



Public Works
Planning & Development Services Division

<http://www.utah.gov/pmni/index.html>

Millcreek Township Planning Commission

Public Meeting Agenda

May 16, 2012

4:00 p.m.

THE MEETING WILL BE HELD IN THE COUNTY COUNCIL CHAMBERS, COUNTY GOVERNMENT CENTER, MAIN FLOOR, ROOM #N1100, 2001 SOUTH STATE STREET. ANY QUESTIONS, CALL 468-2000

REASONABLE ACCOMMODATIONS FOR INDIVIDUALS WITH DISABILITIES WILL BE PROVIDED UPON REQUEST. FOR ASSISTANCE, PLEASE CALL 468-2120 OR 468-2351: TDD 468-3600.

The Planning Commission Public Meeting is a public forum where the Planning Commission receives comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items. Action may be taken by the Planning Commission on any item listed on the agenda which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

PUBLIC HEARINGS

Conditional Uses

27624 – Continued from April 11, 2012 – Ken Menlove of Menlove Construction is requesting approval of a Conditional Use application to develop an 18-unit apartment building on the subject property – **Location:** 1060 E. 3300 S. – **Zone:** C-2 Commercial – **Community Council:** Millcreek – **Planner:** Spencer G. Sanders.

Subdivision & RCOZ Option C

27703 – Nick Mingo is requesting approval of a preliminary plat(s) for the Kenmure Place Subdivision. The subdivision will be comprised of a multi-phased plan for the construction of 10 two-family dwellings that will be divided along common walls to create 20 individual lots. Also included in the application is an Option C request for exceptions to the Residential Compatibility Overlay Zone (RCOZ) due to the unique physical characteristics of the subject property. – **Location:** 4454 South Gordon Lane – **Zone:** R-2-10 – **Community Council:** Millcreek (for RCOZ Option C Request) – **Planner:** Todd A. Draper.

Subdivision

27704 – Tyler Godfrey is requesting Preliminary Plat approval of a Subdivision Plat Amendment called *Godfrey Acres*. The proposal is to divide *Lot 2 of Young Haven Circle Subdivision* into two lots. This request is being made in order to divide the subject property along the common wall of an existing two-family dwelling allowing each lot and associated unit to be owned separately. **Location:** 3196 S. Young Haven Circle – **Zone:** R-2-8 – **Community Council:** Subdivisions are not subject to Community Council review – **Planner:** Spencer G. Sanders

General Plan Amendments

26610 – (Continued from December 14, 2011, January 11, 2012, February 15, 2012, March 14, 2012 & April 11, 2012 Millcreek Township Planning Commission Meetings) – Planning and Development Services is seeking approval and adoption of an Electrical Facilities Best Practice for inclusion into Salt Lake County General Plans. The Best Practice would be applicable to all unincorporated areas of Salt Lake County. **Planner:** Todd A. Draper

BUSINESS MEETING

*Beginning immediately following the Public Hearings
Room N3500 (Planning and Development Conference Room)*

Action Items

- 1. Previous Meeting Minutes Review and Approval**
April 11, 2012
- 2. Discuss The Order of the Business Meeting on the Monthly Public Meeting Agenda**
– When should the Business Meeting be held, before or after the Public Hearings?

Work Session

- 1. Sidewalk Best Practice/Master Plan** – Work Session

Other Business

ADJOURN

Rules of Conduct for the Planning Commission Meeting

- First: Applications will be introduced by a Staff Member.
- Second: The applicant will be allowed up to 15 minutes to make their presentation.
- Third: The Community Council representative can present their comments.
- Fourth: Persons in favor of, or not opposed to, the application will be invited to speak.
- Fifth: Persons opposed to the application will be invited to speak.
- Sixth: The applicant will be allowed 5 minutes to provide concluding statements.

- Speakers will be called to the podium by the Chairman.
- Because the meeting minutes are recorded it is important for each speaker to state their name and address prior to making any comments.
- All comments should be directed to the Planning Commissioners, not to the Staff or to members of the audience.
- For items where there are several people wishing to speak, the Chairman may impose a time limit, usually 2 minutes per person, or 5 minutes for a group spokesperson.
- After the hearing is closed, the discussion will be limited to the Planning Commission and the Staff.



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Planning Commission								
Meeting Date and Time:	Wednesday, May 16, 2012	04:00 PM	File No:	2	7	6	2	4	
Applicant Name:	Ken Menlove	Request:	Conditional Use						
Description:	18-unit Apartment Building (Diamond Point Apartments)								
Location:	1056 & 1060 E. 3300 S.								
Zone:	C-2 Community Commercial	Any Zoning Conditions?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>			
Community Council Rec:	Approval with Conditions								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

This is just a cover to the original report. As you recall this application was continued from last month in order to give the applicant more time to meet with the neighbors and address their concerns along with those of Commission and Staff. I am attaching the original report and documentation for your reference.

The applicant submitted new plans; however, I have only had an opportunity to take a cursory look at them. I will review the plans and provided a brief update by e-mail prior to the meeting. I will addresses the corrections and changes made by the applicant. Attached to this report is the revised landscape plan; the revised site plan; and the lighting plan.

At a very cursory review, it appears that most of staff's recommended changes have been incorporated. The plans are quite improved from the previous version. I will have a more complete assessment for you next week by Tuesday afternoon at the latest.

Sincerely,

Spencer G. Sanders
Staff Planner

LANDSCAPE NOTES:

1. DRY STREAM BED COBBLE (4-6") - NEPHI SANDSTONE SOUTHTOWNE MIX SHALL BE APPLIED 6" DEEP IN ALL SPECIFIED AREAS.
2. PLACE LANDSCAPE FABRIC UNDER COBBLE ROCK AND SHREDDED BARK MULCH.
3. PLANT COUNTS ARE FOR CONVENIENCE ONLY. CONTRACTOR TO INSTALL PLANTS IN QUANTITIES SHOWN ON PLAN.
4. SHREDDED BARK MULCH REQ'D IN ALL PLANTER BEDS.
5. LANDSCAPE INSTALLATION TO COMPLY WITH SALT LAKE COUNTY APPLICABLE CODES AND SPECIFICATIONS.
6. PLAYGROUND STRUCTURE TO BE INSTALLED SHALL BE PLAYWORLD SYSTEMS ZELO MODEL #ZZX0069. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
7. INSTALL SOFT FALL CHIPS 6" DEEP BENEATH PLAY STRUCTURE.

LANDSCAPE REQUIREMENTS:

LANDSCAPE AREA: 9,382 S.F. (28%)
 IMPERVIOUS AREA: 16,761 S.F.
 BUILDING AREA: 7,750 (23%)

LANDSCAPE ARCHITECT:
 LARS ANDERSON
 6898 W. 10150 N.
 HIGHLAND, UT 84003
 801-768-2060



Date:
 12 • 02 • 2011

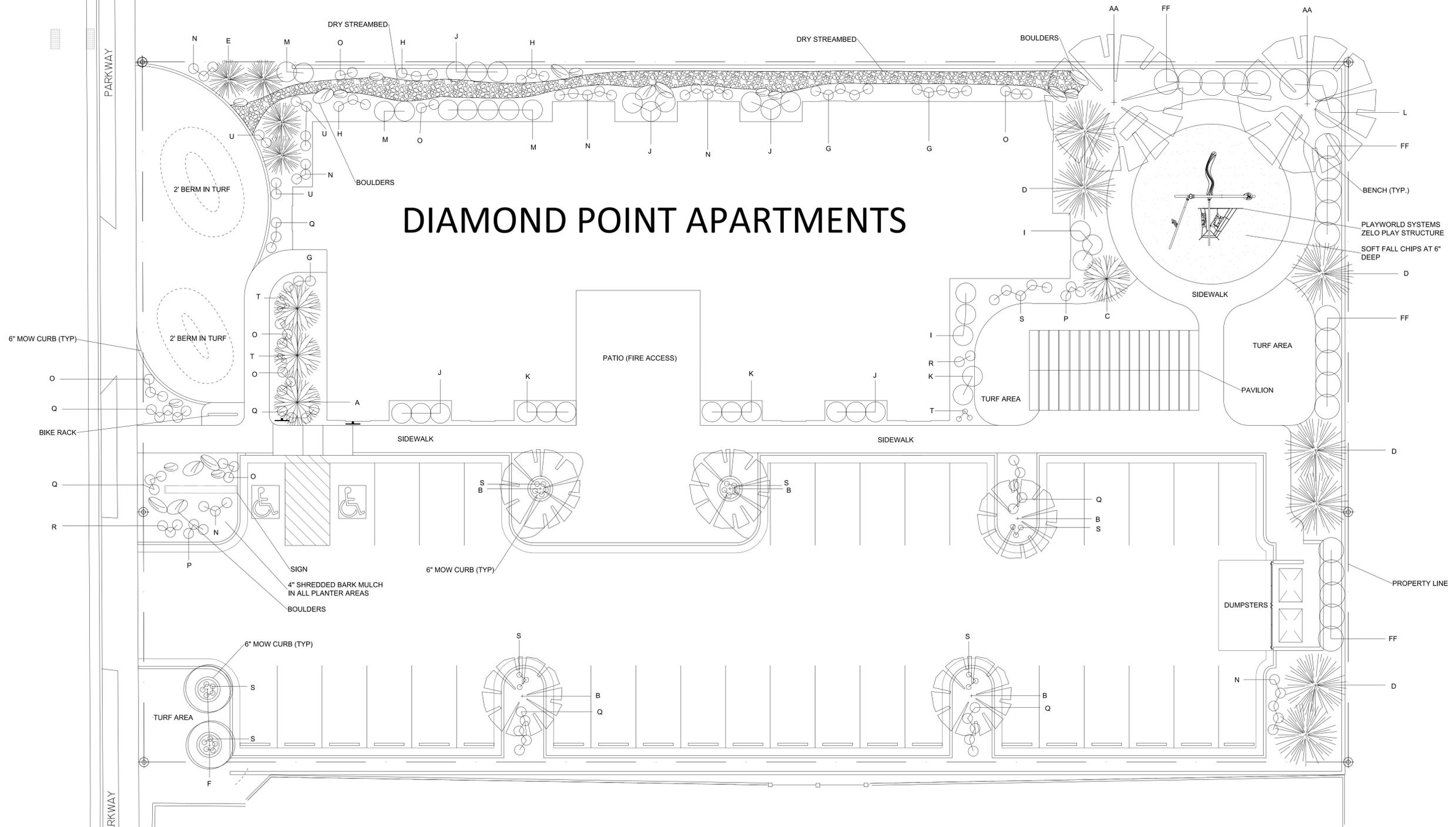
GENERAL CONTRACTOR:
MENLOVE CONSTRUCTION INC.
 4243 West Nike Drive Suite C
 West Jordan, Utah 84088

PROJECT # 2011-12

DATE/REVISION:

A NEW PROJECT FOR:
DIAMOND PT. APARTMENTS
 1056 East 3300 South
 Salt Lake City, Utah 84101

3300 SOUTH STREET



DIAMOND POINT APARTMENTS

1 LANDSCAPE PLAN
 L-1 SCALE: 1" = 10'-0" (24" X 36")



PROJECT NORTH

PROJECT DEVELOPER:
 DIAMOND POINT APARTMENTS, L.L.C.
 C/O: MENLOVE CONSTRUCTION, INC.
 ATTN: KEN MENLOVE
 4243 NIKE DRIVE, SUITE C
 WEST JORDAN, UTAH 84088
 TEL.: 801-280-3000
 FAX.: 801-282-6887
 CELL.: 801-671-4697
 E-MAIL: menlovec@gmail.com

NOTES:

1. USE SIX INCH (6") MOW CURB BETWEEN TURFGRASS AND PLANTER BEDS AND/OR NATIVE SEED AREAS.
2. PLACE DEWILL PRO 5 WEED BARRIER IN ALL PLANTERS.
3. ALL SOIL MUST BE COVERED WITH PLANT MATERIAL, NATIVE SEED, OR SHREDDED BARK. SHREDDED BARK MUST BE A MINIMUM 4" DEPTH. NO NON-POROUS MATERIALS ARE ALLOWED UNDER MULCH.
4. ALL TURF GRASS AND PLANTERS TO HAVE MINIMUM 6 INCHES OF TOPSOIL.
5. ALL SOD TO BE SODDED FROM APPROVED SUPPLIER.
6. ALL PLANTER BEDS AND LAWN AREAS MUST BE SCARIFIED IN 2 DIRECTIONS TO A DEPTH OF GREATER THAN SIX (6") INCHES PRIOR TO SODDING OR PLANTING.
7. ANY CHANGES TO THE LANDSCAPE PLAN REQUIRE REVIEW AND APPROVAL BY SALT LAKE COUNTY.
8. THE OWNER, TENANT AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
9. ALL LANDSCAPE SHALL BE PROPERLY MAINTAINED AT ALL TIMES. THIS INCLUDES, BUT IS NOT LIMITED TO, MOWING TURF AREAS OF SIX INCHES (6") OR HIGHER, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
10. LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THE LANDSCAPE.
11. ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
12. PLANTS WHICH DIE SHALL BE REPLACED WITH PLANTS OF SIMILAR VARIETY AND SIZE WITHIN NINETY (90) DAYS.
13. REPLACEMENT PLANTINGS SHALL COMPLY WITH THE APPROVED PLANTING PLAN OR ALTERNATIVE PLANTINGS AS APPROVED BY SALT LAKE COUNTY.

PLANT SCHEDULE

TREES				
QUA	SYM	BOTANICAL NAME	COMMON NAME	SIZE
3	A	Acer palmatum 'Bloodgood'	Boodgood Japanese Maple	6'
2	AA	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Maple	2" cal.
5	B	Acer platanoides 'Parkway'	Parkway Maple	2" cal.
1	C	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	2" cal.
7	D	Picea pungens 'Hoopsii'	Hoopsii Dwf Blue Spruce	6-7'
4	E	Pinus flexilis 'Vanderwolfe'	Vanderwolfe Pyramid Pine	6-7'
2	F	Pyrus calleryana 'Redspire'	Redspire Flowering Pear	2" cal.
20	FF	Rhamnus frangula 'Columnaris'	Tall Hedge Buckthorn	2" cal.

SHRUBS				
QUA	SYM	BOTANICAL NAME	COMMON NAME	SIZE
13	G	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	1 gal.
9	H	Caryopteris x clandonensis 'Blue Mist'	Blue Mist Spirea	5 gal.
6	I	Chamaebatiaria millifolium	Fernbush	5 gal.
15	J	Cornus alba 'Ivory Halo'	Ivory Halo Dogwood	5 gal.
8	K	Euonymus alatus compacta	Dwarf Burning Bush	5 gal.
3	L	Forsythia spp. 'Spring Glory'	Spring Glory Forsythia	5 gal.
9	M	Hibiscus spp. 'Blue Select'	Blue Select Rose of Sharon	5 gal.
24	N	Perovskia atriplicifolia	Russian Sage	1 gal.
16	O	Pinus mugo pumilo	Dwarf Mugo Pine	2 gal.
6	P	Rosa spp. 'Carefree Delight'	Carefree Delight Shrub Rose	5 gal.
25	Q	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	1 gal.
5	R	Weigela florida 'Java Red'	Java Red Weigela	2 gal.

PERENNIALS				
QUA	SYM	BOTANICAL NAME	COMMON NAME	SIZE
20	S	Hemerocallis spp. 'Stella D' Oro'	Stella D' Oro Daylily	1 gal.
8	T	Linum lewisii	Blue Flax	1 gal.
8	U	Miscanthus sinensis 'gracillimus'	Maidenhair Grass	1 gal.



PLAYGROUND STRUCTURE: PLAYWORLD SYSTEMS - ZELO MODEL #ZZXX0069

Date:
12 • 02 • 2011

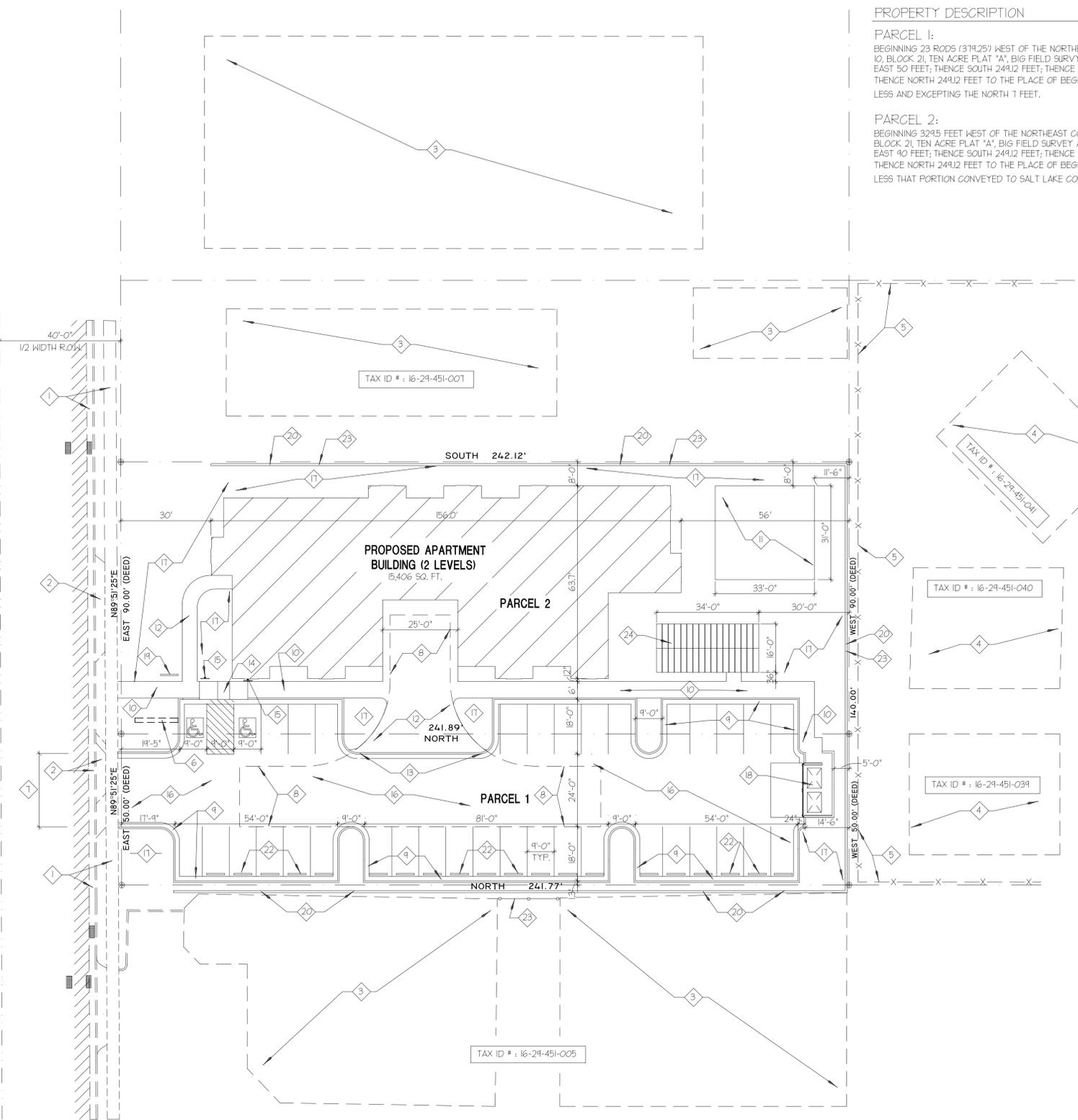
GENERAL CONTRACTOR:
MENLOVE CONSTRUCTION INC.
4243 West Nike Drive Suite C
West Jordan, Utah 84088

PROJECT # 2011-12

DATE/REVISION:

A NEW PROJECT FOR:
DIAMOND PT APARTMENTS
1056 East 3300 South
Salt Lake City, Utah 84101

3300 SOUTH STREET



PROPERTY DESCRIPTION

PARCEL 1:
 BEGINNING 23 RODS (319.25') WEST OF THE NORTHEAST CORNER OF LOT 10, BLOCK 21, TEN ACRES PLAT "A", BIG FIELD SURVEY AND RUNNING THENCE; EAST 50 FEET; THENCE SOUTH 249.12 FEET; THENCE WEST 50 FEET; THENCE NORTH 249.12 FEET TO THE PLACE OF BEGINNING. LESS AND EXCEPTING THE NORTH 1 FEET.

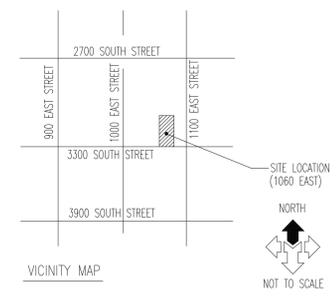
PARCEL 2:
 BEGINNING 329.5 FEET WEST OF THE NORTHEAST CORNER OF LOT 10, BLOCK 21, TEN ACRES PLAT "A", BIG FIELD SURVEY AND RUNNING THENCE; EAST 90 FEET; THENCE SOUTH 249.12 FEET; THENCE WEST 40 FEET; THENCE NORTH 249.12 FEET TO THE PLACE OF BEGINNING. LESS THAT PORTION CONVEYED TO SALT LAKE COUNTY.

- KEY NOTES:**
- EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN.
 - EXISTING DRIVE APPROACH TO BE REMOVED, CONSTRUCT NEW 30" CURB & GUTTER PER APWA DETAIL 205.
 - EXISTING COMMERCIAL BUILDING.
 - EXISTING RESIDENCE.
 - EXISTING 6' FENCE TO REMAIN.
 - EXISTING BILLBOARD SIGN TO REMAIN.
 - CONSTRUCT 24" DRIVE APPROACH PER APWA DETAIL 221 TYPE A.
 - FIRE DEPARTMENT TURNAROUND AREA, ALTERNATE HAMMERHEAD.
 - CONSTRUCT 24" CURB & GUTTER PER DETAIL 1/C-5.
 - CONSTRUCT CONC. SIDEWALK PER DETAIL 2/C-5.
 - CONSTRUCT 1023 SQ. FT. PLAYGROUND AREA. EQUIPMENT TO INCLUDE:
 - CHUTE SLIDE
 - WAVE SLIDE
 - 90" TRI-RING LADDER
 - INVERTED ARCH CLIMBER
 - STAIR UNIT OR EQUIVALENT
 - CONSTRUCT CONCRETE SIDEWALK PER DETAIL 2/C-5.
 - 2' BACK ON CURB & GUTTER THIS AREA.
 - NEW CONCRETE ADA HANDICAP RAMP - REFER TO DETAIL 3/C-5.
 - NEW ADA HANDICAP PARKING SIGNAGE. REFER TO DETAIL 6/C-5.
 - CONSTRUCT ASPHALT PAVING - REFER TO DETAIL 4/C-5.
 - LANDSCAPING - REFER TO LANDSCAPE PLAN.
 - TRASH ENCLOSURE - REFER TO ARCH. DETAILS.
 - CONSTRUCT BICYCLE RACK FOR 2 BICYCLES. USE FI-C2 INVERTED U RACK.
 - CONSTRUCT 4' TALL CONCRETE RETAINING WALL. SEE DETAIL 9 / C-5.
 - 3' LANDSCAPE EASEMENT, ENTRY, BOOK, PAGE: .
 - INSTALL CURB STOPS PER SL COUNTY STANDARDS.
 - CONSTRUCT 6' TALL TREX PRIVACY FENCE.
 - CONSTRUCT 544 SQ. FT. PICNIC AREA TO INCLUDE: 16'x34' PAVILLION, 4 TABLES WITH BENCHES, UPRIGHT BARBECUE, TRASH RECEPTACLE.

- GENERAL SITE NOTES:**
- ALL PUBLIC WAY IMPROVEMENTS SUCH AS EXISTING CURB AND GUTTER, SIDEWALK, AND DRIVE APPROACHES REQUIRE INSPECTION BY THE SL COUNTY ENG. DEPT., PRIOR TO FINAL INSPECTION AND CERTIFICATE OF OCCUPANCY ISSUANCE, TO DETERMINE REPLACEMENT REQUIREMENTS OF DEFECTIVE AND HAZARDOUS CONDITIONS.
 - AFTER THE BUILDING PERMIT IS ISSUED, A PUBLIC WAY PERMIT WILL BE REQUIRED FROM THE ENGINEERING DEPARTMENT PRIOR TO COMMENCING ANY WORK IN THE PUBLIC WAY.
 - PROVIDE A TEMPORARY ADDRESS SIGN WHICH IS VISIBLE AND DISTINGUISHABLE FROM BOTH DIRECTIONS OF THE STREET.
 - FIRE HYDRANTS SHALL NOT BE BLOCKED BY BUILDING MATERIALS EQUIPMENT OR TEMPORARY OFFICE.
 - LOADING AND UNLOADING WILL BE RESTRICTED TO SINGLE UNIT VEHICLES AS PER SL COUNTY DEPT.
 - ALL CONSTRUCTION IN PUBLIC WAY AS PER APWA 2007 PLANS AND SPECIFICATIONS.



