

NOTICE AND AGENDA

Notice is hereby given that the Planning Commission of Millville City will hold a meeting on Thursday, **Sept 1, 2016** in the Millville City Office, at 510 East 300 South, Millville, Utah, which meeting shall begin promptly at **8:00 p.m.**

1. Roll call
2. Opening remarks/Pledge of Allegiance.
3. Review and approval of agenda
4. Review and approval of minutes from Aug 18, 2016.
5. Action Items:
 - A. Consideration of zoning clearance for a building permit by Ballstaedt Builders, for a residence to be located at 451 East 200 North in Millville, UT.
 - B. Consideration of zoning clearance for a building permit by Steve Hansen, for an accessory building to be located on the property at 61 West 200 North in Millville, UT.
 - C. Public Hearing for the **Anderson/Howell Subdivision** Preliminary Drawing.
6. Discussion Items:
 - A. City Council Report – review minutes from the Aug 25, 2016 meeting.
 - B. Agenda items for next meeting.
 - C. Other.
7. Calendaring of future Planning Commission Meeting.
8. Assignment of Representative to next City Council Meeting.
9. Adjournment.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during public meetings should notify Adria Davis at (435) 213-0787 at least three working days prior to the meeting.

Notice was posted on Aug 29, 2016 a date not less than 24 hours prior to the date and time of the meeting and remained so posted until after said meeting. A copy of the agenda was sent electronically to the Utah Public Meeting Notice Website (<http://www.utah.gov/pmn/index.html>) on Aug 29, 2016.



Adria Davis, Secretary
Millville City Planning Commission

MILLVILLE PLANNING COMMISSION MEETING

City Hall - 510 East 300 South - Millville, Utah

Aug 18, 2016

1. Roll Call:

Chairman Jim Hart, Commissioners Lynette Dickey, Rachel Thompson.

Others Present:

Development Coordinator Harry Meadows, Ginger Meadows, Councilmember Michael Callahan, Crae and Jenny Williams, Matt Anderson, Mike Anderson, Kristen Gonzalez and Eric Dursteler. Secretary Adria Davis recorded the minutes.

2. Opening Remarks/Pledge of Allegiance

Chairman Hart opened the meeting at 8:06 p.m.
He led those present in the Pledge of Allegiance.

3. Review and Approval of agenda

The agenda for the Planning Commission meeting of Aug 18, 2016 was reviewed. A motion was made by Commissioner Dickey to approve the agenda as presented. Commissioner Thompson seconded. Commissioners Dickey, Thompson and Hart voted yes.

4. Review and Approval of the Minutes of the Planning Commission Meeting

The minutes for the meeting of July 21, 2016 were reviewed. A motion was made by Commissioner Dickey to approve the minutes as outlined. Commissioner Thompson seconded. Commissioners Dickey, Thompson and Hart voted yes.

5.A. Consideration of zoning clearance for a building permit by Crae Williams, for a residence to be located at 25 East 450 North in Millville, Ut

The home will have a suspended garage allowing for storage below. The curb and gutter has already been poured for 450 North, it will have to be cut for the driveway. Commissioner Thompson made a motion to approve the permit. Commissioner Dickey seconded. Commissioners Dickey, Thompson and Hart voted yes.

5.B. Review of Anderson/Howell Subdivision Preliminary Drawing and set a Public Hearing date.

Suggestion was made to add the retention pond area into one of the lots. The homeowner would maintain that property any way they chose; they just couldn't raise the elevation.

A future road could connect 100 East if the city decided to put it in.

Commissioner Dickey made a motion to set a public hearing for Thursday, Sept. 1, 2016.

Commissioner Thompson seconded. Commissioners Hart, Dickey, and Thompson voted yes.

6.A. City Council Reports – review minutes from July 28 and Aug 11, 2016 meetings.

No comments were made.

6.B. Agenda Items for Next Meeting

Public Hearing for Anderson/Howell Subdivision

6.C. Other

The city has decided to place a moratorium on all commercial construction for the next 6 mos. as they will be implementing their new form based code. They are looking for members to serve on the committee that will be developing the ordinances.

The Saunders family has provided their building plans for review since the original building permit application only had a hand drawing. The plans will be added to the original paperwork.

7. Calendaring of future Planning and Zoning Meeting

The next regularly scheduled meeting will be held Thursday, Sept 1, 2016.

8. Assignment of Representative for City Council Meeting

Harry Meadows was asked to represent the commission at the next council meeting.

9. Adjournment

Chairman Hart moved to adjourn the meeting at 8:29 p.m. Commissioner Thompson seconded.



00733

MILLVILLE CITY
ZONING CLEARANCE FOR BUILDING PERMIT
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

APPLICATION INFORMATION

1. BALLSTAEDT BUILDERS
APPLICANT'S NAME

2. DO BOY 543
MAILING ADDRESS

PROVIDENCE VT 84332
CITY STATE ZIP CODE

3. _____ 4. 435-760-3200
HOME TELEPHONE BUSINESS TELEPHONE

5. _____
OWNER'S NAME (if different from applicant)

5. RESIDENTIAL HOME
TYPE OF STRUCTURE

7. 3766 8. R-1
SQUARE FOOTAGE ZONE

9. MOND-AIRE HEIGHTS LOT 5
SUBDIVISION NAME AND LOT NUMBER (if applicable)

10. 03 - 194 - 0005
TAX IDENTIFICATION NUMBER

11. 451 E. 200 N. Millville
ADDRESS OF CONSTRUCTION

12. .33 13. _____
LOT SIZE LOT ELEVATION

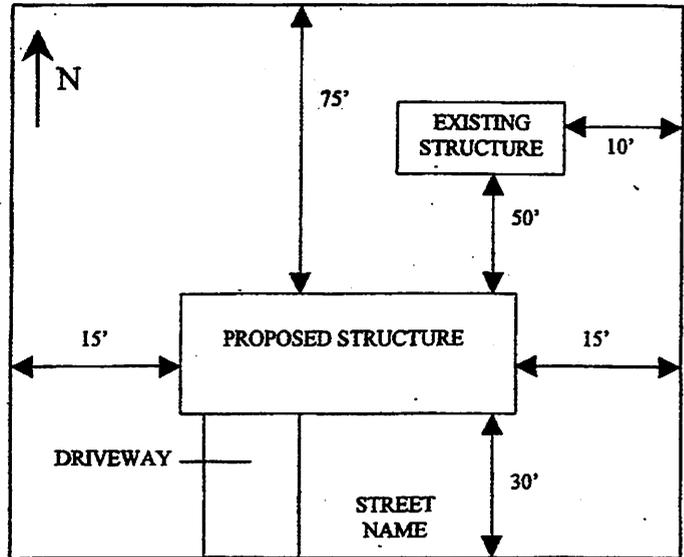
14. SEWER SEPTIC TANK N/A
(choose one)

15. CITY WATER PRIVATE WELL N/A
(choose one)

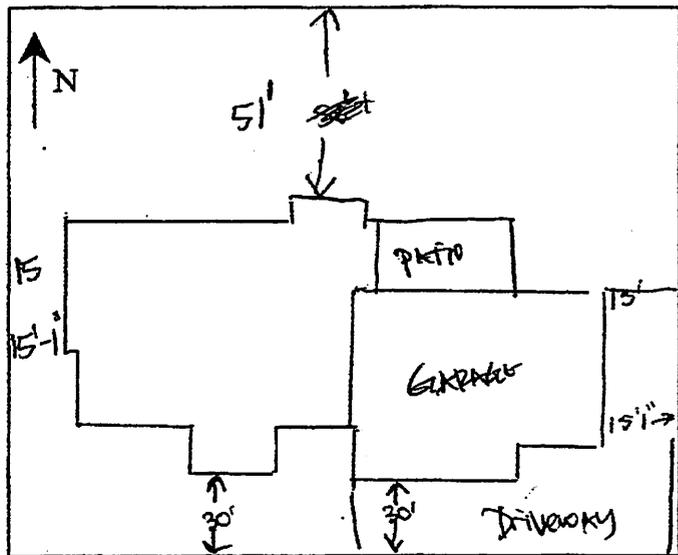
16. ELECTRICITY GAS OTHER UTILITY
(specify in remarks)

17. _____
REMARKS

SAMPLE PLOT PLAN
(numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING _____ DATE _____

FEES PAID - TREASURER _____ DATE _____

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

PROJECT:

MOND- AIR HEIGHTS - LOT 5

451 EAST 200 NORTH STREET
MILLVILLE, UTAH 84326

NEW HOME.
SINGLE FAMILY HOME
GOVERNING CODE:
2012 INTERNATIONAL RESIDENTIAL CODE
(I.R.C.)

