

REQUEST FOR COUNCIL ACTION

SUBJECT: Approval of Orchards Heights Preliminary Development Plan

SUMMARY: APPLICATION/REQUEST: Orchard Heights Preliminary Development Plan; Approximately 6553 West 7800 South; Sub Area Preliminary Development Plan for 41.37 acres; 119 lots on 41.37 acres with a residential density of 3.03 units per acre; LSRF Zone; Peterson Development/Justin Peterson (applicant) [Larry Gardner 10072,10067; parcel 20-34-200-021]

FISCAL AND/OR ASSET IMPACT: None.

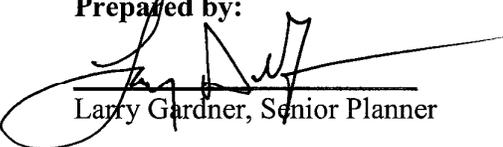
PLANNING COMMISSION RECOMMENDATION: The Planning Commission on November 1, 2016 considered the Orchard Heights Sub Area Preliminary Development Plan with a residential density of 3.03 units per acre and in a unanimous vote recommends that the City Council approve the Orchard Heights Preliminary Development plan.

MOTION RECOMMENDATION/STAFF RECOMMENDATION: "Based on the information set forth in this staff report and upon the evidence and explanations received today, I move that the City Council approve the Sub Area Preliminary Development Plan for Orchard Heights located at approximately 6553 West 7800 South with a residential density of 3.03 units per acre for a total of 119 single-family residential lots on 41.37 acres subject to the following conditions:
of approval."

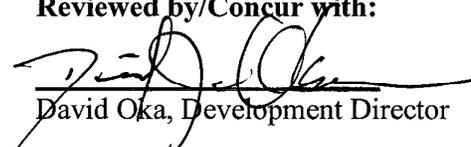
1. Update the Final Development Plan to address all city required corrections pertaining to the Orchard Heights Subdivision Plat.
2. All of the open space and common green, including the pavilion, benches, table, trash receptacles and all amenity buy-ups shall be installed as detailed in the Preliminary Development Plan.
3. The applicant shall provide a list of the specific design requirements and required architectural review procedures as contained in the Orchard Heights Development Plan, to all future home builders within this development to ensure compliance with these adopted architectural standards.
4. The applicant shall update the sub-area preliminary development plan to specifically show which lots must have a front covered porch greater than 50 square feet in size.

Roll Call vote required

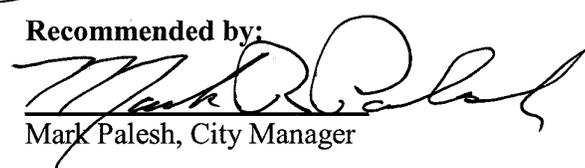
Prepared by:


Larry Gardner, Senior Planner

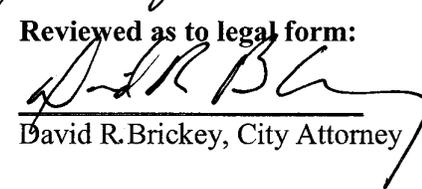
Reviewed by/Concur with:


David Oka, Development Director

Recommended by:


Mark Paless, City Manager

Reviewed as to legal form:


David R. Brickey, City Attorney

I. BACKGROUND

In 2015 an amendment to the Highlands Master Planned Community was made which included the subject 41.37 acre parcel of property. The subject area is shown on the Highlands Master Plan as Orchard Heights which is in the Highlands West portion of the "Highlands" phasing plan, adopted by the City. The property is adjacent to the Loneview development and will connect to Loneview.

II. GENERAL INFORMATION & ANALYSIS

The applicant is requesting approval of Orchard Heights Preliminary Development Plan. The Orchard Heights development is the farthest west development within the Highlands Master Plan Development. Orchard Heights will consist of 119 single family lots on 39.32 net acres for a proposed residential density of 3.03 dwelling units per acre. The subject site is designated with 31 acres as Low Density Residential and 10 acres Medium Density Residential on the Future Land Use Map. The entire site is zoned Low Density, Single-family Residential (LSFR).

The LSFR zone allows for a residential density of 2.01 to 4.50 dwelling units per acre. The base density for the Orchard Heights project is 2.01 units per acre or 79 units. The 3.03 dwelling units per acre proposed by the applicant requires a density buy-up. Density buy-ups allow the applicant to have additional dwelling densities if they install certain pre-determined amenities and enhancements that are assigned a weighted value by the WSPA ordinance. Based on the amenities and enhancements proposed by the applicant in the Orchard Heights Preliminary Development Plan, the applicant is hoping to achieve a 61% density buy-up which would increase the number of dwelling units from 79 to 119. The density buy-ups and amenities and enhancements are described in the attached preliminary development plan.

III. FINDINGS OF FACT PRELIMINARY DEVELOPMENT PLAN

There are no specific findings of fact for preliminary development plans; however, the 2009 City Code does provide a table which describes the required elements and bonus density elements for development plans located in the West Side Specific Planning Area (WSPA) (Municipal Code Section 13-5J-5C).

The Orchard Heights Preliminary Development Plan density buy-up will be reviewed under the requirements of the WSPA. In order to assist in this review staff has provided *Table 1.0* in this report. *Table 1.0* was derived from the table found in Section 13-5J-5C of the Municipal Code. Within the table is a tabulation of staff's review along with discussion of each amenity/improvement as they relate to the specific development plan. The criteria listed in the table are further elaborated upon in Section 13-5J-6 of the Municipal Code.

Table 1.0

AMENITY/IMPROVEMENT	WEIGHTED VALUE	REQUIRED VS. OPTIONAL	HAS CRITERIA BEEN MET? Yes or No		SCORE
Trails and open space:					
<i>Improvement: Dedication of open space, trail corridors or "in lieu of fees" in accordance with the comprehensive general plan and the parks, recreation and trails master plan</i>		Required	Yes		N/A
<p>Discussion: The open space area along the wash in the Orchard Heights development will connect to the same open area established with Loneview South/Loneview North. The open space areas will be connected by a trail and will appear as one large open area when constructed. (See attached Highlands Master Plan Conceptual Site Plan) The un-named (High School) wash runs along the southern boundary of the subdivision. Per code, the applicant has shown the dedication of property along the wash and will install an active open space area and a passive open space area. The applicant will also install a trail through the open space area.</p>					
<i>Improvement: Installation of enhanced open space/recreational amenities in excess of that required per city standards</i>	Up to 22%	Optional	Yes	See Section 13-5J-6	11 %
<p>Discussion: The plan shows the installation of 2.12 acres of common active open space (2%), greenbelt connectors (1%) and 2.62 acres of passive open area. The plan shows the installation of two covered pavilions with two picnic tables. (4%)</p> <ul style="list-style-type: none"> • Swimming Pool will be installed (2%) • Two tot lots (2%) 					
<i>Improvement: Improvement of trail corridors and installation of trail amenities in excess of that required per city standards and alternative enhancement.</i>	Up to 15%	Optional	Yes	See Section 13-5J-6	12 %
<p>Discussion: The development plan shows plantings of trees, shrubs, perennials and ground cover planted within the trail corridor. The landscape planting is clustered around the pavilion/common open area. This meets the 1 tree per 25 linear feet of trail requirement, and the one shrub, bush, perennial for every two linear feet of trail. This vegetation will be clustered in certain areas along the trail and improved open space as permitted in the code. (4%) The plan also shows the installation of trash receptacles (1%) and park bench per 1000 feet of trail (1%) which are positive enhancements for those using the trail. The plan also shows the installation of a split rail fence located at the side of the dedication area which is an enhancement to the dedicated trail area. (4%)</p> <ul style="list-style-type: none"> • An alternative enhancement will be a trail sign constructed and installed by the developer. (2%) 					
Street Design:					
<i>Improvement: Pedestrian scale and consistent, architectural street lighting</i>		Required	Yes		N/A
<p>Discussion: All street lights will conform to West Jordan City standards for residential street lights. The development plan states that the street lights will be no taller than 15 feet tall with aluminum shaft with fluted finish direct burial pole with 3 inch tenon top, which meets code. The lights will be spaced every 150 feet and will be placed in the park strip. The lighting will be uniform with all lighting in the Highlands.</p>					
<i>Improvement: Traffic calming design</i>		Required	Yes		N/A

AMENITY/IMPROVEMENT	WEIGHTED VALUE	REQUIRED VS. OPTIONAL	HAS CRITERIA BEEN MET? Yes or No		SCORE
Discussion: Traffic calming was addressed as part of the Highlands Master plan and the development meets the necessary requirement for traffic calming.					
<i>Improvement: Street system designs</i>		Required	Yes		N/A
Discussion: As a required development improvement streets shall be designed to promote ease of navigation, safety, walkability and continuity. The streets in Orchard Heights are designed to be connective allowing a development to link together as a seamless network. Orchard Heights connects at two locations to the Loneview Development. Orchard Heights will have two cul-de-sacs. No more than fifteen percent (15%) of all lots in a single development shall be located on a cul-de-sac or dead ending street. Eight percent of the lots in Orchard Heights are located in the cul-de-sacs.					
<i>Improvement: Entryway monument or gateway feature to the subdivision - development</i>	Up to 10%	Optional	Yes	See Section 13-5J-6	4 %
Discussion: The development plan shows two entryway monument signs –both located on 6700 West. (2%) The development will also have a gateway feature on the corner of 6700 West and 7800 South. (2%) The monuments are well designed and will provide a nice entry feature into the development.					
<i>Improvement: Provision of a landscape buffer on major rights of way</i>	Up to 22%	Optional	Yes	See Section 13-5J-6	10%
Discussion: As optional development improvement worth (up to) ten (10) percentage points, a developer may install a minimum eight foot (8') landscape buffer between a subdivision wall and back of sidewalk along an arterial or collector right of way. Percentage points shall be awarded based on the total amount of linear frontage along an arterial or collector right of way being dedicated for buffering purposes. If an eight foot (8') landscape buffer is to be installed between a subdivision wall and the sidewalk, one percentage point shall be granted for every one hundred feet (100') of linear frontage for a maximum of ten (10) percentage points. The applicant will be installing 2290 feet of landscape buffer meeting these criteria along 6700 West and along 7800 South. (10%)					
Smart growth urban design:					
<i>Improvement: Master planned subdivision design</i>		Required	Yes		N/A
Discussion: The project meets this requirement with connector streets and pedestrian connections. The development has adequate pedestrian access to the public right-of-way and to the trail system.					
<i>Improvement: Pedestrian friendly and walkable neighborhood design</i>		Required	Yes		N/A
Discussion: Five foot sidewalks are placed along all interior and exterior streets, and there will be a trail in the common green area that will connect in with the existing trail corridor in Loneview.					
Building design:					
<i>Improvement: Attractive theme based and consistent architecture on all structures</i>					
Discussion: Peterson Development will not be constructing the homes within Orchard Heights and their intent to sell lots to home builders. The preliminary development plan has provided typical building elevations as well as a list of specific architectural requirements the various home builders will be required to meet. The typical building elevations and list of architectural requirements are the same as used throughout the Highlands. In addition, all building permits will be required to receive approval from a third party architectural review committee (initially overseen by Peterson Development) prior to building permits being submitted to the City. Staff believes that there is enough detail in the development plan and the WSPA to ensure that this requirement is met.					

AMENITY/IMPROVEMENT	WEIGHTED VALUE	REQUIRED VS. OPTIONAL	HAS CRITERIA BEEN MET? Yes or No		SCORE
However, in order to make sure these architectural requirements are effectively communicated to the future home builders, staff would support a condition of approval that requires the applicant to forward a list of these specific design requirements to the home builders.					
<i>Improvement: Enhanced door and window treatment</i>	Up to 14%	Optional	Yes	See Section 13-5J-6	12 %
Discussion: Without specific building elevations to critique, the applicant has provided “typical” building elevations they expect to see built in this development. In addition, the development plan lists specific items like door and windows, window and door treatments, window and door trim, side lights and/or transom windows near the front door that all homes will have to incorporate into their designs. This too will require effective communication between the developer and the various builders. (12%)					
<i>Improvement: Equal dispersion and use of high quality building materials</i>	Up to 12%	Optional	Yes	See Section 13-5J-6	12%
Discussion: The applicant has stated in the development plan that all homes will incorporate stucco, stone, brick, composite board siding and shingles and other high grade materials. (12%)					
Total Buy-up					61%

The following calculation is used to find out the maximum allowed density of a project:

$$[(\text{Base Density}) \times (\text{Bonus Density Percent})] + (\text{Base Density}) = \text{Max Allowed Density}$$

Density Buy-up / Development Plan Summary:

Based on a base density of 2.01 du/ac for the LSFR zoning district and a bonus density score of 61% the project would have a maximum allowed density of 3.23 units per acre. The total number of units proposed for the 39.32 net acre development is 119 ;(rounding up) for a total of 3.03 dwelling units per acre.

Based on the information submitted and the conditions of approval recommended by staff, the Orchard Heights Sub-area Preliminary Development Plan has sufficient amenities to achieve the requested 119 single-family residential lots. Final density shall be determined by the City Council. The city council shall approve, deny or modify the preliminary development plan after receiving recommendation from staff and the Planning Commission. During the approval of the preliminary development plan, the City Council will determine the residential density for the project based on the density ranges indicated in the future land use map, the zoning ordinance, and the amount and type of amenities/improvements being proposed by the applicant/developer in the preliminary development plan. For all residential developments, the City Council shall adopt by ordinance the overall maximum density as approved. The conditions of the approval, including residential density, shall be valid for only the approved preliminary development plan. Any substantial deviations, modifications or amendments to the approved preliminary development plan which may increase the overall maximum density for a project may necessitate another review by the planning commission and approval from the city council. All other

deviations, modification or amendments shall follow the regulations as outlined in subsection 13-5J-10E of this code.

IV. CONCLUSION:

The proposed Orchard Heights Sub-area Preliminary Development Plan meets the requirements of the Zoning and Subdivision Ordinances. Staff is confident that the applicant can address any necessary engineering, fire and planning concerns by meeting the conditions of approval and addressing all standards and requirements at the time of final plat and final development plan submittal.

V. ATTACHMENTS:

- A. Aerial
- B. Plat
- C. Applications
- D. Planning Commission Minutes
- E. Ordinance
- F. Highlands Master Plan
- G. Orchard Heights Sub-area Preliminary Development Plan (Preliminary Plat is included with development Plan)



City Clerk's Office
City of West Jordan
8000 South Redwood Road
West Jordan, Utah 84088
(801) 569-5115
Fax (801) 565-8978

November 3, 2016

Justin Peterson
Peterson Development
225 South 200 East
Salt Lake City, UT 84111

Dear Mr. Peterson:

A Public Hearing will be held before the City of West Jordan City Council on Wednesday, November 16, 2016, at the hour of 6:00 p.m., in the City Council Chambers at 8000 South Redwood Road, Third Floor, West Jordan, Utah, to receive public comment prior to considering a Preliminary Development Plan for Orchard Heights Subdivision located at approximately 6553 West 7800 South in the LFR (WSPA) Zoning District; Peterson Development Co./Justin Peterson, applicant. You are invited to attend the Public Hearing and take part in the discussions and voice any support or concerns you may have. Copies of the agenda packet for this meeting will be available on the City's website www.wjordan.com approximately 4-days prior to the meeting.

I have enclosed a copy of the **Notice of Public Hearing** that has been sent to property owners in the 300-foot radius of said property.

If you have any questions, please feel free to call me at 801-569-5116.

Sincerely,

Carol Herman
Deputy City Clerk

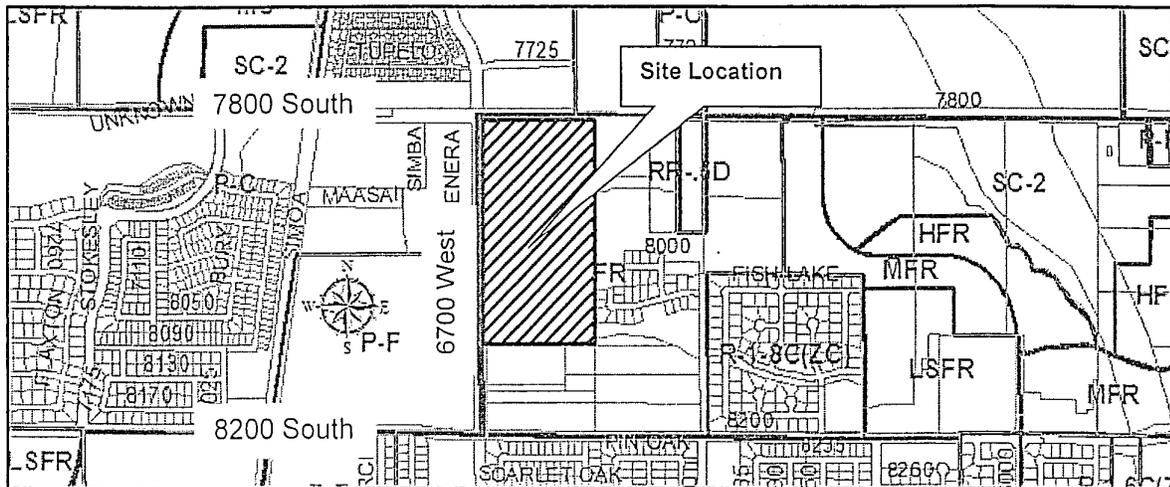
cc: Planning Department



City Clerk's Office
City of West Jordan
8000 South Redwood Road
West Jordan, Utah 84088
(801) 569-5115
Fax (801) 565-8978

THE CITY OF WEST JORDAN, UTAH NOTICE OF PUBLIC HEARING

A Public Hearing will be held before the City of West Jordan City Council on Wednesday, November 16, 2016, at the hour of 6:00 p.m., in the City Council Chambers at 8000 South Redwood Road, Third Floor, West Jordan, Utah, to receive public comment prior to considering a Preliminary Development Plan for Orchard Heights Subdivision located at approximately 6553 West 7800 South in the LSFR (WSPA) Zoning District; Peterson Development Co./Justin Peterson, applicant. You are invited to attend the Public Hearing and take part in the discussions and voice any support or concerns you may have. If you desire to speak on an item, the time will be limited to 3 minutes. Items may be moved on the agenda or tabled by the City Council. Copies of the agenda packet for this meeting will be available on the City's website www.wjordan.com approximately 4-days prior to the meeting.



The City of West Jordan, in compliance with the Americans With Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services, programs, or events should call the City Recorder at 569-5115, giving at least three working days notice.



City Clerk's Office
City of West Jordan
8000 South Redwood Road
West Jordan, Utah 84088
(801) 569-5115
Fax (801) 565-8978

**THE CITY OF WEST JORDAN, UTAH
NOTICE OF PUBLIC HEARING**

A Public Hearing will be held before the City of West Jordan City Council on Wednesday, November 16, 2016, at the hour of 6:00 p.m., in the City Council Chambers at 8000 South Redwood Road, Third Floor, West Jordan, Utah, to receive public comment prior to considering a Preliminary Development Plan for Orchard Heights Subdivision located at approximately 6553 West 7800 South in the LSR (WSPA) Zoning District; Peterson Development Co./Justin Peterson, applicant. You are invited to attend the Public Hearing and take part in the discussions and voice any support or concerns you may have. If you desire to speak on an item, the time will be limited to 3 minutes. Items may be moved on the agenda or tabled by the City Council. Copies of the agenda packet for this meeting will be available on the City's website www.wjordan.com approximately 4-days prior to the meeting.

Posted this 2ND day of November 2016

Carol Herman
Deputy City Clerk



Exhibit A Aerial

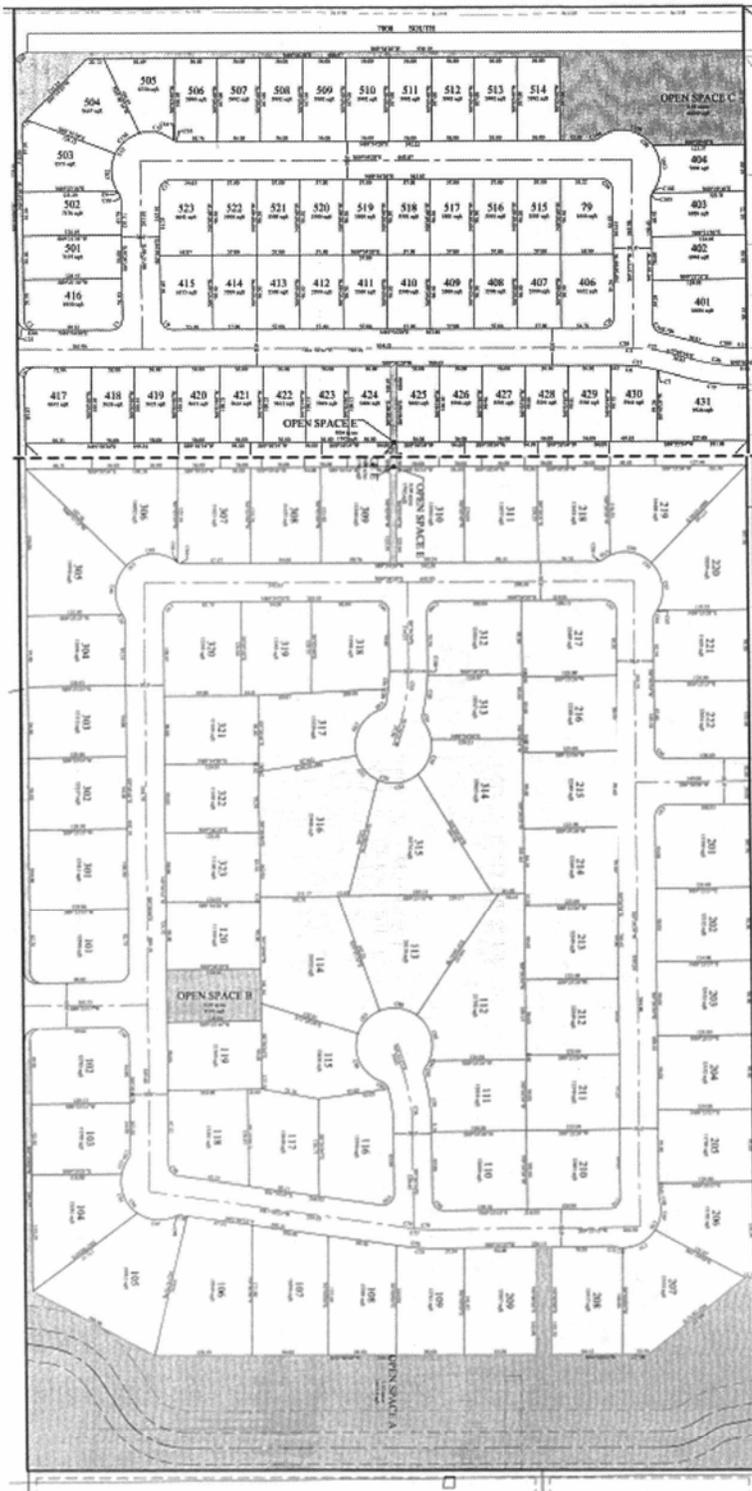


Exhibit B Plat



CITY OF WEST JORDAN
 COMMUNITY DEVELOPMENT APPLICATION
 8000 South Redwood Road
 (801) 569-5180

Sidwell # 2034200021 Acreage 41.37 Lots: 119 units Zoning LSFR

Project Location: 6553 West 7800 South

Project Name: Orchard Heights - Preliminary Subdivision

Type of Application: Subdivision Conditional Use Permit
 Site Plan General Land Use Amendment
 Rezone Agreement
 Condominium Other Preliminary Development Plan

Applicant: Justin Peterson Company: Peterson Development

Address: 225 South 200 East Suite 200

City: Salt Lake City State: Utah Zip: 84111

Telephone: Office: 801-532-2233 Cell: _____

Email: Justin@choosepeterson.com

Property Owner: Peterson Development

Address: 225 South 200 East Suite 200

City: Salt Lake City State: Utah Zip: 84111

Telephone: Office: 801-532-2233 Cell: _____

Email: _____

Engineer: Jason Barker Company: Focus Engineering

Address: 502 West 8360 South

City: Sandy State: Utah Zip: 84070

Telephone: Office: 801-352-0075 Cell: _____

Email: jbarker@focusutah.com

Architect: _____ Company: _____

Address: _____

City: _____ State: _____ Zip: _____

Telephone: Office: _____ Cell: _____

Email: _____

SIGNATURE: [Signature] DATE: 5/31/2016

Project #: 10072 Date: 6/1/16
 Received By: OOA LG PLANNING LG ENGINEERING TJ

Revised 9/1/14

Exhibit C Application

Please find the Planning Commission Minutes of November 1, 2016 on the following pages.

Exhibit D Planning Commission Minutes

MINUTES OF THE REGULAR MEETING OF THE WEST JORDAN PLANNING AND ZONING COMMISSION HELD NOVEMBER 1, 2016 IN THE WEST JORDAN COUNCIL CHAMBERS

PRESENT: Dan Lawes, Kelvin Green, Matt Quinney, David Pack, Bill Heiner, Josh Suchoski, and Judy Hansen.

STAFF: Scott Langford, Ray McCandless, Larry Gardner, Nathan Nelson, Julie Davis, Duncan Murray, and Paul Brockbank

OTHERS: Jim Riding, Justin Peterson, Lyle Summers, Wendy Cavin, Bruce Robinson, Gordon Clark

The briefing meeting was called to order by Dan Lawes.
Items #2 and #4 will be continued to a future date. The agenda was reviewed and clarifying questions were answered.

The regular meeting was called to order at 6:00 p.m.

3. Orchard Heights; 6553 West 7800 South; Preliminary Subdivision Plat (119 lots on 41.37 acres) and Preliminary Development Plan; LSRF (WSPA) Zone; Peterson Development/Justin Peterson (applicant) [#10067, 10072; parcel 20-34-200-021]

Justin Peterson, applicant, Peterson Development, 225 South 200 East, explained that this property is now part of the Highlands Master Plan area. The proposed product is something that the Commission and Council have been asking for and is the nicest product they have seen of the thousands of lots they've developed in West Jordan.

Bruce Robinson, Symphony Homes, said they have built thousands of homes but never in West Jordan. They focus on move-up housing, which sell at between \$400,000 and \$800,000 with their average price of \$625,000. However, it has been difficult finding projects on the west side that will support their price range. So in order for the projects to turn out properly they need to have homes that are built vertically and wide with deep lots, covered patios, community amenities that add to the value of their homes, and their architecture needs to be beautiful and superior. The Petersons have convinced them to come to West Jordan and they need the help of the city to make this superior community happen in West Jordan. He showed pictures that had been presented to the Design Review Committee.

Judy Hansen asked if they would be building on the smaller lots as well.

Justin Peterson said they don't know what the product is for the smaller lots to the north. Symphony does build that product as well, but whatever it is needs to be nice.

Bruce Robinson said they have done a product with smaller homes aimed at a more mature market, which can be done beautifully.

Josh Suchoski thanked Mr. Robinson for coming to West Jordan, and he thought it would be a beautiful community.

Larry Gardner said this 40-acre piece has a natural continuation from the Loneview community. The plan includes two cul-de-sacs, which is important for the builder. Although the city tries to limit cul-de-sacs, the WSPA allows up to 15% of the lots and only 8% of the lots in this development are on cul-de-sacs. The density without buy ups in the WSPA is 2.01 lots per acre for 79 homes. The applicant is providing buy-ups at a 61% increase in density as allowed by the ordinance. The overall density for the entire 40 acres is 3.03 units per acre for 119 lots. The smaller lots are marketed for empty nesters and those who don't want yard upkeep. The plan provides more than five acres of open space and amenities that provide for the majority of buy-ups. A 3/4-acre green space to the north is also a detention pond, but will be graded in a way to function as open space. An open space and recreation area to the south includes playing fields and the trail will be continued along the wash connecting to the Loneview development. All recreation areas will include playground equipment and pavilions, and the trail will have benches and waste receptacles. He briefly reviewed the landscaping, including a street buffer along 7800 South and 6700 West. A swimming pool is provided for the entire development with trail connection points. Entry monuments on 6700 West and 7800 South will follow the Highlands theme. Walls will be installed by the developer to match the Highlands theme. A split rail fence is provided along the wash. Street lighting has a common theme, is no taller than 12-feet, and constructed with aluminum poles with closer spacing. The final buy-up to consider is the home treatments. The Design Review Committee heard the presentation from Symphony Homes and recommended approval of the project. The upgrades include enhanced windows and door treatments and high quality building materials. The housing types meet or exceed the WSPA ordinance for buy-ups.

Orchard Heights Sub-area Preliminary Development Plan

Based on the findings and evidence in the staff report, staff recommended that the Planning Commission recommend approval of the Orchard Heights Sub-area Preliminary Development Plan to the City Council for property generally located at 6553 West 7800 South with a residential density of 3.03 units per acre for a total of 119 single-family residential lots, subject to the following conditions:

1. Update the Final Development Plan to address all city required corrections pertaining to the Orchard Heights Subdivision Plat.
2. All of the open space and common green, including the pavilion, benches, table, trash receptacles and all amenity buy-ups shall be installed as detailed in the Preliminary Development Plan.
3. The applicant shall provide a list of the specific design requirements and required architectural review procedures as contained in the Orchard Heights Development Plan, to all future home builders within this development to ensure compliance with these adopted architectural standards.
4. The applicant shall update the sub-area preliminary development plan to specifically show which lots must have a front covered porch greater than 50 square feet in size.

Orchard Heights Preliminary Subdivision Plat

Based on the findings and evidence in the staff report, staff recommended that the Planning Commission approve the Orchard Heights Preliminary Subdivision Plat generally located at 6553 West 7800 South, subject to the following conditions:

1. The Orchard Heights Final Subdivision Plat shall integrate traffic calming design within the interior of the subdivision as directed by the city engineering staff.
2. The Orchard Heights Final Subdivision Plat shall address all engineering redline comments.

