



VICINITY MAP

****PROJECT SITE IMPROVEMENTS
TO BE COMPLETED
IN THREE (3) PHASES**

**BUILDINGS TO BE CONSTRUCTED
IN EIGHT (8) PHASES****

PROJECT STATISTICS:

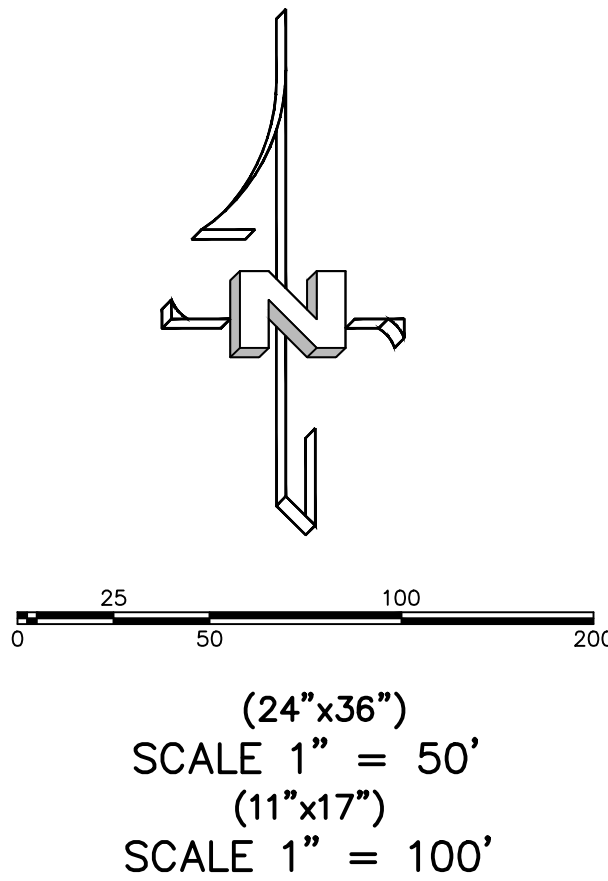
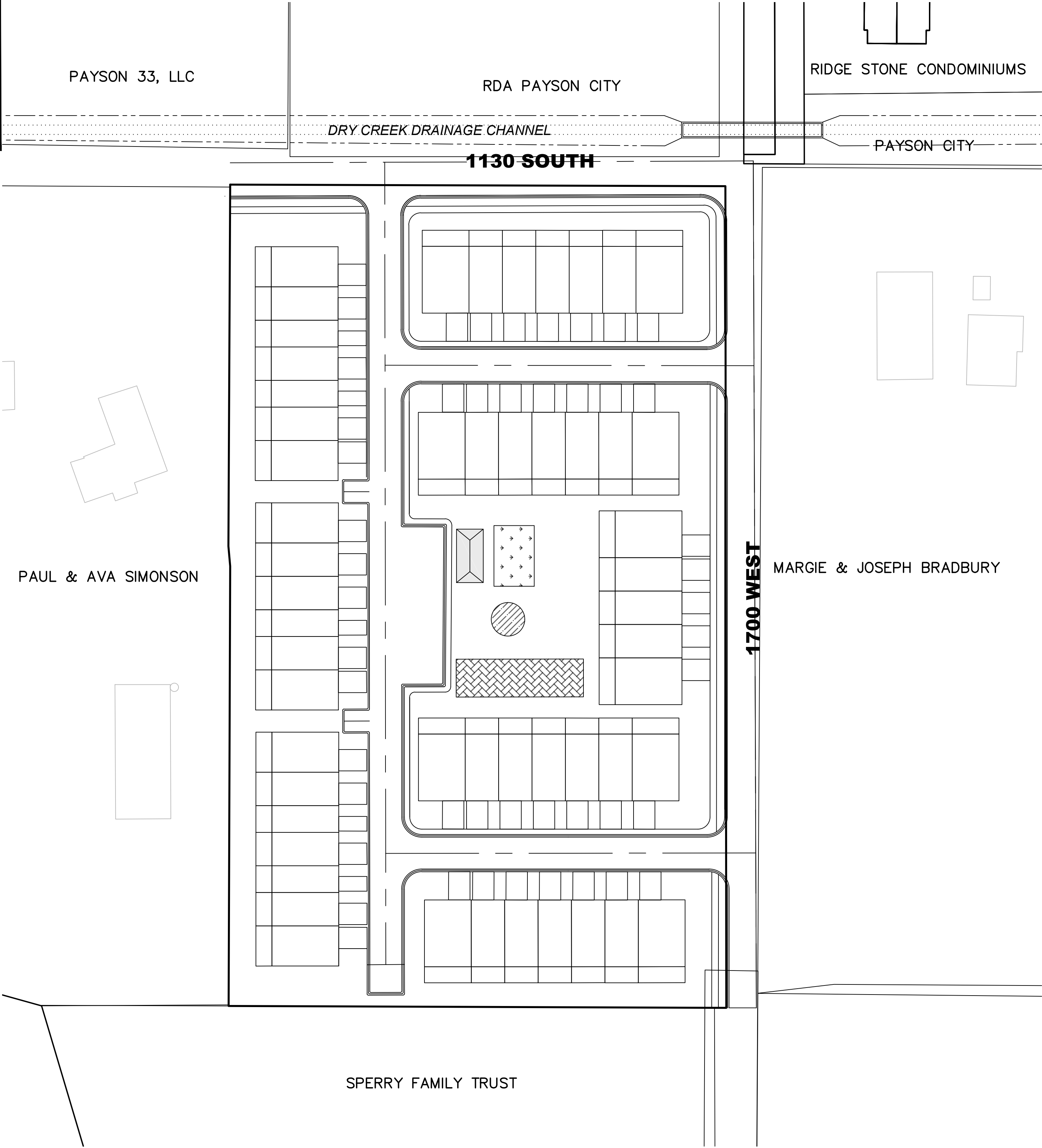
- 1. PARCEL AREA: 5.25 ACRES
- 2. PUBLIC ROW: 0.87 ACRES
- 3. COMMON AREA: 2.28 ACRES
- 4. NUMBER OF UNITS: 53

NOTES:

- 1. ALL CONSTRUCTION TO CONFORM TO PAYSON CITY STANDARDS AND SPECIFICATIONS.

**SPRING CREEK TOWNHOMES
SUBDIVISION**

LOCATED IN THE NORTHWEST QUARTER OF SECTION
19, TOWNSHIP 9 SOUTH
RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN
Payson, Utah County, Utah



PROJECT DEVELOPER
SPRING CREEK
TOWNHOME GROUP LLC
230 NORTH 550 EAST
LONDON, UT 84042
PH - 801.706.8516

PROJECT ENGINEER & SURVEYOR
NSE, LLC
230 NORTH 550 EAST
LONDON, UT 84042
PH - 801.706.8516

CONTACT LIST

CITY PLANNER
CONTACT: JILL SPENCER, AICP
MAIN PHONE: (801) 465-5233

PUBLIC WORKS MAIN
CONTACT: TRAVIS JOCKUMSEN
MAIN PHONE: (801) 465-5235

-INDEX OF PLAN SHEETS-

SHEET(S)	DESCRIPTION
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GD-01-02	GRADING & DRAINAGE PLAN
EC-01	EROSION CONTROL PLAN
PP-01-05	PLAN & PROFILES
LS-01-02	LANDSCAPE PLAN
PH-01	PHASING PLAN
DT-01-03	TYPICAL DETAILS

NSE, llc
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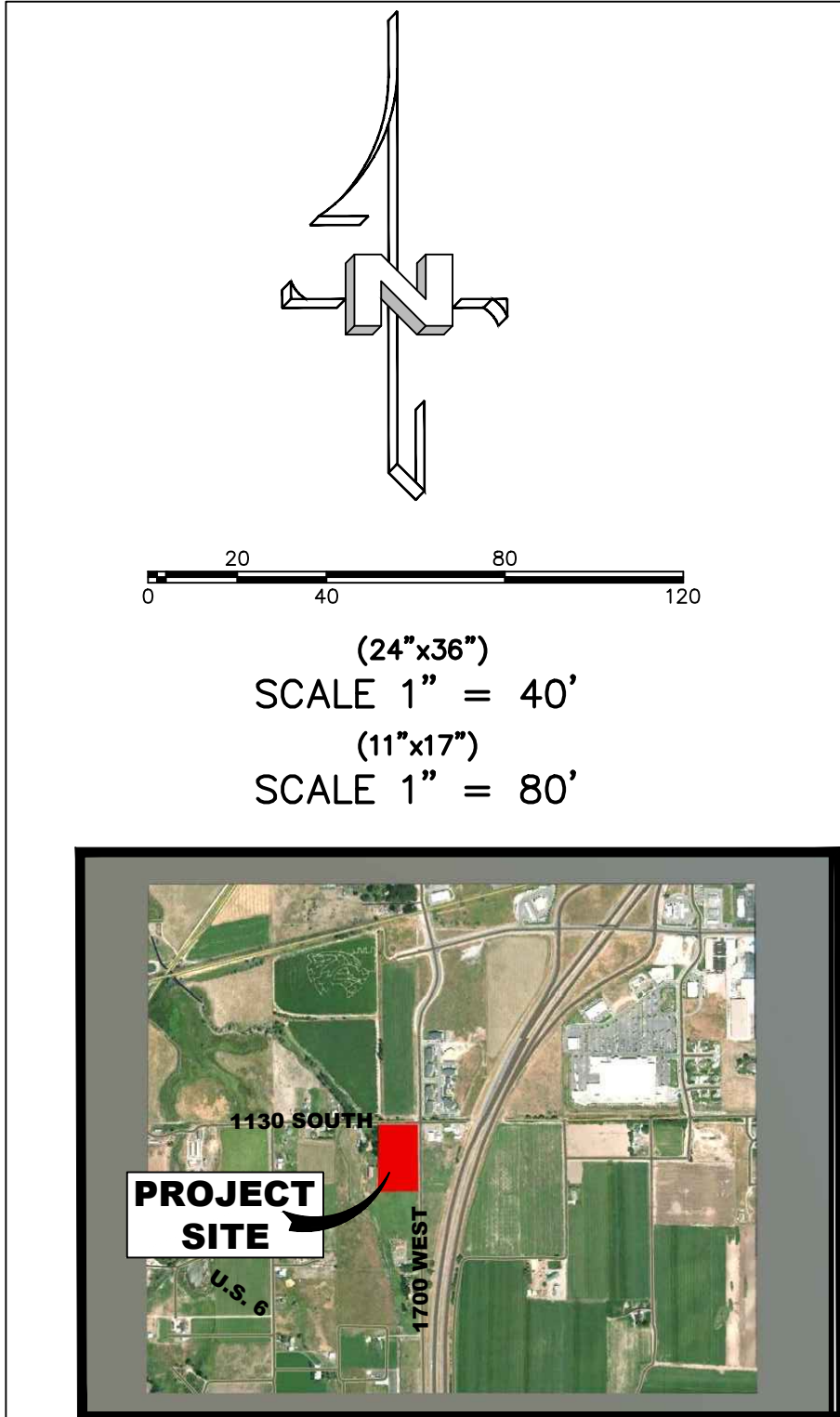


PRELIMINARY
NOT FOR
CONSTRUCTION

SPRING CREEK TOWNHOMES
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

COVER SHEET

DATE : 2-13-17
JOB NO: 16-001
DRAWN: PES
CHECKED: EN
REVISION: _____
SHEET: CS-01



NOTES:

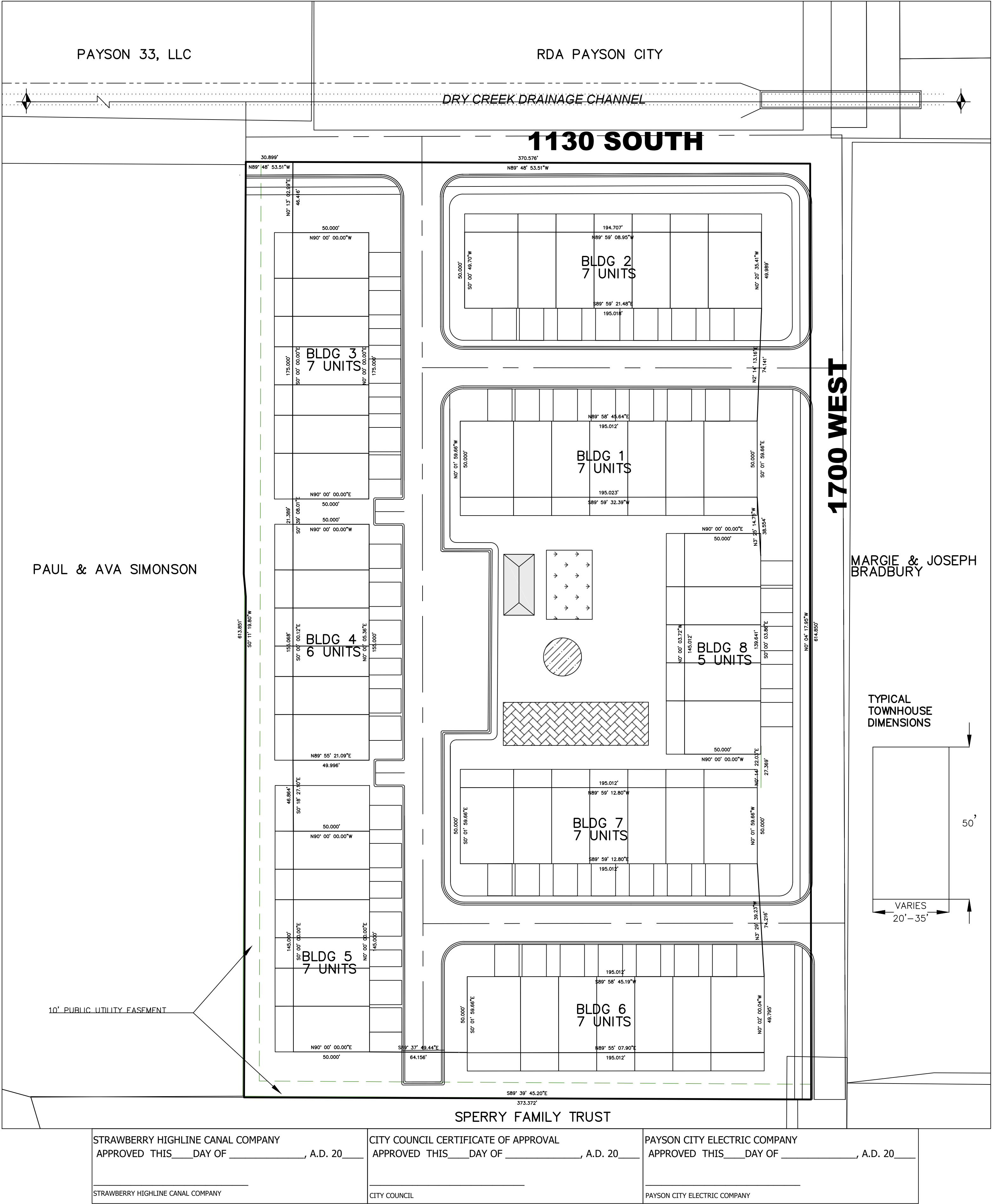
- ALL DRINKING WATER AND PRESSURIZED IRRIGATION LINES UP TO AND INCLUDING THE METER, ALL SANITARY SEWER MAINS, ALL ELECTRIC METERS, AND ALL ELECTRIC AND TO THE TOP OF THE METER BASE ARE DEDICATED TO PAYSON CITY.
- NDCBU = NEIGHBORHOOD DELIVERY COLLECTION BOX UNIT
- TYPE II MONUMENT (ALUMINUM CAP & REBAR) TO BE SET REBAR AND CAP (PLS XXXXXX) TO BE SET AT ALL BOUNDARY ANGLE POINTS.
- ALL PUBLIC UTILITY EASEMENTS PLATTED HEREON ARE IN PERPETUITY OF INSTALLATION, MAINTENANCE, REPAIR, AND REPLACEMENT OF PUBLIC UTILITIES, SIDEWALKS, AND APPURTENANT PARTS THEREOF AND THE RIGHT TO REASONABLE ACCESS TO GRANTOR'S EASEMENT SHALL RUN WITH THE REAL PROPERTY AND SHALL BE BINDING UPON THE GRANTOR AND GRANTOR'S SUCCESSORS, HEIRS AND ASSIGNS.
- ALL COMMON AREAS TO BE PUBLIC UTILITY EASEMENTS
- ALL ROADWAY ASPHALT SURFACE (LIP OF GUTTER TO LIP OF GUTTER) TO BE PUBLIC UTILITY EASEMENT
- ALL AREAS ARE COMMON AREAS AND FACILITIES EXCEPT AS OTHERWISE SPECIFICALLY DESIGNATED.
- ALL COMMON AREAS TO BE MAINTAINED BY HOME OWNERS ASSOCIATION.

