

EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING AGENDA

TUESDAY, AUGUST 23RD, 2016 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

**6:00 P.M. - Eagle Mountain City Planning Commission Policy Session**

1. Pledge of Allegiance
2. Declaration of Conflicts of Interest
3. Approval of Meeting Minutes
  - A. August 9<sup>th</sup> 2016
4. Items removed from consideration by applicant (no action)
  - A. Muhlestein Private Community Center Conditional Use Permit:  
The applicant has informed staff they no longer wish to pursue a Conditional Use Permit.
5. Action and Advisory Items
  - A. Preliminary Plat: Eagle Mountain Benches, Public Hearing, Action Item:  
A Preliminary Plat application for a 16 lot agricultural subdivision located on approximately 101.62 acres located along Lake Mountain Road.
  - B. Site Plan: Shops at City Center, Public Hearing, Action Item:  
A Site Plan application for two (2) Six Thousand Square Feet (6,000 SF) office buildings located south of Eagle Mountain Boulevard.
  - C. Development Code Amendment –Chapter 16.35.140 Diagrams. Public Hearing, Action Item, Recommendation to City Council:  
A Staff proposed addition to the Development Code adding Images for Street Rights-of-Way (ROW).
6. Next scheduled meeting: September 13<sup>th</sup>, 2016
7. Adjournment

EAGLE MOUNTAIN CITY  
PLANNING COMMISSION MEETING MINUTES  
TUESDAY, AUGUST 9, 2016 AT 6:00 P.M.  
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

**6:00 P.M. - Eagle Mountain City Planning Commission Policy Session**

COMMISSION MEMBERS PRESENT: Wendy Komoroski, Matthew Everett, John Linton, and Daniel Boles. Mike Owens joined by telephone.

CITY STAFF PRESENT: Steve Mumford, Planning Director; Mike Hadley, Senior Planner; Tayler Jensen, Planner; and Johna Rose, Deputy Recorder.

ELECTED OFFICIAL PRESENT: Colby Curtis.

1. Pledge of Allegiance

Commissioner Linton led the Pledge of Allegiance.

2. Declaration of Conflicts of Interest

None

3. Approval of Meeting Minutes

A. July 12, 2016

**MOTION:** *Wendy Komoroski moved to approve the July 12, 2016 meeting minutes. Matthew Everett seconded the motion. Those voting aye: Matthew Everett, Daniel Boles, Mike Owens, John Linton, and Wendy Komoroski. The motion passed with a unanimous vote.*

4. Action and Advisory Items

A. Muhlestein Barn Variance Request, Public Hearing, Action Item:

Tayler Jensen explained that the applicant is applying for a variance to allow the construction of a barn in the front yard of their home located at 8744 N. West Drive. The applicant is proposing to build the barn in the front yard, due to the location of the home on the property, the existence of geothermal wells, and the Tickville Wash.

The criteria that the application must meet in order for the Planning Commission to approve a variance are as follows:

1. Literal enforcement of this title would cause an unreasonable hardship for the applicant that is not necessary to carry out the general purpose of this title.
2. There are special circumstances attached to the property that do not generally apply to other properties in the same district.
3. Granting the variance is essential to the enjoyment of a substantial property right possessed by other property in the same district.

- 1           4. The variance will not substantially affect the General Plan and will not be
- 2           contrary to the public interest.
- 3           5. The spirit of the title is observed and substantial justice is done.

4  
5           The Utah Property Rights Ombudsman declares that: “All five criteria must be found in

6           favor of the variance in order for it to be valid. The unreasonable hardship may not be

7           self-imposed or purely economic, and must arise from conditions unique to the property.”

8  
9           Avalie Muhlestein, applicant, said that the only feasible solution for a barn on the

10          property would be in the front yard. She explained the reasons her request met all five

11          criteria.

12          1. Literal enforcement of the land use ordinance would cause an unreasonable hardship

13          for the applicant that is not necessary to carry out the general purpose of the ordinance.

14            A. Literal enforcement of this land use ordinance would deem the property

15            ineligible to build a barn. As Cedar Pass Ranch is designed to be a rural/agricultural

16            use area, it would cause unreasonable hardship for the family, as they work with

17            cattle and other livestock.

18            B. As the 3+ acre cattle pasture, hitching post, loafing shed and grain field are in

19            the front of the house, but are not the “front yard,” the building should be allowed a

20            variance.

21          2. There are special circumstances attached to the property that do not generally apply to

22          other properties in the same district: the 14 geothermal wells, Tickville Gulch inlet, 70%

23          of the lot is in front of the house, 500 foot long driveway, house at very back of the lot,

24          and the road frontage is 1028 feet out of 2167 feet total property line (minimum frontage

25          for the subdivision is 100 feet).

26          3. Granting the variance is essential to the enjoyment of a substantial property right

27          possessed by other property in the same zone. City Code recognizes the unique situation

28          of Cedar Pass Ranch and similar areas. They are a rural residential area for agricultural

29          uses. In order to keep their dairy cow they would need to have shelter, water and access

30          to storage space for feed. They have had issues with getting water to their livestock and

31          storing the feed in the winter. The barn would also protect their livestock from the

32          predators that come through the area.

33          4. The variance will not substantially affect the General Plan and will not be contrary to

34          the public interest (anything affecting the rights, health, or finances of the public at

35          large).

36            A. As the circumstances of their lot are very unique, and the proposed structure is

37            not unusual for the rural neighborhood, granting this variance will not substantially

38            affect the general plan of their community.

39            B. As the building is a private building on a residential acreage, and as the building

40            will be used to house animals and create indoor recreation activities for the family

41            (as others in the neighborhood do), it will not be contrary to the public interest.

42          5. The spirit of the zoning ordinance is observed and substantial justice is done.

43            A. The spirit of this zoning ordinance is to ensure the beauty of the master-planned

44            city, and to set standards for the neighborhoods that will prevent overcrowding of

45            lots and unsightly structures in front of homes.

46            B. As Cedar Pass Ranch is intended to be a rural/agricultural neighborhood, and

47            the home is placed at the very back of the lot, and as the new structure will be to the

48            side, facing the cul-de-sac, the beautiful structure will not detract from the

49            neighborhood appearance, nor overcrowd the lot. The Cedar Pass Ranch HOA

1 Architectural Committee has reviewed and approved the location and exterior  
2 finishes of the building, and has agreed that they are consistent with the  
3 neighborhood standards.

4 C. Substantial justice is defined as justice to a sufficient degree, especially to  
5 satisfy a standard of fairness, justice administered according to the substance and  
6 not necessarily the form of the law.  
7

8 *Commissioner Linton opened the public hearing at 6:19 p.m.*  
9

10 Lynnette Rose, resident, felt that the barn variance was appropriate for the area.

11  
12 Matt Stevens, resident, stated that his property was the closest property to the barn and  
13 that he has no opposition to having the barn located there.  
14

15 Shane Jones, resident, stated that other homes in the neighborhood have barns in the front  
16 yard. He wanted to support his neighbor in getting the barn variance.  
17

18 Kent Price, member of the Board of Trustees for the Cedar Pass Ranch HOA, stated that  
19 the barn is in compliance with HOA regulations and the CC&R's.  
20

21 Mindy Eldridge, resident, is in support of the building being built in the location  
22 requested by the applicant.  
23

24 Marcie Williams, resident, said that her son helps with the applicant's animals. Her son  
25 felt that a barn would benefit the animals.  
26

27 Cynthia Clyde, resident, stated that her property overlooks the applicant's property. She  
28 said that the barn would not be an eyesore. She felt that the applicant should have the  
29 benefit of using their land to build a barn.  
30

31 *Commissioner Linton closed the public hearing at 6:27 p.m.*  
32

33 Commissioner Linton felt that if the property was addressed off of Cedar Fort Drive then  
34 that portion of property should be considered side yard and not front yard. Steve  
35 Mumford explained that because the house is at an angle, anything in front of the house  
36 would be considered front yard even if the house is addressed off of Cedar Fort Drive.  
37

38 Commissioner Boles asked if the applicant could explain some of the special  
39 circumstances and hardships attached to the lot. Mrs. Muhlestein said one issue was that  
40 they were on a septic tank and were required to be 100 feet away from a natural drain  
41 (Tickville Wash). The Health Department would not approve a new septic field close to  
42 the Tickville Wash. To place the barn behind the home, she would have to reroute her  
43 neighborhood's storm drain with City help, which in turn would cause her home to flood.  
44 Another issue is that she would have to move a well and propane lines. She would still  
45 have the geothermal wells and the Tickville Wash that would need to be dealt with. After  
46 doing all that, she would still not have enough room to build a barn behind the house.  
47

48 **MOTION:** *Wendy Komoroski moved to approve the Muhlestein barn variance*  
49 *because it meets all five criteria. Daniel Boles seconded the motion.*

1 *Those voting aye: Matthew Everett, Daniel Boles, Mike Owens, John*  
2 *Linton, and Wendy Komoroski. The motion passed with a unanimous*  
3 *vote.*  
4

5 B. Muhlestein Private Community Center Conditional Use Permit, Public Hearing, Action  
6 Item:  
7

8 Mr. Jensen explained that the applicant applied for a conditional use permit to construct a  
9 private community center on their residential property located at 8744 N. West Drive.  
10 Barns are permitted uses in the Residential Zone on lots over 1 acre in size; however, as  
11 the applicant intended to use the structure as a private community center in addition to a  
12 barn, a conditional use permit is required.  
13

14 The applicant proposed constructing a 6,618 square foot barn that would double as a  
15 private community center. The proposed structure included the following uses on the main  
16 level:

- 17 • Two (2) animal stalls (cow & calf stall)
- 18 • Milking station
- 19 • Milking parlor
- 20 • Shop/garage
- 21 • Recreation room
- 22

23 The second floor of the structure would include:

- 24 • Game room
- 25 • Leatherworking room
- 26 • Art studio
- 27 • Model train room
- 28 • Craft room
- 29 • Recording studio
- 30 • Sewing room
- 31 • Ensemble room
- 32 • Practice room
- 33 • Kitchen
- 34

35 **Parking:** The proposed facility would be used for many events, groups, and clubs. No on-  
36 street parking would be allowed, and the applicant would have to provide detailed  
37 parking/traffic circulation plans to City staff.  
38

39 **Community Character:** Cedar Pass Ranch is a unique community characterized by 5+  
40 acre ranchettes, and an overall rural look and feel. If approved, the proposed conditional  
41 use must not substantially alter the character of the neighborhood, as 17.25.050 states:  
42 *“Accessory uses and structures are permitted provided that they are incidental to and do*  
43 *not substantially alter, the character of the principal use or structures.”*  
44

45 Mrs. Muhlestein stated that their primary goal was to give their children an opportunity to  
46 learn self-reliance and stewardship. She would like to give other families in the

1 community the same opportunity to learn. She said that the groups that use the center  
2 would not be charged a fee, they would only be required to help pay the electric bill on the  
3 center, buy the supplies for the classes, and clean the building. It would be a building  
4 where private groups could meet. She stated that this community center would have less  
5 traffic than some of the other home businesses in the area.  
6

7 *Commissioner Linton opened the public hearing at 7:02 p.m.*  
8

9 Kent Price, a member of the Board of Trustees for the Cedar Pass Ranch HOA, asked if  
10 the Planning Commission could table the conditional use permit until the Cedar Pass  
11 Ranch HOA has time to review the issues and take a position on the community center. He  
12 explained that many residents feel that this conditional use permit for a community center  
13 would violate the CC&R's requirement that the lot be only used for a single family  
14 residence.  
15

16 Mindy Eldridge, resident, stated that she home schools her children because they have  
17 special needs. The things her children are missing out on are the social aspect of public  
18 school. She said that her children would benefit from the Canyon Grove Distance  
19 Learning Program that would be offered at the community center. She explained that the  
20 closest program now is in American Fork.  
21

22 Warren Clyde, resident, felt that the activities planned for in the community center were  
23 no different than a 4H club meeting on the property.  
24

25 Amber Jensen, resident, stated that she was excited for Canyon Grove School to finally  
26 have a location in Eagle Mountain. She felt that families could benefit from this  
27 community center. If the community center was not approved, she asked if the City could  
28 find another place in the community for Canyon Grove School to use.  
29

30 Danae Anderson, resident, stated that she was fine with the building of the barn. She  
31 explained that the neighbors have tried to keep Cedar Pass Ranch subdivision a rural  
32 residential area for years. Alpine School District tried to build a school in Cedar Pass  
33 Ranch years ago, and the neighbors had to fight to keep the school from coming into their  
34 neighborhood, as well as an LDS Church. She was concerned about the conditional use  
35 permit being allowed in the neighborhood. She felt that it would open their neighborhood  
36 up to other uses that should not be allowed.  
37

