

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA
TUESDAY, SEPTEMBER 13TH, 2016 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

1. Pledge of Allegiance
2. Declaration of Conflicts of Interest
3. Approval of Meeting Minutes
 - A. August 23rd 2016
4. Action and Advisory Items
 - A. MDP Amendment: Spring Run, Public Hearing, Action Item:
A proposal to amend the Spring Run Master Development Plan, realigning roads, and changing land uses. Located North of SR-73
 - B. MDP Amendment: Scenic Mountain, Public Hearing, Action Item:
A proposal to amend the Scenic Mountain Master Development Plan, realigning major roads and changing land uses/zoning . Located South of SR-73 East of Mt. Airey Drive along Inverness Lane.
 - C. Amended Preliminary Plat: Oquirrh Mountain Ranch: Public Hearing, Action Item:
A proposed amendment to Plat A of the Oquirrh Mountain Ranch Project, moving a park, and adding a third development phase .
5. Next scheduled meeting: September 27th, 2016
6. Adjournment

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING MINUTES
TUESDAY AUGUST 23, 2016 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

COMMISSION MEMBERS PRESENT: Matthew Everett, Mike Owens, and Daniel Boles.
EXCUSED: Wendy Komoroski and John Linton.

CITY STAFF PRESENT: Steve Mumford, Planning Director; Mike Hadley, Senior Planner; Tayler Jensen, Planner; and Johna Rose, Deputy Recorder.

1. Pledge of Allegiance

Commissioner Everett led the Pledge of Allegiance.

2. Declaration of Conflicts of Interest

None

3. Approval of Meeting Minutes

A. August 9, 2016

MOTION:

Mike Owens moved to approve the August 9, 2016 meeting minutes. Daniel Boles seconded the motion. Those voting aye: Matthew Everett, Daniel Boles, and Mike Owens. The motion passed with a unanimous vote.

4. Items removed from consideration by applicant (no action)

A. Muhlestein Private Community Center Conditional Use Permit:

The applicant has informed staff they no longer wish to pursue a Conditional Use Permit.

5. Action and Advisory Items

A. Preliminary Plat: Eagle Mountain Benches, Public Hearing, Action Item:

Mike Hadley explained that the Eagle Mountain Benches proposal is located along Lake Mountain Road. The applicant has proposed a preliminary plat on approximately 101.62 acres of land, which is currently zoned Agriculture. The proposal consists of 16 lots that are all 5 acres or larger in size. The largest lot is 11.09 ac and the smallest is 5.05 ac in size. The proposal complies with the City's Future Land Use General Plan designation of Rural Residential. No rezone is required for this development.

1 **Regional Trail:** Both the City’s General Plan and the Parks and Open Space Master Plan
2 designate a regional trail within the power line corridor, traversing the entire length of the
3 City. This corridor crosses directly through the middle of the project. The applicant will
4 be required to work with staff to find an acceptable connection through the development
5 to be dedicated to the City.
6

7 **Power Line and Gas Line Corridor:** The City Code considers land restricted by power
8 lines as unbuildable, and restricts construction activity within these areas. Kern River Gas
9 recommends that property within their corridor be preserved as open space and they
10 restrict certain types of improvements on the property. Rocky Mountain Power does not
11 allow any buildings or structures within the right of way, and requires access points with
12 16-ft wide gates on any fencing within the right of way, and restricts any changes in
13 elevation of the property. The development will be required to comply with any
14 restrictions placed on the property by these entities.
15

16 **Lake Mountain Road:** The City Code requires pavement of roadways within new
17 development. Lake Mountain Road was historically a County road, and has been
18 maintained periodically by the City as a dirt/gravel road, with some repurposed asphalt
19 treatments in some sections. Fire Code allows for gravel road access to large lots in rural
20 areas, but will require fire sprinkler systems to be installed in each home that is accessed
21 by a gravel road. Since the applicant is developing agricultural lots that fit with the
22 zoning of the property, and the Fire Code allows for a gravel road in this situation, then
23 City staff recommends that the applicant be required to improve the existing dirt road
24 with road base to the satisfaction of the City Engineer and Fire Marshal.
25

26 Commissioner Owens questioned if the utility companies would allow access to lot 8.
27 Mr. Hadley said that the builder of the lot would have to submit plans for approval to
28 each utility company, but it was allowed. Commissioner Boles asked how big the
29 buildable area of the lot was. Mr. Hadley said anywhere between half an acre to about an
30 acre. The applicant has a desire to keep lot 8.
31

32 *Commissioner Everett opened the public hearing at 6:10 p.m.*
33

34 Reagan Peck, resident, was concerned about Lake Mountain Road remaining gravel.
35

36 Greg Jeppson, resident, stated that as a homeowner that lives on Lake Mountain Road he
37 is concerned about the road remaining dirt. He felt that with the additional traffic on Lake
38 Mountain Road that the road should be paved.
39

40 *Commissioner Everett closed the public hearing at 6:14 p.m.*
41

42 Jeff Scott, applicant, said that the power company will allow structures up to 12 feet high
43 under the corridor. The gas company requires a representative to be present while
44 driveways are being placed over the gas line.
45

46 Commissioner Owens questioned why a paved road was required for the Smiths’ project
47 to the north but not the Eagle Mountain Benches project. Steve Mumford explained that
48 the Smiths’ project was zoned Residential, where this project is zoned Agriculture. The
49 land that separates the two projects is owned by SITLA and BLM. There is a question as

1 to whether the City can improve BLM land. Commissioner Owens was concerned that
2 the City might have to pay to pave Lake Mountain Road in the future.

3
4 **MOTION:** *Daniel Boles moved to recommend approval of the Eagle Mountain*
5 *Benches Preliminary Plat to the City Council with the following*
6 *conditions.*

7 *1. Applicant shall work with staff to provide an acceptable connection*
8 *for the regional trail in the power line corridor.*

9 *2. The development must comply with any and all restrictions placed on*
10 *properties affected by the utility corridor.*

11 *3. Lake Mountain Road shall be improved as a gravel road to the*
12 *satisfaction of the City Engineer and Fire Marshal.*

13 *Mike Owens seconded the motion. Those voting aye: Matthew Everett,*
14 *Daniel Boles, and Mike Owens. The motion passed with a unanimous*
15 *vote.*

16
17 **B. Site Plan: Shops at City Center, Public Hearing, Action Item:**

18
19 Tayler Jensen explained that the application is a site plan for two 6,000 square foot office
20 buildings located on a 2-acre site south of Eagle Mountain Boulevard and west of Ira
21 Hodges Scenic Parkway.

22
23 **Plat Conditions:** The following conditions of approval were included with the approval of
24 Eagle Mountain Commercial Plat A.

25 1. No future development (beyond the dental office) shall be permitted on either parcel
26 until a master site plan has been approved which addresses site layout, access,
27 circulation and design standards.

28 2. Property must be dedicated along Eagle Mountain Boulevard to the full build-out
29 width of 122' street right-of-way (ROW).

30
31 **Building/Parking Location:** The applicant is proposing to place the buildings back away
32 from Eagle Mountain Blvd with a parking lot between the front of the building and the
33 street. Eagle Mountain Municipal code (EMMC) states parking should be located to the
34 side or rear of commercial buildings.

35
36 **Architectural Standards:** The applicant is proposing elevations that are similar to other
37 developments in the area (Pony Express Dental). Proposed elevations largely meet
38 commercial design standards; however, the main entrance orientation and rear elevations
39 do not meet architectural standards found in EMMC 17.72.040.

40
41 **Parking:** If all 12,000 sq. ft. were proposed as retail, the minimum parking requirement
42 would be 40 stalls, and the maximum parking allowed would be 60 stalls, however, the
43 applicant is proposing to provide 77 stalls, as it is unknown what all of the users will be.

44
45 **Parking Islands:** Islands are required where there are more than 12 parking stalls in a
46 row. Parking islands shall be landscaped and at least 20' by 5'.

47
48 **Engineer's Recommendation:** The City Engineer recommends that an acceleration and
49 deceleration lane be added on Eagle Mountain Boulevard. The City Engineer may

1 recommend additional requirements after reviewing the traffic study/traffic memo. The
2 applicant must comply with any conditions recommended by the City Engineer.

3
4 **Walking Path:** The applicant should provide a ten foot (10') landscaped strip between
5 the sidewalk/trail and the parking lot to match what was required for the Pony Express
6 Dental office.

7
8 **Street Lights:** Street lights are required at a minimum spacing of 150' and a maximum
9 spacing of 250' along Eagle Mountain Boulevard.

10
11 Commissioner Owens asked if the applicant was willing to move the buildings closer to
12 Eagle Mountain Blvd. Marlon Hill, applicant, stated that it is hard to sell retail buildings
13 that are built close to the street. He explained that it is more desirable to have a parking
14 lot in front of the building. He also said that he will be adding landscaping and berms
15 along the Eagle Mountain Blvd side of the parking lot. He has also proposed more
16 parking stalls for the project, because he would like to be prepared for future projects that
17 could require more parking.

18
19 *Commissioner Everett opened the public hearing at 6:47 p.m.*

20
21 None

22
23 *Commissioner Everett closed the public hearing at 6:47 p.m.*

24
25 **MOTION:**

*Daniel Boles moved to recommend approval of the Shops at City Center
26 site plan to the City Council with the following conditions:*

- 27 *1. An amended preliminary plat be required (or a master site plan) prior*
28 *to a building permit being issued.*
- 29 *2. No building permit shall be issued until a master site plan has been*
30 *approved which addresses site layout, access, circulation and design*
31 *standards.*
- 32 *3. Property shall be dedicated along Eagle Mountain Boulevard to the*
33 *full buildout width of 122' ROW.*
- 34 *4. A final plat shall be approved and recorded prior to a building permit*
35 *being issued.*
- 36 *5. Chosen building details shall be continued on all sides of the building*
37 *(4 sided architecture).*
- 38 *6. Parking islands are required for a minimum of every 12 parking*
39 *stalls.*
- 40 *7. Dumpster enclosures must be provided and approved by staff.*
- 41 *8. The applicant shall provide a ten foot (10') landscaped strip between*
42 *the sidewalk/trail and the parking lot.*
- 43 *9. Street lights are required every 150'-250' along Eagle Mountain*
44 *Boulevard.*
- 45 *10. Acceleration and deceleration lanes are required on Eagle Mountain*
46 *Boulevard.*
- 47 *11. Applicant must comply with any traffic recommendations made by*
48 *the City Engineer after the traffic memo is reviewed.*

1 *Mike Owens seconded the motion. Those voting aye: Matthew Everett,*
2 *Daniel Boles, and Mike Owens. The motion passed with a unanimous*
3 *vote.*

4
5 C. Development Code Amendment –Chapter 16.35.140 Diagrams. Public Hearing,
6 Action Item, Recommendation to City Council:
7

8 Mr. Jensen said that the staff has proposed an addition to the Development Code adding
9 images for street rights-of-way (ROW).

10
11 *Commissioner Everett opened the public hearing at 6:50 p.m.*

12
13 None

14
15 *Commissioner Everett closed the public hearing at 6:50p.m.*

16
17 **MOTION:** *Mike Owens moved to recommend approval of the amendment to*
18 *Chapter 16.35.140 of the Eagle Mountain Municipal Code to the City*
19 *Council. Daniel Boles seconded the motion. Those voting aye: Matthew*
20 *Everett, Daniel Boles, and Mike Owens. The motion passed with a*
21 *unanimous vote.*

22
23 6. Next scheduled meeting: September 13, 2016

24
25 7. Adjournment

26
27 The meeting was adjourned at 6:54 p.m.

28
29 APPROVED BY THE PLANNING COMMISSION ON SEPTEMBER 13, 2016

30
31 _____
32 Steve Mumford, Planning Director
33



EAGLE MOUNTAIN CITY
Planning Commission Staff Report
SEPTEMBER 13, 2016

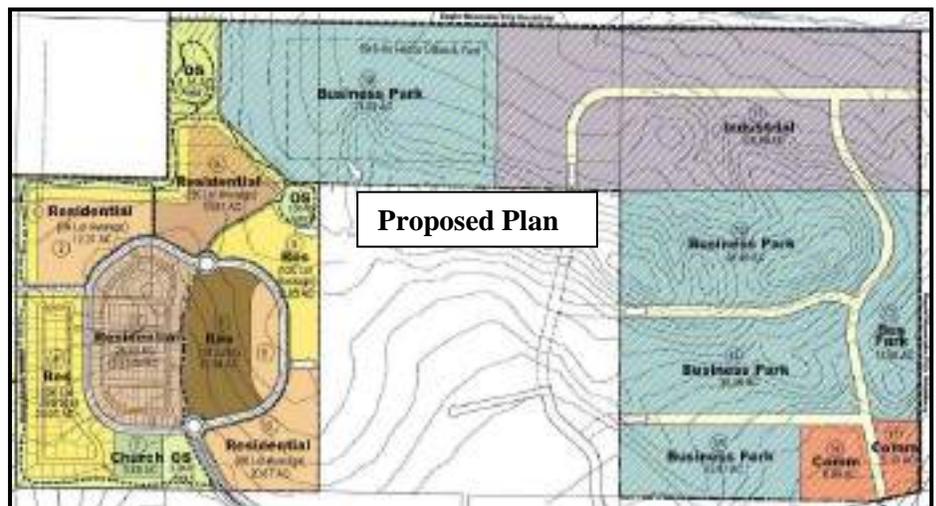
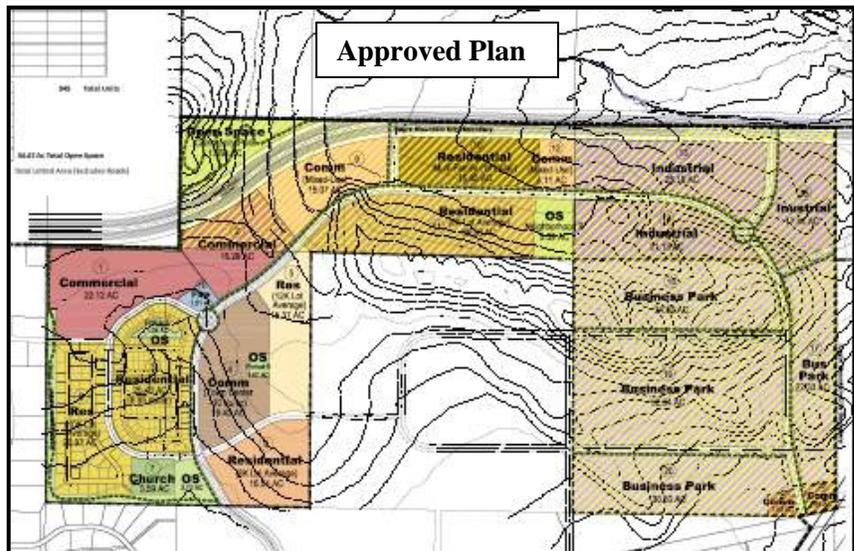
Project: **Spring Run MDP Amendment**
Applicant: Jim Allred/Ralph Johnson – 12 Horse Ranch LLC
Request: Master Development Plan Amendment
Type of Action: Action Item - Recommendation to City Council, Public Hearing

Preface

This application is for an amendment to the Spring Run Master Development Plan. The original Master Development Plan was approved on July 19, 2011. The Spring Run Master Development Plan was reviewed at the July 12th Planning Commission meeting and it was tabled to be continued until now. The Spring Run Master Development Plan is located north of SR73 and east of Meadow Ranch, and surrounds a 160-acre Industrial property that includes a gravel pit. The current approved plan includes approximately 480 acres and provides a mix of residential densities, a town center area, commercial/mixed-use areas, a business park, an industrial area, and parks and trails. A total of 945 residential units were approved with various densities.

Spring Run Master Development Plan Amendment.

When the original Master Development Plan was designed and approved, the City's Transportation plan showed a major road running through a large portion of this project to the north and west. The Plan was approved with some commercial development pods around the road. Since that time UDOT determined that Wride Memorial Highway will be the future freeway for the valley, necessitating the removal of this major road and the associated commercial pods. The applicant is proposing to replace the commercial pods with residential pods. The applicant is also proposing to remove the residential and commercial portions of the development along the north side of the gravel pit. The proposed residential includes a variety of lot sizes.



Noteworthy Land Use Changes

- This proposal splits the project into three separate development pods, a Residential Pod in the West and a Business Park/Commercial Pod to the East and a Business Park /Industrial pod to the north. The proposal removes the connecting road and each pod resembles an individual projects.
- With the removal of the freeway the viability of commercial property in this area is greatly diminished, so approximately 38 acres of commercial property has been removed and replaced with residential. Additional commercial property (now totaling over 13 acres) has been placed along Wride Memorial Highway in the southeast corner of the project.

