTY IS SUBJECT TO BLANKET SEWER CONNECTION EASEMENTS RECORDED AS ENTRY-1111422 AND ENTRY-1110273 OF OFFICIAL RECORDS.



KENNECOTT DAYBREAK OQUIRRH LAKE PLAT

Located in Sections 13 and 24 T.35S., R.24E., Salt Lake Base and Meridian, and Sections 13 and 14 T.35S., R.34E., Salt Lake Base and Meridian.

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF: **PERIGEE CONSULTING**
DATE: **12/15/2021** TIME: **10:00AM** BOOK: **2021** PAGE: **2**

SEE SHEET 4 OF 7

SEE SHEET 3 OF 7

Sheet 2 of 7

PROPERTY CORNERS:
PROPERTY CORNERS TO BE SET WILL BE REBAR 4 CAP OR NAILS SET IN THE TOP OF CURB OR ALLEY ON THE EXTENSION OF SIDE LOT LINES.



2021 SOUTH JORDAN PLAT 09, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 3/12/2019

Application: 106 EXCHANGE II - SITE PLAN

Address: 489 West South Jordan Parkway

File No: PLSR201801175

Applicant: Greg Goffin, Thrive Development

Submitted By: Brad Sanderson, Planner III

Jared Francis, Senior Engineer

Staff Recommendation (Motion Ready): Approve the 106 Exchange II site plan, file number PLSR201801175, with the following requirement(s):

1. The necessary waterline easement(s) shall be recorded prior to any construction.
2. The Applicant shall provide 'will serve' letters and/or other final approvals from utility entities prior to construction.

STANDARD OF REVIEW:

All proposed developments and alterations to existing developments shall meet the site plan review requirements outlined in City Code § 16.24 and the requirements of the individual zone in which a development is proposed. All provisions of Titles 16 & 17 of the City Code, and other City requirements, shall be met in preparing site plan applications and in designing and constructing the development. The Planning Commission shall receive public comment regarding the site plan and shall approve, approve with conditions or deny the site plan.

BACKGROUND

The property is 2.6 acres in size and is part of a 24.5 acre Master Development Plan (MDP), within the Mixed-Use TOD Zone. The MDP lists general 'uses' and establishes minimum building heights on certain properties within the project area. This particular site is required to have a minimum four story building, and allows for office, or vertical mixed uses.

Proposal:

Greg Goffin, with Thrive Development, is proposing to construct a 75,000 square foot, four-story, office building on property generally located at 489 West South Jordan Parkway. The development will have 251 of the required 250 parking stalls, 62 of which will be completely enclosed as they will be located within a parking garage, located below the main level of the building.

Unique to the TOD Zone:

Although the building is oriented towards South Jordan Parkway, the building itself will be setback approximately 30 feet from the edge of sidewalk due to existing public utility easements, which is being established as the 'build-to' line or setback. The parking lot will be located behind and to the side of the building and screened from public view, thus creating somewhat of an urban street edge

along South Jordan Parkway. Additionally, there will be multiple sidewalks between the building and street right of way, as well as throughout the parking lot for enhanced pedestrian accessibility.

The MU-TOD Zone also requires a Design Guideline Book as part of the development of the property. When the TOD Zone and MDP were established on the property in April 2012, the developer was only ready to develop the townhomes portion of the project which have since been built. As part of this proposal the current Applicant will be amending the Design Guideline Book by further adding their elevations, materials, and site layout to the original Design Guideline Book.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- City Staff is requiring all easement to be recorded prior to commencing work on the site.
- The site has some significant topography change across the property, causing the Applicant to incorporate retaining walls and landscaped berms within the site.
- The City's Architecture Review Committee reviewed the proposal in accordance with the MU-TOD Zone and have forwarded their positive recommendation to the Planning Commission.

Conclusion:

Based on the findings listed above, Staff concludes that, per the requirements listed above;

- Based on the application, materials submitted by Applicant, Staff's review of the application, and the findings listed above, Staff concludes that the proposal meets all of the provisions of Titles 16 & 17 of the City Code.

Recommendation:

- Based on the Findings and Conclusion listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** File No. **PLSPR201801175**, unless, during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

ALTERNATIVES:

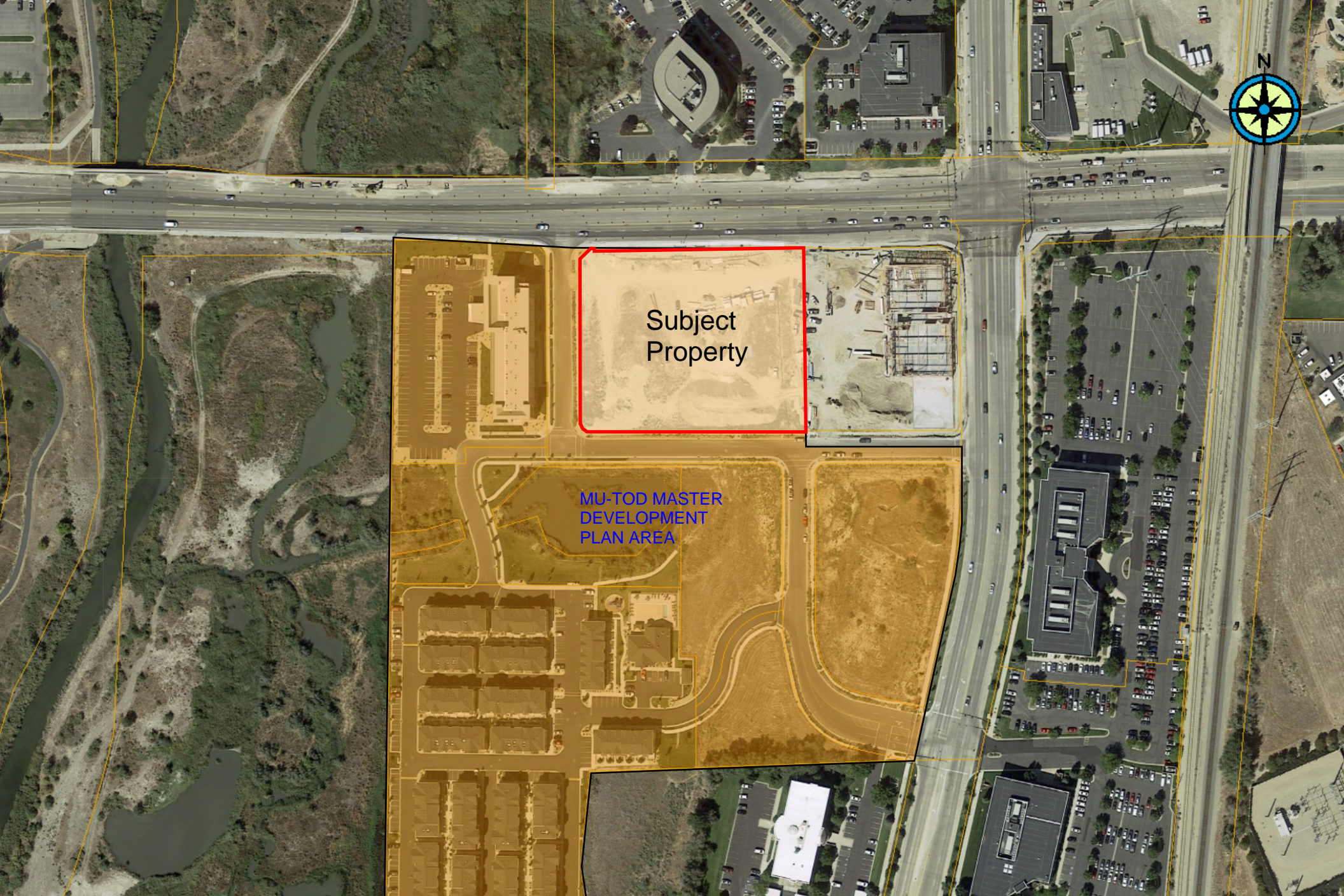
- Deny the application.
- Propose modification(s) to the application.
- Schedule the application for a decision at some future date.

SUPPORT MATERIALS:

- Location Map
- Civil Plans
- Elevations
- Design Guideline Book (proposed amendment)

City Engineer Approval:





Subject
Property

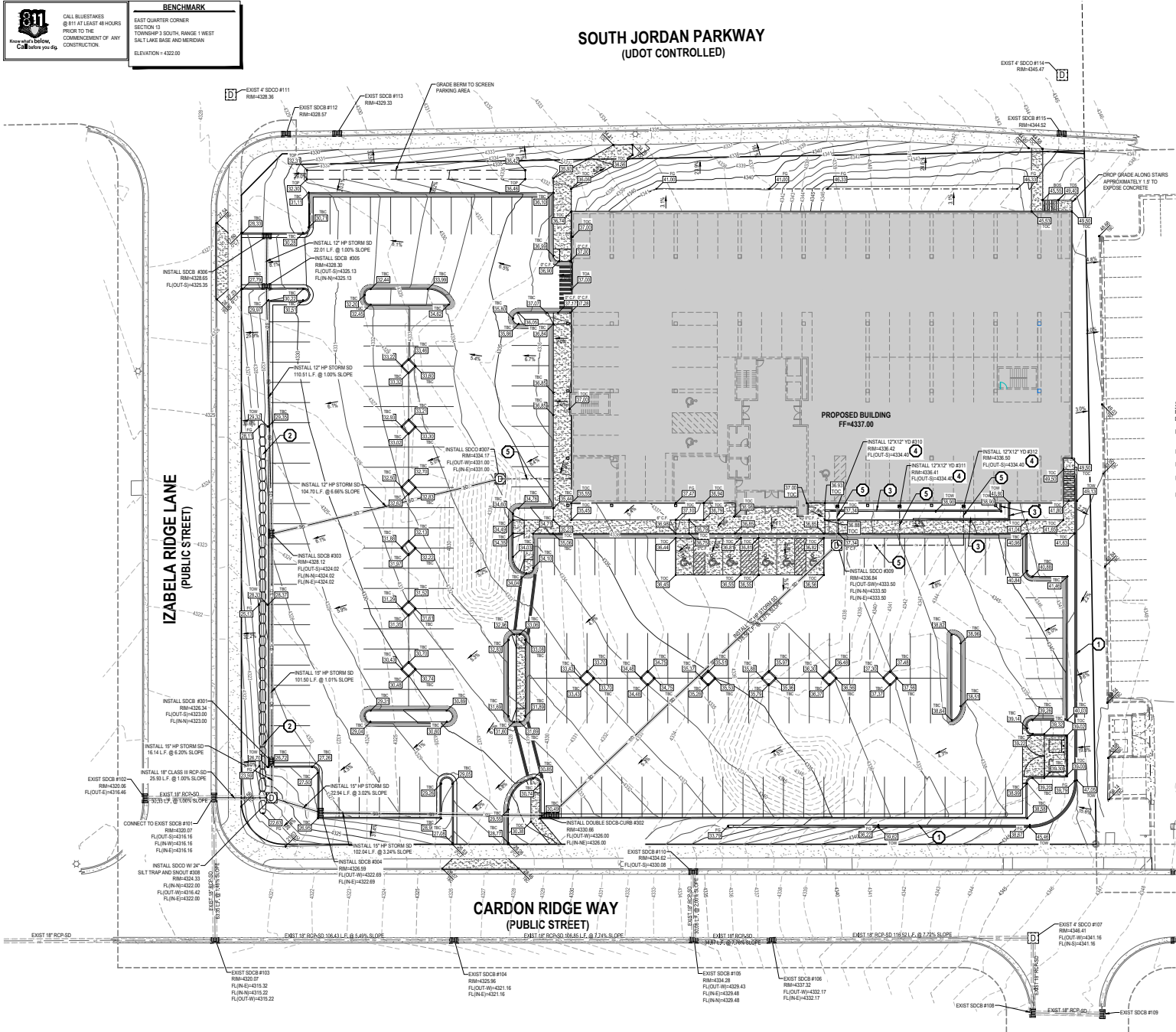
MU-TOD MASTER
DEVELOPMENT
PLAN AREA

CALL BLUESTAKES
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER
SECTION 10
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN

ELEVATION = 4322.00



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THE STANDARD IN ENGINEERING

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LAYTON
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TOOELE
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CEDAR CITY
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RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
THREE DEVELOPMENT LLC
651 WEST GALENA PARK BLVD, SUITE 102
DRAPER, UTAH 84020
OWNER:
CHAS JOHNSON
PHONE: 801.496.3028

106 EXCHANGE II


489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH

GRADING AND DRAINAGE PLAN

PROJECT NUMBER	PROJECT DATE
106 EXCHANGE II	2-26-19

DRAWN BY: W. BUDGE
CHECKED BY: S. NORRIS
PROJECT NUMBER: 106 EXCHANGE II

C-200



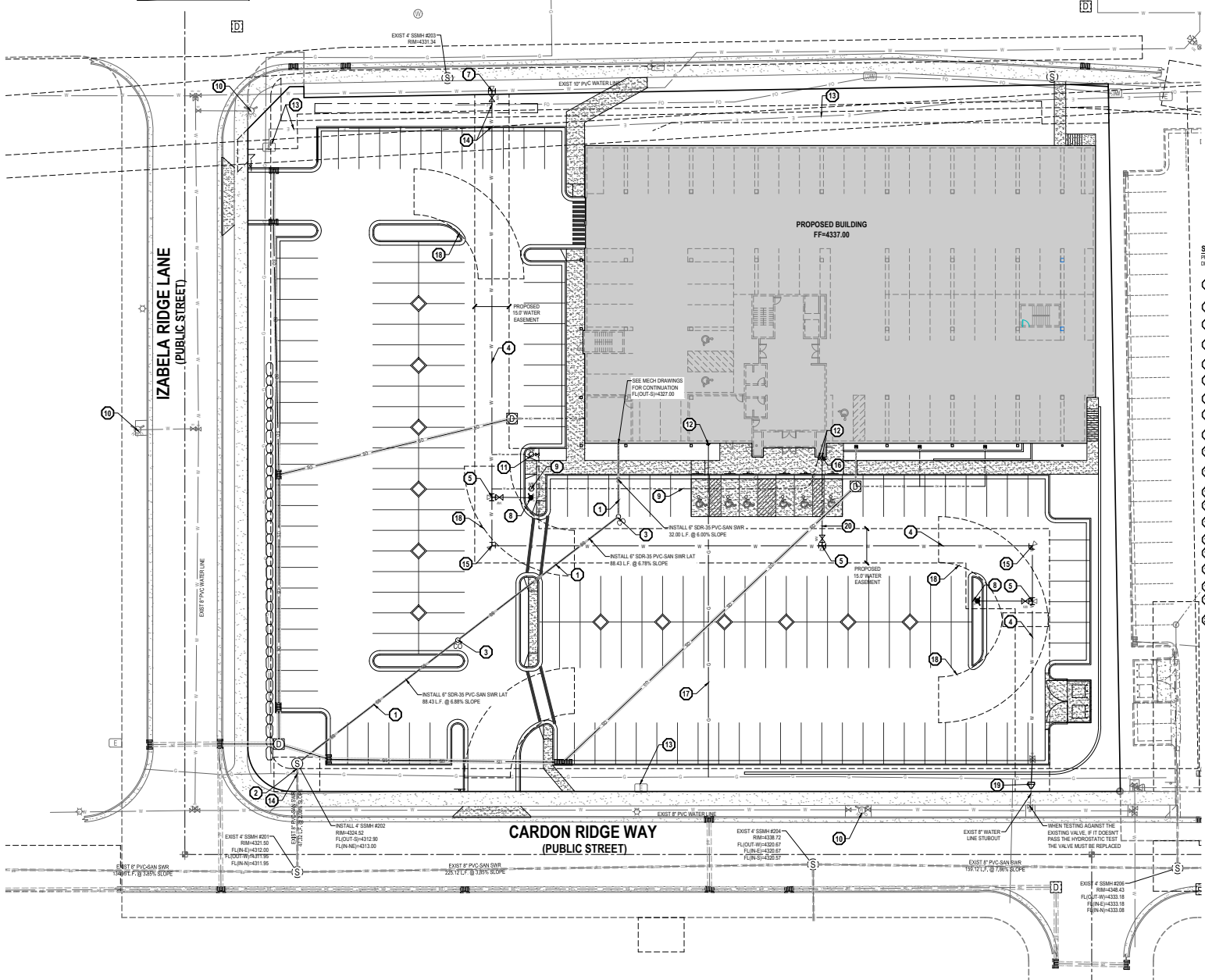
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CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER
SECTION 10
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN

ELEVATION = 4322.00

SOUTH JORDAN PARKWAY
(UDOT CONTROLLED)



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH SOUTH JORDAN CITY'S STANDARDS AND SPECIFICATIONS.
 2. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORDED INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION IN THEIR WORK SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT. THE CONTRACTOR IS TO VERIFY ALL CONNECTION POINTS WITH THE EXISTING UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO THE EXISTING UTILITIES AND UTILITY STRUCTURES THAT ARE TO REMAIN. IF CONFLICTS WITH EXISTING UTILITIES OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD FIELD ADJUSTMENTS SHOULD BE MADE.
 3. ALL SANITARY SEWER INFRASTRUCTURE TO BE INSTALLED PER SOUTH VALLEY SEWER DISTRICT STANDARD PLANS AND SPECIFICATIONS.
 4. ALL WATER INFRASTRUCTURE TO BE INSTALLED PER SOUTH JORDAN CITY STANDARD PLANS AND SPECIFICATIONS.
 5. DEFLECT OR LOOP ALL WATERLINES TO AVOID CONFLICTS WITH OTHER UTILITIES PER GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 6. PROJECT SHALL COMPLY WITH ALL UTILITY DIVISION OF SERRAVALLO WATER RULES AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, THOSE PERTAINING TO BACKFLOW PROTECTION AND CROSS CONNECTION PREVENTION.
 7. THE CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL/PLUMBING PLANS.
 8. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING UTILITY STRUCTURES OR PIPES.
 9. THE CONTRACTOR SHALL ADJUST TO GRADE ALL EXISTING UTILITIES AS NEEDED PER LOCAL GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 10. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

- SCOPE OF WORK:**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. 8" SDR 35 PVC SANITARY SEWER LATERAL, INCLUDING CLEANOUTS AT MAXIMUM 100-FOOT SPACING, INSTALLATION AND TRENCHING PER SOUTH VALLEY SEWER STANDARDS AND SPECIFICATIONS. LENGTH AND SLOPE PER PLAN.
 2. CONNECT TO EXISTING SANITARY SEWER LATERAL. CONTRACTOR TO FIELD LOCATE AND NOTIFY ENGINEER IF DISCREPANCIES EXIST.
 3. SANITARY SEWER CLEANOUT PER SOUTH VALLEY SEWER STANDARDS AND SPECIFICATIONS.
 4. 16" C-800 PVC WATERLINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER SOUTH JORDAN CITY STANDARD DRAWING 3010 ON SHEET C-801.
 5. INSTALL 10" X 8" TEE WITH THRUST BLOCK AND 8" G.V.
 6. CONNECT TO EXISTING WATER LINE STUB. CONTRACTOR TO FIELD LOCATE AND NOTIFY ENGINEER IF DISCREPANCIES EXIST.
 7. CONNECT TO EXISTING WATER LINE WITH 10" X 10" TEE AND THRUST BLOCK AND (1) 10" GATE VALVE.
 8. FIRE HYDRANT ASSEMBLY COMPLETE SOUTH JORDAN CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND STANDARD DRAWING 3008 ON SHEET C-801.
 9. 2" CULINARY WATER METER AND 2" CTS POLY CULINARY SERVICE LATERAL PER SOUTH JORDAN CITY STANDARD DRAWING 3081 ON SHEET C-801.
 10. EXISTING FIRE HYDRANT. CONTRACTOR TO PROTECT IN PLACE. *incorrect reference, change this to 3091*
 11. INSTALL 1-1/2" METER AND 1-1/2" LATERAL PER SOUTH JORDAN CITY STANDARD DRAWING 3070 ON SHEET C-801. POINT OF CONNECTION FOR IRRIGATION CONTRACTOR. INSTALL BACKFLOW PREVENTION DEVICE SEE SHEET 1-000 FOR CONTINUATION.
 12. SEE MECHANICAL PLANS FOR CONTINUATION.
 13. EXISTING ELECTRICAL INFRASTRUCTURE. CONTRACTOR TO VERIFY IN FIELD AND PREVENT IN PLACE.
 14. POSSIBLE VERTICAL UTILITY CONFLICT. CONTRACTOR TO LOOP WATERLINE AND PROVIDE 18" VERTICAL SEPARATION PER SOUTH JORDAN CITY CONSTRUCTION STANDARDS AND SPECIFICATIONS.
 15. 16" BEND WITH THRUST BLOCK.
 16. FIRE DEPARTMENT CONNECTION.
 17. PROPOSED GAS LINE. COORDINATE WITH DOMINION ENERGY FOR EXACT LOCATION AND INSTALLATION REQUIREMENTS.
 18. FIRE TRUCK TURNING TEMPLATE, 20' WIDE WITH 28" INSIDE RADIUS.
 19. CUT BACK EXISTING WATER LINE & INSTALL 8" X 10" REDUCER.
 20. 8" C-800 PVC WATERLINE, INCLUDING ALL THRUST BLOCKING AND FITTINGS, PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS. INSTALLATION AND TRENCHING PER SOUTH JORDAN CITY STANDARD DRAWING 3010 ON SHEET C-801.

SOUTH VALLEY SEWER DISTRICT NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH SOUTH VALLEY SEWER DISTRICT'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING ANY NEW SEWER LINES.
3. FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES.

FIRE FLOW CALCULATIONS

TOTAL BUILDING GROSS AREA	19,442 SQ. FT.
BUILDING CONSTRUCTION TYPE	V.A.
FIRE FLOW REDUCTION DUE TO FIRE SPRINKLERS	50%
CALCULATED FIRE FLOW FROM INTERNATIONAL FIRE CODE	2,875 GPM



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SALT LAKE CITY
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LAYTON
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TOOELE
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CEDAR CITY
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RICHFIELD
Phone: 435.896.2983

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4342
THREE DEVELOPMENT LLC
651 WEST GALENA PARK BLVD., SUITE 102
WINTER, UTAH 84093
OWNER:
CHAS JOHNSON
PHONE: 801.496.3025

106 EXCHANGE II

489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH



UTILITY PLAN

PROJECT NUMBER: 22079
DATE: 7-26-19
DRAWN BY: N. BUDGE
CHECKED BY: S. MORRIS
PROJECT NUMBER: 6. MORRIS

C-300

811

Before

Call before you dig

CALL BLUESTAKES

@ 811 AT LEAST 48 HOURS

PRIOR TO THE

COMMENCEMENT OF ANY

CONSTRUCTION.