38 Judy Cotral, resident, said that her children already participated in the clubs being offered  
39 by the Muhlesteins. She stated that she has never seen more than five cars on the property  
40 at a single time. She wanted the City to know that she liked the Muhlesteins being up front  
41 with what they are planning.  
42

43 Alecia Brazell, resident and Education Specialist for the Canyon Grove Distance  
44 Learning Program, said that this community center would benefit many families in the  
45 community, and explained that there is no other facility in Eagle Mountain at this time like  
46 this center. She would love to see more options come into Eagle Mountain to help these  
47 families that have special needs.  
48

1 Cheryl Car, a member of the Board of Trustees for the Cedar Pass Ranch HOA, stated the  
2 Cedar Pass Ranch HOA has not had enough time to consider the proposal. She asked if the  
3 Planning Commission could postpone their decision until the Cedar Pass Ranch HOA  
4 Board had time to meet, make recommendations and vote on the proposal.  
5

6 Jeremy Wardle, resident, wanted to point out to the residents of Cedar Pass Ranch that  
7 their families had the opportunity to work with animals where other children with special  
8 needs did not. He wanted to support the community programs the Muhlestein were  
9 offering to the community.  
10

11 Sarah Hail, resident, wanted to support the Muhlesteins in building the community center.  
12 She felt that the Muhlesteins should not be delayed in building the barn because the Cedar  
13 Pass Ranch HOA has not made a decision.  
14

15 Loretta Chase, resident of Saratoga Springs, felt that people had the right to assemble. She  
16 said the resident should support a person who gave people a place and a right to assemble.  
17

18 Brent Muhlestein, applicant, explained that he would love not to charge anyone to use  
19 their building. He stated that he was just trying to provide a place for people to meet and  
20 hold educational classes. He said that this was not a residential home but a building.  
21

22 Becky Wardle, resident, explained that the Muhlesteins have already opened their home to  
23 families with special need children.  
24

25 Commissioner Owens asked Mrs. Brazell about what type of special needs services they  
26 would be providing. Mr. Brazell explained that the classes were geared towards special  
27 needs children, but any special needs services would be provided at their school.  
28 Commissioner Owens asked about an IEP, but his comment was inaudible.  
29

30 Shelly Peterson, resident, explained that the program that was being offered was for  
31 parents that home school their children. The parent would be responsible for teaching their  
32 children language, art, reading, and math. The program would only be helping with  
33 science, social studies, and extra-curricular activities.  
34

35 Mr. Muhlestein said that the programs would only be run from 10:00 am-3:00 pm, when  
36 most people are at work or school. She explained that she was willing to work with her  
37 neighbors and the City to make this center work for the community. Her intent was not to  
38 upset her neighbors. She wanted to be straightforward with them. She stated that she just  
39 wanted to help out her community.  
40

41 Lynnette Rose, resident, did not feel that this would change or impact the neighborhood.  
42

43 *Commissioner Linton closed the public hearing at 7:45 p.m.*  
44

45 Commissioner Linton stated that people can exercise their homeowner right to use their  
46 property as they see fit, so far as it does not infringe on their neighbors' rights. He also  
47 explained that HOA CC&R's are more stringent than the City Code. He felt that the item  
48 should be held off until a future time to give the residents an opportunity to review the  
49 plan.

1  
2 Commissioner Komoroski felt that this would be a great benefit to Eagle Mountain, but  
3 did not know if Cedar Pass Ranch was the right place for the project. She wanted to give  
4 the residents more time to review the project.  
5

6 Commissioner Owens stated that he was home schooled as a child and had spent many  
7 years in his neighbors barn. He said that it should be looked at as a community of home  
8 schoolers upgrading a class room setting.  
9

10 **MOTION:** *Wendy Komoroski moved to continue the request for a conditional use*  
11 *permit for a private community center to the next Planning Commission*  
12 *meeting. Matthew Everett seconded the motion. Those voting aye:*  
13 *Matthew Everett, Mike Owens, John Linton, and Wendy Komoroski.*  
14 *Those voting nay: Daniel Boles. The motion passed with a vote of 4:1.*  
15

16 C. Development Code Amendment – Projections into setbacks code 17.25.180. Public  
17 Hearing, Action Item, Recommendation to City Council:  
18

19 Mr. Jensen said that the proposal was to amend table 17.25.180(A) Residential Setbacks  
20 to reflect recent changes to setback requirements.  
21

22 *Commissioner Linton opened the public hearing at 7:56 p.m.*  
23

24 None  
25

26 *Commissioner Linton closed the public hearing at 7:56 p.m.*  
27

28 **MOTION:** *Daniel Boles moved to recommend approval of the amendment to*  
29 *Chapter 17.25.180 of the Eagle Mountain City Municipal Code to the*  
30 *City Council. Wendy Komoroski seconded the motion. Those voting aye:*  
31 *Matthew Everett, Daniel Boles, Mike Owens, John Linton, and Wendy*  
32 *Komoroski. The motion passed with a unanimous vote.*  
33

34 5. Discussion Items (No Action)

35 A. Discussion of potential Code amendments including :

36 i. Swimming Pool Regulations  
37

38 Commissioners' suggestions for above-ground pools:

- 39 1. Safety standard (locking fold-up stepladders, deck surroundings, and/or a safety  
40 gate around the top of the pool).
- 41 2. Fencing and gate standards.
- 42 3. Placement of above-ground pools on the property (sloped yard).
- 43 4. Clarification between pool sizes (kiddie pool, 3-foot pool, etc.).
- 44 5. BOCA requirements.

45  
46 ii. Adding ROW illustrations  
47

48 Commissioners' preferences:

- 49 1. Plans must be clear and legible.

1                   2. Show park strips, curbs, and gutters on plans.  
2

3                   iii. Master Site Plans

4                   iv. A Change to the Extractive Industries Overlay Zone  
5

6                   Mr. Mumford explained that the City is looking into removing or changing the Extractive  
7 Industries Overlay Zone.  
8

9 6. Next scheduled meeting: August 23, 2016  
10

11 7. Adjournment  
12

13 The meeting was adjourned at 8:36 p.m.  
14

15 APPROVED BY THE PLANNING COMMISSION ON AUGUST 23, 2016  
16

17 \_\_\_\_\_  
18 Steve Mumford, Planning Director



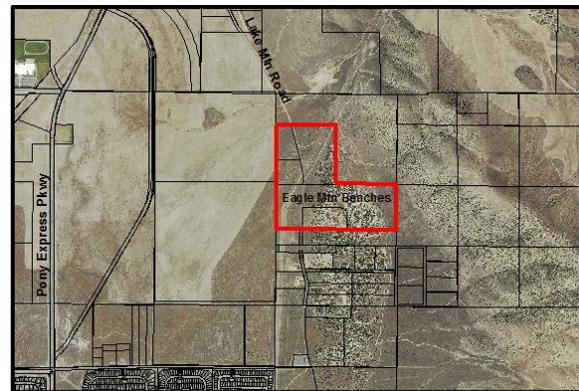
**EAGLE MOUNTAIN CITY**  
**Planning Commission Staff Report**

**AUGUST 23, 2016**

*Project:* **Eagle Mountain Benches**  
*Applicant:* Jeff & Karen Scott  
*Request:* Preliminary Plat  
*Type of Action:* Public Hearing; Recommendation to the City Council

**Location**

The Eagle Mountain Benches proposal is located along Lake Mountain Road, as seen in this aerial photo.



**Proposal**

The applicant is proposing a preliminary plat on approximately 101.62 acres of land currently zoned Agriculture. The proposal consists of 16 lots that are all 5 acres or larger in size. The largest lot is 11.09 ac and the smallest is 5.05 ac in size. The proposal complies with the City's Future Land Use General Plan designation of Rural Residential. No rezone is required for this development.

Residential Development:		
Total Developed Area	4,426,560 sq.ft. +- 101.62 acres +-	
Total Number of Lots	16 Lots	
Density	0.16 lots/acre	
Lot Size Summary:		
Smallest Lot Size	220,186 sq.ft.	5.05 acres
Largest Lot Size	482,981 sq.ft.	11.09 acres
Average Lot Size	260,414 sq. ft.	5.98 acres
Median Lot Size	245,648 sq. ft.	5.64 acres

**Surrounding Zoning**

North: Agriculture  
 East: Agriculture  
 South: Agriculture  
 West: Agriculture

\*It is important to note that all of the land within Eagle Mountain City that has not been previously rezoned for development is zoned Agriculture. This does not mean that all agriculturally zoned properties are in active agricultural use.

## Noteworthy Items / Items to Consider

1. **Regional Trail.** Both the City's General Plan and the Parks and Open Space Master Plan designate a regional trail within the power line corridor, traversing the entire length of the city (see attached maps). This corridor crosses directly through the middle of this project. The applicant will be required to work with staff to find an acceptable connection through the development to be dedicated to the City.
2. **Power Line and Gas Line Corridor.** The City Code considers land restricted by power lines as unbuildable, and restricts construction activity within these areas. Kern River Gas recommends that property within their corridor be preserved as open space and they restrict certain types of improvements on the property. Rocky Mountain Power does not allow any buildings or structures within the right of way, and requires access points with 16-ft wide gates on any fencing within the right of way, and restricts any changes in elevation of the property. The development will be required to comply with any restrictions placed on the property by these entities.

**Unbuildable Land.** Due to this project's location, there are portions of the project that are considered "unbuildable land." City Code addresses this:

### 17.25.100 Unbuildable lands

*In considering the layout of any development in the city, the developer shall conform to the following restrictions with respect to environmentally sensitive lands or lands that are unsuitable for development. No construction may occur in areas that have slopes in excess of 25 percent, land restricted by power lines, canyons and washes, streams, high volume floodplains, alluvial discharge areas, storm drain retention/detention areas, floodplains and floodways, geologically sensitive areas that require special engineering considerations for safe habitation, and wetlands.*

3. **Lake Mountain Road.** The City Code requires pavement of roadways within new development. Lake Mountain Road was historically a County road, and has been maintained periodically by the City as a dirt/gravel road, with some repurposed asphalt treatments in some sections. Fire Code allows for gravel road access to large lots in rural areas, but will require fire sprinkler systems to be installed in each home that is accessed by a gravel road. Since the applicant is developing agricultural lots that fit with the zoning of the property, and the Fire Code allows for a gravel road in this situation, then City Staff recommends that the applicant be required to improve the existing dirt road with road base to the satisfaction of the City Engineer and Fire Marshal.

## Possible Motions

The following motion is provided for the benefit of the Planning Commission. It may be read as the motion or referenced when making motions.

If the Planning Commission chooses to recommend approval of the proposed plat, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

*I move that the Planning Commission recommend to the City Council approval of the Eagle Mountain Benches preliminary plat with the following conditions or any other conditions deemed appropriate:*

1. *Applicant shall work with staff to provide an acceptable connection for the regional trail in the power line corridor.*
2. *The development must comply with any and all restrictions placed on properties affected by the Utility corridor.*
3. *Lake Mountain Road shall be improved as a gravel road to the satisfaction of the City Engineer and Fire Marshal.*

***Attachments:***

- Preliminary Plat
- Recommended Trail Network (Parks and Open Space Master Plan)
- Map 7 Regional Parks and Trails (General Plan)

PRELIMINARY PLANS FOR  
REVIEW ONLY

# EAGLE MOUNTAIN BENCHES

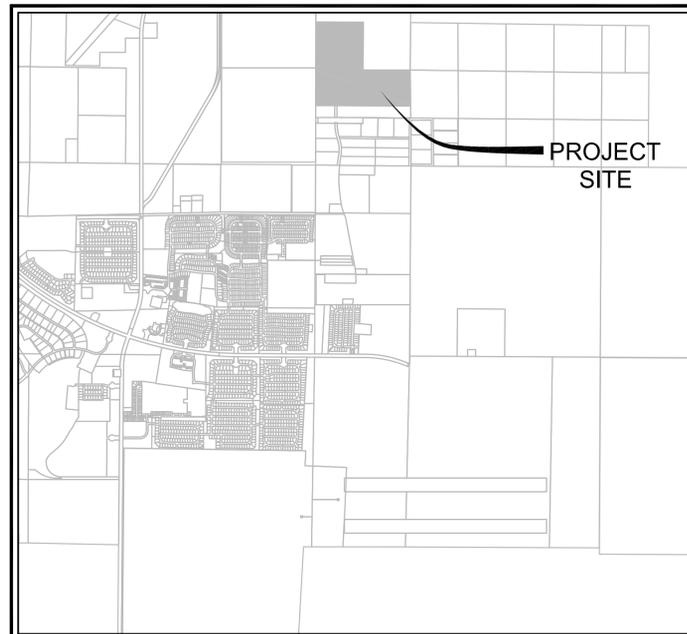
## SINGLE FAMILY RESIDENTIAL SUBDIVISION

### IN EAGLE MOUNTAIN, UTAH

June 28, 2016

PROJECT NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
2. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION THAT ARE NOT SPECIFIED HEREIN. THE CITY ENGINEER WILL NOT BE RESPONSIBLE FOR SAFETY ON THE WORK SITE, OR FAILURE BY THE CONTRACTOR TO PERFORM WORK ACCORDING TO CONTRACT DOCUMENTS.
3. ALL OPEN SPACE AND PARKS SHALL BE DEDICATED TO EAGLE MOUNTAIN CITY.
4. THE LOCATION OF ALL EXISTING UTILITES SHOWN, ARE APPROXIMATE AND ARE LOCATED BASED ON FIELD EVIDENCE AND RECORD INFORMAITON. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION.



