

MILLVILLE PLANNING COMMISSION MEETING

City Hall - 510 East 300 South - Millville, Utah

Sept 1, 2016

1. Roll Call:

Chairman Jim Hart, Commissioners Garrett Greenhalgh, Bonnie Farmer, and Larry Lewis (Alt).

Others Present:

Development Coordinator Harry Meadows, Councilmember Michael Callahan, Mayor Michael Johnson, Engineer Zan Murray, Ezra Eames, Steve Hansen, Brad Hansen, Trevor & Heather Lee, Annette Pehrson, Matt Anderson, Mike Anderson, Kristen Gonzalez, Eric Dursteler, Cole Thornton, Jason & Alicia Nyman, Greg & Tamara Cantwell, Nathan Ballstaedt, April Swenson, Linda Crosby, Donny Anderson, and Garth Ferrin. Secretary Adria Davis recorded the minutes.

2. Opening Remarks/Pledge of Allegiance

Chairman Hart opened the meeting at 8:06 p.m.
He led those present in the Pledge of Allegiance.

3. Review and Approval of agenda

The agenda for the Planning Commission meeting of Sept 1, 2016 was reviewed. A motion was made by Commissioner Lewis (Alt.) to approve the agenda as presented. Commissioner Farmer seconded. Commissioners Greenhalgh, Farmer, Hart and Lewis (Alt.) voted yes.

4. Review and Approval of the Minutes of the Planning Commission Meeting

The minutes for the meeting of Aug 18, 2016 were reviewed. A motion was made by Chairman Hart to approve the minutes as outlined. Commissioner Greenhalgh seconded. Commissioners Greenhalgh, Farmer, Hart and Lewis (Alt.) voted yes.

5.A. Consideration of zoning clearance for a building permit by Ballstaedt Builders, for a residence to be located at 451 East 200 North in Millville, Ut.

Commissioner Greenhalgh made a motion to approve the zoning clearance. Commissioner Lewis (Alt.) seconded. Commissioners Greenhalgh, Farmer, Hart and Lewis (Alt.) voted yes.

5.B. Consideration of zoning clearance for a building permit by Steve Hansen, for an accessory building to be located on the property at 61 West 200 North in Millville, UT.

This metal building will be anchored to a 4" cement slab with ½" bolts. Suggestion was made to have thicker edges on the cement for more stability. Commissioner Lewis (Alt.) made a motion to approve the zoning clearance. Commissioner Farmer seconded. Commissioners Greenhalgh, Farmer, Hart and Lewis (Alt.) voted yes.

Harry Meadows accepted the payment of fees on behalf of the Treasurer (Tara) who was absent.

5.C. Public Hearing for the Anderson/Howell Subdivision Preliminary Drawing.

Chairman Hart moved to open the hearing to receive public comment on the Preliminary drawing.

Cole Thornton: owns 1-acre lot to the south of this subdivision. If the drawing is to scale it is showing the proposed 100 East road encroaching on his property. Has a concern that he would lose acreage if the road was put in as drawn.

Harry Meadows: That part of the road is not under consideration right now, only the part of 100 East that falls within the subdivision area.

Commissioner Greenhalgh: The property line isn't shifting; it will remain at whatever placement has already been recorded with the county.

Zan Murray: The final plat is not complete. We will note the concern about the property line. We go off what is recorded, and those property lines won't move.

Chairman Hart: The previously purchased city right of ways will be surveyed and stay the same as already recorded.

Trevor Lee: Has a concern with irrigation water. When he irrigates his land the current overflow drains out the back NW corner of his property into the area of this subdivision. Wants to know what can be arranged for this drainage in the future development.

Chairman Hart: Each property owner is responsible to control the water on their own parcel. He would need to make individual arrangements with each property owner that is affected.

A written letter submitted by Rob and Rose Mary Jones was read aloud. (letter attached)
The concern over 400 North and the expense for the canal crossing was a consideration that would be worked into the future development of that road. Splitting the costs would definitely be considered.

Chairman Hart: The city council would make the decision of how to work out the future roads in this area. If the 100 East roadway is connected at a future date the cost would be paid by the city, including the curb and gutter (if needed).

If the city decides a road is needed then the city pays the expense. If a developer is adding new lots/houses then they are responsible for the road expenses to access those homes. Then the roads are turned over to the city for maintenance after the subdivision is complete.

Commissioner Farmer: 100 East is not being developed now leaving a dead ended road. Does that create a snow removal problem? Will this road need a turnaround?

Zan Murray: Anything less than 300 feet doesn't need a turnaround.

Cole Thornton: Does the city have a proposed timeline for completion of 100 East?

Mayor Johnson: No timeline yet. This road has not been discussed yet in city council. It will be discussed in the future.

Alicia Nyman: Is the 400 North around the park a 'for sure' thing?

Chairman Hart: Yes

JUB has reviewed the preliminary drawings and made comments/suggestions. The email letter was given to the Andersons' engineer and is also attached to these minutes.

No other comments were made. Chairman Hart made a motion to close the public hearing. Commissioner Greenhalgh seconded. All voted in favor.

*Written comments were received after the public hearing from Mr. Gary Gettman. His letter is attached to these minutes.

The next steps were reviewed with the developers.

Our city engineer will get with their engineer for final adjustments. When all revisions have been made and acceptable to the engineers they can submit the Final plat to the commission for review and recommendation to the city council. The city council will determine final acceptance of the subdivision.

6.A. City Council Reports – review minutes from Aug 25, 2016 meeting.

Michael Callahan reported that the council just approved an ordinance that allows the city to dispose of (sell) property. They can now (legally) sell the city owned property to the cemetery.

6.B. Agenda Items for Next Meeting

Nothing pending

6.C. Other

Condolences were expressed to Jim Hart at the recent passing of his father.

7. Calendaring of future Planning and Zoning Meeting

The next regularly scheduled meeting will be held Thursday, Sept 15, 2016.

8. Assignment of Representative for City Council Meeting

Harry Meadows was asked to represent the commission at the next council meeting.

9. Adjournment

Chairman Hart moved to adjourn the meeting at 8:47 p.m. Commissioner Lewis (Alt.) seconded.