PROJECT STATISTICS:

- PARCEL AREA: 5.25 ACRES
- PUBLIC ROW: 0.87 ACRES
- COMMON AREA: 2.28 ACRES
- NUMBER OF UNITS: 53

LEGEND:

- FOUND SECTION CORNER AS NOTED
- SET 5/8" IRON PIN
- TO BE SET AT ALL PROPERTY CORNERS
- FOUND CLASS 1 STREET MONUMENT
- SET STREET MONUMENT
- EXISTING PROPERTY LINE
- CENTERLINE
- RIGHT OF WAY LINE
- LOT LINE
- SECTION LINE
- PUBLIC UTILITY EASEMENT
- CALCULATED POINT (NOT SET)



SPRINGCREEK TOWNHOMES
PLAT "A" SUBDIVISION

LOCATED IN THE NORTHWEST QUARTER OF
SECTION 19, TOWNSHIP 9 SOUTH
RANGE 2 EAST, SLB&M
Payson, Utah County, Utah

SURVEYOR CERTIFICATE
I, JASON G. JENKINS DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. XXXXXX AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION
Beginning at the Northwest fenced corner of a parcel of land, which beginning point is located North 89° 42' 08" East along the section line 955.36 ft. and South 22.78 ft. from the Northwest Corner of Section 19, Township 9 South, Range 2 East, Salt Lake Base and Meridian;
thence along long-standing boundary fence lines as follows: North 89° 51' 44" East 370.82 ft., along the south fenced right-of-way line of 11200 South Street - Utah County numbering system (1130 South - Payson City numbering system); thence South 0° 22' 52" East 615.19 ft. along the west fenced right-of-way line of 4600 West Street - Utah County (1700 West - Payson); thence South 89° 53' 20" West 372.63 ft. along a long-standing boundary fence line; thence along a long-standing boundary fence line by the following three (3) courses and distances: (1) North 0° 07' 06" West 329.24 ft; thence (2) North 5° 33' 13" West 15.07 ft; thence (3) North 0° 01' 47" West 270.78 ft. to the point of beginning.

DATE _____ SURVEYOR (SEE SEAL BELOW)

OWNERS DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS DAY OF _____, A.D. 20__

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20__

LIMITED COMPANY ACKNOWLEDGEMENT

STATE OF UTAH
S.S.

COUNTY OF UTAH

ON THIS _____ DAY OF _____, A.D. 20__ PERSONALLY APPEARED BEFORE ME _____ THE SIGNER OF THE FOREGOING INSTRUMENT, WHO DULY ACKNOWLEDGED TO ME THAT (S)HE IS THE _____ OF _____, A LIMITED COMPANY, AND IS AUTHORIZED TO EXECUTE THE FOREGOING AGREEMENT IN ITS BEHALF AND THAT HE OR SHE EXECUTED IT IN SUCH CAPACITY.

MY COMMISSION EXPIRES _____
A NOTARY PUBLIC COMMISSIONED IN UTAH

NOTARY ADDRESS _____ PRINTED FULL NAME OF NOTARY _____

ACCEPTANCE OF LEGISLATIVE BODY
THE _____ OF _____ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20__

APPROVED BY CITY MANAGER _____ APPROVED BY THE CITY ATTORNEY _____

APPROVED BY CITY ENGINEER _____ ATTEST _____
(See Seal Below) CLERK-RECORDER
(See Seal Below)

BOARD OF HEALTH

APPROVED SUBJECT TO THE FOLLOWING CONDITIONS _____

NSE, llc

230 NORTH 550 EAST
LINDON, UTAH 84042
801.706.8516
nixon.evan@gmail.com

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PRELIMINARY
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CONSTRUCTION

SPRING CREEK TOWNHOMES
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

PLAT

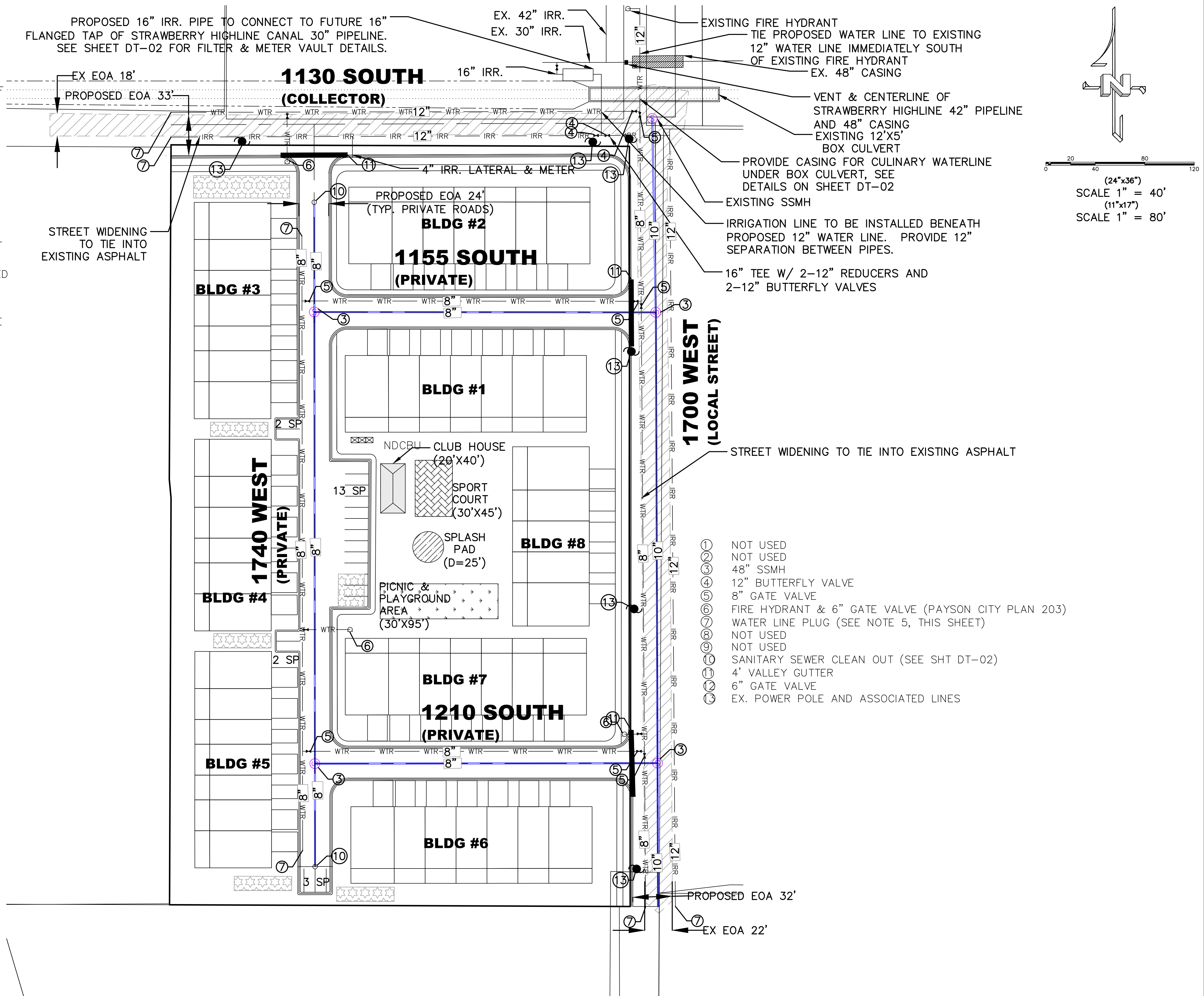
DATE : 2-13-17
JOB NO: 16-001
DRAWN: PES
CHECKED: EN
REVISION:

PRELIMINARY PLAT

SHEET:

PL-01

1. ALL CONSTRUCTION TO CONFORM TO PAYSON CITY STANDARDS AND SPECIFICATIONS.
2. ALL INTERNAL ROADS ARE PRIVATE ROADS AND ARE 24' FROM LIP OF GUTTER TO LIP OF CUTTER.
3. ALL CURB RETURNS ARE 15' RADIUS AT TBC EXCEPT FOR THE INTERSECTION OF 1130 SOUTH AND 1700 WEST WHICH IS 20' RADIUS AT TBC.
4. UNLESS OTHERWISE NOTED, ALL INTERIOR UTILITIES TO BE:
 - CULINARY WATER 8" C-900 PVC
 - SEWER 8" SDR-35 PVC
5. WATER AND IRRIGATION LINE PLUGS TO BE THRUST BLOCKED PER APWA PLAN #561 OR INSTALL JOINT RESTRAINTS ON PLUG AND ALL PIPE JOINTS WITHIN 50 FEET OF PLUG.
6. MINIMUM BEARING AREA FOR ALL WATER AND IRRIGATION LINE THRUST BLOCKS TO BE BASED ON SOIL BEARING CAPACITY OF 1500 PSF. AREAS SHOWN ON APWA PLAN NO. 561 WILL NEED TO BE MULTIPLIED BY 1.33.
7. ALL UNITS SHALL HAVE THEIR OWN SEPARATE SEWER AND WATER LATERALS ALONG WITH CLEANOUTS AND METERS.
8. SEE PLAN AND PROFILE SHEETS FOR SEWER LATERAL AND WATER LATERAL LOCATIONS.
9. SEE PLAN AND PROFILE SHEETS FOR ROADWAY DETAILS.
10. SEE LANDSCAPING PLANS FOR FENCING LAYOUT AND DETAILS.
11. SEE GRADING & DRAINAGE PLANS FOR DRAINAGE LAYOUT AND DETAILS.



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SPRING CREEK TOWNHOMES
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

SITE & UTILITY PLAN

DATE :	2-13-17
JOB NO:	16-001
DRAWN:	PES
CHECKED:	EN
REVISION:	

MEET: SP-01

NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
- CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
- UNLESS OTHERWISE NOTED, ALL DRAINAGE PIPE TO BE:
STORM DRAINAGE 15" DOUBLE WALL CORRUGATED HDPE OR RCP CLASS III
- WHERE DRAINAGE FACILITES (I.E.SWALE, BASIN, DRAINFIELD) ARE LOCATED WITHIN 20' OF A FOUNDATION WALL TO BE DAMPROOFED, DAMPROOFING IS TO BE ENHANCED BY DOUBLING THE EMULSION THICKNESS AND INSTALLING PLASTIC SHEETING (6MM MINIMUM) OVER WET EMULSION FROM THE MIDDLE OF FOUNDATION FOOTING TO FINISH GRADE.
- 20 MIL (MINIMUM) LINER TO BE PLACED FROM BASIN INVERT TO TOP OF BASIN (SOUTH SIDE) OR INSTALL LINER 6' DEEP TO FINISHED GRADE, 5' FROM FOUNDATION
- DRAIN ROCK THICKNESS AROUND SIDE OF SUMP TO BE INCREASED FROM 3' TO 5'.