3. The Orchard Heights Preliminary Development Plan shall be approved by the City Council and the Preliminary Subdivision Plat shall conform to the Preliminary Development Plan.

Clarification was given on the trail in this development, which is more than 1000 feet long. The paved portion of the trail is included in the open space buy-up and is used for walking, biking, roller blades, etc.

Dan Lawes opened the public hearing.

Wendy Cavin, West Jordan resident, pointed out an area behind her home and asked if it were a road.

Larry Gardner said backyards will abut backyards.

Further public comment was closed at this point for this item.

David Pack said it is nice to have this higher price point in West Jordan and he was excited at the prospect of an upper scale single-family development. He liked the buffering of the smaller lots.

Bill Heiner agreed. Being in the real estate business he had worked with Symphony Homes, and they build an excellent product with a lot of extra details. He felt that the entire project would be a homerun.

Kelvin Green liked the larger lots. He looked closely at the density buy-ups. It bothered him that the ordinance allows for a 1% buy-up for one bench and a 1% buy-up for one garbage can, but even with that the applicant is not asking for the entire 61% or 127 units so he felt that the density was accurate.

Josh Suchoski agreed that buy-ups for benches and trashcans are questionable. However, the positives are walkability and connectivity, good flow even with the cul-de-sacs, and he liked the mix of building types in the area. He commended the builder for putting the amenities in Phase 1 instead of waiting until the end, which shows good faith that they will provide what is being presented.

Judy Hansen thanked them for offering larger lots and homes. They are popular in other areas of the city and sell quickly. She also hoped that Symphony would build on the smaller lots as well because they have an excellent product.

MOTION: Kelvin Green moved based on the findings and evidence in the staff report to forward a positive recommendation to the City Council for the Preliminary Development Plan for Orchard Heights; 6553 West 7800 South; Peterson Development/Justin Peterson (applicant) with the residential density of 3.03 per acre for a total of 119 single-family residential lots subject to the conditions 1 through 4 in the staff report. The motion was seconded by Matt Quinney and passed 7-0 in favor.

MOTION: Kelvin Green moved based on the findings and evidence in the staff report to approve the Preliminary Subdivision Plat for Orchard Heights; 6553 West 7800 South; Peterson Development/Justin Peterson (applicant) subject to the conditions 1 through 3 listed in the staff report. The motion was seconded by Josh Suchoski and passed 7-0 in favor.

Please find the ordinances on the following pages.

Exhibit E **Ordinance**

Legal Review-Date/Initial: _____ / _____
Text/Format -Date/Initial: _____ / _____
Dept. Review-Date/Initial: _____ / _____
Adopted: _____ Effective: _____

THE CITY OF WEST JORDAN, UTAH

A Municipal Corporation

ORDINANCE NO. 16-52

AN ORDINANCE APPROVING THE SUB AREA PRELIMINARY DEVELOPMENT PLAN FOR ORCHARD HEIGHTS WITH A RESIDENTIAL DENSITY OF 3.03 UNITS PER ACRE RESULTING IN 119 SINGLE-FAMILY RESIDENTIAL LOTS ON PROPERTY LOCATED APPROXIMATELY AT 6553 WEST 7800 SOUTH AND ZONED LOW DENSITY, SINGLE-FAMILY RESIDENTIAL (LSFR) AND LOCATED WITHIN THE HIGHLANDS MASTER PLAN AREA.

WHEREAS, an application was made by Peterson Development for a Sub Area Preliminary Development Plan to allow for 119 single-family residential lots on 41.37 acres on property located approximately at 6553 West 7800 South.

WHEREAS, on November 1, 2016 the Orchard Heights Sub Area Preliminary Development Plan was conditionally approved by the Planning Commission, which has forwarded positive recommendation to the City Council to approve the Orchard Heights Sub Area Preliminary Development Plan with a residential density of 3.03 units per acre, which will allow for 119 single-family residential lots on the property; and,

WHEREAS, a public hearing, pursuant to public notice, was held before the City Council on November 16, 2016.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF WEST JORDAN, UTAH:

Section 1. Approve the Sub Area Preliminary Development Plan for Orchard Heights with a residential density of 3.03 units per acre containing 119 single-family residential lots on property generally located at 6553 West 7800 South (parcel 20-34-200-021) containing 41.37 acres, more or less.

The described property shall hereafter be subjected to the Low Density, Single-family Residential (LSFR) land-use restrictions, Highland Master Development Plan, Orchard Heights Sub Area Plan and all other City Ordinances, Standards and Policies currently enacted and in association with the presented and accepted Orchard Heights Sub-area Development Plan.

Section 2. This Ordinance shall become effective upon publication or upon the expiration of twenty days following passage, whichever is earlier.

Passed by the City Council of West Jordan, Utah, this 16th day of November 2016.

CITY OF WEST JORDAN

Kim V. Rolfe
Mayor

Voting by the City Council	"AYE"	"NAY"
Councilmember Haaga	_____	_____
Councilmember Rice	_____	_____
Councilmember Nichols	_____	_____
Councilmember Jacob	_____	_____
Councilmember Burton	_____	_____
Councilmember McConnehey	_____	_____
Mayor Kim V. Rolfe	_____	_____

CITY CLERK/RECORDER'S CERTIFICATE OF PUBLICATION

I, Melanie S. Briggs, certify that I am the City Clerk/Recorder of the City of West Jordan, Utah, and that the foregoing ordinance was published in the Legal Section, of the Salt Lake Tribune, and on the City's website: www.wjordan.com on the _____ day of _____, 2016, pursuant to Utah Code Annotated, 10-3-711. Ord 16-52

MELANIE S. BRIGGS, MMC
City Clerk/Recorder

[SEAL]



HIGHLANDS MASTER DEVELOPMENT PLAN

UPDATED MAY 19, 2015

PREPARED BY:

Peterson Development

HIGHLANDS DEVELOPMENT PLAN

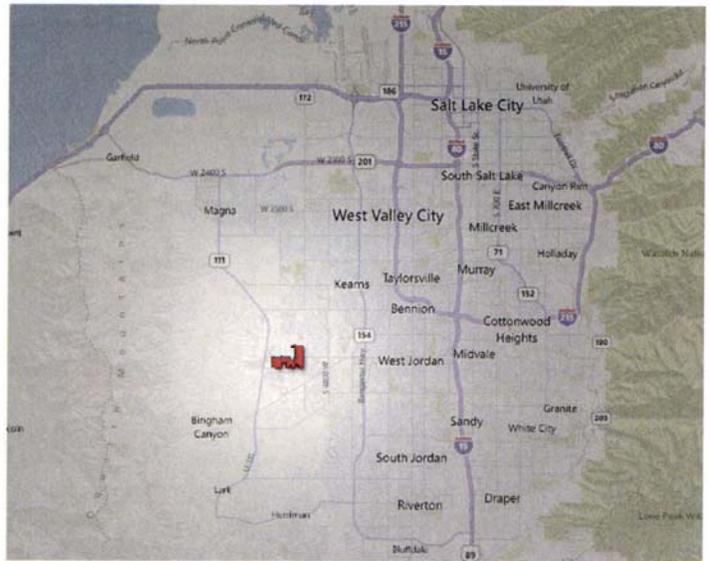
CONTENTS

Location Map	2
Introduction	3
Existing Zoning and Land Use	4
Concept Site Plan	5
Road Circulation (street system and hierarchy, cross sections)	7
Pedestrian Circulation	12
Phasing	14
Amenities By Area	17
Highlands West Overview	19
Highlands East Overview	23
Highlands North Overview	27
Zoning Regulations-By Land Use (lot area, lot width, setbacks, building heights)	31
Buildings and Structures (Elevations and footprints)	33
Fencing and Walls	36
Lighting	37
Public and Private Use Areas	38
Landscaping-General Areas: streetscape, washes, entrances, buffers, parks	39
Drainage Corridors, Flood Plain, and Steep Slopes	41
Process For Subsequent Submittals	42
Appendix	
Existing Land Use/Zoning Map	
Existing Utilities	
EX-C1 Existing Land Use Features Map	
EX-C2 Existing Services Map - Overall	
EX-C3 Existing Services Map - Highlands West	
EX-C4 Existing Services Map - Highlands East	
EX-C5 Existing Services Map - Highlands North	

LOCATION MAP



Project Boundary



Regional Context

INTRODUCTION

The Highlands is a Master Planned Community located within the western portion of West Jordan, Utah not far from the eastern slope of the Oquirrh Mountains. The Highlands name stems from the gently rolling hills of agricultural land that comprise this project.

The Highlands is approximately 418 acres and contains 3 distinct communities that are delineated by the major roads that provide access to the site. This project straddles 7800 South and the Mountain View Corridor (MVC). The MVC has played a large role in the placement of land use and overall road structure in this project. Highlands North lies north of 7800 South, Highlands East lies south of 7800 South and east of MVC. Highlands West lies south of 7800 South and west of MVC.

Another major element that influences this project is the future Bus Rapid Transit (BRT) line that will run along 5600 West, the eastern boundary of this project. With access onto the MVC on 7800 South and a transit line on 5600 West, this project holds key elements necessary for a strong and viable commercial center and Transit Oriented Development.

The residential element of the Highlands is diversified throughout the project. Higher intensity residential is placed close to commercial and to the BRT to create a walkable population support for these uses. The residential intensity decreases radially from the commercial centers. A range of residential intensities allows for a strong mix of residents in different stages of life in this project.

The conceptual site plan for the Highlands was reviewed by West Jordan City Staff and the Planning Commission in May 2011.

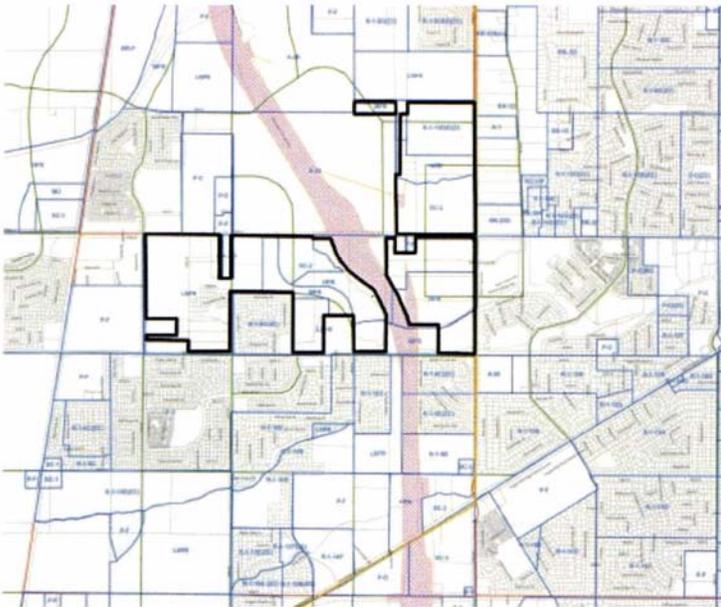
The Highlands Development Plan will serve as a guiding document or master plan for the development of the overall community. The number of residential units proposed by this Master Plan will be established by the buy-up program as each Village Preliminary Development Plan is approved. Density buy-ups are not approved, vested, or ratified through this plan.

The Highlands Master Development Plan is based upon the West Side Planning Area, Section 13-5J-2 or the West Jordan municipal code adopted by ordinance # 06-50, 12-12-2006. Conceptual building footprints and locations associated with this plan are conceptual in nature; actual siting of improvements and structures will be ratified at the time of approval of each Village Preliminary Development Plan or each approved phase within each village.

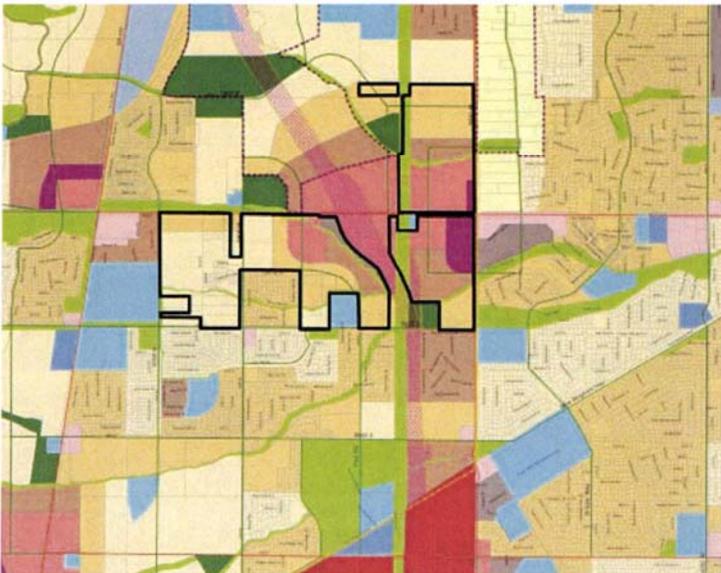


View of Wasatch Mountains

EXISTING ZONING AND LAND USE



In 2006, City Council adopted the West Side Specific Planning Area (WSPA) which amended the future land use map for land west of 5600 West, including the land within this project. In-depth studies were carried out to ensure that the west side of West Jordan would have a well balanced land use plan that would facilitate long term sustainable growth for current and future residents. In August of 2008, Peterson Development received information about a shift in the preliminary design of the Mountain View Corridor. The new concept had moved the Right-of-way of the future freeway further to the west creating a remnant parcel in an area zoned SC-2. On March 10, 2009 (Ordinance # 09-04), various portions of the Highlands project were redistributed and rezoned to accommodate a better more livable and developable project. The future land use map was also updated on this date. The overall balance of land uses was not changed so as to keep the balance created within the WSPA.



The Highlands consists of a variety of land use and zoning designations. These designations include: Low Density Single Family Residential (LSFR 2.01-4.50 units/acre); R-1-10 D/E(ZC) (10,000 sq. ft. lots with D and E size homes); Medium Density Multi-Family Residential (MFR 4.51-9.0 units/acre); High Density Multi-Family Residential (HFR 9.01-18.0 units/acre); Mixed Use (Transit Station Overlay District); and Community Shopping Center (SC-2). The Transit Station Overlay District (TSOD) boundary for Highlands East was established in conjunction with the rezone on March 10, 2009.

The Existing Land Features Map can be found in Appendix EX-C1.

- City Boundary
- Specific Area Plan
- West Side Planning Area Boundary
- Bonneville Shoreline Trail
- TSOD
- Redwood Corridor Boundary

- Street Type**
- Arterial
 - Collector
 - UDOT Expressway

- Mt. View Corridor
- Future Annexation Area

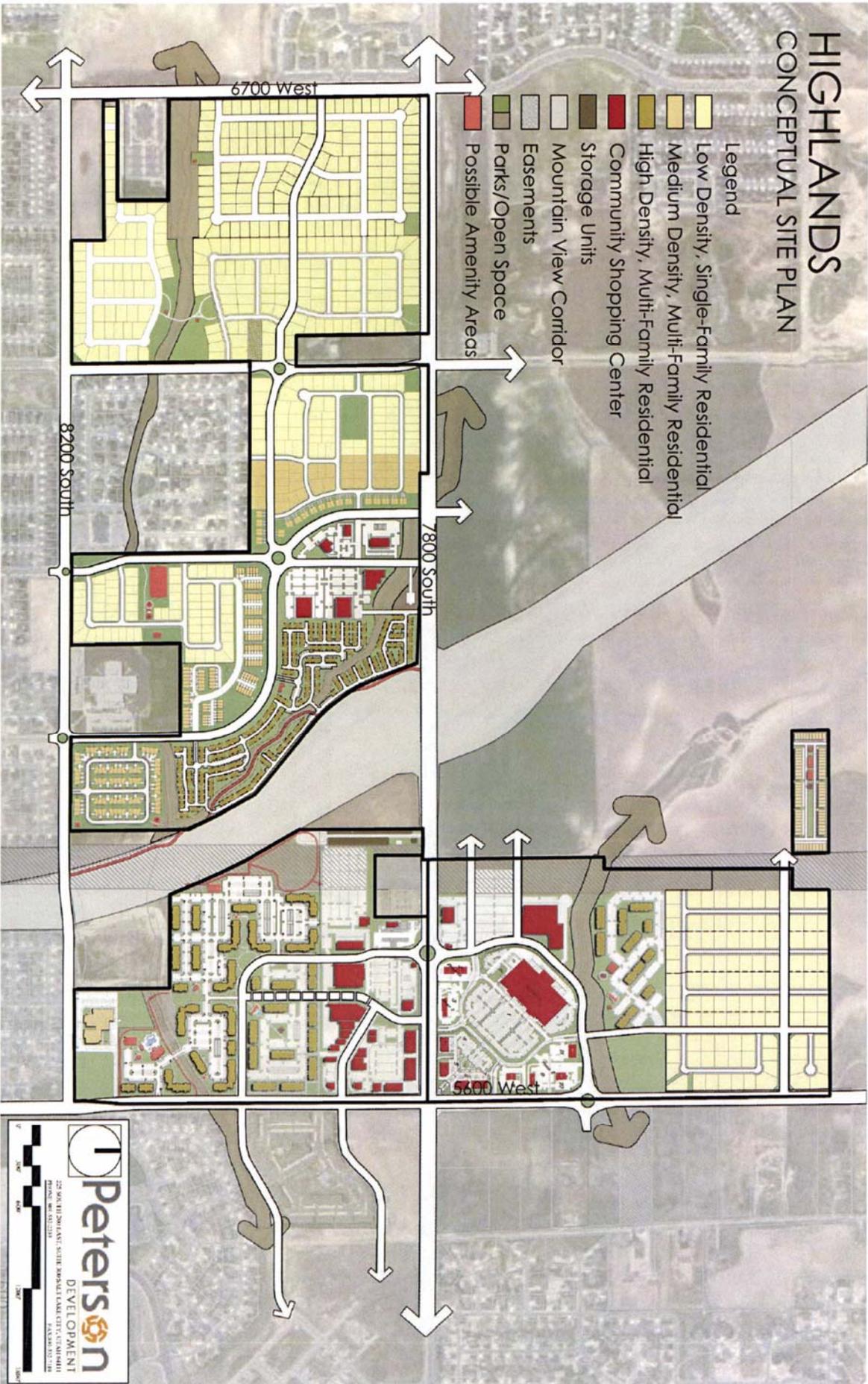
Land Use Type

- | | |
|---------------------------------------|-------------------------------|
| Regional Commercial | Mixed Use |
| Community Commercial | Very Low Density Residential |
| Neighborhood Commercial | Low Density Residential |
| Public Facilities | Medium Density Residential |
| Parks and Open Land | High Density Residential |
| Agricultural Open Space | Very High Density Residential |
| Future Park | Professional Office |
| Light Industrial | Research Park |
| City Center/ Neighborhood TSOD Center | |

HIGHLANDS CONCEPTUAL SITE PLAN

Legend

- Low Density, Single-Family Residential
- Medium Density, Multi-Family Residential
- High Density, Multi-Family Residential
- Community Shopping Center
- Storage Units
- Mountain View Corridor
- Easements
- Parks/Open Space
- Possible Amenity Areas



Petersen
DEVELOPMENT

225 500 311 200 1000 5000 10000 20000 30000 40000 50000 60000 70000 80000 90000 100000

1" = 100'

DATE: 10/15/2010

PROJECT: HIGHLANDS DEVELOPMENT PLAN

ROAD CIRCULATION

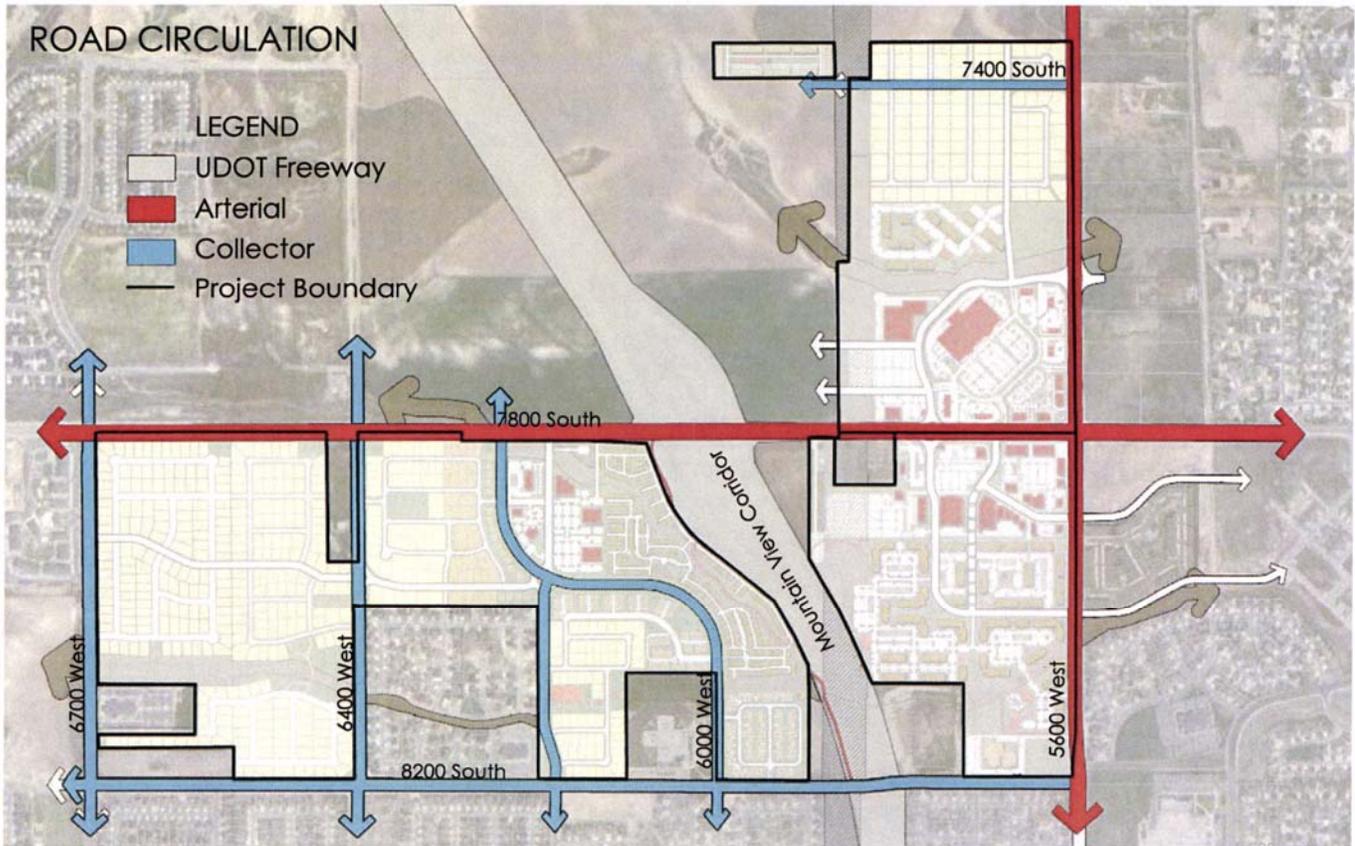
(Street Hierarchy and Cross Sections)



The Highlands is comprised of a hierarchy of streets designed to maximize connectivity between residents and community amenities. Roads are organized by functional class as defined by the City engineering standards. The exhibit below corresponds to the West Jordan City Transportation Master Plan. The following pages contain prototypes of street cross sections.

Rights-of-way comply with City standards. However, in a few specific circumstances some of the rights-of-way for proposed streets have been adjusted, at the City's request, to match the existing pavement configuration.

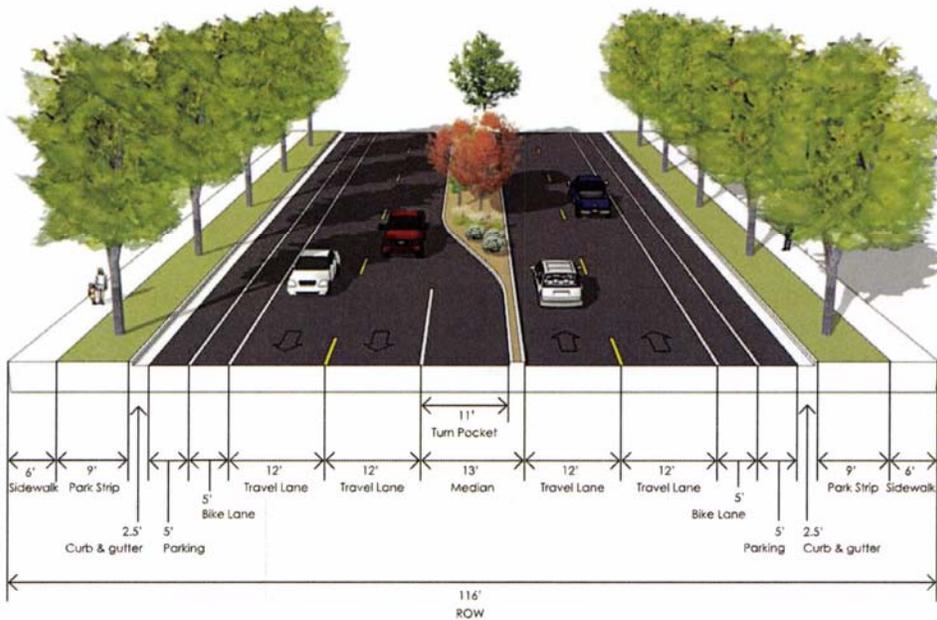
Due to scale the exhibit below only indicates the location of arterial and collector roadways. The location of the residential scale roads are subject to change and will be established at the site plan level. Rights-of-way for both public and private streets are defined by the cross-sections in the following diagrams.



CROSS SECTIONS

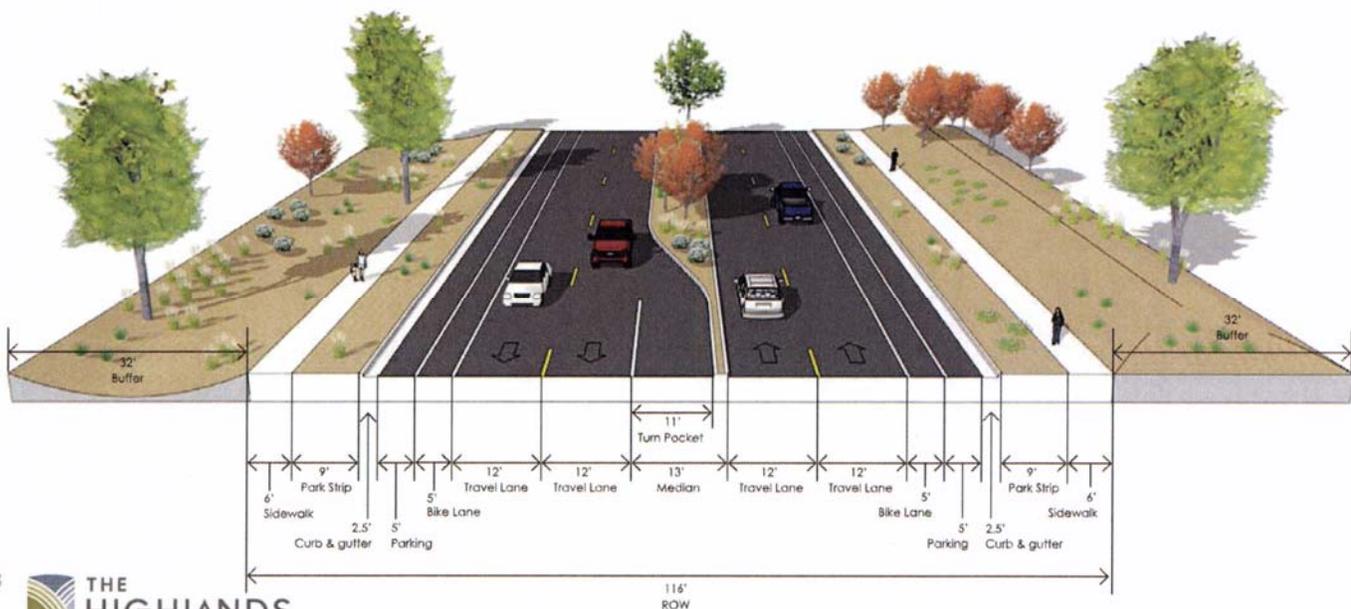
ARTERIAL (STANDARD)

Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.



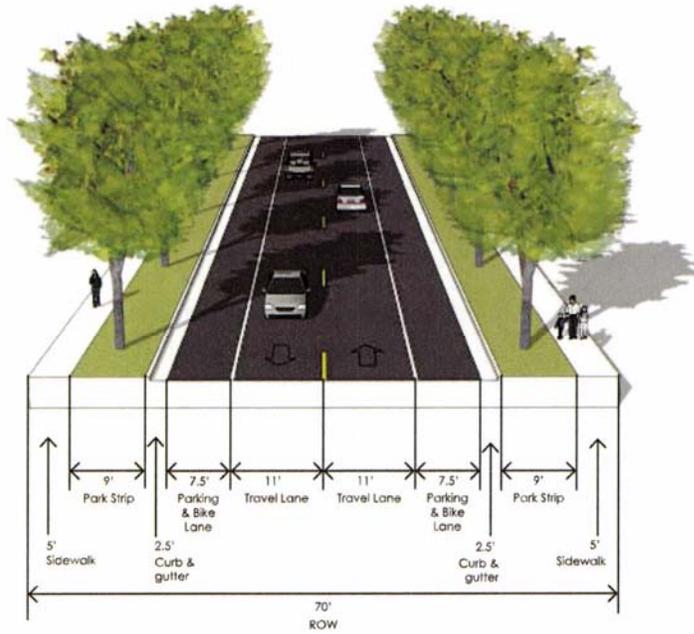
The diagram below demonstrates a potential arterial streetscape configuration with 32' landscape buffers compliant with Sec. 13-5J-6 (item 5: *Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots*) of the Municipal Code. Buffers may be used within the project in conjunction with the density buy-up program. Landscape buffers may be incorporated where appropriate and in accordance with City Codes and Standards.