PROJECT ENGINEER / APPLICANT:
 MENLOVE CONSTRUCTION, INC.
 ATTN: KEN MENLOVE, P.E.
 4243 NIKE DRIVE, SUITE C
 WEST JORDAN, UTAH 84088
 TEL.: 801-280-3000
 FAX: 801-282-6881
 CELL: 801-671-4691
 E-MAIL: menlove@gmail.com



PARKING CALCULATIONS:

TOTAL # OF 1 BEDROOM DWELLING UNITS:	16
TOTAL # OF 2 BEDROOM DWELLING UNITS:	2
TOTAL # OF DWELLING UNITS:	18
NUMBER OF PARKING STALLS REQUIRED PER DWELLING UNIT:	2
TOTAL PARKING STALLS REQUIRED FOR DWELLING UNITS:	2 x 18 = 36 STALLS
TOTAL HANDICAP PARKING STALLS REQUIRED:	36 x 50 STALLS THEREFORE 2 STALLS
TOTAL HANDICAP PARKING STALLS SHOWN:	2 STALLS
TOTAL PARKING STALLS SHOWN:	36 STALLS
TOTAL BICYCLE STALLS REQUIRED:	36 STALLS
TOTAL BICYCLE STALLS SHOWN:	0.05 x 36 = 1.8 OR 2 STALLS

PROJECT DATA:

SITE AREA TOTAL:	33,812 SQ. FT. (PARCEL 1 & 2)
GOVERNING CODE:	2001 IBC
ZONING:	C-2
TAX ID#:	PARCEL 1 (16-24-451-005) PARCEL 2 (16-24-451-006)
OCCUPANCY:	R-2
CONSTRUCTION TYPE:	V-B
PROPOSED BUILDING AREA:	15,406 SQ. FT. 2 LEVELS
FIRE SPRINKLING:	YES

1 SITE PLAN
 SCALE: 1" = 20'-0"



CALL BEFORE YOU DIG:
 IT'S FREE & IT'S THE LAW
 TOLL FREE
 1-800-662-4111
 208-2100
 (SALT LAKE METRO)
 148 EAST 13200 SOUTH
 P.O. BOX 1511
 DRAPER, UTAH 84020-1511



Date:
 04 • 24 • 2012

GENERAL CONTRACTOR:
MENLOVE CONSTRUCTION INC.
 4243 West Nike Drive Suite C
 West Jordan, Utah 84088

PROJECT# 2012-03

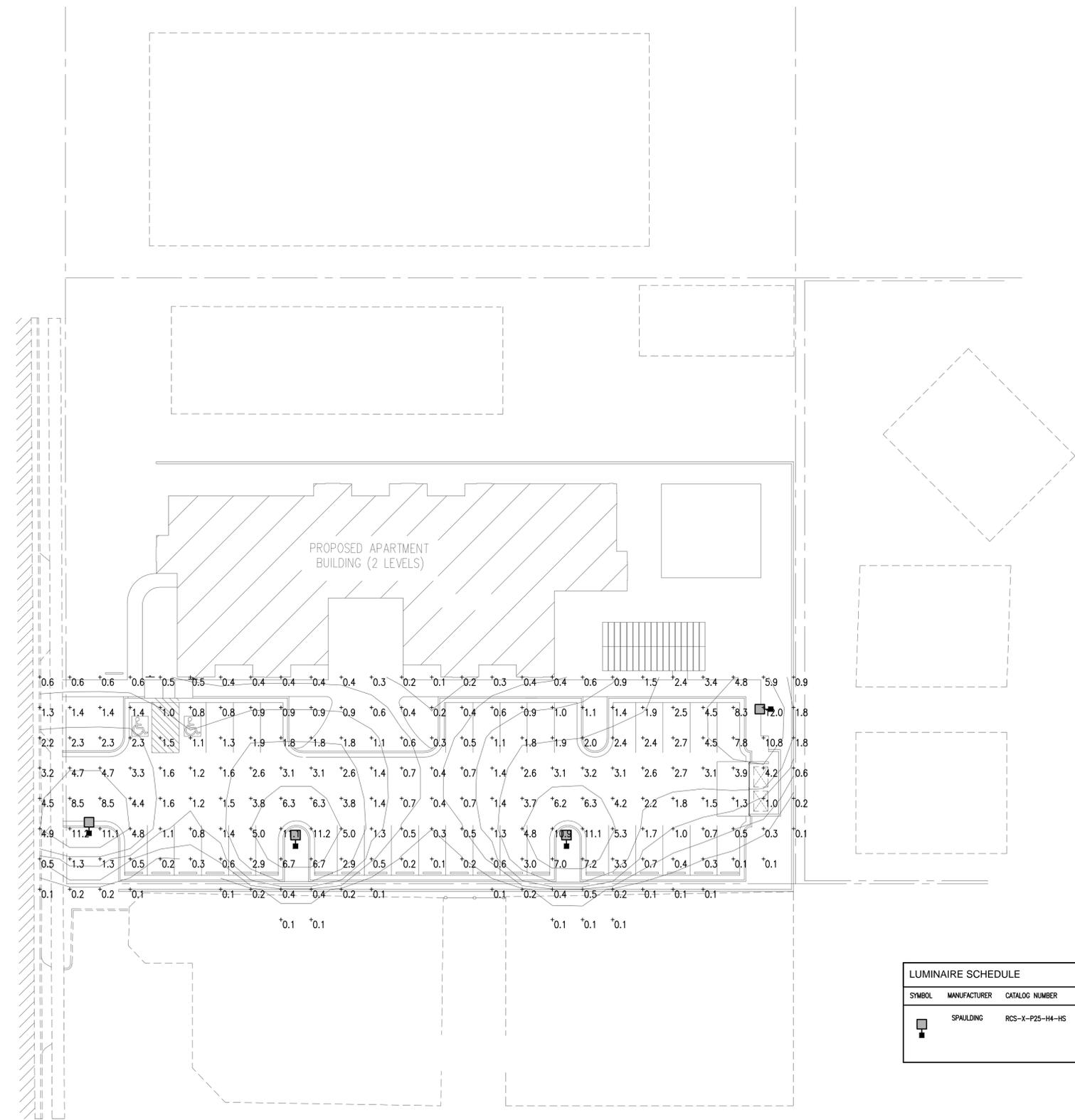
DATE/REVISION:

NOTE: DO NOT SCALE DRAWING

A NEW APARTMENT BUILDING FOR:
DIAMOND POINT APARTMENTS
 1060 East 3300 South
 Salt Lake City, Utah 84115

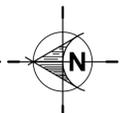
C-1

3300 SOUTH STREET



ELECTRICAL SITE LIGHTING CALCULATION PLAN

SCALE: 1" = 20'-0"



LUMINAIRE SCHEDULE								
SYMBOL	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP	FILE	LUMENS	LLF	WATTS
■	SPAILDING	RCS-X-P25-H4-HS	OUTDOOR ARCHITECTURAL ROADWAY REFL: HAMMERTONE ALUMINUM ENCL: CLEAR FLAT GLASS	250W MET HAL ED 28	L10476JES	22500	1.00	288

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
CALC ZONE	+	2.2 FC	12.0 FC	0.1 FC	120.0:1	22.0:1

Date:
05 • 04 • 2012

GENERAL CONTRACTOR:
MENLOVE CONSTRUCTION INC.
4243 West Nike Drive Suite C
West Jordan, Utah 84088

THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN AND DOES NOT EXTEND TO ANY OTHER SERVICES OR TO ANY CONSEQUENTIAL DAMAGES. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN AND DOES NOT EXTEND TO ANY OTHER SERVICES OR TO ANY CONSEQUENTIAL DAMAGES. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED HEREIN AND DOES NOT EXTEND TO ANY OTHER SERVICES OR TO ANY CONSEQUENTIAL DAMAGES.

RE
ROYAL ENGINEERING
ELECTRICAL MECHANICAL
1060 EAST SUITE 225
SALT LAKE CITY, UT 84115
PHONE 801.375.2228
FAX 801.375.2270



A NEW APARTMENT BUILDING FOR:
DIAMOND POINT APARTMENTS
1060 East 3300 South
Salt Lake City, Utah 84115

ES101



STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Planning Commission								
Meeting Date and Time:	Wednesday, April 11, 2012	04:00 PM	File No:	2	7	6	2	4	
Applicant Name:	Ken Menlove	Request:	Conditional Use						
Description:	18-unit Apartment Building (Diamond Point Apartments)								
Location:	1056 & 1060 E. 3300 S.								
Zone:	C-2 Community Commercial	Any Zoning Conditions?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>			
Community Council Rec:	Not yet received								
Staff Recommendation:	Approval with Conditions								
Planner:	Spencer G. Sanders								

1.0 BACKGROUND

1.1 Summary

Ken Menlove of Menlove Construction is requesting approval of a Conditional Use application to develop an 18-unit apartment building on the subject property. The building is proposed to be a two story building with a surface parking lot and a swimming pool amenity. The property currently is two single family dwellings that have been used as residential and commercial but are currently vacant. There are also outbuildings on the property. The existing structures would be removed and to accommodate the new development.

1.2 Hearing Body Action

This application for Conditional Use Permit is on the Millcreek Township Planning Commission agenda for hearing and decision. The Commission's decision is a preliminary approval. The Final Conditional Use Permit will be issued by staff once all technical issues are resolved with the final site plan and other requirements.

1.3 Neighborhood Response

As of this writing, staff received an e-mail from an adjacent resident to the south, located in the Granit Mill PUD subdivision. The resident requested information on building setbacks; rental values; and how to submit comments if unable to attend the meeting. Staff provided a response e-mail with the following: the building setbacks and a copy of the site and elevation plans; an explanation that financial information regarding rents is not required to be submitted since the Planning Commission can't consider financial information in review of the Conditional Use; and explanation of how to submit a written response to the Commission by e-mail, mail, or a representative at the meeting.

1.4 Community Council Response

As of this writing, a meeting with the Millcreek Community Council is scheduled for April 3, 2012, their regularly scheduled monthly meeting. Staff is planning to attend this meeting. If a representative from the Community Council is not present at the Millcreek Township Planning Commission's hearing on April 11, 2012, staff will provide a report of the Millcreek Community Council's action.

2.0 ANALYSIS

2.1 Applicable Ordinances

Section 19.84.060 of the Conditional Use Chapter of the Zoning Ordinance establishes five standards to be used in evaluating Conditional Use applications. The Planning Commission must find that all five of these standards have been met before granting approval of an application. Based on the foregoing analysis, Staff suggests the following:

Criteria Met		Conditional Use Criteria and Evaluation
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `A'</u> : <i>The proposed site development plan shall comply with all applicable provisions of the Zoning Ordinance, such as parking, building setbacks, building height, etc.</i>
		With recommended conditions herein, the proposed plan will comply with applicable zoning requirements.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `B'</u> : <i>The proposed use and site development plan shall comply with all other applicable laws and ordinances.</i>
		With recommended conditions herein, the proposed plan will comply with all other applicable laws and ordinances. This shall include meeting all reviewers and agency requirements through the Technical Review Process.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `C'</u> : <i>The proposed use and site development plan shall not present a traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the County Transportation Master Plan.</i>
		It is not anticipated that this project will increase traffic beyond the capacity of 3300 S. at this location. The plan will have to comply with all requirements of the County Transportation Engineer prior to final approval. No major changes to the plan are anticipated.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `D'</u> : <i>The proposed use and site development plan shall not pose a threat to the safety of persons who will work on, reside on, or visit the property nor pose a threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic hazards, soil or slope conditions, liquefaction potential, site grading/ topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.</i>
		The subject property is located within a moderate liquefaction area. A geotechnical report will be required to be prepared and submitted to the County prior to construction and all recommendations of said report will be required to be followed. The required report is not anticipated to produce any issues that are not resolvable with appropriate engineering design. In the event that there are such issues the Conditional Use permit or building permit could not be issued.
YES <input type="checkbox"/>	NO <input type="checkbox"/>	<u>Standard `E'</u> : <i>The proposed use and site development plan shall not significantly impact the quality of life of residents in the vicinity.</i>
		With recommended conditions herein, the proposed use will not impact quality of life for surrounding residents in the vicinity. Additional setback and landscaping will improve the current conditions of adjacent residents both to the south and the east once complete.

2.2 Zoning Requirements

2.2.1 Required vs. Proposed

	REQUIRED	PROPOSED Shaded = Deficient
Max. Density	25 units per acre**	23 units per acre
Min. Building Setbacks		
<i>Front</i>	25 feet	35 feet
<i>Rear</i>	30 feet	50 feet
<i>Side</i>		
East	8 feet	8 feet
West	10 feet	60 feet
Landscape Setbacks		
<i>Front</i>	25 feet	35 feet
<i>Rear</i>	30 feet	Varies 2 to 50 feet
<i>Side</i>		
East	8 feet	8 feet
West	10 feet	3 feet
Min. Parking	2/unit (18 units=36 spaces)	36 spaces
Max. Building Height	2 floors/~35 feet	6 floors/75 feet
Amenities	*2 – Play ground + 1 other	1 – Pool area w/restrooms
Lighting	Plan required.	Not Shown

* As required by Development Standards or Recreation and Open Space Standards for Multi-Family Development.

** Where supported by the community general plan, and found by the planning commission to be compatible with land uses in the vicinity, multi-family residential development which incorporates innovations of design, amenities, and features, may be approved by the planning commission for higher densities than shown above, but shall in no case be higher than 32.0 units per acre.

2.2.2 Areas of Deficiency

2.2.2.1 Rear and West Side Landscape Setbacks

Landscaping is generally reviewed and approved by staff. However, in this case, the following setback issue could affect the final site plan somewhat. Salt Lake Country Ordinance 19.72.050B. Interior Side and Rear Yards, states:

The side and rear yard areas required by this title shall be landscaped and maintained as set forth in this chapter. Overhanging or cantilevered structures may not encroach upon such areas.

While patios and curbing and other amenities such as the pool are not required to comply with this setback, parking lots are not allowed to encroach. The required setbacks are to be landscaped as a buffer for the adjacent development.

Along the Rear Property Line, the two feet behind the trash enclosure does not provide sufficient area for a landscape buffer. The actual planting areas should be a minimum of 5 feet in order to plant trees and large shrubs that can over time grow into an appropriate buffer from the existing residents.

A possible solution to increase landscaping along the rear property line adjacent to the parking lot and dumpster would be to reduce the front landscape setback for the parking lot as allowed under the Landscape Ordinance. Currently the plan proposes a minimum 25-foot setback to the parking. The reduction to the front landscaping next to parking areas is accomplished by increasing the intensity of landscaping in the reduced front landscape area. This would allow the parking area and dumpster to be moved forward to allow additional planting area along the rear property line, thus improving the landscape buffer in this area.

The West Side Setback is labeled as 3 feet. However, this appears to be to the adjacent buildings to the west, not the actual property line. While this is rather small area for planting, the buildings are commercial, an office building and a commercial green house. Trees and tall shrubs are not necessarily appropriate or desirable in this area, particularly adjacent to the green house. Under the Landscape Ordinance regulations, an alternative plan can be considered by the director to provide some softening of the buildings, but these could be lower shrubs and perennials to soften the edge since an actual buffer is not necessary for the commercial uses to the west. Staff is recommending that the applicant obtain a permanent landscape easement from the adjacent property owner and landscape right up to the building, or provide a minimum of 3 feet of landscaping on the applicant's property since trees are not appropriate in this location.

In any case, curb stops will be required in these parking stalls in order to prevent vehicles from overhanging the small landscape areas and damaging the landscape.

2.2.2.2 Amenities

In accordance with the Amenities and Open Space Requirements for Medium to High Density residential, a project of this size is required to have a minimum of two amenities. One is to be a playground with a minimum area of 1,000 sq. ft. and a play structure with multiple activities.

The project does have a pool with patio area, but is not showing a playground. The building itself is setback at 35 feet from the front property line. If the building were moved forward to the 25-foot setback line, an additional 10 feet could be added to the rear yard area behind the building. This additional 10 feet coupled with the reconfiguration of the pool area could provide the additional area needed for a playground. If a playground is not feasible, the Planning Commission would have to approve the elimination or exchange of the required playground for some other equivalent amenity.

2.2.2.3 Landscape Peninsula Width

The proposed landscape peninsulas on the plan do not meet the minimum 9 feet width required by the Landscape Ordinance 19.76.050.A.5.b. The applicant will need to revise the plan to comply with this requirement. However, staff believes that this issue can be resolved as part of the Technical Review that takes place with Staff after the Planning Commission's action, but prior to issuance of the Final Conditional Use Permit.

2.3 Other Agency Recommendations or Requirements

As this writing, staff has not yet met with all of the reviewers. However, it is not anticipated that any major issues should result from their review that would majorly change the proposed site plan. Currently the applicant is showing a turnaround for the fire department that is part of a main recessed front entrance. However, staff will be discussing this with the Unified Fire Authority to determine if this turnaround is necessary. This may result in a minor change to the plans if not required.

2.4 Other Issues

2.4.1 General Plan - The Millcreek Township General Plan indicates that this area is an area of Moderate Change. Such an area ... *"is one that has modest potential for the absorption of growth, and is likely to experience moderate change in overall character over time."* The subject property is also located along 3300 South, which is indicated in the plan that may be anticipated along the corridor, especially changing from single family residential to uses that can take advantage of the higher traffic and the potential for mobility utilizing transit and other transportation infrastructure in the area.

The proposed use is consistent with the Millcreek General Plan. It will provide a housing variety that is less common in the area; the multi-family use is close to shopping and is located along an existing bus route. Residents will be able to take advantage of these benefits within walking or short transportation ride distance

2.4.2 Existing Trees - There are a number of older growth trees on the site that need to be documented as to caliper size and whether or not they will be retained or removed. Any removal will be required to be replaced at the ratio indicated in the County's landscape ordinance.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends **APPROVAL** of the proposed **Conditional Use** with the following conditions:

- 1)The applicant shall complete Technical Review with staff and outside agencies to bring all aspects of the plan into compliance with applicable ordinance prior to issuance of the final site plan.
- 2)The applicant shall revise the site plan to obtain additional landscaping setback on the south and east sides of the project as outlined in this report, this may include the reduction of front landscaping for the parking area as allowed in the Landscape Ordinance.
- 3)The applicants shall revise the site plan to provide two amenities as required by the recreational and open space standards, including a playground as required by the recreation and open space standards.
- 4 The applicant shall provide an exterior and parking lot lighting plan that complies with county regulations and meets the following standards:
 - a) Lighting shall be directed down and not out.
 - b) Lighting poles shall be no more than 20 feet in height from grade.
 - c) All exterior lighting shall be a cut light style light to ensure that the direct source (the bulbs) of any light fixture shall not be visible from the property lines.
 - d) Any lighting that proves to directly light adjacent properties, shall be modified, including the possibility of after-market shielding, in order to prevent direct light sources from crossing property lines
- 5)The applicant shall revise the landscape plan to comply with requirements of the Landscape Ordinance, including the meeting requirements regarding tree preservation and/or replacement.

3.2 Reasons for Recommendation

- 1) With the modifications and conditions recommended the plans will comply with County Ordinances.
- 2) With the modifications and conditions recommended the project will be consistent with the Millcreek General Plan; and

3) With the modifications and conditions recommended the project will meet the Conditional Use Standards.

Planning And Development
Interactive GIS Map

1000 E

R-1.6

C-2

3300 S

1100 E

R-M

R-1.8

100 m
300 ft

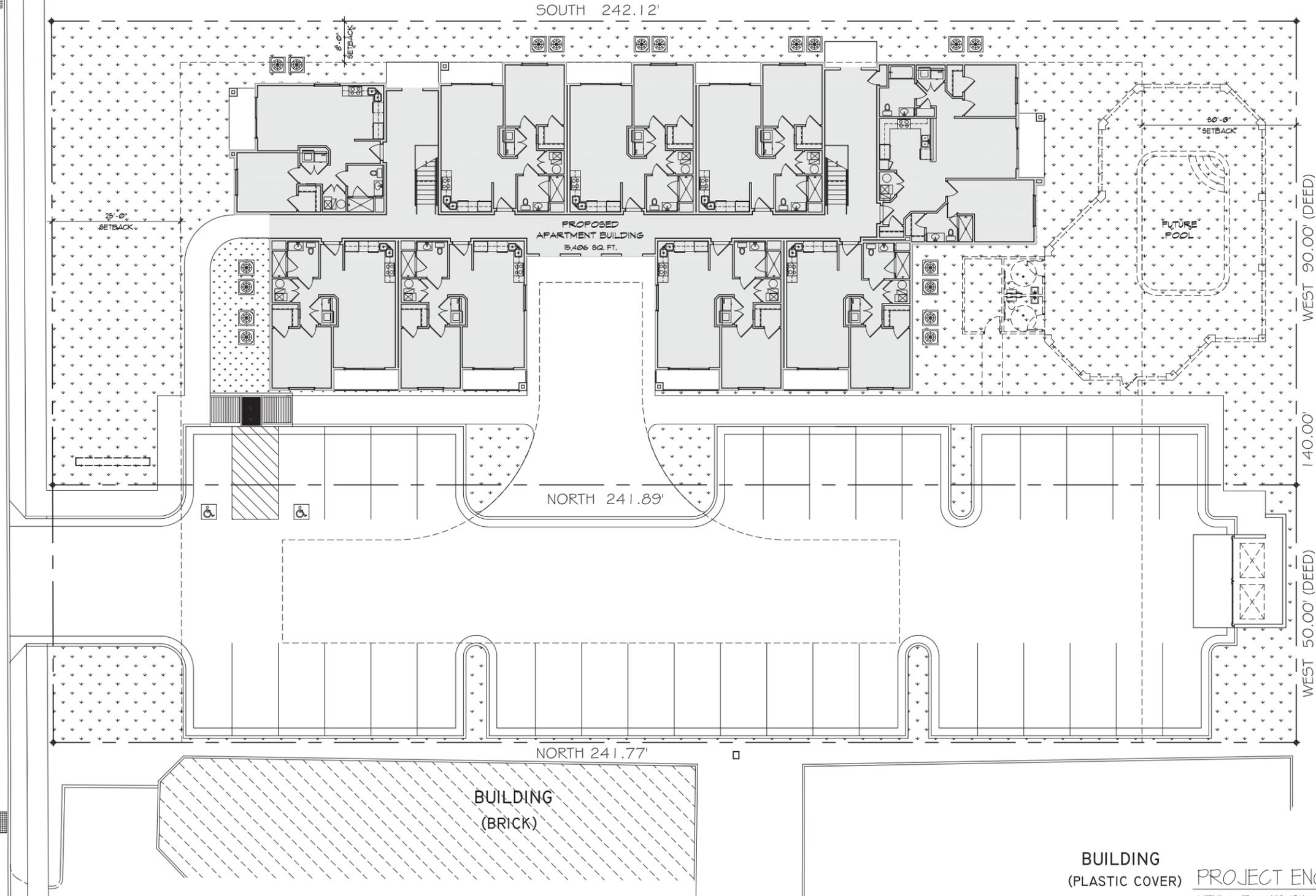
Latitude: +10.699434 Longitude: -111.859707

Layer Options
ESRI Streets
ESRI Aerial
ESRI Topo
SLCO Roads

Enhanced Search
Features Selected: 1
Address: 1060 E 3300 S
Owner: DIAMONDBERG INVESTMENTS LLC
Zoom Chart

ROCKWELL CIR

3300 SOUTH STREET



PROPOSED SITE PLAN
SCALE: 1" = 10'-0"



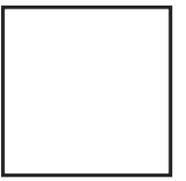
BUILDING
(PLASTIC COVER)

PROJECT ENGINEER / APPLICANT:

MENLOVE CONSTRUCTION, INC.
ATTN: KEN MENLOVE, P.E.
4243 NIKE DRIVE, SUITE C
WEST JORDAN, UTAH 84088
TEL.: 801-280-3000
FAX.: 801-282-6881
CELL.: 801-671-4697
E-MAIL: menlovec@gmail.com

CARPENTER STRINGHAM **CS**
architects llc
522 east 100 south □ salt lake city, utah 84102
tele 801.328.4259 □ fax 801.328.4251 □ cas@carpenterstringham.com
ARCHITECTURE □ PLANNING □ INTERIORS

PROJECT
A NEW APARTMENT BUILDING FOR
DIAMOND POINT APARTMENTS
1056 EAST 3300 SOUTH
SALT LAKE COUNTY, UTAH



SHEET TITLE
Proposed Site Plan

REVISIONS	

PROJECT:	12-001.01
DATE:	March, 2012
SCALE:	1" = 10'-0"
DRAWN BY:	rn
CHECKED:	rn

SHEET
A001

LANDSCAPE NOTES:

1. DRY STREAM BED COBBLE (4-6") - NEPHI SANDSTONE SOUTHTOWNE MIX SHALL BE APPLIED 6" DEEP IN ALL SPECIFIED AREAS.
2. PLACE LANDSCAPE FABRIC UNDER COBBLE ROCK AND SHREDDED BARK MULCH.
3. PLANT COUNTS ARE FOR CONVENIENCE ONLY. CONTRACTOR TO INSTALL PLANTS IN QUANTITIES SHOWN ON PLAN.
4. SHREDDED BARK MULCH REQ'D IN ALL PLANTER BEDS.
5. LANDSCAPE INSTALLATION TO COMPLY WITH SALT LAKE COUNTY APPLICABLE CODES AND SPECIFICATIONS.