BENCHMARK

EAST QUARTER CORNER

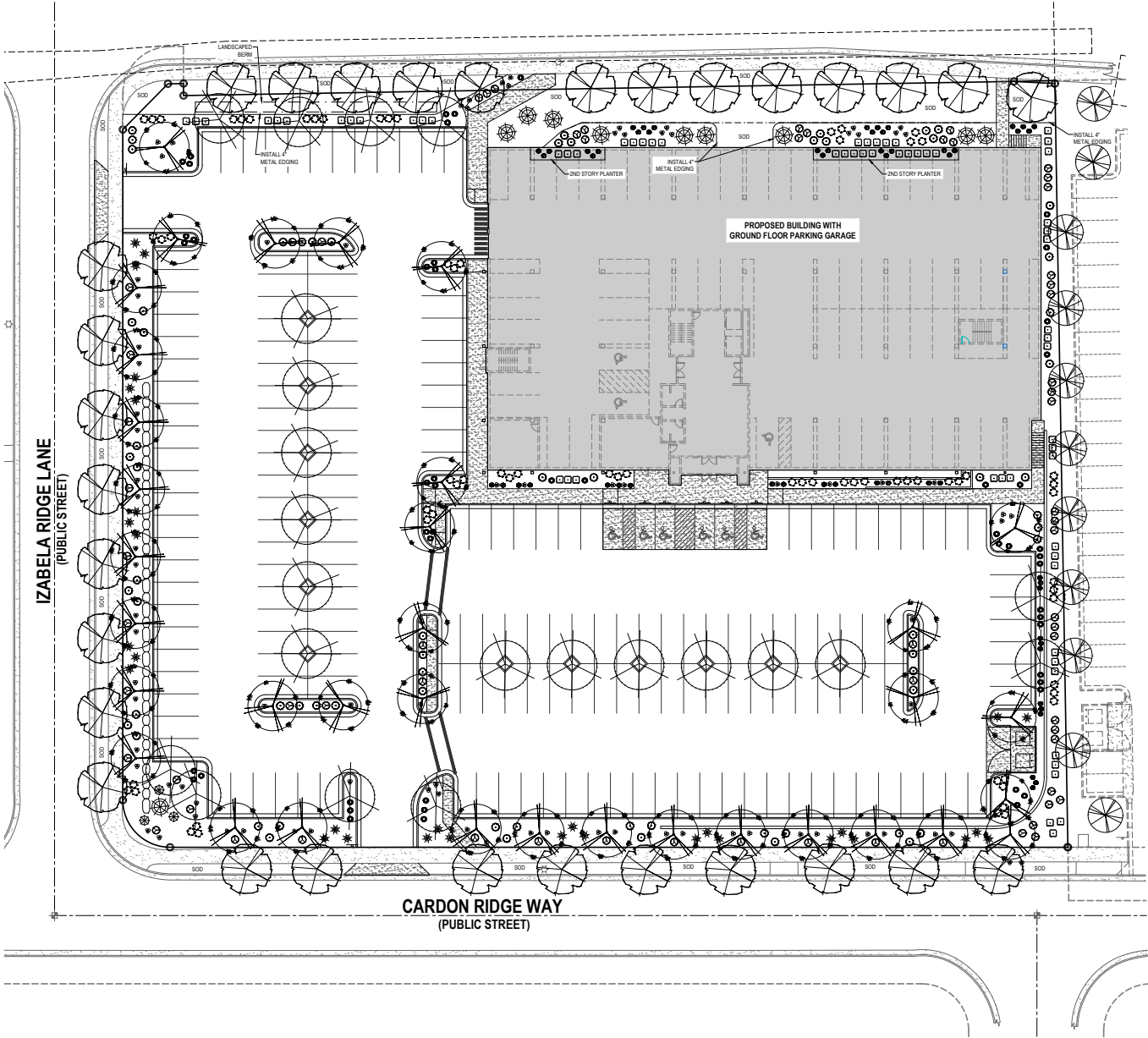
SECTION 10

TOWNSHIP 3 SOUTH, RANGE 1 WEST

SALT LAKE BASE AND MERIDIAN

ELEVATION = 4222.00

SOUTH JORDAN PARKWAY
(UDOT CONTROLLED)



Trees					
Qty	Symbol	Common Name	Botanical Name	Plant Size	Mature Width
3		Dwarf Alberta Spruce	Picea glauca 'Conica'	7' Min.	5'
10		Hoopla Spruce	Picea pungens glauca 'Hoopla'	7' Min.	6'
22		Redbud, Eastern	Cercis canadensis	2" Cal.	35'
35		Green Ash	Fraxinus pennsylvanica var. lanceolata 'Palmore'	2" Cal.	35'
11		Off-site Trees	N/A	N/A	N/A
30		Maple, Norway	Acer platanoides 'Emerald Queen'	2" Cal.	40'

Shrubs				
Qty	Symbol	Common Name	Botanical Name	Plant Size
69		Spiraea, 'Gold Flame'	Spiraea bumalda	5 Gallon
66		Barberry, 'Crimson Pygmy'	Barberis thunbergii atropurpurea nana	5 Gallon
65		Daphne	Daphne odora	5 Gallon
65		Boxwood, Littleleaf	Buxus microphylla	5 Gallon
32		Pine, Mugo	Pinus mugo 'Compacta'	5 Gallon
57		Fountain Grass	Pennisetum setaceum	1 Gallon
54		Blue Oat Grass	Helictotrichon sempervirens	1 Gallon

Annuals-Perennials				
Qty	Symbol	Common Name	Botanical Name	Plant Size
91		Daisy, Alma Potschke Michaelmas	Aster novae-angliae 'Alma Potschke'	1 Gallon

LANDSCAPE NOTES: ALL PLANTER BED AREAS ARE TO BE INSTALLED WITH 4" DEEP 2"-2" DIA. NEPHI ROCK & GRAVEL COLOR 'SOUTHTOWN' OR EQUIV.
DECORATIVE ROCK OVER WEED BARRIER.

LANDSCAPE CALCULATIONS:
TOTAL LANDSCAPE AREA = 2,857 SQ. FT.
TREES REQUIRED = # 100 - 41 TREES
ON-SITE TREES PROVIDED (INCLUDING PARKING LOT TREES) = 64 TREES
PERCENTAGE EVERGREEN = 10 / 94 = 10% EVERGREEN

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45 W. 10000 S., Suite 500

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CEDAR CITY

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FOR:

THREE DEVELOPMENT, LLC

651 WEST GALENA PARK BLVD, SUITE 102

DRAPER, UTAH 84020

OWNER:

CHAS JOHNSON

PHONE:

801.496.3035

106 EXCHANGE II

489 WEST SOUTH JORDAN PARKWAY

SOUTH JORDAN, UTAH

STATE OF UTAH

KEN G. BOWERS

LANDSCAPE ARCHITECT

106161-0001

LANDSCAPE PLAN

PROJECT NUMBER: 1005

DATE: 2/20/19

DRAWN BY: W. BUDGE

CHECKED BY: S. MORRIS

PROJECT MANAGER: S. MORRIS

L-100

Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"x36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	18105
Client	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM





Rev#	Date	Description

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Job #	18105
Client	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM



RAW DESIGN STUDIO
517 SOUTH 200 WEST
SALT LAKE CITY, UT 84101
(801) 215-9729
info@rawdesignstudio.com
www.rawdesignstudio.com



106 X 2
THRIVE DEVELOPMENT
489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
PLANNING COMMISSION SUBMITTAL

Rev#	Date	Description

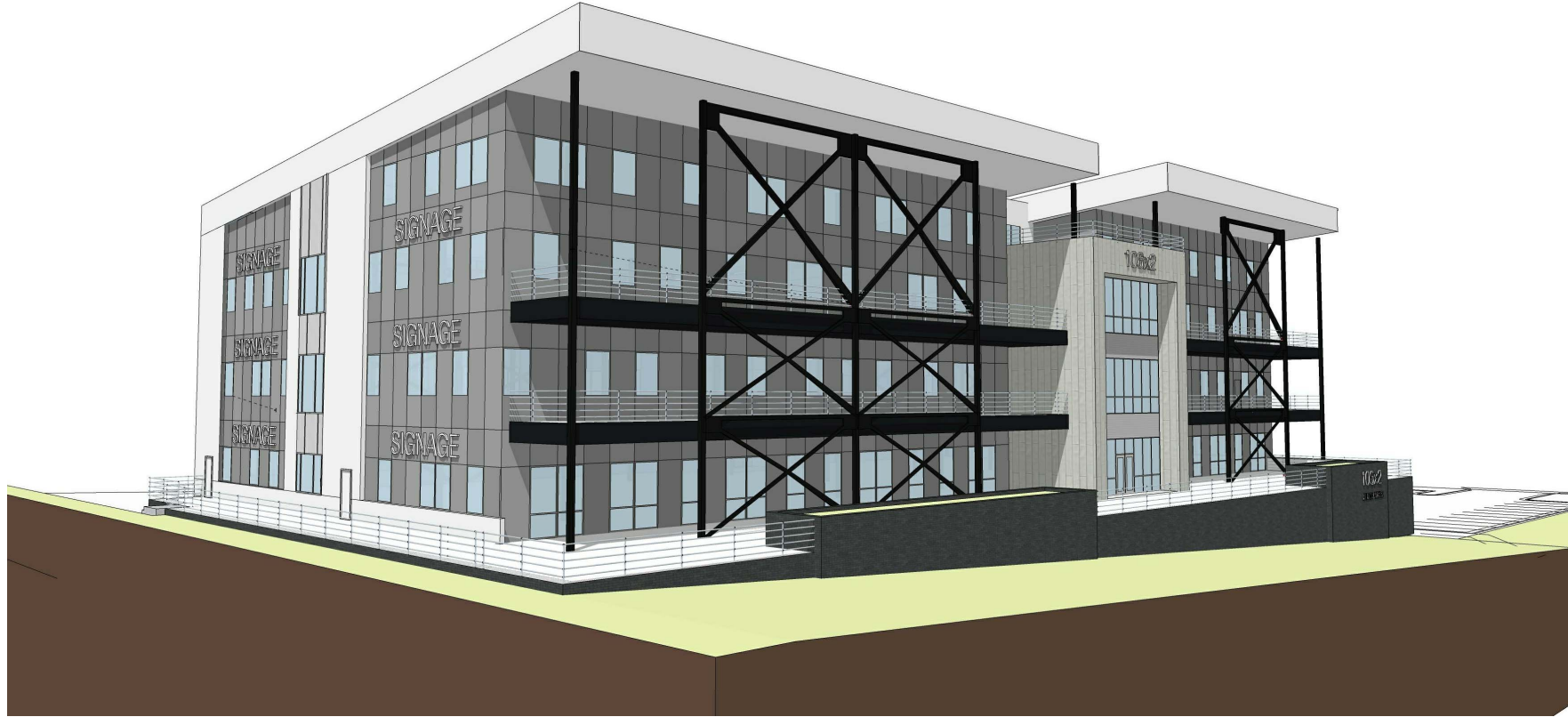
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Job #	18105
Client	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM

SOUTH EAST VIEW

P903

2/4/2019 11:46:05 AM



Rev#	Date	Description

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Job #	18105
Owner	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM



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Job #	18105
Owner	THRIVE
Date	12/21/2018
Drawn	Author
Checked	Checker

3D VIEW

P905

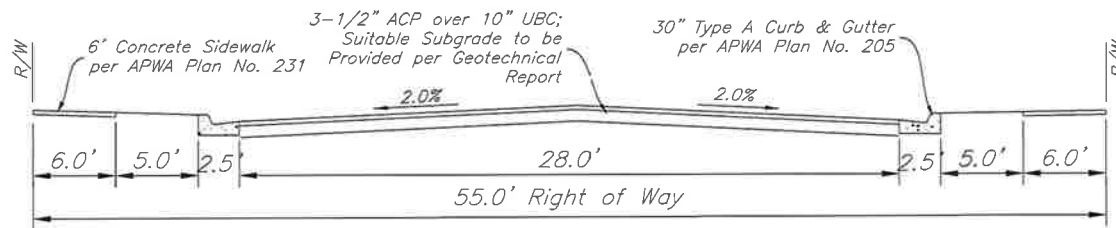
South Ridge Gateway GUIDEBOOK

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PHASE I

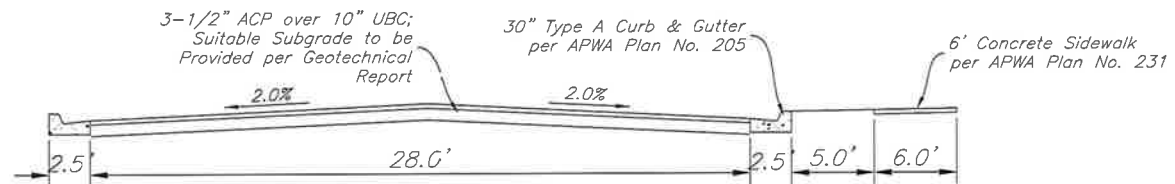
South Ridge Gateway Townhome Style
Apartments



55' Street Section

(Public)

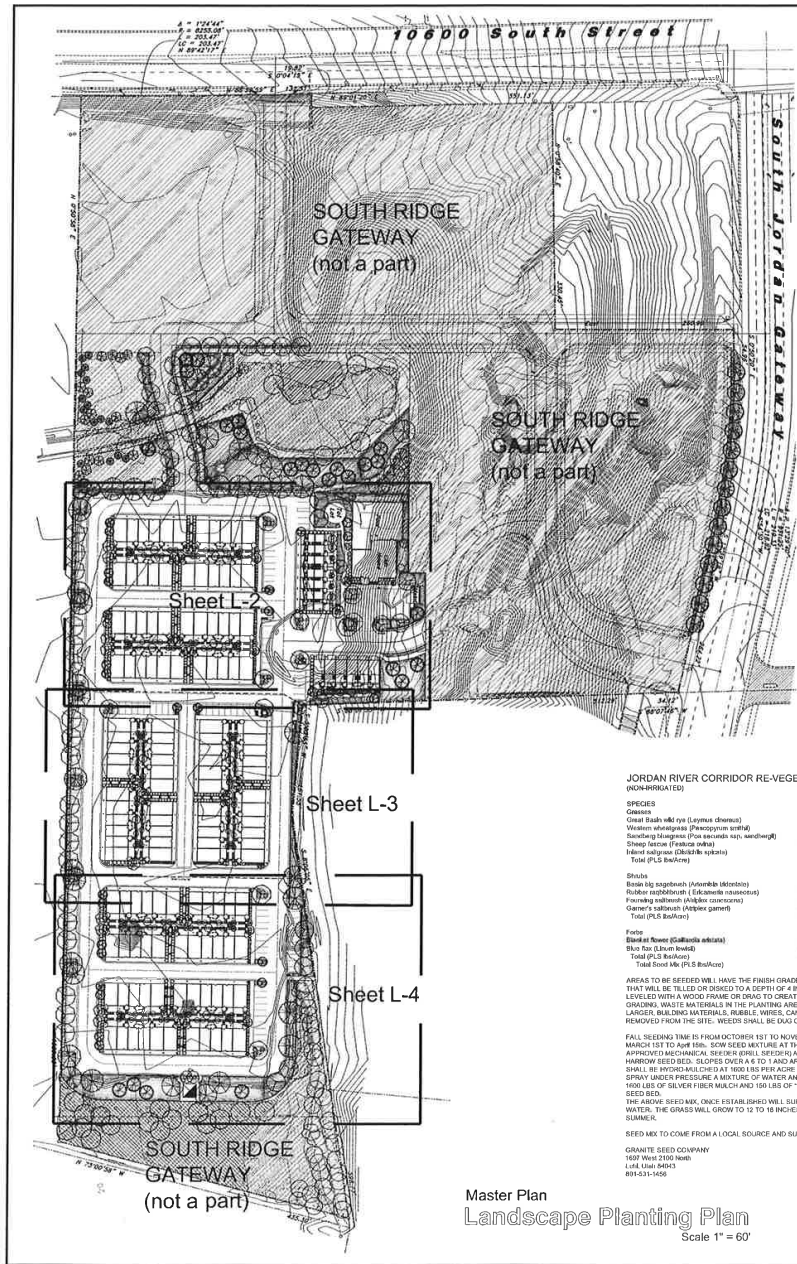
Not to Scale



Private Street Section

Not to Scale

SHEET
L-1
SHEETS



GRADING, TOPSOIL PLACEMENT AND COMPACTED SOILS:

DUE TO THE PROBLEMS OF COMPACTED SOILS WITH THE FINISHED LANDSCAPE AND POOR DRAINAGE IN THE LANDSCAPE PLANTING AREAS AND LANDSCAPE PLANTING THAT DOES NOT GROW OR CANNOT STAND EXTENDED USE, THE FOLLOWING PROCEDURE SHALL BE FOLLOWED. CONTRACTOR SHALL NOTIFY AND WORK WITH THE CONSTRUCTION MANAGER ON THE GRADING, TOPSOIL, PLACEMENT AND COMPACTED SOIL REMEDIATION. IF THE GRADING, TOPSOIL, PLACEMENT AND COMPACTED SOILS ARE NOT CORRELATED WITH THE CONSTRUCTION MANAGER AND VERIFIED, THE CONSTRUCTION WILL BE REQUIRED TO REDO AREAS IN QUESTION FOR VERIFICATION OF CORRECT INSTALLATION PROCEDURES.

FINISH SUBGRADE AND TOPSOIL PLACEMENT AND GRADING SHALL COMPLY:

1. PREPARE SUBGRADE FOR ALL PLANTING AND SEEDING AREAS BY ROUGH GRADING AND REMOVING ALL IRREGULARITIES AND DRIBBLES, THEN TIE AND SCARIFY SUBSOIL TO A DEPTH OF 6 INCHES BEFORE PLACING TOPSOIL. PER INSPECTION SECTION, PROVIDE LAIR LEVELING ON GRADE PLACES TO CREATE A UNIFORM LEVEL SUBGRADE.
2. PLACE TOPSOIL OVER ALL LANDSCAPE AREAS TO THE SPECIFIED DEPTH NOTED ON THE PLAN AND SPECIFICATION SECTION. SUBGRADE SURFACE SHALL NOT BE SMOOTH, BUT A ROUGH SURFACE SHALL EXIST FOR A TRANSITION ZONE OF TOPSOIL TO SUBSOIL. IF AREAS OF SUBGRADE BECOME COMPACTED BEFORE TOPSOIL IS PLACED, SUBGRADE SHALL BE TILLED AGAIN BEFORE TOPSOIL PLACEMENT.
3. PLACING ALL SOIL ADDITIVES AND FERTILIZERS FOR THE AREAS AS NOTED ON THE PLANS AND NOTES PER TOPSOIL ANALYSIS REPORT. THEN TIE AND SCARIFY, SCALING ON 6 INCHES MAY BE REQUIRED IF THE TOPSOIL IS COMPACTED TO LOOSEN THE SOIL AND THEN IT WILL BE SPECIFIED TOPSOIL. TOPSOIL DEPTH SHALL BE AS NOTED ON THE LANDSCAPE PLAN. FINAL DETERMINATION OF THE AREA OF REVISED COMPACTED SOILS WILL BE MADE BY THE CONSTRUCTION MANAGER.
4. RETILL LANDSCAPE SUBSOILS AND TOP SOILS THAT BECOME OR ARE COMPACTED.
5. AFTER TILLING, BRING AREAS TO UNIFORM GRADES BY FLOATING AND/OR HAND RAKING. IN LARGE OPEN LEVEL AREAS, PERFORM LASER LEVELING TO CREATE UNIFORM LEVEL AREAS.
6. MAKE MINOR ADJUSTMENT OF FINISH GRASSES AS DIRECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
7. REMOVE WASTE MATERIALS OVER 1" IN SIZE SUCH AS STONES, ROOTS, OR OTHER UNDESIRABLE FOREIGN MATERIALS AND FINISH RAKING, DRIVING, DRAGGING, AND SMOOTHING SOIL READY FOR PLANTING.
8. NO GRADING OR SOIL PLACEMENT SHALL BE UNDERTAKEN WHEN SOILS ARE WET OR FROZEN.

EXTENSIVE COMPACTED SOILS:

CONTRACTOR SHALL REMEDIATE EXISTING COMPACTED SOILS IN ALL CONSTRUCTION AND FINISH AREAS, AND AREAS OF ABANDONED ROADS WHICH HAVE BEEN COMPACTED BY CONSTRUCTION ACTIVITIES OR PREVIOUS USE. CONTRACTOR SHALL REMOVE COMPACTED SOILS BY SCARPING TO A DEPTH OF 12 INCHES OR REPLACING SOILS TO A DEPTH OF 12 INCHES. REPLACEMENT OF COMPACTED SOILS SHALL INCLUDE 12 INCHES OF SUBTLE FILL OVERLAP WITH 12 INCHES OF SPECIFIED TOPSOIL. TOPSOIL DEPTH SHALL BE AS NOTED ON THE LANDSCAPE PLAN. FINAL DETERMINATION OF THE AREA OF REVISED COMPACTED SOILS WILL BE MADE BY THE CONSTRUCTION MANAGER.

SOD LAWN

SOD LAWN TO BE A DROUGHT TO BRANT SOD FROM SEED LIKE 'BLUE PRISON BLEND BEET' FROM GRANITE SEED OR SOD FROM CHAMBERLAIN FARM. 'TOTAL BLUE' IF IN THE SOLE SPORTS FIELDS IS SEED KENTUCKY BLEND DROUGHT TOLERANT SOD OR BROADBARK 'BETTER LAY' SOD. SUBMIT SUPPLIER SPECIFICATION SHEET FOR LANDSCAPE ARCHITECT REVIEW AND APPROVAL.

GRANITE SEED COMPANY LENA, UTAH 84043 435-331-1456	CHAMBERLAIN FARM TREMONT, UTAH 84037 435-354-3672	BROADBARK SOD FARMS SANDY, UTAH 84070 801-563-8600
--	---	--

OPEN SPACE AND TREES REQ.

1. 41,000 SF OF LANDSCAPE OPEN SPACE WITH 1" TREE REG. PER 800 SF OF OPEN SPACE IS 51 TREES REG. WITH 43 TREES BROWN REG. 12" CALIPER ALONG WITH 7" TALL EVERGREEN TREES. THE REMAINDER OF THE TREES, 28 TREES WHICH CAN BE 1.5" CALIPER WITH 4" TALL EVERGREEN TREES. THE FOLLOWING TREES HAVE BEEN PROVIDED:
- 48 TREES PROVIDED AT 2" CALIPER OF WHICH 9 OF TREES ARE EVERGREEN AT 7" TALL
- 65 TREES PROVIDED AT 1.5" CALIPER OF WHICH 5 OF TREES ARE EVERGREEN AT 4" TALL
- 31 EXTRA TREES PROVIDED TO BE USED ON STORM WATER DETENTION AREA CALCULATION TOTALS

JORDAN RIVER CORRIDOR RE-VEGETATION SEEDING (NON-INNOVATED)

SPECIES	P.L.S. Lbs/acre
Grass	20.0
Great Basin wild rye (<i>Leymus duncansonii</i>)	20.0
Western bluegrass (<i>Poa trivialis</i>)	2.0
Seedling (grasses) (For example: rye, wild rye)	10.0
Sheep fescue (<i>Festuca ovina</i>)	1.0
Native ryegrass (<i>Lolium arvense</i>)	1.0
Total (P.L.S. lbs/acre)	53.0
Shrubs	
Broken hip sagebrush (<i>Artemisia tridentata</i>)	5.0
Robber sagebrush (<i>Elaeagnus angustifolia</i>)	5.0
Feenring sagebrush (<i>Artemisia tridentata</i>)	2.0
Garter's sagebrush (<i>Artemisia gartneri</i>)	1.0
Total (P.L.S. lbs/acre)	13.0
Forbs	
Black Fox Chlorophyll (<i>Chlorophylla alata</i>)	2.0
Blue Fox Chlorophyll (<i>Chlorophylla alata</i>)	2.0
Total (P.L.S. lbs/acre)	4.0
Total (P.L.S. lbs/acre)	71.0

AREAS TO BE SEEDING WILL HAVE THE FINISH GRADE ESTABLISHED WITH AN APPROVED TOPSOIL THAT WILL BE TILLED OR DISKED TO A DEPTH OF 4 INCHES. THE SEED BED SOIL WILL THEN BE LEVELED WITH A WOOD FRAME OR DISK TO CREATE A LEVEL SEEDING SURFACE. DURING GRADING, WASTE MATERIALS IN THE PLANTING AREAS SUCH AS WEEDS, ROCKS 2 INCHES AND LARGER, BUILDING MATERIALS, RUBBLE, WIRES, CANS, GLASS, LUMBER, ETC., SHALL BE REMOVED FROM THE SITE. WEEDS SHALL BE DIA OUT BY THE ROOTS.

FALL SEEDING TIME IS FROM OCTOBER 1ST TO NOVEMBER 30TH. SPRING SEEDING TIME IS FROM MARCH 1ST TO APRIL 15TH. SOW SEED MIXTURE AT THE ABOVE RATE IN 2 DIRECTIONS WITH AN APPROVED MECHANICAL SEEDER OR BROADCAST SEED AND LIGHTLY NARROW SEED BED. SLOPES OVER 4 TO 1 AND AREAS THAT ARE SUSCEPTIBLE TO EROSION SHALL BE HYDRO MULCHED AT 1000 LBS PER ACRE WITH A WOOD FIBER MULCH AND FERTILIZER SPRAY UNDER PRESSURE A MIXTURE OF WATER AND SOLUBLE FERTILIZER OR EQUAL AT THE RATE OF 1000 LBS OF SILVER FIBER MULCH AND 100 LBS OF "BANDER" FERTILIZER PER ACRE ONTO THE SEED BED.