ARTERIAL WITH LANDSCAPE BUFFER

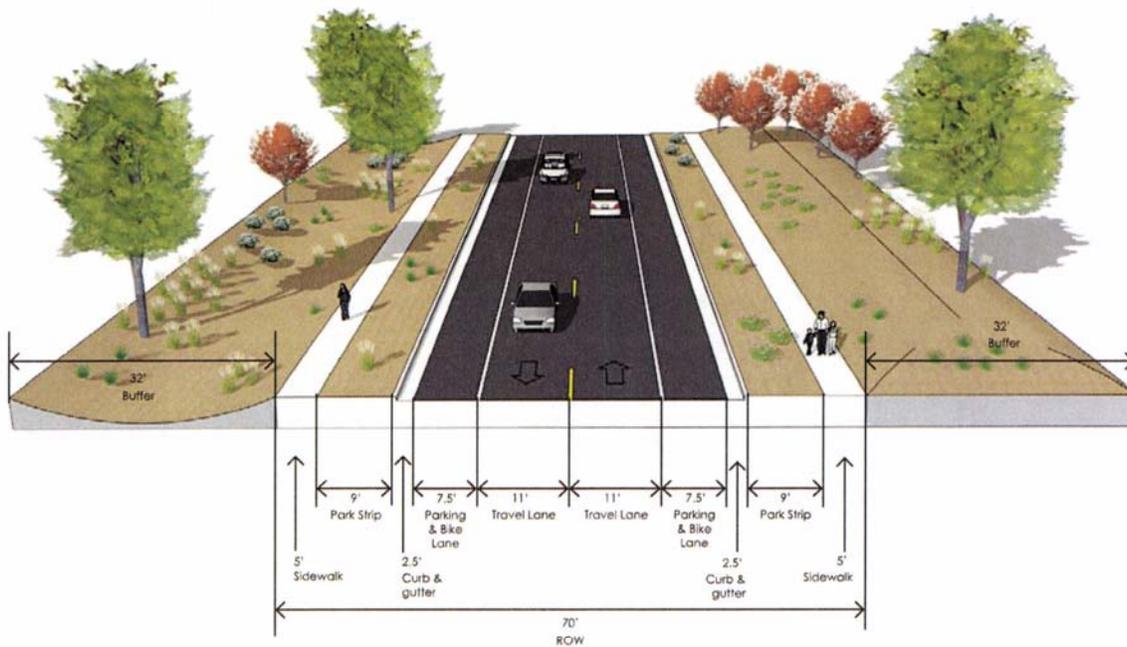


COLLECTOR (STANDARD)

Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.

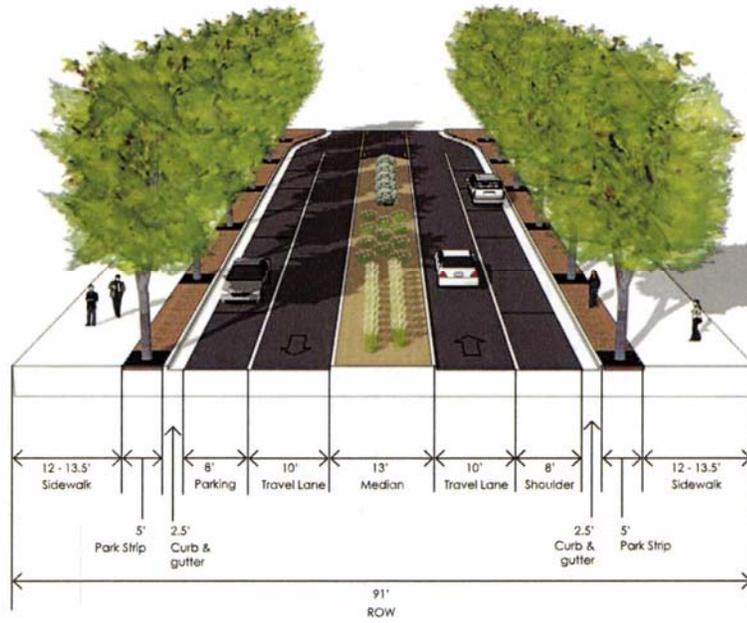


COLLECTOR WITH LANDSCAPE BUFFER

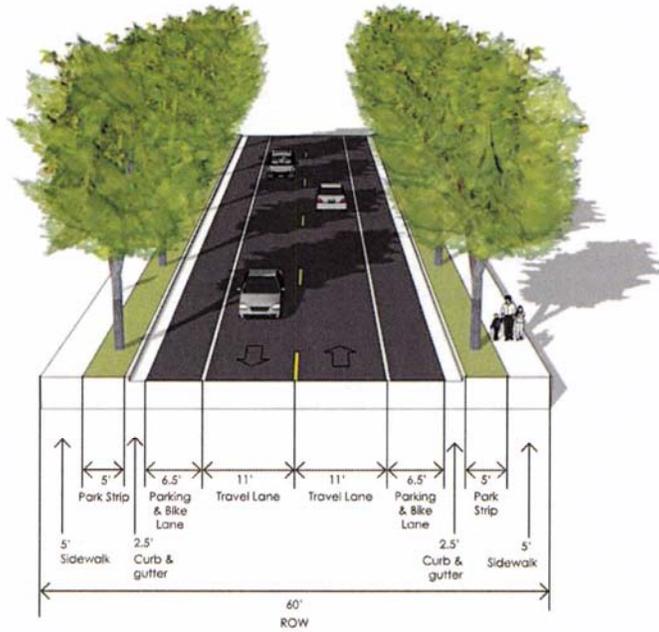


The diagram above demonstrates a potential major collector streetscape configuration with 32' landscape buffers compliant with Sec.13-5J-6 (item 5: Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots) of the Municipal Code. Buffers may be used within the project in conjunction with the density buy-up program. Landscape buffers may be incorporated and in accordance with City Codes and Standards.

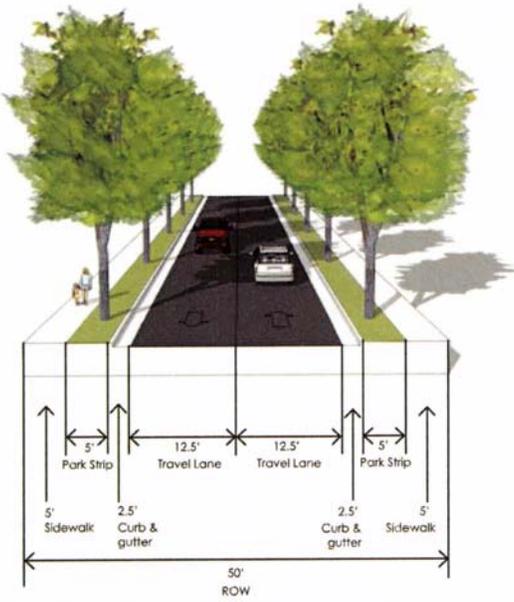
PEDESTRIAN STREET (TRANSIT VILLAGE)



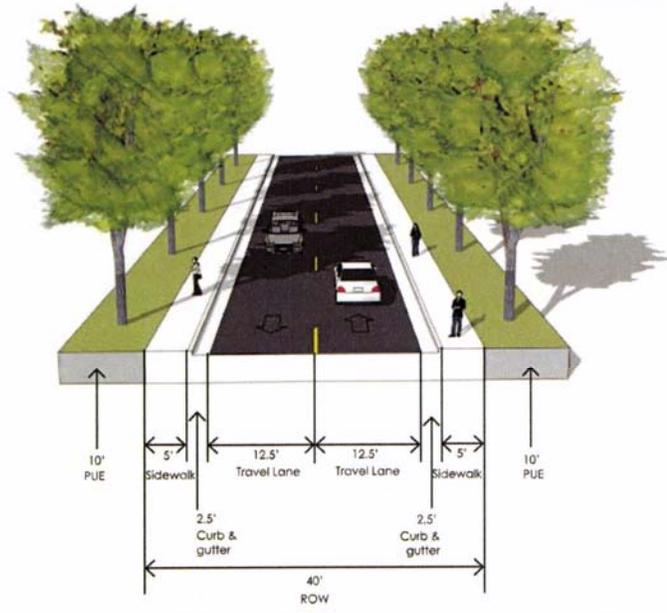
RESIDENTIAL COLLECTOR



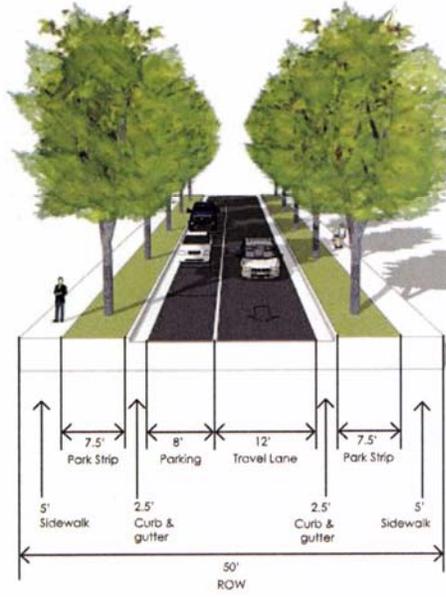
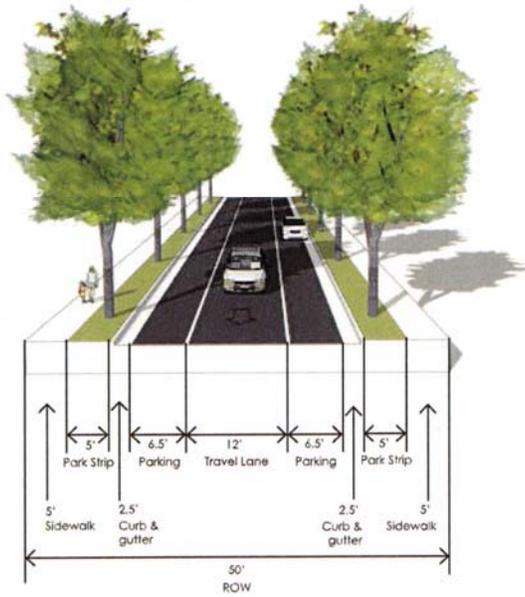
LOCAL STREETS



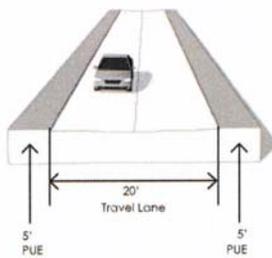
PRIVATE STREETS



ONE-WAY STREETS



ALLEY



Streetscape concepts are prototypical only and are included to demonstrate a variety of potential applications.

PEDESTRIAN CIRCULATION

Pedestrian circulation in the Highlands consists of sidewalks adjacent to all streets and a series of off-street trails that parallel the natural creeks and washes that meander through the project. Pedestrians will experience these trails in a predominantly natural environment. The landscape treatment should emphasize low maintenance. These trails will be maintained through the Highlands Special Assessment Area (SAA). This SAA was created in order to keep the trails, parks, and open space within the Highlands Master Planned Community maintained at a higher aesthetic level than that found in other communities. These trails will generally be located within the City's required 50' offset from top of bank.



Natural landscape treatment of Midas Creek trail in Herriman, Utah

Several measures to ensure pedestrian comfort are provided throughout the Highlands. Small amenitized landscape oasis or "hot spots" are located in areas where the trail intersects with streets. These hot spots may include a bench, trash receptacle with focused irrigated plant material in the immediate vicinity. As dictated in the municipal code the landscape design requires 1 tree per 25 linear feet of trail, and 1 shrub, bush, or perennial flower per 2 linear feet of trail. Clustering of plant material is encouraged. These generation rates for plant material will be respected and concentrated in the hot spot locations. The maintenance of these hot spots will be included within the SAA.

In addition the code requires that all trees and shrubs shall be of water conserving species that can withstand dry conditions once established. The plant list to determine qualifying plants is the "City

of West Jordan Recommended Plant List".

The other trail system amenity is a proposed trailhead on the 2.63 acre parcel located immediately west of Mountain View Corridor on the south side of 7800 south. This trailhead will be minimalistic in its landscape treatment and provide a handful of parking stalls, a small shade structure with interpretive signage.



Jordan River Parkway Trailhead at 7800 So.

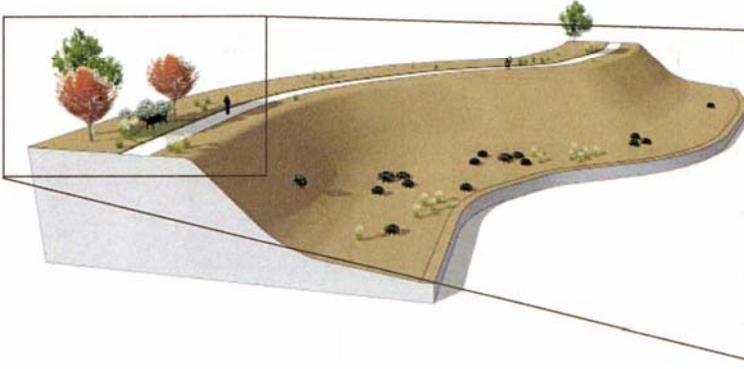
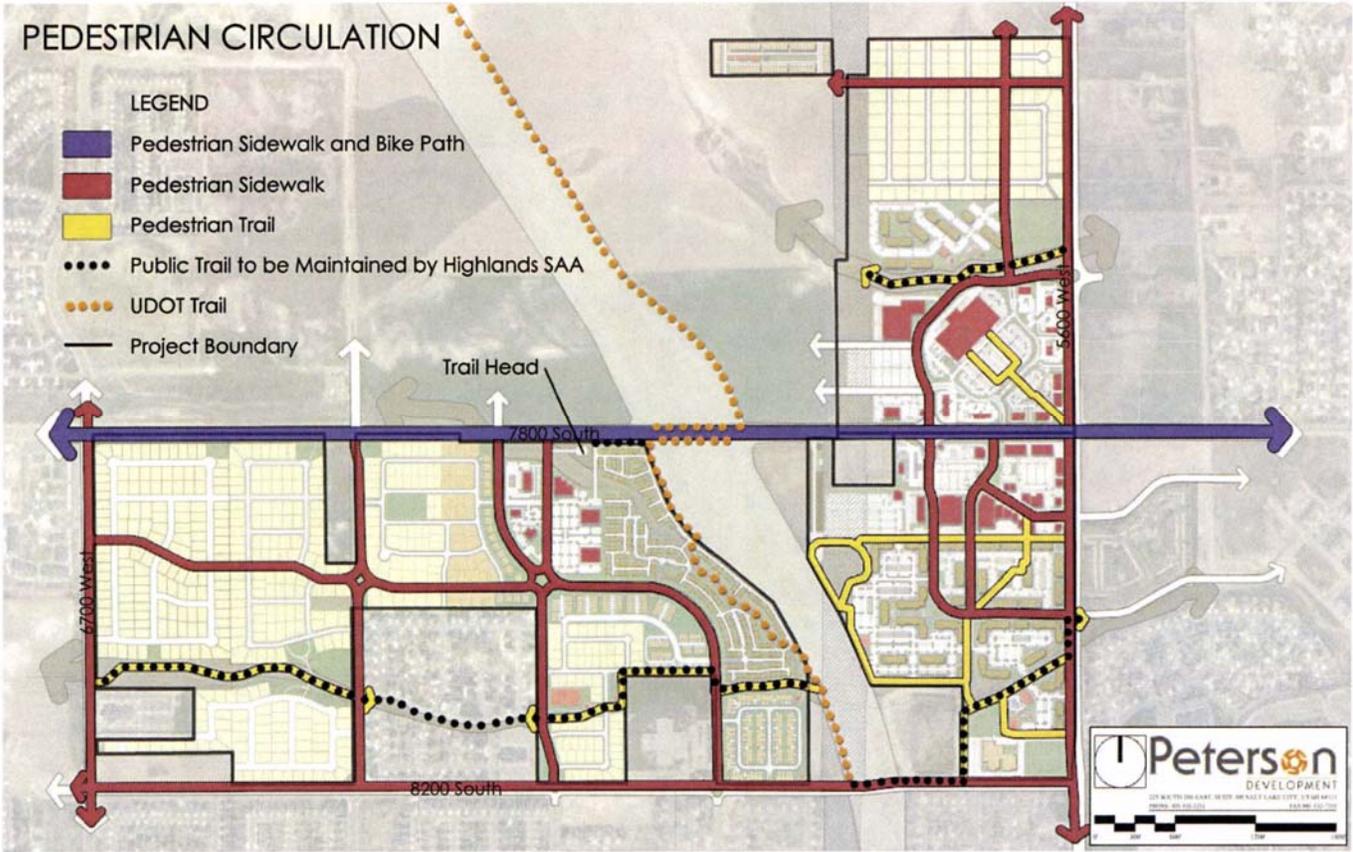


Daybreak Trail System

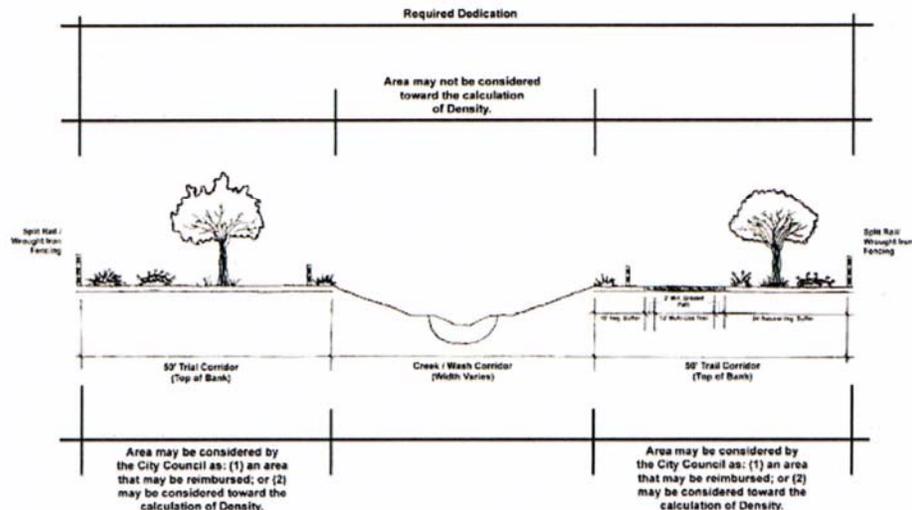
PEDESTRIAN CIRCULATION

LEGEND

-  Pedestrian Sidewalk and Bike Path
-  Pedestrian Sidewalk
-  Pedestrian Trail
-  Public Trail to be Maintained by Highlands SAA
-  UDOT Trail
-  Project Boundary



Pedestrian "Hot Spot"



Landscape concepts are prototypes only and are included to demonstrate a variety of potential applications.

PHASING

(Highlands West, Highlands East, Highlands North)

The Highlands is compartmentalized into 3 distinct communities by the major roads that provide access to the site. 7800 South creates a logical north-south division and the Mountain View Corridor (MVC) separates the southern parcels into east and west.

Highlands North lies north of 7800 South, Highlands East lies south of 7800 South and east of MVC. Highlands West lies south of 7800 South and west of MVC. Although these subareas appear geographically separated by major roads, it is the intent of the Development Plan to unify the project through consistent design elements. Landscape buffers, lighting, fencing, pedestrian connectivity and relationship to centralized community amenities that provide unity. That being said it is important that some diversity exist among the 3 communities. Phasing will play a significant role in providing a slightly different flavor from one community to the next. It is anticipated that over time as the project builds out that styles will evolve, producing a sense of architectural diversity. Each subarea is also targeted to contain collections of different community amenities that will help distinguish one area from neighboring Highlands villages.

Density buy-up will be determined per Village Preliminary Development Plan approval. The maximum unit count established in this document is a guiding number for the overall Highlands and may be adjusted- as a Development Plan for each village is submitted. Mixed-use units are restricted to the TSOD area and will be calculated based on a minimum of 15 du/ac and a maximum of 30 du/ac. The number of mixed-use units and the square footage of individual units will be determined at Development Plan submittal of the TSOD villages.

The primary differences by village are:

HIGHLANDS WEST

Highlands West is comprised of 7 residential neighborhoods that surround a small commercial center. Highlands West contains a wide range of densities and residential product types. The majority of this community is low density residential (63%) complimenting the existing residential that exists to the south and within Bloomfield Heights. The hallmark of this village is a high level of access to pedestrian trails and other recreational amenities. Each neighborhood has been designed to provide a small open space area within close proximity to residences.

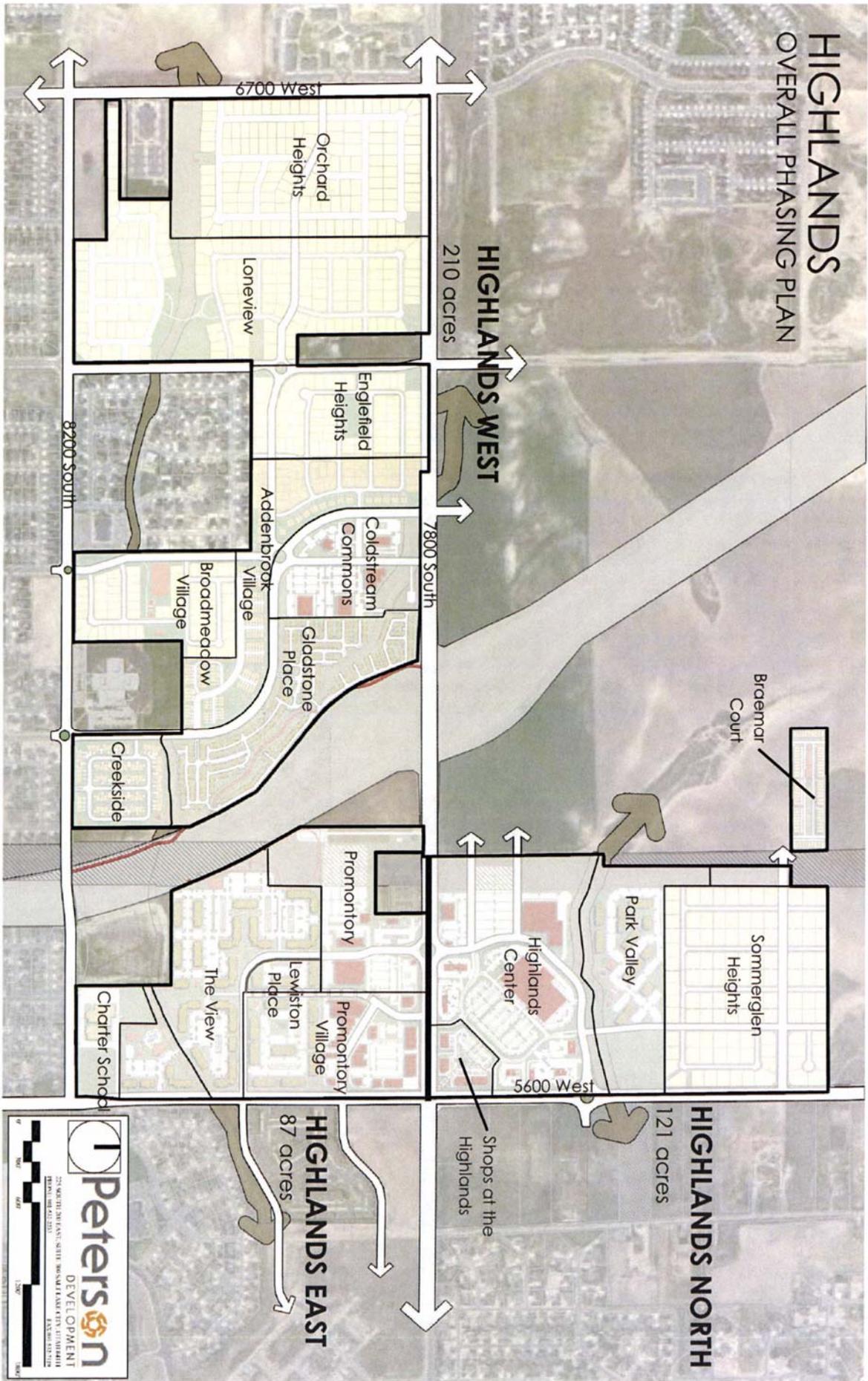
HIGHLANDS EAST

Highlands East is comprised of 2 residential neighborhoods, a large commercial center, and a vibrant transit oriented development (TOD) near the proposed BRT station. Residential densities reflect proximity to non-residential intensities. The hallmark of this village is the TOD and the high degree of pedestrian access to commercial centers. Each of the residential neighborhoods are designed to provide direct access to public trails along Clay Hollow.

HIGHLANDS NORTH

Highlands North is comprised of 3 residential neighborhoods and a large commercial center. Residential densities reflect proximity to non-residential intensities. The hallmark of this village is proximity to shopping and a high degree of direct access to regional trails along Dry Wash and the utility corridor.

HIGHLANDS OVERALL PHASING PLAN



Petersen DEVELOPMENT
225 NORTH DE LA SALLE STREET, MENARD, TEXAS 79701
TEL: 817.424.2251 FAX: 817.424.2252

Scale bar: 0 100 200 300 400 500 feet

AMENITIES BY AREA



The purpose of the proposed amenities is to create a development that adds to the quality of life of the residents who will live in the Highlands. The amenity tables are broken down by Community (Highlands West, Highlands East, Highlands North) and then by individual village.

The following section will describe the specific density buy-up program and the amenities that will be provided in conjunction with this program. These amenities are shown by village but are subject to change during Preliminary Development Plan submittal.

The following section will describe the specific density buy-up program and the potential amenities that will be provided per village in conjunction with this program.



