



Planning and Development Services

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

Phone: (385) 468-6700 • Fax: (385) 468-6674

www.pwpds.slco.org

Magna Metro Township Planning Commission

Public Meeting Agenda

Thursday, March 8, 2018 6:30 P.M.

Location

WEBSTER CENTER
8952 WEST MAGNA MAIN STREET
MAGNA, 84044
(385) 468-6700

UPON REQUEST, WITH 5 WORKING DAYS NOTICE, REASONABLE ACCOMMODATIONS FOR QUALIFIED INDIVIDUALS MAY BE PROVIDED. PLEASE CONTACT WENDY GURR AT 385-468-6707. TTY USERS SHOULD CALL 711.

The Planning Commission Public Meeting is a public forum where, depending on the agenda item, the Planning Commission may receive comment and recommendations from applicants, the public, applicable agencies and County staff regarding land use applications and other items on the Commission's agenda. In addition, it is where the Planning Commission takes action on these items, which may include: approval, approval with conditions, denial, continuance or recommendation to other bodies as applicable.

BUSINESS MEETING

- 1) Approval of Minutes from the February 8, and February 22, 2018 meetings
- 2) General Plan Update – Max Johnson
- 3) Other Business Items (as needed)

PUBLIC HEARINGS

30478 – Mark Cook is requesting an exception to roadway standards for a 4-lot subdivision. **Parcel Area:** 4.76 Acres. **Location:** 2109 South 7600 West. **Zone:** M-2. **Planner:** Spencer Hymas.

30582 – Ryan Whitney is requesting preliminary plat approval to create a 5-lot subdivision. **Parcel Area:** 1.08 Acres. **Location:** 2650 South 8550 West. **Zone:** R-2-6.5. **Planner:** Spencer Hymas

30583 – Aaron Cox is requesting approval for a new conditional use/change of use to allow for a used car sales lot and impound lot. **Parcel Area:** ≈1.26 Acres. **Location:** 9152 West Magna Main. **Zone:** C-3. **Planner:** Spencer Hymas

30674 – James Deyerle is requesting approval for a conditional use to allow for an accessory garage over 800 Square feet. **Parcel Area:** ≈0.19 Acres. **Location:** 3408 South 8525 West. **Zone:** R-1-6. **Planner:** Spencer Hymas

ADJOURN

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**MEETING MINUTE SUMMARY
MAGNA METRO TOWNSHIP PLANNING COMMISSION MEETING
Thursday, February 8, 2018 6:30 p.m.**

Approximate meeting length: 1 hour 18 minutes

Number of public in attendance: 3

Summary Prepared by: Wendy Gurr

Meeting Conducted by: Commissioner VanRoosendaal

***NOTE:** Staff Reports referenced in this document can be found on the State and County websites, or from Salt Lake County Planning & Development Services.

ATTENDANCE

Commissioners and Staff:

Commissioners	Public Mtg	Business Mtg	Absent
Clare Collard		x	
Dan Cripps (Vice Chair)		x	
Sara VanRoosendaal (Chair)		x	
Aaron Weight		x	
Mickey Sudbury		x	
Mark Elieson		x	
Nathan Pilcher		x	
Todd Richards		x	
Ammon Lockwood		x	

Planning Staff / DA	Public Mtg	Business Mtg
Wendy Gurr		x
Max Johnson		x
Spencer Hymas		
Curtis Woodward		

BUSINESS MEETING

Meeting began at – 6:30 p.m.

- 1) Approval of Minutes from the January 11, 2018 meeting.
Motion: To approve minutes from the January 11, 2018 meeting as presented.
Motion by: Commissioner Cripps
2nd by: Commissioner Collard
Vote: Commissioners voted unanimous in favor

- 2) General Plan Update – Max

Mr. Johnson provided an update to the committee meetings and discussion regarding the minutes from the January 30th meeting. Commissioner VanRoosendaal advised the meetings have been informative. Collard asked when the next meeting was. Mr. Johnson confirmed February 20th at 6pm. Commissioner Pilcher asked where Mr. Johnson sees the process after the rough draft. Mr. Johnson said better part of spring to finish up the steering committee. Hope is to start sending components of the plan for thoughts and suggestions. He started with the existing plan and make changes to the context and items not pertinent and bring statistics up to date. On January 30th, discussion regarding mainstreaming Main Street. Once done, schedule an open house and then schedule for public hearing. Will take all feedback and then there won't be any surprises. Another

project, he will gather all the projects in the last update and all the current projects and they will have a chance to determine what they want.

3) Development Standards Discussion

Mr. Johnson advised we provided a copy of the current Development Standards. They are worksheet staff uses when a project comes in. These are not in ordinance, they are policy.

Commissioner Elieson asked on development standards, are they generally used in new development or applied to existing buildings. Mr. Johnson said when an application requires them they would be used. When you have something constrained, there's a lot of latitude there. Commissioner Collard said maybe adding something or changing something. Mr. Johnson said would like one titled main street redevelopment and what's important is access, window presence, brick, the features consistent with the character and historical presence and the critical elements. Commissioner Elieson said these could be adopted as a policy. Mr. Johnson said they are policy, but could take one at a time and revise it. Mr. Johnson said this should say "Magna Metro Township" with your logo and these are yours, just like the ordinance, these are your policy.

Commissioner Cripps asked if the County is using 2012 or 2015 International Residential Business Code. Mr. Johnson said he believes the County is switching to 2015, but he will look in to it.

4) Recap of Legacy Farms field trip

Mr. Johnson provided a PowerPoint of the Legacy Farms field trip and gave an idea of the features and character. Provided a list of attendees.

Commissioner Cripps said the variety of the mixed-use development was very maintained and maintained strict standards. Commissioner Lockwood said contractors and sub-contractors were theirs, they didn't hire out. Commissioner Cripps said they use the same crews on most of their properties. Mr. Johnson said they made a mistake and sold the active senior and will keep that in house. Commissioner Lockwood said up the stairs they had a sitting area with two windows and the seating areas made up for the open space.

Commissioner Lockwood said he liked the approach and introduction and was impressed how fast they were. Troy Larsen, Citizen said amenities were built up front and were there prior to a build.

5) Other Business Items (as needed)

Mr. Johnson advised the annexation is moving forward, just need to record the text created. Annexation will just go to the council, however all rezoning will. The developer, DR Horton will apply, March 27th is the target date to go to the council for annexation and zone change. Mr. Johnson advised there is a community structure plan and development agreement. Commissioner Elieson said P-C zone needs to be done first and then move into the other plans. Mr. Johnson said can't pull a subdivision plan until these plans are in. The meeting scheduled in two weeks and there may be an item on there. May need more meetings so the timing of the application is good to go.

Commissioner Cripps asked about APA, who's covering annual membership and conference. Mr. Johnson will email Greg Schulz and plan to have it added to the February 27th agenda.

PUBLIC HEARINGS

Hearings began at - p.m.

30614 – (Continued from December 14, 2017) - An application to adopt a subdivision ordinance for each metro township, which subdivision ordinance is based upon currently existing Salt Lake County ordinance, with modifications as necessary to convert it to a metro township ordinance. **Planner:** Curtis Woodward **(Staff recommends item continued indefinitely)**

30615 – (Continued from December 14, 2017) - An application to adopt a zoning ordinance for each metro township, which zoning ordinance is based upon currently existing Salt Lake County ordinance, with modifications as necessary to convert it to a metro township ordinance. **Planner:** Curtis Woodward **(Staff recommends item continued indefinitely)**

Commissioners and Staff had a brief discussion with regards to the reasoning behind the continuance.

Motion: to continue file #30614 up to August 9th meeting.

Motion by: Commissioner Cripps

2nd by: Commissioner Weight

Vote: Commissioners voted unanimous in favor

Motion: to continue file #30615 up to August 9th meeting.

Motion by: Commissioner Cripps

2nd by: Commissioner Weight

Vote: Commissioners voted unanimous in favor

MEETING ADJOURNED

Time Adjourned – 7:48 p.m.



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**MEETING MINUTE SUMMARY
MAGNA METRO TOWNSHIP PLANNING COMMISSION MEETING
Thursday, February 22, 2018 6:30 p.m.**

Approximate meeting length: 1 hour 21 minutes

Number of public in attendance: 1

Summary Prepared by: Wendy Gurr

Meeting Conducted by: Commissioner VanRoosendaal

***NOTE: Staff Reports** referenced in this document can be found on the State and County websites, or from Salt Lake County Planning & Development Services.

ATTENDANCE

Commissioners and Staff:

Commissioners	Public Mtg	Business Mtg	Absent
Clare Collard		x	
Dan Cripps		x	
Sara VanRoosendaal		x	
Aaron Weight		x	
Mickey Sudbury			x
Mark Elieson		x	
Nathan Pilcher		x	
Todd Richards		x	
Ammon Lockwood		x	

Planning Staff / DA	Public Mtg	Business Mtg
Wendy Gurr		x
Max Johnson		x
Spencer Hymas		
Curtis Woodward		

BUSINESS MEETING

Meeting began at – 6:31 p.m.

1) General Plan Update – Max Johnson

Mr. Johnson provided an update of the process of the general plan process. He is happy with the content coming back and convey in the minutes. Make sure making progress. Throw out major red flags if not supportive, the plan is coming to this body for a recommendation. Encourage to read through the minutes.

The past week, had an exercise to take a look at the future land use map. Meeting before assumptions of the four-color land use map, changed the time being to represent what was heard. The whole meeting was spent massaging the maps and making them more accurate. Good mixture of committee members scaling things back and the map will go through a community vetting process. Commissioner Elieson advised anyone not at the Tuesday meeting, should take a look at the changes to the map. Mr. Johnson provided an update to the recent meetings on focus points.

Commissioners and staff had a brief discussion regarding transportation and buildable areas.

2) Other Business Items (as needed)

Mr. Johnson advised in addition to signing the disclosure, biggest business item is the training.

Douglas Wood, volunteer with Magna Arts Council. Provided copies of the Arts Council and Cyprus High School Arts Council events for 2018.

3) Annual Planning Commissioner Training – Max Johnson

Mr. Johnson provided a PowerPoint presentation on annual training. Suggest reviewing bylaws and bring changes back for March. Mr. Johnson advised with any of the materials, bring questions to open meeting or afterwards. Commissioner VanRoosendaal asked about noticing requirements.

4) Annual Conflict of Interest documentation

MEETING ADJOURNED

Time Adjourned – 7:52 p.m.

DRAFT

File # 30478

Magna Planning Commission Summary and Recommendation

Public Body: Planning Commission

Meeting Date: March 8, 2018

Parcel ID: 14-21-200-002; 14-21-200-003;

14-21-200-004

Current Zone: M-2 & A-20

Property Address: 8041 West 3100 South

Request: Exception to Roadway Standards

Planner: Spencer Hymas

Planning Staff Recommendation: Denial

Applicant Name: Michael Nadeau

PROJECT DESCRIPTION

The Magna Planning Commission discussed and approved the subdivision at their meeting held on December 14th. In the minutes, the issue for the exception was discussed; however, an official motion on the exception was not made. This is a requirement for all subdivisions. Historically, the use of a delay agreement for installations of curb, gutter, and sidewalk have been granted under Salt Lake County's previous jurisdiction. Staff believes that developing curb, gutter, and sidewalk will set the right precedence for future development as well as improve the value of the individual lots. Staff believes holding this standards for all development moving forward will improve the type of land uses that are proposed in the area as well. There currently is not a lot of foot traffic in the area, but if the effort is not made in conjunction with entitlement for a subdivision, it is likely that it will never be installed. Calling delay agreements due is also a very costly undertaking for staff to execute at a later date.

SITE & VICINITY DESCRIPTION (see attached map)

The subdivision is located north of U-201 in an area that is mostly used for agricultural and manufacturing.

REVIEWING AGENCIES RESPONSE

Agency: Traffic Engineer

Recommendation: I recommend denial of the exception for installation of curb, gutter, and sidewalk. Though exceptions have been granted in the area in recent years, the increase in development and traffic in the area have created a greater need for standard roadway improvements. Installation of these improvements will help to establish clear property boundaries and set a precedent for future development.

PLANNING STAFF ANALYSIS

18.24.040 - Street improvements.

A. The subdivider shall submit a complete set of construction plans and profiles of all streets, existing and proposed, within the subdivision to the planning and development services division. Plans and profiles are to be prepared by a professional engineer licensed to practice in the state of Utah and not in the employ of the county and shall be accompanied by the final plat. The subdivider must also provide a GIS data corresponding to the submitted plans as required by [Section 18.16.020](#). The planning and development services division shall, within a reasonable time not to exceed twenty days from the receipt of the plans and profiles, notify the subdivider of approval, and in case of disapproval the reasons therefor.

B. At least ten days prior to the commencement of construction, the subdivider shall furnish to the planning and development services division three complete sets of approved construction plans and profiles of all streets, existing and proposed, as well as all corresponding GIS data in a format compatible with this chapter. Such plans and profiles shall include:

1. The designation of limits of work to be done;
2. The location of the bench mark and its true elevation according to County Policy 1013, "Standards for Geographic Information System" and the "Salt Lake County Public Works Engineering GIS Standards," all profiles to be referred to in those standards;
3. Profiles which indicate the finished and existing grades for each side of the street. Separate profiles, clearly designated, shall be made for each side of the street;
4. Construction plans which include the details of curb and gutter and street cross-sections, location and elevation of manholes, catchbasins and storm sewers, elevations and location of fire hydrants and any other detail necessary to simplify construction;
5. Complete date for field layout and office checking;
6. On curb returns, at least two additional control points for elevation besides those at points of curvature. Control points shall be staked in the field to insure drainage at intersection;
7. The street address of the project as approved by county; county planning number, and subdivision name if applicable.

