



## STAFF REPORT

**To:** County Manger (CM)  
**From:** Tiffanie Northrup-Robinson, County Planner  
**Date of Meeting:** September 29, 2016  
**Type of Item:** Lift (RC22) Final Site Plan – Public Hearing, Possible Action  
**Process:** Administrative Review

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### Recommendation

Staff has reviewed the application for compliance with all standards in the Snyderville Basin Development Code and the Canyons Development Agreement (DA) and found that it meets the minimum standards required for approval. Taking into consideration the recommendation from the Canyons DRC along with Staffs analysis, Staff recommends that the County Manager (CM) conduct a public hearing an approve the proposed Lift final site plan, pursuant to the findings of fact, conclusions of law and conditions of approval found in this staff report.

### Project Description

Project Name: Lift (RC22) - Final Site Plan  
Applicant(s): Gary Raymond, authorized representative  
Property Owner(s): One Canyons, LLC  
Location: 2431 High Mountain Road, Canyons Village  
Zone District: Specially Planned Area (SPA)  
Parcel Number and Size: Parcel #RCDA-RC22, 1.63 acres  
Type of Process: Administrative  
Final Land Use Authority: County Manager

### Proposal

The applicant is proposing consideration of a Final Site Plan known as Lift **EXHIBIT A**. The project is located at 2431 High Mountain Road on parcel RCDA-RC22. The project includes 114,000 square feet of hotel/lodging with a maximum of 3-6 stories in height, allotted to RC22 as outlined in the Canyons SPA and Development Agreement land use chart. The overall square footage would be distributed between 61 lodging units.

## Vicinity Map



## Background

The Canyons Development Agreement allocates the use, height, and maximum allowed square footage for each parcel within the Resort. The maximum allowable density according to the Canyons SPA and Land Use chart is 114,000 square feet of hotel/lodging, up to a maximum of 3-6 stories in height **EXHIBIT B**.

The RC22 subdivision plat was discussed and recommended by the Snyderville Basin Planning Commission on September 22, 2015 and a public hearing was conducted before the County Manager and final approval was granted on October 8, 2015. The RC22 subdivision was recorded on March 10, 2016.

The Canyon's Design Review Committee (DRC) conducted a detailed three-phase review process and forwarded a positive recommendation for the Lift hotel with conditions, on June 8, 2016 **EXHIBIT C**. This includes review of the site plan, landscaping, lighting, preliminary engineering, architecture and construction materials and colors.

On June 13, 2016, an application was submitted for the Lift hotel. The proposed hotel consists of 61 accommodation units that total approximately 113,097 square feet. Additionally, there are ski/bike lockers and a small conference space that is not included in this square footage, as it is below grade and is exempt from calculation, per the Canyon's Development Agreement. The condominium units are intended to be sold as whole ownership and may be made available

for overnight/short term rental. A condominium plat will be submitted at a later date for planning commission review and recommendation.

The SBPC conducted a work session on August 9, 2016 to give feedback and input on the proposed hotel/lodging project **EXHIBIT D**. From that discussion, there were four primary concerns expressed by the majority of the SPBC; connectivity, transportation and parking, storm drain issues, reflectivity and sustainability. The applicant has provided supplemental information to further address the SBPC members concerns identified at the August 9, 2016 work session **EXHIBIT E**. On September 13, 2016 the SBPC discussed the project with the updated responses from the requested information at the work session. The SBPC made a unanimous positive recommendation to the County Manager.

### **Analysis and Findings**

The approval process for all plats and final site plans within the Canyons SPA area, including the subject parcels, are governed by the Canyons SPA Development Agreement. Section 2.7 of the Amended and Restated Development Agreement, adopted on November 15<sup>th</sup>, 1999 provides the Development Approval Process for all Final Subdivision Plat or Condominium Plats and Final Site Plans within the SPA. After reviewing the proposed Final Site Plan and Condominium Plat, the Planning Commission shall make a recommendation to the Board of County Commission. This administrative function is now handled by the County Manager. The County Manger will then conduct a public hearing and make a final decision of approval, approval with conditions or denial of the Lift Final Site Plan project.

Staff’s review of the application, based upon the information presented and with the recommendation of the Canyons DRC, indicates that the project complies with the Canyons Development Agreement and meets the minimum requirement for approval in the Snyderville Basin Development Code.

<b>Lift Hotel (RC22)- Final Site Plan Review – Discussion and Possible Recommendation</b>		
<b>Code Requirement</b>	<b>Analysis</b>	<b>Comment</b>
1. Environmental Criteria	It is not anticipated that the Lift will produce byproducts that would be harmful to the air, water or watershed quality of the Snyderville Basin. No wood burning fire places are allowed.	<b>COMPLIES</b>
2. Critical Areas	The proposed use is not located on or near a critical ridgeline, critical slope, wetland or flood plain. The County Engineer has requested additional information regarding the storm water plan and how it will be accounted for on site or with the Canyons storm water master plan. The applicant has submitted an updated storm water plan to the County Engineer that he has	<b>COMPLIES, as conditioned</b>

	deemed acceptable.	
3. Open Space	All open space within the Canyons SPA and DA is designated as each Master Plat is recorded or within the Resort Core, as each development site is platted.	<b>COMPLIES</b>
4. Water and Water Supply	Received will-serve letter from Summit Water indicating that there is sufficient water for the site.	<b>COMPLIES, as conditioned</b>
5. Sanitary Sewer	Received service provider comment that the project can comply with the standards of the SBWRD and a line extension agreement has been accepted.	<b>COMPLIES, as conditioned</b>
6. Fire Protection	Scott Adams with the PC Fire District has reviewed the project and has submitted a conditional recommendation for the project.	<b>COMPLIES, as conditioned</b>
7. Loading and Unloading	Loading and unloading will take place entirely on RC22 and does not compromise any required parking spaces. The applicant provided and updated exhibit indicating delivery drop off area for larger trucks at the roundabout and smaller deliveries will utilize the designated underground parking spaces.	<b>COMPLIES</b>
8. Parking Requirements	The current parking ratios in the Canyons DA require 0.8 spaces for each hotel/lodging unit. Based on the 61 proposed units, 49 spaces are required. All parking for this site will be located in an underground parking structure, with the exception of 4 surface spaces for short term parking. The two level parking structure will contain 75 spaces.	<b>COMPLIES</b>
9. Transportation Infrastructure and Access Design	Based on Ord. 181, the Summit County Engineer stated that the driveway access to the parking structure be separated by at least 50 ft. from the Sundial driveway access .The applicant has modified the site plan to meet the necessary driveway separation requirements, as requested by the County Engineer.	<b>COMPLIES, as conditioned</b>
10. Public Utilities	All necessary public utilities are available on site. Rocky Mt. Power and Questar have provided will-serve letters.	<b>COMPLIES</b>
11. Mail Delivery	The units are intended to be utilized as nightly rentals; therefore, no on-site mail delivery is necessary.	<b>COMPLIES</b>
12. Solid Waste and Recycling	All garbage and recycling facilities will be located in the underground parking structures. It will be the responsibility of the management to maintain the solid waste and recycling for the overall project.	<b>COMPLIES</b>
13. Snow Removal and Storage	The Code requires a minimum of 10% for the site. They have designated snow storage for pre and post construction time periods. Staff has verified that these areas will not compromise access to the walkways or handicap parking areas.	<b>COMPLIES</b>

14. Police and Security	The site provides adequate access for both police and security personnel.	<b>COMPLIES</b>
15. Parks, Trails, and Trailheads	The project was reviewed by the Snyderville Basin Recreation District who indicated they have no concerns. The applicant has shown the connectivity to the surrounding developments. A stamped and painted cross walk will be installed with flashing pedestrian crossing signs to help minimize conflicts as pedestrians cross High Mountain Road and move into the forum area. The applicant has further addressed connectivity for this site to the overall master plan.	<b>COMPLIES</b>
16. ADA Access	The project will be reviewed by representatives from the building Department for compliance with all ADA requirements prior to the issue of a building permit.	<b>Building Dept. will verify at building permit review</b>
17. Special Site Design Requirements	Staff reviewed the application for compliance with each of the special site design requirements and found that it meets the minimum required for approval.	<b>COMPLIES</b>
18. Architectural Regulations for All Structures	The proposed architecture has been reviewed by the Canyons DRC and is in compliance with the design guidelines. The façade shifts, color and materials are compatible with the standards of the Code. Supplemental information has been provided to address sustainability and reflectivity.	<b>COMPLIES</b>
19. Landscape Regulations	The proposed landscaping plan appears to comply with the standards of chapter 10-4-21. Staff has received the updated landscaping plan that includes plant size, count and irrigation plans. A detailed cost breakdown and appropriate bonding is required prior to recordation of the FSP.	<b>COMPLIES, as conditioned</b>
20. Lighting Regulations	The applicant has proposed a lighting schematic plan. This includes the requested outdoor lighting fixture detail and photometric plan to verify compliance with the lighting standards in 10-4-22. Staff will verify that the proposed fixtures are not upward facing at that the light source is not visible for the hanging luminaires.	<b>COMPLIES</b>
21. Height	The Canyons SPA allows for a 3-6 stories maximum height. The structure has been designed to include 3, 4, 5 and 6 story elements. The applicant has conducted significant site and visual analysis for the project to mitigate the potential visual impact to the Vintage on the Strand project, directly to the west of the Lift.	<b>COMPLIES</b>
22. Density	The RC22 parcel is allotted 114,000 square feet of hotel/lodging use. The applicant is proposing approximately 113,097 square feet of accommodation area. Additional ski/bike locker space and a meeting	<b>COMPLIES</b>

	room are not calculated in this square footage, as they are below grade and exempted from calculation.	
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**Recommendation**

It is staff’s finding that the project meets the applicable standards in the Snyderville Basin Development Code and the Canyons Development Agreement, with conditions. Staff suggests that the County Manager review the proposal, conduct a public hearing and take into consideration any public comment. Staff further recommends that the County Manager approve the Lift (RC22) Final Site Plan according to the following findings of fact, conclusions of law and conditions of approval:

**Findings of Fact:**

1. The RC22 parcel is within the Resort Core development area of the Canyons SPA.
2. According to the current assessor’s parcel information One Canyon’s, LLC is the owner of record for parcel RCDA-RC22.
3. An application for the Lift Final Site Plan was submitted on June 13, 2016.
4. The RC22 parcel is zoned Specially Planned Area (SPA) and is with the Canyons SPA boundaries.
5. The RC22 parcel has a maximum density of 114,000 square feet that can be utilized for hotel/lodging use.
6. The parcel is allowed to be a maximum of 3-6 stories in height, as described in the Canyons Development Agreement.
7. The Canyons parking standards for hotel/lodging units require 0.8 spaces per unit. All parking will be accommodated in a below grade parking structure, with the exception of 4 at grade spaces for short term items such as check-in/check-out services.
8. The Canyons DRC made a formal recommendation for the Lift Final Site Plan on June 8, 2016.

**Conclusions of Law:**

1. The proposed Lift Final Site Plan complies with all requirements of the Snyderville Basin Development Code and the Canyons DA.
2. The proposed hotel/lodging use, as conditioned, is consistent with the Snyderville Basin General Plan, as amended.
3. The use is not detrimental to public health, safety and welfare, as the roads and public services in the area are sufficient to accommodate the increase in intensity of the use.
4. The use is compatible with the existing neighborhood character and will not adversely affect surrounding land uses.

**Conditions of Approval:**

1. Staff shall review and approve all final landscaping plans for the site; including plant type, size, number, location and method of irrigation and verify that they are in compliance with the Canyons Development Agreement and the Snyderville Basin Development Code.
2. The Staff shall review and approve the lighting plan for the site; including building, parking area, and street fixture type, number, location and cut sheets, and photometric information for complete compliance with Section 4.22 of the Code, prior to issuance of a building permit.
3. Staff shall review and approve any signage associated with the project prior to installation.
4. A detailed Development Improvement Agreement shall be submitted to the County Engineer and approved, along with sufficient bonding for all infrastructure improvements, common area improvements, landscaping and re-vegetation. This must also clearly denote the phasing plan for the project and triggers for landscaping and re-vegetation if the construction does commence in the phases. This agreement shall be recorded concurrently with the final site plan, prior to issuance of any development permits. All necessary construction plan and inspections fees must be paid to the County Engineer, prior to issuance of any permits.
5. All service provider conditions shall be met to the provider's satisfaction, prior to issuance of any development permits.
6. The Summit County Attorney's Office shall review and approve the Final Site Plan for consistency with the conditions of approval and terms of the Canyons Development Agreement.
7. All outstanding DRC items shall be completed prior to final approval of the Final Site Plan or prior to the issuance of any permits, as outlined in the DRC recommendation letter.

## **Public Notice, Meetings and Comments**

This item was noticed as a public hearing and possible action in the September 17, 2016 issue of *The Park Record*. Postcards were also mailed to property owners within 1,000 feet of parcel RCDA-RC22. At the time of this report, Staff has not received any public input.

## **Attachments**

- Exhibit A – Proposed Final Site Plan
- Exhibit B - Canyons Land Use and Zoning
- Exhibit C – Canyons DRC Recommendation
- Exhibit D - August 9, 2016 draft meeting minutes
- Exhibit E - Applicant's Supplemental Information
- Exhibit F - Service Provider Comments





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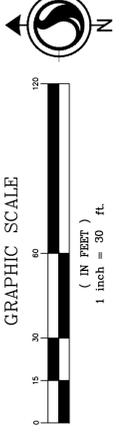
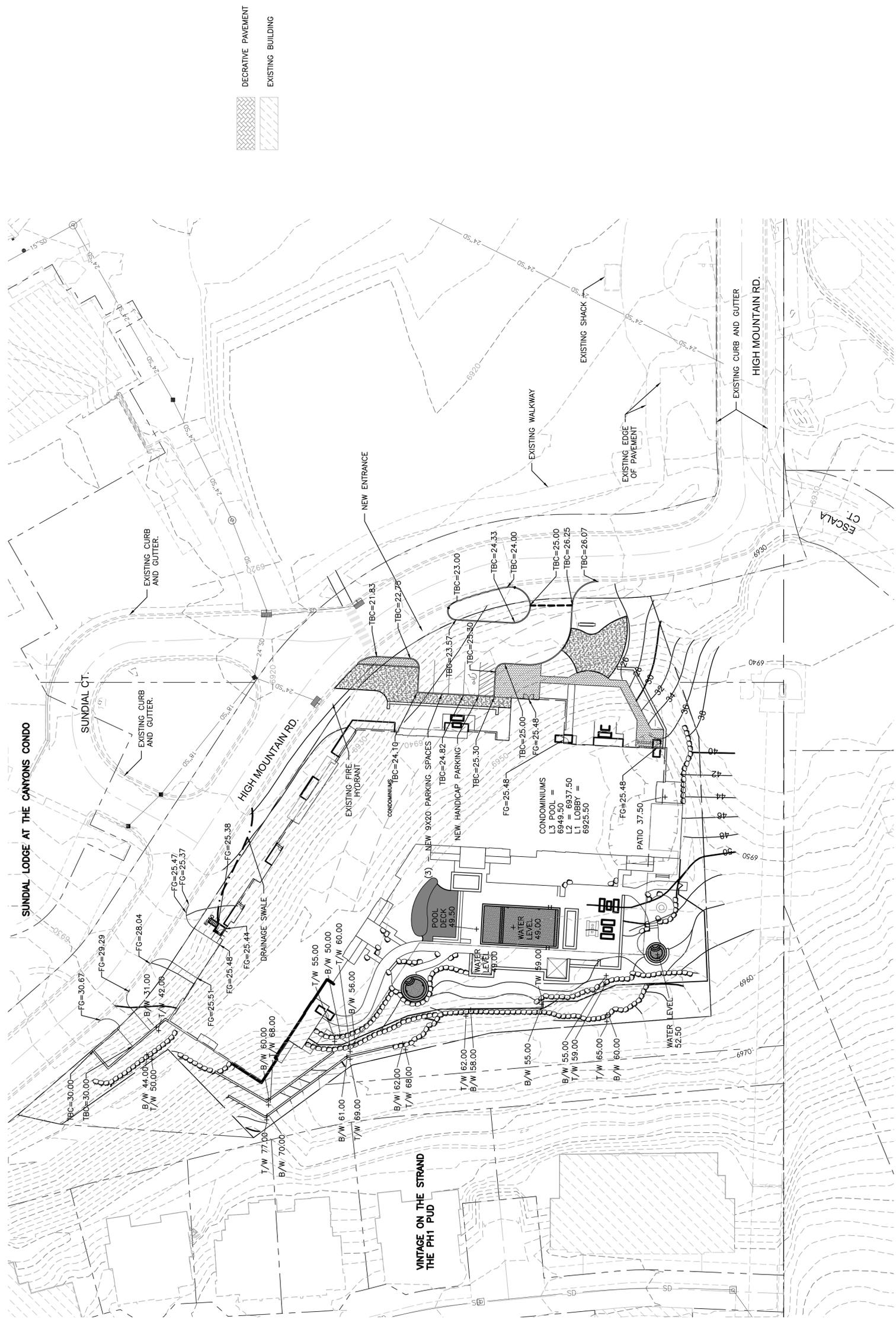
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 CHECKED: SB  
 APPROVED:  
 DATE: 2016/06/03

ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 OVERALL SITE AND  
 GRADING PLAN

SCALE:  
 SHEET NUMBER

**C-200**





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LIFT

PROJ. NO. 115179.00  
 DRAWN: Author  
 CHECKED: Checker  
 APPROVED: Approver  
 DATE: 2016/06/03

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LIFT

ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 3D ELEVATION

SCALE: 1" = 10'-0"  
 SHEET NUMBER

AC-303



3D IMAGES



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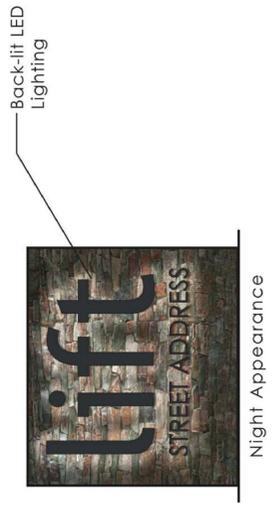
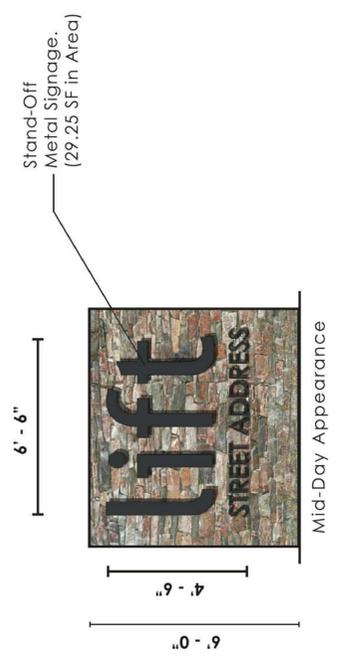
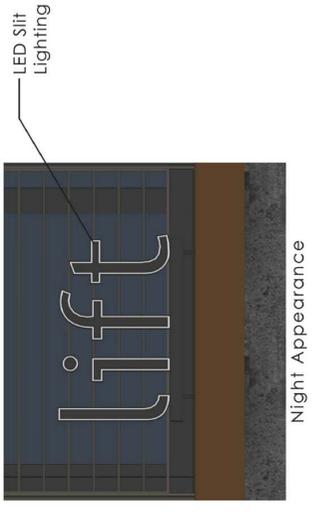
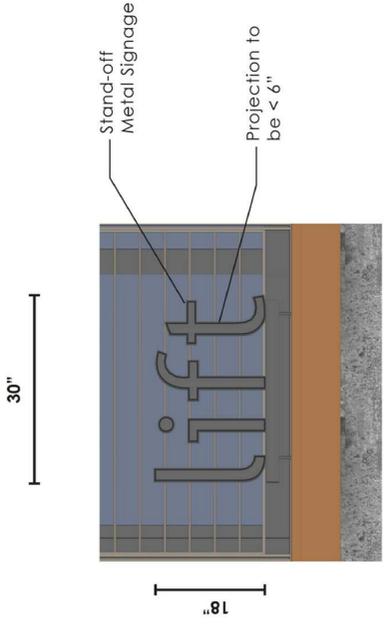
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 CHECKED: Checker  
 APPROVED: Approver  
 DATE: 2016/06/03

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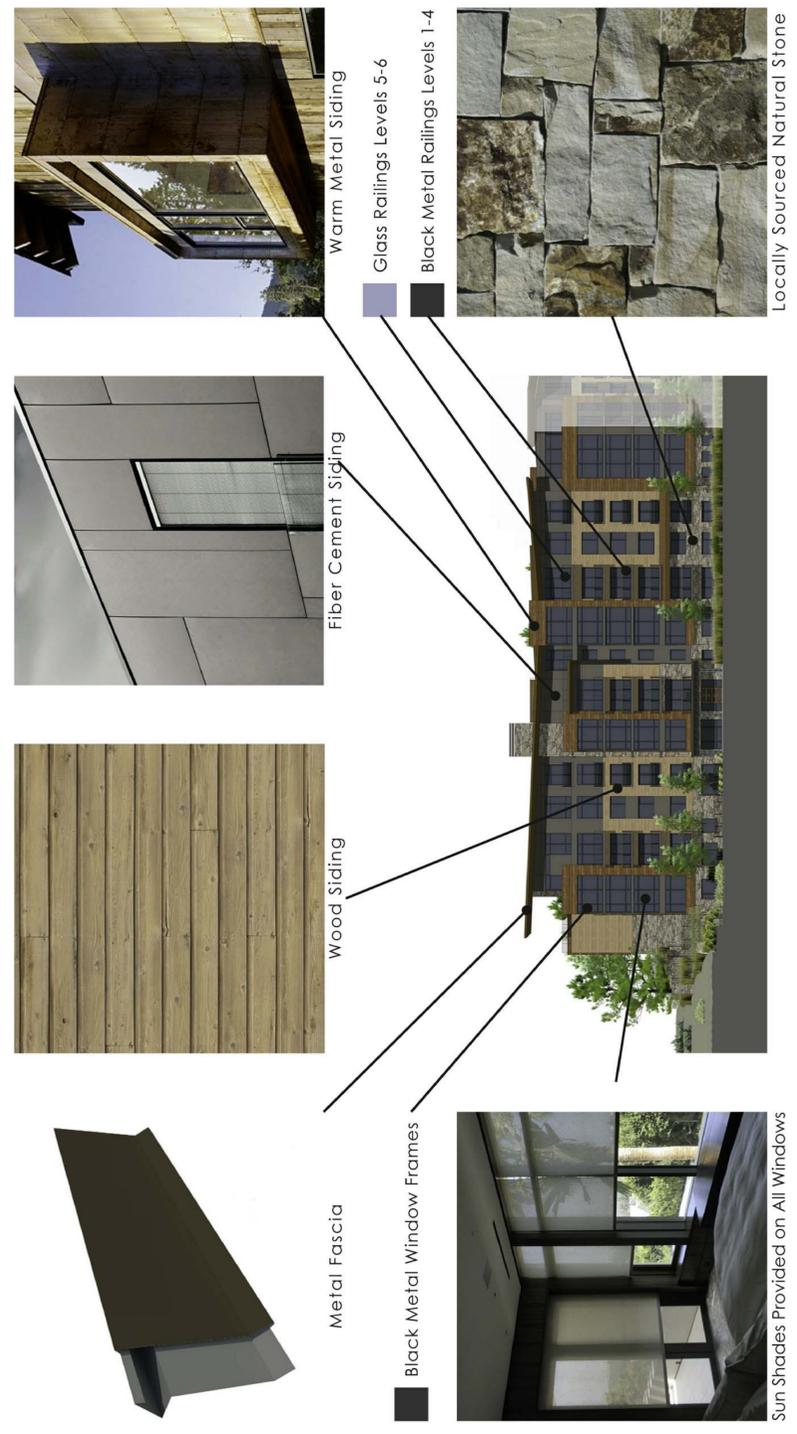
ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 BUILDING SIGNAGE  
 AND MATERIALS