Zone	Base Density D.U. Per Acre	Maximum Density D.U. Per Acre
VLSFR	1.00	2.00
LSFR	2.01	4.50
MFR	4.51	9.00
HFR	9.01	18.00
MU	NA	25.00

Adopted by Ord. No. 06-50, 12-12-2006



WSPA Required Standards & Optional Improvement Density Incentive Chart		
Trails & Open Space		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Dedication of open space, trail corridors or "in lieu of fees" in accordance with the Comprehensive General Plan and the Parks, Recreation and Trails Master Plan.		Required
Installation of enhanced open space/recreational amenities in excess of that required per City standards.	22%	Optional
Improvement of trail corridors and installation of trail amenities in excess of that required per City standards.	15%	Optional
Dedication of additional property for trails beyond that required per City standards along creeks/washes.	15%	Optional
Street Design		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Pedestrian scale and consistent, architectural street lighting		Required
Traffic calming design		Required
Street system designs		Required
Entryway monument or gateway feature to the subdivision/development	10%	Optional
Provision of a landscape buffer on major right-of-ways	10%-22%	Optional
Smart Growth Urban Design		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Master Planned subdivision design		Required
Pedestrian friendly and walk-able neighborhood design		Required
Alternative load garage configuration	18%	Optional
Clustered subdivision design	10%	Optional
Building Design		
<i>Amenity/Improvement</i>	<i>Weighted Value</i>	<i>Required vs. Optional</i>
Attractive theme-based and consistent architecture on all structures		Required
Installation of covered porches throughout 50% of the subdivision	14%	Optional
Enhanced door and window treatment	12%	Optional
Equal dispersion and use of high quality building materials	12%	Optional

Exclusions:

- 30% Slope
- Right-of-Ways >66'
- Primary Drainage corridors and wetland

HIGHLANDS WEST OVERVIEW

(Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Creekside	10.06	MFR	45.37	90.54	4.51	65%	7.44	75	76
Broadmeadow Village	18.28	LSFR	36.74	82.26	2.01	89%	3.80	69	69
Gladstone Place	24.11	HFR	217.23	433.98	9.01	89%	17.03	411	351
Addenbrook Village	28.01	MFR	126.33	252.09	4.51	68%	7.58	212	180
Coldstream Commons	13.23	SC-2							
Englefield Heights	19.23	LSFR	38.65	86.54	2.01	72%	3.46	66	66
Loneview North	34.17	LSFR	68.68	153.77	2.01	74%	3.50	120	108
Loneview South	19.63	LSFR	39.46	88.34	2.01	59%	3.20	63	63
Orchard Heights	39.32	LSFR	79.03	176.94	2.01	68%	3.38	133	135
Net Acres	206.04		651.49	1364.45		Average		1149	1048
Creek/Wash Corridor	2.22					73.00%			
Roads >66'	6.56								
Trail Head	1.38								
Gross Acres	209.64								

Density Buy-up Not Applicable

Parks/Open Space	39.17
------------------	-------

Optional Improvements

	Value	Amenities for Creekside	Amenities for Broadmeadow Village	Amenities for Gladstone Place	Amenities for Addenbrook Village	Amenities for Englefield Heights	Amenities for Loneview North	Amenities for Loneview South	Amenities for Orchard Heights
Active Open Space Amenity/Facility	Value								
Swimming Pool	up to 2%			4%					2%
Tennis Court	up to 2%								
Fitness trail stations	up to 1%				1%				
Playground w/ equipment	up to 1%	1%	1%	3%	2%	1%			2%
Tot lot	up to 1%			1%					
Community Garden	up to 2%								
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	up to 2%	2%	2%	3%		2%	2%	2%	
Playing field (baseball, soccer, etc.)	up to 2%	2%	4%	3%	1%	2%			
Forecourt w/ seating area	up to 2%					2%			
Passive Open Space Amenity/Facility	Value								
Common Green	up to 1%			2%	1%		1%	1%	
Courtyards	up to 2%			2%					
Landscaped Buffer, island, or median	up to 2%			2%	2%				2%
Greenbelt	up to 2%			2%	2%				
Common landscaped Garden	up to 2%					2%			2%
Fond	up to 3%								
Forecourt w/o seating area	up to 1%								
Max permitted is 22% in this category		5%	7%	22%	9%	9%	3%	3%	8%
Trail Amenities	Value								
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	up to 4%	4%	4%	4%			4%		2%
1 bench every 1000 ft	1%		1%	4%			1%	1%	
1 trash receptacle every 1000 ft	1%		1%	3%			1%	1%	
Split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	4%	4%					
Max permitted is 15% in this category									
Dedication of Additional Trail Corridor	Value								
Min of 12' and max of 25' additional to trail corridor	15%						9%	9%	1%
Street Design	Value								
Entry Monument at each entrance	10%	10%	10%	2%	6%	6%	10%	6%	3%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%								
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 8' deep and 1% for every 100 linear feet along a collector or arterial	10%	4%	5%		3%	10%	2%		6%
Smart Growth Urban Design	Value								
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%		18%				18%	14%	
Cluster subdividing	10%								
Building Design	Value								
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	14%	14%	14%	14%	13%	14%	13%	14%
Enhanced door and window treatment	12%	12%	12%	12%	12%	10%	12%	6%	12%
Equal dispersion and use of high quality building materials	12%	12%	12%	12%	12%	12%	12%	6%	12%
Substitute Amenities	TBD								
Landscaped trail head with parking lot and covered pavilion	10%								10%
84% of units with covered porches 50 sq ft or larger				10%					
200' diameter roundabout with upgraded landscaping				2%	2%	2%			
Energy efficient home design and construction					10%	10%			
Installation of trail (8' wide) north of Jordan School District property on 8200 S	10%		1%						
Total Buy-up		65%	89%	89%	68%	72%	74%	59%	68%

This page intentionally left blank

HIGHLANDS HIGHLANDS WEST OVERVIEW



HIGHLANDS WEST 210 Gross Acres (206 Net Acres)

651 Minimum Units
1364 Maximum Units
1048 Units Proposed on Conceptual Site Plan

- Creekside - 10.06 Net Acres (76 units)
- Broadmeadow Village - 18.5 Net Acres (69 units)
- Gladstone Place - 24.11 Net Acres (217-434 units)
- Addenbrook Village - 28.01 Net Acres (180 units)
- Coldstream Commons - 13.23 Net Acres (Community Shopping Center)
- Englefield Heights - 19.23 Net Acres (66 units)
- Loneview North - 34.15 Net Acres (108 units)
- Loneview South - 19.63 Net Acres (63 units)
- Orchard Heights - 39.32 Net Acres (79-177 units)

- 39 Acres Parks and Open Space
- 6% Commercial
- 13% High Density Residential
- 18% Medium Density Residential
- 63% Low Density Residential

225 SOUTH BROADWAY SUITE 200 DENVER, CO 80202
TEL: 303.733.1100 FAX: 303.733.1101

HIGHLANDS EAST OVERVIEW

(Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Charter School	7								
The View	28.01	HFR	252.37	504.18	9.01	100%	18.02	505	480
	6.22	MFR	28.05	55.98	4.51	100%	9.02	56	55
Lewiston Place	2.95	HFR	26.58	53.10	9.01	89%	17.00	50	50
Promontory	20.38	SC-2							
Promontory Village	9.2	HFR (TSOD)	138.00	276.00					138-276
	11.73	SC-2(TSOD)	175.95	351.90					176-352
Net Acres	85.49		620.95	1241.16		Average			899-1213
Creek/Wash Corridor	1.49					96.23%			
Roads >66'	4.86								
Gross Acres	86.98								

Density Buy-up Not Applicable

Parks/Open Space 19.03 (includes 2.3 acres in utility easment)

Optional Improvements	Value	Amenities for The View	Amenities for Lewiston Place
Active Open Space Amenity/Facility	Value		
Swimming Pool (Fitness Center)	up to 2%	6%	
Tennis Court	up to 2%		
Fitness trail stations	up to 1%		
Playground w/ equipment	up to 1%	2%	
Tot lot	up to 1%	2%	1%
Community Garden	up to 2%		
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	up to 2%		2%
Playing field (baseball, soccer, etc.)	up to 2%	6%	
Forecourt w/ seating area	up to 2%	2%	

Passive Open Space Amenity/Facility	Value	Amenities for The View	Amenities for Lewiston Place
Common Green	up to 1%	1%	3%
Courtyards	up to 2%	1%	2%
Landscaped Buffer, island, or median	up to 2%	1%	
Greenbelt	up to 2%		2%
Common landscaped Garden	up to 2%		2%
Pond	up to 3%		
Forecourt w/o seating area	up to 1%	1%	
Max permitted is 22% in this category		22%	12%

Trail Amenities	Value	Amenities for The View	Amenities for Lewiston Place
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	up to 4%	4%	4%
1 bench every 1000 ft	1%	4%	1%
1 trash receptacle every 1000 ft	1%	3%	1%
split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	4%
Max permitted is 15% in this category			

Dedication of Additional Trail Corridor	Value	Amenities for The View	Amenities for Lewiston Place
min of 10' and max of 25' additional to trail corridor	15%	15%	

Street Design	Value	Amenities for The View	Amenities for Lewiston Place
Entry Monument at each entrance. 1% for each monument. 2% for each ornamental gateway feature.	10%	10%	3%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial.	22%	8%	
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 8' deep and 1% for every 100 linear feet along a collector or arterial.	10%		

Smart Growth Urban Design	Value	Amenities for The View	Amenities for Lewiston Place
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%	4%	18%
Cluster subdividing	10%		

Building Design	Value	Amenities for The View	Amenities for Lewiston Place
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	6%	
Enhanced door and window treatment	12%	10%	12%
Equal dispersion and use of high quality building materials	12%	10%	12%

Substitute Amenities	TBD	Amenities for The View	Amenities for Lewiston Place
Landscaped area between commercial loading areas and residences 1% for every 100 linear feet along commercial	15%		13.7%
Loop trail linking the Clay Hollow Wash Trail to Transit Station	15%		8%

Total Buy-up	100%	89%
---------------------	------	-----

This page intentionally left blank

HIGHLANDS HIGHLANDS EAST OVERVIEW

HIGHLANDS EAST

87 Gross Acres (83 Net Acres)

621 Minimum Units

1,241 Maximum Units

899-1,213 Units Proposed on Conceptual Site Plan

Charter School - 7.0 Acres

The View at 5600 (High Density Residential) - 28.01 Net Acres (252-504 units)

The View at 5600 (Medium Density Residential) - 6.22 Net Acres (28-56 units)

Lewisville Place - 2.95 Net Acres (27-53 units)

Promontory - 20.38 Net Acres (Community Shopping Center)

Promontory Village - 20.93 Net Acres (314-628 units)

19 Acres Parks and Open Space

38% Commercial

47% High Density Residential

7% Medium Density Residential

8% Charter School



HIGHLANDS EAST

87 acres

222 SOUTH BRISLANE SUITE 200 WILMINGTON, DE 19804
TEL: 302.436.2333 FAX: 302.436.2334

HIGHLANDS NORTH OVERVIEW

(Projected Densities)

Description	Acreage	Zoning Designation	Minimum Units	Maximum Units	Minimum Density	Density Buy-up	Density with Proposed Buy-up	Units with Proposed Buy-up	Units Shown on Concept Site Plan
Highlands Center	39.09	SC-2							
Highlands Square	4.3	SC-2(TSOD)							
Park Valley	21.4	HFR	192.81	385.20	9.01	99%	17.97	385	385
Sommerglen Heights	39.58	R-1-10 (10,000 sq ft lots)	111.00	111.00					111
Braemar Court	7.21	MFR	32.52	64.89	4.51	95%	8.79	63	64
Net Acres	111.58		336.33	561.09		Average			560
Creek/Wash Corridor	1.72					97.24%			
Roads >66'	8.02								
Gross Acres	121.32								

Density Buy-up Not Applicable

Parks/Open Space 13.16 (Includes 8.01 acres in utility easement)

Optional Improvements	Value	Amenities for Park Valley	Amenities for Braemar Court
Active Open Space Amenity/Facility	Value		
Swimming Pool	up to 2%	2%	
Tennis Court	up to 2%		2%
Fitness trail stations	up to 1%	2%	
Playground w/ equipment	up to 1%		
Tot lot	up to 1%	1%	1%
Community Garden	up to 2%	2%	2%
Picnic Area w/ covered pavilion, gazebo, tables, benches, etc.	up to 2%	2%	2%
Playing field (baseball, soccer, etc.)	up to 2%		
Forecourt w/ seating area	up to 2%		

Passive Open Space Amenity/Facility	Value		
Common Green	up to 1%	2%	1%
Courtyards	up to 2%		
Landscaped Buffer, island, or median	up to 2%	2%	2%
Greenbelt	up to 2%	2%	
Common landscaped Garden	up to 2%	2%	2%
Pond	up to 3%		3%
Forecourt w/o seating area	up to 1%	1%	1%
Max permitted is 22% in this category		18%	16%

Trail Amenities	Value		
1 tree every 25 linear feet of trail, and 1 shrub, bush or perennial every 2 linear feet of trail	up to 4%	4%	
1 bench every 1000 ft	1%	2%	1%
1 trash receptacle every 1000 ft	1%	2%	1%
split rail/wrought iron, wood or vinyl fence (4-6 ft high)	4%	4%	
Max permitted is 15% in this category			

Dedication of Additional Trail Corridor	Value		
min of 12' and max of 25' additional to trail corridor	15%		15%

Street Design	Value		
Entry Monument at each entrance	10%	10%	6%
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 32' deep and 1% for every 100 linear feet along a collector or arterial	22%		
Landscape Buffer up to 4' tall, 4:1 slope, HOA maintained, 8' deep and 1% for every 100 linear feet along a collector or arterial	10%	3.5%	

Smart Growth Urban Design	Value		
Alternative garage configuration: no more than 25% of lots shall have standard garages	9%-18%	18%	18%
Cluster subdividing	10%		

Building Design	Value		
Covered porches on 50% of the development: 50 sq ft, corner wrap around porches, railings/porch columns	14%	14%	14%
Enhanced door and window treatment	12%	12%	12%
Equal dispersion and use of high quality building materials	12%	12%	12%

Substitute Amenities	TBD		

Total Buy-up	99%	95%
---------------------	------------	------------

This page intentionally left blank

Highlands

HIGHLANDS NORTH OVERVIEW

HIGHLANDS NORTH

121 Gross Acres (112 Net Acres)

336 Minimum Units

561 Maximum Units

336-561 Units Proposed on Conceptual Site Plan

Highlands Center - 39.09 Net Acres (Community Shopping Center)

Shops at the Highlands - 4.3 Net Acres (Community Shopping Center)

Park Valley - 21.4 Net Acres (193-385 units)

Sommerglen Heights - 39.58 Net Acres (111 units)

Braemar Court - 7.21 Net Acres (33-65 units)

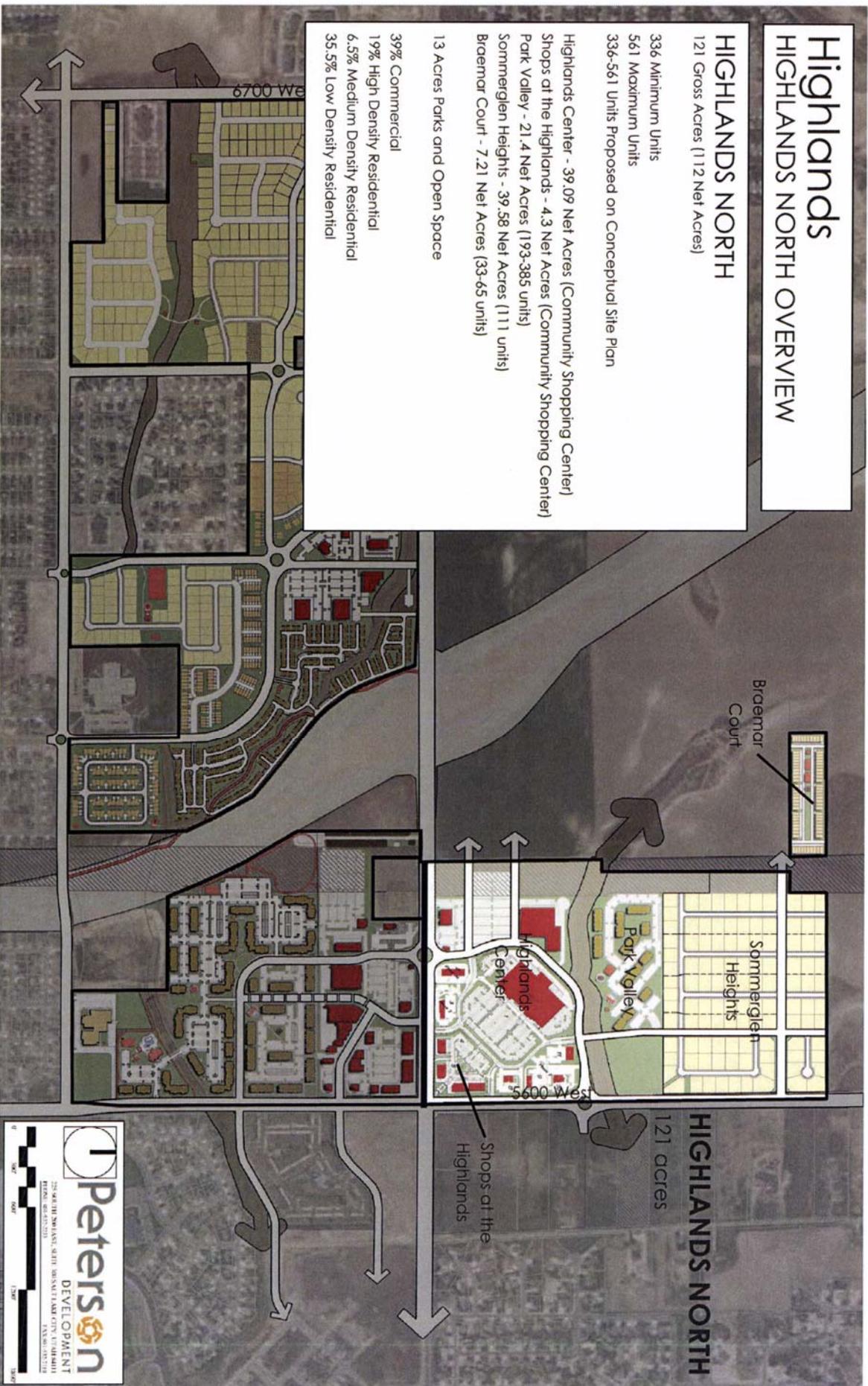
13 Acres Parks and Open Space

39% Commercial

19% High Density Residential

6.5% Medium Density Residential

35.5% Low Density Residential



Petersen
DEVELOPMENT
222 SOUTH BIRMGHAM, SUITE 300 BRENTWOOD, TN 37027
TEL: 615.875.1234 FAX: 615.875.1234

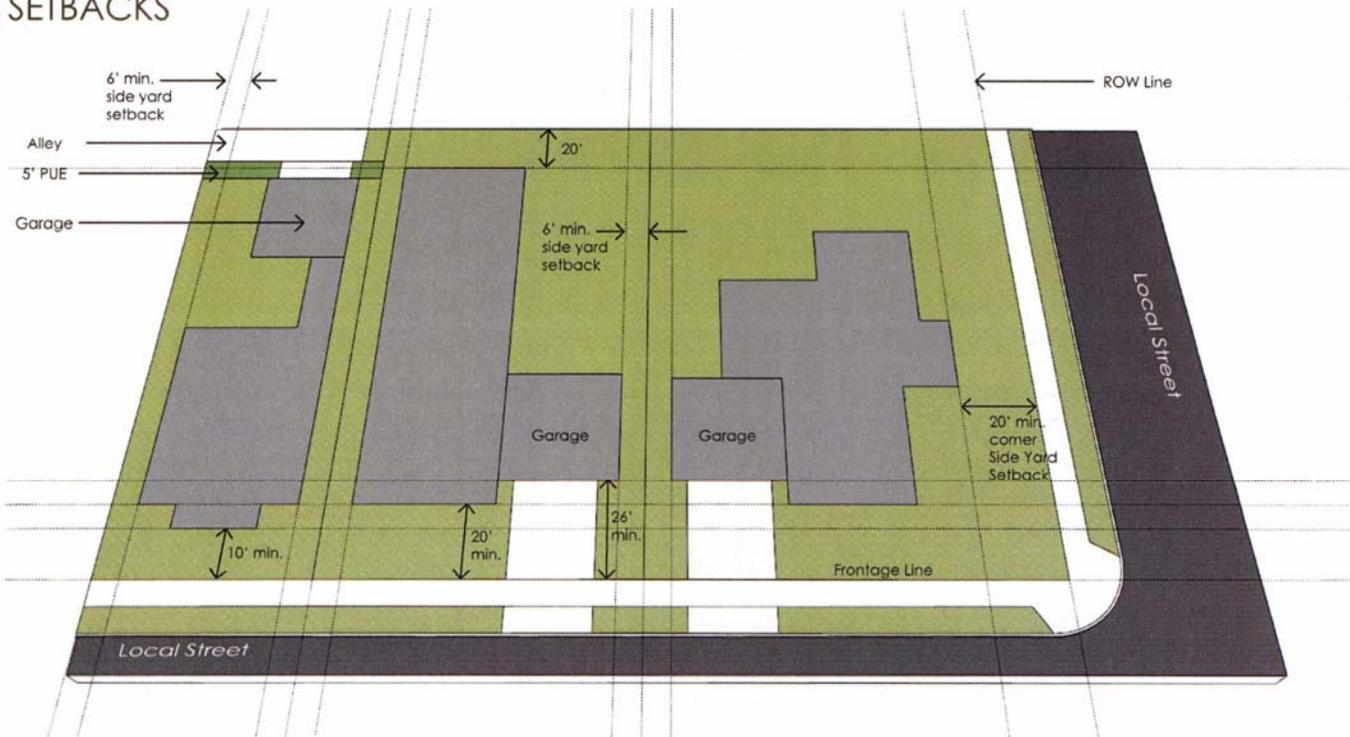
ZONE REGULATIONS BY LAND USE

(Lot Area, Lot Width, Setbacks, Building Height, Lot Configurations)

DESIGN CRITERIA	STRUCTURE				
	Single (Alley Load)	Single (Front Load)	Two Family	Attached Townhomes	Multi-Family
BUILDING HEIGHT					
Maximum	30'	30'	30'	30'	*
FRONT SETBACKS					
To Garage (minimum)	26'				N.A.
To Structure (minimum)	10'	20'	20'	20'	20' from private ROW
SIDE SETBACKS					
Interior	6'				Building to Building = 18' Building to Property Line = 30'
Corner Local Street (minimum)	20'				20'
Corner Major Collector or Arterial (minimum)	35'				20'
REAR SETBACKS					
To Adjacent Lot (minimum)	5' PUE	15'	15'	15'	30'
Abutting Arterial or Major Collector (minimum)	35'				20'

*These regulations reflect the standards found in Zoning Ordinance Section 13-5J-7. Specific lot, height and bulk standards in multi-family developments shall be established by the Planning Commission through approval of the Development Plan.

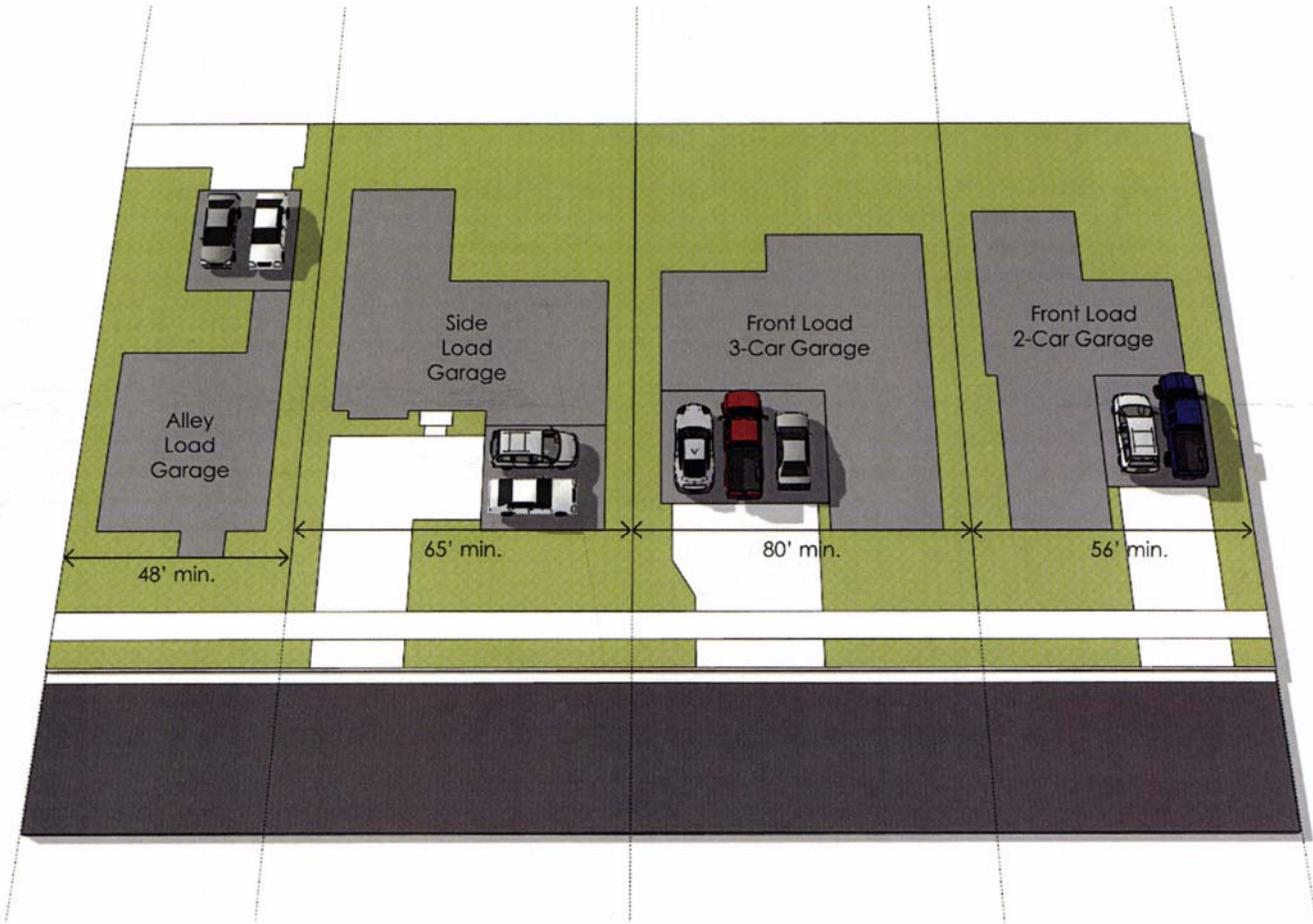
SETBACKS



Landscape concepts are concepts only and are included to demonstrate a variety of potential applications. The land owner/developer retains the right to modify or disregard any and/or all concepts featured in these diagrams.

LOT WIDTH (measured at building setback)

FRONTAGE AT BUILDING SETBACK	
Front Load 2-car Garage	56'
Front Load 3-car Garage	80'
Side Load Garage	65'
Alley Load Garage	48'



BUILDINGS AND STRUCTURES (Elevations and Footprints)

LSFR



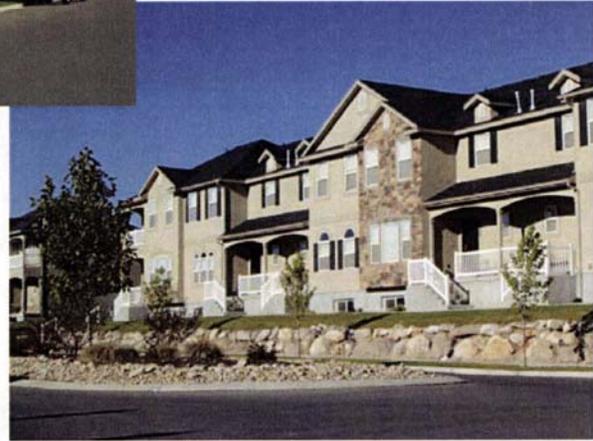
This section addresses the architectural flavor that is desired for the Highlands by land use category.

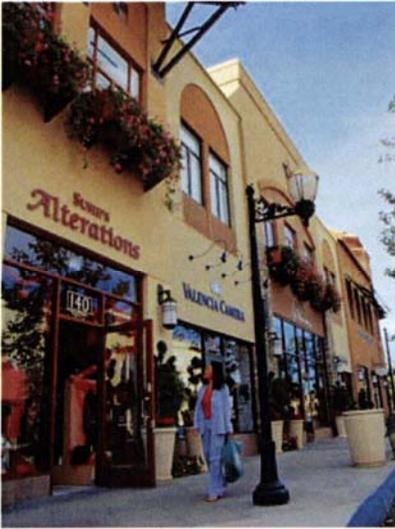
Architectural style is not prescribed in the Master Development Plan, but shall be presented at Development Plan submittal. These images are prototypes only and do not represent specific form, massing or material requirements.

Each village in the Highlands will have its own unique architectural style. Architectural design presented in each Development Plan will be reviewed by the Design Review Committee.

MFR







These architectural concepts are prototypes only and are included to demonstrate a variety of potential applications. The land owner/developer retains the right to modify or disregard any and/or all concepts and program elements featured in this diagram. Architecture for each village will be presented in each Village Development Plan.

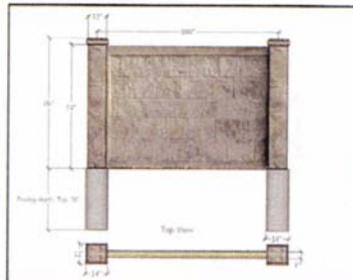
FENCING AND WALLS



The boundary for the Highlands should be a soft transition between parcels that consists primarily of landscape buffer. However various conditions may occur where a fence, wall or other type of physical barrier is required. These fencing guidelines are intended to unify the design of fences and walls within a comprehensive theme.

STRATEGIES:

- 1) The overall design of Highlands strongly emphasizes open styles of fencing, especially along roadways and surrounding neighborhoods.
- 2) Solid fences are not appropriate except in between houses and between different land uses.
- 3) Open styles are considered to be those that emphasize the use of natural materials such as wood with architectural detailing, iron fencing between solid pilasters, and which utilize natural colors, such as brown, gray or green.
- 4) Any fence or wall must be designed to be compatible with the architecture of the immediate area, and are subject to Design Review.
- 5) The design of fences and walls must harmonize with the site and with the buildings in both scale and materials.
- 6) The placement of walls and fences must respect existing land forms and follow existing contours and fit into existing land masses rather than arbitrarily following site boundary lines.
- 7) Fencing must not dominate the buildings or the landscape. Plantings may often be integrated with fencing schemes to soften the visual impact. Fencing materials must be compatible with the materials and color of surrounding buildings.
- 8) If the ground slopes, the fence must be stepped.
- 9) Permanent chain link, livestock wire, plywood, chain and bollard are prohibited.
- 10) All fences, walls, gates & pylons require Design Review. Fences that replace, in kind, existing fencing of less than 100 linear feet, do not require a permit. Additionally, fences over six feet in height, electric gates and all retaining walls will require a building permit.



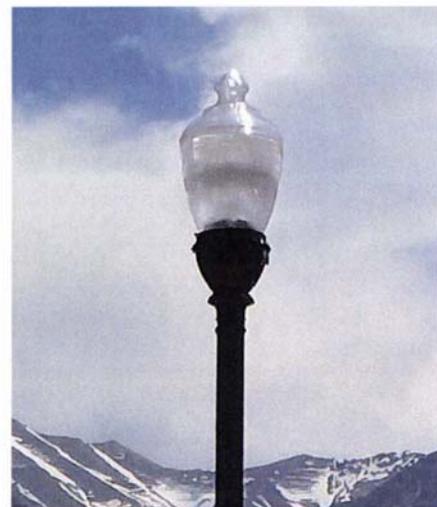
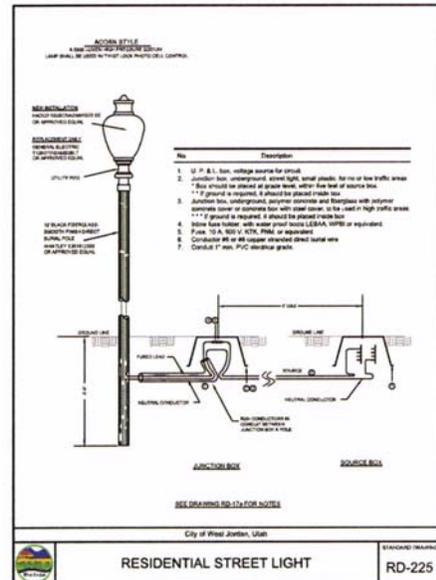
It is the intent of the Highlands to maintain a small village atmosphere with the need to provide for the safe movement of vehicles and people in all communities. To meet this intent, recommended lighting levels are to be defined at minimum levels to provide public safety and at the same time enhance the appeal of buildings and landscaping and to protect the desired atmosphere of the community.

An appropriate hierarchy of lighting fixtures/structures and intensity must be considered when designing the lighting for the various elements of a project (i.e., building and site entrances, walkways, parking areas, or other areas of the site).

Light Fixtures will conform with City of West Jordan Standards. Lighting requirements are found in the West Side Planning Area – Zoning Districts Sec. 89-3-1107. Pedestrian scale and consistent, architectural street lighting.

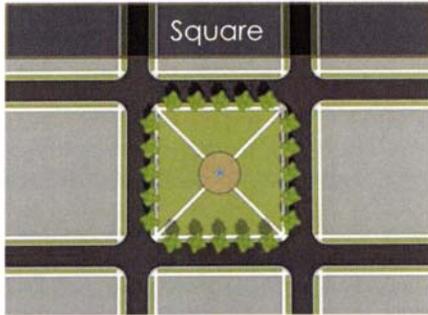
The use of exterior lighting to accent a building's architecture is encouraged. All lighting fixtures will be properly shielded to eliminate light and glare from impacting adjacent properties, and passing vehicles or pedestrians. If neon tubing is used to illuminate portions of a building it must be concealed from view through the use of parapets, cornices or ledges. Small portions of exposed neon tubing may be used to add a special effect to a building's architecture but this must be well thought out and integrated into the overall design of the project.