Property Address:

Approx. 5500 N. Lake Mountain Road  
Eagle Mountain, Utah

Owner / Developer:

Jeffrey and Karen Scott  
5504 N. Lake Mountain Road  
Eagle Mountain, Utah 84005  
Tel: 801.????.????  
Attn: Jeffrey Scott

Engineer / Surveyor

H&H Engineering and Surveying, INC  
42 North 200 East, Suite 1  
American Fork, Ut 84003  
Tel: 801-756-2488  
Attn: Victor Hansen  
victor@h-heng.com

LEGEND

— — — — —	Section Line
— — — — —	Boundary Line
— — — — —	Lot Line
— — — — —	Center Line
— — — — —	Right-Of-Way Line
— — — — —	Easement Line
— — — — —	Set Back Line
— W — W —	Existing Potable Water
— SS — SS —	Existing Sanitary Sewer
— PI — PI —	Existing Secondary Water
— SD — SD —	Existing Storm Drain
— GAS — GAS —	Existing Gas Line
— FO — FO —	Existing Fiber Optics
— TEL — TEL —	Existing Telephone Cable
— P — P —	Existing Power Cable
— X — X — X —	Existing Fence Line
— — — — —	Existing Major Contour Line
— — — — —	Existing Minor Contour Line
— W — W —	Proposed Potable Water
— SS — SS —	Proposed Sanitary Sewer
— PI — PI —	Proposed Secondary Water
— SD — SD —	Proposed Storm Drain
— GAS — GAS —	Proposed Gas Line
— FO — FO —	Proposed Fiber Optics
— TEL — TEL —	Proposed Telephone Cable
— P — P —	Proposed Power Cable
— — — — —	Proposed Major Contour Line
— — — — —	Proposed Minor Contour Line

SHEET INDEX

C-01	COVER SHEET
C-02	Preliminary Site Plan
C-03	Grading Plan
C-04	Utility Plan

NO.	DATE	DESCRIPTION
4	07-09-15	Revised Concept Layout
3	06-26-15	Revised Concept Layout
2	06-05-15	Revised Concept Layout
1	08-28-16	Preliminary Subdivision

42 NORTH 200 EAST, SUITE 1  
AMERICAN FORK, UTAH 84003  
TEL: (801) 756-2488  
FAX: (801) 756-3499

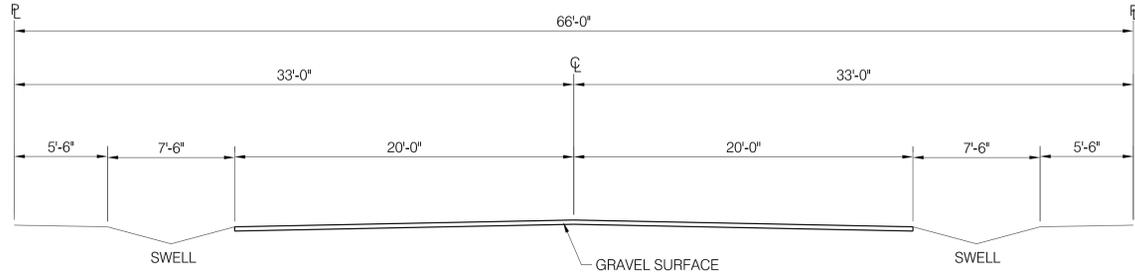
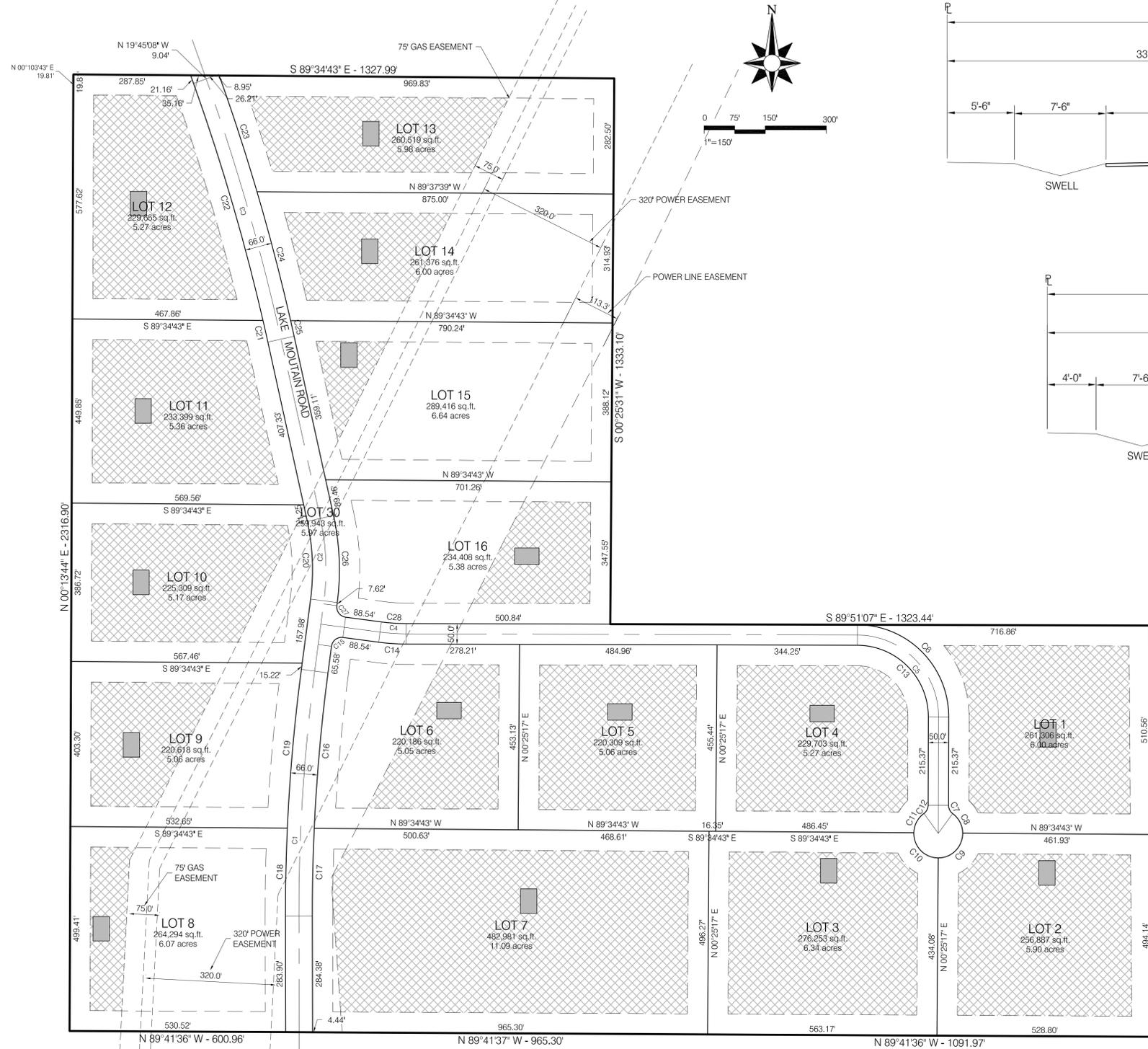
**H&H**  
ENGINEERING &  
SURVEYING, INC.

PROJECT NAME:  
**EAGLE MOUNTAIN BENCHES**  
**5500 N LAKE MOUNTAIN ROAD**  
**EAGLE MOUNTAIN, UTAH**

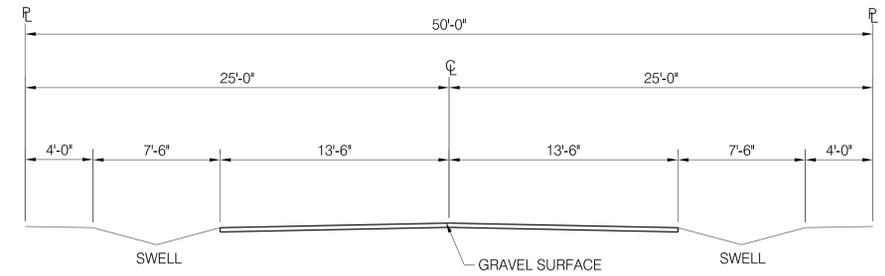
PROJECT NO:	15-457-01
DATE:	Jan 29, 2016
HOR SCALE:	NTS
VER SCALE:	NA
ENGINEER:	VH
DRAFTED:	BS
CHECKED:	VH

TITLE  
**COVER SHEET**

1 OF 2  
SHEET  
**C-01**



PROPOSED 66' MINOR COLLECTOR SECTION  
SECTION SCALE 1"=5'



PROPOSED 50' RURAL STREET SECTION  
SECTION SCALE 1"=5'

Curve Table						
Curve #	Length	Tangent	Radius	Delta	Chord Direction	Chord Length
C1	599.69'	300.29'	4493.00'	7°38'51"	N03°42'46"E	599.24'
C2	202.48'	102.28'	580.00'	20°00'09"	N02°27'53"W	201.48'
C3	662.16'	331.52'	5207.00'	7°17'10"	N16°06'33"W	661.71'
C4	64.48'	32.28'	500.00'	7°23'18"	S86°09'28"E	64.43'
C5	314.16'	200.00'	200.00'	90°00'00"	N44°51'07"W	282.84'
C6	353.43'	225.00'	225.00'	90°00'00"	N44°51'07"W	318.20'
C7	23.55'	12.73'	25.00'	53°58'05"	N26°50'10"W	22.69'
C8	55.74'	30.07'	60.00'	53°13'46"	N27°12'19"W	53.76'
C9	94.92'	60.68'	60.00'	90°38'47"	N44°43'57"E	85.33'
C10	95.69'	61.46'	60.00'	91°22'40"	S44°15'19"E	85.87'
C11	55.17'	29.71'	60.00'	52°40'58"	S27°46'29"W	53.25'
C12	23.55'	12.73'	25.00'	53°58'05"	S27°07'55"W	22.69'
C13	274.89'	175.00'	175.00'	90°00'00"	S44°51'08"E	247.49'
C14	67.70'	33.90'	525.00'	7°23'18"	S86°09'28"E	67.65'
C15	39.27'	25.00'	25.00'	90°00'00"	N52°32'11"E	35.36'
C16	381.39'	190.81'	4460.00'	4°53'59"	N05°05'12"E	381.28'
C17	213.89'	106.97'	4460.00'	2°44'52"	N01°15'47"E	213.87'
C18	214.50'	107.27'	4526.00'	2°42'56"	S01°14'48"W	214.48'
C19	389.59'	194.92'	4526.00'	4°55'55"	S05°04'14"W	389.47'
C20	190.96'	96.46'	547.00'	20°00'09"	S02°27'53"E	189.99'
C21	54.20'	27.10'	5174.00'	0°36'01"	S12°45'58"E	54.20'
C22	603.75'	302.22'	5174.00'	6°41'09"	S16°24'33"E	603.41'
C23	298.73'	149.41'	5240.00'	3°15'59"	N18°05'07"W	298.69'
C24	325.47'	162.79'	5240.00'	3°33'31"	N14°40'21"W	325.41'
C25	39.07'	19.54'	5240.00'	0°25'38"	N12°40'47"W	39.07'
C26	214.00'	108.10'	613.00'	20°00'09"	N02°27'53"W	212.92'
C27	39.27'	25.00'	25.00'	90°00'00"	N37°27'49"W	35.36'
C28	61.25'	30.67'	475.00'	7°23'18"	N86°09'28"W	61.21'

<b>Development Summary</b>			
Proposed Zoning:	Tier I Residential	Residential Development:	
Minimum Lot Size	217,800 sq.ft. 5.0 acre	Total Developed Area	4,426,560 sq.ft. +- 101.62 acres +-
Min. Lot Width/Frontage	150 ft.	Total Number of Lots	16 Lots
Min. Front Yard Setback	50 ft.	Density	0.16 lots/acre
Min. Rear Yard Setback	50 ft.	Lot Size Summary:	
Min. Side Yard Setback	50 ft.	Smallest Lot Size	220,186 sq.ft. 5.05 acres
Min. Cor. Side Yard	50 ft.	Largest Lot Size	482,981 sq.ft. 11.09 acres
Max. Building Height	35 ft.	Average Lot Size	260,414 sq. ft. 5.98 acres
		Median Lot Size	245,648 sq. ft. 5.64 acres