SUMMARY (SF)	
AUGUST 14/ 2016	
BASEMENT	1,935
1ST FLOOR	1,883
TOTAL	3,818

OWNER:
NATHAN BALLSTAEDT



SYMBOLS & ABBREVIATIONS

(N)	NEW	F.R.	FIRE RATED
(E)	EXISTING	H.R.	HANDRAIL
2'-6"	DOOR SIZE (2'-6" W x 6'-8" H)	ID.	INTERIOR DESIGNER
4-0/5-0	WINDOW SIZE (4'-0" x 5'-0")	PD.	POCKET DOOR
	S= SLIDER	R&S	ROD AND SHELVES
	F=FIXED	SH	SHELVES
	H=DOUBLE HUNG	SQ. FT.	SQ. FT.
	C=CASEMENT	TEMP.	TEMPERED
		TP	TAMPER PROOF
		WH	WATER HEATER
		WP	WATER PROOF
		WS	WATER SOFTENER
A.F.F.	ABOVE FINISH FLOOR		
AFP	ARC FAULT PROTECTED		
CL	CENTER LINE		
BP	BYPASS DOOR		
DD	DOUBLE DOOR		
DO	DOOR OPENER		
DIA.	DIAMETER		
DISP.	DISPOSAL		
EV	ELECTRICAL VEHICLE		
EQ	EQUAL		
F.D.	FLOOR DRAIN		
		X	REVISION

DRAWING INDEX

SHEET	SHEET TITLE
ARCHITECTURAL	
A0.1	GENERAL INFORMATION & SITE PLAN
A1.0	BASEMENT PLAN
A1.1	FIRST FLOOR PLAN
A1.2	ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS
EM.0	BASEMENT ELECTRICAL & MECHANICAL PLAN
EM.1	FIRST FLOOR ELECTRICAL & MECHANICAL PLAN
STRUCTURAL	
S1	FOOTING & FOUNDATION PLAN
S2	1ST FLOOR FRAMING PLAN
S3	ROOF FRAMING PLAN & SHEAR WALL PLAN
S4	ENGINEERING NOTES
S5	DETAILS

STRUCTURAL ENGINEER:

DESIGN AND DRAFTING:

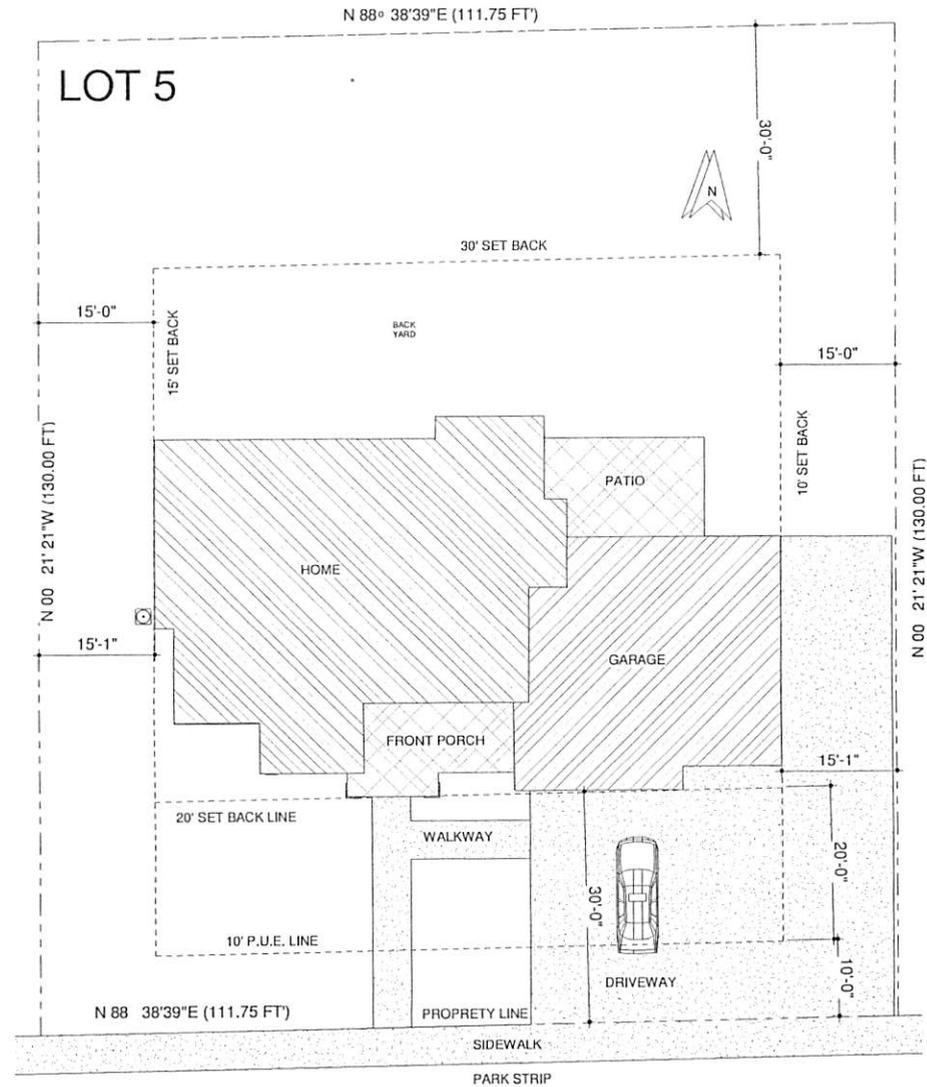
JULIO GARCIA
JulioGDesign@gmail.com

PHONE: 801-336-8593
1143 SURREY DRIVE, NORTH SALT LAKE CITY, UTAH 84054

CITY APPROVAL / NOTES

DATE

1	Site Plan
A0	1/8" = 1'-0"



DESIGN: Julio Garcia Design
 JulioGDesign@gmail.com
 Phone: 801-336-8593
 1143 Surrey Drive, North Salt Lake City, Utah 84054
 PROJECT: MOND- AIR HEIGHTS - LOT 5
 451 EAST 200 NORTH STREET
 MILLVILLE, UTAH 84326
 PHASE DD
 AUGUST 14/ 2016
 REVISIONS
 No. DESCRIPTION
 GENERAL INFORMATION & SITE PLAN
 FULL SCALE DRAWING: 24\"/>