SCALE: 1" = 40'-0"  
 SHEET NUMBER  
**AC-401**



SIGNAGE





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LIFT

PROJ. NO. 115179.00  
 DRAWN: OZ  
 CHECKED: Checker  
 APPROVED: Approver  
 DATE: 2016/07/29

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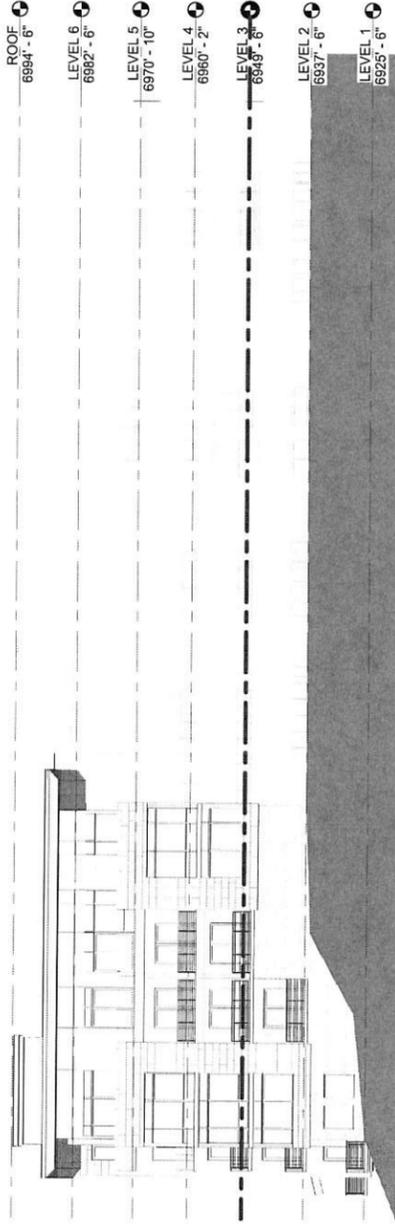
LIFT

ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 BUILDING ELEVATIONS

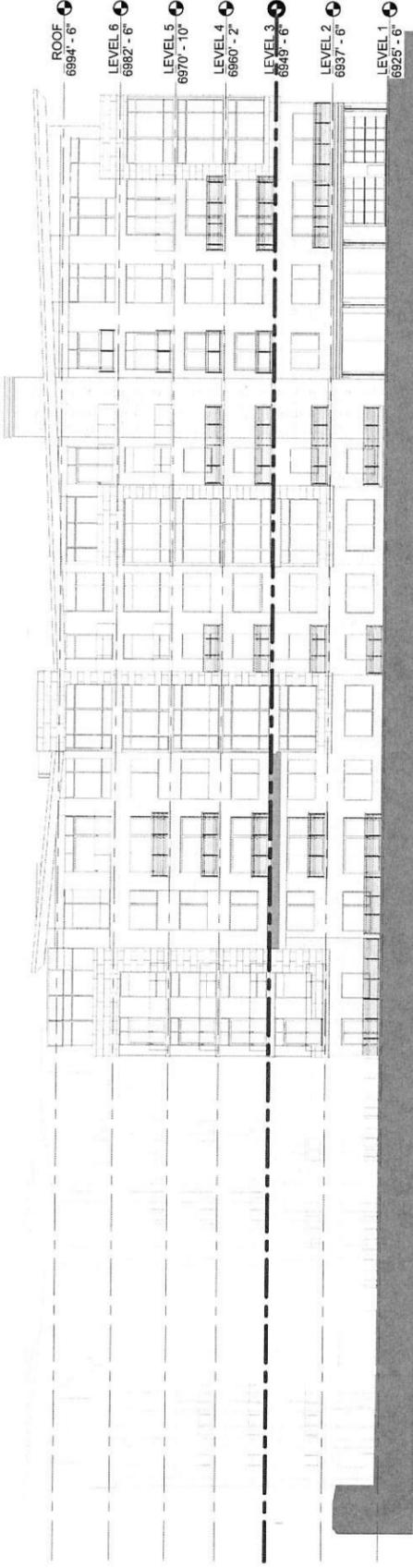
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 SHEET NUMBER

AC-301



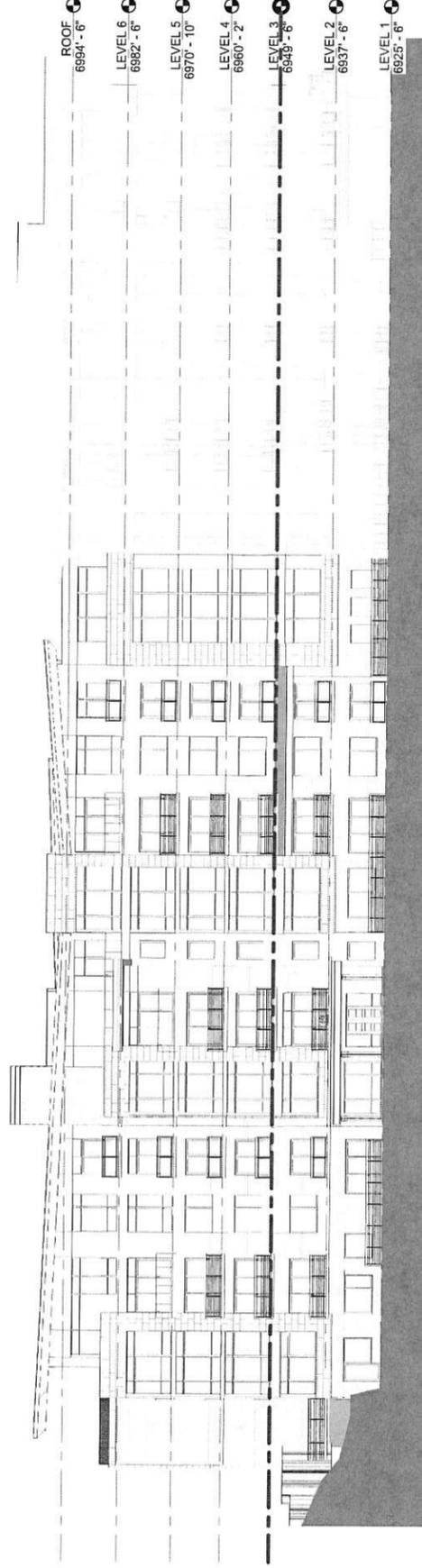
3 NORTHWEST BUILDING ELEVATION - COUNTY

1/16" = 1'-0"



2 NORTHEAST BUILDING ELEVATION - COUNTY

1/16" = 1'-0"



1 EAST BUILDING ELEVATION - COUNTY

1/16" = 1'-0"

ROOF 6894'-6"  
 LEVEL 6 6892'-6"  
 LEVEL 5 6870'-10"  
 LEVEL 4 6860'-2"  
 LEVEL 3 6849'-6"  
 LEVEL 2 6837'-6"  
 LEVEL 1 6825'-6"

ROOF 6894'-6"  
 LEVEL 6 6882'-6"  
 LEVEL 5 6870'-10"  
 LEVEL 4 6860'-2"  
 LEVEL 3 6849'-6"  
 LEVEL 2 6837'-6"  
 LEVEL 1 6825'-6"

ROOF 6894'-6"  
 LEVEL 6 6882'-6"  
 LEVEL 5 6870'-10"  
 LEVEL 4 6860'-2"  
 LEVEL 3 6849'-6"  
 LEVEL 2 6837'-6"  
 LEVEL 1 6825'-6"



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 DATE: 2016/06/03

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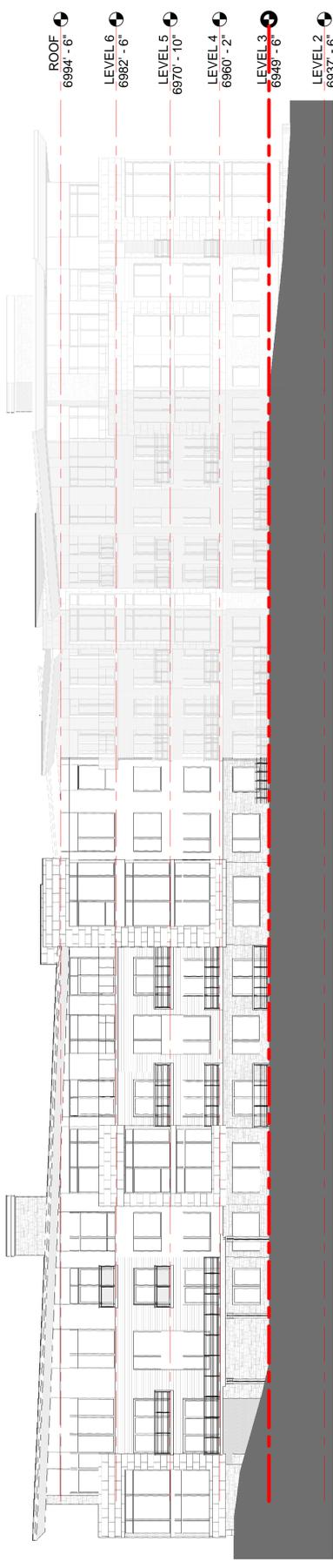
LIFT

ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 BUILDING ELEVATIONS

SCALE: 1/16" = 1'-0"  
 SHEET NUMBER

AC-302



ROOF 6894' - 6"  
 LEVEL 6 6882' - 6"  
 LEVEL 5 6970' - 10"  
 LEVEL 4 6960' - 2"  
 LEVEL 3 6849' - 6"  
 LEVEL 2 6837' - 6"

3 WEST BUILDING ELEVATION - GRAPHIC  
 1/16" = 1'-0"



ROOF 6894' - 6"  
 LEVEL 6 6882' - 6"  
 LEVEL 5 6970' - 10"  
 LEVEL 4 6960' - 2"  
 LEVEL 3 6849' - 6"  
 LEVEL 2 6837' - 6"  
 LEVEL 1 6825' - 6"

2 SOUTHWEST BUILDING ELEVATION - GRAPHIC  
 1/16" = 1'-0"



ROOF 6994' - 6"  
 LEVEL 6 6982' - 6"  
 LEVEL 5 6970' - 10"  
 LEVEL 4 6960' - 2"  
 LEVEL 3 6949' - 6"  
 LEVEL 2 6937' - 6"

1 SOUTH BUILDING ELEVATION - GRAPHIC  
 1/16" = 1'-0"

# Unit Matrix

UNIT TYPE	AREA (SF)	1	2	3	4	5	6	TOTAL UNITS	TOTAL (SF)
1 BDRM									
1A	832	0	0	1	1	1	0	3	2,496
1A.1	940	0	1	0	0	0	0	1	940
1A.1 type A	940	1	0	0	0	0	0	1	940
1B	847	0	1	1	1	1	0	4	3,388
1C	997	1	0	0	0	0	0	1	997
2 BDRM									
2A	1,319	0	1	2	3	3	0	9	11,871
2A.1	1,372	0	1	0	0	0	0	1	1,372
2A.2	1,298	1	0	1	0	0	0	2	2,596
2A.3	1,343	1	0	0	0	0	0	1	1,343
2B/L.O.	1,389	0	0	1	1	1	0	3	4,167
2B/L.O. type A	1,475	0	1	0	0	0	0	1	1,475
2B.1/L.O.	1,402	1	0	0	0	0	0	1	1,402
3 BDRM									
3A/L.O.	1,784	0	0	1	2	3	0	6	10,704
3A/L.O. type A	1,784	0	0	0	1	0	0	1	1,784
3A.1/L.O.	1,872	1	0	0	0	0	0	1	1,872
3A.2/L.O.	1,928	0	1	0	0	0	0	1	1,928
3A.3/L.O.	1,754	0	0	2	0	0	0	2	3,508
3B	1,435	0	0	1	1	1	0	3	4,305
3C/L.O.	1,780	0	1	2	3	3	0	9	16,020
PH-3D	1,861	0	0	0	0	0	1	1	1,861
PH-3E	2,159	0	0	0	0	0	1	1	2,159
4 BDRM									
4A/L.O.	2,279	0	0	0	1	1	0	2	4,558
4A.1/L.O. type A	2,203	0	0	1	0	0	0	1	2,203
PH-4B	2,354	0	0	0	0	0	1	1	2,354
PH-4C	3,179	0	0	0	0	0	2	2	6,358
5 BDRM									
PH-5A	3,212	0	0	0	0	0	1	1	3,212
PH-5B	3,089	0	0	0	0	0	1	1	3,089
<b>TOTALS</b>		<b>6</b>	<b>7</b>	<b>13</b>	<b>14</b>	<b>14</b>	<b>7</b>	<b>61</b>	<b>98,902</b>
UNIT KEY								61	
L.O. KEY								28	
<b>TOTAL KEY</b>								<b>89</b>	

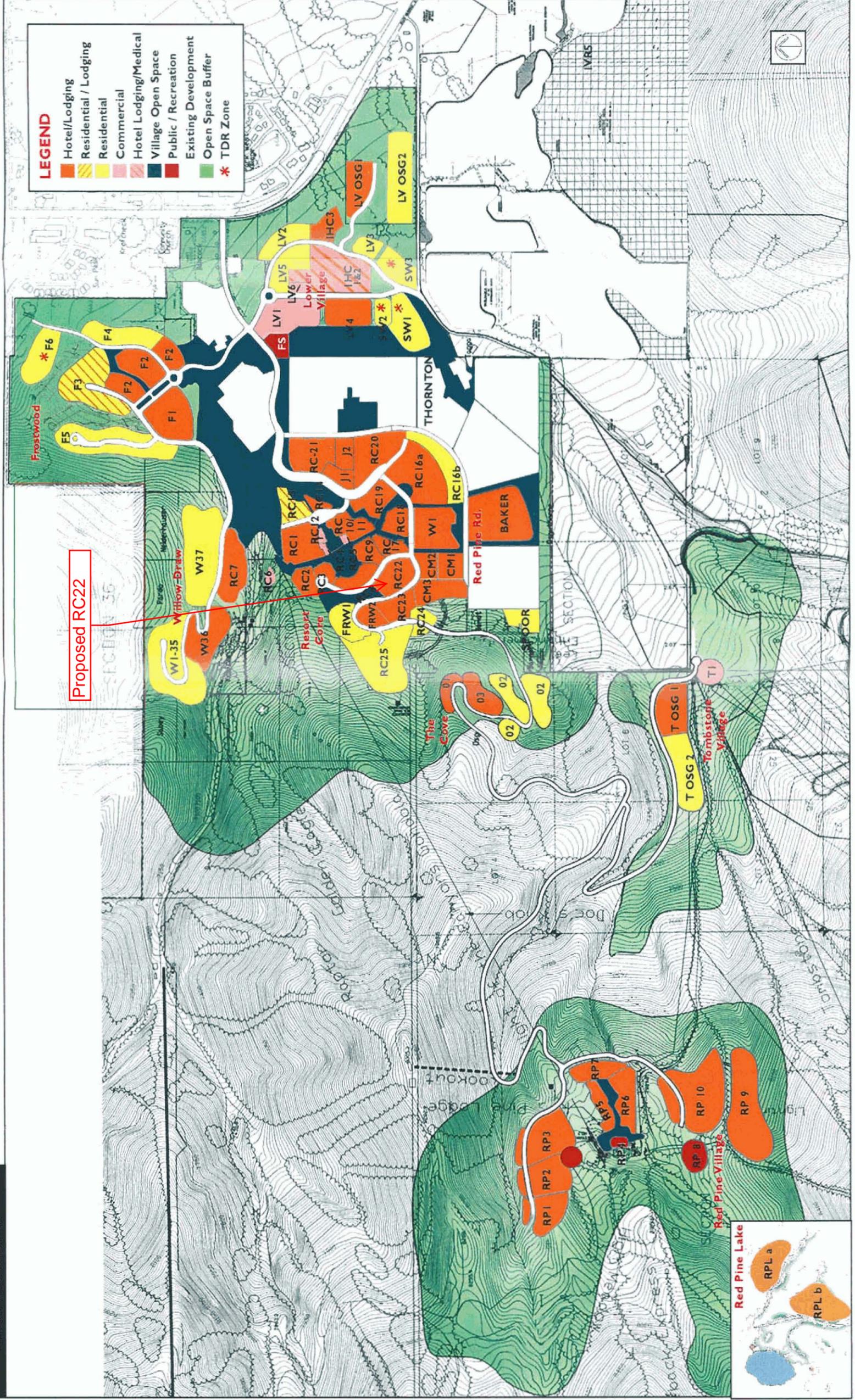
Lobby	974								974
Owner Lounge	2,079								2,079
Fitness	1,307								1,307
*Meeting Room	688								
*Owner Lockers	2,563								
*Ski Lockers	951								
Corridors	9,835	1,324	1,718	1,768	1,736	1,736	1,553		9,835
									<b>113,097</b>

\*Areas not included

## Site Summary

The Canyons  
Design Review Committee:  
Final review Set of Plans  
Reviewed: 6-8-16

LAND USE ZONING



Land Use & Zoning

PARCEL REF #	MAXIMUM BUILDING HEIGHT	MAX. GROSS BUILDING AREA	ACCOMMODATION AREA	COMMERCIAL/ RETAIL SUPPORT	PRINCIPLE USE
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RESORT CENTER

RESORT CORE					
RC. 1	3-9	360,405	244,000	116,405	Hotel/Lodging Units
RC. 2	3-6	154,160	127,946	26,214	Hotel/Lodging Units
RC. 3	5	106,202	91,300	14,902	Hotel/Lodging Units
RC. 4	2.5	8,400	0	8,400	Retail/Office
RC. 5	2.5	8,800	0	8,800	Retail/Office
RC. 6	2-3	25,645		25,645	Retail/Skier Services
RC. 7	7-9	339,500	252,000	87,500	Hotel/Lodging Units
RC. 8	5.5	114,524	94,025	20,498	Hotel/Lodging Units
RC. 9	4.5	82,980	68,383	13,997	Hotel/Lodging Units
RC. 10	3.5	64,234	53,429	10,805	Hotel/Lodging Units
RC. 11a/b	3.5	99,451	93,331	6,120	Hotel/Lodging Units
RC. 12	2	8,700	0	8,700	Retail
RC. 14	4	65,000	60,000	5,000	Hotel/Lodging Units
RC. 15	4-5	166,941	146,941	20,000	Residential Multi-Family/Hotel/Lodging Units
RC. 16a	4-6	310,000	260,000	50,000	Hotel/Lodging Units/Convention Center
RC. 16 b	2	32,000	32,000	0	Residential-Multi Family
RC. 17	5-6	98,748	75,348	23,400	Hotel/Lodging Units/Skier Services
RC. 18	5	135,765	97,065	38,700	Hotel/Lodging Units
RC. 19	5.5	255,607	243,407	12,200	Hotel/Lodging Units
RC. 20	2-4.5	203,130	184,130	19,000	Hotel/Lodging Units
RC. 21	2-4.5	188,000	176,000	12,000	Hotel/Lodging Units
RC. 22	3-6	114,000	114,000	0	Hotel/Lodging Units
RC. 23	3	43,875	43,875	0	Hotel/Lodging Units
RC. 24	3	39,000	39,000	0	Residential-Multi Family
RC. 25	2.5	161,000	161,000	0	Residential-Multi Family
Forum Retail	1	24,000	0	24,000	Retail/Skier Services
T1	1.5	3,629	0	3,629	Service
T2	1.5	2,625	0	2,625	Service
Cox/Muller 1	2	15,200	15,200	0	Hotel/Lodging Units
Cox/Muller 2	2 - 5	73,500	51,000	22,500	Hotel/Lodging Units
Cox/Muller 3	3 - 5	173,767	113,000	60,767	Hotel/Lodging Units
Friedman 1	2-3	67,200	67,200	0	Hotel/Lodging Units
Friedman 2	2-3	52,800	52,800	0	Hotel/Lodging Units
Groutage/Jaffa 1	4.5	66,770	59,325	7,445	Hotel/Lodging Units
Groutage/Jaffa 2	2 - 4.5	63,230	63,230	0	Hotel/Lodging Units
Weight	2 - 5	175,000	137,000	38,000	Hotel/Lodging Units
		3,903,687	3,216,436	687,252	



June 8<sup>th</sup>, 2016

Tiffanie Robinson, County Planner  
Summit County Community Development Department  
PO Box 128  
Coalville, UT 84017

RE: The Canyons RVMA DRC Recommendation Letter – RC22 “Lift”

Ms. Robinson,

On May 26, 2016 the Design Review Committee reviewed final plans for the RC22 “Lift” project. The applicant has complied with all necessary modifications. The DRC recommends approval subject to completion of the following:

1. Provide the RVMA with a copy of the proposed County Development Improvement Agreement.
2. A construction mitigation and management plan will be submitted to the RVMA along with a construction management agreement and applicable fees/deposits prior to the County issuing a building permit.
3. Prior to a building permit being issued the developer and appointed general contractor will meet with the RVMA to discuss the proposed construction plan. This plan will include construction staging, laydown, SWPP representative appointee, hours of operation, insurance, etc. Additionally, a plan for employee transportation and parking management for both the period of construction and after the project receives a Certificate of Occupancy will be provided.
4. CC&R’s will reflect language regarding the Annual Member Assessment specific to billing, collection and remittance procedures to be approved by the RVMA. A final copy of the CC&R’s shall be submitted to the RVMA for review prior to recording and issuance of a building permit.
5. The developer will contact the RVMA in writing for a property inspection to be scheduled 30 days prior to the issuance of a Certificate of Occupancy.

Documents included as part of the recommendation are as follows:

- Project Plans dated 06/01/16 with a review stamp of 06/08/16.

On behalf of  
The Canyons Design Review Committee

Brian Madaci  
Executive Director, The Canyons RVMA

5. ***No modification to the approved Low Impact Permit is permitted without the prior approval of the Summit County Community Development Department.***
6. ***All necessary permits must be obtained and fees shall be paid prior to the commencement of any construction activity, including but not limited to the Summit County Engineering and the Summit County Building Departments.***
7. ***All service provider requirements shall be met.***

- **MOTION CARRIED (6 - 0)**

4. **Approval of Minutes**

**June 14, 2016:**

***Commissioner Franklin made a motion, which was seconded by Commissioner Harte, to approve the minutes as written. All voted in favor.***

- **MOTION CARRIED (5 - 0) Commissioner DeFord abstained as he was absent.**

### **WORK SESSION**

1. **Discussion of a Final Site Plan regarding the Lift hotel on parcel RC 22 at Canyons Village – Tiffanie Northrup-Robinson, Senior Planner**

Planner Northrup-Robinson said the name of this project is “Lift.” It is not “The Lift” or “Lift Hotel.” It is, however, a hotel, not a ski lift. It is located in parcel RC-22, which was recorded in March 2016. A brief site visit of this location was taken during the Apex site visit. The parcel is 1.6 acres in size. The application is for 114,000 square feet.

