

AMERICAN FORK CITY COUNCIL  
AUGUST 9, 2016  
REGULAR SESSION AGENDA

REGULAR SESSION

The American Fork City Council will meet in regular session on **Tuesday, August 9, 2016, in the American Fork City Hall, 31 North Church Street, commencing at 7:30 p.m.** The agenda shall be as follows:

1. Pledge of Allegiance; prayer by Councilman Jeff Shorter; roll call.
2. Presentation of an award to Sabrina Hennen for her ten years of service volunteering for the Youth Court.
3. Twenty-minute public comment period - limited to two minutes per person.
4. City Administrator's Report.
5. Council Reports concerning Committee Assignments.
6. Mayor's Report

COMMON CONSENT AGENDA (*Common Consent* is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda by the Mayor or a Councilmember and placed in the action items.)

1. Approval of the July 21, 2016 Work Session minutes
2. Approval of the July 26, 2016 City Council minutes
3. Approval of the August 2, 2016 Special Session minutes
4. Approval of the city bills for payment, manually prepared checks, and purchase requests over \$25,000

AGENDA ITEMS

1. Confirmation of the appointment of Darren Falslev as Chief of Police for American Fork City. (*Requested by Mayor Hadfield*)
2. Review and action on a Resolution indicating the City's intent to annex the Bennett Annexation consisting of 23.57 acres at approximately 80 North 1020 West. (*Requested by Terilyn Lurker, Recorder*)
3. Review and action on subdivisions, commercial projects, condominiums, and PUD's including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded
  - a. Review and action on an ordinance adopting the commercial site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse Project located at 824 S. Auto Mall Drive, in the PI-1 Planned Industrial zone. (*Requested by Adam Olsen, Planning*)
  - b. Review and action on an ordinance approving an amended commercial site plan for placement of a training facility in the Walmart parking lot, located at 949 West Grassland Drive, in the SC-1 Planned Shopping Center zone. (*Requested by Adam Olsen, Planning*)
4. Adjournment

Dated this 3 day of August, 2016



Terilyn Lurker, City Recorder



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
AUGUST 9, 2016**

**Department** Recorder      **Director Approval** Terilyn Lurker

**AGENDA ITEM** Confirmation of the appointment of Darren Falslev as Chief of Police for American Fork City.

**SUMMARY RECOMMENDATION** The Mayor recommends that the City Council confirm the appointment of Darren Falslev as Police Chief.

**BACKGROUND** Darren Falslev has been acting as Interim Police Chief since the resignation of Lance Call on May 25, 2016. Darren Falslev has been with the American Fork Police Department since March, 1992. He was promoted to Lieutenant in 2001 and he is the longest tenured Senior Commanding Officer. Over the past several years He has supervised investigations and was the Public Information Officer from 2003 to 2008. Darren Falslev has a Masters Degree in Public Administration and in 2004 he graduated from Northwestern University's School of Police Staff and Command. He teaches part-time as an adjunct professor at Utah Valley University.

**SUGGESTED MOTION** I move to confirm the appointment of Darren Falslev as Chief of Police for American Fork City.

**SUPPORTING DOCUMENTS**



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
AUGUST 9, 2016**

**Department** Recorder                      **Director Approval** Terilyn Lurker

**AGENDA ITEM**    Review and action on a Resolution indicating the City's intent to annex the Bennett Annexation consisting of 23.57 acres at approximately 80 North 1020 West.

**SUMMARY RECOMMENDATION**    Staff would recommend approval of the Resolution.

**BACKGROUND**    This property is in the City's Annexation Declaration area. It is located to the north of the ABRA building and the Value Place Hotel and includes the Kay Bennett property as well as a portion of I-15 that is currently in the county.

Approval of this resolution will start the 30-day protest period and allow staff to schedule a public hearing and notify affected entities. If no protests are received prior to the public hearing, the annexation will then move on in the annexation process.

**BUDGET IMPACT**    N/A

**SUGGESTED MOTION**    I move to approve the Resolution indicating the City's intent to annex the Bennett Annexation consisting of 23.57 acres at approximately 80 North 1020 West.

**SUPPORTING DOCUMENTS**

## RESOLUTION NO. \_\_\_\_\_

**Bennett Annexation  
(80 North 1020 West)**

**A RESOLUTION INDICATING THE INTENT OF THE CITY COUNCIL TO ANNEX A PORTION OF AN EXISTING ISLAND OR PENINSULA, IDENTIFYING THE AREA PROPOSED FOR ANNEXATION; AUTHORIZING A PUBLIC HEARING ON THE PROPOSED ANNEXATION AND PROVIDING FOR THE PUBLICATION OF NOTICE OF SAID HEARING:**

**WHEREAS**, Section 10-2-418, Utah Code Annotated, 1953, as amended, establishes a procedure and criteria for the annexation of unincorporated territory within an existing peninsula or island, and

**WHEREAS**, the City has received a request from owners of real property within an existing peninsula or island of unincorporated territory situated contiguous to the boundaries of American Fork City, requesting annexation of said territory to the City, and

**WHEREAS**, the City desires to honor the request of the property owners and effectuate the annexation in accordance with the procedures set forth under State Law,

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:**

**SECTION 1.** The City Council hereby acknowledges receipt of a written notice from the owners of real property within an existing peninsula or island requesting that the property be annexed into American Fork City, in accordance with the terms of the State Law relating to annexation of property within an island or peninsula (UCA 10-2-418). A copy of the request signed by the owner of each parcel requesting annexation is set forth on Exhibit A. Further, an annexation plat showing the location of the area proposed for annexation and designating the area as the "**Bennett Annexation**" is set forth on Exhibit B which exhibits are attached hereto and by this reference made part of this Resolution.

**SECTION 2.** The City Council hereby indicates its desire and intent to annex the territory identified on Exhibit B.

**SECTION 3.** The City hereby acknowledges that the proposed annexation area constitutes only a portion of the existing island or peninsula, but hereby finds and determines that annexation of only a portion of the existing island or peninsula is in the best interest of the City.

**SECTION 4.** The City Council hereby authorizes a public hearing on the proposed annexation and instructs the City Recorder to publish notice thereof to the public and provide

written notice to the County Commission, and each special district whose boundaries contain some or all of the area proposed for annexation, all in accordance with the provisions of State Law.

**SECTION 5.** The provisions of this Resolution shall take effect upon its passage.

**PASSED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 9 DAY OF AUGUST, 2016.**

\_\_\_\_\_  
James H. Hadfield, Mayor

ATTEST:

\_\_\_\_\_  
Terilyn Lurker, City Recorder

Attachment: Bennett Annexation Intent to Annex Resolution (1390 : Bennett Annexation NOI)

# EXHIBIT 'A'

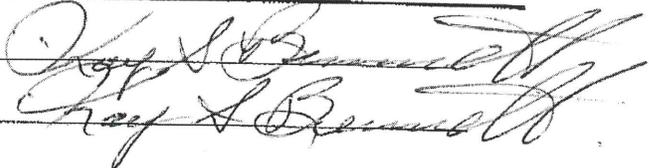
## REQUEST TO INITIATE ANNEXATION OF LAND WITHIN IN AN ISLAND OR PENINSULA

DATE: 7/19/2016

We the undersigned, by virtue of our signatures affixed hereto, do hereby request the City of American Fork, Utah, to annex the parcel(s) identified on the attached map, in accordance with the procedures for "Annexation Without Petition" as set forth under Section 10-2-418(1)(a)(ii) of the Utah State Code.

We hereby further acknowledge and affirm as follows:

- A. The area to be annexed is contiguous to the municipality and has fewer than 800 residents, and
- B. The municipality has provided one or more municipal type services to the area for at least one year.

Tax I.D. No.	Name(s) of Owner	Signature of Owner(s)
13-001-0090		
13-001-0035		
13-001-0084	American Fork City	
13:001: 0084	Utah Department of Transportation	

Attachment: Bennett Annexation Intent to Annex Resolution (1390 : Bennett Annexation NOI)





**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
AUGUST 9, 2016**

**Department** Planning      **Director Approval** Adam Olsen

**AGENDA ITEM** Review and action on an ordinance adopting the commercial site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse Project located at 824 S. Auto Mall Drive, in the PI-1 Planned Industrial zone.

**SUMMARY RECOMMENDATION** The planning commission recommended approval of the commercial site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse Project as stated in the attached minutes of the July 20, 2016 planning commission meeting.

**BACKGROUND** The applicant proposes a condominium plat and site plan for an office warehouse project on one of the last vacant lots on Auto Mall Drive between 500 East and 100 East. For further analysis, please refer to the attached final plat, site plan, staff report and planning commission minutes.

**BUDGET IMPACT** No direct budgetary impact is anticipated as part of this final plat approval.

**SUGGESTED MOTION** I move to approve the ordinance adopting the commercial site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse Project located at 824 S. Auto Mall Drive, in the PI-1 Planned Industrial zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat and publication of the ordinance subject to:

- All conditions identified in the public record associated with the July 20, 2016 planning commission meeting.

**SUPPORTING DOCUMENTS**

1. Ordinance (DOC)
2. Site Plan - Plat (PDF)
3. Staff Report (PDF)
4. Minutes (PDF)

**ORDINANCE NO.**

**AN ORDINANCE ADOPTING THE COMMERCIAL SITE PLAN AND CONDOMINIUM PLAT FOR THE COPPER RIDGE LOT 2 OFFICE WAREHOUSE PROJECT LOCATED AT 824 S. AUTO MALL DRIVE, IN THE PI-1 PLANNED INDUSTRIAL ZONE.**

**BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,**

**PART I****DEVELOPMENT APPROVED - ZONE MAP AMENDED**

- A. The the site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse Project, as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone \_\_\_\_\_.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

**PART II****ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance, are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

**PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 9th DAY OF AUGUST, 2016.**

James H. Hadfield, Mayor

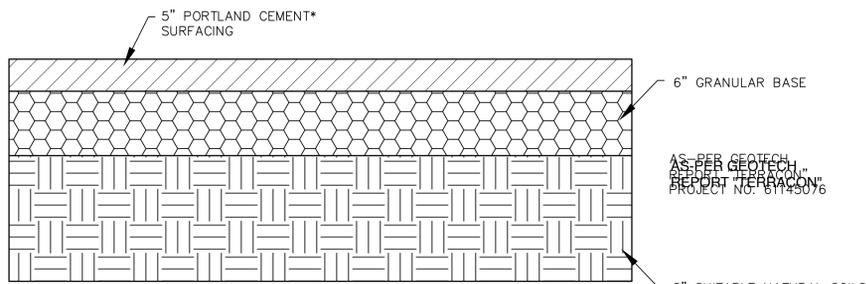
ATTEST:

Richard M. Colborn, City Recorder





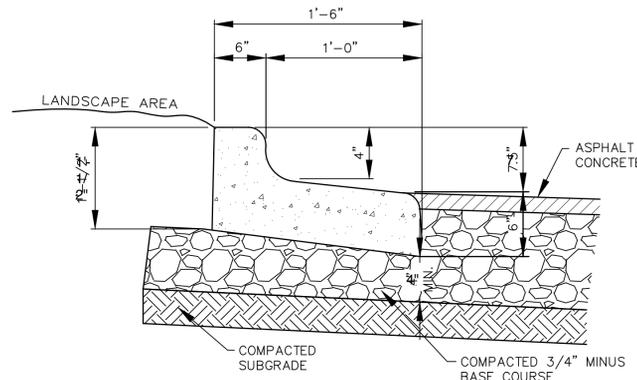




PARKING AREA CROSS SECTION (LIGHT DUTY)

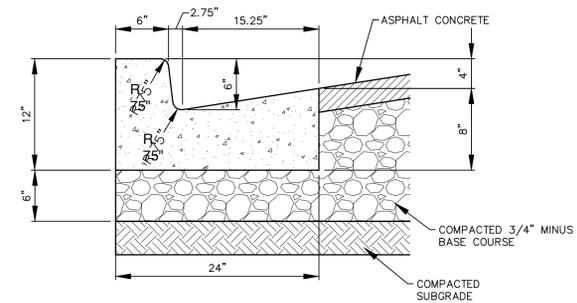
FOR APPROVED EQUIVALENT WITH UPDATED GEOTECHNICAL REPORT

-NTS-



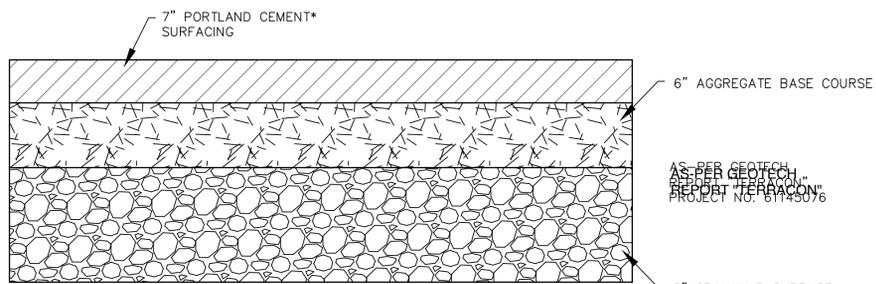
REVERSE LIP CURB & GUTTER

-NTS-



APWA TYPE E CURB & GUTTER

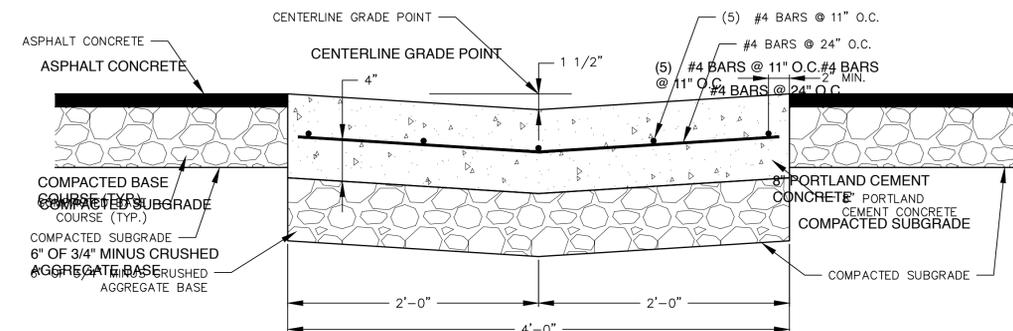
-NTS-



TRUCK DRIVE LANE CROSS SECTION (HEAVY DUTY)

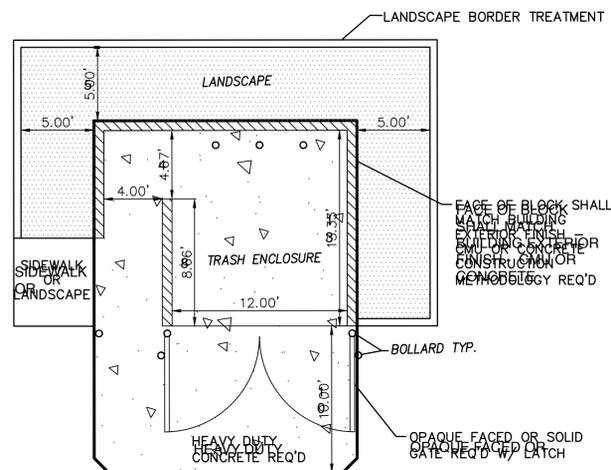
FOR APPROVED EQUIVALENT WITH UPDATED GEOTECHNICAL REPORT

-NTS-



4.00 WIDE GUTTER

-NTS-



CITY STANDARD DUMPSTER/TRASH ENCLOSURE

NOTES: 1. LANDSCAPE SHALL INCLUDE COMBINATION OF SHRUBBERY TO CREATE A LANDSCAPE PLAN AND COMBINATION OF TREES TO CREATE A LANDSCAPE PLAN FOR THE ENCLOSURE 2. ENCLOSURE SHALL BE 8'11" MIN. LANDSCAPE DIMENSIONS SHOWN ARE MINIMUMS. ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE.

PRELIMINARY NOT FOR CONSTRUCTION

Know what's below. **811**  
 Call 811 before you dig.  
**BLUE STAKES OF UTAH**  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111

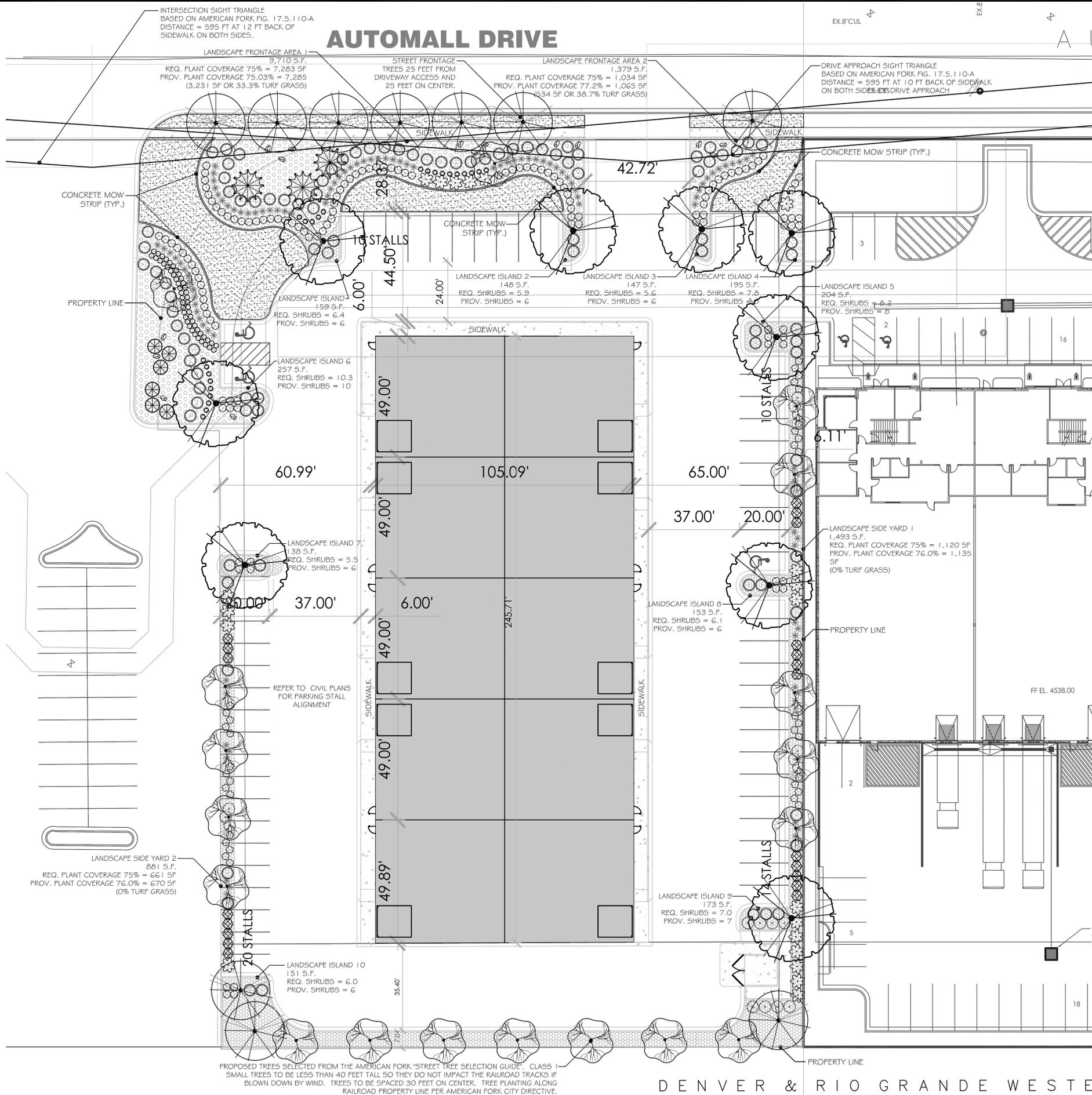
THESE DRAWINGS, OR ANY PORTION THEREOF, SHALL NOT BE USED ON ANY PROJECT OR EXTENSIONS OF THIS PROJECT EXCEPT BY AGREEMENT IN WRITING WITH NORTHERN ENGINEERING, INC.

5		DESIGNED BY:	DATE:
4		DRAWN BY:	DATE:
3		CHECKED BY:	DATE:
2		APPROVED:	DATE:
1		COGO FILE:	DATE:
NO.	REVISIONS	BY	DATE
		REV. COGO FILE:	DATE:

**Northern ENGINEERING INC**  
 ENGINEERING - LAND PLANNING  
 CONSTRUCTION MANAGEMENT  
 1040 E. 800 N.  
 OREM, UTAH 84097  
 (801) 302-8892

**COPPER RIDGE LOT 2**

DETAILS  
 AMERICAN FORK  
 JOB NO. 3-15-094  
 SHEET NO. DT-01



INTERSECTION SIGHT TRIANGLE  
 BASED ON AMERICAN FORK FIG. 17.5.110-A  
 DISTANCE = 595 FT AT 12 FT BACK OF  
 SIDEWALK ON BOTH SIDES.

# AUTOMALL DRIVE

EX.8" CUL 4  
 EX.8" CUL 4

DRIVE APPROACH SIGHT TRIANGLE  
 BASED ON AMERICAN FORK FIG. 17.5.110-A  
 DISTANCE = 595 FT AT 10 FT BACK OF SIDEWALK  
 ON BOTH SIDES OF DRIVE APPROACH

LANDSCAPE FRONTAGE AREA 1  
 9,710 S.F.  
 REQ. PLANT COVERAGE 75% = 7,283 SF  
 PROV. PLANT COVERAGE 75.03% = 7,285  
 (3,231 SF OR 33.3% TURF GRASS)

STREET FRONTAGE  
 TREES 25 FEET FROM  
 DRIVEWAY ACCESS AND  
 25 FEET ON CENTER.

LANDSCAPE FRONTAGE AREA 2  
 1,379 S.F.  
 REQ. PLANT COVERAGE 75% = 1,034 SF  
 PROV. PLANT COVERAGE 77.2% = 1,065 SF  
 (534 SF OR 38.7% TURF GRASS)

LANDSCAPE ISLAND 1  
 159 S.F.  
 REQ. SHRUBS = 6.4  
 PROV. SHRUBS = 6

10 STALLS  
 44.50'  
 6.00'

LANDSCAPE ISLAND 2  
 146 S.F.  
 REQ. SHRUBS = 5.9  
 PROV. SHRUBS = 6

LANDSCAPE ISLAND 3  
 147 S.F.  
 REQ. SHRUBS = 5.6  
 PROV. SHRUBS = 6

LANDSCAPE ISLAND 4  
 195 S.F.  
 REQ. SHRUBS = 7.8  
 PROV. SHRUBS = 8

LANDSCAPE ISLAND 5  
 204 S.F.  
 REQ. SHRUBS = 8.2  
 PROV. SHRUBS = 8

LANDSCAPE ISLAND 6  
 257 S.F.  
 REQ. SHRUBS = 10.3  
 PROV. SHRUBS = 10

LANDSCAPE ISLAND 7  
 138 S.F.  
 REQ. SHRUBS = 5.5  
 PROV. SHRUBS = 6

LANDSCAPE ISLAND 8  
 153 S.F.  
 REQ. SHRUBS = 6.1  
 PROV. SHRUBS = 6

LANDSCAPE ISLAND 9  
 173 S.F.  
 REQ. SHRUBS = 7.0  
 PROV. SHRUBS = 7

LANDSCAPE ISLAND 10  
 151 S.F.  
 REQ. SHRUBS = 6.0  
 PROV. SHRUBS = 6

PROPOSED TREES SELECTED FROM THE AMERICAN FORK "STREET TREE SELECTION GUIDE". CLASS 1  
 SMALL TREES TO BE LESS THAN 40 FEET TALL SO THEY DO NOT IMPACT THE RAILROAD TRACKS IF  
 BLOWN DOWN BY WIND. TREES TO BE SPACED 30 FEET ON CENTER. TREE PLANTING ALONG  
 RAILROAD PROPERTY LINE PER AMERICAN FORK CITY DIRECTIVE.