To achieve the desired lighting level for parking and pedestrian areas, the use of more short, low intensity fixtures is encouraged over the use of a few tall fixtures that illuminate large areas.



PUBLIC AND PRIVATE USE AREAS

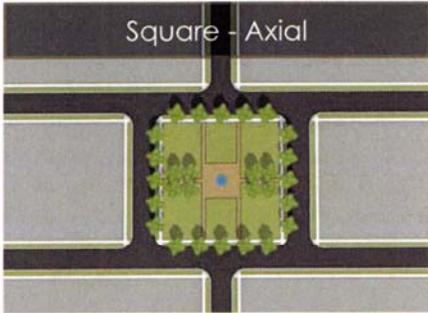
The following diagrams demonstrate the potential prototypical public and private use areas within the Highlands. The actual location of individual areas in each village will be determined within each Village Development Plan.



Green: An open space amenity used for active and passive recreation and may be spatially defined by roads or building and/or road frontage.

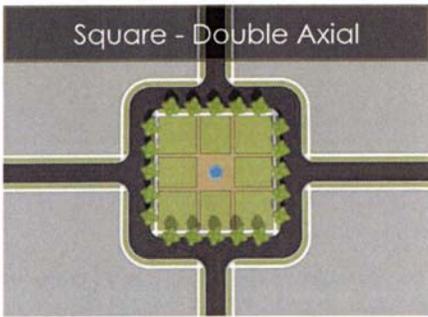
Square: An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage.

Arterial Buffer: A multipurpose open space amenity used for passive recreation. Buffers also provide visual relief for properties adjacent to major roads.



Close: A semi-public open space used for passive recreation by residents living in adjacent buildings.

Square - Axial: An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage and located to cause interruption and visual termination of a thoroughfare. Two one-way streets allow for traffic to flow on either side of the square.



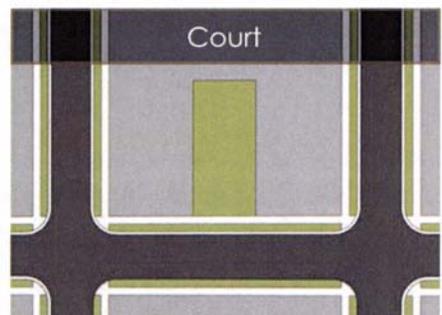
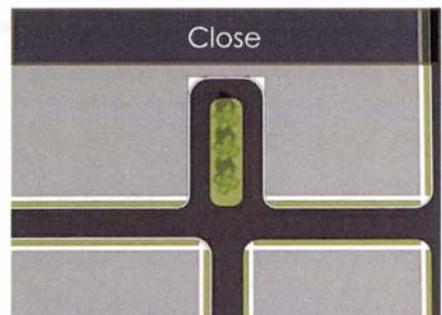
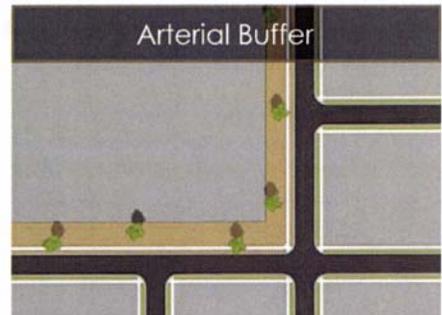
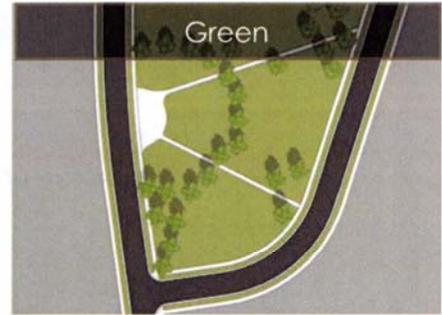
Square - Double Axial: An open space amenity used for passive recreation and civic purposes. A square is spatially defined by building frontage and located to cause interruption and visual termination of two thoroughfares. Two-way streets allow for traffic to flow around the square.



Court: A semi-public open space amenity used for passive recreation by residents living in abutting lots.

Plaza: An open space amenity used for commercial and civic purposes. A plaza is spatially defined by building frontage and generally consist of hardscape material.

Playground or Pocket Park: An open space amenity used for active and passive recreation. They are spatially defined by buildings because in most cases they are located within a block.



LANDSCAPING - GENERAL AREAS

(Streetscape, Washes, Entrances, Buffers, Parks)

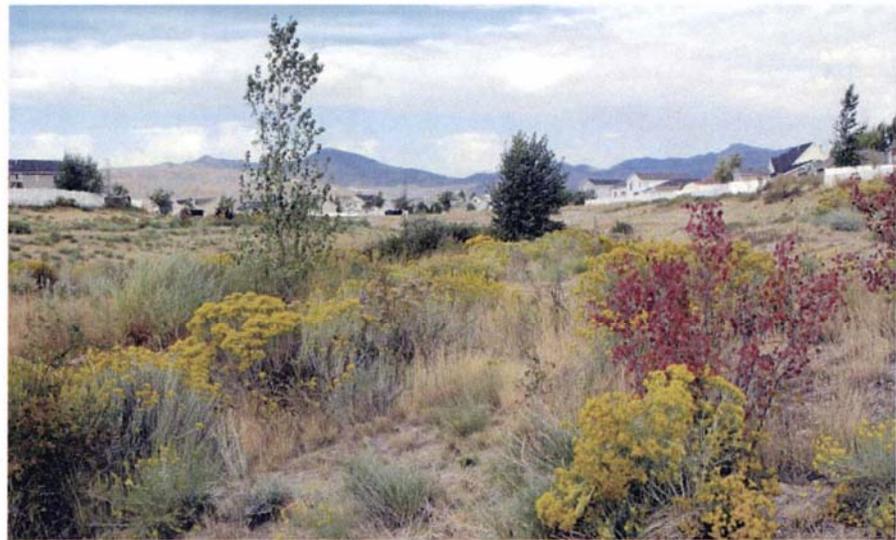


The Highlands Conceptual Site Plan shows a minimum of 20% open space for the overall development. Open space in the form of trails, parks, and landscape buffers are spread throughout the plan to provide recreation areas and areas of visual interest for each village.

Streetscapes – The first village to develop along any road shall determine how the rest of that streetscape shall be installed in order to form a uniform streetscape along contiguous sections of roadway. All plantings shall adhere to Municipal Code Sec. 13-13-8 – Park Strips and streetscapes.



Trails – Trails will be installed as dictated by the Trails criterion within the West Side Planning Area (Sec 13-5J-6). Trails that are shown on the West Jordan Trails Master Plan and on the General Land Use Map as public trails will be constructed by the developer and maintained through the Highlands Special Assessment Area (SAA). The primary drainage corridor and 50' of property offset from top of bank on both sides of the wash/creek, as dictated by the aforementioned code, will be maintained by the SAA as well as the trail itself. The wash shall remain natural and non-irrigated other than "hot-spots" as spelled out in the Pedestrian Circulation portion of this document. These hot-spots may be irrigated and maintained by the adjacent village's HOA or by the Highlands SAA, as determined in each village's Preliminary Development Plan. The remaining natural wash will require selective mowing twice a year, which will be maintained through the SAA.



Parks – Parks are to be incorporated into the layout and design of the villages and not installed as an afterthought. They are to be used as gathering places, recreation areas, and in many instances hold the key amenities that give character to a particular village. Parks are to be maintained by HOAs created by each village or by the SAA for the overall community.

The maintenance of each park will be determined at Site Plan submittal.



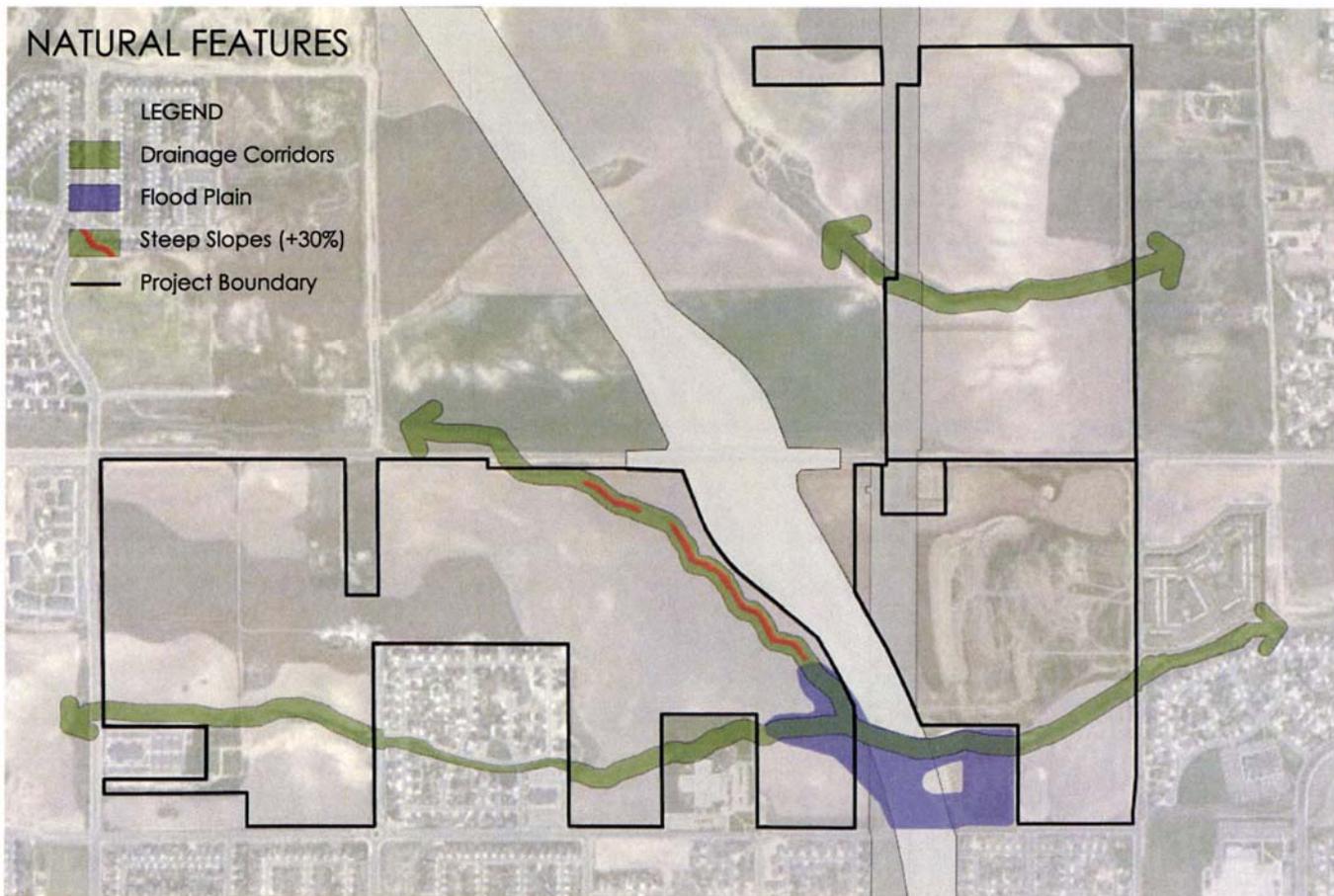
Landscape Buffers – There are 2 widths of landscape buffers: 32' and 8'. All landscaping installed within this landscape buffer shall be in accordance with Sec 13-5J-6 – Provision of a landscape buffer on major right-of-ways, eliminating double-fronting lots and Sec 13-13-8 – Park Strips and streetscapes of the Municipal Code.



DRAINAGE CORRIDORS, FLOOD PLAIN, AND STEEP SLOPES

The diagram below depicts the drainage ways that cross the property and the corresponding potential flood plain locations.

There are very few areas with steep slopes within the Highlands. Steep slopes, as defined by Municipal Code Sec. 13-6D-4-G, are those that exceed 30%. These small areas are confined to the Clay Hollow drainage corridor and are also depicted on the exhibit below.



PROCESS FOR SUBSEQUENT SUBMITTALS

The next step in the submittal process will be to submit a Preliminary Development Plan for each village in the Highlands. These Preliminary Development Plans will follow the required checklist included in the WSPA code Section 13-5J-10 Development Plan Process, and will include a Preliminary Site Plan and Preliminary Plat. Each village needs to meet the required percentage of buy-up for the number of units shown on the Preliminary Site Plan. The Highlands Master Development Plan will act as a general guide in determining the amenities for buy-up. However, changes to the type of amenities and percent of amenities as shown in this document can be altered in Village Preliminary Development Plans.

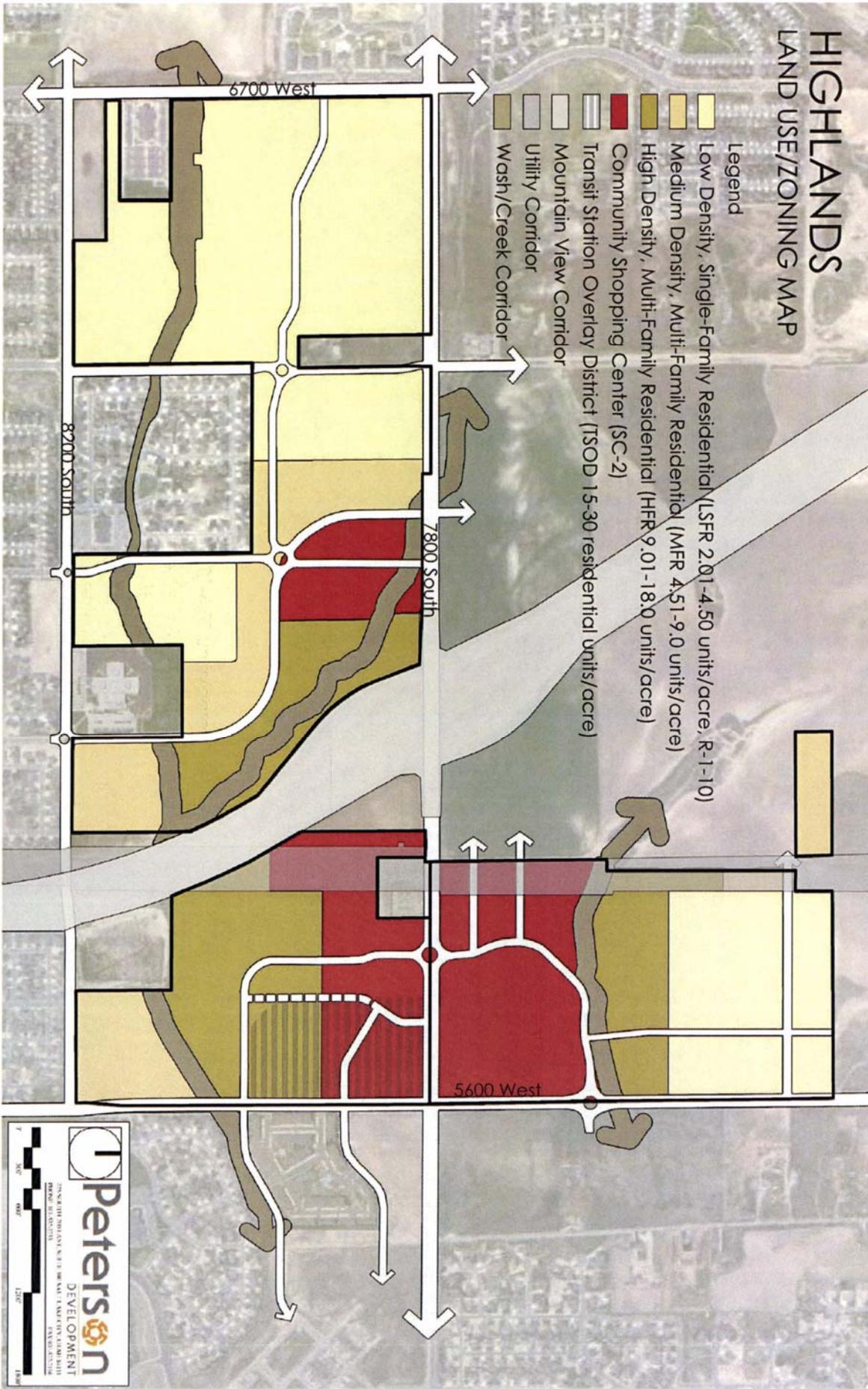
The submittal checklist will include the following:

- a. Minimum and average lot area
- b. Minimum and average lot width
- c. Minimum living area per each proposed structure type
- d. Maximum and average height of each proposed structure type
- e. Explanation of how zoning requirements are being met
- f. Number and placement of each dwelling/structure type
- g. Direct reference on the plan to specific building elevations
- h. Fencing/wall placement, height, type, maintenance responsibilities, and elevations
- i. Lighting placement, height, type, maintenance responsibilities, and elevations
- j. Public and private use areas; explaining which areas will be used privately or publicly; including general recreation areas, native/unimproved open space, improved parks, schools, and public utility areas (storm water ponds). And the maintenance of each area.
- k. Explaining the landscaping; including the locations, amount, purpose, and maintenance
- l. List any proposed reimbursements
- m. Detailed renderings of the following:
 - i. Existing land use and zoning surrounding the proposed development
 - ii. Exterior perspectives or exterior elevations of all sides of proposed residential or mixed use buildings, structures, monuments, and gateway features.
 - iii. All residential development must show the proposed building envelopes for every lot, inclusive of lot dimensions, building footprint and lot area
 - iv. Street layout system
 - v. Parking layout showing parking stalls, ingress and egress areas, emergency lanes, medians
 - vi. If applicable, the location of existing services
 - vii. Copy of the preliminary site plan
 - viii. Copy of the preliminary subdivision plat
- n. An electronic copy of all submitted information on a CD in .pdf file format.

HIGHLANDS LAND USE/ZONING MAP

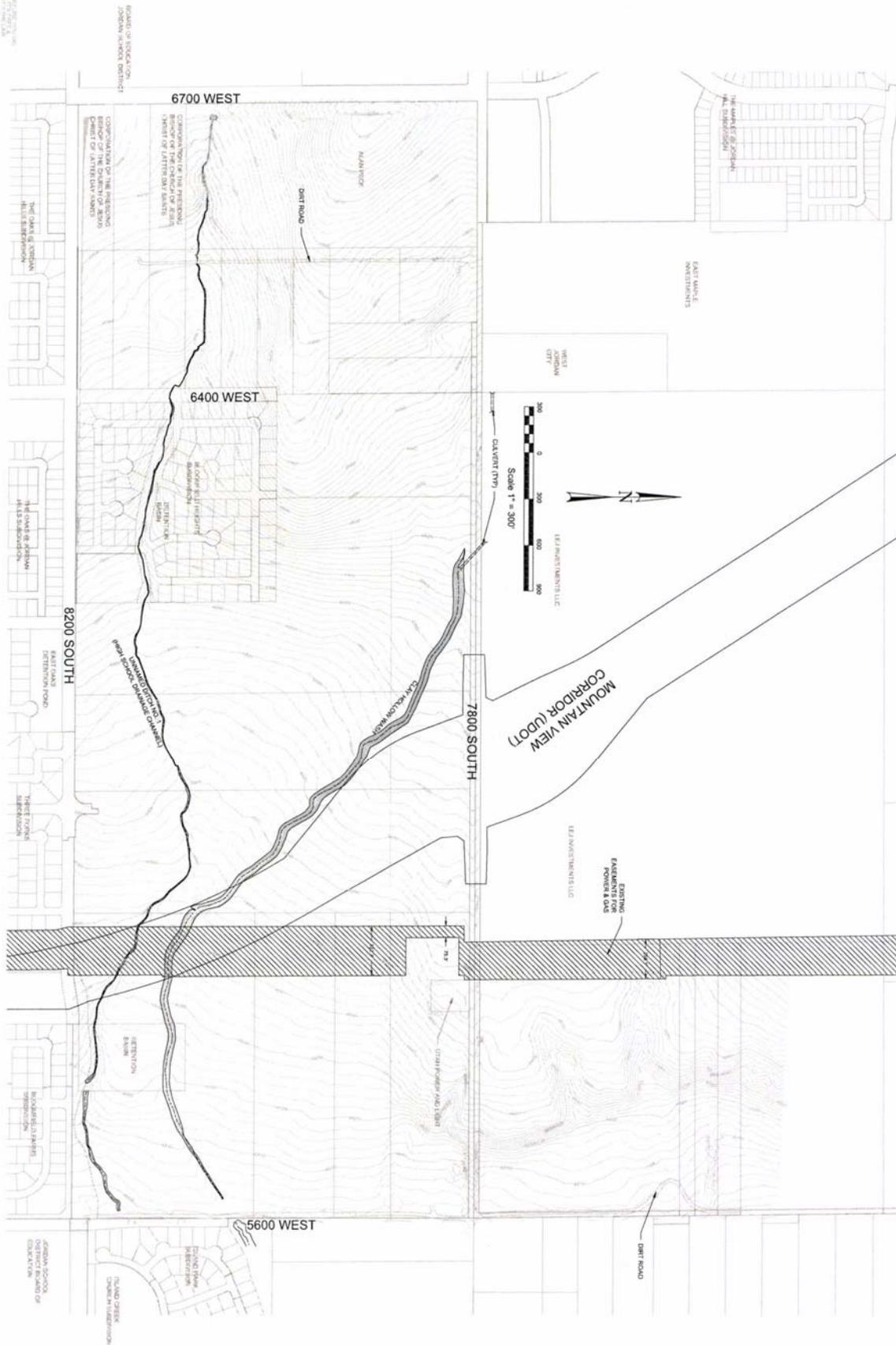
Legend

-  Low Density, Single-Family Residential (LSFR 2.01-4.50 units/acre, R-1-10)
-  Medium Density, Multi-Family Residential (MFR 4.51-9.0 units/acre)
-  High Density, Multi-Family Residential (HFR 9.01-18.0 units/acre)
-  Community Shopping Center (SC-2)
-  Transit Station Overlay District (TSOD 15-30 residential units/acre)
-  Mountain View Corridor
-  Utility Corridor
-  Wash/Creek Corridor




Petersen
DEVELOPMENT

THE SPUR HIGHLANDS, 6700 WEST, 7800 SOUTH, 8200 SOUTH, 5600 WEST, 1500 WEST, 1200 WEST, 900 WEST, 600 WEST, 300 WEST, 0 WEST



SHEET
EX-C1

REVISIONS

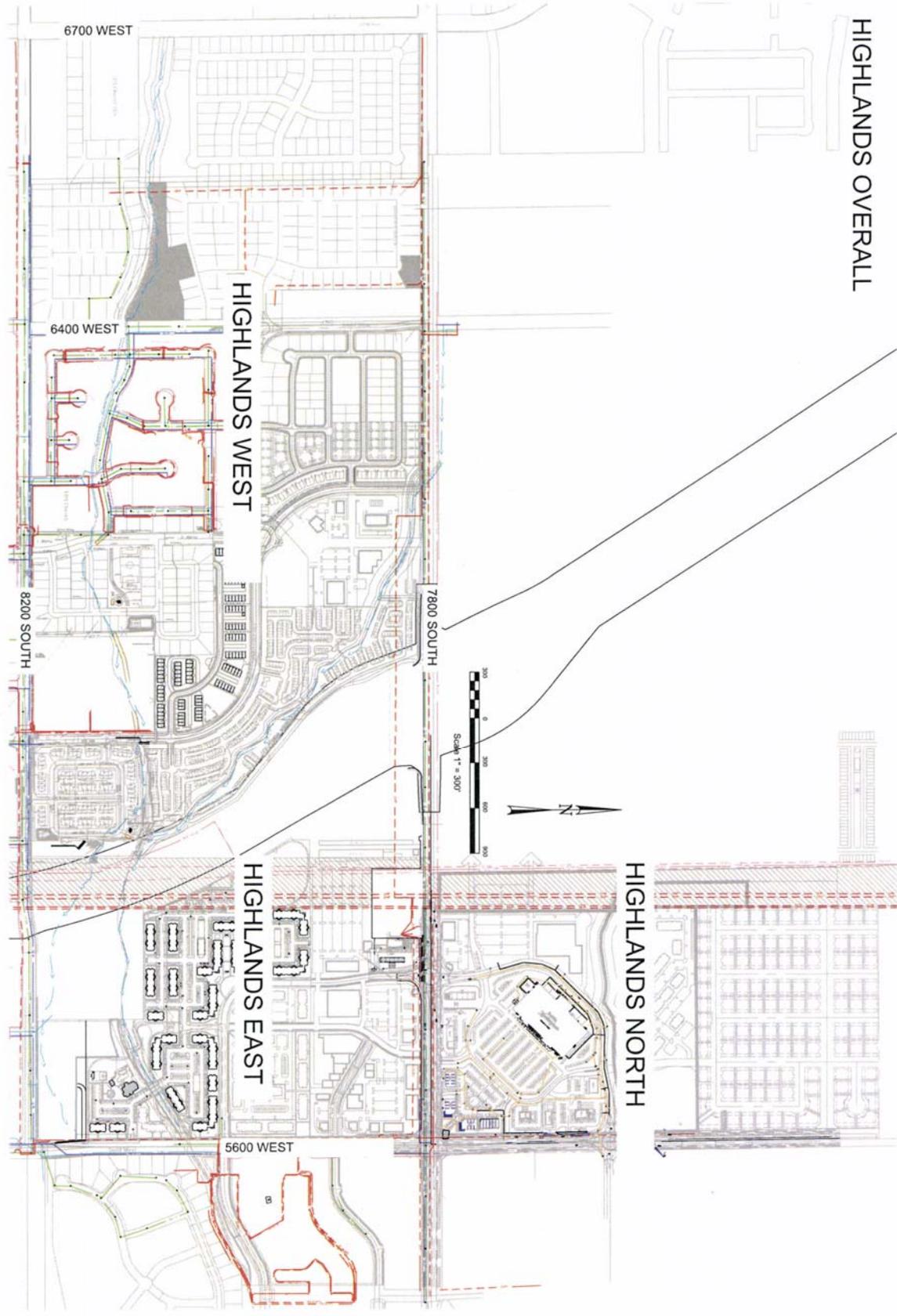
DRAWN BY: **AJS**
 DESIGN BY: **AJS**
 CHECKED BY: **BHT**
 DATE: **05/21/15**

CLIENT: **PETERSON DEVELOPMENT**
 DWG: **Surface Features Map**
 JOB NO: **PET033-12**
PLEASE SCALE THIS DRAWING ACCORDING TO THE SCALE IN THE TITLE BLOCK. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.

1370 South West Temple Salt Lake City, Utah 84115

Ward Engineering Group
 Planning Engineering Surveying
 PH: 801.487.8040 FX: 801.487.8668

Highland Predevelopment Plan
West Jordan City, UT
EXISTING LAND FEATURES MAP



HIGHLANDS OVERALL

HIGHLANDS WEST

HIGHLANDS EAST

HIGHLANDS NORTH

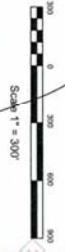
6700 WEST

6400 WEST

8200 SOUTH

7800 SOUTH

5600 WEST



EX-C2

NO.	DATE	DESCRIPTION

DRAWN BY: **AJS**
 DESIGN BY: **AJS**
 CHECKED BY: **BHT**
 DATE: **5/21/15**

CLIENT: **PETERSON DEVELOPMENT**
 DWG: **EXISTING SERVICES MAP**
 JOB No: **PET033-12**
UNLESS OTHERWISE SPECIFIED, DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.