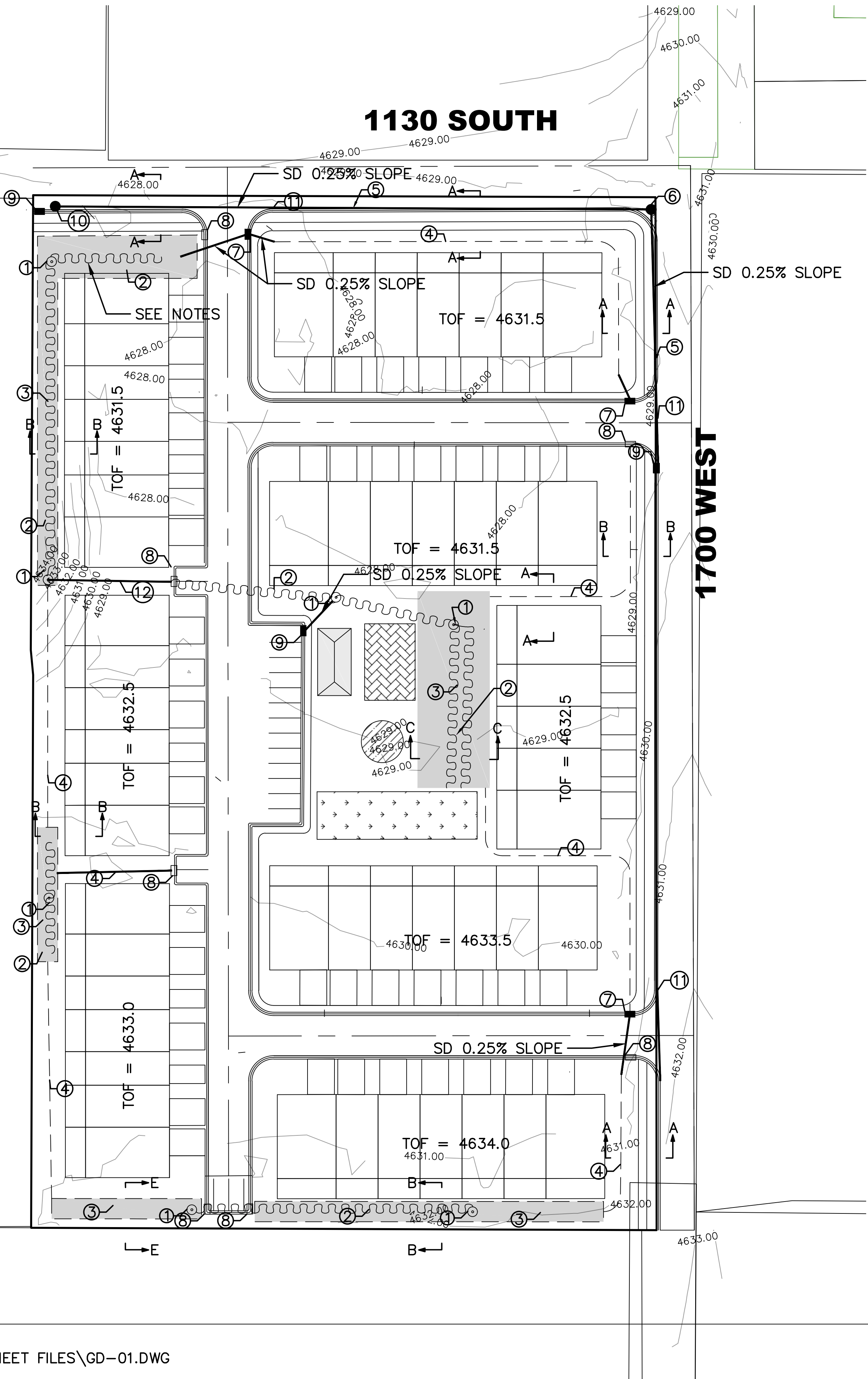
PROPERTY LINE
CENTERLINE
EXISTING EOA
DRAINFIELD*

SD INLET
SD CURB CUT*
MH APWA SUMP (PAYSON PLAN #343)
DRAINFIELD INLETS*

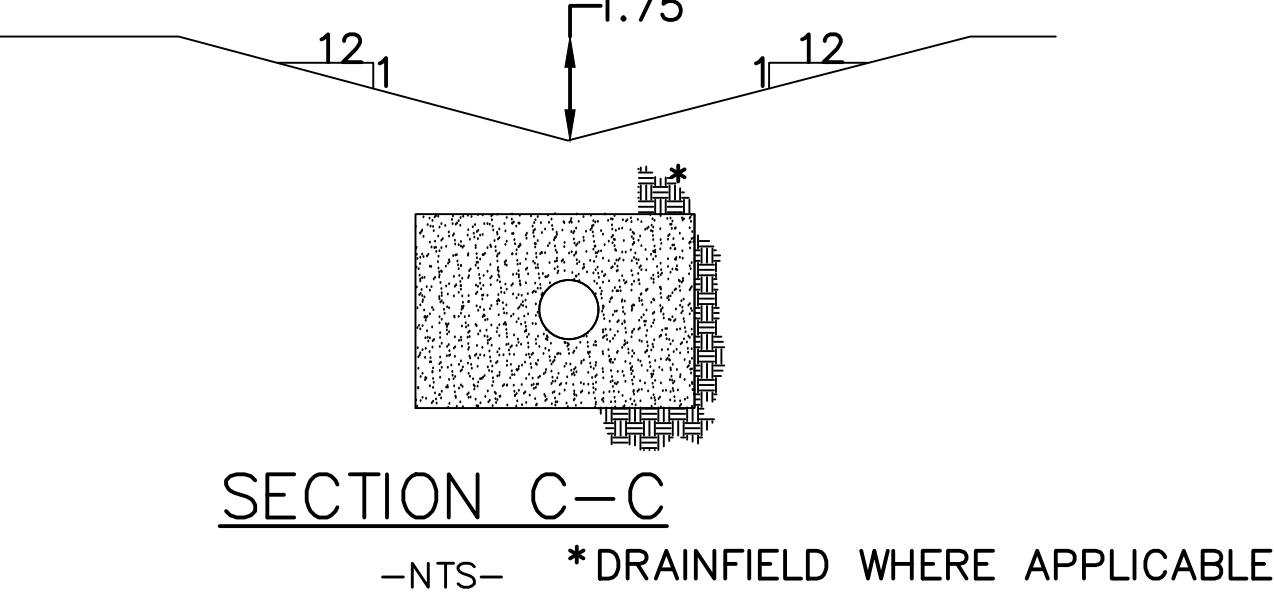
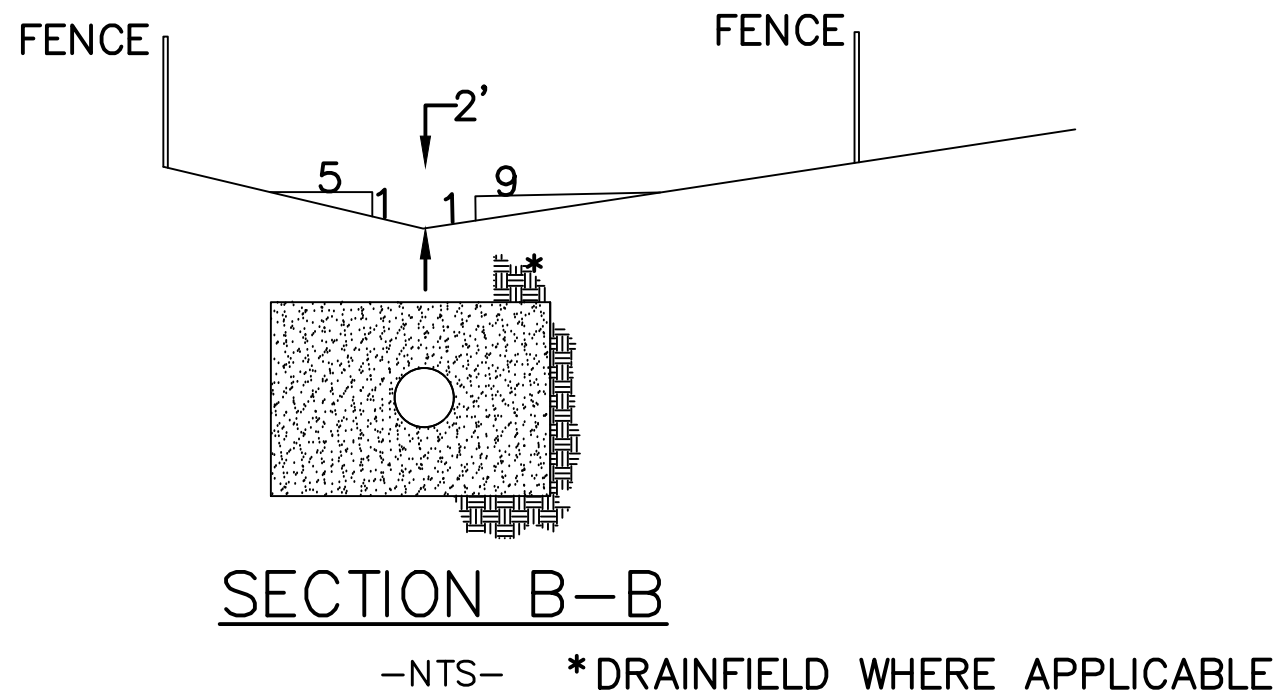
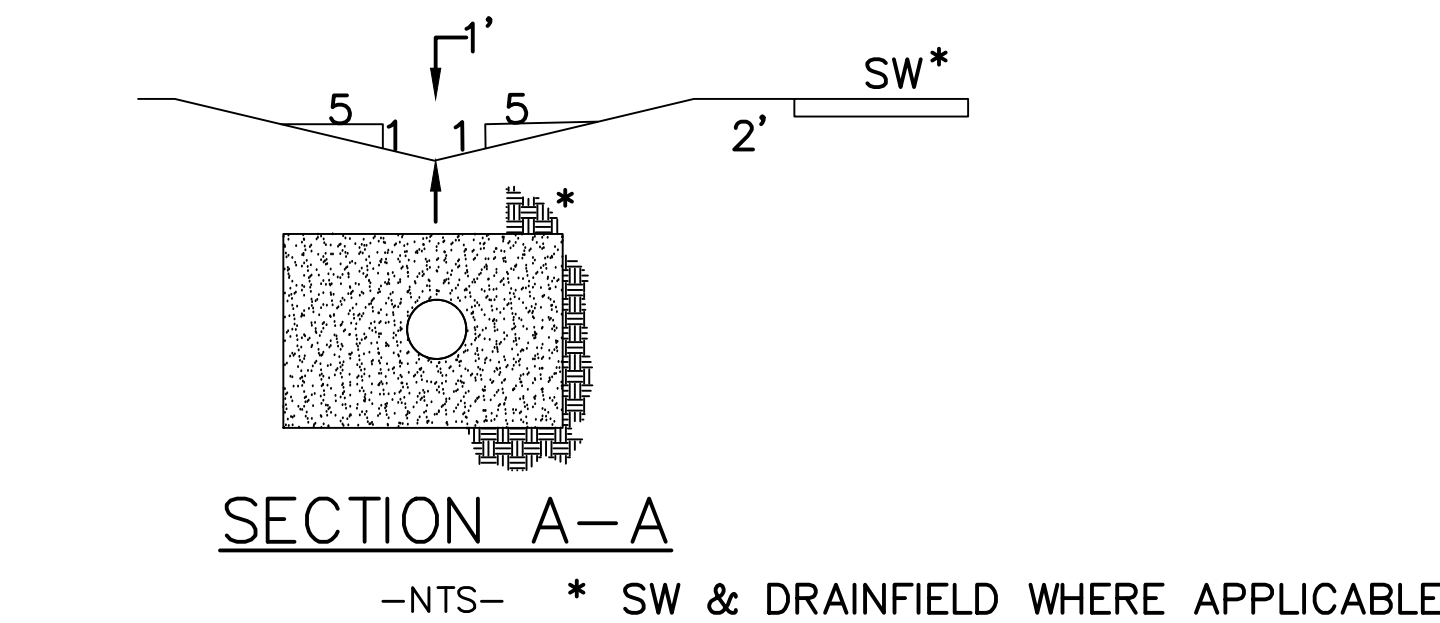
SD CULVERT
STORMWATER SWALE & STORMWATER RETENTION AREAS
EXISTING ASPHALT
CANAL

TOF TOP OF FOUNDATION

*SEE SHEET GD-02 FOR DETAILS



(24"x36")
SCALE 1" = 40'
(11"x17")
SCALE 1" = 80'



- DRAINFIELD INLET (SEE DETAIL GD-02)
- DRAINFIELD (SEE DETAIL SHT GD-02)
- RETENTION BASIN
- DRAINAGE SWALE
- SD PIPE 24" RCP CLASS III
- 60" SD MANHOLE
- SD INLET (APWA 315, SEE DT-01)
- SD CURB CUT (SEE DT-01)
- SD COMBINATION INLET (SEE PAYSON #343 AND APWA #316)
- SUMP (SEE PAYSON #343), SEE NOTE 6
- 4' VALLEY GUTTER (INCL. 2, APWA #213)
- 8" SOLID WALL PIPE

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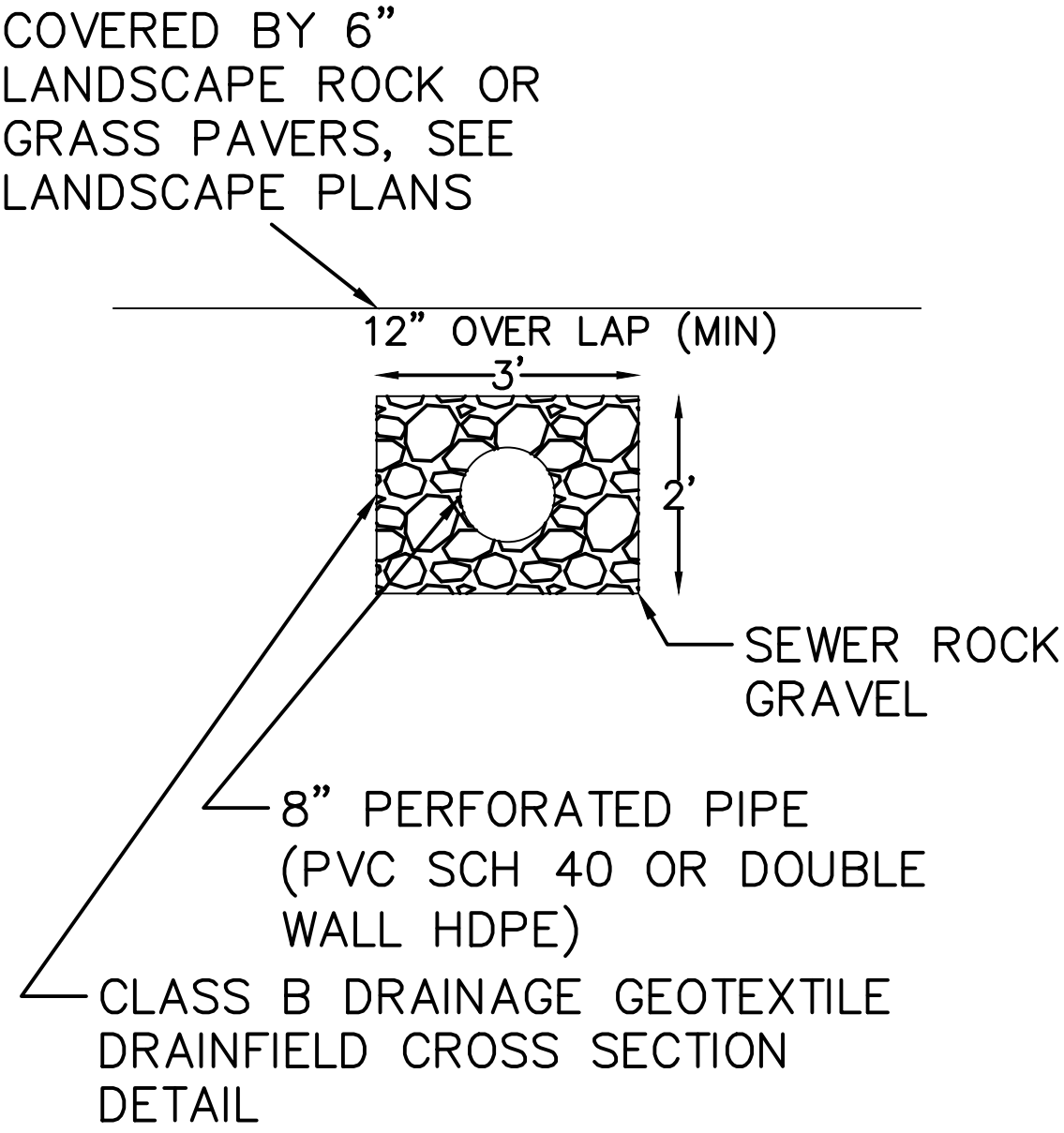
GRADING &
DRAINAGE
PLAN