LANDSCAPE REQUIREMENTS:

LANDSCAPE AREA: 8,894 S.F. (26%)
 IMPERVIOUS AREA: 17,279 S.F.
 BUILDING AREA: 7,750 (23%)

LANDSCAPE ARCHITECT:
 LARS ANDERSON
 6898 W. 10150 N.
 HIGHLAND, UT 84003
 801-768-2060



Date:
 12 • 02 • 2011

GENERAL CONTRACTOR:
 MENLOVE CONSTRUCTION INC.
 4243 West Nike Drive, Suite C
 West Jordan, Utah 84088

PROJECT# 2011-12

DATE/REVISION:
 MARCH 1, 2012

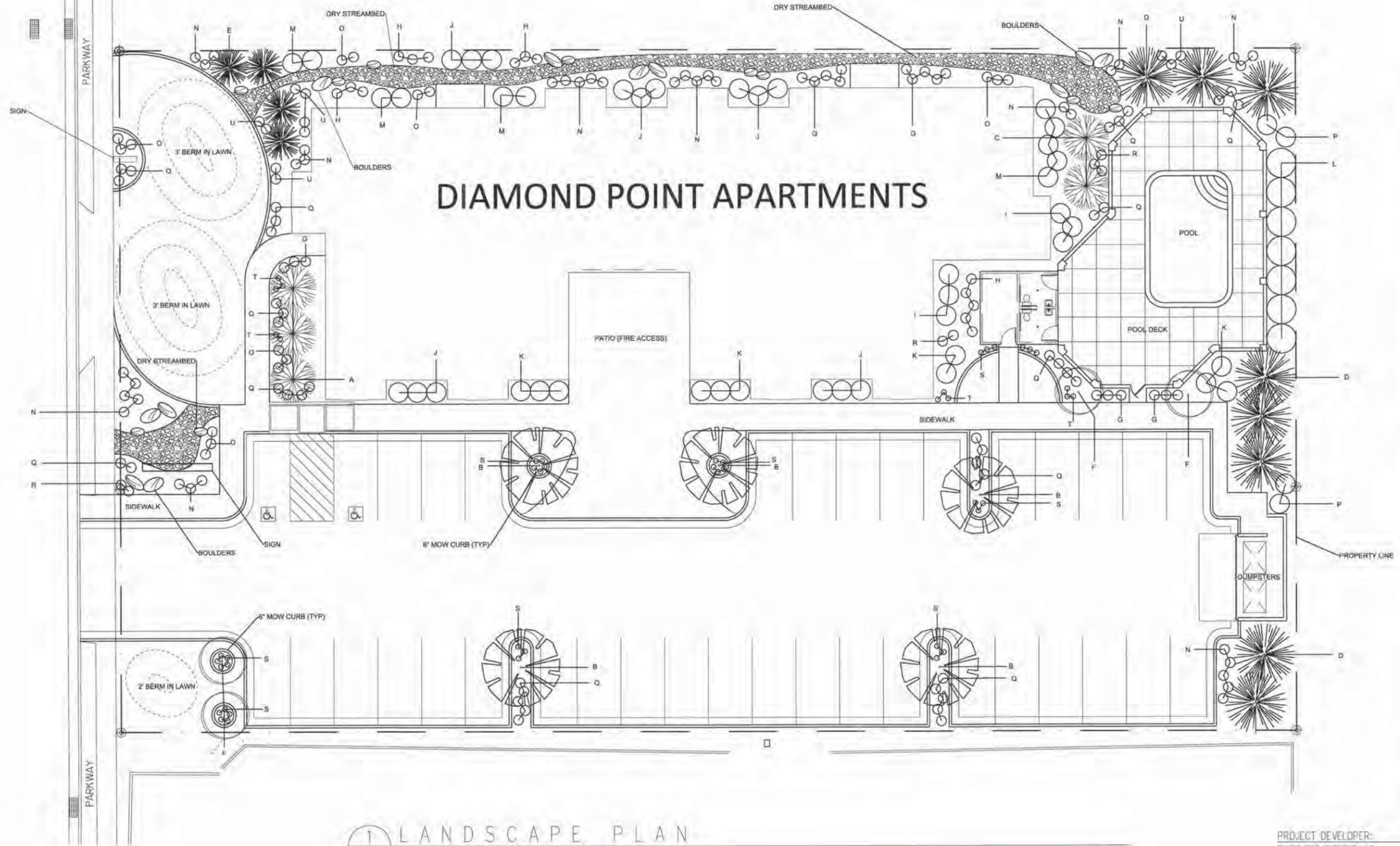
A NEW PROJECT FOR:
 DIAMOND PT APARTMENTS
 1056 East 3300 South
 Salt Lake City, Utah 84101

PROJECT DEVELOPER:
 DIAMOND POINT APARTMENTS, I.L.C.
 C/O MENLOVE CONSTRUCTION, INC.
 ATTN: KEN MENLOVE
 4243 NIKE DRIVE, SUITE C
 WEST JORDAN, UTAH 84088
 TEL: 801-280-3000
 FAX: 801-282-6887
 CELL: 801-671-4697
 E-MAIL: kmenlove@gmail.com

3300 SOUTH STREET



PROJECT NORTH



1 LANDSCAPE PLAN
 SCALE 1" = 10'-0" (24" X 36")

L-1



○ **CONCEPTUAL EXTERIOR ELEVATION**
SCALE: NO SCALE

PROJECT
A NEW APARTMENT BUILDING FOR
DIAMOND POINT APARTMENTS
1056 EAST 3300 SOUTH
SALT LAKE COUNTY, UTAH



SHEET TITLE
Exterior Elevations

REVISIONS	

PROJECT: 12-001.01
DATE: March, 2012
SCALE: NO SCALE
DRAWN BY: m
CHECKED: m

SHEET
A200

FINISH FLOOR
ELEV = 134'-5 1/2"
RIDGE
ELEV = 131'-4 5/8"

FINISH FLOOR
ELEV = 110'-1 3/8"

FINISH FLOOR
ELEV = 100'-0"



PROPOSED WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"



FINISH FLOOR
ELEV = 134'-5 1/2"
RIDGE
ELEV = 131'-4 5/8"

FINISH FLOOR
ELEV = 110'-1 3/8"

FINISH FLOOR
ELEV = 100'-0"

PROPOSED NORTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

FINISH FLOOR
ELEV = 134'-5 1/2"
RIDGE
ELEV = 131'-4 5/8"

FINISH FLOOR
ELEV = 110'-1 3/8"

FINISH FLOOR
ELEV = 100'-0"



PROPOSED SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

FINISH FLOOR
ELEV = 134'-5 1/2"
RIDGE
ELEV = 131'-4 5/8"

FINISH FLOOR
ELEV = 110'-1 3/8"

FINISH FLOOR
ELEV = 100'-0"



PROPOSED EAST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

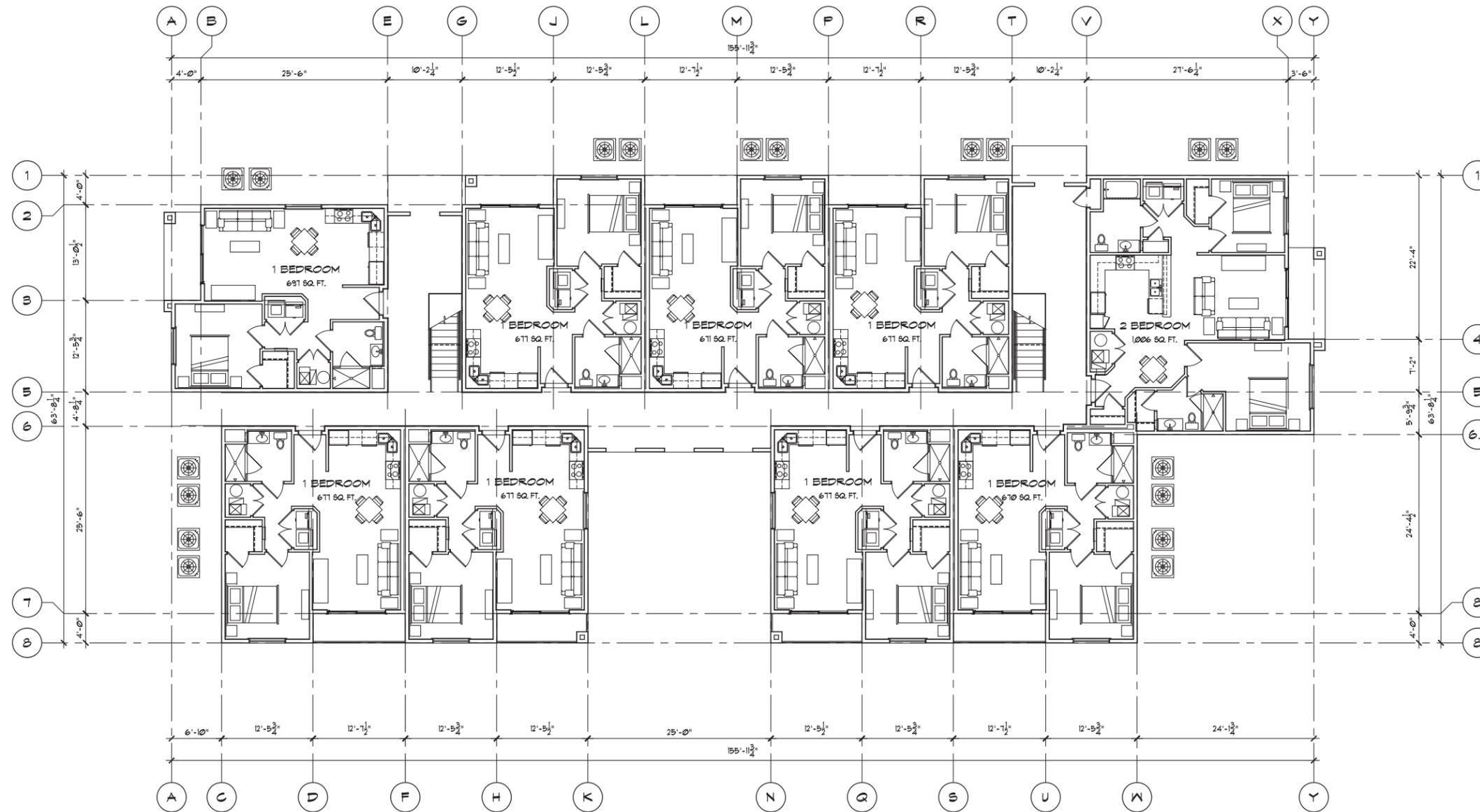
PROJECT
A NEW APARTMENT BUILDING FOR:
DIAMOND POINT APARTMENTS
1056 EAST 3300 SOUTH
SALT LAKE COUNTY, UTAH

SHEET TITLE
Exterior Elevations

REVISIONS

PROJECT: 12-001.01
DATE: March, 2012
SCALE: 1/8" = 1'-0"
DRAWN BY: m
CHECKED: m

SHEET
A201



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8"=1'-0"
 OVERALL 7,103 SQ. FT.



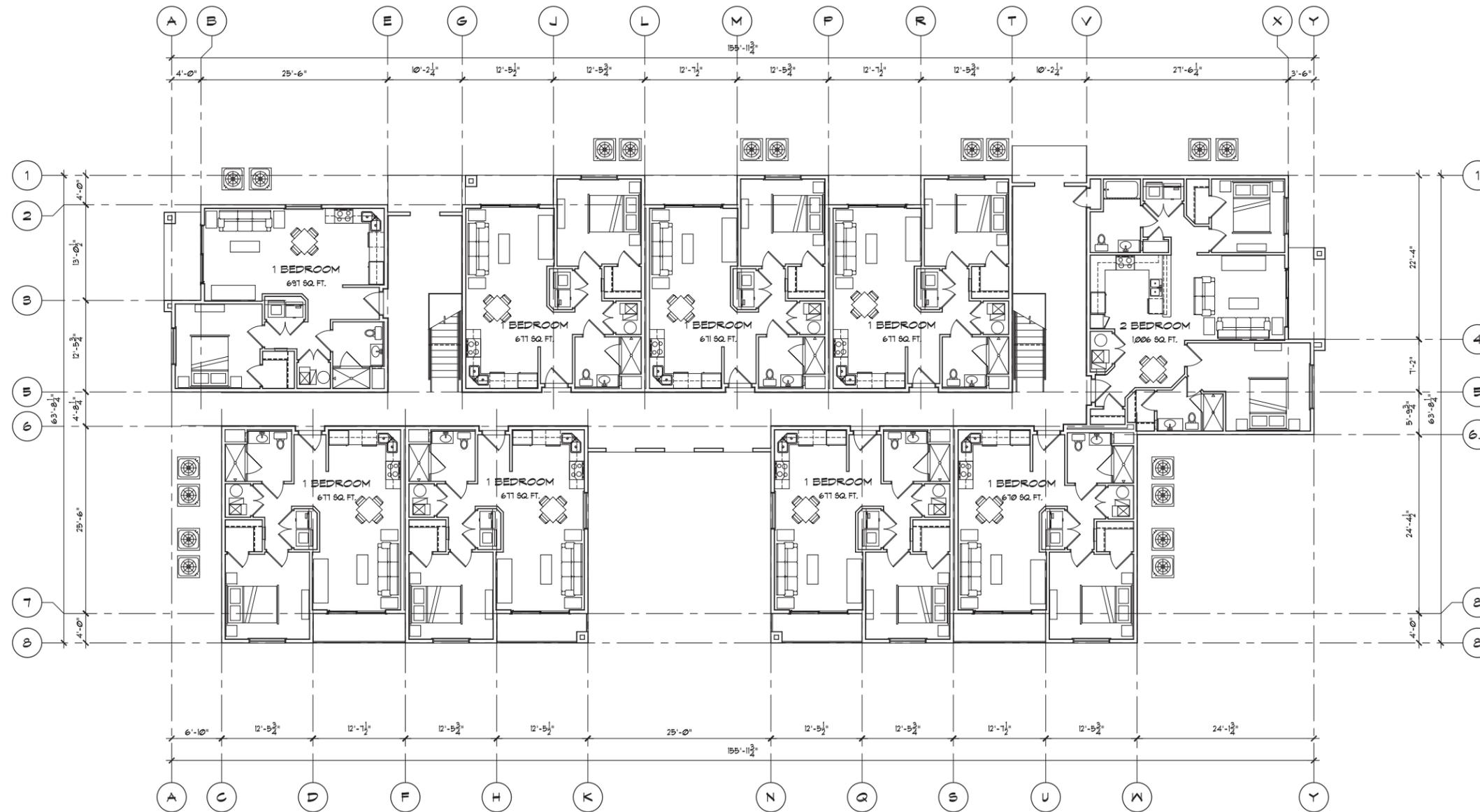
PROJECT
 A NEW APARTMENT BUILDING FOR
DIAMOND POINT APARTMENTS
 1056 EAST 3300 SOUTH
 SALT LAKE COUNTY, UTAH

SHEET TITLE
**Proposed
 Floor Plan**

REVISIONS	

PROJECT: 12-001.01
 DATE: March, 2012
 SCALE: 1/8" = 1'-0"
 DRAWN BY: rm
 CHECKED: rm

SHEET
A101



PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"
 OVERALL 7,103 SQ. FT.



PROJECT
 A NEW APARTMENT BUILDING FOR
DIAMOND POINT APARTMENTS
 1056 EAST 3300 SOUTH
 SALT LAKE COUNTY, UTAH

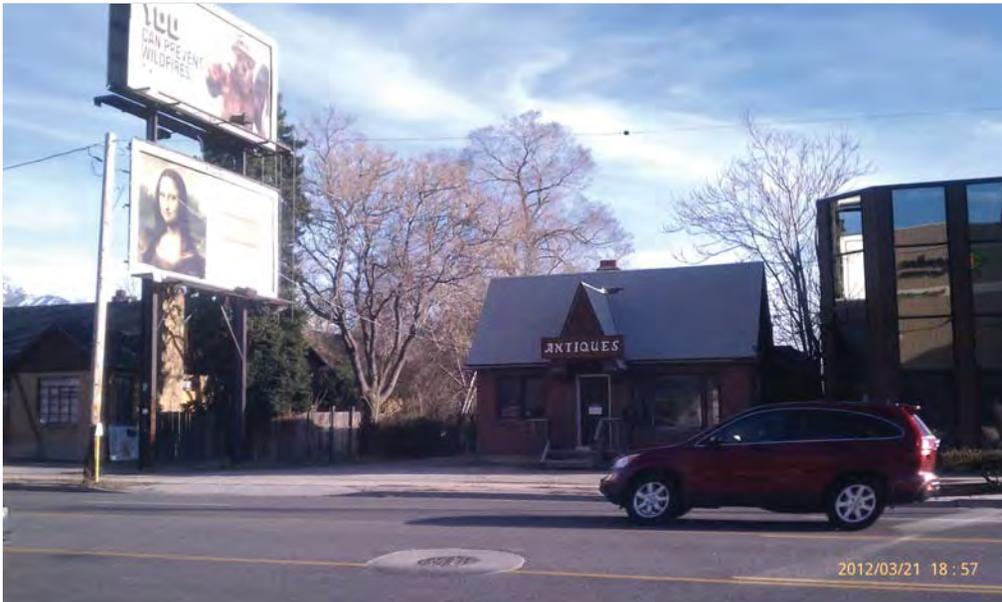


SHEET TITLE
**Proposed
 Floor Plan**

REVISIONS	

PROJECT: 12-001.01
 DATE: March, 2012
 SCALE: 1/8" = 1'-0"
 DRAWN BY: rm
 CHECKED: rm

SHEET
A102











STAFF REPORT

Executive Summary									
Hearing Body:	Millcreek Planning Commission								
Meeting Date and Time:	Wednesday, May 16, 2012	04:00 PM	File No:	2	7	7	0	3	
Applicant Name:	Nick Mingo	Request:	Subdivision						
Description:	Kenmure Place Sub (10 Two-Family Dwellings/20 Lots, RCOZ option C)								
Location:	4454 South Gordon Lane								
Zone:	R-2-10 Residential Two-Family	Any Zoning Conditions?	Yes	<input type="checkbox"/>	No	<input checked="" type="checkbox"/>			
Community Council Rec:	Approval								
Staff Recommendation:	Approval with Conditions								
Planner:	Todd A. Draper								

1.0 BACKGROUND

1.1 Summary

The subject property is comprised of 2 parcels that total 3.02 acres in size. The property is heavily wooded and has significant topographical constraints. The property is situated between Gordon Lane, 4500 South, and Big Cottonwood Creek. Current use of the property is residential with an existing single-family dwelling and adjacent accessory structure fronting onto Gordon Lane (these structures will be removed prior to recordation of a Final Plat).

The current R-2-10 zone permits Two-Family Dwellings on 10,000 sq. ft. lots, and permits the further subdivision of lots containing Two-Family Dwellings along a common wall to allow for separate ownership of either side. The applicant is proposing that the preliminary plat reflect their desire to split the proposed two family dwellings and that the final plat(s) contain language requiring certified surveying of footings and foundations to occur at the time of construction to allow for the final plat(s) to record prior to construction of the Two-Family Dwellings and to insure that they are built upon the recorded property line. Furthermore the applicant is requesting approval of the preliminary plat in a manner that would allow for phased recording of 2 separate Final Plats.

Also the applicant is requesting administrative relief from the Planning Commission from certain residential Compatibility Overlay Zone (RCOZ) regulations through Option C to allow for construction of the proposed Two-Family Dwellings principally due to the unique topographical constraints of the property.

1.3 Neighborhood Response

None received to date.

1.4 Community Council Response

At the May 1, 2012 meeting of the Millcreek Community Council the Community Council forwarded a recommendation to the Millcreek Township Planning Commission for approval of the application as proposed. The vote was split 7 to 1.

2.0 ANALYSIS

2.1 Applicable Ordinances

18.12.010 - Required information.

A. The preliminary plat, ..., shall contain the information specified in this section and comply with the following requirements:

1. Description and Delineation. In a title block located in the lower right-hand corner the following shall appear:
 - a. The proposed name of the subdivision, which name must be approved by the planning and development services division;
 - b. The location of the subdivision, including:
 - i. Address,
 - ii. Section, township and range;
 - c. The names and addresses of the owner, the subdivider, if different than the owner, and of the designer of the subdivision;
 - d. The date of preparation, scale (no less than one inch to equal one hundred feet) and the north point.
2. Existing Conditions. The plat shall show:
 - a. The location of and dimensions to the nearest bench mark or monument;
 - b. The boundary lines of the proposed subdivision indicated by a solid heavy line and the total approximate acreage encompassed thereby;
 - c. All property under the control of the subdivider, even though only a portion is being subdivided. Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in the light of existing general street plans, other planning commission studies and the County Transportation Improvement Plan;
 - d. The location, width and names of all existing streets within two hundred feet of the subdivision and of **all prior platted streets or other public ways, railroad and utility rights-of-way, parks and other public open spaces, permanent buildings and structures, houses or permanent easements and section and corporation lines, within and adjacent to the tract;**
 - e. The location of all wells, proposed, active and abandoned, and of all reservoirs within the tract and to a distance of at least one hundred feet beyond the tract boundaries;
 - f. **Existing sewers, water mains, culverts or other underground facilities within the tract and to a distance of at least one hundred feet beyond the tract boundaries, indicating pipe sizes, grades, manholes and exact location;**
 - g. **Existing ditches, canals, natural drainage channels, and open waterways and proposed realignments;**

- h. Boundary lines of adjacent tracts of unsubdivided land, showing ownership where possible;
- i. **Contour at vertical intervals of not more than two feet. Highwater levels of all watercourses, if any, shall be indicated in the same datum for contour elevations;**
- j. **Nearest installed fire hydrants on or within five hundred feet of the proposed subdivision.**

4. Proposed Subdivision Plan. The subdivision plan shall show:

- a. The layout of streets, showing location, widths and other dimensions of (designated by actual or proposed names and numbers) proposed streets, crosswalks, alleys and easements;
- b. The layout, numbers and typical dimensions of lots, and in areas subject to foothills and canyons overlay zone provisions, designation of buildable areas on individual lots.
- c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision;
- d. Building setback lines, including showing dimensions where required by the planning commission;
- e. Easements for water, sewers, drainage, utility lines and other purposes, if required by the planning commission;
- f. **Typical street cross sections and grade sheets where required by the planning commission or other interested county divisions;**
- g. A tentative plan or method by which the subdivider proposes to handle stormwater drainage for the subdivision.

18.12.030 - Preliminary plat approval or disapproval.

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of specifications for the minimum improvements required in [Chapter 18.24](#) of this title and with the preparation of the final plat.

19.32.010 - Purpose of provisions.

The purpose of the R-2 zones is to establish low to medium density residential neighborhoods which provide persons who reside therein a comfortable, healthy, safe and pleasant environment.

19.32.040 - Lot areas and widths.

The minimum lot area and width requirements are as follows:

Zone: R-2-10

Minimum Lot Area: 5,000 square feet for a lot containing 1 unit of a two-family dwelling 10,000 square feet for any other main building

Minimum Lot Width: 65 feet at a distance 30 feet from the front lot line

19.32.050 - Yards.

A. Dwellings: The minimum yard requirements for a private garage or single or two-family dwelling unit are as follows:

Zone: R-2-10

Minimum Front Yard:30 feet

Minimum Side Yard (Interior): 8 feet, however, no side yard setback is required from the property line dividing two units of a two family dwelling subdivided under [19.32.090](#)

Minimum Side Yard (Facing a public street):20 feet

Minimum Rear Yard: With garage: 15 feet Without garage: 30 feet

19.32.060 - Building height.

Except as otherwise specifically provided in this title, no building or structure shall exceed the following height (see Section [19.04.095\(A\)](#) for definition of "height"):

A. Main Buildings.

1. Thirty feet on property where the slope of the original ground surface exceeds fifteen percent or the property is located in the hillside protection zone. The slope shall be determined using a line drawn from the highest point of elevation to the lowest point of elevation on the perimeter of a box which encircles the foundation line of the building or structure. Said box shall extend for a distance of fifteen feet or to the property line, whichever is less, around the foundation line of the building or structure. The elevation shall be determined using a certified topographic survey with a maximum contour interval of two feet.
2. Thirty-five feet on other properties.
3. No dwelling shall contain less than one story.

19.32.090 - Division of two-family dwelling.

A lot containing a two-family dwelling may be subdivided, creating a new lot line along the shared common wall and extending to the front and rear property lines, subject to the following conditions:

- A. The minimum area of the lot containing each unit shall be four thousand square feet in the R-2-6.5 and R-2-8 zones, and five thousand square feet in the R-2-10 zone.
- B. The division of ground is subject to the requirements of the Salt Lake County Subdivision Ordinance (Title 18).
- C. The subdivision plat shall specifically note that the purpose of the subdivision is to accommodate the division of a two-family dwelling.

19.71.050 - Option C. Special Exception --Planning commission review.

A. An applicant whose proposed residential structure meets neither the requirements of Option A nor of Option B may seek extraordinary relief and exceptions to the limitations of sections [19.71.030](#).B.5, B.6, or B.7 or sections [19.71.040](#).D.1, D.2, D.3 or D.4 by submitting an original and seven copies of an application to the applicable planning commission setting forth in detail:

- 1. **The specific provisions from which the applicant seeks exceptions and the requested relief;**
- 2. Detailed information and explanation establishing that:
 - a. The proposed residence will be in harmony with the purpose of this chapter, the general plan and any other land use document applicable to the area.
 - b. The proposed residence will be compatible with existing residential development within a reasonable distance in terms of height, mass and lot coverage, with particular focus on the proximate neighborhood.
 - c. The proposed residence will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance, with particular focus on the proximate neighborhood.
 - d. Each point on the highest ridge of the structure will be no more than forty feet above the point on the original grade vertically below it (with allowances for chimneys and vent stacks).
 - e. The front yard setback will be at least eighteen feet.
- 3. Additional factors that the planning commission may consider in deciding whether to grant an exception under this Part include:
 - a. **Unusual lot shape;**
 - b. **Unusual or difficult terrain;**
 - c. **Drainage problems;**
 - d. **Situations that appear not to be clearly addressed by the provisions of Options A or B.**

4. An application for an exception under this Option C will be subject to a public evidentiary hearing before the planning commission, for which notice of no less than ten days prior to the hearing will be given to:

- a. All property owners appearing on the latest plat in the Salt Lake County recorder's office who own property within three hundred feet of the boundary of the subject lot; and
- b. The chair of the community council for the area in which the subject lot is located.

B. A decision on the application shall be based on the evidence presented at the hearing. The burden of proof shall rest with the applicant. The planning commission may impose such conditions and limitations upon the approval of an exception to the requirements of this chapter necessary to prevent or mitigate adverse effects on other properties in the neighborhood of the subject properties, consistent with the standards of this chapter.

19.71.040 - Option B. Deviations from general standards based on neighborhood compatibility

Table I (Standards)

Zone: R-2-10

Option A Maximum Building Height⁽¹⁾ : 30 ft.

Option B Maximum Building Height⁽¹⁾ : 35 ft.

Option A Maximum Lot Coverage⁽²⁾ : 35%

Option B Maximum Lot Coverage⁽²⁾ : 40%

Option B Proximate Neighborhood⁽³⁾ : 175 ft.

2.2 Subdivision Requirements

See planning analysis under Other Issues and Other Agency Recommendations and requirements.

2.3 Other Agency Recommendations or Requirements

Army Corps of Engineers - No response received to date. Their approval for wetlands mitigation will be required prior to issuance of final approval for the preliminary plat.

Building Inspection/Plans Review - Building permits are required for the homes.

1. At time of building permit application, provide complete building plans showing compliance with current building code.

2. At time of building permit application, provide fire flow verification and/or show how compliance is going to be made with any Unified Fire District Guidelines.

Subdivision Engineering Review -

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development and the following statement "A Record of Survey has been filed as #xxxxxxxxxxx in the S. L. County Surveyor's Office" MUST be included in the Surveyor's Certificate on the final mylar, the x's being the RSC No. received from the County Surveyor's office

2. Final plat must be on regular County Titleblock

3. All required improvements must be bonded for before plat can be recorded

4. Show required Fire Hydrants on Final Plat along with distance to back line of subdivision by path of travel
5. Require 4 copies of Final Civil drawings signed by Licensed Engineer for all improvements after approvals from Hydrology, Grading and Traffic have been received
6. Label all areas to be dedicated to County as "Area Hereby Dedicated to Salt Lake County
7. All Streets within 200 ft. of the proposed subdivision must be shown on plat
Sent copy to addressing-have address now
9. Include the area to be dedicated to county within the perimeter boundary description
10. Label all utility and drainage easements on final plat
11. If the cul-de-sac is a public road applicant's surveyor must contact the County Surveyor's office to obtain a Permit for Monument Checking. The surveyor must bring in a copy of the recorded subdivision along with a list of the coordinates for the monuments to insure proper placement of the monuments by the surveyor to the County Surveyor's office. When the monument locations have been verified by the County Surveyor's office, the applicant's surveyor may receive the monuments for installation from the County Surveyor.

Unified Fire Authority -

The proposed use is approved by or not regulated by this agency.

The proposed site plan is approved, pending a technical review by this agency.

1. Verification of available fire-flow is required.
2. Fire Hydrants are required
3. Cul-de-sac must be 96' per appendix D of the 2009 IFC
4. Fire Hydrants and access elements must be installed prior to arrival of combustible construction elements on jobsite.
5. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property.
6. Streets and roads shall be identified with approved signs.

All plans pertaining to fire protection and/or life safety are to be made available upon request at the construction site.