DENVER & RIO GRANDE WESTE

## PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer campestre / Hedge Maple	B # B	2.5"	Cal	10
	Acer grandidentatum / Bigtooth Maple	B # B	2.5"	Cal	18
	Celtis occidentalis / Common Hackberry	B # B	2.5"	Cal	9
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B # B		6'	3

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
	Berberis thunbergii 'Crimson Ruby' / Crimson Ruby Barberry	5 gal	24
	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 gal	123
	Caryopteris x clandonensis 'Dark Knight' / Blue Mist Shrub	5 gal	20
	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal	17
	Helictotrichon sempervirens / Blue Oat Grass	1 gal	100
	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal	6
	Juniperus sabina 'Broadmoor' / Broadmoor Juniper	5 gal	95
	Miscanthus sinensis 'Gracillimus' / Maiden Grass	5 gal	20
	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	1 gal	35
	Rudbeckia fulgida 'City Garden' / City Garden Black-Eyed Susan	1 gal	50

MULCHES / ROCK	DESCRIPTION	QTY
	"CHANSARE FARM'S IMPERIAL BLUE" - WHICH IS A WATER-WISE TURF GRASS - REFER TO NOTES AND DETAILS SHEET	4,941 S.F.
	3" MINIMUM DEPTH OF 3/4" TO 1-1/2" OF COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER	5,741 S.F.
	3" MINIMUM DEPTH OF 1" TO 2-1/2" OF COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER	7,674 S.F.
	CONCRETE MOW STRIP - REFER TO SHEET L-2	385 L.F.
	8-18 CF LANDSCAPE BOULDER (BROWNS, REDS & GRAYS)	18 EACH

- NOTES:
- SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
  - LANDSCAPE MATERIAL SQUARE FOOTAGES AND PLANT QUANTITIES FOR REFERENCE ONLY, CONTRACTOR TO VERIFY ALL QUANTITIES AND SQUARE FOOTAGES.
  - CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MEASURED PER AMERICAN FORK DEVELOPMENT CODE SECTION 17.5.110. STREET TREE BRANCHES TO BE MAINTAINED AT A MIN. DISTANCE OF 7 FT FROM FINISHED GRADE.
  - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
  - ROCK MULCHES AND BOULDERS TO COMPLEMENT & BLEND WITH ARCHITECTURAL MATERIALS AND COLORS. CONTRACTOR TO SUBMIT SAMPLES TO OWNERS REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.
  - SHADE TREES ARE TO BE A MINIMUM OF 2-1/2" CALIPER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
  - ORNAMENTAL TREES ARE TO BE A MINIMUM OF 1-1/2" CALIPER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
  - EVERGREEN TREES ARE TO BE A MINIMUM OF SIX FEET TALL AT TIME OF PLANTING.
  - DECIDUOUS AND EVERGREEN SHRUBS ARE TO BE FIVE-GALLON CONTAINER. PERENNIALS AND GROUND COVERS ARE TO BE ONE-GALLON CONTAINER.
  - PARKING LOT LANDSCAPE ISLANDS AROUND DUMPSTER AND TRANSFORMER CONSIST OF LARGER SHRUBS AT MATURITY FOR VISUAL SCREENING.

LANDSCAPE CALCULATIONS SUMMARY

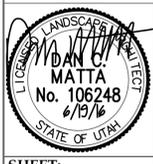
TOTAL SITE AREA	88,675 SF (REFER TO ARCHITECTURAL PLANS)
TOTAL OF ALL LANDSCAPE AREA	18,549 SF
PERCENTAGE OF TOTAL LANDSCAPE IN WATER-WISE TURF GRASS	26.6%
PERCENTAGE OF TOTAL LANDSCAPE IN LOW TO MEDIUM SPACED SHRUBS	73.4%
AUTOMALL DRIVE STREET TREES	6.6 REQUIRED STREET TREES (265.29 LF FRONTAGE / 40)
7 STREET TREES PROVIDED	
REQUIRED INTERIOR PARKING LOT TREES	9.8 TREES (59 STALLS / 6)
PROVIDED INTERIOR PARKING LOT TREES	10 TREES
OVERALL TREES REQUIRED (88,675 SF / 2,500)	35.5 TREES
OVERALL TREES PROVIDED	40 TREES

NO.	REVISIONS	BY	DATE
1	WEST PARKING LOT LANDSCAPE STRIP ADDED	DCM	6/19/16

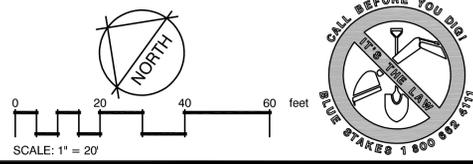
PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 1000 S. 1000 W. SUITE 100  
 DRAPER, UTAH 84020  
 PHONE: 801.841.7464  
 www.foresitedesigngroup.com



COPPER RIDGE DEVELOPMENT  
 LANDSCAPE PLAN  
 824 SOUTH AUTOMALL DRIVE AMERICAN FORK, UTAH



SHEET: L-1  
 FILE NAME: FDG-092-LT  
 SCALE: 1" = 20'



C:\VDS\Dropbox\Projects\AEURbia\Copper Ridge\CAD\LS.dwg - Jun 19, 2016 - 12:40pm  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adoption by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.

PLANT SCHEDULE

TRFEES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	<i>Acer campestre</i> / Hedge Maple	B # B	2.5" Cal		10
	<i>Acer grandidentatum</i> / Bigtooth Maple	B # B	2.5" Cal		18
	<i>Celtis occidentalis</i> / Common Hackberry	B # B	2.5" Cal		9
	<i>Pinus flexilis</i> 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	B # B		6"	3

SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	QTY
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	<i>Caryopteris x clandonensis</i> 'Dark Knight' / Blue Mist Shrub	5 gal	20
	<i>Euonymus alatus</i> 'Compactus' / Compact Burning Bush	5 gal	17
	<i>Helictotrichon sempervirens</i> / Blue Oat Grass	1 gal	100
	<i>Juniperus horizontalis</i> 'Blue Chip' / Blue Chip Juniper	5 gal	6
	<i>Juniperus sabina</i> 'Broadmoor' / Broadmoor Juniper	5 gal	95
	<i>Miscanthus sinensis</i> 'Gracillimus' / Maiden Grass	5 gal	20
	<i>Pennisetum alopecuroides</i> 'Little Bunny' / Little Bunny Fountain Grass	1 gal	35
	<i>Rudbeckia fulgida</i> 'City Garden' / City Garden Black-Eyed Susan	1 gal	50

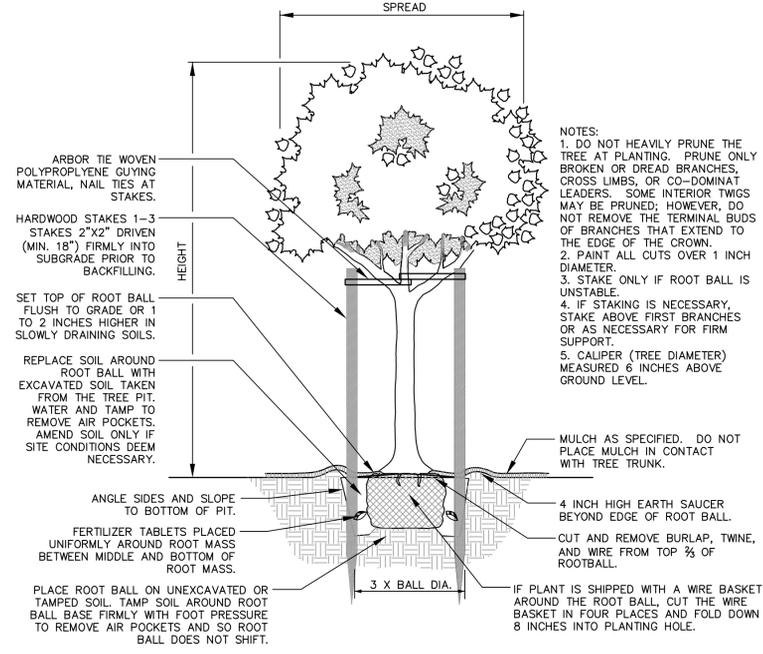
MULCHES / ROCK	DESCRIPTION	QTY
	*CHANSHARE FARMS IMPERIAL BLUE* - WHICH IS A WATER-WISE TURF GRASS - REFER TO NOTES AND DETAILS SHEET	4,941 S.F.
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  - IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.
  - ROCK MULCHES AND BOULDERS TO COMPLEMENT & BLEND WITH ARCHITECTURAL MATERIALS AND COLORS. CONTRACTOR TO SUBMIT SAMPLES TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO DELIVERY.
  - SHADE TREES ARE TO BE A MINIMUM OF 2-1/2" CALIPER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
  - ORNAMENTAL TREES ARE TO BE A MINIMUM OF 1-1/2" CALIPER (MEASURED SIX INCHES ABOVE THE ROOT BALL) AT TIME OF PLANTING.
  - EVERGREEN TREES ARE TO BE A MINIMUM OF SIX FEET TALL AT TIME OF PLANTING.
  - DECIDUOUS AND EVERGREEN SHRUBS ARE TO BE FIVE-GALLON CONTAINER. PERENNIALS AND GROUND COVERS ARE TO BE ONE-GALLON CONTAINER.
  - PARKING LOT LANDSCAPE ISLANDS AROUND DUMPSTER AND TRANSFORMER CONSIST OF LARGER SHRUBS AT MATURITY FOR VISUAL SCREENING.

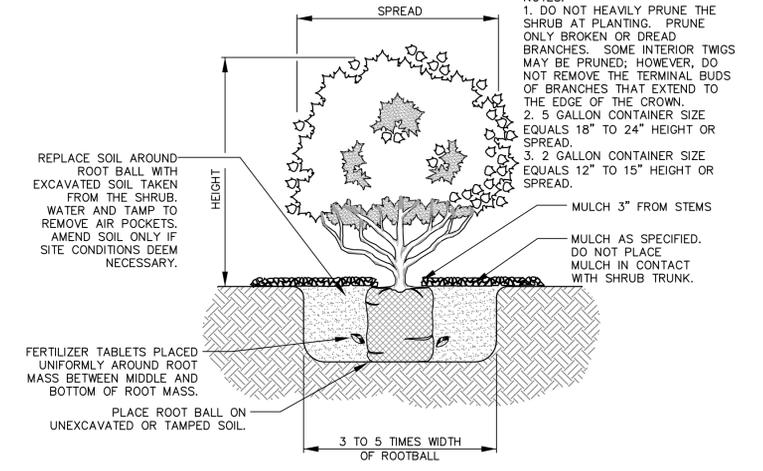
PLANTING NOTES:

- LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT OR OWNER WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.
- CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
- CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.
- LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
- PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF TWELVE (12) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.
- PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.
- SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL TO BE ADDED AT A RATE OF THREE CUBIC YARDS PER 1000 SQUARE FEET. TILL INTO THE SUBGRADE SOIL PRIOR TO PLACING TOPSOIL. TILL AMENDMENTS IN TO A DEPTH OF 6". ALL SOD AREAS SHALL HAVE THE SOIL AMENDED.
- TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL SHALL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED AMENDED SUBGRADE. TOPSOIL SHALL BE SPREAD TO A DEPTH OF FIVE INCHES (5") IN ALL SOD AND SHRUB AREAS.
- SOD MUST BE PREMIUM QUALITY. ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE. TURF GRASS TO BE 'CHANSHARE FARMS IMPERIAL BLUE' (OR EQUIVALENT) WHICH IS A 'WATER-WISE TURF'. INSTALL AND MAINTAIN PER GROWER'S SPECIFICATIONS.

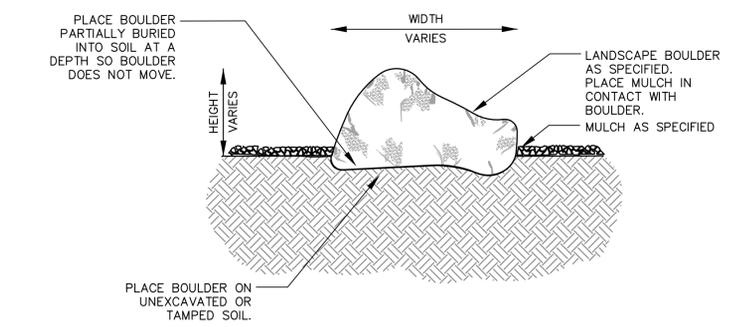
- MULCH OVER DEWITT PRO 5 WEED BARRIER WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. SEE PLANS FOR MULCH TYPES. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO THE MINIMUM NOTED DEPTH. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.
- FERTILIZER FOR SOD AREAS SHALL BE PELLETED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.
- TREE STAKING AND GUYING SHALL BE ON AN AS NEEDED BASIS ONLY. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON THE SITE SOIL CONDITIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.
- TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.
- LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.
- ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.
- SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF ANY GRAVEL OR WOOD MULCHES. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.
- IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS IN THEIR SPECIFIC SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.
- SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2007 APWA 'MANUAL OF STANDARD SPECIFICATIONS'.
- ALL LANDSCAPE MATERIAL SHALL BE FULLY IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD). IRRIGATION DESIGN SHALL BE APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO REFER TO AMERICAN FORK DEVELOPMENT CODE: TITLE 15 - BUILDINGS AND CONSTRUCTION, CHAPTER 15.01 - DEVELOPMENT AND CONSTRUCTION STANDARDS, DIVISION 11 - IRRIGATION SYSTEMS AND LANDSCAPING.



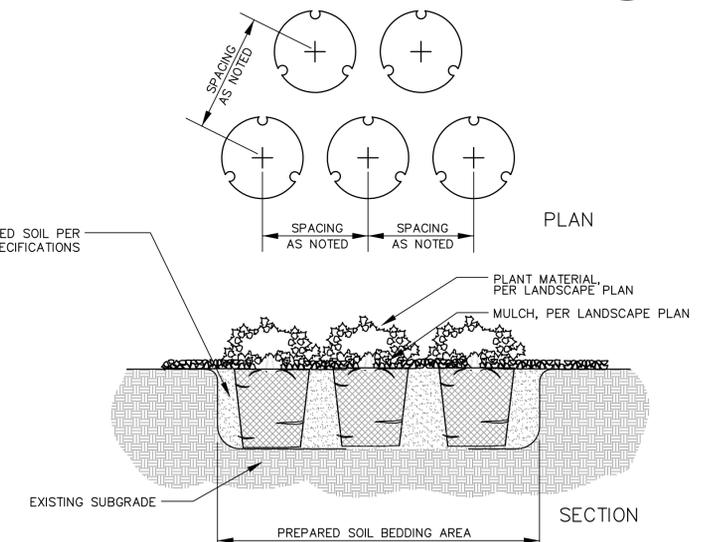
1 TREE PLANTING AND STAKING  
N.T.S.



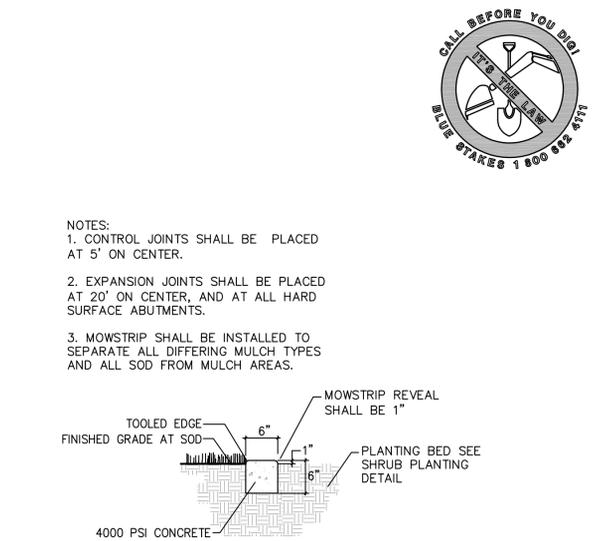
2 SHRUB AND ORNAMENTAL GRASS PLANTING  
N.T.S.



3 BOULDER PLACEMENT  
N.T.S.



4 GROUNDCOVER, ANNUAL, AND/OR PERENNIAL PLANTINGS  
N.T.S.



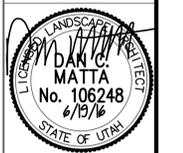
5 CONCRETE MOWSTRIP  
N.T.S.

NO.	REVISIONS	DATE	BY
1	REVISED	6/19/16	DCM

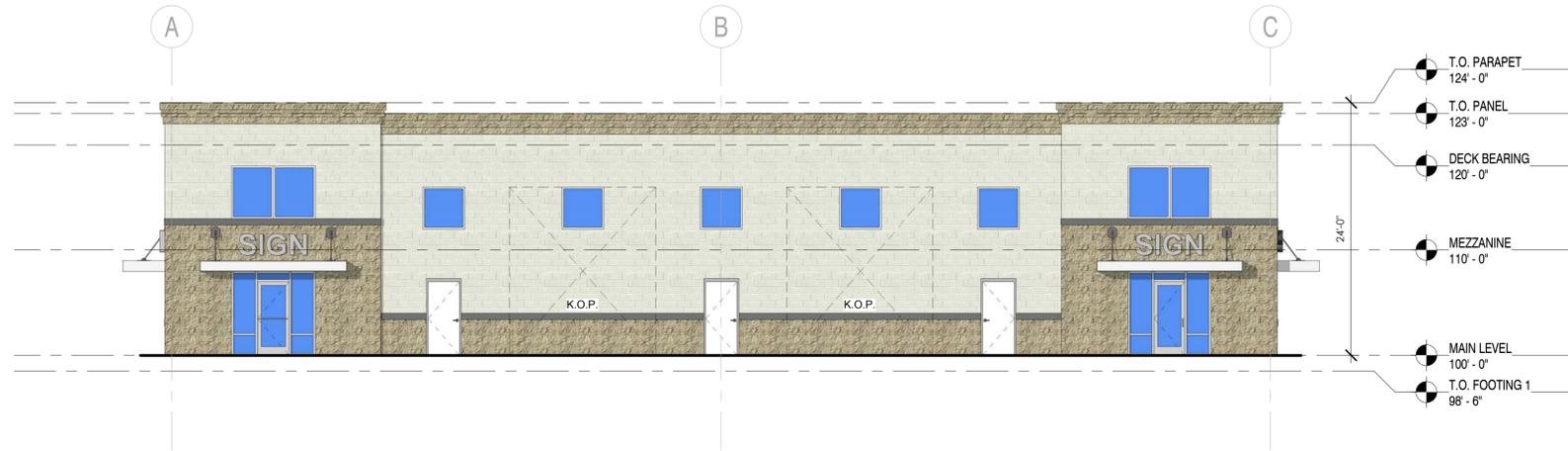
PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 824 SOUTH AUTOMALL DRIVE AMERICAN FORK, UTAH 84402  
 PHONE: 801.841.7484  
 www.foresitedesigngroup.com



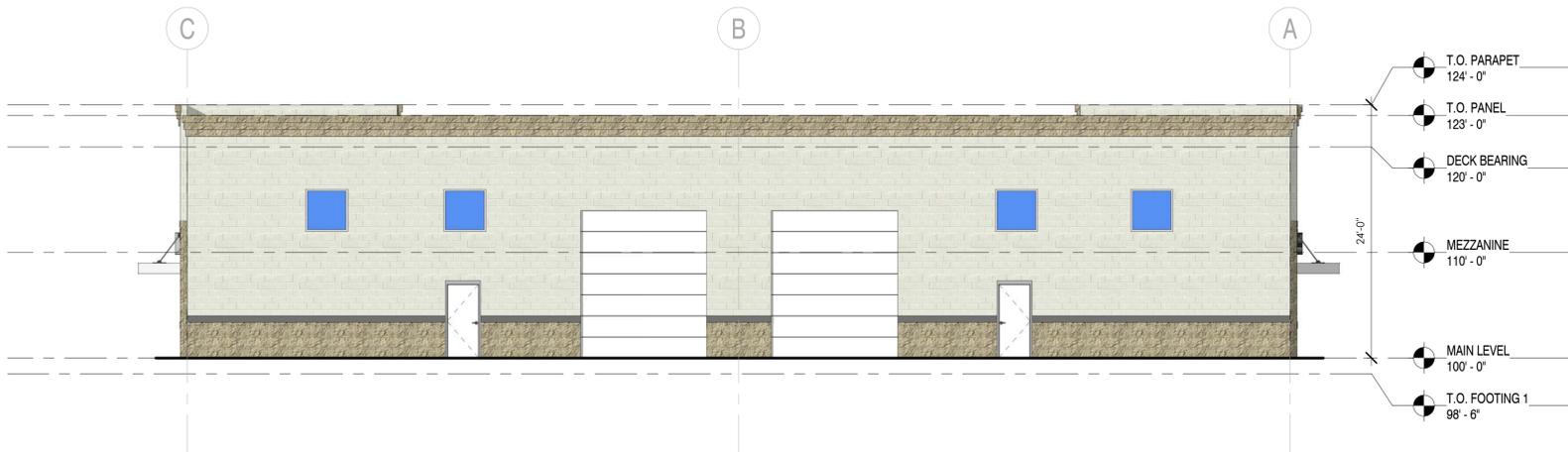
COPPER RIDGE DEVELOPMENT  
 LANDSCAPE NOTES AND DETAILS  
 824 SOUTH AUTOMALL DRIVE AMERICAN FORK, UTAH



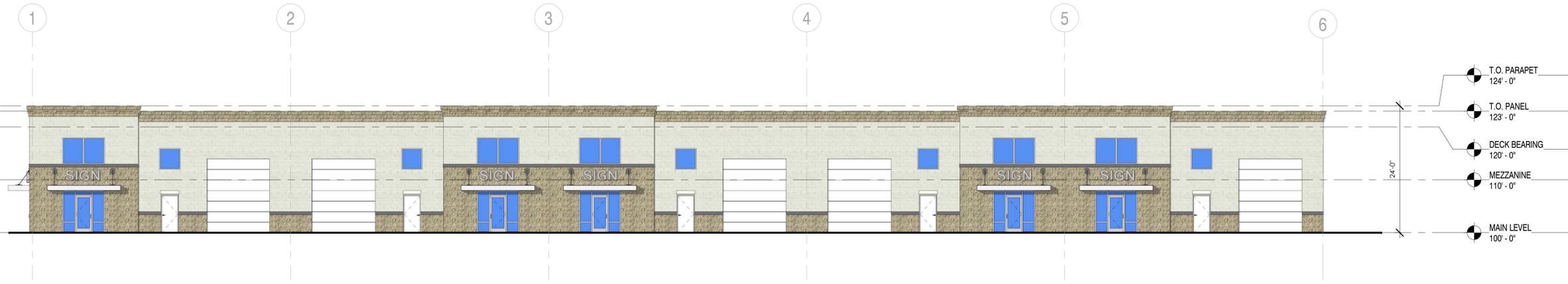
SHEET: L-2  
 FILE NAME: FDG-092-LT  
 SCALE: N.A.



1 BUILDING ELEVATION  
A3.1 1/8" = 1'-0"



3 BUILDING ELEVATION  
A3.1 1/8" = 1'-0"



2 BUILDING ELEVATION  
A3.1 3/32" = 1'-0"

KEYNOTE LEGEND

**ae urbia**  
architects and engineers

2875 south decker lake drive, suite 275  
salt lake city, utah 84119  
phone: 801.746.0456 - fax: 801.575.6456  
web page: aeurbia.com

174600  
JAMES MICHAEL  
STATE OF UTAH  
6/13/2016 3:52:05 PM

**COPPER RIDGE DEVELOPMENT**  
824 SOUTH AUTOMALL DRIVE  
AMERICAN FORK, UTAH

REVISION	DATE	DESCRIPTION

AE2015\_021  
**BUILDING ELEVATIONS**  
DATE: APR. 27, 2015  
SHEET #:  
**A3.1**  
COPYRIGHT ©  
AE URBIA, LLC.

PERMIT SUBMITTAL

AMERICAN FORK CITY  
PLANNING COMMISSION

MEETING DATE: July 20, 2016  
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on a commercial site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse project located at 824 S. Auto Mall Drive, in the PI-1 (Planned Industrial) zone.

BACKGROUND INFORMATION					
Location:		824 S. Auto Mall Drive			
Applicants:		Wade Payne			
Existing Land Use:		Vacant			
Proposed Land Use:		Light Industrial			
Surrounding Land Use:	North	Light Industrial			
	South	Light Industrial			
	East	Light Industrial			
	West	Agriculture			
Existing Zoning:		PI-1 (Planned Industrial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	PI-1 (Planned Industrial)			
	South	PI-1 (Planned Industrial)			
	East	GC-2 (Planned Commercial)			
	West	Residential Agriculture 5 (Utah County)			
Land Use Plan Designation:		Design Industrial			
Zoning within density range?		x	Yes		No

PROJECT DESCRIPTION: Request for recommendations of approval of a site plan and final plat for the Copper Ridge Lot 2 office warehouse and condominium project.

### Background

Copper Ridge Lot 2 proposes an office warehouse site plan and condominium project. A total of 10 condominium units are proposed, each consisting of approximately 2,600 sq. ft. for a total area of approximately 26,000 sq. ft.

Access is provided off of Auto Mall Drive and through access easements with adjacent properties to the north and south. Parking is provided at the ratios as set forth in the Development Code. A landscape plan is also provided, illustrating compliance with the City's landscape standards for commercial and industrial uses. All loading areas face either north or south, away from both the Front Runner tracks and Auto Mall Drive.