Parcel	Land Use	Acres	Density	Units	Tier
1	Residential - 10K Average	6.29	3.2	20	
2	Residential - 6K Average	12.37	4.25	53	
3	Residential - 5k Average	21.40	5.88	126	3
4	Residential-Multi-family	15.84	9.85	156	3
5	Residential - 10K Average	15.16	3.5	53	2
6	Residential - 8K Average	20.87	3.77	79	2
7	Church	3.59		0	
8	Residential - 10K Average	20.97	3.4	71	2
9	Residential - 6K Average	14.69	4.75	70	2
10	Business Park	71.94	n/a	n/a	
11	Industrial	106.69	n/a	n/a	
12	Business Park	48.46	n/a	n/a	
13	Business Park	17.80	n/a	n/a	
14	Business Park	39.46	n/a	n/a	
15	Business Park	22.97	n/a	n/a	
16	Commercial	8.89	n/a	n/a	
17	Commercial	5.13	n/a	n/a	

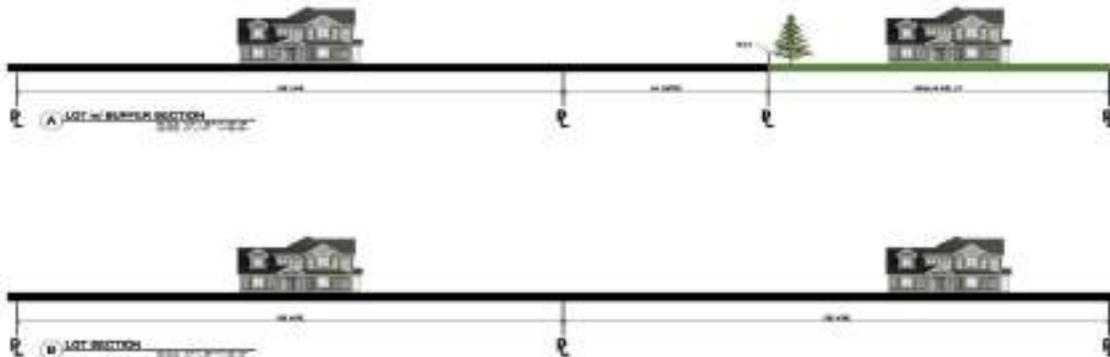
- The Commercial Town Center pod has been removed and replaced with multi-family residential.
- At the request of the Unified Fire Authority, the fire station property has been removed.
- The project now contains an area of 8,000 square foot lots, 6,000 square foot lots, and several areas of 10,000 square foot lots. The 12,000 square foot lot area has been removed.

Transportation

The other major change is to Spring Run Parkway (formerly known as Ranches Parkway). Rather than continuing north, the proposal now includes a roundabout, with the road splitting off east and west. A traffic study memo has been submitted, which indicates that the amended roadway pattern can handle the additional traffic in the 160-acre residential square. The road has been removed to the North and East of the roundabout, preventing industrial traffic from using Spring Run Parkway, or accessing the development.

Lot Size Transitioning

- Meadow Ranch. This project abuts the Meadow Ranch subdivision to the west. The Spring Run MDA allows for an alternative transitioning to the requirement in the code. This alternative includes a 100-ft open space area with an 8-ft asphalt trail meandering throughout the buffer. The current proposal contains the buffer area, then a row of 10,000 sq ft lots, then smaller lots.



- Camp Williams. The proposal also includes the 100-ft buffer and a row of 10,000 sq. ft. lots along the border of Camp Williams, as well as a hillside park.

- The following is the excerpt from the Spring Run MDA in reference to the Trail System Buffer:

7.1.5 Trail System Buffer. A 100-foot wide buffer has been provided between the Project and the existing Meadow Ranch lots. Exhibit "F" shows how the intent of the Development Code is met with this trail system buffer. The buffer is intended to be natural open space with the following exceptions: (1) Neighborhood Parks with benches, play areas, play equipment and grass may be included; and (2) natural vegetation shall be supplemented with a native seed mix that includes sagebrush, rabbit brush, a wildflower mix, where it is not growing; and (3) graveled or paved trails. The Buffer must be maintained by the Spring Run Master HOA. A landscaping plan specific to this corridor, designed by a licensed Landscape Architect, must be submitted for approval along with any phase of development in Residential Parcel 8 or Commercial Parcel 1.

Parks, Open Space, and Trails

This project requires 14.39 acres of improved open space (627 units x 1,000 sq. ft. /43,560). The project includes 33.83 acres of open space; however, only 7.82 acres will be improved as park space, the remaining area is included in the open space Z, open space buffer (natural landscaping) and the community trails. The regional park area (Z) contains steep slopes, and will likely be improved with trails, lookout areas, and with some improved areas. The Commission and the Council will have to decide if this combination of open space is sufficient for the project.

It should be noted that the MDA requires a monument sign for the overall project that needs to be installed by the applicant.

Fencing

Privacy fencing along collector and arterial roads (where lots back up to the roads) will need to be improved by the developer along with the infrastructure of each plat. These fences will need to be included in the improvement bond as well.

Concerns

We have the following concerns with this project:

- The Extractive Industries Overlay Zone is shown on a majority of the project. We recommend that this overlay either be removed completely, or that it is downsized to only the areas that are currently being mined or that will require mining operations in the future.
- There is adequate buffering between the residential area and Business Park area.
- Area 4 contains 156 multi-family units.
- The project contains a variety of lot sizes, which allows for movement within the same neighborhood/community. We recommend increases in the lot sizes, however, to provide more housing in the ¼-acre and 1/3-acre range. These lot sizes are a very small percentage of the overall housing product in Eagle Mountain.
- Some of the roads in this project are on steep slopes, and may not be possible, depending on future engineering.
- The City's Transportation Master Plan and General Plan Map must be revised to match this project's road system.
- A water model still needs to be provided.

Optional Motions

If the Planning Commission chooses to table/continue the master development plan amendment in order to make changes to the plans to resolve concerns in the staff report or expressed at the meeting, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission continue the Spring Run Master Development Plan Amendment to the ___ Planning Commission meeting in order to resolve the concerns expressed in the staff report and in the meeting.

If the Planning Commission chooses to recommend approval of the proposed amendment, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission recommend to the City Council approval of the Spring Run Master Development Plan Amendment with the following conditions or any other conditions deemed appropriate:

- 1. The Extractive Industries Overlay Zone must be modified to only include areas that will be actively mined.*
- 2. A water model must be submitted for the City Engineer's consideration prior to City Council approval.*
- 3. This project is contingent on a general plan amendment being approved by the City Council.*
- 4. This approval is contingent upon the master development agreement being amended by the City Council.*

ATTACHMENTS:

- Proposed Spring Run Master Development Plan
- Current Spring Run Master Development Plan
- Cross-section of Buffering

SECT

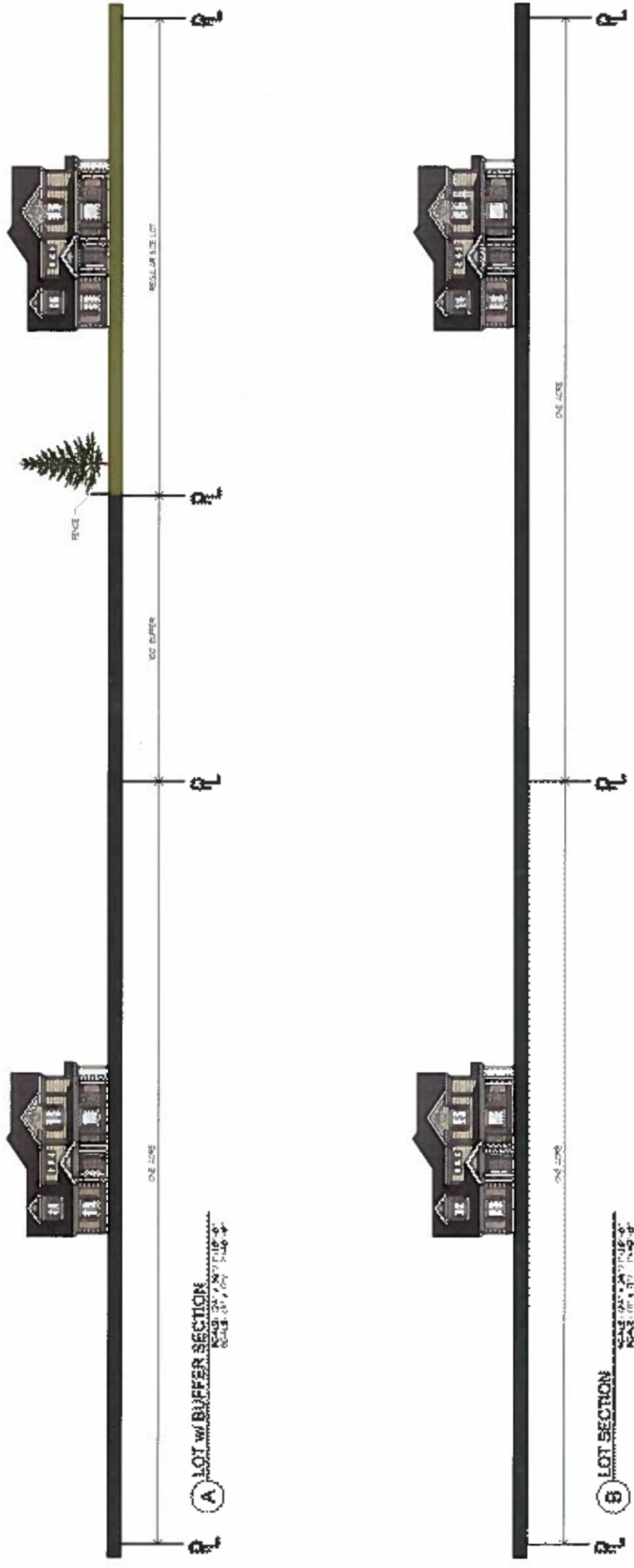
PLAN
2023/05/06
R02/11

01/20/2023

Spring Run

1000 Main St, CO, 80501

Architect
Landscape Architecture
1 and Planning
Engineering
Interior Design
100 Main St, CO, 80501
Phone: 303.441.1111
www.aswift.com



A LOT w/ BUFFER SECTION
SCALE: 1/8" = 1'-0" (1/4" = 1'-0")

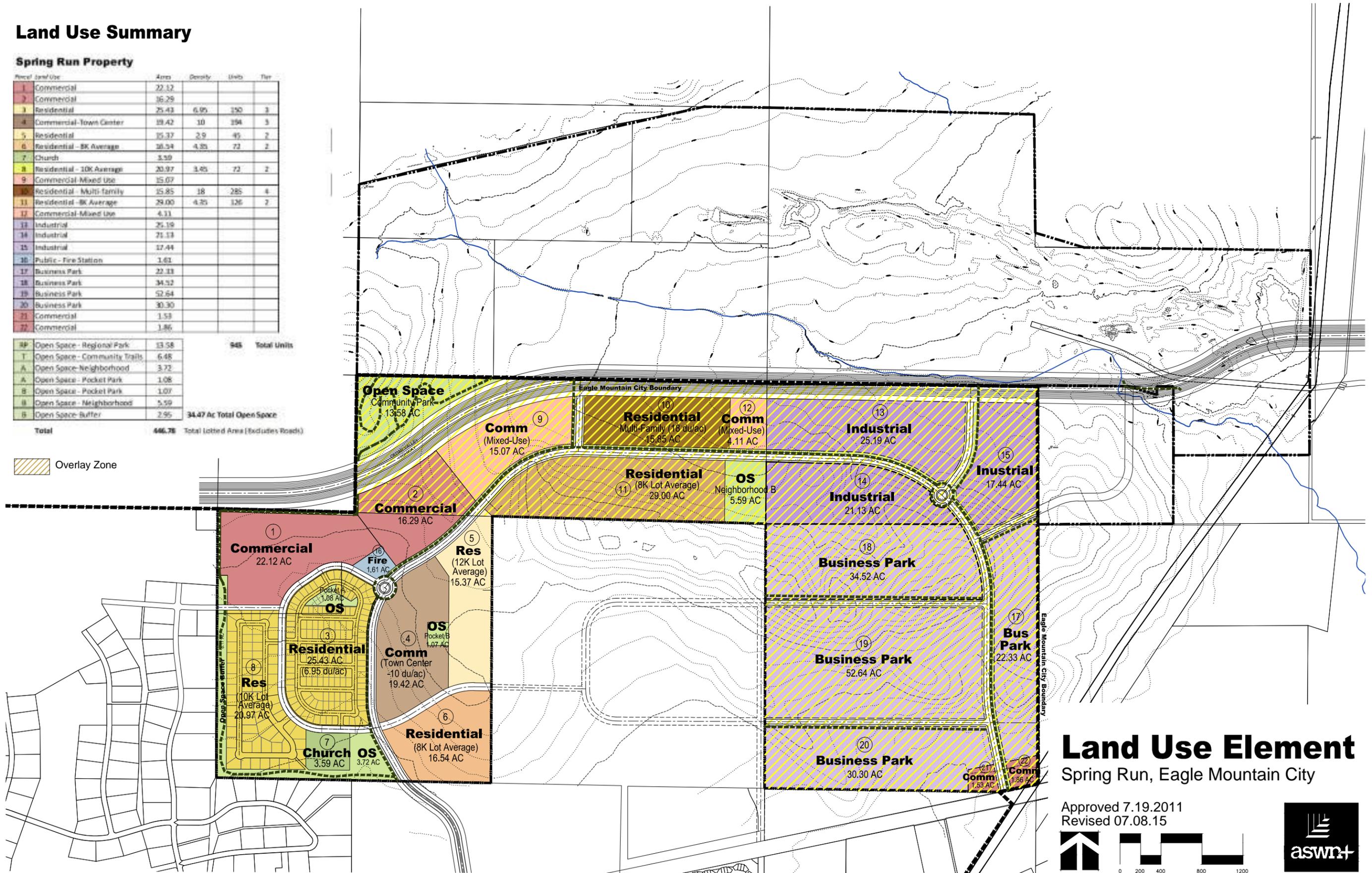
B LOT SECTION
SCALE: 1/8" = 1'-0" (1/4" = 1'-0")

Land Use Summary

Spring Run Property

Parcel Land Use	Area	Density	Units	Tier
1 Commercial	22.12			
2 Commercial	16.29			
3 Residential	25.43	6.95	190	3
4 Commercial-Town Center	19.42	10	194	3
5 Residential	20.97	2.9	45	2
6 Residential - 8K Average	16.54	4.25	72	2
7 Church	3.59			
8 Residential - 10K Average	20.97	3.45	72	2
9 Commercial-Mixed Use	15.07			
10 Residential - Multi-Family	15.85	18	285	4
11 Residential - 8K Average	29.00	4.25	126	2
12 Commercial-Mixed Use	4.11			
13 Industrial	25.19			
14 Industrial	21.13			
15 Industrial	17.44			
16 Public - Fire Station	1.61			
17 Business Park	22.33			
18 Business Park	34.52			
19 Business Park	52.64			
20 Business Park	30.30			
21 Commercial	1.53			
22 Commercial	1.86			
RP Open Space - Regional Park	13.58		945	Total Units
T Open Space - Community Trails	6.48			
A Open Space - Neighborhood	3.72			
A Open Space - Pocket Park	1.08			
B Open Space - Pocket Park	1.07			
B Open Space - Neighborhood	5.59			
B Open Space - Buffer	2.95			
Total	446.78			Total Lotbed Area (Excludes Roads)