NO.	DATE	DESCRIPTION
1	08-28-16	Preliminary Submittal

42 NORTH 200 EAST SUITE 1  
AMERICAN FORK, UTAH 84003  
TEL: (801) 756-2488  
FAX: (801) 756-3499

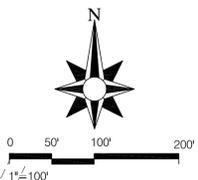
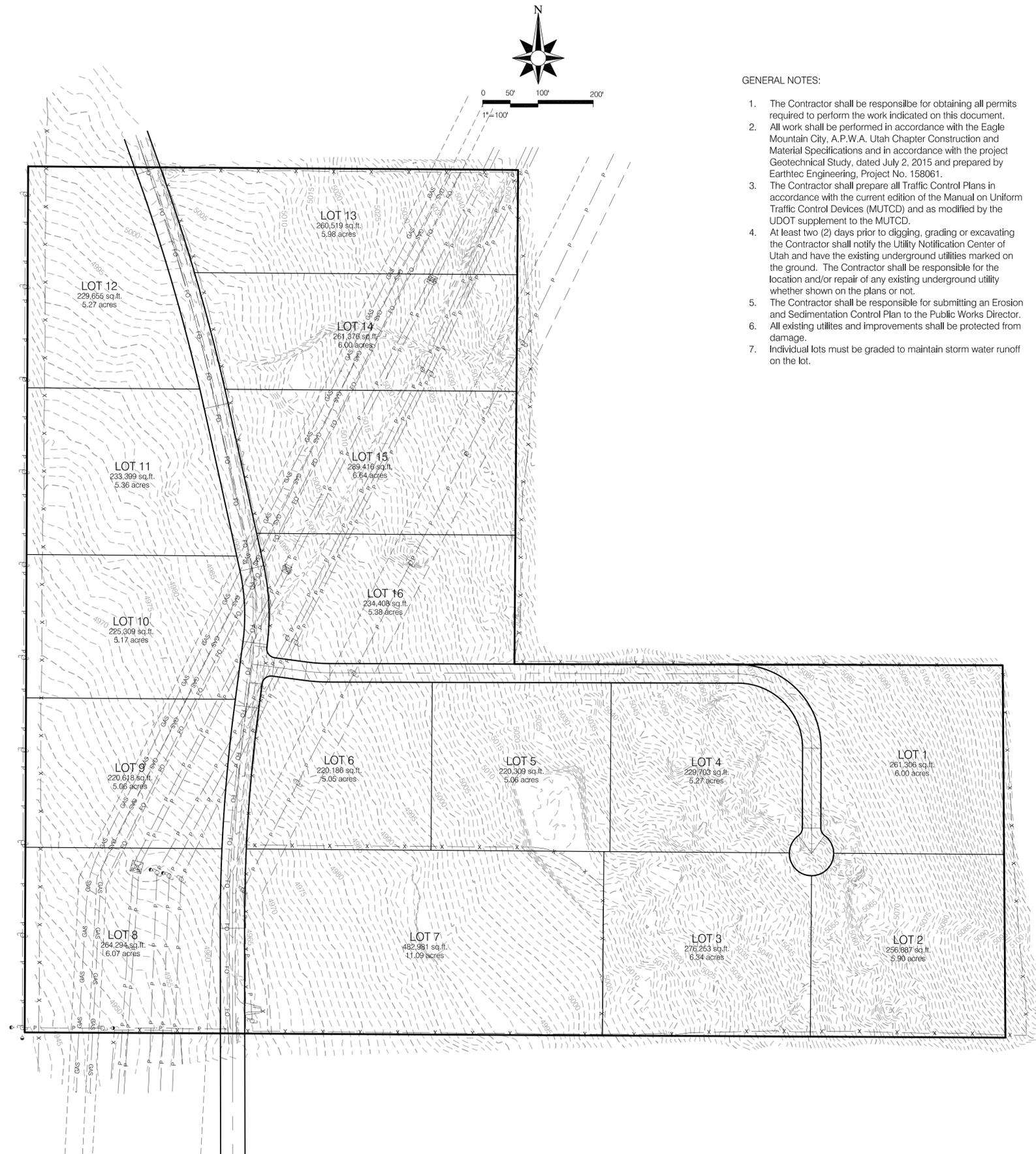
**H&H**  
ENGINEERING &  
SURVEYING, INC.

PROJECT NAME:  
**EAGLE MOUNTAIN BENCHES**  
5500 N LAKE MOUNTAIN ROAD  
EAGLE MOUNTAIN, UTAH

PROJECT NO:	15-457-01
DATE:	Jan 29, 2016
HOR SCALE:	As Noted
VER SCALE:	As Noted
ENGINEER:	VH
DRAFTED:	BS
CHECKED:	VH

TITLE  
**CONCEPT  
SITE PLAN**

2 OF 4  
SHEET  
**C-02**

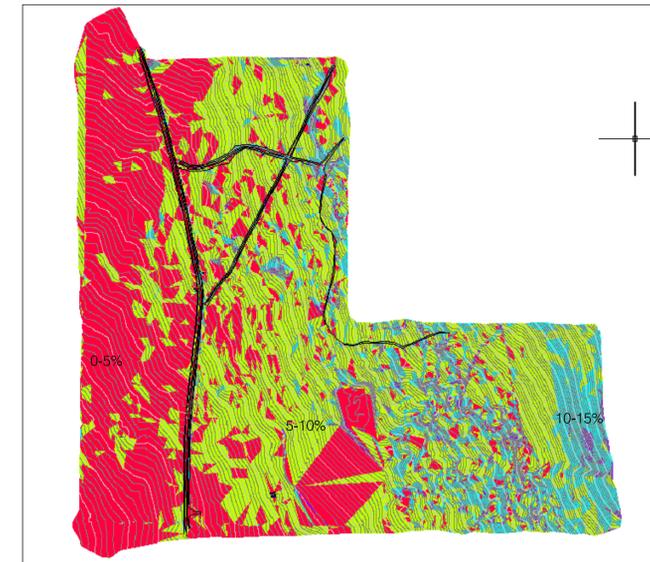


**GENERAL NOTES:**

1. The Contractor shall be responsible for obtaining all permits required to perform the work indicated on this document.
2. All work shall be performed in accordance with the Eagle Mountain City, A.P.W.A. Utah Chapter Construction and Material Specifications and in accordance with the project Geotechnical Study, dated July 2, 2015 and prepared by Earthtec Engineering, Project No. 158061.
3. The Contractor shall prepare all Traffic Control Plans in accordance with the current edition of the Manual on Uniform Traffic Control Devices (MUTCD) and as modified by the UDOT supplement to the MUTCD.
4. At least two (2) days prior to digging, grading or excavating the Contractor shall notify the Utility Notification Center of Utah and have the existing underground utilities marked on the ground. The Contractor shall be responsible for the location and/or repair of any existing underground utility whether shown on the plans or not.
5. The Contractor shall be responsible for submitting an Erosion and Sedimentation Control Plan to the Public Works Director.
6. All existing utilities and improvements shall be protected from damage.
7. Individual lots must be graded to maintain storm water runoff on the lot.

**SLOPE ANALYSIS NOTE:**

1. The project has a general slope in the westerly, southwesterly direction between 3 and 5% slope..
2. Maximum slope across the site is less than 15%.



**LEGEND**

	Section Line
	Boundary Line
	Lot Line
	Center Line
	Right-Of-Way Line
	Easement Line
	Set Back Line
	Existing Potable Water
	Existing Sanitary Sewer
	Existing Secondary Water
	Existing Storm Drain
	Existing Gas Line
	Existing Fiber Optics
	Existing Telephone Cable
	Existing Power Cable
	Existing Fence Line
	Existing Major Contour Line
	Existing Minor Contour Line
	Proposed Major Contour Line
	Proposed Minor Contour Line

NO.	DATE	DESCRIPTION
1	08-28-16	Preliminary Submittal

**H&H**  
**ENGINEERING & SURVEYING, INC.**

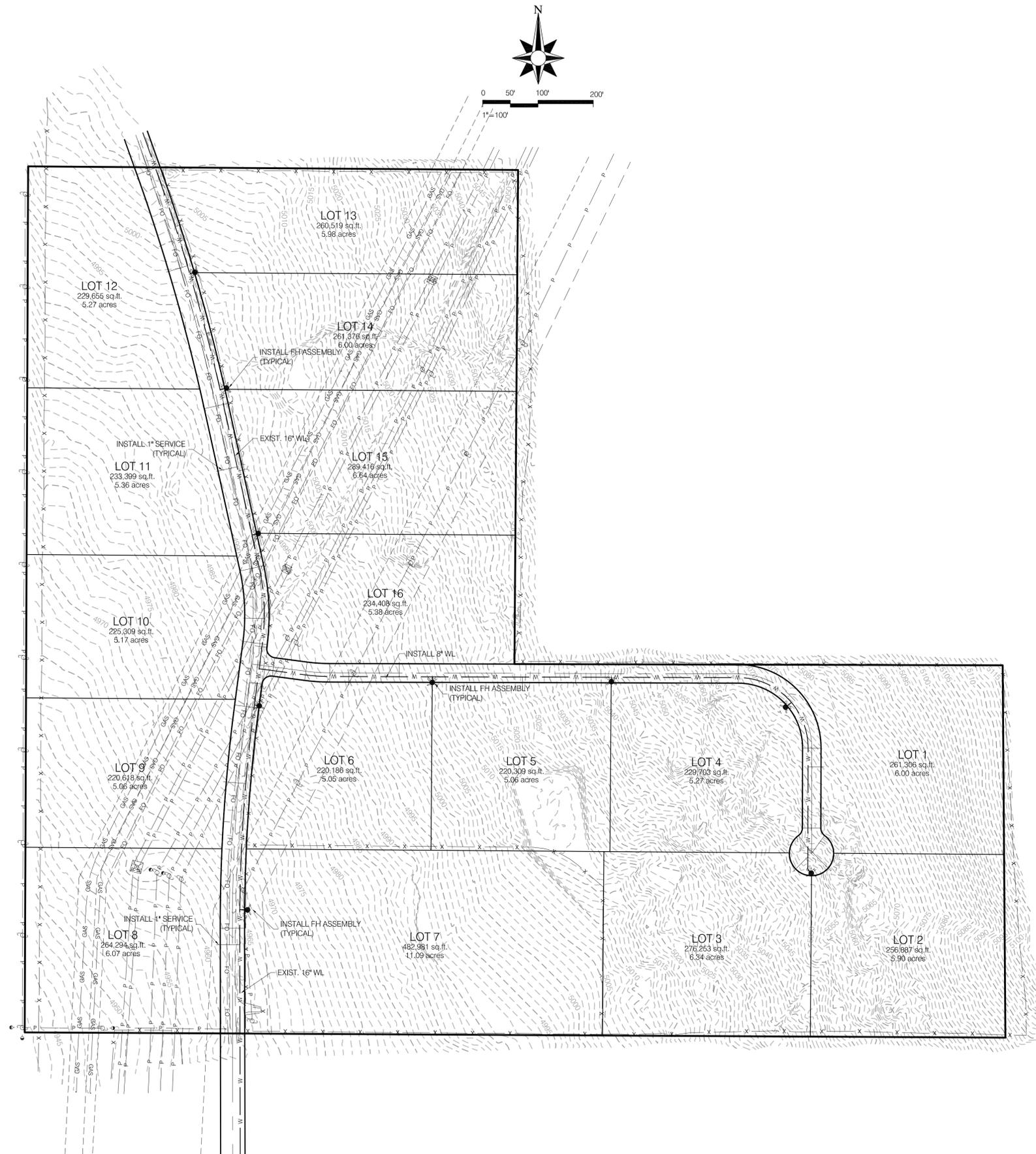
42 NORTH 200 EAST SUITE 1  
 AMERICAN FORK, UTAH 84003  
 TEL: (801) 756-2488  
 FAX: (801) 756-3499

PROJECT NAME:  
**EAGLE MOUNTAIN BENCHES**  
**5500 N LAKE MOUNTAIN ROAD**  
**EAGLE MOUNTAIN, UTAH**

PROJECT NO:	15-457-01
DATE:	Jan 29, 2016
HOR SCALE:	As Noted
VER SCALE:	As Noted
ENGINEER:	VH
DRAFTED:	BS
CHECKED:	VH

TITLE  
**PRELIMINARY GRADING PLAN**

3 OF 4  
 SHEET  
**C-03**



GENERAL NOTES:

1. All construction and installation of improvements shall conform to the Eagle Mountain City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
2. Contractor to verify all conditions and dimensions on site. It shall be the Contractor's responsibility to verify the actual location and elevation of existing utilities and conditions.
3. Contractor to coordinate all utility work with the appropriate Utility Provider. Contractor to verify and follow all Utility Provider requirements, standards and specifications.
4. All 8" valves to be gate valves.
5. All water line fittings to be flanged.
6. Sanitary Sewer Service for each lot shall be provided by an approved Septic Tank System with Leach Field.