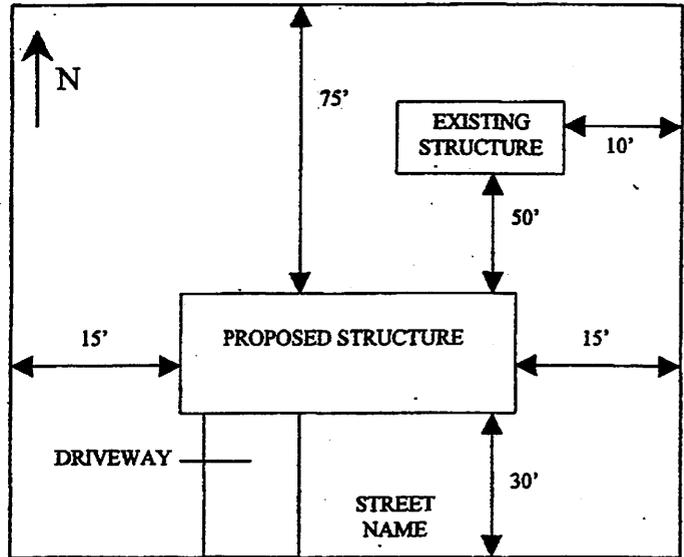
00733

MILLVILLE CITY
ZONING CLEARANCE FOR BUILDING PERMIT
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

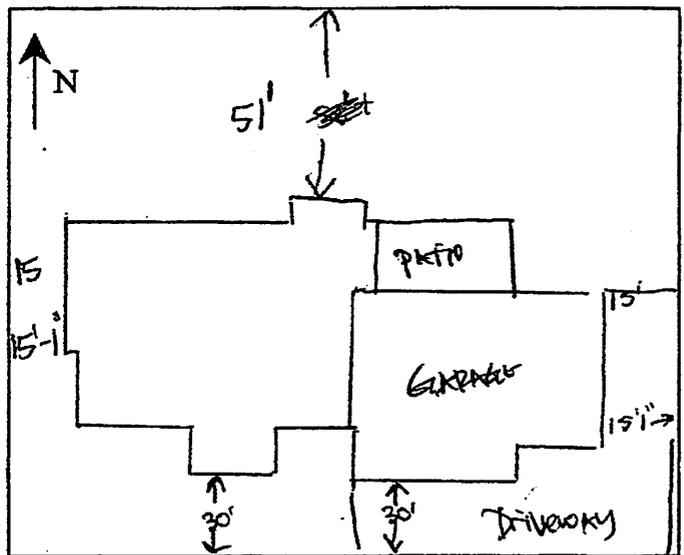
APPLICATION INFORMATION

1. BALLSTAEDT BUILDERS
APPLICANT'S NAME
2. DO BOY 543
MAILING ADDRESS
3. PROVIDENCE VT 84332
CITY STATE ZIP CODE
4. 435 760-3200
HOME TELEPHONE BUSINESS TELEPHONE
5. _____
OWNER'S NAME (if different from applicant)
6. RESIDENTIAL HOME
TYPE OF STRUCTURE
7. 3766 8. R-1
SQUARE FOOTAGE ZONE
9. MOND-AIRE HEIGHTS LOT 5
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 03 - 194 - 0005
TAX IDENTIFICATION NUMBER
11. 451 E. 200 N. Millville
ADDRESS OF CONSTRUCTION
12. .33 13. _____
LOT SIZE LOT ELEVATION
14. SEWER SEPTIC TANK N/A
(choose one)
15. CITY WATER PRIVATE WELL N/A
(choose one)
16. ELECTRICITY GAS OTHER UTILITY
(specify in remarks)
17. _____
REMARKS

SAMPLE PLOT PLAN
 (numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING

DATE

FEES PAID - TREASURER

DATE

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

PROJECT:

MOND- AIR HEIGHTS - LOT 5

451 EAST 200 NORTH STREET
MILLVILLE, UTAH 84326

NEW HOME.
SINGLE FAMILY HOME
GOVERNING CODE:
2012 INTERNATIONAL RESIDENTIAL CODE
(I.R.C.)

SUMMARY (SF)	
AUGUST 14/ 2016	
BASEMENT	1,935
1ST FLOOR	1,883
TOTAL	3,818

OWNER:
NATHAN BALLSTAEDT



SYMBOLS & ABBREVIATIONS

(N)	NEW	F.R.	FIRE RATED
(E)	EXISTING	H.R.	HANDRAIL
2'-6"	DOOR SIZE (2'-6" W x 6'-8" H)	ID	INTERIOR DESIGNER
4/0 5/0	WINDOW SIZE (4'-0" x 5'-0")	R&S	ROD AND SHELVES
	S = SLIDER	SH	SHELVES
	F = FIXED	SQ. FT.	SQUARE FEET
	H = DOUBLE HUNG	TEMP	TEMPERED
	C = CASMENT	TP	TAMPER PROOF
A.F.F.	ABOVE FINISH FLOOR	WH	WATER HEATER
AFP	ARC FAULT PROTECTED	WP	WATER PROOF
CL	CENTER LINE	WS	WATER SOFTENER
BP	BYPASS DOOR		
DD	DOUBLE DOOR		
DO	DOOR OPENER		
DIA.	DIAMETER		
DISP.	DISPOSAL		
EV	ELECTRICAL VEHICLE		
EQ	EQUAL		
F.D.	FLOOR DRAIN		



