

Woods Cross Planning Commission

Woods Cross Municipal Building
1555 South 800 West, Woods Cross, UT

AGENDA

September 27, 2016

6:30 P.M.

The meeting will begin at 6:30 P.M. in the Woods Cross City building.

1. PLEDGE OF ALLEGIANCE
(Dan Bradford)
2. MINUTE APPROVAL
(Leo Beecher)
3. OPEN SESSION
(Leo Beecher)
4. DISCUSSION AND REVIEW OF STATEWIDE TRANSPORT SITE PLAN
Located at 2002 S. 1100 W.
(Mark Johnson)
5. STEP SAVER SITE PLAN AMENDMENT
Proposed building addition located at 1901 W. 2425 S.
(Roy Swalsberg)
6. STEP SAVER CONDITIONAL USE REQUEST
Proposed salt products distribution business located at 1917 W. 2425 S.
(Roy Swalsberg)
7. STEP SAVER SITE PLAN
Proposed building & site located at 1917 W. 2425 S.
(Roy Swalsberg)
8. GENERAL & PENDING BUSINESS

The Public is invited to participate in all Planning Commission meetings. If you need special accommodations to participate in the Planning Commission meeting, please call the Community Development Director's Office at 801-292-4421.



**WOODS CROSS PLANNING COMMISSION MEETING
SEPTEMBER 13, 2016**

The minutes of the Woods Cross Planning Commission meeting held September 13, 2016 at 6:30 P.M. in the Woods Cross City Hall located at 1555 South 800 West, Woods Cross, Utah.

CONDUCTING: Leo Beecher, Chairman

COMMISSION MEMBERS PRESENT:

Leo Beecher, Chairman

Jennifer Bassarear

Dan Bradford

Brent Page

Cutis Poole

Gary Sharp

Matt Terry

STAFF PRESENT:

Tim Stephens, Community Development Director

Bonnie Craig, Secretary

James Sheldon, City Council Member

VISITORS:

Nick Webster

Don Schrader

D.L. Weeks

LeGrande Blackley

Lois Schrader

Brian Knowlton

David Burnell

Spencer Jensen

The Chairman welcomed those in attendance and stated this was the Woods Cross Planning Commission meeting and they would be discussing items that were listed on the Planning Commission agenda.

PLEDGE OF ALLEGIANCE: Curtis Poole

MINUTE APPROVAL

The Planning Commission reviewed the minutes of the Planning Commission meeting held August 23, 2016. After their review, Commissioner Page made a motion to approve the minutes as written with Commissioner Poole seconded the motion and the motion carried.

OPEN SESSION

Chairman Beecher then opened the meeting to items from those present that they would like to bring before the Commission.

There were no items for the open session and Chairman Beecher closed the open session.

**JENSEN SERVICE & REPAIRS HOME OCCUPATION-901 WEST 2100 SOUTH—
SPENCER JENSEN**

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Mr. Tim Stephens, the Community Development Director, then reviewed this item with the Planning Commission. He said that Mr. Spencer Jensen is proposing to operate a business cleaning, servicing, and repairing vacuums and small appliances. The business will consist of the tools in the garage for repairing such items. Customers will drop off and pick up small appliance items.

Mr. Spencer Jensen came before the Commission to answer any questions regarding this business. The Commission asked if there would be loud noises in connection with the business. Mr. Jensen said there would not be any loud noises that would bother anyone regarding the business. He said he does not expect to do a lot of business as he has a full time teaching position and won't have a lot of time to spend on doing the repairs. He said he was just hoping to make a little bit of extra income by doing occasional repairs as he has time to do the repairs of the vacuums and appliances.

The Commission asked if Mr. Jensen was aware there were no signs allowed at the home to advertise the business and he said he was aware he could not put up signs to advertise the business at his home.

The Commission also asked if Mr. Jensen had any concerns regarding the conditions. Mr. Jensen said he did wonder if a fire inspection was required and the Commission noted a fire inspection would be required for the home business.

There were no further questions and Commissioner Bassarear made a motion to approve the conditional use for Mr. Spencer Jensen and Jensen Services & Repair located at 901 West 2100 South with the following conditions:

1. Applicant shall obtain a South Davis Fire inspection approval and submit a copy to the city prior to issuance of a business license.
2. At no time shall the applicant's business operation negatively impact adjacent properties or the neighborhood.
3. Applicant's business operation shall be in compliance at all times with any government agency having jurisdiction over the property of business operation.

Commissioner Sharp seconded the motion and the motion carried.

OPS GEAR INC. CONDITIONAL USE-DAVID BURNELL—1185 SOUTH REDWOOD ROAD

The Community Development Director then noted this applicant is proposing to operate a retail business from the small strip commercial building on the corner of 1180 South Redwood Road specializing in tactical gear, clothing, preparedness items, footwear, etc. He will be occupying a suite in the center part of the building. This location will be used for warehousing and retail

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sales. The applicant has stated the business will not include the sale of firearms or ammunition and no training will be held at the location.

Mr. David Burnell then came before the Commission. Mr. Burnell noted that he has been running this business for the past 15 years in North Salt Lake. He said he had recently moved into the Ivory Homes neighborhood located nearby the proposed business location. Mr. Burnell said it would be very convenient for him to have his business located so closely to his home. He also said he has been doing business online and will continue to do that as well as having a store where customers can come and purchase gear.

There were no further questions or discussion and Council Member Poole made a motion to approve the OPS Gear Inc. conditional use for Mr. David Burnell with the following conditions:

1. At no time shall the business activity negatively impact adjacent properties or businesses.
2. The business operation shall be in compliance at all times with any government agency having jurisdiction over the property or business operation.
3. Applicant shall obtain a South Davis Metro Fire Agency approval and submit a copy to the city prior to the issuance of a business license.

Commissioner Page seconded the motion and the motion carried.

**HOLLY ENERGY PARTNERS LOADING RACK OFFICE BUILDING SITE PLAN
AMENDMENT—753 WEST 500 SOUTH—NICK WEBSTER**

Mr. Stephens then noted that during the last Planning Commission meeting the Commission tabled the Holly site plan amendment to allow Holly to consider a more substantial screen wall similar to the concrete panel walls used at the refinery. As a follow-up to that action, the city engineer, public works director, and Mr. Stephens, met with Mr. Nick Webster at the loading facility and reviewed with him the northwest corner perimeter of the site and existing chain link fencing. Based on safety concerns viewed by the city engineer, it was determined that a solid fence could be constructed along the west side of the facility and also from the west corner to the first gate along 500 South Street. Mr. Webster was then going to look into the types of concrete, paneled walls and their expense.

Mr. Stephens went on to say the earlier in the week Mr. Webster had called him and indicated he did not believe it was feasible from a cost perspective to construct a concrete fence at the location discussed above. He mentioned that the cost of such a wall would be upwards of \$20,000 which was not the budget the company had appropriated for this project. Mr. Webster stated that the project would probably need to be postponed and a request made in next year's company budget cycle for the project which may or may not be funded. Mr. Webster will be at the Planning Commission meeting to discuss this issue and possibly other fencing/screening options.

Mr. Nick Webster came before the Commission and said that the concrete block type of wall that had been discussed at the last meeting was not financially feasible for this project at the present

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time. He did say that he did have enough funds appropriated to be able to put in vinyl slats in the existing chain link fencing.

The Commission looked at and discussed the different fencing options and said they would be fine with the vinyl slats if they were properly installed and maintained since the block wall was not in the budget for the project.

The Commission asked if the slats were installed would the line of sight still be safe for the truck drivers proceeding out of the site. It was noted the city engineer and public works director reviewed the site and said if the screening was put into place it would not impede the sight of the trucks going in and out of the facility. It was also noted that signs had been installed instructing the trucks not block the drives so pedestrians could still use the sidewalk.

The Commission then said they would just like to make sure the area looks nice and can be the best that it can be with adding fencing that would be pleasing to look at as well as would not be financially prohibitive.

Commissioner Sharp then made a motion to approve the site plan amendment for Holly Energy Partners loading rack office building with the condition that the fence is properly installed and maintained. Commissioner Terry seconded the motion and the motion carried.

GENERAL AND PENDING

Mr. Stephens updated the Commission and some of the upcoming items that they would be reviewing at the next few meetings.

He said that the problem with One Solar and the neighbor Summer Derrick was still on going and Mr. Stephens and the Code Enforcement Officer would be making a visit to One Solar and explaining the difference between the conditional use and city ordinances so that they can be informed of what they still need to do to be in compliance with both the conditional use and city ordinance. It was also noted that One Solar did change garbage companies and they have asked the garbage to be picked up no later than 10:00 A.M. so some of what was being asked of One Solar has been complied with. He said he would keep the Commission updated on his findings.

Mr. Stephens also noted that in the past the Commission had allowed Interstate Trucking to install a metal building to a non-conforming use as to help clean up and store some of the many items they have on the site. Mr. Stephens said there had been some complaints from a neighbor about the metal building and issues with the storm drain detention design and he would be coming in to discuss the issues. There was no public hearing held regarding this matter and the city engineer, the public works director, and Interstate trucking will all be in attendance to discuss the matter.

ADJOURNMENT

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There being no further business before the Planning Commission, Commissioner Bradford made a motion to adjourn the meeting at 7:11 P.M.

Leo Beecher, Chairman

Bonnie S. Craig, Secretary

STEP SAVER SITE PLAN AMENDMENT

APPLICANT: Roy Swalsberg, Tom Stuart
Construction

LOCATION: 1901 W. 2425 S.

REQUEST: Site Plan Amendment Approval

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CIVIL
SEE CIVIL ENGINEER DRAWINGS.

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L1-1 LANDSCAPE PLAN

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SD.1 SITE PLAN
SD.2 SITE DETAILS

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A1.1 FLOOR PLAN
A2.1 DIMENSION PLAN
A3.1 EXTERIOR ELEVATIONS
A4.1 DOOR SCHEDULE
A4.2 DOOR DETAILS
A4.3 DOOR DETAILS
A5.1 BUILDING SECTIONS
A6.1 WALL SECTIONS
A6.2 WALL SECTIONS
A7.0 ROOF DRAINAGE PLAN
A7.1 ROOF DETAILS
A7.2 ROOF DETAILS

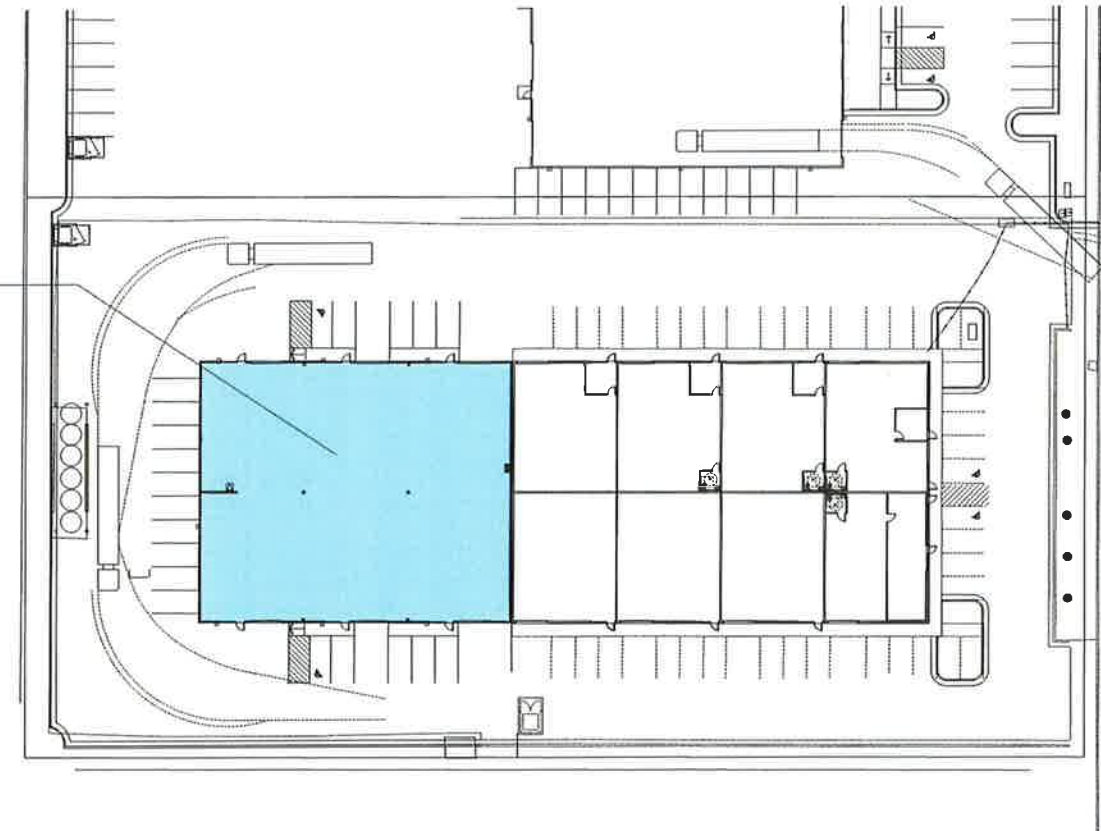
STRUCTURAL
S0.1 GENERAL STRUCTURAL NOTES
S0.2 SPECIAL INSPECTION REQUIREMENTS
S0.3 SPECIAL INSPECTION REQUIREMENTS
S1.1 FOUNDATION & CMU WALL PLAN
S1.2 ROOF FRAMING PLAN
S1.3 ROOF DRAINAGE PLAN
S2.1 PANEL ELEVATION
S3.1 CROSS SECTIONS
S5.1 FOUNDATION DETAILS
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S6.3 STRUCTURAL DETAILS

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PL1.1 FIRST FLOOR PLUMBING PLAN
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P5.1 PLUMBING DETAILS AND SCHEDULES
M0.1 MECHANICAL ABBREVIATIONS, GENERAL NOTES AND LEGEND
MH1.1 FIRST FLOOR MECHANICAL PLAN
MH1.2 ROOF MECHANICAL PLAN
M5.1 MECHANICAL DETAILS AND SCHEDULE

ELECTRICAL
SEE ELECTRICAL ENGINEER DRAWINGS.