18.24.090 - Curbs and gutters.

A. After October 7, 1963, curbs and gutters on all streets shall be concrete of the standard high-back-type unit, not less than two feet, six inches in overall width, and not less than seven inches thick where the curb abuts the street pavement.

B. All curb corners shall have a radius of not less than twenty-five feet or thirty-five feet on streets designated as collector or arterial streets.

C. The subdivider shall install curbs, gutters and sidewalks on existing and proposed streets in all subdivisions.

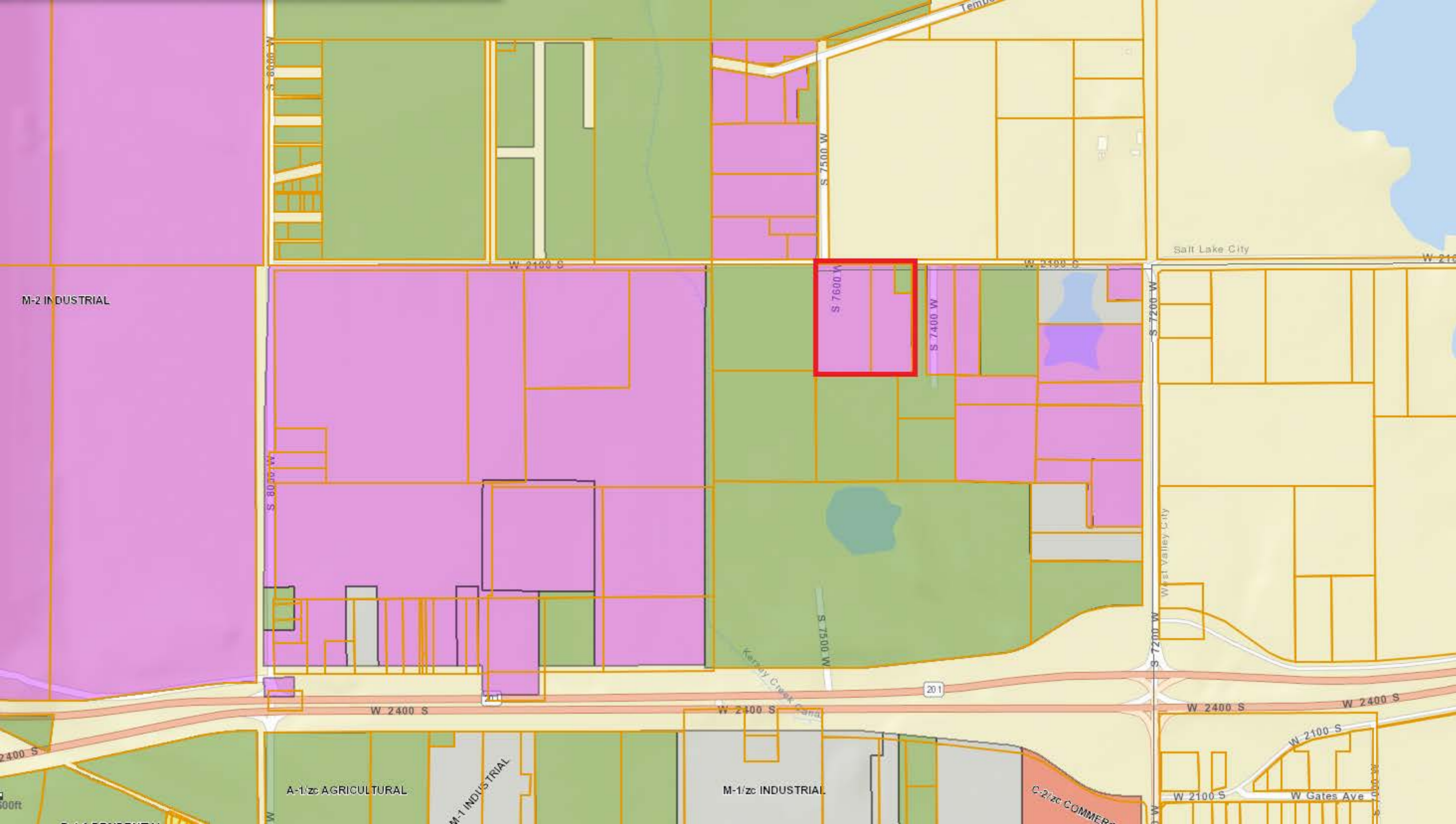
14.12.150 - Exceptions.

In cases where unusual topographical, aesthetic, or other exceptional conditions or circumstances exist, variations or exceptions to the requirements of this chapter may be approved by the mayor after receiving recommendations from the planning commission and the public works engineer; provided, that the variations or exceptions are not detrimental to the public safety or welfare.

The applicant has followed the above procedure and staff will ensure the applicant continues to receive all approvals as outlined in the ordinance.

PLANNING STAFF RECOMMENDATION

Staff is in support of the Planning Commission and Council's direction on this exception request. Staff does believe that the development of curb, gutter, and sidewalk enhances the appearance of development from the street; that it will improve property values; that a precedence will be set; and, requiring the improvements will enhance the types of future tenants and proposed uses for this area.



M-2 INDUSTRIAL

A-1/zc AGRICULTURAL

M-1 INDUSTRIAL

M-1/zc INDUSTRIAL

C-2/zc COMMERCIAL

W 2100 S

W Gates Ave

W 2400 S

W 2400 S

201

West Valley City

Salt Lake City

S 7500 W

S 7600 W

S 7400 W

S 7200 W

S 7500 W

S 8000 W

S 8000 W

W 2100 S

W 2100 S

W 2100 S

W 2400 S

W 2400 S

W 2400 S

500ft



7581

N



FOR SALE
6.78 Acres
Zoned M-2





2109 S 7600 W

File # 30582

Subdivision Summary and Recommendation

Public Body: Magna Township Planning Commission

Meeting Date: March 8th 2018

Parcel ID: 14-20-377-011

Current Zone: R-2-6.5

Property Address: 2650 South 8550 West

Request: 5 lot Subdivision

Community Council: Magna

Township: Magna

Planner: Spencer Hymas

Planning Staff Recommendation: Approval with conditions

Applicant Name: Ryan Whitney

PROJECT DESCRIPTION

The applicant is requesting preliminary plat approval for the proposed 5 Lot Subdivision.

SITE & VICINITY DESCRIPTION (see attached map)



The property is located in a residential area of the Magna Township with R-2-6.5 zoning to the east, south and west and with A-1 zoning further north and C-2 zoning further south of the subject parcel. There are a lot of existing homes and duplexes in the vicinity of the subject property.

LAND USE CONSIDERATIONS

Requirement	Standard	Proposed	Compliance Verified
Height	35 feet	n/a	Yes
Front Yard Setback	25 feet – Flag Lots 20 feet	25 feet – Flag Lots 20 feet	Yes
Side Yard Setback	5 feet and 11 feet or 8 feet and 8 feet – Flag lots 20 feet	5 feet and 11 feet or 8 feet and 8 feet – Flag lots 20 feet	Yes
Rear Yard Setback	30 feet (15 feet with Garage)	15' minimum.	Yes
Lot Width	60 feet	60+ feet	Yes
Lot Area	6,000 Feet	6,319 sq. ft. to 12,000+ sq. ft.	Yes

Compliance with the General Plan.	Yes
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GENERAL PLAN CONSIDERATIONS

Goal 5: HOUSING CHOICES Provide diverse housing choices for a variety of needs and income levels to create places where all citizens are welcome to live.

Objective 5.1: Provide sufficient housing for current and future populations that are appropriate, safe, and affordable for a range of income levels.

Objective 5.4: Encourage residential development that establishes a variety of lot sizes, dwelling types, densities, and price points, as well as an appropriate balance of owner occupied and rental units.

Objective 5.6: Develop programs and neighborhoods that will make home ownership attractive and possible for all members of the community.

NEIGHBORHOOD RESPONSE

Planning Staff has not received any concerns associated with the proposed subdivision at the time of this report 2/27/18. State law does not require noticing for subdivision applications as they are a permitted use in the zone.

REVIEWING AGENCIES RESPONSE

AGENCY: Geology Review

DATE: 2/20/18

RECOMMENDATION: Conceptually Approved –

1. The site is location in a "High" liquefaction zone. Will need to fill out and submit a Geological Hazards Disclosure and Acknowledgement Form.

- 2. Footing excavation shall be inspected and approved in writing by a qualified Geotechnical Engineer prior to the placement of concrete forms and rebar.

AGENCY: Grading Review

DATE: 2/20/18

RECOMMENDATION: Conceptually Approved – Revisions Required

- 1. Plans need to detail who is going to maintain the planned stormwater system collection gallery.
- 2. Property is located in an area of High Liquefaction.
- 3. All site grading and access development will need to be completed under the Grading permit process administered through planning and development services.
- 4. The site is in excess of one acre and will require the development of a Stormwater pollution prevention plan (SWPPP) and To obtain a Notice of Intent (NOI) prior to any permitting.
- 5. Need to record a Stormwater maintenance agreement and Management plan over the lots.
- 6. Add Notes to the plat:
 - 1. After drainage plan are reaching their final iteration, record Stormwater Maintenance Agreement.

Please add note on 1st page of agreement next to "Affected Parcel No.____." Note should read: *To be transferred from mother parcels to new subdivision lots and any/all common space lots."

- 2. Add note on plat that references agreement. See clouded comment box on preliminary plat.

Then, I add a note on the plat:

"Add Note: Stormwater Maintenance Agreement applies to all lots. Agreement recorded at book: ____ and page: ____."

3.The agreement requires a Stormwater Management Plan (SWMP) to be attached to the agreement as Exhibit B. Borrow any/all language from the draft. Include all stormwater infrastructure on management plan that will be privately maintained (catch basin boxes, detention/retention ponds, swales, concrete waterways, underground systems, etc) and detail how it will be maintained long term. Specific landscape/maintenance companies do not need to be mentioned, only general maintenance requirements. Contact design professional for guidance on maintenance of infrastructure.

AGENCY: Urban Hydrology

DATE: 2/20/18

RECOMMENDATION: Conceptually Approved -

To complete the Technical Review phase, provide a drainage plan signed by a Utah Professional Engineer (Section 17.20.150.A). All urban developments are required to provide details of how the 100 year storm will be directed safely away from adjoining properties or fully retained. The plan shall show calculations along with supporting details, information, reports or assumptions to detain and limit release of the 10 year 24 hour storm to an approved Salt Lake County system at a rate not to exceed 0.2 CFS/acre.

- 1. Show Existing and proposed contours at 1 foot intervals.
- 2. Provide details of any proposed retention/detention basins including volume, side slope, High water mark and freeboard. Show this area easement on the final PLAT.
- 3. How is storm water quality being addressed before storm water enters detention basin?
- 4. An impact fee of \$3,971/acre of property will be required and storm drain components will be bonded for at final approval. Where the development is a subdivision of a conditional use, the fee shall be paid prior to the final approval of the plat or plan.17.20.720 Impact fees imposed.
- 5. If there is an irrigation component, water master must approve all drawings that show irrigation. Water master's approval is required as a signature block on the final Drainage Plan prior to approval.
- 6. After Agency Plan Approval; contact George Deneris and request your Urban Hydrology Agreement (UHA) that details bond and fees that are due prior to recording PLAT.

AGENCY: Health Department Review

DATE: 9/29/2016

RECOMMENDATION: Conceptually Approved -

- 1. Water and sewer availability letters are required by the health department.

AGENCY: Traffic Review

DATE: 2/20/18

RECOMMENDATION: Revisions Required –

1. Right-of-way for 8550 West should be 50', not 42'. If the existing right-of-way is not 50' roadway dedication will be required.
2. Standard road cross section with high back curb and gutter, 5' park strip, and 4' sidewalk is required.
3. Additional lots are not allowed on stub streets unless a public turn-around is provided. I recommend installation of a public hammerhead turnaround within a public easement to be used until a cul-de-sac or connection to other roads is completed.

Additional Items Required

1. Preliminary Plat with all the required information per SLCO Ordinance 18.12.010 must be submitted for full review.
2. Plan & Profile drawings required for installation of roadway improvements on 8550 West.

AGENCY: Survey and Boundary review

DATE: 2/20/18

RECOMMENDATION: Conceptually Approved – Revisions Required

1. Show distance to the fire hydrant
2. Submit Preliminary Plat that meets all the requirements of the ordinance for full review and approval in the technical review process

AGENCY: Unified Fire Authority

DATE: 2/20/18

RECOMMENDATION: Conceptually Approved –

1. Visible Addressing Required. New and existing buildings shall have approved address numbers plainly legible and visible from the street fronting the property. These numbers shall contrast with their background.
2. Fire Department Access is required. An unobstructed minimum road width of twenty (20) feet exclusive of the shoulders and a minimum height of thirteen (13) feet six (6) inches shall be required. The road must be designed and maintained to support the imposed loads of emergency apparatus. The surface shall be able to provide all weather driving capabilities. The road shall have an inside turning radius of twenty – eight (28) feet. There shall be a maximum grade of 10%. Grades may be checked prior to building permits being issued.