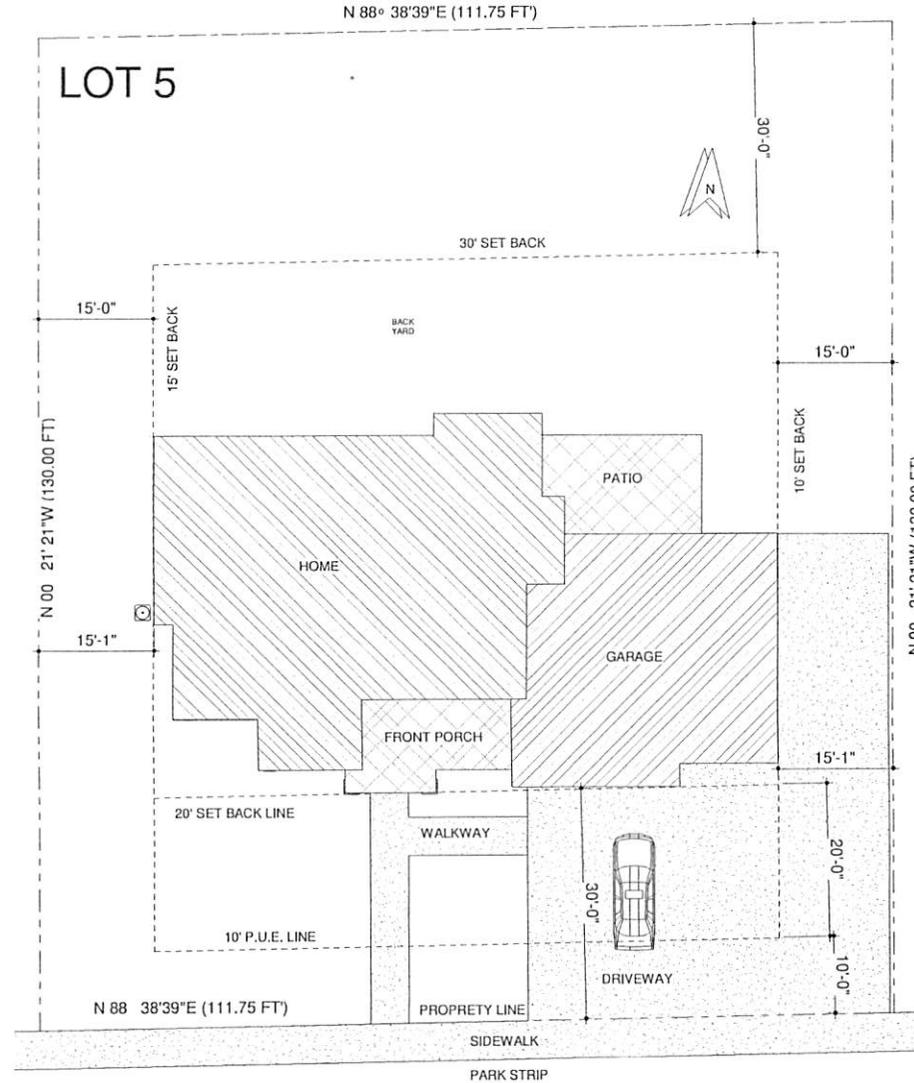
DRAWING INDEX

SHEET	SHEET TITLE
ARCHITECTURAL	
A0.1	GENERAL INFORMATION & SITE PLAN
A1.0	BASEMENT PLAN
A1.1	FIRST FLOOR PLAN
A1.2	ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS
EM.0	BASEMENT ELECTRICAL & MECHANICAL PLAN
EM.1	FIRST FLOOR ELECTRICAL & MECHANICAL PLAN
STRUCTURAL	
S1	FOOTING & FOUNDATION PLAN
S2	1ST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN & SHEAR WALL PLAN
S4	ENGINEERING NOTES
S5	DETAILS

STRUCTURAL ENGINEER:

DESIGN AND DRAFTING: JULIO GARCIA
JulioGDesign@gmail.com
PHONE: 801-336-8593
1143 SURREY DRIVE, NORTH SALT LAKE CITY, UTAH 84054

CITY APPROVAL / NOTES DATE



1 | Site Plan
A0 | 1/8" = 1'-0"

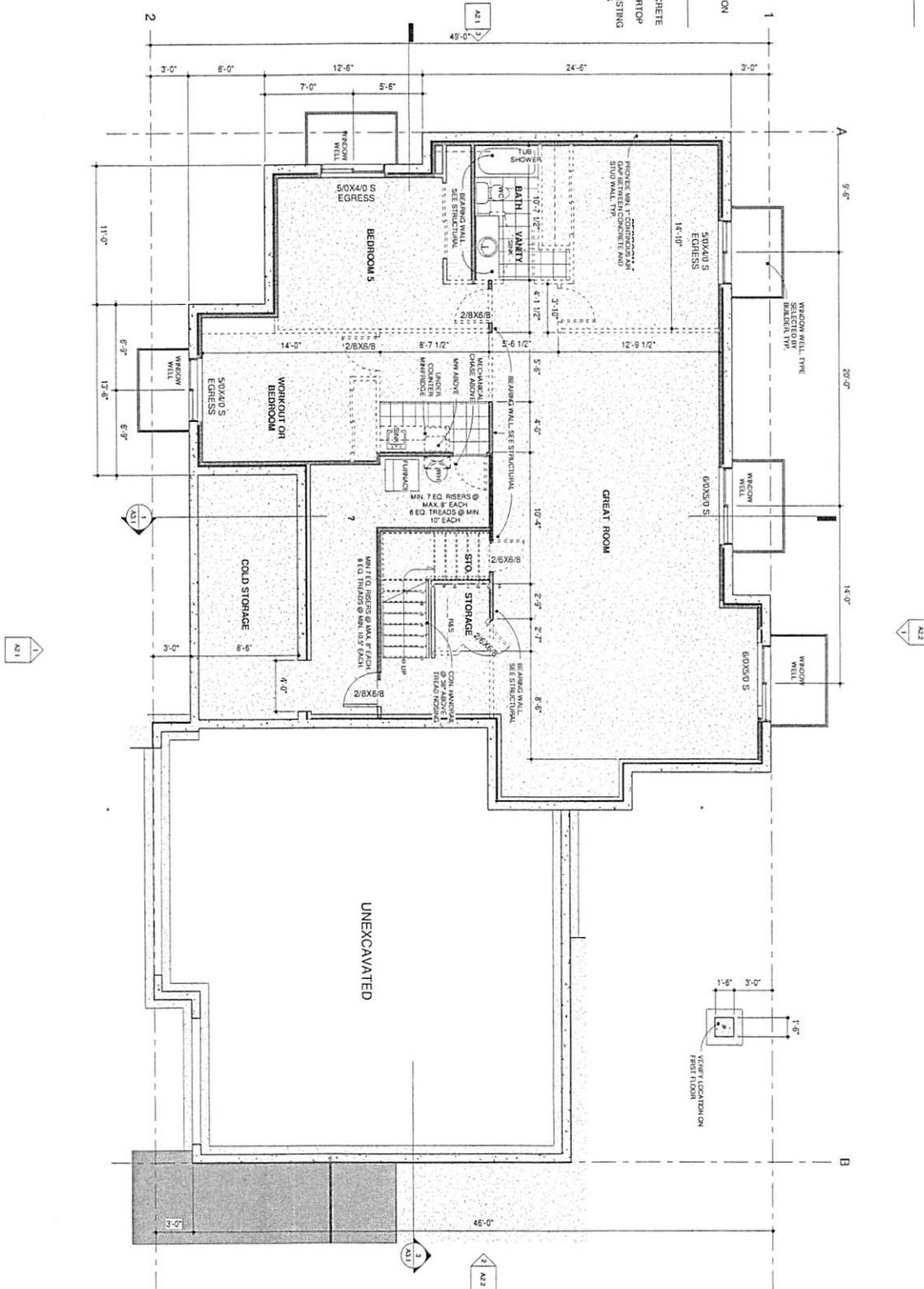
DESIGN: Julio Garcia Design
 JulioGDesign@gmail.com
 Phone: 801-336-8593
 1143 Surrey Drive, North Salt Lake City, Utah 84054
 PROJECT: MOND- AIR HEIGHTS - LOT 5
 451 EAST 200 NORTH STREET
 MILLVILLE, UTAH 84326
 PHASE 00
 AUGUST 14/2016
 REVISIONS: DATE DESCRIPTION
 GENERAL INFORMATION & SITE PLAN
 FULL SCALE DRAWING: 24x36 OR 22x34 SHEET
 HALF SCALE DRAWING: 12x18 OR 11x17 SHEET
 SHEET No. A0
 2016 11 1818 MAH