SHEET NO.
A0

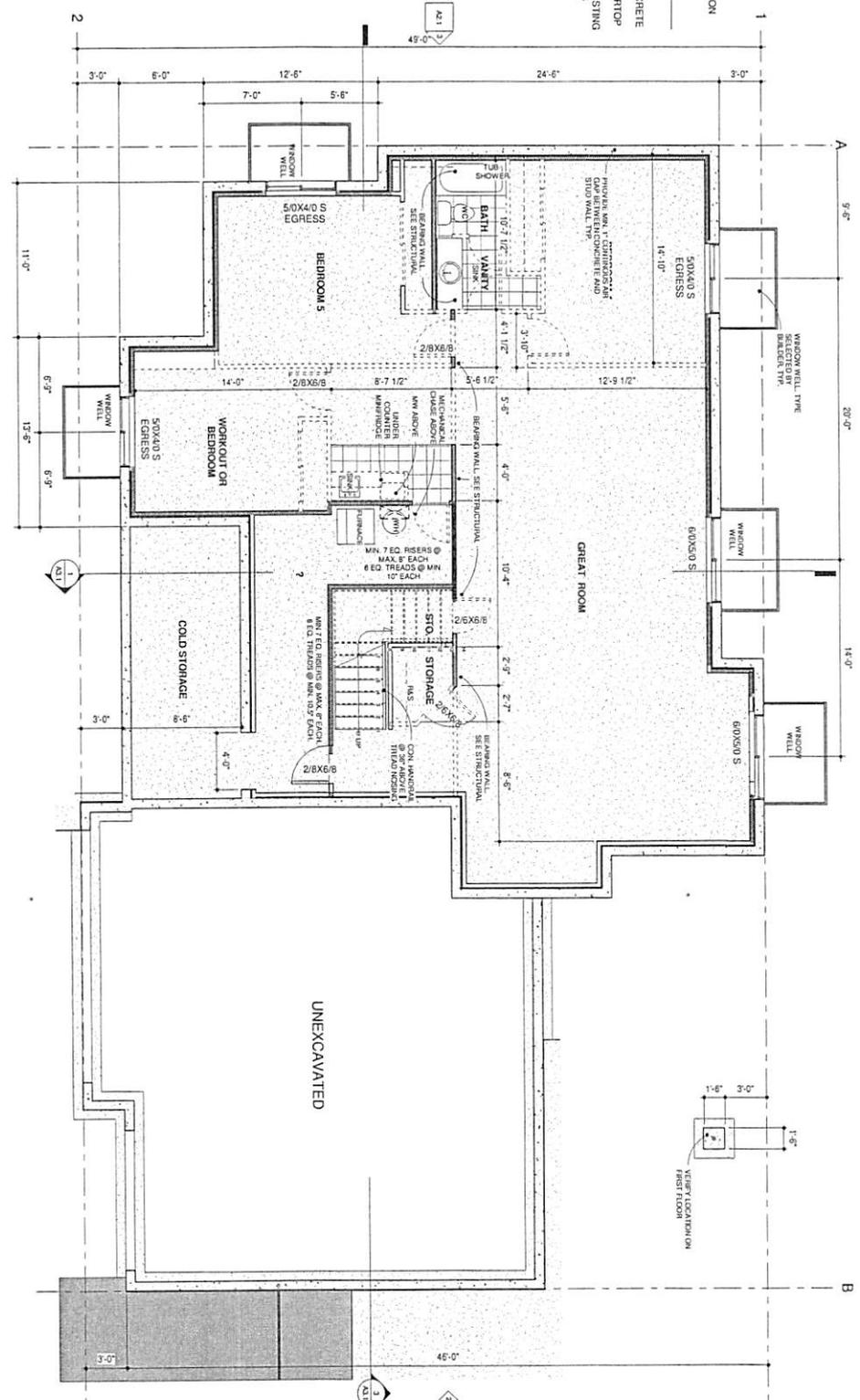
© 2016 11/16/16 MAM

PLAN LEGEND

- CONCRETE WALL
- EARTH
- CONCRETE SLAB
- CARPET FLOORING
- TILE FLOORING
- ENGINEERED WOOD FLOORING
- 2X4 EXTERIOR WALL
- 2X4 STUD WALL
- THERMAL OR ACOUSTIC INSULATION
- FLUORE WALLS ON OVERHEAD ELEMENTS

- NOTES:**
- 1- ALL DIMENSIONS TO STUD FACE.
 - 2- PROVIDE 1" AIR SPACE BETWEEN CONCRETE AND STUD WALL.
 - 3- ALL STUD WALLS TO BE BUILT BY CABINET COUNTERTOP MANUFACTURER, BUILD PER 8 OWNER.
 - 4- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ALL COMPONENTS INSTALLATION.

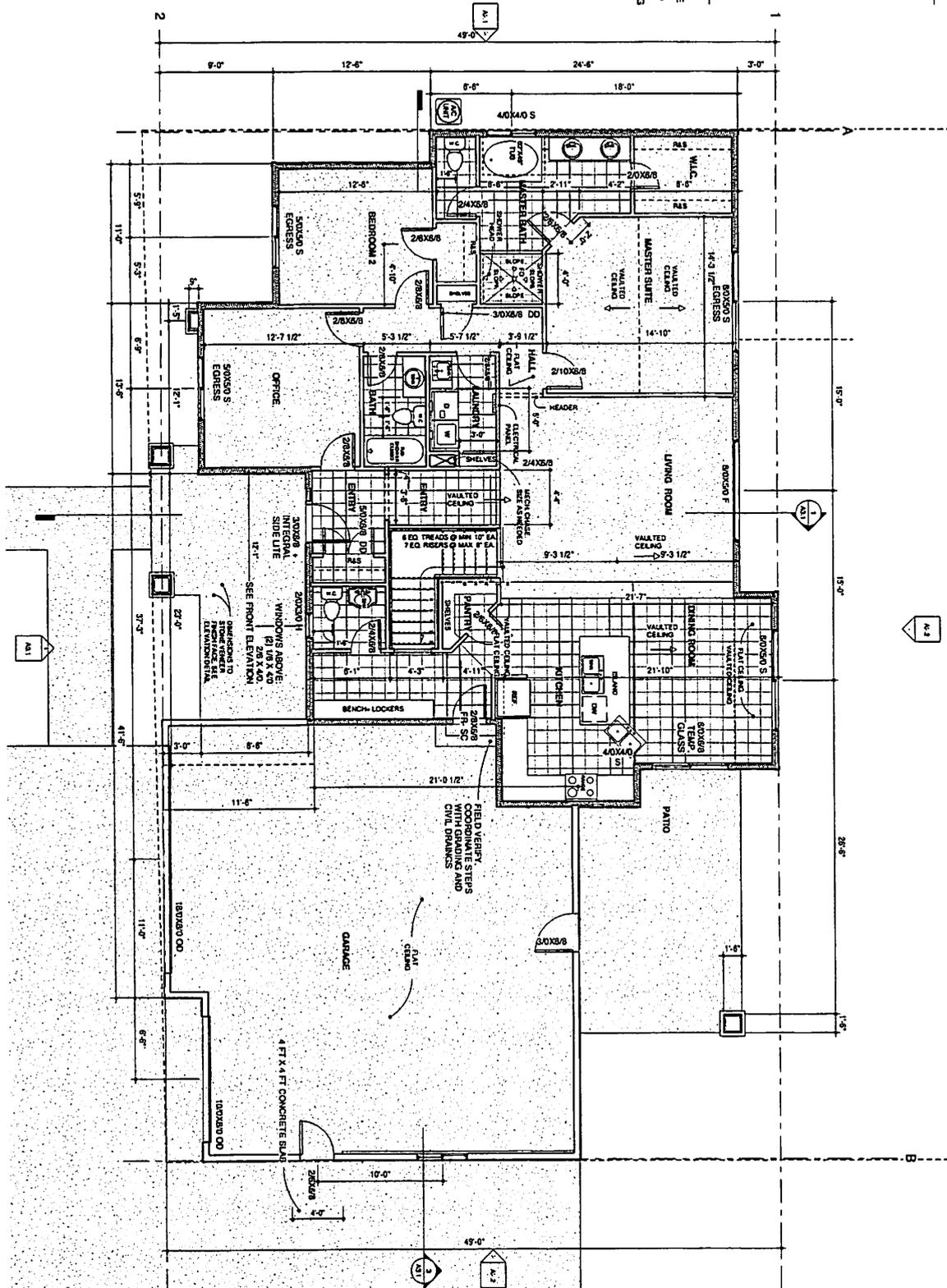
BASEMENT FLOOR PLAN
1/4" = 1'-0"