Renderings of the proposed office warehouse structure are included in the submittal packet.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Design Industrial”. The site plan is consistent with the Land Use Plan.

Section 17.7.211 of the Development Code

The Planning Commission may act to recommend approval of a final plat upon a finding that:

- a. The final plat conforms with the terms of the preliminary plan approval.

As this is a new final plat, created from an existing final plat, no preliminary plan is necessary.

- b. The final plat complies with all City requirements and standards relating to large scale developments.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address any concerns in their report.

- d. The estimates of cost of constructing the required improvements are realistic.

Engineering will make this determination.

- e. The water rights conveyance documents have been provided.

The water rights conveyance shall be satisfied prior to plat recordation.

**FINDINGS OF FACT/CONDITION OF APPROVAL**

After reviewing the application for site plan and final plat approval, the following findings of fact and conditions are offered for consideration:

1. The proposed final plat and site plan are consistent with the Land Use Plan designation of “Design Industrial”.
2. The proposed site plan meets the criteria as found in Sections 17.4.502 (PI-1 Zone) and 17.7.701 (Planned Industrial Projects) of the Development Code.

3. The proposed subdivision meets the criteria as found in Section 17.7.211 of the Development Code.
4. Water rights conveyance shall be satisfied prior to plat recordation.

#### POTENTIAL MOTIONS

#### APPROVAL

Mr. Chairman, I move that we recommend approval of the Copper Ridge Lot 2 site plan and condominium plat with the findings and condition as outlined in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

#### DENIAL

Mr. Chairman, I move that we recommend denial of the Copper Ridge Lot 2 site plan and condominium plat.

#### TABLE

Mr. Chairman, I move that we table action on the Copper Ridge Lot 2 site plan and condominium plat.

# AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 7/20/2016

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Copper Ridge Lot 2

Project Address: 824 South Auto Mall Drive

Developer / Applicant's Name: Wade Payne

Type of Application:

- Subdivision Final Plat       Subdivision Preliminary Plan       Annexation
- Code Text Amendment       General Plan Amendment       Zone Change
- Commercial Site Plan       Residential Accessory Structure Site Plan

**Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 7/20/2016 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

**Applicant is requesting that the Planning Commission waive the following requirement(s):**

1.
  - Requested waivers **ARE** necessary for the proposed development to move forward.
  - Requested waivers **ARE NOT** necessary for the proposed development to move forward.

**Plan Submittal:**



## STANDARD CONDITIONS OF APPROVAL

### Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

### Plan Modifications Required:

1. No additional comments.

# UNAPPROVED MINUTES

**Nathan Schellenberg**

**Aye**

**The motion passed.**

5. Hearing, review and action on a commercial site plan and condominium plat for the Copper Ridge Lot 2 Office Warehouse Project located at 824 S. Auto Mall Drive, in the PI-1 Planned Industrial zone

Mr. Olsen stated that originally, this site was planned for Blue Bell but that project would not be taking place. They were now bringing forward a plan for an office warehouse condominium project. The building would have ten units with 2,600 square feet in each unit, totaling about 26,000 square feet with access off of Auto Mall Drive. Mr. Olsen pointed out there was an additional access to the north and south through the neighboring properties. When the property to the south was in process, they were working with Blue Bell for an access and that access was included in this site plan. Mr. Olsen stated they would have additional landscaping along the property fronting the FrontRunner tracks and they have met the landscaping requirements. Planning would recommend approval.

Mr. Franson confirmed that it met the land use and zoning and he was told it did.

Mr. Andrus had no concerns and stated engineering would recommend approval.

Public Hearing: There were no public comments.

**Eric Franson moved to recommend approval of the Copper Ridge Lot 2 site plan and condominium plat with the findings and condition as outlined in the staff report and subject to any findings, conditions and modifications listed in the engineering report:**

***Findings, Conditions, Modifications:***

- **The proposed final plat and site plan are consistent with the Land use Plan designation of “Design Industrial”**
- **The proposed site plan meets the criteria as found in Sections 17.4.502 (PI-1 zone) and 17.7.701 (Planned Industrial Projects) of the Development Code**
- **The proposed subdivision meets the criteria as found in Section 17.7.211 of the Development Code**
- **Water rights conveyance shall be satisfied prior to plat recordation**
- **All Standard Conditions of Approval and items denoted as “Plan Modifications Required” in the 7/20/16 Engineering Division Staff Report for the City Land Use Authority shall be address on all final project documents.**

**Christine Anderson seconded the motion. Voting was as follows:**

<b>John Woffinden, Chairman</b>	<b>Aye</b>
<b>Christine Anderson</b>	<b>Aye</b>
<b>Eric Franson</b>	<b>Aye</b>
<b>Leonard Hight</b>	<b>Aye</b>
<b>Nathan Schellenberg</b>	<b>Aye</b>

**The motion carried.**

6. Other business



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
AUGUST 9, 2016**

**Department** Planning                      **Director Approval** Adam Olsen

**AGENDA ITEM**    Review and action on an ordinance approving an amended commercial site plan for placement of a training facility in the Walmart parking lot, located at 949 West Grassland Drive, in the SC-1 Planned Shopping Center zone.

**SUMMARY RECOMMENDATION**    The planning commission recommended denial of the ordinance approving an amended commercial site plan for placement of a training facility in the Walmart parking lot as stated in the attached minutes of the July 20, 2016 planning commission meeting.

**BACKGROUND**    The Walmart Corporation proposes a 3063 sq. ft. regional training facility to be erected in the parking lot immediately west of their store located at 949 West Grassland Drive. After an extensive discussion the planning commission recommended denial of the site plan due to concerns that the aesthetics and temporary nature of the building would have a negative impact on surrounding businesses and the Meadows Shopping Center as a whole. For further analysis, please refer to the attached site plan, staff report and planning commission minutes.

**BUDGET IMPACT**    No direct budgetary impact is anticipated as a result of this approval.

**SUGGESTED MOTION**    I move to deny the ordinance approving an amended commercial site plan for placement of a training facility in the Walmart parking lot, located at 949 West Grassland Drive, in the SC-1 Planned Shopping Center zone.

**SUPPORTING DOCUMENTS**

1. Ordinance    (DOC)
2. Site Plan    (PDF)
3. Staff Report (PDF)
4. Minutes    (PDF)

**ORDINANCE NO.**

**AN ORDINANCE APPROVING AN AMENDED COMMERCIAL SITE PLAN FOR PLACEMENT OF A TRAINING FACILITY IN THE WALMART PARKING LOT, LOCATED AT 949 WEST GRASSLAND DRIVE, IN THE SC-1 PLANNED SHOPPING CENTER ZONE.**

**BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,**

**PART I****DEVELOPMENT APPROVED - ZONE MAP AMENDED**

- A. The amended commercial site plan for placement of a Walmart Training Facility, as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone \_\_\_\_\_.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

**PART II****ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance, are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

**PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 9th DAY OF AUGUST, 2016.**

James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder

Attachment: 1. Ordinance (1394 : Walmart Training Facility)

# SITE DEVELOPMENT PLANS FOR WALMART ACADEMY AMERICAN FORK

949 GRASSLAND DRIVE  
AMERICAN FORK, UTAH

### BASS OF BEARING

THE BASIS OF BEARING IS NORTH 0°07'56" EAST BETWEEN THE FOUND MONUMENTS AT THE NORTHWEST CORNER AND THE SOUTHWEST CORNER OF SECTION 15, TOWNSHIP 5 SOUTH RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AS SHOWN IN SURVEY.

### BENCHMARK

FROM SURVEY

### LEGAL DESCRIPTION

34:371:0004  
LOT 4 AMERICAN FORK COMMERCIAL CENTER - PLAT "A" AMENDED AS RECORDED AND OF RECORDED IN THE OFFICE OF THE UTAH COUNTY RECORDER.

### BUILDING INFORMATION

OCCUPANCY	BUSINESS - ADULT EDUCATION
OCCUPANCY CODE	B
TYPE OF CONSTRUCTION	VB
ROOF MATERIALS	WHITE EDPM
FIRE SPRINKLERS	NO

### SITE INFORMATION

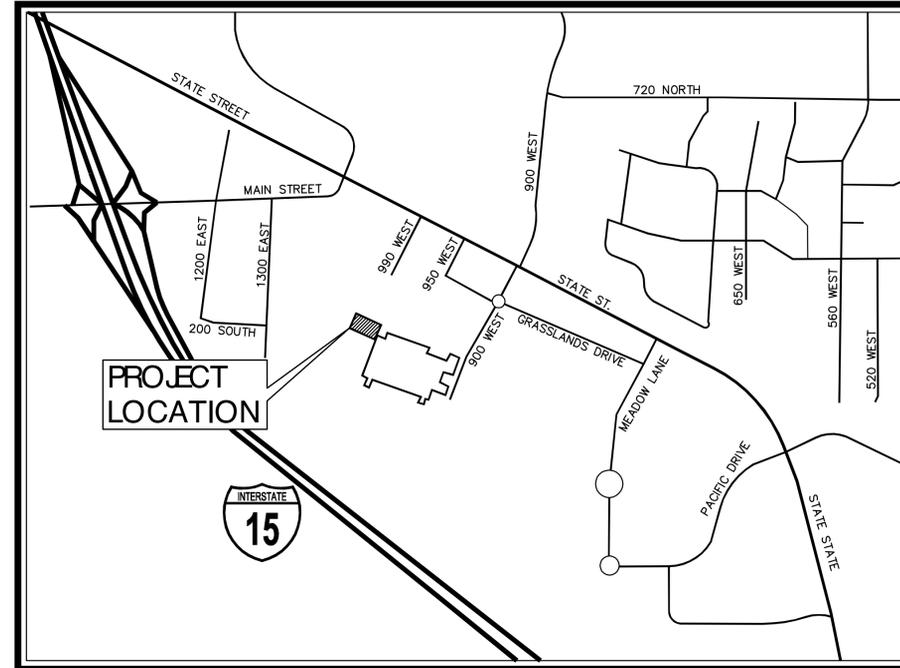
TOTAL SITE AREA	0.09 ACRES (3,720 S.F.)
TOTAL BUILDING AREA	3,063 S.F.
PARKING REQUIREMENTS	4 STALLS / 1,000 S.F.
PARKING STALLS REQUIRED	13 STALLS
PARKING STALLS PROVIDED	15 STALLS
OVERALL PARKING REQUIRED	895 STALLS
OVERALL PARKING PROVIDED	1,165 STALLS

### CONSULTANTS

<b>PROPERTY OWNER:</b> WALMART 2001 SE 10TH STREET BENTONVILLE, AR, 72716-5520 CONTACT: JENNIFER TWIST PHONE: (479) 204-2702	<b>CIVIL ENGINEER:</b> KIMLEY-HORN 215 S. STATE STREET, SUITE 400 SALT LAKE CITY, UT 84111 CONTACT: BRANDON MCDUGALD, P.E. PHONE: (385) 212-3180	<b>ARCHITECT:</b> BRRARCHITECTURE INC. 6700 ANTIPOCH PLAZA, STE 300 MERRIAM, KS, 66204 CONTACT: JOHN SMITH PHONE: (913) 236-3365	<b>ELECTRICAL ENGINEER:</b> HB 1801 MAIN ST KANSAS CITY, KS, 64108 CONTACT: PHONE: (XXX) XXX-XXX
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### AGENCY CONTACTS

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### VICINITY MAP

NOT TO SCALE

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### GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH BY AMERICAN FORK CITY AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS SHALL BE INSPECTED AND APPROVED BY THE AMERICAN FORK CITY PUBLIC WORKS INSPECTOR AND WITH THE DEPARTMENT OF TRANSPORTATION INSPECTOR. INSPECTION SERVICES AND CONSTRUCTION CERTIFICATION TO BE PROVIDED BY ENGINEER OF RECORD.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE AMERICAN FORK CITY PUBLIC WORKS INSPECTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY, OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH AMERICAN FORK CITY AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
7. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
8. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH THE M.U.T.C.D. TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY, OR STATE) FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR DESIGNATED TO BE PROVIDED, INSTALLED, CONSTRUCTED, REMOVED AND RELOCATED UNLESS SPECIFICALLY NOTED OTHERWISE.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT AT THE CONSTRUCTION SITE, AND AVAILABLE TO THE AMERICAN FORK CITY PUBLIC WORKS INSPECTOR AT ALL TIMES. AS-BUILT INFORMATION TO BE GIVEN TO ENGINEER UPON PROJECT COMPLETION.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
14. ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS ARE STABILIZED WITH HARD SURFACE OR LANDSCAPING.
15. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES AND DRY UTILITIES.
16. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARMING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT AND ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE PERIOD BETWEEN 6:00 A.M. AND 11:00 P.M. EVERYDAY UNLESS OTHERWISE APPROVED BY THE CITY.
17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL UTILITY RELOCATIONS CONSISTENT WITH THE CONTRACTOR'S SCHEDULE FOR THIS PROJECT, WHETHER SHOWN OR NOT SHOWN AS IT RELATES TO THE CONSTRUCTION ACTIVITIES CONTEMPLATED IN THESE PLANS.
18. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TEMPORARY POWER, TELEPHONE AND WATER TO THE SITE, PAYING ALL FEES EXCLUDING TAP FEES AND SYSTEM DEVELOPMENT FEES, REFERRING TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF BUILDING EXITS, RAMPS, TRUCK DOCKS, AND UTILITY ENTRANCE LOCATIONS.
19. IN GENERAL, LIMITS OF SITE WORK ARE UP TO THE FACE OF BUILDING.
20. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS AND TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT UTILITY ENTRANCE LOCATIONS.
21. CONTRACTOR TO MAINTAIN ALL SHRUB AND GROUND COVER AREAS FREE FROM WEEDS AND UNDESIRABLE VEGETATION THROUGH MAINTENANCE PERIOD.

DATE	DESCRIPTION
06/02/2016	COMMERCIAL SITE PLAN SUBMITTAL

215 South State Street  
Salt Lake City UT 84111  
Tel No: (801) 212-3176



**COVER SHEET**  
WALMART ACADEMY  
949 WEST GRASSLAND DRIVE  
AMERICAN FORK, UTAH  
Attachment: 2 - Site Plan (1994 - Walmart Training Facility)

DRAWN BY:	EKL	6/2/2016
DESIGNED BY:	BDM	6/2/2016
CHECKED BY:	BDM	6/2/2016
PROJECT NO.:	095502324	SCALE: AS SHOWN

SEAL  
PRELIMINARY NOT FOR CONSTRUCTION

PREPARED UNDER THE DIRECTION AND SUPERVISION OF BRANDON D. MCDUGALD, P.E. UTAH REGISTRATION NO. 334369 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.

SHEET  
**C0.00**

STE NOTES (SHEET C1.10)

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED. SEE 02900 SPECIFICATION.
4. ALL CURBED RADII ARE TO BE 3 FEET UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5 FEET.
5. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
6. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITEWORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
8. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY DIAMOND LAND SURVEYING, LLC.
9. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED SITE SPECIFIC SPECIFICATIONS.
10. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
11. ALL GENERAL CONTRACTOR WORK TO BE COMPLETED (EARTHWORK, FINAL UTILITIES, AND FINAL GRADING) BY THE MILESTONE DATE IN PROJECT DOCUMENTS. OUTLOT AREA TO BE KEPT FREE OF JOB TRAILERS AND STORAGE AFTER THE CONTRACT MILESTONE DATE FOR THE OUTLOT. GENERAL CONTRACTOR TO PROVIDE CLEAR ACCESS FOR OUTLOT CONTRACTOR TO THE SPECIFIC PARCEL AT ALL TIMES AFTER MILESTONE DATE. PURCHASER OF OUTLOT TO PROVIDE PERMIT DOCUMENTS AND SWPPP REQUIRED BY STATE/LOCAL REQUIREMENTS FOR SPECIFIC OUTLOT.
12. ALL SITE PLAN MEASURES ARE SUBJECT TO GENERAL NOTES ON THE COVER SHEET OF THESE PLANS.
13. FEATURES REMOVED DURING MASS/DEMOLITION GRADING ARE NOT SHOWN.
14. ALL STRIPING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS PUBLISHED BY THE US DEPARTMENT OF TRANSPORTATION.
15. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18 INCH CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN. 18 INCH WIDE SOD STRIP IS REQUIRED BEHIND ALL CONCRETE CURBS. REFERENCE SITEWORK SPECIFICATIONS.
16. CONTRACTOR TO CONSTRUCT, AROUND THE BUILDING PAD, A TEMPORARY 26 FOOT WIDE ALL WEATHER ACCESS ROAD, W/MINIMUM 9 INCH THICKNESS OF BASECOURSE MATERIAL. CONTRACTOR TO BUILD THE TEMPORARY ROAD TO SUPPORT FIRE APPARATUS. THE ROAD SHALL SUPPORT 75,000 LBS. THIS SHALL BE AN ALL WEATHER ROAD SURFACE AND BE KEPT CLEAR OF SNOW IN WINTER. ROAD BASE CAN WORK AS LONG AS IT WILL SUPPORT THE 75,000 LBS. (PER AMERICAN FORK CITY FIRE DEPARTMENT REQUIREMENTS)
17. THERE SHALL BE AN ADDRESS ON THE BUILDING OR ON A SIGN (POSTED DURING CONSTRUCTION) VISIBLE FROM THE STREET. IF THE ADDRESS IS ON A SIGN/ MONUMENT SIGN/ MONUMENT SHALL MEET THE REQUIREMENT OF THE PLANNING DEPARTMENT. THE NUMBERS SHALL BE A MINIMUM OF FOUR INCHES IN HEIGHT WITH A 1/2 INCH STROKE AND BE IN CONTRASTING COLORS FORM THE BACKGROUND.
18. STREETS AND ROADS SHALL BE IDENTIFIED WITH APPROVED SIGNS. TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

GRADING NOTES (SHEET C2.10)

- 1. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED BEYOND THE RIGHT-OF-WAY TO THE MAIN LINE.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
4. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION.
5. EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
6. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT INTERVALS.
7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER
8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
9. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6 INCHES ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
10. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES, SECTION 8, ENVIRONMENTAL COMPLIANCE AND STORM WATER POLLUTION PREVENTION. THIS APPLIES TO WAL-MART BUILT PROJECTS ONLY. ONLY THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES APPLY TO JOINT/ DEVELOPER BUILT PROJECTS.
11. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
12. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
14. TOPOGRAPHIC INFORMATION TAKEN FROM A TOPOGRAPHIC SURVEY BY DIAMOND LAND SURVEYING, LLC. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
15. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.

GRADING NOTES (CONT.)

- 14. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
15. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
16. CONTOURS SHOWN ARE FOR FINISHED PAVING, SIDEWALK, SLAB, OR GROUND. ADJUSTMENT TO SUBGRADE IS THE CONTRACTOR'S RESPONSIBILITY.
17. ALL DISTURBED AREAS THAT ARE UNSURFACED OR ARE NOT DESIGNATED AS LANDSCAPE AREAS ARE TO BE SEEDED, FERTILIZED, AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
18. IF DURING THE OVERLOT GRADING PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE AN UNIDENTIFIED SITUATION IS PRESENT, THE SOILS ENGINEER SHALL BE CONTACTED FOR RECOMMENDATIONS.
19. UNLESS OTHERWISE SHOWN, NO PROPOSED SLOPE SHALL EXCEED THREE (3) HORIZONTAL TO ONE (1) VERTICAL. ALL SLOPED AREAS MUST BE PROTECTED FROM EROSION.
20. IF STRIPPED MATERIALS CONSISTING OF VEGETATION AND ORGANIC MATERIALS ARE STOCKPILED ON THE SITE, TOPSOIL MAY BE PLACED TO A HEIGHT OF FIVE FEET. SILT FENCE SHALL BE PLACED AROUND THE BASE OF THE STOCKPILE AND THE STOCKPILE SHALL BE SEEDED WITH NATIVE SEED MIX IMMEDIATELY AFTER STRIPPING OPERATIONS ARE COMPLETE.
21. ON-SITE MATERIALS SUITABLE FOR FILL BENEATH DRIVES AND PARKING AREAS BEYOND 5 FEET OF THE BUILDING SHALL BE COMPACTED IN ACCORDANCE WITH GUIDELINES PRESENTED IN THE SOILS REPORT.
22. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS AND SLOPES SHOWN. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SPOT ELEVATIONS THAT DO NOT APPEAR TO BE CONSISTENT WITH THE CONTOURS AND SLOPES. SPOT ELEVATIONS AND SPECIFIC PROFILE DESIGN SHALL BE USED FOR SETTING ELEVATIONS OF CURB, GUTTER, AND UTILITIES.
23. BENCHMARK VERIFICATION: CONTRACTOR SHALL USE BENCHMARKS AND DATUMS SHOWN HEREON TO SET PROJECT BENCHMARK(S), BY RUNNING A LEVEL LOOP BETWEEN AT LEAST TWO BENCHMARKS, AND SHALL PROVIDE SURVEY NOTES OF SUCH TO PROJECT ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
24. ALL UTILITIES (MANHOLES, VALVE COVERS, CLEANOUTS, VAULTS, BOXES, ETC.) SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
25. ALL EARTH MOVING AND PLACEMENT OPERATIONS SHALL BE IN CONFORMANCE WITH THE RECOMMENDATIONS IDENTIFIED IN THE GEOTECH REPORT. THE CONTRACTOR SHALL HAVE A SIGNED AND SEALED COPY OF THE GEOTECH REPORT ON THE SITE AT ALL TIMES.
26. THE CONTOURS SHOWN REPRESENT FINAL GRADE. THE TOP 6 INCHES OF MATERIAL IN THE LANDSCAPE AREAS SHALL BE TOP SOIL AS SPECIFIED IN THE PROJECT STANDARDS.
27. GRADES WITHIN ASPHALT PARKING AREAS SHALL BE CONSTRUCTED TO WITHIN 0.10 FEET OF THE DESIGN GRADE. HOWEVER, THE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AT ALL TIMES TO INSURE NO STANDING WATER. ALL CURBS SHALL BE BUILT IN ACCORDANCE TO THE PLAN. CURBS OR PAVEMENT AREAS WHICH DO NOT PROVIDE PROPER DRAINAGE MUST BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
28. SPOT ELEVATIONS REPRESENT FLOW LINE OR TOP OF ASPHALT UNLESS OTHERWISE NOTED.
29. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING HIS OWN ESTIMATE OF EARTHWORK QUANTITIES.
30. ALL LANDSCAPED ISLANDS SHALL HAVE A CROWN OF TOPSOIL PRIOR TO LANDSCAPING. REFER TO LANDSCAPE PLAN FOR SPECIFICATIONS.
31. WHERE NEW CURB AND GUTTER IS BEING CONSTRUCTED ADJACENT TO EXISTING ASPHALT OR CONCRETE PAVEMENT, THE FOLLOWING SHALL APPLY: PRIOR TO PLACEMENT OF ANY CONCRETE THE CONTRACTOR SHALL HAVE A LICENSED SURVEYOR VERIFY THE GRADE AND CROSS SLOPE OF THE CURB AND GUTTER FORMS. THE CONTRACTOR SHALL SUBMIT THE SLOPES AND GRADES TO THE ENGINEER FOR APPROVAL PRIOR TO PLACEMENT OF CONCRETE. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY SECTION WHICH DOES NOT CONFORM TO THE DESIGN OR TYPICAL CROSS SECTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CURB AND GUTTER POURS WITHOUT THE APPROVAL OF THE ENGINEER.
32. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL BUILDING PLANS AND SPECIFICATIONS.
33. EXISTING DRAINAGE STRUCTURES TO BE INSPECTED AND REPAIRED AS NEEDED, AND EXISTING PIPES TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
34. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL SWPPP PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
35. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES AND NOTIFYING THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION.
39. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 4000 psi.
40. CONTRACTOR SHALL REFER TO GEOTECHNICAL INVESTIGATION PREPARED BY KLEINFELDER INC., DATED APRIL 7, 2016.
41. GRAVEL BASE COURSE TO BE LAID AND COMPACTED IN TWO SEPARATE, AND EQUAL, LIFTS.