PROJECT LOCATION

KEY PLAN



CODE DATA

GENERAL		ALLOWABLE BUILDING HEIGHT & AREA (IBC 2015 CHAPTER 5)	
TYPE OF CONSTRUCTION	II-B	TABULAR BUILDING AREA:	17,500 S.F. (S-1)
OCCUPANCY GROUP	S-1	ALLOWABLE AREA:	17,500 S.F.
	TOTAL AREA:	ACTUAL BUILDING AREA:	12,000 S.F.
	12,000 S.F.	TABULAR BUILDING HEIGHT:	1 STORIES/55 FEET
FIRE SPRINKLERS:	NO	TOTAL ALLOWABLE BUILDING HEIGHT:	55 FEET
NUMBER OF STORIES:	ONE		
NON-SEPARATED USE:	YES		
OCCUPANT LOAD:	TO BE DETERMINED W/ FUTURE TENANCY.		
BUILDING HEIGHT & AREA			
BUILDING HEIGHT:	22'-0" TYP. (22'-0" MAX. HEIGHT)		
BUILDING AREA:	12,000 S.F.		
APPLICABLE CODES:			
	2015 INTERNATIONAL BUILDING CODE		
	2015 INTERNATIONAL FIRE CODE		
	2015 INTERNATIONAL MECHANICAL CODE		
	2015 INTERNATIONAL PLUMBING CODE		
	2015 ENERGY CONSERVATION CODE		
	2014 NATIONAL ELECTRIC CODE		
	2009 ICC/ANSI A117.1		
INTERIOR FINISH FLAME SPREAD RATING:			
ROOMS/ENCLOSED SPACES	CLASS 'C' (MIN.)		
CORRIDORS	CLASS 'C' (MIN.)		
EXIT ENCLOSURES/EXIT PASSAGEWAYS	CLASS 'C' (MIN.) <3 STORIES		
INTERIOR FLOOR FINISH/FLOOR COVERINGS	CLASS 'I' (MIN.)		
		DEFERRED SUBMITTALS	
		1. NFPA 13 FIRE SPRINKLER SYSTEM DRAWINGS	



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8/23/16



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1901 WEST
2425 SOUTH

WOODS CROSS,
UTAH

STEP SAVER

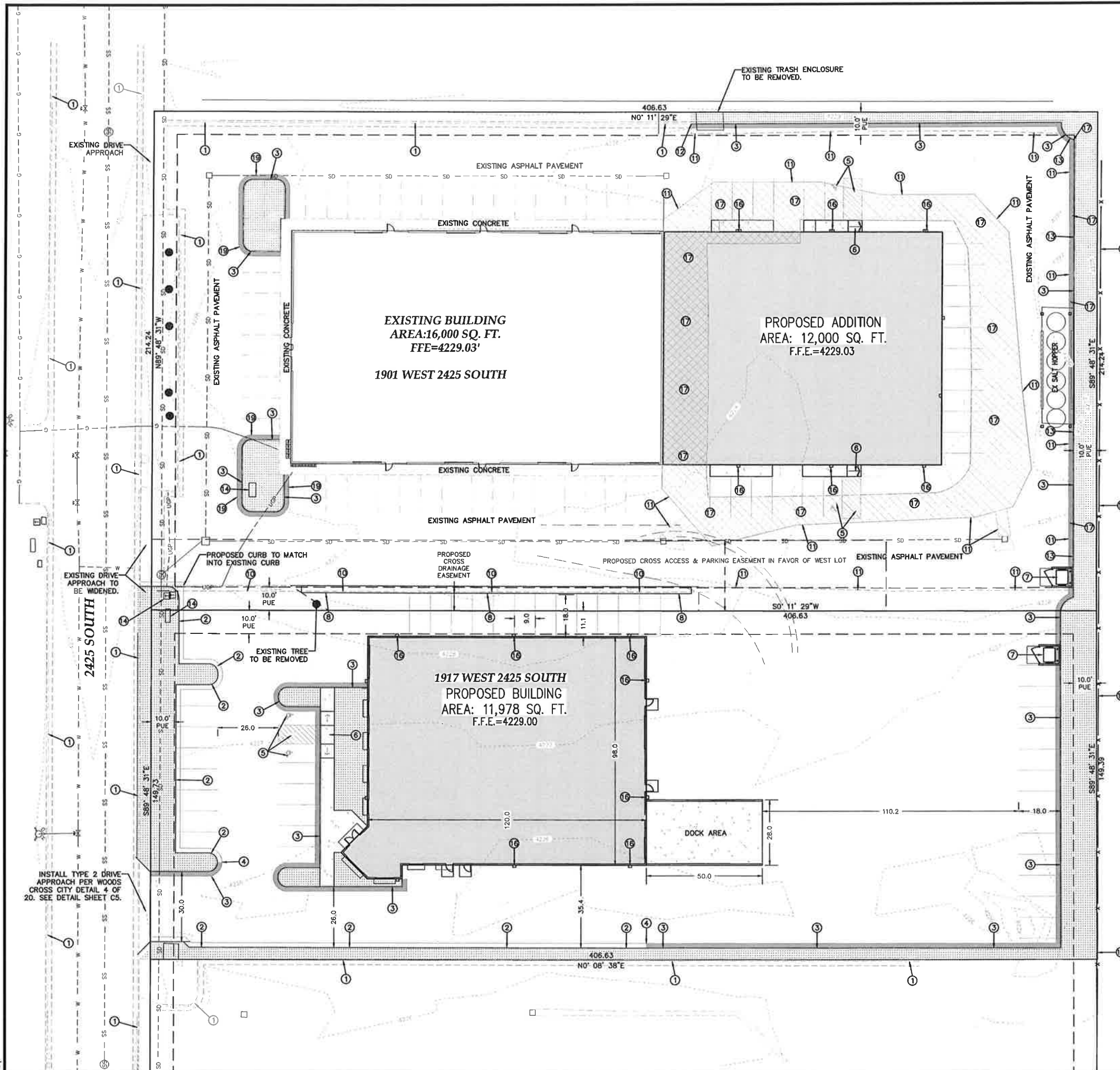
GENERAL NOTES/
INDEX

AUGUST 23, 2016
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APPROVED FOR STEP SAVER

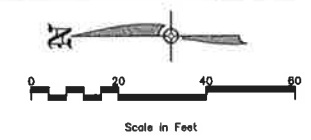
DATE:

A0.1



SHEET LEGEND

- EXISTING ASPHALT TO BE REMOVED
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPING



SITE PLAN NOTES:

- 1 EXISTING CURB & GUTTER
- 2 PROPOSED 30" CURB & GUTTER. SEE DETAIL 1/C4.
- 3 PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.
- 4 PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER.
- 5 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
- 6 ADA RAMP ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET C5.
- 7 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 8 PROPOSED 3' ROLL GUTTER. SEE DETAIL 11/C4.
- 9 PROPOSED 3" ROLL GUTTER. SEE DETAIL 11/C4.
- 10 EXISTING CURB & GUTTER TO BE REMOVED.
- 11 SAWCUT EXISTING EDGE OF ASPHALT FOR NEW ASPHALT TO MATCH TO.
- 12 MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
- 13 PROPOSED LIP OF CURB TO MATCH EXISTING TOP OF ASPHALT ELEVATION. SEE SHEET C2 FOR ELEVATIONS.
- 14 EXISTING POWER TRANSFORMER TO BE RELOCATED BEHIND CURB.
- 15 EXISTING DRIVE APPROACH.
- 16 PROPOSED WALL PACK LIGHTING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 17 EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW PAVEMENT. SEE SHEET C2 FOR ELEVATIONS.
- 18 EXISTING FENCE.
- 19 PROPOSED LIP OF GUTTER TO MATCH TO EXISTING TOP OF ASPHALT ELEVATION. SEE SHEET C2 FOR ELEVATIONS.

EAST LOT PROJECT SUMMARY

GROSS LAND AREA	2 ACRES 87,116 SF
EXISTING BUILDING AREA	16,000 SF
NEW BUILDING EXPANSION	12,000 SF
TOTAL BUILDING AREA	28,000 SF
EXISTING LANDSCAPE	EXISTING (10.1%)
NEW LANDSCAPE AREA	3,703 SF

EAST BUILDING PARKING SUMMARY

EXISTING BUILDING PARKING PROVIDED	32
TOTAL OFFICE MAIN FLOOR	3,000 S.F.
TOTAL NUMBER OF PARKING SPACES REQUIRED (MAIN FLOOR)	10 (1/300)
TOTAL NUMBER OF PARKING SPACES (WAREHOUSE EMPLOYEES AT PEAK)	10
TOTAL PARKING SPACES REQ'D/PROVIDED	20
TOTAL PARKING SPACES PROVIDED	52
TOTAL ACCESSIBLE PARKING REQUIRED	3
TOTAL ACCESSIBLE PARKING PROVIDED	4

WEST LOT PROJECT SUMMARY

GROSS LAND AREA	1.40 ACRES 60,817 SF
GROSS BUILDING AREA INCLUDING PROPOSED	11,978 SF
TOTAL LANDSCAPED AREA	7,445 SF (12.24%)

WEST BUILDING PARKING SUMMARY

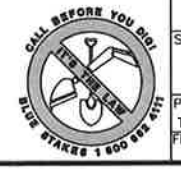
TOTAL OFFICE S.F. MAIN FLOOR	2,000 S.F.
TOTAL OFFICE S.F. MEZZANINE FLOOR	2,000 S.F.
TOTAL NUMBER OF PARKING SPACES REQUIRED (MAIN FLOOR & MEZZANINE)	14 (1/300)
TOTAL NUMBER OF PARKING SPACES (WAREHOUSE EMPLOYEES AT PEAK)	13
TOTAL PARKING SPACES REQUIRED	29
TOTAL PARKING SPACES PROVIDED	40
TOTAL ACCESSIBLE PARKING REQUIRED	2
TOTAL ACCESSIBLE PARKING PROVIDED	2

CIR
ENGINEERING, L.L.C.
 3032 SOUTH 1030 WEST, SUITE 202
 SLC, Utah 84119 - 801-949-6296

STEP SAVER
 1901 WEST 2425 SOUTH, WOODS CROSS, UT 84087
 SITE PLAN



SHEET NO. **C1**
 PROJECT ID: T1054-01
 DATE: 07/27/16
 FILE NAME: PRJ-SSP
 SCALE: 1"=20'
 PROJECT ENGINEER: SDT
 DESIGNER: SDT



SITE PLAN NOTES

- 1. WALL PACK LIGHTING TO BE FULLY SHIELDED.