<p>THE DESIGN SHOWN AND DESCRIBED HEREIN INCLUDING ALL TECHNICAL DRAWINGS, GRAPHIC REPRESENTATION & ALL OTHER INFORMATION IS THE PROPERTY OF THE DESIGNER AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION FROM JULIO GARCIA DESIGN. THESE DRAWINGS ARE AVAILABLE FOR LIMITED REVIEW AND EVALUATION BY CLIENTS, CONTRACTORS, GOVERNMENT AGENCIES, RESIDENTS AND OFFICE PERSONNEL ONLY IN ACCORDANCE WITH THE NOTES.</p> <p>DESIGN: Julio Garcia Design julioGDesign@gmail.com Phone: 801-336-8593 1143 Surrey Drive, North Salt Lake City Utah 84054</p>	<p>PROJECT: MOND- AIR HEIGHTS - LOT 5 451 EAST 200 NOPRTH STREET MILLVILLE, UTAH 84326</p>	<p>PHASE: DD AUGUST 14, 2015</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	No.	DESCRIPTION	DATE				<p>SHEET TITLE: A1.0 FULL SCALE DRAWING: 24"x36" OR 22"x34" SHEET HALF SCALE DRAWING: 12"x18" OR 11"x17" SHEET</p>
	No.	DESCRIPTION	DATE							
<p>DATE: 2015.11.18 (DWG)</p>	<p>DATE: 2015.11.18 (DWG)</p>	<p>DATE: 2015.11.18 (DWG)</p>	<p>DATE: 2015.11.18 (DWG)</p>	<p>DATE: 2015.11.18 (DWG)</p>						

PLAN LEGEND

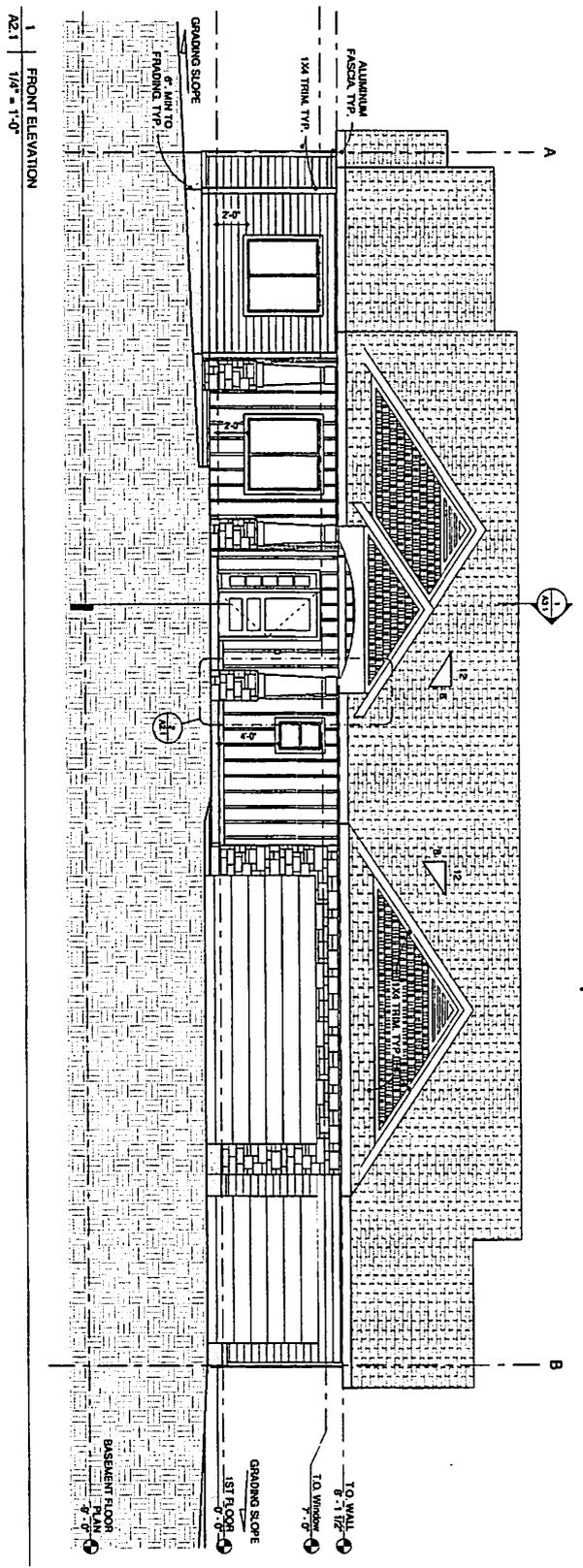
- ☐ CONCRETE WALL
 - ☐ EARTH
 - ☐ CONCRETE SLAB
 - ☐ CARPET FLOORING
 - ☐ TILE FLOORING
 - ☐ ENGINEERED WOOD FLOORING
 - ☐ 2X6 EXTERIOR WALL
 - ☐ 2X4 STUD WALL
 - ☐ THERMAL OR ACOUSTIC INSULATION
 - ☐ FUTURE WALLS OR OVERHEAD ELEMENTS
- NOTES:**
1. ALL DIMENSIONS TO STUD FACE
 2. PROVIDE 1" AIR SPACE BETWEEN CONCRETE AND STUD WALL
 3. PROVIDE 1" AIR SPACE BETWEEN CARPET COUNTERTOP MANUFACTURER'S BUILDER'S OWNER
 4. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO ALL COMPONENTS INSTALLATION



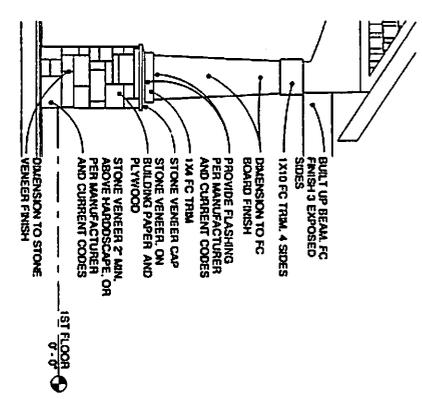
1 1ST FLOOR
A.1.1 1/4" = 1'-0"

SHEET NO. AT.1 2025 (11/18/2024)	1ST FLOOR PLAN			PROJECT: MOND- AIR HEIGHTS - LOT 5	DESIGN: Julio Garcia Design
	FULL SCALE DRAWING 24"X36" OR 22"X34" SHEET HALF SCALE DRAWING 12"X18" OR 11"X17" SHEET	REVISIONS No. DESCRIPTION DATE	PHASE: DD AUGUST 14, 2025	451 EAST 200 NOPRTH STREET MILLVILLE, UTAH 84326	

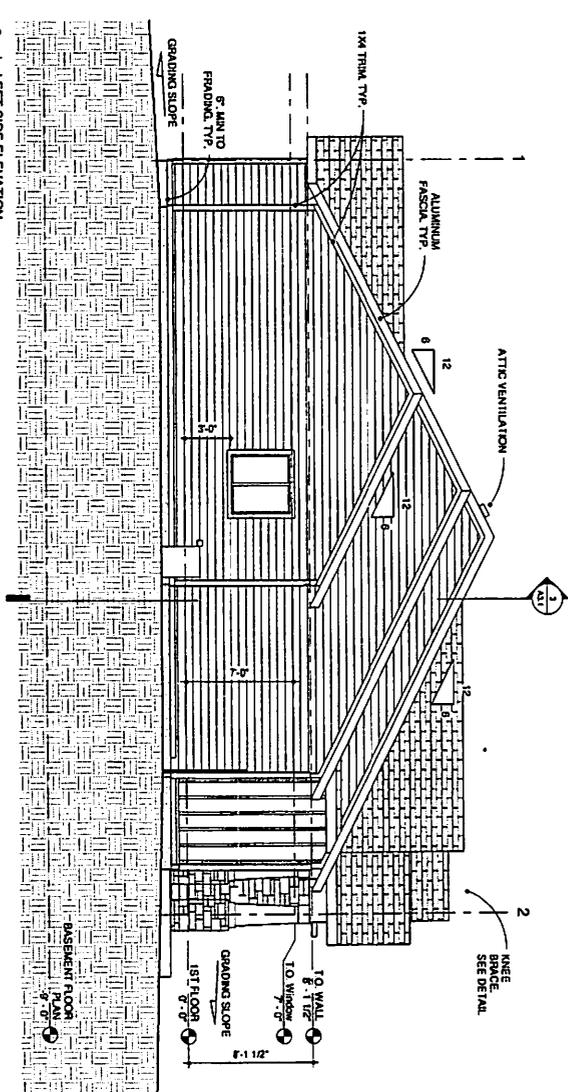
Phone: 801-336-0593
 1143 Surrey Drive, North Salt Lake City
 Utah 84054