SANITARY SEWER NOTES (SHEET C2.10)

- 1. SEE COVER SHEET FOR GENERAL NOTES.
2. ALL SANITARY SEWER CONSTRUCTION SHALL BE IN CONFORMANCE WITH AMERICAN FORK CITY AND AMERICAN FORK SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
3. ALL GRAVITY SANITARY SEWER LINES SHALL BE PVC SDR-35 SEWER LINE CONSTRUCTION AND MATERIALS SHALL CONFORM TO ASTM STANDARDS AND SPECIFICATIONS.
4. DISTANCES FOR SANITARY SEWER ARE THE HORIZONTAL DISTANCES FROM CENTER OF MANHOLE TO CENTER OF MANHOLE. THEREFORE, DISTANCES SHOWN ON PLANS ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENT.
5. RIM ELEVATIONS SHOWN ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATION. PIPELINE CONTRACTOR SHALL USE PRECAST CONCRETE ADJUSTMENT RINGS, GROUT, AND STEEL SHIMS TO ADJUST THE MANHOLE FRAME TO THE REQUIRED FINAL GRADE IN CONFORMANCE WITH THE STANDARD SPECIFICATIONS. ALL FRAMES SHALL BE ADJUSTED TO FINAL GRADE PRIOR TO THE FINAL LIFT OF ASPHALT.
6. ALL SANITARY SEWER MAIN TESTING SHALL BE ACCORDANCE WITH THE AMERICAN FORK CITY AND AMERICAN FORK SEWER DISTRICT STANDARDS AND SPECIFICATIONS. COPIES OF ALL TEST RESULTS SHALL PROVIDED TO THE ENGINEER, THE OWNER, AND THE GOVERNING AUTHORITY PRIOR TO THE START OF THE WARRANTY PERIOD.
7. COMPACTION OF ALL TRENCHES WITHIN THE PROJECT SITE MUST BE ATTAINED AND COMPACTION RESULTS SUBMITTED TO THE CITY ENGINEER PRIOR TO FINAL ACCEPTANCE.
8. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURES AND IMPROVEMENTS DURING INSTALLATION OF SANITARY SEWER LINE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:
(A) OBTAINING ALL REQUIRED PERMITS FROM THE CITY OR REGULATORY AUTHORITIES AT THE CONTRACTOR'S COST INCLUDING PERMITS REQUIRED FOR WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
(B) RESTORATION OF ANY EXISTING IMPROVEMENTS INCLUDING (BUT NOT LIMITED TO) FENCES, SOD, LANDSCAPING, PAVEMENT, SPRINKLER SYSTEMS.
(C) VERIFICATION AND PROTECTION OF ALL EXISTING UTILITIES WITH IN THE LIMITS OF CONSTRUCTION.
(D) PROVIDING AS-BUILT DRAWINGS TO AMERICAN FORK CITY, CENTRAL WEBER SEWER DISTRICT, AND ENGINEER.
(E) ALL PERMITTING, DEVELOPMENT, LOCATION, CONNECTION, AND INSPECTION.
(F) VERIFYING ALL STANDARD DETAILS CONFORM TO THE CURRENT AMERICAN FORK SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
(G) FOR OBTAINING AND UNDERSTANDING ALL CITY, COUNTY, AND STATE STANDARDS AND SPECIFICATIONS PERTAINING TO THE CONSTRUCTION OF SANITARY SEWER IMPROVEMENTS.
(H) REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN.
10. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR CONSTRUCTION OR INSTALLATION OF ALL PROPOSED IMPROVEMENTS SHOWN.
11. THE CONTRACTOR SHALL POTHOLE THE EXISTING SEWER MAIN AND PROVIDE AN AS-BUILT ELEVATION OF THE MAIN TO THE ENGINEER PRIOR TO ANY NEW CONSTRUCTION.
12. SANITARY SEWER PIPES SHALL BE BEDDED IN ACCORDANCE WITH DETAIL 9, SHEET C6.02.
13. ALL SEWER TAPS, IN PUBLIC SEWER LINES, ARE TO BE COMPLETED BY AMERICAN FORK CITY SEWER DEPARTMENT EMPLOYEES ONLY. CONTRACTOR TO NOTIFY AND COORDINATE WITH AMERICAN FORK CITY SEWER DEPARTMENT PRIOR TO ANY WORK ON SEWER LINE.
14. CONTRACTOR TO PAY ALL FEES AND OBTAIN ALL NECESSARY PERMITS FOR SEWER TAPPING. CONTRACTOR TO NOTIFY AMERICAN FORK CITY SEWER DEPARTMENT WITH FEES PAID AND NECESSARY PERMITS IN HAND BEFORE A TAP CAN BE MADE.
15. CONTRACTOR TO NOTIFY AMERICAN FORK CITY SEWER DEPARTMENT NO LATER THAN 48 HOURS BEFORE A TAP IS NEEDED. AN APPOINTMENT CAN BE SCHEDULED BY CALLING AT 465-5277.
16. CONTRACTOR TO USE OSHA STANDARDS FOR ALL TRENCHING AND HAVE AN OSHA STANDARD TRENCH BOX WITH A LADDER FOR EGRESS.
17. CONTRACTOR TO PROVIDE PROPER EXCAVATION AND CLEARANCE AROUND PIPE FOR AMERICAN FORK CITY SEWER DEPARTMENT TO CORE INTO THE SEWER MAIN PIPE. CONTRACTOR TO COORDINATE WITH AMERICAN FORK CITY SEWER DEPARTMENT.

ADA NOTES

- 1. ALL HANDICAP PARKING STALLS SHALL BE PAINTED AND SIGNED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS. ALL HANDICAP RAMPS AND ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS.
A. THE FOLLOWING CRITERIA SHALL APPLY TO ALL CONSTRUCTION WITHIN THE LIMITS OF THIS PROJECT.
B. THE MAXIMUM CROSS SLOPE OF ANY SIDEWALK, PEDESTRIAN ACCESS OR STORE FRONT SHALL NOT EXCEED 2.0 PERCENT. THE SLOPE SHALL BE MEASURED PERPENDICULAR TO THE DIRECTION OF TRAVEL.
C. THE GRADES WITHIN HANDICAP PARKING STALLS SHALL NOT EXCEED 2.0 PERCENT MEASURED IN ANY DIRECTION. HANDICAP PARKING STALLS SHALL HAVE AN ACCESSIBLE ROUTE, AS NOTED BELOW, TO THE BUILDING ENTRY AS SHOWN ON THE DRAWINGS.
2. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0 PERCENT. ACCESSIBLE ROUTES EXCEEDING 5.0 PERCENT SHALL BE CONSTRUCTED WITH RAMPS AND HANDRAILS HAVING A MAXIMUM SLOPE OF 8.33 PERCENT FOR A MAXIMUM RISE OF 30 INCHES. A 5-FOOT BY 5-FOOT LANDING PAD (WITH A MAXIMUM SLOPE OF 2 PERCENT IN ANY DIRECTION) SHALL BE CONSTRUCTED AT THE BOTTOM AND TOP OF ALL RAMPS.
3. ALL SITE DIRECTIONAL SIGNS SHALL HAVE A MINIMUM CLEAR DISTANCE OF 7- FEET AS MEASURED FROM THE GROUND TO THE BOTTOM OF THE LOWEST SIGN.
4. ALL ACCESSIBLE ROUTES THAT CROSS A VEHICULAR DRIVE SHALL CONTAIN A DETECTIBLE WARNING IN STRICT ACCORDANCE WITH CURRENT ADA STANDARDS AND LOCAL REGULATIONS WHETHER OR NOT A RAMP IS NEEDED.
5. THE MAXIMUM VERTICAL GRADE DIFFERENTIAL BETWEEN SURFACES ALONG AN ACCESSIBLE ROUTE SHALL BE A MAXIMUM OF 1/4-INCH.
6. THE CONTRACTOR SHALL HAVE ALL CONCRETE FORMS THAT ARE PART OF ANY DESIGNATED ACCESSIBLE ROUTE, STORE FRONT, HANDICAP PARKING SPACE OR RAMP SURVEYED BY A LICENSED SURVEYOR AND SUBMITTED TO THE ENGINEER TO VERIFY GRADES AND CROSS SLOPES PRIOR TO PLACEMENT OF ANY CONCRETE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL COSTS AND DAMAGES FOR IMPROVEMENTS INSTALLED OR OTHERWISE IMPACTED BY WORK NOT APPROVED BY THE ENGINEER.

WATER NOTES (SHEET C2.10)

- 1. ALL INSTALLATION AND MATERIALS SHALL CONFORM TO THE AMERICAN FORK CITY STANDARDS, SPECIFICATIONS, AND PLANS.
2. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR UTILITY CONSTRUCTION AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
3. THRUST BLOCKS SHALL BE USED AT ALL BENDS AND FITTINGS. THE RODS SHALL BE USED AT ALL BENDS AND FITTINGS WHERE THRUST BLOCKS DO NOT BEAR AGAINST UNDISTURBED SOIL.
4. PROVIDE NO LESS THAN 48 INCHES OF COVER FROM TOP OF PIPE TO FINISHED GRADE.
5. ALL WATERLINES AT SEWER CROSSINGS SHALL BE LOCATED ABOVE AND HAVE AN 18-INCH VERTICAL SEPARATION FROM THE SEWER PIPE. IF THIS IS NOT PROVIDED, THE WATERLINE SHALL BE INSTALLED WITH 20 L.F. OF CASING CENTERED OVER THE SEWER PIPE.
6. A MINIMUM HORIZONTAL CLEARANCE OF 10 FEET FOR STORM AND SANITARY SEWERS SHALL BE MAINTAINED BETWEEN THE WATERLINE AND OTHER UTILITIES RUNNING PARALLEL TO THE DESIGNED MAINLINES.
7. WATERLINES SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH THE AMERICAN FORK CITY STANDARDS, SPECIFICATIONS, AND PLANS. LEAKAGE CRITERIA MUST BE IN ACCORDANCE WITH THE 2012 EDITION OF THE APWA AND AMERICAN FORK CITY AMENDMENTS.
8. CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR ALL CONNECTIONS TO BUILDING SERVICES AND VERIFY LOCATIONS AS SHOWN PRIOR TO CONSTRUCTION.
9. PIPE MATERIAL SUBSTITUTIONS WILL REQUIRE PRIOR APPROVAL OF ENGINEER, AND SHALL CONFORM TO THE AMERICAN FORK CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS. LENGTHS OF WATER PIPES ARE THE HORIZONTAL DISTANCES FROM CENTERLINE TO CENTERLINE OF FITTINGS / BENDS. THEREFORE, LENGTHS SHOWN ARE APPROXIMATE AND COULD VARY DUE TO VERTICAL ALIGNMENTS AND FITTING LENGTHS.
10. CONTRACTOR SHALL LOCATE EXISTING VALVES PRIOR TO CONNECTION WITH THE EXISTING SYSTEM, BUT SHALL NOT OPERATE ANY VALVE WITHOUT PERMISSION FROM THE AMERICAN FORK CITY WATER DEPARTMENT.
11. ALL WATER MAINS, VALVES, FIRE HYDRANTS, SERVICES, AND APPURTENANCES SHALL BE INSTALLED, TESTED, AND APPROVED PRIOR TO PAVING.
12. ALL WATER LINES SHALL BE PRESSURE TESTED, FLUSHED AND BAC-T SAMPLED (BAC-T SAMPLE BY THE CITY, CONTRACTOR TO COORDINATE WITH AMERICAN FORK CITY WATER DEPARTMENT) BEFORE THE TIE INS TO THE EXISTING WATER LINES CAN BE COMPLETED.
13. CONTRACTOR SHALL NOTIFY AMERICAN FORK CITY WATER DEPARTMENT TO PERFORM BAC-T TEST. CONTRACTOR TO GIVE 48 HOURS NOTICE AND PROVIDE AMERICAN FORK CITY WATER DEPARTMENT WHATEVER IS NEEDED TO PERFORM ANY TEST.
14. ANY WATER TAPS TO EXISTING LINES ARE TO BE DONE BY AMERICAN FORK CITY WATER UTILITY. CONTRACTOR TO COORDINATE WITH UTILITY AND PROVIDE ADEQUATE TIME FOR UTILITY TO PROPERLY SCHEDULE THE TAP(S). CONTRACTOR TO PAY ANY FEES REQUIRED FOR WATER TAP.
15. CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION, LABOR, AND MATERIALS NEEDED FOR THE TAPS AND INSTALL WATER LINES FROM THE NEW TAPS INTO THE PROJECT.
16. ALL NEW WATER LINES AND HYDRANTS ARE THE PROPERTY OF THE KEITH CORPORATION AND WILL BE MAINTAINED AND REPAIRED BY THE KEITH CORPORATION FROM THE TAPS ON WALL AVENUE INTO THE PROPERTY WITH THE EXCEPTION OF THE MAINLINE IN ACCESS EASEMENTS.
17. ANY EXISTING LINES ON THE PROJECT SHALL BE KILLED BY THE CONTRACTOR AT THE TAPS ON THE MAINS. CONTRACTOR TO COORDINATE WITH AMERICAN FORK CITY WATER DEPARTMENT.
18. ALL WATER LINE TEES SHALL HAVE VALVES THAT ARE FLANGE CONNECTED AND NOT A MECHANICAL JOINT.
19. THE WATER MAIN MUST BE LOCATED ON THE NORTH AND EAST SIDES OF ROADWAYS. THEY ALSO HAVE TO BE DISINFECTED, PRESSURE TESTED AND SAMPLED. ALL MAIN LINE VALVES AND FIRE HYDRANTS VALVES MUST BE FULLY OPENED BEFORE CONNECTION TO THE EXISTING MAIN. FIRE HYDRANTS MUST BE PAINTED TO CITY SPECIFICATIONS AND WILL NOT HAVE FOOT VALVES. VALVES NEED TO BE PUT ON THE WATER MAINS. METER BOXES CAN ONLY BE LOCATED IN PLANTED AREAS, NOT LOCATED IN DRIVEWAYS OR SIDEWALKS. ALL TAPS ARE TO BE MADE BY AMERICAN FORK CITY WATER UTILITY PERSONNEL ONLY. FOR 1" TAPS CALL THE METER CREW SUPERVISOR, FOR 2" AND ABOVE TAPS CALL THE MAINTENANCE CREW SUPERVISOR, WITH A MINIMUM OF 48 HOURS NOTICE.
20. ONLY AMERICAN FORK CITY WATER UTILITY PERSONNEL ARE ALLOWED TO TURN THE VALVES ON OR OFF AFTER THE VALVES HAVE BEEN CONNECTED TO THE CITY SYSTEM.
21. ALL EXISTING LINES NOT USED FOR THIS DEVELOPMENT WILL NEED TO BE KILLED AT THE MAIN AND INSPECTED BY THE AMERICAN FORK CITY WATER DEPARTMENT AT EACH LOCATION BEFORE FINAL INSPECTION.
22. THE FIRE LINE IS THE PROPERTY OF THE BUILDING OWNER BEGINNING AT THE TAPPING VALVE.
23. THE CONTRACTOR SHALL PROVIDE A WATER SUPPLY TO THE DEVELOPMENT BEFORE ANY CONSTRUCTION PER AMERICAN FORK FIRE DEPT. REQUIREMENTS. THERE SHALL BE FIRE HYDRANTS INSTALLED AROUND THE PROJECT. THE WATER SUPPLY SHALL BE WORKING BEFORE ANY CONSTRUCTION OF BUILDINGS.
24. THE FIRE HYDRANT(S) SHALL BE PAINTED TO INDICATE THE AVAILABLE FIRE FLOW. THE BARREL OF THE HYDRANT SHALL BE YELLOW AND THE BONNET AND COPS SHALL BE PAINTED AS FOLLOWS:
RED FOR FIRE FLOWS OF 0-499 GPM
ORANGE FOR FIRE FLOWS OF 500-999 GPM
GREEN FOR FIRE FLOWS OF 1000-1499 GPM
THE WATER DEPARTMENT AND FIRE DEPARTMENT SHALL DETERMINE WHAT THE FLOW IS AFTER THE INSTALLATION OF THE FIRE HYDRANT. CONTRACTOR IS RESPONSIBLE FOR OBTAINING FIRE FLOW INFORMATION AND HYDRANT PAINTING.

Drawn: June 23, 2016 10:51 AM User: JACKSON, ELSE
Print: KJ, SLC, CHIL 081602324 WALMART ACADEMY AMERICAN FORK, CADDS PLAN SHEETS, 081602324, ON DWG.
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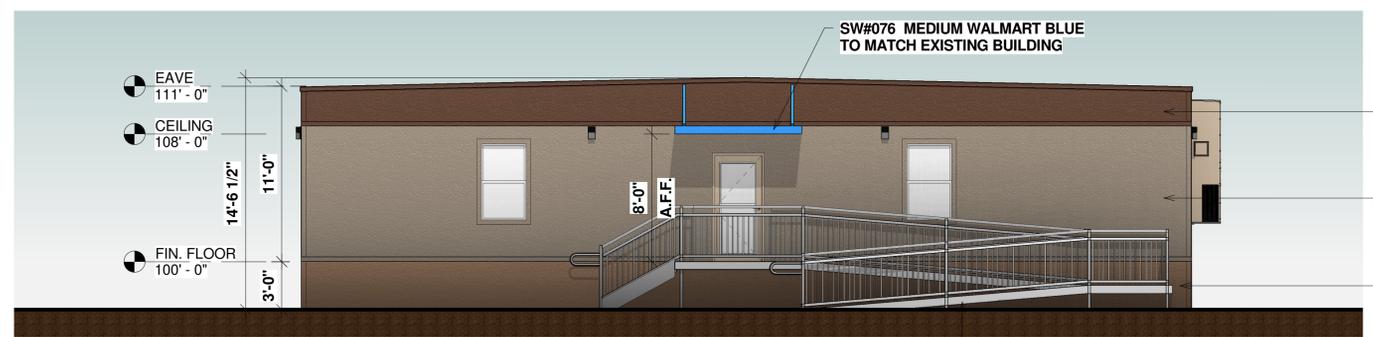
Table with columns: DATE, DESCRIPTION, COMMERCIAL SITE PLAN SUBMITTAL. Includes project information: WALMART ACADEMY, 949 WEST GRASSLAND DRIVE, AMERICAN FORK, UTAH. Includes drawing metadata: DRAWN BY: EKL, DESIGNED BY: BDM, CHECKED BY: BDM, PROJECT NO.: 081602324, SCALE: AS SHOWN. Includes a large 'Kimley Horn' logo and 'Walmart Training Facility' text.



**ModSpace**

Modular Space Corporation  
1200 Swedesford Rd.  
Berwyn, PA 19312

NOTE:  
RENDERING COLORS ARE  
AN APPROXIMATION USING  
ARTIFICIAL LIGHTING. ACTUAL  
FINISH COLORS TO MATCH  
EXISTING BUILDING.



① FRONT  
3/16" = 1'-0"

HARDIE PANEL STUCCO  
MANSARD SIDING & TRIM  
SW#6069 (FRENCH ROAST)

HARDIE PANEL STUCCO  
MAIN BODY SIDING & TRIM  
SW#7032 (WARM STONE)

HARDIE PANEL STUCCO  
SKIRTING SIDING & TRIM  
SW#6095 (TOASTY)

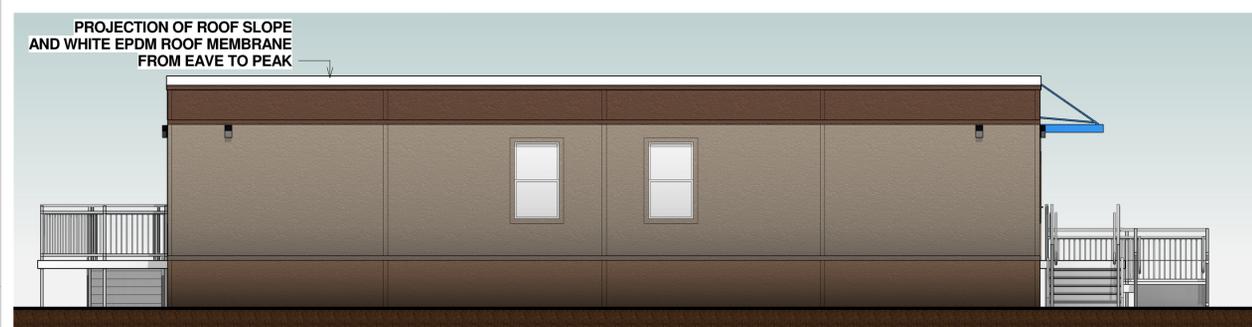
ALUMINUM RAMP  
WITH NON-SLIP DECKING

- EAVE  
111'-0"
- CEILING  
108'-0"
- FIN. FLOOR  
100'-0"

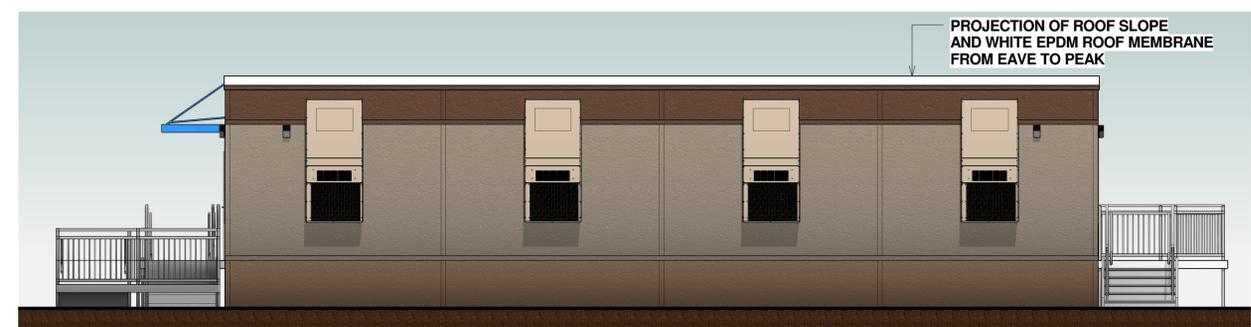
14'-6 1/2"  
11'-0"  
3'-0"

8'-0"  
A.F.F.