Plans approval or review shall not be construed to relieve from or lessen the responsibility of any person designing, owning, or controlling any building. Damages to persons or property caused by defects, fire, improper installation, or other emergency conditions that occur in or on the building property shall not hold the Unified Fire Authority as assuming any liability.

County Flood Control - Needs Flood Control Permit from Chris Springer prior to final approval for the subdivision.

Geology Review -

1. A geo-technical report is required, with the original stamp and signature of a Utah Professional Engineer.
2. Report must include Liquefaction Analysis as the property is located in areas of both potentially high and moderate mapped liquefaction.
3. Footing and Foundation Inspections are required
4. A Slope Stability Analysis is required
5. A Natural Hazards Disclosure Form must be recorded on the property.
6. Corps of Army Engineers permit required for wet-lands.

Grading Review -

1. Received a copy of the preliminary grading plans prepared by EDM Partners which is not signed or stamped by the Engineer
2. The property slopes steeply from East to West, (existing slopes are steeper than 2:1, in locations)
3. The lower area appears to have plant material which is consistent with wetland Species and is with in the Easement of Flood Control for Big Cottonwood creek, I will assume unless informed otherwise that Urban hydrology and Flood Control will address these issues in their review.
4. The plans call for the use of retaining walls to help support the grade changes and create buildable areas.
5. NO Geotechnical report has been submitted with the application and will need to include a slope analysis and liquefaction analysis as part of the report.
6. The planned homes are subject to RCOZ and will have a problem meeting the height restrictions from Original grade
7. The IBC 2009 requires setbacks from descending and Ascending slopes which will need to be addressed in the soils report and building designs.
8. Recommendation of Denial is applicable at this time.
9. Need to submit site grading and drainage plans prepared by a qualified civil engineer for review and comment.
10. Need to submit wetland delineation (if applicable) for review and comment
11. Need to submit a Geotechnical report which identifies all Natural hazards concerns at the site and recommendations for mitigation of same. (slope stability analysis, liquefaction analysis, Setbacks from ascending sloes and descending slopes (footing depths) Bearing and Lateral soils perimeters and recommendations for foundations and retaining walls.
12. Need to identify the 100 year flood plain and elevation of the same.
13. Need Plan and profiles of the new road LOCHINVAR CT.
14. Need Retaining wall designs and cross sections along with supporting calculations

Health Department - No comments received to date. Needs sewer and water availability letters.

Public Works Operations - The power poles along Gordon Lane need to be relocated as part of the required off-site improvements. The cost is the responsibility of the developer.

Public Works Sanitation - The proposed site plan is approved. No further technical review is required by this agency.

Sewer Company Review - This project has been reviewed. The sewer service can be built from lower unit and sewer service can come from Gordon Lane for the units next to the road.

State Department of Natural Resources - The proposed use is not allowed for the following reasons:

Given the proximity of the project to adjacent watercourse, a State Stream Alteration application must be submitted and approved prior to construction.

Street Lighting - No response received. Street Lighting along public streets will likely be required.

Traffic Engineering Review -

1. Plan and Profile drawing for Lochinvar Ct. is required.
2. Right of way for Lochnivar Ct. should be reduced to 41' if no sidewalk is installed on west side.

3. Entrance to Lochinvar Ct. must be a standard intersection with minimum 25' curb return radii unless other entry is REQUIRED by UDOT. Letter from UDOT stating requirement is required before exception to standard will be considered. UDOT letter stating approval of access is required.
4. Design for Lochinvar Ct. must meet minimum requirements for 25 mph road per AASHTO green book and must meet requirement of County Ordinance (14.12.090) including, but not limited to, maximum grade of 2% within 50 feet of intersection with 4500 South Street.
5. Plan and profile drawings required for all improvements on Gordon Lane and 4500 South. Design for new ADA ramp on corner of Gordon Lane and 4500 South required. Some redesign of the intersection will likely be needed to comply with ADA requirements.
6. No driveway may be located closer than 20 feet from an intersection.
7. The driveway width may not be greater than 50% of the lot frontage.
8. There must be a minimum distance of 10 feet between all driveways. Driveways must be located a minimum of 5 feet from the property line.

4/27/12 -Revised CONCEPT plan recieved. All driveway issues have been addressed. All other issues above still unresolved. Conceptual approval ok.

UDOT - No response received to date. UDOT approval required for access onto 4500 south.

Urban Hydrology Review -

(The proposed Site plan is approved, pending a technical review by this agency. See additional notes)

1. Wetland Issues. Please take note of potential flood conditions.
2. A final drainage plan is required. Plan must include Calculations sheets showing "Q" based on $Q=CiA$ for 10 year storm. Plan must also include size of pipe, flow lines. type of pipe, ground cover over the pipe, and catch basin locations. Also include the rim and invert elevations on all pipe and boxes.
3. Show profile and cross sections of canals or ditches including flow lines and high water mark elevations.
4. Need plans showing connections to existing storm drain.
5. Need Plan and profile of drainage system (show all existing utilities)
6. Show location of all irrigation, abandoned or active.
7. Plans must show permanent storm drain easements.
8. A flood control permit is required from the Engineering Division
9. Plans must include the phone number of a registered professional engineer (P.E. stamp required, signed and dated), project name, address, North arrow, and scale (minimum 1 inch = 20 feet).
10. The approximate storm drainage fee is \$4084 per acre.
11. Wet lands issues on property. Corps of Army Engineers permit required.

2.4 Other Issues

Planning Analysis - Issues that must be complied with

1. Adjust minimum lot width for each lot containing 1/2 of a two family dwelling to insure that each individual lot meets 1/2 of the minimum width requirement for the zone. This is especially important as it applies to minimum and maximum driveway width from the street. Will need to reposition proposed dwellings on lots 13/14 and 19/20 to match where the lot line needs to go.
2. Second kitchen in basement (rough in) is not allowed unless there is free and clear access between both kitchens (no doors). Either the door at the top of the stairs or the 2nd kitchen in the basement needs to be removed from the floor plans.
3. A solution needs to be found regarding ownership and maintenance of the residual parcel of ground on the West side of the proposed cul-de-sac.

4. Need to submit required plan and profile drawings of roadway and public improvements. Including construction plans for the roadway.
5. Supply a calculation of overall finished height from the Top Back of Curb for the homes on each property to more easily facilitate measurement in the field by the building inspectors.
6. Need to submit a preliminary plat showing all existing and proposed conditions together with all required plat information required under title 18.
7. Must include a note on the plat that the purpose of the subdivision is to carry out the division of two family dwellings, that the footings and foundations must have a certified survey to insure they are built in the correct location along the dividing property line, and that each Two-Family Dwelling must be built under a single building permit as one structure.
8. The existing home and accessory structure(s) must be removed prior to the recordation of the final plat. A demo permit will be required.
9. Developer must post a bond for required improvements.
10. The proposed dwelling on Lot 12 does not meet standard RCOZ side yard setbacks at the rear corner. Upon further review, staff supports allowing this to remain as proposed and is including this as part of the RCOZ option C exception request. Staff supports this for the following reasons: a) The proposed lot is an unusual shape and widens towards the street; b) strict compliance would delay the applicant and would have a negligible or negative effect with regards to the ideals espoused in the RCOZ ordinance.
11. Salt Lake City Public Utilities owns an easement and water transmission line in the area of the proposed Lochnivar Court. Additional requirements related to insuring that adequate access to their facility is maintained may be necessary upon further review.

19.71.050 - Option C Review Criteria - Staff Response

a. The proposed residence will be in harmony with the purpose of this chapter, the general plan and any other land use document applicable to the area.

The proposed Two-Family dwellings (Twin-homes) will be in harmony with the purpose and intent of the underlying R-2-10 zone. The Millcreek Township General Plan indicates that development along 4500 South is somewhat transitory in nature; the proposed development would be in harmony with the adopted general plan in that it provides a transition between the existing commercial, office, and multi-family uses on the West and the adjacent single-family zoning and uses to the East.

b. The proposed residence will be compatible with existing residential development within a reasonable distance in terms of height, mass and lot coverage, with particular focus on the proximate neighborhood.

The proposed residences will be compatible with adjacent existing residential development in the area. Nearly all single-family homes within the proximate neighborhood are single story with a basement. The exposed height above grade for these homes varies from 1 to 1 ½ stories with some heights extending to two stories above grade. All apartment complexes and office buildings in the proximate neighborhood are two stories or greater.

The main residential development within a reasonable distance of the homes proposed along Lochinvar Court consists of a two story Multi-Family residential apartment development. Although the roof peak of the homes may appear higher in elevation as viewed from the apartment complex, they will only appear to 2 to 2 ½ stories in height due to the upwardly sloping hillside.

The proposed homes along Gordon Lane will appear from that street to be compatible with typical two-story development with no point of the homes being higher than 30 feet as viewed from that street (top back of curb, TBC). While all three stories would be visible from 4500 South, this would not seem out of context

along such a busy stretch of roadway near fairly extensive existing commercial development, including an existing 3 story apartment complex across the street and to the East. Additionally, the property developer is planning on retaining a significant portion of the existing mature trees and vegetation on the site, both to aid in the screening of these homes from the street primarily for the value they add aesthetically and economically to the project.

Lot coverage and setbacks for the dwelling structures will all be in compliance with standard RCOZ provisions (option A) with one small exception to the proposed unit on lot #12. Staff is in support of allowing for an exception to the side-yard setback to allow for the proposed 8.5 foot setback to remain. The actual reduction from the otherwise required setback is less than 2 feet and is located at the rear of the dwelling. (Due to the angle of the existing side lot line, the side-yard setback as measured at the front of the dwelling exceeds the minimum required side-yard setback by 5.4 feet.) The additional two feet of setback area are utilized elsewhere in the project to help reduce the amount of encroachment into the building envelope for other properties along Gordon Lane, which practice would be in line with the intent of RCOZ to reduce the street presence of the homes by increasing the distance between the individual dwelling structures. All other yard area setbacks currently exceed the RCOZ option A minimums.

c. The proposed residence will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance, with particular focus on the proximate neighborhood.

There are no reasonable health, safety or welfare impacts anticipated with this development that would be detrimental to those residing in the neighborhood.

d. Each point on the highest ridge of the structure will be no more than forty feet above the point on the original grade vertically below it (with allowances for chimneys and vent stacks).

The proposed development will be consistent with this requirement. Only one structure on the upper portion of the property will exceed 30 feet and of the three structures that will exceed 30 feet on the lower portion of the property all will be less than 40 feet from original grade.

e. The front yard setback will be at least eighteen feet. No reduction to the front yard setback is proposed at this time.

The proposed dwellings will all be set back 30 feet from the street (or greater) per the standard R-2-10 zoning requirements.

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

- 1) Final approval of the preliminary plat to be completed by Staff after all of the issues, requirements, regulations and recommendations of the above identified review personnel and agencies have been met.

3.2 Reasons for Recommendation

- 1) When compliance with all listed issues and conditions has been addressed to the satisfaction of the reviewing entities through the technical review process, all legal requirements for final approval of the Preliminary Plat will have been met.

3.3 Additional Recommendations (Separate Motion by the Planning Commission required)

Staff recommends Approval of the requested RCOZ option C exceptions to allow for additional height (not to exceed 30 feet from top back of curb, or 40 feet from original grade), reduction in the side yard setback for lot # 12 to 8.5 feet, and exceptions to the building envelope to allow for the proposed encroachments of the roofline and the top floor.

3.4 Reasons for Recommendation

- 1) The unique topography and circumstances of the property do not allow for reasonable development to occur within the confines of the RCOZ option A or B requirements.
- 2) The proposed development is in line with the intent of the RCOZ ordinance and will be as compatible as possible with existing adjacent developments and the Millcreek Township General Plan for the area.

4.0 PROJECT PHOTOS



Image 1 : Existing Home (to be removed)



Image 2 : Existing accessory building (to be removed)



Image 3 : Rear view of existing home (to be removed) note the slope issues.



Image 4 : View across top of property fronting onto Gordon Lane.



Image 5 : View towards Gordon Lane and 4500 South looking South (Note buildings on 4500 S.)



Image 6 : Corner of Gordon Lane and 4500 South looking North. (notice slope)



Image 7 : View at corner of Gordon Lane and 4500 South looking East.



Image 8 : View West along 4500 South

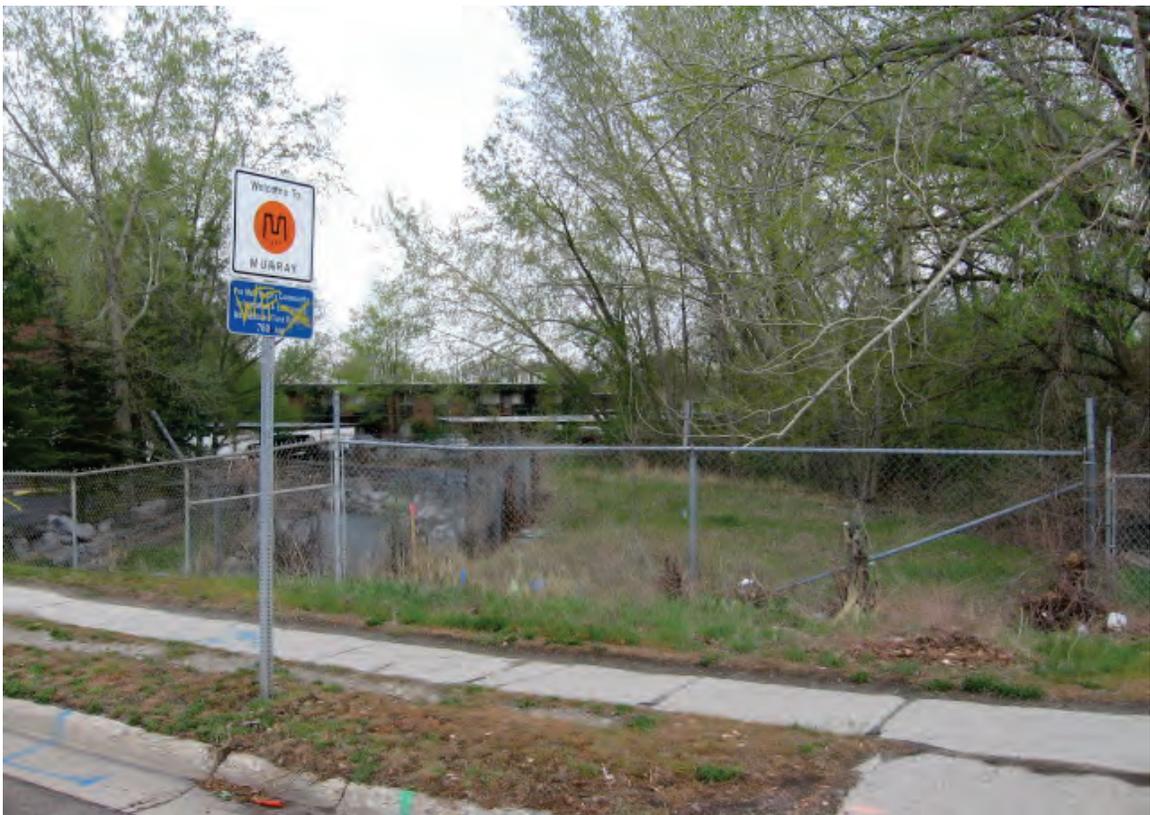


Image 9 : Approximate location of Lochinvar Court.



Image 10 : Adjacent office building



Image 11 : Big Cottonwood Creek and adjacent Apartment Complex



Image 12 : Existing mature trees typical of those likely to be retained.



Image 13 : Looking North from the center of 4500 South - (notice property slope)

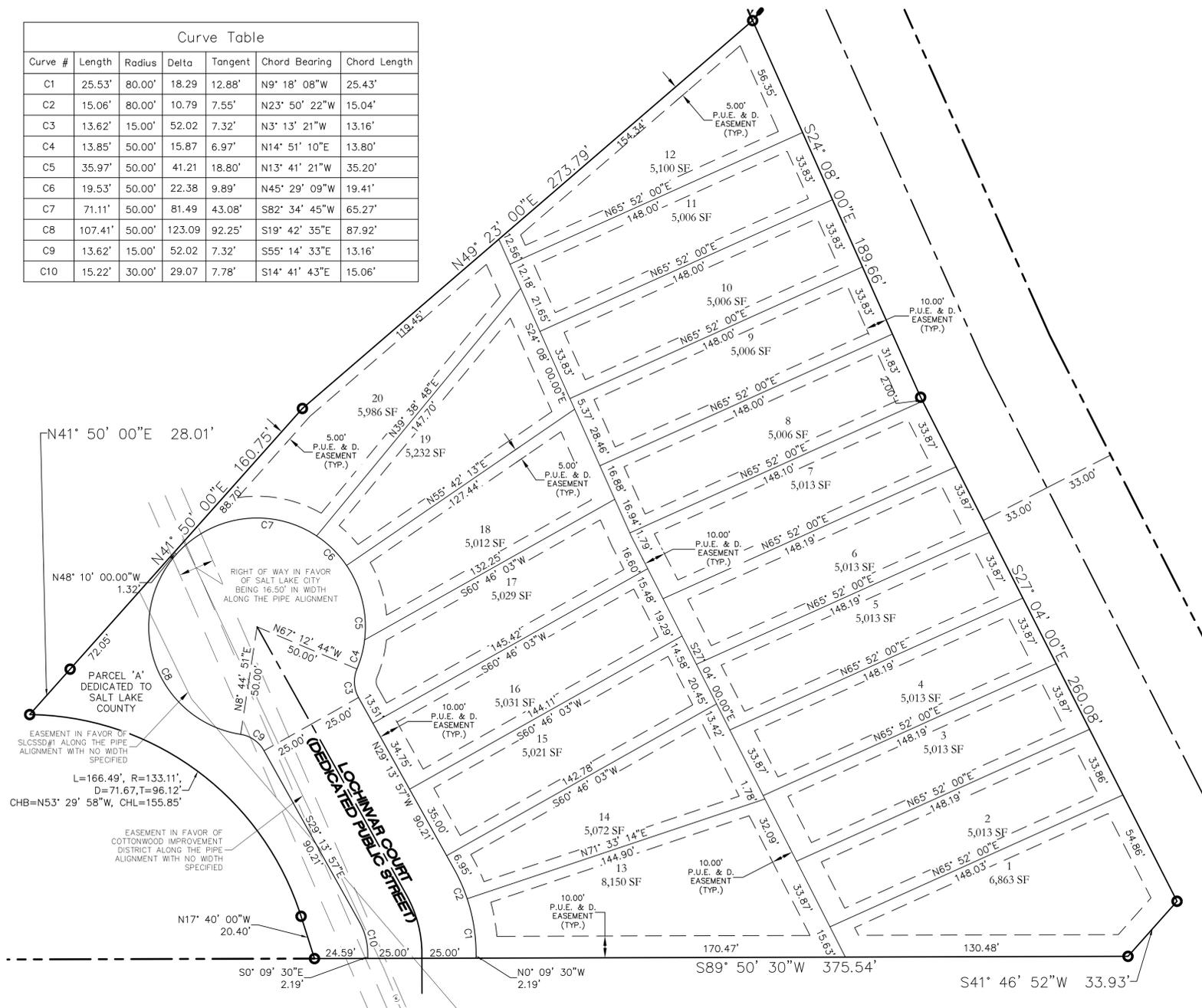


Image 14 : North along Gordon Lane

Kenmure Place Subdivision

LOCATED IN THE SOUTHEAST QUARTER (SE 1/4)
OF SECTION 6, TOWNSHIP 2 SOUTH, RANGE 1 EAST, S.L.B.&M.,
SALT LAKE COUNTY, UTAH

Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Length
C1	25.53'	80.00'	18.29	12.88'	N9° 18' 08"W	25.43'
C2	15.06'	80.00'	10.79	7.55'	N23° 50' 22"W	15.04'
C3	13.62'	15.00'	52.02	7.32'	N3° 13' 21"W	13.16'
C4	13.85'	50.00'	15.87	6.97'	N14° 51' 10"E	13.80'
C5	35.97'	50.00'	41.21	18.80'	N13° 41' 21"W	35.20'
C6	19.53'	50.00'	22.38	9.89'	N45° 29' 09"W	19.41'
C7	71.11'	50.00'	81.49	43.08'	S82° 34' 45"W	65.27'
C8	107.41'	50.00'	123.09	92.25'	S19° 42' 35"E	87.92'
C9	13.62'	15.00'	52.02	7.32'	S55° 14' 33"E	13.16'
C10	15.22'	30.00'	29.07	7.78'	S14° 41' 43"E	15.06'

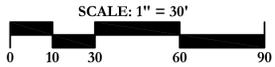


LEGEND

- EXISTING PROPERTY LINE
- ADJACENT RIGHT-OF-WAY
- PROPOSED PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED SETBACK



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(801) 201-7494 www.edmllc.net



OWNER / DEVELOPER:

NOTES:

Kenmure Place

Preliminary Plat

PROJECT: 1201
DRAWN BY: NMM
REVIEWED BY: NMM
REVISIONS:
No. DATE REMARKS

DATE: April 16, 2012

SHEET NUMBER:

PLAT

BASIS OF BEARING

THE BASIS OF BEARING IS SOUTH 89° 50' 30" WEST ALONG THE MONUMENT LINE OF 4500 SOUTH STREET PER THE SALT LAKE COUNTY MAP OF BLOCKS 7 & 8, 10 ACRE PLAT "A", BIG FIELD SURVEY.



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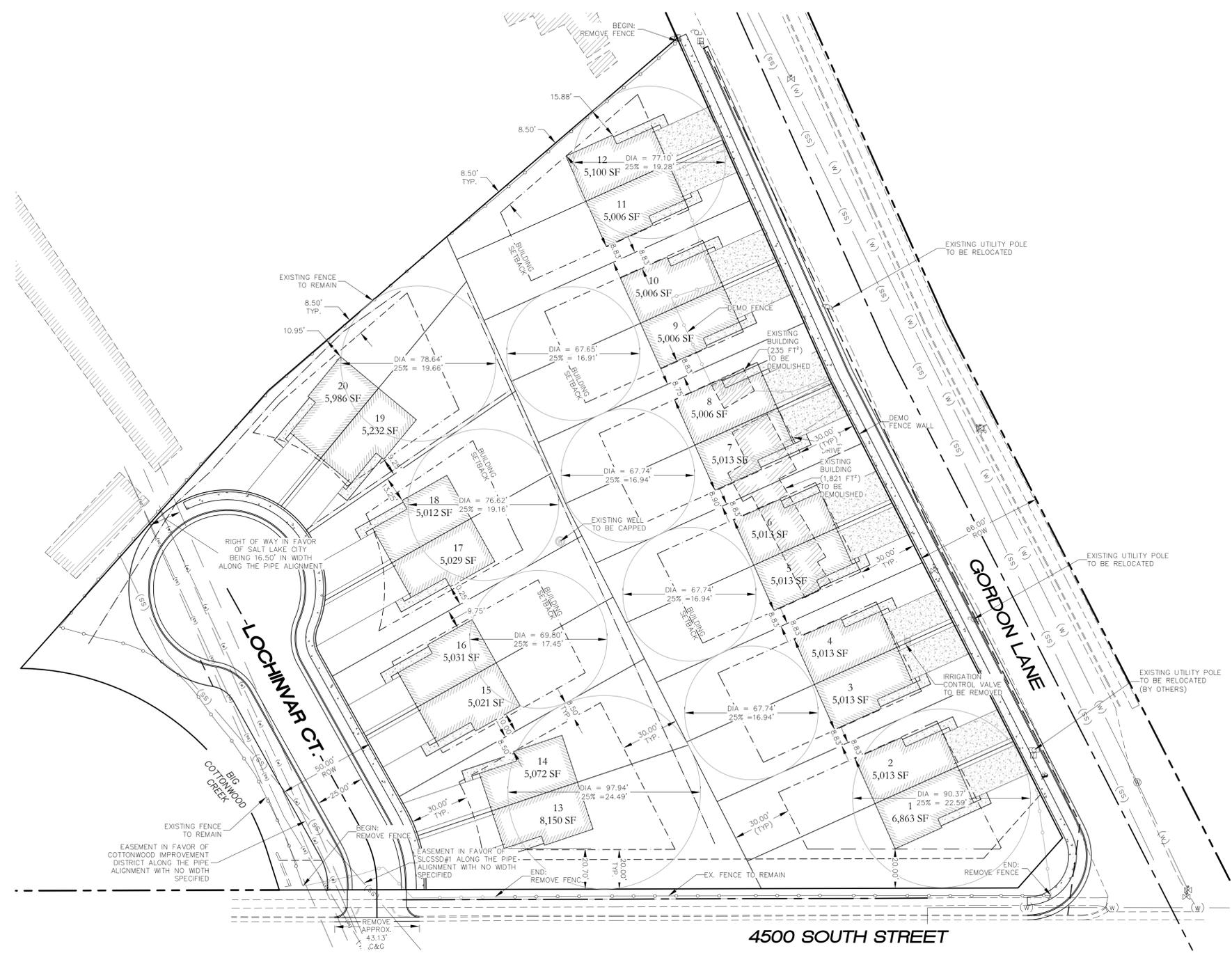


SCALE: 1" = 30'



OWNER / DEVELOPER:
Hamlet Development
308 East 4500 South, Suite 200
Murray, UT 84107
801-281-2223

- NOTES:
1. Project benchmark: Monument in 4500 South located approximately 89 feet southwest of the southwest corner of Lot 1.
 2. Call before you Dig! Blue Stakes: 1-800-662-4111
 3. All sewer work to conform with Salt Lake City Suburban Sanitary District #1 standards and specifications.
 4. All water work to conform with Jordan Valley Water Conservancy District standards and specifications.
 5. All work in public right-of-way to conform with per Salt Lake County standards and specifications.
 6. Contractor to field verify horizontal and vertical locations of all utilities prior to commencing work.
 7. The location of this subdivision is depicted on the FEMA Flood Insurance Rate Map number 49035C0292G, and is shown as an area that is outside the 0.2% annual chance (500 year) floodplain with the exception of a small area in the northwest corner of the site that is shown as an area protected by a levee from the 100-yr flood. See Utility and Drainage Plan for location.