AGENCY: Building Review

DATE: 2/20/18

RECOMMENDATION: Conceptually Approved –

1. A demolition permit is required to remove the existing structures. Structures crossing the new proposed property lines need to be removed under the demolition permit process before the plat is recorded.
2. The existing shed/garage that is to remain appears to be right next to the new proposed property line. The walls and overhangs within 5' of the new property lines are required to be 1 hour fire rated and have some restrictions on the extent of the overhangs. This fire wall and changes need to be done under the building permit process before the final plat can be recorded.

AGENCY: Addressing

DATE: 2/20/18

RECOMMENDATION: Revisions Required

1. Civil drawings need to match the site plan drawings on the configurations.
2. Addresses need to be added to the plat.

AGENCY: Planning

DATE: 2/20/18

RECOMMENDATION: Revisions Required

1. Submit an official Preliminary plat. Details of this requirement are within the plan of action report. Needs to show everything on one plan, title blocks, sewer laterals, water lines, irrigation, topography, existing and proposed conditions, neighboring parcels, etc. Everything to a distance of 200 feet from the property.
2. The access drive to lots 4 and 5 must be owned by the flag lots. There is sufficient area and width, so easements can't be utilized per the flag lot policy.
3. There are issues with the storm water drainage and the ditch running on the neighbors property along the North. If this ditch has not been piped, they will have to fence it off on their side.
4. 15' rear yards for lots 3 and 2 are only if the home has a garage that covers 1 of the 2 required parking spaces per dwelling unit.
5. Accessory structures need to be removed under a demolition permit prior to recordation of the plat.
6. The existing garage on lot 1 must maintain a minimum 1' setback from the property lines, if it is removed then the home must maintain a 30' rear yard setback. If the garage is closer than 5 feet to the property line, they will be required to fire rate the walls per the building code.
7. Curb, gutter and sidewalk required.
8. Magna Metro Township has not been very accepting of private storm drain systems. Need to speak with Magna Attorney.
9. Need to submit a landscaping plan for the 4' of required landscaping - 1 tree per 25' address the proposed landscaping along the access drive.
10. Bonding will be required for landscaping.
11. Street light plan may be required along frontage 8550 West for technical review.

Compliance with current building, construction, engineering, fire, health, landscape and safety standards will be verified prior to final approval.

PLANNING STAFF ANALYSIS

18.04.250 - Subdivision.

"Subdivision" means any land that is divided, resubdivided or proposed to be divided into two or more lots, parcels, sites, units, plots or other division of land for the purpose, whether immediate or future, for offer, sale, lease or development. Subdivision does not include a bona fide division or partition of agricultural land for agricultural purposes, provided that such agricultural land shall be subject to the requirements of the subdivision ordinance upon the conversion of the land from agricultural use to residential, commercial or manufacturing use. Further, this definition shall not apply to the sale or conveyance of any parcel of land which may be shown as one of the lots of a subdivision of which a plat has theretofore been recorded in the office of the county recorder. The word "subdivide" and any derivative thereof shall have reference to the term subdivision as defined in this section.

18.08.010 - Procedure generally.

The planning commission shall be the land use authority for subdivisions. In order to assure that each subdivision fully complies with the provisions of this title, the director or director's designee shall administer formal application and review procedures for subdivisions. An application shall not be deemed complete until the full application, fees and all required materials have been submitted. The payment of a partial fee and submission of preliminary plans for a pre-submittal review does not constitute a complete application.

Each process shall include the following components:

- A. An application procedure, which shall include:

1. Submission of an application form, as designed by the director or director's designee to clearly indicate the type of application, property address, applicant information, and other pertinent information;
 2. Submission of supplementary materials, including a legal description, property plat, the required number of plans/preliminary plats, and mailing labels (if required) for notifications;
 3. Payment of fees, as required under [Title 3](#), Revenue and Finance.
- B. A review procedure, which shall include:
1. An on-site review by the director or director's designee as provided by Utah Code 17-27a-303;
 2. Review of the submitted site plan/preliminary plat for compliance with county land use ordinances;
 3. Reference of the application and site plan/preliminary plat to any other government agency and/or affected entity which the director or director's designee deems necessary to protect the health, safety, and welfare of the public and to ensure the project's compliance with all applicable ordinances and codes;
 4. The processing of any exception requests that have been made in conjunction with the subdivision application.
- C. A preliminary plat approval procedure, which shall include:
1. Confirmation that all necessary agencies have responded to the requests for recommendation with a recommendation of approval or approval with conditions;
 2. Integration of the recommendations from the other government agencies and affected entities involved above into the preliminary plat;
 3. Receipt of a recommendation from the planning staff;
 4. Approval of the preliminary plat as outlined in [Section 18.12.030](#), and issuing a preliminary plat approval letter.
- D. A final plat approval procedure, which shall include:
1. An engineering review to ensure that the final plat complies with all conditions of approval of the preliminary plat and to ensure that the final plat complies with the design standards, codes, and ordinances and with minimum engineering/surveying requirements;
 2. A check of appropriate background information, such as: lot access, property title, record of survey, field boundary verification, etc.;
 3. The collection of the necessary approval signatures (planning commission representative, director or director's designee, health department, district attorney, county mayor or their designees) on the final plat;
 4. Payment of final fees and bond;
 5. Recordation of the plat.

19.76.290 - Single-family or two-family dwelling—Standards.

H. The width of the dwelling shall be at least twenty feet at the narrowest part of its first story for a length of at least twenty feet exclusive of any garage area. The width shall be considered the lesser of the two primary dimensions. Factory-built or manufactured homes shall be multiple transportable sections at least ten feet wide unless transportable in three or more sections, in which case only one section need be ten feet wide.

Staff has reviewed the proposed subdivision along with the other reviewing agencies for compliance with applicable codes and ordinances. Where deficiencies have been found (as noted in the sections above or in comments previously provided to the applicant) they are relatively minor and can be corrected through the submittal of a revised preliminary plat and plans and the subsequent technical review process.

PLANNING STAFF RECOMMENDATION

Planning Staff recommends that the Magna Township Planning Commission grant approval of the proposed 5 Lot Subdivision subject to the following conditions:

1. That the requested revisions be made to the preliminary plat and subdivision plans to bring them into conformance with ordinance requirements prior to staff granting final approval.



M 1998 S

No.	Date	By	Notes

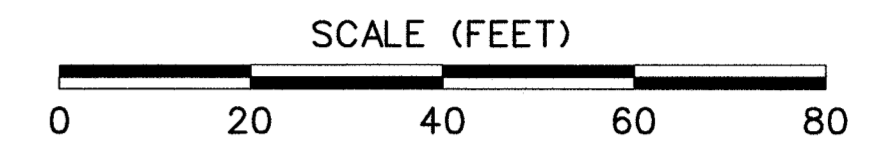
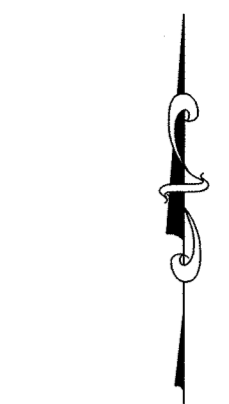
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 Checked: _____
 Date: 12-5-17

BONANZA MEADOWS SUBDIVISION
MAGNA, UTAH
PRELIMINARY PLAT

Title: _____
 Location: _____
 Drawing Name: _____

PROJECT NO.
2017.066

SHEET NO.
1.01

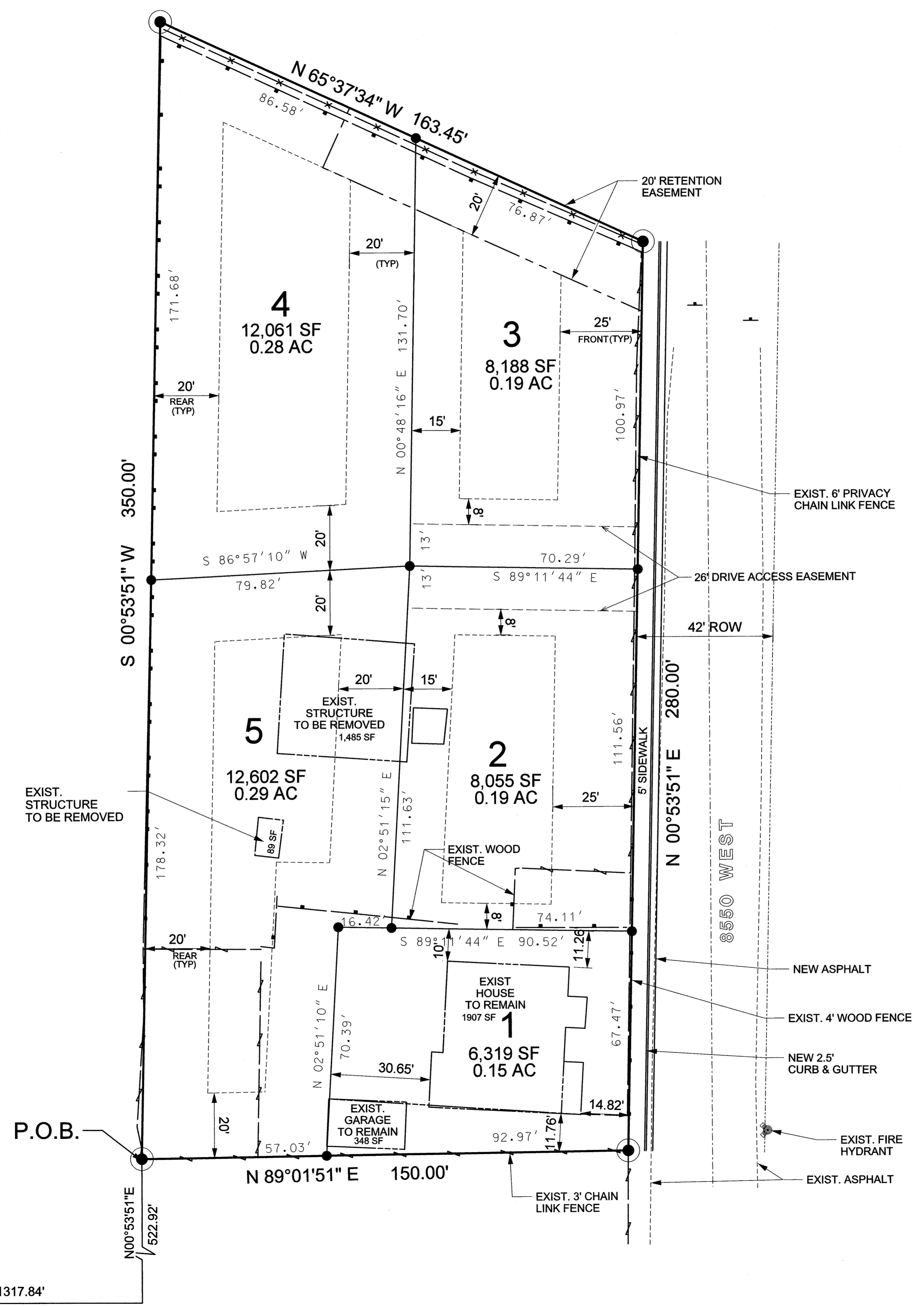


LEGEND

- SUBDIVISION BOUNDARY
- LOT LINES
- - - SETBACK LINE
- - - EASEMENT
- - - CENTER LINE
- × FENCE
- ⊕ FOUND SECTION CORNER
- ⊙ FOUND QUARTER CORNER
- SET 5/8" REBAR AND CAP (BOUNDARY)
- SET 5/8" REBAR AND CAP (LOT CORNERS)
- STREET SIGN

BOUNDARY DESCRIPTION

Beginning at a point which is West 1317.84 feet and North 00°53'51" East 522.92 feet from the South Quarter corner Section 20, Township 1 South, Range 2 West, Salt Lake Base and Meridian; thence North 89°01'51" East along a fence line 150.00 feet; thence North 00°53'51" East along a fence line and its line extended 280.00 feet; thence North 65°37'34" West along and old wire fence line 163.45 feet; thence South 00°53'51" West along a fence line 350.00 feet to the point of beginning.
 Area = 1.084 Acres