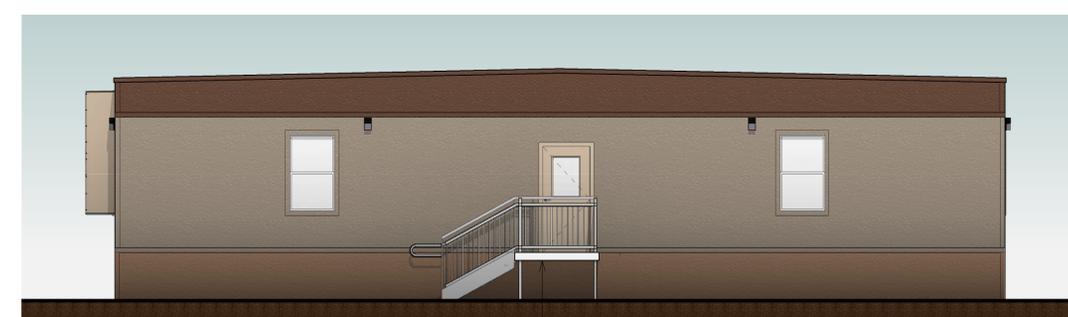
SW#076 MEDIUM WALMART BLUE  
TO MATCH EXISTING BUILDING



② LEFT SIDE  
3/16" = 1'-0"



③ RIGHT SIDE  
3/16" = 1'-0"



④ REAR  
3/16" = 1'-0"

ALUMINUM STAIRS  
WITH NON-SLIP DECKING

A/E SEAL

APPROVAL STAMP

PROJECT NAME / ADDRESS  
**Prototype 56x56 Training Building**  
CITY / STATE - TBD

COMPANY NAME / ADDRESS  
**WALMART ACADEMY BUILDING**

DRAWING TITLE  
Exterior Elevations

REVISIONS

Date	Description

DRAWN BY  
**J. VILLA**

Date  
**06/06/16**

APPROVED BY

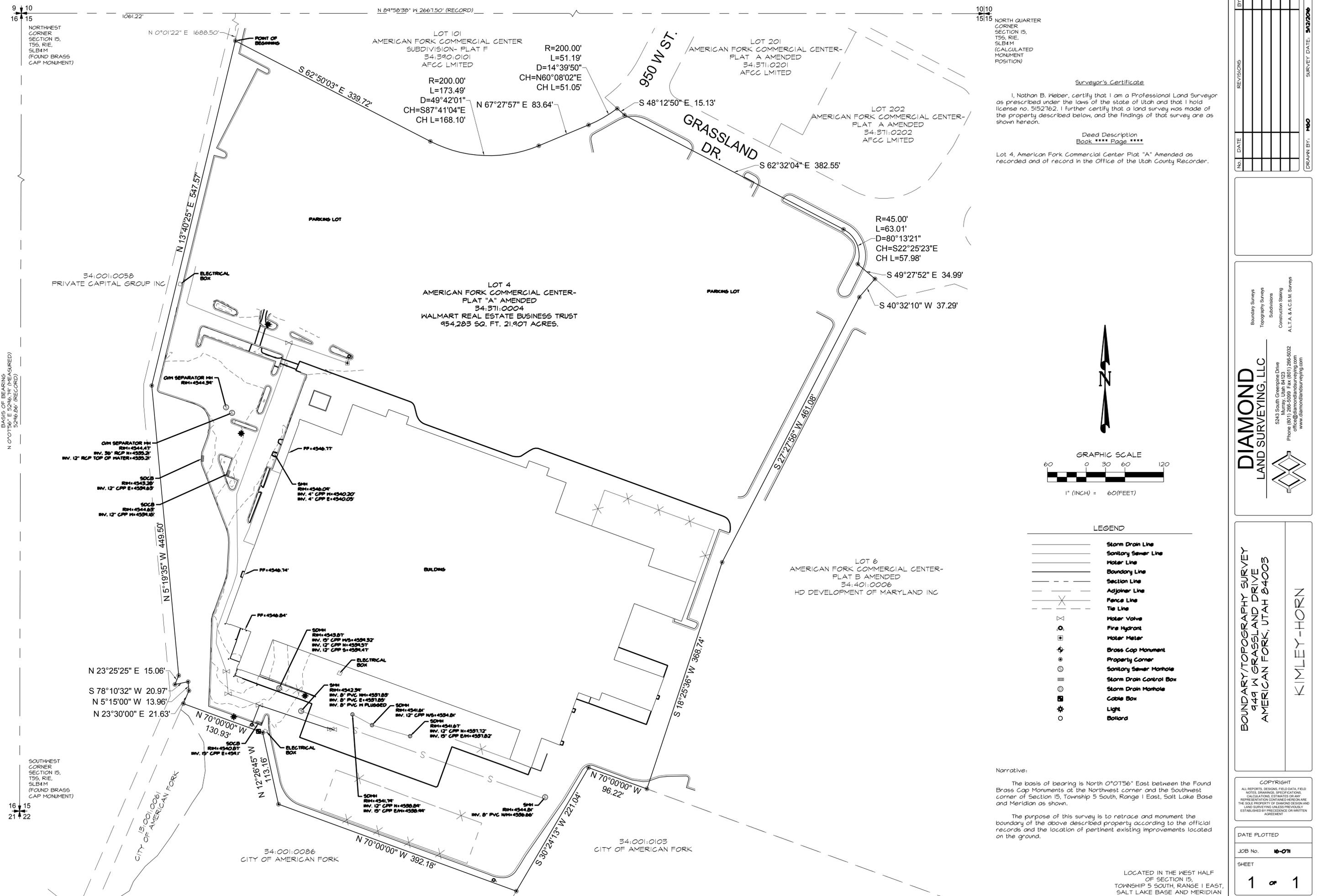
Date

PROJECT NO'S.  
Prototype 56x56 Training Building  
CITY / STATE - TBD

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Sheet No. **A2.01**

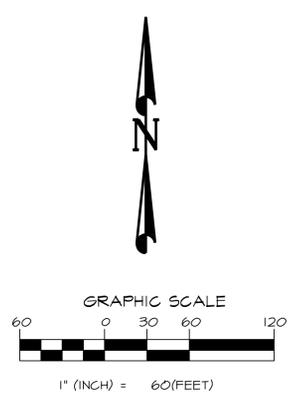


**Surveyor's Certificate**

I, Nathan B. Weber, certify that I am a Professional Land Surveyor as prescribed under the laws of the state of Utah and that I hold license no. 5152762. I further certify that a land survey was made of the property described below, and the findings of that survey are as shown hereon.

**Deed Description**  
Book \*\*\*\* Page \*\*\*\*

Lot 4, American Fork Commercial Center Plat "A" Amended as recorded and of record in the Office of the Utah County Recorder.



**LEGEND**

	Storm Drain Line
	Sanitary Sewer Line
	Water Line
	Boundary Line
	Section Line
	Adjoiner Line
	Fence Line
	Tie Line
	Water Valve
	Fire Hydrant
	Water Meter
	Brass Cap Monument
	Property Corner
	Sanitary Sewer Manhole
	Storm Drain Control Box
	Storm Drain Manhole
	Cable Box
	Light
	Bolard

**Narrative:**

The basis of bearing is North 0°07'56" East between the Found Brass Cap Monuments at the Northwest corner and the Southwest corner of Section 15, Township 5 South, Range 1 East, Salt Lake Base and Meridian as shown.

The purpose of this survey is to retrace and monument the boundary of the above described property according to the official records and the location of pertinent existing improvements located on the ground.

NO.	DATE	REVISIONS	BY

DESIGNED BY: **MBG**  
SURVEY DATE: **10/10/15**

**DIAMOND LAND SURVEYING, LLC**

Boundary Surveys  
Topography Surveys  
Subdivisions  
Construction Staking  
A.L.T.A. & A.C.S.M. Surveys

5243 South Greenpine Drive  
Murray, Utah 84123  
Phone (801) 266-5099 Fax (801) 266-5032  
office@diamondlandsurveying.com  
www.diamondlandsurveying.com

**BOUNDARY/TOPOGRAPHY SURVEY**  
949 W GRASSLAND DRIVE  
AMERICAN FORK, UTAH 84003

**KIMLEY-HORN**

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DATE PLOTTED

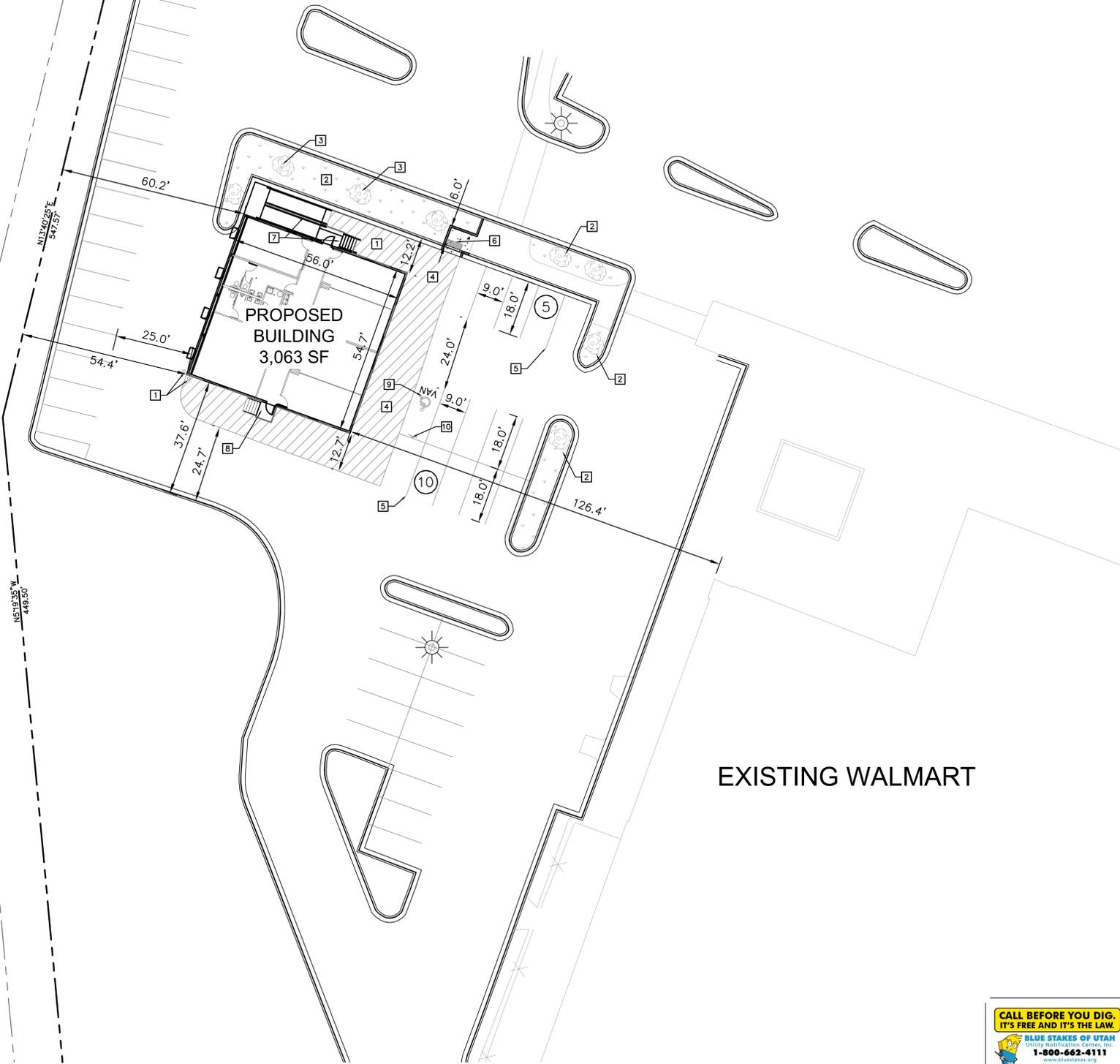
JOB No. **16-071**

SHEET **1 of 1**

LOCATED IN THE WEST HALF OF SECTION 15, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN

34:001:0058  
PRIVATE CAPITAL GROUP INC

34:371:0004  
WALMART REAL ESTATE BUSINESS TRUST  
954,283 SF (21.907 AC)



GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

CONSTRUCTION NOTES

- CONSTRUCT CONCRETE SIDEWALK PER APWA No. 231
- MAINTAIN EXISTING LANDSCAPE
- FURNISH AND PLANT SHADEMASTER HONEYLOCUST TREE PER AMERICAN FORK CITY STANDARD DRAWING 15.25. CONTRACTOR SHALL ADD TO/ADJUST IRRIGATION SYSTEM TO PROVIDE ADEQUATE IRRIGATION FOR TREES.
- INSTALL 4" WIDE YELLOW DIAGONAL PAVEMENT MARKINGS AT 24" O.C.
- INSTALL 4" WIDE YELLOW PARKING LINE
- INSTALL ADA SIDEWALK RAMP WITH DETECTION STRIP PER APWA No. 236.
- ENTRANCE RAMPS/STAIRS. COORDINATE WITH ARCHITECTURAL PLANS.
- EXIT STAIRS. COORDINATE WITH ARCHITECTURAL PLANS.
- PAINT VAN ACCESSIBLE PARKING STALL PER DETAIL.
- CONSTRUCT ADA PARKING SIGN PER DETAIL.

STE INFORMATION

PARKING REQUIREMENT	4 STALLS / 1000 S.F.
PROPOSED BUILDING AREA	3,063 S.F.
REQUIRED PARKING STALLS	13
PARKING STALLS PROVIDED	15
EXISTING WALMART BUILDING AREA	223,688 S.F.
REQUIRED PARKING STALLS	895
EXISTING PARKING STALLS	1,186
ELIMINATED PARKING STALLS	21
TOTAL OVERALL PARKING STALLS	1,165

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- PROPOSED A.C. PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- EXISTING LANDSCAPE

DATE	DESCRIPTION
06/02/2016	COMMERCIAL SITE PLAN SUBMITTAL

215 South State Street  
Salt Lake City UT 84111  
Tel. No. (801) 213-3176



HORIZONTAL CONTROL PLAN

WALMART ACADEMY  
949 WEST GRASSLAND DRIVE  
AMERICAN FORK, UTAH

DRAWN BY:	EKJ	6/2/2016
DESIGNED BY:	BDM	6/2/2016
CHECKED BY:	BDM	6/2/2016
PROJECT NO.:	093502324	SCALE: AS SHOWN

PRELIMINARY NOT FOR CONSTRUCTION

PREPARED UNDER THE DIRECTION AND SUPERVISION OF BRANDON D. MCDONALD, P.E. UTAH REGISTRATION NO. 334569 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.

SHEET C1.10

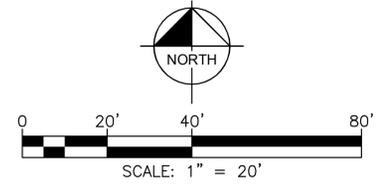
DATE: June 23, 2016 10:52 AM User: JACKSON, ELISE  
PATH: K:\SIC\_CIVIL\093502324 WALMART ACADEMY AMERICAN FORK\CDR PLAN SHEETS\093502324\_HCDWG  
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CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.

BLUE STAKES OF UTAH  
Utility Notification Center, Inc.  
1-800-662-4111  
www.bluestakes.com

811  
Know what's BELOW.  
Call before you dig.

CAUTION: NOTICE TO CONTRACTOR  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



# EROSION CONTROL PLANS

FOR

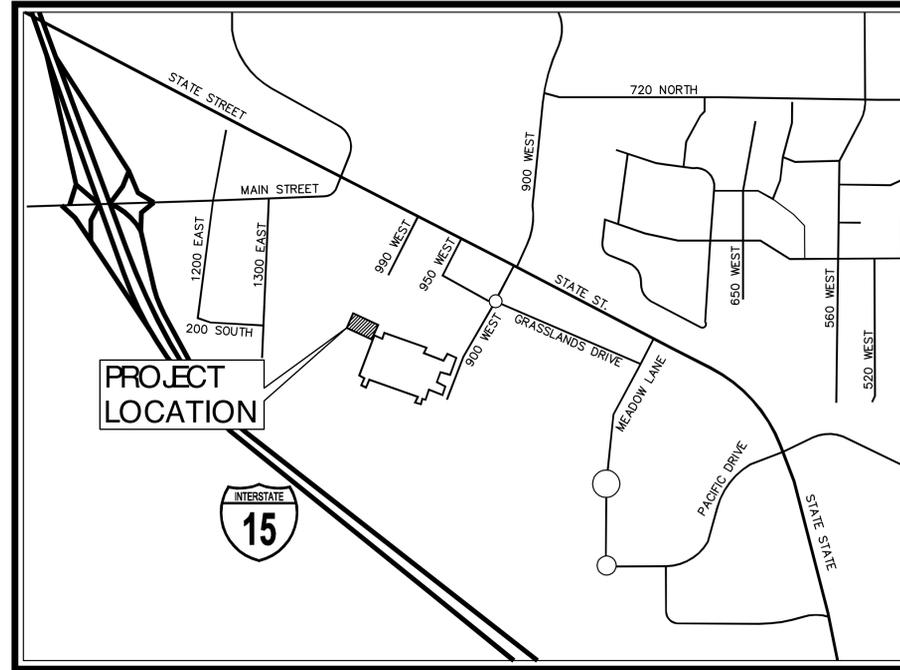
# WALMART ACADEMY AMERICAN FORK

949 WEST GRASSLAND DRIVE, AMERICAN FORK, UTAH

## STORM WATER POLLUTION PREVENTION PLAN MAINTENANCE NOTES

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS NEEDED.
3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
4. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTIONS ENTRANCES AS CONDITIONS DEMAND.
5. THE TEMPORARY PARKING AND STORAGE AREAS SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
6. OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
7. IF THE STONES IN THE GRAVEL INLET SEDIMENT FILTERS BECOME CLOGGED WITH SEDIMENT, THE STONES MUST BE PULLED AWAY, CLEANED AND REPLACED.
8. THE EMBANKMENT OF THE SEDIMENTATION BASIN SHALL BE CHECKED REGULARLY TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
9. ALL TEMPORARY SEDIMENT TRAP AND SEDIMENTATION BASIN STRUCTURES SHALL BE CHECKED DAILY TO ENSURE THAT THEY ARE STRUCTURALLY SOUND AND HAVE NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT. SEDIMENT DEPOSITION SHALL BE REMOVED PERIODICALLY TO ENSURE FULL VOLUME IS AVAILABLE IN THE POND.
10. THE CONTRACTOR SHALL ENSURE THAT OFF-SITE AREAS USED FOR BORROW OR SPOIL OF MATERIALS USED FOR THIS PROJECT ARE PERMITTED IN ACCORDANCE WITH UPDES REQUIREMENTS AND APPROPRIATE EROSION CONTROL MEASURE AND BMP'S BE PLACED TO ENSURE THAT EROSION SEDIMENT IS CONTAINED.



VICINITY MAP

NOT TO SCALE

## SHEET INDEX

C2.00	EROSION CONTROL COVER SHEET
C2.10	EROSION CONTROL PLAN
C2.20	EROSION CONTROL DETAILS

## STORM WATER POLLUTION PREVENTION PLAN GENERAL NOTES

### EROSION CONTROL GENERAL NOTES

1. THE STORMWATER MANAGEMENT PLAN IN COMPRISE OF THESE DRAWINGS ("SITE MAP"), THE STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATION SECTION 02370 ("STORMWATER MANAGEMENT PLAN"), PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORMWATER MANAGEMENT SHALL OBTAIN A COPY OF THE STORMWATER MANAGEMENT PLAN AND THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (UPDES) AND BECOME FAMILIAR WITH THEIR CONTENTS.
3. THE CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATE BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
7. GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES.
8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON-SITE OR SHALL BE READILY AVAILABLE TO CONTAIN AND CLEAN UP FUEL OR CHEMICAL SPILLS AND LEAKS.
10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM-BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
11. RUBBISH, TRASH, GARBAGE, LITTER OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
12. ALL STORMWATER MANAGEMENT MEASURES PRESENTED ON THIS PLAN, AND IN THE STORMWATER MANAGEMENT PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.
13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS STOPPED FOR AT LEAST 21 DAYS SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE.
16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
17. CONTRACTOR OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DOWNSTREAM DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
18. ON-SITE AND OFF-SITE STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS. THE CONTRACTOR SHALL USE VEHICLE TRACKING CONTROL AT ALL LOCATIONS WHERE VEHICLES WILL ENTER OR EXIT THE SITE. CONTROL FACILITIES WILL BE MAINTAINED WHILE CONSTRUCTION IS IN PROGRESS, MOVED WHEN NECESSARY, AND REMOVED WHEN THE SITE IS PAVED.
19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, DIVERSION SWALES, ETC.) TO PREVENT EROSION.
21. ALL CONSTRUCTION SHALL BE STABILIZED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACKFILLING OF TRENCHES FOR UTILITY CONSTRUCTION AND PLACEMENT OF GRAVEL OR BITUMINOUS PAVING FOR ROAD CONSTRUCTION.
22. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DUE TO UNFORESEEN PROBLEMS OR IF THE PLAN DOES NOT FUNCTION AS INTENDED. A REPRESENTATIVE OF THE CITY OF BOUNTIFUL PUBLIC WORKS DEPARTMENT MAY REQUIRE ADDITIONAL CONTROL DEVICES UPON INSPECTION OF PROPOSED FACILITIES.
23. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY UPON INDIVIDUAL INLETS BECOMING FUNCTIONAL.
24. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DISPOSED OF WITHIN 30 DAYS AFTER FINAL STABILIZATION. FINAL STABILIZATION HAS OCCURRED WHEN ALL SOIL-DISTURBING ACTIVITIES ARE COMPLETED AND A UNIFORM PERENNIAL VEGETATIVE COVER WITH A DENSITY OF 70% HAS BEEN EMPLOYED.
25. THE SITE IS LOCATED WITHIN ZONE X. ZONE X IS AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AND AN AREA OF MINIMUM FLOODING. ZONING INFORMATION IS BASED ON FEMA MAP #4955170120B, CITY OF AMERICAN FORK, UTAH COUNTY, UTAH. EFFECTIVE DATE JULY 17, 2002.
26. THERE WILL BE NO ASPHALT OR CONCRETE BATCH PLANTS ON SITE.
27. THE POTENTIAL FOR SOIL EROSION FOR THIS SITE IS SLIGHT TO MODERATE.
28. DAILY INSPECTIONS BY THE PROJECT SUPERINTENDENT, BI-WEEKLY INSPECTIONS BY THE CONTRACTOR'S COMPLIANCE OFFICER, AND MONTHLY INSPECTIONS BY THE OWNER'S CONSTRUCTION MANAGER MUST BE MADE TO DETERMINE THE EFFECTIVENESS OF THE SWPPP.

## STE INFORMATION

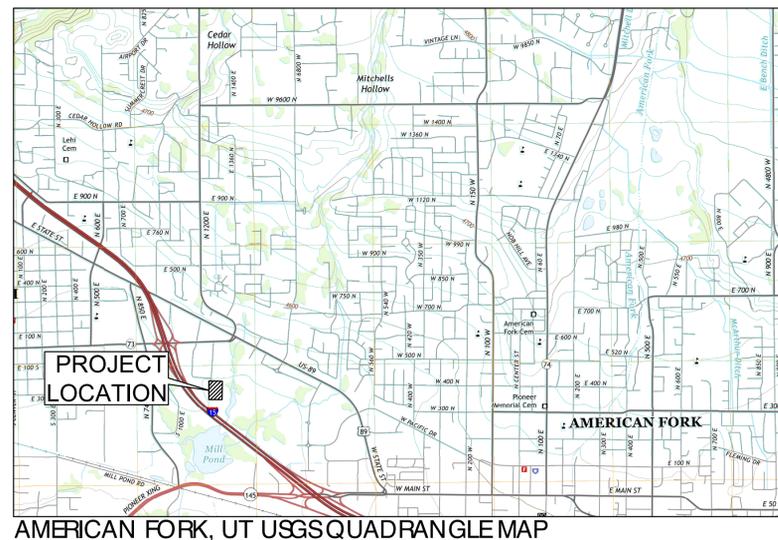
TOTAL SITE AREA	0.09 ACRES (3,720 S.F.)
TOTAL BUILDING AREA	3,063 S.F.
PARKING REQUIREMENTS	4 STALLS / 1,000 S.F.
PARKING STALLS REQUIRED	13 STALLS
PARKING STALLS PROVIDED	15 STALLS
OVERALL PARKING REQUIRED	895 STALLS
OVERALL PARKING PROVIDED	1,165 STALLS

## CONSULTANTS

<b>PROPERTY OWNER:</b> WALMART 2001 SE 10TH STREET BENTONVILLE, AR, 72716-5520 CONTACT: JENNIFER TWIST PHONE: (479) 204-2702	<b>CIVIL ENGINEER:</b> KIMLEY-HORN 215 S. STATE STREET, SUITE 400 SALT LAKE CITY, UT 84111 CONTACT: BRANDON MCDUGALD, P.E. PHONE: (385) 212-3180	<b>ARCHITECT:</b> BRRARCHITECTURE INC. 6700 ANTIPOCH PLAZA, STE 300 MERRIAM, KS, 66204 CONTACT: JOHN SMITH PHONE: (913) 236-3365	<b>ELECTRICAL ENGINEER:</b> HB 1801 MAIN ST KANSAS CITY, KS, 64108 CONTACT: PHONE: (XXX) XXX-XXX
<b>DEVELOPER:</b> WALMART 2001 SE 10TH STREET BENTONVILLE, AR, 72716-5520 CONTACT: JENNIFER TWIST PHONE: (479) 204-2702	<b>SURVEYOR:</b> DIAMOND LAND SURVEYING LLC 5243 SOUTH GREENPINE DRIVE MURRAY, UT 84123 CONTACT: MATT OLSEN PHONE: (801) 266-5099	<b>MECHANICAL ENGINEER:</b> HB 1801 MAIN ST. KANSAS CITY, KS, 64108 CONTACT: PHONE: (XXX) XXX-XXX	<b>GEOLOGICAL ENGINEER:</b> KLENFELDER INC. 849 WEST LEVODY DRIVE #200 TAYLORSVILLE, UT 84123 CONTACT: JOHN DIAMOND PHONE: (801) 261-3336

## AGENCY CONTACTS

<b>PLANNING:</b> ENGINEERING: AMERICAN FORK CITY PLANNING 275 EAST 200 NORTH AMERICAN FORK, UT 84003 CONTACT: ADAM OLSEN PHONE: (801) 763-3060	<b>GAS SERVICE:</b> QUESTAR 753 HONDA PARK DR. BLUFFDALE, UT 84065 CONTACT: DEANNA HOPKINS PHONE: (801) 324-3956	<b>WATER DEPARTMENT:</b> AMERICAN FORK CITY WATER DIVISION 275 EAST 200 NORTH AMERICAN FORK, UT 84003 CONTACT: JAY BREMS PHONE: (801) 404-6129
<b>ENGINEERING:</b> AMERICAN FORK CITY ENGINEERING 275 EAST 200 NORTH AMERICAN FORK, UT 84003 CONTACT: NESTOR GALLO PHONE: (801) 763-3060	<b>ELECTRIC:</b> ROCKY MOUNTAIN POWER STREET ADDRESS CITY, STATE, ZIP CODE CONTACT: PHONE: (XXX) XXX-XXX	<b>SANITARY SEWER:</b> AMERICAN FORK CITY SEWER DIVISION 275 EAST 200 NORTH AMERICAN FORK, UT 84003 CONTACT: AARON BREMS PHONE: (801) 404-6126
<b>FIRE DEPARTMENT:</b> AMERICAN FORK FIRE DEPARTMENT 96 NORTH CENTER STREET AMERICAN FORK, UT 84003 CONTACT: DOUG BATEMAN PHONE: (801) 763-3040	<b>TELEPHONE:</b> CENTURYLINK 1425 WEST 3100 SOUTH SALT LAKE CITY, UT 84119 CONTACT: CHAD GREEN PHONE: (801) 974-8171	<b>STORM DRAIN:</b> AMERICAN FORK CITY STORM WATER DIVISION 275 EAST 200 NORTH AMERICAN FORK, UT 84003 CONTACT: AARON BREMS PHONE: (801) 404-6126