DATE: 2-13-17
JOB NO: 16-001
DRAWN: PES
CHECKED: EN
REVISION:

SHEET: GD-01

NOTES:

1. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM ALL NECESSARY CUTS AND FILLS WITHIN THE LIMITS OF THIS PROJECT AND THE RELATED OFF-SITE WORK, SO AS TO GENERATE THE DESIRED SUBGRADE, FINISH GRADES AND SLOPES SHOWN.
2. CONTRACTOR IS TO TAKE FULL RESPONSIBILITY FOR ALL EXCAVATION. ADEQUATE SHORING IS TO BE DESIGNED AND PROVIDED BY THE CONTRACTOR TO PREVENT UNDERMINING OF ANY ADJACENT FEATURES OR FACILITIES AND/OR CAVING OF THE EXCAVATION.
3. UNLESS OTHERWISE NOTED, ALL DRAINAGE PIPE TO BE:
STORM DRAINAGE 15" DOUBLE WALL CORRUGATED HDPE OR RCP CLASS III

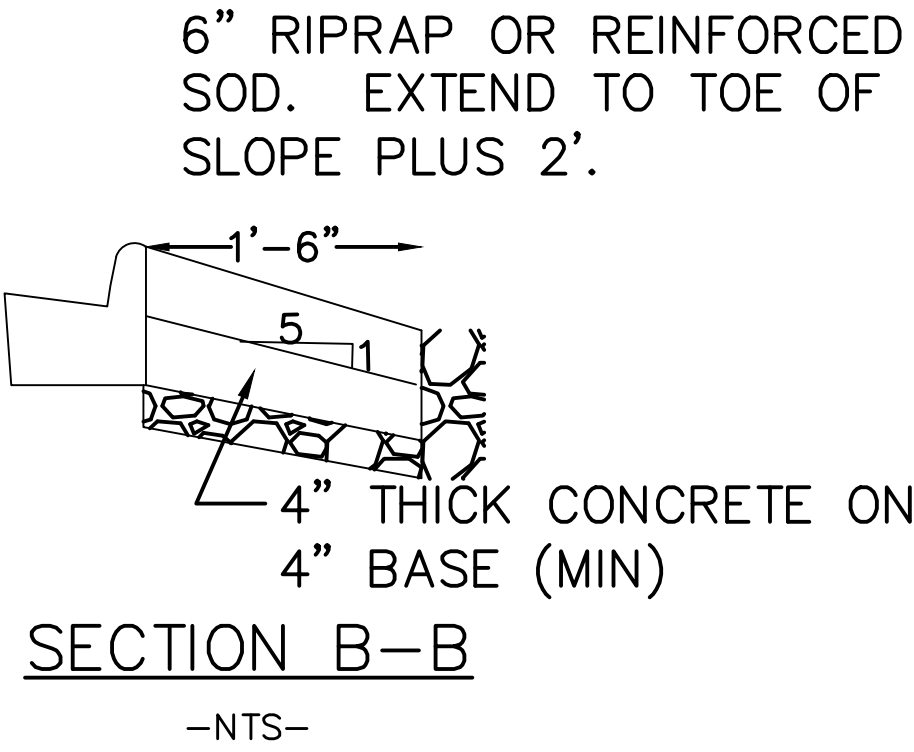
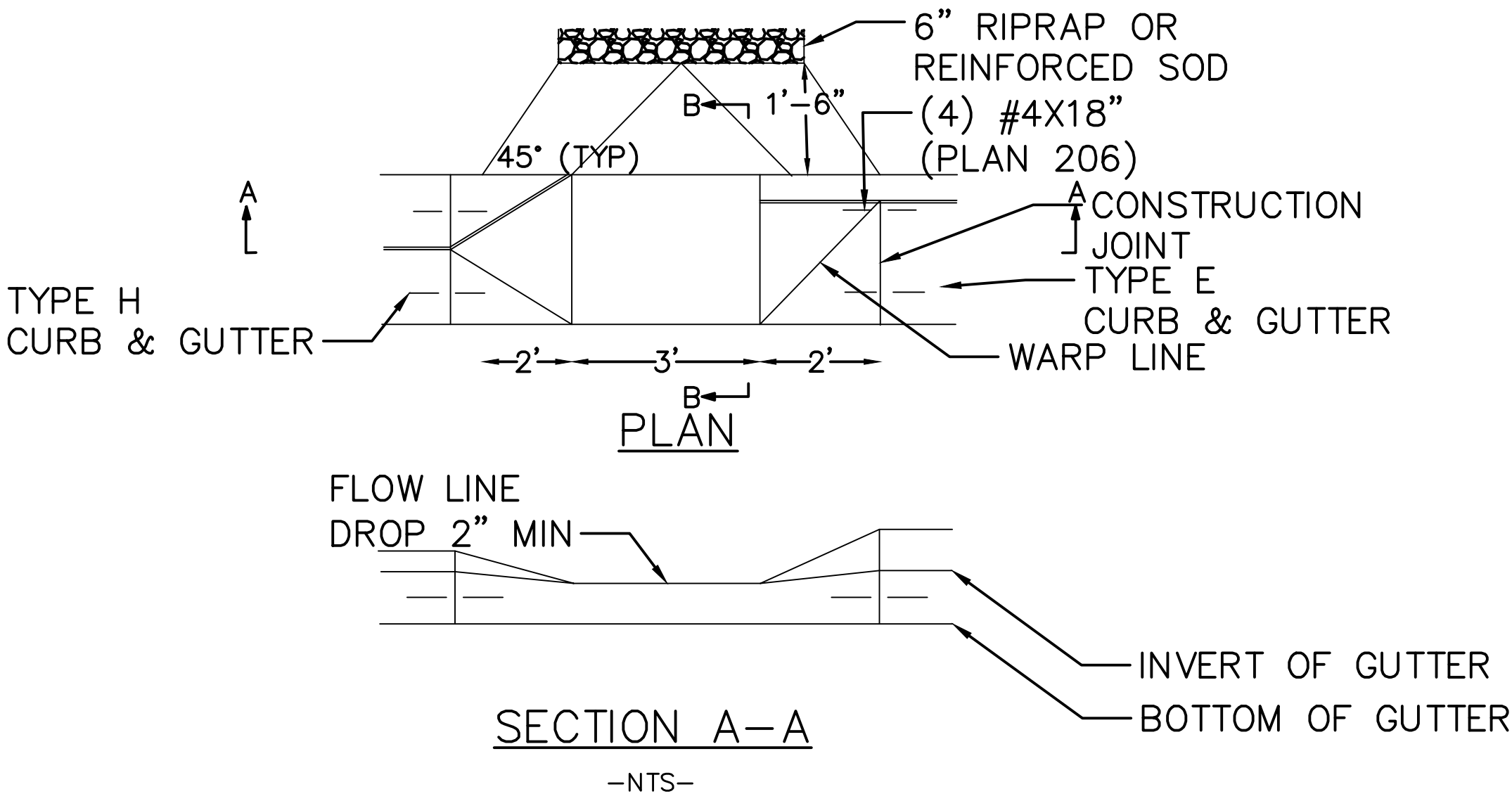


DRAINFIELD CROSS-SECTION DETAIL

-NTS-

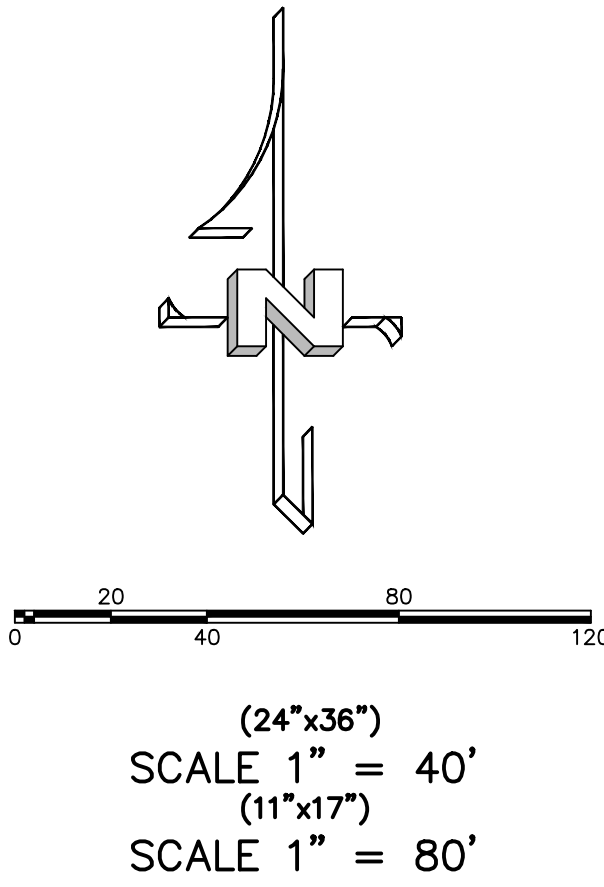
DRAINFIELD INLET DETAIL

-NTS-

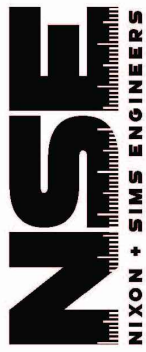


CURB CUT DETAIL

-NTS-



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LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

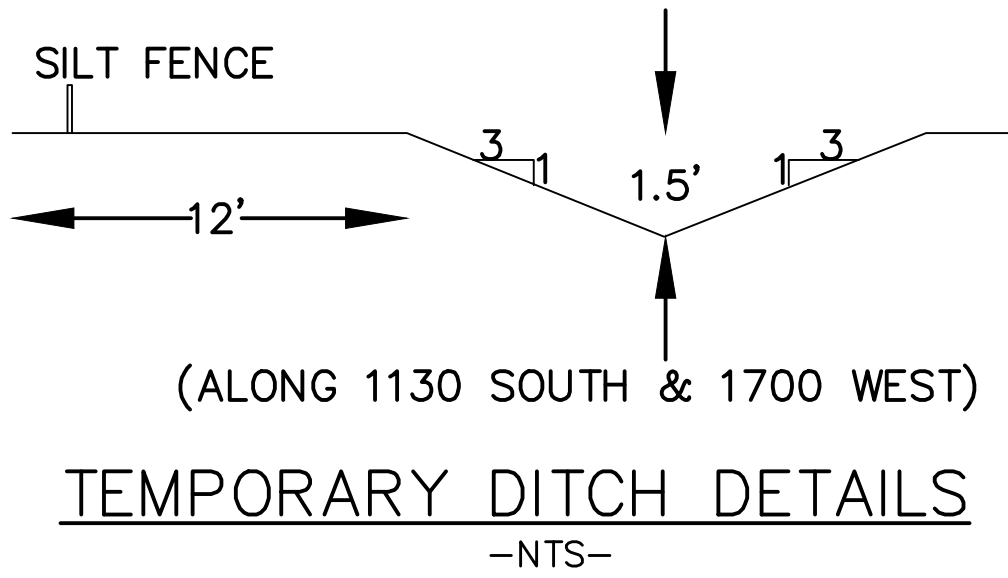
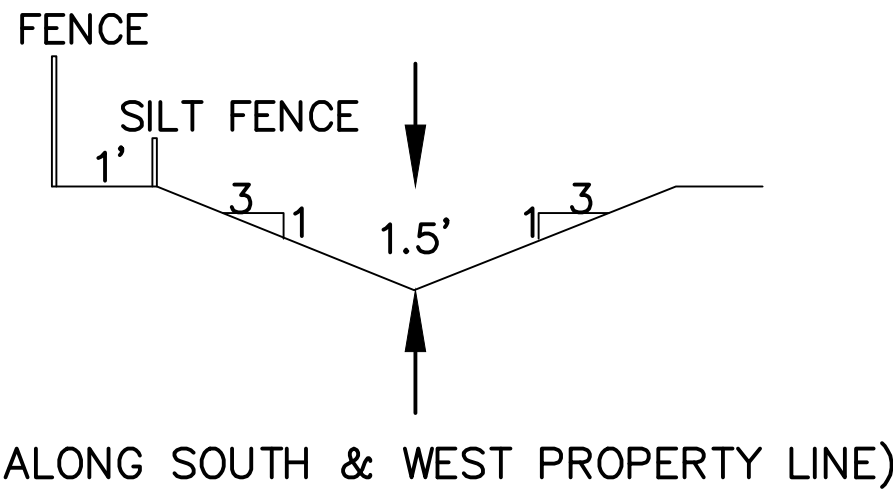
GRADING &
DRAINAGE
DETAILS

DATE : 2-13-17
JOB NO: 16-001
DRAWN: PES
CHECKED: EN
REVISION:

SHEET:
GD-02

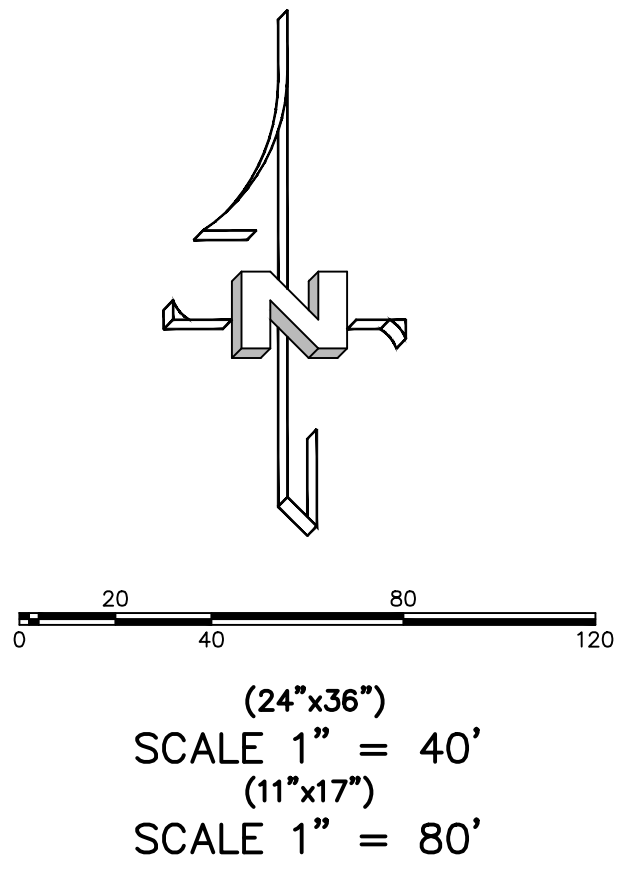
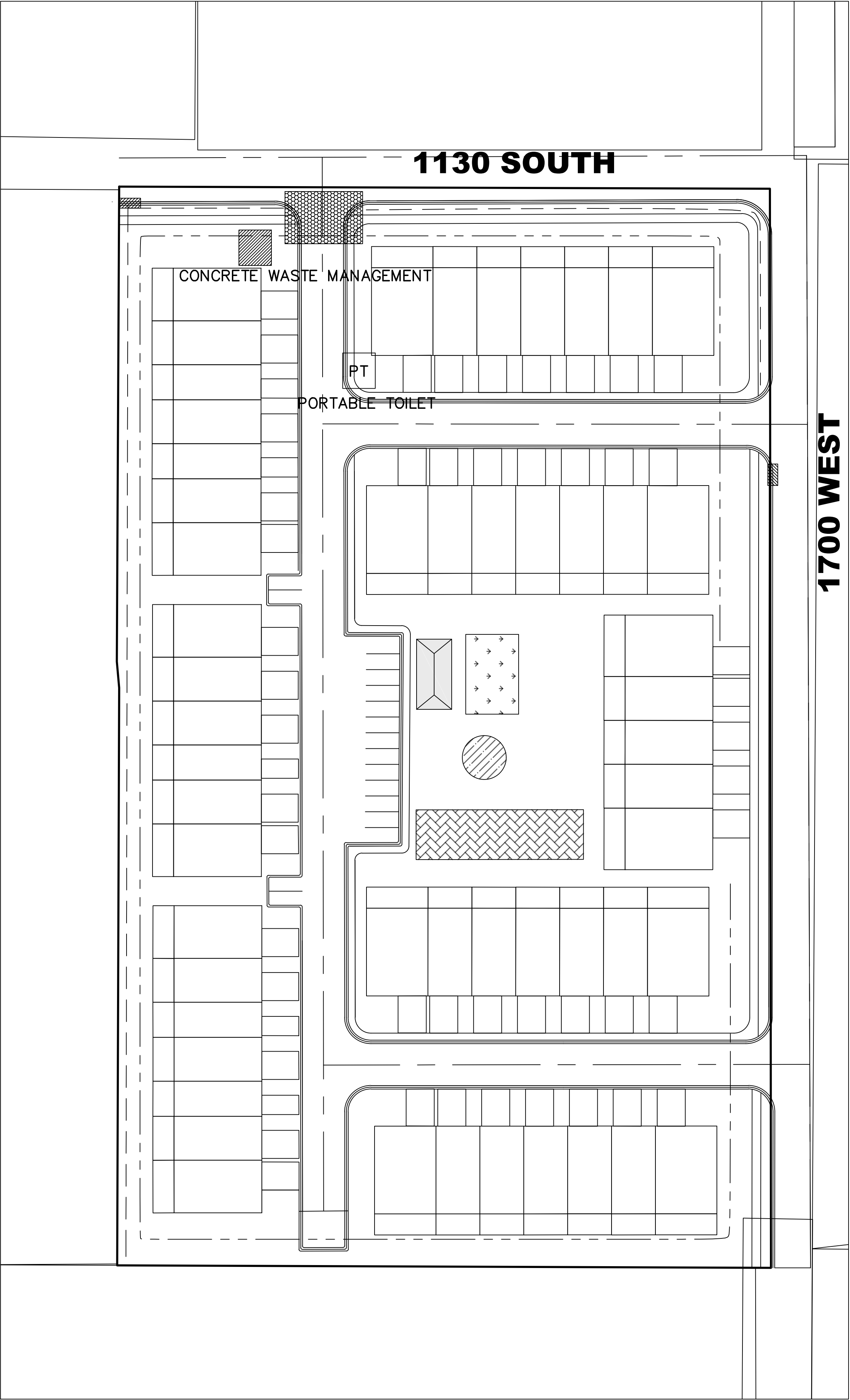
NOTES:

- ALL CONSTRUCTION TO CONFORM TO PAYSON CITY STANDARDS AND SPECIFICATIONS.
- SILT FENCE.
- PROPOSED VEHICLE TRACKING CONTROL AND WHEEL WASH
- PROPOSED CURB INLET PROTECTION
- TEMPORARY DRAINAGE SWALE, SEE DETAIL THIS SHEET, TO BE INSTALLED AT INITIATION OF GRADING OPERATIONS.
- THE GRADING CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE OWNER TO PROVIDE FOR THE REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND ASSOCIATED PERMIT.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED UNTIL EFFECTIVE EROSION CONTROL HAS BEEN ESTABLISH.
- CONTRACTOR IS TO MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHT-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPILLS OF SOIL, ROCK OR CONSTRUCTION DEBRIS IS TO BE PROMPTLY REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC IS TO BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.



NOTES:

- STRAW BALES OR SILT FENCE TO BE PLACED EVERY 150' AS CHECK DAMS.



PROJECT INFOMRATION SIGN

ANY ACTIVITY THAT REQUIRES A GRADING PERMIT SHALL INSTALL AND MAINTAIN A PROJECT INFORMATION SIGN IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

- THE SIGN SHALL BE INSTALLED PRIOR TO BEGINNING ACTUAL CONSTRUCTION ACTIVITIES OR INITIATING ANY TYPE OF EARTH MOVING OPERATIONS.
- THE SIGN SHALL BE INSTALLED AT A PROMINENT LOCATION ON THE PROPERTY NEAR THE MAIN ENTRANCE OF THE CONSTRUCTION SITE. TRAFFIC VISIBILITY SHALL BE MAINTAINED BY PLACING THE SIGN BACK FROM THE MAIN INGRESS / EGRESS LOCATION AND AT ANY APPLICABLE INTERSECTION FOR THE PROPER SIGHT TRIANGLE CLEARANCES.
- THE SIGN MAY REMOVED ONCE FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERSON IS RESPONSIBLE AND IS APPROVED BY PAYSON CITY.
- THE SIGN SHALL BE A MINIMUM OF 4'X4' AND THE FOLLOWING INFORMATION SHALL BE DISPLAYED ON THE SIGN WITH THE DESIGNATED ALPHA AND NUMERIC DIMENSIONS. SIGN BOARDS WRITTEN IN LONGHAND ARE UNACCEPTABLE.

DEVELOPERS NAME
(4" UPPERCASE BOLD LETTERS)

PROJECT NAME
(4" UPPERCASE BOLD LETTERS)
PROJECT NUMBER
(4" UPPERCASE BOLD LETTERS)

FOR PROJECT SITE CONCERNS CONTACT
(6" UPPERCASE BOLD LETTERS)

OFFICE PHONE CONTACT ###.###.####
(4" UPPERCASE BOLD LETTERS)
CELL PHONE ###.###.####
(4" UPPERCASE BOLD LETTERS)

IF NO RESPONSE PLEASE CONTACT PAYSON CITY OFFICE AT
801.465.5233
(3" UPPERCASE BOLD LETTERS AND 3" BOLD NUMBERS)

- THE TEXT HEIGHT SHALL BE A MINIMUM AS SHOWN ON THE TEMPLATE ABOVE AND MUST CONTRAST WITH LETTERING, TYPICALLY BLACK TEXT WITH WHITE BACKGROUND.
- THE LOWER EDGE OF THE SIGN BOARD MUST BE A MINIMUM OF THREE (3) FEET AND A MAXIMUM OF FIVE (5) FEET ABOVE GRADE. SIGN MAY BE POSTED ON A TRAILER IF IT MEETS THESE REQUIREMENTS.

NSE, llc

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SPRING CREEK TOWNHOMES

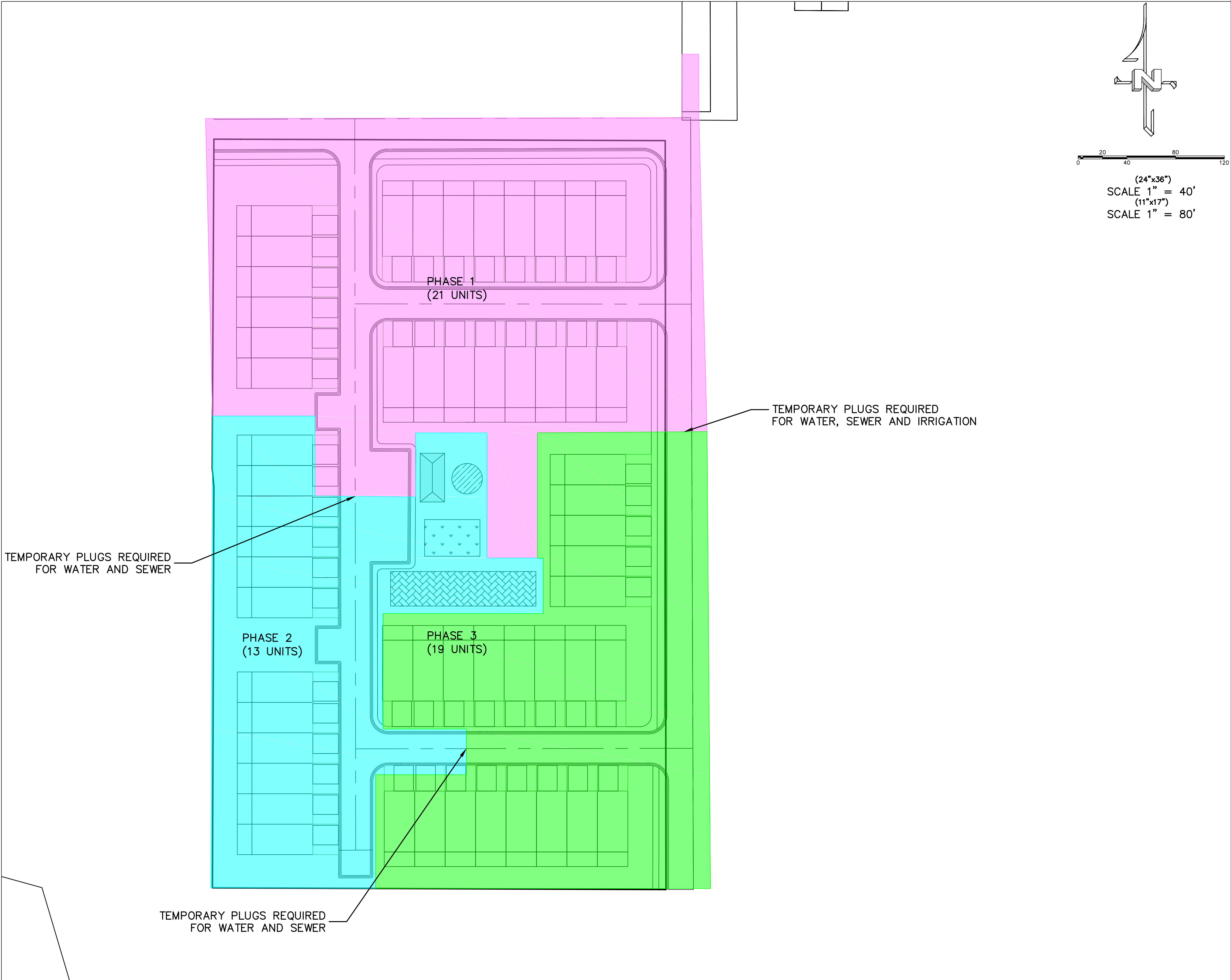
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

EROSION
CONTROL
PLAN

DATE : 2-13-17
JOB NO: 16-001
DRAWN: PES
CHECKED: EN
REVISION:

SHEET:
EC-01

- NOTES:**
- 1. ALL POWER IMPROVEMENTS TO INSTALLED AS PART OF PHASE 1.
 - 2. EXTERIOR/PROPERTY LINE FENCE/WALL TO BE INSTALLED AS PART OF PHASE 2



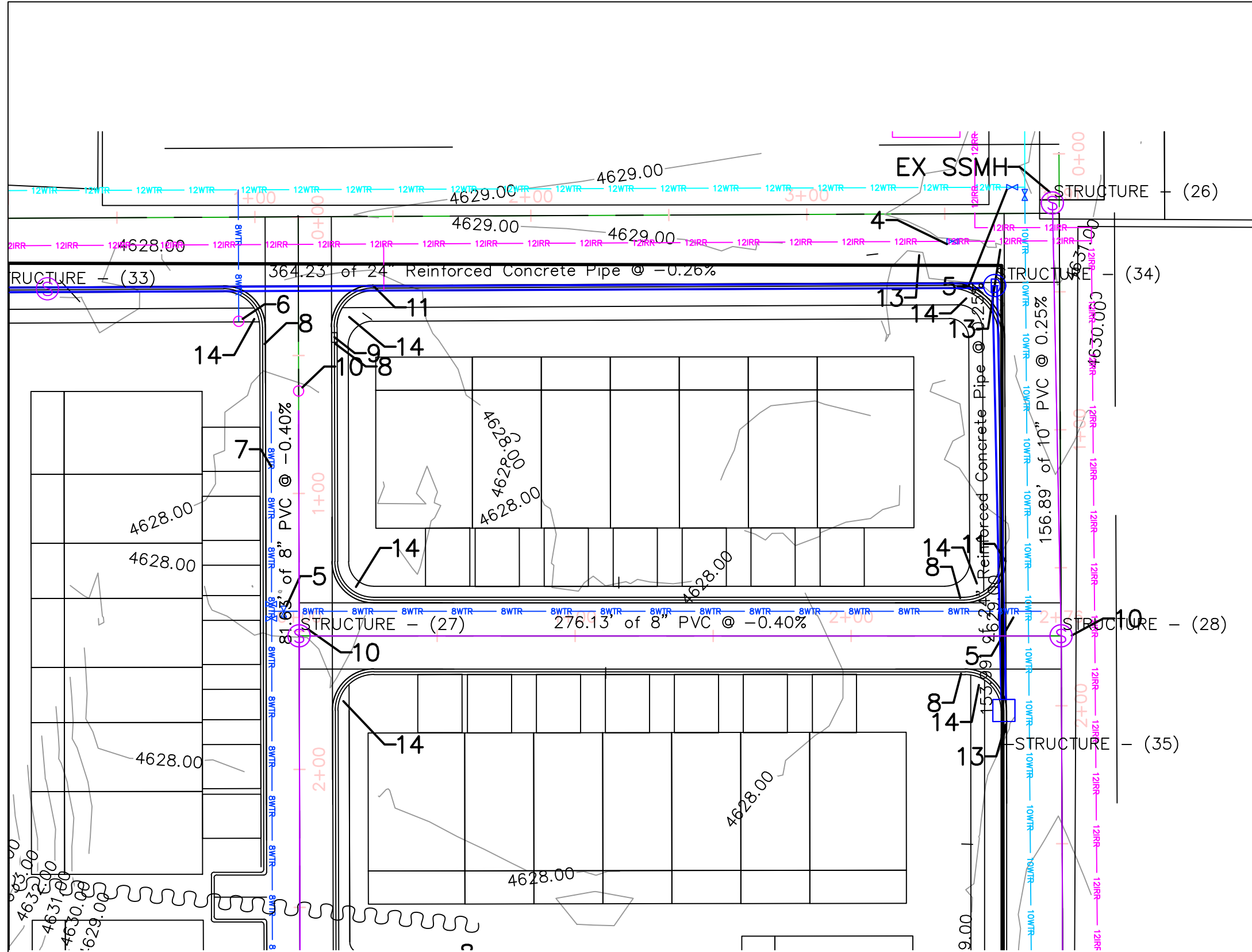
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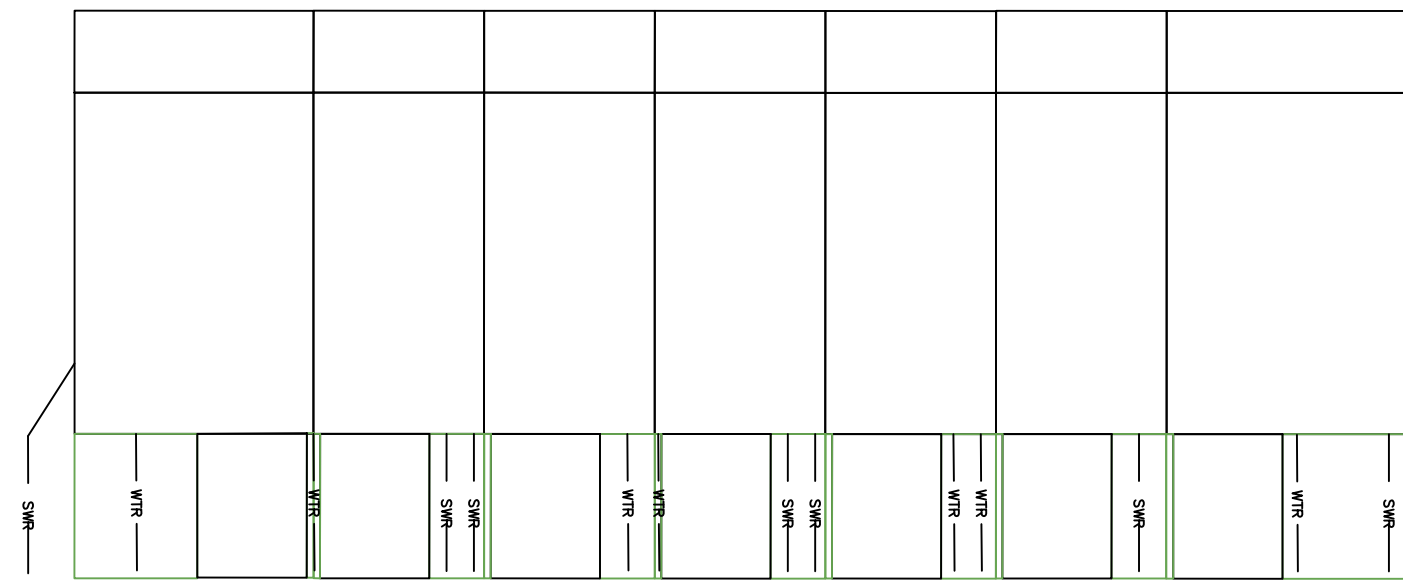
PRELIMINARY
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SPRING CREEK TOWNHOMES
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