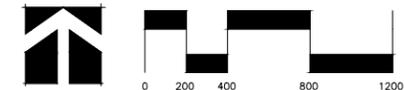
 Overlay Zone

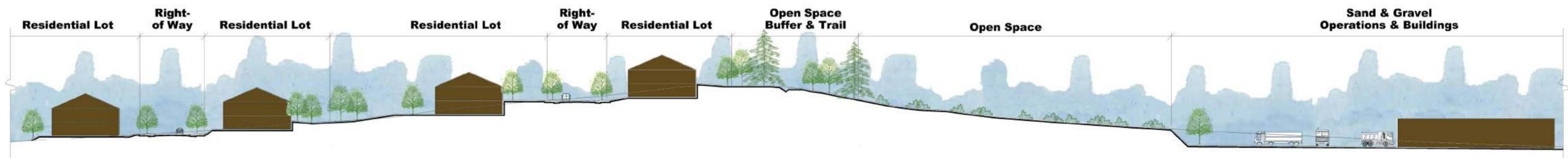


Land Use Element

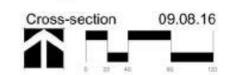
Spring Run, Eagle Mountain City

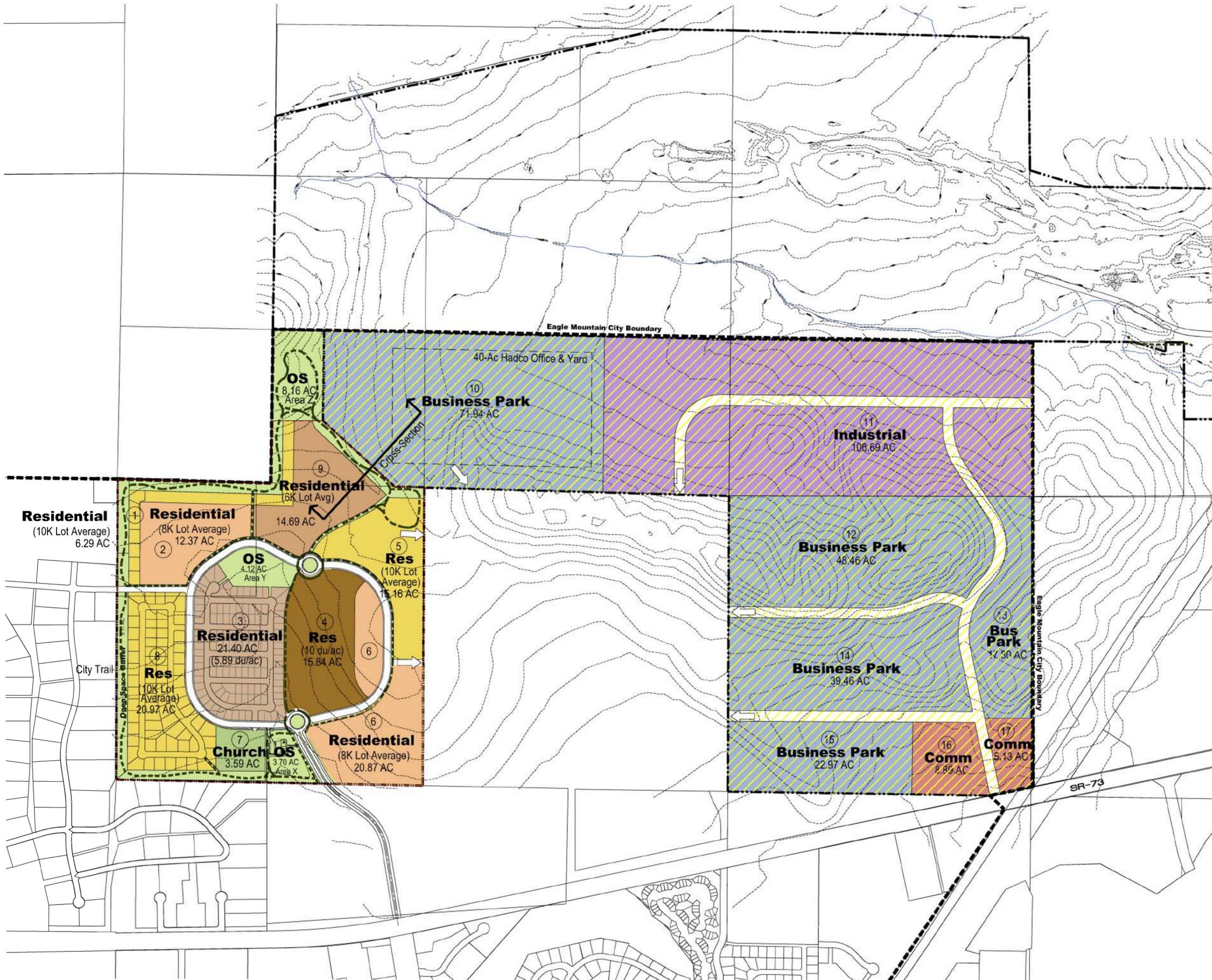
Approved 7.19.2011
Revised 07.08.15





Spring Run
Eagle Mountain City





Land Use Summary

Spring Run Property

Parcel	Land Use	Acres	Density	Units	Tier
1	Residential - 10K Average	6.29	3.2	20	
2	Residential - 6K Average	12.37	4.25	53	
3	Residential - 5k Average	21.40	5.88	126	3
4	Residential-Multi-family	15.84	9.85	156	3
5	Residential - 10K Average	15.16	3.5	53	2
6	Residential - 8K Average	20.87	3.77	79	2
7	Church	3.59		0	
8	Residential - 10K Average	20.97	3.4	71	2
9	Residential - 6K Average	14.69	4.75	70	2
10	Business Park	71.94	n/a	n/a	
11	Industrial	106.69	n/a	n/a	
12	Business Park	48.46	n/a	n/a	
13	Business Park	17.80	n/a	n/a	
14	Business Park	39.46	n/a	n/a	
15	Business Park	22.97	n/a	n/a	
16	Commercial	8.89	n/a	n/a	
17	Commercial	5.13	n/a	n/a	

Open Space - Community Trails	2.50	627	Total Units
Open Space-Neighborhood X	3.70		
Open Space-Neighborhood Y	4.12		
Open Space-Neighborhood Z	8.16		
Open Space-Buffer	15.35	33.83 Ac Total Open Space	
Total	486.35	Total Lotted Area (Excludes Roads)	

Overlay Zone

Potential Future Road Connection

* Open Space within multi-family area to be 20% minimum
1 acre of which shared in OS Area Y

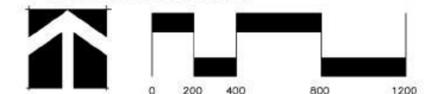


Spring Run

Land Use Element

Spring Run, Eagle Mountain City

Approval Pending
Revised 09.08.16





EAGLE MOUNTAIN CITY
Planning Commission Staff Report
SEPTEMBER 13TH 2016

Project: Scenic Mountain
Applicant: Dylan Young
Request: Master Development Plan Amendment
Type of Action: Public Hearing, Action Item: Recommendation to City Council

Preface

This application is to amend the 34.82 acre Scenic Mountain Master Development Plan, located east of Mt. Airey Drive, on Inverness Lane south of Cory Wride Memorial Highway (SR-73).

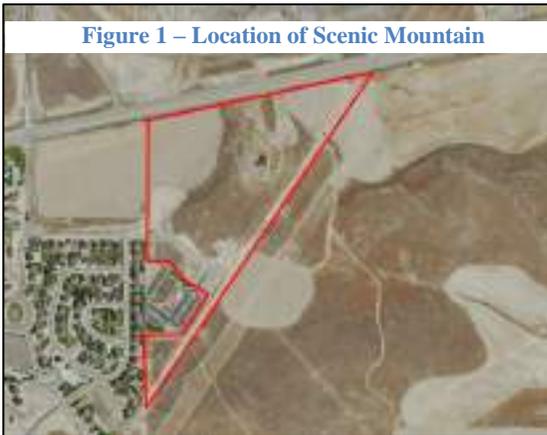


Figure 1 – Location of Scenic Mountain

Background

On September 1st 2009 the Eagle Mountain City Council approved the Scenic Mountain Master Development Agreement which vested the Scenic Mountain project with **28 acres** of Residential zoning at a density of 13 units per acre, for a total of up to 364 units, while requiring not less than **6.6 acres of improved open space**.

On October 6th 2009 a 4.2 acre church site was approved, that area has now been removed from the applicant's proposal.

A large portion of the project is expected to be affected by the planned expansion of SR-73. The applicant has been in contact with UDOT, and it is believed that 7.15 acres of property within the Scenic Mountain Master Development Plan will be acquired to facilitate road expansion.

Proposal

In addition to planning for the expansion of SR-73 the applicant has indicated that their desire to amend the Master Development Plan stems from a lack of flexibility within the currently approved MDA/MDP. The applicant's proposal realigns major roads within the development, and creates two vague development pods.

The first proposed pod is 7.19 acres and is designated as the "**Flex Use Pod**" and it contains Tier III, IV and Commercial" allowing up to 120 Residential Units and/or commercial use, for a density of 16.69 units per acre.

The second pod is 27.63 acres and is designated as the "**Tier III Pod**" allowing for up to 169 residential units, for a density of 6.12 units per acre.

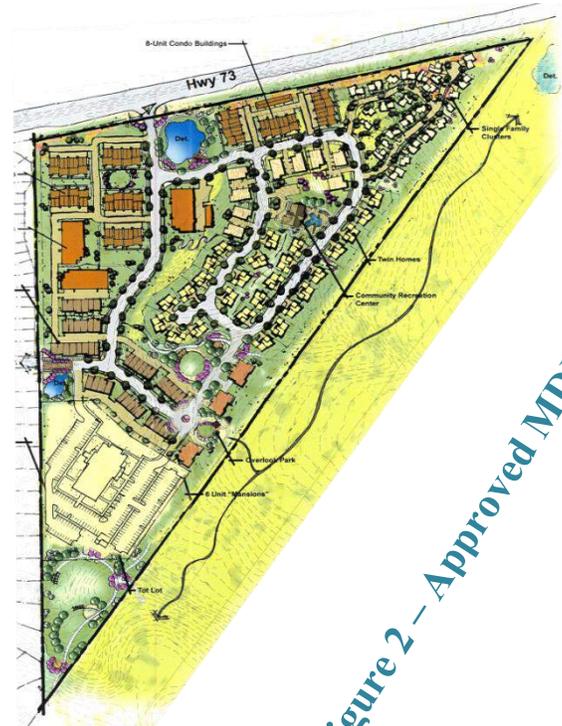


Figure 2 – Approved MDP

Under the applicant's proposal the development would be vested with a maximum of **289** units and a maximum project density of 10.14 units per acre.

It should be Noted that under the approved MDP only 28 acres of property was vested with residential density, under the applicant's plan 34.82 acres of property is vested, including 6.32 acres of unbuildable property.

A total of 7.15 Acres of land has been marked for expansion of State Road 73, including 1.74 acres within the **Flex Use Pod**, and 5.41 acres within the **Tier III Pod**. Assuming UDOT purchases the entire 7.15 acre parcel, the project size would be reduced to 27.67 acres, and a maximum of 227 units, a reduction of 62 units. $\{(1.74 * 16.70 = 29 \text{ units}) + (5.41 * 6.12 = 33 \text{ units})\}$



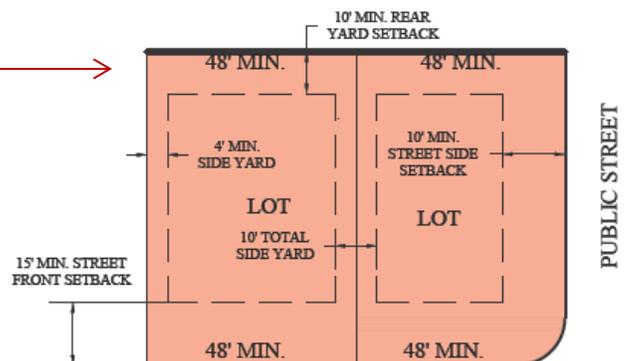
Figure 3 Proposed MDP

Items for Consideration

The following are items that require additional consideration for which you, the Planning Commission, are requested to provide feedback and recommendation to the City Council.

Setbacks: The applicant is proposing the following setback details for Cluster Lots:

- 15 foot front yard setback
- 10 foot rear yard setback
- 4 foot side yard setbacks with a minimum of 10 feet between buildings (e.g. if lot A has a side yard setback of 4' lot B must have a side yard setback of at least 6' to maintain 10' between structures)
- 10 foot street side, side yard setback.



The proposed setbacks do not comply with Standard Tier III single family setbacks which are included below:

- 15 foot front yard setback
- 22 foot driveway setback
- 20 foot rear yard setback
- 5 foot minimum side yard setback with a 15 foot combined side yard setback
- 15 foot street side, side yard setback

It should be noted that the Planning Commission and the City Council have approved setbacks for Cottage Lots which do not comply with EMMC in other developments. It is the opinion of Staff that the applicant should be allowed the same setbacks which were permitted within the Silverlake subdivision for cottage lots, which are provided below:

- 15 foot front yard setback
- 22 foot driveway setback
- 10 foot rear yard setback
- 5 foot minimum side yard setbacks
- 15 foot street side yard setback

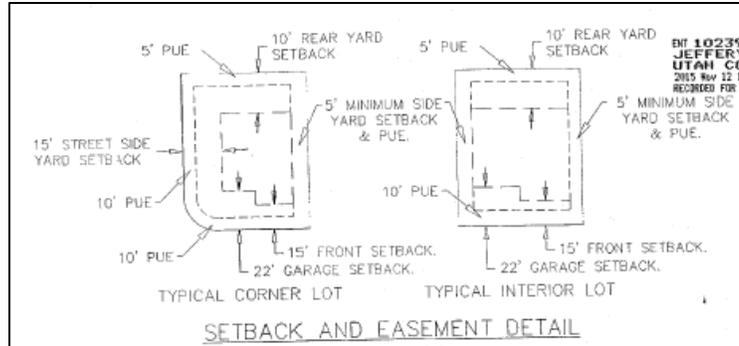


Figure 4 Silverlake 14 Cottage Lot Setbacks

Relevant Codes:

Table 17.25.180(A) Residential Setbacks

Setbacks				
Tier Level	Minimum Front Yard	Minimum Rear Yard	Minimum Side Yard	Minimum Street Side Yard
Base	25'	25'	12' Min 30' Total	20'
Tier I	25'	25'	12' Min 30' Total	20'
Tier II	15'/22' **	20'	5' Min 15' Total	15'
Tier III (Single Family)	15'/22' **	20'	5' Min 15' Total	15'
Distance between Multi-Family Housing Structures				
Tier III (Multi-Family)	20' Council may approve a standard that differs			
Tier IV	20' Council may approve a standard that differs			
** If accessed from the front, garage shall have a minimum front setback of 2'				

17.25.130 C.3 Side Yard, Interior. The two interior side yards on all lots shall not be less than a combination of 15 feet total and no smaller than five feet on one side. If a structure is constructed with less than an eight-foot setback, piping or other approved drainage systems shall be installed in that side yard prior to occupancy, sending the water at least 10 feet downhill away from the foundation (in conformance to the current International Residential Code).

Maximum Number of Townhomes: The proposed Master Development Plan is vague, to address this the applicant has provided staff with a concept plan illustrating how the project may develop, however, the MDP and not the concept plan will serve as the zoning document, and given the vagueness of the proposed map, it is possible that the entire Flex Use area could be condo flats, and the entire Tier III area could be townhome units.

Staff recommends that the number of townhomes within the Tier III pod be limited to a maximum of 61 townhome units as that is the number shown in the concept plan.



Figure 5 Landscape and Concept Plan

Commercial Use: Staff believes the area adjacent to SR-73 is ideally situated to be developed as commercial or office space. Negotiation with the applicant has resulted in commercial uses being included in the “Flex Pod”. Staff recommends that a separate commercial/office space pod be designated, to ensure commercial/office/retail is developed. Alternatively staff would support another mechanism that would ensure commercial uses developed within the Flex Pod in tandem with the high density units.

E.g. a Live Over the Shops (LOTS) plan that required a set percentage of the ground floor development within a condo development to be used for office or commercial/retail use.

Roads:

SR-73: The applicant is proposing two accesses onto State Road 73 from the development; the applicant must get UDOT approval of the plan.

Inverness: Eagle Mountain and Saratoga Springs have discussed a potential road link between the two cities in this area, with Inverness being the likely connection point. It is the opinion of staff that a minimum 53’ of open space shall be preserved allowing a potential future connection into Saratoga Springs. A note shall be placed on the MDP indicating the preserved open space is

intended to allow Inverness to be extended east into Saratoga Springs in the future, and it is a temporary park.

Project Road Layout: Major interior roads should be firmly established in the MDP, and smaller interior roads should be shown as dotted lines that could be rearranged during the platting process.

Questar Access: 10' paved trail/access road, or width as required by Questar must be provided to Questar Facility.

Open Space:

Improved Open Space: The applicant must provide 1,000 square feet of improved open space for every approved unit. Improved open space shall not be located on slopes over 15%.

Relevant Code

17.25.130 Tier II Residential Development Standards B. Open Space Requirements:

The developer shall provide 1,000 square feet per lot to be dedicated as improved open space in all Tier II residential developments in Eagle Mountain City. The planning commission may recommend and the city council may approve that open space requirements are satisfied by the developer paying a fee in lieu according to EMMC 16.35.105(A)(11). Parks and trails must be improved as required by the standards set forth in Chapter 16.35 EMMC.

Elevations: The applicant has provided staff renderings of Townhome units and cottage lots. Townhome elevations largely conform to Multi-family design standards; however, the renderings for the Front Loaded Townhomes (below) don't appear to comply with code.



Relevant Code

17.72.030 Site Design C. Multifamily Parking/Garages. Garages and parking areas should be placed to the rear of buildings, accessed by a service drive. If garages are placed on the front façade, they shall be staggered and set back so as to minimize their appearance from the street. Garages shall *never* dominate the street-facing façade of a building.

Additional map concerns:

Unbuildable Areas: Unbuildable areas shall be shown on the MDP as unimproved open space.

Retention Area: Retention areas shall be shown on the MDP

Possible Motions

The following motions are provided for the benefit of the Planning Commission. They may be read as the motions or referenced when making motions.

If you, the Planning Commission, feel that the MDP complies with the City Code then the following motion is appropriate:

I move that the Planning Commission recommend approval of the Scenic Mountain Master Development Plan to the City Council with the following conditions:*

- 1. Vested Density within the UDOT expansion area may not be transferred to the rest of the project*
- 2. A note shall be added limiting the maximum number of townhome units within the Tier III pod to 61 units*
- 3. UDOT must approve the accesses onto SR-73*
- 4. 53 feet shall be preserved to allow Inverness Lane to potentially be expanded to the east in the future, providing a connection into Saratoga Springs. A note shall be placed on the MDP.*
- 5. 10' paved trail/access road, or width as required by Questar must be provided to Questar Facility*
- 6. Open Space areas shall be shown in Green on the MDP*
- 7. Unbuildable areas shall be shown as unimproved open space*
- 8. Retention areas shall be shown on the MDP*
- 9. Cluster lot setbacks shall be 15 feet in the front yard, 22 feet drive way, 10 feet in the rear yard, a minimum of 5 feet for side yards, with a street side yard setback of 15 feet.*

**(Recommended conditions from staff, additional conditions may be added, and recommended conditions may be removed)*

If you, the Planning Commission, feel that more time, discussion, or information is warranted, or changes to the site plan are necessary prior to a recommendation of approval, and you wish to table or continue the hearing to a later date, than the following motion is appropriate:

I move that the Planning Commission table/continue the Public Hearing to a later date (specify date and reasons).