A slide was shown of a rendering of the project. The maximum height is 3 to 6 stories. There are different levels depending on the grade. Planner Northrup-Robinson said the displayed site plan was submitted as of today. There are some site modifications that have been made since the packets went out last week based on comments made by County Engineer Gary Horton.

Planner Northrup-Robinson said that for the most part, the service provider comments came back positive. No issues with Rocky Mountain Power, Questar, or the Park City Fire District. There were a few outstanding items from the County Engineer.

The first item of concern was the storm water plan. Engineer Horton wanted to make sure they had all the information needed for approval and that the storm water plan will either be maintained onsite or within The Canyon's master infrastructure plan. Planner Northrup-Robinson said this plan is being worked on. More specifics will come as they move along.

The next Engineering Department concern was the access. According to ordinance 181, the driveway can't be any closer than 50 feet from the Sun Dial driveway access. In the original site plan, the access point to the Sun Dial lodge was closer than allowed, so this has been modified.

Using the site plan, Planner Northrup-Robinson pointed out the access to the parking garage, located further up High Mountain Road. She said there are two driveways here. One is for the parking garage; the other is for the generators. The applicant, Gary Raymond, said they will have this consolidated or redesigned. Planner Northrup-Robinson said this will be a condition of approval.

Planner Northrup-Robinson said pedestrian access is being proposed across High Mountain Road because of the traffic. There have been some additional safety measures taken. The angle has been slightly modified and pedestrian signs will be installed. She pointed out the proposed connectivity from the hotel to the Sunrise Lift.

Planner Northrup-Robinson said Engineer Horton has also requested the emergency access be mapped out. A slide was shown that demonstrated what has been submitted. The Engineer has said he is comfortable with this proposal. She pointed out the details on the displayed slide. She said the requirements for landscaping and lighting are

pretty standard. The applicant is working on these details.

Staff is looking for input from the Planning Commission. Do they have any additional concerns? Is there more information needed before this comes back to the Commission? Planner Northrup-Robinson introduced Gary Raymond and Spencer (?). They are here to address any questions the Commission may have.

**Commissioner Klingenstein** asked about the affordable housing associated with the project. Planner Northrup-Robinson said they have exceeded the 25% threshold. A plan has been submitted, which will be discussed with the County Council on August 24, 2016.

**Commissioner Klingenstein** said that High Mountain Road is classified as a collector. He appreciates the pedestrian crossing, but just putting out signs is not enough. There needs to be more, like something in the middle of the road or perhaps a pedestrian crossing light. Mr. Spencer said they have both of those. The crosswalk will be like the crosswalks on Canyons Resort Drive. It is red stamped concrete. The crosswalk signs are the ones that flash when the button is pushed.

**Commissioner Klingenstein** asked who is responsible for the maintenance and care of crosswalks. He was told that it would be the RVMA. **Commissioner Klingenstein** said that often during winter, these are worn down. How do they get the RVMA to maintain these? He added the Fire Department has expressed concern about how the no-parking rules will be enforced on the street and emergency access roadway.

**Commissioner Klingenstein** said this is not the applicant's problem, and yet it is. He would like to hear that the RVMA has come up with an action plan on enforceability. They don't have a police department; they may have to contract with the County. Mr. Spencer said while he doesn't mind these questions, he wants to make sure that the Planning Commission understands they are at this meeting representing Replay

Resorts, not TCFC, or part of the Master Developer. **Commissioner Klingenstein** said he understands that. That is why he said this isn't their problem; it is the problem of the RVMA. He added that it can become their problem. The more pressure that the developers put on the RVMA may result in better compliance.

Mr. Raymond said this is a building that will operate as hotel lodging. He agreed that it can become their problem. Their operating manuals have information on how to deal with parking management. This will add to what the RVMA has.

**Commissioner Klingenstein** said that currently they have a pedestrian circulation plan that either puts people through a hotel lobby or through the middle of a parking lot. He pointed to the slide to show his understanding of where the proposed circulation is to be located. Mr. Raymond made some corrections. **Commissioner Klingenstein** recommended the applicant does a better job of showing the connectivity paths in future site plans. The access to the ski lifts was described.

**Commissioner Lawson** referred to the possible storm drainage plans. He said it seems that there are two options available; one is onsite the other is offsite. Mr. Spencer said there is a master storm drain. When the SPA was approved, it was one big project.

Mr. Spencer said there will be storm detention offsite. He described the path the stormwater would take. **Commissioner Lawson** said he didn't see much space dedicated to stormwater detention. Mr. Spencer said there isn't a lot. It goes to a detention basin at The Grand Summit.

**Commissioner Lawson** asked if there is a calculation on having enough room for snow storage. Planner Northrup-Robinson answered that there is. **Commissioner Franklin** had no questions at this time.

**Commissioner Collins** said her questions will relate to the bus stop, the transit stop, and employees. She asked if they would explain how someone would walk from their location to the transit center or if there is another way to get to a bus. Mr. Spencer explained the access for both winter and summer.

Mr. Spencer said as part of the TCFC, they are about ready to turn in an application for a SPA amendment. At that time, they will turn in their circulation plan, which addresses transit issues. It also talks about shuttle buses and different routes they are proposing. It talks about improving the transit center, bike storage, and electric bikes.

Mr. Spencer admitted that it is a walk from the Lodge to the transit center, if someone isn't riding the cabriolet. He described what the easiest route to take would be.

**Commissioner Collins** said when they come back it would be helpful if they can explain how the amendment will relate to their project and to be ready to answer the Commission questions about connectivity and transportation. She would like to know how this will work if the SPA amendment hasn't been approved by the time this application comes back to the Commission.

**Commissioner Collins** said the design of the shuttle service is concerning. They will have handicap parking, pedestrians, potentially someone pushing snow, and maybe a pizza delivery person. There are a lot of things going on at one access point. It would be helpful if they would give an idea of what the front entrance would look like.

**Commissioner Collins** said there is a conflict with the snow storage that is directly in front of the handicap spaces, and there is no designated sidewalk. They should take pedestrian activities into account. With a hotel this size, there will be a significant amount of employees. Can Mr. Raymond describe the employee travel patterns to get to the site if the cabriolet is not running? Will onsite parking for the employees be provided?

Mr. Spencer said it is a lodging building, but there is no commercial in the building. The Staff counts will not be as high as in a full-service hotel. There will be no parking designated for Staff onsite. Staff generally parks in the lots that exist in the development areas.

Mr. Spencer said they are proposing that the parking that exists in the Resort Core be replaced with a parking structure. When they see the transportation plan they are proposing in connection with the master plan, they will see the vans and shuttles will work in relation to that. There is a need for a larger transportation solution, especially when it comes to employee parking. Mr. Spencer said some of the things **Commissioner Collins** is asking for are difficult to solve on one parcel of land. In context of the greater master plan, he hopes she will be able to see how they have gone well into the thought process of how these things will be dealt with.

**Commissioner Collins** said the greater workforce of this area comes outside of Park City. This needs to be addressed in terms of parking. It should not be an undue burden. Mr. Spencer said workforce housing will be located in the lower village and will be only a few minutes' walk to the cabriolet. They are trying to address a lot of these items within the context of the master plan.

**Commissioner Collins** next addressed bikes. If she were an employee, she would want to ride her bike. Will there be a spot available for employees in addition to guest bike parking. Mr. Spencer said they are planning on having gear lockers that can be used for either skis or bikes.

**Commissioner Collins** asked how the parking space was calculated. Planner Northrup-Robinson said there are parking standards connected to The Canyon's SPA. The minimum parking standard is eight spaces per unit. Underground parking can be exceeded, but not be less.

Mr. Spencer said there are 49 parking spaces required and 79 proposed. Other hotels have found that if a developer uses the minimum allowed parking, it is severely under-parked; however, they hope other forms of transportation will be used to arrive there.

**Commissioner Collins** said she is hoping that the shuttle plan and other plans will encourage less automobile travel. Those who are there on vacation won't have to use a car. She hopes the Commission will see that in their plan.

Mr. Spencer said they have gone into the slope for parking. By doing this, it allows them to construct the entire building lower so when they leave or enter the building, they will be on-grade to the lifts, the golf course, and the restaurants. One of the biggest issues in The Canyons Resort is not so much the distances, but the grade that someone has to walk. Because the way they have designed the building, they think it will be a "park your car and leave it" destination. For the most part, a person will be able to walk at-grade to get to the things they want.

**Commissioner Collins** asked if they will be connected to the existing trail system on the mountain. Mr. Spencer said they will connect on-grade to all of the greater trails. From a ski standpoint it couldn't be any easier.

Mr. Raymond said they do have some vertical challenges. Currently the bus stops at the Grand Summit. People have to take a circuitous route and go upstairs to get to the forum level. They are trying to improve that access and are trying to attach escalators to the outside of the proposed building. They want to make it easier to hop off the bus and take an escalator with skis. This is part of the bigger plan.

**Commissioner DeFord** said the Staff Report says that units "may" be available for rental. Planner Northrup-Robinson said a unit owner is not required to add to the rental pool. Mr. Spencer said they are required to have the facilities that would enable rentals. He said the securities regulations of the United States prevent a developer from forcing someone to put their unit into a rental, nor can they "pool" revenue. Basically, a

rental opportunity will be put in place that people can elect to go into or not. The building has been designed to operate seamlessly as a rental property.

**Commissioner DeFord** said Attorney Brackin has told the Commission that these properties are part of the bed base of The Canyons. Attorney Brackin said that is correct. The Resort Core was intended to be bed based and not primary-owner occupied all of the time. It was intended to have a common check-in area, so it could be managed as a rental. They want to encourage the bed base. **Commissioner Collins** asked if they have everything needed to satisfy those needs. Mr. Raymond said there are 61 units in the building. Twenty-eight of those have lockout rooms.

**Commissioner DeFord** asked where they are on the water concurrency. Attorney Brackin said it has been adopted. It has not changed much from the existing concurrency. It is now under the domain of the Health Department; however, it is still part of the zoning ordinance. An applicant has to have a letter from the water provider saying they have enough water at the time of approval. When they come in for the actual building permit, they have to prove wet water.

**Commissioner DeFord** noted there is a rendering of the parking structure, but it is difficult to understand how this will actually work. When they come back with the application, he would like to have a better idea of how this building will be situated to the other buildings around it. He is unable to see how the parking structure is built into the back.

Mr. Raymond pointed to the displayed site plan to show where the footprint of the parking structure would be. **Commissioner Harte** referred to Exhibit A-4. He asked if there is room for a car to turn out at the end parking stalls. He said that renderings are helpful to figure out how this site sits on the property in relation to the other buildings around it. That would help him better understand circulation. Mr. Spencer described the area where a car could turn out.

**Commissioner DeFord** said the Fire Department has said they are satisfied, but there is a note saying there are emergency access issues. Planner Northrup-Robinson said Engineer Horton was concerned with ingress/egress. She said this is something that Public Works Director Derek Radke actually has brought up because this has been ongoing for several years. They want to be able to maintain the needed capabilities for ambulances and fire trucks as the area gets built out.

Mr. Spencer reminded **Commissioner DeFord** of when RC 25 was developed. This setup required emergency vehicles to pull into the clubhouse driveway. The Fire Department can turn around on both of the hammerheads they have designed.

**Commissioner DeFord** noted that the employee housing plan is coming, connectivity is coming, and the transportation plan is also coming. Mr. Raymond said these things will all be part of the TCFC. **Commissioner Collins** asked if they will relate all of these things to their project when they come back. Mr. Raymond said that is correct.

**Commissioner Harte** said he doesn't see any kind of sustainability plans for either construction materials or for energy, water, and etc. This is a key issue he would like to have information on. Walkability is also high on his list, but that has been well covered. He noticed the building has very broad flat sides with lots of light reflection. He doesn't see anything to lead him to believe that there will be something to reduce the reflection or shade it or break it up. That could become a big issue. When they come back, this should be addressed.

**Commissioner Harte** asked if this building is hidden behind anything. Mr. Raymond said it will be partially hidden by existing buildings. One side will be completely hidden by future buildings. They will describe their materials when they come back. He said another thing to consider is that this is a fully furnished product. All of the window coverings will be consistent and will be supplied to every unit. This will address the lights coming from the windows.

**Commissioner Harte** told Planner Northrup-Robinson that many of the documents in the Staff Report can't be read because the writing is so small. He gave some examples. Planner Northrup-Robinson said the Council is working on getting iPads so that they will be able to zoom in. She said in the future, she will use 11"x17" paper.

**Chair Peck** asked about the timing of this project in connection with the Sunrise Lift. Mr. Spencer said the Sunrise Lift is part of the master plan. It may not happen with for another few years. When they upgrade that lift, they will lower it to the street level.

**Commissioner Collins** asked about deliveries such as liners. Where will that interface with the rest of the access points? Mr. Raymond said there will be two van spaces reserved. **Commissioner Klingenstein** said there is so much happening in this small spot that they don't understand how they are going to make it work. He encouraged the applicants to make sure that when they come back, it can all come together in a way the Commission can understand. Mr. Spencer said these are good, helpful questions to guide them.

#### **DRC UPDATES**

(None)

#### **COMMISSION ITEMS**

**Commissioner Collins** asked about the General Plan update. When will it be discussed? Planning and Zoning Administrator Peter Barnes gave an update. Staff has information to present at the next subcommittee meeting. From there it will progress to the Planning Commission.

**Commissioner Klingenstein** said Park City has a utility fee increase coming in August. He asked Attorney Brackin if this applies to urbanizing areas. She answered that it does not at this time because they have storm water ordinances and other pertinent



Response and Comments to the  
**Snyderville Basin Planning Commission (SBPC)**  
**Work Session on August 9, 2016**

**RC-22**

One Canyons, LLC  
2431 High Mountain Road, Canyons Village  
Park City, Utah

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## Location & Site Plan

RC-22 is an integral part of the Canyons Master Plan for the Resort Core. As shown in Figure A, RC-22 is west of RC-17 & RC-18, east of Vintage on the Strand, south of Sundial Lodge and north of the Sunrise ski lift and Hyatt Centric. It is designed as a park and walk community that will serve as a year-round destination for Owners and Guests.

The Canyons Master Plan was submitted August 25, 2016 to Summit County. Additional Site Plan and Location graphics are attached as Exhibit 1.



Figure A: Canyons Master Plan

## Sustainability

### Construction Activity & Operations

The required construction mitigation plan will incorporate erosion control, sediment control and construction traffic plans to prevent storm water contamination from construction activities. Additional measures have/will be implemented to recycle, use recycled products, source locally and build sustainable.

Current building codes mandate that construction is sustainable by nature, i.e. high performance insulation, low flow faucets & shower heads, Low-E dual pane windows, regenerative drive elevators, and etc. We believe the most important and long-lasting sustainable feature is how the building will be operated, not just how it is built.

Lift will be operated and managed by a third-party management company (i.e. Vail Resorts). We will provide the management company a complete and thorough operations manual to ensure operating practices are sustainable and efficient.

## **Materials**

Lift will be built with materials, sealants, paints, coatings, flooring systems, and products that use Low-VOC materials. Low-VOC building products benefit the health of those individuals installing such materials in addition to long-term building occupants. Reducing the use of materials that emit pollutants is the most effective way to improve indoor air quality.

## **Glass and Glazing**

Standard LoE glazing, likely used on many existing projects in the region, reflects 17% of the light hitting it. Lift will feature the best commercially available option, Cardinal LoE 366 solar coating which both improves our thermal performance for lower energy costs (industry standard is LoE with 76% heat gain where LoE 366 lowers dramatically to 26% heat gain) and reduces reflectivity to 11%.

## **Indoor Environmental Air Quality**

In addition to Low-VOC materials, Lift has been specifically designed to feature operable windows and open floor plans to encourage natural air flow.

## **Water Efficiency**

Lift features sustainable water features, i.e. low flow faucets & shower heads, but every residence will also feature a Reverse Osmosis System (OR). Reverse osmosis removes salt and most other inorganic material present in the water to purify it for drinking. By providing a RO System in every residence, Lift is encouraging Owners and Guests to reduce the number of plastic water bottles purchased and used.

For landscaping, native plant selections have been incorporated into the landscape design and very small areas of turf grass to reduce overall water needs. Irrigation technology optimized for accurate watering with plant-specific drip irrigation rather than broadcast heads.

EXHIBIT 2 – Landscape Plan

EXHIBIT 3 – Irrigation Plan

### **Electric Vehicle Charging Station**

Lift will feature an electric vehicle charging station in the garage for Owner or Guest's electric vehicles. The properties' Rules and Regulations will mandate usage and sharing methods (charging time limits) in order to facilitate multiple electric vehicles in the building.

### **Storm Water Management Plan**

Lift is part of the RVMA Storm Water Management Plan that controls the quantity and quality of runoff from the site and fits into the larger SPA area plan. Lift will submit Storm Water Management Plans with the building plans for approval and permits.

## **Connectivity**

### **Vehicular Access & Parking**

Lift is designed to have a total of 75 parking spaces in the parking garage; including 4 Accessible Spaces, 2 Reserved Spaces for commercial use (deliveries, management), 61 parking spaces (1 per unit), and an additional 8 spaces. Lift's design also includes 4 surface parking spaces for short-term parking in front of the building. One of the 4 surface spaces is for Accessible use.

EXHIBIT 4 – Parking Garage, Level 1

EXHIBIT 5 – Parking Garage, Level 2

EXHIBIT 6 – Short Term Parking and Delivery Diagram

### **Deliveries**

Larger delivery trucks (UPS, FedEx, etc) will use the arrival roundabout while smaller deliveries (dry cleaning, food service, etc) will use the 2 parking spaces in the garage assigned to the building.

The arrival roundabout has been designed to accommodate the temporary parking of large delivery trucks while still maintaining circulation and movement of Owners and Guests.

## Shuttle

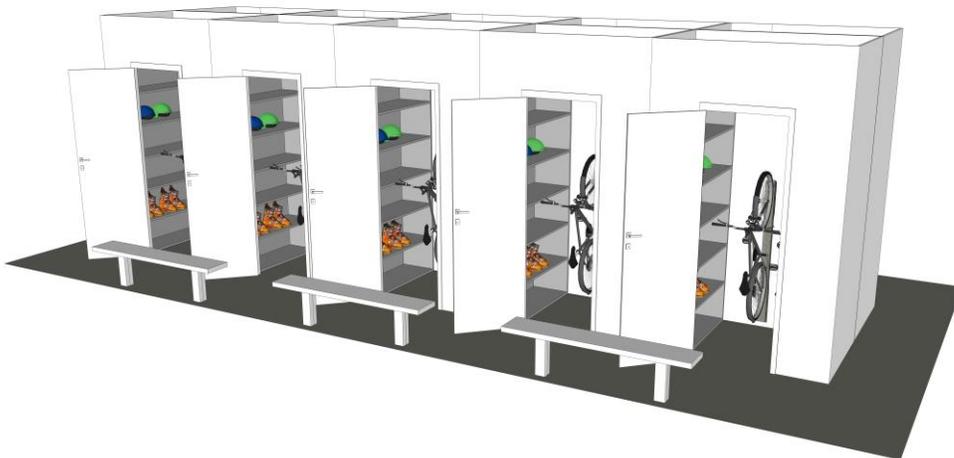
No private shuttle is currently planned as an amenity of Lift on RC-22. Lift is integrated into the Canyons Village Resort Core and is ski and pedestrian friendly for its Owners & Guests. The proposed Canyons Masterplan provides enhanced shuttle service in the Resort Core, including proposed stops adjacent to Lift and around RC-17/18.

Shuttle services to the Salt Lake International Airport are available from existing services and transportation companies.

EXHIBIT 7 – Canyons Master Circulation Plan

## Bicycle Access

Lift is planned to be bicycle friendly and supportive of multi-modal transportation. Lift features “Gear Lockers” for the storage of bicycles, skis, snowboards, golf clubs and other outdoor equipment. Each Gear Locker will feature individual rooms with secure locking to ensure bicycles and other equipment are safe.



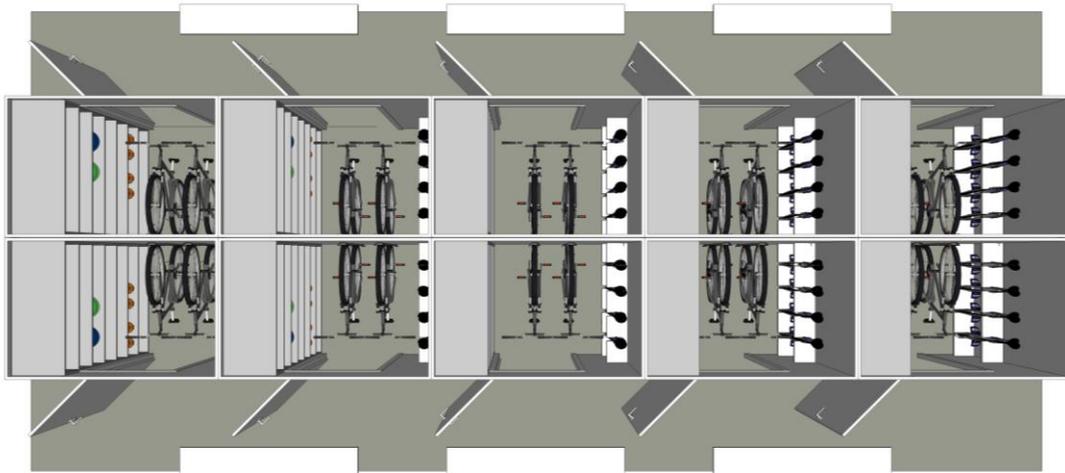
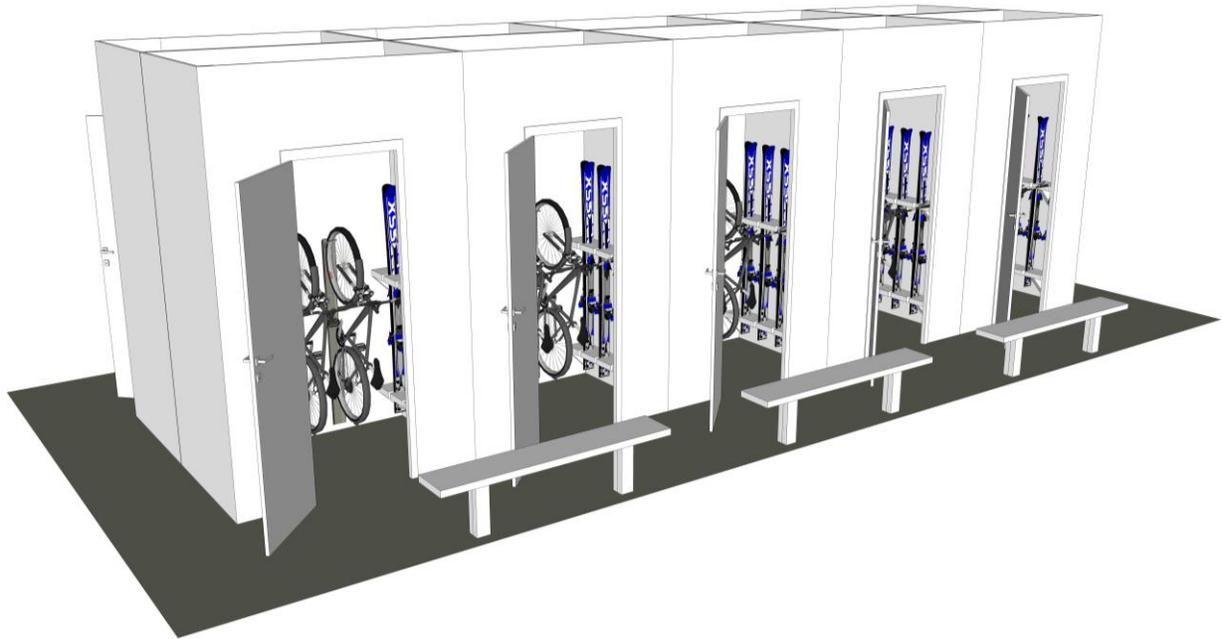


Figure B

Owners and Guests can ride their bicycles from the Gear Lockers through the parking garage and right onto some of the best mountain bike trails in the world. The Red Pine Gondola is approximately 700 feet from RC-22.