PHASING PLAN	
DATE :	2-13-17
JOB NO:	16-001
DRAWN:	PES
CHECKED:	EN
REVISION:	
SHEET: PH-01	

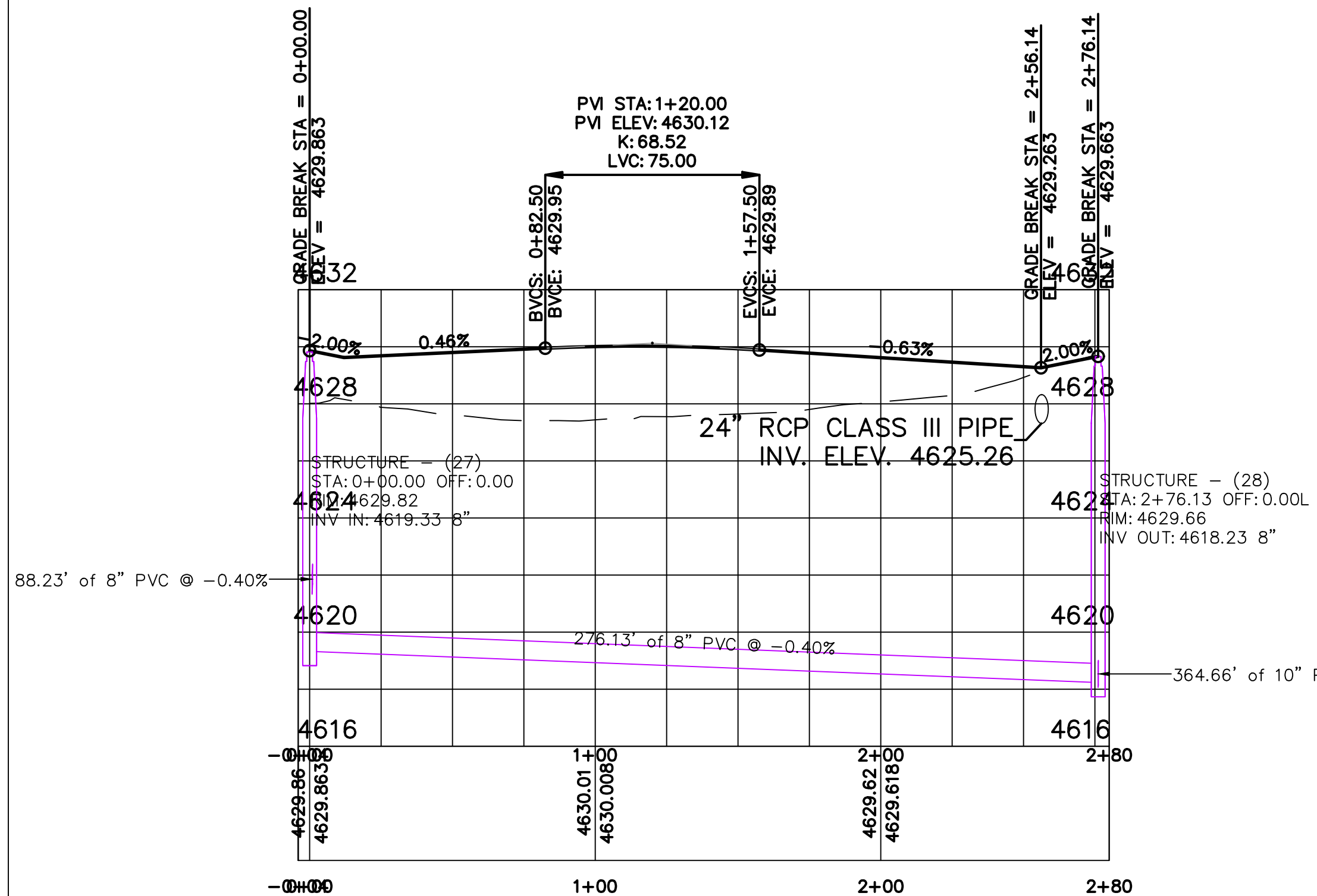


1155 SOUTH PROFILE

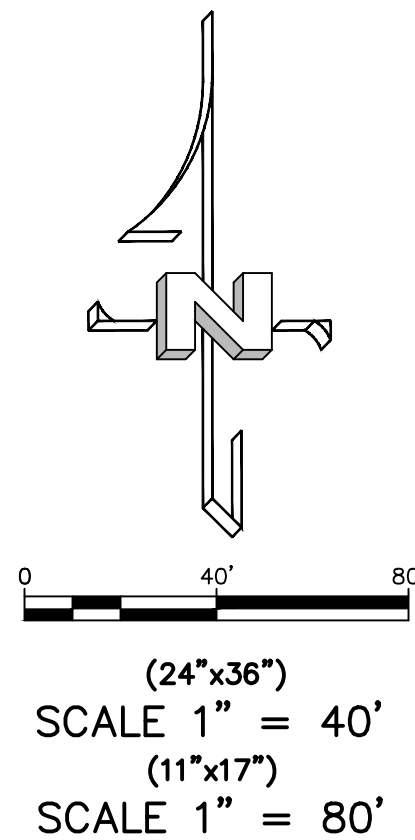


TYPICAL LATERAL LAYOUT

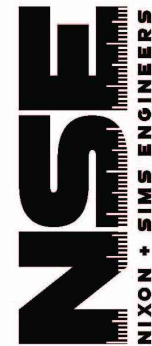
-NTS-



- ① NOT USED
- ② NOT USED
- ③ 48" SSMH
- ④ 12" BUTTERFLY VALVE
- ⑤ 8" GATE VALVE
- ⑥ FIRE HYDRANT & 6" GATE VALVE (PAYSON CITY PLAN 203)
- ⑦ WATER LINE PLUG (SEE NOTE 6, THIS SHEET)
- ⑧ SD CURB CUT (SEE SHEET DT-01)
- ⑨ SD INLET
- ⑩ SANITARY SEWER CLEAN OUT (SEE SHT DT-02)
- ⑪ 4' VALLEY GUTTER
- ⑫ 6" GATE VALVE
- ⑬ RESIDENTIAL STREET/STOP SIGN
- ⑭ ADA PEDESTRIAN RAMP PER DETAIL



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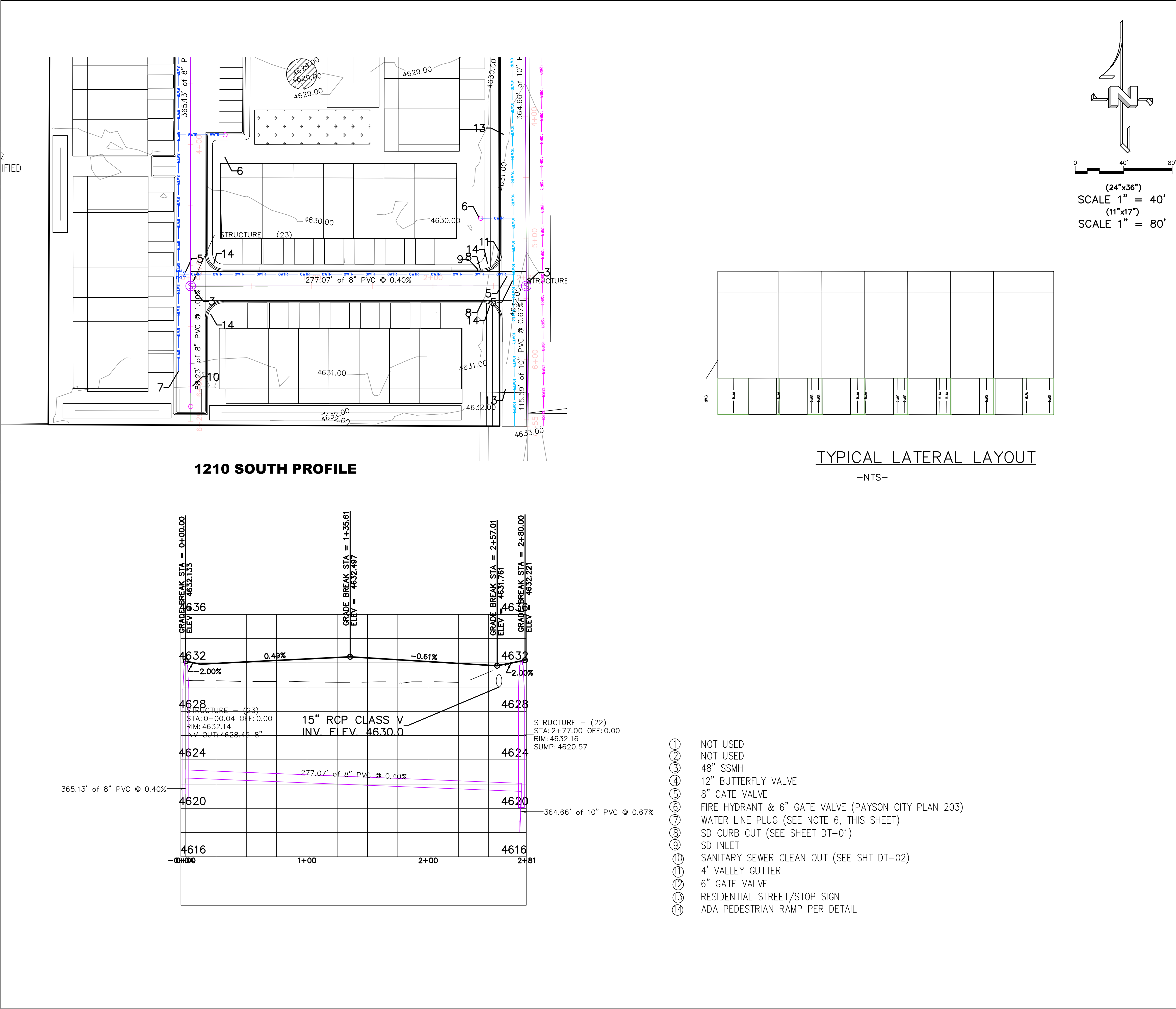