AMERICAN FORK, UT USGS QUADRANGLE MAP

## SOIL EROSION / SEDIMENTATION CONTROL OPERATION TIME SCHEDULE

NOTE: GENERAL CONTRACTOR TO COMPLETE TABLE WITH THEIR SPECIFIC PROJECT SCHEDULE

CONSTRUCTION SEQUENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	
TEMPORARY SEDIMENT CONTROLS																			
CLEAR AND GRUB SITE																			
MASS GRADING																			
EXCAVATE UTILITIES, BLDG. FOUNDATION																			
SITE CONSTRUCTION																			
PERMANENT CONTROL STRUCTURES																			

DATE	DESCRIPTION
06/02/2016	COMMERCIAL SITE PLAN SUBMITTAL

215 South State Street  
Salt Lake City, UT 84111  
Tel: No. (801) 212-3176



EROSION CONTROL COVER SHEET

WALMART ACADEMY  
949 WEST GRASSLAND DRIVE  
AMERICAN FORK, UTAH

Attachment: 2 - Site Plan (1994 - Walmart Training Facility)

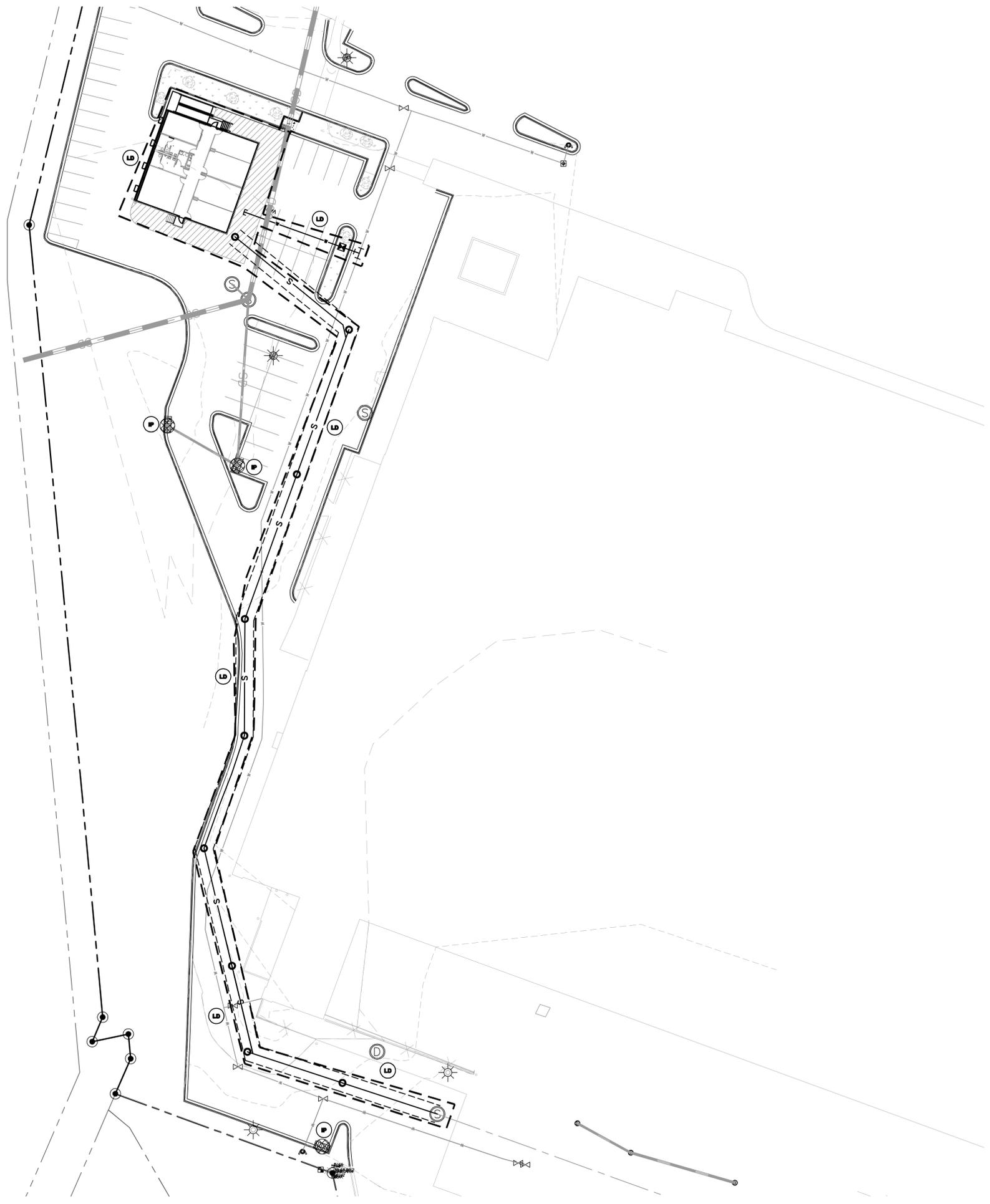
DRAWN BY: EKL	6/2/2016
DESIGNED BY: BDM	6/2/2016
CHECKED BY: BDM	6/2/2016
PROJECT NO.: 093502324	SCALE: AS SHOWN

PRELIMINARY NOT FOR CONSTRUCTION

SHEET  
C2.00

Drawn: June 23, 2016 10:53 AM  
User: JACKSON, ELSE  
Print: K:\SIC\_CIVIL\093502324 WALMART ACADEMY AMERICAN FORK CADD PLAN SHEETS\093502324\_EC.DWG  
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Date: June 23, 2016 10:54 AM User: JACKSON, ELSE  
Path: K:\SIC\_CIVIL\_093502324 WALMART ACADEMY AMERICAN FORK, UTAH\093502324\_EC.DWG  
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### GENERAL NOTES

- CONTRACTOR SHALL PROVIDE, MAINTAIN, AND INDICATE ON THIS PLAN:
  - VEHICLE WASH AREA
  - CONTAINER AND MATERIALS STORAGE AREA
  - FUELING AREA
  - STOCKPILE LOCATIONS
  - SWPPP BOARD
 (WITH APPROPRIATE BEST MANAGEMENT PRACTICES)
- PRIOR TO PHASE I WORK, SITE VEGETATION NEARLY 50%. SITE IS RESIDENTIAL PROPERTY.

### SEQUENCE OF CONSTRUCTION

- PHASE I**
- INSTALL PERIMETER BOUNDARY SEDIMENT CONTROLS INCLUDING: STABILIZED CONSTRUCTION EXIT(S), SWPPP INFORMATION SIGN, HYDRAULIC CONTROL STRUCTURES (SWALES, CHECK DAMS, SEDIMENT POND, ETC.) AND SILT FENCING.
  - PREPARE TEMPORARY PARKING AND STORAGE AREAS. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

HALT ALL ACTIVITIES AND CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM INSPECTION AND CERTIFICATION OF BMPs. GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT STORM WATER PRECONSTRUCTION MEETING WITH ENGINEER AND ALL GROUND-DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.

- EXCAVATE AND INSTALL UTILITIES, BUILDING FOUNDATION, ETC.
- TEMPORARILY SEED ANY DENUDED AREAS. MAINTAIN SITE PROTECTION AND STABILIZED CONSTRUCTION EXITS.
- EXCAVATE AND INSTALL UTILITIES, BUILDING FOUNDATION, ETC.
- START VERTICAL CONSTRUCTION OF THE BUILDING.
- FINAL GRADING OF THE SITE.
- INSTALL CURB AND GUTTER, AND SIDEWALKS.
- INSTALL ASPHALT PARKING LOT.
- FINAL STABILIZATION AND LANDSCAPING.

### SEQUENCE OF CONSTRUCTION

ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

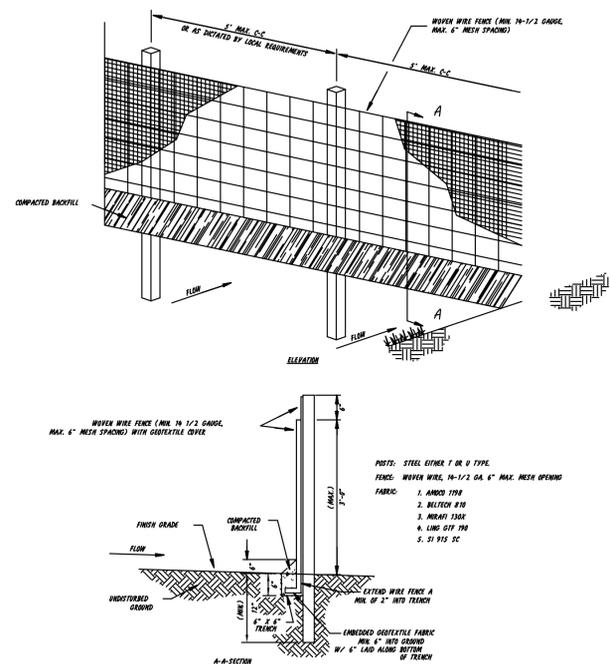
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEED AS NEEDED.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
- OUTLET STRUCTURES IN THE SEDIMENTATION BASINS SHALL BE MAINTAINED IN OPERATIONAL CONDITIONS AT ALL TIMES. SEDIMENT SHALL BE REMOVED FROM THE SEDIMENT BASINS OR TRAPS WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 50%.

### LEGEND

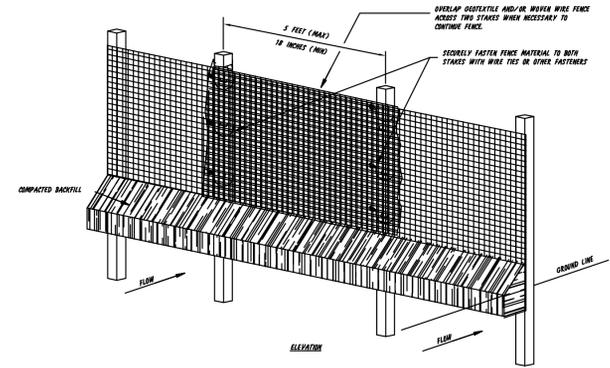
	<b>ST-1</b> CONSTRUCT TEMPORARY SEDIMENTATION TRAP WITH OUTLET - SEE DETAIL, SHEET C2.20
	<b>LD</b> LIMITS OF DISTURBANCE
	DIRECTION OF STORMWATER FLOW
	<b>VTC</b> INSTALL VEHICLE TRACKING CONTROL - SEE DETAIL, SHEET C2.20
	<b>CW</b> PROPOSED CONCRETE WASHOUT AREA - SEE DETAIL, SHEET C2.20
	<b>IP</b> CONSTRUCT DROP INLET PROTECTION - SEE DETAILS, SHEET C2.20
	<b>SF</b> CONSTRUCT TEMPORARY SILT FENCE. SEE DETAIL, SHEET C2.20

NORTH  
  
 SCALE: 1" = 20'

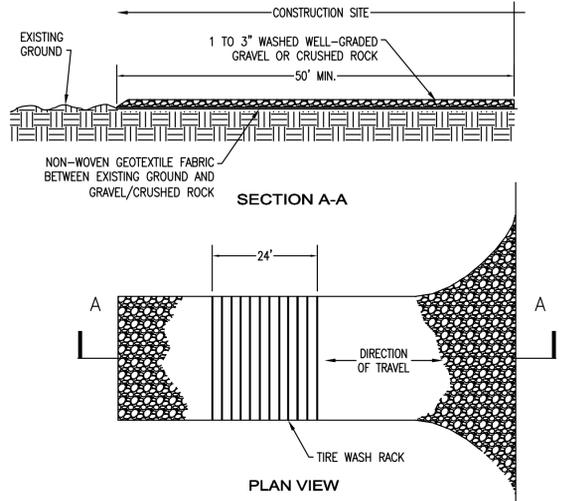
	DESCRIPTION COMMERCIAL SITE PLAN SUBMITTAL	DATE 06/02/2016			
 <b>Kimley-Horn</b> 215 South State Street Salt Lake City, UT 84111 Tel. No. (801) 213-3176			<b>EROSION CONTROL PLAN</b> <b>WALMART ACADEMY</b> 949 WEST GRASSLAND DRIVE AMERICAN FORK, UTAH		
DRAWN BY: EKL		6/2/2016		SEAL	
DESIGNED BY: BDM		6/2/2016		PRELIMINARY NOT FOR CONSTRUCTION	
CHECKED BY: BDM		6/2/2016			
PROJECT NO.: 093502324		SCALE: AS SHOWN			
SHEET <b>C2.10</b>					



1. WOVEN WIRE FENCES TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES.
2. GEOTEXTILE TO BE FASTENED SECURELY TO WOVEN WIRE FENCES WITH TIES SPACED EVERY 24\"/>

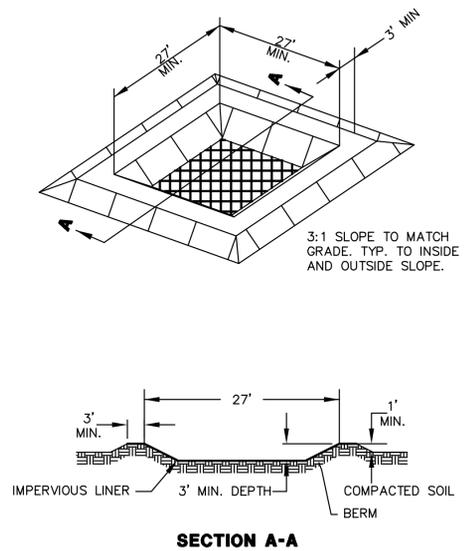


2 SILT FENCE OVERLAP DETAIL SCALE: NTS



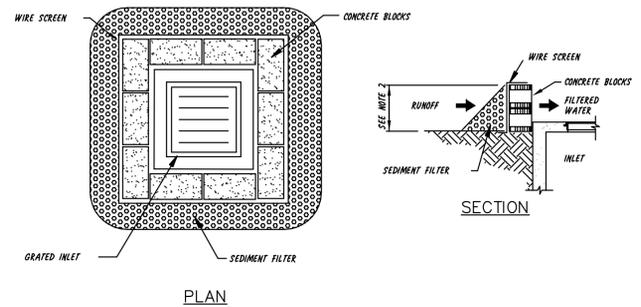
- NOTES:
1. STABILIZED CONSTRUCTION SITE ACCESS SHALL BE CONSTRUCTED OF 1" TO 3" (25 MM TO 76 MM) WASHED, WELL-GRADED GRAVEL OR CRUSHED ROCK. MATERIAL SHALL BE PLACED TO A MINIMUM THICKNESS OF 6 INCHES (150MM).
  2. A NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED UNDER THE STABILIZED CONSTRUCTION ENTRANCE/EXIT PRIOR TO THE PLACEMENT OF GRAVEL/ROCK.
  3. LENGTH OF ENTRANCE SHALL BE A MINIMUM OF 50 FT (15 METERS). WIDTH SHALL BE A MIN. OF 15 FT (4.5 METERS) OR GREATER IF NECESSARY TO COVER ALL VEHICULAR INGRESS AND EGRESS. PROVIDE AMPLE TURNING RADIUS.
  4. THE ENTRANCE SHALL BE KEPT IN GOOD CONDITION BY OCCASIONAL TOP DRESSING WITH MATERIAL AS SPECIFIED IN NOTE 1.
  5. ACCESSES SHALL BE INSPECTED WEEKLY DURING PERIODS OF HEAVY USAGE, MONTHLY DURING NORMAL USAGE, AND AFTER EACH RAINFALL, WITH MAINTENANCE PROVIDED AS NECESSARY. PERIODIC TOP DRESSING SHALL BE DONE AS NEEDED.

3 VEHICLE TRACKING CONTROL SCALE: NTS



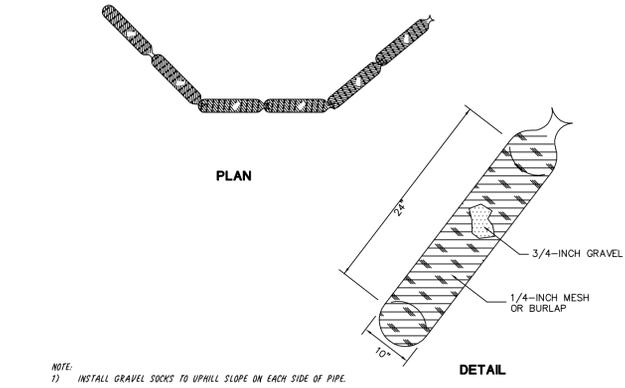
- NOTES
1. IMPERVIOUS LINER SHOULD BE A MINIMUM OF 10 MIL POLYETHYLENE SHEETING AND SHOULD BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.

4 CONCRETE WASHOUT DETAIL SCALE: NTS



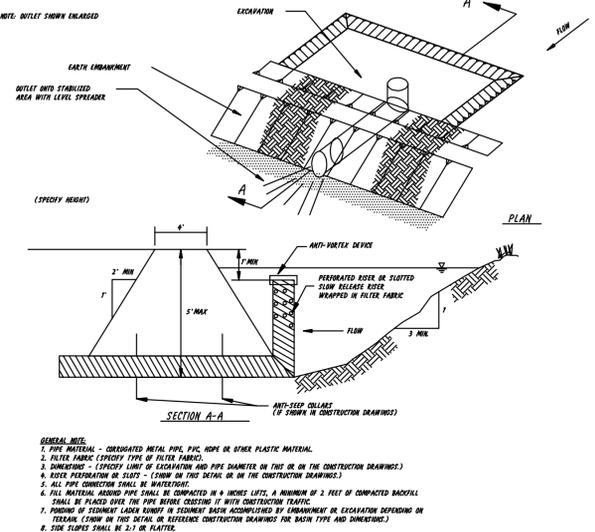
1. PLACE CONCRETE BLOCKS IN A SINGLE ROW AROUND PERIMETER OF INLET ON THEIR SIDES, WITH ENDS OF ADJACENT BLOCKS ABUTTING.
2. HEIGHT OF BARRIER VARIES. USE STACKS OF 4-INCH, 8-INCH, OR 12" BLOCKS. MIN. HEIGHT OF BARRIER 12" AND MAX. HEIGHT OF 24"
3. PLACE HARDWARE CLOTH/WIRE MESH W/ MAX. 1/2" OPENINGS OVER VERTICAL FACE OF CONCRETE BLOCKS.
4. THE SEDIMENT FILTER SHALL BE ANY NON-ERODIBLE MATERIAL SUCH AS LOOSE ROCK, BROKEN CONCRETE THAT WILL SLOW THE FLOW OF THE WATER AND ALLOW IT TO FILTER THROUGH AND OVER THE MATERIAL BEFORE ENTERING THE INLET.

5 BLOCK AND AGGREGATE DROP INLET SEDIMENT FILTER DETAIL SCALE: NTS



- NOTE:
- 1) INSTALL GRAVEL SOCKS TO UPHILL SLOPE ON EACH SIDE OF PIPE.

6 GRAVEL SOCK DETAIL SCALE: NTS



- GENERAL NOTE:
1. PIPE MATERIAL - CORRUGATED METAL PIPE, PVC, HDPE OR OTHER PLASTIC MATERIAL.
  2. FILTER FABRIC (SPECIFY TYPE OF FILTER FABRIC).
  3. DIMENSIONS - (SPECIFY LINES OF EXCAVATION AND PIPE DIAMETER ON THIS OR ON THE CONSTRUCTION DRAWINGS.)
  4. ROSE PREPARATION OR SLOTS - (SHOW ON THIS DETAIL OR ON THE CONSTRUCTION DRAWINGS.)
  5. ALL PIPE CONNECTIONS SHALL BE WATER-TIGHT.
  6. ALL MATERIAL ADJACENT PIPE SHALL BE COMPACTED IN 4 INCHES LIFTS, A MINIMUM OF 3 FEET OF COMPACTED BACKFILL SHALL BE PLACED OVER THE PIPE BEFORE CROSSING IT WITH CONSTRUCTION PLANT.
  7. FLOWING BY EXCESSIVE WATER FLOW IN SEDIMENT BASIN ACCOMPANIED BY FLOWING OR EXCAVATION DEPENDING ON TERRAIN (SHOW ON THIS DETAIL OR REFERENCE CONSTRUCTION DRAWINGS FOR BASIN TYPE AND DIMENSIONS).
  8. SIDE SLOPES SHALL BE 2:1 OR FLATTER.

7 SEDIMENT BASIN WITH OUTLET SCALE: NTS

8 NOT USED SCALE: NTS

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 PATH: K:\SIC\_CIVIL\083502324 WALMART ACADEMY AMERICAN FORK, UTAH\PROJECT\AS SHOWN\083502324\_EC.DWG  
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DESCRIPTION	COMMERCIAL SITE PLAN SUBMITTAL
DATE	06/02/2016

215 South State Street  
 Salt Lake City UT 84111  
 Tel: No. (801) 213-3176

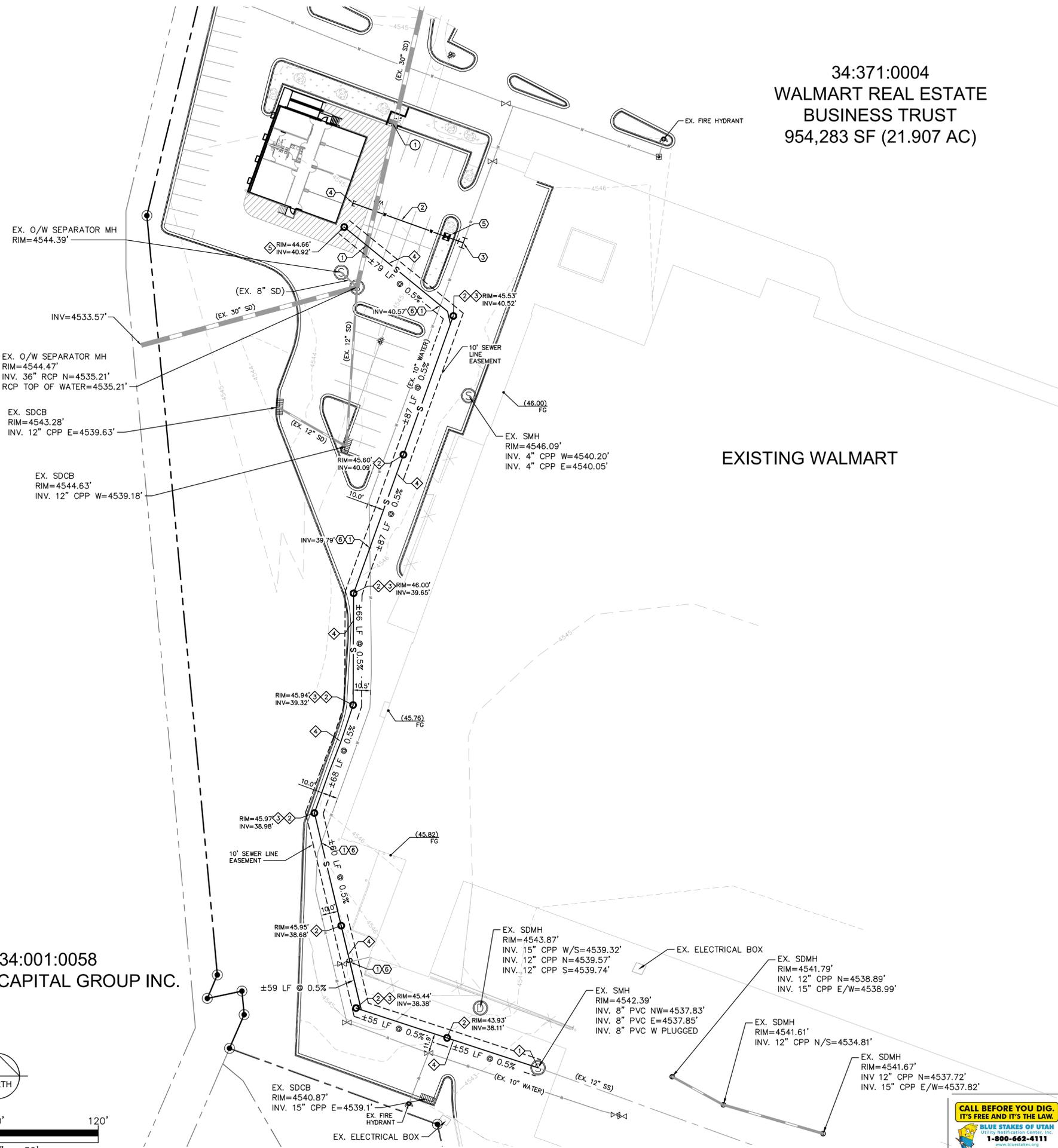
Attachment: 2. Site Plan (1394 - Walmart Training Facility)

**EROSION CONTROL DETAILS**  
**WALMART ACADEMY**  
 949 WEST GRASSLAND DRIVE  
 AMERICAN FORK, UTAH

DRAWN BY:	EKJ	6/2/2016
DESIGNED BY:	BDM	6/2/2016
CHECKED BY:	BDM	6/2/2016
PROJECT NO.:	083502324	SCALE: AS SHOWN

SEAL  
 PRELIMINARY NOT FOR CONSTRUCTION  
 SHEET  
**C2.20**  
 Packet Pg. 32

### 34:371:0004 WALMART REAL ESTATE BUSINESS TRUST 954,283 SF (21.907 AC)



#### GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.  
ENGINEER: KLEINFELDER INC.  
ADDRESS: 849 WEST LEVY DRIVE #200  
TAYLORSVILLE, UT 84123  
PHONE: (801) 261-3336  
DATE: APRIL 7, 2016  
PROJECT No.: KLEINFELDER PROJECT No. 20170635.001A
- ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
- ALL SANITARY SEWER MAINS AND LATERALS MUST BE INSPECTED AND APPROVED BY THE CITY INSPECTOR BEFORE TRENCH BACKFILLING IS COMPLETED.