Attachments

- Approved Master Development Plan
- Proposed Master Development Plan
- Townhome and Cottage Lot Renderings
- Proposed Landscaping Plan
- Concept Map



Land Use Data

PLANNING AREA	LAND USE	AREA (Ac.)	DENSITY (DU/Ac.)	DU	SER. ESTER.	% OF AREA
P-1	MULTIFAMILY - CONDOS	1.7	48	82	18	3.1%
P-2	MULTIFAMILY - CONDOS	2.0	15.1	30	18	4.0%
P-3	MULTIFAMILY - TOWNHOMES	2.0	12.0	24	18	4.0%
P-4	MULTIFAMILY - TOWNHOMES	2.0	15.2	30	18	4.0%
P-5	MULTIFAMILY - TOWNHOMES	3.8	14.8	56	18	8.0%
P-6	MULTIFAMILY - TOWNHOMES	5.0	9.8	49	18	9.0%
P-7	MULTIFAMILY - TOWNHOMES	8.6	12.4	106	18	19.0%
P-8	MULTIFAMILY - TOWNHOMES	2.0	7.4	15	18	3.6%
P-9	MULTIFAMILY - CONDOS	2.0	21.4	43	18	3.6%
SUBTOTAL RESIDENTIAL		28.9	11.8	364		14.8%
CSC-1	COMMUNITY RECREATION CENTER	1.7				3.1%
CSC-2	OPEN SPACE	1.6				4.0%
CSC-3	OPEN SPACE	0.2				0.6%
CSC-4	OPEN SPACE	0.1				0.3%
CSC-5	OPEN SPACE	0.1				0.3%
CSC-6	OPEN SPACE	0.1				0.3%
CSC-7	OPEN SPACE	0.1				0.3%
CSC-8	OPEN SPACE	0.1				0.3%
CSC-9	OPEN SPACE	0.1				0.3%
CSC-10	OPEN SPACE	0.2				0.6%
CSC-11	OPEN SPACE	1.0				2.8%
CSC-12	OPEN SPACE	0.0				0.0%
CSC-13	NON-QUALIFIED OPEN SPACE	5.0				13.9%
CSC-14	NON-QUALIFIED OPEN SPACE	0.2				0.6%
CSC-15	NON-QUALIFIED OPEN SPACE	0.1				0.3%
CSC-16	NON-QUALIFIED OPEN SPACE	0.1				0.3%
SUBTOTAL ALL PARKS & OPEN SPACE		11.8				18.2%
PARKS & OPEN SPACE EXCLUDING UNAVAILABLE LANDS		5.6				18.9%
SCENIC MOUNTAIN TOTAL		39.3	9.3	364		100.0%

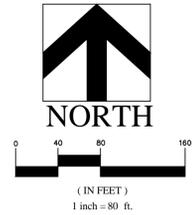
ALL FIGURES ARE APPROXIMATE. BASED ON 100% PLAN.

Scenic Mountain Conceptual Site Plan

Scale: 1" = 100'
November 10, 2008



HUSTON KOPPEL
ARCHITECTS



GENERAL NOTE:

MINIMUM 10 FOOT SEPARATION BETWEEN BUILDINGS.

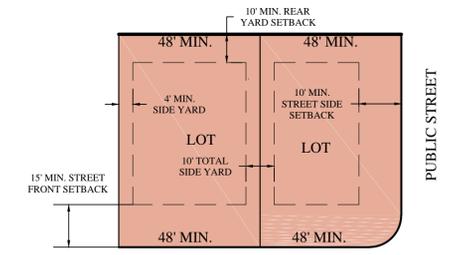
- FLEX USE
- TIER III - TOWNHOMES
- TIER III - CLUSTER HOMES

Description	Square Feet	Acres	Percent
Total Area of Overall Project	1,516,628	34.82	100%
Total Unbuildable Land (25%+ Slopes)	275,175	6.32	18%
Total Buildable Acreage	1,241,453	28.50	82%
Tier III Residential Area	1,203,421	27.63	79%
Flex Use Area	313,207	7.19	21%
Improved Open Space	289,000	6.63	

Densities	Upto No. Units	Units/Acre
Tier III Density	169	6.12
Flex Use Density	120	16.69
Overall Density	289	10.14

Improved Open Space Calculation	Units	Acres
1000 sq feet per unit required	289	6.63

*See conceptual Open Space plan for proposed Improved Open Space areas in Tier III Residential Area



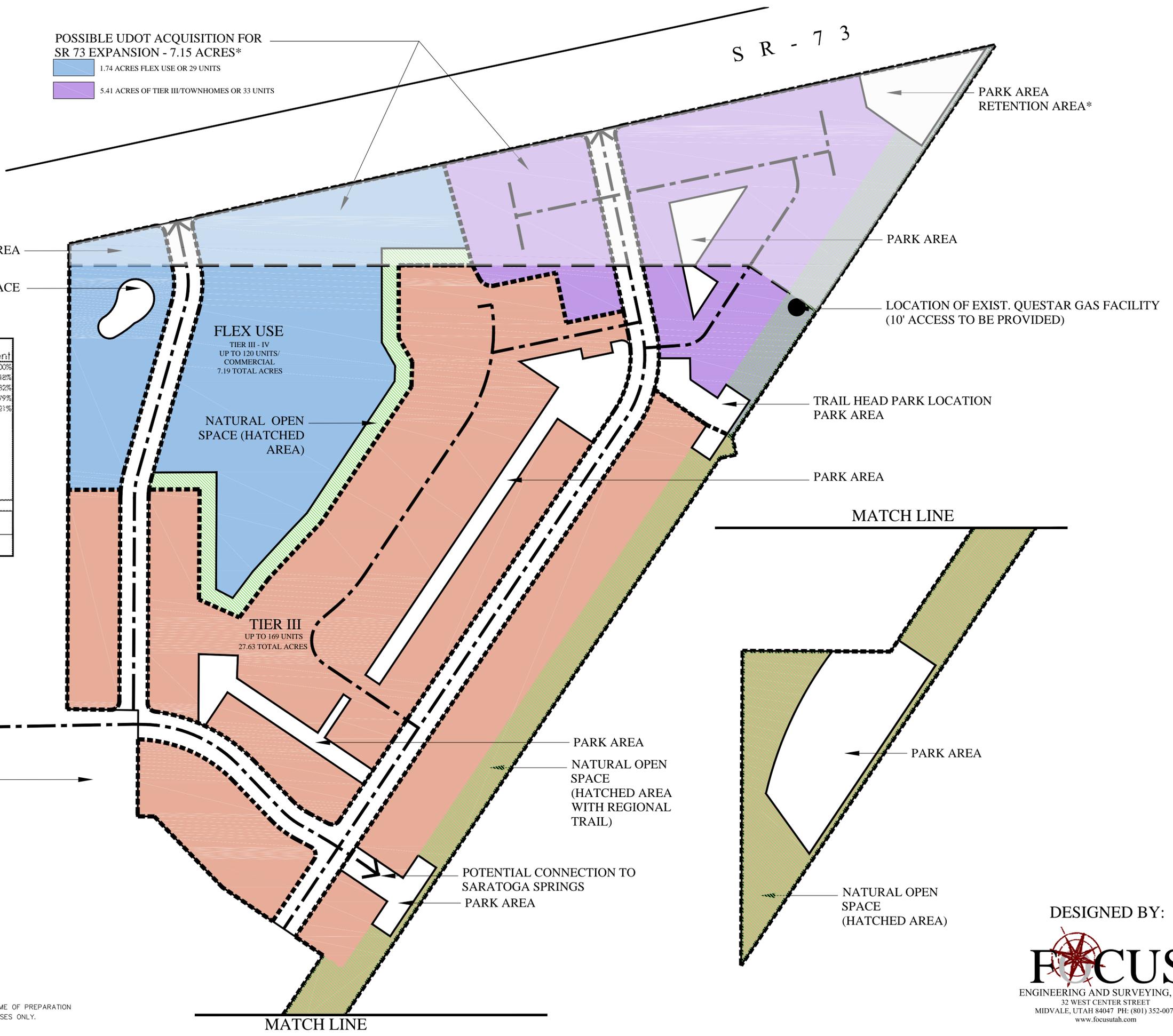
CLUSTER SETBACK DETAIL

GENERAL NOTE:

INFORMATION PROVIDED ON THIS PLAN IS BASED ON THE BEST AVAILABLE DATA AT THE TIME OF PREPARATION AND MAY CHANGE AT ANYTIME FOR ANY REASON. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY.

POSSIBLE UDOT ACQUISITION FOR SR 73 EXPANSION - 7.15 ACRES*

- 1.74 ACRES FLEX USE OR 29 UNITS
- 5.41 ACRES OF TIER III/TOWNHOMES OR 33 UNITS



DESIGNED BY:

FOCUS[®]
ENGINEERING AND SURVEYING, LLC
32 WEST CENTER STREET
MIDVALE, UTAH 84047 PH: (801) 352-0075
www.focusutah.com

Z:_2015\15-220 Scenic Mountain\design 15-220.dwg\concept\Concept T 080716.dwg



FRONT LOADED FRONT ELEVATION

1/8"



ALLEY LOADED FRONT ELEVATION 1/8"



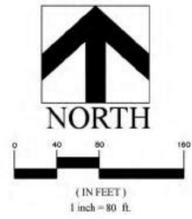
ALLEY LOADED FRONT ELEVATION 1/8"



ALLEY LOADED FRONT ELEVATION 1/8"







PARK AND OPEN SPACE PLAN

Description	Square Feet	Acres	Percent
Total Area of Overall Project	1,516,628	34.82	100%
Total Unbuildable Land (25%+ Slopes)	275,175	6.32	18%
Tier III (Single Family, Pad, and Townhomes)	1,203,421	27.63	79%
Tier IV (Condo Development)	313,207	7.19	21%
Improved Open Space (Six Park Areas)	168,953	3.88	
Undeveloped Open Space	306,988	7.05	
Total Open Space	475,941	10.93	

Denisites	No. Units	Units/Acre
Tier III Density	169	6.12
Tier IV Density	120	16.69
Overall Density	289	8.30

Unit Counts	Unit Count
Single-Family Lots	100
Townhomes (East Village)	61
Condominiums	120
Total	281

Description	Square Feet	Acres	Percent
Park Area 1	24,825	0.57	15%
Park Area 2	12,322	0.28	7%
Park Area 3	35,582	0.82	21%
Park Area 4	16,054	0.37	10%
Park Area 5	10,584	0.24	6%
Park Area 6	53,758	1.23	32%
Park Area 7	15,828	0.36	9%
Total Improved Open Space	168,953	3.88	100%
Total Trail Length (8" Wide)	4,314	Lineal Feet	



PARK AREA 4
TURF, 8' ASPHALT TRAIL AND TREES

PARK AREA 5
8' ASPHALT TRAIL AND TREES

PARK AREA 6
TURF, 8' ASPHALT TRAIL, BENCH W/ SHADE TREES, AND TREES

PARK AREA 3
8' ASPHALT TRAIL, CLUBHOUSE, POOL TREES, AND TURF

PARK AREA 7
TRAILHEAD, PARKING (5 STALLS), TURF, TREES, 10' ASPHALT TRAIL TO QUESTAR FACILITY

PARK AREA 2
BENCHES W/ SHADE TREES
PLAYGROUND - \$35,000
TREES AND TURF

PARK AREA 1
EAGLE MTN SIGN
TURF, TREES, AND 8' ASPHALT TRAIL

GENERAL NOTE:
INFORMATION PROVIDED ON THIS PLAN IS BASED ON THE BEST AVAILABLE DATA AT THE TIME OF PREPARATION AND MAY CHANGE AT ANYTIME FOR ANY REASON. THIS PLAN IS FOR ILLUSTRATIVE PURPOSES ONLY.

DESIGNED BY:
FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com

z:\2015\15-220 Scenic Mountain\design\15-220\dwg\concept\concept_1_07016.dwg



EAGLE MOUNTAIN CITY
Planning Commission Staff Report
SEPTEMBER 13TH 2016

Project: Oquirrh Mountain Ranch
Applicant: Ryan Kent
Request: Amended Preliminary Plat
Type of Action: Public Hearing, Action Item: Recommendation to City Council

Preface

This application is to amend the Oquirrh Mountain Ranch Phase A Preliminary Plat, which is located on an 18.26 acre parcel west of Pony Express Parkway, south of the Lone Tree development.

Background

The Oquirrh Mountain Ranch MDA Amendment and Preliminary Plat Phase A were approved by the City Council on August 18th 2015. Phase A Plat 1 Infrastructure has been installed along Pony Express Parkway between Unity Pass and City Center. The proposal would not make any changes to plat 1.

The applicant is proposing to amend the preliminary plat, relocating and enlarging the park (removing 2 lots), and adding a third phase to the preliminary plat (7 lots).



Items for consideration

The following items require Planning Commission consideration and it is requested that the Commission provide the City Council feedback/recommendations on these issues.

Preliminary Plat Conditions:

The Oquirrh Mountain Ranch Preliminary Plat was previously approved with a number of conditions; the amended preliminary plat shall comply with all conditions of approval of the original Preliminary Plat (included below).

Park and Open Space

The Applicant is providing 103 amenity points and 1.19 acres of improved open space, however, Eagle Mountain Municipal Code (EMMC) requires 126 amenity points and 1.26 acres of improved open space to be provided (55*1,000 SF). An additional 23 amenity points and .07 acres of improved open space must be provided.

Relevant Code:

17.25.130 Tier II Residential Development Standards B. Open Space Requirements:

The developer shall provide 1,000 square feet per lot to be dedicated as improved open space in all Tier II residential developments in Eagle Mountain City. The planning commission may recommend and the city council may approve that open space requirements are satisfied by the developer paying a fee in lieu according to EMMC 16.35.105(A)(11). Parks and trails must be improved as required by the standards set forth in Chapter 16.35 EMMC.

Petroglyph Protection Plan

A petroglyph protection plan was required and approved with this project, to protect the unique and historic petroglyphs which are found on the site. In addition to the protection plan the following conditions of approval were placed on the site and should be included with the amended preliminary plat:

6. *Prior to recording any final plat, Developer shall submit and receive approval from the City for a Petroglyph Park landscaping and preservation plan. The Plan shall comply with Section 7 "Petroglyphs/Rock Art" of the Amended and Restated Oquirrh Mountain Master Development Agreement*
7. *Within 90 days of the first plat being recorded, phase 1 of the Petroglyph Park shall be fully completed.*
8. *Within 90 days of the second plat being recorded, phase 2 of the Petroglyph Park shall be fully completed.*

Community Development Fees

The city and the developer had agreed that Community Development Fees would help offset the costs of developing the Petroglyph Park; however, the city no longer collects the Community Development Fee, and has not collected the fee from the applicant (The applicant would have been required to pay \$36,520 in community development fees prior to the change in policy [\$2,000 * 18.26 Acres]).

The developer has proposed allowing for improvements to the Petroglyph Park to count as open space improvements. Staff feels it is appropriate that required improvements to the Petroglyph Park in excess of \$36,520 be allowed to count as open space improvements/amenity points.

Possible Motions

The following motions are provided for the benefit of the Planning Commission. They may be read as the motions or referenced when making motions.

If you, the Planning Commission, feel that the Amended Preliminary Plat complies with City Code then the following motion is appropriate:

I move that the Planning Commission recommend approval of the Oquirrh Mountain Ranch Amended Preliminary Plat to the City Council with the following conditions:

Recommended conditions of approval

1. *Provide bench drains and inlets to handle storm water runoff on hillside lots that meet City Engineer's approval.*
2. *The 20-foot building setback on the southern boundary is to include a 10-foot landscaped corridor on the applicant's plans and plats – to be one-half of a 20-foot corridor to be cooperatively planned with SITLA, which will provide both the other 10-foot landscaped portion of the corridor and the trail.*
3. *Revise the master development agreement prior to City Council to reflect changes made to the master development plan in June 2014.*
4. *Increase the sidewalk on the southwest side of Oquirrh Ranch Parkway to a minimum of six feet, in accordance with the Master Development Plan.*
5. *Prior to recording any final plat, Developer shall submit and receive approval from the City for a Petroglyph Park landscaping and preservation plan. The Plan shall comply with Section 7 "Petroglyphs/Rock Art" of the Amended and Restated Oquirrh Mountain Master Development Agreement*