For employees of the Management/Operating company, there is a bike rack in the garage for their secure storage while working on-site.

EXHIBIT 5 – Parking Garage Plan, Level 2

## **Ski Access**

Lift is a ski-in, lift-out development at the base of Sunrise lift, which is planned to be improved to a higher-capacity lift in conjunction with the development of RC-17/18. Owners in Lift will have dedicated Gear Lockers as well as Ski Lockers with direct pedestrian access to the exterior so no skis will need to travel through the common areas unless properly secured in a travel bag.

## **Walkability**

Lift and the Canyons Masterplan is designed to provide a single, on-grade pedestrian experience from RC-22, RC-17/18 to the Forum, Red Pine Gondola, Orange Bubble Express and the Ski Beach.

The view from the proposed crosswalk location on High Mountain Road shows the walkability through the Sundial Lodge to the Forum or to the east around Sundial.



Figure C: Crosswalk View through Sundial

EXHIBIT 8 – Current Pedestrian Corrections Plans

EXHIBIT 9 - Future Pedestrian Corrections Plans

EXHIBIT 10 – Canyons Master Pedestrian Circulation

## **Sidewalk Safety**

As suggested in the work session, Lift will have a sidewalk fronting the entrance with pedestrian crossing for High Mountain Road to connect to the Sundial roundabout and

sidewalks. The cross walk for High Mountain Road will feature a flashing pedestrian crosswalk sign and stamped and painted crosswalk.

EXHIBIT 8 – Current Pedestrian Corrections Plans

### **Parking Enforcement**

Lift will be staffed full-time, year-round. On-site staff will enforce parking of all on-site spaces, including the short-term parking spaces for deliveries and drop-off at the entry.

All off-site parking is the responsibility of the RVMA to maintain and enforce parking and vehicular access.

### **Reflectivity**

See Sun Reflectivity Letter from OZ Architecture, Inc. and Diagram

EXHIBIT 11 – Sun Reflectivity Letter and Diagrams

### **Photometric Plan**

Site lighting for Lift meets all Summit County Development Code Standards.

EXHIBIT 12 – Photometric Plan and Light Cut Sheets

### **Snow Removal**

On-site snow removal is managed through a combination of snow melt at the garage entrance and manual snow removal at the surface parking area. In order to accommodate 10% of snow storage, areas around the building entrance and landscaped areas will be used as snow storage. No sidewalk or pedestrian pathway will be blocked by snow storage.

EXHIBIT 13 – Snow Storage Plan



3003 Larimer Street  
Denver, Colorado 80205  
phone 303.861.5704  
www.ozarch.com



LIFT  
2431 HIGH MOUNTAIN ROAD  
PARK CITY, UTAH 84098

PROJ. NO. 115179.00  
DRAWN: CH  
CHECKED: EL  
APPROVED:  
DATE: 2016/08/17

© OZ ARCHITECTURE

ISSUED FOR:  
SUMMIT COUNTY REVIEW

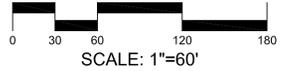
SHEET TITLE:  
OVERALL SITE PLAN

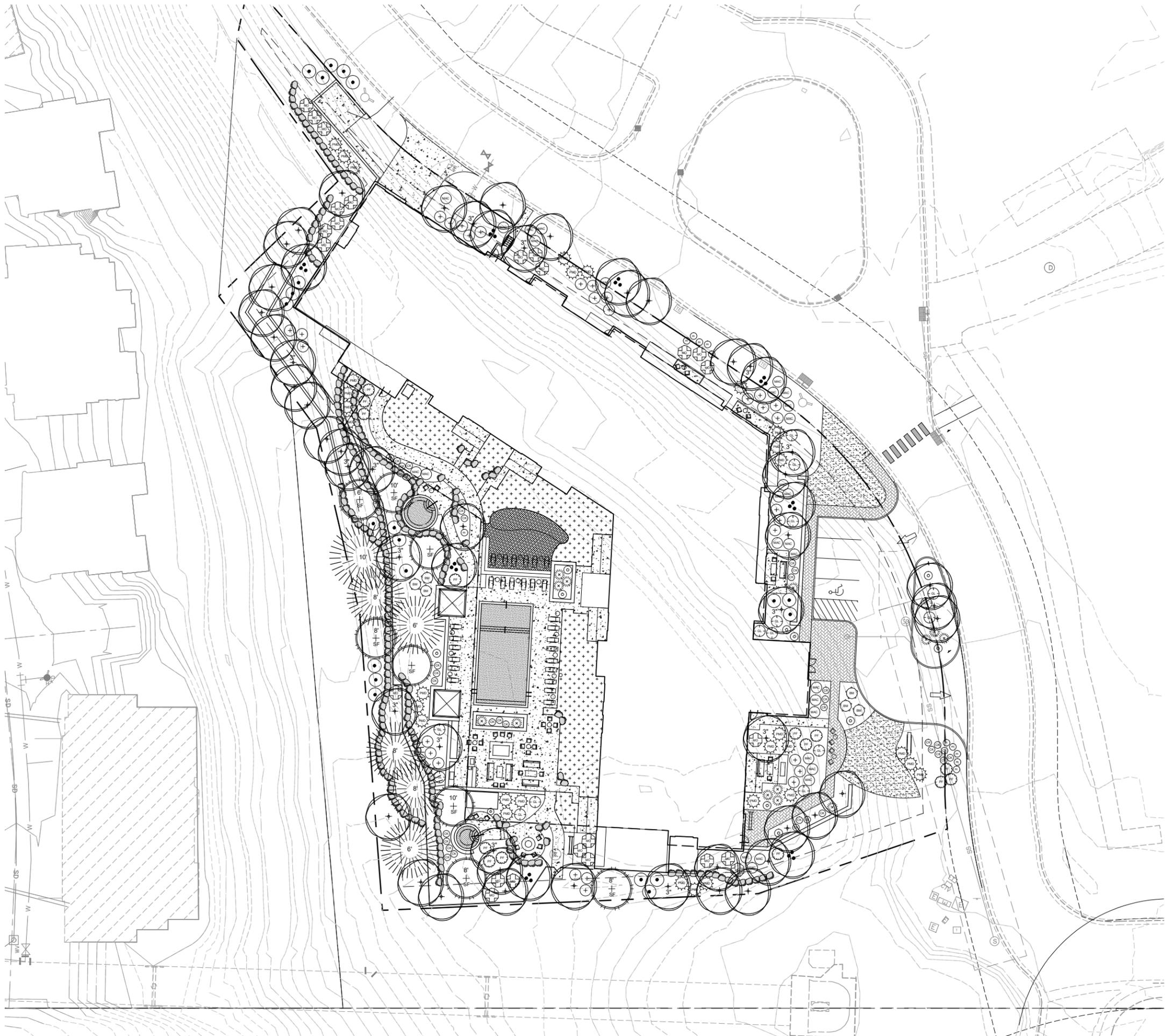
SCALE:  
SHEET NUMBER

L-102



EXHIBIT 1





### Plant Schedule

QUANTITY	SYMBOL	BOTANICAL/COMMON NAME	INSTALLED SIZE
<b>TREES</b>			
8		<i>Populus tremuloides</i> Quaking Aspen	2"-3" CAL.
50		<i>Populus tremuloides</i> Quaking Aspen	2"-3" CAL.
6		<i>Abies lasiocarpa</i> Sub-Alpine Fir	6-10' Hgt.
8		<i>Abies lasiocarpa</i> Sub-Alpine Fir	6-10' Hgt.
<b>SHRUBS</b>			
6		<i>Caryopteris x clandonensis</i> 'Blue Mist' Blue Mist Spirea	5 Gal.
30		<i>Cornus sericea</i> 'Alleman's Compact' Alleman's Red Osier Dogwood	5 Gal.
34		<i>Cornus sericea</i> 'Kelsey' Kelsey Red Osier Dogwood	5 Gal.
28		<i>Mahonia aquifolium</i> 'compacta' Compact Oregon Grape	5 Gal.
25		<i>Philadelphus lewisii</i> 'Blizzard' Blizzard Mock Orange	5 Gal.
31		<i>Pinus mugo mugo</i> 'Dwarf' Dwarf Mugo Pine	5 Gal.
14		<i>Potentilla fruticosa</i> 'Jackmanii' Jackman Potentilla	5 Gal.
15		<i>Rhus aromatica</i> 'Grow Low' Grow Low Sumac	5 Gal.
21		<i>Ribes alpinum</i> Alpine Currant	5 Gal.
<b>GROUNDCOVERS</b>			
11		<i>Mahonia repens</i> Creeping Oregon Grape	1 Gal.
1,775 sq. ft.		Turf	Sod
3,600 sq. ft.		Native Grass & Wildflower Mix	Seed
785 sq. ft.		Synthetic Turf	---
<b>PERENNIALS/GRASSES</b>			
11		<i>Achillea filipendulina</i> Yellow Yarrow	1 Gal.
13		<i>Helictotrichon sempervirens</i> Blue Oat Grass	1 Gal.



3003 Larimer Street  
Denver, Colorado 80205  
phone 303.861.5704  
www.ozarch.com



LIFT  
2431 HIGH MOUNTAIN ROAD  
PARK CITY, UTAH 84098

PROJ. NO. 115179.00  
DRAWN: CH  
CHECKED: EL  
APPROVED:  
DATE: 2016/08/17

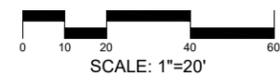
© OZ ARCHITECTURE

ISSUED FOR:  
SUMMIT COUNTY REVIEW

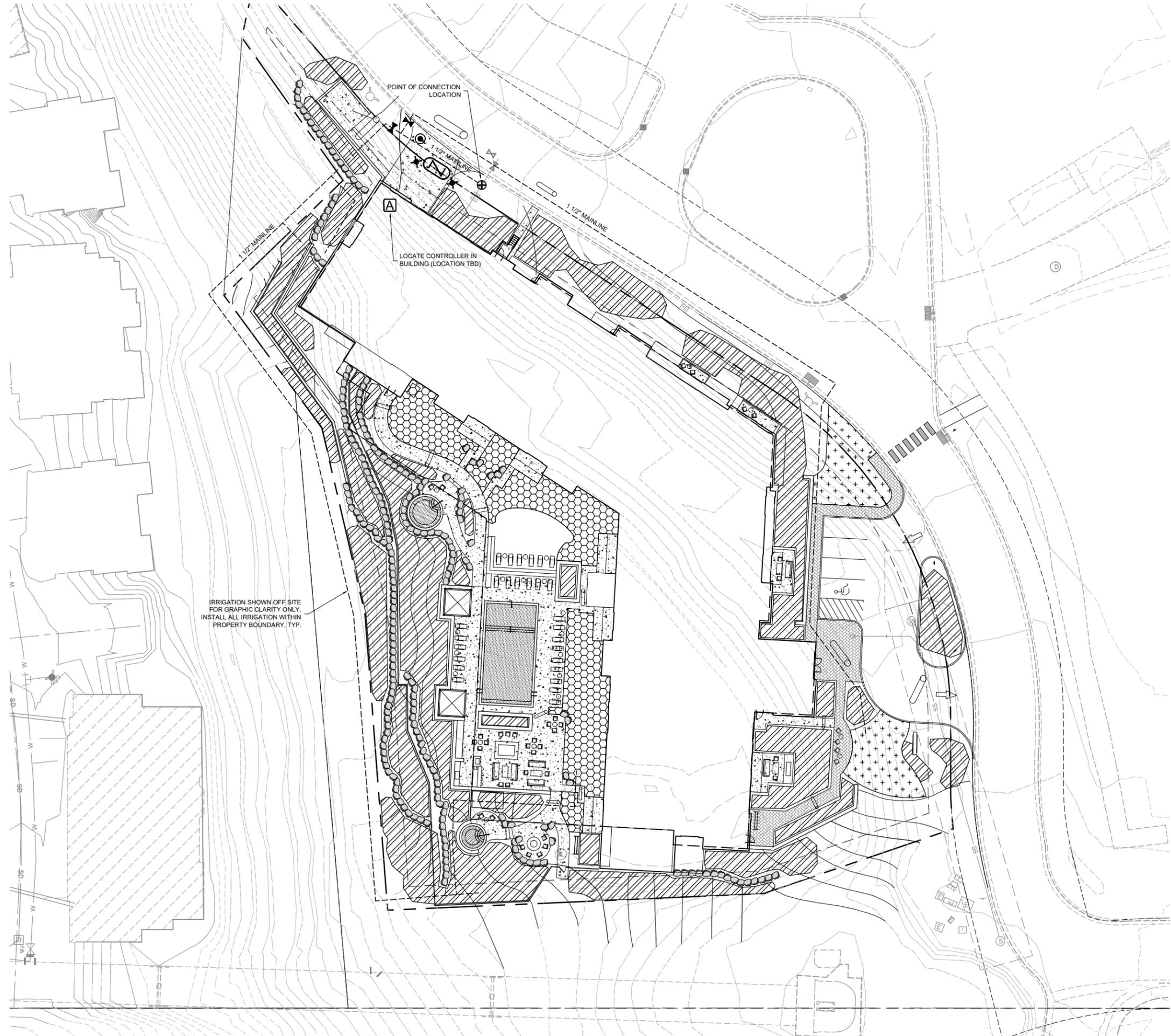
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LANDSCAPE PLAN

SCALE:  
SHEET NUMBER

L-300



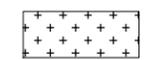
**EXHIBIT 2**



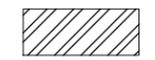
IRRIGATION SHOWN OFF SITE FOR GRAPHIC CLARITY ONLY. INSTALL ALL IRRIGATION WITHIN PROPERTY BOUNDARY, TYP.

### IRRIGATION LEGEND

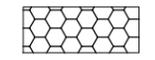
**TURF GRASS**  
 PROVIDE HEAD-TO-HEAD SPACING OF POP-UP SPRAY HEADS WITH MATCHING PRECIPITATION RATE NOZZLES IN ALL TURF GRASS AREAS.



**SHRUB BED PLANTING**  
 DRIP EMITTER IRRIGATION SYSTEM FOR ALL PLANT MATERIAL IN PLANTER BEDS, TYP. PROVIDE MIN. 2 EMITTERS / SHRUB AND 5 EMITTERS / TREE, TYP.



**NATIVE GRASS / WILDFLOWER PLANTING ON ROOF STRUCTURE**  
 ON SURFACE DRIPLINE IN-LINE EMITTER TUBING (0.26 GPH EMITTER @ 18\"/>



### IRRIGATION EQUIPMENT

- IRRIGATION WATER METER LOCATION. SEE CIVIL DRAWINGS FOR EXACT LOCATION AND DETAILS.
- WILKINS 1 1/2\"/>
- CONBRACO WELD TOP VALVE, MODEL # 78-154-01, SIZE 3/4\"/>
- NIBCO T-580-A BRASS BALL VALVE, SIZE PER LINE
- RAINBIRD 33DLRC QUICK COUPLING VALVE

**CONTROLLER**  
 RAINBIRD ESP-LXME CONTROLLER

**PIPE SIZING:**  
 PVC SCH 40 MAINLINE PIPE. SIZE AS NOTED.  
 PVC SCH 40 PVC SLEEVING. ALL IRRIGATION CONTROL WIRES TO BE IN SEPARATE SLEEVE. SIZE AS REQUIRED, 2\"/>

**OZ ARCHITECTURE**  
 3003 Larimer Street  
 Denver, Colorado 80205  
 phone 303.861.5704  
 www.ozarch.com

**LANGVARDT**  
 311 CROSS STREET

**LIFT**  
 2431 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098

PROJ. NO. 115179.00  
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 APPROVED:  
 DATE: 2016/08/17

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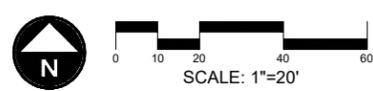
ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 IRRIGATION PLAN

SCALE:  
 SHEET NUMBER  
**L-700**

## EXHIBIT 3

Avoid cutting underground utility lines. It's costly.  
 Call before you Dig  
 1-800-662-4111

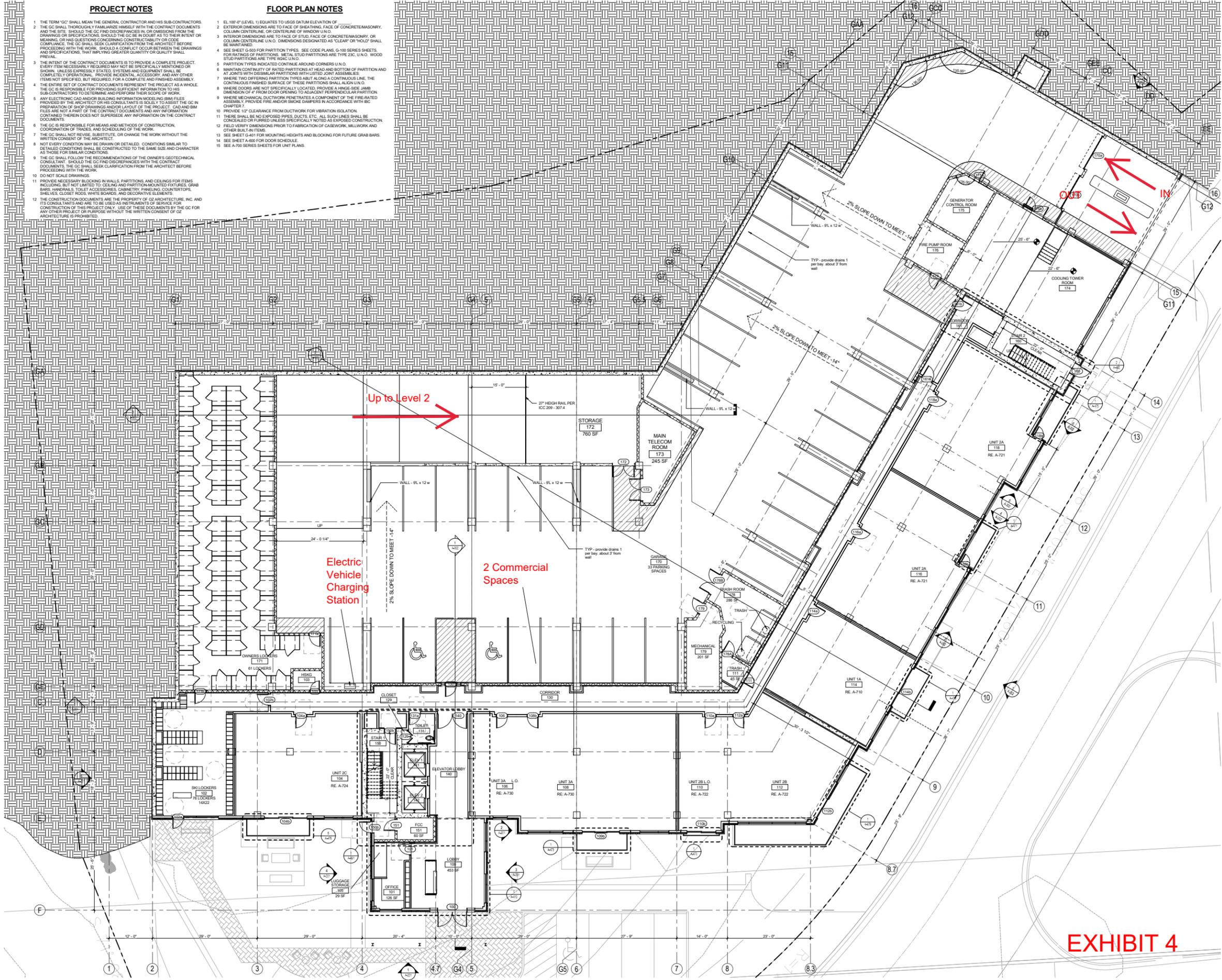


**PROJECT NOTES**

1. THE TERM "GC" SHALL MEAN THE GENERAL CONTRACTOR AND HIS SUB-CONTRACTORS.
2. THE GC SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE CONTRACT DOCUMENTS AND THE SITE. SHOULD THE GC FIND DISCREPANCIES IN OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATIONS, SHOULD THE GC BE IN DOUBT AS TO THEIR INTENT OR MEANING, OR HAS QUESTIONS CONCERNING CONTRACT DOCUMENTS, THE GC SHALL COMPLY WITH THE WORK. SHOULD A CONFLICT OCCUR BETWEEN THE DRAWINGS AND SPECIFICATIONS, THAT IMPLYING GREATER QUANTITY OR QUALITY SHALL PREVAIL.
3. THE INTENT OF THE CONTRACT DOCUMENTS IS TO PROVIDE A COMPLETE PROJECT. EVERY ITEM NECESSARILY REQUIRED MAY NOT BE SPECIFICALLY MENTIONED OR SHOWN, UNLESS EXPRESSLY STATED. SYSTEMS AND EQUIPMENT SHALL BE COMPLETELY OPERATIONAL, PROVIDE INCIDENTAL ACCESSORY, AND ANY OTHER ITEMS NOT SPECIFIED, BUT REQUIRED, FOR A COMPLETE AND FINISHED ASSEMBLY.
4. THE ENTIRE SET OF CONTRACT DOCUMENTS REPRESENTS THE PROJECT AS A WHOLE. THE GC IS RESPONSIBLE FOR PROVIDING SUFFICIENT INFORMATION TO HIS SUB-CONTRACTORS TO DETERMINE AND PERFORM THEIR SCOPE OF WORK.
5. ANY ELECTRIC CAD AND/OR BUILDING INFORMATION MODELING (BIM) FILES PROVIDED BY THE ARCHITECT OR HIS CONSULTANTS IS SOLELY TO ASSIST THE GC IN PREPARATION OF SHOP DRAWINGS AND/OR LAYOUT OF THE PROJECT. CAD AND BIM FILES ARE NOT A PART OF THE CONTRACT DOCUMENTS AND ANY INFORMATION CONTAINED THEREIN DOES NOT SUPERSEDE ANY INFORMATION ON THE CONTRACT DOCUMENTS.
6. THE GC IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION, COORDINATION OF TRADES, AND SCHEDULING OF THE WORK.
7. THE GC SHALL NOT REUSE, SUBSTITUTE, OR CHANGE THE WORK WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.
8. NOT EVERY CONDITION MAY BE DRAWN OR DETAILED. CONDITIONS SIMILAR TO DETAILED CONDITIONS SHALL BE CONSTRUCTED TO THE SAME SIZE AND CHARACTER AS THOSE FOR SIMILAR CONDITIONS.
9. THE GC SHALL FOLLOW THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL CONSULTANT. SHOULD THE GC FIND DISCREPANCIES WITH THE CONTRACT DOCUMENTS THE GC SHALL SEEK CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
10. DO NOT SCALE DRAWINGS.
11. PROVIDE NECESSARY BLOCKING IN WALLS, PARTITIONS, AND CEILINGS FOR ITEMS INCLUDING, BUT NOT LIMITED TO: CEILING AND PARTITION MOUNTED FIXTURES; GRAB BARS; HANDRAILS; TOILET ACCESSORIES; COUNTERTOPS; PANELING; COUNTERTOPS; SHELVES; CLOSET RODS; WHITE BOARDS; AND DECORATIVE ELEMENTS.
12. THE CONSTRUCTION DOCUMENTS ARE THE PROPERTY OF OZ ARCHITECTURE, INC. AND ITS CONSULTANTS AND ARE TO BE USED AS INSTRUMENTS OF SERVICE FOR CONSTRUCTION OF THIS PROJECT ONLY. USE OF THESE DOCUMENTS BY THE GC FOR ANY OTHER PROJECT OR PURPOSE WITHOUT THE WRITTEN CONSENT OF OZ ARCHITECTURE IS PROHIBITED.