1 FRONT ELEVATION
A2.1 1/4" = 1'-0"



2 BUILT UP COLUMN ELEVATION DETAIL
A2.1 1/2" = 1'-0"



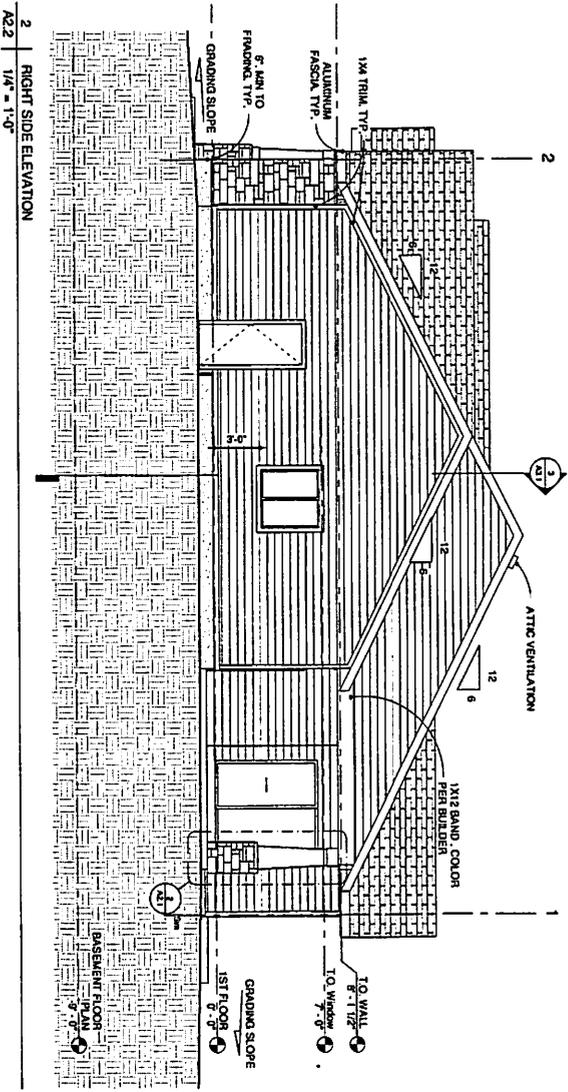
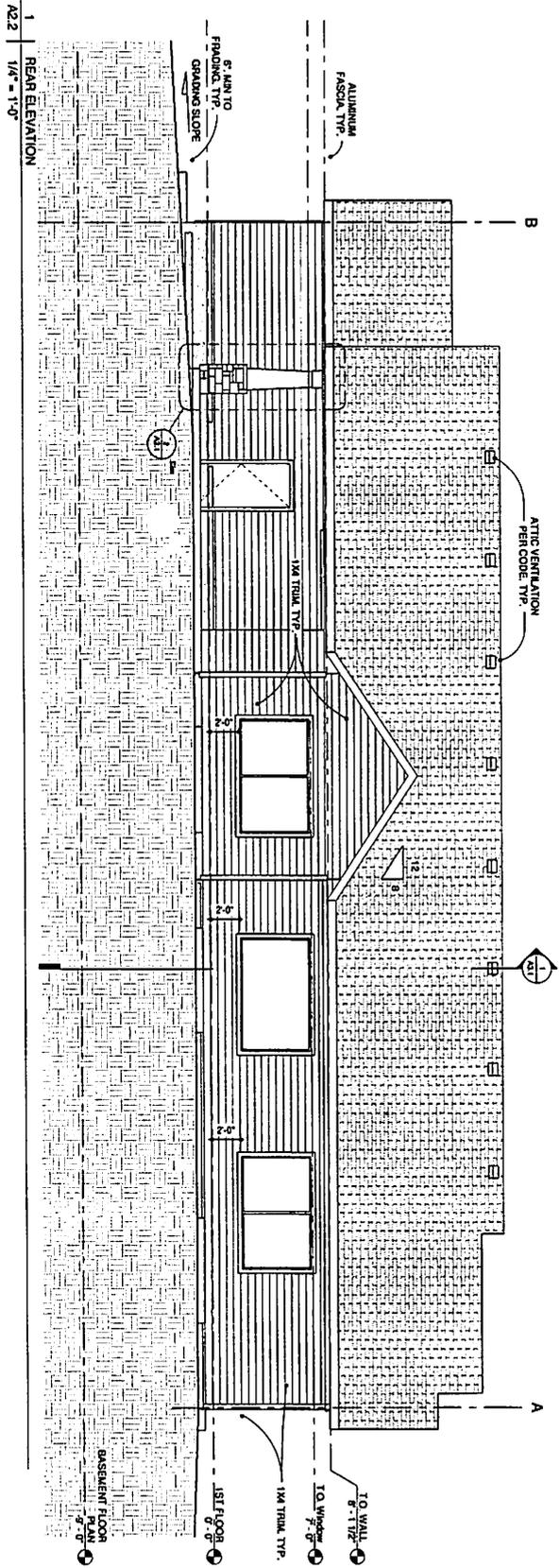
3 LEFT SIDE ELEVATION
A2.1 1/4" = 1'-0"

EXTERIOR ELEVATION LEGEND

- STONE VENEER, TYPE AND COLOR AS SELECTED BY OWNER AND BRAND
- PRECAST CONCRETE VENEER, TYPE AND COLOR AS SELECTED BY OWNER AND BRAND
- ACTUAL DOUBLE ROWING TYPE AND BRAND
- ACTUAL DOUBLE ROWING TYPE AND BRAND

ALL CHANGES IN MATERIALS, COLORS, FINISHES, AND BRANDS SHALL BE INDICATED BY A REVISION. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

ELEVATIONS FULL SCALE DRAWING 12"x12" OR 22"x34" SHEET HALF SCALE DRAWING 12"x12" OR 11"x17" SHEET	PROJECT: MOND- AIR HEIGHTS - LOT 5 451 EAST 200 NOPRTH STREET MILLVILLE, UTAH 84326	DESIGN: Julio Garcia Design JulioGDesign@gmail.com Phone: 801-336-8593 1143 Surrey Drive, North Salt Lake City Utah 84054
	CHASE DD AUGUST 14, 2018	REVISIONS No. DESCRIPTION DATE



- EXTERIOR ELEVATION LEGEND**
- Siding Material, Color, Finish, Orientation and Material Selected by Designer
 - Stone Finish, Type and Color Material Selected by Designer
 - Brick Finish, Type and Color Material Selected by Designer
 - Cementitious Material, Type and Color Material Selected by Designer
 - Asphalt Shingle Material, Type and Color Material Selected by Designer
 - Metal Roofing Material, Type and Color Material Selected by Designer
 - Aluminum Material, Type and Color Material Selected by Designer

SHEET No. **A2.2**
 10/28/11 (REV. 04/14)