EAST LOT PROJECT SUMMARY

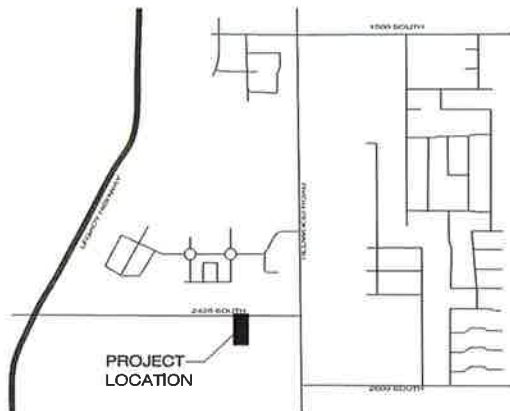
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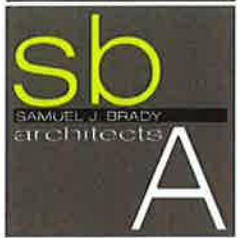
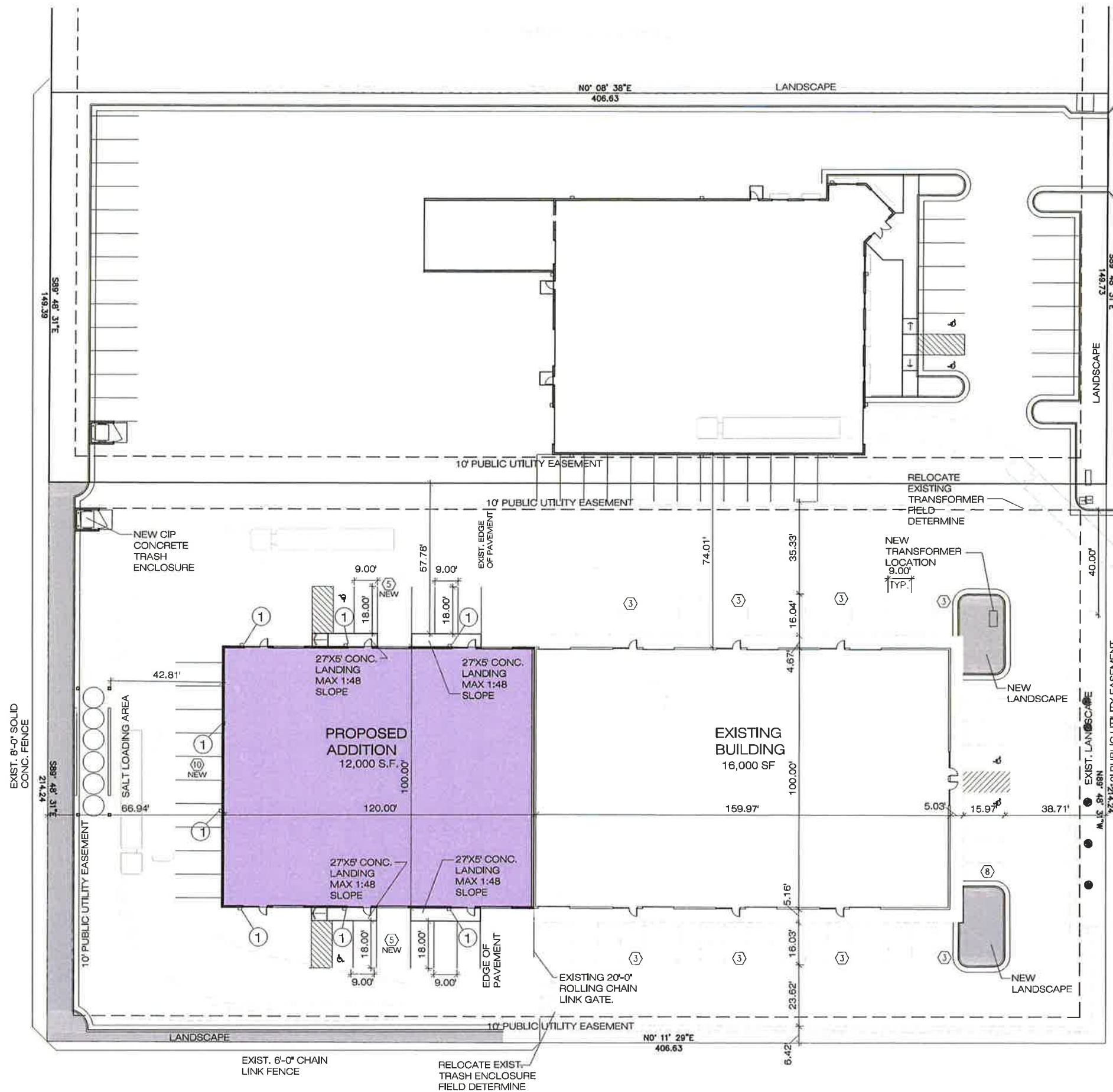
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TOTAL ACCESSIBLE PARKING PROVIDED	4

KEY NOTES

- ① EXTERIOR LIGHTING -FULL CUT-OFF LED WALLPACK



VICINITY MAP



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1901 WEST
2425 SOUTH

WOODS CROSS,
UTAH

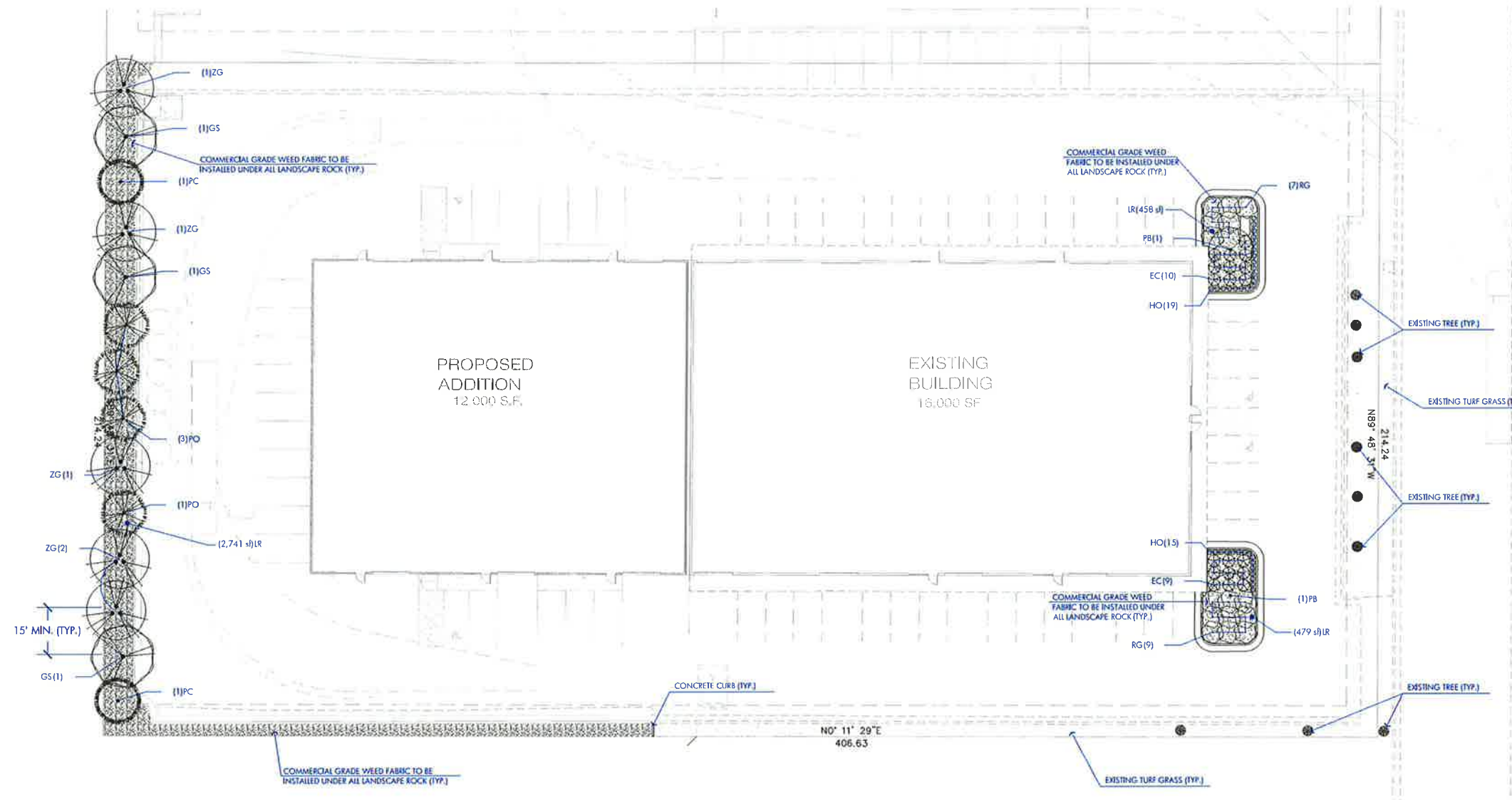
STEP SAVER

SITE PLAN

SCALE: 1" = 20'-0"
AUGUST 23, 2016
16RC01SD1.dwg



SD.1



NOTE:
ALL LANDSCAPE TO HAVE AUTOMATIC
SUBSURFACE SPRINKLER IRRIGATION SYSTEM
INSTALLED.

WHERE CITY CULINARY WATER IS BEING USED FOR
IRRIGATION PURPOSES, BACK-FLOW DEVICES
SHALL BE INSTALLED PER CITY REQUIREMENTS.

PROVIDE LINE ITEM BID FOR LANDSCAPE.

2H:1V MAXIMUM SLOPE IN LANDSCAPED AREAS

NOTES FOR CONTRACTOR:

1. ALL IRRIGATION HEADS TO HAVE WATER SAVING, LOW ANGLE NOZZLES
2. CONTROLLER TO PROVIDE SEPARATE ZONES, WATER BUDGETING, MULTIPLE START TIMES AND MEET ALL MANUF. REQUIREMENTS FOR OUTDOOR INSTALLATION.
3. ALL IRRIGATION WIRING TO MEET IBC REQUIREMENTS.
4. ALL SPRINKLERS TO HAVE MATCH PRECIPITATION RATES
5. USE DRIP IRRIGATION FOR ALL TREES AND SHRUBS
6. ALL IRRIGATION LINES TO HAVE WINTERIZATION BLOW-OUTS

LANDSCAPE CONTRACTOR TO ENSURE THE
FOLLOWING PIPE SIZES ARE NOT EXCEEDED:

3/4" 12 GPM
1" 20 GPM
1 1/2" 26 GPM

ALL CONDUITS UNDER CONCRETE MUST BE
A MINIMUM 4". SEE DETAILS FOR TRENCHING DEPTHS.

WATER CONSERVATION PLAN:

1. PLANNING AND DESIGN—PLANTINGS ARE GROUPED TOGETHER.
2. LOW WATER USING PLANTS—PLANTS SELECTED FOR DROUGHT TOLERANCE
3. SOIL AMENDMENTS—CONTRACTOR TO ADD 5% NUTRI-MULCH IN PLANTER BEDS.
4. USE ORGANIC MULCH-BARK AND/OR SHREDDED PLANT MATERIAL AND COMPOST
5. EFFICIENT IRRIGATION—CONTRACTOR TO CREATE HYDROZONES AND ISOLATE WATER USAGE.
6. MAINTENANCE—LAWN AREAS ARE EASY TO MAINTAIN AND PLANTINGS ARE GROUPED.

WOODS CROSS LANDSCAPE REQUIREMENTS

TOTAL ON SITE LANDSCAPE	6,487 SF (7.3%)
EXISTING TREES TO REMAIN	9
TOTAL BUFFER TREES REQUIRED/PROVIDED (1 PER EVERY 15'-0" W/ 1/3 MIN. EVERGREENS)	14
TOTAL OTHER TREES PROVIDED	2
TOTAL EXISTING TREES	9
TOTAL NEW TREES PROVIDED	16
TOTAL TREES	25
GROUND COVERS	6,487 (100%)
TOTAL LANDSCAPE ROCK	3,678 (66%)
TOTAL SOD (EXISTING)	2,809 (34%)

DECIDUOUS TREE SIZES
- 20% WITH 3" MIN. CALIPER
- 50% WITH 2"-3" MIN. CALIPER
- 30% WITH 1-1/2"-2" CALIPER
* MEASURED FROM 4'-0" ABOVE GRADE

EVERGREEN TREE SIZES
- 20% WITH 8'-0" HT.
- 50% WITH 5'-0" TO 8'-0" HT.
- 30% WITH 4'-0" HT.

PLANT SCHEDULE 1901

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY
	GS	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST	2"-2.5" CAL	3
	PO	PICEA OMORICA / SERBIAN SPRUCE	VARIOUS SIZES	4
	PC	PICEA PUNGENS 'COLORADO GREEN' / GREEN SPRUCE	VARIOUS SIZES	2
	PB	PYRUS CALLERYANA 'BRADFORD' / BRADFORD FLOWERING PEAR	2"-2.5" CAL	2
	ZG	ZEIKOVA SERRATA 'GREEN VASE' / SAWLEAF ZEIKOVA	2.5"-3" CAL	5
	EC	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL	19
	HO	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	34
	RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	16
	IR	LANDSCAPE ROCK WITH WEED BARRIER	4" THICK MIN.	3,678 SF



LANDSCAPE ARCHITECTURE
SITE ARCHITECTURE
CONSTRUCTION MANAGEMENT
511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.521.2370
FAX: 801.504.7176
WWW.LANDFORMDESIGNGROUP.COM

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STEP SAVER
1901 West 2425 South, Woods Cross, Utah

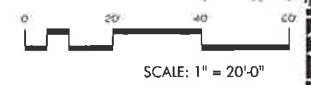
DATA:
date: 09.22.16
project no: 2016.30
drawn by: TJJ
checked by: JRC

REVISIONS:

LANDSCAPE PLAN

SHEET

L1-1



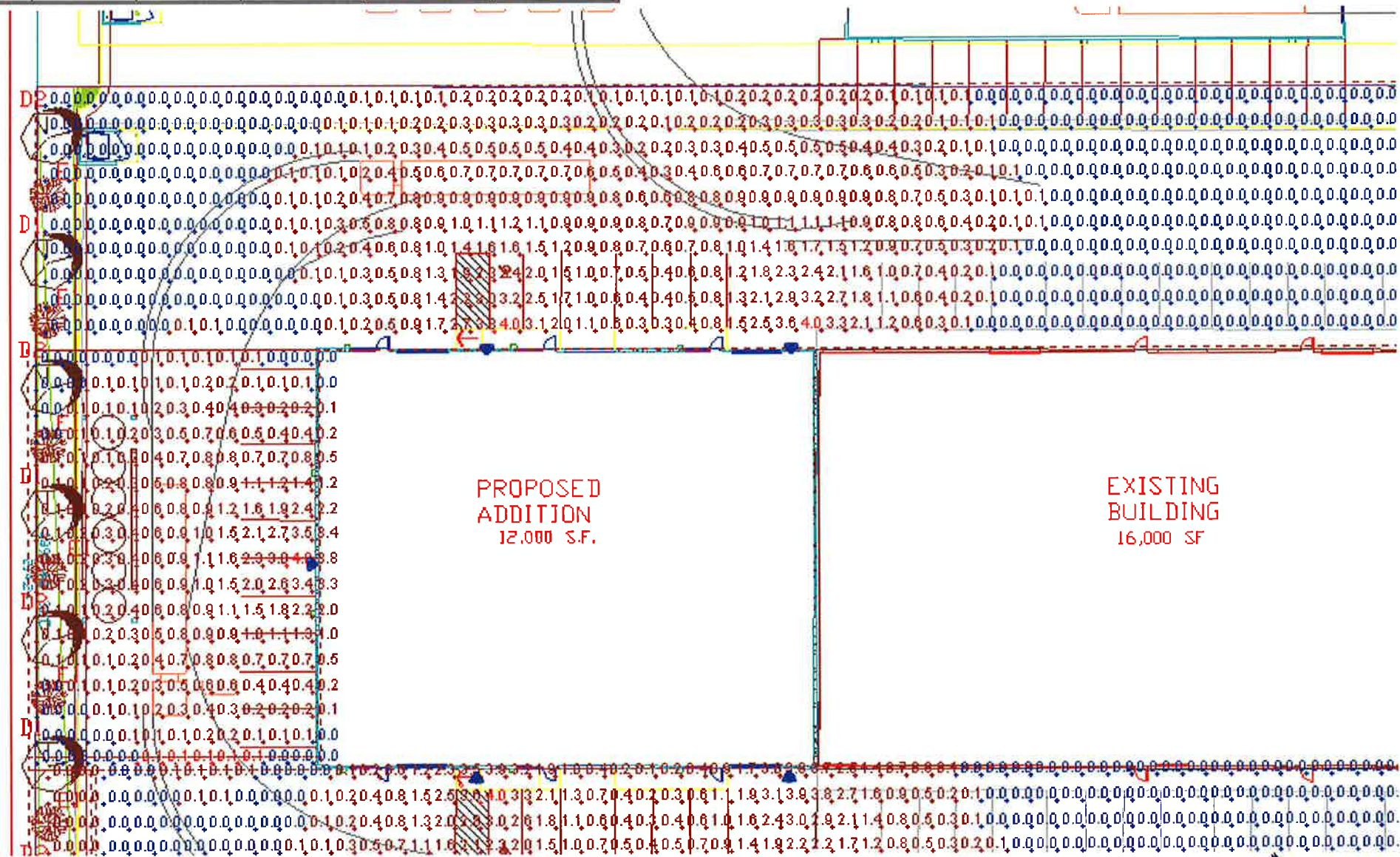
LANDFORM DESIGN GROUP

Luminaire Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	5	EATON - LUMARK (FORMER COOPER LIGHTING)	XTOR9ARL-N	LUMARK CROSSTOUR MAXX LED 85W - 3500K, REFRACTIVE LENS		1	XTOR9ARL-N.IES	5701.476	1	82

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Calc Zone #2	+	0.3 fc	4.0 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone #3	+	0.4 fc	4.0 fc	0.0 fc	N/A	N/A	0.1:1
Calc Zone #4	+	0.6 fc	4.0 fc	0.0 fc	N/A	N/A	0.2:1
Calc Zone #5	+	0.0 fc	0.1 fc	0.0 fc	N/A	N/A	0.0:1
Calc Zone #6	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A



Step Savers Building Expansion



JP ELECTRICAL, LLC
 COMMERCIAL AND RESIDENTIAL
 801-294-4340
 Going The Extra Mile

Designer
 Date
 Scale
 Not to Scale
 Drawing No.
 Summary
 1 of 1



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ARCHITECTS

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8/23/16



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FAX: (801) 936-8633

1901 WEST
2425 SOUTH

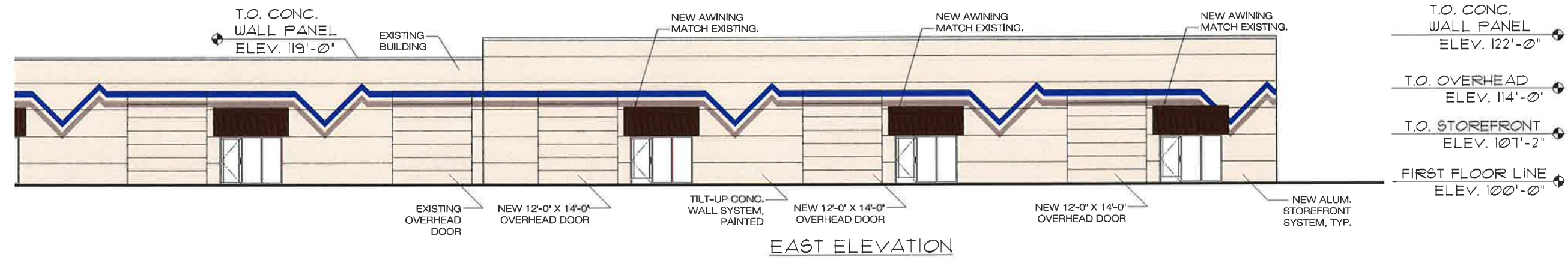
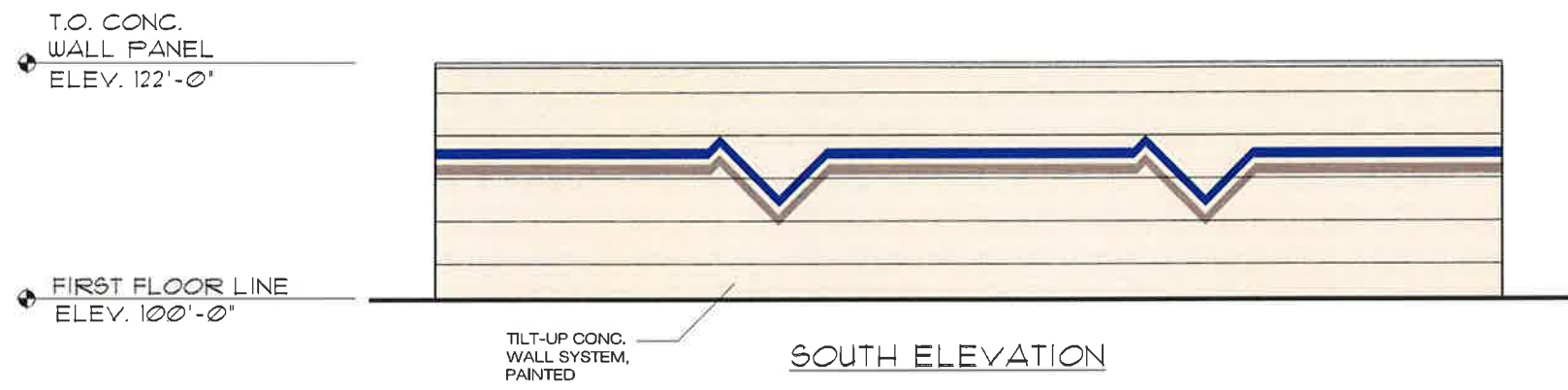
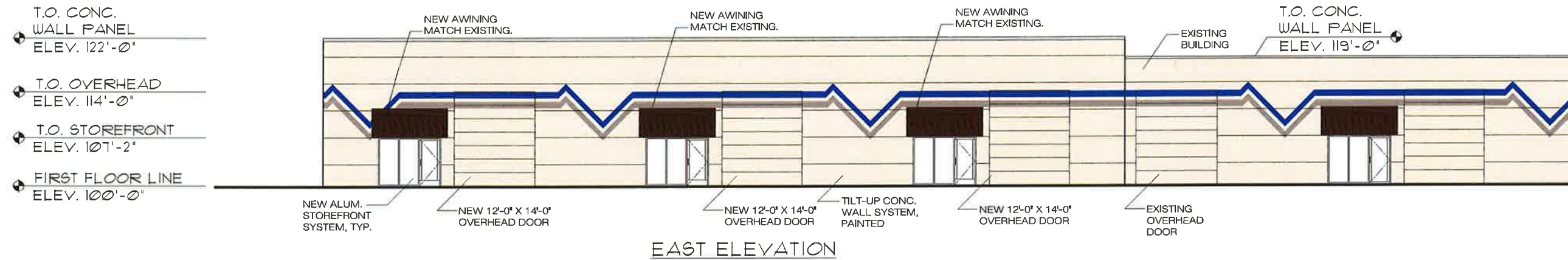
WOODS CROSS,
UTAH

STEP SAVER

FIRST FLOOR

FLOOR PLAN

SCALE: 1/8" = 1'-0"
AUGUST 23, 2016
16RC0131.dwg



STEP SAVER SITE PLAN

APPLICANT:

**Roy Swalsberg, Tom Stuart
Construction**

LOCATION:

1917 W. 2425 S.

REQUEST:

**Site Plan Approval Within the I-1
Light Industrial Zone**

STEP SAVER

1901 & 1917 WEST 2425 SOUTH
WOODS CROSS, UTAH 84087

JULY 27, 2016
REVISED AUGUST 31, 2016



VICINITY MAP
NOT TO SCALE

SHEET INDEX

- CV COVER SHEET
- C1 SITE PLAN
- C2 GRADING & DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 DETAIL SHEET
- C5 DETAIL SHEET
- C6 EROSION CONTROL PLAN (SWPPP)
- C7 EROSION CONTROL DETAIL SHEET

PROJECT CONSTRUCTION NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-862-4111.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
5. ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
6. CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
7. CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
8. CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
9. INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
10. INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
11. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER APWA STANDARDS AND SPECIFICATIONS.
12. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
14. FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS.
15. ALL WATER LINES TO HAVE A MINIMUM 5' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
16. THRUST BLOCKS TO BE INSTALLED PER APWA PLAN NO'S 561 AND 562. SEE DETAIL SHEET C5.
17. CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
18. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
19. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.

FIRE DEPARTMENT NOTES:

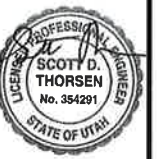
1. FIRE HYDRANTS SHALL BE EQUIPPED WITH ONE 4 1/2", AND 2 1/2" OUTLETS, WHICH HAS NATIONAL STANDARD THREADS (NST).
2. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE CENTER LINE OF THE LOWEST CAP, NUT SHALL NOT BE CLOSER THAN 18" FROM THE FINISHED GRADE.
3. FIRE HYDRANTS SHALL HAVE THE 4 1/2" BUTT FACING THE FIRE ACCESS ROADWAY.
4. UNDERGROUND PIPING SHALL BE TESTED AT 200 PSIA FOR TWO HOURS. TEST CERTIFICATE SHALL BE PROVIDED TO FIRE DEPARTMENT OFFICE.
5. BURNING OF TRASH, SCRAP WOOD OR OTHER MATERIALS IS A VIOLATION OF CITY ORDINANCE.
6. A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES.

LEGEND			
---	PROPERTY LINE	⊗	EXISTING FIRE HYDRANT
---	EASEMENT LINE	⊗	PROPOSED FIRE HYDRANT
-4240.0---	PROPOSED GRADE CONTOURS	⊗	EXISTING STREET LIGHT
---	EXISTING GRADE CONTOURS	⊗	PROPOSED STREET LIGHT
---	EXISTING CURB	⊗	PROPOSED PARKING LOT LIGHT
---	PROPOSED CURB AND GUTTER	⊗	EXISTING WATER METER
---	PROPOSED CURB WALL	⊗	EXISTING WATER VALVE
---	REVERSE PAN CURB & GUTTER	⊗	EXISTING GATE VALVE
---	EXISTING SEWER	⊗	EXISTING OVERHEAD POWER POLE
---	PROPOSED SEWER	⊗	TOP BACK CONCRETE
---	EXISTING WATER	⊗	FINISHED FLOOR
---	PROPOSED WATER	⊗	HIGH WATER
---	EXISTING FIRE LINE	⊗	TOP OF GRATE
---	PROPOSED FIRE LINE	⊗	TOP OF LID
---	EXISTING STORM DRAIN	⊗	INVERT ELEVATION
---	PROPOSED STORM DRAIN	⊗	EXISTING
---	EXISTING ROOF DRAIN	⊗	NATURAL GROUND
---	PROPOSED ROOF DRAIN	⊗	TOP BACK OF CURB
---	EXISTING GAS	⊗	TOP OF ASPHALT
---	PROPOSED GAS	⊗	TOP OF CONCRETE
---	EXISTING OVERHEAD POWER	⊗	EDGE OF CONCRETE
---	EXISTING UNDERGROUND POWER	⊗	EDGE OF ASPHALT
---	PROPOSED UNDERGROUND POWER	⊗	TOP OF WALL
---	EXISTING TELEPHONE LINE	⊗	TOP OF GRAVEL
---	PROPOSED TELEPHONE LINE	⊗	TOP OF LANDSCAPING
---	EXISTING FIBER OPTIC LINE	⊗	TOP OF SIDEWALK
---	PROPOSED FIBER OPTIC LINE	⊗	PROPOSED
---	PROPOSED CONCRETE	⊗	TBC CALLOUT UNLESS OTHERWISE DESIGNATED
---	PROPOSED ASPHALT	⊗	
---	PROPOSED LANDSCAPING	⊗	

CIR
ENGINEERING, L.L.C.
3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296