LEGEND

—	Section Line
—	Boundary Line
—	Lot Line
—	Center Line
—	Right-Of-Way Line
—	Easement Line
—	Set Back Line
— W —	Existing Potable Water
— SS —	Existing Sanitary Sewer
— PI —	Existing Secondary Water
— SD —	Existing Storm Drain
— GAS —	Existing Gas Line
— FO —	Existing Fiber Optics
— TEL —	Existing Telephone Cable
— P —	Existing Power Cable
— X —	Existing Fence Line
—	Existing Major Contour Line
—	Existing Minor Contour Line
—	Proposed Major Contour Line
—	Proposed Minor Contour Line

PROJECT NAME:  
**EAGLE MOUNTAIN BENCHES**  
**5500 N LAKE MOUNTAIN ROAD**  
**EAGLE MOUNTAIN, UTAH**

PROJECT NO: 15-457-01  
 DATE: Jan 29, 2016  
 HOR SCALE: As Noted  
 VER SCALE: As Noted  
 ENGINEER: VH  
 DRAFTED: BS  
 CHECKED: VH

TITLE  
**PRELIMINARY  
 UTILITY PLAN**

4 OF 4  
 SHEET  
**C-04**

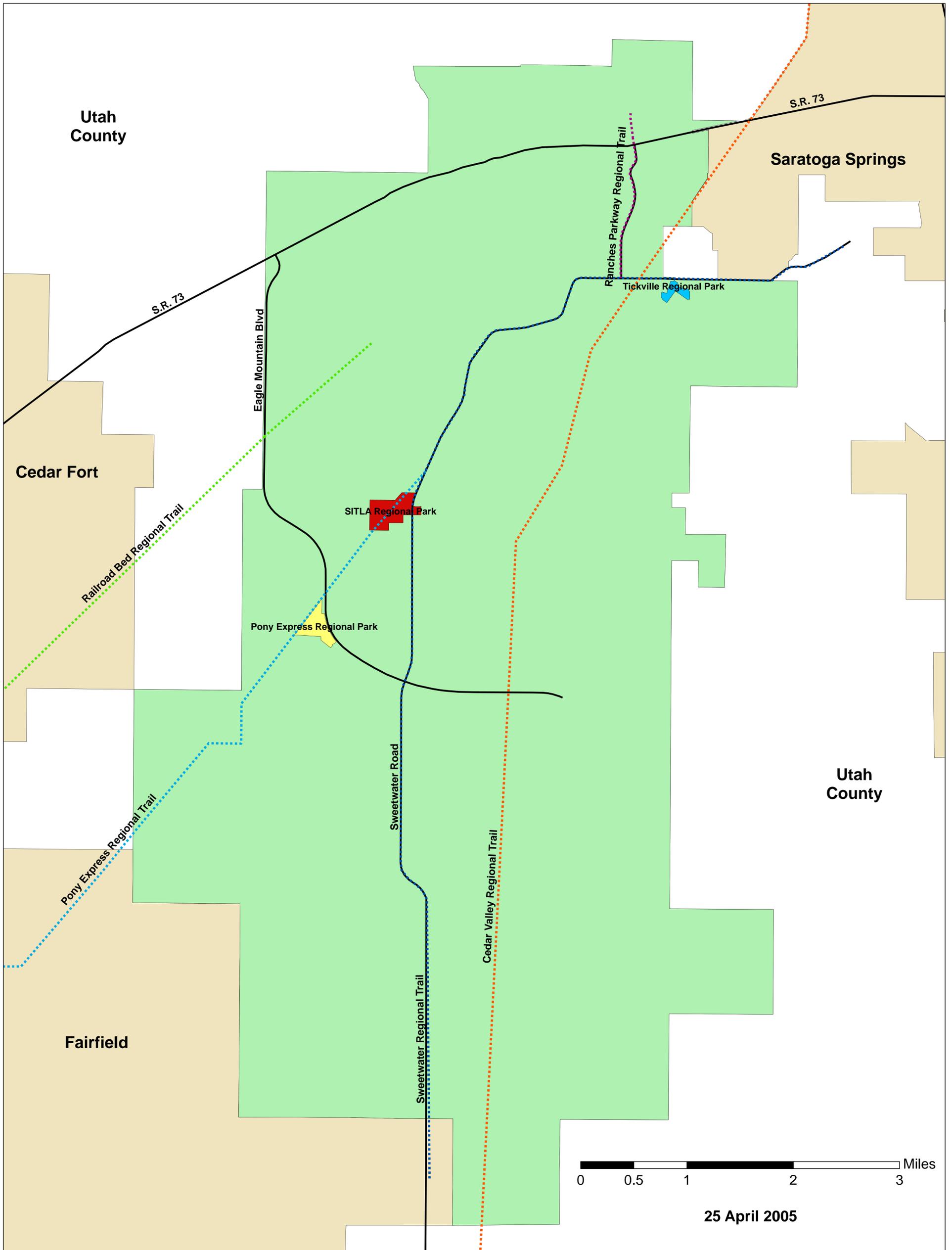
NO.	DATE	DESCRIPTION
1	02-26-16	Preliminary Submittal

**H&H**  
**ENGINEERING &  
 SURVEYING, INC.**

42 NORTH 200 EAST SUITE 1  
 AMERICAN FORK, UTAH 84003  
 TEL: (801) 756-2488  
 FAX: (801) 756-3499

# Eagle Mountain City Regional Parks and Trails

General Plan Map 7



**Regional Parks:**

- Pony Express Regional Park
- SITLA Regional Park
- Tickville Regional Park

**Regional Trails:**

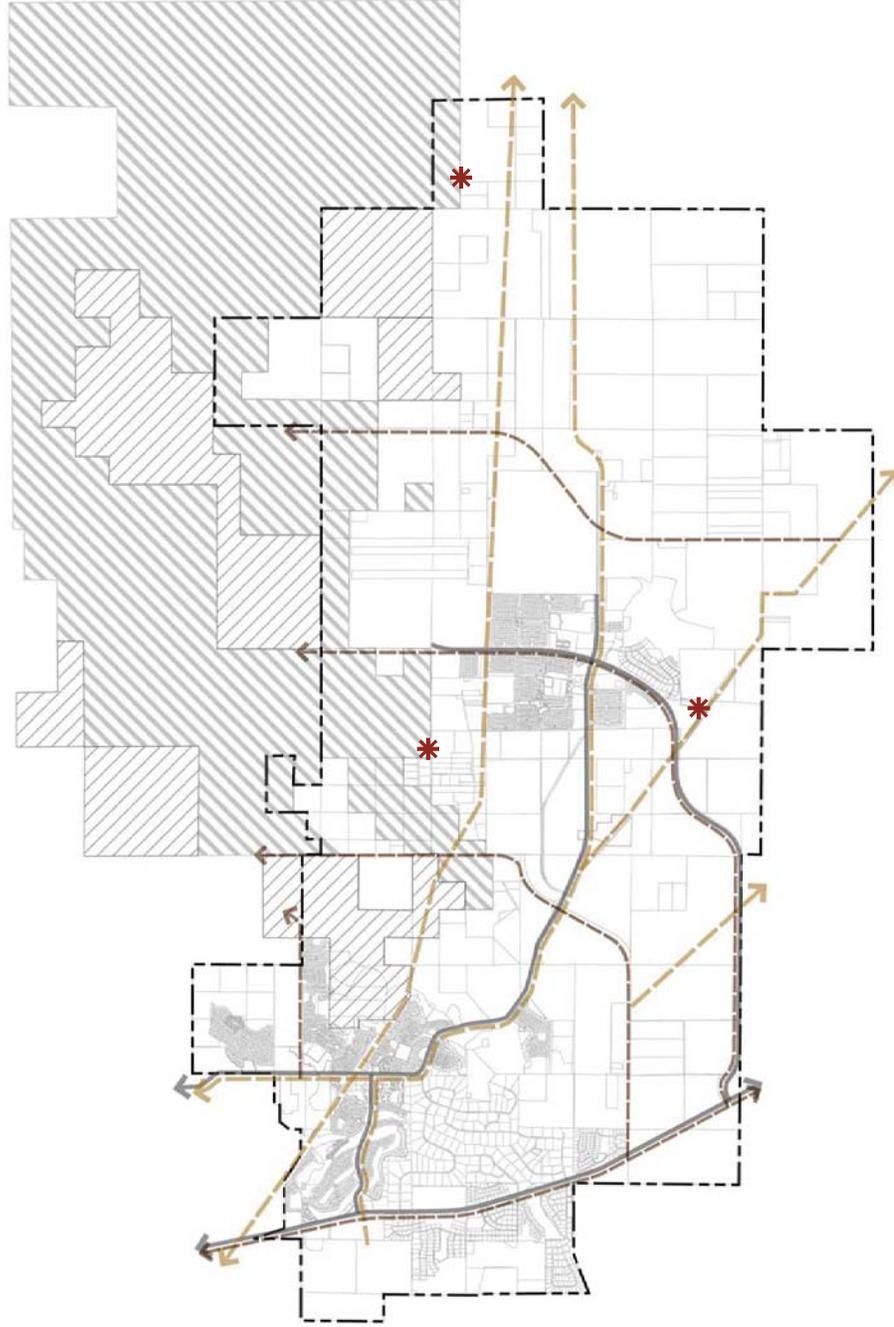
- Pony Express Regional Trail
- Railroad Bed Regional Trail
- Ranches Parkway Regional Trail
- Sweetwater Regional Trail
- Cedar Valley Regional Trail



**Recommended Trail Network**

**Legend**

-  City Boundary
-  Regional Trails
-  Major Roads
-  Forest Service Land
-  BLM Land
-  Proposed Trails
-  ATV Trailhead

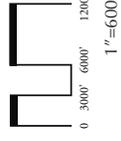


Trail Lengths	
Trails Along Existing Streets	99,664
Trails Along Proposed/Future Streets	84,841
Trails Not Along Streets	84,871
<b>Total (Linear Feet)</b>	<b>269,376</b>

Note: Trailhead locations and trail alignments shown here are general guidelines and not exact configurations. Specific locations will be determined in the future based upon population densities, terrain, land use, and other factors.



NORTH





## EAGLE MOUNTAIN CITY Planning Commission Staff Report

AUGUST 23<sup>RD</sup> 2016

**Project:** Shops at City Center  
**Applicant:** Marlon Hill (MDH Development LLC)  
**Request:** Site Plan  
**Type of Action:** Action Item: Recommendation to City Council

### **Preface**

This application is a site plan for two 6,000 square foot office buildings located on a 2-acre site south of Eagle Mountain Boulevard and west of Ira Hodges Scenic Parkway.

### **Background**

The project is proposed on Parcel 2 of the Eagle Mountain Commercial Plat A preliminary plat (approved 4/19/16 by the City Council); however, the applicant is not proposing the development improve the entire parcel, therefore an amended preliminary plat is required to create a new parcel. A master site plan could also be approved, eliminating the need for a preliminary plat amendment.

### **Items for consideration**

The following items require Planning Commission consideration, it is requested that the Commission provide the City Council feedback on these items.

#### **Plat Conditions**

The following conditions of approval for the *Eagle Mountain Commercial Plat A* Preliminary Plat apply to this property, and should be included as conditions of approval:

2. *No future development (beyond the Dental Office) shall be permitted on either parcel until a Master Site Plan has been approved which addresses site layout, access, circulation and design standards*

6. *Property dedicated along Eagle Mountain Boulevard to full build out width of 122' ROW*

#### **Commercial Design Standards**

**Building/Parking Location:** The applicant is proposing to place the buildings back away from Eagle Mountain Blvd with a parking lot between the front of the building and the street. Eagle Mountain Municipal code (EMMC) states parking ***should*** be located to the side or rear of commercial buildings. **It is up to the Planning Commission to determine if the location of the building is appropriate, and if so, to decide if adequate landscape screening has been provided.**



Relevant Code:

**17.72.030.A Building Location** “Buildings should be located at or near the minimum front setback line, with pedestrian access leading to the primary entrance and landscaping placed between the building and the street. Parking should be located to the side or rear of commercial buildings, not between the street and the building. If parking is situated between the building and the street, significant increases in landscaping, berming, and architectural features are required to break up and screen the expanse of pavement.”