LOTS ARE FOR TWIN HOMES

PROPERTY ADDRESS:
2650 SOUTH 8550 WEST, MAGNA

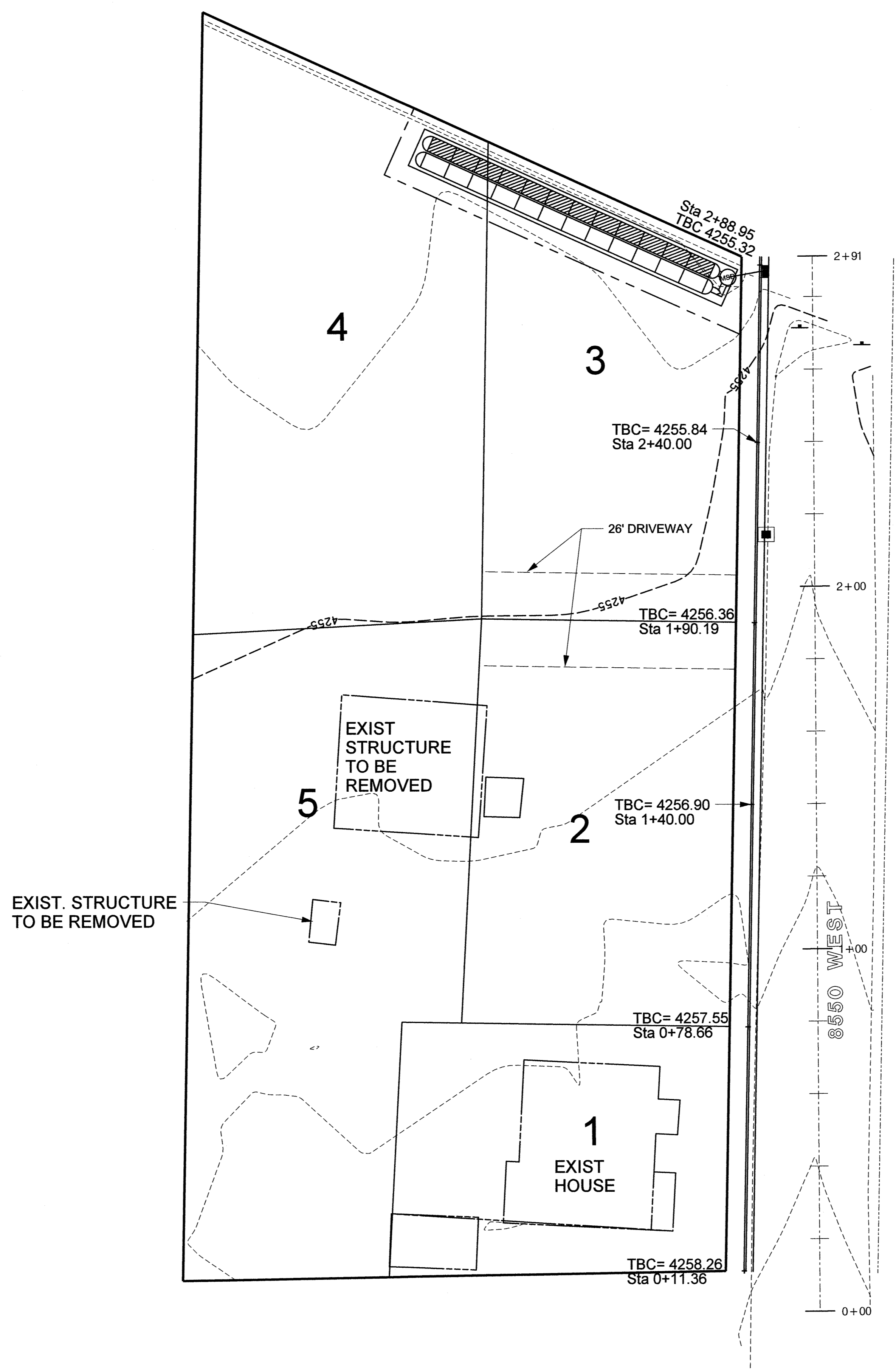
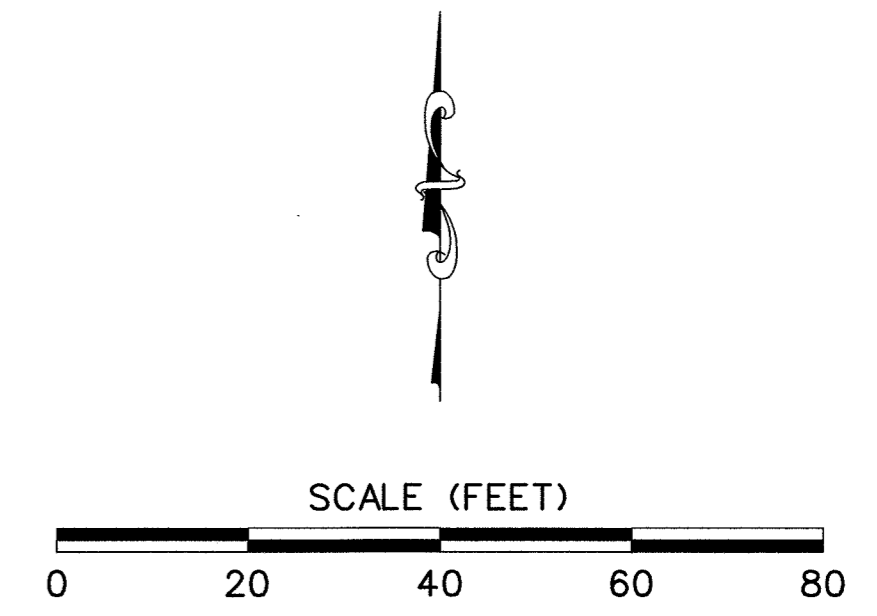
ZONE: R-2-6.5

ENGINEER/SURVEYOR:
M.W. BROWN ENGINEERING
MATT BROWN, P.E.
 578 EAST 770 NORTH
 OREM, UT. 84097
 801-377-1790

OWNER/DEVELOPER:
WHITNEY INVESTMENT PROPERTIES, LLC
RYAN WHITNEY
 5200 S. HIGHLAND DR STE 101
 SALT LAKE CITY, UTAH 84117
 801-580-7810 (CELL)
 801-365-0152 (DIRECT)

SQC SECTION 20
 T1S, R2W, SLB&M

WEST - 1317.84'

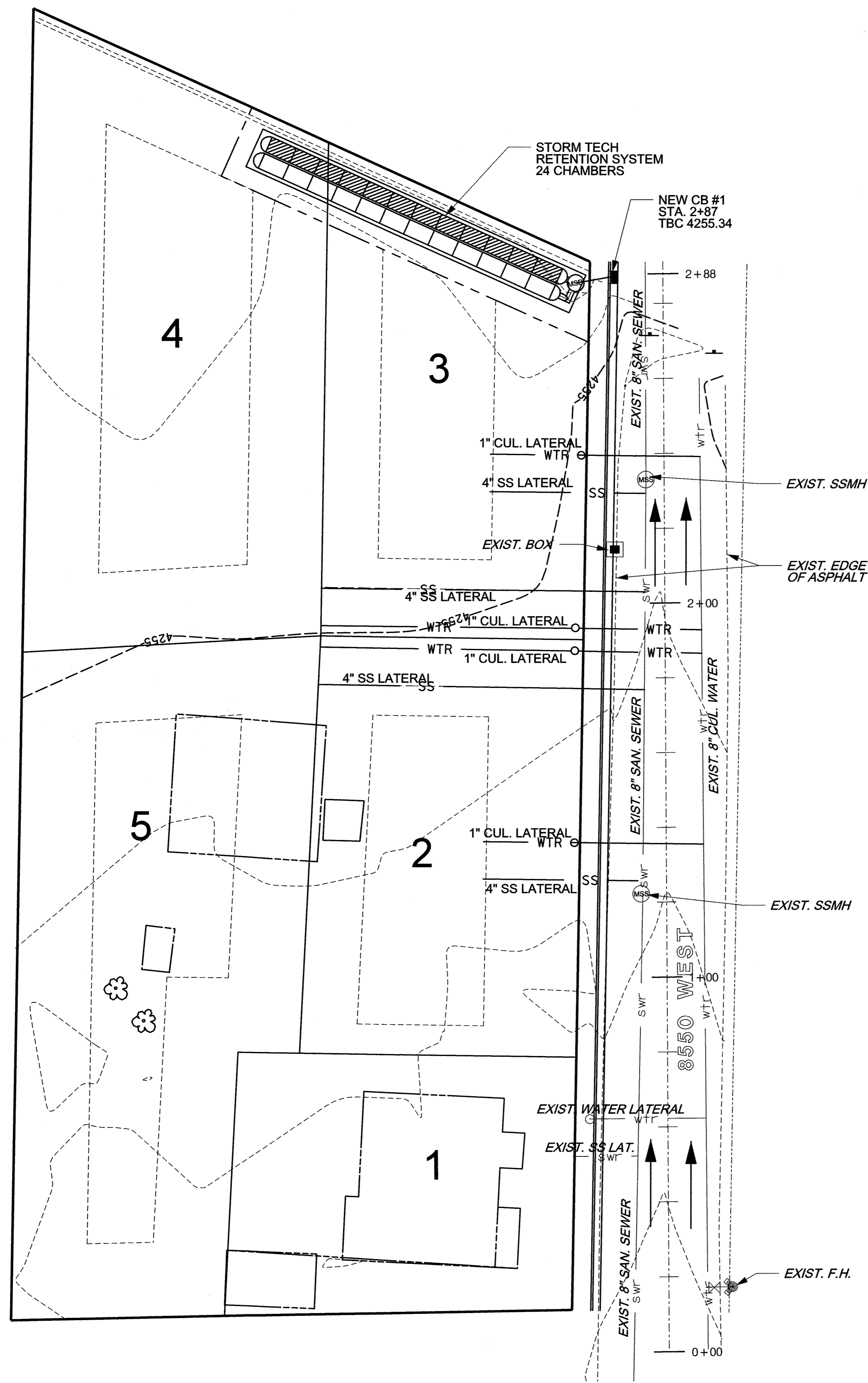


No.	Date	By	Notes

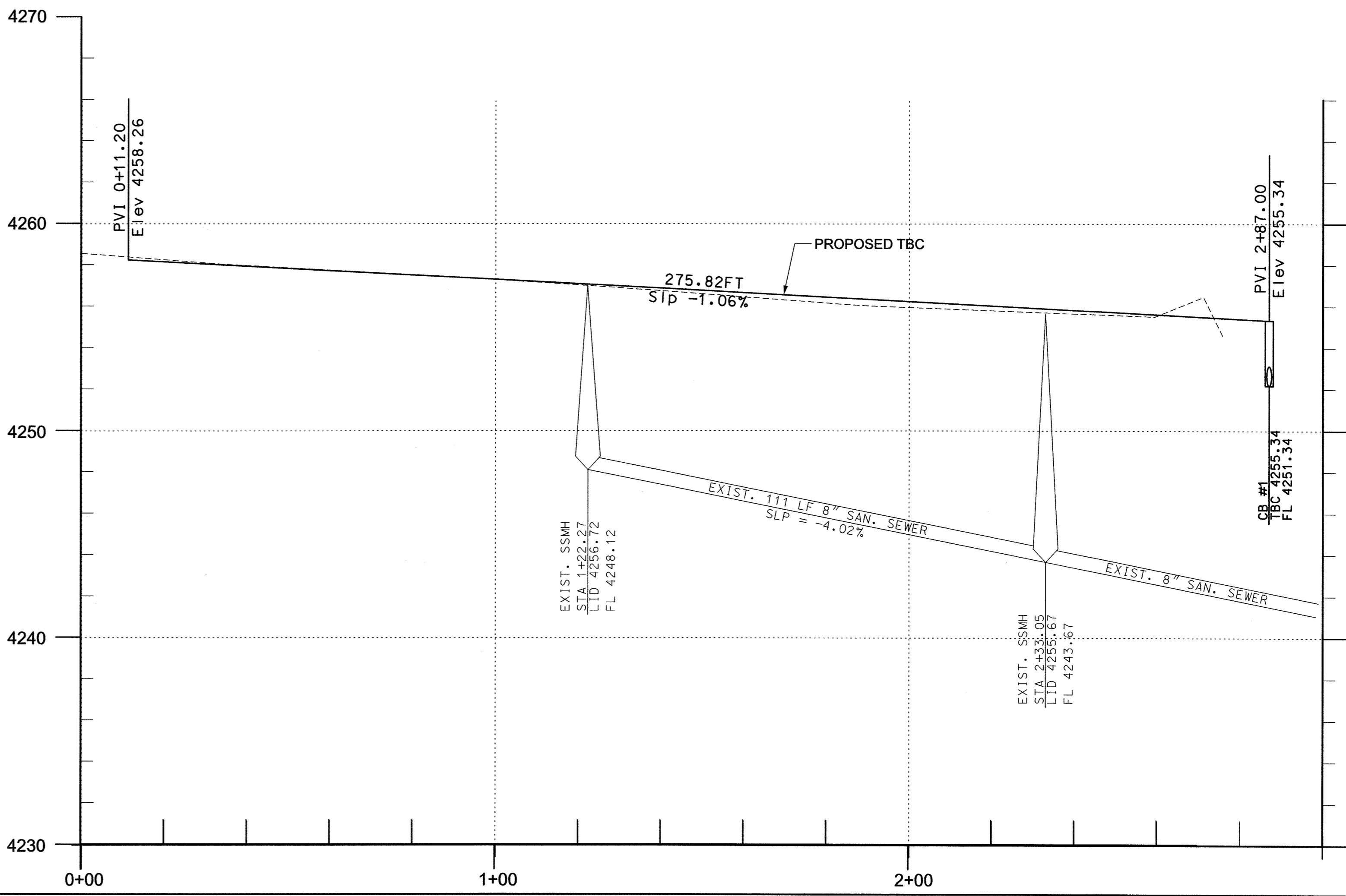
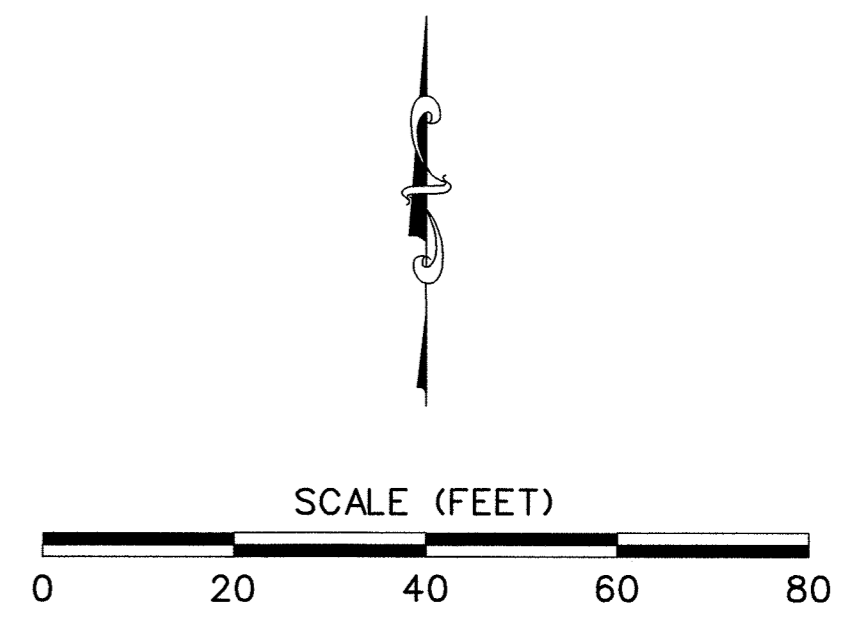
Designed: _____
 Drawn: _____
 Checked: _____
 Date: 12-5-17