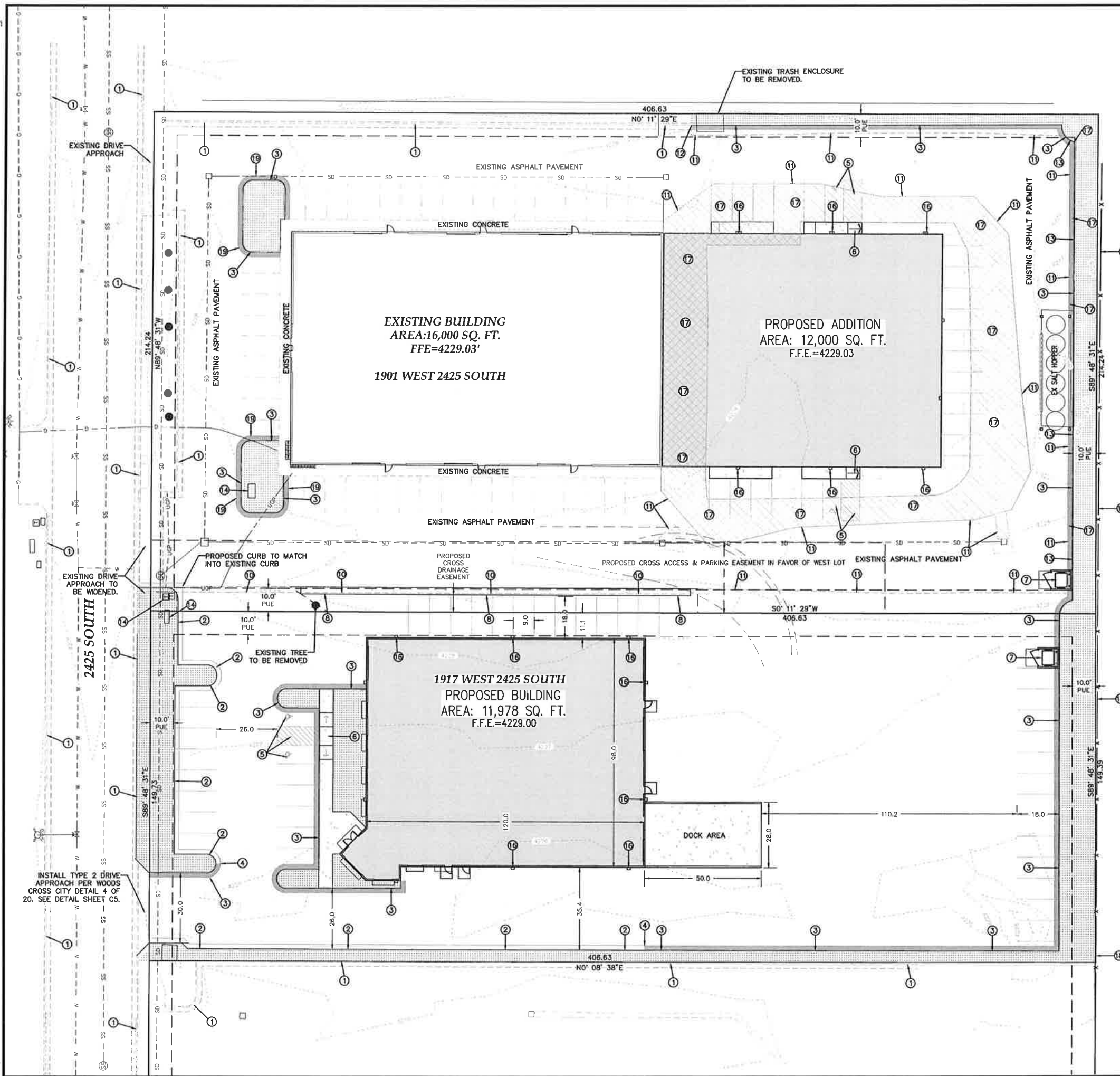
STEP SAVER
1901 WEST 2425 SOUTH, WOODS CROSS, UT 84087
COVER SHEET

NO.	REVISIONS	BY	DATE
1	QTY COMMENTS		08/23/16



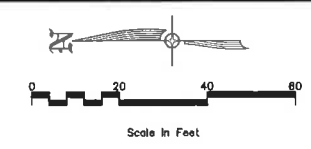
SHEET NO. CV
PROJECT ID: T1054-01 DATE: 07/27/16
FILE NAME: PRJ-55P SCALE: 1"=20'

<p>CIVIL ENGINEER: CIR ENGINEERING, L.L.C. 3032 SOUTH 1030 WEST, SUITE 202 SLC, Utah 84119 - PH: 801-949-6296</p>	<p>CONTRACTOR TOM STUART CONSTRUCTION 360 NORTH 700 WEST, #G NORTH SALT LAKE, UTAH 84054 CONTACT PERSON: ROY SWALBERG PH: (801) 938-3446</p>
<p>ARCHITECT: SAM BRADY ARCHITECTS 136 EAST SOUTH TEMPLE, SUITE 2216 SALT LAKE CITY, UTAH 84111 CONTACT PERSON: NICK BRADY PH: (801) 595-1757</p>	



SHEET LEGEND

- EXISTING ASPHALT TO BE REMOVED
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPING



SITE PLAN NOTES:

- 1 EXISTING CURB & GUTTER
- 2 PROPOSED 30" CURB & GUTTER. SEE DETAIL 1/C4.
- 3 PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.
- 4 PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER.
- 5 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
- 6 ADA RAMP ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET C5.
- 7 PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 8 PROPOSED 3' ROLL GUTTER. SEE DETAIL 11/C4.
- 9 PROPOSED 3' ROLL GUTTER. SEE DETAIL 11/C4.
- 10 EXISTING CURB & GUTTER TO BE REMOVED.
- 11 SAWCUT EXISTING EDGE OF ASPHALT FOR NEW ASPHALT TO MATCH TO.
- 12 MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
- 13 PROPOSED LIP OF CURB TO MATCH EXISTING TOP OF ASPHALT ELEVATION. SEE SHEET C2 FOR ELEVATIONS.
- 14 EXISTING POWER TRANSFORMER TO BE RELOCATED BEHIND CURB.
- 15 EXISTING DRIVE APPROACH.
- 16 PROPOSED WALL PACK LIGHTING. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 17 EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH NEW PAVEMENT. SEE SHEET C2 FOR ELEVATIONS.
- 18 EXISTING FENCE.
- 19 PROPOSED LIP OF GUTTER TO MATCH TO EXISTING TOP OF ASPHALT ELEVATION. SEE SHEET C2 FOR ELEVATIONS.

EAST LOT PROJECT SUMMARY

GROSS LAND AREA	2 ACRES 87,116 SF
EXISTING BUILDING AREA	16,000 SF
NEW BUILDING EXPANSION	12,000 SF
TOTAL BUILDING AREA	28,000 SF
EXISTING LANDSCAPE	EXISTING (10.1%)
NEW LANDSCAPE AREA	3,703 SF

EAST BUILDING PARKING SUMMARY

EXISTING BUILDING PARKING PROVIDED	32
TOTAL OFFICE MAIN FLOOR	3,000 S.F.
TOTAL NUMBER OF PARKING SPACES REQUIRED (MAIN FLOOR)	10 (1/300)
TOTAL NUMBER OF PARKING SPACES (WAREHOUSE EMPLOYEES AT PEAK)	10
TOTAL PARKING SPACES REQ'D/PROVIDED	20
TOTAL PARKING SPACES PROVIDED	52
TOTAL ACCESSIBLE PARKING REQUIRED	3
TOTAL ACCESSIBLE PARKING PROVIDED	4

WEST LOT PROJECT SUMMARY

GROSS LAND AREA	1.40 ACRES 60,817 SF
GROSS BUILDING AREA INCLUDING PROPOSED	11,978 SF
TOTAL LANDSCAPED AREA	7,445 SF (12.24%)

WEST BUILDING PARKING SUMMARY

TOTAL OFFICE S.F. MAIN FLOOR	2,000 S.F.
TOTAL OFFICE S.F. MEZZANINE FLOOR	2,000 S.F.
TOTAL NUMBER OF PARKING SPACES REQUIRED (MAIN FLOOR & MEZZANINE)	14 (1/300)
TOTAL NUMBER OF PARKING SPACES (WAREHOUSE EMPLOYEES AT PEAK)	13
TOTAL PARKING SPACES REQUIRED	29
TOTAL PARKING SPACES PROVIDED	40
TOTAL ACCESSIBLE PARKING REQUIRED	2
TOTAL ACCESSIBLE PARKING PROVIDED	2

NO.	REVISIONS	BY	DATE

CIR
ENGINEERING, L.L.C.
3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296

STEP SAVER
1901 WEST 2425 SOUTH, WOODS CROSS, UT 84087
SITE PLAN

CALL BEFORE YOU DIG
800 STARS 1 800 888 8111

PROFESSIONAL ENGINEER
SCOTT D. THORSEN
No. 354291
STATE OF UTAH

SHEET NO. **C1**
PROJECT ID: T1054-01 DATE: 07/27/16
FILE NAME: PRJ-SSP SCALE: 1"=20'



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8/23/16



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1917 WEST
2425 SOUTH

WOODS CROSS,
UTAH

STEP SAVER

SITE PLAN

SCALE: 1" = 20'-0"
AUGUST 24, 2016
1642301SD1.dwg



SD.1

SITE PLAN NOTES

- 1. WALL PACK LIGHTING TO BE FULLY SHIELDED.

WEST LOT PROJECT SUMMARY

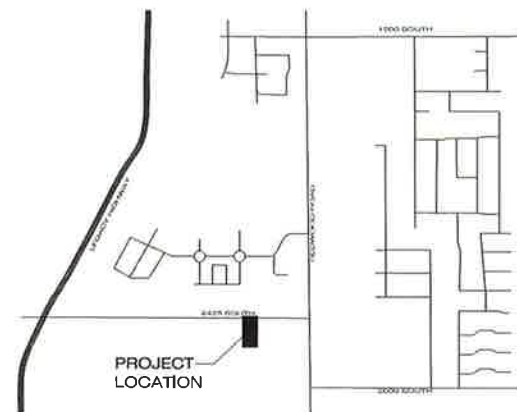
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WEST BUILDING PARKING SUMMARY

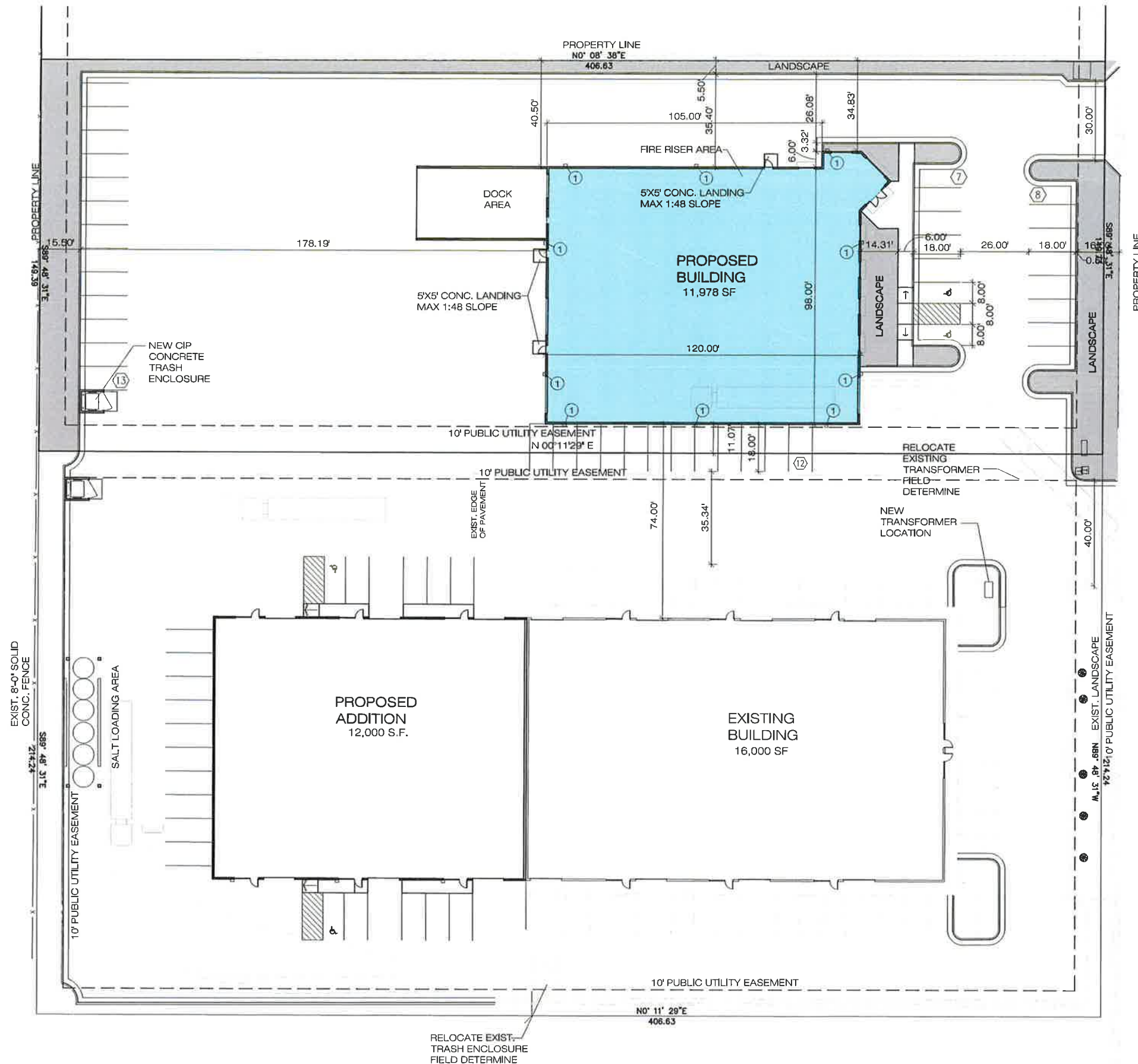
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KEY NOTES