PLAN LEGEND

- CONCRETE WALL
- EARTH
- CONCRETE SLAB
- CARPET FLOORING
- TILE FLOORING
- ENGINEERED WOOD FLOORING
- 2X4 EXTERIOR WALL
- 2X4 STUD WALL
- THERMAL OR ACOUSTIC INSULATION
- FUTURE WALLS OR OVERHEAD ELEMENTS

NOTES:
 1. ALL DIMENSIONS TO STUD FACE.
 2. PROVIDE 1" AIR SPACE BETWEEN CONCRETE AND STUD WALL.
 3. STUD WALLS BY CABINET, COUNTERTOP MANUFACTURER, BUILDER & OWNER.
 4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ALL COMPONENTS INSTALLATION.

BASEMENT FLOOR PLAN
 1/4" = 1'-0"

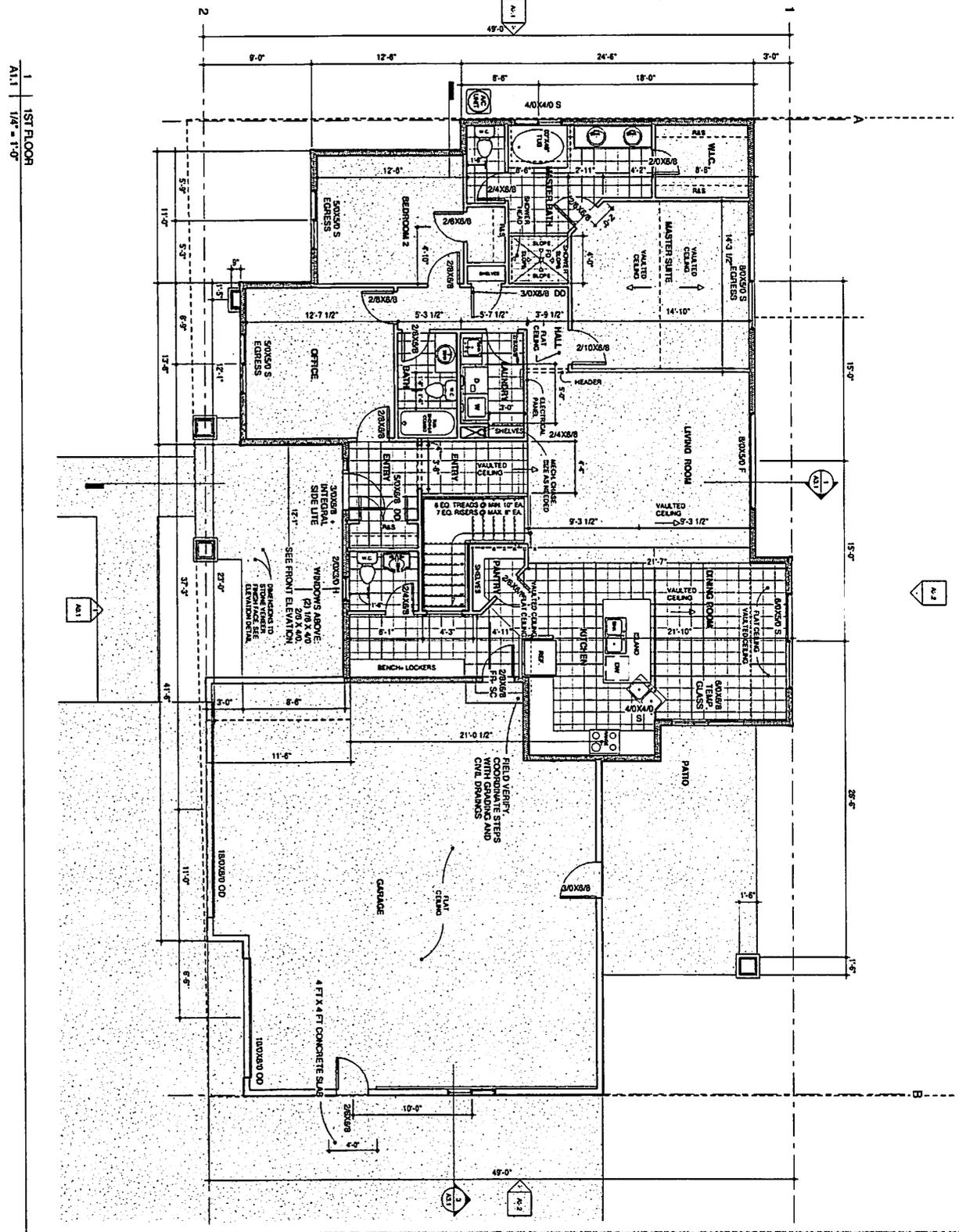


<p>DESIGN: Julio Garcia Design JulioGDesign@gmail.com Phone: 801-336-6593 1143 Surrey Drive, North Salt Lake City Utah 84054</p>	<p>PROJECT: MOND- AIR HEIGHTS - LOT 5 451 EAST 200 NOPRTH STREET MILLVILLE, UTAH 84326</p>		<p>DATE: 4/20/16</p>					
	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DESCRIPTION	DATE				<p>PROJECT NO: 451EAST11/2016</p>
No.	DESCRIPTION	DATE						