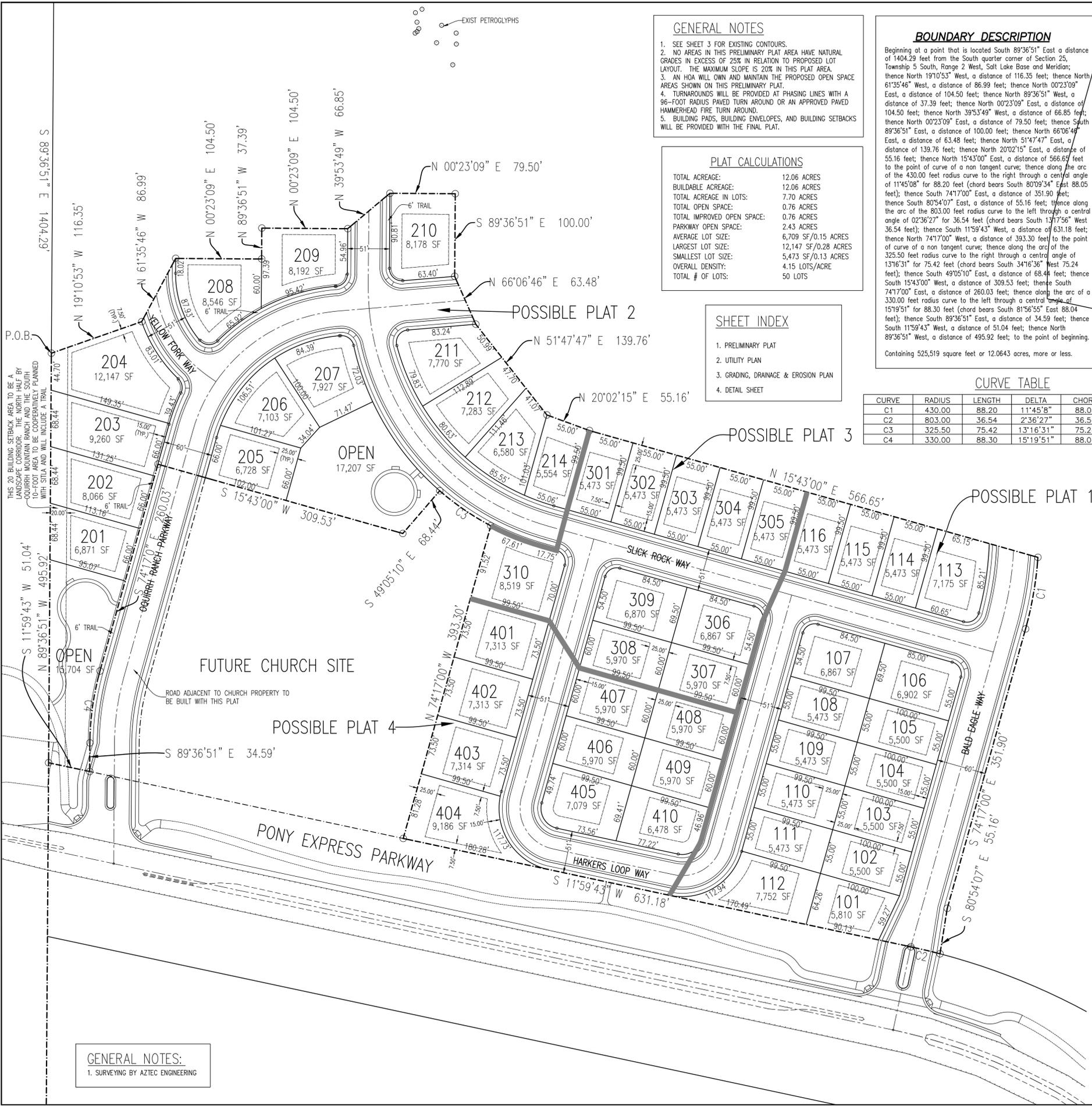
6. *Within 90 days of the first plat being recorded, phase 1 of the Petroglyph Park shall be fully completed.*
7. *Within 90 days of the second plat being recorded, phase 2 of the Petroglyph Park shall be fully completed.*
8. *23 additional amenity points are required, Petroglyph Park improvements over \$36,520 may be counted toward amenity requirements*
9. *The neighborhood park must be fully improved prior to recording the second final plat, or the cost of the improvements shall be divided amongst the lots within the second plat, and a separate cash deposit or cash escrow must be put in place with the City to cover 150% of the pro rata anticipated cost of the improvements.*
10. *The Trailhead Park shall be fully improved prior to issuing any building permits in the second final plat.*
11. *The Pony Express Parkway right-of-way landscaping shall be fully improved according to the timeline in Section 4K of the Amended and Restated Oquirrh Mountain Master Development Agreement.*
12. *Street lighting plan (must include sprinkler timers for power needs) required (with final plats).*
13. *Color and design of fencing materials shall be provided to staff*

If you, the Planning Commission, feel that more time, discussion, or information is warranted, or changes to the site plan are necessary prior to a recommendation of approval, and you wish to table or continue the hearing to a later date, than the following motion is appropriate:

I move that the Planning Commission table/continue the Public Hearing to a later date (specify date and reasons).

Attachments

- Approved Preliminary Plat
- Proposed Amended Preliminary Plat
- Landscaping Plan



GENERAL NOTES

- SEE SHEET 3 FOR EXISTING CONTOURS.
- NO AREAS IN THIS PRELIMINARY PLAT AREA HAVE NATURAL GRADES IN EXCESS OF 25% IN RELATION TO PROPOSED LOT LAYOUT. THE MAXIMUM SLOPE IS 20% IN THIS PLAT AREA.
- AN HOA WILL OWN AND MAINTAIN THE PROPOSED OPEN SPACE AREAS SHOWN ON THIS PRELIMINARY PLAT.
- TURNAROUNDS WILL BE PROVIDED AT PHASING LINES WITH A 96-FOOT RADIUS PAVED TURN AROUND OR AN APPROVED PAVED HAMMERHEAD FIRE TURN AROUND.
- BUILDING PADS, BUILDING ENVELOPES, AND BUILDING SETBACKS WILL BE PROVIDED WITH THE FINAL PLAT.

BOUNDARY DESCRIPTION

Beginning at a point that is located South 89°36'51" East a distance of 1404.29 feet from the South quarter corner of Section 25, Township 5 South, Range 2 West, Salt Lake Base and Meridian; thence North 19°10'53" West, a distance of 116.35 feet; thence North 61°35'46" West, a distance of 86.99 feet; thence North 00°23'09" East, a distance of 104.50 feet; thence North 89°36'51" West, a distance of 37.39 feet; thence North 00°23'09" East, a distance of 104.50 feet; thence North 39°53'49" West, a distance of 66.85 feet; thence North 00°23'09" East, a distance of 79.50 feet; thence South 89°36'51" East, a distance of 100.00 feet; thence North 66°06'46" East, a distance of 63.48 feet; thence North 51°47'47" East, a distance of 139.76 feet; thence North 20°02'15" East, a distance of 55.16 feet; thence North 15°43'00" East, a distance of 566.65 feet to the point of curve of a non tangent curve; thence along the arc of the 430.00 feet radius curve to the right through a central angle of 11°45'08" for 88.20 feet (chord bears South 80°09'34" East 88.05 feet); thence South 74°17'00" East, a distance of 351.90 feet; thence South 80°54'07" East, a distance of 55.16 feet; thence along the arc of the 803.00 feet radius curve to the left through a central angle of 02°36'27" for 36.54 feet (chord bears South 13°17'56" West 36.54 feet); thence South 11°59'43" West, a distance of 631.18 feet; thence North 74°17'00" West, a distance of 393.30 feet to the point of curve of a non tangent curve; thence along the arc of the 325.50 feet radius curve to the right through a central angle of 13°16'31" for 75.42 feet (chord bears South 34°16'36" West 75.24 feet); thence South 49°05'10" East, a distance of 68.44 feet; thence South 15°43'00" West, a distance of 309.53 feet; thence South 74°17'00" East, a distance of 260.03 feet; thence along the arc of a 330.00 feet radius curve to the left through a central angle of 15°19'51" for 88.30 feet (chord bears South 81°56'55" East 88.04 feet); thence South 89°36'51" East, a distance of 34.59 feet; thence South 11°59'43" West, a distance of 51.04 feet; thence North 89°36'51" West, a distance of 495.92 feet; to the point of beginning.

Containing 525,519 square feet or 12.0643 acres, more or less.

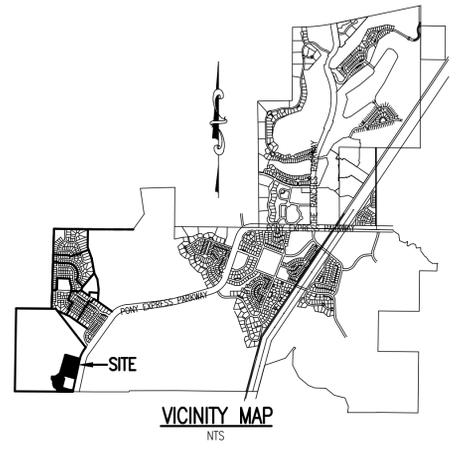
PLAT CALCULATIONS

TOTAL ACREAGE:	12.06 ACRES
BUILDABLE ACREAGE:	12.06 ACRES
TOTAL ACREAGE IN LOTS:	7.70 ACRES
TOTAL OPEN SPACE:	0.76 ACRES
TOTAL IMPROVED OPEN SPACE:	0.76 ACRES
PARKWAY OPEN SPACE:	2.43 ACRES
AVERAGE LOT SIZE:	6,709 SF/0.15 ACRES
LARGEST LOT SIZE:	12,147 SF/0.28 ACRES
SMALLEST LOT SIZE:	5,473 SF/0.13 ACRES
OVERALL DENSITY:	4.15 LOTS/ACRE
TOTAL # OF LOTS:	50 LOTS

- SHEET INDEX**
- PRELIMINARY PLAT
 - UTILITY PLAN
 - GRADING, DRAINAGE & EROSION PLAN
 - DETAIL SHEET

CURVE TABLE

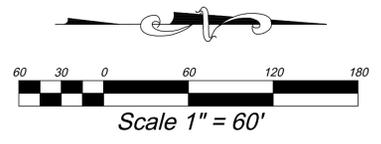
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	430.00	88.20	11°45'8"	88.05	S 80°09'34" E
C2	803.00	36.54	2°36'27"	36.54	S 13°17'56" W
C3	325.50	75.42	13°16'31"	75.24	S 34°16'36" W
C4	330.00	88.30	15°19'51"	88.04	S 81°56'55" E



GENERAL NOTES:

- SURVEYING BY AZTEC ENGINEERING

APPROVED
By SMumford at 4:38 pm, Sep 10, 2015



REVISIONS

Rev.	Date	Description	App'd
1	07/07/15	REVISED PER CITY COMMENTS DATED 06/26/15	

OMR INVESTMENTS, LLC
65 NORTH 920 EAST
OREM, UT 84097
801-372-8687

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; F: (801) 756-4511

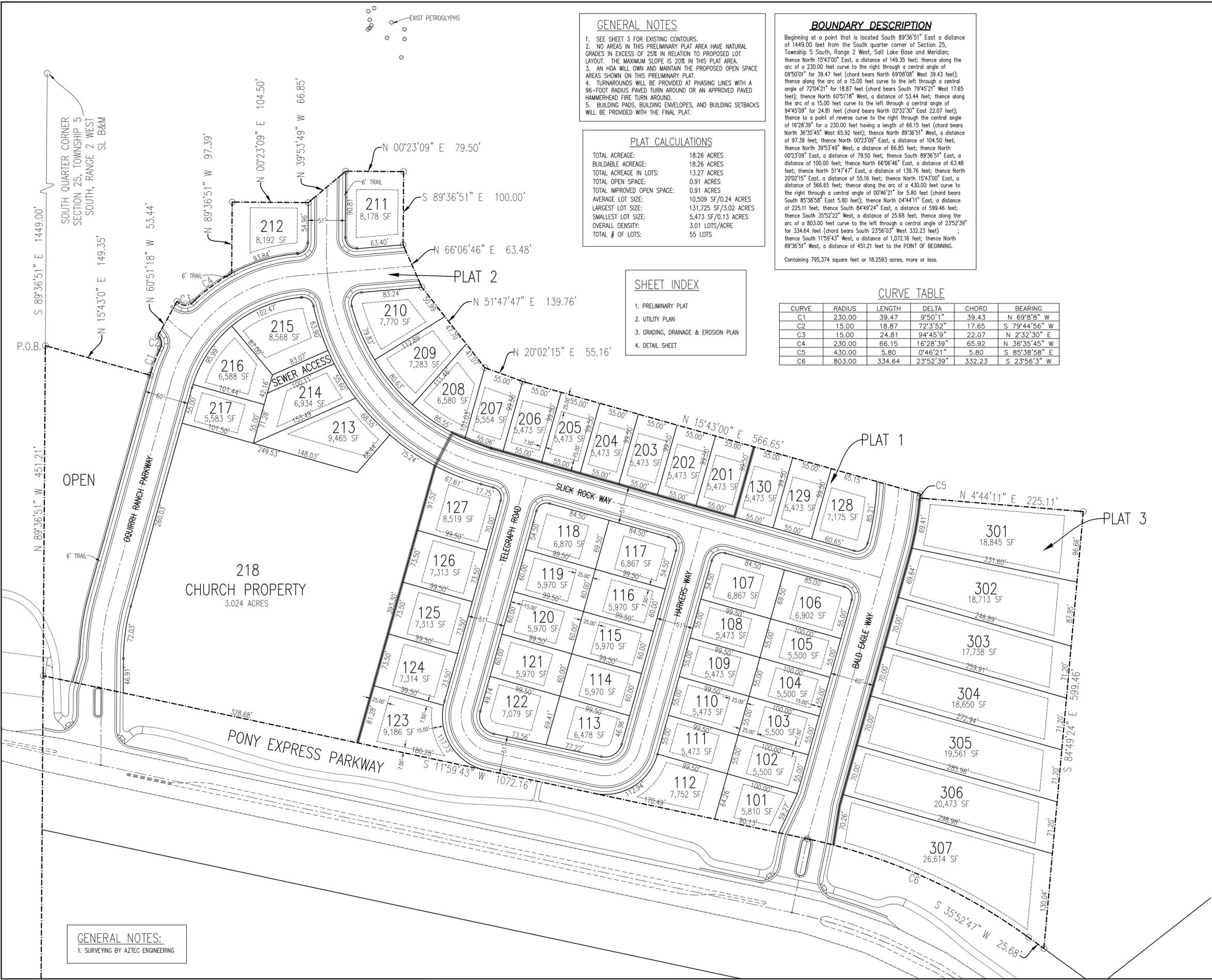
OQUIRRH MOUNTAIN RANCH
EAGLE MOUNTAIN SUBDIVISION UTAH

Drawn by: G.J.Y.
Designed by: G.J.Y.
Checked by: D.W.P.

PRELIMINARY PLAT PHASE A

LOCATED IN THE SOUTHEAST CORNER OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 2 WEST, SLB&M

Scale: 1"=60'
Date: 12/12/14
1 OF 4



GENERAL NOTES

- SEE SHEET 3 FOR EXISTING CONTOURS.
- NO AREAS IN THIS PRELIMINARY PLAT AREA HAVE NATURAL GRADES IN EXCESS OF 25% IN RELATION TO PROPOSED LOT LAYOUT. THE MAXIMUM SLOPE IS 20% IN THIS PLAT AREA.
- AN HOA WILL OWN AND MAINTAIN THE PROPOSED OPEN SPACE AREAS SHOWN ON THIS PRELIMINARY PLAT.
- TURNAROUNDS WILL BE PROVIDED AT PHASING LINES WITH A 96-FOOT RADIUS PAVED TURN AROUND OR AN APPROVED PAVED HAMMERHEAD FIRE TURN AROUND.
- BUILDING PADS, BUILDING ENVELOPES, AND BUILDING SETBACKS WILL BE PROVIDED WITH THE FINAL PLAT.

PLAT CALCULATIONS

TOTAL ACREAGE: 18.26 ACRES
 BUILDABLE ACREAGE: 18.26 ACRES
 TOTAL ACREAGE IN LOTS: 13.27 ACRES
 TOTAL OPEN SPACE: 0.91 ACRES
 TOTAL IMPROVED OPEN SPACE: 0.91 ACRES
 AVERAGE LOT SIZE: 10,509 SF/0.24 ACRES
 LARGEST LOT SIZE: 131,725 SF/3.02 ACRES
 SMALLEST LOT SIZE: 5,473 SF/0.13 ACRES
 OVERALL DENSITY: 3.01 LOTS/ACRE
 TOTAL # OF LOTS: 55 LOTS

BOUNDARY DESCRIPTION

Beginning at a point that is located South 89°36'51" East a distance of 1449.00 feet from the South quarter corner of Section 25, Township 5 South, Range 2 West, Salt Lake Base and Meridian; thence North 15°43'00" East, a distance of 149.35 feet; thence along the arc of a 230.00 feet curve to the right through a central angle of 09°50'01" for 39.47 feet (chord bears North 69°08'08" West 39.43 feet); thence along the arc of a 15.00 feet curve to the left through a central angle of 72°04'21" for 18.87 feet (chord bears South 79°45'21" West 17.65 feet); thence North 60°51'18" West, a distance of 53.44 feet; thence along the arc of a 15.00 feet curve to the left through a central angle of 94°45'09" for 24.81 feet (chord bears North 02°32'30" East 22.07 feet); thence to a point of reverse curve to the right through the central angle of 162°8'39" for a 230.00 feet having a length of 66.15 feet (chord bears North 36°35'45" West 65.92 feet); thence North 89°36'51" West, a distance of 97.39 feet; thence North 00°23'09" East, a distance of 104.50 feet; thence North 39°53'49" West, a distance of 66.85 feet; thence North 00°23'09" East, a distance of 79.50 feet; thence South 89°36'51" East, a distance of 100.00 feet; thence North 66°06'46" East, a distance of 63.48 feet; thence North 51°47'47" East, a distance of 139.76 feet; thence North 20°02'15" East, a distance of 55.16 feet; thence North 15°43'00" East, a distance of 566.65 feet; thence along the arc of a 430.00 feet curve to the right through a central angle of 00°46'21" for 5.80 feet (chord bears South 85°38'58" East 5.80 feet); thence North 04°44'11" East, a distance of 225.11 feet; thence South 84°49'24" East, a distance of 599.46 feet; thence South 35°52'22" West, a distance of 25.68 feet; thence along the arc of a 803.00 feet curve to the left through a central angle of 23°52'39" for 334.64 feet (chord bears South 23°56'03" West 332.23 feet); thence South 11°59'43" West, a distance of 1,072.16 feet; thence North 89°36'51" West, a distance of 451.21 feet to the POINT OF BEGINNING.