THE ABOVE SEED MIX, ONCE ESTABLISHED WILL SURVIVE WITH NO ADDITIONAL IRRIGATION WATER. THE GRASS WILL GROW TO 12 TO 18 INCHES TALL. THE GRASS WILL BROWN OUT AND BLAME.

SEED MIX TO COME FROM A LOCAL SOURCE AND SUPPLIER.

GRANITE SEED COMPANY
1607 HWY 2100 North
LENA, UTAH 84043
801-331-1456

LANDSCAPE NOTES:

1. A NEW RESIDENTIAL DEVELOPMENT WILL BE DEVELOPED ON A SITE THAT WILL REQUIRE THAT GRACE BETWEEN CONVEYERS THAT FACE EACH OTHER IN A 14' TO 16' GRASS AND CONCRETE WALKWAY WITH LANDSCAPE P.L.S.
2. CONTRACTOR TO CONTACT STEVEN E. ECKHART, LANDSCAPE ARCHITECT AT 801-846-0646 FOR A PRE-CONSTRUCTION MEETING BEFORE BEGINNING WORK AND TO SET UP THE LANDSCAPE INSPECTION SCHEDULE. LANDSCAPE PLANTING AND IRRIGATION SHALL COMPLY WITH ALL APPLICABLE STATE, COUNTY AND SALT LAKE CITY REQUIREMENTS. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL LICENSES, PERMITS AND SALES TAXES APPLICABLE TO THE MATERIALS.
3. THE LANDSCAPE PLANTING AND IRRIGATION PLANS ARE TO BE USED IN CONJUNCTION WITH THE CIVIL, MECHANICAL, ELECTRICAL AND ARCHITECTURAL SITE PLANS, ETC., TO FORM COMPLETE INFORMATION FOR THE SITE.
4. ALL MATERIAL AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR TO PROVIDE A WRITTEN ONE-YEAR WARRANTY ON LANDSCAPE PLANTING AND IRRIGATION FOR INSTALLATION OF LABOR AND MATERIALS.
5. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNDESIRABLE CONDITIONS. UNDESIRABLE CONDITIONS HAVE BEEN CORRECTED.
6. BEFORE STARTING WORK, CONTACT APPROPRIATE UTILITY COMPANIES FOR UTILITY LOCATIONS AND COORDINATE WITH GENERAL CONTRACTOR IN REGARD TO LOCATIONS OF EXISTING AND PROPOSED UTILITIES. PRIOR TO SLEEVES, ELECTRICAL CONDUITS, SWAGE, ETC., BEING LAYED OUT AND SITE IMPROVEMENT DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED AND REPAIRED BY THE CONTRACTOR.
7. ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE LISTED ON PLANT SCHEDULE. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIAL WHICH DOES NOT MEET THE QUALITY REQUIREMENTS OF THE PROJECT PER SPECIFICATIONS. ALL DECIDUOUS TREES SHALL HAVE FULLY DEVELOPED LEAVES AND ALL EVERGREENS SHALL BE UNDEGRADED AND FULL TO THE GROUND. ALL NEW PLANTING AREAS TO BE PLANTED WITH AN APPROVED LAWN SOD.
8. ALL TREES AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. PLANT TREES AND SHRUBS PER DETAILS. ALL TREES TO BE STAKED OR GUIDED FOR DETAILS AND SPECIFICATIONS. TREES TRUNKS SHOULD BE TIEDER SHAKES WILL NEED TO BE TIED WRAPPED IN THE FALL TO PROTECT THE TREE BARK FROM THE WINTER SUN AND REMOVE THE FOLLOWING SPRING.
9. ALL SHRUB BEDS TO BE COVERED WITH DEWITT 100% WHITE BARRIER FABRIC. BEFORE FABRIC IS PLACED, BEDS SHALL BE GRADED 1/8" AND 1/8" ONCE. ONCE FABRIC IS IN PLACE, BEDS SHALL BE COVERED WITH 1/8" MULCH AT 4 INCHES DEPT.
10. PROVIDE A 3/4" DIRT BARRIER GRASS BEDS AND 1/8" MULCH AT 4 INCHES DEPT FOR TREES PLANTED IN AREAS. PLANT A PLY 1/8" DIRT GARD AT THE BASE OF ALL TREES PLANTED AREAS.
11. EXISTING ON SITE TOPSOIL MAY BE STRIPPED AND REUSED IN THE LANDSCAPE PROVIDED: IF QUALITY TOPSOIL, THE QUANTITY AND QUANTITY OF ON SITE TOPSOIL, BE USED TO BE VERIFIED BY THE CONTRACTOR. IF EXISTING ON SITE TOPSOIL IS ROCKY, IT WILL NEED TO BE SCREENED BEFORE REUSE TO REMOVE ROCKS OVER 1/8" IN SIZE. PROVIDE TOPSOIL DEPTHS AS NOTED ON THE PLANTING/LAWN AREAS. NO SUBGRADE DOWN AS REQUIRED BEFORE PLACING TOPSOIL. OWNER REQUESTED AND SCARIFY SUBGRADE AS NOTED IN THE GRADING, TOPSOIL, PLACEMENT AND COMPACTED SOILS NOTE.
12. PROVIDE IMPORTED TOPSOIL AS REQUIRED. IMPORTED TOPSOIL WILL BE SUBJECT TO TESTING BY THE CONTRACTOR AND REVIEW BY THE OWNER AND LANDSCAPE ARCHITECT BEFORE ACCEPTANCE AND USE ON SITE.
13. MAINTENANCE OF THE LANDSCAPE WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR UNTIL FINAL ACCEPTANCE. AT TIME OF LANDSCAPE ACCEPTANCE, SHRUB PLANTING, TREES AND THE SOD LAWN SHALL BE IN PLACE WITHIN 90 DAYS AND MAINTAINED A MINIMUM OF 7 TREES. MAINTENANCE OF THE SOD LAWN SHALL BE ON 30 DAYS WITH TWO MAINTENANCE VISITS BEFORE ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AROUND THE NEW LAWN TO KEEP CHICKS, CHILDREN OR OTHER ANIMALS OFF THE LAWN. BECOMES ESTABLISHED IF A PLANTING HINDER DURING THE TIME WHEN CHICKS, CHILDREN ARE PRESENT AREAS AS REQUIRED TO PROTECT NEWLY PLANTED AREAS.
14. PROVIDE AND INSTALL CONCRETE MOW CURBS, CONCRETE CURBS TO BE INSTALLED LEVEL AND UNIFORM AND MATCH TOP FINISH GRADES OF EXISTING SITE CONCRETE WALKS AND CURBS.
15. ALL MECHANICAL EQUIPMENT INCLUDING ELECTRICAL TRANSFORMERS TO BE SCREENED FROM VIEW WITH LANDSCAPE MATERIAL.

KEYED NOTES FOR ALL SHEETS

- (01) PROPERTY LINE (LIMITS OF CONSTRUCTION)
- (02) EXISTING WETLANDS. DO NOT DISTURB. REFER TO CIVIL DRAWINGS WITH APPROVED WETLAND PLANTING AND EXISTING TREES TO REMAIN.
- (03) IMPROVEMENTS BY OTHERS IN GATEWAY PLANS
- (04) RETAINING WALLS (REFER TO CIVIL GRADING PLANS & DETAILS)
- (05) 6" WIDE BY 6" DEEP EXTRUDED CONCRETE MOW CURB
- (06) 12" WIDE BY 6" DEEP CONCRETE MOW CURBS NEXT TO STRUCTURES
- (07) 1" TO 2" SIZED LANDSCAPE BOULDERS TO RETAIN GRADESLOPE AT ELEVATION CHANGES. REFER TO CIVIL GRADING PLAN. TYPICAL AT ALL STAIRS & GRADE CHANGES, ETC.
- (08) 3" HAIL POLE FENCE, REFER TO DETAIL AS "3" HAIL POLE FENCE" ON SHEET L-4.
- (09) WETLAND BOUNDARY. REFER TO CIVIL DRAWINGS.
- (10) NON-IRRIGATED GRASSES AND WILD FLOWERS JORDAN RIVER CORRIDOR SEEDING MIX PER SOUTH JORDAN CITY SPECIFICATIONS FOR ALL DISTURBED AREAS NOT IMPROVED OR LANDSCAPED.
- (11) NON-IRRIGATED GRASSES AND WILD FLOWERS JORDAN RIVER CORRIDOR SEEDING MIX PER SOUTH JORDAN CITY SPECIFICATIONS FOR DETENTION POND.
- (12) 6" LONG BENCH ON 4" x 7" CONCRETE PAD SET IN LANDSCAPE OR WITH A WALK TO BENCH WHERE NOTED. WHEN TO BE A PLASTIC COATED, HEAT FUSED AND PERMANENTLY BONDED TO TREES WITH STAINLESS-STEEL HARDWARE.
- (13) CREATED WETLANDS. REFER TO CIVIL DRAWINGS WITH APPROVED WETLAND PLANTING.
- (14) COORDINATE TREE PLANTING WITH RETAINING WALL DESIGN AND RETAINING WALL. GEOGRAPHIC FOR APPROVED PLANTING PROCEDURES WITH PLANTING IN GEOGRAPHIC.

WETLAND LEGEND

EXISTING WETLANDS

MITIGATION WETLANDS

EXISTING TREES TO REMAIN

LEGEND

LAWN AREAS SHALL HAVE A 4" DEPTH OF APPROVED TOPSOIL. FINISH EXISTING GRADE BEFORE SOD IS PLACED. 12" BELOW TOP OF CONCRETE WALKS AND CURBS.

SHRUB BEDS SHALL BE A 12" LAYER OF APPROVED TOPSOIL COVERED WITH A 4" LAYER OF BARBED BARK MULCH OVER DEWITT 100% WHITE BARRIER FABRIC WALL BARRIER BEES.

6" LAYER OF 3" WASHED & CLEAN CORRIER ROCK OVER DEWITT 100% WHITE BARRIER FABRIC. FINISH GRADE OF CORRIER TO BE LEVEL WITH EXISTING WALKS AND CURBS.

SHRUB PLANTING AREA. REFER TO PLANT SCHEDULE AND CALL OUT FOR TYPE OF PLANT.

HOT A PART

1" TO 2" SIZED LANDSCAPE BOULDERS TO RETAIN GRADESLOPE AT ELEVATION CHANGES. REFER TO CIVIL GRADING PLAN. REFER TO KEYED NOTES 17.

SUBMIT SAMPLE OF CORRIER ROCK, BARK MULCH LANDSCAPE BOULDERS TO OWNER FOR REVIEW & APPROVAL.

Detailed Grade Boulder Retaining - Typical All Landscape Planting Plan

Scale 1/16" = 1'

Approved by City Engineer:

Engineer: _____ Date: _____

Scale 1" = 60'

As noted

0 60 120 180



SCE ASSOCIATES, INC.
Landscape Architecture
3303 S. 300 E., Suite 270
Salt Lake City, UT 84119
Phone: 801-464-0886
Fax: 801-464-0886

DATE	REVISION	BY	APP'D

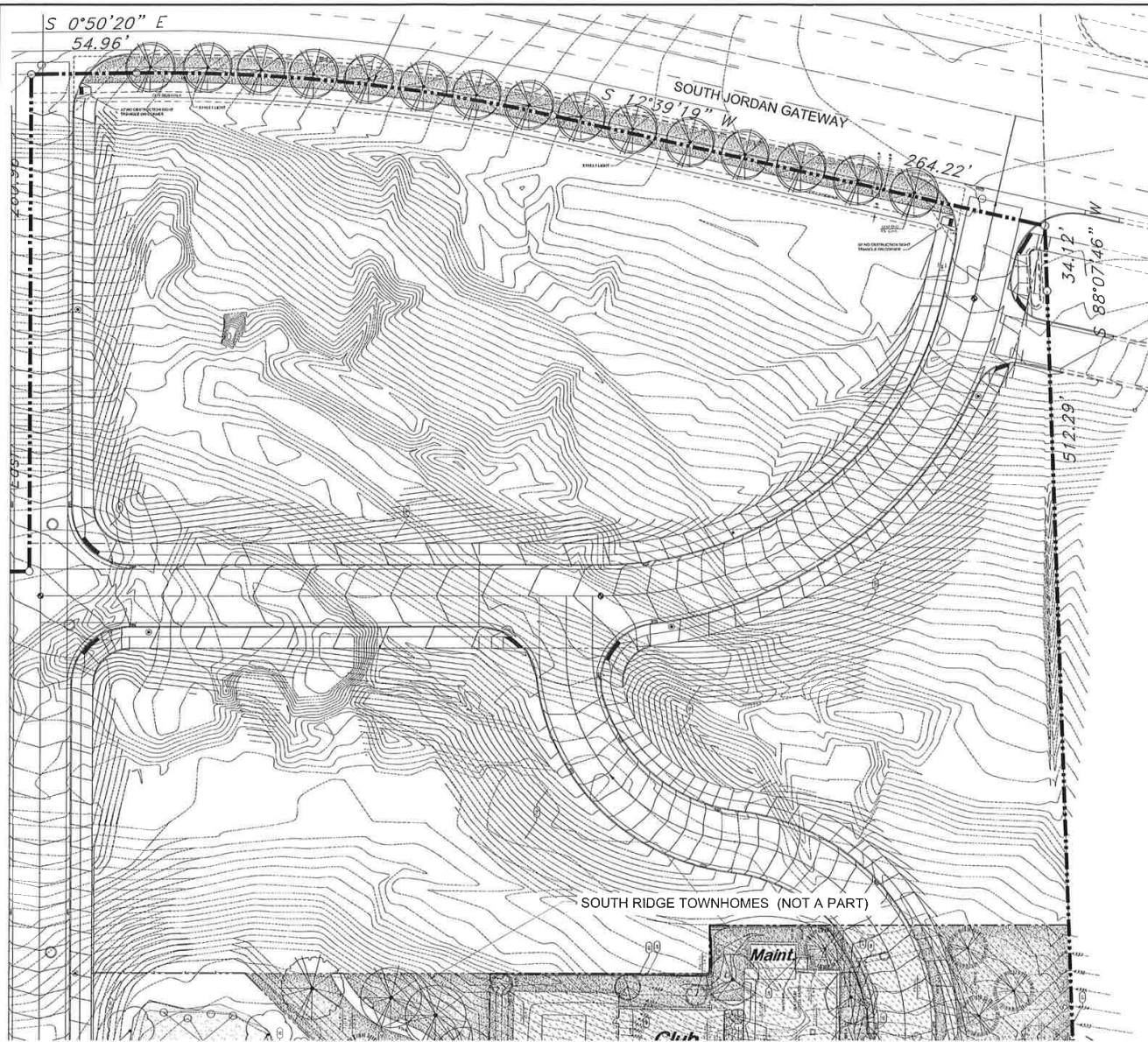
Landscape Planting Plan - Master
SOUTH RIDGE TOWNHOMES
South Jordan Gateway & 10600 South, South Jordan, Utah

SHEET

23

L-1

PL-1



PLANT SCHEDULE SOUTH JORDAN GATEWAY ROAD

GEOSKIPUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	QTY
ULM EM2	Ulmus parviflorus / Emerald Greenh / Emerald Elm	Cont.	2' Cal	15

WETLAND LEGEND

EXISTING WETLANDS

MITIGATION WETLANDS

EXISTING TREES TO REMAIN

LEGEND

LAWN AREAS SHALL HAVE A 4" DEPTH OF APPROVED TOPSOIL. FRESH DIRT GRASS BEFORE SOIL IS PLACED IS 2" BELOW TOP OF CONCRETE WALKS AND CURBS.

NON-IRRIGATED SEEDING PER NOTE #10

SHRUB BEDS SHALL BE A 12" LAYER OF APPROVED TOPSOIL COVERED WITH A 4" LAYER OF BRANDED BARK MULCH OVER DEWITT PRO 5 WELD BARRIER FABRIC IN ALL SHRUB BEDS.

6" LAYER OF 3/4" WASHED & CLEAN CORNELL ROCK OVER DEWITT PRO 5 WELD BARRIER FABRIC. FINISH GRADE OF CORNELL TO BE LEVEL WITH ADJUTING WALKS AND CURBS.

EXISTING LAWN PER 1990 SOUTH STREET IMPROVEMENTS

NOT A PART

Approved by City Engineer:

Engineer: _____ Date: _____

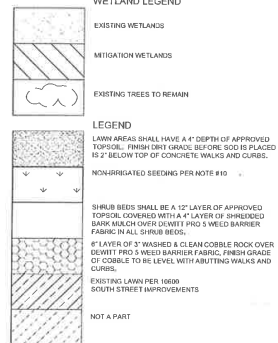


SCE ASSOCIATES, Inc.
 3331 S. 400 E. Suite 210
 Salt Lake City, UT 84111
 Phone 801-919-0060
 Fax 801-919-0060

Project: _____
Sheet: _____
Date: _____

South Ridge Gateway
 South Jordan Gateway & 10600 South, South Jordan, Utah

L-2
 SHEETS



CONIFERS	BOTANICAL NAME / COMMON NAME	COUNTY	COL	SIZE	QTY
JUN SCO	<i>Juniperus scopulorum</i> / Rocky Mountain Juniper	15	6"	8"	15
PI PIN	<i>Pinus rigida</i> / Austrian Black Pine	8	6"	7-8"	18
DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	COUNTY	COL	SIZE	QTY
BET AM	<i>Betula nigra</i> / River Birch	15	6"	8"	13
PLA FRB	<i>Fraxinus pennsylvanica</i> / U.S. White Ash	8	8"	2' Col	6
GLE SHD	<i>Gleditsia glandulosa</i> / 'Shademaster' / TM / Shademaster Locust	8	2" Col	8"	8
PRU MEL	<i>Prunus virginiana</i> / melanocarpa / Western Chokeberry	15	6"		14
SAL AMY	<i>Salix amygdaloides</i> / Peach Leaf Willow	15	6"	5"	5
SAL BLA	<i>Salix nigra</i> / Black Willow	15	6"	5"	5
ULM CAR	<i>Ulmus 'Frontalis' / Frontalis Elm</i>	8	2" Col		20

Scale 1/16" = 1'

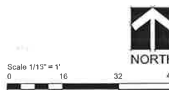
PARCEL "B"

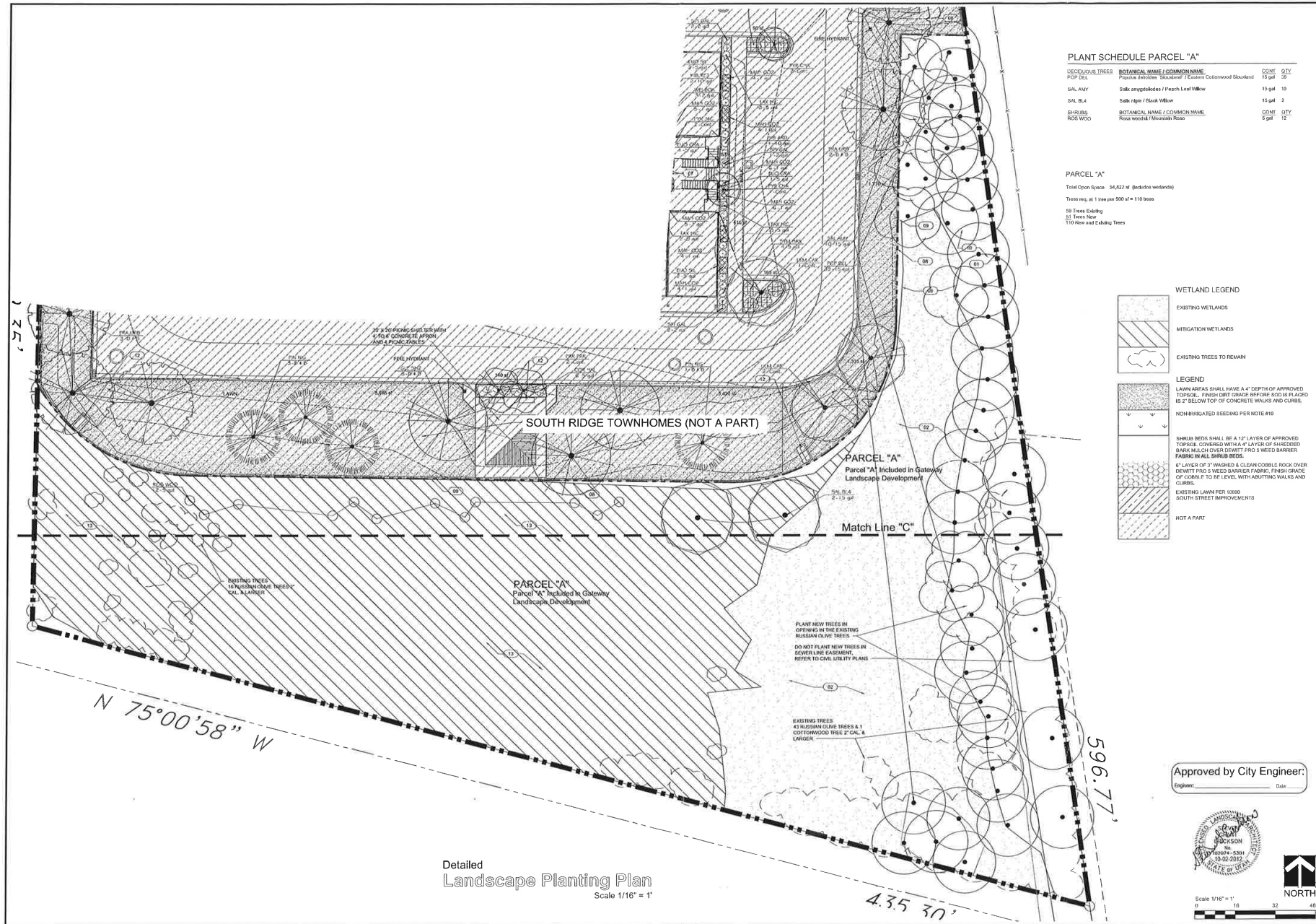
Total Open Space 63,014 sf (includes wetlands, less roads)