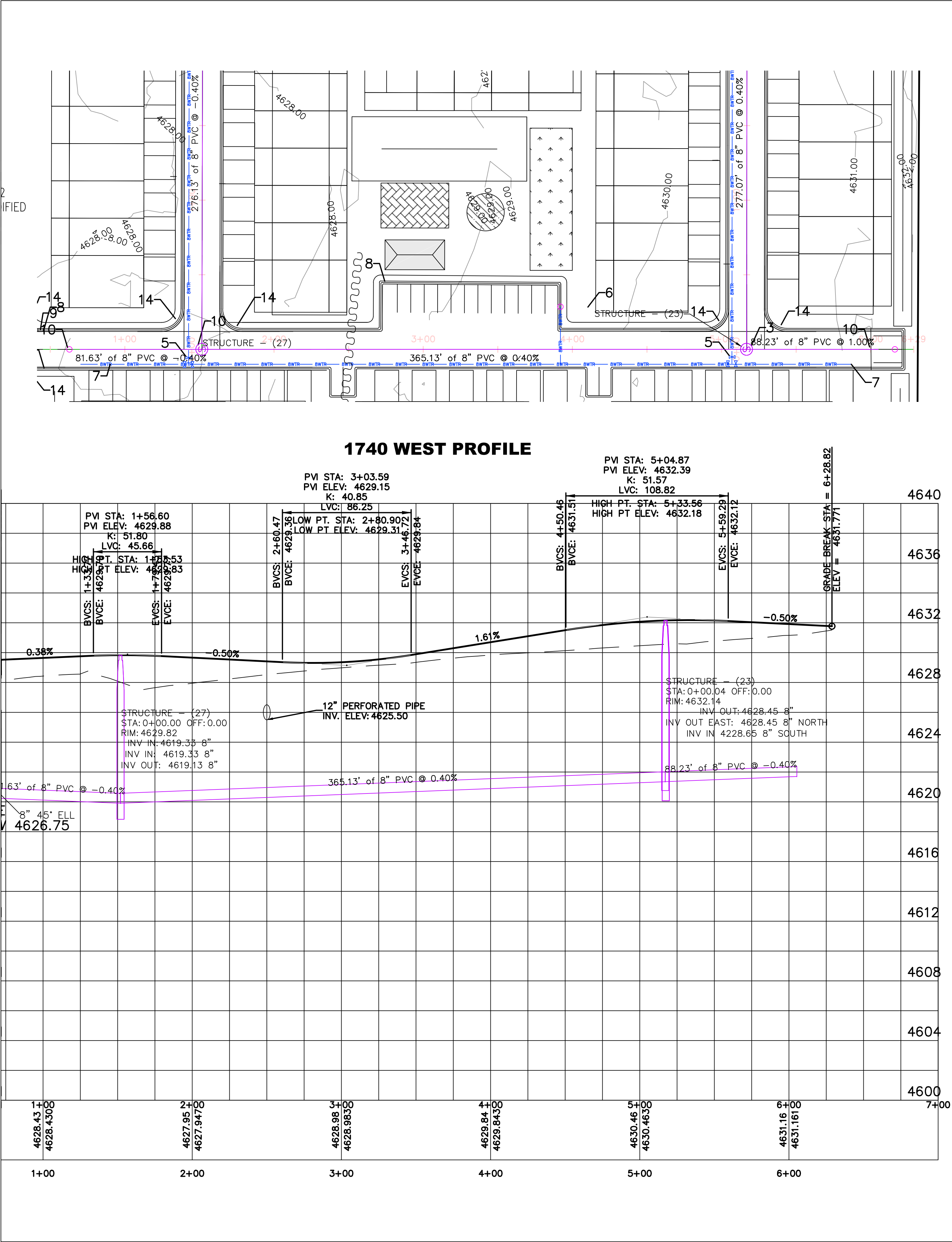
PRELIMINARY
NOT FOR
CONSTRUCTION

SPRING CREEK TOWNHOMES
PRELIMINARY PLANS
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

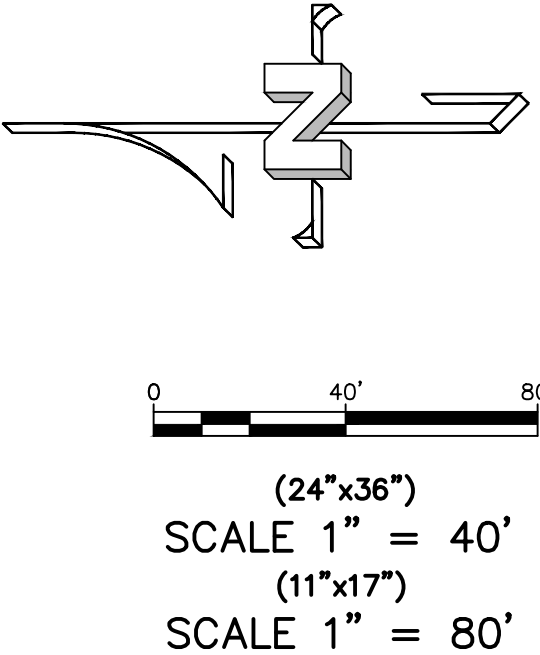
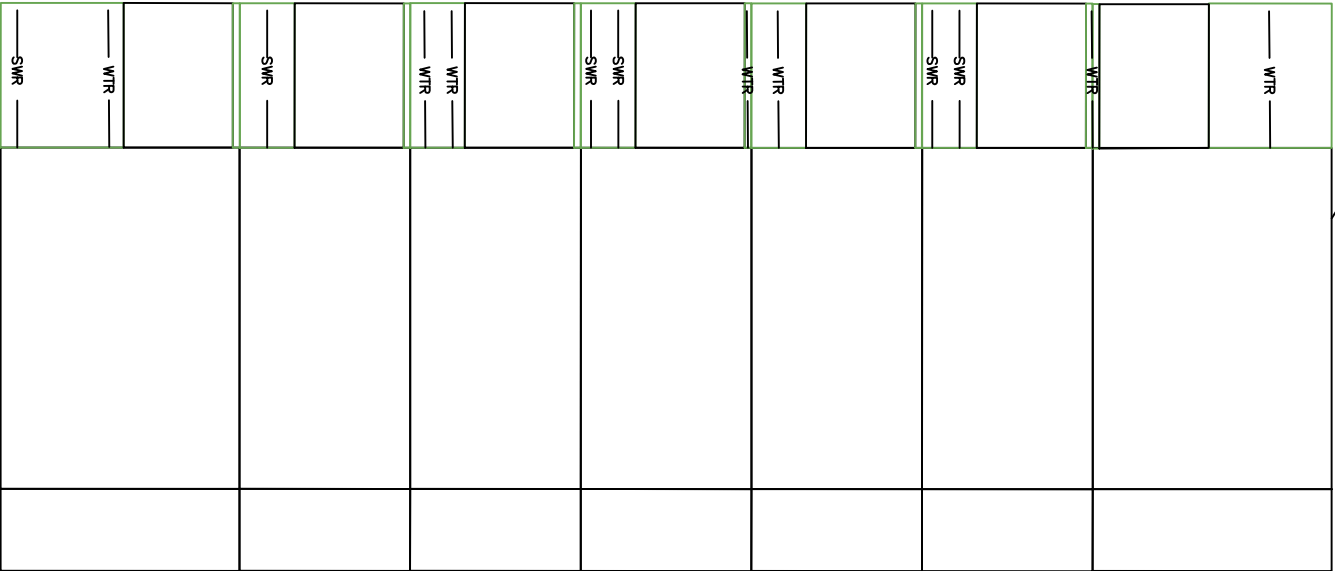
DATE : 2-14-17
JOB NO: 16-001
DRAWN: PES
CHECKED: EN
REVISION:

SHEET: PP-01





- ① NOT USED
- ② NOT USED
- ③ 48" SSMH
- ④ 12" BUTTERFLY VALVE
- ⑤ 8" GATE VALVE
- ⑥ FIRE HYDRANT & 6" GATE VALVE (PAYSON CITY PLAN 203)
- ⑦ WATER LINE PLUG (SEE NOTE 6, THIS SHEET)
- ⑧ SD CURB CUT (SEE SHEET DT-01)
- ⑨ SD INLET
- ⑩ SANITARY SEWER CLEAN OUT (SEE SHT DT-02)
- ⑪ 4' VALLEY GUTTER
- ⑫ 6" GATE VALVE
- ⑬ RESIDENTIAL STREET/STOP SIGN
- ⑭ ADA PEDESTRIAN RAMP PER DETAIL



PLAN & PROFILES

DATE : 2-14-17

JOB NO: 16-001

DRAWN: PES

CHECKED: EN

REVISION:

PP-03

SPRING CREEK TOWNHOMES

PRELIMINARY PLANS

LOCATED IN THE SOUTHWEST QUADRANT OF 1130 SOUTH 1700 WEST PAYSON, UTAH 84651

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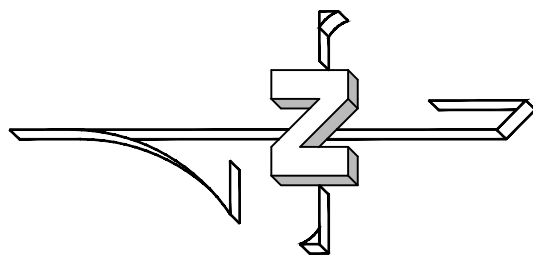
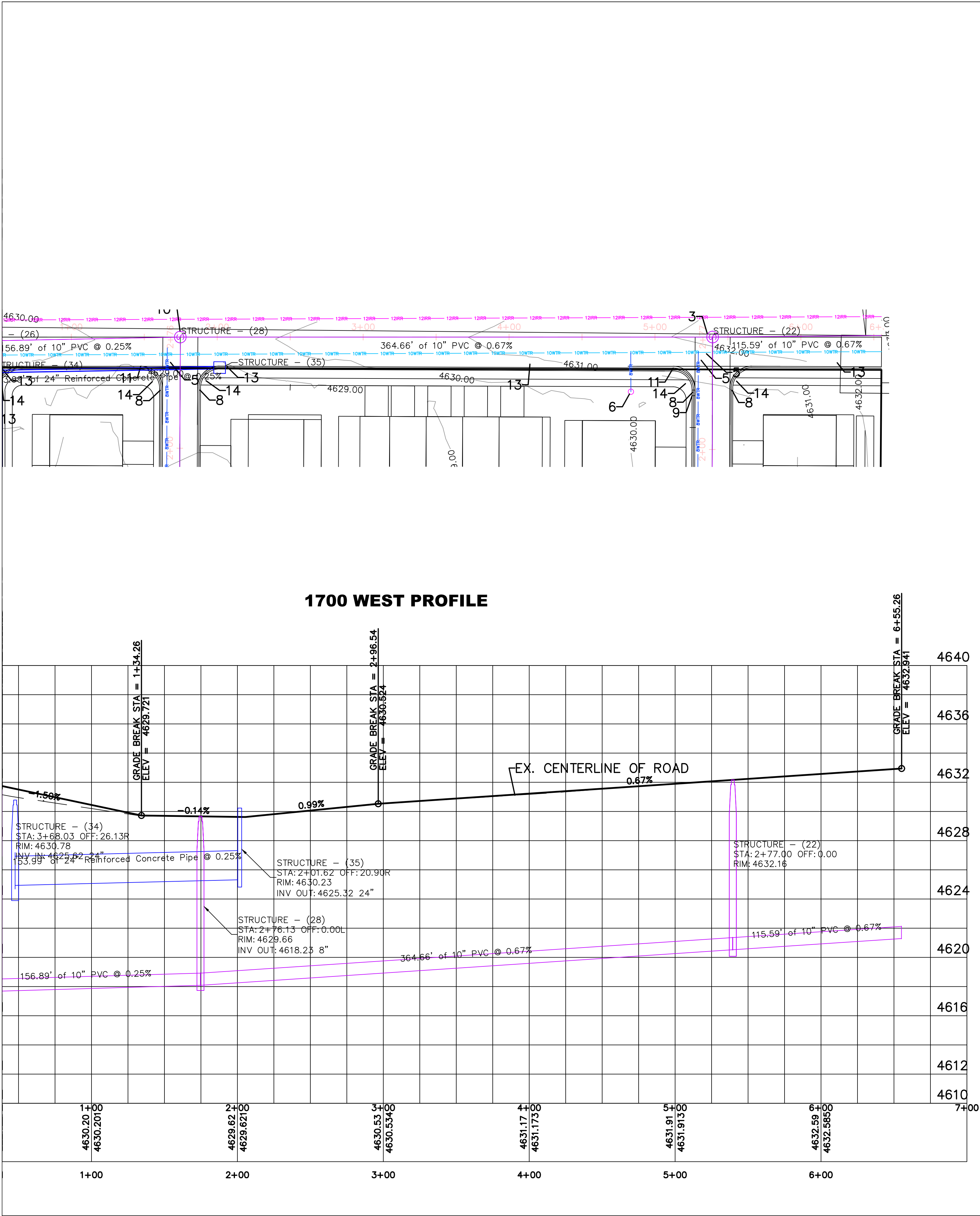
230 NORTH 550 EAST

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801.706.8516

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\\2_SHEET FILES\\2_SHEET FILES\\PP-01.DWG



(24"x36")
SCALE 1" = 40'
(11"x17")
SCALE 1" = 80'

SDS	SDS	SDS	SDS	SDS	SDS	SDS	SDS	SDS	SDS

TYPICAL LATERAL LAYOUT
-NTS-

- ① NOT USED
- ② NOT USED
- ③ 48" SSMH
- ④ 12" BUTTERFLY VALVE
- ⑤ 8" GATE VALVE
- ⑥ FIRE HYDRANT & 6" GATE VALVE (PAYSON CITY PLAN 203)
- ⑦ WATER LINE PLUG (SEE NOTE 6, THIS SHEET)
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- ⑭ ADA PEDESTRIAN RAMP PER DETAIL

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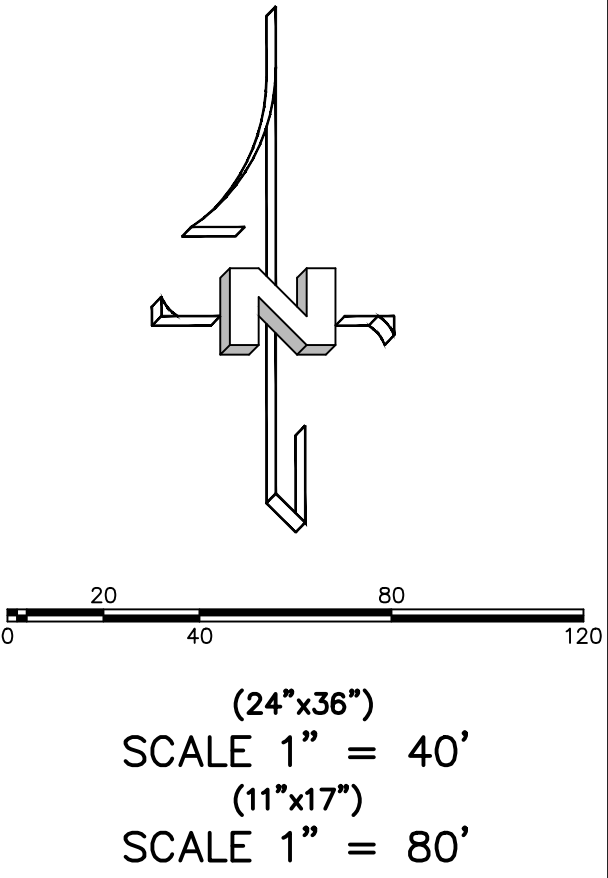
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SPRING CREEK TOWNHOMES
PRELIMINARY PLANS
LOCATED IN THE SOUTHWEST QUADRANT OF
1130 SOUTH 1700 WEST
PAYSON, UTAH 84651

PLAN &
PROFILES

DATE : 2-14-17
JOB NO: 16-001
DRAWN: PES
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SPRING CREEK TOWNHOMES
LOCATED IN THE SOUTHWEST QUADRANT OF
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PAYSON, UTAH 84651

**LANDSCAPE
DETAILS**

DATE :	2-13-17
JOB NO:	16-001
DRAWN:	PES
CHECKED:	EN
REVISION:	