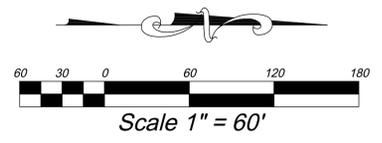
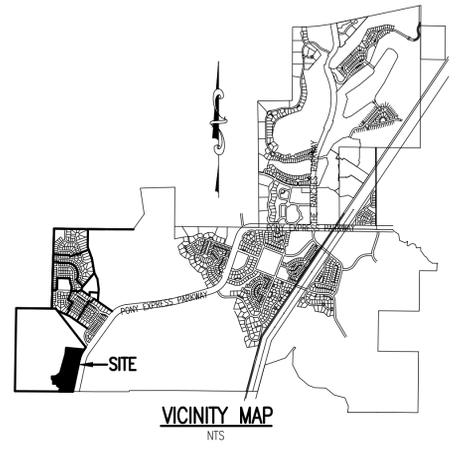
Containing 795,374 square feet or 18,2593 acres, more or less.

SHEET INDEX

- PRELIMINARY PLAT
- UTILITY PLAN
- GRADING, DRAINAGE & EROSION PLAN
- DETAIL SHEET

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	230.00	39.47	9°50'1"	39.43	N 69°08'8" W
C2	15.00	18.87	72°3'52"	17.65	S 79°44'56" W
C3	15.00	24.81	94°45'9"	22.07	N 2°32'30" E
C4	230.00	66.15	16°28'39"	65.92	N 36°35'45" E
C5	430.00	5.80	0°46'21"	5.80	S 85°38'58" E
C6	803.00	334.64	23°52'39"	332.23	S 23°56'3" W



OMR INVESTMENTS, LLC
 65 NORTH 920 EAST
 OREM, UT 84097
 801-372-8687

EXCEL ENGINEERING
 David W. Peterson, P.E., License #270393
 12 West 100 North, Suite 201, American Fork, UT 84003
 P: (801) 756-4504; F: (801) 756-4511

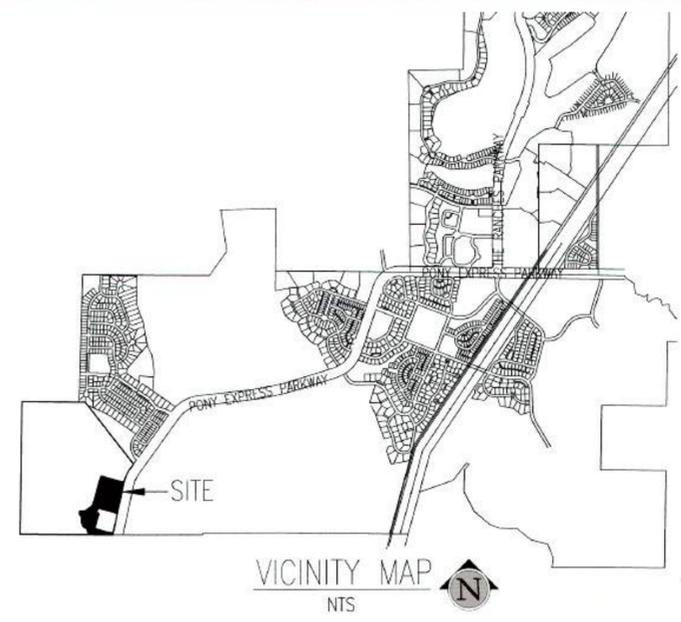
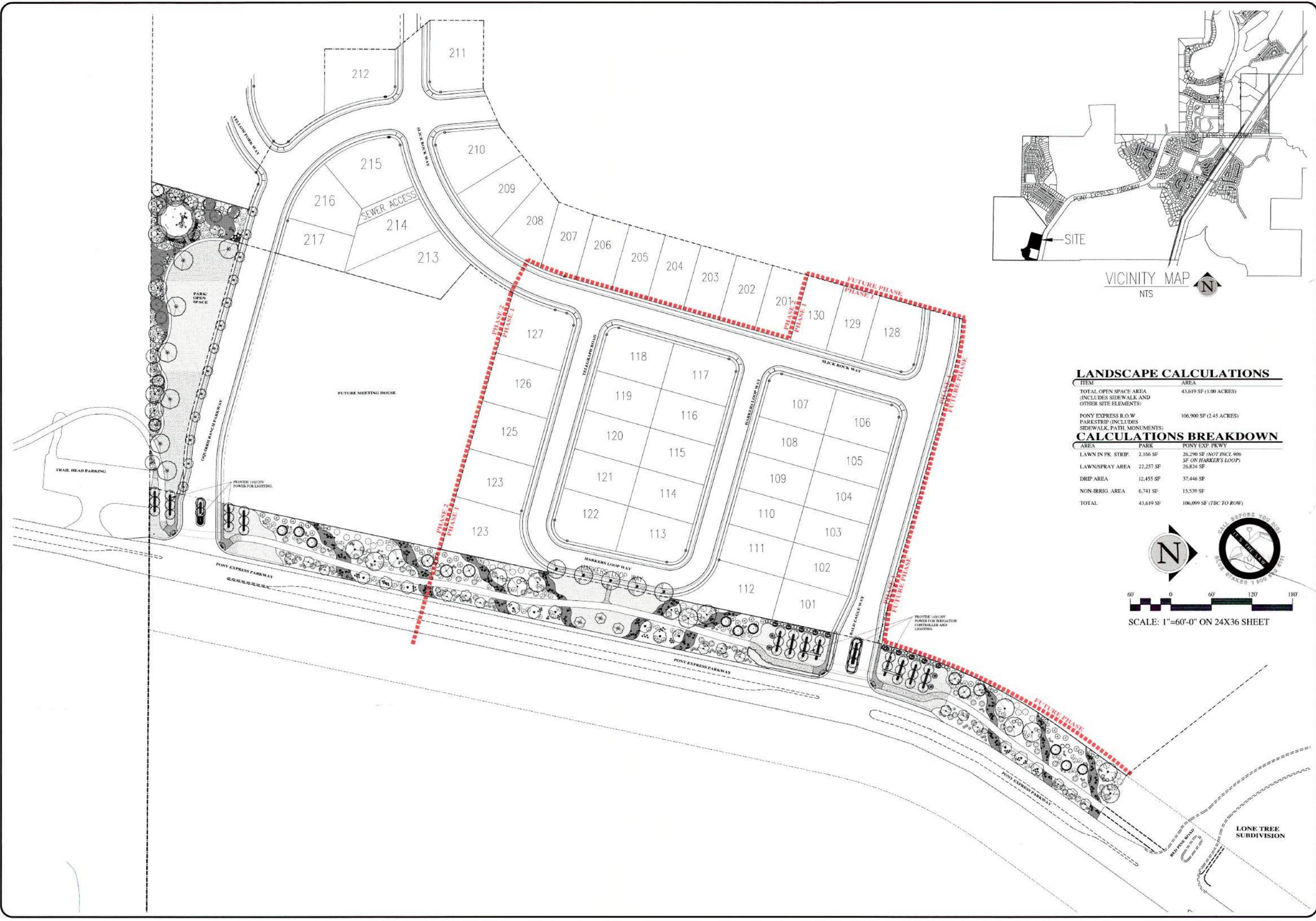
REVISIONS

Rev.	Date	Description	App'd

OQUIRRH MOUNTAIN RANCH
 EAGLE MOUNTAIN SUBDIVISION UTAH
PRELIMINARY PLAT PHASE A
 LOCATED IN THE SOUTHEAST CORNER OF SECTION 25, TOWNSHIP 5 SOUTH, RANGE 2 WEST, SLB&M

Scale: 1"=60'
 Date: 06/13/16
 1 OF 4

GENERAL NOTES:
 1. SURVEYING BY AZTEC ENGINEERING

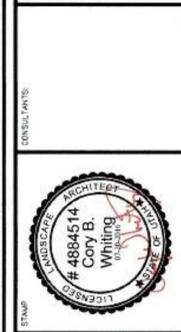
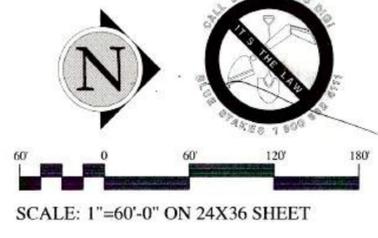


LANDSCAPE CALCULATIONS

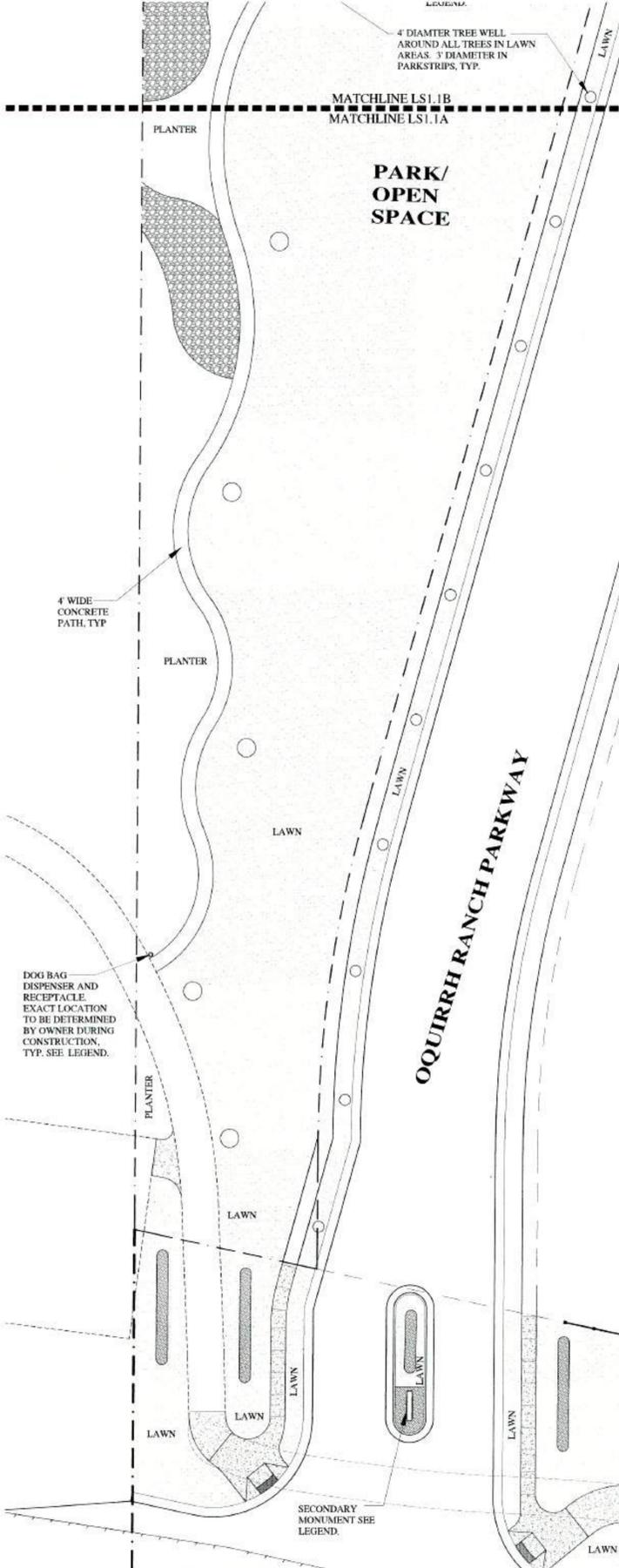
ITEM	AREA
TOTAL OPEN SPACE AREA (INCLUDES SIDEWALK AND OTHER SITE ELEMENTS)	43,619 SF (1.00 ACRES)
PONY EXPRESS R.O.W PARKSTRIP (INCLUDES SIDEWALK, PATH, MONUMENTS)	106,900 SF (2.45 ACRES)

CALCULATIONS BREAKDOWN

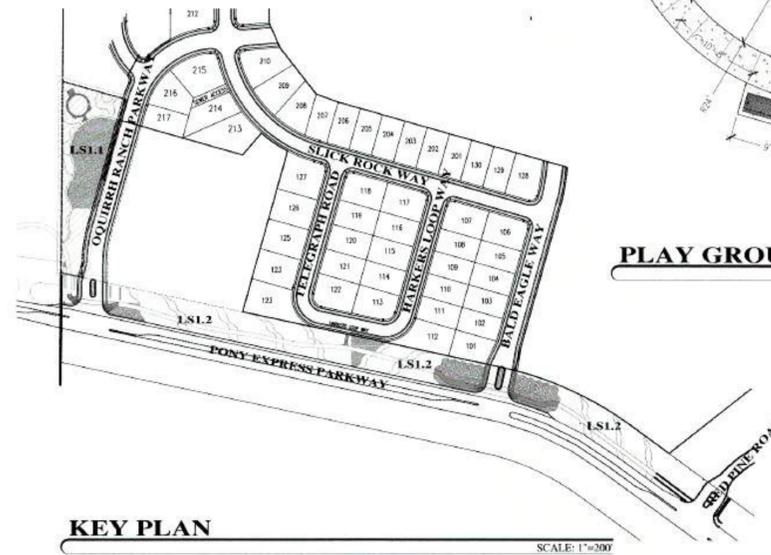
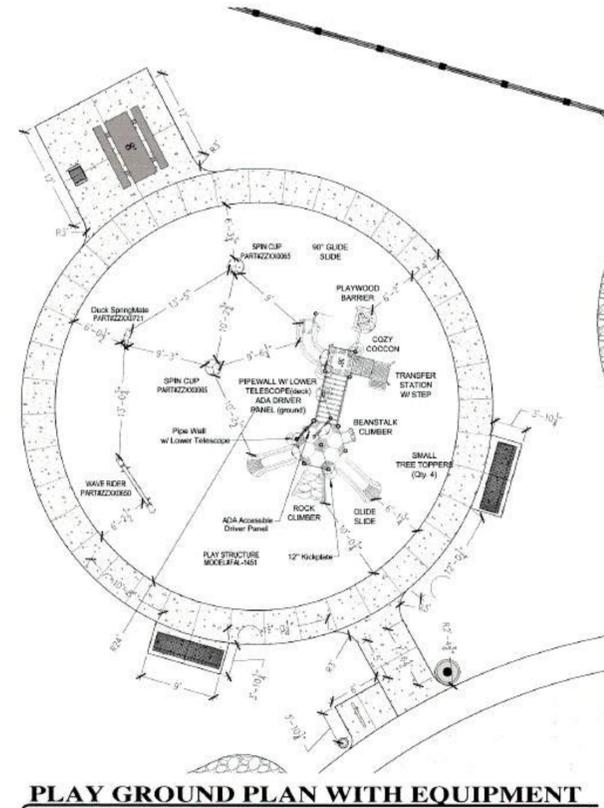
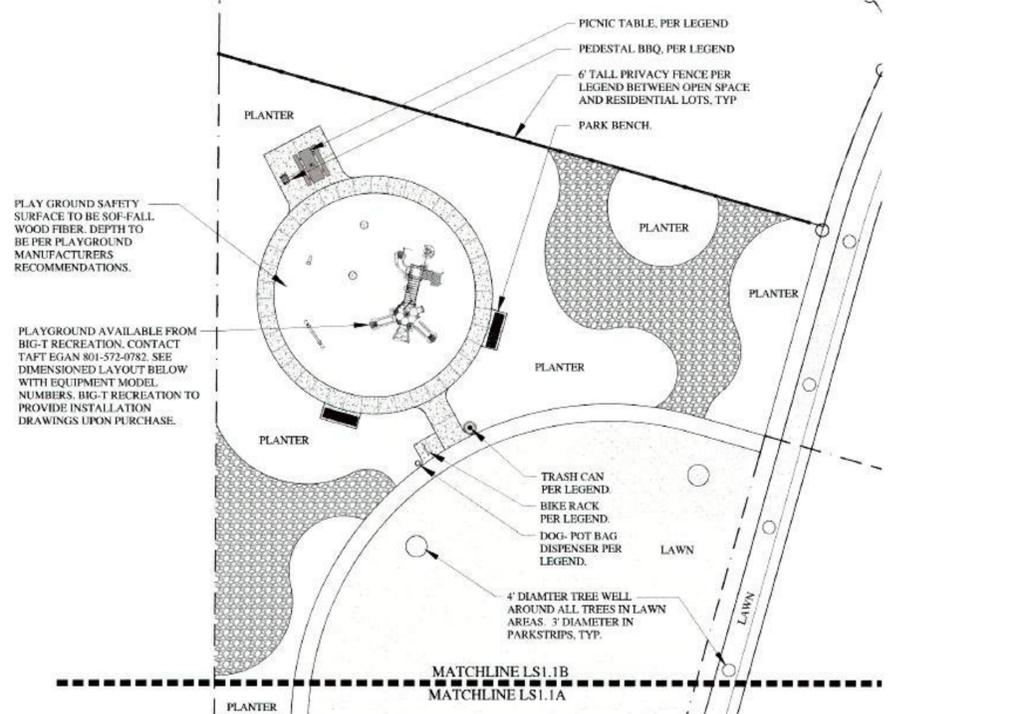
AREA	PARK	PONY EXP. PKWY
LAWN IN PK. STRIP	2,166 SF	26,290 SF (NOT INCL 906 SF ON HARKER'S LOOP)
LAWN/SPRAY AREA	22,257 SF	26,824 SF
DRIP AREA	12,455 SF	37,446 SF
NON-IRRIG. AREA	6,741 SF	15,539 SF
TOTAL	43,619 SF	106,099 SF (TBC TO ROW)



LS1.1A



LS1.1B



- NOTE:
- THIS OVERALL PLAN DOESN'T SHOW TREES, SHRUBS OR PERENNIALS SIZES AS WELL AS SHRUB OR PERENNIAL LOCATIONS. REFER TO PLANTING SHEETS FOR THIS INFORMATION.
 - ALL PLANT MATERIAL SHALL BE SELECTED FROM APPROVED PLANT LIST CONTAINED IN THE OQUIRRH MOUNTAIN RANCH AND THE RANCHES DESIGN GUIDELINES.
 - PLANT SIZE SHALL BE THE MINIMUM REQUIRED BY SUBDIVISION DESIGN GUIDELINES.
 - ALL ROCK MULCH SHALL BE WASHED AND FREE FROM SOIL PRIOR TO INSTALLING.
 - ALL ROCK AREAS TO BE INSTALLED OVER A HEAVY DUTY WEED BARRIER FABRIC. PRIOR TO PLACING ROCK CONTRACTOR SHALL BROADCAST A SLOW RELEASE PRE-EMERGENT HERBICIDE TO TOP OF FABRIC. AFTER PLACING ROCK MULCH CONTRACTOR SHALL APPLY A SECOND APPLICATION OF PRE-EMERGENT HERBICIDE.