Trees req. at 1 tree per 500 sf = 126 trees

24 Trees Existing
502 Trees Now
126 New and Existing Trees

Approved by City Engineer _____
Engineer: _____ Date: _____







BRICK



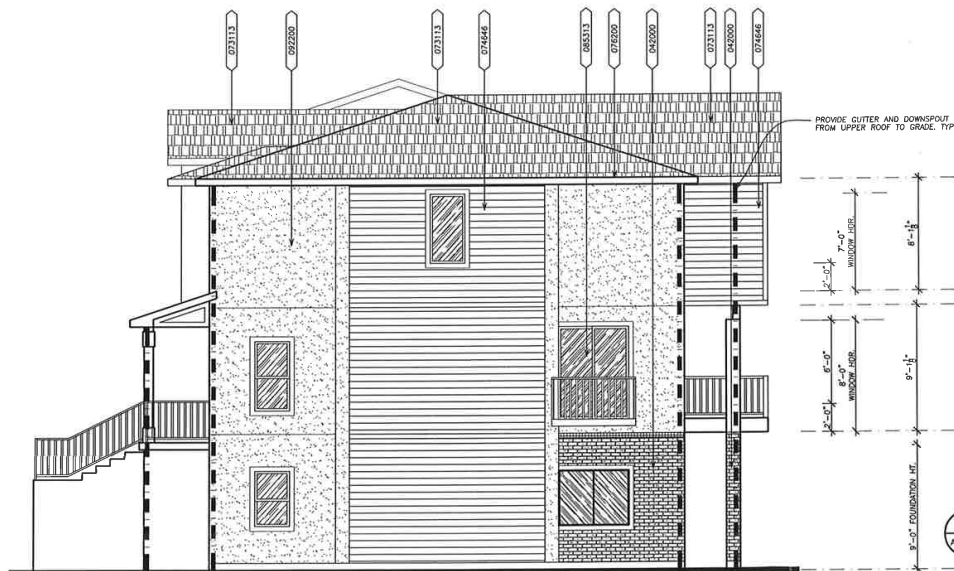
Stucco



Stucco



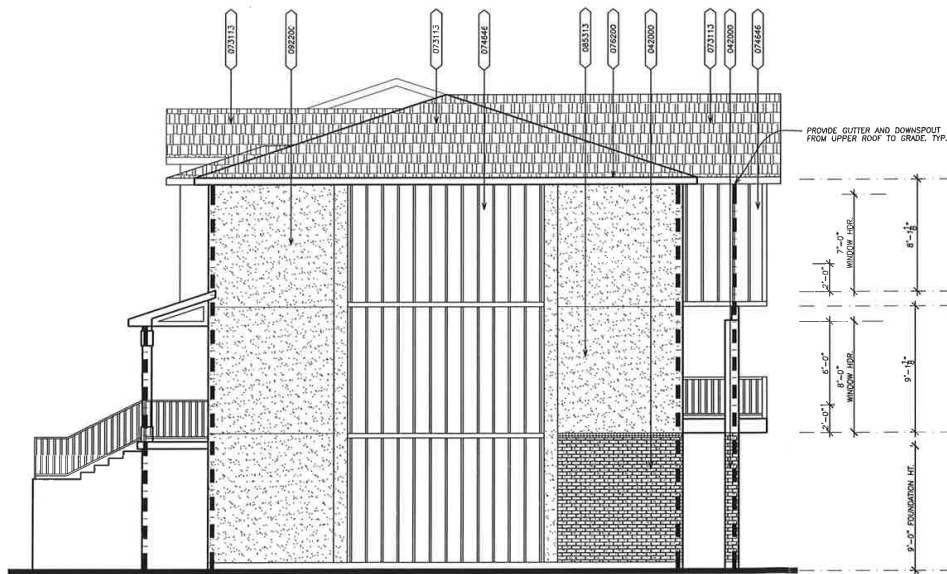
**COURTYARD
EXTERIOR ELEVATION**
SCALE: 1/4" = 1'-0"



**DRIVE - SIDE
EXTERIOR ELEVATION**
SCALE: 1/4" = 1'-0"

LEGEND

- 042000 BRICK VENEER MASONRY
- 073113 FIBERGLASS-REINFORCED ASPHALT SHINGLES
- 076200 METAL FLASHING AND TRIM
- 085313 VINYL WINDOWS & SLIDING GLASS DOORS
- 092200 VENEER STUCCO
- 074646 FIBER-CEMENT SIDING (LAP, BOARD & BATTEN, OR PANEL, SEE ELEVATIONS)



**COURTYARD
EXTERIOR ELEVATION**
SCALE: 1/4" = 1'-0"

**DRIVE - SIDE
EXTERIOR ELEVATION**
SCALE: 1/4" = 1'-0"

LEGEND

- 042000 BRICK VENEER MASONRY
- 073113 FIBERGLASS-REINFORCED ASPHALT SHINGLES
- 076200 METAL FLASHING AND TRIM
- 085313 VINYL WINDOWS & SLIDING GLASS DOORS
- 092200 VENEER STUCCO
- 074446 FIBER-CEMENT SIDING (LAP, BOARD & BATTEN, OR PANEL, SEE ELEVATIONS)

Jullie and Associates, Inc.
ARCHITECTS
10668 South Jordan Gateway
South Jordan, Utah 84095
(801) 581-1844



SOUTH RIDGE TOWNHOMES

10668 South Jordan Gateway
South Jordan, Utah 84095

**BLDG. TYPE 3
EXTERIOR ELEVATIONS**

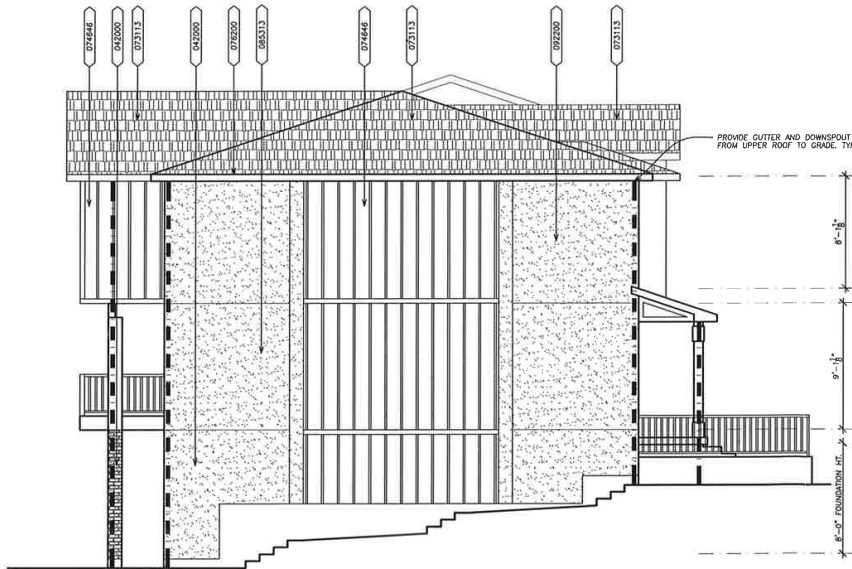
Rev. Apr. 20, 2012
Rev. May 16, 2012
Rev. Jun. 5, 2012

SHEET: 45

A-201.3



A
GARAGE
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



B
STEPPED WALK - SIDE
EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

LEGEND	
042000	BRICK VENEER MASONRY
073113	FIBERGLASS-REINFORCED ASPHALT SHINGLES
076200	METAL FLASHING AND TRIM
085313	VINYL WINDOWS & SLIDING GLASS DOORS
092200	VEENER STUCCO
074646	FIBER-CEMENT SIDING (LAP, BOARD & BATTEN, OR PANEL, SEE ELEVATIONS)

SOUTH RIDGE TOWNHOMES

10668 South Jordan Gateway
South Jordan, Utah 84095

**BLDG. TYPE 3
EXTERIOR ELEVATIONS**

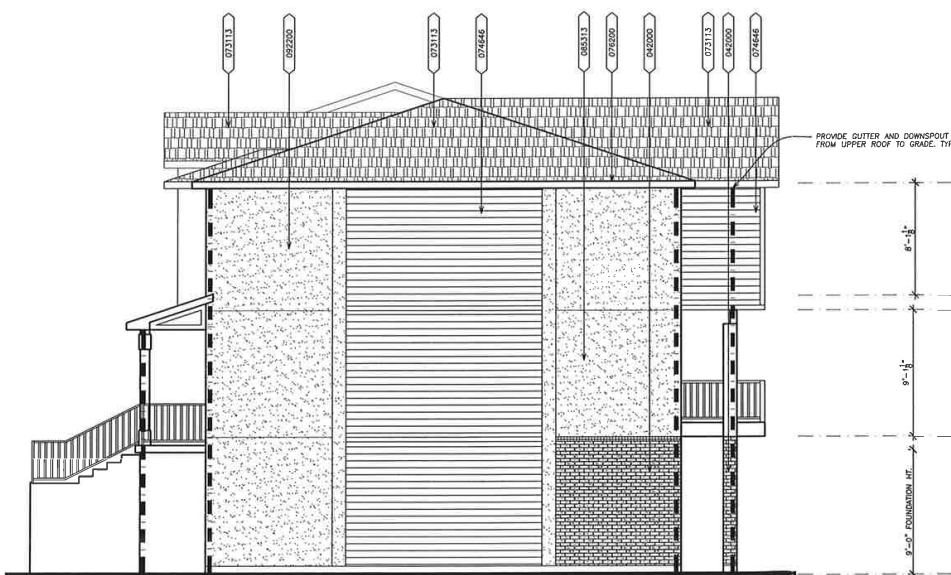
DATE: Apr. 20, 2012
REV: May 16, 2012
Jun. 5, 2012

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A-201.3b

Tuttle and Associates, Inc.
ARCHITECTS
10668 South Jordan Gateway
South Jordan, Utah 84095
(801) 488-8888
(801) 488-8889





A
A-201.4
**COURTYARD
EXTERIOR ELEVATION**
SCALE : 1/4" = 1'-0"

B
A-201.4
**DRIVE - SIDE
EXTERIOR ELEVATION**
SCALE : 1/4" = 1'-0"

LEGEND	
042000	BRICK VENEER MASONRY
073113	FIBERGLASS-REINFORCED ASPHALT SHINGLES
076200	METAL FLASHING AND TRIM
085313	VINYL WINDOWS & SLIDING GLASS DOORS
092200	VENEER STUCCO
074646	FIBER-CEMENT SIDING (LAP, BOARD & BATTEN, OR PANEL, SEE ELEVATIONS)

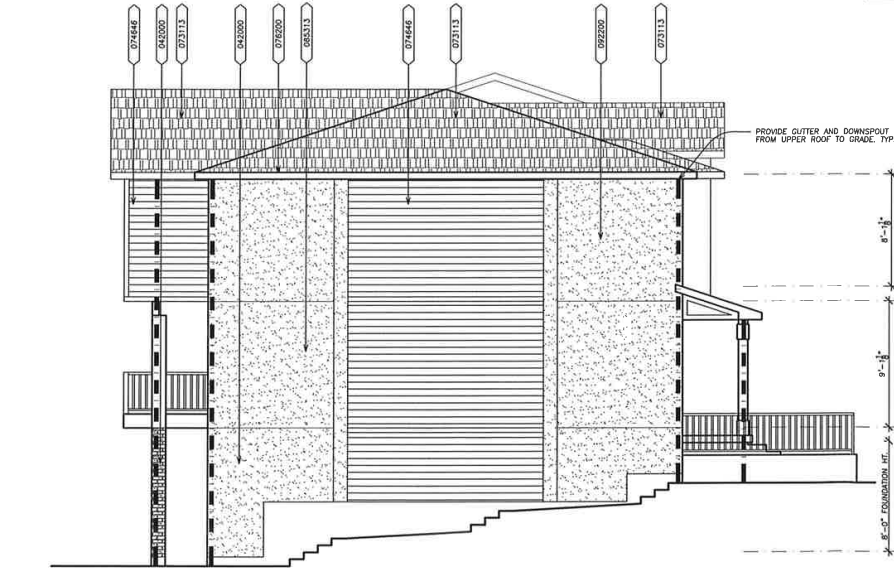
Little and Associates, Inc.
ARCHITECTS
1048 S. 1300 E., SUITE 200
SALT LAKE CITY, UT 84143
TEL: (801) 466-1000
FAX: (801) 466-1001



SOUTH RIDGE TOWNHOMES
10668 South Jordan Gateway
South Jordan, Utah 84095

**BLDG. TYPE 4
EXTERIOR ELEVATIONS**

REV: Apr. 20, 2012
REV: May 16, 2012
REV: Jun. 5, 2012

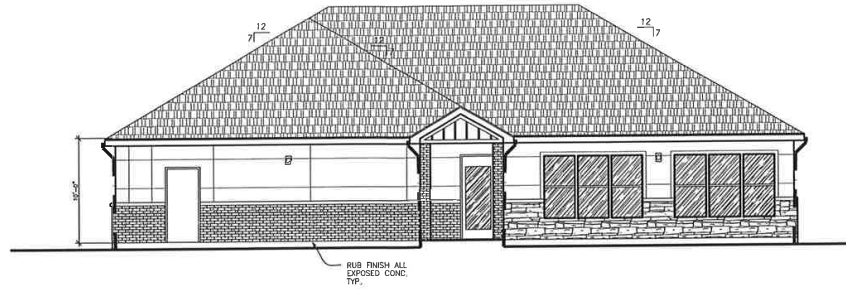


STEPPED WALK - SIDE EXTERIOR ELEVATION
 A-201.4b SCALE : 1/4" = 1'-0"

— COACH LIGHT ON PHOTO-CELL,
ADJACENT TO ENTRY, TYP.

042000	BRICK VENEER MASONRY
073113	FIBERGLASS-REINFORCED ASPHALT SHINGLES
085200	METAL FLASHING AND TRIM
076311	VINYL WINDOWS & SLIDING GLASS DOORS
092200	VENEER STUCCO
074646	FIBER-CEMENT SIDING (LAP, BOARD & BATTEN, OR PANEL, SEE ELEVATIONS)

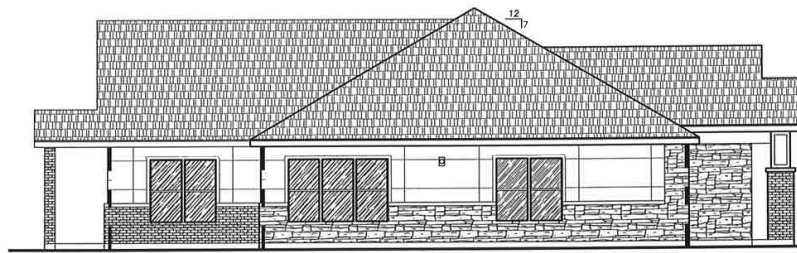
SHED NO.	48
GRAPHIC NO.	A-201.4b



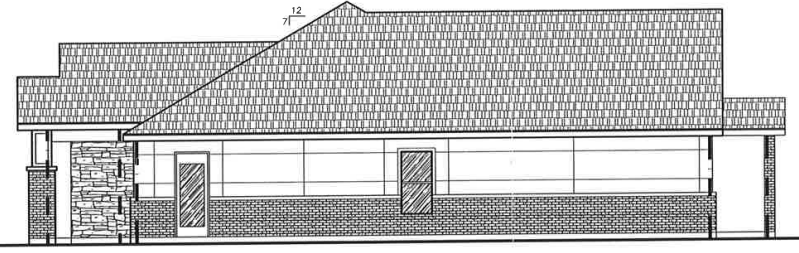
REAR ELEVATION
SCALE : 3/16"=1'-0"

LEGEND

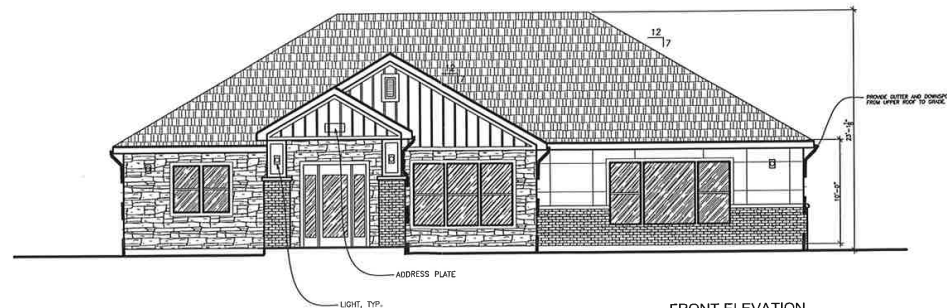
- 042000 BRICK VENEER MASONRY
- 055100 METAL STAIRS
- 072100 BLANKET INSULATION
- 072100 BLOWN INSULATION
- 073113 FIBERGLASS-REINFORCED ASPHALT SHINGLES
- 078100 SHEET METAL SIDING
- 078200 METAL FLASHING AND TRIM
- 085313 SLIDING PLASTIC-FRAMED GLASS DOORS
- 085313 VINYL WINDOWS
- 092200 VENEER STUCCO
- 092900 GYPSUM BOARD FIREPROOFING
- 096816 SHEET CARPETING (EXTERIOR)



LEFT ELEVATION
SCALE : 3/16"=1'-0"



RIGHT ELEVATION
SCALE : 3/16"=1'-0"



FRONT ELEVATION
SCALE : 3/16"=1'-0"

SOUTH RIDGE TOWNHOMES
10668 South Jordan Gateway
South Jordan, Utah 84095

Exterior Elevations

REV
Apr. 20, 2012
May 16, 2012
Jun. 5, 2012

49
CLUBHOUSE
A-201.5



PHASE II

LAQuinta INN



ENGINEER
LEGEND ENGINEERING
LONNY REED
52 WEST 100 NORTH
HEBER CITY, UT 84032
(435) 654-4828

[illegible]

|BY:

1001



LA QUINTA
DEL SOL

PROJECT NO.: 16.203
DATE: 11/16/2016
DRAWN BY: JR
CHECKED BY: DW

SHEET L-1

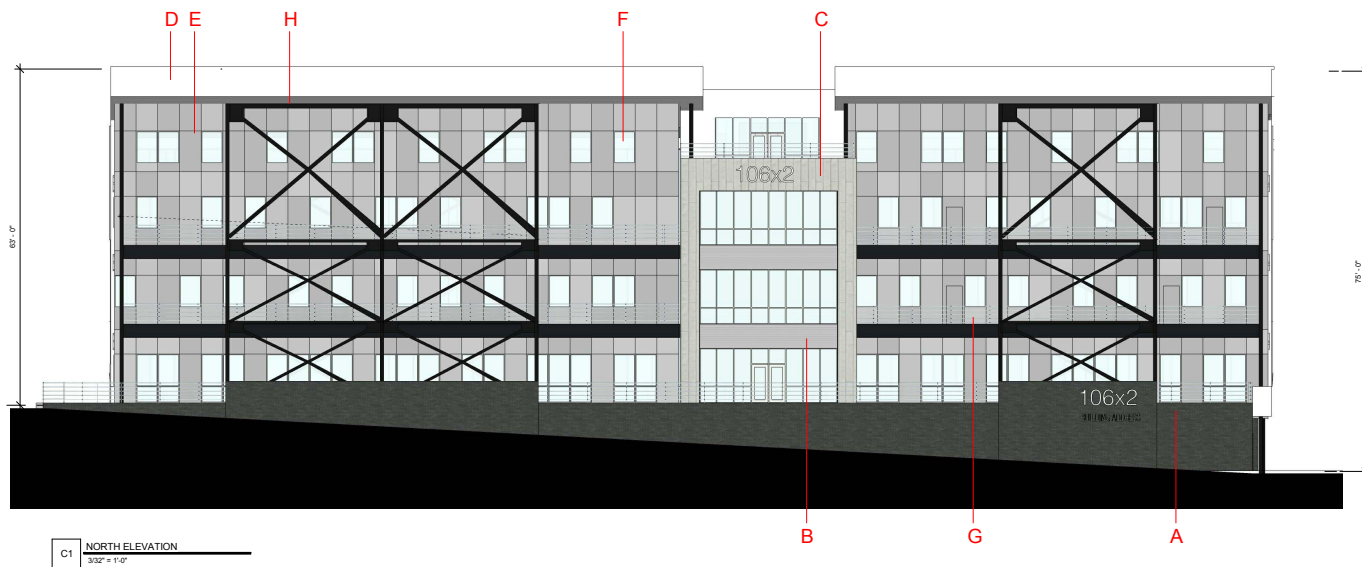
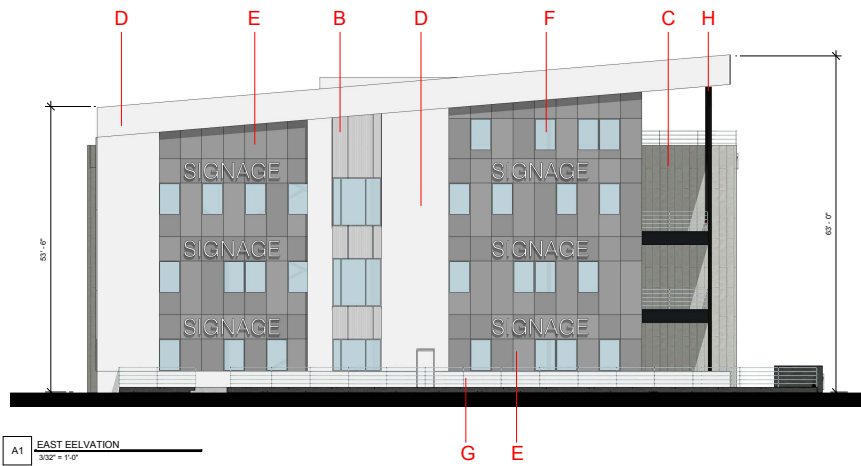


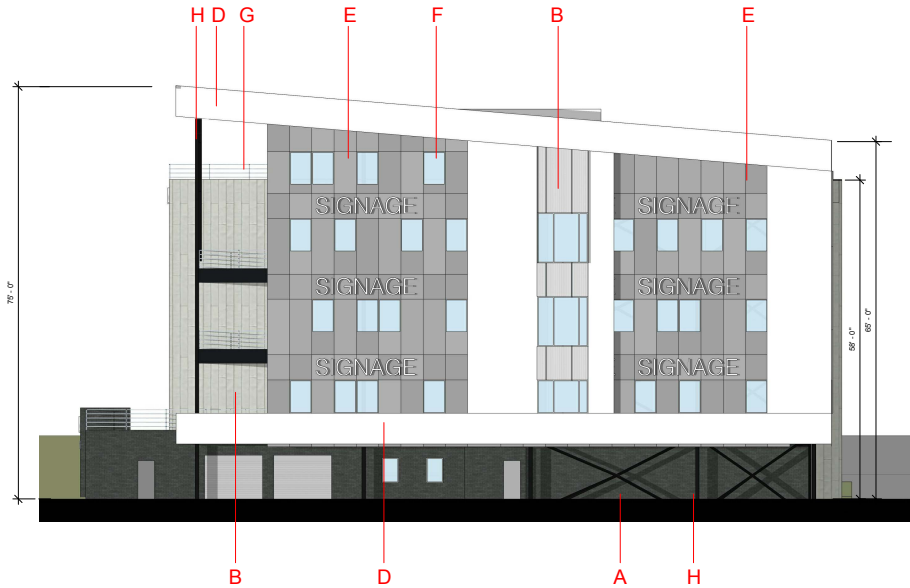
SOUTH JORDAN CITY ENGINEER APPROVAL:
BY: _____ DATE: _____

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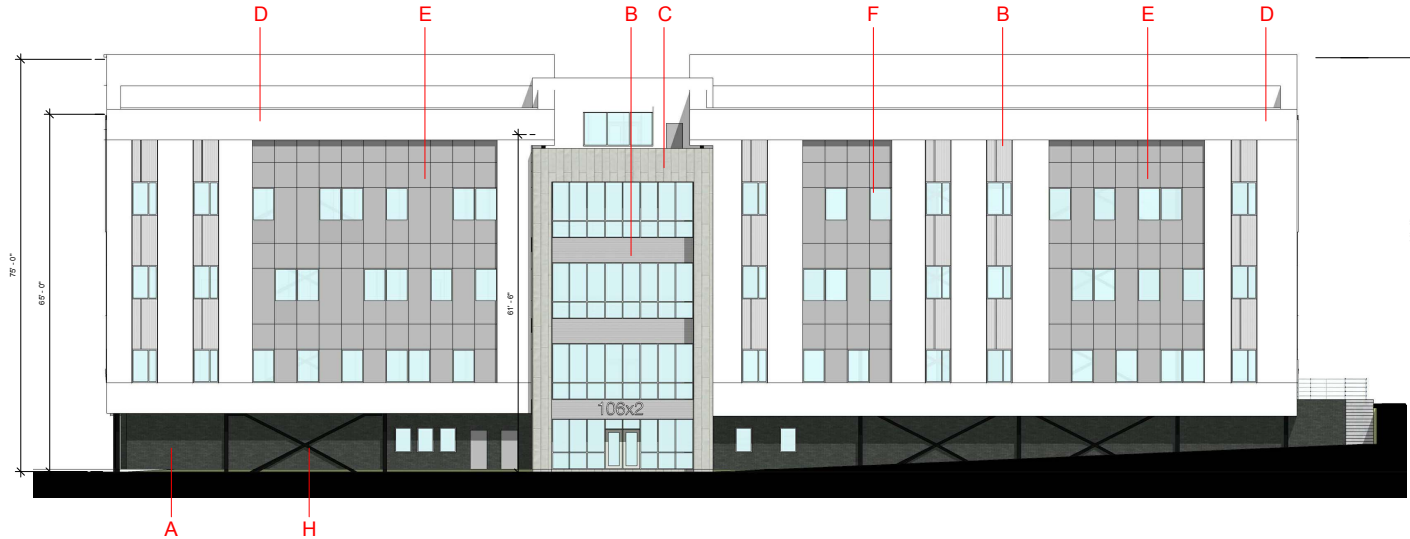
PHASE III