Title: **BONANZA MEADOWS SUBDIVISION**
 Location: **MAGNA, UTAH**
 Drawing Name: **PRELIMINARY GRADING PLAN**

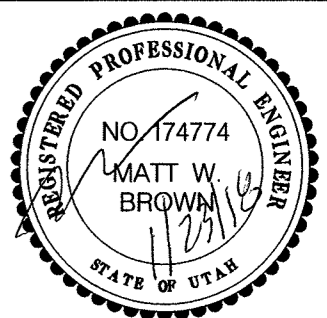
PROJECT NO.
2017.066
 SHEET NO.
1.02



LEGEND	
○	NEW WATER METER
— SS —	NEW SEWER LATERAL
— WTR —	NEW CULINARY LATERAL
— 15" SD —	EXIST. STORM DRAIN PIPE
— wtr —	EXIST. CULINARY WATER PIPE
— swr —	EXIST. SANITARY SEWER PIPE
⊙	EXIST. STORM DRAIN MANHOLE (SDMH)
⊙	EXIST. FIRE HYDRANT
■	EXIST. CATCH BASIN (CB)
⊙	EXIST. POWER POLE
⊙	EXIST. SEWER MANHOLE (SSMH)
⊗	EXIST. WATER VALVE



MW BROWN ENGINEERING, INC.
 Office: (801) 377-1790 Fax: (801) 377-1789
 578 East 770 North, Orem UT 84057



No.	Date	By	Notes

Designed: _____
 Drawn: _____
 Checked: _____
 Date: 12-5-17

BONANZA MEADOWS SUBDIVISION
MAGNA, UTAH
PRELIMINARY UTILITY PLAN

Title: _____
 Location: _____
 Drawing Name: _____

PROJECT NO.
2017.066
 SHEET NO.
1.03



Planning and Development Services

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

Phone: (385) 468-6700 • Fax: (385) 468-6674

www.pwpds.slco.org

File # 30583

Conditional Use Summary and Recommendation

Public Body: Planning Commission

Meeting Date: March 8, 2018

Parcel ID: 14-19-452-025

Current Zone: C-3

Property Address: 9152-9154 W Magna Main

Request: Conditional Use – Impound Lot, Towing and Storage, Nail Salon, Auto Repair, Pawn Shop, Service Station, Tire Shop, Used Car Sales, Auto Service Center

Township/Unincorporated: Magna Township

Planner: Spencer Hymas

Planning Staff Recommendation: Approval With Conditions

Applicant Name: Aaron & Nicole Cox

PROJECT DESCRIPTION

Aaron and Nicole Cox are requesting conditional use approval to change the use of an existing site to allow for the following uses: Impound Lot, Towing and Storage, Auto Repair, Pawn Shop, Service Station, Tire shop, Used Car Sales, Auto Service Center, and Nail Salon.

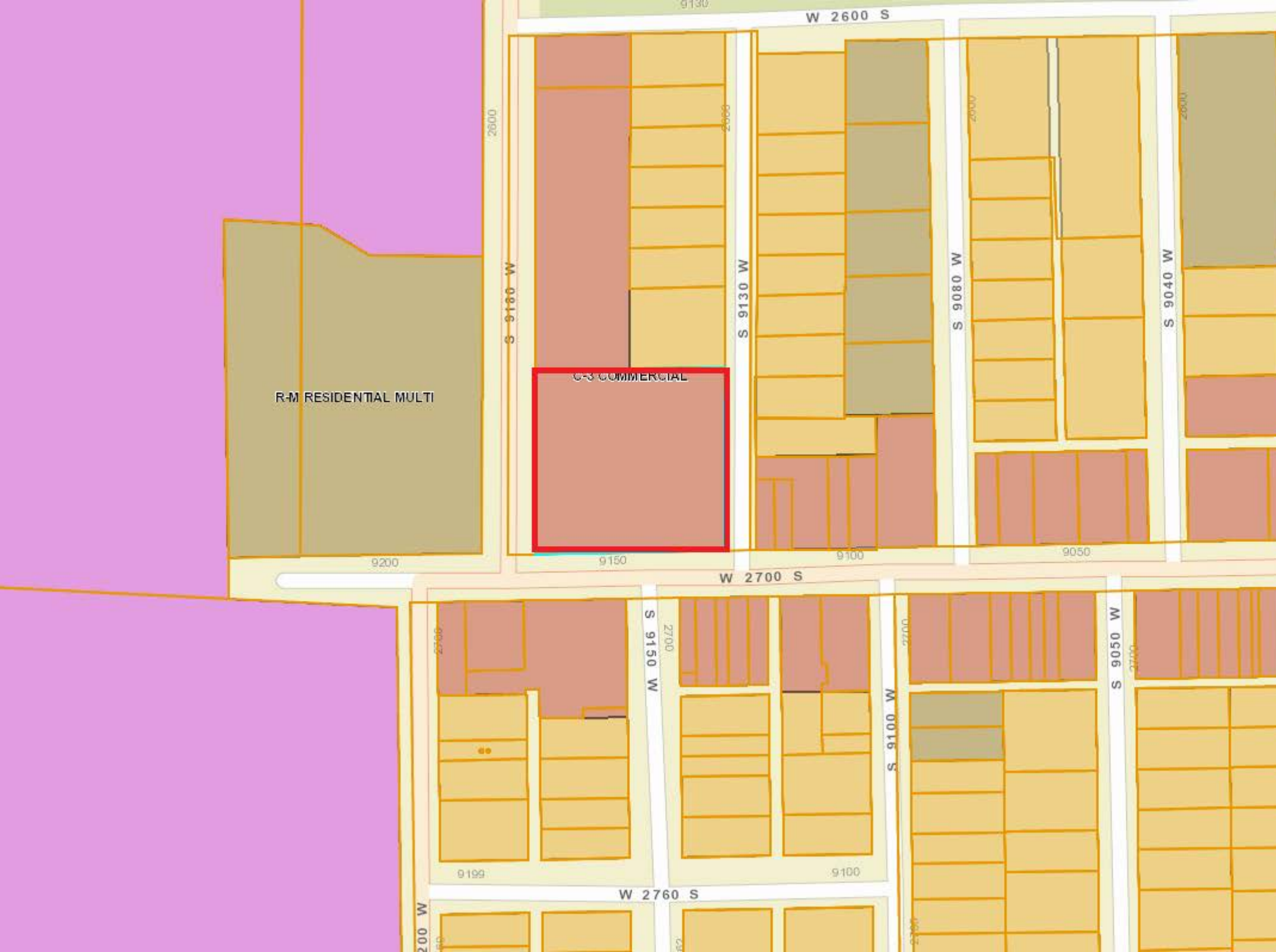
Planning Staff believes that many of the proposed uses on this property could weaken the desirability from other businesses from wanting to invest and develop along Magna Main Street. Most of these uses have the potential to become visual and operational nuisances to the existing residents and businesses in the area. Specific and strict conditions would need to be placed on the development of these uses in conjunction with any conditional use approval.

Planning Staff has discussed the concerns of the proposed uses with the applicant and the applicant is seeking specifics from the planning commission on what they need to anticipate for site development for conditional use approval.

Within this staff report are the existing standards that staff recommends strict compliance with, in addition to portions of the ordinance, and additional proposed mitigation efforts proposed by the planner as potential conditions of approval. Staff is also seeking thoughts and ideas from the planning commission.

SITE & VICINITY DESCRIPTION (see attached map)

The subject property is zoned C-3. Many of the existing frontage along Magna Main Street is zoned C-3. The property to the west is zoned RM and is used as the Magna Senior Center. Property to the north is zoned C-3



R-M RESIDENTIAL MULTI

C-3 COMMERCIAL

W 2600 S

2600

S 9160 W

2600

S 9130 W

S 9080 W

S 9040 W

9200

9150

9100

9050

W 2700 S

2700

S 9150 W

2700

S 9100 W

2700

S 9050 W

2700

9199

9100

W 2760 S

200 W

2760

along 9180 West and was approved for used car sales and auto reconditioning back in 1982. The properties along 9130 West are zoned R-2-6.5 with a mix of single family and two family dwellings. Most of the property north and south of Magna Main Street is zoned R-2-6.5 and has a mix of single family homes and two-family homes.

ZONE CONSIDERATIONS

Compatibility with existing buildings in terms of size, scale and height.	Yes – No change to footprint of the existing building is being proposed
Compliance with Landscaping Requirements Verified.	No – Staff will require that a Landscaping plan which meets ordinance is approved and executed before issuing businesses licenses.
Compliance with the General Plan.	No – See General Plan Considerations below

GENERAL PLAN CONSIDERATIONS

Objective 2.1: Preserve and foster the concepts of good community design at the city, neighborhood, and project level.

Objective 2.4: Create a sense of entry into the community at key areas within Magna.

Objective 2.5: Develop neighborhood improvement and enforcement programs that will facilitate community pride and an overall feeling of safety.

Objective 4.1: Encourage development and redevelopment of Magna’s Main Street in order to strengthen its role as a town center.

Objective 4.4: Identify historic corridors, neighborhoods, and buildings that can be refurbished and integrated into new development projects.

ISSUES OF CONCERN/PROPOSED MITIGATION

Issue of concern: The required parking stalls for the various proposed uses will be less than what the ordinance requires. Staff is concerned that this issue will be compounded by the number of displayed vehicles in the parking area associated with the used auto sales.

Proposed mitigation: The planning commission articulates the number of vehicles allowed to be displayed for sale and the amount of parking stalls required for the rest of the uses.

Issue of concern: The site was originally developed before the landscaping ordinance was in place and is not in compliance with current requirements.

Proposed mitigation: The newly proposed uses for this site requires that the landscaping be brought up to code to the maximum extent feasible. This would include adding professionally designed landscaping around the perimeter of the parking lots and proposed impound lot (in front of the required fencing).

Issue of concern: The northwest side of the site does not have curb, gutter and sidewalk installed.

Proposed mitigation: Require this improvement in conjunction with the approval of the conditional use (approximately 112 lineal feet).

Issue of concern: The existing fencing does not meet the development standards and ordinance for an impound lot. A lot of the existing fencing is rusted, old, and has unpleasant barbed wire.

Proposed mitigation: The ordinance requires a 6-foot-tall masonry fence for the impound lot. The fencing for the car sales lot and impound lot should be replaced with a fence type approved by the planning commission and moved a minimum of 4-5 feet inside of the property line to provide an area for landscaping efforts along the street. This is also a requirement listed in the landscaping ordinance.

Issue of concern: Various businesses have added signage elements and building modifications to the façade of the buildings that do not maintain the historical aesthetics of Magna Main Street.

Proposed mitigation: Developed signage associated with the businesses and any modifications to the building are approved by staff with the standard that all changes maintain the use of the S-curve lights and the historical appearance of the building.

Issue of concern: The use of an impound lot does not allow for the dismantling of vehicles. The application includes the use of auto repair. Having the two uses allowed on the same property makes this a potential conflict and code enforcement issue that has been a historical problem in Magna.

Proposed Mitigation: Documented infractions could be a condition for immediate revocation of business licenses and revocation of the conditional use permit. Additionally, the planning commission could deny the auto repair use or impound lot altogether to make enforcement measures a lesser burden.

NEIGHBORHOOD RESPONSE

No response has been received at the time of this report, March 1st, 2018.

REVIEWING AGENCIES RESPONSE

An initial review has not been completed by all the required agencies. The applicant wanted clear direction on the requirements associated with the conditional review before putting forward additional plans. While this site is already developed to an extent, most of the development occurred 20-80 years ago and does not meet current health, safety, welfare standards. Compliance with current building, construction, engineering, fire, health, landscape and safety standards will be verified prior to final approval.

PLANNING STAFF ANALYSIS

Permitted Uses for C-3 Zone:

*Automobile service station
Beauty shop
Pawn shop*

Conditional Uses for C-3 Zone:

*Agency for the sale or rental of new or used motor vehicles, trailers or campers
Automobile repair shop, including body and fender work, tire recapping and/or vulcanizing; automatic automobile wash*

Impound lot, providing:

- A. A solid visual barrier fence or masonry wall with a minimum height of six feet shall be constructed on all sides.*
- B. No dismantling or demolition of automobiles or other vehicles shall be conducted on the premises.*

Staff has reviewed the ordinance and determined that all of the uses proposed are allowed as either conditional uses and/or permitted uses. The ordinance states that the use of an Impound Lot would require a fence and not allow dismantling or demolition of automobiles on the premises. There is a potential conflict associated with approving an automobile repair shop in conjunction with the Impound Lot.