1370 South West Temple Salt Lake City, Utah 84115
Ward Engineering Group
 Planning Engineering Surveying
 PH: 801-487-8040 FAX: 801-487-8668

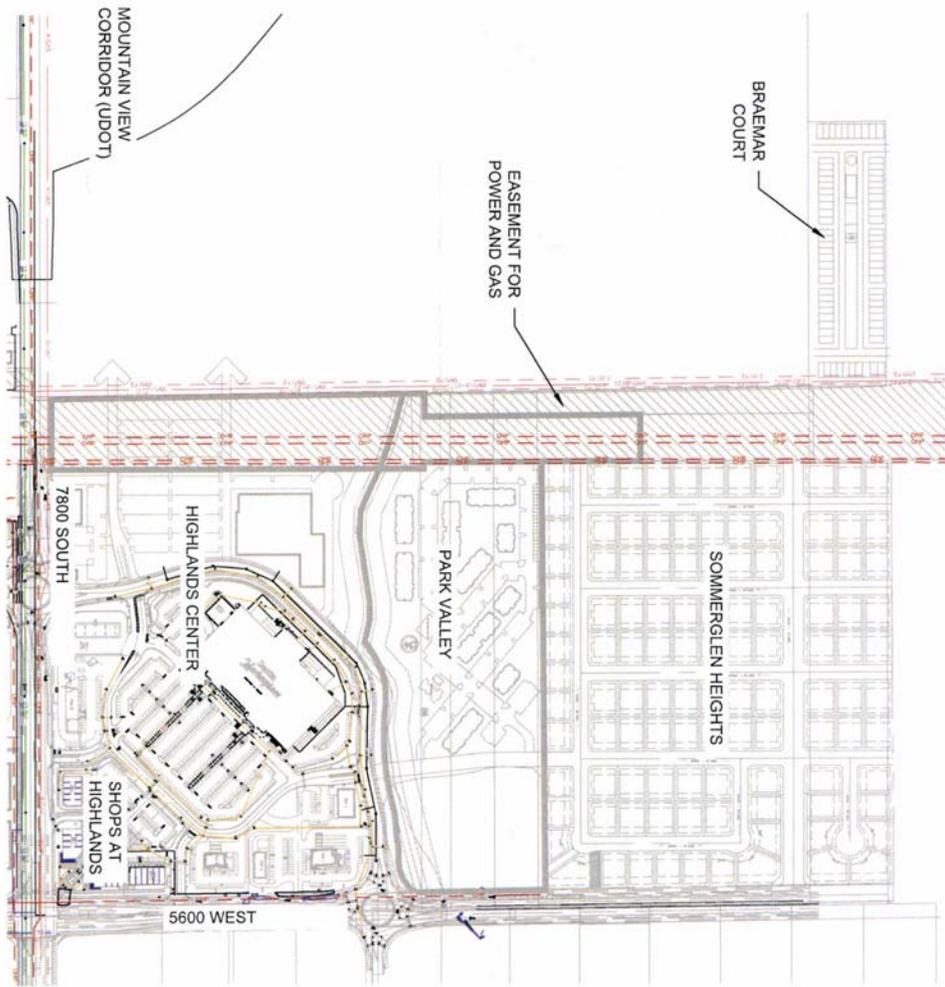
Highland Predevelopment Plan
 West Jordan City, UT
EXISTING SERVICES MAP - OVERALL

HIGHLANDS EAST

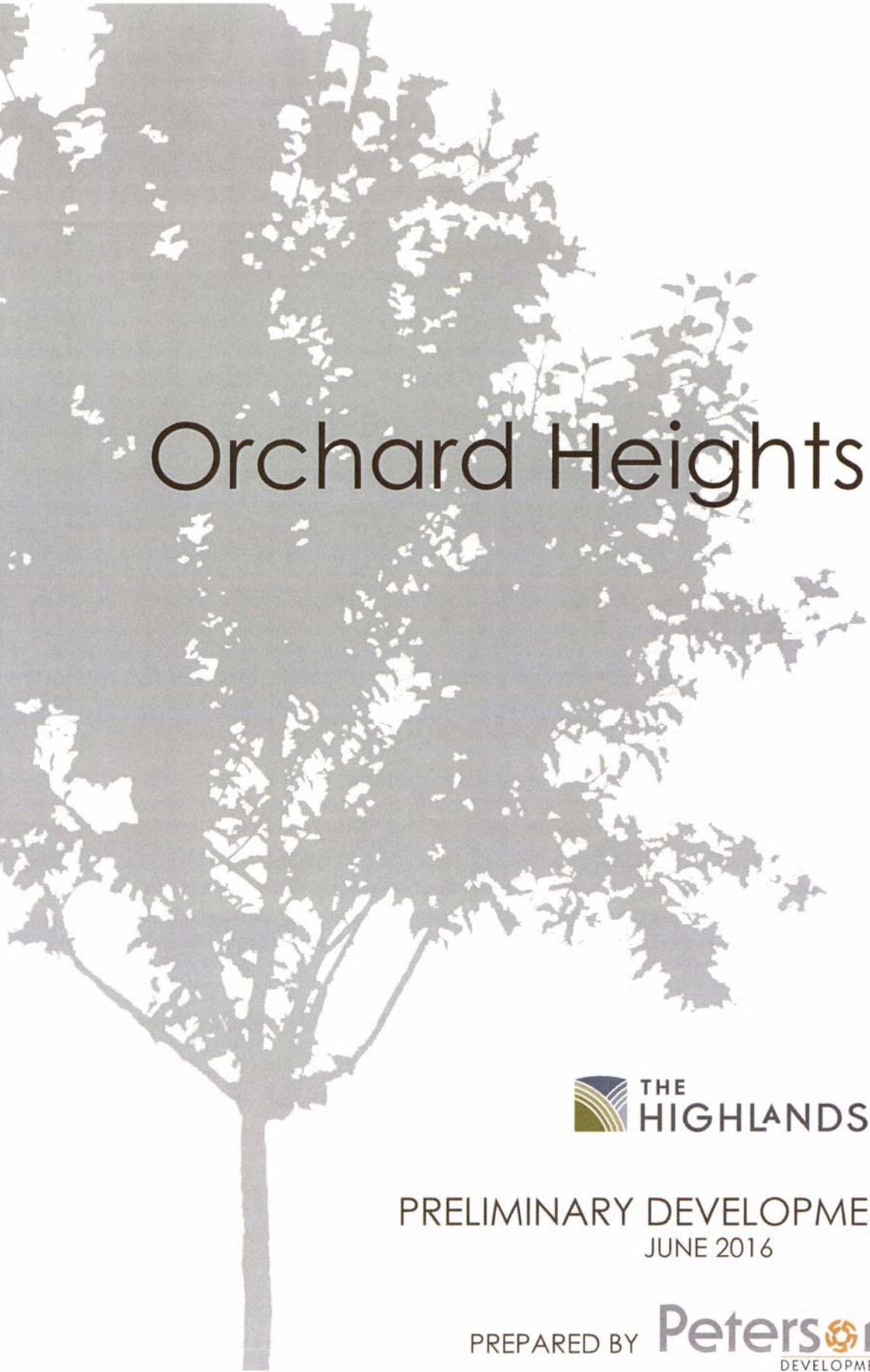
LEGEND	
	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 1" HP GAS
	EXISTING 2" GAS
	EXISTING 4" GAS
	EXISTING 6" GAS
	EXISTING 8" GAS
	EXISTING 10" GAS
	EXISTING 12" GAS
	EXISTING 14" GAS
	EXISTING 16" GAS
	EXISTING 18" GAS
	EXISTING 20" GAS
	EXISTING GAS SIZE UNKNOWN
	EXISTING 12" SEWER
	EXISTING 14" SEWER
	EXISTING 16" SEWER
	EXISTING 18" SEWER
	EXISTING 20" SEWER
	EXISTING 24" SEWER
	EXISTING 30" SEWER
	EXISTING 36" SEWER
	EXISTING 42" SEWER
	EXISTING 48" SEWER
	EXISTING 54" SEWER
	EXISTING 60" SEWER
	EXISTING 72" SEWER
	EXISTING 84" SEWER
	EXISTING 96" SEWER
	EXISTING 108" SEWER
	EXISTING 120" SEWER
	EXISTING 144" SEWER
	EXISTING 180" SEWER
	EXISTING 216" SEWER
	EXISTING 252" SEWER
	EXISTING 300" SEWER
	EXISTING 360" SEWER
	EXISTING 420" SEWER
	EXISTING 480" SEWER
	EXISTING 540" SEWER
	EXISTING 600" SEWER
	EXISTING 720" SEWER
	EXISTING 840" SEWER
	EXISTING 960" SEWER
	EXISTING 1080" SEWER
	EXISTING 1200" SEWER
	EXISTING 1440" SEWER
	EXISTING 1800" SEWER
	EXISTING 2160" SEWER
	EXISTING 2520" SEWER
	EXISTING 3000" SEWER
	EXISTING 3600" SEWER
	EXISTING 4200" SEWER
	EXISTING 4800" SEWER
	EXISTING 5400" SEWER
	EXISTING 6000" SEWER
	EXISTING 7200" SEWER
	EXISTING 8400" SEWER
	EXISTING 9600" SEWER
	EXISTING 10800" SEWER
	EXISTING 12000" SEWER
	EXISTING 14400" SEWER
	EXISTING 18000" SEWER
	EXISTING 21600" SEWER
	EXISTING 25200" SEWER
	EXISTING 30000" SEWER
	EXISTING 36000" SEWER
	EXISTING 42000" SEWER
	EXISTING 48000" SEWER
	EXISTING 54000" SEWER
	EXISTING 60000" SEWER
	EXISTING 72000" SEWER
	EXISTING 84000" SEWER
	EXISTING 96000" SEWER
	EXISTING 108000" SEWER
	EXISTING 120000" SEWER
	EXISTING 144000" SEWER
	EXISTING 180000" SEWER
	EXISTING 216000" SEWER
	EXISTING 252000" SEWER
	EXISTING 300000" SEWER
	EXISTING 360000" SEWER
	EXISTING 420000" SEWER
	EXISTING 480000" SEWER
	EXISTING 540000" SEWER
	EXISTING 600000" SEWER
	EXISTING 720000" SEWER
	EXISTING 840000" SEWER
	EXISTING 960000" SEWER
	EXISTING 1080000" SEWER
	EXISTING 1200000" SEWER
	EXISTING 1440000" SEWER
	EXISTING 1800000" SEWER
	EXISTING 2160000" SEWER
	EXISTING 2520000" SEWER
	EXISTING 3000000" SEWER
	EXISTING 3600000" SEWER
	EXISTING 4200000" SEWER
	EXISTING 4800000" SEWER
	EXISTING 5400000" SEWER
	EXISTING 6000000" SEWER
	EXISTING 7200000" SEWER
	EXISTING 8400000" SEWER
	EXISTING 9600000" SEWER
	EXISTING 10800000" SEWER
	EXISTING 12000000" SEWER
	EXISTING 14400000" SEWER
	EXISTING 18000000" SEWER
	EXISTING 21600000" SEWER
	EXISTING 25200000" SEWER
	EXISTING 30000000" SEWER
	EXISTING 36000000" SEWER
	EXISTING 42000000" SEWER
	EXISTING 48000000" SEWER
	EXISTING 54000000" SEWER
	EXISTING 60000000" SEWER
	EXISTING 72000000" SEWER
	EXISTING 84000000" SEWER
	EXISTING 96000000" SEWER
	EXISTING 108000000" SEWER
	EXISTING 120000000" SEWER
	EXISTING 144000000" SEWER
	EXISTING 180000000" SEWER
	EXISTING 216000000" SEWER
	EXISTING 252000000" SEWER
	EXISTING 300000000" SEWER
	EXISTING 360000000" SEWER
	EXISTING 420000000" SEWER
	EXISTING 480000000" SEWER
	EXISTING 540000000" SEWER
	EXISTING 600000000" SEWER
	EXISTING 720000000" SEWER
	EXISTING 840000000" SEWER
	EXISTING 960000000" SEWER
	EXISTING 1080000000" SEWER
	EXISTING 1200000000" SEWER
	EXISTING 1440000000" SEWER
	EXISTING 1800000000" SEWER
	EXISTING 2160000000" SEWER
	EXISTING 2520000000" SEWER
	EXISTING 3000000000" SEWER
	EXISTING 3600000000" SEWER
	EXISTING 4200000000" SEWER
	EXISTING 4800000000" SEWER
	EXISTING 5400000000" SEWER
	EXISTING 6000000000" SEWER
	EXISTING 7200000000" SEWER
	EXISTING 8400000000" SEWER
	EXISTING 9600000000" SEWER
	EXISTING 10800000000" SEWER
	EXISTING 12000000000" SEWER
	EXISTING 14400000000" SEWER
	EXISTING 18000000000" SEWER
	EXISTING 21600000000" SEWER
	EXISTING 25200000000" SEWER
	EXISTING 30000000000" SEWER
	EXISTING 36000000000" SEWER
	EXISTING 42000000000" SEWER
	EXISTING 48000000000" SEWER
	EXISTING 54000000000" SEWER
	EXISTING 60000000000" SEWER
	EXISTING 72000000000" SEWER
	EXISTING 84000000000" SEWER
	EXISTING 96000000000" SEWER
	EXISTING 108000000000" SEWER
	EXISTING 120000000000" SEWER
	EXISTING 144000000000" SEWER
	EXISTING 180000000000" SEWER
	EXISTING 216000000000" SEWER
	EXISTING 252000000000" SEWER
	EXISTING 300000000000" SEWER
	EXISTING 360000000000" SEWER
	EXISTING 420000000000" SEWER
	EXISTING 480000000000" SEWER
	EXISTING 540000000000" SEWER
	EXISTING 600000000000" SEWER
	EXISTING 720000000000" SEWER
	EXISTING 840000000000" SEWER
	EXISTING 960000000000" SEWER
	EXISTING 1080000000000" SEWER
	EXISTING 1200000000000" SEWER
	EXISTING 1440000000000" SEWER
	EXISTING 1800000000000" SEWER
	EXISTING 2160000000000" SEWER
	EXISTING 2520000000000" SEWER
	EXISTING 3000000000000" SEWER
	EXISTING 3600000000000" SEWER
	EXISTING 4200000000000" SEWER
	EXISTING 4800000000000" SEWER
	EXISTING 5400000000000" SEWER
	EXISTING 6000000000000" SEWER
	EXISTING 7200000000000" SEWER
	EXISTING 8400000000000" SEWER
	EXISTING 9600000000000" SEWER
	EXISTING 10800000000000" SEWER
	EXISTING 12000000000000" SEWER
	EXISTING 14400000000000" SEWER
	EXISTING 18000000000000" SEWER
	EXISTING 21600000000000" SEWER
	EXISTING 25200000000000" SEWER
	EXISTING 30000000000000" SEWER
	EXISTING 36000000000000" SEWER
	EXISTING 42000000000000" SEWER
	EXISTING 48000000000000" SEWER
	EXISTING 54000000000000" SEWER
	EXISTING 60000000000000" SEWER
	EXISTING 72000000000000" SEWER
	EXISTING 84000000000000" SEWER
	EXISTING 96000000000000" SEWER
	EXISTING 108000000000000" SEWER
	EXISTING 120000000000000" SEWER
	EXISTING 144000000000000" SEWER
	EXISTING 180000000000000" SEWER
	EXISTING 216000000000000" SEWER
	EXISTING 252000000000000" SEWER
	EXISTING 300000000000000" SEWER
	EXISTING 360000000000000" SEWER
	EXISTING 420000000000000" SEWER
	EXISTING 480000000000000" SEWER
	EXISTING 540000000000000" SEWER
	EXISTING 600000000000000" SEWER
	EXISTING 720000000000000" SEWER
	EXISTING 840000000000000" SEWER
	EXISTING 960000000000000" SEWER
	EXISTING 1080000000000000" SEWER
	EXISTING 1200000000000000" SEWER
	EXISTING 1440000000000000" SEWER
	EXISTING 1800000000000000" SEWER
	EXISTING 2160000000000000" SEWER
	EXISTING 2520000000000000" SEWER
	EXISTING 3000000000000000" SEWER
	EXISTING 3600000000000000" SEWER
	EXISTING 4200000000000000" SEWER
	EXISTING 4800000000000000" SEWER
	EXISTING 5400000000000000" SEWER
	EXISTING 6000000000000000" SEWER
	EXISTING 7200000000000000" SEWER
	EXISTING 8400000000000000" SEWER
	EXISTING 9600000000000000" SEWER
	EXISTING 10800000000000000" SEWER
	EXISTING 12000000000000000" SEWER
	EXISTING 14400000000000000" SEWER
	EXISTING 18000000000000000" SEWER
	EXISTING 21600000000000000" SEWER
	EXISTING 25200000000000000" SEWER
	EXISTING 30000000000000000" SEWER
	EXISTING 36000000000000000" SEWER
	EXISTING 42000000000000000" SEWER
	EXISTING 48000000000000000" SEWER
	EXISTING 54000000000000000" SEWER
	EXISTING 60000000000000000" SEWER
	EXISTING 72000000000000000" SEWER
	EXISTING 84000000000000000" SEWER
	EXISTING 96000000000000000" SEWER
	EXISTING 108000000000000000" SEWER
	EXISTING 120000000000000000" SEWER
	EXISTING 144000000000000000" SEWER
	EXISTING 180000000000000000" SEWER
	EXISTING 216000000000000000" SEWER
	EXISTING 252000000000000000" SEWER
	EXISTING 300000000000000000" SEWER
	EXISTING 360000000000000000" SEWER
	EXISTING 420000000000000000" SEWER
	EXISTING 480000000000000000" SEWER
	EXISTING 540000000000000000" SEWER
	EXISTING 600000000000000000" SEWER
	EXISTING 720000000000000000" SEWER
	EXISTING 840000000000000000" SEWER
	EXISTING 960000000000000000" SEWER
	EXISTING 1080000000000000000" SEWER
	EXISTING 1200000000000000000" SEWER
	EXISTING 1440000000000000000" SEWER
	EXISTING 1800000000000000000" SEWER
	EXISTING 2160000000000000000" SEWER
	EXISTING 2520000000000000000" SEWER
	EXISTING 3000000000000000000" SEWER
	EXISTING 3600000000000000000" SEWER
	EXISTING 4200000000000000000" SEWER
	EXISTING 4800000000000000000" SEWER
	EXISTING 5400000000000000000" SEWER
	EXISTING 6000000000000000000" SEWER
	EXISTING 7200000000000000000" SEWER
	EXISTING 8400000000000000000" SEWER
	EXISTING 9600000000000000000" SEWER
	EXISTING 10800000000000000000" SEWER
	EXISTING 12000000000000000000" SEWER
	EXISTING 14400000000000000000" SEWER
	EXISTING 18000000000000000000" SEWER
	EXISTING 21600000000000000000" SEWER

HIGHLANDS NORTH

LEGEND	
	EXISTING OVERHEAD POWER
	EXISTING BURIED POWER
	EXISTING 12" IP GAS
	EXISTING 8" GAS
	EXISTING 6" GAS
	EXISTING 4" GAS
	EXISTING 2" GAS
	EXISTING 1" GAS
	EXISTING 1/2" GAS
	EXISTING 1/4" GAS
	EXISTING 1/8" GAS
	EXISTING 1/4" WATER
	EXISTING 1/2" WATER
	EXISTING 3/4" WATER
	EXISTING 1" WATER
	EXISTING 1 1/2" WATER
	EXISTING 2" WATER
	EXISTING 3" WATER
	EXISTING 4" WATER
	EXISTING 6" WATER
	EXISTING 8" WATER
	EXISTING 10" WATER
	EXISTING 12" WATER
	EXISTING 14" WATER
	EXISTING 16" WATER
	EXISTING 18" WATER
	EXISTING 20" WATER
	EXISTING 24" WATER
	EXISTING 30" WATER
	EXISTING 36" WATER
	EXISTING 42" WATER
	EXISTING 48" WATER
	EXISTING 54" WATER
	EXISTING 60" WATER
	EXISTING 72" WATER
	EXISTING 84" WATER
	EXISTING 96" WATER
	EXISTING 108" WATER
	EXISTING 120" WATER
	EXISTING 132" WATER
	EXISTING 144" WATER
	EXISTING 156" WATER
	EXISTING 168" WATER
	EXISTING 180" WATER
	EXISTING 192" WATER
	EXISTING 204" WATER
	EXISTING 216" WATER
	EXISTING 228" WATER
	EXISTING 240" WATER
	EXISTING 252" WATER
	EXISTING 264" WATER
	EXISTING 276" WATER
	EXISTING 288" WATER
	EXISTING 300" WATER
	EXISTING 312" WATER
	EXISTING 324" WATER
	EXISTING 336" WATER
	EXISTING 348" WATER
	EXISTING 360" WATER
	EXISTING 372" WATER
	EXISTING 384" WATER
	EXISTING 396" WATER
	EXISTING 408" WATER
	EXISTING 420" WATER
	EXISTING 432" WATER
	EXISTING 444" WATER
	EXISTING 456" WATER
	EXISTING 468" WATER
	EXISTING 480" WATER
	EXISTING 492" WATER
	EXISTING 504" WATER
	EXISTING 516" WATER
	EXISTING 528" WATER
	EXISTING 540" WATER
	EXISTING 552" WATER
	EXISTING 564" WATER
	EXISTING 576" WATER
	EXISTING 588" WATER
	EXISTING 600" WATER
	EXISTING 612" WATER
	EXISTING 624" WATER
	EXISTING 636" WATER
	EXISTING 648" WATER
	EXISTING 660" WATER
	EXISTING 672" WATER
	EXISTING 684" WATER
	EXISTING 696" WATER
	EXISTING 708" WATER
	EXISTING 720" WATER
	EXISTING 732" WATER
	EXISTING 744" WATER
	EXISTING 756" WATER
	EXISTING 768" WATER
	EXISTING 780" WATER
	EXISTING 792" WATER
	EXISTING 804" WATER
	EXISTING 816" WATER
	EXISTING 828" WATER
	EXISTING 840" WATER
	EXISTING 852" WATER
	EXISTING 864" WATER
	EXISTING 876" WATER
	EXISTING 888" WATER
	EXISTING 900" WATER
	EXISTING 912" WATER
	EXISTING 924" WATER
	EXISTING 936" WATER
	EXISTING 948" WATER
	EXISTING 960" WATER
	EXISTING 972" WATER
	EXISTING 984" WATER
	EXISTING 996" WATER
	EXISTING 1008" WATER
	EXISTING 1020" WATER
	EXISTING 1032" WATER
	EXISTING 1044" WATER
	EXISTING 1056" WATER
	EXISTING 1068" WATER
	EXISTING 1080" WATER
	EXISTING 1092" WATER
	EXISTING 1104" WATER
	EXISTING 1116" WATER
	EXISTING 1128" WATER
	EXISTING 1140" WATER
	EXISTING 1152" WATER
	EXISTING 1164" WATER
	EXISTING 1176" WATER
	EXISTING 1188" WATER
	EXISTING 1200" WATER
	EXISTING 1212" WATER
	EXISTING 1224" WATER
	EXISTING 1236" WATER
	EXISTING 1248" WATER
	EXISTING 1260" WATER
	EXISTING 1272" WATER
	EXISTING 1284" WATER
	EXISTING 1296" WATER
	EXISTING 1308" WATER
	EXISTING 1320" WATER
	EXISTING 1332" WATER
	EXISTING 1344" WATER
	EXISTING 1356" WATER
	EXISTING 1368" WATER
	EXISTING 1380" WATER
	EXISTING 1392" WATER
	EXISTING 1404" WATER
	EXISTING 1416" WATER
	EXISTING 1428" WATER
	EXISTING 1440" WATER
	EXISTING 1452" WATER
	EXISTING 1464" WATER
	EXISTING 1476" WATER
	EXISTING 1488" WATER
	EXISTING 1500" WATER
	EXISTING 1512" WATER
	EXISTING 1524" WATER
	EXISTING 1536" WATER
	EXISTING 1548" WATER
	EXISTING 1560" WATER
	EXISTING 1572" WATER
	EXISTING 1584" WATER
	EXISTING 1596" WATER
	EXISTING 1608" WATER
	EXISTING 1620" WATER
	EXISTING 1632" WATER
	EXISTING 1644" WATER
	EXISTING 1656" WATER
	EXISTING 1668" WATER
	EXISTING 1680" WATER
	EXISTING 1692" WATER
	EXISTING 1704" WATER
	EXISTING 1716" WATER
	EXISTING 1728" WATER
	EXISTING 1740" WATER
	EXISTING 1752" WATER
	EXISTING 1764" WATER
	EXISTING 1776" WATER
	EXISTING 1788" WATER
	EXISTING 1800" WATER
	EXISTING 1812" WATER
	EXISTING 1824" WATER
	EXISTING 1836" WATER
	EXISTING 1848" WATER
	EXISTING 1860" WATER
	EXISTING 1872" WATER
	EXISTING 1884" WATER
	EXISTING 1896" WATER
	EXISTING 1908" WATER
	EXISTING 1920" WATER
	EXISTING 1932" WATER
	EXISTING 1944" WATER
	EXISTING 1956" WATER
	EXISTING 1968" WATER
	EXISTING 1980" WATER
	EXISTING 1992" WATER
	EXISTING 2004" WATER
	EXISTING 2016" WATER
	EXISTING 2028" WATER
	EXISTING 2040" WATER
	EXISTING 2052" WATER
	EXISTING 2064" WATER
	EXISTING 2076" WATER
	EXISTING 2088" WATER
	EXISTING 2100" WATER
	EXISTING 2112" WATER
	EXISTING 2124" WATER
	EXISTING 2136" WATER
	EXISTING 2148" WATER
	EXISTING 2160" WATER
	EXISTING 2172" WATER
	EXISTING 2184" WATER
	EXISTING 2196" WATER
	EXISTING 2208" WATER
	EXISTING 2220" WATER
	EXISTING 2232" WATER
	EXISTING 2244" WATER
	EXISTING 2256" WATER
	EXISTING 2268" WATER
	EXISTING 2280" WATER
	EXISTING 2292" WATER
	EXISTING 2304" WATER
	EXISTING 2316" WATER
	EXISTING 2328" WATER
	EXISTING 2340" WATER
	EXISTING 2352" WATER
	EXISTING 2364" WATER
	EXISTING 2376" WATER
	EXISTING 2388" WATER
	EXISTING 2400" WATER
	EXISTING 2412" WATER
	EXISTING 2424" WATER
	EXISTING 2436" WATER
	EXISTING 2448" WATER
	EXISTING 2460" WATER
	EXISTING 2472" WATER
	EXISTING 2484" WATER
	EXISTING 2496" WATER
	EXISTING 2508" WATER
	EXISTING 2520" WATER
	EXISTING 2532" WATER
	EXISTING 2544" WATER
	EXISTING 2556" WATER
	EXISTING 2568" WATER
	EXISTING 2580" WATER
	EXISTING 2592" WATER
	EXISTING 2604" WATER
	EXISTING 2616" WATER
	EXISTING 2628" WATER
	EXISTING 2640" WATER
	EXISTING 2652" WATER
	EXISTING 2664" WATER
	EXISTING 2676" WATER
	EXISTING 2688" WATER
	EXISTING 2700" WATER
	EXISTING 2712" WATER
	EXISTING 2724" WATER
	EXISTING 2736" WATER
	EXISTING 2748" WATER
	EXISTING 2760" WATER
	EXISTING 2772" WATER
	EXISTING 2784" WATER
	EXISTING 2796" WATER
	EXISTING 2808" WATER
	EXISTING 2820" WATER
	EXISTING 2832" WATER
	EXISTING 2844" WATER
	EXISTING 2856" WATER
	EXISTING 2868" WATER
	EXISTING 2880" WATER
	EXISTING 2892" WATER
	EXISTING 2904" WATER
	EXISTING 2916" WATER
	EXISTING 2928" WATER
	EXISTING 2940" WATER
	EXISTING 2952" WATER
	EXISTING 2964" WATER
	EXISTING 2976" WATER
	EXISTING 2988" WATER
	EXISTING 3000" WATER



SHEET EX-C5	REVISIONS <table border="1"> <tr><td> </td><td> </td></tr> </table>											DRAWN BY: AJS DESIGN BY: AJS CHECKED BY: BHT DATE: 05/21/15	CLIENT: PETERSON DEVELOPMENT DWG: EXISTING SERVICES MAP JOB No: PET833-12 <small>© 2015 PETERSON DEVELOPMENT. ALL RIGHTS RESERVED.</small>	1370 South West Temple Salt Lake City, Utah 84115 Ward Engineering Group Planning Engineering Surveying PH: 801.487.8040 FX: 801.487.8668	Highland Predevelopment Plan West Jordan City, UT Existing Services Map - Highlands North



Orchard Heights



PRELIMINARY DEVELOPMENT PLAN
JUNE 2016

PREPARED BY **Peterson**
DEVELOPMENT

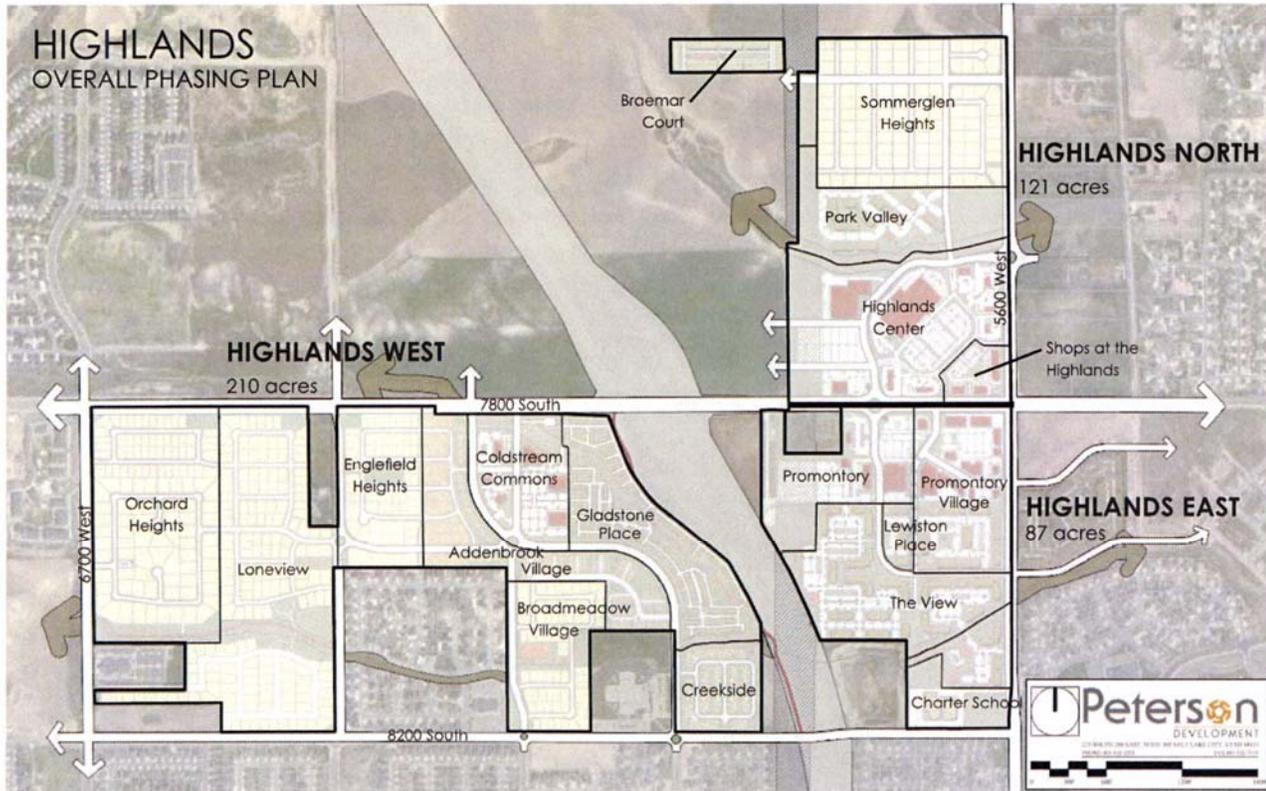
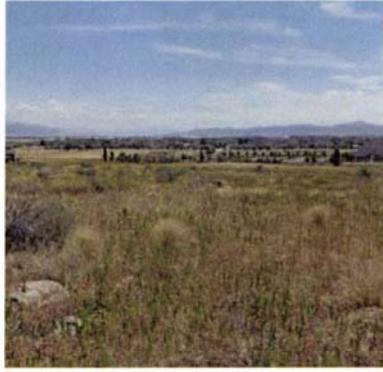
ORCHARD HEIGHTS PRELIMINARY DEVELOPMENT PLAN

CONTENTS	
ORCHARD HEIGHTS - OVERVIEW	5
LAND USE AND ZONING	6
ZONING REGULATIONS	6
ORCHARD HEIGHTS - PROJECT DETAILS	7
PHASING	7
PROPOSED DENSITY BUY-UP	8
IMPROVEMENT/AMENITIES INSTALLATION	9
IMPROVEMENT/AMENITIES INSTALLATION	10
IMPROVEMENT/AMENITIES INSTALLATION	11
BUILDINGS AND STRUCTURES	12
BUILDINGS AND STRUCTURES (PHASES 1-3)	13
BUILDINGS AND STRUCTURES (PHASES 4-5)	14
BUILDINGS AND STRUCTURES (PHASES 4-5)	15
HIGHLANDS OVERALL OPEN SPACE	16
LANDSCAPING	16
FENCING AND WALLS	17
LIGHTING	18
EXISTING AND PROPOSED UTILITIES	18
PUBLIC AND PRIVATE USE AREAS	19
GRADING AND DRAINAGE	19
IMPROVEMENTS FOR REIMBURSEMENT	19
APPENDIX	21

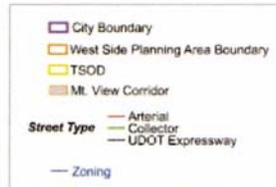
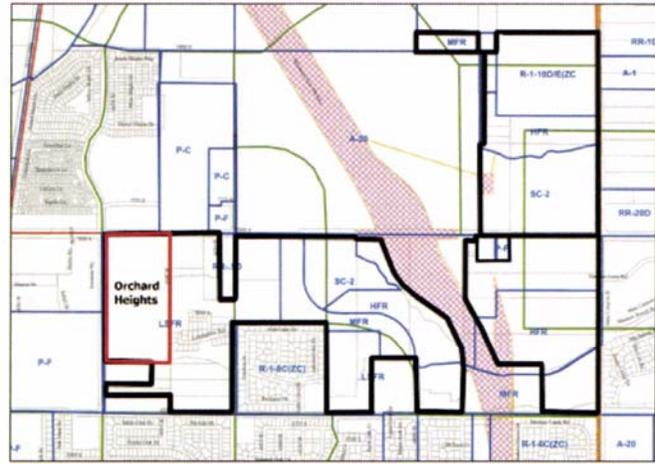
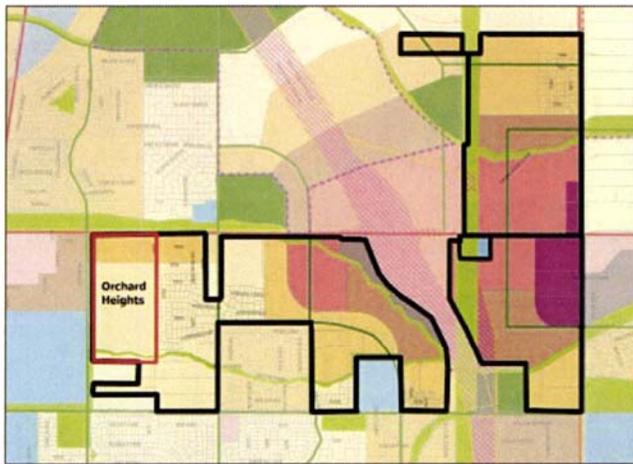
ORCHARD HEIGHTS - OVERVIEW

Orchard Heights lies within the Highlands Master Planned Community in West Jordan City, Utah and is in the Highlands West Community located directly east of 6700 West and south of 7800 South. The development is bordered to the south by an LDS Church building and to the east by Loneview, a low density, single family residential community, also part of the Highlands Master Planned Community.