SHEET: LS-02

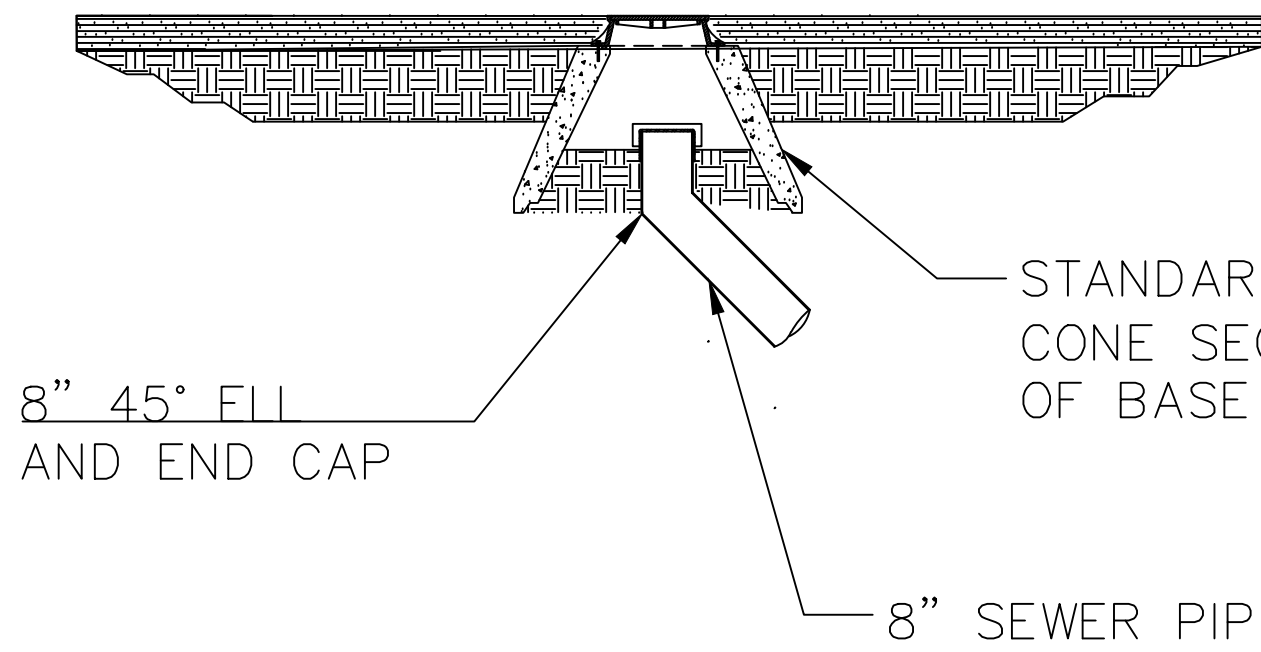
NOTES:

APWA 2012 STANDARD DETAILS TO BE INCORPORATED INTO THE PROJECT INCLUDE, BUT ARE LIMITED TO THE FOLLOWING:

- PLAN #122 -SILT FENCE
- PLAN #124 -INLET PROTECTION
- PLAN #125 -EQUIPMENT AND VEHICLE WASH DOWN AREA
- PLAN #126 -STABILIZED ROADWAY ENTRANCE
- PLAN #205 -CURB AND GUTTER (TYPES A & H)
- PLAN #211 -WATERWAY
- PLAN #213 -WATERWAY TRANSITION STRUCTURE
- PLAN #231 -SIDEWALK
- PLAN #235 -CORNER CURB CUT ASSEMBLY (NO TURNING SPACE, TURNING SPACE AT SIDEWALK LEVEL
- PLAN #251 -ASPHALT CONCRETE PAVEMENT TIE-IN
- PLAN #255 -ASPHALT CONCRETE T-PATCH
- PLAN #292 -STREET NAME POST SIGN
- PLAN #315 -CATCH BASIN (SINGLE GRATE)¹
- PLAN #381 -TRENCH BACKFILL
- PLAN #382 -PIPE ZONE BACKFILL
- PLAN #411 -SANITARY SEWER MANHOLE
- PLAN #413 -COVER COLLAR FOR SSMH
- PLAN #521 - $\frac{3}{4}$ " AND 1" METER
- PLAN #541 -WATER SERVICE LINE
- PLAN #551 - $\frac{3}{4}$ " AND 1" SERVICE TAPS
- PLAN #561 -DIRECT BEARING THRUST BLOCK (SEE NOTE 6 SHT SP-01
- PLAN #574 -COVER COLLAR FOR WATER VALVE BOX
- PLAN #621 -STATIONARY HEAD
- PLAN #622 -POP-UP HEAD
- PLAN #632 -DRAIN VALVE
- PLAN #633 -CONTROL VALVE
- PLAN #651 -WIRE RUNS FOR LANDSCAPE IRRIGATION
- PLAN #681 -TREE
- PLAN #983 -SHRUBS AND BUSHES

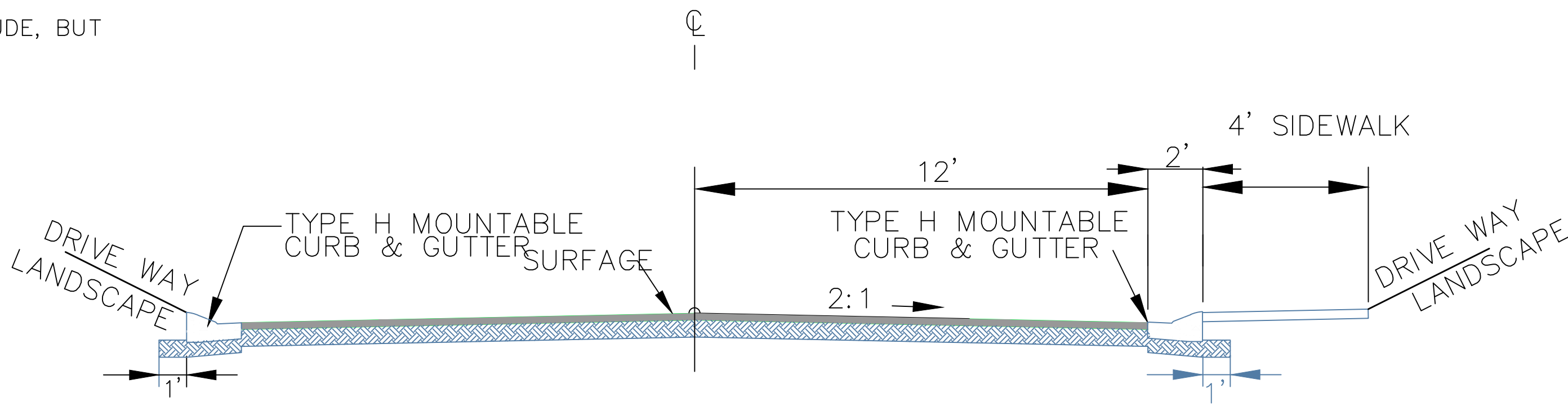
¹ APWA PLAN #315 TO BE MODIFIED AS FOLLOWS:

1. WARP LINE OF GUTTER IS TO START 24" FROM GRATE.
2. BACK OF HOOD TO BE IN LINE WITH TBC.
3. GUTTER LINE TO TRANSITION TO FRONT HOOD BEGINNING AT WARP LINE.
4. NO SUMP REQUIRED BELOW INVERT OF OUTLET PIPE. APWA PLAN #611 MAYBE USED IN LIEU OF PLAN #315 WITH ENGINEERS APPROVAL.



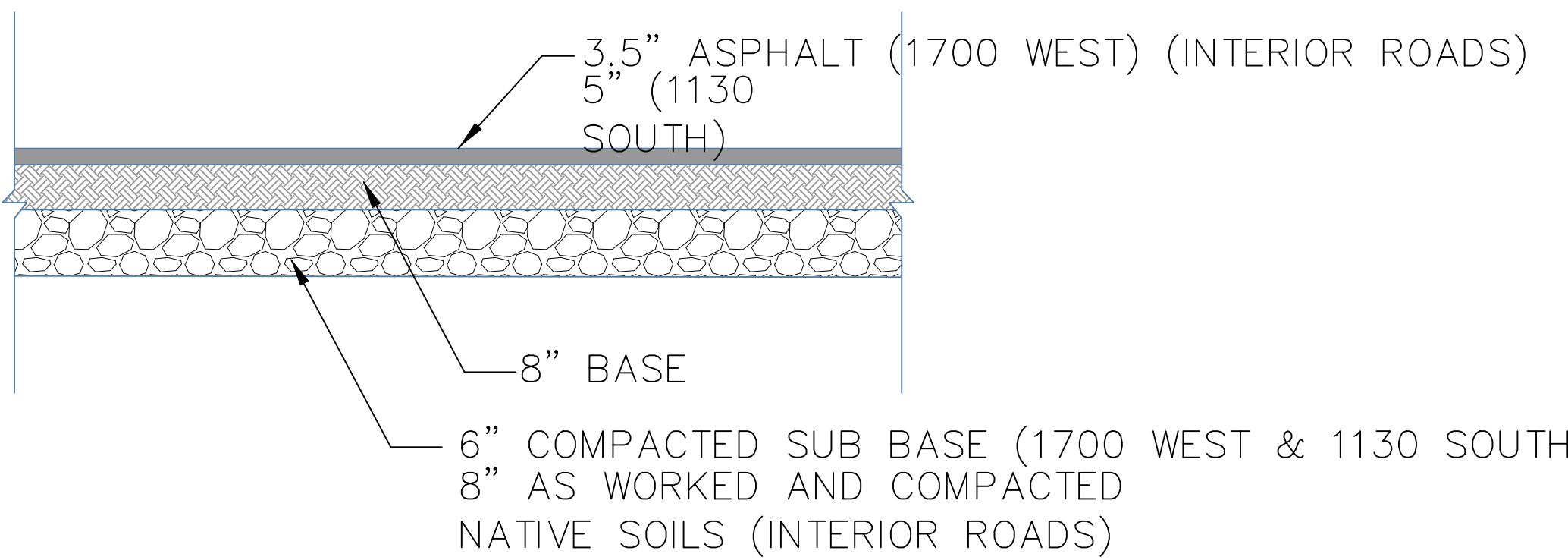
SEWER CLEANOUT DETAIL

-NTS-



TYPICAL PRIVATE ROAD CROSS SECTION

-NTS-



TYPICAL ASPHALT PAVEMENT SECTION

-NTS-



1700 WEST/1130 SOUTH INTERSECTION

-NTS-

* ALL SLOPES ARE TO BE 10:1 OR FLATTER UNLESS SPECIFICALLY DESIGNED

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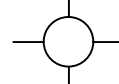
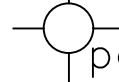
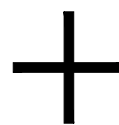
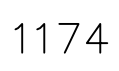
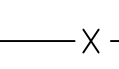

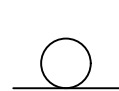
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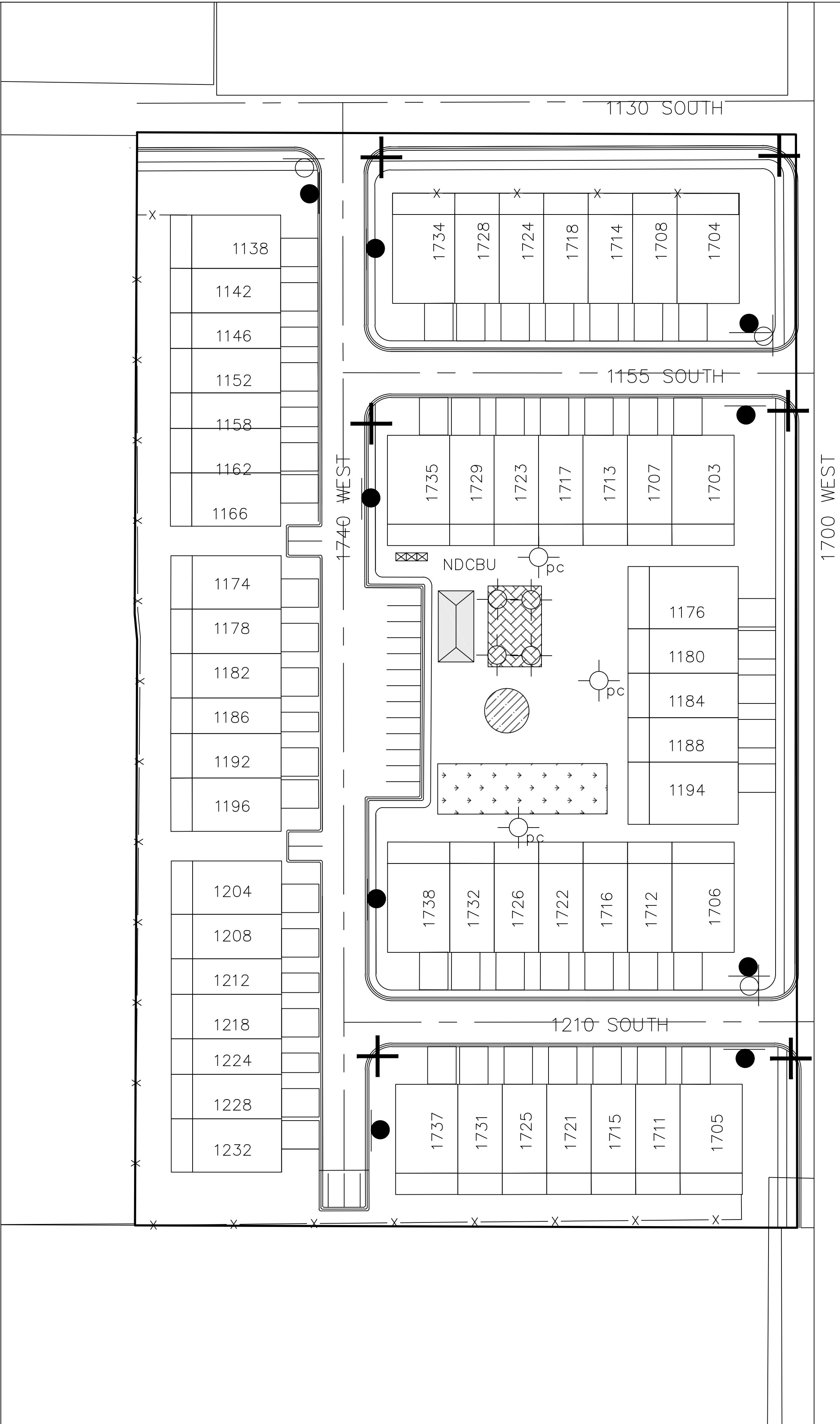


NOTES:

1. ALL UNITS TO HAVE PHOTO CONTROL EXTERIOR LIGHTS ON BOTH SIDES OF GARAGE.

LEGEND:

-  YARD LIGHT
-  YARD LIGHT (PHOTO CELL CONTROL)
-  STOP SIGN AND STREET NAME/NUMBER SIGN (WHERE APPLICABLE)
-  1174 HOUSE NUMBER
-  MASONRY FENCE
-  NO PARKING/FIRE LANE TOW-AWAY ZONE SIGN
-  PRIVATE ROADS-NO PARKING TOW COMPANY ENFORCEMENT



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