19.80.030 - Specifications.

A. Parking Stall Size. Each off-street parking space shall be at least nine feet by eighteen feet for diagonal or ninety-degree spaces, or eight by twenty feet for parallel spaces, exclusive of access drives or aisles. Parking stalls adjacent to a column or wall must have an additional two feet of width to accommodate ingress/egress from the vehicle. Access to parking spaces shall be from private roadways and not from public streets.

B. Parking Lot Policies. Salt Lake County may adopt policies regarding aisle widths, angled parking, and turn-around areas for parking lots, and parking stall sizes for valet parking.

C. Surfacing. Except for "provisional parking areas" as allowed under Section 19.80.110 of this chapter, any off-street parking area located in an R-, C-, M-, MD-, or O-R-D zone shall be surfaced with an asphaltic or portland cement or other binder pavement, so as to provide a durable and dustless surface, shall be so graded and drained as to dispose of all surface water accumulated within the area, and shall be so arranged and marked as to provide the orderly and safe loading or unloading and parking and storage of vehicles. Surfacing requirements for parking areas located in FR-, FM-, A-, FA-, and S-1-G zones shall take into account the proposed land use, location of the property, and impact of paved parking.

D. Maintenance. Every parcel of land hereafter used as a public or private parking area, including commercial parking lots and automobile, farm equipment, or other open-air sales lots, shall be developed and maintained in accordance with the requirements set out in this chapter.

E. Screening. The sides and rear of any off-street parking area for more than five vehicles which adjoins or faces an institutional use or residential building shall be effectively screened by a masonry wall or solid visual barrier fence unless otherwise provided for more specifically by the requirements of the zoning district in which such parking area is located. Such wall or fence shall be not less than six feet in height and shall be maintained in good condition without any advertising thereon.

F. Landscaping. All parking areas shall contain landscaping in compliance with the provisions of Chapter 19.77 of this title.

G. Lighting. Lighting used to illuminate any off-street parking area shall be so arranged as to direct light away from adjoining premises and from street traffic. No light source (light bulb, fluorescent tube, or other direct source of light used to illuminate a parking area) shall be visible beyond the property line of any off-street parking area.

H. Coverage. No off-street parking area shall occupy more than sixty-five percent of the property not occupied by buildings.

Staff has determined that sections C, E, and F are required by ordinance and the applicant would need to submit plans which demonstrate compliance with these items prior to land use approval.

19.80.040 - Number of spaces required.

- *Automobile or machinery sales and service garages, two spaces plus one space for each four hundred square feet of floor area*
- *Business and professional offices, one space for each two hundred fifty square feet of gross floor area;*
- *Retail stores, shops, etc., except as provided in this subsection, one space for each two hundred fifty square feet of gross floor area*

Staff records show there is approximately 12,664 square feet of total building on the property.

1500 proposed for beauty shop – 6 parking stalls

5500-6000 SF office space – 22 parking stalls

3000 SF Auto Shop & 2500 SF Garage – 16 parking stalls

Staff believes there are approximately 24 existing parking stalls on the site. There is concern that the site may not have enough parking for all the associated uses with consideration that some of the “parking lot” space will be used for the display of cars associated with the automobile sales lot. The ordinance also requires accessible parking stalls and bike parking is required. The quantities above are based upon ordinance; however, uses along Magna Main have historically been looked at on a case by case basis and reasonable accommodations have been granted by the planning commission, especially for existing developments.

19.80.090 - Planning commission exceptions.

Upon a finding by the planning commission that a proposed site plan is in harmony with the general plan of the community in which it is located and that effective tools have been employed in the creation of a transit oriented development, community re-development project, or walkable community project, the planning commission may reduce the number of required parking stalls for any proposed development. In approving any such reduction, the planning commission may use such tools as: recommendations from the planning and development services staff a site-specific traffic study conducted by a qualified engineering firm, American Planning Association guidelines, Envision Utah guidelines, and/or Urban Land Institute guidelines.

The Landscaping ordinance provides some relief for the interior areas of car sales lots and vehicle storage lots; however, the exterior areas still have off-street parking area Landscaping requirements:

19.77.040 F. Design Guidelines.

1. Separation and Screening with Plant Material. The intent of this guideline is to soften long expanses of building walls, fences and other hard-surface barriers and to effectively screen such surfaces from undisturbed on- or off-site view. Its further intent is to separate and screen new buildings and ancillary site improvements and activities from off-premise view.

2. Integration with Plantings. The intent of this guideline is twofold; (1) to provide better integration of newly constructed or remodeled site building improvements and outdoor spaces with other site improvements in the vicinity, or (2) to significantly enhance area characteristics through the coordinated introduction of new

architectural themes, outdoor areas, and landscape improvements into areas in need of rehabilitation. In either event the incorporation of a diversity of plant materials, colors, textures, heights and aesthetic considerations of a similar nature may be employed.

3. Establishing Privacy. Privacy is particularly important where larger buildings are proposed next to the side or rear yards of smaller buildings. In such instances a higher-than-normal incidence of vertical landscape elements may be employed to address privacy concerns.

4. Land Form Shaping. Retention of existing land form is encouraged where site topography beneficially serves aesthetic and aquifer recharge purposes. Where reconfiguration of existing topographic conditions on a site is required to achieve these purposes, such grade changes should be either reminiscent of or complementary to natural land forms in the vicinity. The resulting land form modifications should, in either event, incorporate a high degree of both horizontal and vertical land form articulation, creating both berms and swales for aesthetic variety and groundwater collection purposes.

5. Visual Integration of Fences or Walls. Security fences and solid visual barriers commonly detract from the aesthetics of the area in which they're established. Similarly, though not so severely, garden walls, privacy fences, screen panels, arbors, and structures of a like nature may adversely affect area aesthetics. In such instances creative landscape enhancements may be employed to change the sense of proximity to such structures and to improve area aesthetics.

In applying these or similar strategies to achieve the purposes and intent of this chapter, the objectives with regards to aesthetic enhancement of on-site improvements are to:

- a. Add visual interest adjacent to large expanses of building walls;*
- b. Enhance the architectural features of new building construction;*
- c. Provide better site integration of structural improvements;*
- d. Soften hard edges;*
- e. Enhance the compatibility of land uses of different character, intensity, and density;*
- f. Reduce the potentially adverse impacts of site-generated noise;*
- g. Screen views into or between windows and defined outdoor spaces;*

In applying these or similar strategies with regards to the integration of on-site improvements with surrounding areas, the objectives are to:

- i. Mitigate potential conflicts between divergent land uses, development densities or intensities, and building design or scale;*
- ii. Maintain privacy for existing area residences;*
- iii. Provide appropriate transitions between developed, managed landscape areas and those comprised of more natural vegetation;*
- iv. Introduce high quality site improvements into areas in need of redevelopment.*

19.77.070 - Screening of service and mechanical equipment.

A. Screening Required. *Service areas and on-grade mechanical equipment shall be screened from public view by plants, solid opaque fencing, berms, or a combination thereof. These elements shall also be sited to minimize their visibility and impact or enclosed so as to appear to be an integral part of the architectural design of the building. Site elements that are subject to this provision include but are not limited to the following:*

- 1. Air conditioning units;*
- 2. Electrical transformers;*
- 3. Loading areas and docks;*
- 4. Mechanical equipment;*
- 5. **Outdoor storage areas;***
- 6. Public utility transformers;*
- 7. **Service yards;***

- 8. Telephone transformers;
- 9. Trash collection areas;
- 10. Trash dumpsters.

PLANNING STAFF RECOMMENDATION

Based on the goals and objectives of the current Magna General Plan and Ordinance, Planning Staff is recommending approval of the proposed uses with the following conditions:

1. The Planning Commission provides in their motion the appropriate amount of parking for the various uses and that the parking areas that they are re-striped to clearly showcase each stall.
2. The applicant updates the site with compliant fencing.
3. The fenced areas are moved in 5 feet to accommodate landscaping beds along the street frontage.
4. The applicant submits a landscaping plan prepared by a licensed architect (required by ordinance) and works with staff to ensure reasonable compliance with the ordinance.
5. The applicant develops curb, gutter, and sidewalk along the northwest corner of the site where it currently does not exist.
6. The applicant completes the technical review process with staff and bonds for any uninstalled required improvements.
7. The applicant does not alter the historical appearance of the building and works with staff for signage approval.
8. The applicant obtains a building permit for any alterations to the building.
9. Any documented infractions to ordinance or conditions of approval may be grounds for permit and license revocations.

9200 WEST STREET

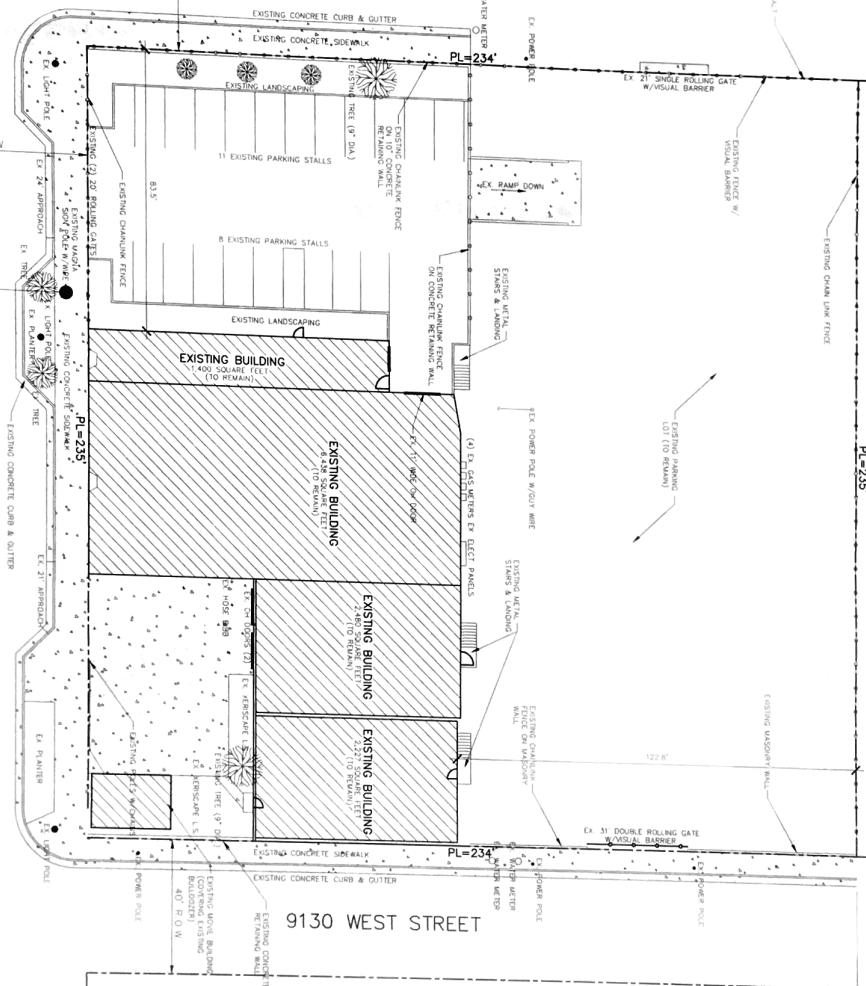
9150 WEST STREET

9180 WEST STREET

9130 WEST STREET

MAIN STREET (2700 WEST STREET)