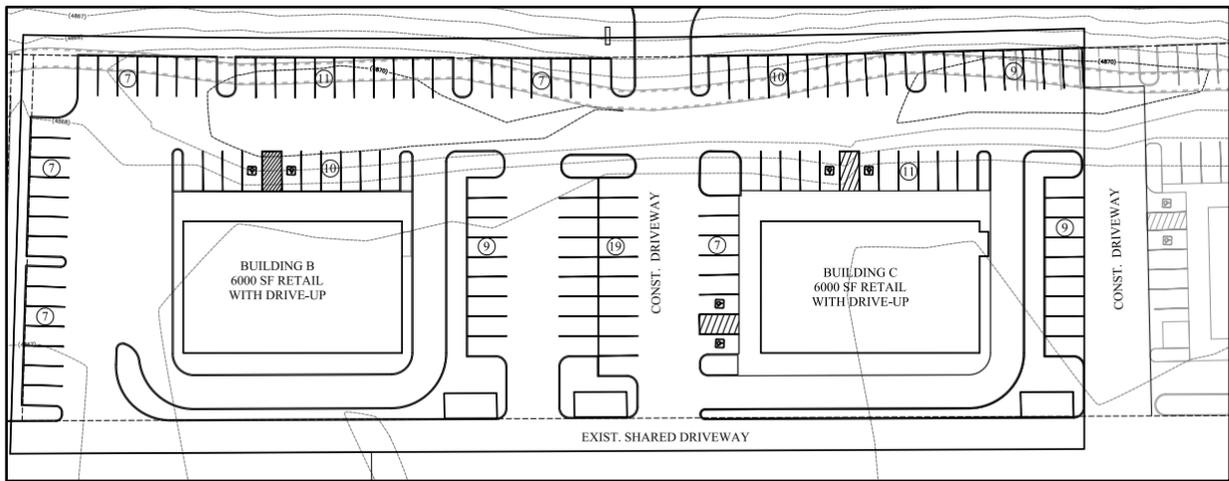


Figure 1 Proposed Building Location

**17.72.030 Commercial Parking Location** states: “Locate surface parking to the side or the rear of buildings. Parking should not be located between any commercial building and the street. This is especially important on corners.”

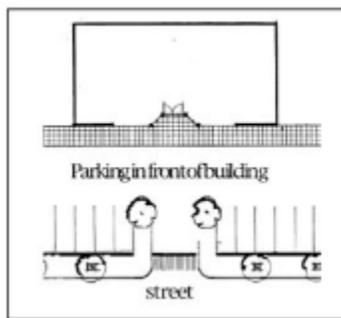


Figure 2 Discouraged Parking between building and street

Architectural Standards: The applicant is proposing elevations that are similar to other developments in the area (Pony Express Dental). Proposed elevations largely meet commercial design standards; however, the main entrance orientation and rear (South – mislabeled as East in the pictures) elevations do not meet architectural standards found in **17.72.040**. It is the Planning Commission's responsibility to address architectural standards and make a recommendation to the City Council.

Relevant Code:

**17.72.040.B Main Entrance:** “The main entrance of a structure should orient to major sidewalks, pedestrian ways, plazas, courtyards, or other public spaces. It shall also be clearly identifiable, and consist of a shelter element such as a porch, stoop, awning, arcade, or portico”

**17.72.040.E.1:** “Commercial buildings **shall** incorporate a majority of the following architectural details: reveals, canopies, awnings, popouts, columns, decorative trim and moldings, architectural lighting, ornamental cornices, decorative masonry pattern, decorative doors and windows, exposed timbers, and trellis structures. **All sides of a building shall include the chosen details**”



Figure 3 Proposed Elevations

**Parking**

Number of Stalls: The following parking requirements are established in the EMMC:

Table 17.55.120(c)	
Retail: Minimum Parking Required	1 Stall/ 300 SF
Retail: Maximum Parking Allowed	1 Stall/ 200 SF
Fast Food: Minimum Parking Required	1 Stall/125 SF
Health Center: Minimum Parking Required	1 Stall/150 SF

If all 12,000 SF were proposed as retail the minimum parking requirement would be 40 stalls, and the maximum parking allowed would be 60 stalls, however, the applicant is proposing to provide 77 stalls, as it is unknown what all of the users will be.

Parking Islands: Are required where there are more than 12 parking stalls in a row, parking islands shall be landscaped and at least 20' by 5'

Relevant Code:

**17.55.080.C.2.** "Islands on Single Rows of Parking. On Single rows of parking there shall be one 20-foot-long by five-foot-wide landscaped island a minimum of every 12 stalls. Islands on a single row shall have a minimum of one deciduous tree having a minimum trunk size of one and one-half inches in caliper measured eight inches above the soil line. Other landscaping installed in the island shall include shrubbery and an acceptable ground cover. No hard surface improvements such as concrete or asphalt are allowed within any landscaped islands. Xeriscaping is encouraged in these areas."

Headlight Screen: All parking areas along Eagle Mountain Boulevard shall have a headlight screen of at least 3.5' to serve as a headlight screen. This headlight screen may be berming, landscaping i.e. bushes, a wall/fence, or be accomplished by the building itself.

Relevant Code:

**17.60.110 D. Headlight Screen:** "A headlight screen shall consist of a berm, fence, wall, or landscaping consisting of at least three and one-half feet in height and capable of blocking headlights. Headlight screening may also be provided by buildings."

**Site Features**

Walking Path: The applicant should provide a ten foot (10') landscaped strip between sidewalk/trail and the parking lot to match what was required for the Pony Express Dental Office.

Relevant Code:

**Table 17.60.160(b) Required Buffer Widths and Improvements:**

<b>Land Use 1</b>	<b>Land Use 2</b>	<b>Required Buffer Width</b>	<b>Required Improvements</b>
<i>Parking Areas</i>	<i>Public Street</i>	<i>10 Feet</i>	<i>Trees, Berming, Headlight Screen</i>

**Lighting:**

Street Lights: Street lights required at a minimum spacing of 150' and a maximum spacing of 250' along Eagle Mountain Boulevard.

Lighting Plan: Applicant shall submit a lighting plan that complies with **Chapter 17.56** of the EMMC: **Outdoor Lighting Standards**.

Signage: The applicant shall provide staff with a signage plan detailing proposed monument sign sizes, locations, and design.

**Roads/Transportation:**

Traffic Memo: The applicant must provide a traffic memo/Traffic Impact Study to the City engineer for review.

Engineers Recommendation: The City Engineer recommends that an acceleration and deceleration lane is added on Eagle Mountain Boulevard.

The City Engineer may recommend additional requirements after reviewing the Traffic Study/Traffic Memo. The applicant must comply with any conditions recommended by the City Engineer.

### **Possible Motions**

The following motions are provided for the benefit of the Planning Commission. They may be read as the motions or referenced when making motions.

If you, the Planning Commission, feel that the proposed Site Plan complies with City Code then the following motion is appropriate:

*I move that the Planning Commission recommend approval of the Shops at City Center Site Plan to the City Council with the following conditions:*

Recommended conditions of approval

1. *Amended Preliminary Plat required (or a master site plan) prior to a building permit being issued*
2. *No building permit shall be issued until a Master Site Plan has been approved which addresses site layout, access, circulation and design standards*
3. *Property shall be dedicated along Eagle Mountain Boulevard to full build out width of 122' ROW*
4. *A final plat shall be approved and recorded prior to a building permit being issued*
5. *Chosen Building details shall be continued on all sides of the building (4 sided architecture)*
6. *Parking islands required a minimum of every 12 parking stalls*
7. *Dumpster enclosures must be provided and approved by staff*
8. *The applicant shall provide a ten foot (10') landscaped strip between the sidewalk/trail and the parking lot*
9. *Street lights required every 150'-250' along Eagle Mountain Boulevard*
10. *Acceleration and Deceleration lanes required on Eagle Mountain Boulevard*
11. *Applicant must comply with any traffic recommendations made by the City Engineer after traffic memo is reviewed*

If you, the Planning Commission, feel that more time, discussion, or information is warranted, or changes to the site plan are necessary prior to a recommendation of approval, and you wish to table or continue the hearing to a later date, than the following motion is appropriate:

*I move that the Planning Commission table/continue the Public Hearing to a later date (specify date and reasons).*

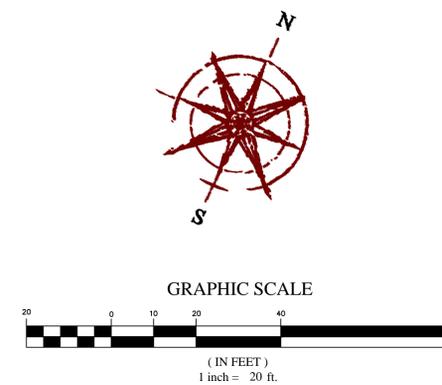
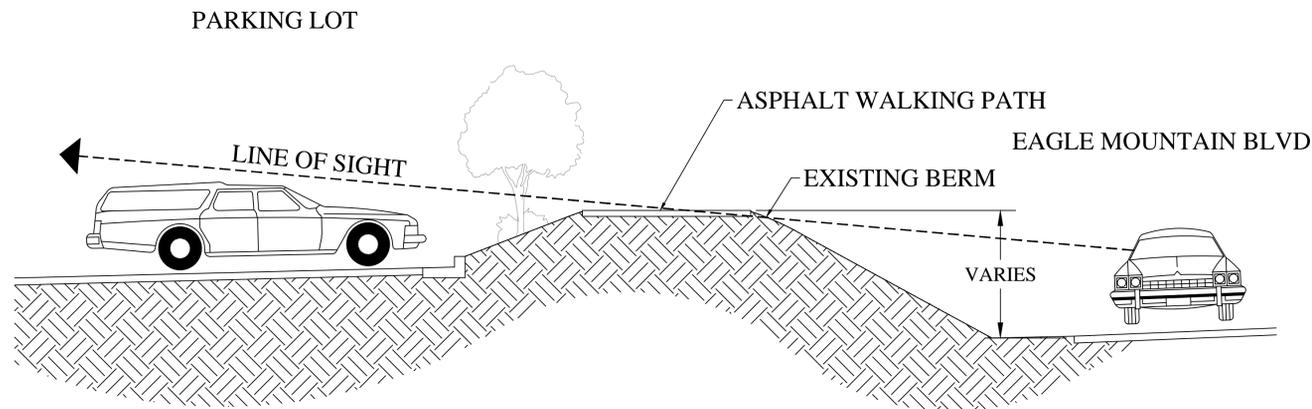
### **Attachments**

- Site Plan
- Elevations
- Landscape Plan

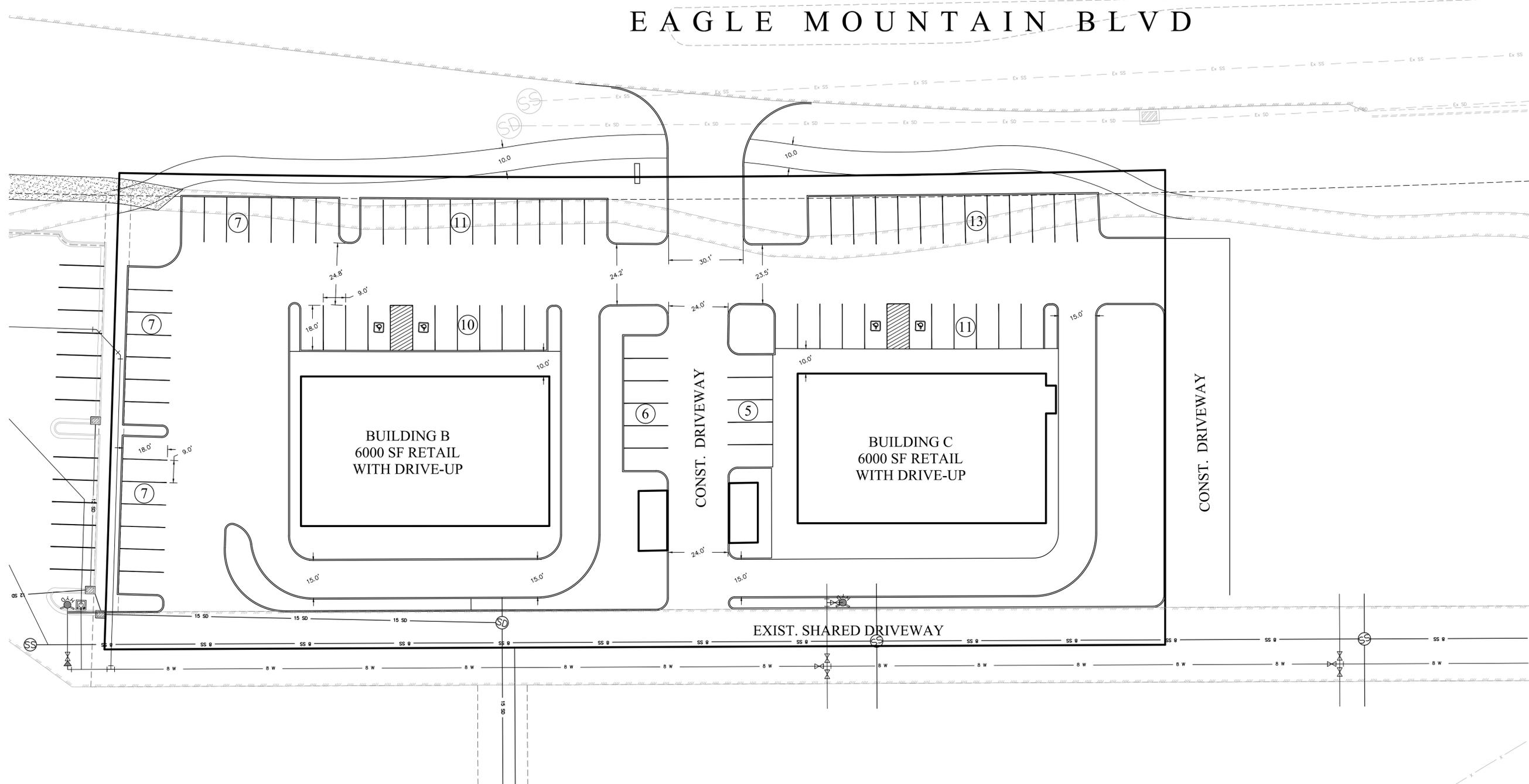
**ADA COMPLIANCE NOTE:**  
 ALL APPLICABLE ELEMENTS OF THE AMERICAN WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES WILL BE ADHERED TO.