106 Exchange II





C1 WEST ELEVATION
3/32" = 1'-0"



A1 SOUTH ELEVATION
3/32" = 1'-0"

106 X 2
THRIVE DEVELOPMENT
488 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
PLANNING COMMISSION SUBMITTAL

Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"x36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	18105
Client	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM

**NORTH
WEST VIEW**

P901



1 2 3 4 5

D

C

B

A

1 2 3 4 5



Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"x36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	18105
Client	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM



RAW DESIGN STUDIO
517 SOUTH 200 WEST
SALT LAKE CITY, UT 84101
(801) 215-9729
info@rawdesignstudio.com
www.rawdesignstudio.com



106 X 2
THRIVE DEVELOPMENT
489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
PLANNING COMMISSION SUBMITTAL

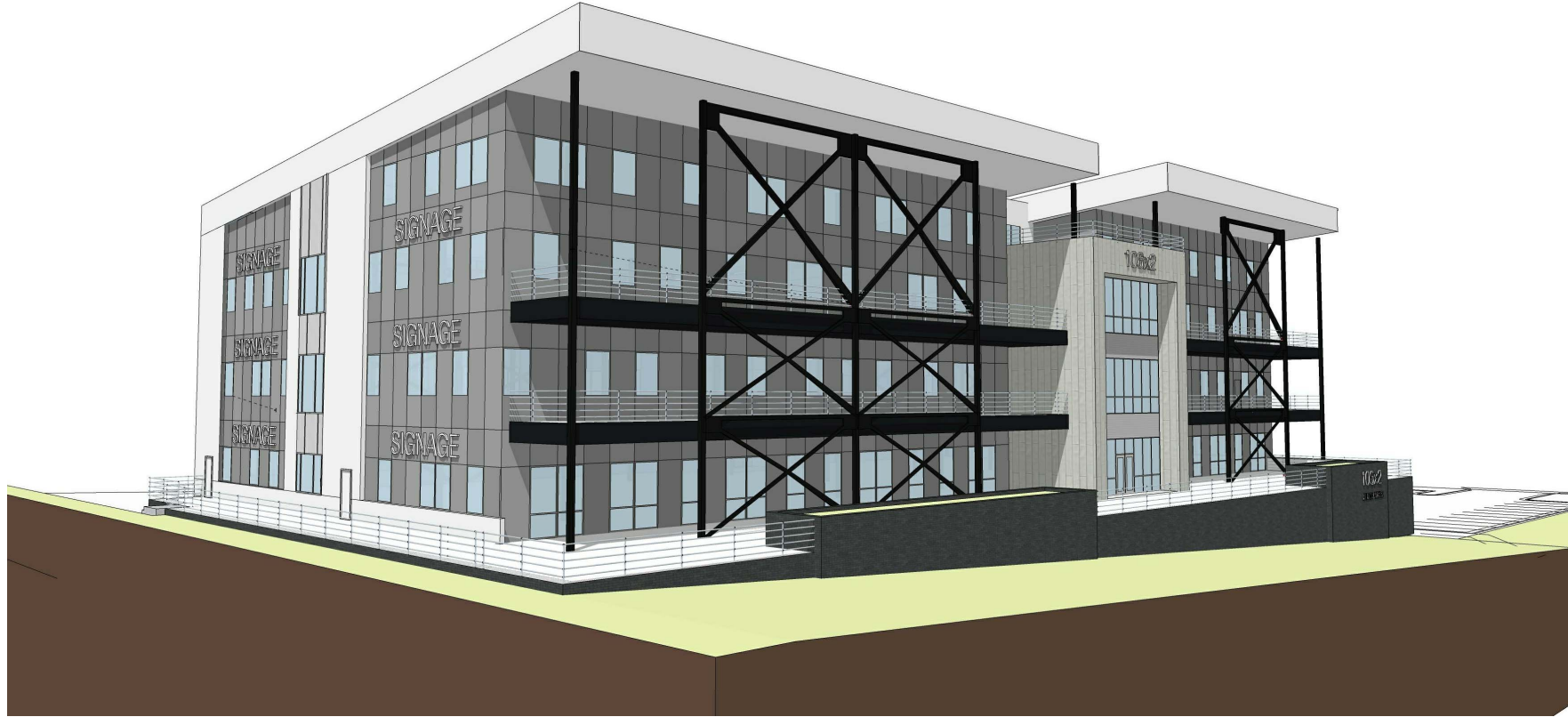
Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"x36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	18105
Client	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM

SOUTH EAST VIEW

P903



Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"x36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	18105
Owner	THRIVE
Date	12/21/2018
Drawn	DT
Checked	DM



106 X 2
THRIVE DEVELOPMENT
489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH 84095
PLANNING COMMISSION SUBMITTAL


Rev#	Date	Description

NOTE: THIS DRAWING IS INTENDED FOR A 24"x36" SHEET. IF PRINTED ON ANYTHING ELSE, THIS IS A REDUCED COPY. PLEASE SCALE ACCORDINGLY.

Job #	18105
Owner	THRIVE
Date	12/21/2018
Drawn	Author
Checked	Checker

3D VIEW

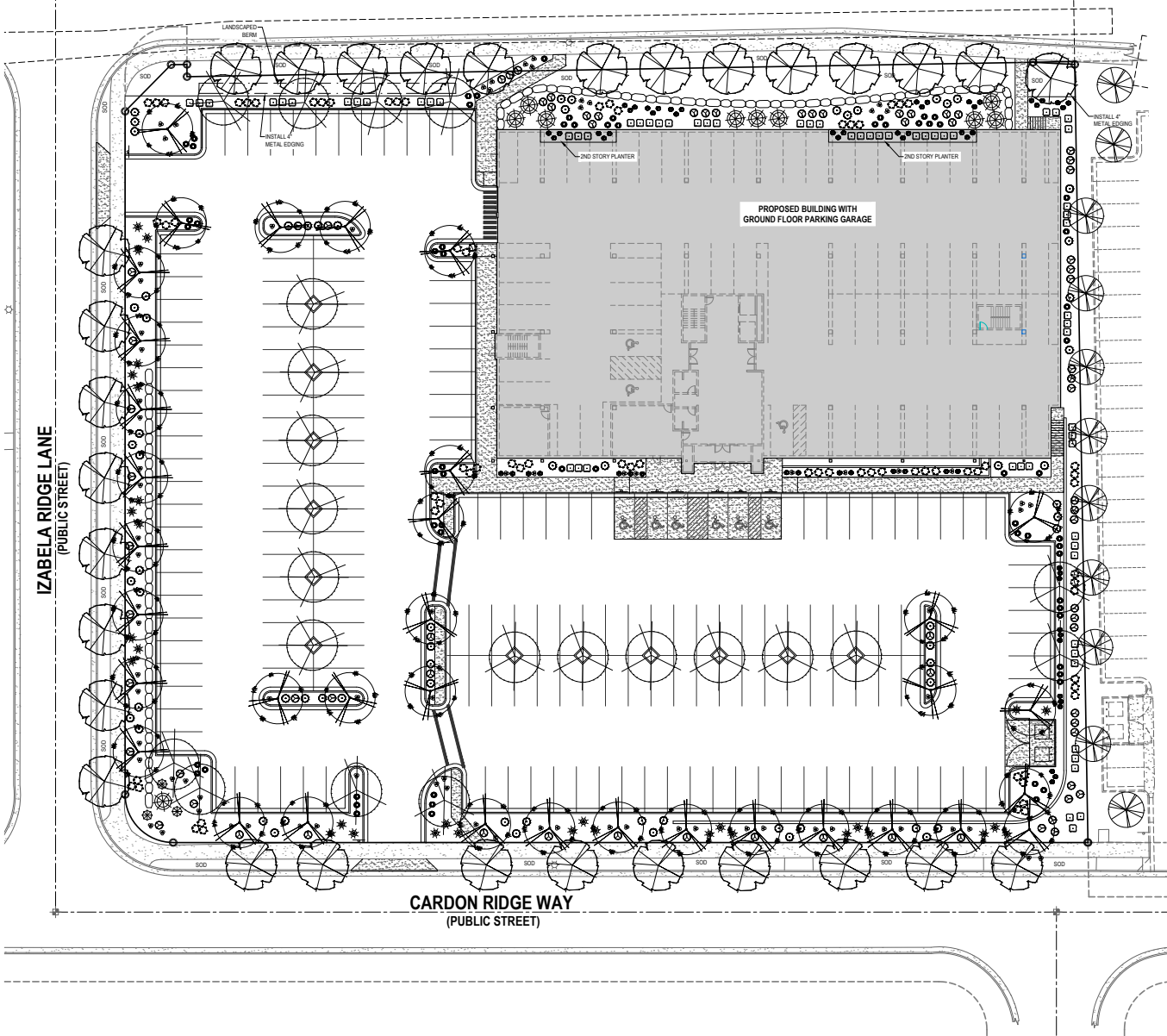
P905









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811

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@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK
EAST QUARTER CORNER
SECTION 10
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASIN AND MERIDIAN
ELEVATION = 4222.55



Trees					
Qty	Symbol	Common Name	Botanical Name	Plant Size	Mature Width
3		Dwarf Alberta Spruce	Picea glauca 'Conica'	7' Min.	5'
10		Bosnian Pine	Pinus leucodermis 'Heldreichii Compact Gem'	7' Min.	6'
22		Redbud, Eastern	Cercis canadensis	2" Cal.	35'
35		Green Ash	Fraxinus pennsylvanica var. lanceolata 'Palmore'	2" Cal.	35'
11		Off-site Trees	N/A	N/A	N/A
30		Maple, Norway	Acer platanoides 'Emerald Queen'	2" Cal.	40'

Shrubs			
Qty	Symbol	Common Name	Plant Size
72		Spiraea, 'Gold Flame'	5 Gallon
66		Barberry, 'Crimson Pygmy'	5 Gallon
74		Daphne	5 Gallon
67		Boxwood, Littleleaf	5 Gallon
32		Pine, Mugo	5 Gallon
63		Fountain Grass	1 Gallon
66		Blue Oat Grass	1 Gallon

Annuals-Perennials			
Qty	Symbol	Common Name	Plant Size
85		Daisy, Alma Potschke Michaelmas	1 Gallon

LANDSCAPE NOTES: ALL PLANTER BED AREAS ARE TO BE INSTALLED WITH 4" DEEP 2"-2" DIA. NEPHR ROCK & GRAVEL COLOR 'SOUTHTOWN' OR EQUIV.
DECORATIVE ROCK OVER WEED BARRIER.

LANDSCAPE CALCULATIONS:
TOTAL LANDSCAPE AREA = 2,387 SQ. FT.
TREES REQUIRED = # 180 - 41 TREES
ON-SITE TREES PROVIDED (BUILDING PARKING LOT TREES) = 64 TREES
PERCENTAGE EVERGREEN = 10 / 94 = 10% EVERGREEN



THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

FOR:
THREE DEVELOPMENT, LLC
651 WEST GALENA PARK BLVD., SUITE 102
DANVER, UTAH 84010
OWNER:
CHAS JOHNSON
PHONE:
801.496.3035

106 EXCHANGE II

489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH




PERMIT SET 2/5/2019

LANDSCAPE PLAN

PROJECT NUMBER: 1005
DESIGNER: W. BUDGE
PROJECT MANAGER: S. MORRIS

PROJECT DATE: 2/5/19
DRAWN BY: S. MORRIS
CHECKED BY: S. MORRIS

L-100

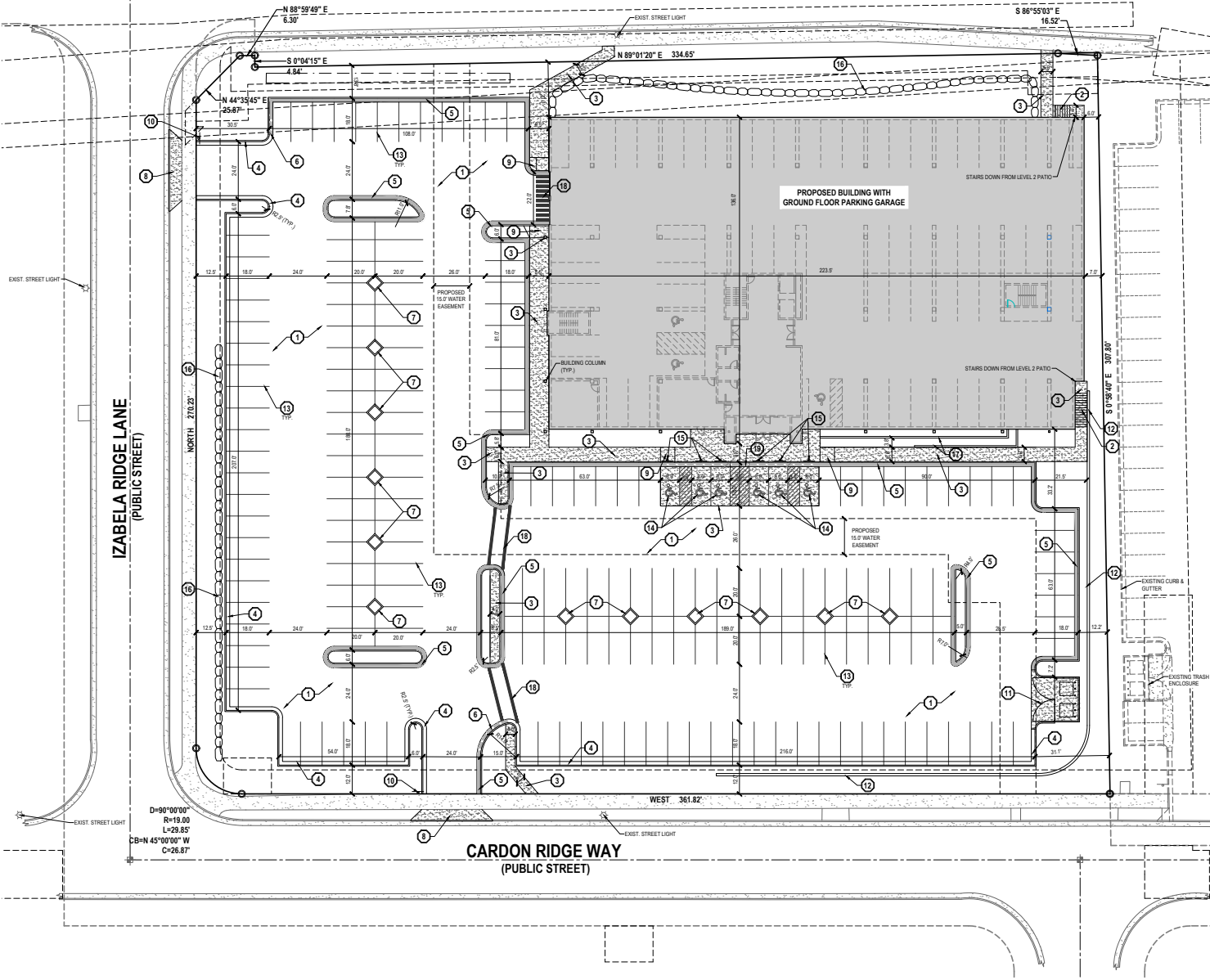


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CONSTRUCTION.
Call before you dig.
Call 801.468.3025

BENCHMARK

EAST QUARTER CORNER
SECTION 19
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
ELEVATION = 4222.00

SOUTH JORDAN PARKWAY
(UDOT CONTROLLED)



- GENERAL NOTES**
- ALL WORK TO COMPLY WITH SOUTH JORDAN CITY'S STANDARDS AND SPECIFICATIONS.
 - ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 - SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCOPE PATTERNS THROUGHOUT SITE.
 - ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 - ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SOIL, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 - NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 - THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.

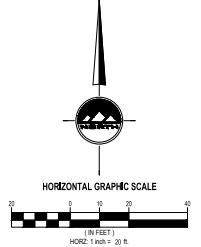
SCOPE OF WORK:
PROVIDE TOTAL WORKMAN CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 8" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL SIC-500.
- STAIRS IN SIDEWALK PER DETAIL SIC-500. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- 4" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
- 24" COLLECTION CURB AND GUTTER PER DETAIL SIC-500.
- 24" REVERSE PAN CURB AND GUTTER PER DETAIL SIC-500.
- TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- 5.0' TREE ISLAND WITH 4" CURB WALL PER APWA STANDARD PLAN NO. 209 TYPE P AND SPECIFICATIONS.
- OPEN DRIVEWAY APPROACH PER APWA STANDARD PLAN NO. 225 AND SPECIFICATIONS.
- HANDICAP ACCESS RAMP PER APWA STANDARD PLAN NO. 235 PER APWA STANDARD PLAN NO. 238 AND SPECIFICATIONS.
- "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
- TRASH ENCLOSURE WITH 6" THICK CONCRETE APRON WITH #4 REBAR @ 24" O.C. E-W ON 6" GRAVEL BASE PER DETAIL SIC-500.
- VERTICAL BLOCK RETAINING WALL. SEE GRADING PLAN FOR ELEVATION INFORMATION. SEE DETAIL 11C-500.
- 4" WIDE SOLID WHITE PAVEMENT MARKING PER M.U.T.C.D. STANDARD PLANS.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER M.U.T.C.D. STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER DETAIL 4C-500.
- ROCK RETAINING WALL PER DETAIL 13C-400. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- SEGMENTED WALL WALL PER DETAIL 13C-400. SEE GRADING PLAN FOR ELEVATION INFORMATION.
- CROSSWALK MARKINGS PER MUTCD STANDARD PLANS.
- 24" CONCRETE CURB AND GUTTER WITH 0" CURB FACE.

SITE SUMMARY TABLE		
DESCRIPTION	AREA (SF)	PERCENTAGE
PAVEMENT / LANDSCAPE	65,951	57%
BUILDING FOOTPRINT	29,020	25%
LANDSCAPING	20,931	18%
TOTAL SITE	115,902	100%

- FLOOR AREA CALCULATION (SQ. FT.):**
- LEVEL 1 (PARKING LEVEL)
 - LEVEL 2: 21,651 (GENERAL OFFICE)
 - LEVEL 3: 21,651 (GENERAL OFFICE)
 - LEVEL 4: 21,651 (GENERAL OFFICE)
 - LEVEL 5: 10,029
 - TOTAL: 74,982 SQ. FT.
- PARKING CALCULATIONS:**
- TOTAL: 300 SQ. FT. GENERAL OFFICE
 - 14,892 SQ. FT. 7,300 + 750 STALLS REQUIRED
 - 251 STALLS AVAILABLE

PARKING DATA TABLE	
SURFACE STANDARD STALLS	180
SURFACE HANDICAP-ACCESSIBLE STALLS	6
GARAGE STANDARD STALLS	62
GARAGE HANDICAP-ACCESSIBLE STALLS	3
TOTAL STALLS PROVIDED	251





EN SIGN
THE STANDARD IN ENGINEERING

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LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.866.2983

WWW.ENSIGNENG.COM

FOR:
THREE DEVELOPMENT, LLC
651 WEST GALENA PARK BLVD, SUITE 102
WARRIOR, UTAH 84050
CONTACT:
CHAS JOHNSON
PHONE: 801.468.3025

106 EXCHANGE II

489 WEST SOUTH JORDAN PARKWAY
SOUTH JORDAN, UTAH



REGISTERED PROFESSIONAL ENGINEER
2-4-19
\$158114-2182
BRADEN D.
BRADEN D. Braden

SITE PLAN

PROJECT NUMBER	1035	PROJECT DATE	2/1/20
DRAWN BY	M. BUDGE	CHECKED BY	S. MORRIS
PROJECT MANAGER	S. MORRIS		

C-100

PHASE IV

SMRTL

(Not a part)

SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 3-12-2019

Application: **ROCKY MOUNTAIN POWER
SOUTH JORDAN TO DRAPER LINE UPGRADE
CONDITIONAL USE PERMIT**

File No.: PLCUP201800742
Applicant: Rocky Mountain Power/Lisa Romney

Submitted By: Greg Schindler, City Planner

Staff Recommendation (Motion Ready):

Approve with Conditions file no. PLCUP201800742 as submitted.

I. CONDITIONAL USE REVIEW:

A use is conditional because it may have unique characteristics that detrimentally affect the zone and therefore are not compatible with other uses in the zone, but could be compatible if certain conditions are required that mitigate the detrimental effect.

To impose a condition, the detrimental effect must be identified and be based on substantial evidence, not simply a suspicion or unfounded concern. Any condition must be the least restrictive method to mitigate the detrimental effect.

II. BACKGROUND:¹

Rocky Mountain Power (RMP) filed a Conditional Use Permit (CUP) application proposing to upgrade an existing power line (transmission line) from 46 kV to 138 kV and to upgrade 29 pole structures (generally referred to as “proposed work” or “proposal”).² The location of the proposal will run from the South Jordan substation located at 10735 South Redwood Road to the Draper substation located at approximately 500 West 12300 South.³ The proposal will follow the same path as the existing lines, generally through and adjacent to the rear, side and sometimes front property lines of lots and parcels.⁴ RMP submitted all the recorded easements that show that it has rights to perform the proposed work at the proposed location. This transmission line has already been upgraded from 46 kV to 138 kV north and south of the area designated on the current CUP application.

¹ All support documents that have been received by staff regarding this application, can be viewed on the South Jordan City website at <http://www.sjc.utah.gov/planning-zoning/rmp-south-jordan-to-draper-line-upgrade/>

² See website documents “RMP-Application” and “138 kV Structure.”

³ See website document “Project Fact Sheet.”

⁴ See website documents “Easement Maps-Stamped by Surveyor” and “Structure Scoping Sheet.”

III. **DETRIMENTAL EFFECTS (as raised by the residents or identified by staff.):**⁵

A. *Easements:*

The residents are concerned that the RMP easements are insufficient and/or invalid for RMP to do the proposed work.⁶ Some residents requested mediation from the Office of the Property Rights (Ombudsman) to resolve the easement issue, which was accepted by the Ombudsman.⁷ To date, the outcome of the mediation has yet to be determined.

RMP responded to the residents' concerns by stating that it does have sufficient easements to do the proposed work.⁸ Nonetheless, it is RMP's position that the easement dispute is a dispute between RMP and the residents, not the City. According to RMP, it is outside the scope of the Planning Commission to consider the easement issue. Likewise, RMP believes that the Planning Commission may not condition the CUP on the easement issue.

B. *Electromagnetic Fields:*

The residents are concerned that the proposed work will produce more electrometric fields (EMFs) than the current transmission line. Based on the resident's research, the residents believe that the increase in EMFs will increase health related issues (mainly cancer).⁹

RMP contends that there is not any scientific studies that prove negative health impacts caused by EMFs.¹⁰ RMP submitted documents from the National Cancer Institute (NCI) and the National Institute of Environmental Health Sciences (NIEHS). The NCI studies have stated that no mechanism has been identified by which EMFs, such as power lines, computers, radios or televisions, could cause cancer.¹¹ The NIEHS also states that there is no definitive connection between cancer rates and EMFs.¹² Nonetheless, RMP plans to use "no-cost" measures to reduce EMFs through alternative arrangements and phasing.¹³

C. *Safety and Design:*

The residents are concerned with 'other' safety aspects of the proposed work, including clearances, structure strength, foundation design, power line fires, and stray voltage.¹⁴

RMP provided a letter from Vernon Black, P.E., a registered professional engineer certifying the design of the project meets and/or exceeds all industry and PacifiCorp standards and best practices

⁵ The residents have discussed their concerns during Planning Commission meetings, City Council meeting, City Council work sessions, and individually with elected officials and staff. All comments were uploaded at the website listed above. However, the residents may raise additional concerns at the CUP hearing.

⁶ See generally website documents regarding "Citizen Comment."

⁷ See website document "Official Mediation Letter & Application."

⁸ See website document "Response Letter."

⁹ See generally website document "Citizen Comment"

¹⁰ See website document "Clearance Requirements and EMF Mitigation."

¹¹ See website document "EMF National Cancer Society."