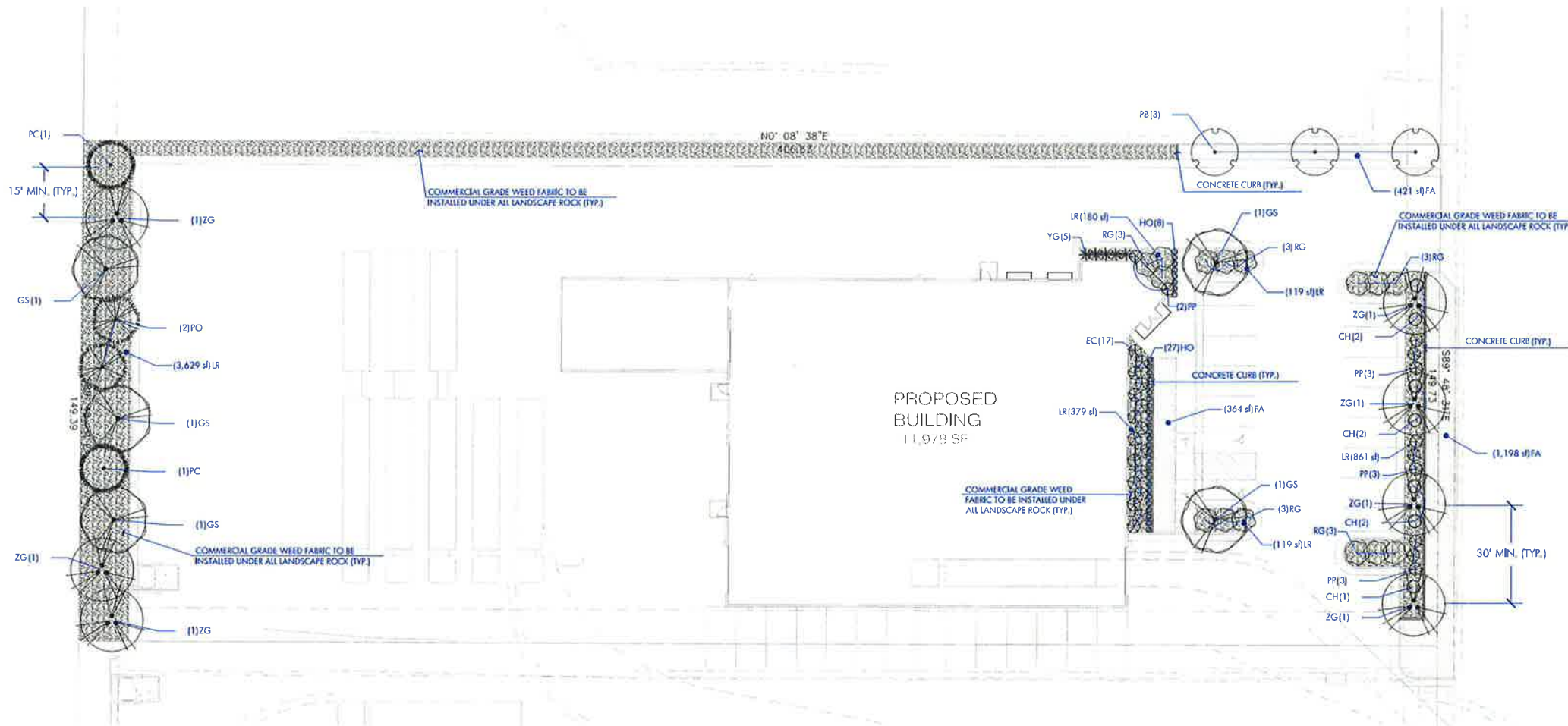
- ① EXTERIOR LIGHTING -FULL CUT-OFF LED WALLPACK



VICINITY MAP



2425 SOUTH STREET



NOTES FOR CONTRACTOR:

1. ALL IRRIGATION HEADS TO HAVE WATER SAVING, LOW ANGLE NOZZLES
2. CONTROLLER TO PROVIDE SEPARATE ZONES, WATER BUDGETING, MULTIPLE START TIMES AND MEET ALL MANUF. REQUIREMENTS FOR OUTDOOR INSTALLATION.
3. ALL IRRIGATION WIRING TO MEET IBC REQUIREMENTS.
4. ALL SPRINKLERS TO HAVE MATCH PRECIPITATION RATES
5. USE DRIP IRRIGATION FOR ALL TREES AND SHRUBS
6. ALL IRRIGATION LINES TO HAVE WINTERIZATION BLOW-OUTS

LANDSCAPE CONTRACTOR TO ENSURE THE FOLLOWING PIPE SIZES ARE NOT EXCEEDED:

3/4"	12 GPM
1"	20 GPM
1 1/2"	26 GPM

ALL CONDUITS UNDER CONCRETE MUST BE A MINIMUM 4". SEE DETAILS FOR TRENCHING DEPTHS.

WATER CONSERVATION PLAN:

1. PLANNING AND DESIGN--PLANTINGS ARE GROUPED TOGETHER.
2. LOW WATER USING PLANTS--PLANTS SELECTED FOR DROUGHT TOLERANCE
3. SOIL AMENDMENTS--CONTRACTOR TO ADD 5% NUTRI-MULCH IN PLANTER BEDS.
4. USE ORGANIC MULCH-BARK AND/OR SHREDDED PLANT MATERIAL AND COMPOST
5. EFFICIENT IRRIGATION--CONTRACTOR TO CREATE HYDROZONES AND ISOLATE WATER USAGE.
6. MAINTENANCE--LAWN AREAS ARE EASY TO MAINTAIN AND PLANTINGS ARE GROUPED.

NOTE:
ALL LANDSCAPE TO HAVE AUTOMATIC SUBSURFACE SPRINKLER IRRIGATION SYSTEM INSTALLED.

WHERE CITY CULINARY WATER IS BEING USED FOR IRRIGATION PURPOSES, BACK-FLOW DEVICES SHALL BE INSTALLED PER CITY REQUIREMENTS.

WOODS CROSS LANDSCAPE REQUIREMENTS

TOTAL ON SITE LANDSCAPE	7,270 SF (12%)
TOTAL FRONTAGE TREES REQUIRED/PROVIDED (1 PER EVERY 30'-0")	4
TOTAL BUFFER TREES REQUIRED/PROVIDED (1 PER EVERY 15'-0" W/ 1/3 MIN. EVERGREENS)	10
TOTAL OTHER TREES PROVIDED	5
TOTAL TREES PROVIDED	19
GROUND COVERS	7,270 (100%)
TOTAL LANDSCAPE ROCK	5,287 (73%)
TOTAL SOD (EXISTING)	1,983 (27%)

DECIDUOUS TREE SIZES
- 20% WITH 3" MIN. CALIPER
- 50% WITH 2"-3" MIN. CALIPER
- 30% WITH 1-1/2"-2" CALIPER
* MEASURED FROM 4'-0" ABOVE GRADE

EVERGREEN TREE SIZES
- 20% WITH 8'-0" HT.
- 50% WITH 5'-0" TO 8'-0" HT.
- 30% WITH 4'-0" HT.

PROVIDE LINE ITEM BID FOR LANDSCAPE.

2H:1V MAXIMUM SLOPE IN LANDSCAPED AREAS

PLANT SCHEDULE 1917

TREES	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	GS	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST	2"-2.5" CAL	5	
	PO	PICEA OMORICA / SERBIAN SPRUCE	VARIOUS SIZES	2	
	PC	PICEA PUNGENS 'COLORADO GREEN' / GREEN SPRUCE	VARIOUS SIZES	2	
	PB	PYRUS CALLERYANA 'BRADFORD' / BRADFORD FLOWERING PEAR	2"-2.5" CAL	3	
	ZG	ZEIKOVA SERRATA 'GREEN VASE' / SAWLEAF ZEIKOVA	2.5"-3" CAL	7	
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	CONT	QTY	
	CH	CORNUS ALBA 'BARHALO' TM / IVORY HALO DOGWOOD	5 GAL	7	
	EC	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	5 GAL	17	
	HO	HEMEROCALLIS X 'STELLA DE ORO' / STELLA DE ORO DAYLILY	1 GAL	35	
	PP	PINUS MUGO PUMPIO 'COMPACT SELECT' / MUGO PINE	5 GAL	11	
	RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL	15	
	YG	YUCCA FLAMENTOSA 'GOLDEN SWORD' / GOLDEN SWORD YUCCA	5 GAL	5	
GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME	CONT	SPACING	QTY
	FA	FESTUCA ARUNDINACEA / TALL FESCUE	SOD		1,983 SF
	LR	LANDSCAPE ROCK WITH WEED BARRIER	4" THICK MIN.		5,287 SF

LANDSCAPE ARCHITECTURE
SITE ARCHITECTURE
CONSTRUCTION MANAGEMENT

511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.521.2370
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STAMP:



8-22-2016

STEP SAVER

1917 West 2425 South, Woods Cross, Utah

DATA:

date:	08/22/16
project no:	2016.30
drawn by:	TJH
checked by:	JRK

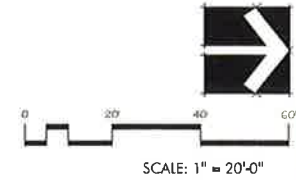
REVISIONS:

DATE:

LANDSCAPE PLAN

SHEET:

L1-2



LANDFORM DESIGN GROUP



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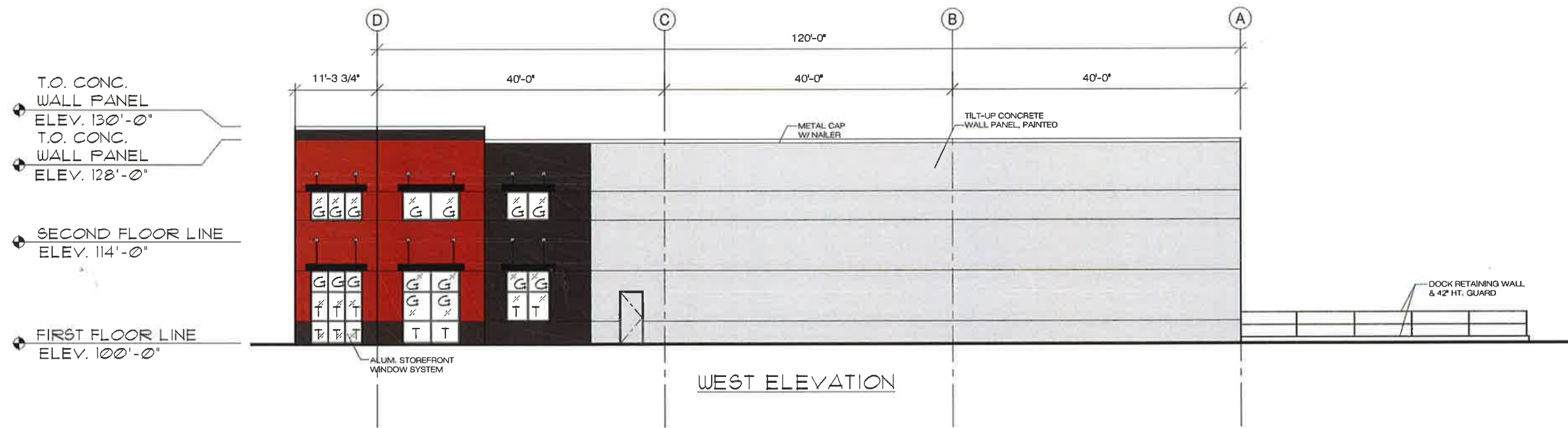
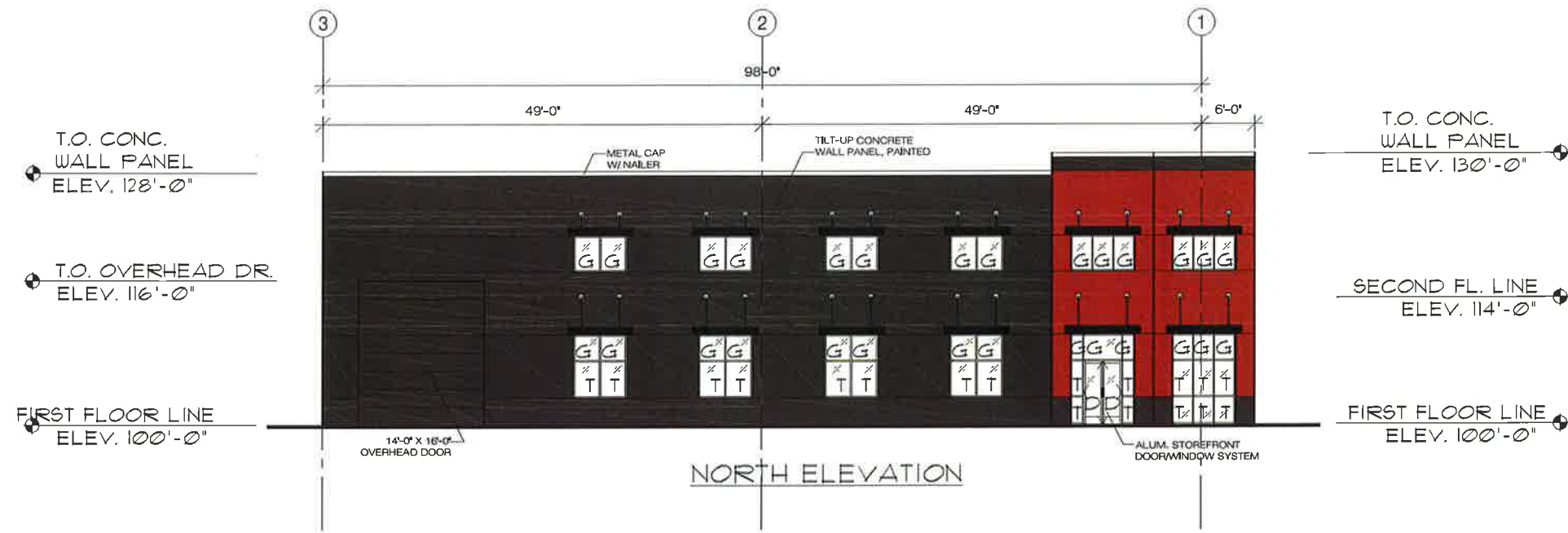
WOODS CROSS,
UTAH