**SITE STATISTICS**

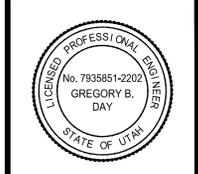
TOTAL PROJECT SITE 36,176 SQUARE FEET  
 BUILDING AREA 12,000 SQUARE FEET (MAIN)  
 PARKING STALLS REQUIRED 75 STALLS (4 ADA STALLS)  
 PROVIDED 77 STALLS



**EAGLE MOUNTAIN BLVD**



**FOCUS**  
 ENGINEERING AND SURVEYING, LLC  
 32 WEST CENTER STREET  
 MIDVALE, UTAH 84047 PH: (801) 352-0075  
 www.focusutah.com



**RETAIL BUILDING**  
 EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH  
**SITE PLAN**

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

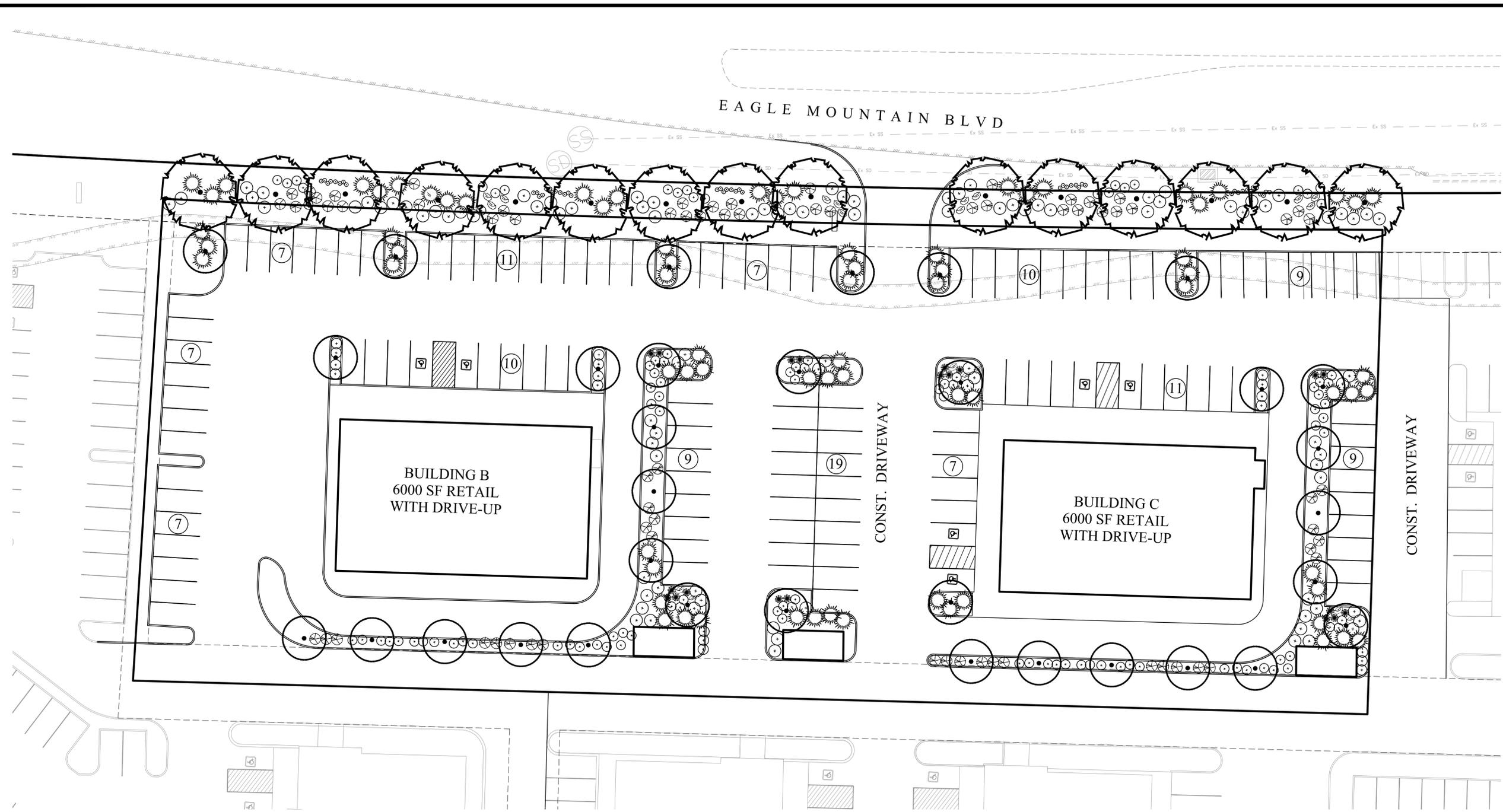
**SITE PLAN**

Scale: 1"=20' Drawn: GBD  
 Date: 04/18/16 Job #: 16-014  
 Sheet: C02

Z:\2016\16-174\_Mentle\_Vista\_Retail\_Building\Design\_16-174.dwg\sheets\C03 - SITE PLAN.dwg



**RETAIL BUILDING**  
EAGLE MOUNTAIN CITY, UTAH COUNTY, UTAH  
**SITE PLAN**

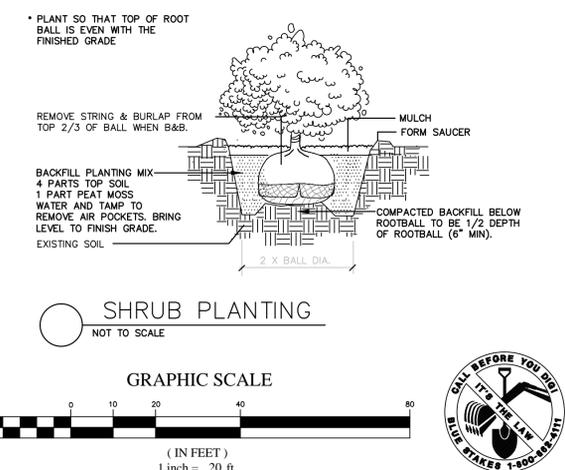
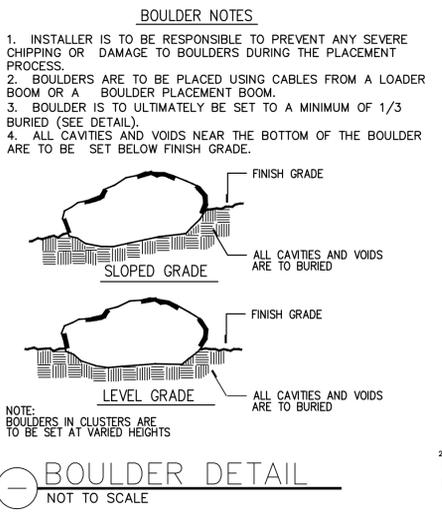
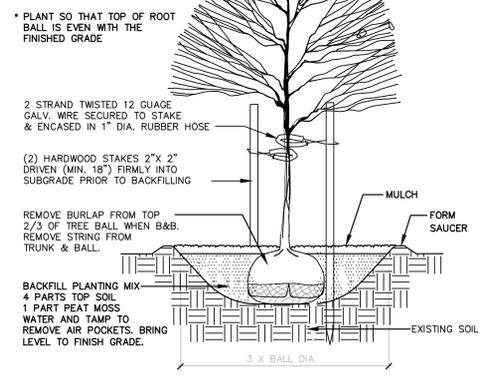
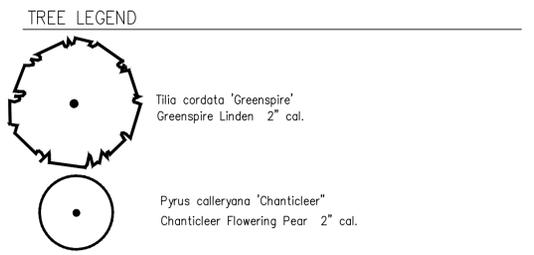


**PLANT SCHEDULE**

Symbol	Scientific Name	Common Name	Size
<b>SHRUBS</b>			
CDL	<i>Cotoneaster dammeri</i> 'Lowfast'	Lowfast Cotoneaster	2 Gal
JHB	<i>Juniperus horizontalis</i> 'Blue Chip'	Blue Chip Juniper	2 Gal
JSB	<i>Juniperus sabin</i> 'Buffalo'	Buffalo Juniper	2 Gal
PON	<i>Physocarpus opulifolius</i> 'Nanus'	Dwarf Ninebark	2 Gal
PFG	<i>Potentilla fruticosa</i> 'Goldfinger'	Goldfinger Potentilla	2 Gal
RAG	<i>Rhus aromatica</i> 'Grow Low'	Grow Low Sumac	2 Gal
<b>PERENNIALS</b>			
CAK	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Feather Reed Grass	1 Gal
FOG	<i>Festuca ovina glauca</i> 'Boulder Blue'	Boulder Blue Fescue	1 Gal
HSD	<i>Hemerocallis</i> 'Stella de Oro'	Daylily	1 Gal
POK	<i>Pennisetum orientale</i> 'Karley Rose'	Karley Rose Fountain Grass	1 Gal
PAL	<i>Perovshia atriplicifolia</i> 'Langin Blue'	Langin Blue Russian Sage	2 Gal

**LANDSCAPE NOTES**  
TOP DRESS ALL SHRUB BED AREAS AND OTHER AREAS LABELED ROCK MULCH WITH 4" DEEP OF 2" TO 4" SOUTH TOWN COBBLE ROCK MULCH FROM NEPHI SANDSTONE IN NEPHI, UTAH OVER DEWITT PRO-5 WEED BARRIER FABRIC. FABRIC SHALL BE INSTALLED AFTER PRE-EMERGENT HAS BEEN APPLIED.