**FLOOR PLAN NOTES**

1. EL. 100'-0" (LEVEL 1) EQUATES TO UGHS DATUM ELEVATION OF
2. EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, FACE OF CONCRETE/MASONRY, COLUMN CENTERLINE, OR CENTERLINE OF WINDOW U.N.O.
3. INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.N.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED.
4. SEE SHEET G-403 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 25C, U.N.O. WOOD STUD PARTITIONS ARE TYPE 90C U.N.O.
5. PARTITION TYPES INDICATED CONTINUE AROUND CORNERS U.N.O.
6. MAINTAIN CONTINUITY OF RATED PARTITIONS AT HEAD AND BOTTOM OF PARTITION AND AT JOINTS WITH DISSIMILAR PARTITIONS WITH LISTED JOINT ASSEMBLIES.
7. WHERE TWO DIFFERING PARTITION TYPES ABUT ALONG A CONTINUOUS LINE, THE CONTINUOUS FINISHED SURFACE OF THESE PARTITIONS SHALL ALIGN U.N.O.
8. WHERE DOORS ARE NOT SPECIFICALLY LOCATED, PROVIDE A HINGE-SIDE JAMB DIMENSION OF 4" FROM DOOR OPENING TO ADJACENT PERPENDICULAR PARTITION ASSEMBLY. PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
9. WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED PARTITION, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
10. PROVIDE 1/2" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
11. THERE SHALL BE NO EXPOSED PIPES, DUCTS, ETC. ALL SUCH LINES SHALL BE CONCEALED OR FURRED UNLESS SPECIFICALLY NOTED AS EXPOSED CONSTRUCTION.
12. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
13. SEE SHEET G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
14. SEE SHEET A-400 FOR DOOR SCHEDULE.
15. SEE A-700 SERIES SHEETS FOR UNIT PLANS.



**LIFT**  
 2431 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098

PROGRESS  
 PRINT NOT FOR  
 CONSTRUCTION

PROJ. NO. 115179.00  
 DRAWN: Author  
 CHECKED: Checker  
 APPROVED: Approver  
 DATE: 08/29/2016

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 LIFT  
 ISSUED FOR  
 SUMMER COUNTY  
 REVIEW  
 SHEET TITLE:  
 LEVEL 1 FLOOR PLAN  
 SCALE: 1/8" = 1'-0"  
 SHEET NUMBER  
**A-101**

**EXHIBIT 4**

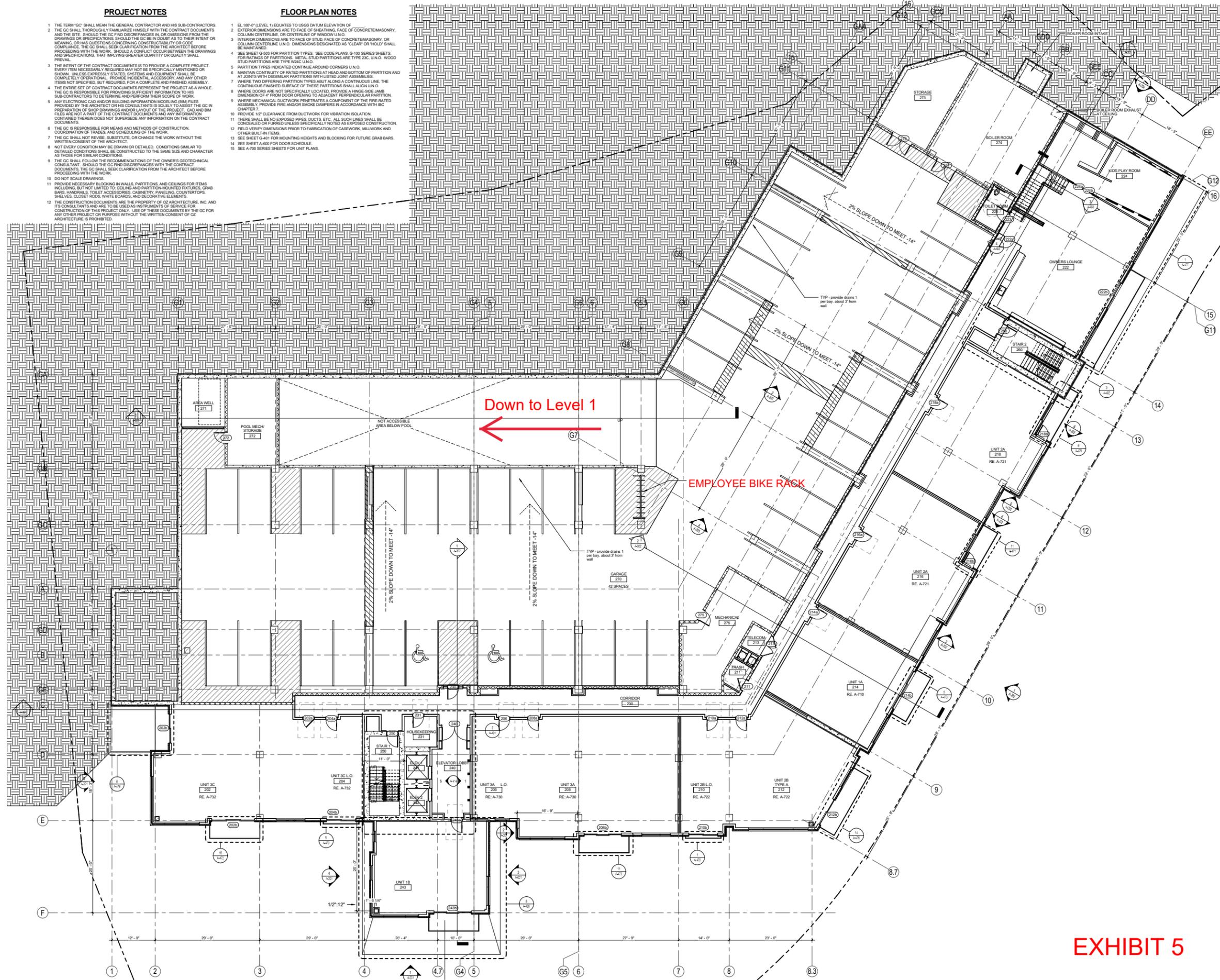
1 LEVEL 1 FLOOR PLAN  
 1/8" = 1'-0"  
 PROJECT: LIFT  
 NORTH

**PROJECT NOTES**

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**FLOOR PLAN NOTES**

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3. INTERIOR DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE/MASONRY, OR COLUMN CENTERLINE U.G.O. DIMENSIONS DESIGNATED AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED.
4. SEE SHEET G-103 FOR PARTITION TYPES. SEE CODE PLANS, G-100 SERIES SHEETS FOR RATINGS OF PARTITIONS. METAL STUD PARTITIONS ARE TYPE 25C, U.G.O. WOOD STUD PARTITIONS ARE TYPE 10C U.G.O.
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9. WHERE MECHANICAL DUCTWORK PENETRATES A COMPONENT OF THE FIRE-RATED PARTITION, PROVIDE FIRE AND/OR SMOKE DAMPERS IN ACCORDANCE WITH IBC CHAPTER 7.
10. PROVIDE 12" CLEARANCE FROM DUCTWORK FOR VIBRATION ISOLATION.
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12. FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION OF CASEWORK, MILLWORK AND OTHER BUILT-IN ITEMS.
13. SEE SHEET G-401 FOR MOUNTING HEIGHTS AND BLOCKING FOR FUTURE GRAB BARS.
14. SEE SHEET A-606 FOR DOOR SCHEDULE.
15. SEE A-700 SERIES SHEETS FOR UNIT PLANS.



**OZ ARCHITECTURE**  
 3003 Larimer Street  
 Denver, Colorado 80205  
 phone 303.861.5704  
 www.ozarch.com

**LIFT**  
 2431 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098

PROGRESS  
PRINT NOT FOR  
CONSTRUCTION

PROJ. NO. 115179.00  
 DRAWN: Author  
 CHECKED: Checker  
 APPROVED: Approver  
 DATE: 08/29/2016

ISSUED FOR:  
 SUMMER COUNTY  
 REVIEW

SHEET TITLE:  
 LEVEL 2 FLOOR PLAN

SCALE: 1/8" = 1'-0"  
 SHEET NUMBER:  
**A-102**

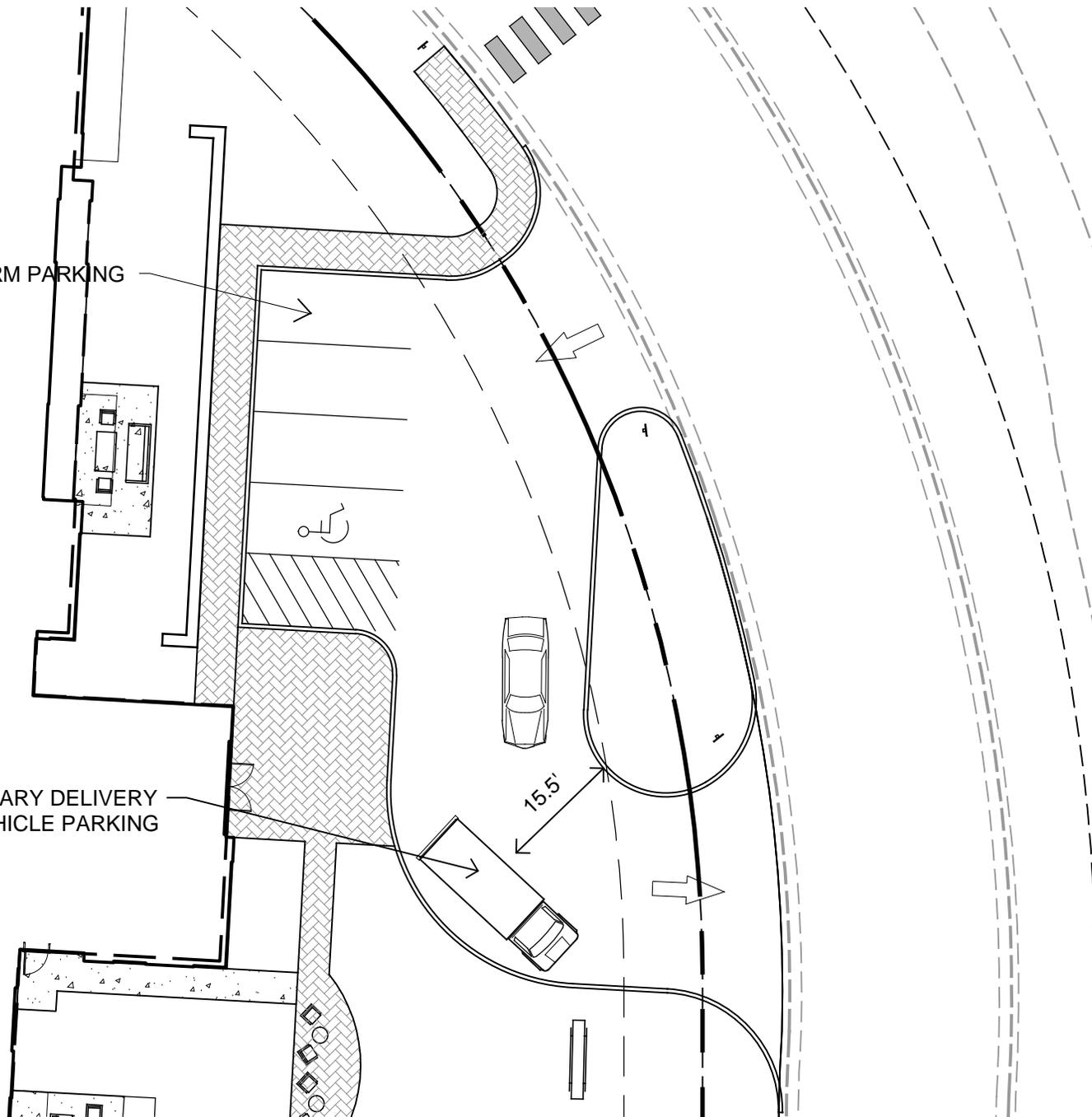
EXHIBIT 5

1 LEVEL 2 FLOOR PLAN  
 1/8" = 1'-0"

N  
 NORTH

SHORT TERM PARKING

TEMPORARY DELIVERY  
VEHICLE PARKING

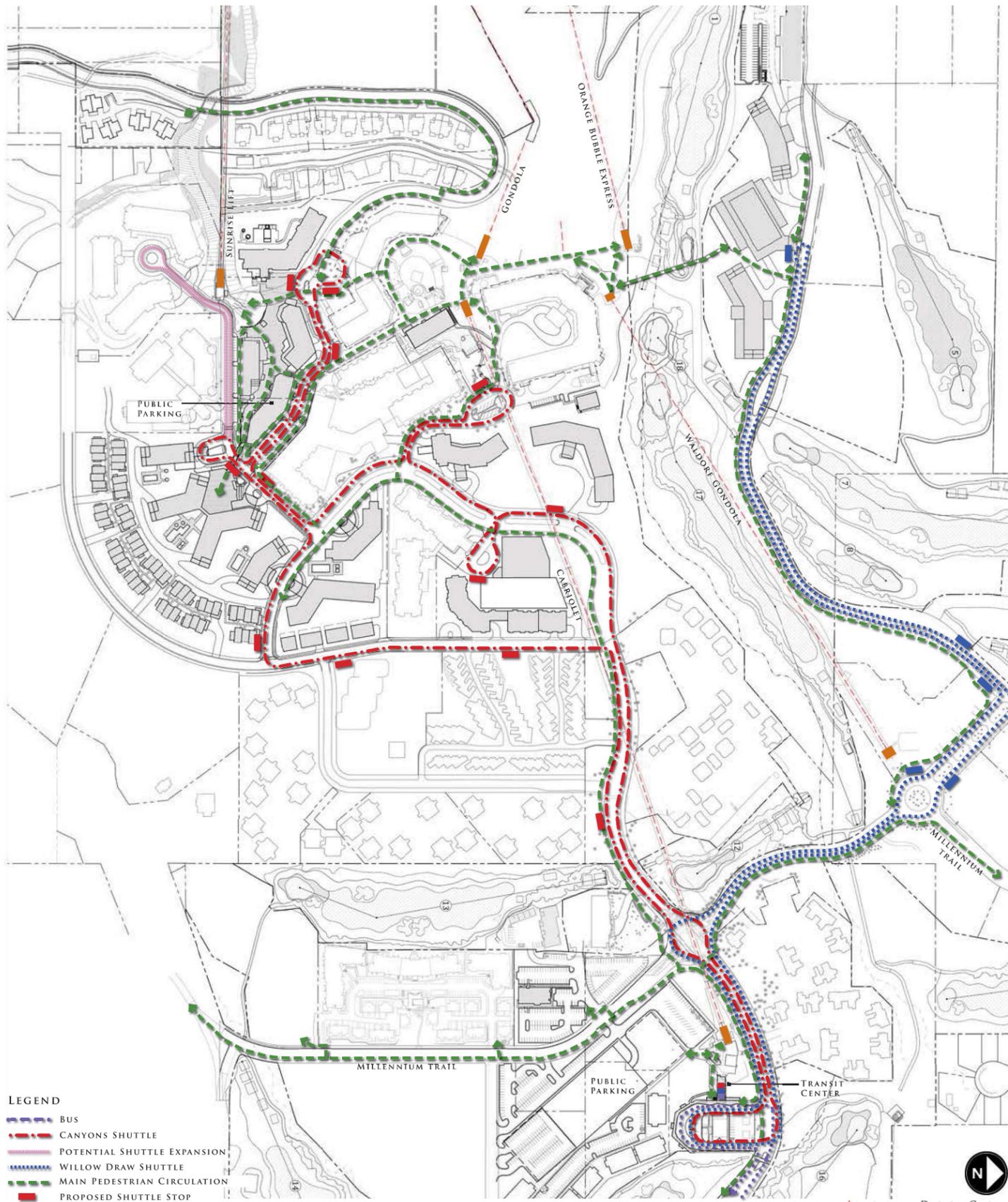


SCALE: 1"=20'

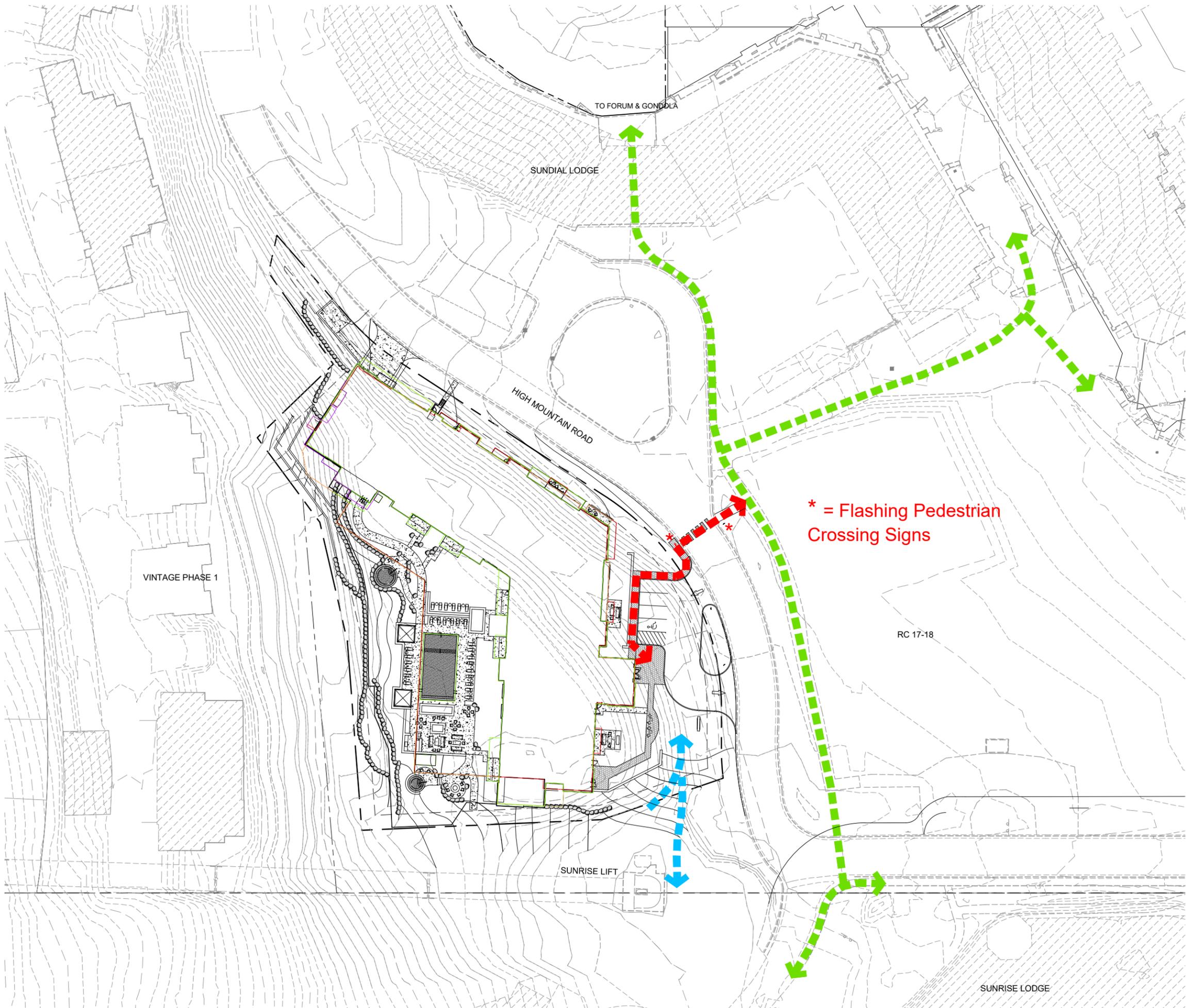
**EXHIBIT 6**

DELIVERY VEHICLE  
PARKING EXHIBIT

**L-001**



**EXHIBIT 7**



LEGEND:

- EXISTING PEDESTRIAN PATH
- PROPOSED PEDESTRIAN PATH
- PROPOSED SKIER ACCESS

EXISTING PEDESTRIAN PATH  
 PROPOSED PEDESTRIAN PATH  
 PROPOSED SKIER ACCESS



3003 Larimer Street  
 Denver, Colorado 80205  
 phone 303.861.5704  
 www.ozarch.com



LIFT  
 2431 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098

\* = Flashing Pedestrian  
 Crossing Signs

PROJ. NO. 115179.00  
 DRAWN: CH  
 CHECKED: EL  
 APPROVED:  
 DATE: 2016/08/17

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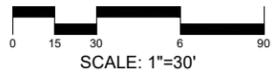
ISSUED FOR:  
 SUMMIT COUNTY REVIEW