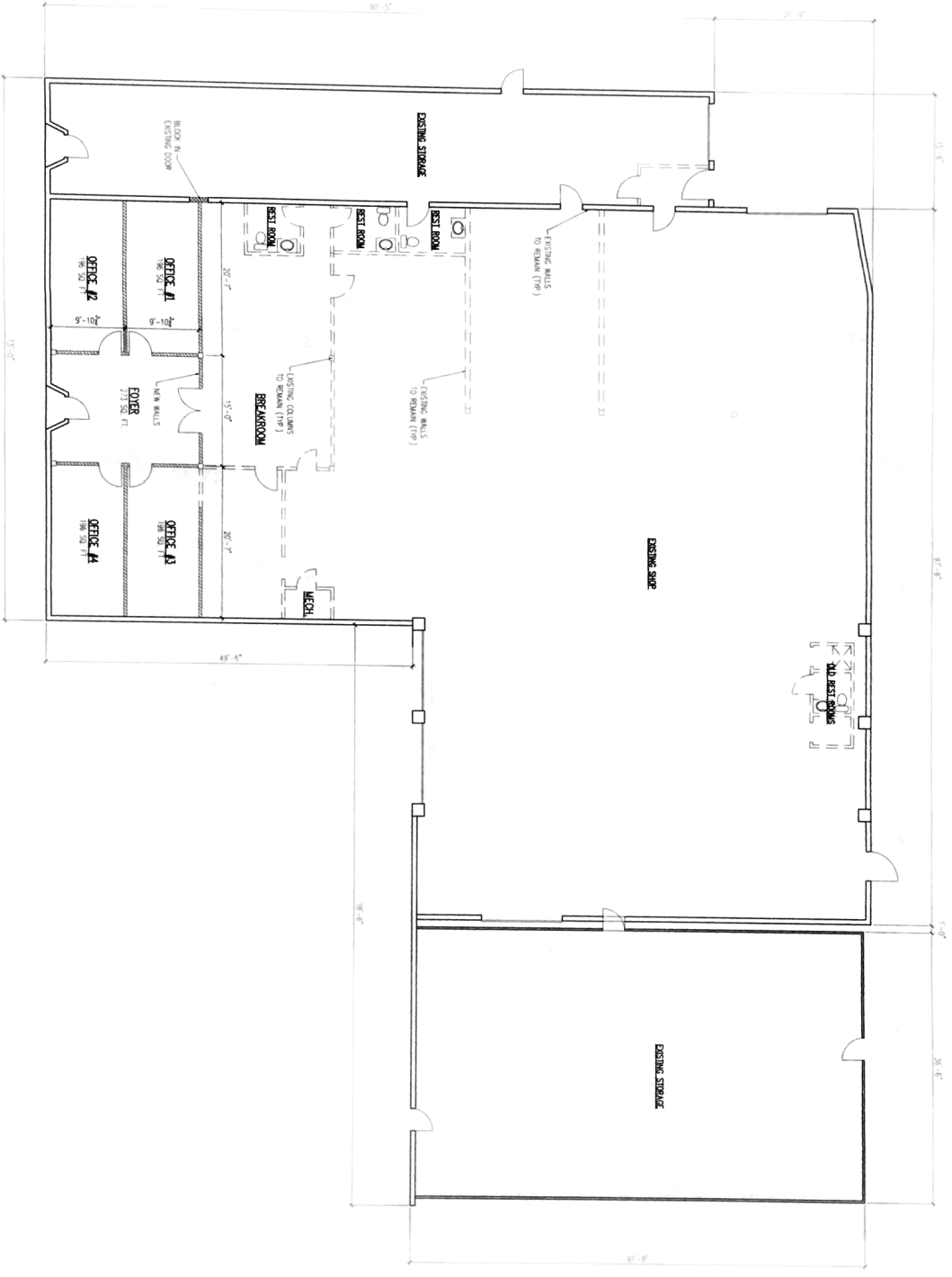
EXISTING COMMERCIAL PROPERTY



APPLICANT:
 AARON CO.
 9132 WEST 2700 SOUTH
 MAPLE UTAH 84044
 PHONE: (801) 572-8031

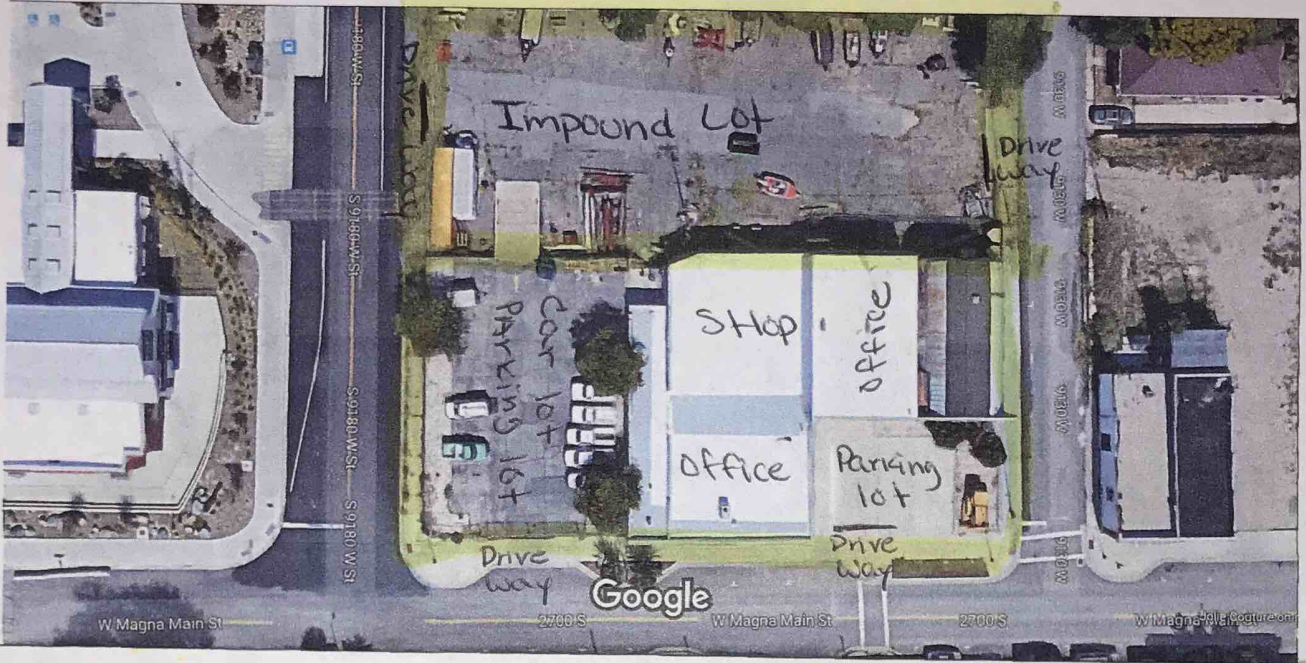
ENGINEER:
 BONEVILLE DESIGN
 CHAD OYERBE
 500 W. 1000 N.
 MAPLE UTAH 84044
 PHONE: (801) 280-7367

SITE PLAN
 SCALE: 1" = 30'



EXISTING & PROPOSED FLOOR PLAN





9152 w. Main Street, Magna
Impound lot is fully fenced







S 9180 W St



SMBAYS

SPEED
LIMIT
25





Planning and Development Services

2001 S. State Street N3-600 • Salt Lake City, UT 84190-4050

Phone: (385) 468-6700 • Fax: (385) 468-6674

www.pwpds.slco.org

File #30674

Conditional Use Summary and Recommendation

Public Body: Magna Planning Commission

Meeting Date: March 8, 2018

Parcel ID: 14-29-378-020

Current Zone: R-1-6

Property Address: 3408 South 8525 West

Request: Accessory Structures Exceeding 800 Ft²

Planner: Spencer Hymas

Township: Magna Metro Township

Planning Staff Recommendation: Approval

Applicant Name: James Deyerle

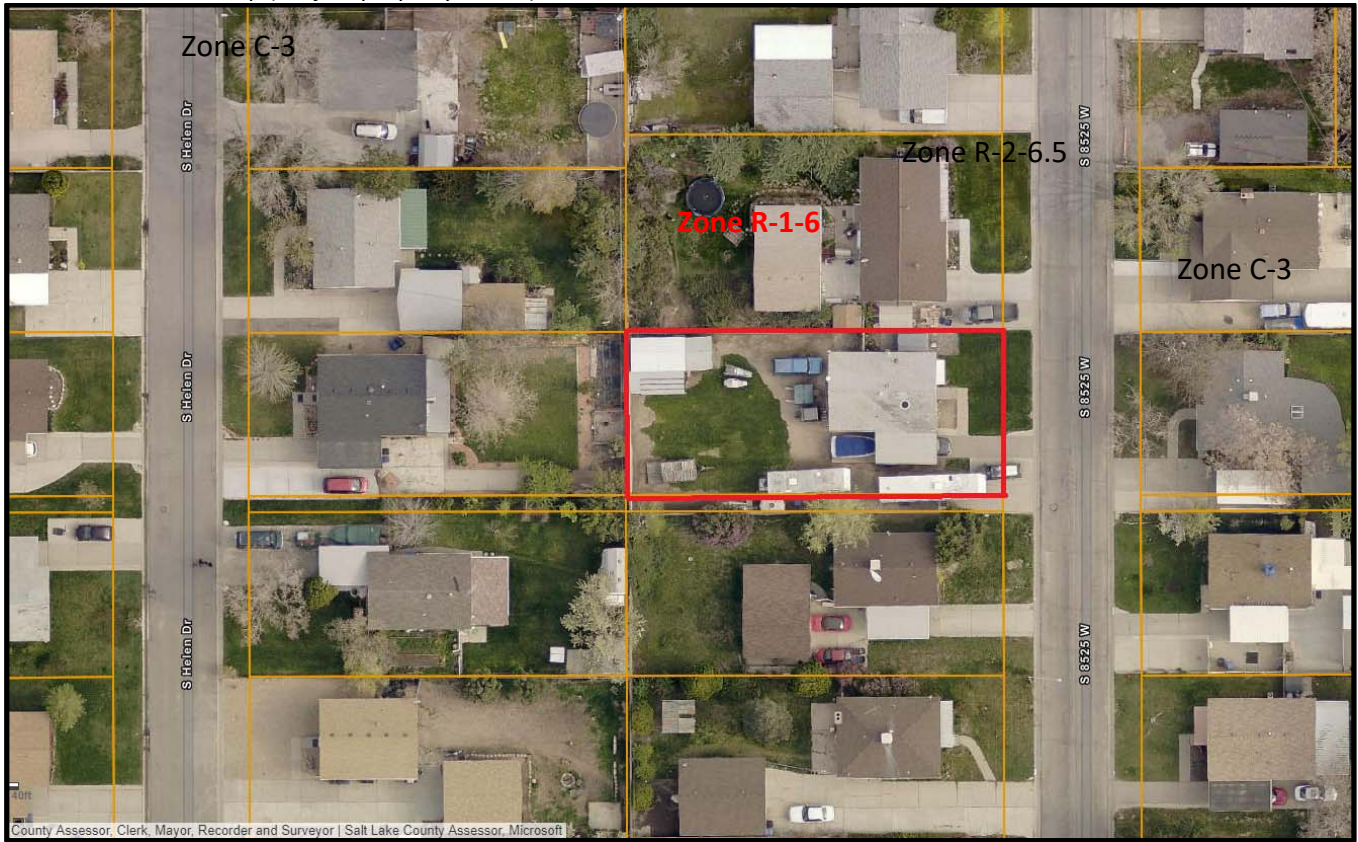
PROJECT DESCRIPTION

James Deyerle is seeking conditional use approval to build a detached garage in his backyard over 800 square feet. Accessory structures over the 800 square feet requires a conditional use permit approval. The proposed garage is 36' x 30' and 1,080 square feet total.

SITE & VICINITY DESCRIPTION (see attached map)

The subject property for File #30674 is located on a 0.19 acre parcel. It is surrounded on all sides by R-1-6 zoning.

File #30674: Aerial Map (subject property in Red)



LAND USE CONSIDERATIONS

Requirement	Standard	Proposed	Compliance Verified
Height	20 Feet	20 Feet	Yes
Front Yard Setback	Min 6 Feet from Dwelling	32 Feet	Yes
Side Yard Setback	7 Feet	7 Feet	Yes
Rear Yard Setback	7 Feet	7 Feet	Yes
Rear Yard Coverage	No accessory building or group of accessory buildings shall cover more than 25% of the rear yard.	24%	Yes
Lot Area	6000 Square Feet	8274 Square Feet	Yes

NEIGHBORHOOD RESPONSE

As of February 27, 2018, there has been no neighborhood response to File #30674.

PLANNING STAFF ANALYSIS

19.04.090 - Building, accessory.

"Accessory building" means a detached, subordinate building clearly incidental to and located upon the same lot occupied by the main building. Also, a building clearly incidental to an agriculture or animal care land use located on a lot in an agriculture zone, which lot meets the minimum lot size for such zone and is not under one acre in area.

Staff has verified that the proposed detached private garage for File #30674 is an accessory building.

19.04.265 - Garage, private.

"Private garage" means an accessory building designed or used for the storage of not more than four automobiles owned and used by the occupants of the building to which it is accessory; provided, that on a lot occupied by a multiple dwelling, the private garage may be designed and used for the storage of one and one-half times as many automobiles as there are dwelling units in the multiple dwelling. A garage shall be considered part of a dwelling if the garage and the dwelling have a roof or wall in common. A private garage may not be used for storage of more than one truck for each family dwelling upon the premises, and no such truck shall exceed two and one-half tons capacity.

Staff has verified that the proposed accessory building for File #30674 is a detached private garage.

19.32.030 - Conditional uses.

Conditional uses in the R-1 zones are as follows: - Accessory uses and buildings customarily incidental to a conditional use. Any accessory building or buildings where the total square footage exceeds eight hundred square feet on lots under one half-acre or one thousand two hundred square feet on lots one-half acre or larger.

Staff has verified that the proposed accessory building for File #30674 is a conditional use in the R-1-6 zone. In addition, staff has verified that the total area of accessory buildings within the property would equal to 1,080 square feet with the added garage, placing it over the 800 ft² limit.

19.14.070 - Coverage of rear yards.

No accessory building or group of accessory buildings shall cover more than twenty-five percent of the rear yard.

Staff has verified that the total coverage of accessory buildings on property does not exceed 25%.

19.84.060 – Conditional Use Standards for approval.

- A. *The proposed site development plan shall comply with all applicable provisions of the zoning ordinance, including parking, building setbacks, and building height.*
- B. *The proposed use and site development plan shall comply with all other applicable laws and ordinances.*
- C. *The proposed use and site development plan shall not present a serious traffic hazard due to poor site design or to anticipated traffic increases on the nearby road system which exceed the amounts called for under the county transportation master plan.*
- D. *The proposed use and site development plan shall not pose a serious threat to the safety of persons who will work on, reside on, or visit the property nor pose a serious threat to the safety of residents or properties in the vicinity by failure to adequately address the following issues: fire safety, geologic*

hazards, soil or slope conditions, liquefaction potential, site grading/topography, storm drainage/flood control, high ground water, environmental health hazards, or wetlands.