¹² See website document "EMF National Institute of Environmental Health Sciences."

¹³ *Id.*

¹⁴ See website document from Lyman Moulton.

for ensuring public safety.¹⁵ The letter also stated that project design also included adherence to the 2017 National Electrical Safety Code (NESC).¹⁶ RMP also provided information regarding stray voltage.¹⁷ The document references several sources including the Institute of Electrical and Electronics Engineers (IEEE), the U.S. Department of Agriculture (USDA) and the Public Service Commission of Wisconsin. The key statement included in the RMP document states: “Stray voltage is not related to power system faults, and is generally not considered hazardous.”

D. *Property Values:*

The residents are concerned that (1) the proposed work will decrease their property values and/or (2) prohibit new buyers from purchasing their properties because lenders will not lend on properties adjacent to the increased voltage line.¹⁸

RMP responded to the residents’ first concern by submitting a letter from Troy Lunt of Integra Realty Resource, wherein Mr. Lunt provided his opinion that the upgrade in the line from 46 kV to 138 kV, would have “no impact or very nominal impact” on the value of the homes proximate to the line.¹⁹ Mr. Lunt based his opinion on a study he and two co-authors undertook where they analyzed 350,000 homes and 100,000 sales in Salt Lake County that occurred between 2001 and 2014. The Study itself does state that homes “within 50 meters of these lines [138kV]see a 5.1% decrease in value....”²⁰ Further there is a decrease of 2.9 % to a home located 50 to 100 meters.”²¹ Finally that there is no decrease in value to a home within 50 to 100 meters of the 46 kV line but that there is a 2.5% decrease in value for a home located 50 to 100 meters from a 46 kV line.²²

RMP has not responded to the residents’ second concern but this concern was only recently submitted to RMP. It is anticipated that RMP will address this concern at the CUP hearing.

E. *Other Issues - Alternative Routes and Non-Compliance with RMP’s Guidelines:*

The residents have requested that the City demand the “alternative routes” or “scorecards” that RMP considered before submitting their CUP application.²³ The residents are also concerned that RMP has not followed its own policies and guidelines.²⁴

RMP has not formally responded to the City’s request on behalf of the residents, but has informally stated that RMP did not conduct an “alternative route study” and is compliant with applicable policies and guidelines.

¹⁵ See website document “Line Safety and Design Requirements;” see also website document “Horizontal and Vertical Clearance for Wires.”

¹⁶ *Id.*; see also website document “Clearance Requirements and EMF Mitigation.”

¹⁷ See website document “Stray Voltage Explanation.”

¹⁸ See website document from Paula Gordon, Kish North, Dave Kowallis, and Camie Hodlmair.

¹⁹ See website document “Real Estate Impact Letter.”

²⁰ See website document “Real Estate Impact Letter. P 213 under “Results Summary”

²¹ See website document “Real Estate Impact Letter. P 213 under “Results Summary”

²² See website document “Real Estate Impact Letter. P 213 under “Results Summary”

²³ See website documents “02-05-2019 Citizen Comment Jana Fullmer,” “CC 12-04-2018 Citizen Comment Chris Nelson,” and “CC 12-04-2018 Citizen Comment Rynda Clyde.”

²⁴ See website document “PC 10-09-2018 Citizen Comment Jana Fullmer Attachment C.”

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATIONS:

Findings:

- *Easements.* After thorough review, staff agrees that the Planning Commission may not determine the validity of the recorded easements. However, as with any person or entity proposing to do work in the City, the City needs assurances that the person or entity has legal authority to do that work. This case is no different. Even though RMP submitted all the recorded easement documents with an associated location map, the residents have raised concerns that the easements are not sufficient for RMP to perform its proposed work. To resolve this concern, the residents requested that the Ombudsman resolve the easement dispute. Because there is a pending dispute with a body that has statutory authority to address and opine on such disputes (recognizing that the Ombudsman decision is not binding), the pending easement dispute does not give the City assurance that RMP has the proper easements to do its proposed work. Accordingly, if the Planning Commission approves the CUP, staff recommends that the Planning Commission attached the following condition to mitigate the anticipated detrimental effect:

Before RMP commences its proposed work, this conditional use permit is conditioned on:

1. *The Ombudsman finding that the easements are legally sufficient to do the proposed work; or*
 2. *RMP acquiring easements that are legally sufficient to do the proposed work. “Acquiring” may include, among other things, RMP’s statutory right of condemnation or through negotiated agreements with the property owners.*
- *EMFs.* Even though both parties have submitted some form of documentation that states their position on the EMF issue, neither party has submitted expert testimony validates their statements. The evidence submitted seems to conflict or is inconclusive. Additionally, there is no federal or state agency that regulates EMFs. Based on the lack of regulation, it is unlikely that EMF may be a detrimental effect that could be upheld in court.
 - *Safety and Design.* Staff recommends the Planning Commission weigh the evidence presented.
 - *Property Values.* Staff recommends that if a devaluation of property is shown to be a valid anticipated detrimental effect, staff proposes the following condition be attached to mitigate that detrimental effect:

Before RMP commences its proposed work, this permit is conditioned on RMP completing appropriate property value analysis and mitigation.

- *Other Issues - Alternative Routes and Non-Compliance with RMP’s Guidelines.* The alternative route issue is not an issue that the Planning Commission can consider because it is a legislative issue.

Conclusion:

Based on the application materials and the findings listed above, if substantial evidence is presented at the hearing, the proposal may have at least two reasonably anticipated detrimental effects: (1) sufficient easement scope; and (2) decreased property values. Notwithstanding, any condition imposed must be the least restrictive method to mitigate the detrimental effect.

Recommendation:

Staff recommends that the Planning Commission take comments at the public hearing and approve (with the conditions stated herein and other necessary conditions) the Conditional Use Permit Application File No. PLCUP201800742 for the installation of an upgraded 138 kV power line and associated replacement power line support structures between the South Jordan power substation located at 10735 South Redwood Road and the Draper power substation located at approximately 500 West 12300 South, unless during the hearing, facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by staff.

ALTERNATIVES:

- Deny the Conditional Use Permit.
- Modify the conditions for approval.
- Schedule the decision for a later date not to exceed the allowed timeframe.

SUPPORT MATERIALS:

- Location Map
- Easement Location Maps

South Jordan - Draper Rebuild



Legend

--- Proposed Transmission Centerline Rebuild

Existing Right-of-Way

--- No Set Width

--- Set Width

--- Parcels on Project

--- Municipal Boundaries

--- Interstates

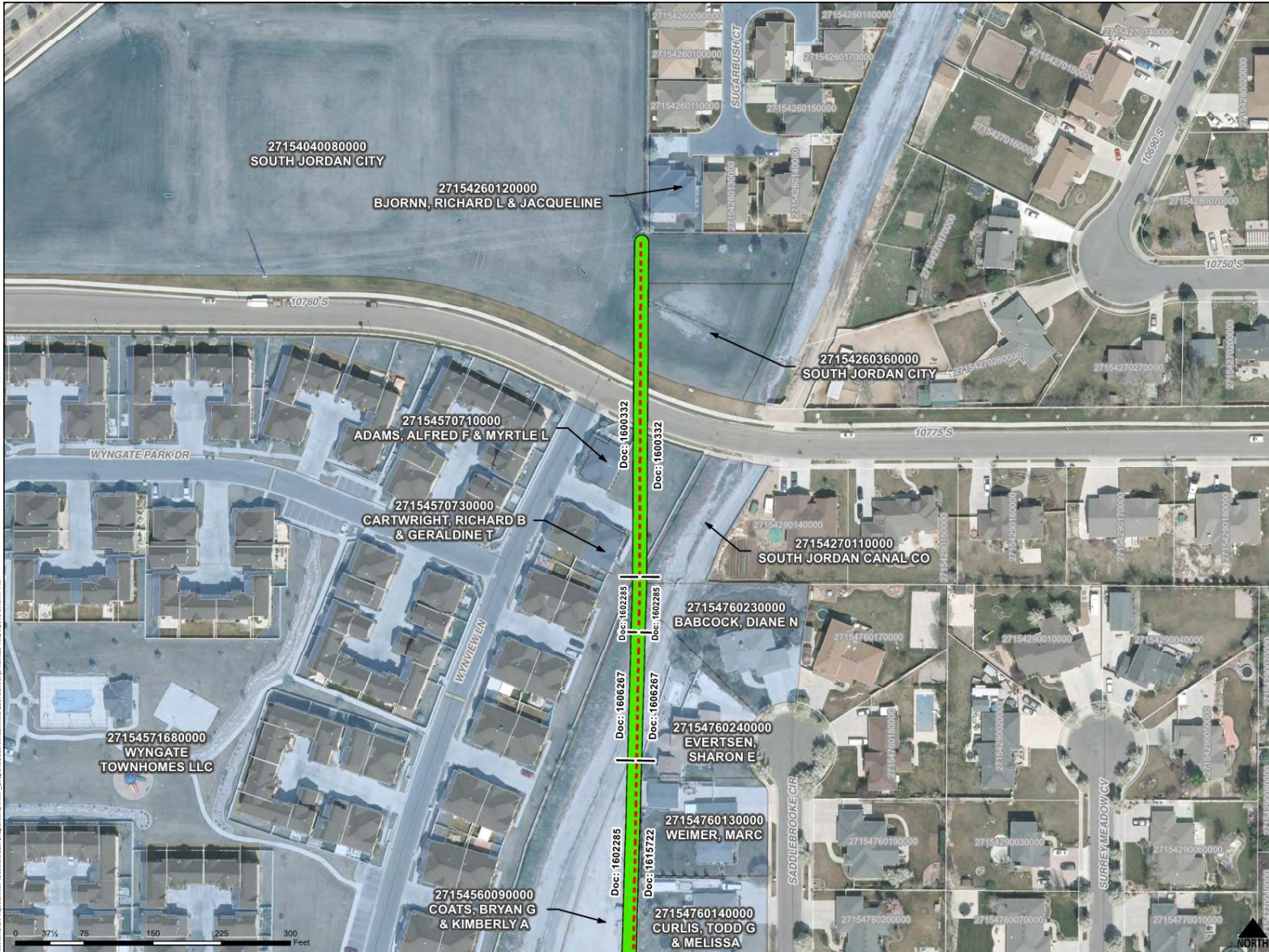
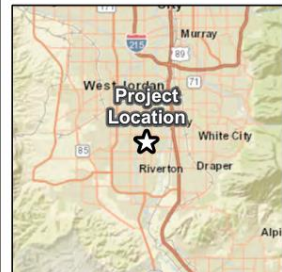
--- Highways

--- State Roads

--- Major Roads

--- Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



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South Jordan - Draper
Rebuild



Legend

--- Proposed Transmission
Centerline Rebuild

Existing Right-of-Way

Green line: No Set Width

Orange line: Set Width

Blue outline: Parcels on Project

Black outline: Municipal Boundaries

Thick black line: Interstates

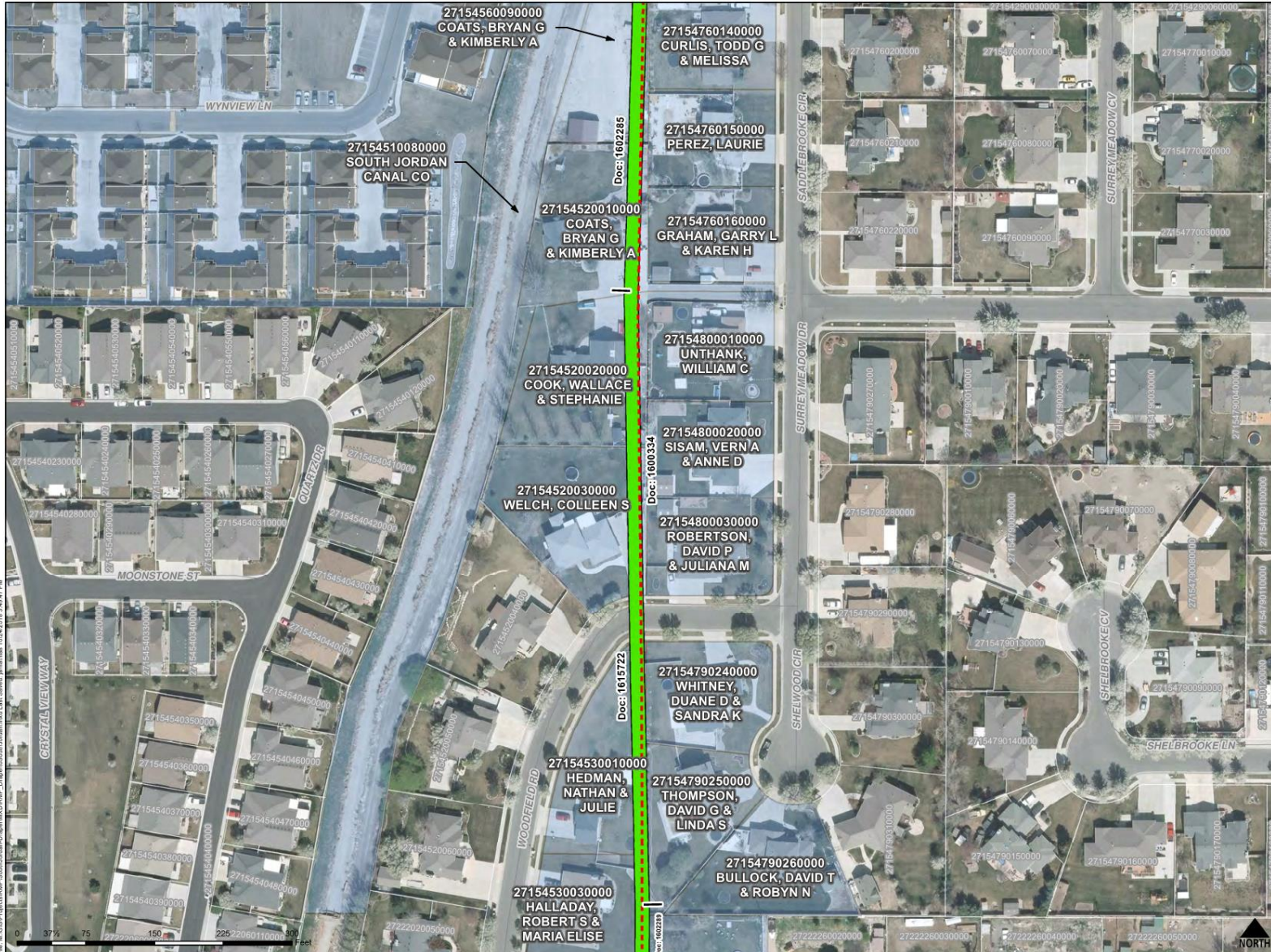
Thin black line: Highways

Thin black line: State Roads

Thin black line: Major Roads

Thin black line: Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



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South Jordan - Draper Rebuild



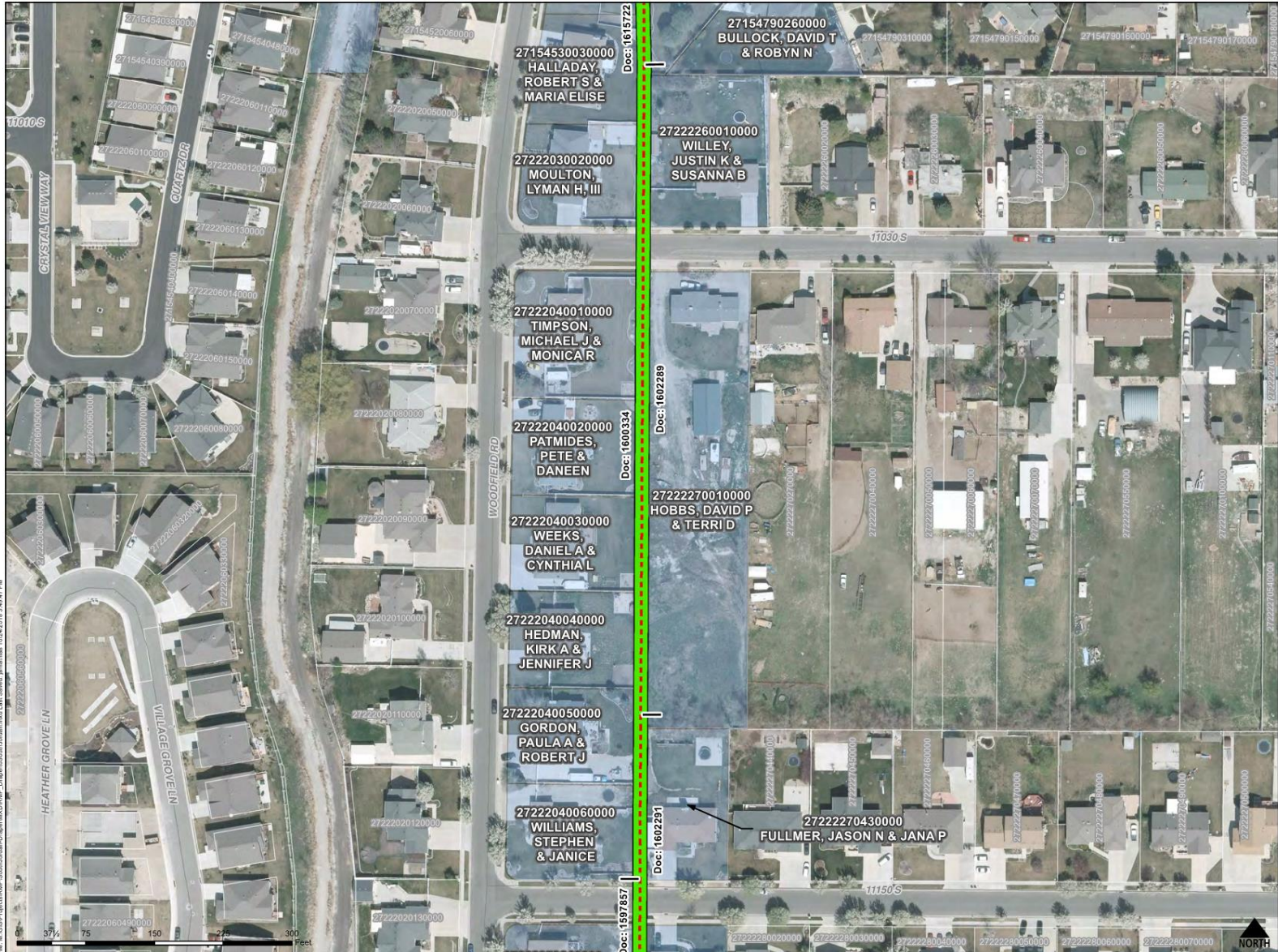
Legend

**Proposed Transmission
Centerline Rebuild**

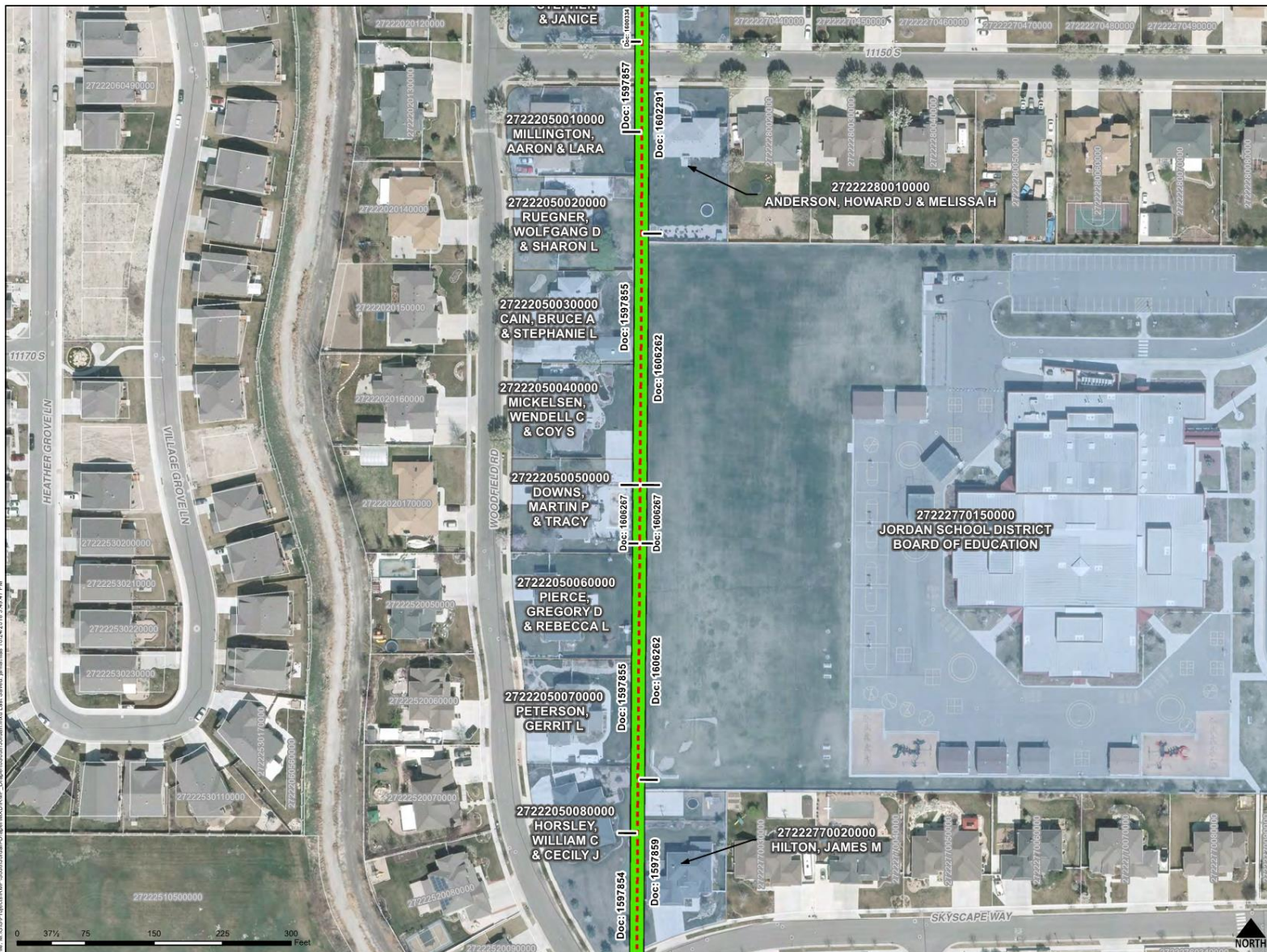
Existing Right-of-Way

- No Set Width
- Set Width
- Parcels on Project
- Municipal Boundaries
- Interstates
- Highways
- State Roads
- Major Roads
- Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