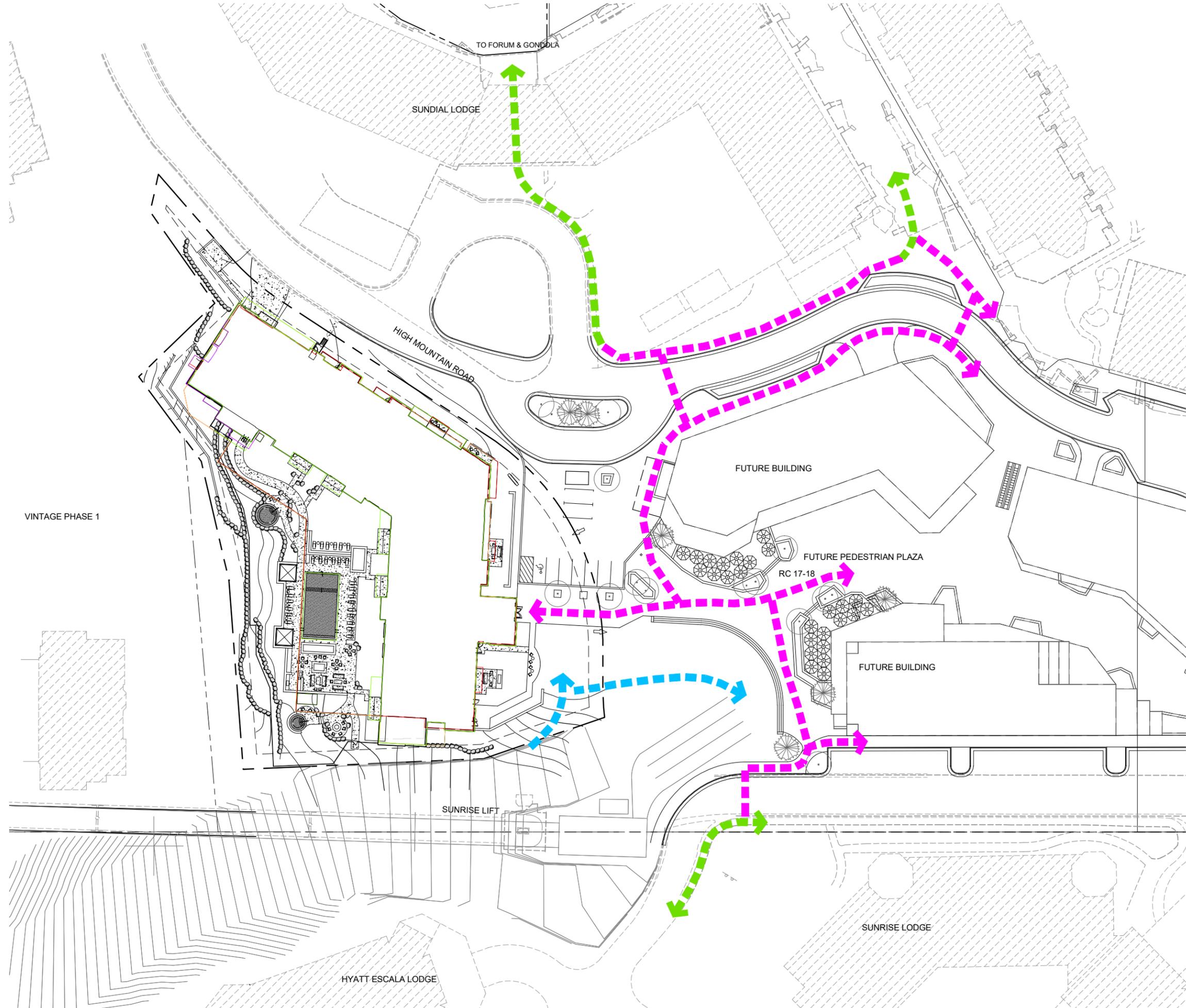
SHEET TITLE:  
 CURRENT PEDESTRIAN  
 CONNECTIONS PLAN

SCALE:  
 SHEET NUMBER

L-600

EXHIBIT 8





- LEGEND:**
- EXISTING PEDESTRIAN PATH
  - PROPOSED PEDESTRIAN PATH
  - PROPOSED SKIER ACCESS

**OZ ARCHITECTURE**  
 3003 Larimer Street  
 Denver, Colorado 80205  
 phone 303.861.5704  
 www.ozarch.com

**LANGVARDT**  
 371 CROSS STREET

**LIFT**

**2431 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098**

PROJ. NO. 115179.00  
 DRAWN: CH  
 CHECKED: EL  
 APPROVED:  
 DATE: 2016/08/17

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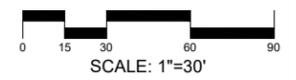
ISSUED FOR:  
 SUMMIT COUNTY REVIEW

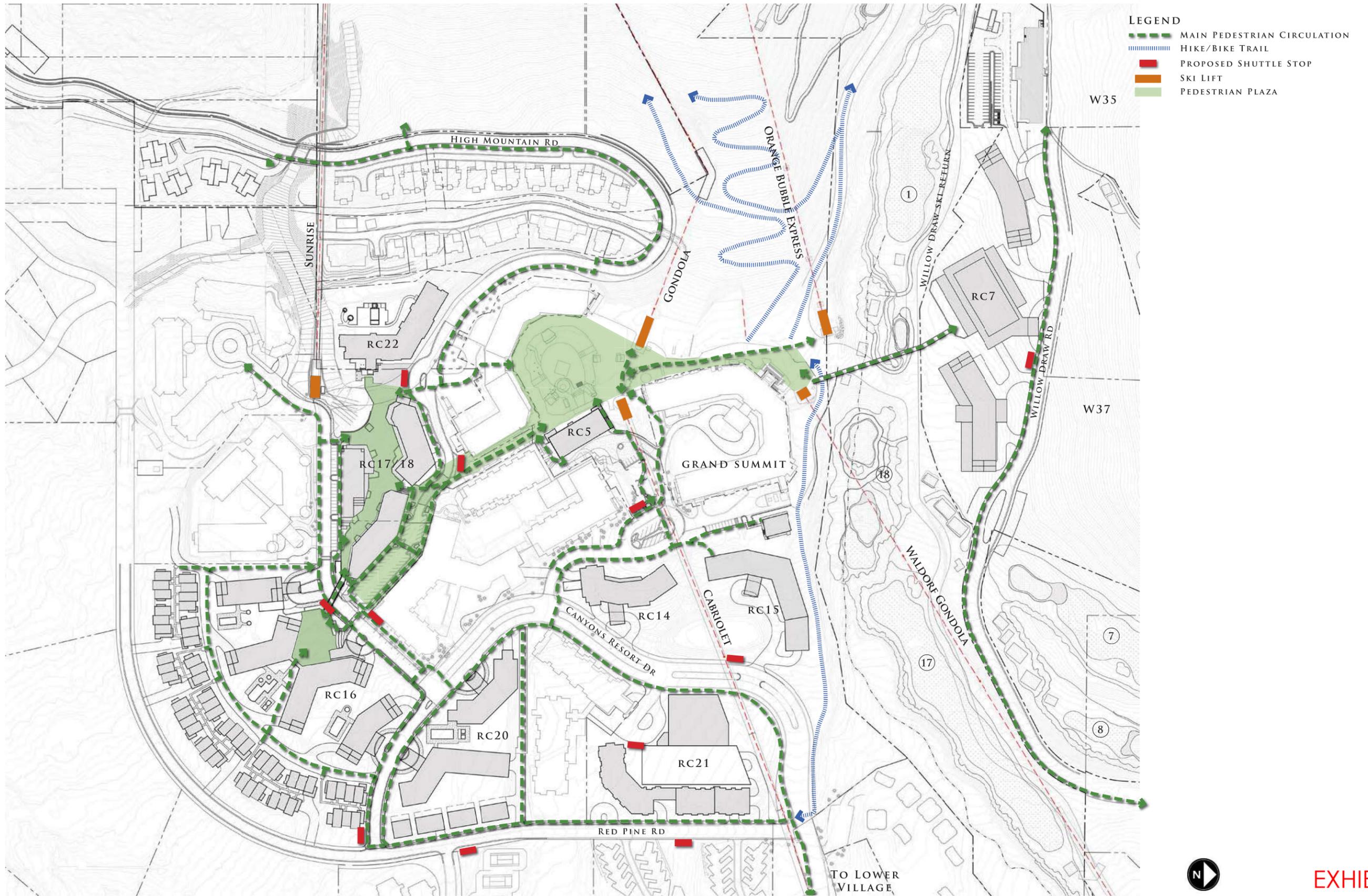
SHEET TITLE:  
 FUTURE PEDESTRIAN  
 CONNECTIONS PLAN

SCALE:  
 SHEET NUMBER  
**L-601**

VINTAGE PHASE 1

**EXHIBIT 9**







8.24.2016

**RE: Canyons RC-22 glass exposure**

Dear planning commission:

This letter summarizes our assessment of the building exposure to sun angles that might produce reflected glare. We undertook studies on our model based on the sun annual motion, adjacent topography and structures. Here are the factors considered and resulting impacts (**see attached diagrams**):

- The project adjacency to the mountain, and the slope of the lot with the nearest homes well above our building, limits potential sun reflection off glass to the east of our building.
- Before studying the particulars of the site region and intervening hills and existing and future buildings, we established the potential vertical angles for sun reflection. We used the elevation of hwy 224 as the lowest, and therefore most potential, for observing reflections as a reference point. The analysis reveals reflections are only possible to hwy 224 or beyond when the sun is very low within 4 degrees from the east horizon.
- The sun is within 4 degrees of the horizon for approximately 15 minutes after sunrise around the spring/fall equinox.
- Based on our regional study of topography and existing structures, most of those potential early morning reflections are either blocked from sun hitting RC-22, or are blocked from reflecting beyond the village. Those potential reflections beyond the village only happen near the equinox in the first 15 minutes of early morning, from March 5<sup>th</sup> to April 15<sup>th</sup>, and August 25 to October 5<sup>th</sup>.
- Upon completion of future planned village buildings, no reflections from RC-22 are possible outside the village.

To further mitigate the magnitude or brightness of the potential reflections, the design implements the following strategies:

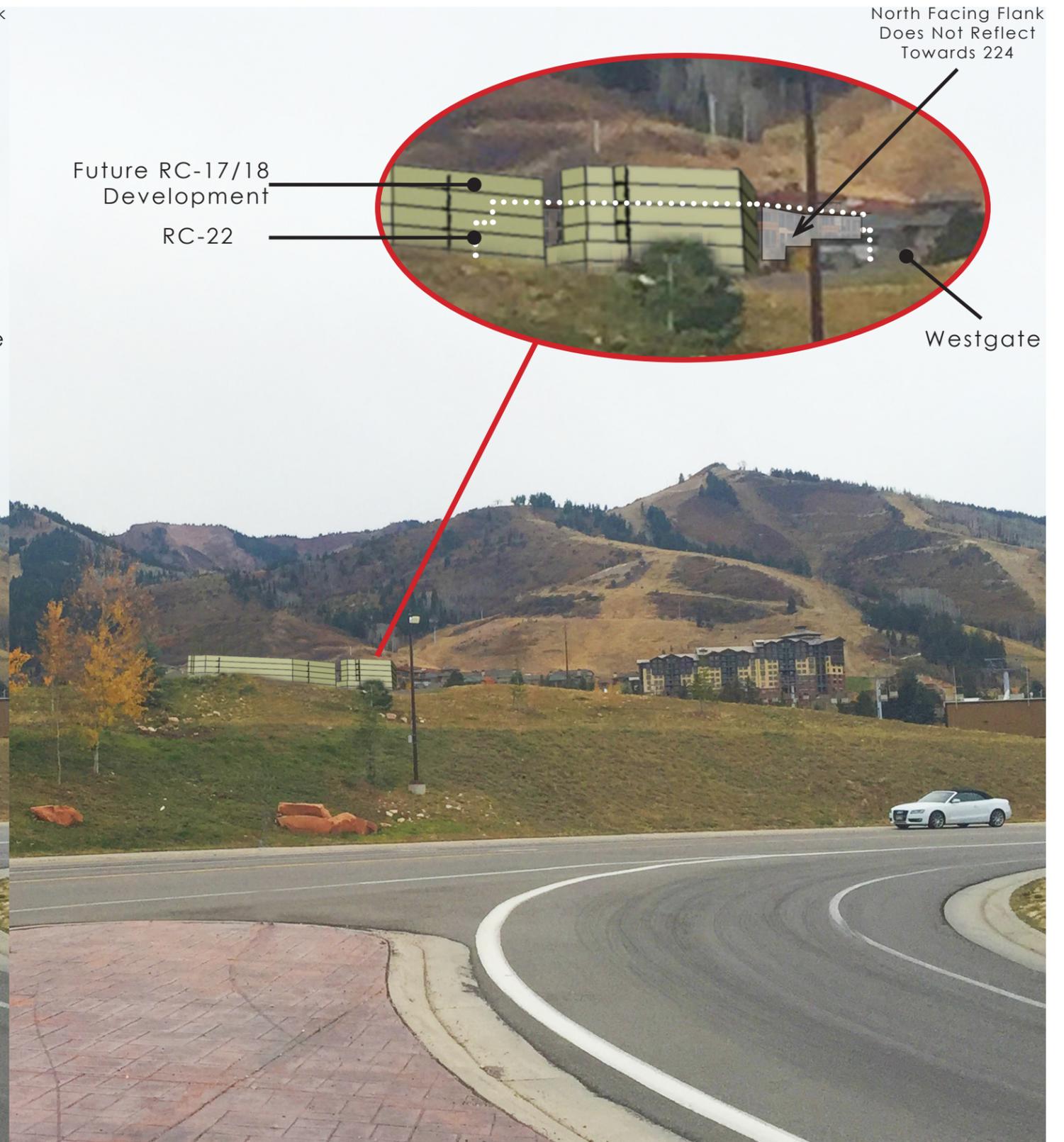
- The design includes deep roof overhangs
- The design includes balconies at many of the glazed areas, especially at upper stories of the building where these have the most impact on reducing reflected sunlight.
- Specification identifies better than industry standard, reduced reflectivity glazing. Vision glass varies from 7% to 21% reflectivity. Standard LoE glazing, likely used on many existing projects in the region, reflects 17% of the light hitting it. We have selected to upgrade to the best commercially available option, Cardinal LoE 366 solar coating which both improves our thermal performance and reduces reflectivity to 11%.

Sincerely,

Andy White  
Principal, OZ Architecture, Inc.



Upon Completion of RC-22

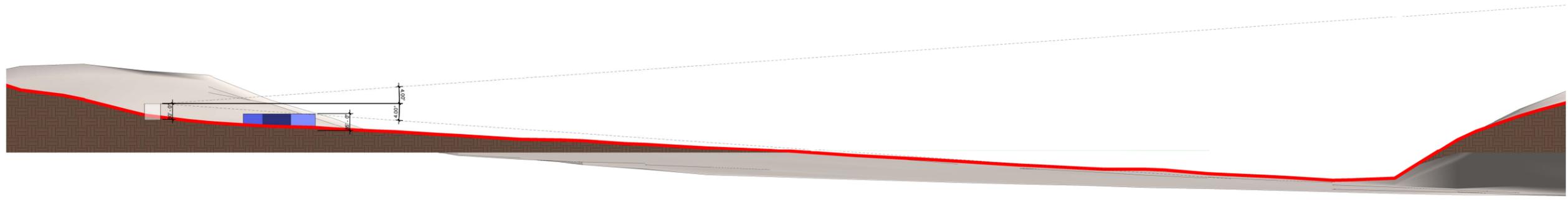


Upon Completion of RC-17/18

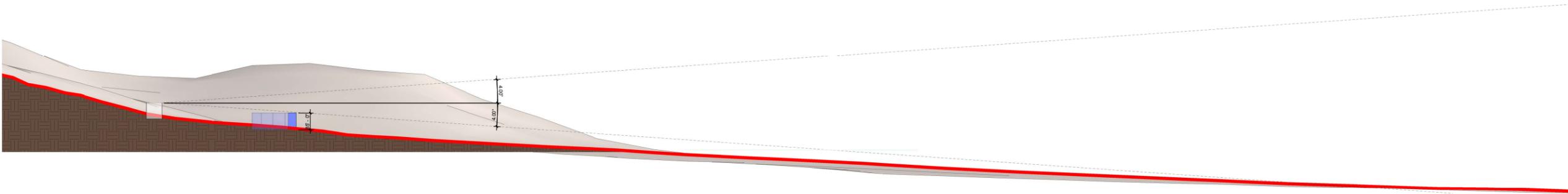
**EXHIBIT 11**



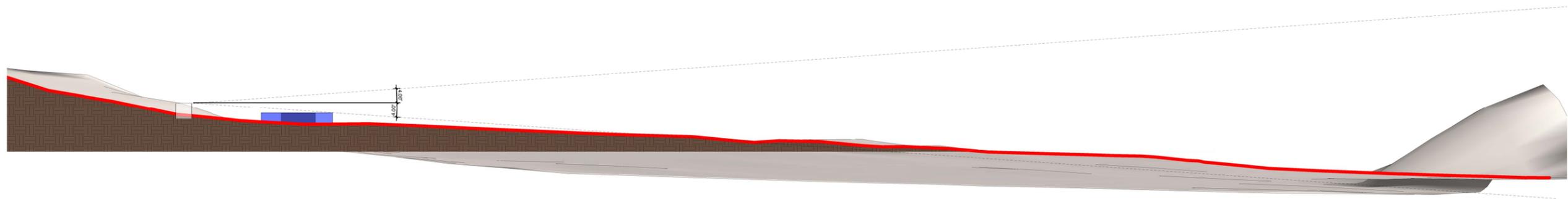




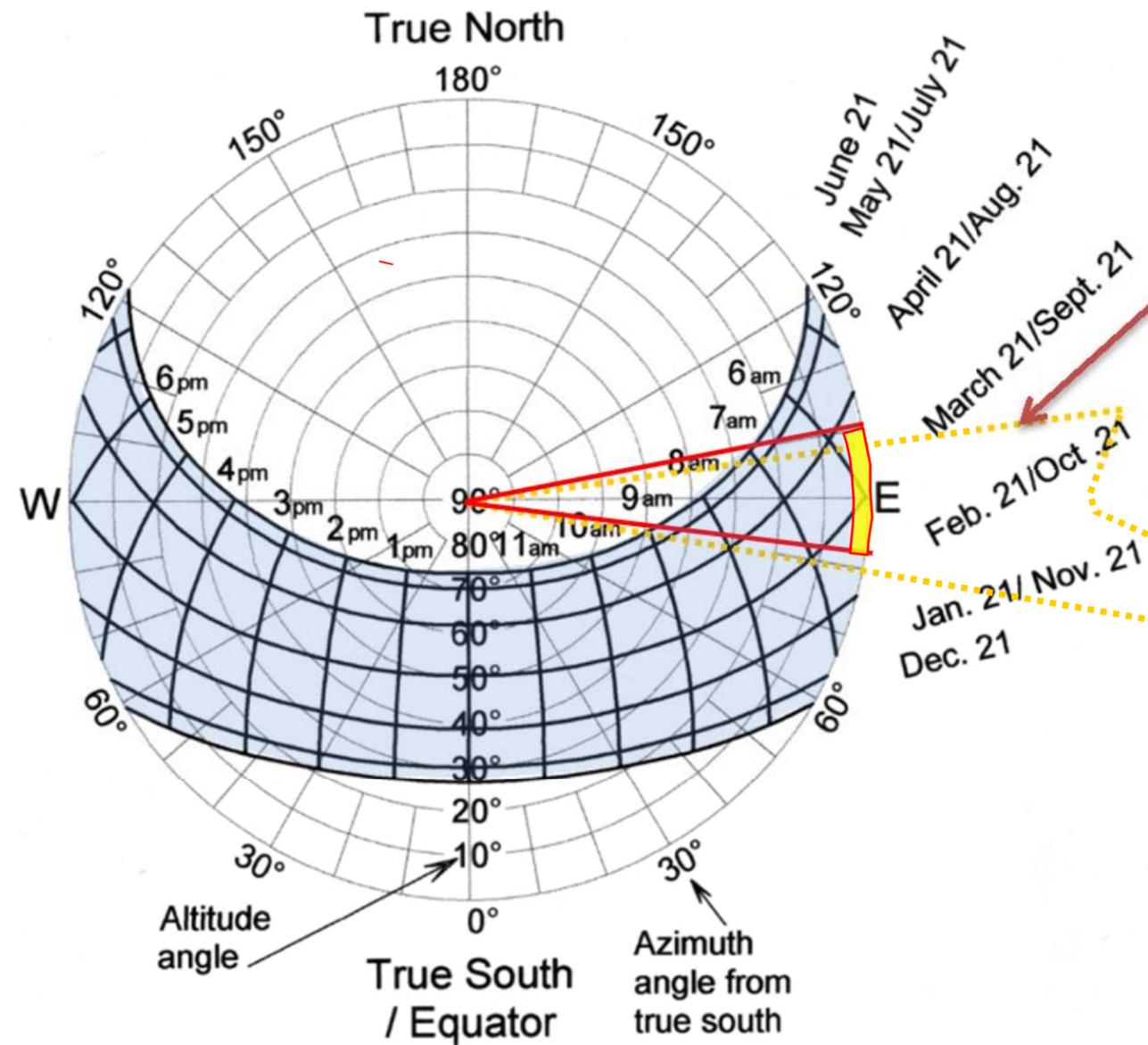
1 SITE SECTION 1  
1" = 200'-0"



2 SITE SECTION 2  
1" = 200'-0"



3 SITE SECTION 3  
1" = 200'-0"



See local area map study for extent of potential reflection

- Reflections to 224 or beyond only possible when the sun is within 4 degrees of the horizon.
- Based on regional study, those early morning reflections indicated in dashed yellow line are potential near the equinox bracketed in red on the diagram: from March 5<sup>th</sup> to April 15<sup>th</sup>, and August 25 to October 5<sup>th</sup>
- The early morning 4 degrees after sunrise represents a window of approximately 15 minutes after sunrise starting from as early as 5:45am to as late as 6:30am indicated in yellow.
- There are no potential reflections beyond the village thru the balance of the year (blue on the chart).