FLA SCALE DRAWING 24"X36" OR 22"X34" SHEET
 HALF SCALE DRAWING 12"X18" OR 11"X17" SHEET

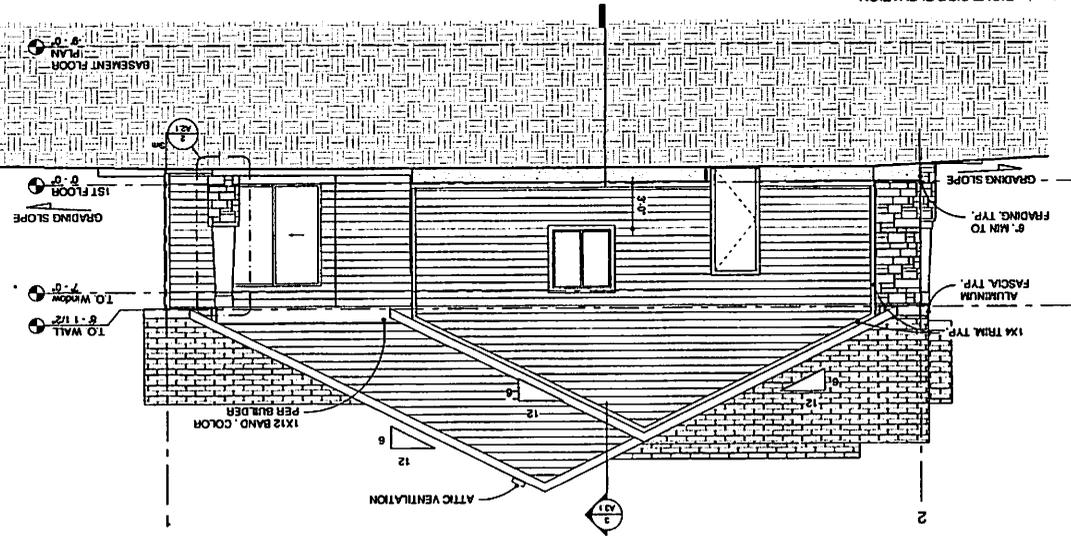
PLAN LEGEND

- CONCRETE WALL
 - EARTH
 - CONCRETE SLAB
 - CARPET FLOORING
 - TILE FLOORING
 - ENGINEERED WOOD FLOORING
 - 2x6 EXTENSION WALL
 - 2x4 STUD WALL
 - THERMAL OR ACOUSTIC INSULATION
 - FUTURE WALLS OR OVERHEAD ELEMENTS
- NOTES:**
1. ALL DIMENSIONS TO STUD FACE.
 2. PROVIDE 1" AIR SPACE BETWEEN CONCRETE AND STUD WALL.
 3. PROVIDE 1" AIR SPACE BETWEEN CONCRETE AND STUD WALL.
 4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ALL COMPONENTS INSTALLATION.

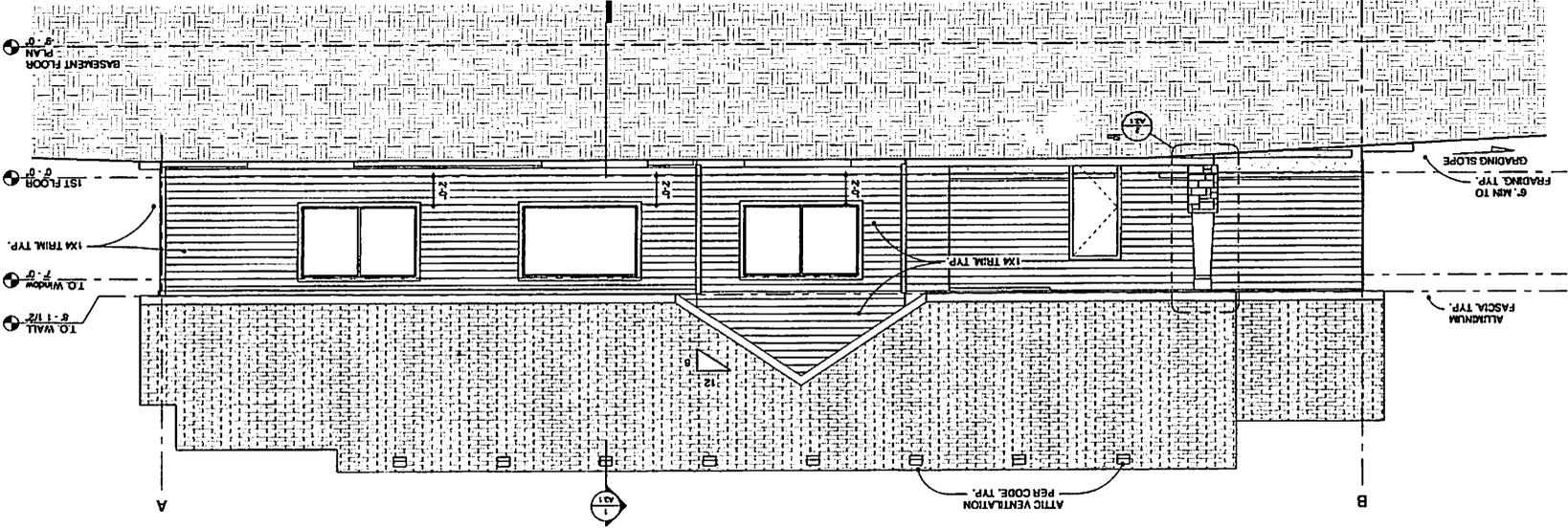


<p>1ST FLOOR PLAN</p> <p>PROJECT NO. AT-1</p> <p>DATE: AUGUST 14, 2016</p>	<p>PROJECT:</p> <p>MOND- AIR HEIGHTS - LOT 5</p> <p>451 EAST 200 NOPRTH STREET MILLVILLE, UTAH 84326</p>	<p>DESIGN:</p> <p>Julio Garcia Design</p> <p>JulioGDesign@gmail.com Phone: 801-336-6593 1143 Surrey Drive, North Salt Lake City Utah 84054</p>
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A2.2 1/4" = 1'-0"
2 RIGHT SIDE ELEVATION