South Jordan - Draper Rebuild



Legend

--- Proposed Transmission
Centerline Rebuild

Existing Right-of-Way

--- No Set Width

--- Set Width

--- Parcels on Project

 Municipal Boundaries

--- Interstates

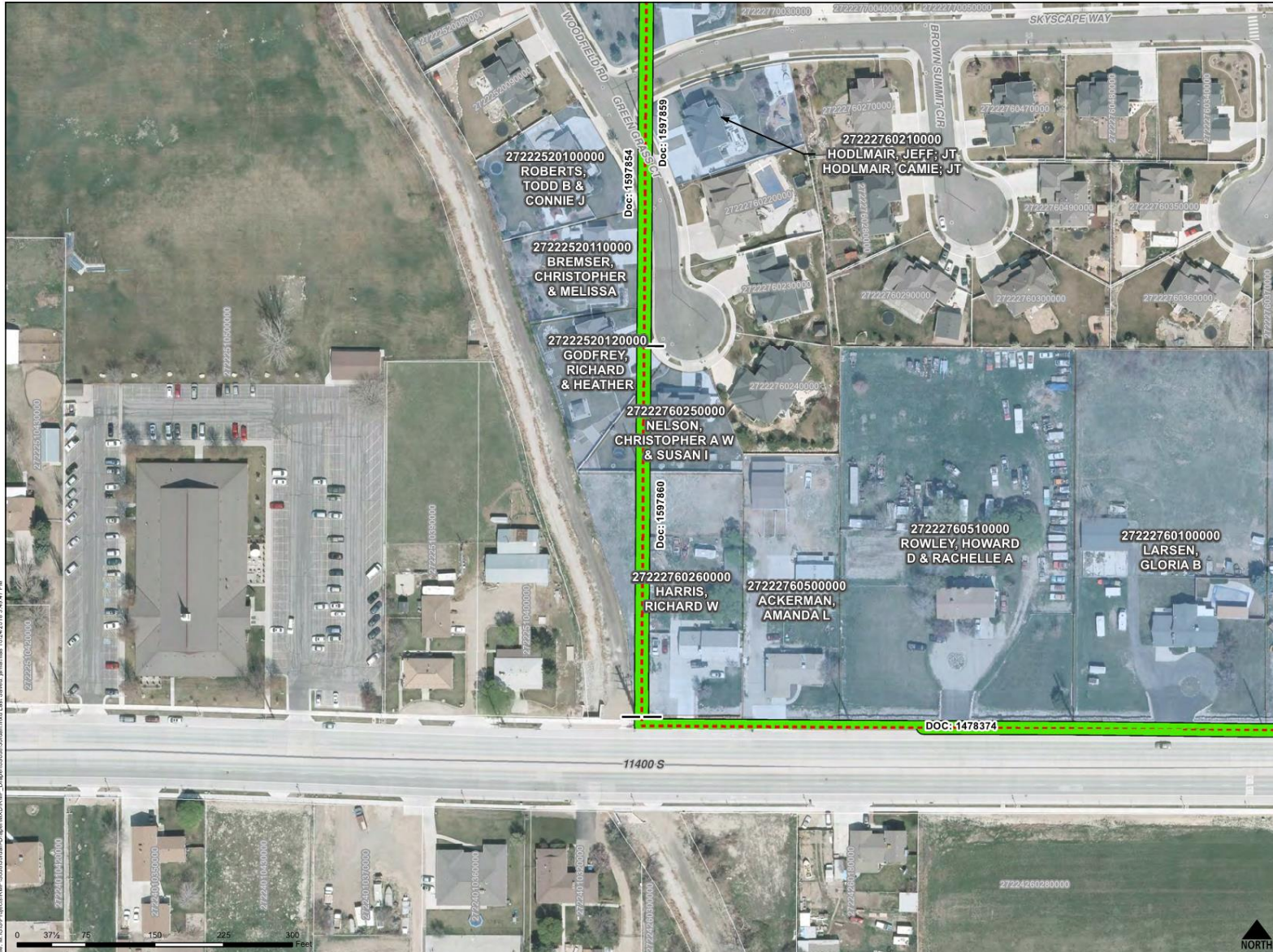
--- Highways

--- State Roads

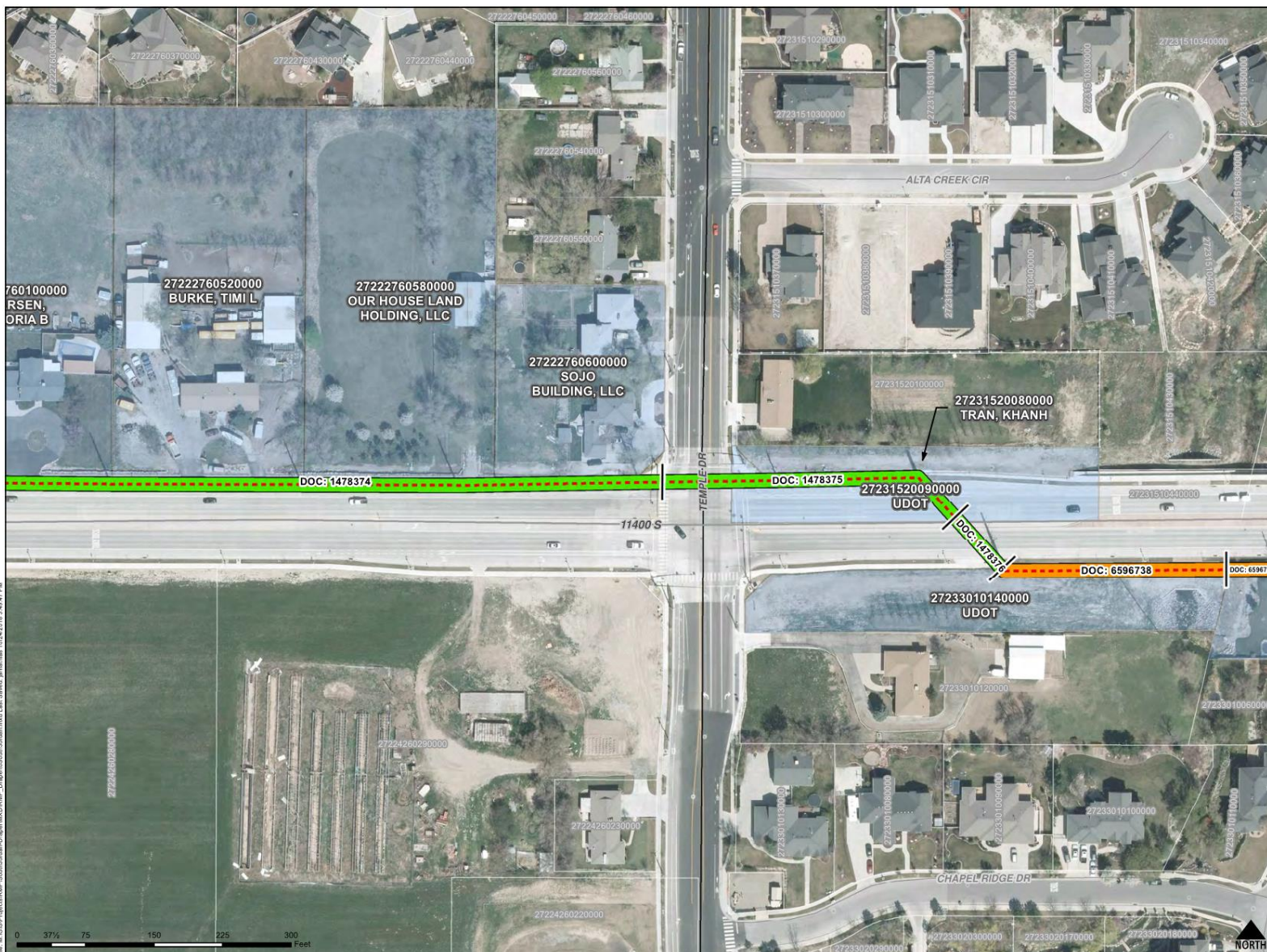
--- Major Roads

--- Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



—— Surface Streets



South Jordan - Draper Rebuild



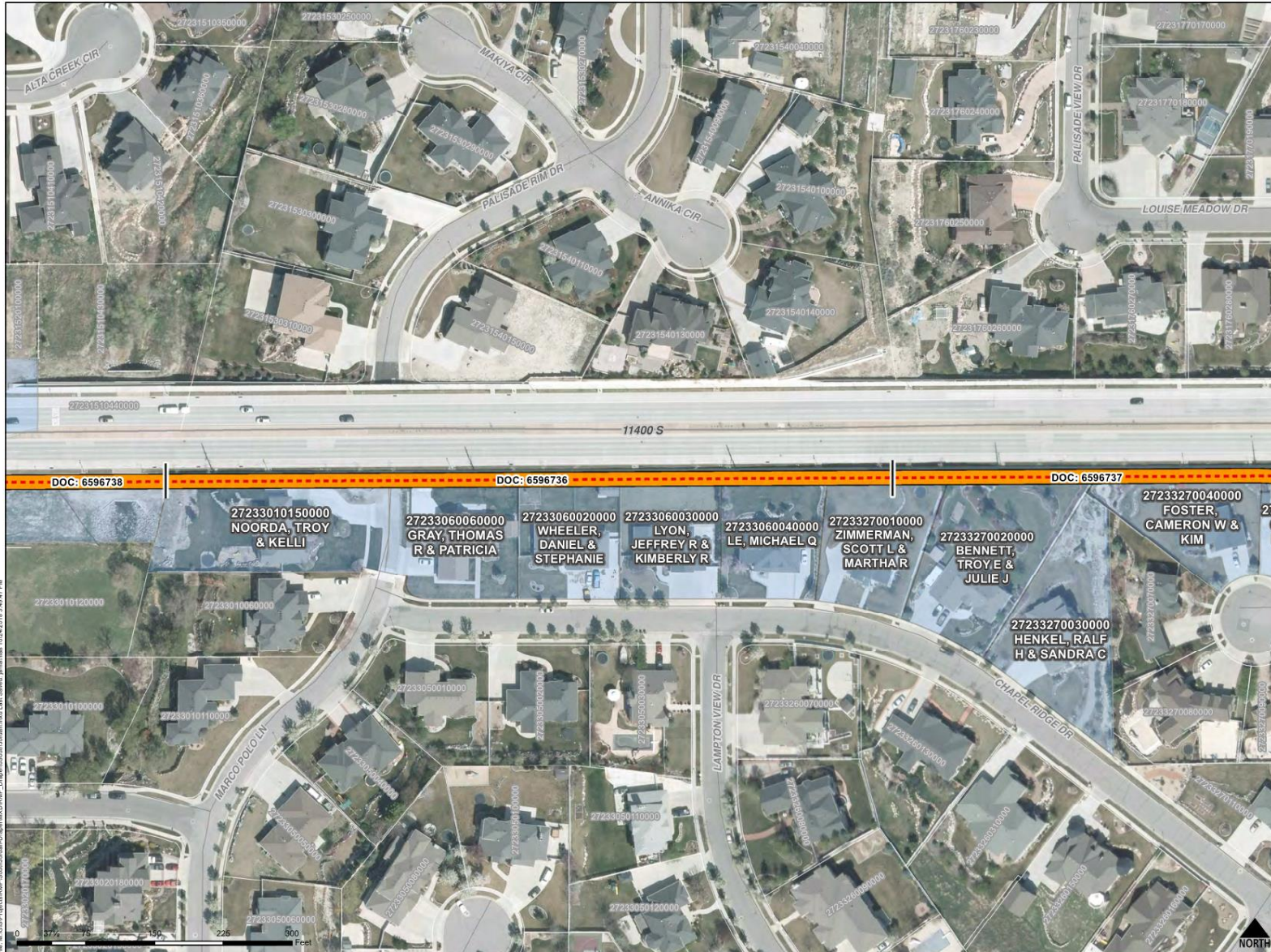
Legend

--- Proposed Transmission
Centerline Rebuild

Existing Right-of-Way

- No Set Width
- Set Width
- Parcels on Project
- Municipal Boundaries
- Interstates
- Highways
- State Roads
- Major Roads
- Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



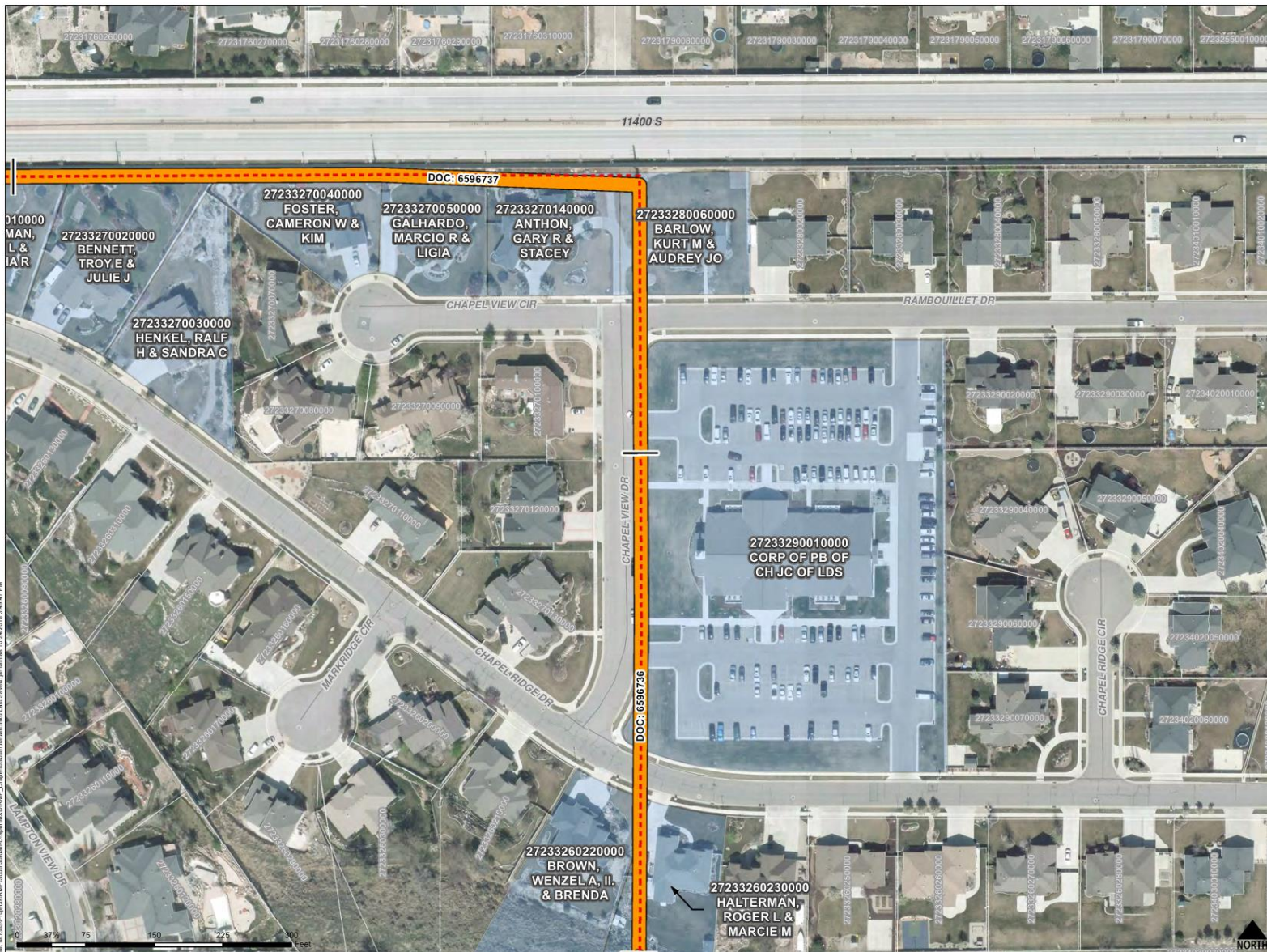


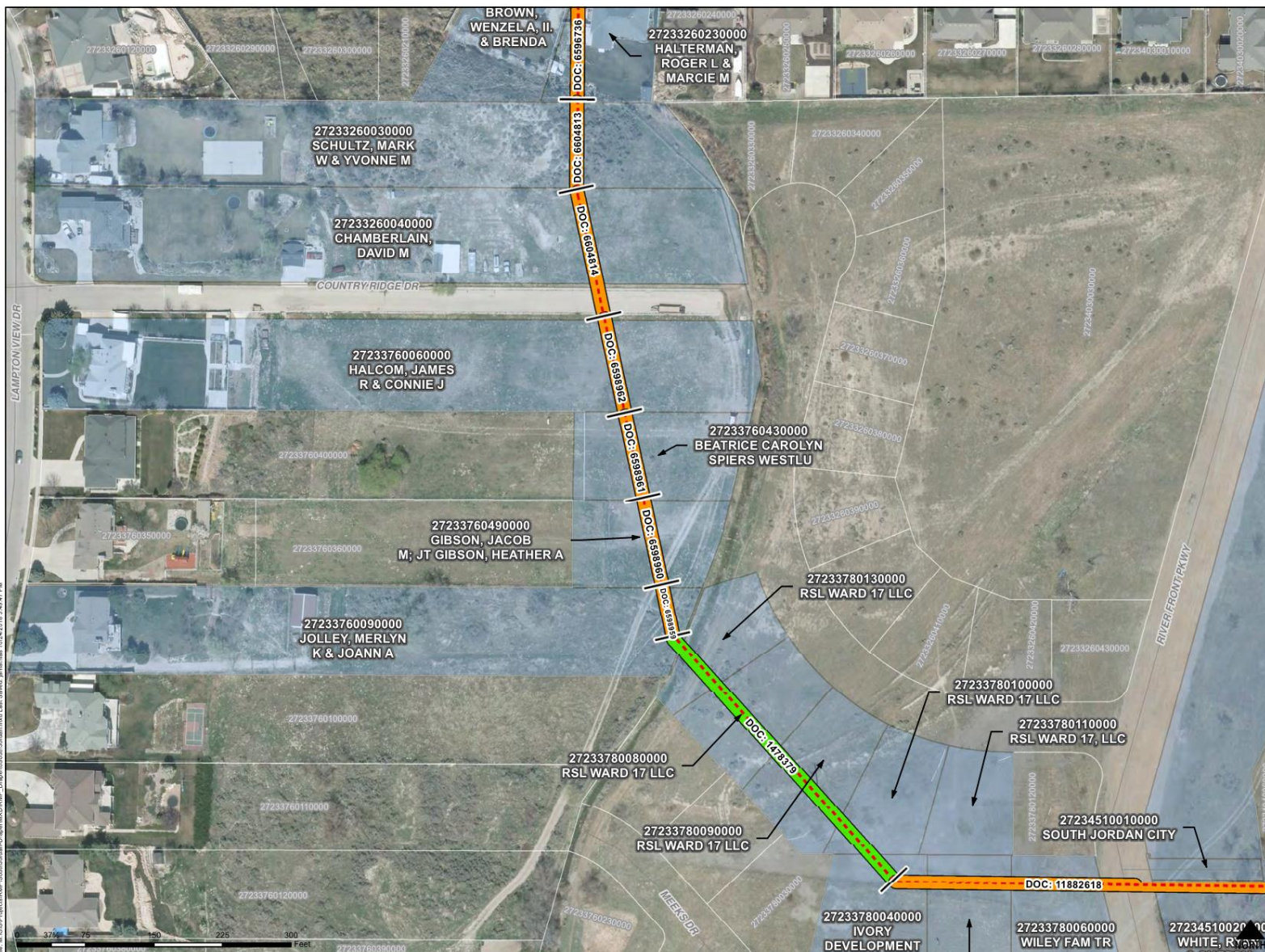
--- Proposed Transmission
Centerline Rebuild

 No Set Width

-  Set Width
-  Parcels on Project
-  Municipal Boundaries
-  Interstates
-  Highways
-  State Roads
-  Major Roads
-  Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US





South Jordan - Draper Rebuild



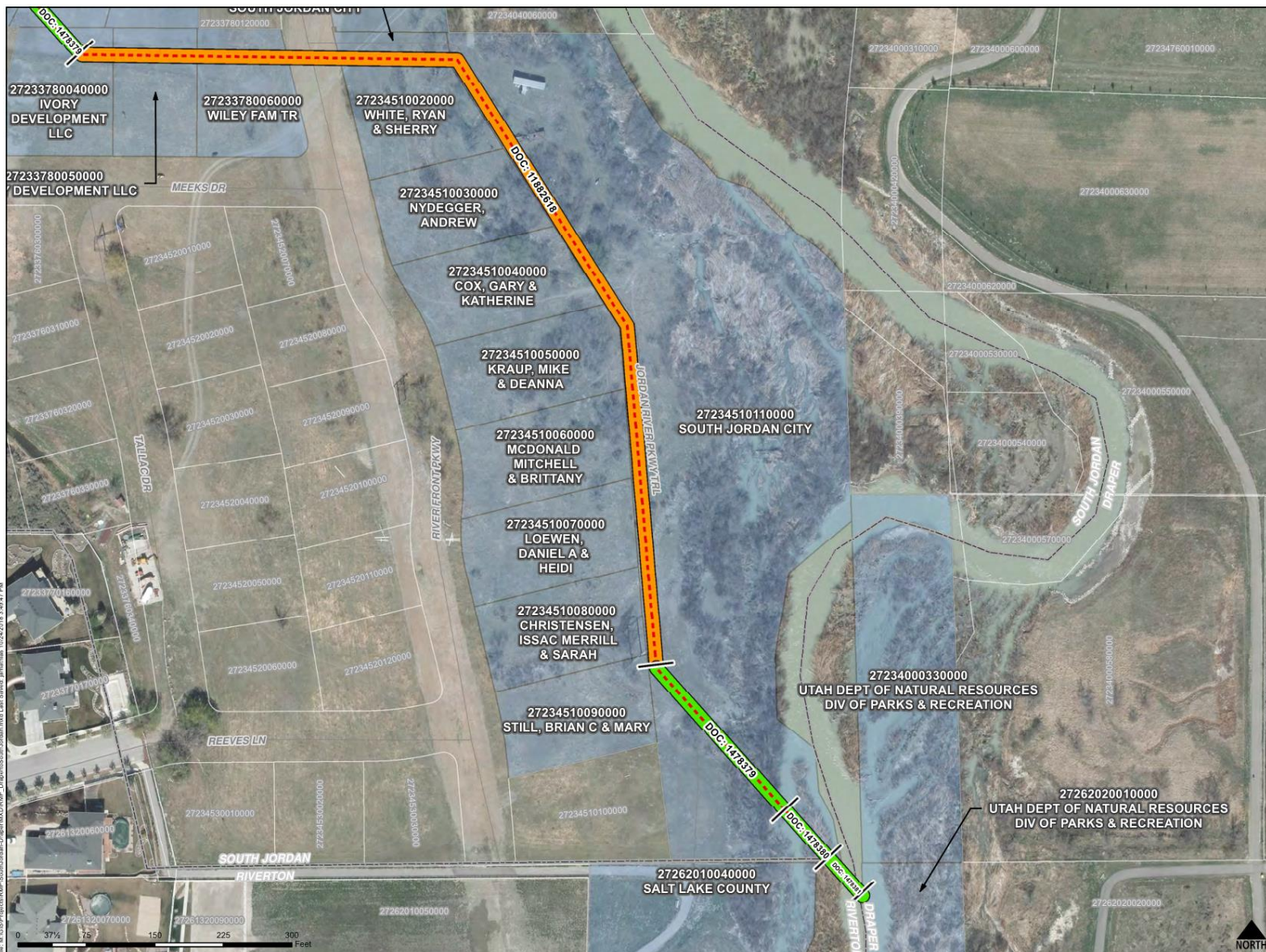
Legend

--- Proposed Transmission Centerline Rebuild

Existing Right-of-Way

- No Set Width
- Set Width
- Parcels on Project
- Municipal Boundaries
- Interstates
- Highways
- State Roads
- Major Roads
- Surface Streets

Coordinate System:
NAD 1983 StatePlane Utah Central FIPS 4302 Feet
Projection: Lambert Conformal Conic
Datum: North American 1983
Units: Foot US



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SOUTH JORDAN CITY PLANNING COMMISSION REPORT

Meeting Date: 03/12/2019

Issue: ASHCROFT ACRES SUBDIVISION
PRELIMINARY SUBDIVISION PLAT

Address: 10700 S. 1055 W.

File No: SUB-2016.01

Applicant: Charles Judd, J Lamar Holdings, Inc.

Submitted by: Damir Drozdek, Planner III
Shane Greenwood, Supervising Senior Engineer

Staff Recommendation (Motion Ready):

- **Approve** the Ashcroft Acres preliminary subdivision plat, File No. SUB-2016.01.
-

ACREAGE:	Approximately 5 acres
CURRENT ZONE:	R-1.8 (Single-Family Residential, 1.8 lots per acre)
CURRENT USE:	Single-family residence
FUTURE LAND USE PLAN:	RURAL (Rural Residential, up to 1.8 lots per acre)

NEIGHBORING ZONES/USES:	North – A-5 / Vacant raw field
	South – A-5 / Single-family residence
	West – R-1.8 / Single-family residential subdivision
	East – A-5 / 1055 West street

STANDARD OF APPROVAL:

Once all application requirements have been met, redline corrections made, revised plans and plat submitted and city staff approval given, the preliminary subdivision plat application will be scheduled on the Planning Commission agenda for a public hearing at which public comment will be taken. Notice of the public hearing shall be provided in accordance with chapter 16.04 of this title. The Planning Commission shall receive public comment at the public hearing regarding the proposed subdivision. The Planning Commission may approve, approve with conditions or if the project does not meet City ordinances or sanitary sewer or culinary water requirements, deny the preliminary subdivision plat application.