ELEVATIONS

No.	REVISIONS DESCRIPTION	DATE

FULL SCALE DRAWING 24"X36" OR 27"X36" SHEET
 HALF SCALE DRAWING 12"X18" OR 11"X17" SHEET

PHASE 02
 AUGUST 14, 2016

PROJECT: **MOND- AIR HEIGHTS - LOT 5**
 451 EAST 200 NOPRTH STREET
 MILLVILLE, UTAH 84326

DESIGN: **Julio Garcia Design**
 JulioGDesign@gmail.com
 Phone: 801-336-6593
 1143 Surrey Drive, North Salt Lake City
 Utah 84054



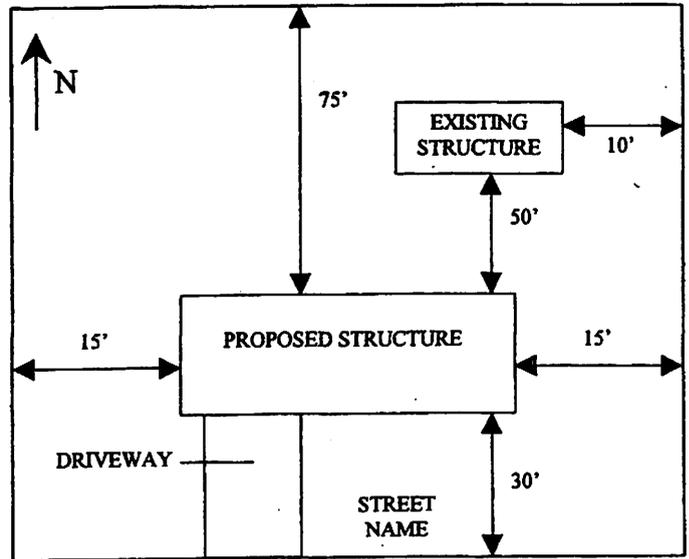
00716

MILLVILLE CITY
ZONING CLEARANCE FOR BUILDING PERMIT
THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

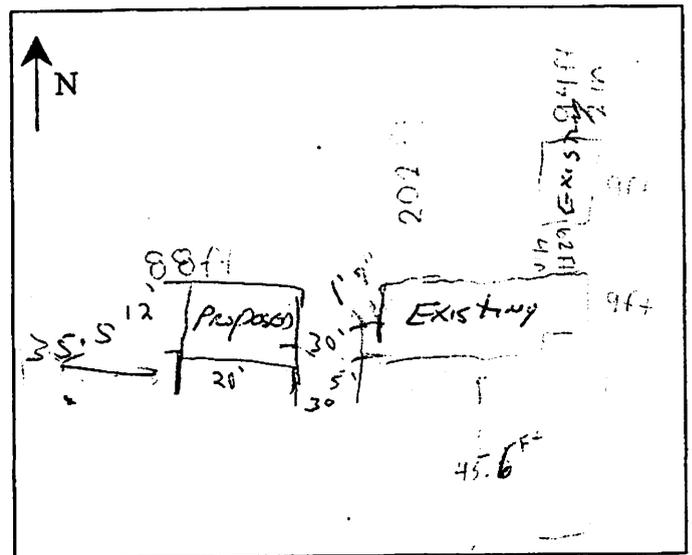
APPLICATION INFORMATION

1. Steve Hansen
APPLICANT'S NAME
2. P.O. Box 0248
MAILING ADDRESS
- Millville VT 84326
CITY STATE ZIP CODE
3. 435-752-4667 4. _____
HOME TELEPHONE BUSINESS TELEPHONE
5. _____
OWNER'S NAME (if different from applicant)
6. Metal
TYPE OF STRUCTURE
7. 240 8. R2
SQUARE FOOTAGE ZONE
9. _____
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 02 - 128 - 0024
TAX IDENTIFICATION NUMBER
11. 61 West 200 North
ADDRESS OF CONSTRUCTION
12. 1 AC 13. _____
LOT SIZE LOT ELEVATION
14. SEWER SEPTIC TANK N/A
(choose one)
15. CITY WATER PRIVATE WELL N/A
(choose one)
16. ELECTRICITY GAS OTHER UTILITY
(specify in remarks)
17. _____
REMARKS

SAMPLE PLOT PLAN
 (numbers do not represent required setbacks)



PLOT PLAN



APPROVED - PLANNING AND ZONING _____ DATE _____

FEES PAID - TREASURER _____ DATE _____

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)

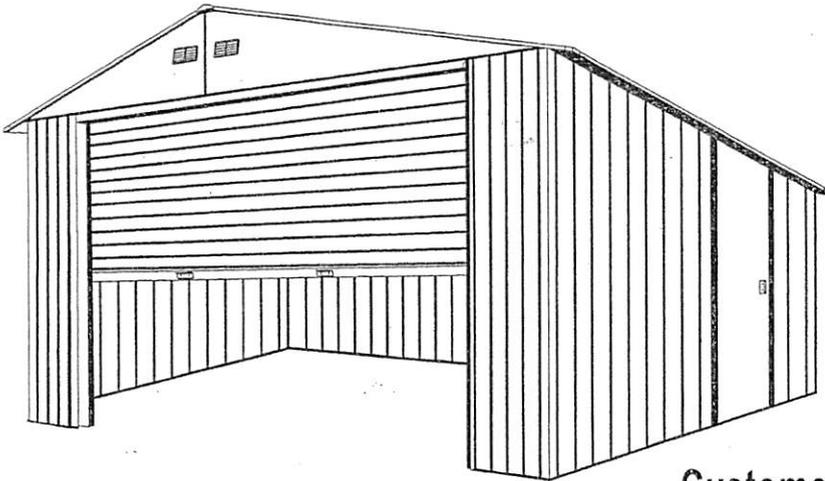
1 millimeter = 0.0393700787 inches

DURAAX™ A Product of **US POLYMERS INC.**

Metal Garage

OWNER'S MANUAL / Instructions for Assembly Size 12' x 20'

Ver: 1.1



**Customer
Service Hotline
(800) 483-4674**

www.uspolymersinc.com

Requires two or three people and takes 8 - 12 hours for installation.

- ?? Tall Walk in Garage
- ?? Quick and Easy Assembly
- ?? Ridge Reinforced Walls
- ?? Wide Single Front Shutter Door

Call us for any missing or damaged parts.
Do not return to store.