A2.2 1/4" = 1'-0"
1 REAR ELEVATION



- EXTERIOR ELEVATION LEGEND**
- STONE VENEER, TYPE AND COLOR AS SELECTED BY OWNER AND BUILDER.
 - BRICK, TYPE AND COLOR AS SELECTED BY OWNER AND BUILDER.
 - GREEN CEMENT LAP SIDING, TYPE AND COLOR AS SELECTED BY OWNER AND BUILDER.
 - FIBER CEMENT BOARD, TYPE AND COLOR AS SELECTED BY OWNER AND BUILDER.
 - ASPHALT SHINGLE ROOFING, TYPE AND COLOR AS SELECTED BY OWNER AND BUILDER.
- ALL CHANGES IN EXTERIOR WALL SOUNDS SYSTEMS OF COMPLEX NATURE SHALL BE SPECIFIED OTHERWISE. FOR ANY QUESTIONS CONTACT BUILDER.

A2.2
SHEET NO.

ELEVATIONS

DATE: _____
REVISION: _____
DESCRIPTION: _____
SCALE: _____

PROJECT:
MOND- AIR HEIGHTS - LOT 5
451 EAST 200 NORTH STREET
MILLVILLE, UTAH 84326

DESIGN:
Julio Garcia Design
julio@jgarcia.com
Phone: 801-268-6593
1143 Sunny Drive, North Salt Lake City
Utah 84054

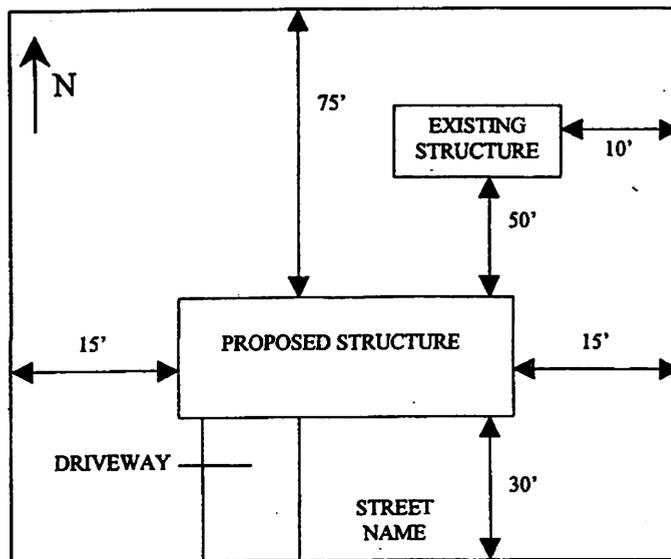


MILLVILLE CITY
ZONING CLEARANCE FOR BUILDING PERMIT
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

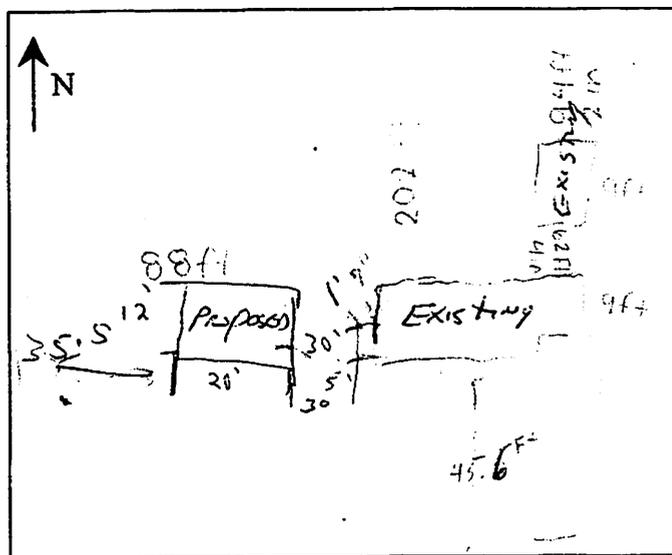
APPLICATION INFORMATION

1. Steve Hansen
APPLICANT'S NAME
2. P.O. Box 0248
MAILING ADDRESS
- Millville VT 84326
CITY STATE ZIP CODE
3. 435-752-4667 4. _____
HOME TELEPHONE BUSINESS TELEPHONE
5. _____
OWNER'S NAME (if different from applicant)
6. Metal
TYPE OF STRUCTURE
7. 240 8. R2
SQUARE FOOTAGE ZONE
9. _____
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 02 - 128 - 0024
TAX IDENTIFICATION NUMBER
11. 61 West 200 North
ADDRESS OF CONSTRUCTION
12. 1 AC 13. _____
LOT SIZE LOT ELEVATION
14. SEWER SEPTIC TANK N/A
(choose one)
15. CITY WATER PRIVATE WELL N/A
(choose one)
16. ELECTRICITY GAS OTHER UTILITY
(specify in remarks)
17. _____
REMARKS

SAMPLE PLOT PLAN
 (numbers do not represent required setbacks)