City Code § 16.10.060

BACKGROUND:

The proposed subdivision is located at approximately 10700 South 1055 West. The City Council designated 1055 West street as a “Historical Route” with Resolution R2015-18 on March 17, 2015. The road cross-section was also adopted that includes 20 feet of paved road surface within the right-of-way

(ROW) and drainage swales on both sides of the road. The swales are located outside of the ROW and are privately owned and maintained. There is no sidewalk or curb and gutter on this road.

As previously mentioned, the proposed subdivision will be accessed by 1055 West. It will contain nine (9) lots and one (1) parcel. The road (Harvest Pointe Cove) coming off 1055 West will transition into a standard city road (55-foot ROW) including curb/gutter, parkstrip and sidewalk. The road surface is 28 feet wide. The road will terminate in a cul-de-sac with a sufficiently wide turnaround to meet the City standards and requirements. Sidewalks along the road will terminate at the intersection of 1055 West and Harvest Pointe Cove.

Parcel A is a storm water detention pond that is proposed to be fenced off by a six-foot-tall vinyl fence on its east, south and west boundary, and by a six-foot-tall masonry wall on the north boundary. Parcel A will be privately owned and maintained, and will not be landscaped because it will be completely screened from view by fences. Harvest Pointe Cove is a public street and will include all of the standard public infrastructure (e.g. street lights and signage). A portion of the existing 1055 West street will be dedicated to the City, but no significant changes or improvements will be made to 1055 West.

The developer will construct a six-foot decorative masonry wall along the entire south boundary of the subdivision (lots 5-8). The developer will also construct a masonry wall along the north boundary of lots 1 and 2. City Code does not require fencing along the west subdivision boundary.

STAFF FINDINGS, CONCLUSIONS & RECOMMENDATION:

Findings:

- The proposed development is located in the R-1.8 zone. The zone allows for up to 1.8 lots per acre. The Ashcroft Acres subdivision will have density of 1.76 lots per acre.
- All of the lots meet the minimum zoning requirements (e.g. lot size and lot frontage).
- The cul-de-sac street and the improvements on 1055 West street along the frontage of the project will meet the minimum City Code standards and requirements.

Conclusion:

- The proposed preliminary subdivision plat application meets the City Code requirements and thus should be approved.

Recommendation:

- Based on the Findings and Conclusions listed above, Staff recommends that the Planning Commission take comments at the public hearing and **approve** the Application, unless during the hearing facts are presented that contradict these findings or new facts are presented, either of which would warrant further investigation by Staff.

FISCAL IMPACT:

- Generally, the cost of providing services to residential uses exceed the revenues generated by such uses. This project should follow the trend.

ALTERNATIVES:

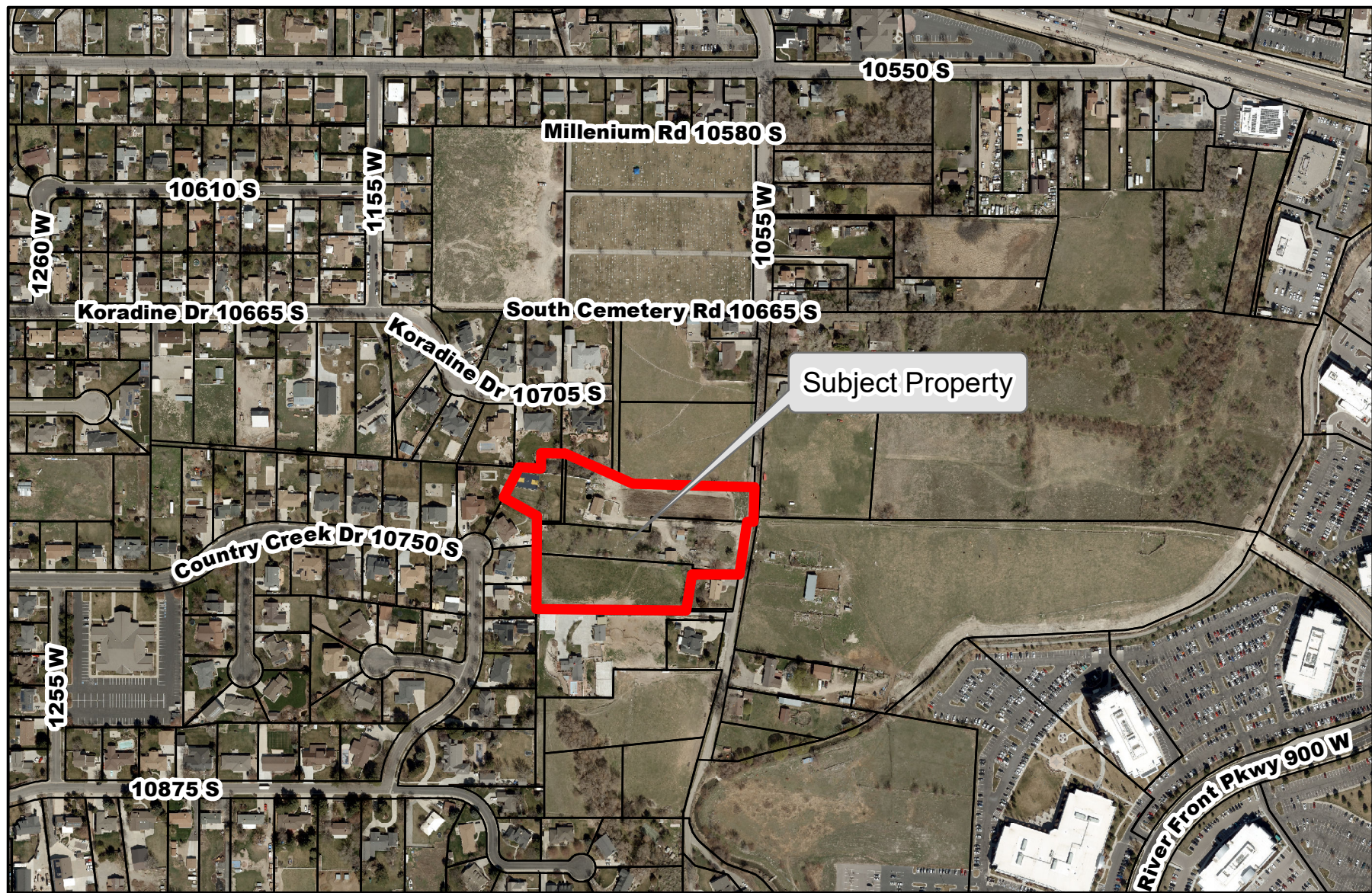
- Approve an amended Application.
- Deny the Application.
- Schedule the Application for a decision at some future date.


SUPPORT MATERIALS:

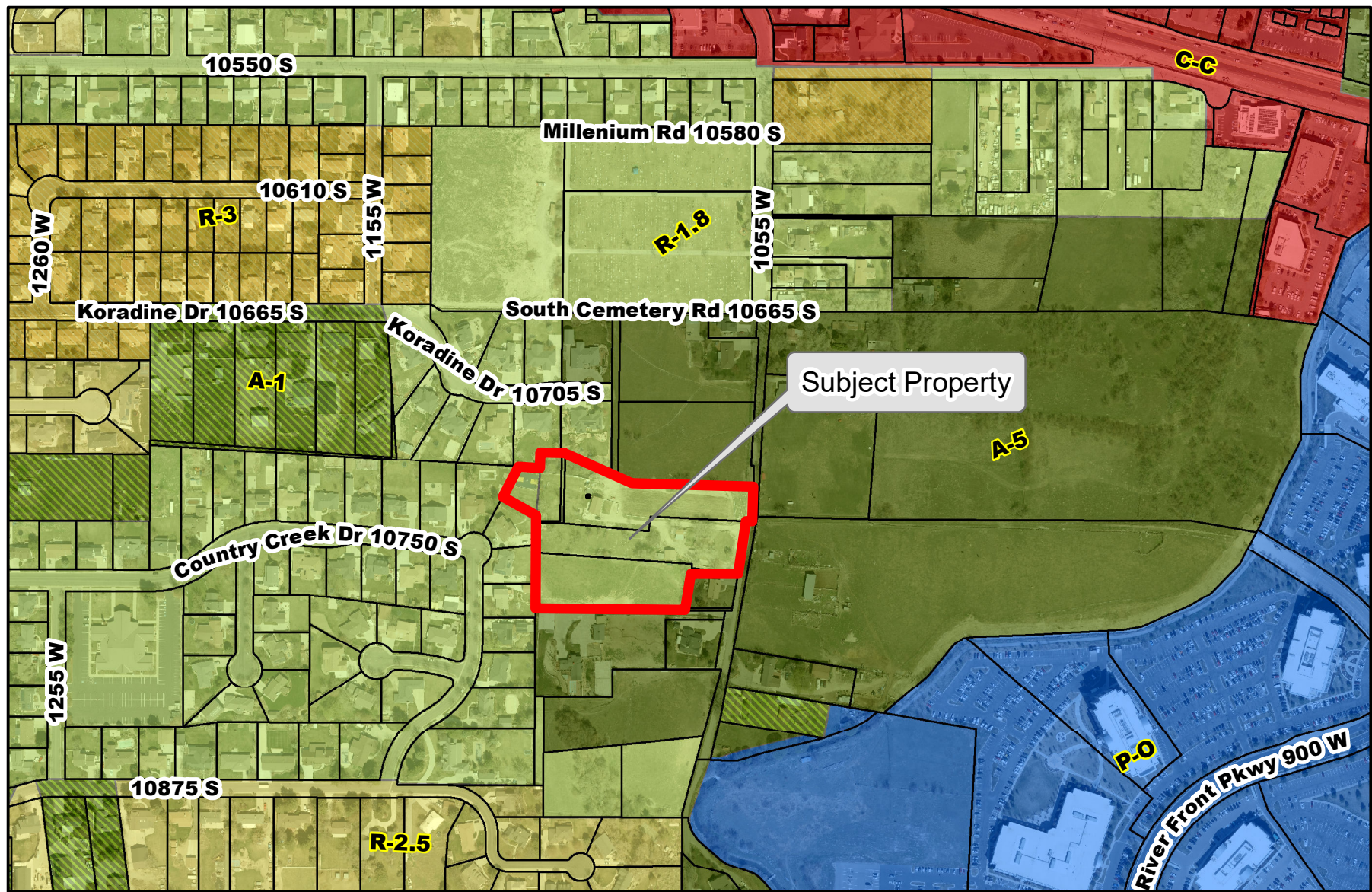
- Aerial Map
- Zoning Map
- Ashcroft Acres Subdivision Plat
- Site Plan C-200




Damir Drozdek, AICP
Planner III, Planning Department

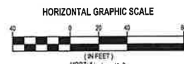


<p>Legend</p> <p>STREETS</p> <p>PARCELS</p>	<p>Aerial Map</p> <p><i>City of South Jordan</i></p>	<p>0 130 260 520 780 1,040 Feet</p> <p>Aerial Imagery 2018</p> 
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<p>Legend</p> <p>STREETS</p> <p>PARCELS</p>	<h2>Zoning Map</h2> <h3>City of South Jordan</h3>	<p>0 130 260 520 780 1,040 Feet</p> <p>Aerial Imagery 2018</p> 
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ALSO AMENDING LOT 310 OF COUNTRY COVE PLAT C SUBDIVISION
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 14
TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN, SALT LAKE COUNTY, UTAH



SHEET 1 OF
PROJECT NUMBER : 6047
MANAGER : BAM
DRAWN BY : JWJ
CHECKED BY : KFW
DATE : 30/1/16

SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529
Fax: 801.255.4449
www.ENG-ON-ENG.COM

LAYTON
Phone 801-567-1128

TOOELE
Phone 435-843-5796

CEDAR CITY
Phone 435-945-1453

RICHFIELD
Phone 435-986-2093

THIS PLAT AND
ON FILE IN

DATE

EASEMENT APPROVAL	
CENTURYLINK	
ROCKY MOUNTAIN POWER	
DOMINION ENERGY CO	

OFFICE OF THE CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____

ATTORNEY FOR SOUTH JORDAN CITY

DATE _____

DATE _____

DATE _____

ORNEY _____
_____ A.D. 20____

BOARD OF HEALTH APPROVAL

APPROVED THIS _____ DAY OF _____
BY THE BOARD OF HEALTH _____

HEALTH COMMISSIONER

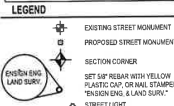
SOUTH JORDAN CITY MAYOR

APPROVED AS TO FORM THIS _____ DAY OF _____

ATTEST: CITY CLERK _____ MAYOR _____

28

_____ A.D. 20____



CURVE	RAJENDRA	LEKHNA	DELTA	RAJENDRA	DELTA
C1	24.00	22.00	17.00	24.00	18.00
C2	24.00	22.00	17.00	24.00	18.00
C3	24.00	22.00	17.00	24.00	18.00
C4	24.00	22.00	17.00	24.00	18.00
C5	24.00	22.00	17.00	24.00	18.00
C6	24.00	22.00	17.00	24.00	18.00
C7	24.00	22.00	17.00	24.00	18.00
C8	24.00	22.00	17.00	24.00	18.00
C9	24.00	22.00	17.00	24.00	18.00
C10	24.00	22.00	17.00	24.00	18.00
C11	24.00	22.00	17.00	24.00	18.00
C12	24.00	22.00	17.00	24.00	18.00
C13	24.00	22.00	17.00	24.00	18.00
C14	24.00	22.00	17.00	24.00	18.00
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C29	24.00	22.00	17.00	24.00	18.00
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C39	24.00	22.00	17.00	24.00	18.00
C40	24.00	22.00	17.00	24.00	18.00
C41	24.00	22.00	17.00	24.00	18.00
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C43	24.00	22.00	17.00	24.00	18.00
C44	24.00	22.00	17.00	24.00	18.00
C45	24.00	22.00	17.00	24.00	18.00
C46	24.00	22.00	17.00	24.00	18.00
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C50	24.00	22.00	17.00	24.00	18.00
C51	24.00	22.00	17.00	24.00	18.00
C52	24.00	22.00	17.00	24.00	18.00
C53	24.00	22.00	17.00	24.00	18.00
C54	24.00	22.00	17.00	24.00	18.00
C55	24.00	22.00	17.00	24.00	18.00
C56	24.00	22.00	17.00	24.00	18.00
C57	24.00	22.00	17.00	24.00	18.00
C58	24.00	22.00			

BOUNDARY DESCRIPTION

Hence North 07°02'32" West 100.61 feet along the north line to the northwest corner of said Lot 10;
 Hence North 77°52'27" East 101.21 feet along the said line to the northeast corner of a 1/320 of said Country Cove Plat C
 Subdivision and point being the northeast corner of said Country Cove Subdivision;
 Hence South 08°54'56" East 74.74 feet along said south line to the southeast corner of said Lot 1, Keweenaw Cove Subdivision;
 Hence South 07°01'59" East 100.61 feet along the east line to the northeast corner of said Lot 6;
 Hence East 72.48 feet along said east line to and beyond the southeast corner of said Lot 6 to a point on the south line of Lot
 6 of said Keweenaw Cove Subdivision;
 Hence South 07°09'58" East 100.61 feet along and beyond the southeast corner of said Lot 6;
 Hence South 08°09'52" East 145.83 feet to a point on the west line of 1055 West Street;
 Hence South 02°01'32" West 100.61 feet along said west line to the northwest corner of said Lot 6;
 Hence North 07°39'45" West 100.61 feet along said west line;
 Hence South 08°34'34" West 156.22 feet along said west line;
 Hence South 08°01'32" West 100.61 feet along said west line to the northwest corner of said Lot 6;
 Hence South 08°34'32" West 156.01 feet;
 Hence South 07°54'52" West 423.78 feet to the point of beginning

Contains 222,293 Square Feet or 5.102 Acres or 9 Lots

Date _____ PATRICK M. HARRIS
P.L. 88082

OWNER'S DEDICATION

Known all by these presents that we / I, the undersigned owner (s) of the described tract of land above, having caused the same to be subdivided into lots and streets to be hereafter known as:

do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for Public use, and warrant, defend, and save the City harmless against any easements or other encumbrance on the dedicated street which will interfere with the City's use, operation, and maintenance of the roads and do further dedicate the easements as shown for the use by all suppliers of utility or other necessary services.

In witness whereof we / have hereunto set aside our hand (s) this _____ day of _____ AD, 20____

Name: _____
Tel: _____

LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

On the _____ day of _____ A.D., 20____

of _____ a L
Limited Company and that, Haidibe signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Comp

the purposes therein mentioned and acknowledged to me that said Limited Liability Company executed the same

MY COMMISSION EXPIRES _____
RESIDING IN _____ COUNTY.

NOTARY PUBLIC

ALSO AMENDING LOT 310 OF COUNTRY COVE PLAT C SUBDIVISION
LOCATED IN THE SOUTHWEST QUARTER OF SECTION 14

TOWNSHIP 3 SOUTH, RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN
SOUTH JORDAN, SALT LAKE COUNTY, UTAH

RECORDED # _____

STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE
RECORDS OF _____

DATE: _____ TIME: _____ BOOK: _____ PAGE: _____

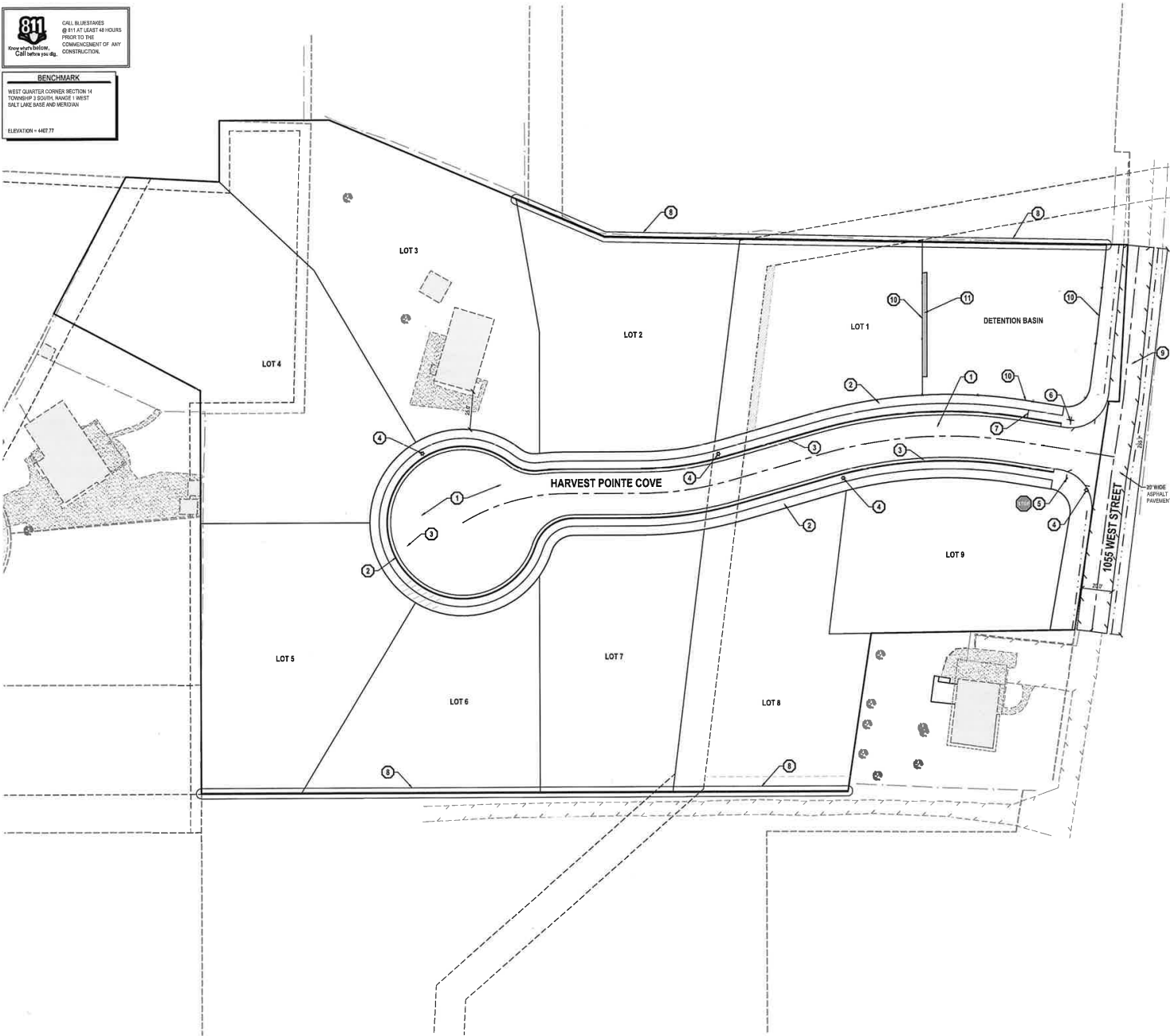
FEES	DEPUTY SALT LAKE COUNTY RECORDER
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CALL 811
@ 811 AT LEAST 48 HOURS
PRIOR TO THE
COMMENCEMENT OF ANY
CONSTRUCTION.

BENCHMARK

WEST QUARTER CORNER SECTION 14
TOWNSHIP 2 SOUTH RANGE 1 WEST
SALT LAKE BASE AND MERIDIAN

ELEVATION = 4407.77



- GENERAL NOTES**
1. ALL WORK TO COMPLY WITH THE GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.
 2. ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
 3. SEE LANDSCAPE/ARCHITECTURAL PLANS FOR CONCRETE MATERIAL, COLOR, FINISH, AND SCORE PATTERNING THROUGHOUT SITE.
 4. ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE M.U.T.C.D. (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
 5. ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE BURNING, BOLL FINCHES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
 6. NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
 7. THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- SCOPE OF WORK:**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS.
1. ASPHALT PAVEMENT: 3" THICK ASPHALTIC CONCRETE WITH 10" UNTREATED BASE COURSE WITH 10" 140N PAVING PER GEOTECHNICAL REPORT AND DETAIL 10C-402.
 2. 6" THICK CONCRETE SIDEWALK PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS.
 3. 30" TYPE "X" CURBS AND GUTTER PER APWA STANDARD PLAN NO. 205 AND SPECIFICATIONS.
 4. INSTALL CAT. 4 STREET LIGHT PER SOUTH JORDAN CITY STANDARDS & SPECS.
 5. "STOP" SIGN PER M.U.T.C.D. STANDARD PLANS.
 6. INSTALL STREET NAME SIGNS.
 7. INSTALL "NO OUTLET SIGN" (AS REQUIRED BY SOUTH JORDAN CITY).
 8. 6" DECORATIVE MASONRY WALL.
 9. ASPHALT PAVEMENT PER SOUTH JORDAN CITY STANDARDS AND SPECIFICATIONS AND DETAIL 10C-402. EXTEND THE ROAD WITH A 2" MILL AND OVERLAY. MAKE SURE ROAD IS 30' WIDE MINIMUM.
 10. INSTALL 6' TALL VINYL FENCE.
 11. INSTALL ROCK RETAINING WALL.

ENSIGN
THE STANDARD IN ENGINEERING

SALT LAKE CITY
45 W. 1000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.0529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.896.2983

WWW.ENSIGNENG.COM

FOR:
CHARLES JACO
2025 FORT JORDAN HOLLOWAY, SUITE 102
SALT LAKE CITY, UT 84121

DRAWN BY:
CHARLES JACO
PHONE: 801.943.3757

ASHCROFT ACRES SUBDIVISION

10696 SOUTH 1055 WEST
SOUTH JORDAN, UTAH

2017-11-20 FOR CONSTRUCTION

SITE PLAN

CITY ENGINEER APPROVAL

APPROVED THIS _____ DAY OF _____ 20____

BY THE SOUTH JORDAN CITY ENGINEER:

SOUTH JORDAN CITY ENGINEER

PROJECT NUMBER: 0417

DATE: 2/20/19

DRAWN BY: J. SMITH

CHECKED BY: B. MORGAN

PROJECT MANAGER: B. MORGAN

C-200