RESEARCH / ENGINEERING DEPARTMENT - NOTES

Job No. _____

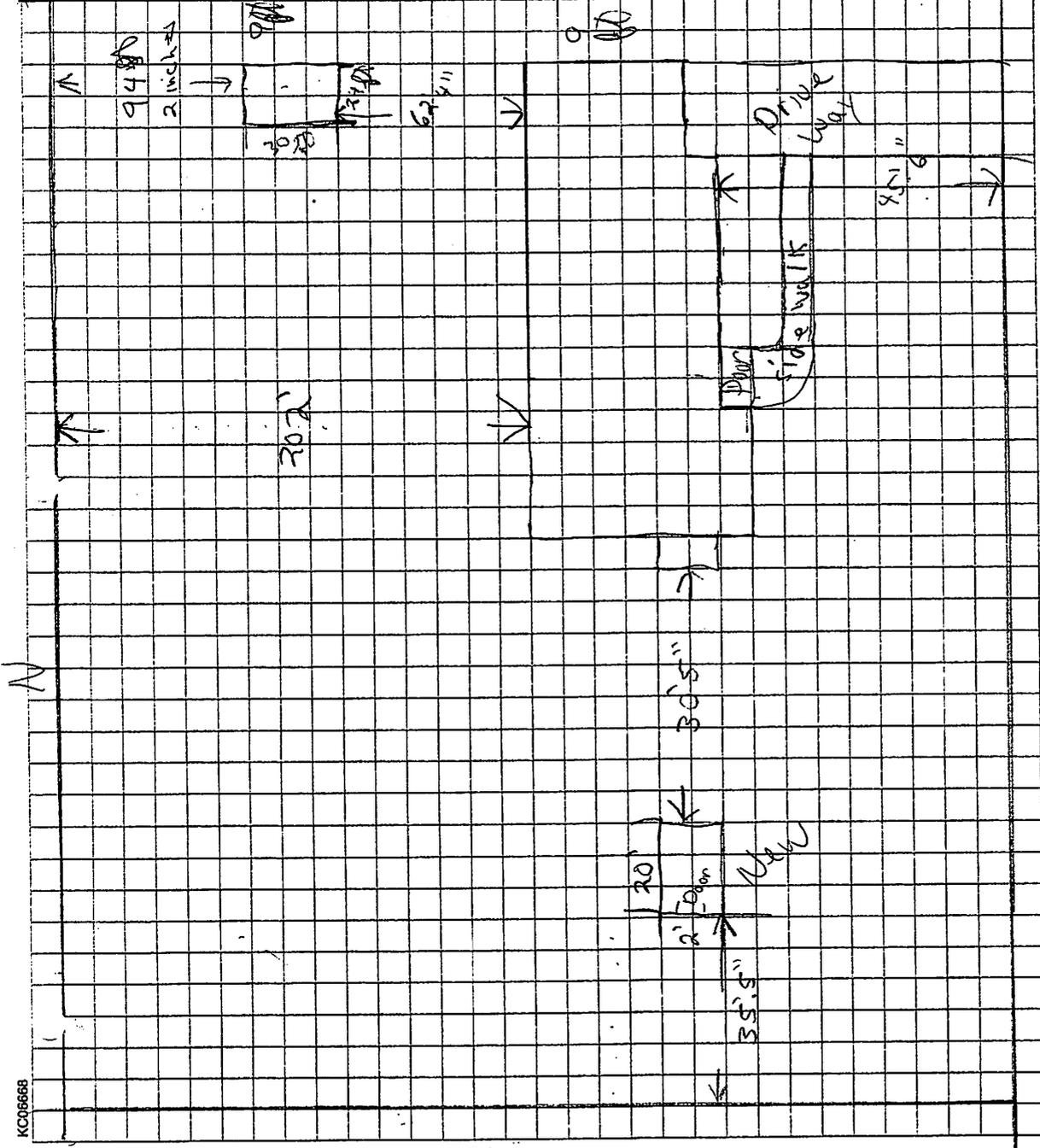
Sheet No. _____

Designer _____

Drwg. Ref. _____

Date _____

Job Name _____



A Foundation Column Stands & Base Channel

Preparation

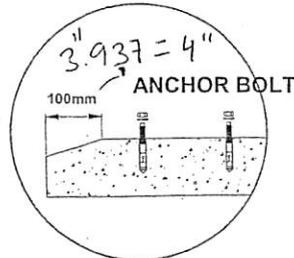
Note: It is important that these instructions are followed step by step.



DuraMax must be installed on a level concrete foundation. Recommended thickness of concrete foundation: 100mm. (4") TO GET PERFECT SQUARE OF FOUNDATION LAYOUT, 3-4-5 PRINCIPLE MUST BE APPLIED.

Parts needed:

- | | | |
|------|--|----------------|
| (4) | Base Channel Side Left & Right | (BC001) |
| (2) | Base Channel Side Center Left & Right | (BC002) |
| (1) | Base Channel Back Left | (BC003) |
| (1) | Base Channel Back Right | (BC004) |
| (2) | Base Channel Front Left & Right | (BC005) |
| (1) | Entrance Taper Channel | (SD005) |
| (4) | Column Support Footing Corner / Left & Right | (CP001) |
| (4) | Column Support Footing Center / Left & Right | (CP002) |
| (2) | Column Support Footing Middle | (CP003) |
| (32) | Dia. 4.2mm. x 10mm. (5/32"x3/8") Sheet Metal Screw | (S1) |
| (32) | Anchor Bolt Size: M10 x 80mm. (Complete with Nut & Washer) | (Not included) |
| (27) | Hard PVC Fisher Plug Size: 6mm. | (Not included) |
| (27) | Dia. 5.0mm. x 38.1mm. (1-1/2") Self-Tapping Screw | (Not included) |



146.45 = 12' 20 FT

Location of holes for anchor bolt of Column Support Footing:

1. Reference to center line of the concrete foundation, measure and mark location of holes for anchor bolt of column support footings (CP001, CP002, CP003). Use 8.5mm. Concrete drill bit.

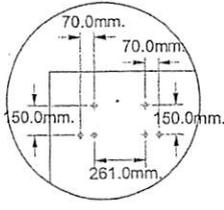


Fig. 1

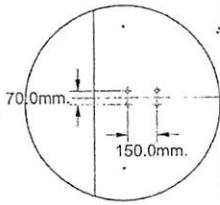


Fig. 2

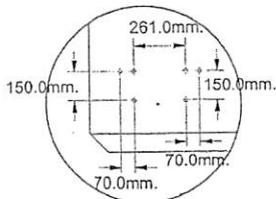
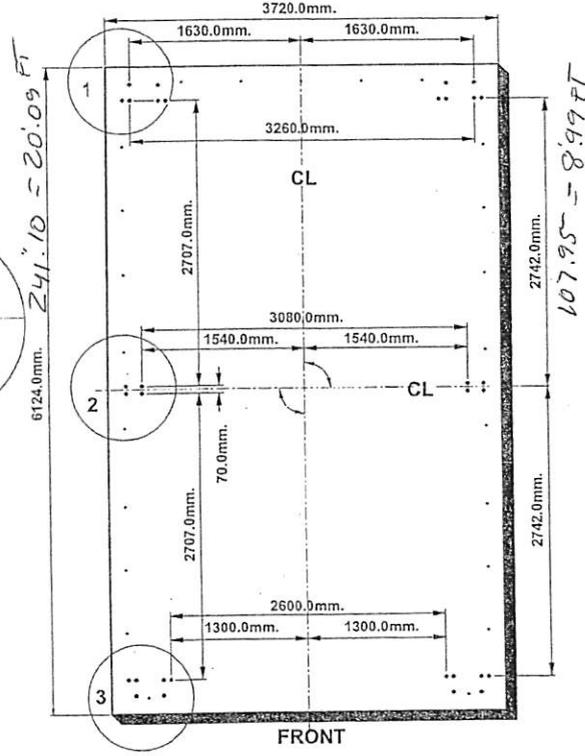
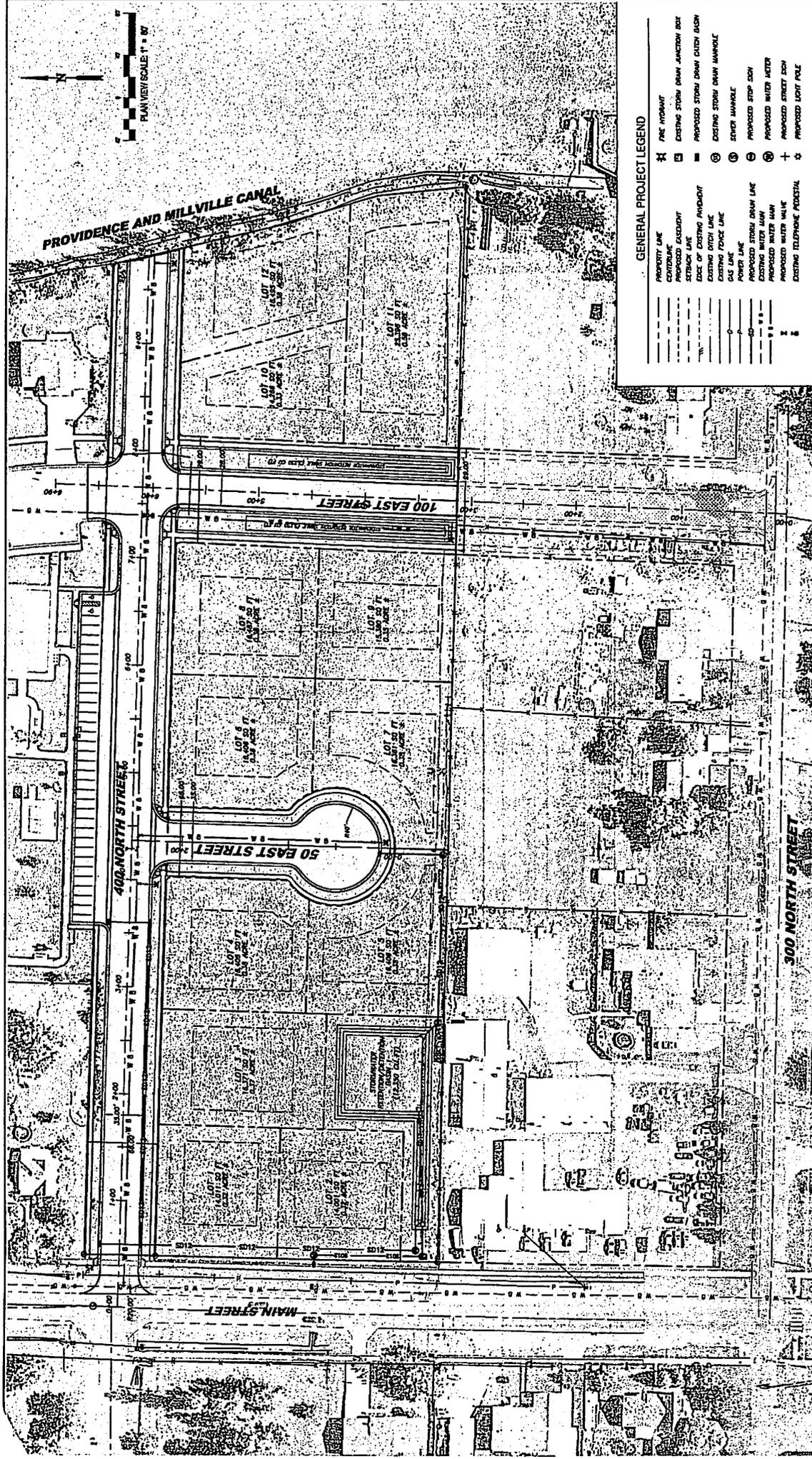