PLOT PLAN



200 N

APPROVED - PLANNING AND ZONING _____ DATE _____

FEES PAID - TREASURER _____ DATE _____

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

1 millimeter = 0.0393700787 inches

DURA **MAX**[™] A Product of **US POLYMERS INC.**

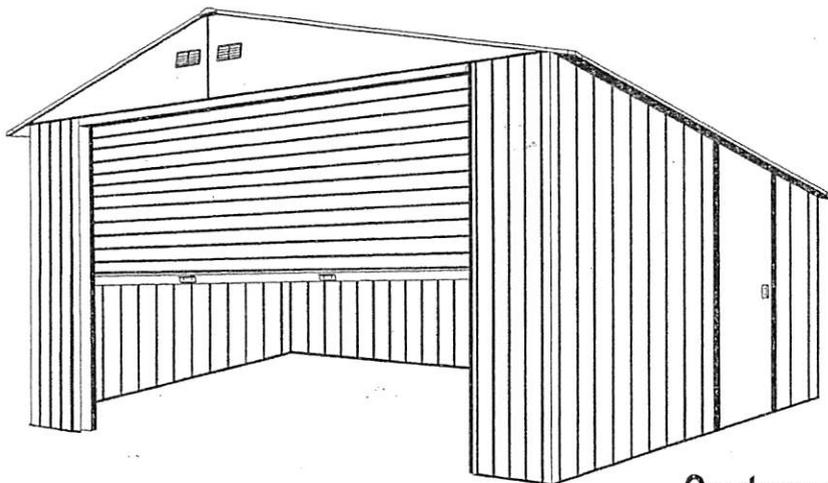
Metal Garage

OWNER'S MANUAL /

Instructions for Assembly

Size 12' x 20'

Ver: 1.1



**Customer
Service Hotline**

(800) 483-4674

www.uspolymersinc.com

Requires two or three people and takes 8 – 12 hours for installation.

- ?? Tall Walk in Garage
- ?? Quick and Easy Assembly
- ?? Ridge Reinforced Walls
- ?? Wide Single Front Shutter Door

Call us for any missing or damaged parts.
Do not return to store.

A. Foundation Column Stands & Base Channel

Preparation

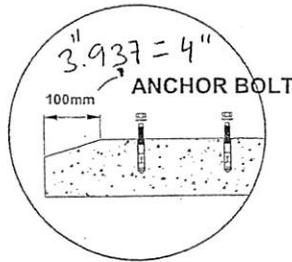
Note: It is important that these instructions are followed step by step.



DuraMax must be installed on a level concrete foundation.
 Recommended thickness of concrete foundation: 100mm. (4")
 TO GET PERFECT SQUARE OF FOUNDATION LAYOUT, 3-4-5
 PRINCIPLE MUST BE APPLIED.

Parts needed:

- | | | |
|------|---|----------------|
| (4) | Base Channel Side Left & Right | (BC001) |
| (2) | Base Channel Side Center Left & Right | (BC002) |
| (1) | Base Channel Back Left | (BC003) |
| (1) | Base Channel Back Right | (BC004) |
| (2) | Base Channel Front Left & Right | (BC005) |
| (1) | Entrance Taper Channel | (SD005) |
| (4) | Column Support Footing Corner / Left & Right | (CP001) |
| (4) | Column Support Footing Center / Left & Right | (CP002) |
| (2) | Column Support Footing Middle | (CP003) |
| (32) | Dia. 4.2mm. x 10mm. (5/32"x3/8")
Sheet Metal Screw | (S1) |
| (32) | Anchor Bolt Size: M10 x 80mm.
(Complete with Nut & Washer) | (Not included) |
| (27) | Hard PVC Fisher Plug Size: 6mm. | (Not included) |
| (27) | Dia. 5.0mm. x 38.1mm. (1-1/2")
Self-Tapping Screw | (Not included) |



146.45 = 12' 2.0 FT

Location of holes for anchor bolt of Column Support Footing:

1. Reference to center line of the concrete foundation, measure and mark location of holes for anchor bolt of column support footings (CP001, CP002, CP003). Use 8.5mm. Concrete drill bit.

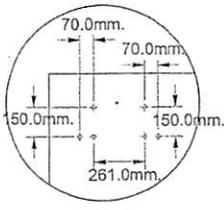


Fig. 1

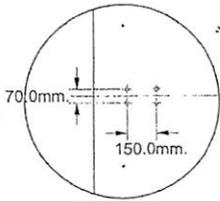


Fig. 2

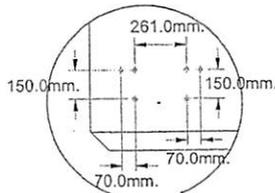
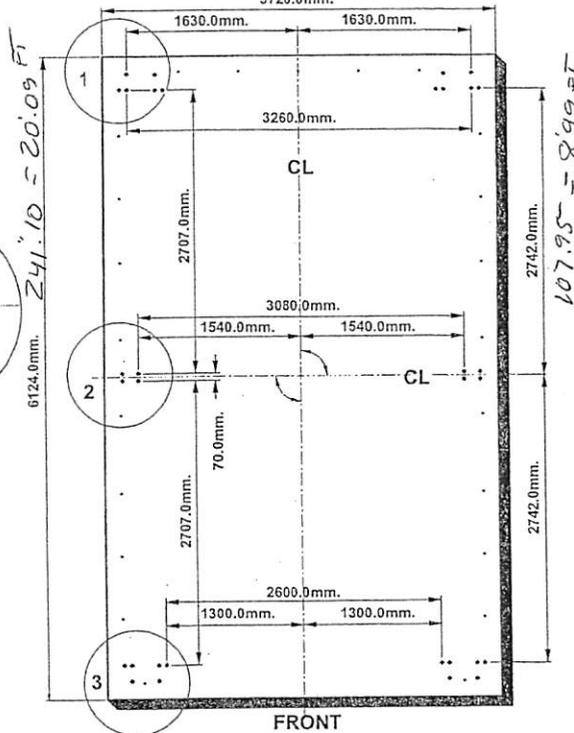


Fig. 3



IMPORTANT: USE HAND GLOVES TO PREVENT INJURY



MEMORANDUM

DATE: August 26, 2016
TO: Millville Planning Commission
CC: Eric Dursteller P.E. – Forsgren Associates
FROM: Zan Murray S.E.
SUBJECT: Anderson Howell Subdivision Review

We have performed a preliminary plat and construction drawing review for the Anderson Howell Subdivision. I have also reviewed the plans on site with Gary Larsen, the Public Works Superintendent. Based on our review we have the following comments.

Preliminary Plat

1. The boundary of the subdivision closes within required tolerances. There are some concerns with the interior lot closures which will need to be addressed on the final plat.
2. The Address for Lot 7 should be labeled 378 North.
3. 10' wide Public Utility Easements are required on the lot frontage.
4. Coordination with the Providence Blacksmith Fork Canal Company is required at the east end of 400 North. Easements or other requirements may be needed. A letter of approval is required from them for final approval by the City.
5. Monumentation will be required at all street intersections.
6. Setbacks should be labeled on the final plat.
7. The west section tie appears to be mislabeled. Please review and revise as necessary.