**LANDSCAPE LEGEND**  
LANDSCAPE BOULDERS (2' TO 3' SIZE - 11 TOTAL BOULDERS)  
LANDSCAPE BOULDERS SHALL BE JERICHO BOULDERS FROM NEPHI, UTAH



**REVISION BLOCK**

#	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

**SITE PLAN**

Scale: 1"=20'  
Date: 04/18/16  
Sheet: C02

Drawn: GBD  
Job #: 16-014



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"



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**VDG** VINCENT DESIGN GROUP, INC.  
ARCHITECTS AND PLANNERS  
401 EAST 1700 SOUTH, SALT LAKE CITY, UTAH - (801)-484-2046

PROPOSED ELEVATIONS FOR:  
**NEW RETAIL STRIP BUILDING  
MONTE VISTA**  
EAGLE MOUNTAIN, UTAH  
EXTERIOR ELEVATIONS

ARCH. PROJECT NO: XX-XXX  
DATE: 4/4/16  
DRAWN BY: BRENT  
CHECKED BY:  
DESIGNED BY:  
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DATE	REVISION

SHEET TITLE  
**A-1.00**  
ARCHITECTURAL 1 of 1



**EAGLE MOUNTAIN CITY**  
Planning Commission Staff Report

**AUGUST 23<sup>RD</sup> 2016**

**Project:** Development Code Amendment: Chapter 16.35.140 (Diagrams)  
**Applicant:** City Staff  
**Type of Action:** Action Item (Recommendation to the City Council); Public Hearing

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**Background**

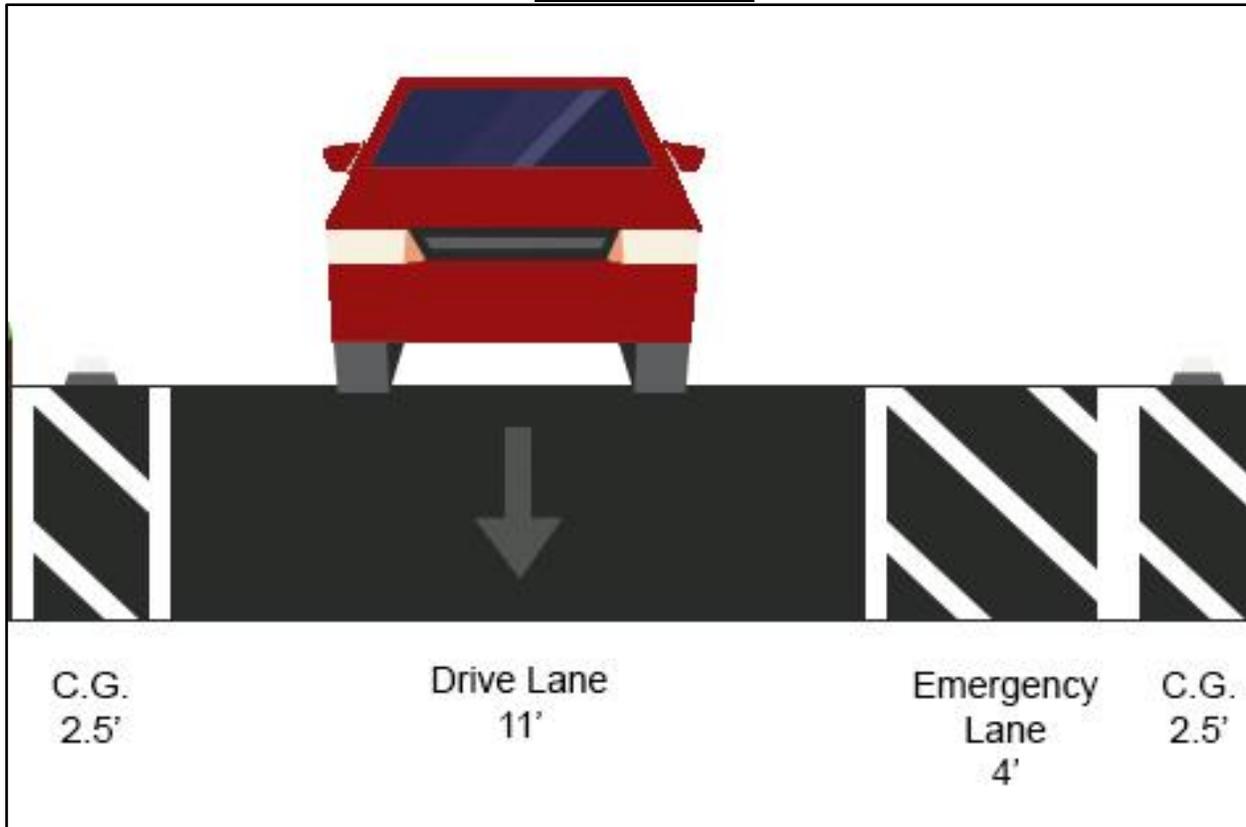
Staff recently solicited feedback from the Planning Commission regarding adding illustrations to the City Code clarifying Right of Way (ROW) requirements. Staff has incorporated Planning Commission feedback and is seeking to include setback illustrations in Chapter 16 of the EMMC.

**Proposed Amendments**

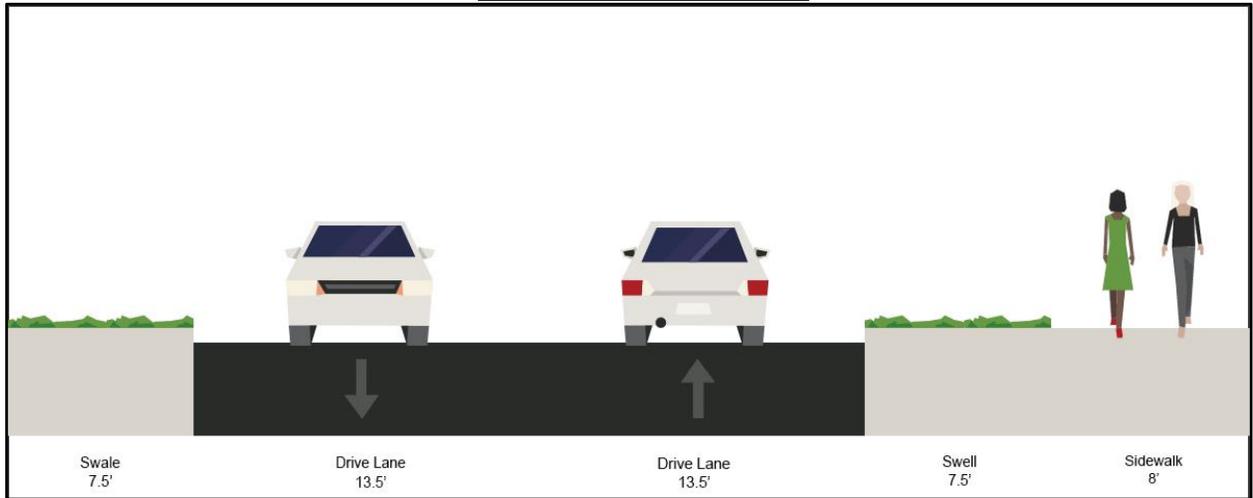
Staff recommends that the code be adopted to reflect changes to the Zoning Ordinance. The proposed change is presented below:

**Diagram 16.35.140(a)**

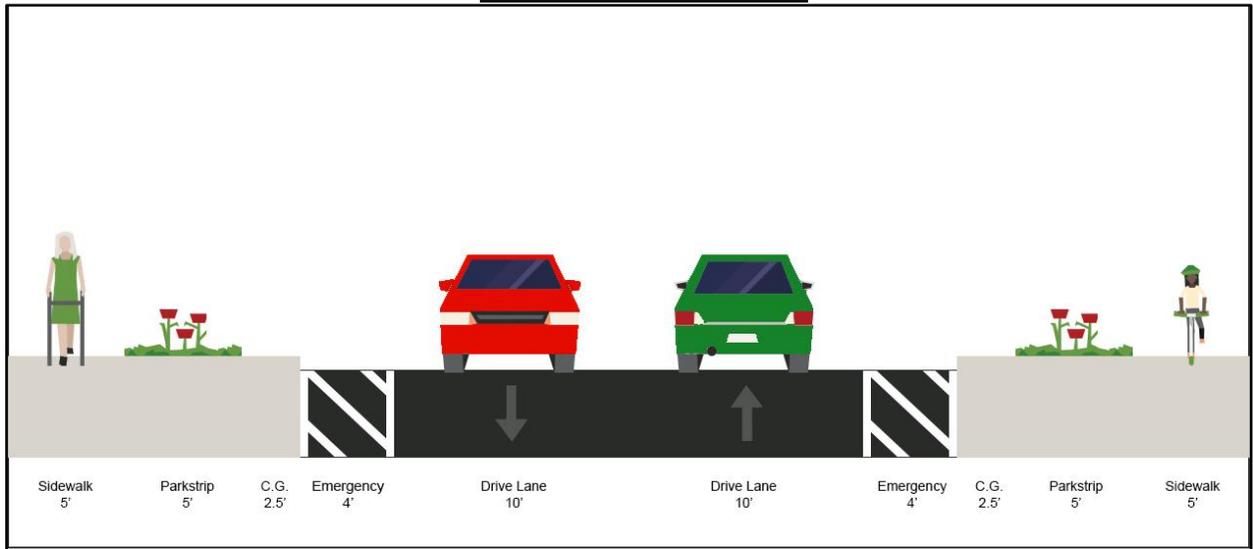
**Alley- 20' ROW**



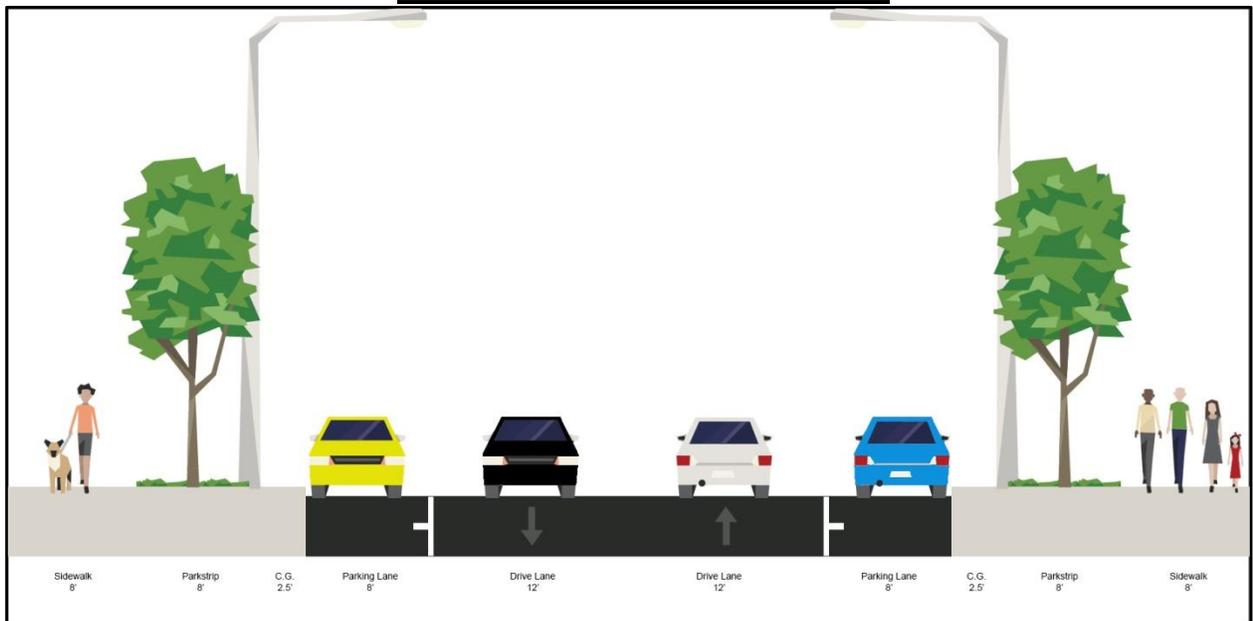
### Rural Street – 50' ROW



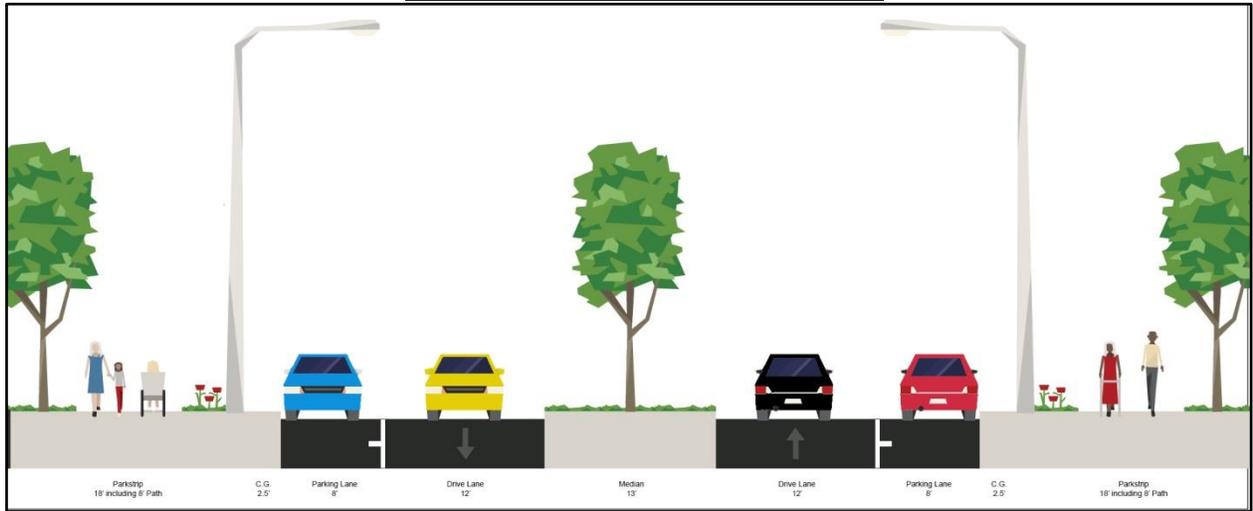
### Local Street – 53' ROW



### Minor Collector (2 lane) – 77' ROW



**Major Collector (3 lane) -94' ROW**



**Minor Arterial (5 lanes) – 122' ROW**



**Major Arterial (5 lanes) – 152' ROW**



**Major Arterial (7 lanes) – 176' ROW**



**Parkway (4 lanes) – 206' ROW**