SITE ELEMENT LEGEND

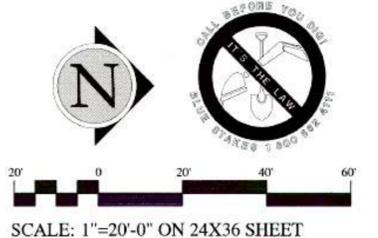
SYMBOL	DESCRIPTION
[Symbol]	NEW 4" THICK (MINIMUM) CONCRETE WALKS & RAMPS (SEE CIVIL PLANS).
[Symbol]	NEW ASPHALT TRAIL. TIE INTO EXISTING ASPHALT TRAIL (SEE CIVIL PLANS).
[Symbol]	LAWN. KENTUCKY BLUE GRASS 3 VARIETY MIX MINIMUM.
[Symbol]	NOT SHOWN
[Symbol]	SMALL DECORATIVE ROCK (WITHOUT FINES) SPREAD AT A 3" DEPTH THESE AREAS TO RECEIVE A MIX OF TALL, MEDIUM AND SMALL SHRUBS. SPREADING EVERGREEN GROUNDCOVER TO ACCENTUATE SHRUB MATERIALS. ROCK COLOR, SIZE AND TYPE TO MATCH THE ADJACENT LONETREE SUBDIVISION. SUBMIT A SAMPLE TO THE OWNER AND CITY FOR APPROVAL. ALL PLANT MATERIAL TO BE WITHIN OQUIRRH MOUNTAIN RANCH AND THE RANCHES DESIGN GUIDELINES.
[Symbol]	LARGE DECORATIVE ROCK (SPREAD 6" DEEP) WITH SINGLE AND GROUPINGS OF VARIOUS SIZED BOULDERS. ROCK MIX SHALL CONSIST OF 50% 2", 25% 3-4" AND 25% 5-6". ENSURE WEED FABRIC IS FULLY COVERED AND NOT VISIBLE UPON INSTALLATION OF ROCK (USE 1/2" TO 1" AS NECESSARY TO FILL IN GAPS/HOLES WHERE FABRIC MAY BE SHOWING). ROCK COLOR, SIZE AND TYPE TO MATCH THE ADJACENT LONETREE SUBDIVISION. SUBMIT A SAMPLE TO THE OWNER AND CITY FOR APPROVAL. ONLY EVERGREEN SHRUBS AND YUCCAS TO BE PLANTED WITHIN THIS ROCK TYPE (ALONG THE STREETScape). OWNER SHALL SELECT COLOR OF ROCK AND BOULDERS. ALL PLANT MATERIAL TO BE WITHIN OQUIRRH MOUNTAIN RANCH AND THE RANCHES DESIGN GUIDELINES.
[Symbol]	SMALL DOUBLE SIDED ENTRY MONUMENT SIGNAGE WITH LIGHTING. LETTERING PER RANCHES HOA GUIDELINES. STONE VENEER TO MATCH OTHER RANCHES SIGNAGE.
[Symbol]	LARGE ENTRY MONUMENT SIGNAGE WITH LIGHTING. LETTERING PER RANCHES HOA GUIDELINES. STONE VENEER TO MATCH OTHER RANCHES SIGNAGE.
[Symbol]	6' TALL PERIMETER FENCE WITH TRANSITION SECTION TO TIE BACK INTO 4' TALL 2-RAIL FENCE PER RANCHES HOA FENCING GUIDELINES SECTION 1.2, TYPICAL ALONG FRONTAGE. FINISH PER RANCHES HOA GUIDELINES.
[Symbol]	4' TALL 2-RAIL FENCE AS TYPICALLY SEEN THROUGHOUT THE RANCHES AND PER 8.4.3 OF THE RANCHES DESIGN GUIDELINE. PROVIDE OPTIONAL 12" WIDE CONCRETE CURB UNDER 2-RAIL FENCE IF DIRECTED BY OWNER, HOA OR EAGLE MOUNTAIN CITY.
[Symbol]	HEAVY DUTY STEEL OR COMPOSITE PLASTIC EDGING BETWEEN LAWN AND PLANTERS AND AROUND TREES AT ENTRY MONUMENT LOCATIONS, TYP.
[Symbol]	36" DIA. TRASH RECEPTACLE FROM PREMIER SITE FURNISHINGS. MODEL #OAK132 (2) AVAILABLE THROUGH BIG-T RECREATION.
[Symbol]	DOG/I POT BAG DISPENSER WITH TRASH. #KDP1003 (2) AVAILABLE THROUGH BIG-T RECREATION.
[Symbol]	8' BENCH FROM PREMIER SITE FURNISHINGS: #MMR008B (3) AVAILABLE THROUGH BIG-T RECREATION.
[Symbol]	8' PICNIC TABLE FROM KAY PARK RECREATION: #82BGA (1)
[Symbol]	PEDESTAL BBQ FROM KAY PARK RECREATION: #SF16 (1)
[Symbol]	5 SPACE BIKE RACK FROM KAY PARK RECREATION: #613GIG (1)

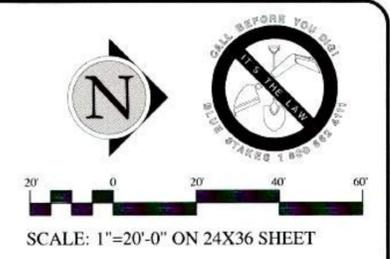
LANDSCAPE CALCULATIONS

ITEM	AREA
TOTAL OPEN SPACE AREA (INCLUDES SIDEWALK AND OTHER SITE ELEMENTS)	43,619 SF (1.00 ACRES)
PONY EXPRESS R.O.W PARKSTRIP (INCLUDES SIDEWALK, PATH, MONUMENTS)	106,909 SF (2.45 ACRES)

CALCULATIONS BREAKDOWN

AREA	PARK	PONY EXP. PKWY
LAWN IN PK. STRIP.	2,166 SF	76,290 SF (NOT INCL 906 SF ON HARKERS LOOP)
LAWNS/SPRAY AREA	22,257 SF	26,824 SF
DRIP AREA	12,455 SF	37,446 SF
NON-IRRIG. AREA	6,741 SF	15,539 SF
TOTAL	43,619 SF	106,099 SF (TBC TO ROW)



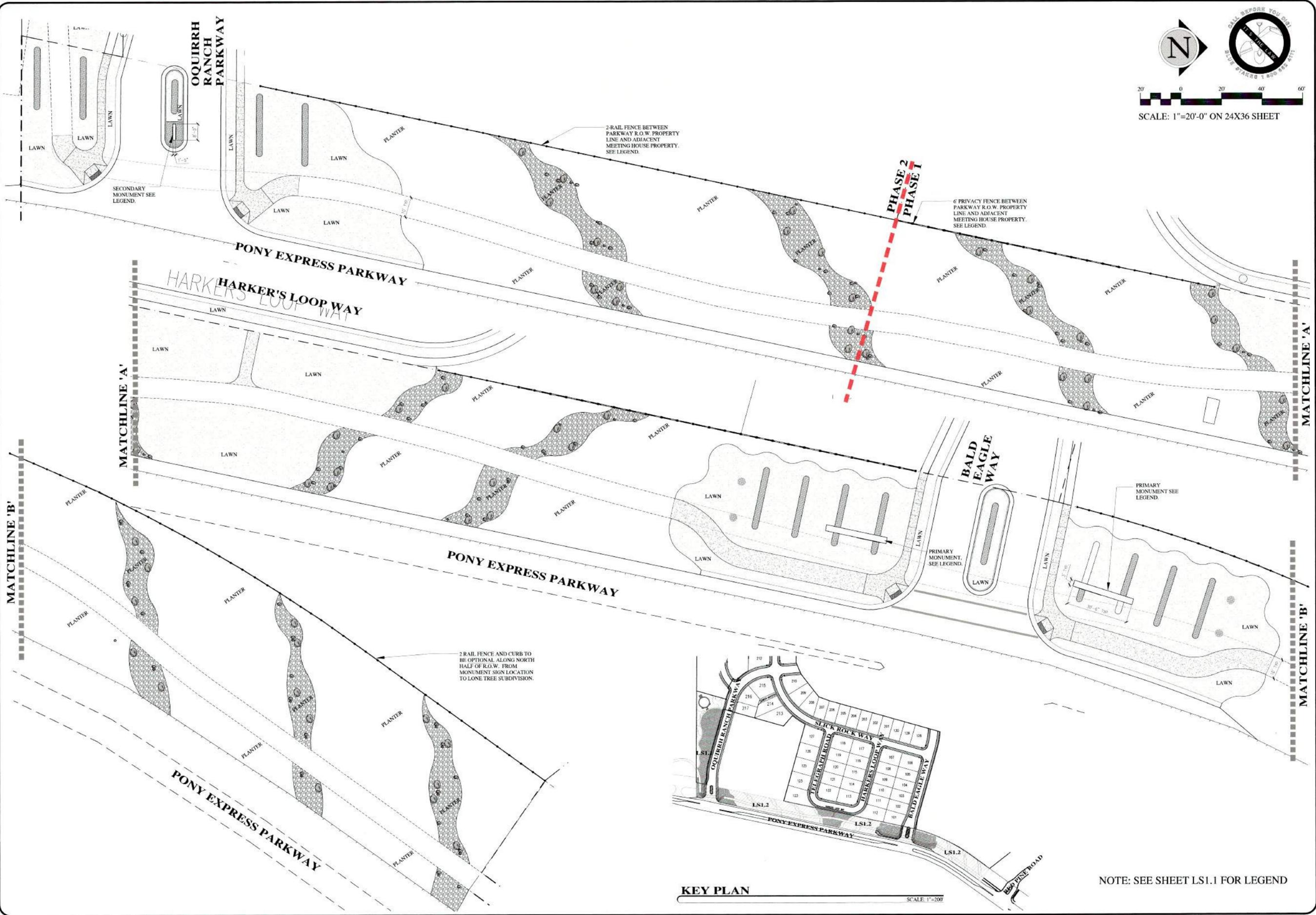


OQUIRRH MOUNTAIN RANCH
PRELIMINARY PLATT SUMMITAL
EAGLE MOUNTAIN - UTAH - 84005

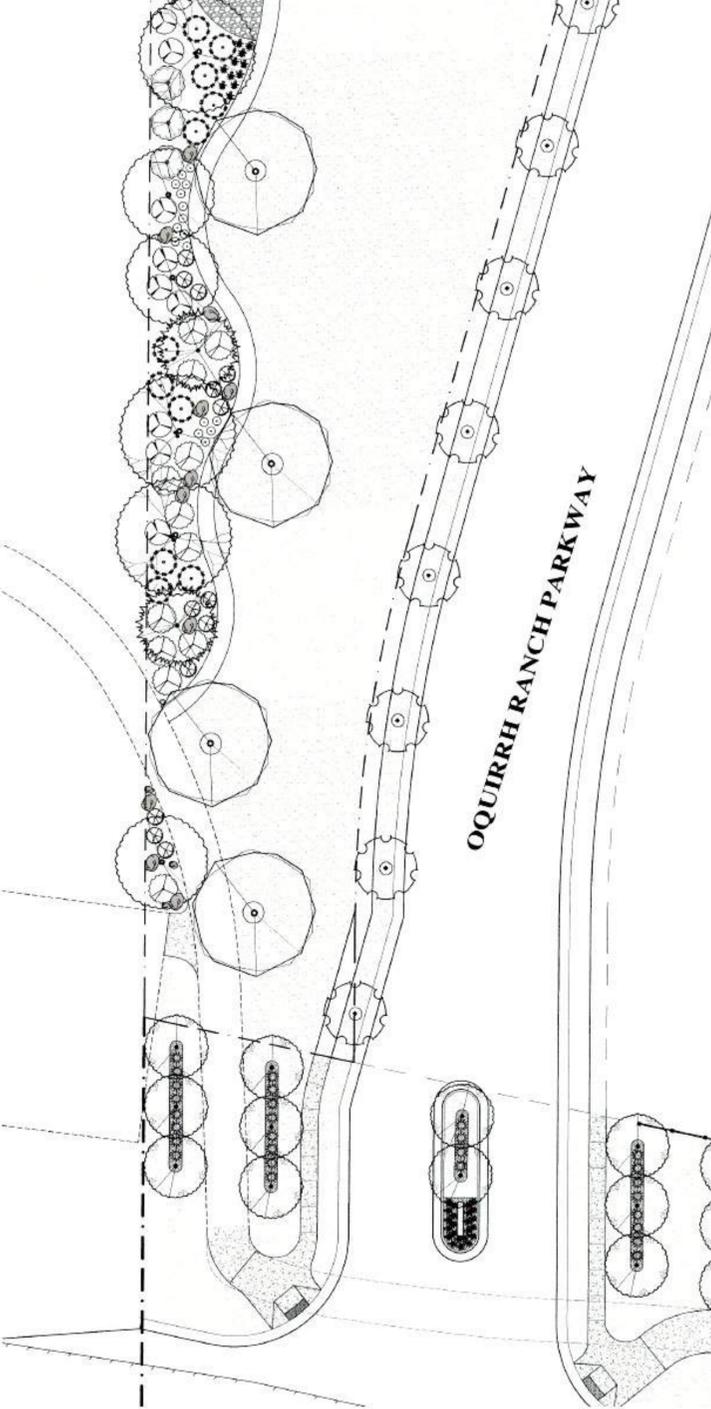
R.O.W. SITE PLAN

DRAWN BY:	SEW/DGW
CHECKED:	CBW
DATE:	1-26-2016
REVISIONS:	3-11-16
	6-22-16
	7-20-16
JOB NO:	16-147

SHEET: **LS1.2**



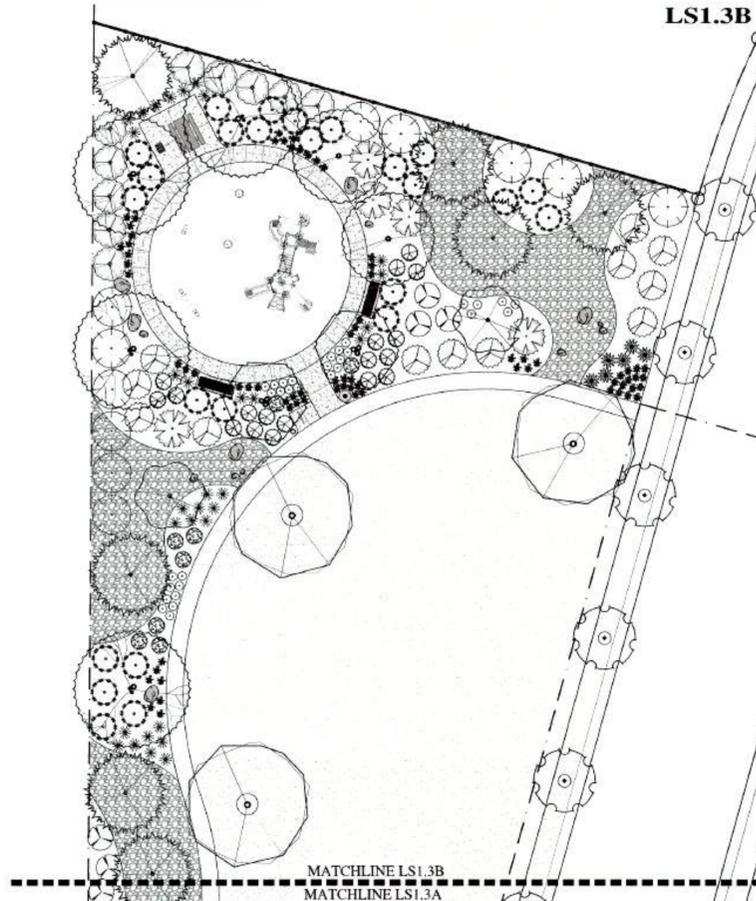
LS1.3A MATCHLINE LS1.3B
MATCHLINE LS1.3A