The property is currently vacant undeveloped property with some native vegetation consisting of short grasses and natural brush. There is a ridge running from west to east at approximately the middle of the property. The land slopes to the north, east, and to the south from this ridge at approximately 8% grades and then tapers to 5-6% grades. This ridge makes for tremendous views of the Salt Lake Valley and of the Wasatch Mountains in the distance. High School Wash (or Unnamed Wash) runs along the southern portion of this property. An ALTA survey, included in the Appendix, shows the existing land features.



LAND USE AND ZONING



Orchard Heights is within the Low Density, Single-Family Residential (LSFR) zone found within the Highlands Master Planned Community/West Side Planning Area (WSPA). This zone is established to promote and encourage a quality living environment and to provide for increased service efficiency of conventional single-family residential neighborhoods on land that is closer to cultural, commercial, office and/or industrial corridors and nodes. The density ranges from 2.01 to 4.50 dwelling units per acre. A project is eligible for increased density, to the maximum density allowed within a zone, by installing specific approved amenities within the defined boundary of the development. The specific amenities for this project will be explained in detail in this document.

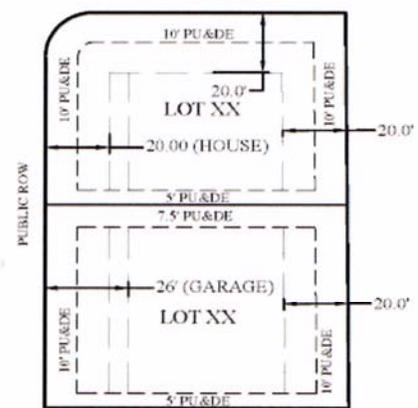
ZONING REGULATIONS

LOW DENSITY SINGLE FAMILY (LSFR) ZONING REGULATIONS:

- Building Height: 30 feet
- Front Setback: 20 feet
- Front Setback to Garage: 26 feet
- Side Setbacks: 5 feet on one side, 7.5 feet on the opposite side
- Side Corner Setback: 20 feet, 35 feet when abutting an arterial street
- Rear Setback: 20 feet, 35 feet when abutting an arterial or collector street
- Minimum Frontage at Building Setback: 56 feet for 2 car garage, 70 feet for 3 car garage, 65 feet for side load garage

Minimum lot area for all single-family corner lots shall be a minimum of one thousand (1,000) square feet greater than the average lot size of all interior/non-corner lots for the project.

Regarding phases 4 and 5, no more than seventy-five percent (75%) of a single-family residential lot shall be covered by a principal and accessory structure in the WSPA.



NOTE:
REAR AND SIDE SETBACKS ABUTTING AN ARTERIAL AND COLLECTOR ROAD SHALL BE 35'

TYPICAL SET BACK DETAIL

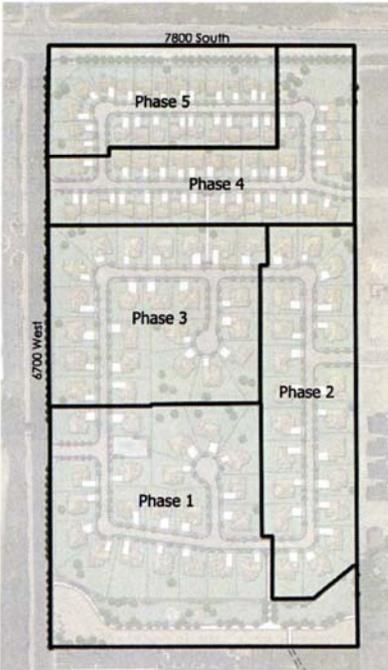
NTS

ORCHARD HEIGHTS - PROJECT DETAILS

Gross Acres: 41.37 Acres
Net Acres: 39.32
Zoning: LSFR
Land Use: Low Density Residential
Units at Base Density (2.01): 79
Units at Maximum Density (4.5): 177
Proposed Density Buy-up: 61%
Density Allowed with Buy-up: 3.24
Units Allowed with Buy-up: 127
Proposed Units: 119
Proposed Density: 3.03 Units Per Acre
Open Space: 5.12 Acres (13.0%)

PHASING

Phase 1 - 21 Lots
Phase 2 - 21 Lots
Phase 3 - 23 Lots
Phase 4 - 31 Lots
Phase 5 - 23 Lots
Total - 119 Lots



Orchard Heights will consist of single family homes on two general lot sizes. The first three phases, located on the southern thirty (30) acres of the project, consist of larger lots ranging from 11,160 square feet to 23,466 square feet with an average lot size of 13,551 square feet.

The last two phases, located on the northern ten (10) acres of the project, consist of lots ranging from 5,414 square feet to 13,068 square feet with an average lot size of 6,346 square feet. Homes in both areas will be held to the architectural standards as explained in this document.

PROPOSED DENSITY BUY-UP



The following are the enhanced open space/recreational amenities proposed in excess of that required by City standards:

TRAILS AND OPEN SPACE

Active Open Space Amenity/Facility

- Swimming Pool (maintained by HOA) - 2%
- Tot Lots (2) - 2%
- Picnic area with covered pavilion, table, benches (2) - 4%

Passive Open Space Amenity/Facility

- Common Green (2) - 2%
- Greenbelt - 1%

Trail Amenities

- 1 tree every 25 linear feet of trail, and 1 shrub, bush, or perennial every 2 linear feet of trail - 4%
- 1 bench every 1000 feet of trail - 1%
- 1 trash receptacle every 1000 feet of trail - 1%
- Split rail/wrought iron, wood, or vinyl fence along wash - 4%

Alternate Amenity

- Trail map sign placed at trailhead on 6700 West - 2%



STREET DESIGN

- Entry Monument at each entrance (2) - 2%
- Gateway Feature on corner of 7800 South and 6700 West - 2%
- Landscape buffer up to 4' tall, 4:1 slope, SAA maintained, 8 feet deep. 1% for every 100 linear feet along a collector or arterial street - 10%

BUILDING DESIGN

- Enhanced door and window treatment - 12%
- Equal dispersion and use of high quality building material - 12%

Total Buy-up - 61%



IMPROVEMENT/AMENITIES INSTALLATION

TRAILS AND OPEN SPACE

Active Open Space Amenity/Facility

Swimming Pool - The swimming pool is a focal point as you enter from 6700 West in the southern portion of the project. The pool area includes a pool, a bathroom/changing pavilion, and landscaping around the perimeter.

Tot Lots - There are two (2) tot lots proposed in this project. One is in the northern common green and the other is in the southern common green adjacent to the trail system.

Picnic Area with covered pavilion, table, benches - There are two (2) covered pavilions proposed in this project. One is in the northern common green and the other is in the southern common green adjacent to the trail system. Each pavilion will include two tables with benches.

Passive Open Space Amenity/Facility

Common Green - The northern common green is conveniently located to serve primarily the northern portion of the project. The southern common green will serve the southern portion of the project as well as users of the community trail system. These common greens will be used for recreation opportunities and for neighborhood gatherings. Portions of these common greens will serve as detention basins for the project.

Greenbelt - The greenbelt allows for pedestrians to access the common green, tot lot, pavilion, and trail system from inside the neighborhood. This greenbelt includes a paved walkway and landscape on either side.

Trail Amenities

Landscaping/Vegetation - In addition to the required 10' wide paved public trail along the Unnamed or High School Wash, there will be the installation of one (1) tree every twenty-five (25) linear feet of trail, and one (1) shrub, bush, or perennial every two (2) linear feet of trail. Grouping or clustering of these plants is encouraged. All installed trees and shrubs will be water-conserving species that can withstand dry conditions once established. Plants will be chosen from the "West Jordan Landscaping Guidelines Book".

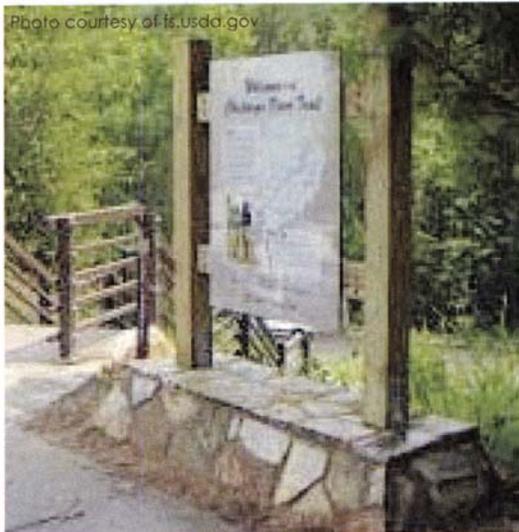
Bench - One (1) bench will be installed along the trail.

Trash receptacle - One (1) trash receptacle will be installed along the trail.

Split Rail Fence - A split rail (3 rail) tan vinyl fence will run along the southern property line of the lots directly adjacent to the wash.

Alternate Amenity

Trail Map Sign - A trail map sign will be installed at the trail head east of 6700 West. This is the westernmost entrance into the Highlands Master Planned Community. The map will delineate the overall trail system in the Highlands Master Planned Community and where it adjoins to adjacent trail systems. The sign will be built of similar materials to that of the entry monuments.



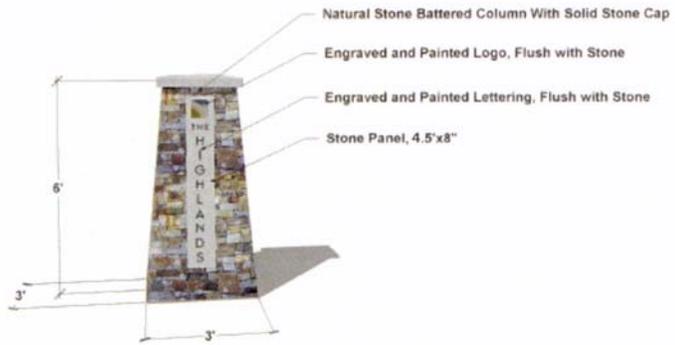
IMPROVEMENT/AMENITIES INSTALLATION

STREET DESIGN

Entry Monument - There will be an entry monument at each entrance along 6700 West. These monuments will be the smaller of the two shown to the right and will have Orchard Heights written on them.

Gateway Feature - There will be a gateway feature on the corner of 7800 South and 6700 West with the Highlands logo. It will look like the larger monument sign shown to the right.

Landscape Buffer - A landscape buffer up to four (4) feet tall, 4:1 slope, and eight (8) feet wide will run the length of both 7800 South and 6700 West. This buffer will be irrigated and planted with turf grass.



BUILDING DESIGN

Enhanced Door and Window Treatment - Homes in Orchard Heights will be designed with enhanced door and window treatment. Door and window types will be chosen that present a pleasing façade arrangement to the public.

Windows will be installed in all facades of each home and will be proportionate in size to the wall face in which the window is located. Long, monotonous, uninterrupted and windowless walls are not allowed. The maximum unbroken distance between a corner of the structure and a window or windows on any side is eight (8) feet.

Windows will have framed-in wood, brick, stone, or stucco trim that is at least four (4) inches in width. There will be no windows allowed without trim. Planter boxes, pot shelves, and/or shutters are encouraged but should be used appropriately as to not overstate or overly decorate. When shutters are installed, they will be proportionate in size to the window they abut.

Identifiable window mullion patterns should be installed on at least 75% of the windows. Encouraged window types include: Bay or bow windows; oval, octagon, or wrapping corner windows; arched windows; and clustered windows.

All front doors will be complemented with at least one sidelight, transom window, or double door. A decorative clear glass or stain glass window will be included with the door if a transom is not.



IMPROVEMENT/AMENITIES INSTALLATION



Equal Dispersion and Use of High Quality Building Materials - Enhanced architectural features shall be included on all four sides of the home to ensure that all sides of the house are designed consistently and reflect the design of the front facade. Creating consistent facades on all sides will ensure that the front elevation is not the only outstanding feature on the home.

The use of different materials is encouraged and required to give distinction to the varied forms of the building. Exteriors of homes will incorporate brick, stone, stucco, or composite board siding and/or shingles (or approved similar) to ensure equal dispersion and use of high quality building materials. No aluminum or vinyl siding will be allowed; however, aluminum soffit and fascia may be allowed if it is consistent with the other exterior materials.

Brick wainscot will be a minimum three (3) feet high measured from the top of the foundation and wrapped around all sides of the structure.

Accent and trim materials will include real or cultured masonry, such as stone, brick, or cement stucco, or treated wood. Additional elements that can be used, where appropriate, include header window accent trim, square wood or wood-like columns with trim, wood or wood-like window pot shelves and shutters.



BUILDINGS AND STRUCTURES

An attractive, theme based and consistent architectural style that places emphasis on building design and form is required. An emphasis will be placed on building materials, window placement and proportion, roof design, and garage placement, color, and variety.

It is important that the massing of the homes be placed in such a way that it is comfortable on a human scale, that each home works in harmony with the topography of the site, and that the overall project complement the existing homes in the adjacent community. Repetitive massing is prohibited. There should be variation in individual building forms. To ensure diversity, identical building elevations shall not be permitted on the same street frontage or directly across the street for a distance of no less than four-hundred (400) feet.

Additional attention shall be paid to corner homes. Since corner lots face two streets, the homes on these lots shall be specifically designed to include wrap-around and consistent architecture to these visible sides. Corner homes shall continue the ornamental features and material accents of the front façade, such as extending the porch, and/or utilizing the same size windows and features as used on the front facade.

The home rather than the garage shall be the primary emphasis of the front of a dwelling. Garages that dominate the streetscape displace the living space within the home and disconnect the residents of the home from the neighborhood and lessen "eyes on the street". All homes shall be designed so that garage door or doors compromise no more than 50% of the width of the front elevation. Garages built to accommodate three or more vehicles in non-tandem configuration shall not occupy more than 55% of the total width of the front elevation. All three car garages shall have a minimum off-set of no less than two (2) feet between the main garage door(s).

The main entrance to each home shall have a clear entry way extending from the public sidewalk to the front door, where the main entrance shall be oriented to the street in order to promote an active street. Covered porches shall be installed on at least 50% of the homes in Orchard Heights in order to provide a transition zone from the street to the home, and to also provide for informal socializing.

Multiple roof lines should be used on all homes and shall have a pitch no less than 4:12 or more than 12:12. Varied roof forms, ridge lines and pitches are encouraged to reduce the bulk appearance of a home. All front elevations shall contain a minimum of two (2) roof lines designed at different heights. Dormers are encouraged to help break up the mass of a roof. All homes shall be designed with at least a twelve (12) inch roof overhang. Homes with second or multiple elevations should have at least a sixteen (16) inch roof overhang designed with decorative brackets, beams, or exposed rafters.

Homes shall be designed to maintain the scale of the entire neighborhood with respect to height, bulk, and structure size. No home should be over-powering in height or size when compared with other homes in the neighborhood.

Applause



Sonata



Prelude



Finale



Harmony



BUILDINGS AND STRUCTURES (PHASES 1-3)



Homes in Orchard Heights Phases 1-3 are intended to be built by a primary home builder, however, lots may be sold in packs (ie...10 or 20 lots at a time) or individually. The intent is that each lot will end up with a custom/semi-custom home designed using the same architectural standards as set forth in this document, eliminate the "cookie-cutter" approach to home building, and provide a greater variety of homes in the neighborhood.

To ensure that homes incorporate features and designs as set forth in the Orchard Heights Buildings and Structures standards, including, high quality building materials, window placement and proportion, enhanced door and window treatment, roof design, color and variety, a standard approach to home plan approval will be followed.

The path for approval will follow a 2 part compliance:

Step 1 - Architectural Control Committee (ACC) review and approval. All plans will go through the ACC review prior to submitting building plans to West Jordan City. The review will verify that the home conforms with all design regulations as set forth in the CC&R's. The ACC will provide a signed review upon approval.



Step 2 - West Jordan City building plan review and approval.

This process has been established and is successful in other communities. It has shown that the final results are neighborhoods with homes that are more diverse, aesthetically pleasing, and constructed of higher quality building materials.



The photos on this and the previous page represent the homes that will be built in Orchard Heights Phases 1-3. Typical footprints and elevations for the illustratives shown, and others not shown on this page, have been included in the Appendix.



BUILDINGS AND STRUCTURES (PHASES 4-5)

The elevations and footprints shown on this page and the next are representations of the homes that will be built in Orchard Heights Phases 4 and 5. Particular care will be taken in the placement of each home in these phases due to the nature of smaller lots. Street presence is particularly important. Front porches should dominate the streetscape rather than garages. The same architectural detail is required on these homes as on the first three phases of this community. The homes in Phases 4 and 5 will meet the needs of home-buyers who are looking for a nice home and community but want less property and a smaller home to maintain than those in Phases 1-3.

Orchard Heights Phases 4 and 5 are intended to be built by a primary home builder, however, lots may be sold in packs (ie...10 or 15 lots at a time) or individually. The intent is that each lot will end up with a custom/semi-custom home designed using the same architectural standards throughout the community, eliminate the "cookie-cutter" approach to home building, and provide a greater variety of homes in the neighborhood.

The same architectural review process will be followed in Phases 4 and 5 as in Phases 1-3.

Elevations and floor plans courtesy of hearthstonedesign.com and craigwalldesign.com.

Cedars - Craig Wall Design



FRONT ELEVATION



Marlebrook - Craig Wall Design



FRONT ELEVATION

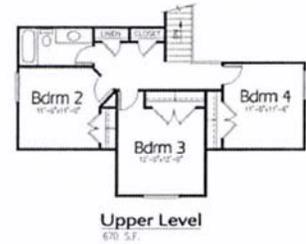


Hawthorne - Hearthstone Home Design

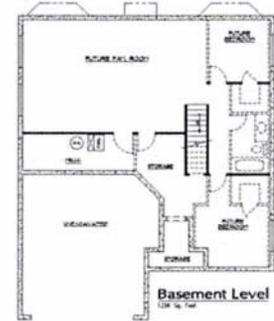


BUILDINGS AND STRUCTURES (PHASES 4-5)

1976 - Hearthstone Home Design



1288a - Hearthstone Home Design



Eagle Ridge - Craig Wall Design



HIGHLANDS OVERALL OPEN SPACE

Orchard Heights has 5.12 acres of open space. This is equivalent to 13.0% of the net acreage of the project. The Highlands Master Planned Community has a requirement of 20% open space for the overall project. Highlands West contains 210 net acres with 196.26 acres that are residential acres and subject to the open space requirement (commercial areas within the Highlands are subject to their own requirements as set forth in West Jordan zoning code). There are 39.54 acres of open space within Highlands West, including the 5.12 acres within Orchard Heights. Highlands West meets the 20% open space requirement. The table below shows the distribution of open space throughout the Highlands Master Planned Community.

	Net Acreage	Acreage Excluding Commercial Areas	Overall Open Space	Open Space Percentage
Highlands North	121 acres	38.17 acres	13.16 acres	34.5%
Highlands East	87 acres	54.99 acres	18.73 acres	34%
Highlands West	210 acres	196.26 acres	39.54 acres	20%
Highlands Total	418 acres	289.42 acres	71.43 acres	24.6%

LANDSCAPING



There are five main areas of landscaping within Orchard Heights. These areas include: parkstrips, two common greens, landscape buffers, a pool area, and the wash. Detailed Landscape Plans for these areas are included in the Appendix. All landscaped areas will adhere to the Landscaping Requirements of the West Jordan Code (Section 13-13) and will use plants from the "West Jordan Landscaping Guidelines Handbook".



The street trees located in parkstrips fronting on local streets will be consistent throughout Orchard Heights. All landscaping installed in the parkstrip will be in accordance with the West Jordan Parkstrips and streetscapes code. Parkstrips are part of the street right-of-way and will be dedicated to West Jordan City. Maintenance will be the responsibility of the adjoining home owner.

The common greens and landscape buffers will be irrigated and maintained by the Highlands Special Assessment Area. The remaining native wash and open space will require selective mowing twice a year also maintained by the Highlands Special Assessment Area.



The landscaping in the pool area and the swimming pool will be maintained by an HOA including the lots in Orchard Heights Phases 1-3.

The trail and greenbelt shown on the Landscape Plan will be constructed by the developer as public trails and dedicated to West Jordan City. The existing wash (un-named wash) will be re-aligned and graded with more gradual slopes for safety purposes. The wash shall remain native and non-irrigated. Open Space outside of the landscaped areas will receive a native seed mix after all improvements to the subdivision have been completed. The native seed mix shall be appropriate for the area and shall be seeded in the fall for best rate of survival.

Not less than 80% of all trees, shrubs, herbaceous perennial and groundcover plants shall be drought-tolerant species that can withstand dry conditions once established. Turf grasses shall not comprise more than 50% of the total landscaped area. Use of water conserving grasses, such as Buffalo Grass, Blue Gramma grass, varieties of Dwarf Tall Fescue, or equivalent are encouraged.

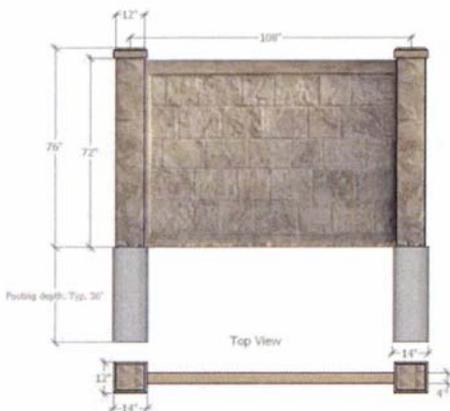
FENCING AND WALLS



A concrete or masonry wall will be placed south of the landscape buffer along 7800 South and east of the landscape buffer along 6700 West. This wall will be a Rhino Rock, Olympus Precast, or similar type of wall, will be six (6) feet high, and the color will be brown and tan or similar to the picture shown above. Once installed, and after the one (1) year warranty period has expired, the walls shall be the responsibility of the adjacent property owner. There will be no wall along the common green on 7800 South.

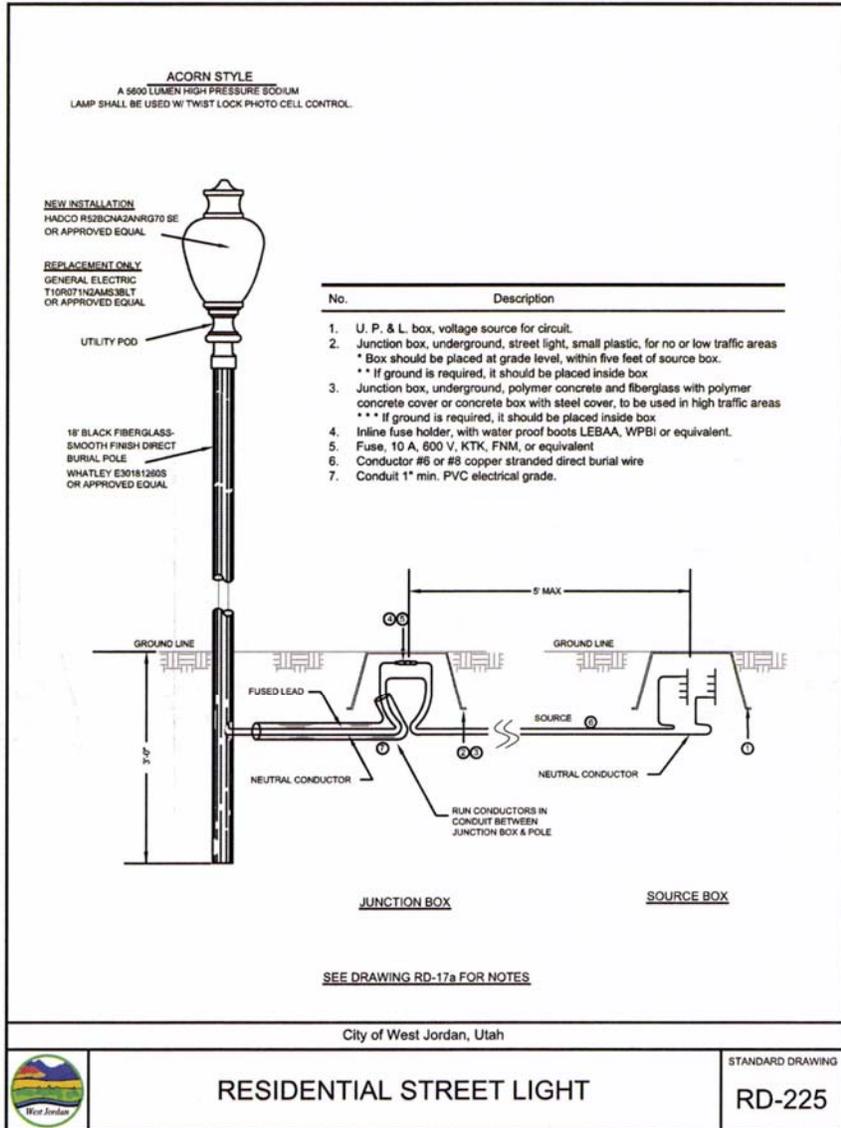
Fencing is required on lots that are adjacent to the wash including Lots 105-110 and 206-208. This fence will be a split rail (3 rail) vinyl fence. The color will be tan to match the wall and the existing fence running along the wash in Loneview. The fence will be installed as part of the lot improvements on these lots. Once installed, and after the one (1) year warranty period has expired, the fence shall be the responsibility of the adjacent property owner.

A six (6) foot tan vinyl privacy fence will be installed around the pool area and along the property lines adjacent to the northern common green. In order to maintain consistency throughout the development, this same tan fencing will be what is allowed between lots for privacy if the property owner chooses to install a fence.



LIGHTING

The standard West Jordan City Residential Street Light (RD-225), or fixture that is similar in style will be used along the local streets. There is one variation from the city standard shown below in that a 15 foot maximum height is required within the Highlands. The location of street lights can be found on the Utility Plans (C4 and C5) in the Appendix. The street lights will be installed in the park strip of the public right-of-way and will be maintained by West Jordan City.