#### GRADING NOTES

- ① MATCH EXISTING GRADE

#### WATER NOTES

- ① !!CAUTION!! UTILITY CROSSING. VERIFY INVERTS PRIOR TO CONSTRUCTION.
- ② FURNISH AND INSTALL 3/4" DOMESTIC WATER LINE PER AMERICAN FORK CITY STANDARDS AND SPECS.
- ③ CONNECT TO 10" CULINARY WATER PIPE PER AMERICAN FORK CITY STANDARDS AND SPECS.
- ④ PROPOSED DOMESTIC WATER ENTRY LOCATION. SEE PLUMBING PLANS FOR CONTINUATION.
- ⑤ FURNISH AND INSTALL 3/4" WATER METER.
- ⑥ CONTRACTOR SHALL POTHOLE EXISTING WATERLINE AND VERIFY WHETHER THERE IS A CONFLICT WITH THE SEWER CROSSING. IF A CONFLICT IS FOUND, CONTRACTOR SHALL LOOP AND ENCASE THE WATERLINE PER APWA STANDARDS AND PROVIDE AT LEAST 18" OF SEPARATION.

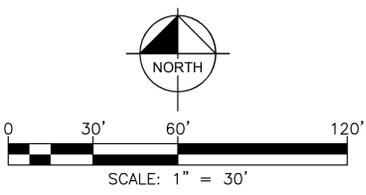
#### SANITARY SEWER NOTES

- ① TRENCH 6" SANITARY SEWER LINE AND CONNECT TO EXISTING 12" SEWER MAIN. CONTRACTOR SHALL FIELD VERIFY INVERT PRIOR TO STARTING ANY WORK ON THE SANITARY SEWER LINE. CONTRACTOR SHALL NOTIFY ENGINEER IF THERE IS ANY CONFLICT PRIOR TO PROCEEDING.
- ② FURNISH AND INSTALL 6" SANITARY SEWER CLEANOUT PER DETAIL.
- ③ FURNISH AND INSTALL 6" WYE CONNECTION PER DETAIL.
- ④ FURNISH AND INSTALL 6" SDR 35 PVC LINE PER DETAIL. CONTRACTOR SHALL TRENCH AND REPATCH ASPHALT PER AMERICAN FORK CITY STANDARDS AND SPECS.
- ⑤ PROPOSED SEWER ENTRY LOCATION. SEE PLUMBING PLANS FOR CONTINUATION.

#### LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING STORM DRAIN LINE
	PROPOSED MAJOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED A.C. PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPE
	EXISTING GRADE SPOT ELEVATION
	PROPOSED GRADE SPOT ELEVATION

### 34:001:0058 PRIVATE CAPITAL GROUP INC.



DATE	DESCRIPTION
06/02/2016	COMMERCIAL UTILITY PLAN SUBMITTAL

215 South State Street  
Salt Lake City UT 84111  
Tel: No. (801) 213-1716

**GRADING AND UTILITY PLAN**

WALMART ACADEMY  
949 WEST GRASSLAND DRIVE  
AMERICAN FORK, UTAH

DRAWN BY:	EKL	6/2/2016
DESIGNED BY:	BDM	6/2/2016
CHECKED BY:	BDM	6/2/2016
PROJECT NO.:	093502324	SCALE: AS SHOWN

SEAL

**PRELIMINARY NOT FOR CONSTRUCTION**

PREPARED UNDER THE DIRECTION AND SUPERVISION OF BRANDON D. MCDUGALD, P.E. UTAH REGISTRATION NO. 334369 FOR AND ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.

SHEET  
**C3.10**

User: JACKSON, ELISE  
 Date: June 23, 2016 10:54 AM  
 Path: K:\SIC\_CIVIL\093502324 WALMART ACADEMY AMERICAN FORK CADD PLAN SHEETS\093502324\_GD.DWG  
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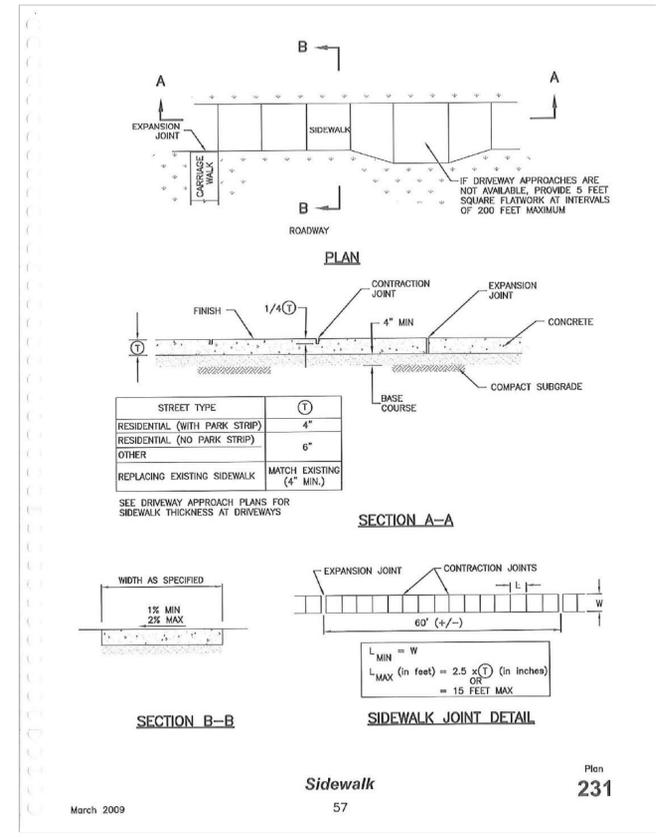
**CALL BEFORE YOU DIG. IT'S FREE AND IT'S THE LAW.**

BLUE STAKES OF UTAH  
Utility Notification Center, Inc.  
1-800-662-4111  
www.bluestakes.org

**811**  
Know what's below.  
Call before you dig.

CAUTION: NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



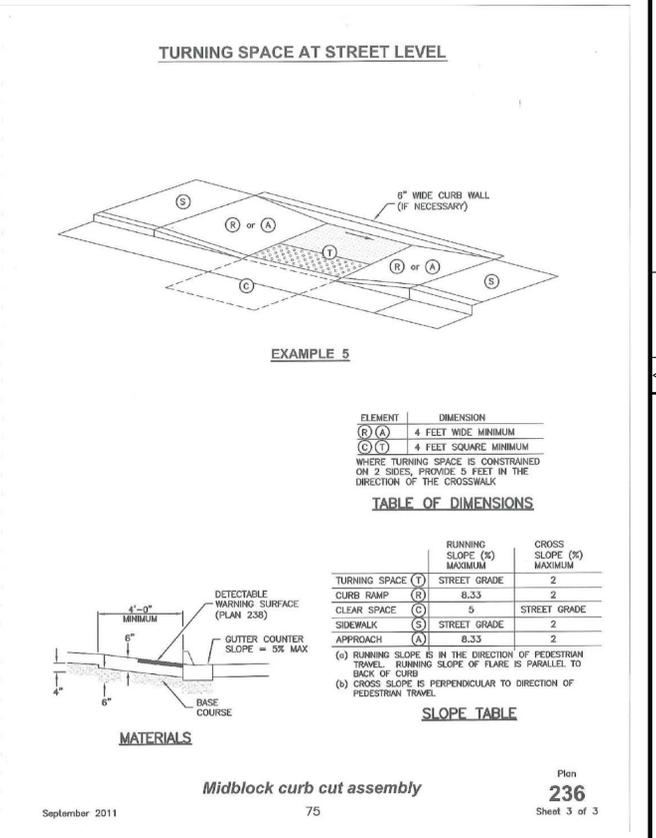
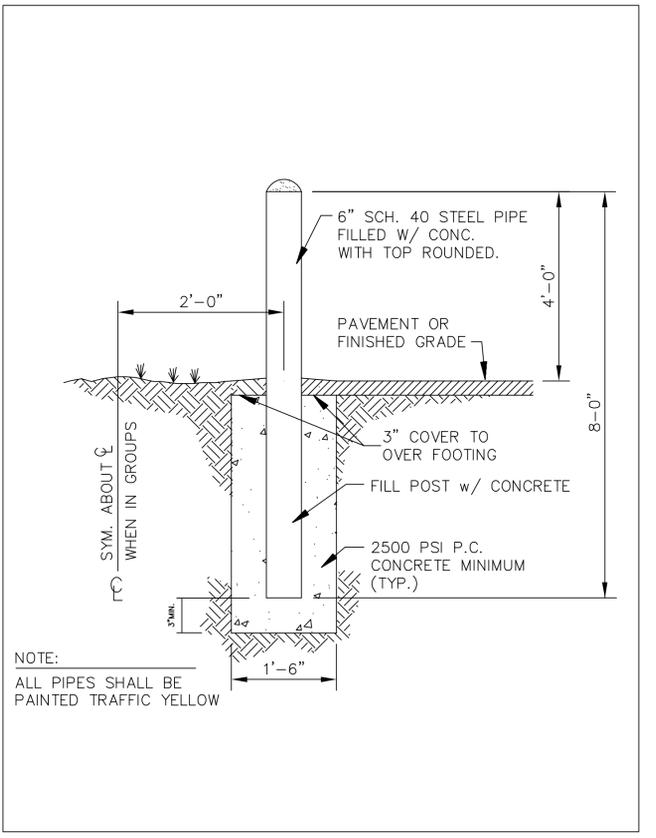
**Sidewalk**

1. GENERAL  
 A. Variance from specified dimensions and slopes must be acceptable to the ENGINEER. System configuration may be changed at ENGINEER'S discretion.  
 B. Additional requirements are specified in APWA Section 32 16 13.

2. PRODUCTS  
 A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
 B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.  
 C. Concrete: Class 4000, APWA Section 03 30 04. If necessary, provide concrete that achieves design strength in less than 7 days. Use caution; however, as concrete crazing (spider cracks) may develop if air temperature exceeds 90 degrees F.  
 D. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

3. EXECUTION  
 A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
 B. Concrete Placement: APWA Section 03 30 10.  
 1) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface.  
 2) Install contraction joints vertical, 1/8-inch wide or 1/4 slab thickness if the slab is greater than 8-inches thick. Maximum length to width ratio for non-square panels is 1.5 to 1. Maximum panel length (in feet) is 1.5 times the slab thickness (in inches).  
 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.

Plan 56



1 APWA No. 231 SIDEWALK DETAIL SCALE: NTS

2 APWA No. 231 SIDEWALK NOTES SCALE: NTS

3 BOLLARD INSTALLATION DETAIL SCALE: NTS

4 APWA No. 236 SIDEWALK RAMP DETAIL SCALE: NTS

**Midblock curb cut assembly**

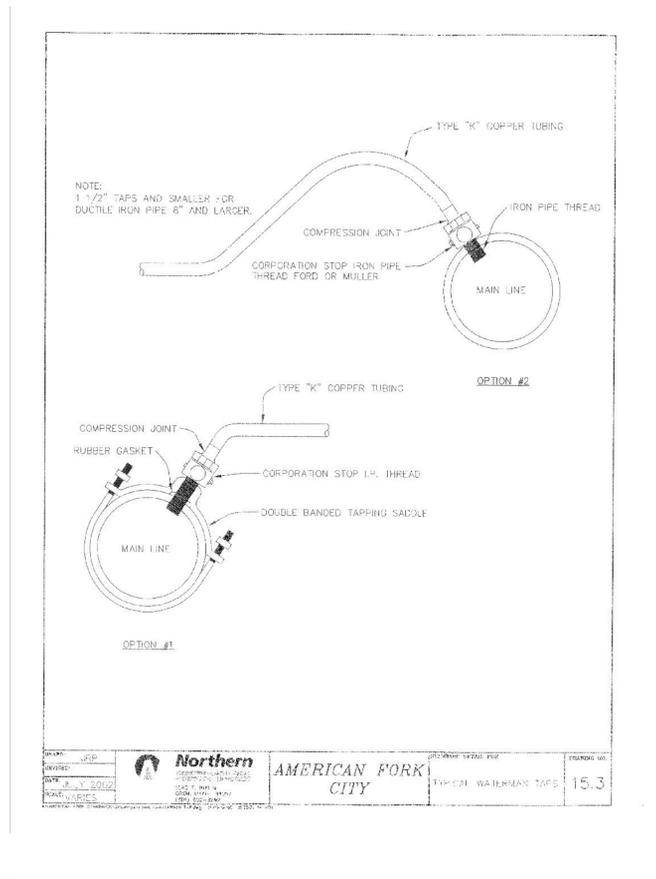
1. GENERAL  
 A. Where existing elements or spaces are altered to receive an assembly; slopes and dimensions shall comply with slopes and dimensions shown on the drawing, or to the maximum extent feasible permitted by the ENGINEER. Final configuration of the assembly may be different than shown.  
 B. Installation of flares or curb returns is ENGINEER'S choice.  
 C. Definitions and supplemental requirements are specified in APWA Section 32 16 14.

2. PRODUCTS  
 A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.  
 B. Expansion Joint Filler: 1/2-inch thick type F1 full depth, APWA Section 32 13 73.  
 C. Detectable Warning Surface: Paver, ribbed composite panel, or tile. Provide a color that contrasts with adjacent walking surface, either light-on-dark or dark-on-light. ENGINEER to select type and color unless indicated elsewhere.  
 D. Concrete: Class 4000, APWA Section 03 30 04.  
 E. Concrete Curing Agent: Clear membrane forming compound with fugitive dye (Type ID Class A), APWA Section 03 39 00.

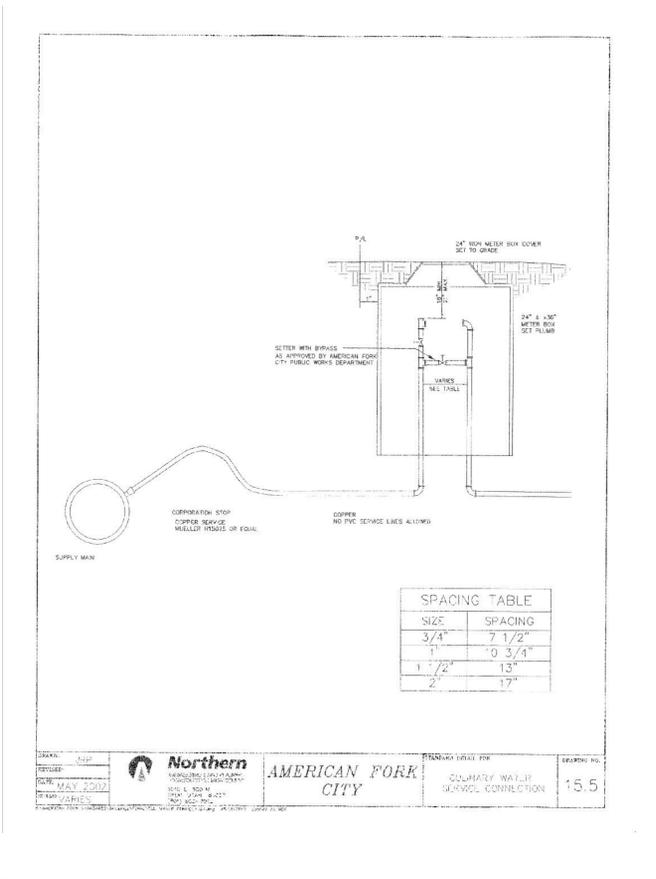
3. EXECUTION  
 A. Base Course Placement: APWA Section 32 05 10. Maximum lift thickness before compaction is 8-inches when using riding equipment or 6-inches when using hand held equipment. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.  
 B. Curb Modifications:  
 1) The sloped surface created to accommodate a flare area shall be perpendicular to the back of curb.  
 2) No grade break shall exist between the flow-line and the foot of the curb ramp or blended transition. Length of the curb modification abutting the curb ramp or transition is 4 feet minimum.  
 C. Curb Ramp: Length not required to exceed 15 feet. Grade breaks are perpendicular to the direction of ramp run and are not permitted on the ramp or turning space surface. Sides are parallel to each other and perpendicular to the ends.  
 D. Concrete Placement: APWA Section 03 30 10.  
 1) Maximum length to width ratio for rectangular panel joints is 1.5 to 1. Joint spacing measured in feet not to exceed twice slab thickness measured in inches or a maximum of 15 feet.  
 2) Install expansion joints vertical, full depth, with top of filler set flush with concrete surface. Install contraction joints vertical, 1/8-inch wide, and 1/4 of the depth of the concrete flatwork.  
 3) Provide 1/2-inch radius edges. Apply a broom finish. Apply a curing agent.  
 E. Clear Space: No trip hazards in the clear space.

Plan 70

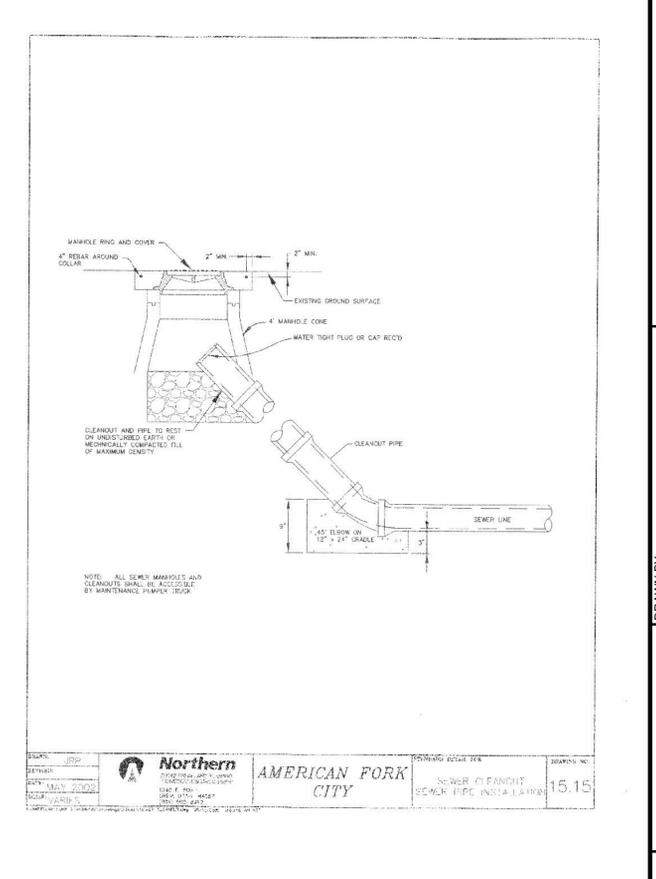
5 APWA No. 236 SIDEWALK RAMP NOTES SCALE: NTS



6 CITY OF AMERICAN FORK WATERMAIN TAP DETAIL 15.3 SCALE: NTS



7 CITY OF AMERICAN FORK WATER SERVICE DETAIL SCALE: NTS



8 CITY OF AMERICAN FORK CLEANOUT DETAIL SCALE: NTS

DATE: June 23, 2016 10:55 AM  
 USER: JACKSON, ELSE  
 PATH: K:\SIC\_CIVIL\_093502324\_WALMART\_ACADEMY\_AMERICAN\_FORK\_CADD\_PLAN\_SHEETS\_093502324\_DT.DWG  
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DESCRIPTION: COMMERCIAL/RESIDENTIAL SUBMITTAL

DATE: 06/23/2016

PROJECT NO.: 093502324

SCALE: AS SHOWN

DRAWN BY: ECKJ 6/22/2016

DESIGNED BY: BDM 6/22/2016

CHECKED BY: BDM 6/22/2016

PROJECT NO.: 093502324

SCALE: AS SHOWN

WALMART ACADEMY  
 949 WEST GRASSLAND DRIVE  
 AMERICAN FORK, UTAH

Kimley-Horn

215 South State Street  
 Salt Lake City, UT 84111  
 Tel. No. (801) 213-3176

Attachment: 2. Site Plan (1994 - Walmart Training Facility)