- LEGEND
- EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - - - EXISTING EASEMENT
 - - - PROPOSED SETBACK
 - - - EXISTING CONTOUR
 - - - PROPOSED CONTOUR
 - - - EXISTING SIDEWALK
 - - - PROPOSED SIDEWALK
 - - - PROPOSED CURB & GUTTER
 - (S) - EXISTING SEWER LINE
 - (SS) - PROPOSED SEWER LINE
 - (W) - EXISTING WATER LINE
 - (W) - PROPOSED WATER LINE
 - - - EXISTING STORM LINE
 - - - PROPOSED STORM LINE
 - - - TEMPORARY SILT FENCE
 - [Hatched Box] PROPOSED STRUCTURE
 - [Star Symbol] PROPOSED SIDEWALK
 - [Circle with X] EXISTING FIRE HYDRANT
 - [Circle with X] PROPOSED FIRE HYDRANT
 - [Arrow] FLOW DIRECTION
 - [Circle with Number] SPOT ELEVATION*

* SPOT ELEVATIONS AND ELEVATIONS IN CALL OUTS ARE IN THE 4200 FT ELEVATION RANGE. THUS, A SPOT ELEVATION OF 99.5 IS ACTUALLY 4299.5'

- Site Notes:
1. Refer to architectural plans for building dimensions and square footages.
 2. Refer to landscape plans for building coverage calculations
 3. This plan has been prepared for RCOZ option 'C'.
 4. Entire project site located within RCOZ overlay zone.

Kenmure Place

Site Plan

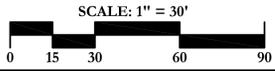
PROJECT:	1201
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: March 30, 2012

SHEET NUMBER:
S-1



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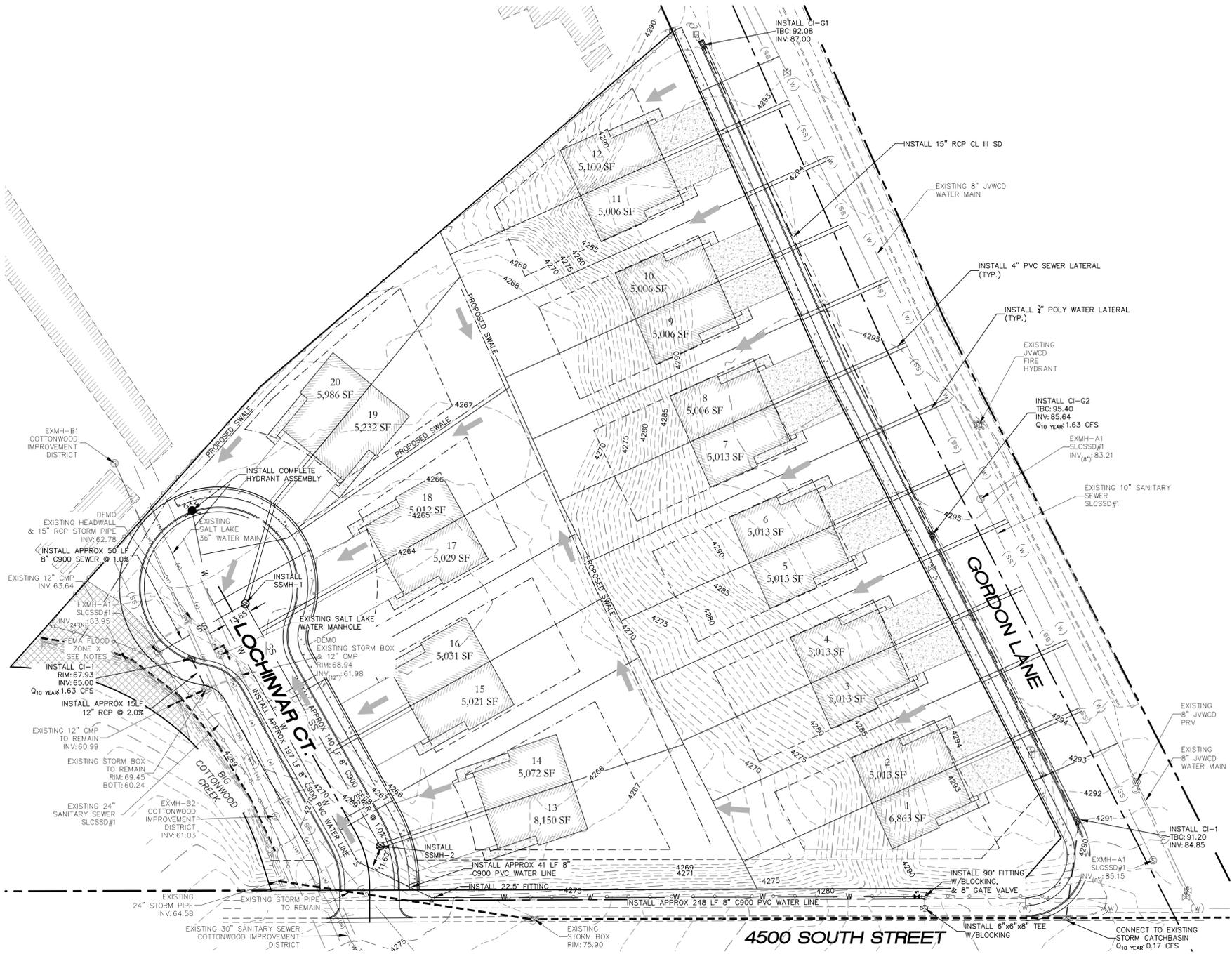


OWNER / DEVELOPER:
Hamlet Development
308 East 4500 South, Suite 200
Murray, UT 84107
801-281-2223

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 7. The location of this subdivision is depicted on the FEMA Flood Insurance Rate Map number 49035C0292G, and is shown as an area that is outside the 0.2% annual chance (500 year) floodplain with the exception of a small area in the northwest corner of the site that is shown as an area protected by a levee from the 100-yr flood. See Utility and Drainage Plan for location.

- LEGEND
- EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - - - EXISTING EASEMENT
 - - - PROPOSED SETBACK
 - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - - - EXISTING SIDEWALK
 - - - PROPOSED SIDEWALK
 - - - PROPOSED CURB & GUTTER
 - (S) EXISTING SEWER LINE
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 - (W) EXISTING WATER LINE
 - (W) PROPOSED WATER LINE
 - EXISTING STORM LINE
 - DEMO STORM LINE
 - PROPOSED STORM LINE
 - TEMPORARY SILT FENCE
 - ▨ PROPOSED STRUCTURE
 - PROPOSED SIDEWALK
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ PROPOSED FIRE HYDRANT
 - ← FLOW DIRECTION
 - SPOT ELEVATION*

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Kenmure Place

Utility & Drainage Plan

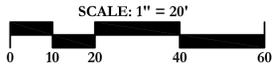
PROJECT:	1201
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: March 30, 2012

SHEET NUMBER:
U-1



PO Box 522056 Salt Lake City, UT 84152-2056
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OWNER / DEVELOPER:
Hamlet Development
308 East 4500 South, Suite 200
Murray, UT 84107
801-281-2223

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LEGEND

- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- - - EXISTING EASEMENT
- - - PROPOSED SETBACK
- CON EXISTING CONTOUR
- CON PROPOSED CONTOUR
- - - EXISTING SIDEWALK
- - - PROPOSED SIDEWALK
- - - PROPOSED CURB & GUTTER
- (S) EXISTING SEWER LINE
- (SS) PROPOSED SEWER LINE
- (W) EXISTING WATER LINE
- (W) PROPOSED WATER LINE
- - - EXISTING STORM LINE
- - - DEMO STORM LINE
- - - PROPOSED STORM LINE
- - - TEMPORARY SILT FENCE
- ▨ PROPOSED STRUCTURE
- PROPOSED SIDEWALK
- ⊕ EXISTING FIRE HYDRANT
- ⊕ PROPOSED FIRE HYDRANT
- ← FLOW DIRECTION
- ⊕ SPOT ELEVATION*
- SLOPES >30%

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Kenmure Place

Grading Plan

PROJECT:	1201
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: March 30, 2012

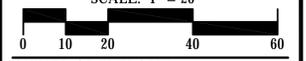
SHEET NUMBER:
G-1



PO Box 522056 Salt Lake City, UT 84152-2056
(801) 201-7494 www.edmlc.net



SCALE: 1" = 20'



OWNER / DEVELOPER:

NOTES:

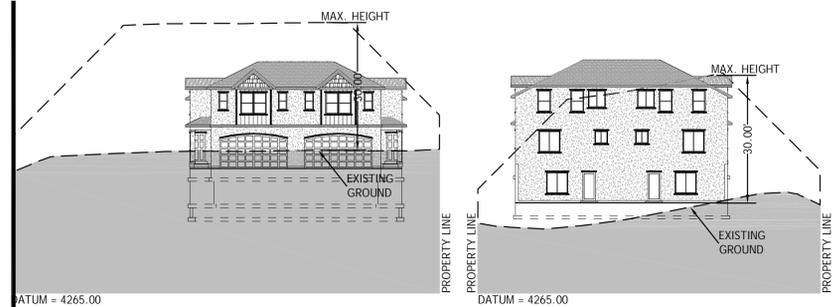
Kenmure Place

Cross Sections

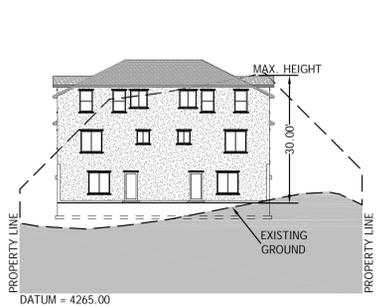
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DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: March 30, 2012

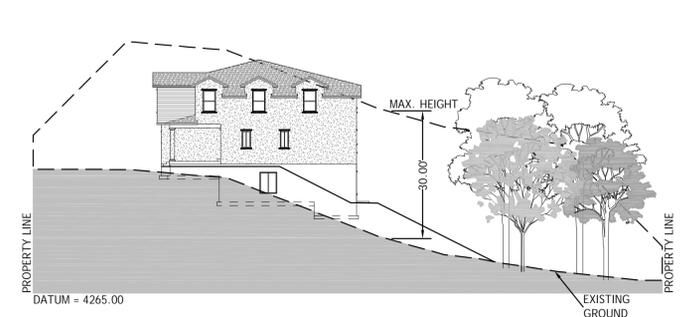
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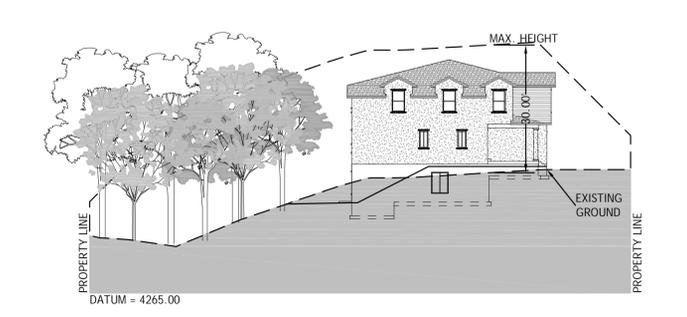
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FRONT ELEVATION



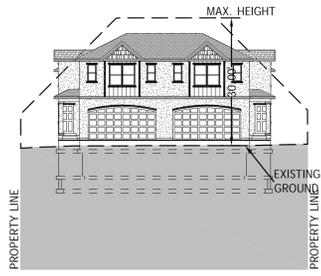
LOTS 1 & 2
REAR ELEVATION



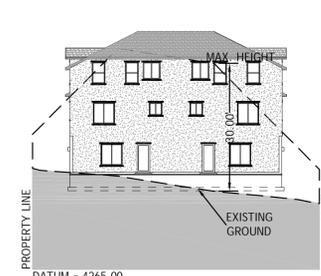
LOTS 1 & 2
RIGHT ELEVATION



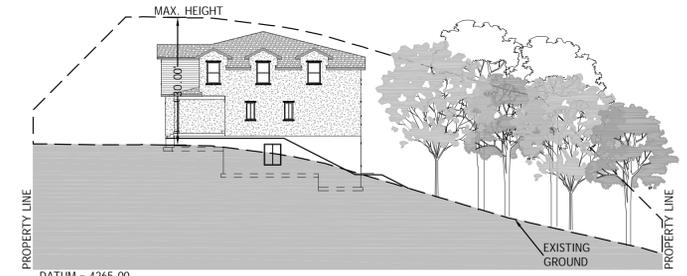
LOTS 1 & 2
LEFT ELEVATION



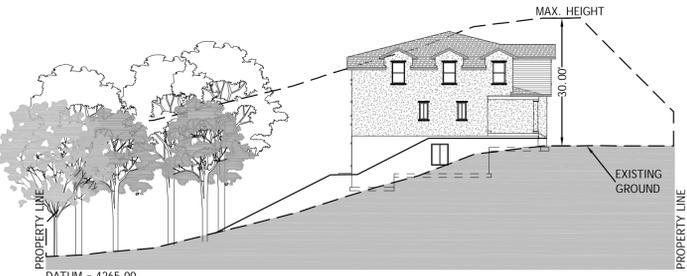
LOTS 3 & 4
FRONT ELEVATION



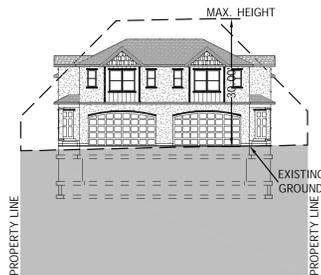
LOTS 3 & 4
REAR ELEVATION



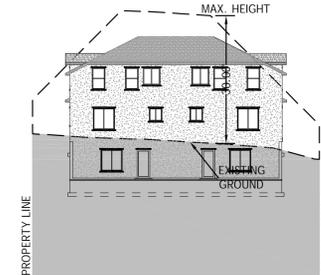
LOTS 3 & 4
RIGHT ELEVATION



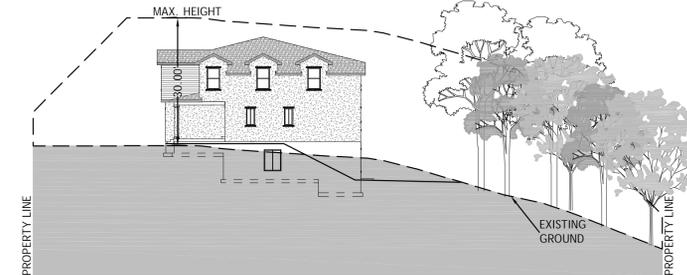
LOTS 3 & 4
LEFT ELEVATION



LOTS 5 & 6
FRONT ELEVATION



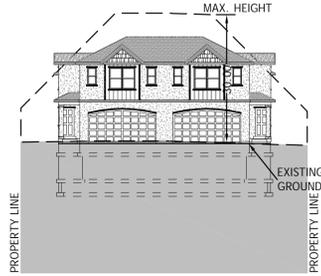
LOTS 5 & 6
REAR ELEVATION



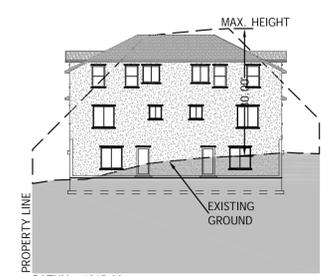
LOTS 5 & 6
RIGHT ELEVATION



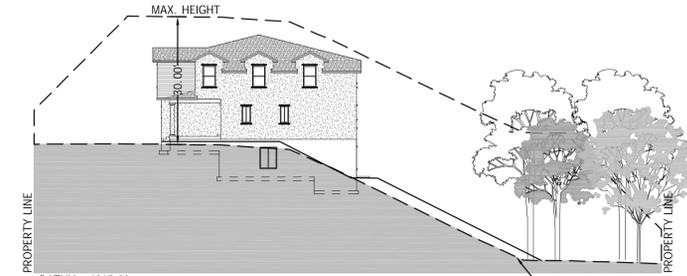
LOTS 5 & 6
LEFT ELEVATION



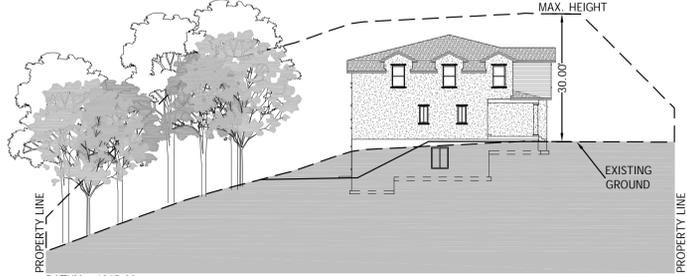
LOTS 7 & 8
FRONT ELEVATION



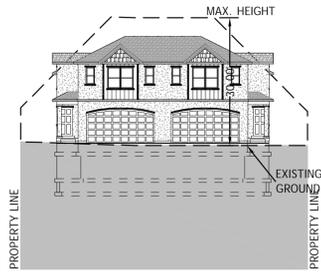
LOTS 7 & 8
REAR ELEVATION



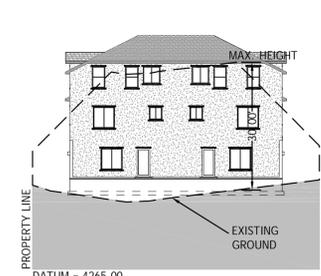
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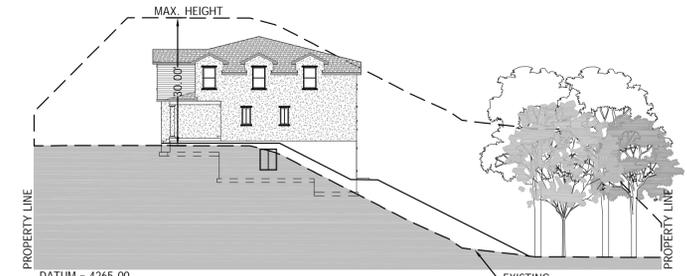
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LEFT ELEVATION



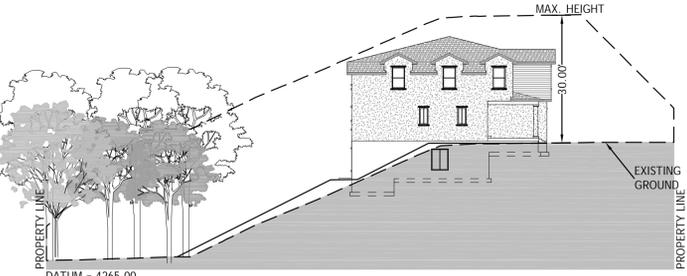
LOTS 9 & 10
FRONT ELEVATION



LOTS 9 & 10
REAR ELEVATION



LOTS 9 & 10
RIGHT ELEVATION



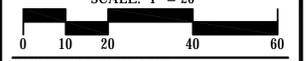
LOTS 9 & 10
LEFT ELEVATION



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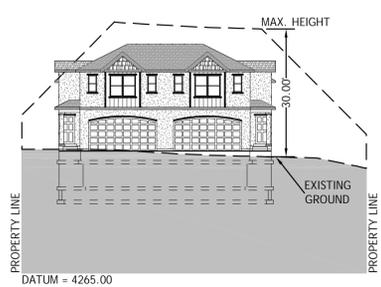


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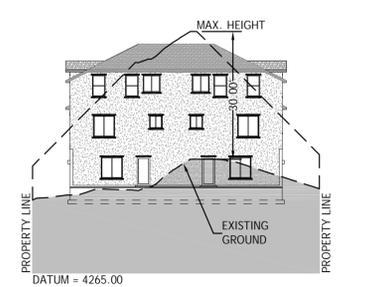


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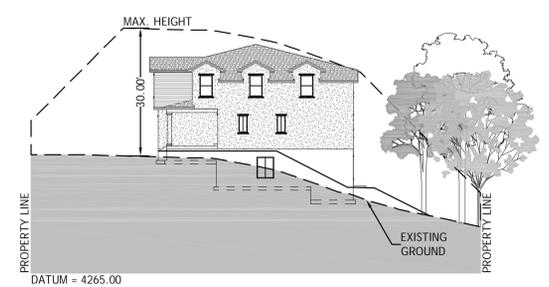
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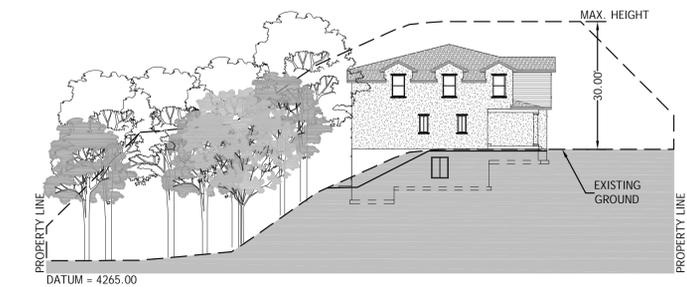
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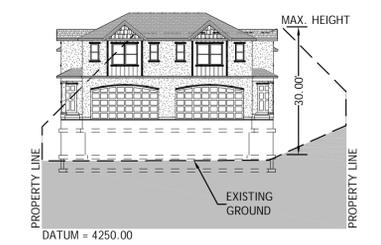
LOTS 11 & 12
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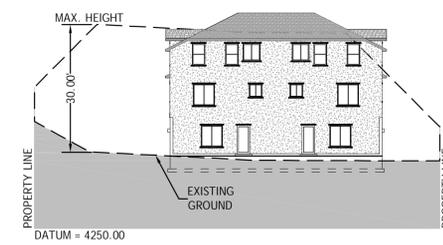
LOTS 11 & 12
RIGHT ELEVATION



LOTS 11 & 12
LEFT ELEVATION



LOTS 13 & 14
FRONT ELEVATION



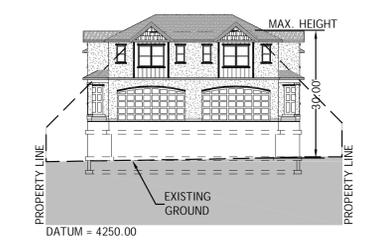
LOTS 13 & 14
REAR ELEVATION



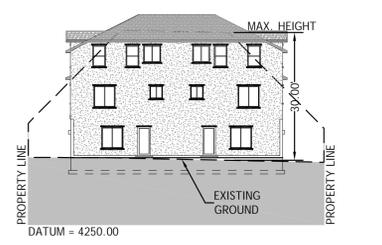
LOTS 13 & 14
RIGHT ELEVATION



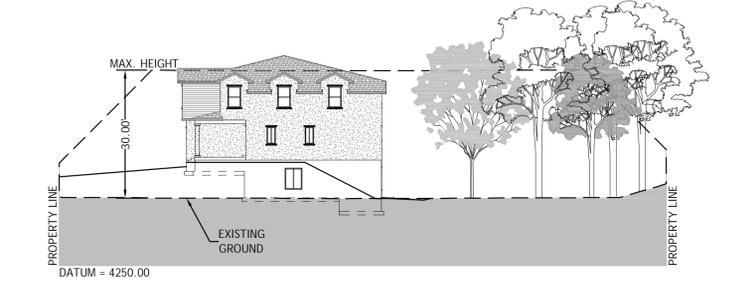
LOTS 13 & 14
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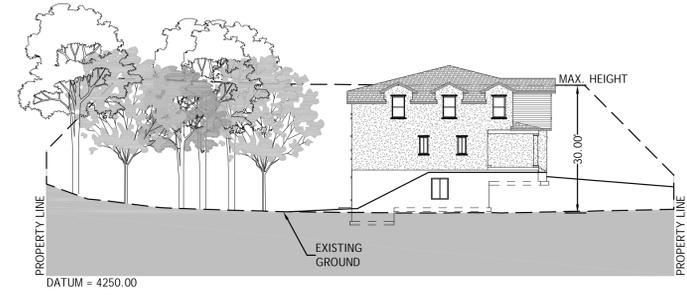
LOTS 15 & 16
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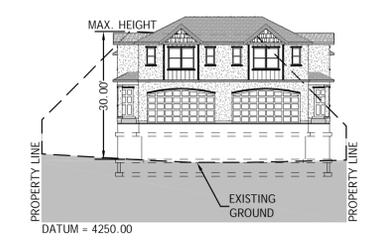
LOTS 15 & 16
REAR ELEVATION



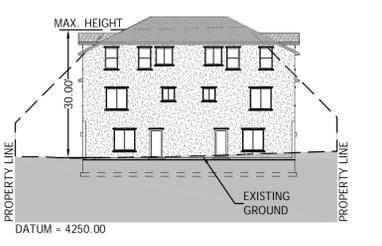
LOTS 15 & 16
RIGHT ELEVATION



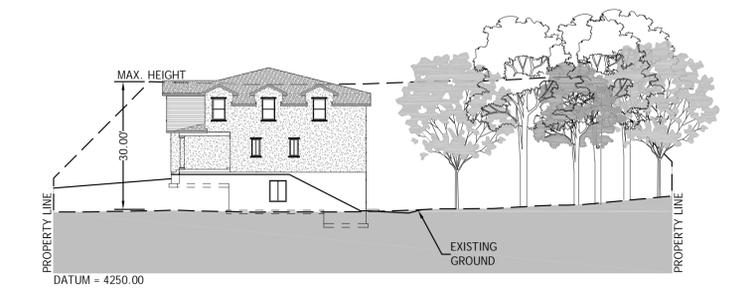
LOTS 15 & 16
LEFT ELEVATION



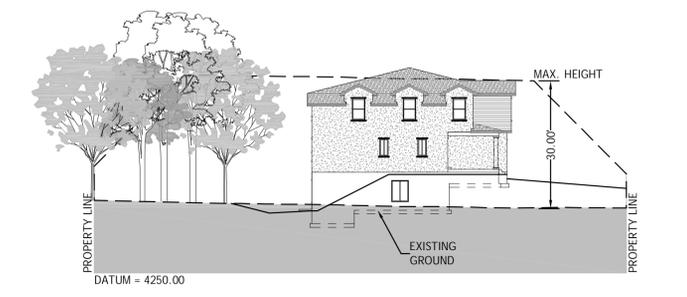
LOTS 17 & 18
FRONT ELEVATION



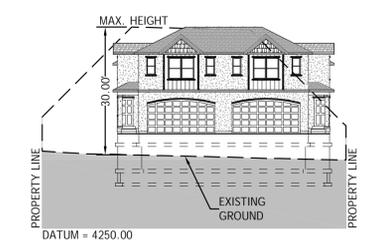
LOTS 17 & 18
REAR ELEVATION



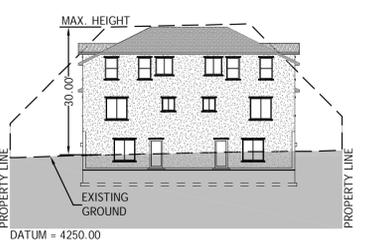
LOTS 17 & 18
RIGHT ELEVATION



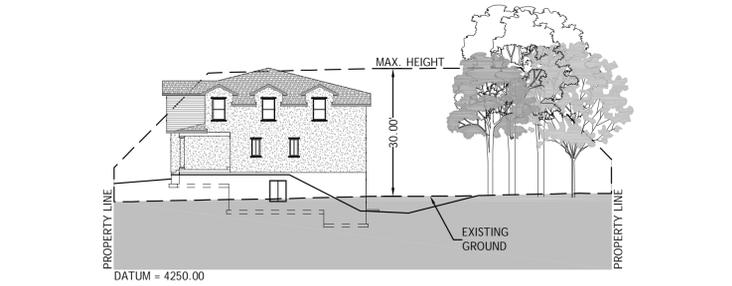
LOTS 17 & 18
LEFT ELEVATION



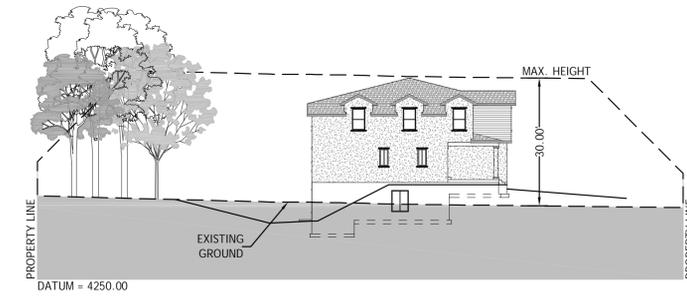
LOTS 19 & 20
FRONT ELEVATION



LOTS 19 & 20
REAR ELEVATION



LOTS 19 & 20
RIGHT ELEVATION



LOTS 19 & 20
LEFT ELEVATION

Kenmure Place

Cross Sections

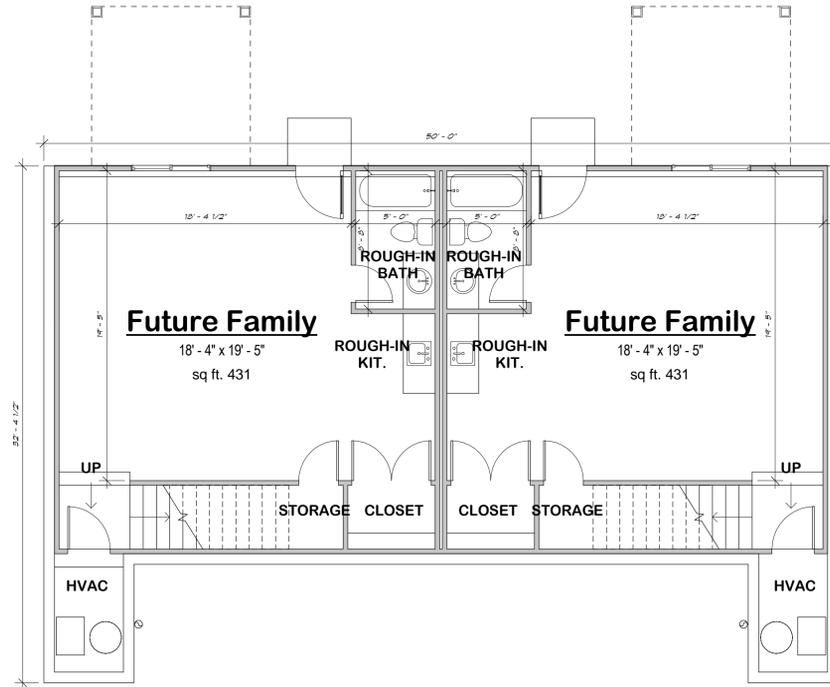
PROJECT:	1201
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: March 30, 2012