EXISTING AND PROPOSED UTILITIES

Existing and Proposed Utilities are shown on the Utility Plans (C4 and C5) included in the Appendix.

PUBLIC AND PRIVATE USE AREAS

All residential lots are private areas. The pool and landscape within the pool area will be private and will be maintained by an HOA including the 65 lots in phases 1-3 of Orchard Heights.

Road right-of-ways are public and will be dedicated to and maintained by West Jordan City. Parkstrips that front on local roads will be dedicated public right-of-way and maintained by the adjacent resident. The common greens in the northern and southern portions of the project, the wash, the greenbelt connecting to the trail system, and landscape buffers along 7800 South and 6700 West are all public use areas and will be dedicated to West Jordan City and maintained by the Highlands Special Assessment Area.

The aforementioned areas are delineated on the Lot Layout sheets found in the Appendix (C2 and C3).

GRADING AND DRAINAGE



Grading is a vital part of creating a successful and beautiful community in a topographically complex project. Care will be taken to do a master grading plan for the entire site and also for each lot as each individual home plan is submitted to the city.

One area of special importance is the existing wash. The wash currently cuts approximately ten feet deep and is fairly narrow just off of 6700 West. The wash will be realigned and graded with a more gradual slope that will be safer for pedestrians using the trail near this area.

Preliminary grading and drainage is shown on the Utility Plans included in the Appendix (C4 and C5).

IMPROVEMENTS FOR REIMBURSEMENT

Reimbursement is anticipated for the cost of upsizing utilities, including water, sewer, and storm drain lines, and for upsized pavement in the 7800 South road right-of-way.

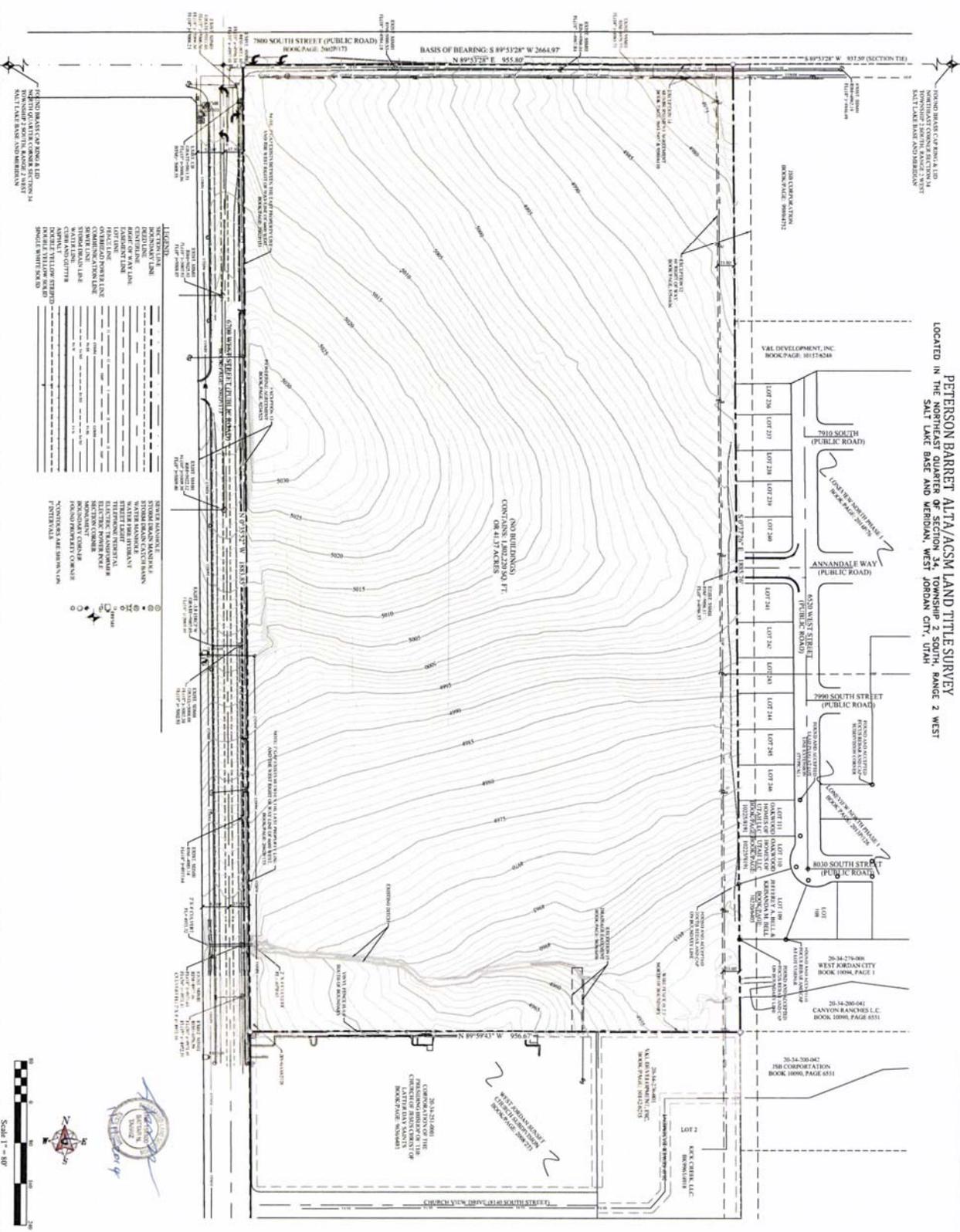
With 6700 West already installed, upsizing of utilities or pavement is not anticipated. We do not expect to request reimbursement in this roadway unless the city requires additional system upgrades.

This page intentionally left blank.

APPENDIX

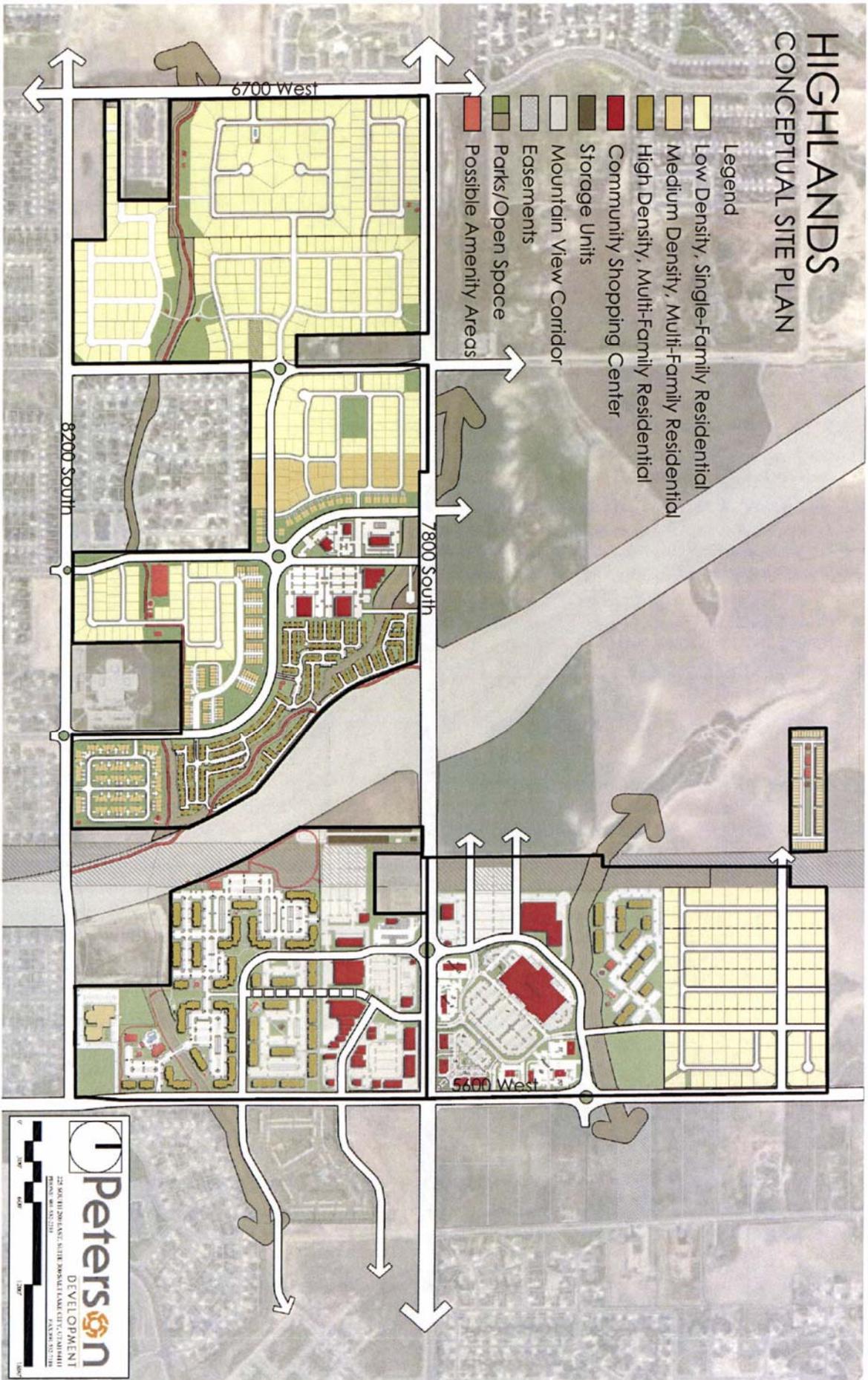
ALTA/ACSM LAND TITLE SURVEY	
HIGHLANDS CONCEPTUAL SITE PLAN	
COVER SHEET	C1
LOT LAYOUT (NORTH)	C2
LOT LAYOUT (SOUTH)	C3
UTILITY PLAN (NORTH)	C4
UTILITY PLAN (SOUTH)	C5
LANDSCAPE PLAN	L1-L4
BUILDING PLANS AND ELEVATIONS	
Aria	
Bravo	
Finale	
Marquee	
Octave	
Prelude	
Premiere	
Sonata	
Tapestry	

PETERSON BARRET ALTA/ACSM LAND TITLE SURVEY
 LOCATED IN THE NORTHEAST QUARTER OF SECTION 34, TOWNSHIP 2 SOUTH, RANGE 2 WEST
 SALT LAKE BASE AND MERIDIAN, WEST JORDAN CITY, UTAH



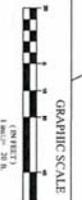
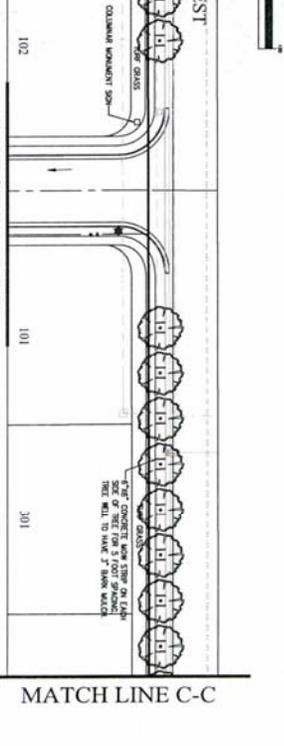
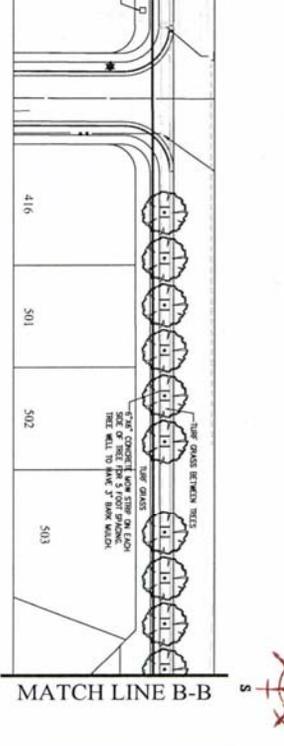
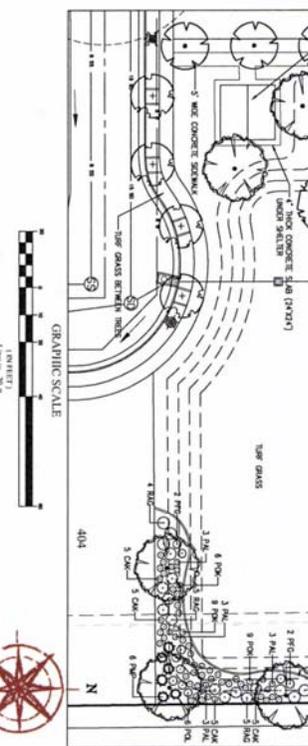
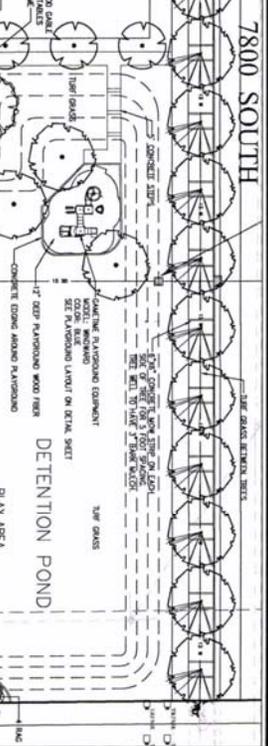
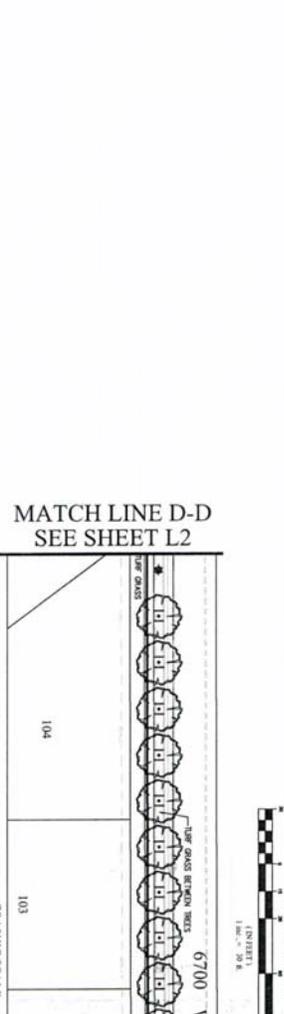
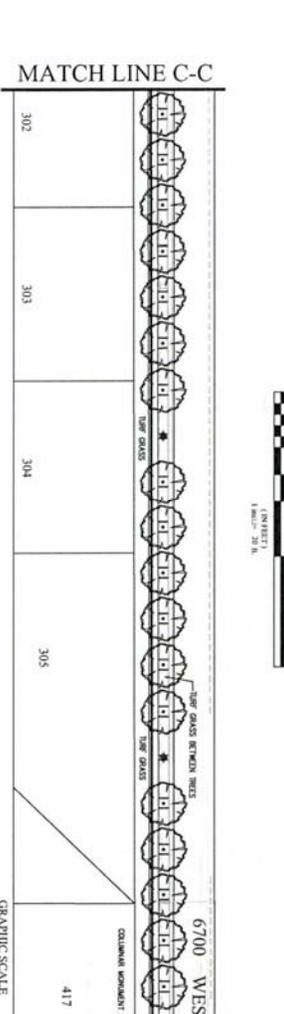
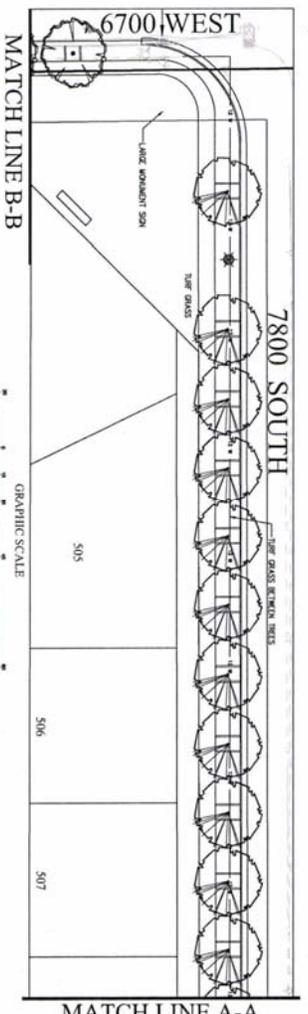
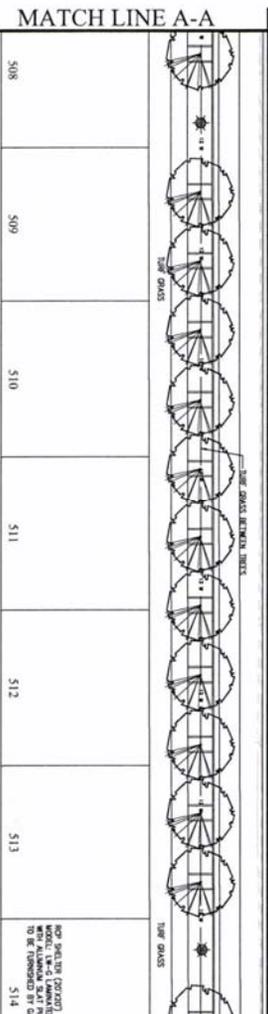
HIGHLANDS CONCEPTUAL SITE PLAN

- Legend
- Low Density, Single-Family Residential
 - Medium Density, Multi-Family Residential
 - High Density, Multi-Family Residential
 - Community Shopping Center
 - Storage Units
 - Mountain View Corridor
 - Easements
 - Parks/Open Space
 - Possible Amenity Areas



Petersen
DEVELOPMENT

222 S.W. 111th Ave., Suite 200, Ft. Lauderdale, FL 33309
Phone: 954.575.1234



PRELIMINARY
ORCHARD HEIGHTS
 LANDSCAPE PLAN



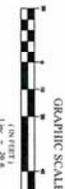
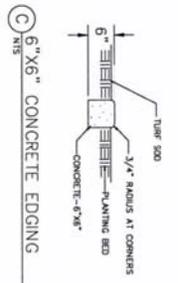
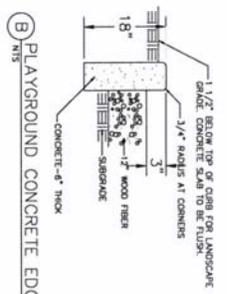
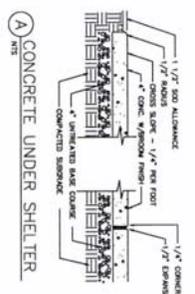
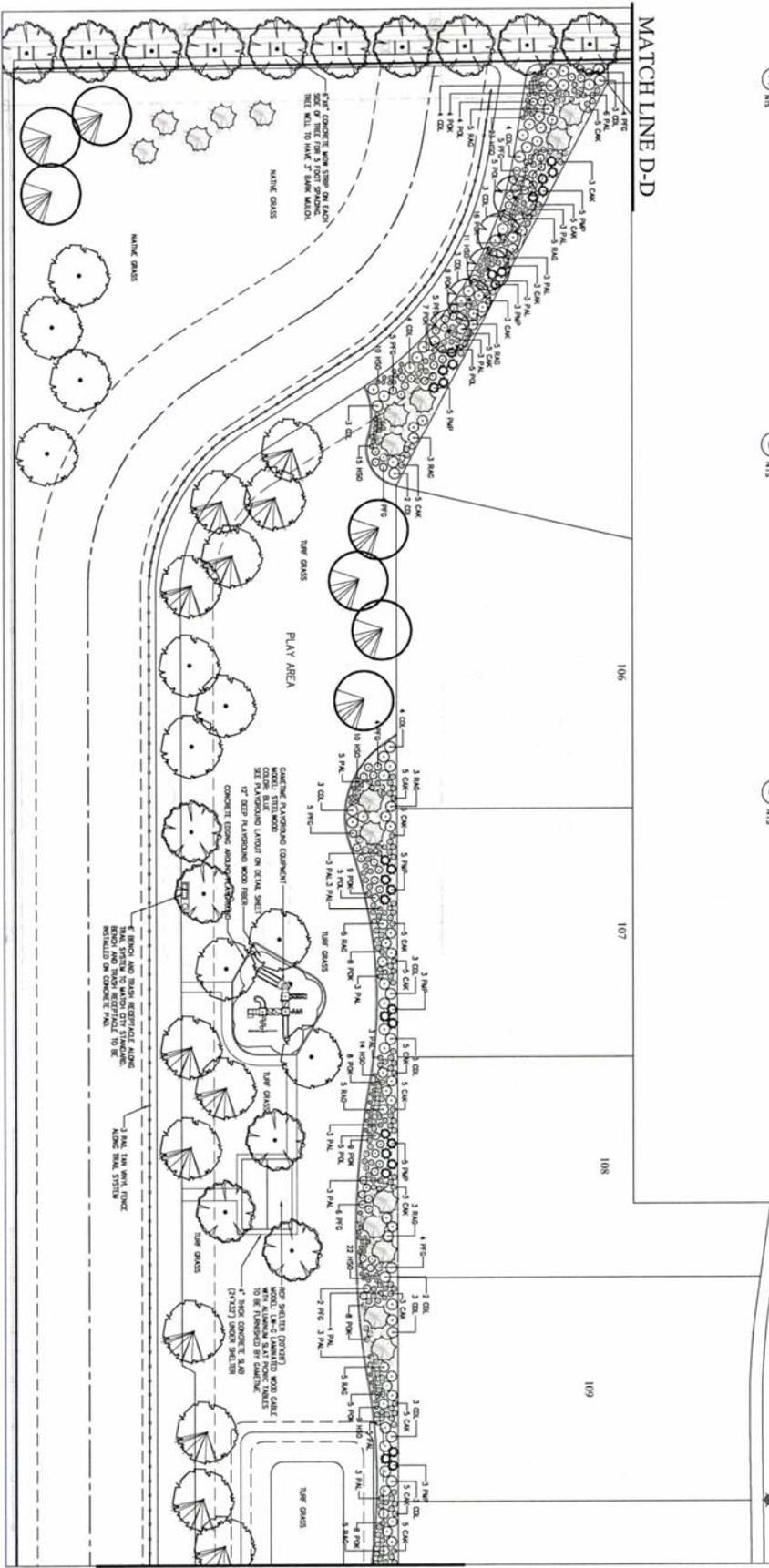
FOCUS
 ENGINEERING AND SURVEYING, LLC
 22 WEST CENTER STREET
 MIDVALE, UTAH 84047 PH: (801) 352-0015
 www.focusuak.com

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

LANDSCAPE PLAN

L1

Z:\2013\15-180 Orchard Heights Prelim\Design\15-180\04\0000\15-180-0000-01 - Landscape Plan.dwg



MATCH LINE E-E (SEE SHEET L3)

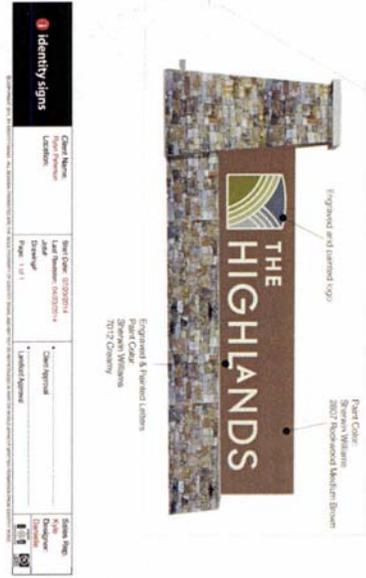
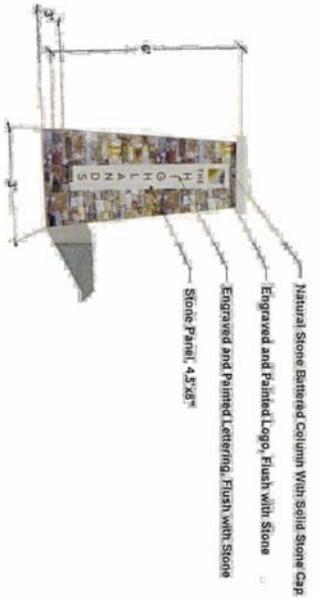
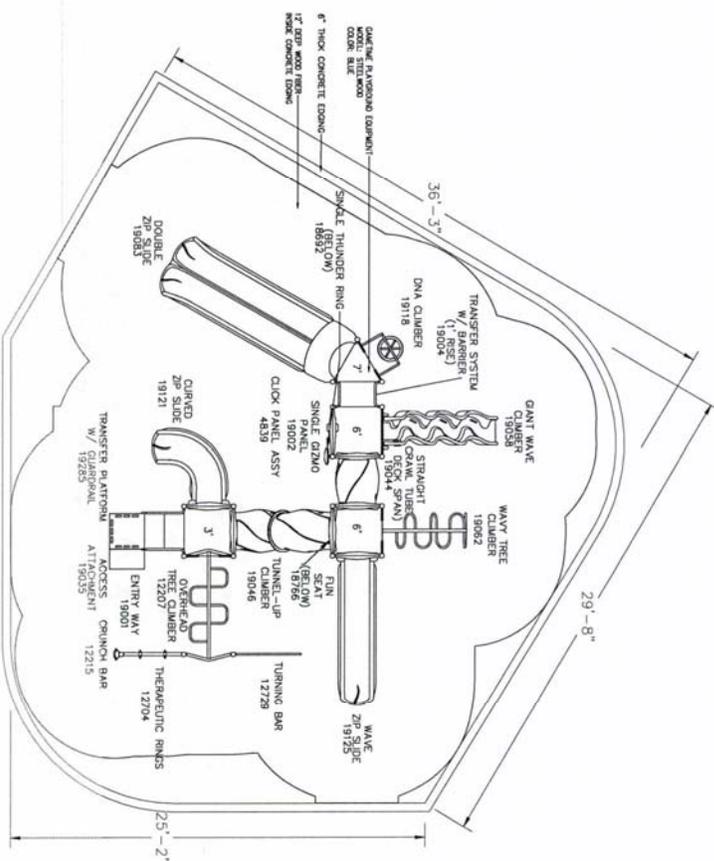
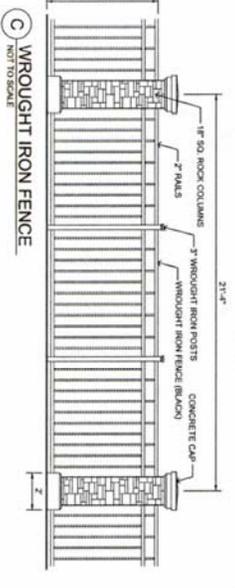
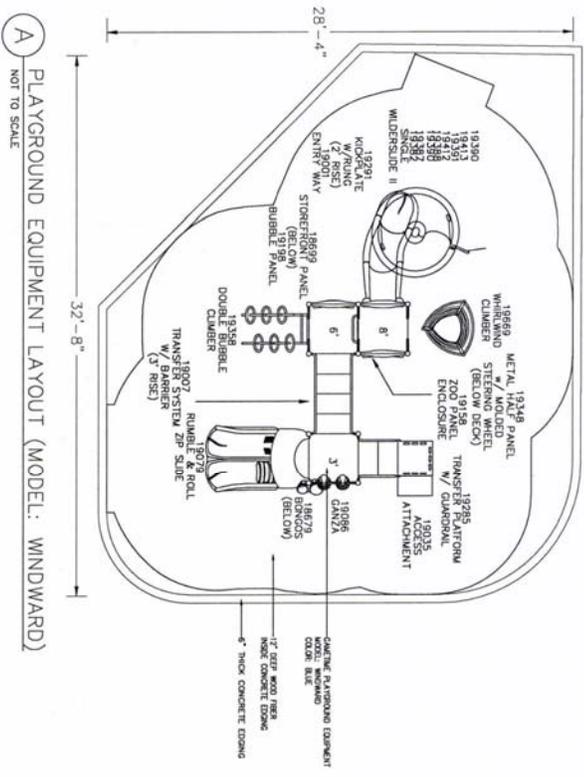
PRELIMINARY
ORCHARD HEIGHTS
LANDSCAPE PLAN



FOCUS
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 P/E: (801) 552-0075
www.FocusUtah.com

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

LANDSCAPE PLAN
L2



Identity Signs	Client Name: Orchard Heights Project Number: 15-180 Location: Steelwood	Part Code: 0202014 Part Name: Large Monument Sign Part Number: 1502014 Rev: 1.01.1	Client Approval: [Signature]	Scale: 1/8" = 1'-0"
-----------------------	---	---	------------------------------	---------------------

PRELIMINARY
ORCHARD HEIGHTS
LANDSCAPE DETAILS



FOCUS
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
METHUEN, VT 05740
TEL: 802.352.0075
WWW.FOCUSVT.COM

REVISION	DATE	BY	DESCRIPTION

LANDSCAPE
DETAILS

L4

ARIA

Traditional Elevation



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

 **Symphony Homes**
symphonyhomes.com | 801.298.8555



BRAVO



Traditional Elevation



European Elevation

Symphony Homes

symphonyhomes.com | 801.298.8555



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

FINALE



Legacy Elevation



European Elevation



Cottage Elevation

Symphony Homes

symphonyhomes.com | 801.298.8555



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

MARQUEE



Traditional Elevation



European Elevation



Cottage Elevation

Symphony Homes
symphonyhomes.com | 801.298.8555



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

OCTAVE

Prairie / Cottage Elevation



*This rendering is showing the Car Court option. This is an upgrade from the standard garage. All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.



Symphony Homes

symphonyhomes.com | 801.298.8555



PRELUDE



Legacy Elevation



European Elevation



Cottage Elevation

Symphony Homes

symphonyhomes.com | 801.298.8555



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

PREMIERE



 **Symphony Homes**
symphonyhomes.com | 801.298.8555

*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

SONATA

Cottage Elevation



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.



Symphony Homes

symphonyhomes.com | 801.298.8555



TAPESTRY



Legacy Elevation



European Elevation



Cottage Elevation

Symphony Homes
symphonyhomes.com | 801.298.8555



*All renderings are artists' conception. Continuing a policy of constant design and pricing improvement, we reserve the right of price, product or design change without obligation to notify.