TREE PLANTING NOTES

- STREET TREES NEED TO BE INSPECTED BY THE CITY BEFORE AND AFTER PLANTING. ALL OTHER TREES WILL BE INSPECTED BEFORE PLANTING.
- TREE HOLE SHALL BE DUG 5 TIMES THE DIAMETER OF THE ROOT BALL AND ONLY AS DEEP AS THE ROOT BALL.
- TREE ROOT BALL SHALL BE AT LEAST 12 INCHES IN DIAMETER PER EACH 1 INCH OF TREE CALIPER AND AT LEAST 18 INCHES DEEP. BALL SHALL BE WRAPPED TIGHTLY WITH NO LOOSE PARTS.
- TREE SHOULD BE SET IN THE CENTER OF THE HOLE AND STOOD UPRIGHT. THE ROOT FLARE SHOULD BE VISIBLE AND LOCATED AT, OR SLIGHTLY ABOVE, EXISTING GROUND LEVEL. THE ROOT FLARE SHOULD NEVER BE BELOW GROUND LEVEL.
- TREE SHALL ONLY BE LIFTED BY THE WIRE BASKET. NEVER LIFT TREE BY GRASPING TRUNK OR LIMBS OR BY ATTACHING ANY TYPE OF SLING OR CHOKER.
- REMOVE AT LEAST THE TOP HALF OF THE WIRE BASKET. PUSH REMAINING BASKET INTO THE BOTTOM OF THE HOLE.
- REMOVE AS MUCH OF THE BURLAP AS POSSIBLE ONCE THE TREE HAS BEEN INSTALLED IN ITS FINAL POSITION. FOLD DOWN REMAINING BURLAP INTO BOTTOM OF HOLE.
- REMOVE ALL STRINGS, ROPE, STAKES, TAPING, TAGGING, FLAGGING, AND ANY OTHER SUCH ITEMS.
- BACKFILL HOLE WITH PARENT MATERIAL AND AMENDED TOPSOIL PER SPECS. COMPACT ONLY ENOUGH TO HOLD TREE IN PLACE. NEVER USE MECHANICAL COMPACTION. TOPSOIL OR SOIL PEP SHALL BE ADDED TO PARENT MATERIAL PER SPECS BUT MAY NOT REPLACE PARENT MATERIAL. BACKFILL MATERIAL SHOULD COVER ROOT FLARE SLIGHTLY BUT SHOULD NEVER BE PILED AGAINST TRUNK. MIX PARENT MATERIAL WITH IMPORTED TOPSOIL AND AMENDMENTS SO THAT SOIL INTERFACING DOES NOT OCCUR.
- WATER GENEROUSLY TO SOAK ENTIRE ROOT BALL AND BACKFILL MATERIAL. A SOIL WATER RING MAY BE FORMED AT THE EDGE OF THE ROOT BALL. BACKFILL MATERIAL MAY NEED TO BE ADDED AS SOIL SETTLES BELOW ROOT FLARE.
- EXCEPT IN HEAVY CLAY SOILS, FORM A MULCH RING AROUND THE BASE OF THE TREE. MULCH RING SHALL BE AT LEAST 5 FEET IN DIAMETER AND 3" TO 4" DEEP. DO NOT PILE MULCH AGAINST TRUNK. WEED FABRIC UNDER WOOD MULCH IS NOT NECESSARY FOR TREES LOCATED IN LAWN AREAS.
- PROPERLY PLANTED TREES GENERALLY DO NOT REQUIRE STAKING. IF STAKING IS NECESSARY, STAKES SHOULD BE DRIVEN INTO THE GROUND OUTSIDE OF THE ROOT BALL. GUYING MATERIAL MUST BE WIDE AND FLEXIBLE. HOSE AND WIRE SHOULD NEVER BE USED. TREES SHALL BE STAKED SO THAT THE TRUNK MAY MOVE NATURALLY IN THE WIND. ANY AND ALL STAKING MATERIALS WILL BE REMOVED AFTER ONE YEAR'S TIME. TREES PLANTED WHILE THE TREE IS NOT DORMANT WILL REQUIRE A TWO YEAR REPLACEMENT GUARANTEE.

LS1.3B



KEY PLAN

SCALE: 1"=200'

SHRUB PLANTING NOTES

- ALL SHRUBS SHALL BE 2 GALLON, 5 GALLON, OR BALL AND BURLAP STOCK PER THE PLANT LEGEND.
- HOLE TO BE DUG AT LEAST TWICE THE DIAMETER OF THE ROOT BALL AND ONLY AS DEEP AS THE ROOT BALL.
- GENTLY REMOVE PLANT FROM THE CONTAINER AND PLACE IN THE CENTER OF THE HOLE. THE TOP OF THE ROOT BALL SHOULD BE AT GROUND LEVEL.
- BACKFILL THE HOLE WITH PARENT MATERIAL. TOPSOIL OR SOIL PEP MAY BE ADDED TO PARENT MATERIAL BUT SHALL NOT REPLACE PARENT MATERIAL.
- COMPACT SOIL ENOUGH TO HOLD PLANT IN PLACE. NEVER USE MECHANICAL COMPACTION.
- GENEROUSLY WATER TO SOAK ENTIRE ROOT BALL AND BACKFILL. A SOIL WATER RING MAY BE FORMED AROUND THE OUTSIDE OF THE ROOT BALL. BACKFILL MATERIAL MAY NEED TO BE ADDED AFTER MATERIAL HAS SETTLED.
- MULCH SHALL BE ADDED TO A DEPTH OF 3" TO 4" INCHES AND AT LEAST TWICE THE WIDTH OF THE ROOT BALL.
- IF FABRIC IS USED, THE HOLE FOR THE PLANT SHOULD BE AT LEAST ONE AND ONE HALF TIMES THE DIAMETER OF THE ROOT BALL TO ALLOW ROOM FOR THE PLANT TO EXPAND AND GROW NATURALLY.
- ** DIMOR SITE FURNISHINGS HAVE BEEN SPECIFIED FOR THIS PROJECT. HOWEVER, THE OWNER MAY SELECT DIFFERENT SITE FURNISHINGS EXACT STYLE, COLOR, AND MODEL OF SITE FURNISHINGS TO BE PER OWNER.

DECIDUOUS TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	OPEN SPACE QTY	R.O.W. QTY
	ACER GINNALA FLAME	1 1/2" CAL PER TRUNK	2	12
	CELTIS OCCIDENTALIS COMMON HACKBERRY	2 1/2" CALIPER	7	9
	GLEDITSIA TRIACANTHOS SHADEMASTER SHADEMASTER HONEY LOCUST	2 1/2" CALIPER	7	5
	MALUS 'ROYAL RAINDROP' ROYAL RAIN DROPS CRABAPPLE	2" CALIPER	0	39
	MALUS 'SPRING SNOW' SPRING SNOW CRABAPPLE	2" CALIPER	5	0
	POPULUS TREMULA 'ERECTA' SWEDISH COLUMNAR ASPEN	2" CALIPER	0	14
	PRUNUS S. 'ROYAL BURGUNDY' ROYAL BURGUNDY FLOWERING CHERRY	2" CALIPER	2	18
	PYRUS CALLERYANA 'CLEVELAND SELECT' CLEVELAND FLOWERING PEAR	1 1/2" CALIPER	13	0

EVERGREEN TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	OPEN SPACE QTY	R.O.W. QTY
	JUNIPERUS SCOPULORUM ROCKY MOUNTAIN JUNIPER	10' TALL	0	9
	PINUS NIGRA AUSTRIAN PINE	10-12' TALL	9	6

DECIDUOUS SHRUBS LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	OPEN SPACE QTY	R.O.W. QTY
	AMELANCHIER UTAHENSIS UTAH SERVICEBERRY (NATIVE AND DROUGHT)	5 GALLON	11	28
	BERBERIS T.A. 'ROSE GLOW' ROSE GLOW BARBERRY	5 GALLON	31	63
	CORNUS ALBA 'BALL HALO' IVORY HALO DOGWOOD	5 GALLON	0	61
	EUONYMUS ALATUS COMPACTA DWARF BURNING BUSH	5 GALLON	16	23
	PRUNUS CISTENA PURPLE SAND CHERRY	5 GALLON	13	33
	RHUS AROMATICA 'GROW LOW' GROW LOW SUMAC	5 GALLON	24	79
	SYMPHORICARPOS X.C. 'HANCOCK' HANCOCK SNOWBERRY/CORAL BERRY	5 GALLON	36	16

EVERGREEN SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	OPEN SPACE QTY	R.O.W. QTY
	MAHONIA REPENS CREEPING OREGON GRAPE	2 GALLON	48	0
	PICEA P.G. PROCUMBENS CREEPING BLUE SPRUCE	5 GALLON	5	65
	PICEA PUNGENS 'MRS CESARINI' MRS CESARINI SHRUB SPRUCE	5 GALLON	8	0

PERENNIALS & GRASSES LEGEND

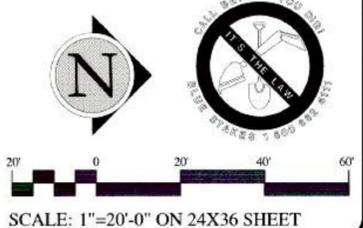
SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	OPEN SPACE QTY	R.O.W. QTY
	CALAMAGROSTIS X.A. KARL FOERSTER KARL FOERSTER FEATHER GRASS	2 GALLON	0	173
	MISCANTHUS SINENSIS 'FLAME GRASS' FLAME MAIDEN GRASS	2 GALLON	32	101
	HEMEROCALLIS STELLA D'ORO ROSY RETURNS	2 GALLON	56	51
	YUCCA FILAMENTOSA 'IVORY TOWER' IVORY TOWER YUCCA	2 GALLON	27	46
	YUCCA FILAMENTOSA 'IVORY TOWER' IVORY TOWER YUCCA	3 GALLON	6	130

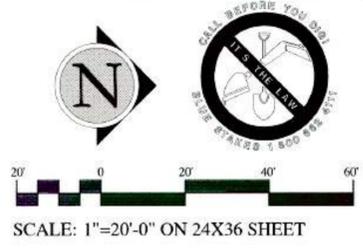
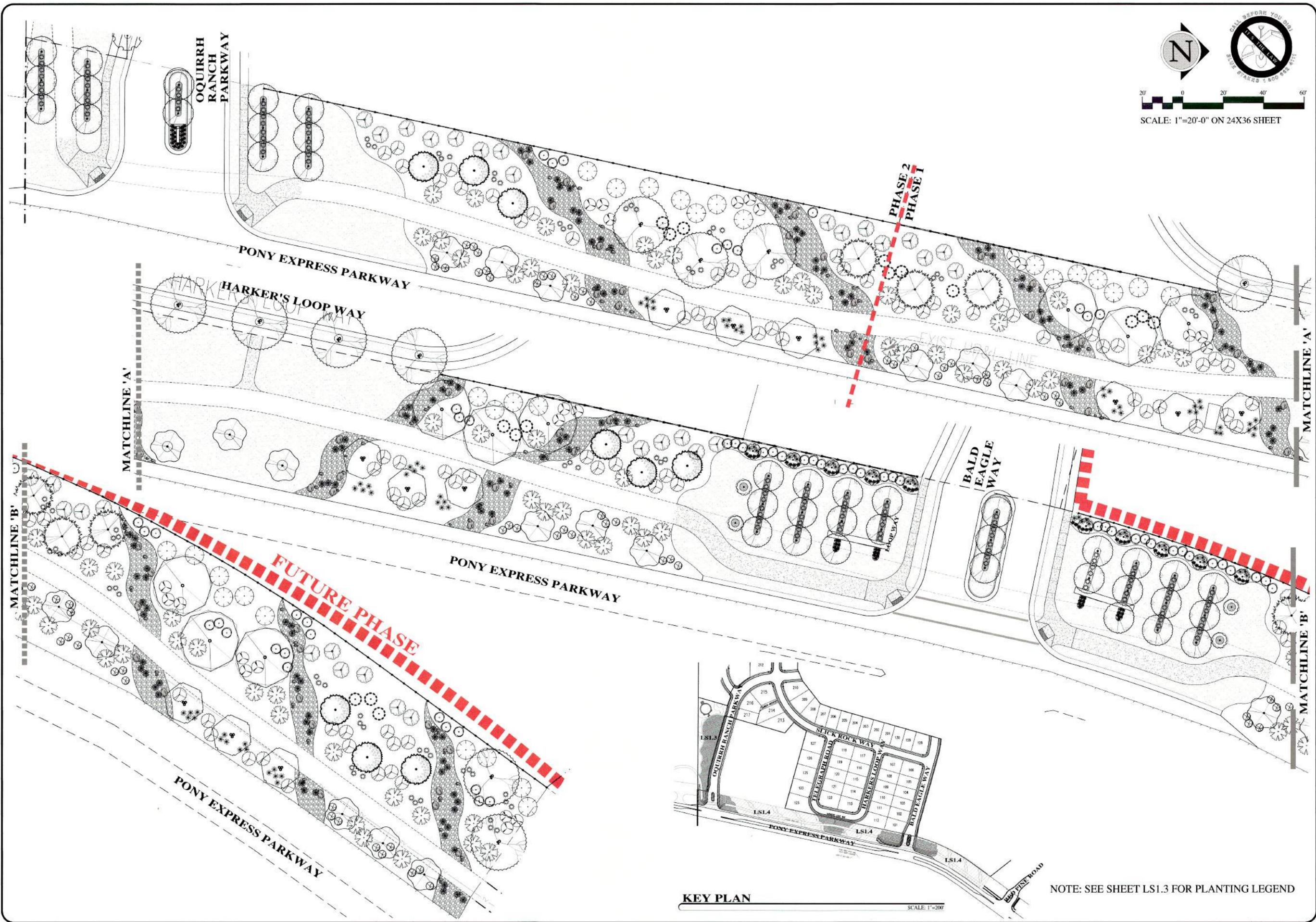
LANDSCAPE NOTES

- SEE SHEET LS1.5 FOR PLANTING SPEC AND ADDITIONAL NOTES. SEE SHEETS 2.1, 2.2, 2.3 AND 2.4 FOR IRRIGATION PLANS, SPECS, DETAILS AND NOTES. SEE SHEET LS1 FOR PETROGLYPHS PROTECTION PLAN. COORDINATE WITH OWNER.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO LANDSCAPE INSTALLATION. REFER TO IRRIGATION PLANS FOR SPECIFICS.
- NEW LAWN AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS BLEND. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
- AMEND TOPSOIL PER OWNER DIRECTIVE. IN-SITE DESIGN GROUP RECOMMENDS THE FOLLOWING: 4" AMENDED AND IMPORTED TOPSOIL PER SPECS TO BE INSTALLED IN ALL NEW LAWN AREAS AND 12" DEPTH OF AMENDED AND IMPORTED TOPSOIL PER SPECS TO BE INSTALLED IN ALL PLANTER AREAS.
- INSTALL 3" DEPTH OF CHOCOLATE COLORED WOOD MULCH IN ALL TREE WELLS LOCATED IN LAWN AREAS. INSTALL DECORATIVE ROCK IN ALL PLANTER BEDS PER PLANS AND LEGENDS.
- CONTRACTOR TO APPLY FOR ALL NECESSARY PERMITS AND PAY FOR THE SAME.
- SEE CIVIL PLANS FOR ALL GRADING, DRAINAGE, SIGNAGE, DIMENSIONING AND HARDSCAPE INFORMATION.
- ALL TREES TO BE BALL AND BURLAP STOCK UNLESS OTHERWISE APPROVED BY THE OWNER AND EAGLE MOUNTAIN CITY.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED. LAY SOD IN ROWS WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 POUND SOD ROLLER.
- REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES.
- HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE. PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.





SCALE: 1"=20'-0" ON 24X36 SHEET

InSite
DESIGN GROUP
Landscape Architecture Land Planning
17 North 470 West American Fork, Utah 84003
801-756-5943 www.in-site-design.com

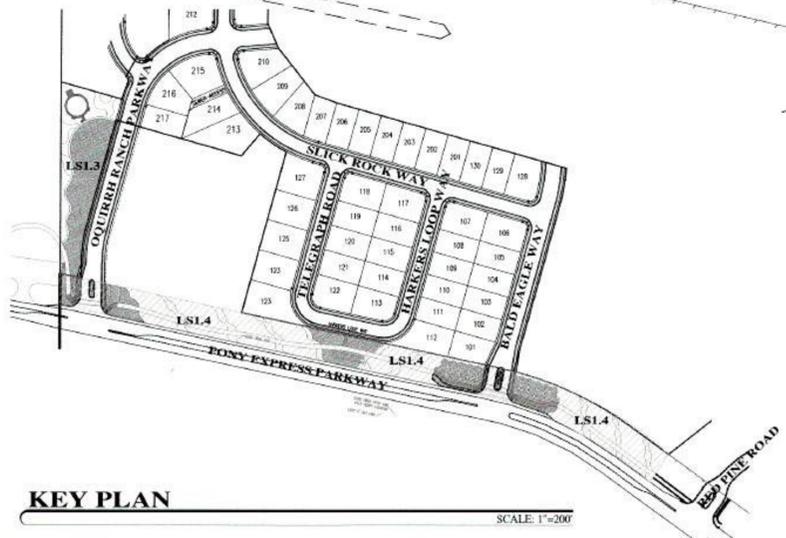


OQUIRRH MOUNTAIN RANCH
PRELIMINARY PLATT SUMMITAL
EAGLE MOUNTAIN - UTAH - 84005

R.O.W.
PLANTING PLAN

DRAWN BY: SEW/DGW
CHECKED: CBW
DATE: 1-26-2016
REVISIONS: 3-11-16
6-22-16
7-20-16
JOB NO. 16-147

SHEET: LS1.4



KEY PLAN

SCALE: 1"=200'

NOTE: SEE SHEET LS1.3 FOR PLANTING LEGEND