STEP SAVER

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"
AUGUST 23, 2016
164230131.dwg

A3.1





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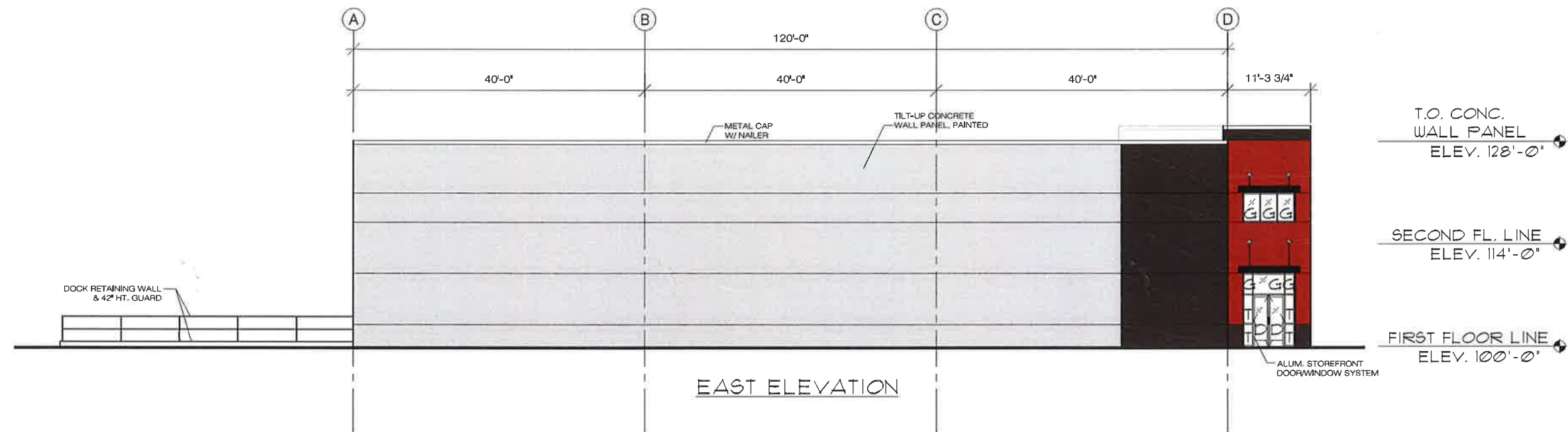
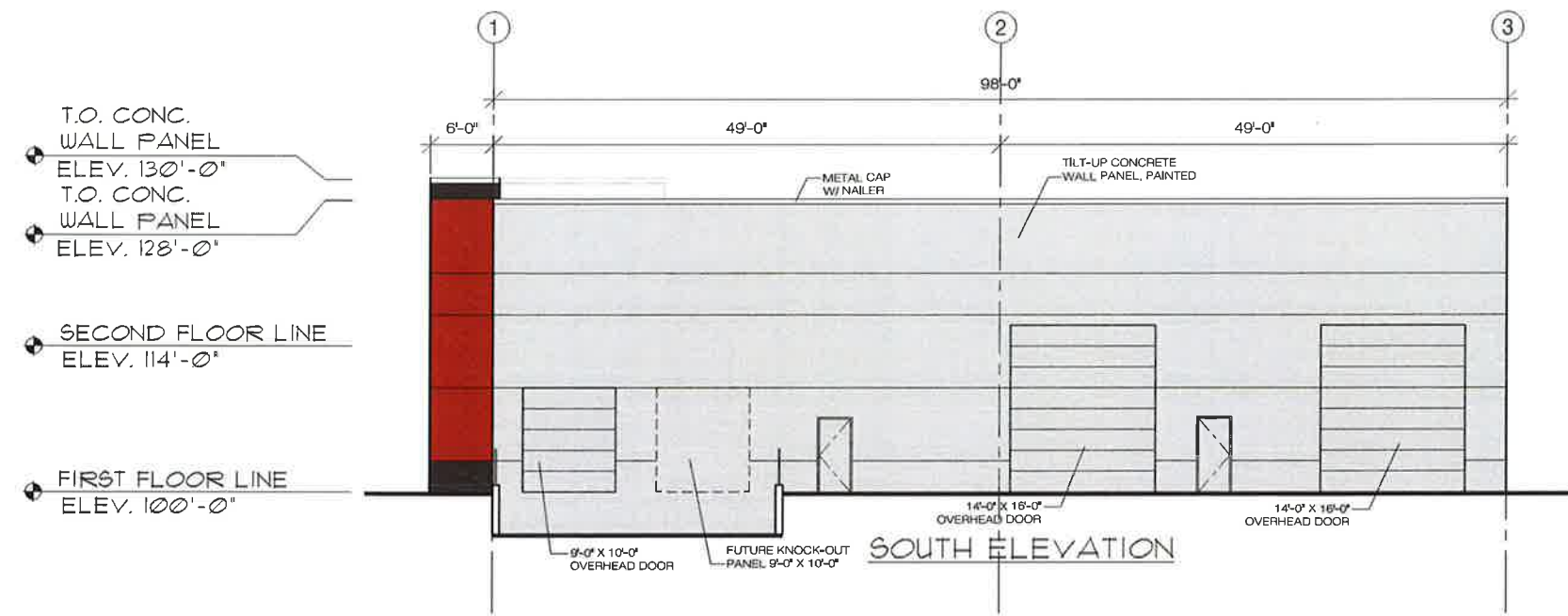
WOODS CROSS,
UTAH

STEP SAVER

EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"
AUGUST 23, 2016
164230131.dwg

A3.2





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84054
(801) 936-3446
FAX: (801) 936-8633

1915 WEST
2425 SOUTH

WOODS CROSS,
UTAH

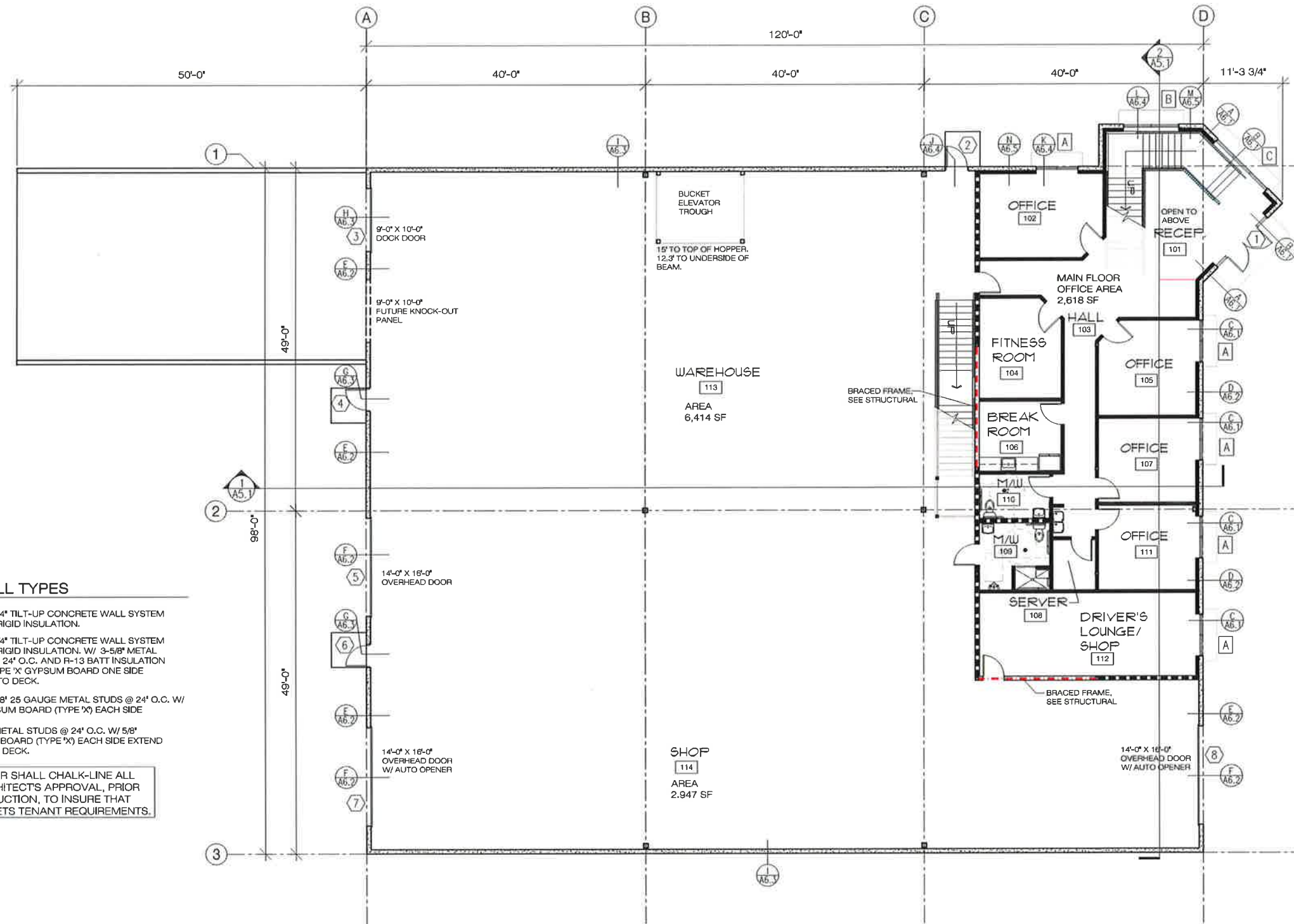
STEP SAVER

FIRST FLOOR
FLOOR PLAN

SCALE: 1/8" = 1'-0"
AUGUST 23, 2016
164230111.dwg



A1.1



WALL TYPES

- NEW 7-1/4" TILT-UP CONCRETE WALL SYSTEM W/ R-14 RIGID INSULATION.
- NEW 7-1/4" TILT-UP CONCRETE WALL SYSTEM W/ R-14 RIGID INSULATION. W/ 3-5/8" METAL STUDS @ 24" O.C. AND R-13 BATT INSULATION & 5/8" TYPE 'X' GYPSUM BOARD ONE SIDE EXTEND TO DECK.
- NEW 3-5/8" 25 GAUGE METAL STUDS @ 24" O.C. W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE
- NEW 6" METAL STUDS @ 24" O.C. W/ 5/8" GYPSUM BOARD (TYPE 'X') EACH SIDE EXTEND TO ROOF DECK.

GENERAL CONTRACTOR SHALL CHALK-LINE ALL NEW WALLS FOR ARCHITECTS APPROVAL, PRIOR TO ANY NEW CONSTRUCTION, TO INSURE THAT SPACE BUILD-OUT MEETS TENANT REQUIREMENTS.

DESCRIPTION

The patented Lumark Crosstour™ MAXX LED Wall Pack Series of luminaires provides low-profile architectural style with super bright, energy-efficient LEDs. The rugged die-cast aluminum construction, back box with secure lock hinges, stainless steel hardware along with a sealed and gasketed optical compartment make Crosstour impervious to contaminants. The Crosstour MAXX wall luminaire is ideal for wall/ surface, inverted mount for facade/canopy illumination, perimeter and site lighting. Typical applications include pedestrian walkways, building entrances, multi-use facilities, industrial facilities, perimeter parking areas, storage facilities, institutions, schools and loading docks.

SPECIFICATION FEATURES

Construction

Low-profile LED design with rugged one-piece, die-cast aluminum back box and hinged removable door. Matching housing styles incorporate both a full cutoff and refractive lens design. Full cutoff and refractive lens models are available in 41W and 79W. Patent pending secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes four 1/2" NPT threaded conduit entry points. The back box is secured by four lag bolts (supplied by others). External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Not recommended for car wash applications.

Optical

Silicone sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Full cutoff models integrate an impact-resistant molded refractive prism optical lens assembly meeting requirements for Dark Sky compliance. Refractive lens models incorporate a molded lens assembly designed for maximum

forward throw. Solid state LED Crosstour luminaires are thermally optimized with two lumen packages in cool 5000K or neutral warm 3500K LED color temperature (CCT).

Electrical

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 41W and 79W models operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C [122°F] models available. Crosstour MAXX luminaires maintain greater than 90% of initial light output after 72,000 hours of operation. Four half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz, 480V 60Hz, or 347V 60Hz electrical operation. 480V is compatible for use with 480V Wye systems only.

Emergency Egress

Optional integral cold weather

Catalog #		Type
Project		
Comments		Date
Prepared by		

battery emergency egress includes emergency operation test switch, an AC-ON indicator light and a premium extended rated sealed maintenance-free nickel-metal hydride battery pack. The separate emergency lighting LEDs are wired to provide redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

Area and Site Pole Mounting

Optional extruded aluminum 6-1/2" arm features internal bolt guides for supplied twin support rods, allowing for easy positioning of the fixture during installation to pole. Supplied with round plate adapter plate. Optional tenon adapter fits 2-3/8" or 3-1/2" O.D. Tenon.

Finish

Crosstour MAXX is protected with a super TGIC carbon bronze or summit white polyester powder coat paint. Super TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty

Five-year warranty.