SHEET NUMBER:
XS-2

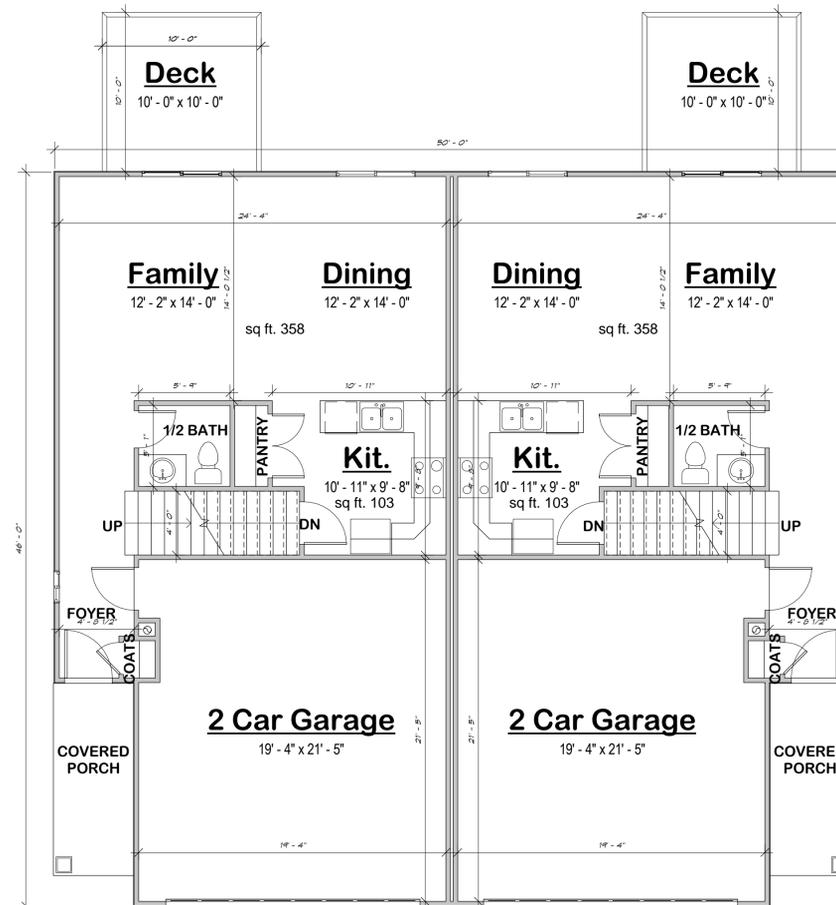
LOWER LEVEL FLOOR PLAN

Scale: 3/16" = 1' - 0"



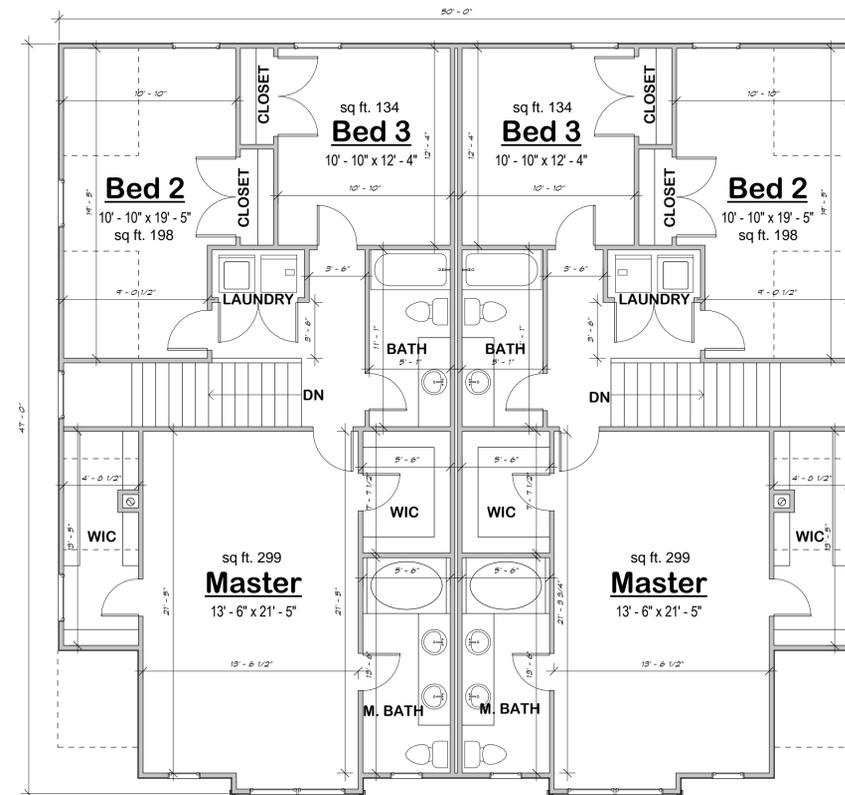
MAIN LEVEL FLOOR PLAN

Scale: 3/16" = 1' - 0"



UPPER LEVEL FLOOR PLAN

Scale: 3/16" = 1' - 0"



Walker Home Design

1725 E. 4620 S.
SALT LAKE CITY, UT 84117
801-930-9499 office (801)699-7262 cell

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Kenmure	
Designed for	
Hamlet Homes	
Finished Footage	1,712
Date	March 2012
Drawn by	WHD
PRINTED: 3/29/2012 11:41:06 AM	LOWER LEVEL: 623 MAIN LEVEL: 653 UPPER LEVEL: 1,059 TOTAL: 888

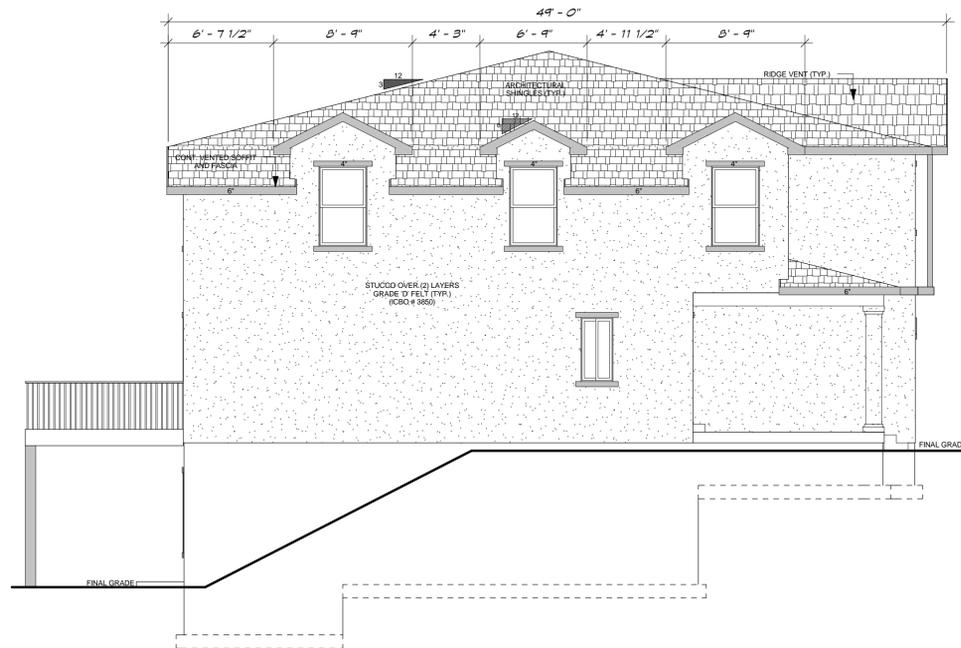
FLOOR PLANS

Scale: 3/16" = 1' - 0"

Sheet 3 of 12

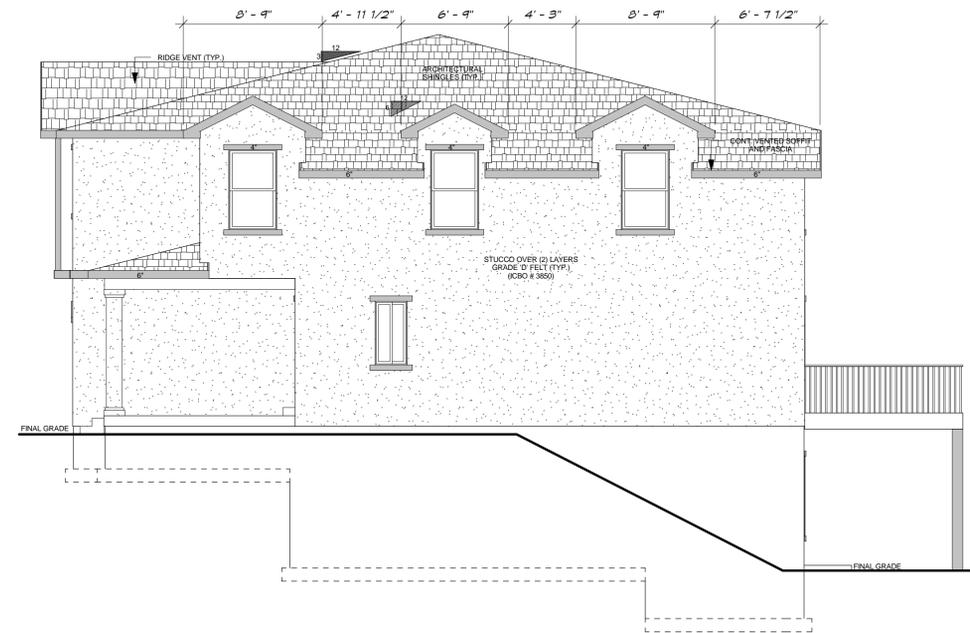
LEFT ELEVATION

Scale: 3/16" = 1' - 0"

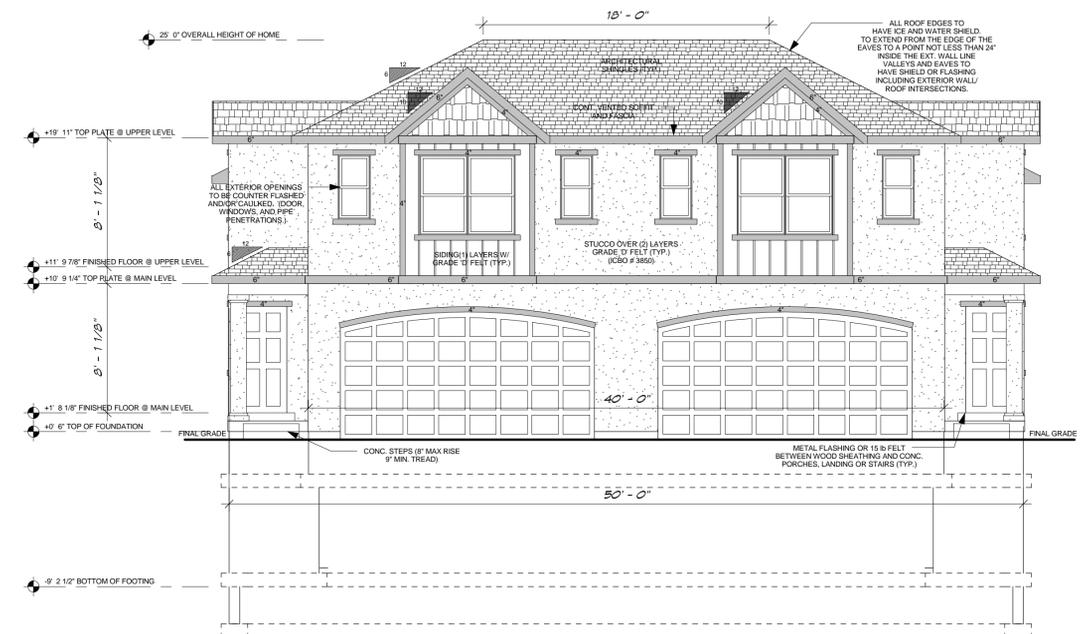


RIGHT ELEVATION

Scale: 3/16" = 1' - 0"



NOTE:
SEE CIVIL PLANS FOR BUILDING ENVELOPE
SEE LANDSCAPE PLAN FOR LOT COVERAGE CALCULATION
PLANS PREPARED FOR RCOZ OPTION C



REAR ELEVATION

Scale: 3/16" = 1' - 0"

FRONT ELEVATION

Scale: 3/16" = 1' - 0"



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Kenmure	
Designed for	
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Finished Footage	1,712
Date	March 2012
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PRINTED: 3/29/2012 11:41:07 AM	LOWER LEVEL: 623 MAIN LEVEL: 653 UPPER LEVEL: 1,059 TOTAL: 888
Sheet 06 of 12	

LANDSCAPE SPECIFICATIONS

LANDSCAPING

PART I - GENERAL

- 1.1 SUMMARY
- A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:
 1. Soil Amendments
 2. Fine Grading
 3. Cultivation
 4. Landscape Edging
 5. Turf Planting
 6. Furnish and Installing Plants
 7. Maintenance
 8. Mowing
 9. Weeding

- 1.2 SITE CONDITIONS
- A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents. If the Contractor observes that portions of the Contract Documents are at a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Representative and the necessary changes shall be accomplished by Addendum.

- B. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.
- C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

- 1.3 SUBMITTALS
- A. General: Contractor to provide a complete list of supplier(s) for each product or material to be installed on the Project to the Project Representative for approval prior to the commencement of construction.
 - B. Deliveries: Bulk deliveries of mulch, topsoil, etc., shall be accompanied with two delivery tickets. One delivery ticket shall be provided to the Owner or their representative.

- 1.4 PERMITS
- A. Blue Stake: When digging is required, "Blue Stake" the work site and identify the approximate location of all known underground utilities or structures.

- 1.5 PLANT DELIVERY, QUALITY, AND AVAILABILITY
- A. All plants procured for this project are to be tagged by the supplier nursery with the identification labels consistent with the specified plant names and project drawing identifiers if drawing symbol identifiers are used.
 - B. Deliver trees and shrubs after preparations for planting have been completed and plant immediately. If planting is delayed more than six (6) hours after delivery, set trees and shrubs in shade, protect from weather and mechanical damage, and keep roots moist by covering with mulch, burlap or other acceptable means of retaining moisture.
 - C. All plant materials are to be inspected by the Project Representative at the time of delivery on site. This inspection does not constitute final acceptance of any plant material. All plant material will be inspected again at time of final inspection and once again at the end of the warranty period. Any plant found to be unacceptable at any of these inspections shall be immediately removed and replaced.
 - D. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unobtainable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.

- 1.6 MAINTENANCE
- A. Plant Materials: The contractor is responsible to maintain all planted materials in a healthy and growing condition prior to receiving a Substantial Completion at which time the Guarantee period commences. This maintenance is to include weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-guying and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due to improper application of water.

- 1.7 FINAL INSPECTION
- A. All plants will be inspected at the time of Final Inspection for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Representative will be rejected and replaced immediately.

- 1.8 GUARANTEE
- A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be considered in the guarantee.

PART II - PRODUCTS

2.1 LANDSCAPE MATERIALS

- A. Plants: Plants shall be sound, healthy, vigorous, and free from pests and diseases. They shall be well branched, be in full leaf, have a healthy root system, and not be pot-bound. All plants shall be nursery grown and conform to specie and size specified. Do not prune or top prior to delivery. Conform to list of plant materials on drawings.
- B. Topsoil Analysis: Furnish soil analysis made by a qualified independent soil-testing agency, stating percentages of organic mater, inorganic matter (sand, silt, and clay), deleterious material, PH, EC (electrical conductivity), SAR (sodium absorption ration), mineral and plant-nutrient content of either the import or onsite topsoil to be used as plant growth medium.
- C. Acceptable topsoil shall meet the following standards:
 - PH: 5.5-7.5
 - EC (electrical conductivity): < 2.0 mmhos per centimeter
 - SAR (sodium absorption ration): < 3.0
 - % OM (percent organic matter): > 1%
 - Texture (particle size per USDA soil classification):
 - Sand: < 70%
 - Clay: < 30%
 - Silt: < 70%
 - Stone fragments (gravels or any soil particle greater than two (2) mm in size): < 5% by volume.
- E. Tree Staking: Trees shall be staked at the contractor discretion. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.
- F. Tree Wrap: Tree wrap is not to be used.
- G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Only use sod from a single source.

- 2.2 SOIL AMENDMENTS
- A. Commercial Fertilizer: Complete fertilizer of neutral character, with some elements derived from organic sources, O-F-241C, type 1 grade 16-16-8, level B with guaranteed analysis marked on the container. Provide nitrogen in a form that will be available to lawn during initial period of growth; at least fifty (50) percent of nitrogen to be organic form. Adjust fertilization mixture to meet recommendations given by topsoil analysis.
 - B. Peat: Reed peat, sedge peat, moss peat (fine shreds only), reed muck or sedge muck all comply with Q-P-166e, class B coarseness.
 - C. Compost: Well-composted, stable, organic matter, pH range of 5.5 to 8, free of weeds/weed seed, chips, stones, sticks, toxic substances or material harmful to plant growth.

- D. Herbicides: EPA registered and approved, of type recommended by manufacturer.

PART III - EXECUTION

- 3.1 SOIL PREPARATION
- A. Topsoil Preparation: Eliminate uneven areas and low spots. Remove debris, roots, branches, stones, in excess of one half (1/2) inch in size while spreading topsoil. Place topsoil in planting areas as required to achieve a minimum depth of four (4) inches in lawn and four (4) inches in shrub areas. Limit excavation work around tree roots of trees to remain. Work with existing soils in these areas to reduce disturbance. Scarify subsurface to a four (4) inch depth to provide a transition zone between sub-grade and topsoil. Provide for proper grading and drainage. Use topsoil in relatively dry state. Place during dry weather. Work soil in a manner which does not cause excessive compaction or creates clods, which will not break easily. Apply water as necessary to obtain optimum moisture content of filling and planting.

- B. Topsoil Placement: Slope surfaces away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of lawn one (1) inch below grade of adjacent paved surfaces. Manually spread topsoil around existing trees and next to buildings to prevent damage. Lightly compact (roll) placed topsoil. Provide neat, smooth and uniform finish grades. Remove surplus sub-soil and topsoil from the site.

- C. Soil Amendments and Weed Control: Apply Roundup or equal to weeds in the project areas. Apply herbicide, while plants are growing in a vigorous state for best results. After three (3) days repeat application of herbicide to weeds that are still alive and repeat until weeds have been killed. After weeds have been controlled, add soil amendment and fertilizers as required by top soil analysis and specifications. Incorporate amendments as per manufacturer's specifications into planting areas to a minimum of four (4") inch depth.

- 3.2 GRADING
- A. Topsoil Preparation: Grade planting areas according to the layout plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.
 - B. Establish finish grades of lawn one (1) inch below grade of adjacent paved surfaces. Provide neat, smooth and uniform finish grades. Remove surplus sub-soil and topsoil from the site.
 - C. Compaction: Compaction under hard surface areas (asphalt paths and concrete surfaces shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

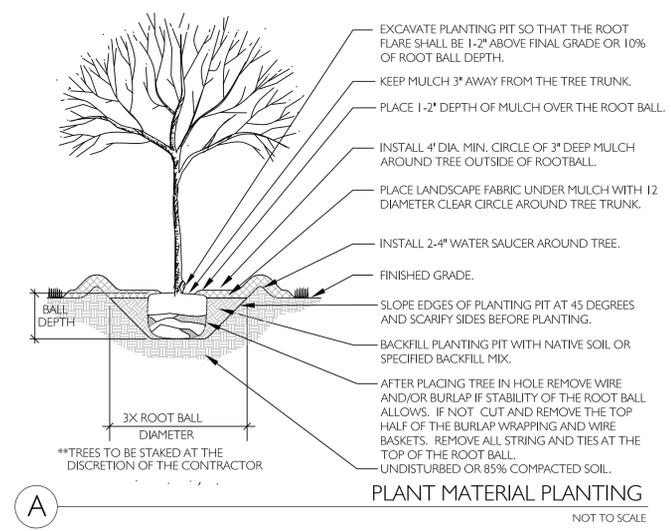
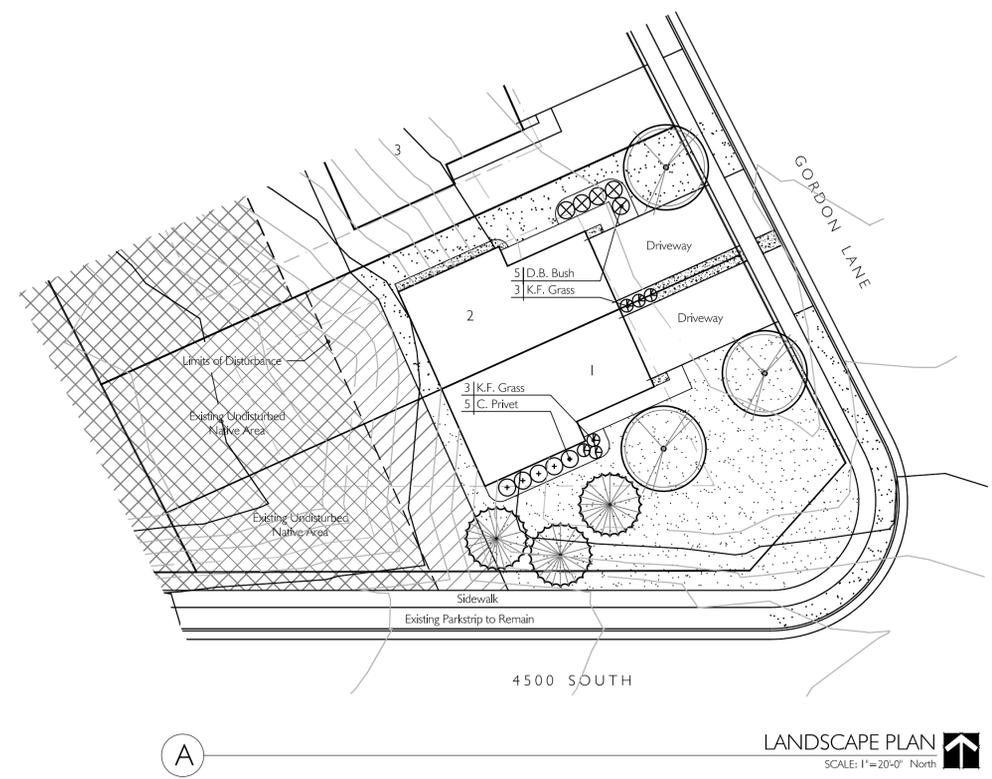
- 3.3 TURF GRADING
- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
 - B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

- 3.4 PLANTING OPERATIONS
- A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Refer to the drawings for the sizes and preparation of tree and shrub holes. Prepare all holes according to the details on the drawings.
 - B. Water plants immediately upon arrival at the site. Maintain in moist condition until planted.
 - C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines.
 - D. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball.
 - E. Trees must be placed on undisturbed soil at the bottom of the planting hole.
 - F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
 - G. Except in rare cases, trees should not be staked.
 - H. Plant immediately after removal of container for container plants.
 - I. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.
 - J. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.
 - K. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added, it should be a coarser mix as required to establish finish grade as indicated on the drawings.
 - L. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.
 - M. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.

- N. After placing tree in hole remove wire and/or burlap if stability of the root ball allows. If not cut and remove the top half of the burlap wrapping and wire baskets. Remove all string and ties at the top of the root ball.
- O. Undisturbed or 85% compacted soil.