Overall Comments

1. What irrigation water exists on the property? Will it be used in the development?

General Notes

1. The General Notes will need to be updated to meet the City standards.

General Site Plan

1. A street light may be required at the intersection of 50 East and 400 North.
2. A street light may be required at the south end of 50 East.
3. Existing electrical lines exist along the south side of the City Park south sidewalk. A park strip may be necessary to provide access and allow for grading and ADA parking stalls to be



J-U-B ENGINEERS, INC.

J-U-B COMPANIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

incorporated into the design. 4 handicap stalls will be required on the park south parking lot area.

4. The crosswalk on main street will need to be moved to align with the north sidewalk

Storm Water Management Plan

1. The primary retention area should be redesigned so it is easier to maintain. It appears that there will be flat pipe slopes and a deep pond area in order for the required storage to exist. The City would like to see retention incorporated into the area along Main Street and be graded into the lot landscaping. This would reduce piping expense and future maintenance.
2. The swales along 100 East will need to have an emergency overflow route in case they over fill.
3. All retention/detention facilities will need to meet the design standards.
4. Detailing of the culverts and grading around culvert ends/inlet boxes will be required for final construction drawings.
5. A Storm Water Pollution Prevention Plan will be required for final approval.
6. Storm water pond facilities will be owned by the resident with an easement by the City. All design changes to the pond must be approved by the City before any alterations occur.
7. Storm water pond facilities must be designed to meet predevelopment conditions. Show calculations to verify historic runoff rates from the property.
8. Percolation tests are required if retention is to be used as part of the storm water design.

Roadway and Water System

Waterline

1. The waterline along Main Street is located approximately 2' west of the sidewalk. Coordinate with the engineer on the existing pipeline layout at the intersection with 400 North.
2. A valve will need to be added on the south leg of the Main Street waterline.
3. A valve will need to be added to the east leg of the intersection of 50 West and 400 North
4. A valve will be needed on the east leg of the intersection of 100 East and 300 North.
5. The bury depth callout should be vertical on the drawing, not perpendicular to the finished grade.
6. If a deep swale is located on 100 East, the waterline will be extremely deep. Further discussion with Public Works is needed.
7. Water meter locations are required on the final construction plans.
8. The fire hydrant west of 50 West should be moved to be east of 50 East for better spacing.
9. In order to accommodate the sidewalk on the north side of 400 North the fire hydrant will need to be relocated south to the 400 North Parkstrip.

Roadway

1. A 50' landing and vertical curve is required at 400 North and Main Street.



J-U-B COMPANIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

J-U-B ENGINEERS, INC.

2. Show profiles at the right-of-way lines of the streets to aid in the design review.
3. Additional information is required on the grading of the parking area for the park along 400 North to match existing grades and meet ADA requirements.
4. 100 East Street shows a fill of over 3 feet to finished grade. Additional cross sections and information is required for further discussion with Public Works and approval of the final grade.
5. Funding will need to be put in escrow for 50% of the improvements to cross the canal at 400 North.
6. Signage will be required on the final construction drawings.

TO: WHOM IT MAY CONCERN

FROM: Rob and Rose Mary Jones

DATE: September 1, 2016

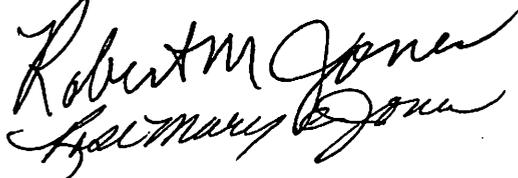
RE: Anderson/Howell Subdivision

As the parcel of property being developed as the Anderson/Howell Subdivision is adjoining our property on their east boundary and our west boundary, we would like to comment on the proposed subdivision.

We would like to make sure that the planning for this roadway is the best possible plan for the proposed 400 North Road, as it does not line up with the 400 North road at approximately 200 East.

Also this proposed 400 North Road will require a canal crossing. As has been required in the Shire Subdivision at 600 North, the burden of the payment for the canal crossing was shared by the two landowners that this would benefit. We would request that the same consideration be given with regard to the requirements placed on this subdivision.

Thank you.

Handwritten signatures of Robert M. Jones and Rose Mary Jones. The signature of Robert M. Jones is written in a cursive style, with the first letter 'R' being large and prominent. Below it, the signature of Rose Mary Jones is also written in a cursive style, with the first letter 'R' being large and prominent.

PUBLIC COMMENT

DATE: September 1, 2016
TO: Millville Planning Commission
FROM: Gary Gettman
SUBJECT: **Anderson/Howell Subdivision**

I am a retired cartographer with Skyline engineering and have lived at 740 North Main in Millville for the past 42 years. After reviewing the 08-16 General Site Plan prepared by Forsgren Associates for the above project, I have the following comments:

1. The proposed subdivision borders the C-S zone (Commercial Service) along the south lines of Lots 2 and 5. The existing auto repair business in this zone is well-established and has an excellent reputation. To avoid complaints from future homeowners, it may be wise to install a sound suppression fence here.
2. The new storm water basin between Lots 2 and 5 should be landscaped with sod and enclosed by a safety fence. Although it is unlikely to happen here in dry Utah, small children have drowned in retention ponds after severe storms. For the same reason, the city should consult with the canal company about a safety fence along the west bank. If a fence is required, sufficient space would have to be allowed for canal maintenance.
3. The proposed street plan follows county plat 02-130 and shows new parking along the south boundary of the park. If the existing storm water basin in the soccer field will be used to collect runoff from this parking area, the city may want an oil/water separator installed.
4. The plan shows 400 North Street dead-ending at the west bank of the canal. The city should clarify who will be responsible for installing the future bridge.
5. To minimize the number of driveway entrances along Main Street, the final plat should clearly state that *"Lot 1 shall front onto 400 North Street and shall have no direct vehicle access to or from Main Street."*
6. Presumably, the city has no plan to widen Main Street in the near future. Therefore, requiring curb and gutter here would probably create more drainage problems than it would solve.

I hope these suggestions are helpful in your deliberations. Please call or email me if you have any questions.

Best regards,



Gary Gettman
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