XTOR CROSSTOUR MAXX LED

APPLICATIONS:
WALL / SURFACE
INVERTED
SITE LIGHTING



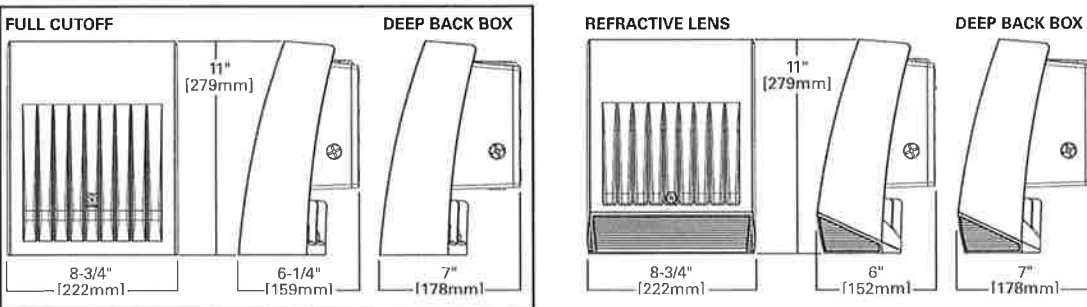
CERTIFICATION DATA
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
NOM Compliant Models
3G Vibration Tested
UL924 Listed (CBP Models)
IP66 Rated
DesignLights Consortium™ Qualified*

TECHNICAL DATA
40°C Ambient Temperature
External Supply Wiring 90°C Minimum

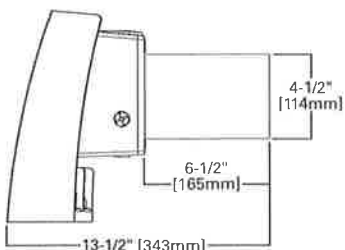
EPA
Effective Projected Area (Sq. Ft.):
XTOR5A/XTOR9A=0.54
With Pole Mount Arm=0.98

SHIPPING DATA:
Approximate Net Weight:
12-15 lbs. [5.4-6.8 kgs.]

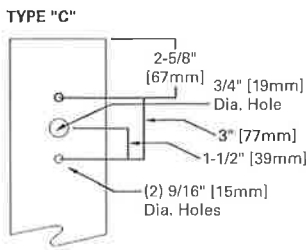
DIMENSIONS



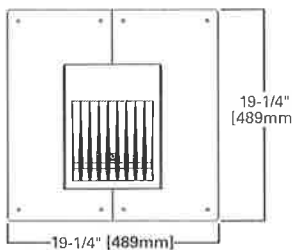
OPTIONAL POLE MOUNT ARM



ARM DRILLING



ESCUTCHEON PLATES



Office of the Davis County Recorder



Davis
COUNTY

E 2967602 B 6605 P 282-287
RICHARD T. MAUGHAN
DAVIS COUNTY, UTAH RECORDER
09/21/2016 11:25 AM
FEE \$20.00 Pgs: 6
DEPT REC'D FOR TOM STUART CONSTRU
CTION

RETURNED

SEP 21 2016

Recorder
Richard T. Maughan
Chief Deputy
Laile H. Lomax

THE UNDERLYING DOCUMENT ATTACHED HERETO IS AN ORIGINAL DOCUMENT SUBMITTED FOR RECORDING IN THE OFFICE OF THE COUNTY RECORDER OF DAVIS COUNTY, UTAH. THE DOCUMENT HAS INSUFFICIENT MARGIN SPACE FOR THE REQUIRED RECORDING ENDORSMENT STAMP. THIS PAGE BECOMES THE FRONT PAGE OF THE DOCUMENT FOR RECORDING PURPOSES.

THE DOCUMENT HEREIN RECORDED IS A Cross Access & Parking Easements
(Document Type)

06239 0001 + 06239 0002
Tax Serial Number(s)

When Recorded Return To:
Kenneth M. Bitner
TERRY JESSOP & BITNER
341 S. Main, Suite 100
Salt Lake City, Utah 84111

RECEIVED
SEP 09 2016

Parcel Numbers: 06-239-0001 and 06-341-0002

GRANT OF CROSS ACCESS AND PARKING EASEMENTS

THIS GRANT OF CROSS ACCESS EASEMENTS (hereafter the "Cross Easement") is made, executed and entered into this 8 day of September, 2016, by and between GPS Trading Company, LLC, as the owner of Lot 1, described hereafter, and GPS Trading Company, LLC, as the owner of Lot 2, described hereafter.

RECITALS:

A. GPS Trading Company, LLC, owns that certain parcel of real property located in Davis County, with an address of 1901 W. 2425 S., Woods Cross, Utah, 84087 ("Lot 1"), which property is more particularly described as:

All of Lot 1, Cannonwood Industrial Park Plat "A", according to the official plat thereof on file and of record in the office of the Davis County Recorder.

Parcel No. 06-239-0001

B. GPS Trading Company, LLC, also owns that certain parcel of real property located Davis County, with an address of 1917 W. 2425 S., Woods Cross, Utah, 84087 ("Lot 2"), which property is more particularly described as:

All of Lot 2, Cannonwood Industrial Park Plat "B" Amended, according to the official plat thereof on file and of record in the office of the Davis County Recorder.

Parcel No. 06-341-0002

C. Lot 1 and Lot 2 are adjacent, and GPS Trading Company, LLC, desires to provide for cross ingress and egress to facilitate movement of pedestrians and vehicles over and across appropriate portions of Lot 1 and Lot 2 to adjacent public and/or private road rights-of-way, with such cross access to be through a driveway connection constructed on Lot 1 and Lot 2 within the cross easement area ("Cross Access Parcel").

D. GPS Trading Company, LLC, desires to impose on the Cross Access Parcel easements for ingress and egress and the passage (but not parking on the Cross Access Parcel) of vehicles and pedestrians over, upon, and across the Cross Access Parcel, all as more particularly set forth herein.

NOW, THEREFORE, GPS Trading Company, LLC, as the owner of Lot 1 and Lot 2, hereby adopts and imposes the Cross Easement as follows:

1. **Definitions.** For the purposes of this Cross Easement, the following terms shall have the following meanings:

1.1 **“Building”** – Any structure constructed on any portion of the Property (as defined below).

1.2 **“Owner”** – means the holder of fee simple title to either Parcel or any portion of either Parcel specifically described in this document.

1.3 **“Parcel”** – Refers to Lot 1 and Lot 2, respectively, and “Parcels” refers to both Lot 1 and Lot 2 collectively.

1.4 **“Permitted Users”** – Means: (i) tenants, subtenants, concessionaires, or Owners of either Parcel or a portion of either Parcel; and (ii) contractors, consultants, employees, licensees, customers, visitors, invitees of the tenants, subtenants, concessionaires, or Owners of either Parcel or a portion of either Parcel.

1.5 **“Property”** – Means Lot 1 and Lot 2 combined.

2. **Representations and Warranties.** GPS Trading Company, LLC, makes the following representations and warranties: GPS Trading Company, LLC, owns Lot 1 and Lot 2, and has full and complete authority to execute this Cross Easement Agreement, and that upon the execution, delivery and recording of this Agreement in the public records of Davis County, Utah, the obligations hereunder shall be binding upon GPS Trading Company, LLC, and any successor-in-title to Lot 1 and Lot 2, or any portion thereof.

3. **Grants of Easements.**

3.1 GPS Trading Company, LLC, as the owner of Lot 1, hereby grants to GPS Trading Company, LLC, as the owner of Lot 2, and to each Owner of any portion thereof, and their successors and assigns, and to any Permitted Users of the Owner of Lot 2, or any portion thereof, for the use of said Owner and for the use of other said Permitted Users, in common with others entitled to use the same, a perpetual, non-exclusive easement for the passage (not parking) of construction, passenger, service and delivery vehicles and pedestrians over and across the Cross Access Parcel lying within Lot 1. The Owner of Lot 2, and its Permitted Users, shall be permitted to use any portion of Lot 1, except the Cross Access Parcel, for vehicular parking in any marked stall.

3.2 GPS Trading Company, LLC, as the owner of Lot 2, hereby grants to GPS Trading Company, LLC, as the owner of Lot 1, and to each Owner of any portion thereof, and their successors and assigns, and to any Permitted Users of the Owner of Lot 1, or any portion thereof, for the use of said Owner and for the use of other said Permitted Users, in common with others entitled to use the same, a perpetual, non-exclusive easement for the passage (not parking) of construction, passenger, service and delivery vehicles and pedestrians over and across the Cross Access Parcel lying within Lot 2. The Owner of Lot 1, and its Permitted Users, shall be permitted to use any portion of Lot 2, except the Cross Access Parcel, for vehicular parking in any marked stall.

Each Owner shall use reasonable efforts to assure that its Permitted Users shall not park on another Owner's Parcel unless undertaking activities or transacting business on that Parcel as authorized in this Agreement.

4. **Maintenance and Construction.** Unless otherwise agreed by the Owners, each Owner shall be solely responsible for constructing and maintaining any improvements to the Cross Access Parcel located on its Parcel and agrees to repair and maintain the improvements constructed on the Parcel in good, operating condition. Notwithstanding the foregoing, if an Owner fails to reasonably maintain the portion of the Cross Access Parcel located on the Owner's Parcel, then either Party may, at its election, cost and expense, construct, maintain, repair and replace any improvements located thereon consistent with the terms and conditions hereof, and each party hereby grants to the other an easement to enter upon so much of the granting Owner's Parcel as is reasonably necessary for such construction, maintenance, repair and replacement. Any construction, maintenance, repair and replacement shall be performed in such fashion as to minimize any interference with the use of the Cross Access Parcel located on either Owner's Parcel by the Owner of that Parcel and its Permitted Users, and in the event of any such construction, maintenance, repair and replacement the Owner performing the same shall repair any damage caused to any Access Areas, or other improvements, to the other Parcel.

5. **Superiority of Agreement Terms.** All easements, rights and covenants set forth in this Cross Easement, and any subsequent amendment or modification hereof shall be superior to all leases, sales, conveyances, transfers, assignments, contracts, mortgages (except that any institutional mortgagee shall have no financial or other obligations under this Cross Easement until such time as they acquire title to any Parcel or any portion thereof) and other encumbrances and instruments in any way affecting a Parcel and party foreclosing any such mortgage lien or encumbrances and all persons or entities acquiring title to any interest in a Parcel, or any portion of a Parcel, that is subject to the Cross Easement granted herein shall take title to said Parcel, or portion of a Parcel, subject to the terms and provisions of this Cross Easement.

6. **Covenants Run with the Land.** The Cross Easement granted herein is appurtenant to the ownership of each Parcel and said Cross Easement shall run with the ownership of each Parcel, and shall be binding upon and inure to the benefit of each Owner and their respective successors, assigns, grantees, tenants and personal representatives.

7. **General Provisions.**

7.1 **Governing Law.** This Cross Easement shall be construed and enforce in accordance with the laws of the State of Utah.

7.2 **Amendment.** This Cross Easement shall not be amended or modified except by an amendment in writing, executed by all of the Owners of the Parcels.

7.3 **Section Headings.** The section headings contained in this Cross Easement are for reference purposes only and shall not in any way affect the meaning, content or interpretation thereof.

7.4 **Not a Public Dedication.** Nothing herein contained shall be deemed to be a gift or dedication of any portion of the Parcels to the general public, or for any public use or purpose whatsoever. Except as herein specifically provided, no right, privileges or immunities of any Owner shall inure to the benefit of any third-party, nor shall any third-party be deemed to be a beneficiary of any of the provisions contained in this Cross Easement.

7.5 **Perpetual Easements.** The easements set forth herein shall continue indefinitely and can be extinguished or modified only by a written agreement signed by all the Owners of the Parcels, and recorded in the Davis County Recorder's Office.


7.6 **Enforcement.** The easements granted herein shall be enforceable by suit for specific performance and mandatory injunctive relief, in addition to any other remedy provided by law or equity. Failure of any person to observe the covenants and restrictions set forth herein shall not result in the termination of the rights granted under this agreement, or in any manner curtail the use of any easement granted herein, the remedy for such failure being limited to equitable relief and an action or actions for damages.

7.7 **Litigation.** In the event of any litigation arising out of this Cross Easement, the prevailing party shall be entitled to recover all reasonable costs and attorney's fees incurred, whether or not such costs and attorney's fees are incurred a the trial, appellate or post-judgment level of any litigation, whether or not such costs and attorney's fees are incurred with respect to any bankruptcy proceeding related hereto.

IN WITNESS WHEREOF, the undersigned have set their hand and seal on this ___ day of September, 2016.

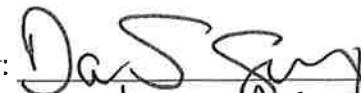
OWNER: LOT 1

GPS TRADING COMPANY, LLC
A Utah Limited Liability Company

By: 
Its: operator manager

OWNER: LOT 2

GPS TRADING COMPANY, LLC
A Utah Limited Liability Company


By: 
Its: operations manager

STATE OF UTAH)
) ss.
COUNTY OF SALT LAKE)

On the 8th day of September, 2016, personally appeared before me DANIEL S. GURFENSEY who is the OPERATIONS MGR and authorized agent of GPS Trading Company, LLC, thye signer of the above instrument, who duly stated to me that said instrument was signed in behalf of said company as the owner of Lot 1 and Lot 2, by authority of the officers, and acknowledged to me that he executed the same with full authority to do so.

My Commission Expires:

2/12/2020



Notary Public

Residing at: WOODS CROSS