Sun Path Diagram, 40° N Latitude

www.HarvestingRainwater.com



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 phone 303.861.5704  
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**LIFT**  
 2424 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098  
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PROJ. NO: 115179.00  
 DRAWN: TLN  
 CHECKED: TLN  
 APPROVED: TLN  
 DATE: 2016/05/27

LIFT  
 ISSUED FOR:  
 50% DESIGN  
 DEVELOPMENT  
 SHEET TITLE:  
 SITE PHOTOMETRIC  
 PLAN

SCALE: 1" = 20'-0"  
 SHEET NUMBER

**EL-400**

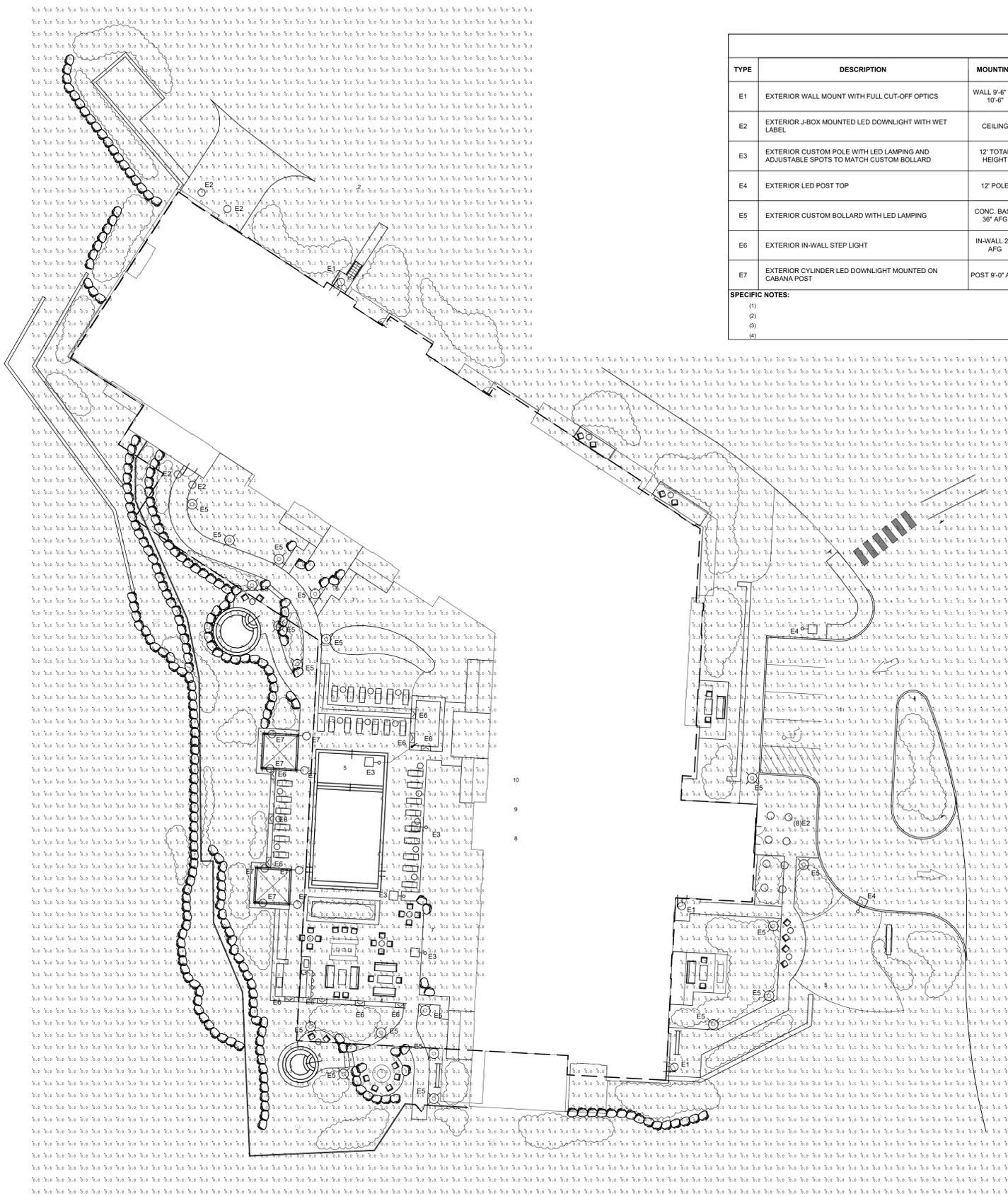
**EXHIBIT 12**



SITE LUMINAIRE SCHEDULE										
TYPE	DESCRIPTION	MOUNTING	LAMPS			INPUT WATTS	VOLT	MANUFACTURER	CATALOG NUMBER	SPECIFIC NOTES
			QTY	TYPE	LUMENS					
E1	EXTERIOR WALL MOUNT WITH FULL CUT-OFF OPTICS	WALL 9'-6" TO 10'-6"		LED AS SUPPLIED, 3000K	332	10.9	120	BEGA	22359	
E2	EXTERIOR J-BOX MOUNTED LED DOWNLIGHT WITH WET LABEL	CEILING		LED AS SUPPLIED, 3000K	650	9.5	120	LIGHTOLIER	S4S-8-27-7-BK	
E3	EXTERIOR CUSTOM POLE WITH LED LAMPING AND ADJUSTABLE SPOTS TO MATCH CUSTOM BOLLARD	12' TOTAL HEIGHT		LED AS SUPPLIED, 3000K	1150	29.5	120	CUSTOM	AS DESIGNED BY LANDSCAPE ARCHITECT	
E4	EXTERIOR LED POST TOP	12' POLE		LED AS SUPPLIED, 3000K	2095	30	120	STERNBERG LIGHTING	1/1220LED/HCF/R4P7/4ARC30T5/MDL03"	
E5	EXTERIOR CUSTOM BOLLARD WITH LED LAMPING	CONC. BASE 36" AFG		LED AS SUPPLIED, 3000K	650	9.5	120	CUSTOM	AS DESIGNED BY LANDSCAPE ARCHITECT	
E6	EXTERIOR IN-WALL STEP LIGHT	IN-WALL 24" AFG		LED AS SUPPLIED, 3000K	60	4	120	WINONA	STEP11-SQU-WL-M-350MA-WHT30K -MVOLT-FINISH AS SELECTED BY ARCHITECT	
E7	EXTERIOR CYLINDER LED DOWNLIGHT MOUNTED ON CABANA POST	POST 9'-0" AFG		LED AS SUPPLIED, 3000K	60	10	12	LUMIERE	904-10LED3021-12-BZ-OSL	

**SPECIFIC NOTES:**  
 (1)  
 (2)  
 (3)  
 (4)

**SITE CALCULATION SUMMARY**  
 Eave = 0.18 FC  
 Emax = 9.6 FC  
 Emin = 0.0 FC



**SITE PHOTOMETRIC PLAN**  
 SCALE: 1" = 20'-0"



Wall luminaires with one sided light output

**Housing:** One piece die-cast aluminum with mounting holes for direct attachment to the wall over a 3 1/2" or 4" octagonal wiring box. Die castings are marine grade, copper free (≤ 0.3% copper content) A360.0 aluminum alloy.

**Enclosure:** One piece die-cast aluminum guard, secured by two stainless steel captive screws threaded into a stainless steel insert. Fully gasketed for weather tight operation using a molded silicone rubber gasket. Downward orientation only. Tempered frosted glass diffuser.

**Electrical:** 10.9W LED luminaire, 13 total system watts, -30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 3000K with an 85 CRI. Available in 4000K (85 CRI); add suffix K4 to order.

**Note:** LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com).

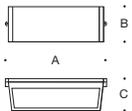
**Finish:** All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. Available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order

**CSA** certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP65

**Weight:** 3.1 lbs.

Type:  
 BEGA Product:  
 Project:  
 Voltage:  
 Color:  
 Options:  
 Modified:

Luminaire Lumens: 332  
 Tested in accordance with LM-79-08



One-sided light output			
Lamp	A	B	C
<b>22 359</b> ADA 10.9W LED	8½	4%	4

Adjustable spots on Custom Pole

# Lumière

## DESCRIPTION

Cambria 203 is a small, low voltage dimmable LED and halogen MR16 luminaire. It is available with a fully adjustable side swivel stem (203, 203-FL), an adjustable center rear swivel (203-CRS) or a stationary rear flush mount (203-FM). Side swivel models 203 and 203-FL provide 340° tilt and 360° rotation. Center rear swivel model CRS provides 200° tilt and 360° rotation. Center rear swivel model CRS provides 200° tilt and 360° rotation. Various lenses, louvers and color or dichroic filters can be combined - up to three at once - to create multiple lighting effects. The Lumière exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

## SPECIFICATION FEATURES

### Material

Housing, hood and mounting stem are precision-machined from corrosion-resistant billet stock 6061-T6 aluminum, C360 brass, C932 bronze, C110 copper or 303/304 stainless steel.

### Finish

Fixtures constructed from 6061-T6 aluminum are double protected by an ROHS compliant chemical film undercoating and polyester powdercoat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

### Brass, Bronze, Copper or Stainless Steel

Fixtures constructed from brass, bronze, copper or stainless steel are left unpainted to reveal the natural beauty of the material. Brass, bronze and copper will patina naturally over time.

### Hood

Hood is removable for easy relamping and accepts up to three internal accessories at once (lenses, louvers, filters) to achieve multiple lighting effects. Model 203, 203-CRS & 203-FM: Weep holes prevent water and mineral stains from collecting on the lens, even in the straight-up position. Model 203-FL: The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

### Gasket

Housing and hood are sealed with a high temperature silicone o-ring gasket to prevent water intrusion.

### Lens

Tempered glass lens, factory sealed with high temperature adhesive to prevent water intrusion and breakage due to thermal shock.

Catalog #		Type
Project		
Comments		Date
Prepared by		

### Mounting Stem

Model 203 and 203-FL include fully adjustable side-mounted swivel stem, providing 340° tilt and 360° rotation for easy aiming. Center rear swivel (203-CRS) or stationary rear flush mount (203-FM) models are also available. All models include 1/2" NPS threaded male fitting. Stainless steel aim-locking mechanisms are standard (not available on 203-FM). Lumière's exclusive Siphon Protection System (S.P.S.) prevents water from siphoning into the fixture through its own lead wires.

### Hardware

Stainless steel hardware is standard to provide maximum corrosion-resistance.

### Socket

Ceramic socket with 250° C Teflon® coated lead wires and GU5.3 bi-pin base.

### Electrical

Remote 12V transformer required (not included). NOTE: initial power draw on LED equipped fixtures is 15 watts. When sizing transformer use 15 watts per LED fixture. Nominal power draw after start up is 6 watts or 10 watts accordingly. Also, LEDs are more voltage sensitive than standard halogen MR16 lamps. The LED module is designed to operate between 10 and 13 volts. Any less or more voltage can cause premature failures.

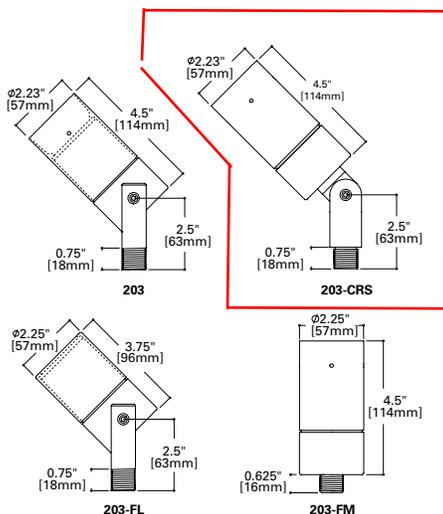
### Lamp

Halogen lamp not included. LED modules are included and are available in four color temperatures (2700, 3000, 4000, and 5700) and three distributions (spot, narrow, and flood). Both color temperature and distribution must be specified when ordering. Sora lamp compatible (10W Max).



## 203 CAMBRIA LED HALOGEN

APPLICATIONS:  
ACCENT / FLOOD



**CERTIFICATION DATA**  
UL and cUL Wet Location Listed  
LM79 / LM80 Compliant  
ROHS Compliant  
IP65 Ingressed Protection Rated

**TECHNICAL DATA**  
6W LED, L70/60,000 hours at 25°C  
10W LED, L70/60,000 hours at 25°C  
Low Voltage: 50W Halogen MR16

## ORDERING INFORMATION

Sample Number: 203-FL-50MR16-12-NSS

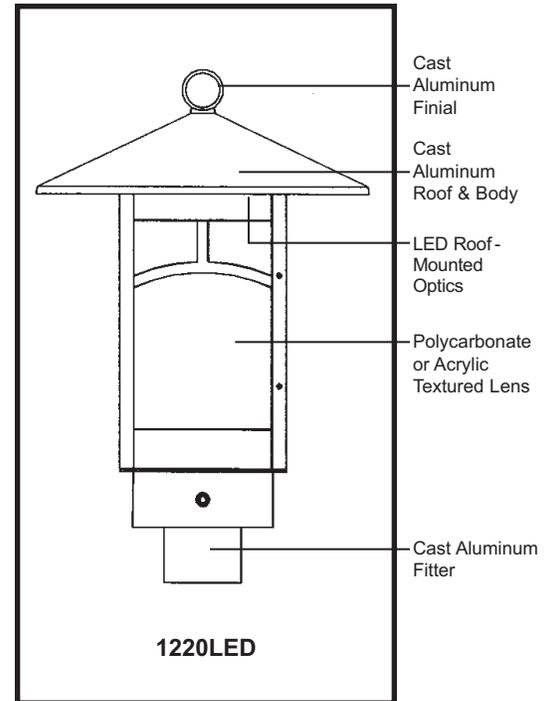
Series	Construction	Source (for LED, select from each column and combine)	Voltage	Finish		
203=LED of MR16 Cambria Accent Fixture	___=Standard Side Swivel Stem, 1/2" NPS CRS=Center Rear Swivel Stem, 1/2" NPS FM=Rear Flush Mount, 1/2" NPS FL=Flush Lens, Side Swivel Stem, 1/2" NPS	50MR16=50W max. Halogen MR16 (lamp not included)		12=12V	<b>Painted</b> BK=Black BZ=Bronze CS=City Silver VE=Verde WT=White <b>Premium Finish</b> NBR=Natural Brass NCP=Natural Copper NBZ=Natural Bronze NSS=Natural Stainless Steel	
		6LED=6W LED 10LED=10W LED	27=2700K 30=3000K 40=4000K 57=5700K			12=12° Spot 21=21° Narrow 41=41° Wide
		4LED=4W LED 7LED=7W LED	AM=Amber (585-595nm)			

# 1220 LED TINLEY SERIES

# SPECIFICATIONS

## LUMINAIRE DESIGN

- The fixture is a large scale, dramatic Mission squared edge design. It features a tall, straight four-sided decorative cast cage, a simple curved edge grille design, acrylic lens and a cantilever peaked roof design.
- The roof shall be appointed with an aluminum ring finial.
- The luminaire shall have LED light sources and roof mounted, down-lighting optics.
- The luminaire shall be 24" square with a 37" overall height.
- The luminaire shall be supplied with line-ground, line-neutral and neutral-ground electrical surge protection in accordance with IEEE/ANSI C62.41.2 guidelines.
- The luminaire shall be U.L. or E.T.L. listed in U.S. and Canada.



EPA = 4.48 (ft<sup>2</sup>)  
WEIGHT = 71 LBS

## POST FITTER

- The fitter shall be heavy wall cast aluminum for high tensile strength.
- It shall have an inside diameter opening to accept a 4", 5" or 6" square or round pole or tenon.
- When ordered with a Sternberg pole, the fitter shall be set screwed to the pole top or tenon.

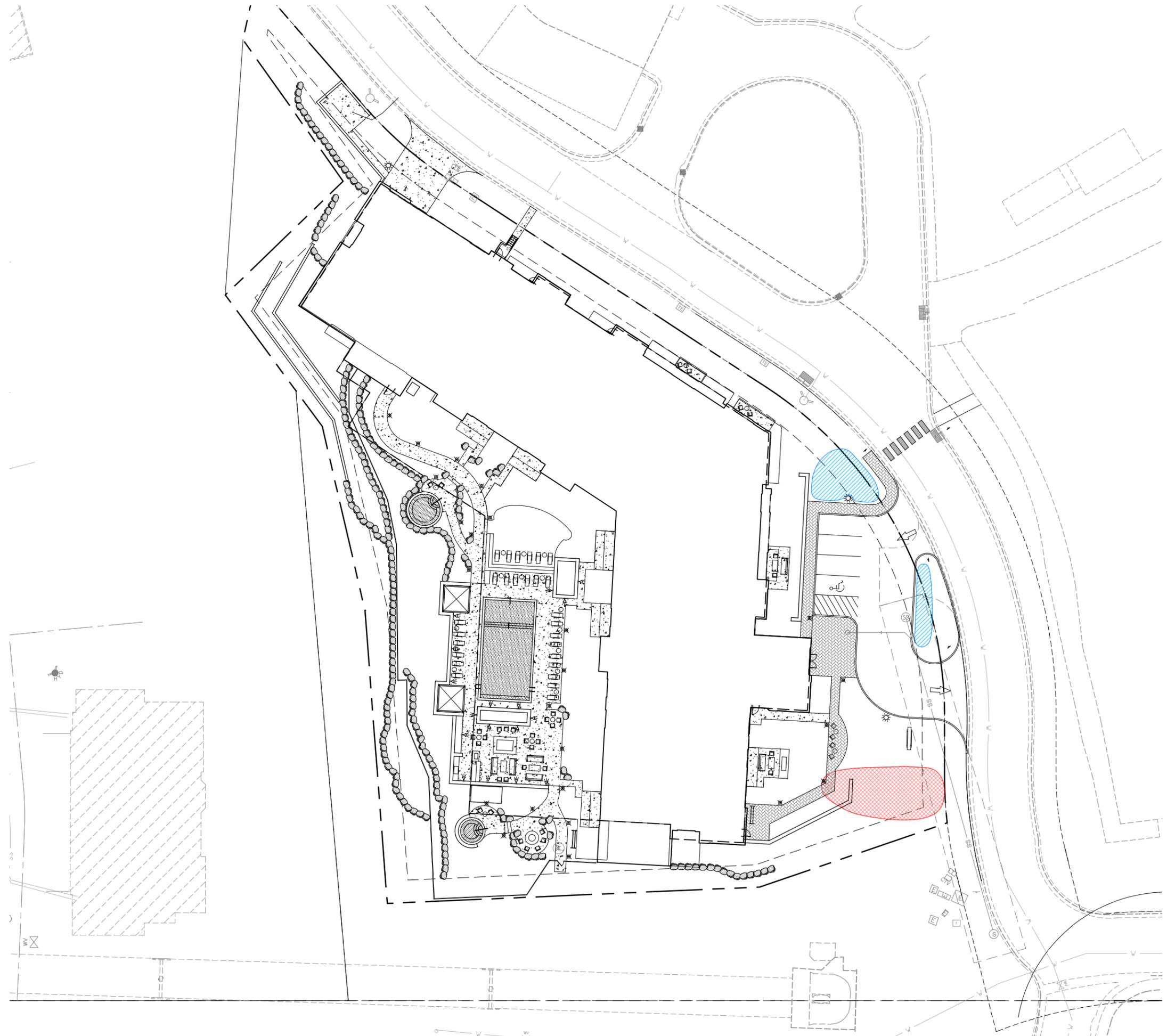
## DRIVER

- The LED driver shall be securely mounted inside the fitter, for optimized performance and longevity.
- The LED driver shall be supplied with a quick-disconnect electrical connector on the power supply, providing easy power connections and fixture installation.

## LIGHT SOURCES

- The luminaire shall use high output, high brightness LEDs.
- The LEDs shall be mounted in arrays, on printed circuit boards designed to maximize heat transfer to the heat sink surface.
- The LEDs shall be attached to the printed circuit board with not less than 90% pure silver to insure optimal electrical and thermal conductivity.
- The LEDs and printed circuit boards shall be protected from moisture and corrosion by a conformal coating of 1 to 3 mils.
- The LEDs and printed circuit board construction shall be environmentally friendly and 100% recyclable. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant.
- The LED life rating data shall be determined in accordance with IESNA LM-80.

LIST NO.  
1220 LED  
TINLEY  
SERIES



**LEGEND:**

-  POST CONSTRUCTION SNOW STORAGE
-  CONSTRUCTION SNOW STORAGE

HARDSCAPE AREA FOR SNOW REMOVAL = 5,035 S.F.  
 SNOW STORAGE REQUIRED (10%) = 503 S.F.  
 SNOW STORAGE AREA PROVIDED = 762 S.F.



3003 Larimer Street  
 Denver, Colorado 80205  
 phone 303.861.5704  
 www.ozarch.com



LIFT  
 2431 HIGH MOUNTAIN ROAD  
 PARK CITY, UTAH 84098

PROJ. NO. 115179.00  
 DRAWN: CH  
 CHECKED: EL  
 APPROVED:  
 DATE: 2016/08/17

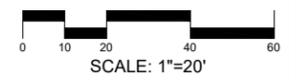
© OZ ARCHITECTURE

ISSUED FOR:  
 SUMMIT COUNTY REVIEW

SHEET TITLE:  
 SNOW STORAGE PLAN

SCALE:  
 SHEET NUMBER

**L-500**



**EXHIBIT 13**

**From:** [Gary Horton](#)  
**To:** [Tiffanie Robinson](#)  
**Cc:** [Michael L. Kendell](#); [Derrick Radke](#)  
**Subject:** RE: Lift Hotel RC22 - Service Provider Review  
**Date:** Monday, July 11, 2016 1:01:39 PM  
**Attachments:** [image001.png](#)

---

Tiffanie,

A few comments in regards to the subject project.

1. At some point Summit County Engineering will need to see how the storm water is accounted for within the site or within The Canyons storm water master plan. This includes the 90<sup>th</sup> percentile storm event being retained on site (or within The Canyons).
2. The access spacing needs to meet Summit County Ordinance 181 requirements. With High Mountain Road a Collector Street Type it will require 50 foot setback from the nearest driveway. This includes the driveway across the street on High Mountain Road (Sundial Ct).
3. Consideration for additional safety measures for the pedestrian crossing at High Mountain Road should be evaluated.
4. It would be good to identify the emergency ingress and egress routes given the current condition of the roadways in the area.

Thanks

**Gary Horton, SE**

Summit County Engineer

[ghorton@summitcounty.org](mailto:ghorton@summitcounty.org)

435-336-3120 – Office

435-731-7001 – Cell



---

**From:** Tiffanie Robinson

**Sent:** Thursday, June 30, 2016 3:47 PM

**To:** Gary Horton; Robert Taylor; Philip Bondurant; [sadams@pcfd.org](mailto:sadams@pcfd.org); [melissa@basinrecreation.com](mailto:melissa@basinrecreation.com); Derrick Radke; Cade Willoughby; Grant Piercy; '[cindy.christoffersen@pacificorp.com](mailto:cindy.christoffersen@pacificorp.com)'; [andy@swdc.us](mailto:andy@swdc.us); Dave Fuller; Jeff Ward

**Subject:** Lift Hotel RC22 - Service Provider Review

**EXHIBIT F1**



## DEVELOPMENT AGREEMENT

This Development Agreement ("Agreement") is made and entered into as of the 18th day of March, 2016, by and between **SUMMIT WATER DISTRIBUTION COMPANY**, a Utah non-profit mutual water company ("SWDC"), and **ONE CANYONS, LLC**, a Delaware limited liability company ("Developer").

### RECITALS

WHEREAS, Developer is the owner of certain real property located in Summit County, as more particularly described below, upon which a condominium of 61 units will be constructed consisting of 62.89 equivalent residential connections (ERCs) including the lobby, fitness room, and pool area (the "Development"); and

WHEREAS, Developer has acquired 30 shares of SWDC Class B Standby stock and wishes to have the water represented by such shares delivered to the Development; and

WHEREAS, SWDC has water distribution facilities to deliver water to the Development under the terms and conditions set forth herein.

NOW, THEREFORE, in consideration of the mutual covenants and agreements herein and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, it is agreed by and between the parties hereto as follows:

1. Place of Water Use. The Development is located on that certain real property in Summit County, State of Utah, and more particularly described in Exhibit 1 attached hereto and incorporated herein by reference. Developer agrees that the place of water use will remain on those Development lands identified in Exhibit 1.
2. Approval of Plans. Developer shall describe in detail its water use estimates and shall provide drawings setting forth the area of common area irrigation. Plans shall be submitted to and approved by SWDC before construction activities commence. Developer shall comply with SWDC's construction standards as set forth on SWDC's website at [www.summitwater.us](http://www.summitwater.us). Developer shall also comply with construction standards established by the Utah Division of Drinking Water. SWDC will provide a conversion schedule for construction water.
3. Use of Water Within Development Project. The Development will consist of 62.89 ERCs as set forth in the attached project plan identified in Exhibit 1. Shares representing 30 acre-feet of water will be allocated, held and disbursed as follows:
  - a) Developer shall prepare and submit to SWDC its estimated water usage consistent with standards established by the Utah Division of Drinking Water. Developer agrees to allocate the water represented by the water shares to the Development as set forth in Developer's culinary water use estimate and the irrigation requirements of the project plan attached hereto as Exhibit 2. Acceptance by SWDC of Developer's water use estimate shall not be construed as creating any

liability on the part of SWDC for overages or shortfalls in the amount of water required for the Development; Developer shall be solely responsible for acquiring sufficient water to meet its needs.

- b) SWDC shall transfer 30 shares to Developer consistent with the Share Transfer Request form attached hereto as Exhibit 3 and incorporated herein by reference. SWDC may retain Developer's shares of stock as security for any performance obligation SWDC may have as a result of committing to serve the Development pursuant Summit County Planning Department approvals. SWDC agrees to issue the shares of SWDC Class B (use) stock to Developer in accordance with the uses defined herein and as Developer may direct.
- c) For all units within the Development, Developer shall create a Homeowners Association ("HOA") to manage the affairs of the building(s). Within a reasonable period of time after the formation of the HOA and promulgation of the rules and regulations governing such HOA, Developer shall transfer to the HOA a sufficient number of shares to serve each unit and all common areas appurtenant to the complex. The HOA shall own such shares on behalf of its members and shall be responsible for payment of assessments, charges and fees relating to such shares.
- d) The Development will have one lateral for water service to include uses of both culinary and fire protection water. The lateral will enter a building in a mechanical room where the culinary service will tee from the fire protection service. This room must be accessible to the fire department as well as the water company. It will also be heated and constructed to be free from potential freezing. After the meter and other water supply equipment, Developer shall install a shutoff manifold to control water to each unit in the building. This manifold will be located in the mechanical room. The lateral entering the building will have a minimum separation of at least three feet from the nearest exterior wall for frost protection. See drawing, attached as Exhibit 4.
- e) In the event Developer's and the HOA's use of culinary water exceeds 30 acre-feet of water in any water year, Developer or its successors will be subject to any or all of the following:
  - 1. Penalties for excess use of water.
  - 2. Requirement to purchase additional shares of SWDC stock.
  - 3. Reduction of water use to actual entitlement of shares.