- 3.5 TURF - SOD LAYING
- A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.
 - B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of 1/2 pound of nitrogen per 1000 square feet. Reapply fertilizer every 30 days following initial application. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
 - C. Sod Availability and Condition: The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so as too completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to commencing the work.
 - D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified above. Areas where sod are to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.
 - E. Sod shall be tamped lightly as each piece is set to insure that good contact is made between edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.
 - F. Apply water directly after laying sod. Rainfall is not acceptable.
 - G. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner prior to acceptance by the owner. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system, it is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.
 - H. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with strips or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc. until such time as the lawn is accepted by the Owner.
 - I. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

- 3.6 CLEAN AND PROTECT
- A. Clean landscaped area: Remove rubbish, trash and debris resulting from the operation at the end of each work day and legally dispose of it off the Owner's property. Wash paved surfaces clean.
 - 3.7
 - B. Protect Landscape: Protect landscaping from damage due to landscaped operations, operations both contractors and trades, and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed.
 - 3.8 END OF SECTION



LANDSCAPE SCHEDULE

Sym./Name	Qty.	Botanical Name	Common Name	Size	Spacing	Wise
TREES						
W. Fir	3	Abies Concolor	White Fir	6'	Varies	Yes
V.G. Zel.	3	Zelkova serrata 'Village Green'	Village Green Zelkova	2' Cal.	Varies	Yes
SHRUBS AND PERENNIALS						
K.F. Grass	6	Calamagrostis x acutifolia 'Karl Foerster'	Karl Foerster Feather Grass	1 Gal.	3' o.c.	Yes
D.B. Bush	5	Euonymus alatus compacta	Dwarf Burning Bush	5 Gal.	4' o.c.	Yes
C. Privet	5	Ligustrum vulgare 'Cheyenne'	Cheyenne Privet	5 Gal.	4' o.c.	Yes
TURF						
27,100 S.F.		Bio Turf Sod (Dwarf Fescue Sod Mix) - or approved equal		Sod	N.A.	
REVEGETATION						
		Grass Seed Mixture:				
		Poa sandbergii	Sandberg Bluegrass	4%		
		Festuca ovina	Sheep Fescue	6%		
		Agropyron cistantium	Crested Wheatgrass	30%		
		Elymus lanceolatus	Streambank Wheatgrass	30%		
		Adinathenum hymenoides	Indian Ricegrass	30%		
		Apply at 20 lbs./ac. pls. - Fall Planting				
MULCH						
		Wood Mulch, Dark Brown, Shredded or Approved Equal		Min. 3"		
EXISTING LANDSCAPE						
		Existing Undisturbed Native Area to Remain				

SITE TABULATIONS

LOT	TOTAL SITE AREA	LANDSCAPE AREA	IMPERVIOUS AREA	BUILDING PAVING
LOT 1	6,863 S.F.	5,187 S.F.	1,676 S.F.	626 S.F.
LOT 2	5,013 S.F.	3,185 S.F.	1,828 S.F.	778 S.F.

LANDSCAPE PROJECT DATA

PROJECT TITLE:	KENMURE PLACE
APPLICATION NUMBER:	#
PREPARATION DATE:	3-27-2012
APPLICANT:	HAMLET HOMES ATTN: JOHN ALDOUS 308 EAST 4500 SOUTH, SUITE 200 MURRAY, UT 84107 801 281-2223 JOHN@HAMLETHOMES.COM
LANDSCAPE ARCHITECT:	STB DESIGN ATTN: SCOTT BLAKE, LLA 1473 SOUTH 1100 EAST, SUITE B SALT LAKE CITY, UT 84103 801 554-6146 SCOTT@STBDESIGNLLC.COM
LANDSCAPE CONTRACTOR:	UNKNOWNN
SHEET INDEX:	L1.1 - LANDSCAPE PLAN DETAILS LANDSCAPE SCHEDULE LANDSCAPE TABULATIONS



LANDSCAPE ARCHITECTURE & LAND PLANNING

1473 SOUTH 1100 EAST
S U I T E B
SALT LAKE CITY, UTAH 84105
8 0 1 . 5 5 4 . 6 1 4 6
STBDESIGNLLC.COM

Drawn By: Scott B.

ISSUE DESCRIPTION	DATE
SITE PLAN REVIEW	3.28.2012

#	REV. DESCRIPTION	DATE
▲		
▲		
▲		
▲		
▲		
▲		

KENMURE PLACE
4500 SOUTH GORDON LANE
SALT LAKE COUNTY, UTAH

SITE PLAN APPROVAL

LANDSCAPE PLAN

L.L.I.



Salt Lake County Public Works Department
Planning and Development Services Division
2001 S. State Street #N-3600, Salt Lake City, UT 84190-4050
Phone: 801-468-2000 FAX: 801-468-2169
Visit our web site: <http://www.pwpds.slco.org>

File #

RCOZ "Option C" Supplemental Form

Explain the reason for your request:

See attached letter.

Please submit detailed information and explanations which clearly establish the following:

- That the proposed residence will be in harmony with the zoning ordinance, the general plan, and any other document applicable to the area.
- That the proposed residence will be compatible with existing residential development within a reasonable distance in terms of height, mass and lot coverage, with particular focus on the proximate neighborhood.
- That the proposed residence will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance, with particular focus on the proximate neighborhood.
- That each point on the highest ridge of the structure will be no more than forty feet above the point on the original grade vertically below it (with allowances for chimneys and vent stacks).

Additional factors that the planning commission may consider in deciding whether to grant an exception under this Part include:

- a. Unusual lot shape
- b. Unusual or difficult terrain
- c. Drainage problems
- d. Situations that appear not to be clearly addressed by the provisions of Options A or B



About Kenmure Community Development

Hamlet homes is very pleased to have the opportunity to present Kenmure a community of 20 twin homes to be built on Gordon Lane in Salt Lake County. The proposed residential design meets the intent of the R-2-10 zone. The modest attractively designed twin homes are compatible with the existing neighborhood as they create a transition between commercial, high density residential and smaller single family detached homes. To our immediate west and south are commercial buildings (mostly office buildings) to our immediate north is an apartment community and to our east are very well maintained older and modest single family detached homes.

The designs of these new homes meet the RCOZ zone on height for front and side of buildings. Because of a combination of steep topography and a heavily wooded site there are a handful of instances where the rears of these homes are outside the 30 ft. envelope.

The massing of these twin homes as they face Gordon Lane and our proposed new public street, Lochinvar Road, are all under 30 feet. In almost every case we meet the 30' maximum height from existing grade as required by the RCOZ zone. You will see that the fronts and sides of these homes meet the zoning requirement while in a few minor instances portions of the rear of the structure extend a few feet past the 30' maximum height requirements. By using a walkout basement configuration on all of the homes we were able to step down the slope and both minimize the slope disturbance and preserve a significant portion of the heavily wooded nature of the site.

In designing this site, particularly the homes along Gordon Lane we looked at a number of different options in order to meet every aspect of the RCOZ zone. The site will be done as two phases. Twelve Lots on Gordon Lane will be done first and the eight lots on Lochinvar Road will be done next. On those homes along Gordon Lane, we considered requesting a variance on the setback to pull the houses forward away from the slope to minimize any rear

elevation variance that might be necessary. In looking at this option, we realized that while it would help to maintain the homes inside the height envelope on the very rear of the houses; by moving the houses forward, even though we stayed within the 30 foot envelope on the front, we made the massing of the house feel more imposing to the street. Consequently we have elected to not request any front yard setback variance, rather we are requesting consideration of a height variance on the rear of the homes as a result of the topographic challenges that we are experiencing.

The eight lots on Lochinvar Road pose a different challenge regarding the height restriction. Portions of the lower property are in a depression that we will need to fill in order get the site to properly drain and to construct the road and build the homes. As a result of the fill to accommodate the drainage some of these homes fall outside of the 30' maximum height above existing grade, but will meet the ordinance perfectly when measured from finish grades.

This community is proposed to be 20 homes, 12 of which will front Gordon Lane and the additional 8 will front a new road, Lochinvar Road, exiting directly onto 4500 South. We have met with UDOT and determined that they will permit an entrance directly onto 45th South. Consequently, the proposed residence will not be detrimental to the health, safety and general welfare of persons residing within a reasonable distance of this community.

Our design takes into careful account that the highest ridge of any structure in the community will all be less than 40 feet below the point on the original grade vertically below it.

We appreciate the Commissions time and effort in reviewing this proposal.

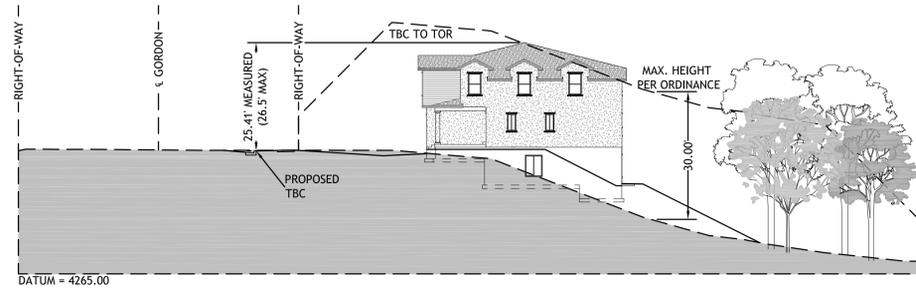
Thank you very much.



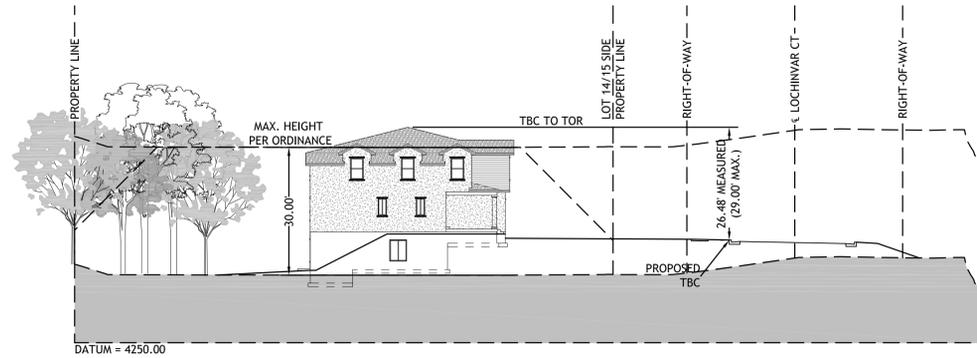
KENMURE

In keeping with Hamlet's tradition of naming our communities after Scottish people and places, we researched the Gordon name and came up with a very unique connection. The Gordon Clan of Scotland lived in and about Kenmure Castle which lies a mile to the south of the village of New Galloway, Scotland's smallest royal berg. Sir Walter Scott in a famous poem, The Ballad of Young Lochinvar, made William Gordon of Kenmure, Laird of Lochinvar, famous.

So with this connection we decided to name this modest community Kenmure after the home of the Gordon Clan and to name a single new street that we are creating, Lochinvar Road in commemoration of the Laird of Lochinvar.



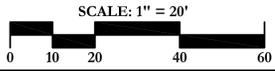
LOTS 1 & 2
RIGHT ELEVATION



LOTS 13 & 14
LEFT ELEVATION



PO Box 522056 Salt Lake City, UT 84152-2056
(801) 201-7494 www.edmllc.net



OWNER / DEVELOPER:

NOTES:

Kenmure Place

Cross Sections

PROJECT:	1201
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: April 25, 2012

SHEET NUMBER:

XS-3



PO Box 522056 Salt Lake City, UT 84152-2056
(801) 201-7494 www.edmllc.net

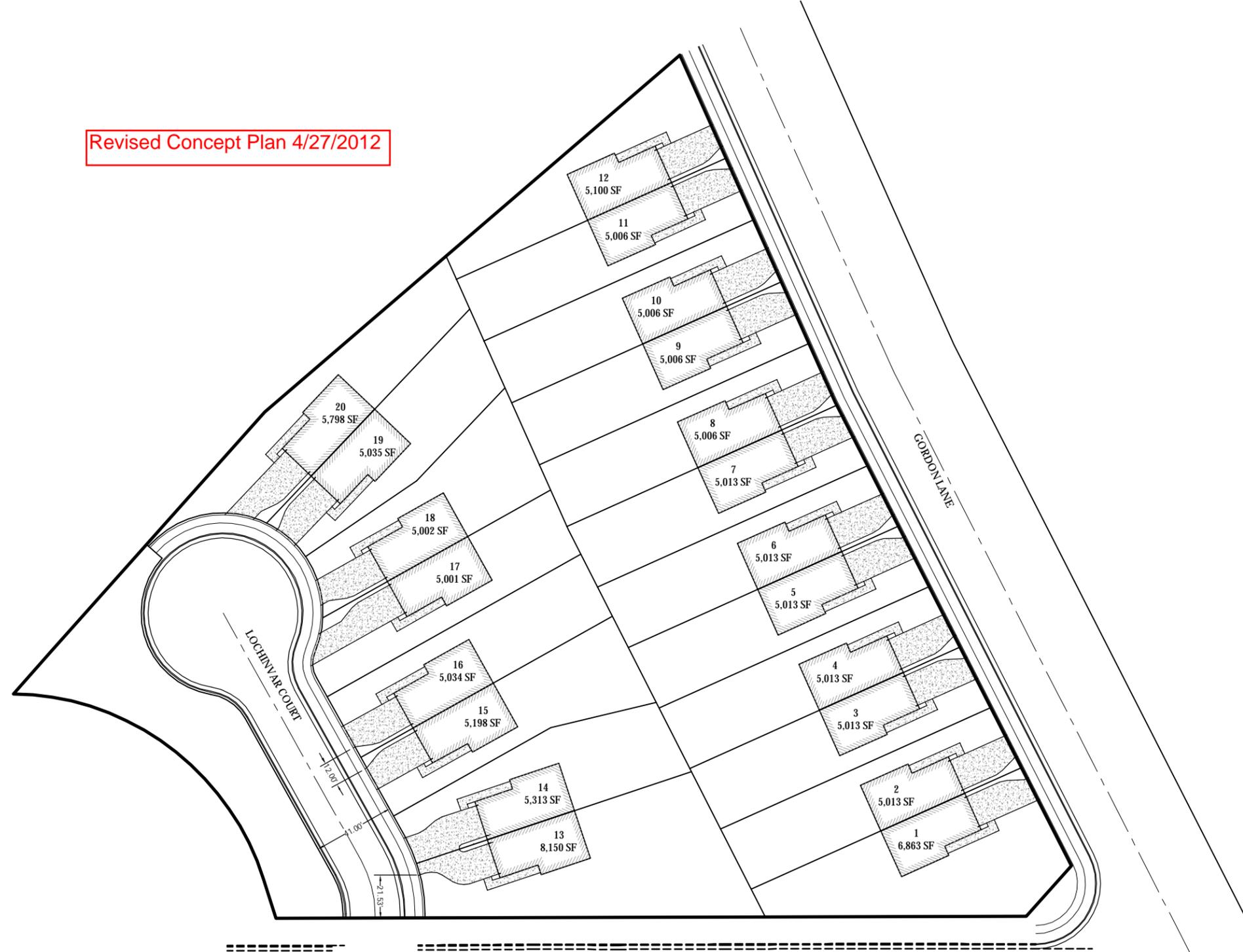


SCALE: 1" = 30'



OWNER / DEVELOPER:

Revised Concept Plan 4/27/2012



4500 SOUTH STREET

LEGEND:

Kenmure Place

Concept Plan

PROJECT:	1202
DRAWN BY:	NMM
REVIEWED BY:	NMM
REVISIONS:	
No. DATE	REMARKS

DATE: April 27, 2012

SHEET NUMBER:
0-1



STAFF REPORT

Executive Summary					
Hearing Body:	Millcreek Planning Commission				
Meeting Date and Time:	Wednesday, May 16, 2012	04:00 PM	File No:	2	7 7 0 4
Applicant Name:	Tyler Godfrey	Request:	Subdivision		
Description:	Division of an existing Two-Family Dwelling				
Location:	3196 South Young Haven Circle				
Zone:	R-2-8 Residential Two-Family	Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Staff Recommendation:	Approval with Conditions				
Planner:	Spencer G. Sanders (Report prepared by Todd A. Draper)				

1.0 BACKGROUND

1.1 Summary

The applicant is requesting preliminary approval of a Preliminary Subdivision Plat under section 19.32.090 to divide an existing Two-Family Dwelling along a common wall in order to separate the two dwelling units and the associated land into two separate lots that may be owned separately.

Two previous requests to subdivide the property were made by previous owners, but were both ultimately unsuccessful on the part of those applicants and those files were expired. However, 608 approval to amend the underlying plat was given as part of those earlier approvals and that approval remains applicable with regards to this application.

1.2 Hearing Body Action

On March 30, 2006 a 608 hearing was held and the request approved by the County Mayor as required by Section 17-27a-608 of the State Code, granting approval to amend the underlying subdivision plat.

1.3 Neighborhood Response

None received to date

2.0 ANALYSIS

2.1 Applicable Ordinances

18.12.010 - Required information.

A. The preliminary plat, ..., shall contain the information specified in this section and comply with the following requirements:

1. Description and Delineation. In a title block located in the lower right-hand corner the following shall appear:

a. The proposed name of the subdivision, which name must be approved by the planning and development services division;

- b. The location of the subdivision, including:
 - i. Address,
 - ii. Section, township and range;
 - c. The names and addresses of the owner, the subdivider, if different than the owner, and of the designer of the subdivision;
 - d. The date of preparation, scale (no less than one inch to equal one hundred feet) and the north point.
2. Existing Conditions. The plat shall show:
- a. The location of and dimensions to the nearest bench mark or monument;
 - b. The boundary lines of the proposed subdivision indicated by a solid heavy line and the total approximate acreage encompassed thereby;
 - c. All property under the control of the subdivider, even though only a portion is being subdivided. Where the plat submitted covers only a part of the subdivider's tract, a sketch of the prospective street system of the unplatted parts of the subdivider's land shall be submitted, and the street system of the part submitted shall be considered in the light of existing general street plans, other planning commission studies and the County Transportation Improvement Plan;
 - d. The location, width and names of all existing streets within two hundred feet of the subdivision and of all prior platted streets or other public ways, railroad and utility rights-of-way, parks and other public open spaces, permanent buildings and structures, houses or permanent easements and section and corporation lines, within and adjacent to the tract;
 - e. The location of all wells, proposed, active and abandoned, and of all reservoirs within the tract and to a distance of at least one hundred feet beyond the tract boundaries;
 - f. Existing sewers, water mains, culverts or other underground facilities within the tract and to a distance of at least one hundred feet beyond the tract boundaries, indicating pipe sizes, grades, manholes and exact location;
 - g. Existing ditches, canals, natural drainage channels, and open waterways and proposed realignments;
 - h. Boundary lines of adjacent tracts of unsubdivided land, showing ownership where possible;
 - i. Contour at vertical intervals of not more than two feet. Highwater levels of all watercourses, if any, shall be indicated in the same datum for contour elevations;
 - j. Nearest installed fire hydrants on or within five hundred feet of the proposed subdivision.
4. Proposed Subdivision Plan. The subdivision plan shall show:
- a. The layout of streets, showing location, widths and other dimensions of (designated by actual or proposed names and numbers) proposed streets, crosswalks, alleys and easements;
 - b. The layout, numbers and typical dimensions of lots, and in areas subject to foothills and canyons overlay zone provisions, designation of buildable areas on individual lots.
 - c. Parcels of land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision;

- d. Building setback lines, including showing dimensions where required by the planning commission;
- e. Easements for water, sewers, drainage, utility lines and other purposes, if required by the planning commission;
- f. Typical street cross sections and grade sheets where required by the planning commission or other interested county divisions;
- g. A tentative plan or method by which the subdivider proposes to handle stormwater drainage for the subdivision.

18.12.030 - Preliminary plat approval or disapproval.

Following a review of the preliminary plat the planning commission shall act on the preliminary plat as submitted or modified. If the plat is approved, the director or director's designee shall sign the plat. One copy of the preliminary plat shall be provided to the subdivider. One signed copy shall be retained by the planning and development services division, and one copy of the approved plat shall be returned to the developer's engineer. If the preliminary plat is disapproved, the director or director's designee shall notify the developer in writing and give reasons for such disapproval. The receipt of a signed copy of the approved preliminary plat shall be authorization for the subdivider to proceed with the preparation of specifications for the minimum improvements required in [Chapter 18.24](#) of this title and with the preparation of the final plat.

19.32.040 - Lot areas and widths.

The minimum lot area and width requirements are as follows:

Zone: R-2-10

Minimum Lot Area: 5,000 square feet for a lot containing 1 unit of a two-family dwelling 10,000 square feet for any other main building

Minimum Lot Width: 65 feet at a distance 30 feet from the front lot line

19.32.090 - Division of two-family dwelling.

A lot containing a two-family dwelling may be subdivided, creating a new lot line along the shared common wall and extending to the front and rear property lines, subject to the following conditions:

A. The minimum area of the lot containing each unit shall be four thousand square feet in the R-2-6.5 and R-2-8 zones, and five thousand square feet in the R-2-10 zone.

B. The division of ground is subject to the requirements of the Salt Lake County Subdivision Ordinance (Title 18).

C. The subdivision plat shall specifically note that the purpose of the subdivision is to accommodate the division of a two-family dwelling.

2.2 Subdivision Requirements

Planning Review -

This is a fairly standard division of a two family dwelling, the proposal meets the area requirements of the ordinance and typical off-site improvements are already in place. The remaining issues are mainly technical in nature related to division of the utility lines and standard plat recordation requirements. Some changes to the driveway entrance on lot 2A may be required to comply with Salt Lake City requirements for installation of the new water meter, but these can be worked out with staff prior to final approval of the Preliminary Plat. The required note regarding the division of a Two-family dwelling will be required to be on the plat.

2.3 Other Agency Recommendations or Requirements

Building Inspection - Recommendation of Denial until the following are resolved:

1. There are cases (5492 and 5473) from 2004 for extensive interior remodeling without a permit on this building that was never resolved. the remodeling that took place needs to be addressed and resolved.
2. In order to create a property line down the middle of the building, a building permit is required. At time of building permit application, plans need to show how the fire separation required by the building code for a property line is going to be accomplished with the existing walls including details with listed fire assemblies. Separate utilities would also be required if not already separated. May be additional questions at based upon floor plan when permit application is submitted.

Comments from 2006 inspection (file # 22752) VERIFIED EXISTING MASONRY FIRE WALL BETWEEN UNITS. PERMITS ARE REQUIRED FOR ADDITIONAL ELECTRICAL, PLUMBING AND MECHANICAL WORK. ALL NEW WORK SHALL COMPLY WITH CURRENT CODE REQUIREMENTS.

Unified Fire Authority - Recommendation of Conditional Approval

1. Fire separation must be in place prior to plat recording. Project must comply with all building and fire code requirements.

Grading Review - Recommendation of Approval

1. Existing structure
2. No grading issues.

Engineering Review - Recommendation of Conditional Approval

1. Record of Survey must be received by County Surveyor's office before plat can leave Planning and Development and the following statement "A Record of Survey has been filed as #xxxxxxxxxxx in the S. L. County Surveyor's Office" MUST be included in the Surveyor's Certificate on the final mylar, the x's being the RSC No. received from the County Surveyor's office
2. Final plat must be on regular County Titleblock
3. All Streets within 200 ft. of the proposed subdivision must be shown on plat
4. Label all utility and drainage easements on final plat
5. A preliminary report of title will be required at the final stage of the project. They are only good for 60 days so don't get it until we are at the final plat stage

Health Department - Recommendation of Conditional Approval

1. Sewer and Water availability letters will be required as part of the technical review. Must have these before final approval of the Preliminary Plat.

Sewer Company -

2006 comments (file # 22752) Developer must contact the district when it is time to split the sewer connections.

Water Company -

Salt Lake City Department of Public Utilities is the water supplier.

- 1. Splitting the lot will require a new water meter and existing service must be disconnected from the new lot entirely. The applicant has been provide additional information on completing this per city requirements. The new meter may not be located within the driveway.
- 2. Approval of the Unified Fire Authority is required prior to Salt Lake City Public Utilities approval.
- 3. Service taps to the main cannot be made until all service connections are paid in full.

Traffic Engineer - Review Waived

Urban Hydrology Review - No comments provided - (This is however an existing structure)

Geology Review - No comments provided - (This is however an existing structure)

2.4 Other Issues

There are some outstanding review fees that will need to be paid before final approval of the Preliminary Plat can be issued by staff.

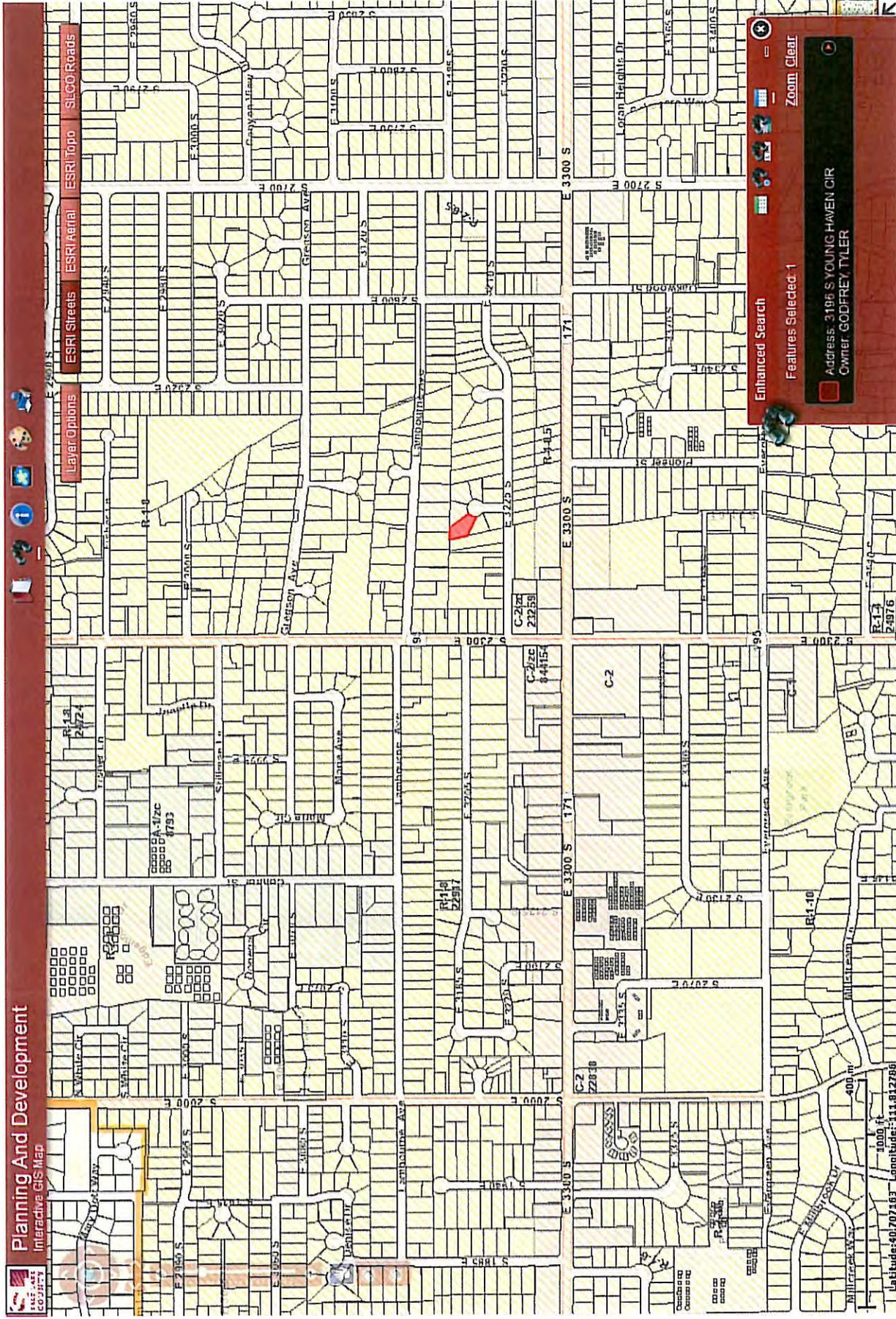
3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed Subdivision with the following conditions:

- 1) Final approval of the preliminary plat to be completed by Staff after all of the issues, requirements, regulations and recommendations of the above identified review personnel and agencies have been met.