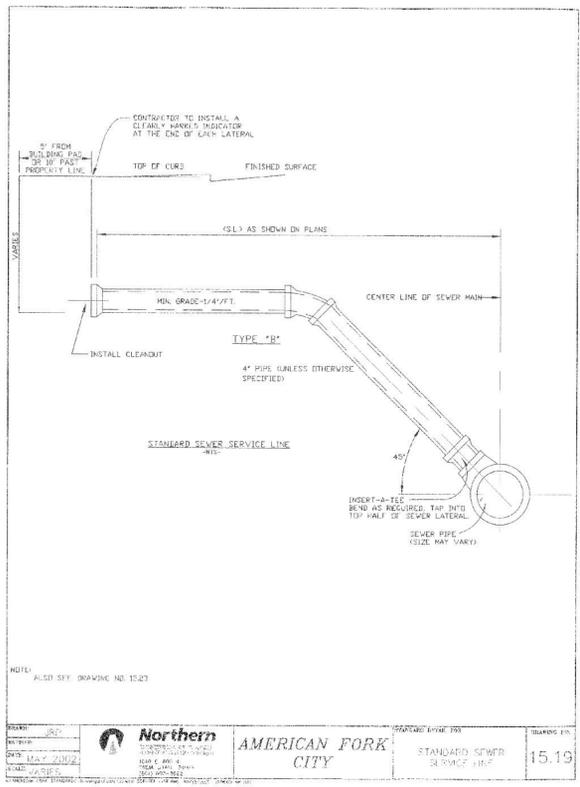
DETAILS

SEAL

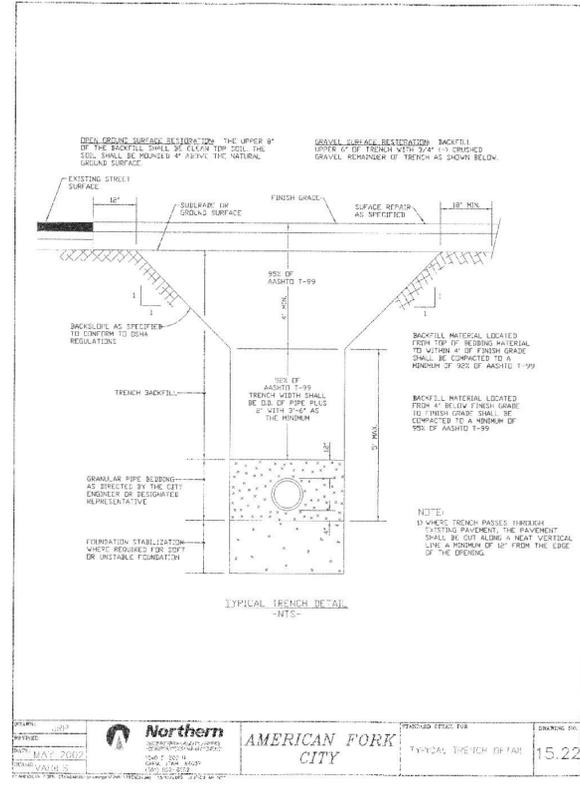
PRELIMINARY NOT FOR CONSTRUCTION

SHEET C4.10

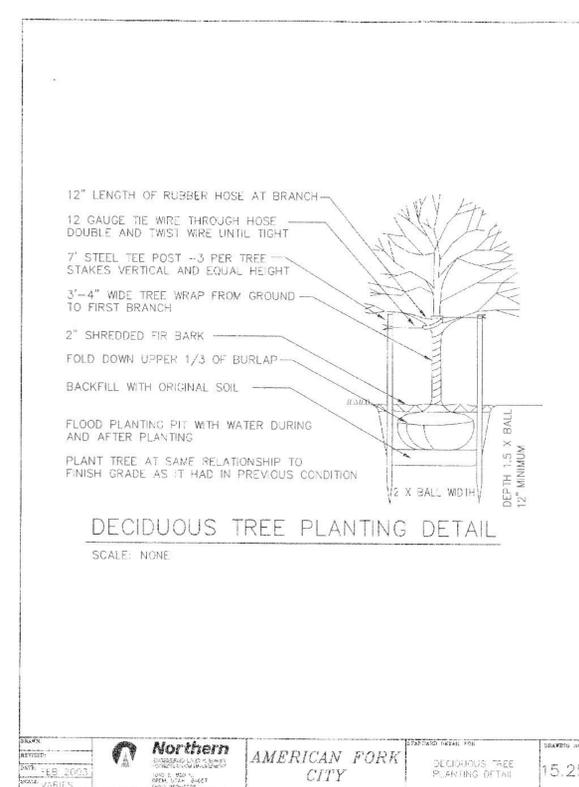
Packet Pg. 34



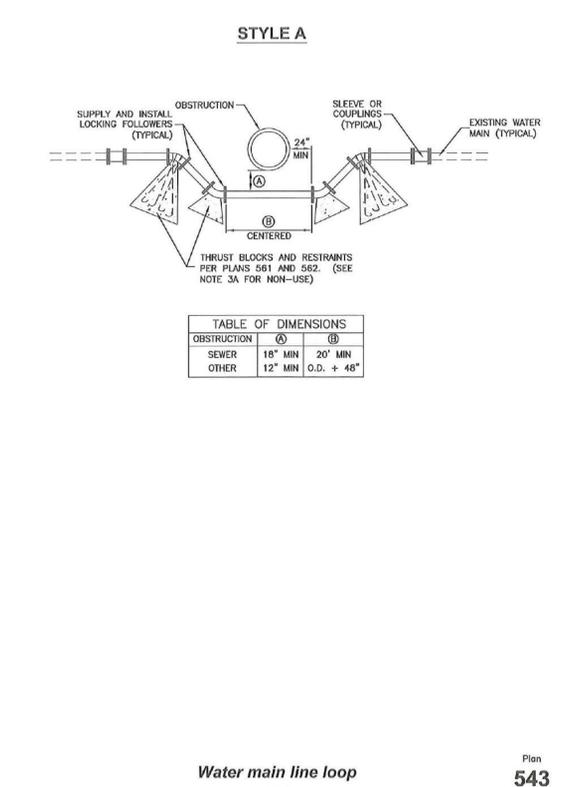
DATE: MAY 2002	PROJECT: AMERICAN FORK CITY	SCALE: NTS	15.19
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DATE: MAY 2002	PROJECT: AMERICAN FORK CITY	SCALE: NTS	15.22
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DATE: FEB 2003	PROJECT: AMERICAN FORK CITY	SCALE: NTS	15.25
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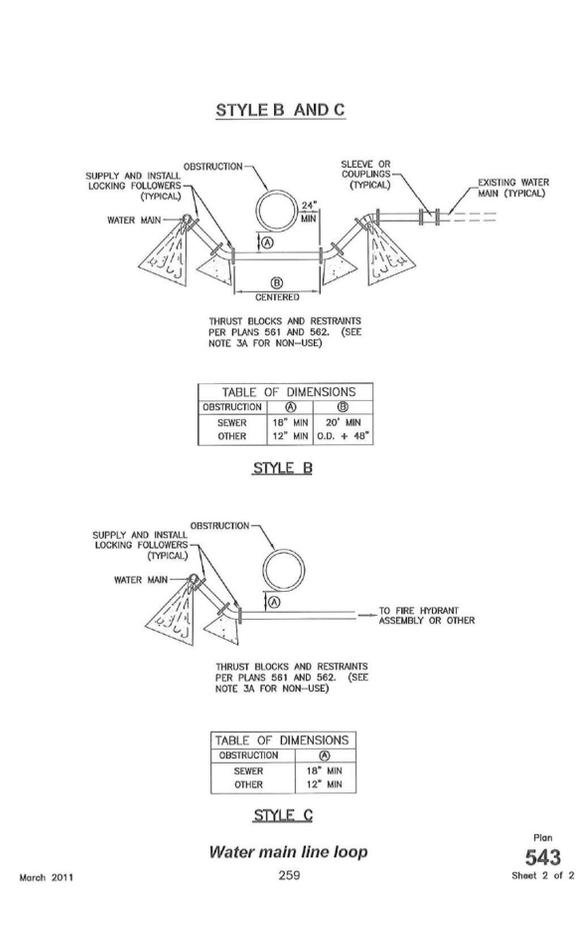
DATE: 06/02/2016	PROJECT: APWA No. 543 WATER LINE LOOP PLAN A DETAIL	SCALE: NTS	15.25
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9) CITY OF AMERICAN FORK SANITARY SEWER LINE DETAIL SCALE: NTS

10) CITY OF AMERICAN FORK TRENCH DETAIL SCALE: NTS

11) CITY OF AMERICAN FORK TREE PLANTING DETAIL SCALE: NTS

12) APWA No. 543 WATER LINE LOOP PLAN A DETAIL SCALE: NTS

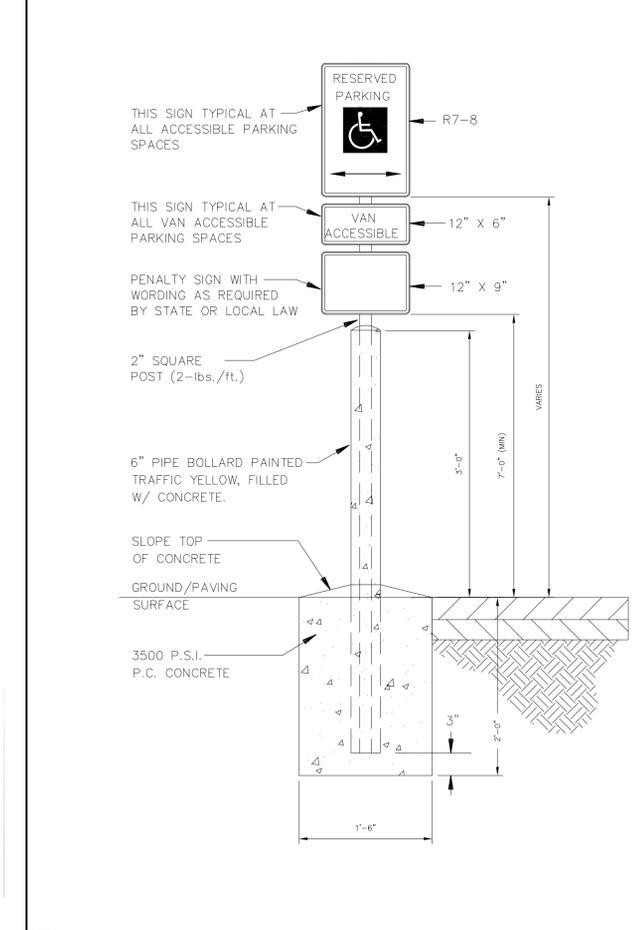


DATE: JUNE 23, 2016 10:55 AM	PROJECT: APWA No. 543 WATER LINE LOOP PLAN B AND C DETAIL	SCALE: NTS	15.25
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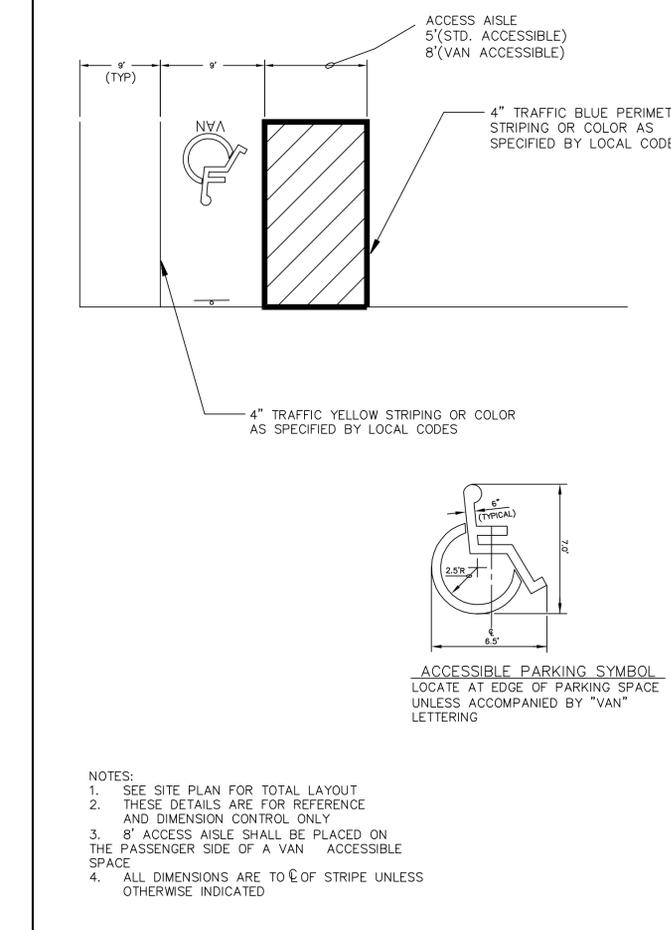
**Water main line loop**

- GENERAL**
  - A. Before backfilling, secure inspection of installation by ENGINEER.
- PRODUCTS**
  - A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER's permission.
  - B. Piping: Match existing pipe, fittings, coupling sizes and materials.
  - C. Thrust Blocks: Concrete Class 4000, APWA Section 03 30 04.
  - D. Reinforcement: Deformed, 60 ksi yield grade steel, ASTM A 615.
  - E. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.
  - F. Grease: Non-oxide poly-FM.
  - G. Couplings: Brass.
- EXECUTION**
  - A. Thrust Blocks: Not required for flanged or welded pipe systems. Before pouring thrust block concrete, wrap pipe system in plastic sheet to prevent bonding of concrete to pipe system.
  - B. Fittings: Use copper to copper flare fittings or copper to iron pack joint coupling with locking split clamp on iron pipe side and flare on copper side.
  - C. Grease: Apply grease to all buried metal surfaces. Wrap with polyethylene sheet and tape wrap.
  - D. Steel Spool: Weld in place and provide slip on flange except when fitting in pipe system could move. Epoxy line per AWWA C210, C213, and coated per AWWA C208, or C214.
  - E. Location: Loop water mains over top of sewer lines.
  - F. Base Course and Backfill Placement: Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.

DATE: MAY 2002	PROJECT: AMERICAN FORK CITY	SCALE: NTS	15.22
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DATE: FEB 2003	PROJECT: AMERICAN FORK CITY	SCALE: NTS	15.25
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DATE: 6/2/2016	PROJECT: ADA STALL DETAIL	SCALE: NTS	15.25
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13) APWA No. 543 WATER LINE LOOP PLAN B AND C DETAIL SCALE: NTS

14) APWA No. 543 WATER LINE LOOP NOTES SCALE: NTS

15) TYPICAL SIGN DETAIL DETAIL SCALE: NTS

16) ADA STALL DETAIL SCALE: NTS

DESCRIPTION: COMMERCIAL SITE/RAN SUBMITTAL	DATE: 06/02/2016	PROJECT: APWA No. 543 WATER LINE LOOP PLAN A DETAIL	SCALE: NTS	15.25
<b>WALMART ACADEMY</b> 949 WEST GRASSLAND DRIVE AMERICAN FORK, UTAH Attachment: 2. Site Plan (1994 - Walmart Training Facility)				
DRAWN BY: EKL	DESIGNED BY: BDM	CHECKED BY: BDM	PROJECT NO.: 093502324	SCALE: AS SHOWN
PRELIMINARY NOT FOR CONSTRUCTION				
SHEET <b>C4.20</b>				
Packet Pg. 35				

AMERICAN FORK CITY  
PLANNING COMMISSION

MEETING DATE: July 20, 2016  
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on an amended commercial site plan for placement of a training facility in the Walmart parking lot, located at 949 West Grassland Drive, in the SC-1 (Planned Shopping Center) zone.

ACTION REQUESTED: Recommendation of approval to City Council.

BACKGROUND INFORMATION					
Location:		949 West Grassland Drive			
Applicants:		Brandon McDougald			
Existing Land Use:		Commercial			
Proposed Land Use:		Commercial			
Surrounding Land Use:	North	Commercial			
	South	Commercial			
	East	Commercial			
	West	Commercial			
Existing Zoning:		SC-1 (Planned Shopping Center)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	SC-1 (Planned Shopping Center)			
	South	SC-1 (Planned Shopping Center)			
	East	SC-1 (Planned Shopping Center)			
	West	SC-1 (Planned Shopping Center)			
Land Use Plan Designation:		Design Commercial			
Zoning within density range?		x	Yes		No

### Background

Walmart proposes a regional training facility to be located adjacent to its existing retail structure. The proposed facility will consist of 3,063 sq. ft and will eliminate 21 parking stalls. However, even with the elimination of 21 parking stalls, the remaining parking stalls for the overall site exceeds the City's parking requirements. The proposed structure will be placed behind an existing landscape island this will act as screening for the structure. While much of the existing landscape elements will remain, additional trees will be placed within the existing island for additional screening.

Renderings of the proposed structure are included in the submittal materials. Representatives have indicated this is to be a more permanent structure. Coloring will match the existing Walmart building; however, as proposed, this is to be a modular

structure. If it is intended for permanency, the Planning Commission may request additional elements be incorporated to suggest permanency.

Consistency with the Land Use Plan:

The Land Use Plan currently designates this area as “Design Commercial”. The site plan is consistent with the Land Use Plan Designation.

FINDING OF FACT

After reviewing the application for site plan approval, the following finding of fact is offered for consideration:

1. The proposed site plan meets the applicable criteria as found in Section 17.7.602 of the Development Code.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we recommend approval of the amended commercial site plan for a training facility located at 949 West Grassland Drive with the finding as listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the amended commercial site plan for a training facility located at 949 West Grassland Drive.

TABLE

Mr. Chairman, I move that we table the amended commercial site plan for a training facility located at 949 West Grassland Drive.

# AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 7/20/2016

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Walmart Learning Academy

Project Address: 949 West Grassland Drive

Developer / Applicant's Name: Brandon McDougald – Kimley-Horn & Associates, Inc.

Type of Application:

- Subdivision Final Plat       Subdivision Preliminary Plan       Annexation
- Code Text Amendment       General Plan Amendment       Zone Change
- Commercial Site Plan       Residential Accessory Structure Site Plan

**Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

- All Standard Conditions of Approval and items denoted as “Plan Modification(s) Required” in the 7/20/2016 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

**Applicant is requesting that the Planning Commission waive the following requirement(s):**

- Requested waivers **ARE** necessary for the proposed development to move forward.
  - Requested waivers **ARE NOT** necessary for the proposed development to move forward.

**Plan Submittal:**



## STANDARD CONDITIONS OF APPROVAL

### Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

### Plan Modifications Required:

1. No additional comments.

## UNAPPROVED MINUTES

1 Mr. Franson moved to approve the site plan for an accessory structure located at 229 South  
2 400 East with the findings as listed in the staff report and finding that the bulk, height,  
3 style and construction material of the accessory structure is compatible with dwellings in  
4 the immediate vicinity and will not result in an undue negative impact upon adjacent  
5 properties, and subject to any findings, conditions and modifications listed in the  
6 engineering report.

7  
8 *Findings, Conditions and Modifications:*

- 9 • The proposed site plan meets the review criteria as found in Section 17.6.101.B of  
10 the Development Code.
- 11 • The proposed site plan meets the findings as outlined in Section 17.5.105 of the  
12 Development Code:
  - 13 a. The accessory building will be incidental to the primary use of the parcel.
  - 14 b. The applicant has provided adequate assurance that neither the accessory  
15 building nor any portion thereof will be used or converted for use as living or  
16 sleeping quarters or for the conduct of a business.
  - 17 c. The bulk, height, style and construction material of the accessory structure is  
18 compatible with dwellings in the immediate vicinity.
- 19 • All Standard Conditions of Approval and items denoted as “Plan Modifications  
20 Required” in the 7/20/16 Engineering Division Staff report for the City Land Use  
21 Authority shall be addressed on all final project documents.

22  
23 Ms. Anderson seconded the motion. Voting was as follows:

24	John Woffinden, Chairman	Aye
25	Christine Anderson	Aye
26	Eric Franson	Aye
27	Leonard Hight	Aye
28	Nathan Schellenberg	Aye
29		The motion carried.

- 30  
31 3. Hearing, review and action on an amended commercial site plan for placement of a  
32 training facility in the Walmart parking lot, located at 949 West Grassland Drive, in the  
33 SC-1 Planned Shopping Center zone

34 Mr. Olsen stated this site plan was for the placement of a regional training facility in the Walmart  
35 parking lot for training employees and would be the first training facility in Utah. This structure  
36 would be placed to the west of the building, behind an existing landscaping island. He noted that  
37 there would be additional landscaping in that island. This structure would take up 21 parking  
38 spaces, but it would not create a problem as there were excess parking spaces. Mr. Olsen stated  
39 that representatives have noted this would be a permanent facility but it was a modular structure  
40 and the colors would match the existing Walmart.

41  
42 Mr. Andrus also stated it was intended to be a permanent structure and they would be running  
43 water and sewer lines to the building.

44  
45 Brandon McDougald, of Kimley Horn and Associates, explained that Walmart would have about  
46 300 buildings similar to this for training purposes. This would be a regional facility and would

## UNAPPROVED MINUTES

1 serve 20-30 Walmarts in the region. The average size of these facilities were 2,250 to 3,000  
 2 square feet. There were three classrooms, an office area and bathrooms. On average, 75% of the  
 3 associates would commute daily and 25% would stay overnight while attending the academy.  
 4 Mr. McDougald stated the associates were encouraged to carpool. The capacity was 90  
 5 associates but the average academy would have between 15 and 30 associates. The usual training  
 6 time was 7 a.m. to 4 p.m. Monday through Friday but would not be held the peak season between  
 7 Thanksgiving and Christmas. The academy was mainly for supervisors. They wanted to be close  
 8 to one of the front entrances as they do have in-store training. They typically find a location that  
 9 was close to the building itself, has utilities nearby, did not take up too much prime parking, and  
 10 was screened from the area. They felt this Walmart location accomplished that. Mr. McDougald  
 11 stated they have updated the look of this building to utilize the same coloring of the existing  
 12 Walmart building. He noted the training varied, but thought that there would be training that  
 13 would last up to a week.

14  
 15 Mr. Hight asked if the building would be slab on grade. It was explained that this was a modular  
 16 unit that would have a foundation system on the asphalt that would connect to the building. It  
 17 would be similar to modular units at schools.

18  
 19 Public Hearing: There were no comments.

20  
 21 **Eric Franson moved to recommend approval of the amended commercial site plan for a**  
 22 **training facility located at 949 West Grassland Drive with the finding as listed in the staff**  
 23 **report and subject to any findings, conditions and modifications listed in the engineering**  
 24 **report.**

25 *Findings, Conditions, and Modifications;*

- 26 • **The proposed site plan meets the applicable criteria as found in Section 17.7.602 of**  
 27 **the Development Code**
- 28 • **All standard conditions of approval and items denoted as “plan modifications**  
 29 **required” in the 7/20/16 Engineering Division Staff Report for the City Land Use**  
 30 **Authority shall be addressed on all final project documents.**

31 **Leonard Hight seconded the motion.**

32  
 33 Ms. Anderson commented that she felt a permanent structure needed to be something more than  
 34 a modular building. Mr. Schellenberg agreed and felt it was not a good fit for the area.

35  
 36 **Chairman Woffinden called for a vote on the motion. Voting was as follows:**

37	<b>John Woffinden, Chairman</b>	<b>Aye</b>
38	<b>Christine Anderson</b>	<b>Nay</b>
39	<b>Eric Franson</b>	<b>Aye</b>
40	<b>Leonard Hight</b>	<b>Aye</b>
41	<b>Nathan Schellenberg</b>	<b>Nay</b>

42 **The motion did not pass.**

43  
 44 Chairman Woffinden asked if there was an alternate motion. Mr. Franson commented that the  
 45 only thing at this point was if the applicant was willing to address the modular nature of the  
 46 building, but he did not think they could change that here on the spot.

## UNAPPROVED MINUTES

1  
2 Mr. McDougald stated it would not change from a modular unit but there may be some upgrades  
3 they could add. He commented that if this was not allowed then they would probably find a new  
4 location for the facility. They could upgrade the landscaping for additional screening, but they  
5 would not build a brick and mortar building.  
6

7 Chairman Woffinden thought that it would be okay. This was hidden from the view and would  
8 not be seen from the store. He felt if modular units were good enough for schools, they were  
9 good enough for this location.  
10

11 Mr. McDougald pointed out there would be stucco on the modular unit that would extend to the  
12 ground, so they would not see the foundation system.  
13

14 Ms. Anderson stated that if there was landscaping around the facility, it would help with the  
15 appearance.  
16

17 Mr. Schellenberg stated there were other commercial interests that may not appreciate this type  
18 of structure in the area.  
19

20 Mr. Olsen clarified that there was a raised landscape island that the facility would be flush  
21 against and there would be additional trees in that location.  
22

23 Mr. McDougald thought that if there was a preferred landscaping they felt would be more  
24 appropriate, they would look at that and try to accommodate that. He pointed out the area to the  
25 west and the south faced the wetlands and were screened from the freeway by trees. They would  
26 probably need to address the north and the east of the building. He noted the facility was  
27 approximately 14 feet tall and he thought that trees would be able to help screen the structure.  
28

29 Chairman Woffinden asked if they could push the building farther back to the south so it would  
30 be screened by the main building.  
31

32 Mr. Schellenberg stated he would be fine if they moved the facility to another city if the site plan  
33 was not approved. Mr. Franson stated that unless they modify the facility to satisfy all of the  
34 commissioners, they would have to find another home for it.  
35

36 Chairman Woffinden stated that unless they have another motion, then the site plan has been  
37 denied by the planning commission. It would still move on to the City Council as a  
38 recommendation and the City Council could still approve the site plan.  
39

40 **Nathan Schellenberg moved to recommend denial of the amended commercial site plan for**  
41 **a training facility located at 949 West Grassland. Christine Anderson seconded the motion.**

42 **Voting was as follows:**

43	<b>John Woffinden, Chairman</b>	<b>Aye</b>
44	<b>Christine Anderson</b>	<b>Aye</b>
45	<b>Eric Franson</b>	<b>Aye</b>
46	<b>Leonard Hight</b>	<b>Nay</b>

# UNAPPROVED MINUTES

Nathan Schellenberg

Aye

The motion to deny passed.

4. Hearing, review and action on a final for Covington Cove Subdivision, consisting of 4 lots, located in the area of 600 North 300 East, in the R-1-7,500 Residential zone

Mr. Olsen explained they saw the preliminary subdivision at the May 4, 2016 meeting. This was a four lot subdivision and each of the lots do comply with the zoning. He noted there would be an extension of a portion of 600 North to the west and access to the lots would be off of 600 North or 300 East.

Mr. Hight asked if the existing homes would be removed. Mr. Argyle state there were two homes that would be eventually be removed when they did build on those lots.

Mr. Andrus stated they had no concerns. He noted they would be installing improvements on 300 East and 600 North. On 600 North they would be installing half the road width plus 5 feet as required by code.

Shawn Argyle stated they live in the area already and they wanted to stay close to where they grew up. They would be building a home for his father-in-law, in the future a home for his father, and a home for themselves on lot 4.

Public Hearing: There were no comments.

**Nathan Schellenberg moved to recommend approval of the final plat of Covington Cove Subdivision with the findings and condition listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report.**

***Findings, Conditions, Modifications:***

- **The final plat meets the criteria within Section 17.8.101 (Intent) of Chapter 17.8 (Subdivisions).**
- **The final plat meets the criteria as found in Section 17.8.211 of the Development Code.**
- **Water rights conveyance shall be satisfied prior to final plat recordation.**
- **All standard conditions of approval and items denoted as “Plan Modifications Required” in the 7/20/16 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.**
- **Show areas that are to be vacated by the city on the plat.**
- **Label the existing irrigation ditch to be abandoned (assuming approval from AF Irrigation Company is obtained).**
- **The proposed street light shown should be moved to the northern end of the subdivision. A street light already exists at the corner of 600 North and 300 East.**

**Mr. Franson seconded the motion. Voting was as follows:**

**John Woffinden, Chairman      Aye**

**Christine Anderson            Aye**

**Eric Franson                      Aye**

**Leonard Hight                  Aye**