4. Construction of Water Infrastructure, Easements and Facilities. Developer understands that it is responsible for constructing at its own cost the water infrastructure within the development as well as those facilities needed to connect the Development to SWDC's existing system.

- a) All equipment and infrastructure used will be installed in accordance not only with state rules, regulations and standards but also the standards of SWDC. All water infrastructure and equipment in relation to the Development will be owned by Developer/HOA from and including the connecting valve to the SWDC infrastructure throughout the full development including, but not limited to: water main, laterals, valves, valve boxes, hydrants, meters, backflow preventers, curb stop boxes, transmitters. Moreover, Developer hereby warrants said water infrastructure and installation against defects of any sort for a period of one (1) year and agrees to assign to SWDC any warranties against defects by its vendors. SWDC reserves the right to demand a warranty period beyond one (1) year if SWDC does not approve the materials used, or if the construction materially varies from approved plans and standards. The period of warranty will begin to run upon approval of the system by SWDC at a regularly scheduled meeting of its board of directors. At the conclusion of the warranty period, Developer may request a refund of the Inspection Deposit (as defined below) to be issued to Developer (or to such other party as Developer shall hereafter designate to SWDC in writing). Inspection Deposits that remain unrequested two years following the end of the warranty period will be forfeited and deposited into SWDC's contingency account.
- b) Developer agrees to collaborate with TCFC PropCo LLC ("TCFC") for the purpose of design and development of water storage, pipelines, and facilities that will meet the infrastructure requirements for the Development. Developer acknowledges that the last 15 Class B Standby shares may not be converted to class B Connected shares until Developer notifies SWDC in writing that TCFC has sufficient water storage and pipeline capacity available to the Development consistent with the State of Utah standards.
- c) The ownership of water distribution facilities by SWDC shall include easements sufficient to use, operate, maintain, repair, and replace said water lines and appurtenant facilities conveyed to SWDC, including rights of access. In the event SWDC deems it necessary to obtain an express grant of easement to memorialize the conveyance of easements and/or facilities made hereby, Developer agrees to make or cause such conveyance to be made in a form reasonably acceptable to SWDC.
- d) Should Developer or its successors, including the HOA, not take immediate action to service or repair the individual service line for which it is responsible, SWDC may make the necessary repairs and may bill Developer for the actual cost of said service or repair and, if not paid within a reasonable amount of time, may add such cost to the shareholder's assessment on the shares serviced by the repaired line.
5. No Rights of Reimbursement. SWDC will not reimburse Developer for its cost of constructing water delivery infrastructure as set forth in Exhibit 1.

6. Assessments and Fees. SWDC will impose the following fees and assessments upon the SWDC Class B stock purchased by Developer:

- a) Quarterly Assessments. Upon Developer's payment of the fees set forth below, 15 of the total 30 Class B Standby shares will convert to Class B Connected (Use) shares. The remaining 15 Class B Standby shares will not convert to Class B Connected (Use) shares until receipt of a final commitment of service letter from SWDC. Quarterly assessments will be charged to the owners of the Class B Connected (Use) shares at the Zone 4 rate set forth in SWDC's current schedule of fees and assessments. Quarterly assessments will be charged to the owners of the Class B Standby shares at the standby rate set forth in SWDC's current schedule of fees and assessments.
- b) Commercial Connection Fees. Developer agrees to pay a commercial connection fee of \$8,200 for the first 5 acre feet of water, or portion thereof, plus \$900 for each additional acre foot of water, or portion thereof. This fee is consistent with the commercial connection fee set forth in SWDC's schedule of Assessments and Fees, which went into effect April 1, 2015. Based on this rate, the commercial connection fee for the Development shall be \$30,700 for the proposed 30 acre feet of commercial water use.
- c) Development Agreement Fee. Upon execution of this Agreement, Developer shall pay to SWDC a development agreement fee of \$5,760. Such fee is independent of the inspection fee set forth in subsection d) below.
- d) Incidental Costs and Inspections. Developer shall pay all reasonable costs incurred by SWDC or its engineers in processing, reviewing, and inspecting the Development, including the review of construction plans, drafting letters to the county, inspecting the installation and construction of waterworks, and any other matters which may require SWDC's involvement with respect to review and inspection of the Development. Developer shall be responsible to timely pay all reasonable engineering fees incurred by SWDC in reviewing and inspecting the Development. Any failure to timely and fully pay engineering fees may result in delays of approvals and water deliveries. SWDC requires a minimum refundable inspection deposit (the "Inspection Deposit") of \$8,200 as set forth in SWDC's schedule of Assessments and Fees, which went into effect April 1, 2015.
- e) Concurrency Fee. So long as required by Summit County Ordinance, Developer agrees to pay SWDC's standard concurrency fee of (currently \$395.00 per acre-foot) when Developer requests commitment of service letters from SWDC.

7. Developer's Acknowledgements. Developer understands and agrees as follows:

- a) The 30 shares of SWDC Class B Standby stock acquired by Developer is appurtenant to the land covered by this Agreement and cannot be moved elsewhere without the advance written consent of SWDC.

- b) Developer and its successors are bound by SWDC's articles, rules and regulations and by-laws now existing or as they may be modified from time to time, in the use of any water represented by shares of stock in SWDC.
- c) SWDC's review of Developer's development plans and specifications including Developer's allocation of water to Development uses shall not be construed as a confirmation or warranty that the plans and specifications are adequate for the purposes intended or that the water allocated for project purposes will be adequate.
- d) SWDC has the right to withhold the issuance, conversion or reissuance of any shares covered by this Agreement until water distribution facilities constructed by Developer are properly completed.
- e) SWDC makes no warranties or representations regarding Summit County's legal right to impose concurrency requirements on Developer or the county's water concurrency process (Ordinance No. 385) to this project or the ability of SWDC to issue concurrency letters as a result thereof. Summit County, through the concurrency process, may deny Developer the ability to receive water by limiting the number of concurrency letters SWDC may issue thereon. Developer acknowledges that SWDC will not be considered to be in breach of the delivery obligations established hereby based on Summit County's refusal to either authorize or honor SWDC's concurrency letters. For purposes of establishing SWDC's ability to deliver culinary water supplies to Developer the standards and ratings established and approved by the Utah Division of Drinking Water will be applied. Concurrency letters will be issued only if and when required by Summit County ordinances.
- f) Developer will comply with SWDC's source protection plan for the protection of drinking water sources, including surface and groundwater.

8. Notices.

Any notice to be given to Developer shall be sufficient if in writing and personally delivered, or by certified or registered mail addressed to: Gary Raymond, 14421 – N. 73rd Street, Scottsdale, AZ, 85260 (or to such other addresses or means as Developer shall hereafter designate to SWDC in writing) or email to: graymond@replayresorts.com with a copy to follow by U.S. Mail, postage prepaid.

Any notice to be given to SWDC shall be sufficient if given in writing and personally delivered, or by certified or registered mail addressed to: Summit Water Distribution Company, c/o Andy Garland, 8506 Bluebird Lane, Park City, Utah 84098 (or to such other addresses as SWDC shall hereafter designate to Developer in writing) or by email to SWDC at andy@swdc.us, with a copy to follow by U.S. Mail, postage prepaid.

Notices given personally shall be deemed effective and complete upon delivery thereof to the address indicated and obtaining a signed receipt thereof.

9. Governing Law. This Agreement shall be governed by and construed in accordance with the domestic laws of the State of Utah.

10. Counterpart Execution. This Agreement may be executed in counterparts.

11. Successors and Assigns. Neither party may assign its rights and obligations in this Agreement without the express written consent of the other party excepting however: (1) either party may assign without the consent of the other party all of its rights and obligations to a successor-in-interest to all or substantially all the assets of the assigning party or (2) the Developer shall not need the consent of SWDC to assign its rights and obligations to one or more homeowner associations organized to represent the owners of property within the area contemplated by the Development.

12. Course of Dealing, Waivers. No course of dealing and no delay on the part of any party in exercising any right or remedy conferred by this Agreement shall operate as a waiver thereof. The failure of a party to require the performance of an obligation or a waiver by a party of any breach hereof shall not prevent the subsequent enforcement of a term or obligation or be deemed a waiver of a subsequent breach. No single or partial exercise of any rights or remedies shall preclude any other or further exercise thereof.

13. Entire Agreement. This document constitutes the entire agreement of the parties and supersedes all prior discussions, understandings and promises between the parties hereto and with respect to the subject matter hereof. This Agreement may not be amended except by an instrument in writing signed by the parties.

**SUMMIT WATER DISTRIBUTION COMPANY,**  
a Utah non-profit mutual water company

By:   
P. Andrew Garland  
General Manager and Vice President

**ONE CANYONS, LLC,** a Delaware limited liability  
company

By:   
Gary L. Raymond  
President



SNYDERVILLE BASIN

**WATER RECLAMATION DISTRICT**

2800 HOMESTEAD RD, PARK CITY, UT 84098

WWW.SBWRD.ORG

T 435-649-7993

F 435-649-8040

December 8, 2015

Mr. Spencer White  
TCFC Propco LLC  
P.O. Box 680033  
Park City, UT 84068

RE: High Mountain Road – RC22 Extension  
Final Design Approval

Dear Mr. White:

Final Design Approval for this project has been granted. Following approval of contractor submittals and a preconstruction meeting with Snyderville Basin Water Reclamation District, construction of the wastewater system may begin.

Please contact Kevin Berkley with any questions.

Sincerely,

Bryan D. Atwood, P.E.  
District Engineer

cc: Scott Bolton, Stantec  
Project File



**DATE:** March 10, 2016  
**PROJECT:** RC-22 - Park City - Canyons Village - Canyons Resort  
**APPLICANT:** Spencer White  
**COMPANY:** Replay Resorts  
**EMAIL:** [swhite@replayresorts.com](mailto:swhite@replayresorts.com)  
**ADDRESS:** 1840 Sun Peak Drive - Suite A201 - P.O. Box 680033 - Park City, UT - 84068  
**TELEPHONE:** (801) 647-0125  
**DRAWINGS REVIEWED:** Design Review Set - Site Utility Plan (15-March-2016)  
Design Review Set - Northeast Elevation (15-March-2016)

**REVIEW FINDINGS: Forward Positive Recommend for Development Approval with Comments**

We have reviewed the submittal for the above project, and feel comfortable in recommending approval of this project, provided that the issues, as outlined in our attachment, are addressed and responses provided. We have discussed our issues in previous meetings with the applicant. Payment of impact fee's will be due upon application for a building permit.

A handwritten signature in black ink that reads "Scott W. Adams".

**REVIEWED COMPLETED BY:**

Assistant Fire Chief - Scott W. Adams - District Fire Marshal  
Park City Fire Service District - Fire Prevention Bureau (PCFD)  
P.O. Box 980010 / 736 West Bitner Road / Park City, UT 84098-0010  
**Telephone:** (435) 940-2532 / **Tele-Fax:** (435) 658-5247 / **E-Mail:** [sadams@pcfd.org](mailto:sadams@pcfd.org)

**REVIEW COMMENTS:**

The following comments are listed below for your response and/or correction:

1. **FIRE FLOW REQUIREMENT:** The fire flow requirement for this project has not yet been calculated.
  - 1.1 The design team must provide an engineer's water supply analysis that exhibits and determines the available fire flow for this project. The fire flow analysis must be provided now, during the preliminary design phase of the project. The fire flow water supply analysis must depict the available supply of water at the time of a fire.
  - 1.2 Validation of the fire flow test results. This will include the peak demand rate for the water supply and any allowances that need to be made for seasonal or daily fluctuations as a result of increased demands or changes in the operation of the water system.
    - 1.2.1 Any future changes that may be anticipated for the water supply system should also be included.
    - 1.2.2 A letter from the Water Company indicating their ability to deliver the required fire flow, culinary and irrigation water.

2. **FIRE DEPARTMENT ACCESS (FDA):** The submitted documents show the layout for the FDA roads.
- 2.1 Plans for the FDA must be designed in accordance with section 503 of the IFC. Applicant to meet with PCFD and Summit County Engineering Department to review site plan, prior to construction, to review and approve the requirements from section 503 of the IFC and Summit County Code. **PCFD also questions how “No Parking” will be enforced on this project for the street and the emergency access roadway. In light of the recent fires we have experienced this year, emergency vehicle access and maintenance of “No Parking” enforcement are a major concern that needs to be addressed.**
- 2.2 FDA roads must be constructed and installed according to the following requirements:
- 2.2.1 FDA roads must be constructed of an all-weather surface (asphalt or concrete) to meet all-weather driving capabilities.
- 2.2.2 FDA roads must be provided with a clear and unobstructed width of not less than 20-feet and a clear and unobstructed vertical clearance of not less than 13-feet 6-inches.
- 2.2.3 The gradient for a fire apparatus access road must not exceed 8%, unless approved by the PCFD. [IFC 503.2.7]
- 2.2.4 The turning radius of 28-feet must be provided for the fire apparatus access road. [IFC Figure D103.1]
- 2.2.5 FDA road must be designed and maintained to support the imposed loads of 55,000 lbs for fire apparatus.
- 2.2.6 FDA roads that have dead-ends in excess of 150-feet in length must be provided with approved provisions for the turning the fire apparatus around. Approved turn arounds must be designed to accommodate PCFD emergency vehicles.
- 2.2.7 When a bridge or an elevated surface is part of a fire apparatus access road, it must be constructed and maintained in accordance with AASHTO Standard Specification for Highway Bridges and must be designed for a live loading sufficient to carry the imposed loads of 55,000 lbs. for the fire apparatus. [IFC 503.2.6]
- 2.2.8 FDA roads must be provided with approved signs and/or other approved notices to identify such roads and prohibit the obstruction thereof.
- 2.2.9 Street and roads must be identified with approved signs. Duplication or conflicting street and road names must be avoided.
- 2.2.10 FDA road design must incorporate provisions for snow removal and storage, such that the FDA roads are not obstructed during snow conditions.
- 2.2.11 FDA roads are required to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated.

2.2.12 FDA roads are to be maintained at all times during construction.

2.2.13 In the event that the all-weather access is not maintained, the PCFD reserves the right to issue a "Stop Work Order" until required FDA roads are placed back in service.

3. **SECONDARY EMERGENCY ACCESS:** Two (2) separate emergency access / entrance roads have been provided as identified on the Site Utility Plan.

4. **FIRE HYDRANT AND WATER SUPPLIES FOR FIRE PROTECTION:**

4.1 We have reviewed the fire hydrant locations as indicated on the Site Utility Plan. Fire hydrants and mains must be capable of supplying the required fire flow.

4.2 Fire hydrants must also be located such that no portion of any structure or building is in excess of 600 feet from the fire hydrant on the FDA road, as measured by an approved route around the exterior of the facility.

4.3 Underground fire mains must be a minimum of 8-inch, with mains looped and dead-ends avoided when possible.

4.4 Water supplies for fire protection and the fire hydrant system are to be installed and made serviceable prior to any issuance of a building permit and/or combustible construction being initiated.

4.5 In the event that the fire protection water supply is not maintained, the PCFD reserves the right to issue a "Stop Work Order" until the required water supply for fire protection is placed back in service.

4.6 All fire hydrants must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions.

4.7 All fire hydrants must be marked with an approved flag to clearly identify their locations.

5. **FIRE SPRINKLER REQUIREMENTS:**

5.1 **Automatic Fire Sprinkler Systems:** An automatic fire sprinkler system will be required to be installed throughout this building.

6. **PLAT-NOTES TO BE ON DRAWINGS AT FINAL DRAWING SIGNING:** The following notes will need to appear on the final plat before the PCFD will sign it:

6.1 **Combustible Roofing Material:** Roofing materials must be non-combustible and approved by the PCFD. No wood shake roofing material will be permitted.

6.2 **Fire Department Access Roads:** An all-weather fire department access road is required to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated. The all-weather fire department access road is to be maintained at all times during construction. In the event that the all-weather access is not maintained, the Fire District reserves the right to stop work until required roads are placed back in service.

- 6.3 **Water Supplies for Fire Protection:** Water supplies required for fire protection are to be installed and made serviceable prior to the issuance of a building permit and/or combustible construction being initiated. In the event that the fire protection water supply is not maintained, the Fire District reserves the right to stop work until the required water supply for fire protection is placed back in service. Water supplies for fire protection must be clearly identified in a manner to prevent obstruction by parking and/or other obstructions. Each water supply for fire protection must be marked with an approved flag to identify its location during winter conditions.
- 6.4 **Automatic Fire Sprinkler Systems:** An automatic fire sprinkler system will be required to be installed and approved by the PCFD.
7. **IMPACT FEES DUE AT FINAL DRAWING SIGNING:** Impact fees will be assessed and collected as a condition of approval and before any construction is initiated.

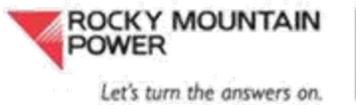
**From:** [Millward, Bryan](#)  
**To:** [Tiffanie Robinson](#)  
**Subject:** FW: Lift Hotel RC22 - Service Provider Review  
**Date:** Friday, July 01, 2016 7:38:53 AM  
**Attachments:** [image001.png](#)  
[Lift Hotel RC22 Service Provider.pdf](#)

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Tiffany, RMP has no concerns with this project. As usual the Developer will need to contact us once they start building at this site so that we can provide permanent power to the new building.

Thanks,

Bryan Millward  
Journeyman Estimator  
435-655-7806  
6280 North Silver Creek Drive  
Park City, UT 84098



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**From:** Christoffersen, Cindy  
**Sent:** Thursday, June 30, 2016 3:51 PM  
**To:** Millward, Bryan  
**Subject:** FW: Lift Hotel RC22 - Service Provider Review

Please review and respond.

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**From:** Tiffanie Robinson [<mailto:trobenson@summitcounty.org>]  
**Sent:** Thursday, June 30, 2016 3:47 PM  
**To:** Gary Horton; Robert Taylor; Philip Bondurant; [sadams@pcfd.org](mailto:sadams@pcfd.org); [melissa@basinrecreation.com](mailto:melissa@basinrecreation.com); Derrick Radke; Cade Willoughby; Grant Piercy; Christoffersen, Cindy; [andy@swdc.us](mailto:andy@swdc.us); Dave Fuller; Jeff Ward  
**Subject:** [INTERNET] Lift Hotel RC22 - Service Provider Review

This message originated outside of Berkshire Hathaway Energy's email system. Use caution if this message contains attachments, links or requests for information. Verify the sender before opening attachments, clicking links or providing information.

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Dear Service Providers,

Attached is the proposed final site plan for the "Lift" hotel located on parcel RC22, 2395 West High Mountain Road, at the Canyons Village . According to the Canyons SPA and Development Agreement, parcel RC22 is allowed to have 114,000 square feet, 3-6 stories high of Hotel/lodging.

**From:** [Grant Piercy](#)  
**To:** [Tiffanie Robinson](#)  
**Subject:** FW: Lift Hotel RC22 - Service Provider Review  
**Date:** Thursday, July 14, 2016 10:06:19 AM

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Thank you for getting this information. With the plans we have for reinforcement in this area next year we will be fine with load.

THANKS

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**From:** Spencer White [mailto:swhite@replayresorts.com]  
**Sent:** Wednesday, July 13, 2016 4:40 PM  
**To:** Grant Piercy  
**Cc:** Tiffanie Robinson; Andy White; Gary Raymond; Connie Wynne  
**Subject:** RE: Lift Hotel RC22 - Service Provider Review

Grant,

Here are the load numbers from our mechanical engineer. Please let me know if you need anything else. Thanks.

Spencer

We are expecting to have the following natural gas loads in the building:

- (2) Rooftop Make-Up Air Units = 2 x 312,000 BTU = 624,000 BTU
- (3) Hot Water Boilers = 3 x 5,000,000 BTU = 15,000,000 BTU
- (72) Fireplaces = 72 x 61,000 BTU = 4,392,000 BTU
- (53) Standard Unit Cooktops = 53 x 54,100 BTU = 2,867,000 BTU
- (7) Penthouse Unit Cooktops = 7 x 71,000 BTU = 497,000 BTU
- **Total Building Load: 23,380,000 BTU/h**

Let me know if you have any questions,

**RAHUL DEODHAR, PE (IL)**  
Mechanical Engineer

**BG BUILDINGWORKS, INC.**  
1626 Cole Boulevard, Suite 300  
Lakewood, CO 80401

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**From:** Tiffanie Robinson [mailto:trobinson@summitcounty.org]  
**Sent:** Friday, July 01, 2016 11:52 AM  
**To:** Spencer White <swhite@replayresorts.com>  
**Subject:** Fwd: Lift Hotel RC22 - Service Provider Review

Can you please address this question?

**EXHIBIT F14**

**From:** [Melissa OBrien](#)  
**To:** [Tiffanie Robinson](#)  
**Cc:** [Bob Radke](#); [Megan Sudaholc](#)  
**Subject:** RE: Lift Hotel RC22 - Service Provider Review  
**Date:** Wednesday, July 06, 2016 4:45:02 PM

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Tiffanie,

Thanks so much for the opportunity to comment on this project. Snyderville Basin Special Recreation District does not have any concerns about the project vis-à-vis current or future trails.

More as an FYI than anything else, we are having some trouble getting existing trail easements signed. We have discussed the issue with Dave Thomas.

Thanks so much!  
Melissa

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**From:** Tiffanie Robinson [mailto:trobenson@summitcounty.org]  
**Sent:** Thursday, June 30, 2016 3:47 PM  
**To:** Gary Horton <ghorton@summitcounty.org>; Robert Taylor <rtaylor@summitcounty.org>; Philip Bondurant <pbondurant@summitcounty.org>; sadams@pcfd.org; Melissa OBrien <melissa@basinrecreation.org>; Derrick Radke <dradke@summitcounty.org>; Cade Willoughby <cadewilloughby@summitcounty.org>; Grant Piercy <Grant.Piercy@questar.com>; 'cindy.christoffersen@pacificcorp.com' <cindy.christoffersen@pacificcorp.com>; andy@swdc.us; Dave Fuller <dave@swdc.us>; Jeff Ward <jward@summitcounty.org>  
**Subject:** Lift Hotel RC22 - Service Provider Review

Dear Service Providers,

Attached is the proposed final site plan for the "Lift" hotel located on parcel RC22, 2395 West High Mountain Road, at the Canyons Village . According to the Canyons SPA and Development Agreement, parcel RC22 is allowed to have 114,000 square feet, 3-6 stories high of Hotel/lodging.

Your review is important to us and we would appreciate your input. Please provide me with any comments, concerns, conditions or suggestions for the proposal prior moving the Final Subdivision Plats forward for final approval.

Please provide comments by **Wednesday, July 13, 2016** so that we can proceed forward with this proposal to the Snyderville Basin Planning Commission and County Manager.

Best,