3.2 Reasons for Recommendation

- 1) When compliance with all listed issues and conditions has been addressed to the satisfaction of the reviewing entities through the technical review process, all legal requirements for final approval of the Preliminary Plat will have been met.



GODFREY ACRES SUBDIVISION

AMENDING LOT 2, YOUNG HAVEN CIRCLE SUBDIVISION

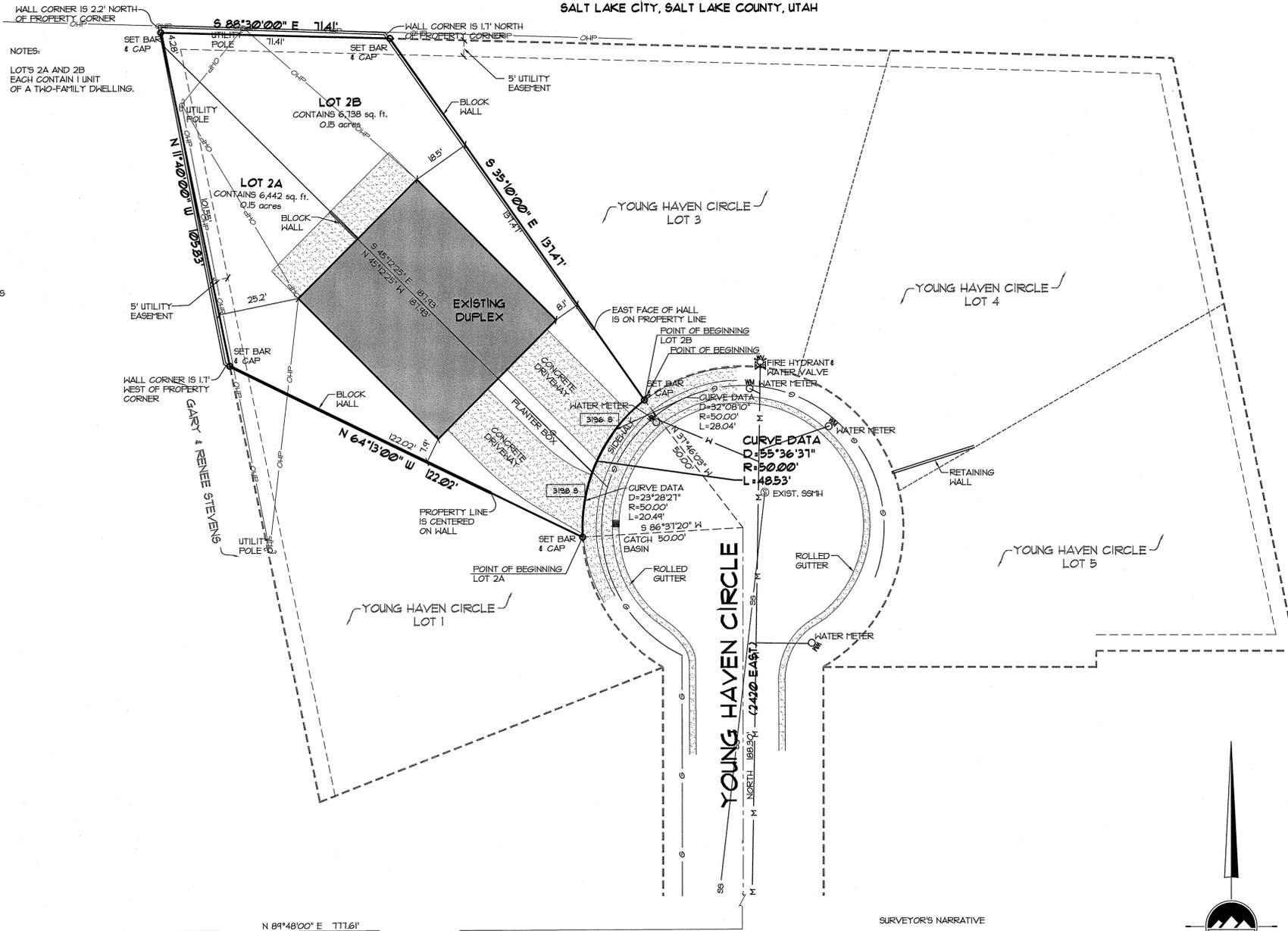
LOCATED IN THE SOUTHEAST QUARTER

OF SECTION 21

TOWNSHIP 1 SOUTH, RANGE 1 EAST

SALT LAKE BASE AND MERIDIAN

SALT LAKE CITY, SALT LAKE COUNTY, UTAH



NOTES:
LOT'S 2A AND 2B
EACH CONTAIN 1 UNIT
OF A TWO-FAMILY DWELLING.

NOTES:
QUESTAR APPROVES THIS PLAT SOLELY FOR THE PURPOSE OF CONFIRMING THAT THE PLAT CONTAINS PUBLIC UTILITY EASEMENTS. QUESTAR MAY REQUIRE OTHER EASEMENTS IN ORDER TO SERVE THIS DEVELOPMENT. THIS APPROVAL DOES NOT CONSTITUTE ABROGATION OR WAIVER OF ANY OTHER EXISTING RIGHTS, OBLIGATIONS OR LIABILITIES PROVIDED BY LAW OR EQUITY. THIS APPROVAL DOES NOT CONSTITUTE ACCEPTANCE, APPROVAL OR ACKNOWLEDGMENT OF ANY TERMS CONTAINED IN THE PLAT, INCLUDING THOSE SET FORTH IN THE OWNER'S DEDICATION AND THE NOTES AND DOES NOT CONSTITUTE A GUARANTEE OF PARTICULAR TERMS OF NATURAL GAS SERVICE. FOR FURTHER INFORMATION PLEASE CONTACT QUESTAR'S RIGHT-OF-WAY DEPARTMENT AT 1-800-366-8532.

CENTER SECTION 21 T1S, R1E S1B41M (NOT FOUND)

2300 EAST STREET
BASIS OF BEARING: S 00°05'30" W 1145.40'
N 00°19'1" W 1184.15'
2656.40' (ARIP)
1487.25'
STREET MONUMENT 2300 EAST ST. 3300 SOUTH ST. (FOUND)
SOUTH QUARTER CORNER SECTION 21 T1S, R1E S1B41M (FOUND)

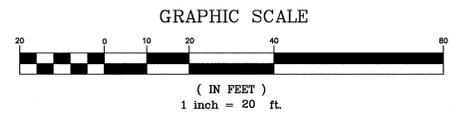
3225 SOUTH STREET

- LEGEND**
- SET BAR & CAP
 - UTILITY POLE
 - CATCH BASIN
 - CONCRETE
 - STREET MONUMENT
 - SECTION CORNER
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - OHP—OVERHEAD POWER
 - G—GAS LINE



SURVEYOR'S NARRATIVE

I, Patrick M. Harris, do hereby state that I am a Registered Professional Land Surveyor and that I hold certificate no. 286882 as prescribed by the laws of the State of Utah and represent that I have made a survey of the following described property. The Purpose of this survey is to provide a boundary survey, and prepare a 2 Lot Subdivision to our client. The Basis of Bearing is the line between a found Street Monument at the Intersection of 2300 East Street and 3300 South Street and the South Quarter Corner of Section 21, Township 1 South, Range 1 East, Salt Lake Base and Meridian measuring South 00°05'30" West 1145.40 feet.



DEVELOPER:
THOMAS GODFREY
2231 E. FARDOWN AVE.
HOLLADAY, UTAH, 84121

CONTACT:
THOMAS GODFREY
(801) 281-0114



STREET NAMES APPROVED	CHECKED FOR ZONING	SALT LAKE VALLEY HEALTH DEPARTMENT	Planning and Development Services	APPROVAL AS TO FORM	SALT LAKE COUNTY MAYOR	RECORDED *
DATE _____ SIGNED _____	ZONE _____ WIDTH _____ AREA _____ SETBACKS _____	APPROVED THIS _____ DAY OF _____ A.D., 20____.	I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.	APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____.	PRESENTED TO THE SALT LAKE COUNTY MAYOR THIS _____ DAY OF _____ A.D., 20____, AT WHICH TIME THIS SUBDIVISION WAS APPROVED AND ACCEPTED.	STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED AT THE REQUEST OF _____ DATE _____ TIME _____ BOOK _____ PAGE _____
		DIRECTOR, S.L. VALLEY HEALTH DEPT.	DATE _____ DIRECTOR _____	SALT LAKE COUNTY DISTRICT ATTORNEY	MAYOR OR DESIGNEE _____	FEE \$ _____ SALT LAKE COUNTY RECORDER
						date: April 16, 2012 Job no. 3517

SURVEYOR'S CERTIFICATE

I, PATRICK M. HARRIS, do hereby certify that I am a Licensed Land Surveyor, and that I hold certificate No. 286882 as prescribed under laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as GODFREY ACRES SUBDIVISION and that the same has been correctly surveyed and staked on the ground as shown on this plat. I further certify that all lots meet frontage width and area requirements of the applicable zoning ordinances.

PROPERTY DESCRIPTION

2 Lot Godfrey Acres Subdivision

Beginning at the Southwest Corner of Lot 3, Young Haven Circle Subdivision as found on file at the Salt Lake County Recorder's Office Book V, Page 83, and being on the west line of Young Haven Circle said point also being North 00°11'51" West 1481.25 feet along the section line to the centerline of 3225 South Street and North 89°48'00" East 111.61 feet along the centerline of said 3225 South Street to the centerline of Young Haven Circle and North 188.30 feet along the centerline of said Young Haven Circle and North 31°46'03" West 50.00 feet from the South Quarter Corner of Section 21, Township 1 South, Range 1 East, Salt Lake Base and Meridian and running:

thence Southwesterly 48.53 feet along the arc of a 50.00 foot radius curve to the left (center bears South 31°46'03" East and the chord bears South 24°25'34" West 46.65 feet with a central angle of 55°36'31") along the west line of said Young Haven Circle Subdivision to the Northeast Corner Lot 1 of said Young Haven Subdivision;

thence North 64°13'00" West 122.02 feet along the north line to the Northwest corner of said Lot 1, Young Haven Circle Subdivision;

thence North 11°40'00" West 125.83 feet;

thence South 88°30'00" East 11.41 feet to the Northwest Corner of said Lot 3, Young Haven Circle Subdivision;

thence South 35°10'00" East 137.41 feet along the west line of said Lot 3, Young Haven Circle Subdivision to the point of beginning.

Contains 13,180 square feet. 0.30 acres.

April 17, 2012
Date

Patrick M. Harris
License No. 286882



OWNER'S DEDICATION

Know all men by these presents that _____, the undersigned owner () of the above described tract of land having caused same to be subdivided into lots and streets to be hereafter known as the

GODFREY ACRES SUBDIVISION

AMENDING LOT 2, YOUNG HAVEN CIRCLE SUBDIVISION do hereby dedicate for perpetual use of the public all parcels of land shown on this plat as intended for public use. In witness whereof _____ have hereunto set _____ this _____ day of _____ A.D., 20____.

ACKNOWLEDGMENT

STATE OF UTAH) S.S.
County of Salt Lake)

On the _____ day of _____ A.D., 20____, personally appeared before me, the undersigned Notary Public, in and for said County of Salt Lake in said State of Utah, the signer () of the above Owner's dedication, _____ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

ACKNOWLEDGMENT

STATE OF UTAH) S.S.
County of Salt Lake)

On the _____ day of _____ A.D., 20____, personally appeared before me, the undersigned Notary Public, in and for said County of Salt Lake in said State of Utah, the signer () of the above Owner's dedication, _____ in number, who duly acknowledged to me that _____ signed it freely and voluntarily and for the uses and purposes therein mentioned.

GODFREY ACRES SUBDIVISION

AMENDING LOT 2, YOUNG HAVEN CIRCLE SUBDIVISION
LOCATED IN THE SOUTHEAST QUARTER
OF SECTION 21
TOWNSHIP 1 SOUTH, RANGE 1 EAST
SALT LAKE BASE AND MERIDIAN
SALT LAKE CITY, SALT LAKE COUNTY, UTAH

To see all the details that are visible on the screen, use the "Print" link next to the map.





STAFF REPORT

Executive Summary					
Hearing Body:	Millcreek Planning Commission				
Meeting Date and Time:	Wednesday, May 16, 2012	04:00 PM	File No:	2	6 6 1 0
Applicant Name:	Salt Lake County Planning	Request:			
Description:	Electrical Facilities Plan Best Practice				
Location:	County Wide				
Zone:		Any Zoning Conditions?	Yes <input type="checkbox"/>	No <input type="checkbox"/>	
Community Council Rec:	Varies				
Staff Recommendation:	Approval				
Planner:	Todd A. Draper				

3.0 STAFF RECOMMENDATION

3.1 Staff recommends APPROVAL of the proposed

3.2 Reasons for Recommendation

- 1) Adoption of the Plan and Best Practice is in the best interests of collaborative and cooperative planning across multiple jurisdictional boundaries.
- 2) Adoption of the Plan as a Best Practice will help insure that individual community interests are protected when siting of new electrical facilities takes place.
- 3) The Best Practice helps insure that the needs of today are met without compromising the needs of future generations (it is sustainable).

DRAFT



Electrical Facilities

Electrical Facilities

Purpose Statement

Planning, financing and building infrastructure to meet future growth in Salt Lake County poses major challenges. Capital facilities like water, sewer, roads and highways, public transportation, and schools are routinely considered by government and community leaders in planning for the future. Often left out, but equally critical is the planning and siting of electrical infrastructure. Identifying where electrical facilities are needed to support future growth will benefit local governments, transportation planners, developers, residents, businesses and the power provider. This type of clarity and predictability will not only help assure electrical capacity is available to meet communities’ development needs, but also make more efficient use of limited financial resources and minimize potential conflict in the future.

Contents:

Core Concepts	1
Key Questions	2
Discussion	2
Resources	2
Modifications and Additions	3

Best Practices

Core Concepts

1. Electrical infrastructure systems must be designed to meet customers’ needs when usage is at the highest point during the year, known as “peak demand.”
2. Infrastructure systems must be able to expand relative to population growth.
3. As customer demand projections take into account current economic factors they are subject to fluctuation as a result.
4. Infrastructure plans must also account for changes in technology, both in the production of and usage of electrical power.
5. A set of uniform siting criteria should be developed by the community for evaluating potential electrical utility sites.
6. Establish a logical relationship between electrical infrastructure and land use, both existing and future. Integrate planning efforts for electrical infrastructure, transportation, and local and regional land use. In short, engage in cooperative planning.
7. As a regulated utility, the power company is unable to build new infrastructure until it is needed. Knowing where these facilities will go in advance will improve predictability of electrical infrastructure improvements for communities, residents, property owners and power providers.
8. Integrate community considerations into electrical infrastructure planning.
9. Foster communication and broader understanding of all stakeholders’ needs and concerns. Maintain communication among stakeholders and update the plan’s elements over time.

Related Best Practices:





Key Questions

How will projected population growth in Salt Lake County be accommodated?

As new development occurs where will electrical facilities and utilities be located in relation to that development?

Are there land use policies or practices that can be implemented to conserve or reduce the demand for electrical power?

What siting criteria will be used for evaluating alternative sites?

Discussion

The Salt Lake County Electrical Plan Task Force in conjunction with Rocky Mountain Power has created a series of documents known collectively as the Salt Lake County Electrical Plan. These documents include a series of maps that depict and inform a forecast of electrical infrastructure needs within Salt Lake County. Also part of the Electrical Plan is a Local Planning Handbook to use in developing local siting criteria for evaluating potential sites for locating the new infrastructure identified as part of the plan in support of existing land use plans. The third element of the Electrical Plan is collaboration and cooperation between the multiple jurisdictional entities to insure that cross jurisdictional impacts are mitigated. These efforts will ultimately increase efficiency in the provision of electrical service to all constituents.

The Three main Goals of the Electrical plan are:

1. Ensure adequate electrical capacity to supply communities' future growth.
2. Define appropriate land uses and design characteristics for future electrical facilities.
3. Let residents and property owners know what to expect as the community changes over time.

This Electrical Facilities Best Practice adopts the principles and concepts contained within the Salt Lake County Electrical Plan and Local Planning Handbook (as updated and amended) as a best practice of the Salt Lake County General Plans.

Resources

1. *Powering our Future: Salt Lake County Electrical Plan Local Planning Handbook.* Rocky Mountain Power, September 2010. http://cooperativeplan.slco.org/pdf/Projects/ElectricalPlan/SLCEP_Final_compress.pdf
2. *The Case for New Electricity Transmission and Siting New Electricity Transmission Lines,* Roger W. Gale, Mary O'Driscoll, GR Energy LLC, September, 2001, http://oharas.com/ET/Transmission_Case.pdf
3. *The Neighborly Substation- Electricity, Zoning and Urban Design,* Hope Cohen, Deputy Director, Center for Rethinking Development, December, 2008. http://www.manhattan-institute.org/html/crd_neighborly_substation.Htm
4. *Visual Impact Analysis Methodology for Transmission Line Planning Corridors,* EDAW, February 1977.

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Appendix



Modifications and Additions

As an addendum and amendment to the referenced Salt Lake County Electrical Plan and Local Planning Handbook, the following specific modifications and additions are recognized as amendments to the text relative to this County Best Practice.

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Chapter, Section, and Page	Revised or Additional Text
2, B, 4A Pages 12-13	In Salt Lake County the co-location of electrical transmission lines along existing and proposed trail rights-of-way shall be limited to urban trails.
2, B, 5H Page 15	5H. Avoid locating Electrical Transmission Lines along trail rights-of-way within or adjacent to the foothills and canyon areas of Salt Lake County. Recreational trails in the foothills and canyons are prized for their scenery, views, and natural setting. As such they are an undesirable location for electrical transmission lines or infrastructure.
Maps	Adoption by reference of the map on page 19 of the Summit and Wasatch County Electrical Plan & Local Planning Handbook that shows existing and proposed electrical facilities within the Brighton area of Big Cottonwood Canyon.

Electrical Facilities Best Practice - Community Council Comment Matrix (Last updated 5/10/2012)					
SECTION	Millcreek CC	East Millcreek CC	Canyon Rim CC	Mount Olympus CC	Staff Response
		Presented at their January 2012 meeting. Comments received April 30, 2012.			
		Concerned about the Electrical Plan vision for above ground installation of new power lines instead of burying the lines. The community council feels that new lines would be better served located in underground conduits.			Although the plan does focus more attention on overhead power lines, undergrounding of the lines is addressed in the plan.
		Concerned about municipalities being forced to pay for underground installation.			The laws regarding payment requirements for the cost differential are part of State Law and are outside the purview of this General Plan Best Practice.
		Felt that the basic approach for existing substation upgrades was too vague			Without a specific reference to language in the plan this is difficult to comment to.
		Would like to see the best practice more definitive with regards to substation replacement and expansion			Without a specific reference to language in the plan this is difficult to comment to.
		Felt that the plan did not address Distributed Generation, Networked Distributed Generation or Cogeneration. Felt that the plans reference to alternative energy was oblique and dismissive. Felt that Utah's net metering law was effectively dismissed in the plan.			This is correct, the best practice does not address items related to power generation. The primary intent of the best practice is to address the siting of electrical facilities. Addressing the siting of Distributed Generation facilities, such as individual solar or wind systems attached to the grid would not be without problems however as most distribution systems are not designed to support a large numbers of Distributed Generation facilities. This however is a technical question and would require the assistance of Rocky Mountain Power to properly calibrate any language that might be added to this or another best practice of the County.
		Would like to see a best practice emphasize enhancing Distributed Generation, Networked Distributed Generation, Co-Generation and New Metering as goals of the County Cooperative Plan.			Duly noted. These elements however may be better addressed in the Energy Best Practice, and once addressed in more detail in that section, elements related to siting of these facilities could potentially be added to this Best Practice.
		Concerned about how building codes effect demands on the grid system and sees great benefit in adopting energy efficient standards such as Energy Star for new construction and adopting more energy efficient code for remodels. Would like to see these include as goals in the best practice.			These are great ideas, but are not germane to the topic of siting electrical facilities.
		Concerned that the plan lacks vision and represents a more "business as usual" Approach to 2040. The best practice should promote more forward thinking ideas and practice that enhance our quality of life in Salt Lake County.			Although the best practice may come off as a "business as usual" approach, it does contain many elements that will enhance the quality of life around electrical facilities in ways that do not currently exist, and would not exist without this plan.
	No official Response		No official Response Received	No official Response Received	

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	SLCo PC	Staff Response
2, B, 4A						Did not feel it appropriate to locate electrical transmission lines along trails, specifically those in the foothills and canyons areas.	Language added to best practice under Modifications and Additions Section to reflect limitation of co-location to urban trails and an addition of 5H to indicate that trails in the foothills and canyons were undesirable locations for electrical transmission lines and infrastructure.
						Felt that discussion regarding conservation practices was missing	See section 2, B, 11 . Conservation and peak reduction measures are addressed in the handbook. See General Plan Best Practice on Energy as well.

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	S�Co PC	Staff Response
2, B, 5B						Desired to see the term "Community" as utilized on pages 14 and 15 specifically reference the "service community".	This particular section references State Law regarding the rights of communities to request that electrical utilities be buried. As this is a general planning document, staff believes that existing state law would govern such activities and does not feel an addition to the language is necessary.
						Would like to see Big Cottonwood and Brighton Communities also follow the principles of the adopted best practice, regardless of where the power lines originate.	Staff is in agrees. See specific comments related to the Big Cottonwood Community Council.

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	SLCo PC	Staff Response
			who gets to pay for this? Concerned about potential raises in electrical rates.				Electrical facilities are paid for by the Power company, obviously through their ratepayers. Generally though, the belief is that these practices would likely reduce the cost to the power utility through efficiencies brought about by advance planning.
		Generally in favor of seeing more lines buried, especially in FCOZ areas.		Commissioners would like to see all new electrical lines buried. Would like to know how a community goes about exercising this option.	Commissioners generally were in favor of seeing more lines buried in their community.		Staff notes that this option was available under state law, but expensive and the additional costs would be required to be borne by the community.
Discussion - pg. 2					Would like to see language changed to reflect that "This Electrical Facilities Best Practice adopts the concepts contained within the Salt Lake County Electrical Plan Handbook."		Changes to this effect have been made in the Final draft that will be presented to the County Council.

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	SLCo PC	Staff Response
					Questioned what public input went into creating the Local Planning Handbook	Curious as to who was on the technical committee.	The creation of the document was done with a technical committee with representatives from all local jurisdictions (see acknowledgement page) and the current process of adopting it into the general plans is the opportunity provided for including public input. Also, once adopted, the listed best practice processes would solicit public input when reviewing and siting individual electrical facilities.
					Questioned if this would lead eventually to an ordinance.		There are no known plans to codify elements of the electrical plan at this time. Some elements, such as the undergrounding and placement of utility lines are to some degree codified in the existing ordinance.

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	SLCo PC	Staff Response
		Questioned how the review of new or expanding facilities would be handled under this plan.			Questioned how the review of new or expanding facilities would be handled under this plan. Asked about Planning Commission review of Transmission lines.		Facilities such as substations are routinely reviewed by the Planning Commission, through the Conditional Use review process. Typically however in the past, transmission lines have not been reviewed with the same detail as the substations. This best practice would give the Planning Commission a set of recommended guidelines to follow when reviewing new transmission lines in the future.

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	SLCo PC	Staff Response
					Interested in provisions for solar, wind and other alternative electrical power generation. Add language to encourage the use of alternative energy sources.		Power Generation facilities are only briefly discussed in the plan and are not the focus of this plan. Many of the same criteria for the siting of substations would likely also apply to a generation facility. As the popularity of small individual systems increases, the development of specific siting criteria for smaller generation options such as solar and wind might be a good candidate for inclusion into this best practice. Language encouraging the use of alternative energy would not be in harmony with the intent of this Best Practice and would be more appropriate within the existing Energy Best Practice.
					Asked why this utility was being singled out for adoption of a best practice.		This best practice is in response to the creation of the Local Planning Handbook. Also inclusion of a discussion regarding electrical facilities is a relatively new concept in general plans. Other best practices for other utilities may be considered for addition to the general plans in the future.

Electrical Facilities Best Practice - Planning Commission Comment Matrix (Last Updated 5/10/2012)

SECTION	Copperton PC	Emigration PC	Kearns PC	Magna PC	Millcreek PC	SLCo PC	Staff Response
					Would like to see language added about minimizing the intrusion of power lines (aesthetics and visuals) in the best practice.		Unsure what section this relates to directly. Staff does not see any conflict this would have in context with the existing language.
					Wish to see revised language so the document distinguishes between the handbook and the best practice.		Staff believes the current language is sufficient.
					Want a language change in the best practice to indicate the County will use the handbook as a guide or reference and that it has not been "adopted".		By their nature, General Plan best practices are adopted for use as handbooks and guides for reviewing proposed development. Additional language to that effect is redundant and unnecessary.
					Remove the word "feasible" in the section referring to power lines being buried.		Staff would not be in support of this change.
	No official recommendations as a quorum could not be reached. No individual comments were submitted either.	Recommended approval as proposed at their January 12, 2012 meeting.	No official recommendations as a quorum could not be reached. No individual comments were submitted either.	Recommended approval at their February 16, 2012 meeting.	No official recommendation to date.	Recommended approval at their February 15, 2012 meeting	