Fig. 3



FRONT

IMPORTANT: USE HAND GLOVES TO PREVENT INJURY



GENERAL PROJECT LEGEND

PROPERTY LINE	—	EXISTING FIRE HYDRANT	⊠
CONCRETE LINE	—	EXISTING STORM DRAIN JUNCTION BOX	⊠
PROPOSED EXCESSITY	—	PROPOSED STORM DRAIN CATCH BASIN	⊠
SEWER LINE	—	EXISTING STORM DRAIN MANHOLE	⊠
EDGE OF EXISTING PROPERTY	—	SEWER MANHOLE	⊠
EXISTING FORCE MAIN	—	PROPOSED STOP COCK	⊠
GAS LINE	—	PROPOSED WATER METER	⊠
POWER LINE	—	EXISTING WATER MAIN	⊠
PROPOSED STORM DRAIN LINE	—	PROPOSED WATER MAIN	⊠
EXISTING WATER MAIN	—	PROPOSED WATER VALVE	⊠
PROPOSED WATER METER	⊠	EXISTING TELEPHONE FOOTCUT	⊠
PROPOSED WATER VALVE	⊠	PROPOSED LOT POLE	⊠

PROJECT NO. 14-16-0125
 SHEET NO. GSP
 DATE 08-16-13
 PAGE NO. 3 OF 8

ANDERSON / HOWELL SUBDIVISION
GENERAL SITE PLAN



KMM PROPERTIES, LLC
 P.O. BOX 98
 MILLVILLE, UTAH 84326



ATTENTION
 LINE IS 1/8" INCH
 AT 1/4" SIZE
 BY SET TO SCALE ACCORDINGLY

FORSYDEN
 ENGINEERS & ARCHITECTS, INC.
 87 WEST 100 SOUTH, SUITE 115, LOGAN, UTAH
 PH: 435-237-2533 FAX: 435-237-2534

DESIGNED	BY	DATE
APPROVED	BY	DATE
DA		

MEMORANDUM

DATE: August 26, 2016
TO: Millville Planning Commission
CC: Eric Dursteller P.E. – Forsgren Associates
FROM: Zan Murray S.E.
SUBJECT: Anderson Howell Subdivision Review

We have performed a preliminary plat and construction drawing review for the Anderson Howell Subdivision. I have also reviewed the plans on site with Gary Larsen, the Public Works Superintendent. Based on our review we have the following comments.

Preliminary Plat

1. The boundary of the subdivision closes within required tolerances. There are some concerns with the interior lot closures which will need to be addressed on the final plat.
2. The Address for Lot 7 should be labeled 378 North.
3. 10' wide Public Utility Easements are required on the lot frontage.
4. Coordination with the Providence Blacksmith Fork Canal Company is required at the east end of 400 North. Easements or other requirements may be needed. A letter of approval is required from them for final approval by the City.
5. Monumentation will be required at all street intersections.
6. Setbacks should be labeled on the final plat.
7. The west section tie appears to be mislabeled. Please review and revise as necessary.

Overall Comments

1. What irrigation water exists on the property? Will it be used in the development?

General Notes

1. The General Notes will need to be updated to meet the City standards.

General Site Plan

1. A street light may be required at the intersection of 50 East and 400 North.
2. A street light may be required at the south end of 50 East.
3. Existing electrical lines exist along the south side of the City Park south sidewalk. A park strip may be necessary to provide access and allow for grading and ADA parking stalls to be



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incorporated into the design. 4 handicap stalls will be required on the park south parking lot area.

4. The crosswalk on main street will need to be moved to align with the north sidewalk

Storm Water Management Plan

1. The primary retention area should be redesigned so it is easier to maintain. It appears that there will be flat pipe slopes and a deep pond area in order for the required storage to exist. The City would like to see retention incorporated into the area along Main Street and be graded into the lot landscaping. This would reduce piping expense and future maintenance.
2. The swales along 100 East will need to have an emergency overflow route in case they over fill.
3. All retention/detention facilities will need to meet the design standards.
4. Detailing of the culverts and grading around culvert ends/inlet boxes will be required for final construction drawings.
5. A Storm Water Pollution Prevention Plan will be required for final approval.
6. Storm water pond facilities will be owned by the resident with an easement by the City. All design changes to the pond must be approved by the City before any alterations occur.
7. Storm water pond facilities must be designed to meet predevelopment conditions. Show calculations to verify historic runoff rates from the property.
8. Percolation tests are required if retention is to be used as part of the storm water design.

Roadway and Water System

Waterline

1. The waterline along Main Street is located approximately 2' west of the sidewalk. Coordinate with the engineer on the existing pipeline layout at the intersection with 400 North.
2. A valve will need to be added on the south leg of the Main Street waterline.
3. A valve will need to be added to the east leg of the intersection of 50 West and 400 North
4. A valve will be needed on the east leg of the intersection of 100 East and 300 North.
5. The bury depth callout should be vertical on the drawing, not perpendicular to the finished grade.
6. If a deep swale is located on 100 East, the waterline will be extremely deep. Further discussion with Public Works is needed.
7. Water meter locations are required on the final construction plans.
8. The fire hydrant west of 50 West should be moved to be east of 50 East for better spacing.
9. In order to accommodate the sidewalk on the north side of 400 North the fire hydrant will need to be relocated south to the 400 North Parkstrip.

Roadway

1. A 50' landing and vertical curve is required at 400 North and Main Street.



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2. Show profiles at the right-of-way lines of the streets to aid in the design review.
3. Additional information is required on the grading of the parking area for the park along 400 North to match existing grades and meet ADA requirements.
4. 100 East Street shows a fill of over 3 feet to finished grade. Additional cross sections and information is required for further discussion with Public Works and approval of the final grade.
5. Funding will need to be put in escrow for 50% of the improvements to cross the canal at 400 North.
6. Signage will be required on the final construction drawings.