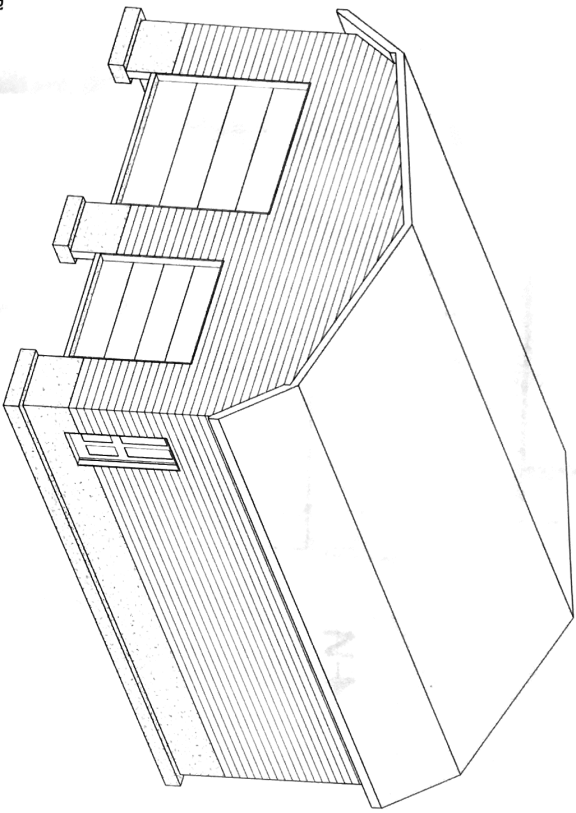
- E. The proposed use and site development plan shall not adversely impact properties in the vicinity of the site through lack of compatibility with nearby buildings in terms of size, scale, height, or noncompliance with community general plan standards.*

Staff has verified that File #30674 meets all standards of approval for conditional uses.

PLANNING STAFF RECOMMENDATION

Staff recommends the approval of the conditional use File #30674 with the condition that the applicant complies with all building code requirements through the application of a building permit.

1 (30)



DEVERLE GARAGE
LOT 5422 OAKBRIK HILLS RD S
BR222 W. 2400 S. IRVING UT

GARAGE

DATE: 11/11/2011

TIME: 10:00 AM

SCALE: 1/8" = 1'-0"

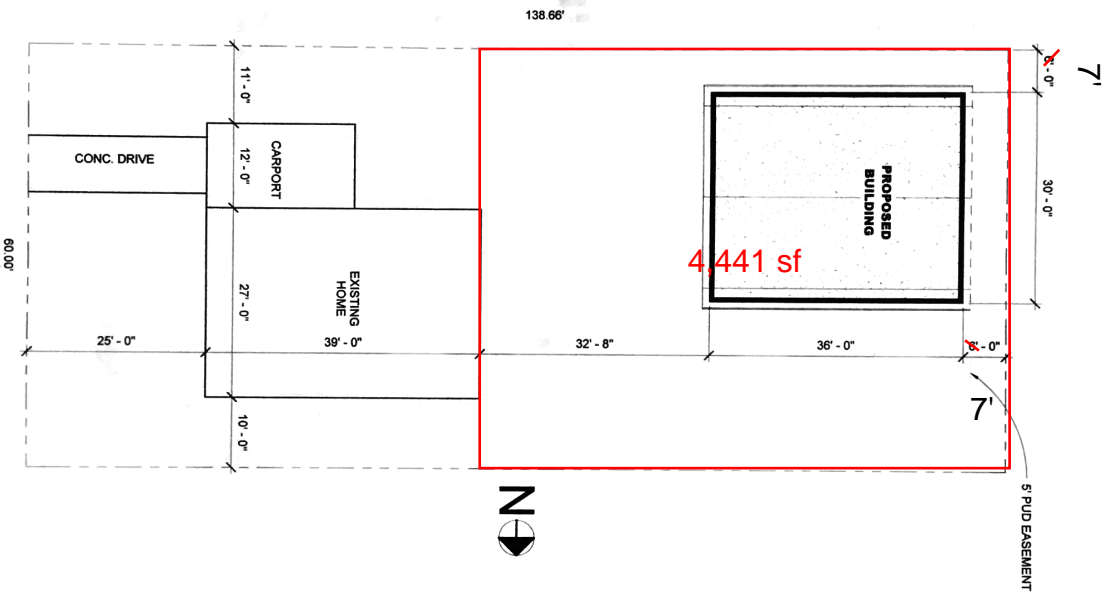
PROJECT: 2400 S. IRVING UT

CLIENT: DEVERLE GARAGE

0

LOT 542
 8525 WEST STREET
 OQUIRH HILLS NO 5

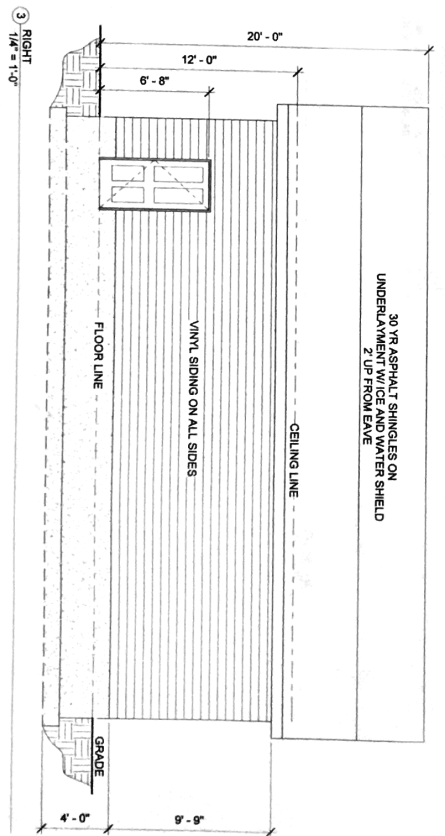
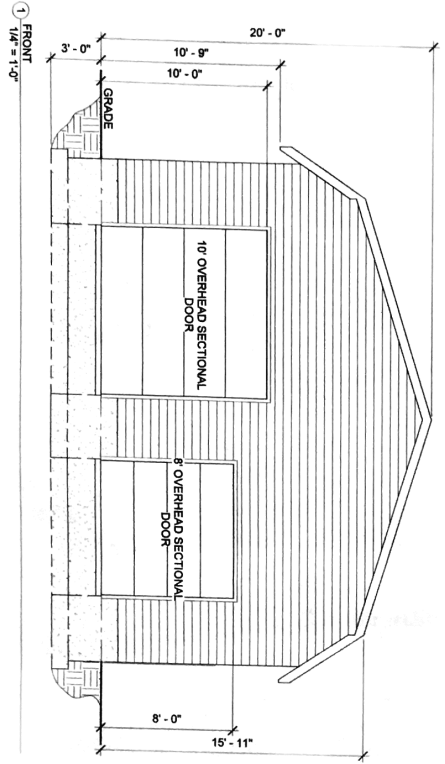
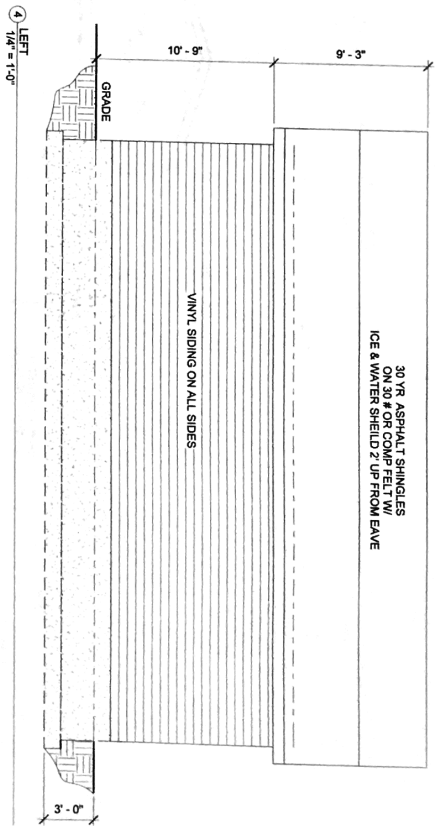
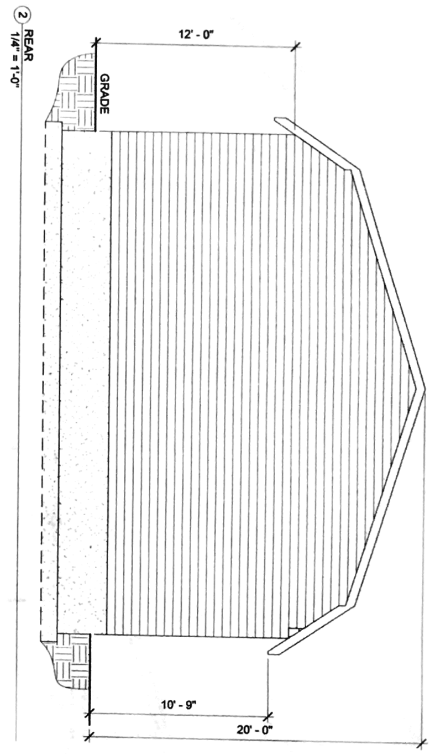
Site Plan
 1" = 10'-0"



DEVERLE CARPAC
 LOT 542 OQUIRH HILLS NO 5
 8525 W. 5408 S. MOUND UT

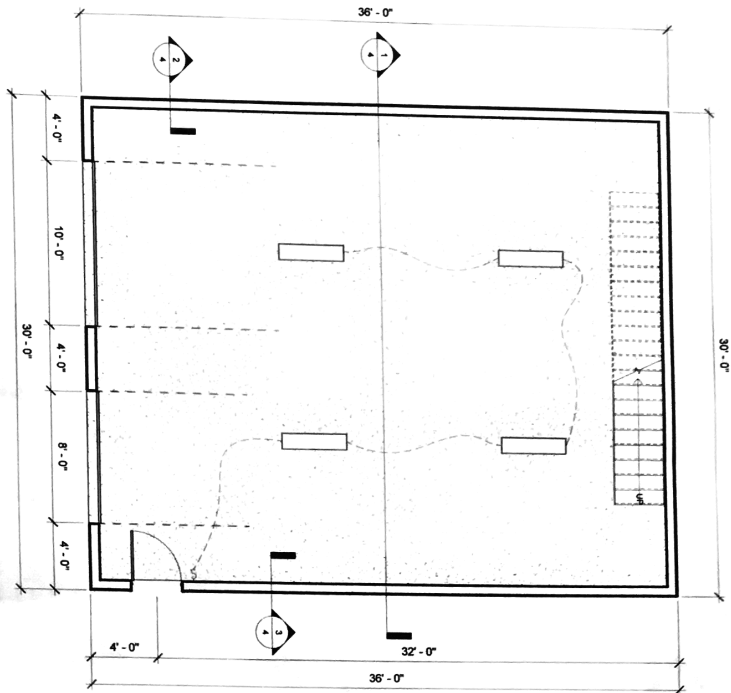
SITE PLAN

DATE	2/4/2025
BY	STYVEN
PROJECT	
SCALE	
REVISION	

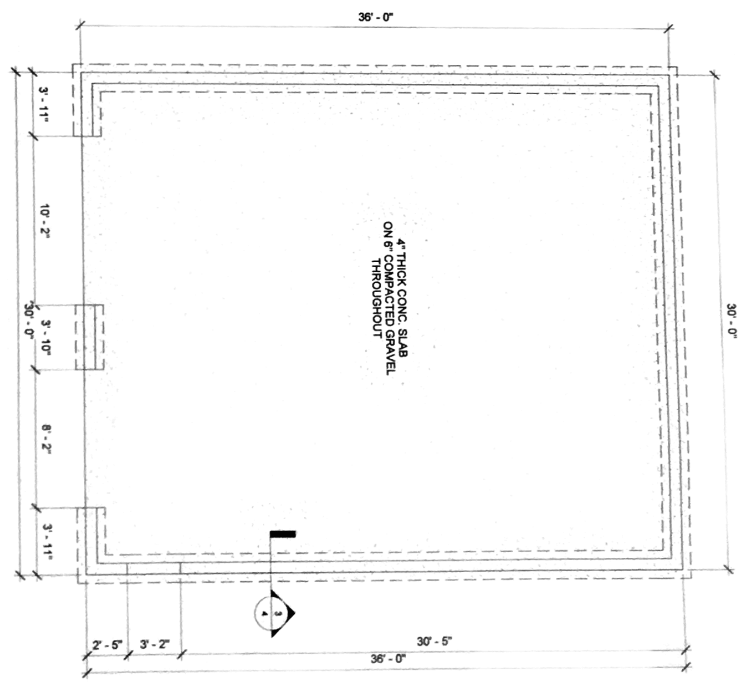


DEVERLE GARAGE	
LOT 542 DOORHILLS RD S	
8525 W. 5408 S. WANDA UT	
ELEVATIONS	
DATE	5
SCALE	1/4" = 1'-0"
PROJECT	
DESIGNER	
CHECKED	
DATE	

1 FLOOR PLAN
1/8" = 1'-0"



2 FOUNDATION
1/8" = 1'-0"



DEVERLE GARAGE	
LOT 5412 COLLEBY HILLS RD S	
8525 W 2400 S, WYOMING UT	
FLOOR & FOUNDATION	
DATE	22.01.2018
BY	CHENGLIN
NO. OF SHEETS	2
TOTAL SHEETS	2