

AMERICAN FORK CITY COUNCIL  
JULY 26, 2016  
REGULAR SESSION AGENDA

REGULAR SESSION

The American Fork City Council will meet in regular session on **Tuesday, July 26, 2016, in the American Fork City Hall, 31 North Church Street, commencing at 7:30 p.m.** The agenda shall be as follows:

1. Pledge of Allegiance; prayer by Councilman Frost; roll call.
2. Twenty-minute public comment period - limited to two minutes per person.
3. City Administrator's Report.
4. Council Reports concerning Committee Assignments.
5. Mayor's Report

COMMON CONSENT AGENDA

(*Common Consent* is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda by the Mayor or a Councilmember and placed in the action items.)

1. Approval of the July 12, 2016 City Council Minutes
2. Approval of city bills for payment and purchase requests over \$25,000
3. Approval of a progress release for the performance guarantee bond in the amount of \$314,435.19 for the Green Springs Subdivision located at 150 North State Street  
(*Requested by Dale Goodman, Public Works*)
4. Approval of a progress release for the performance guarantee bond in the amount of \$176,678.89 For The Autumn Crest Plat A Subdivision located at 1000 North 1000 East  
(*Requested by Dale Goodman, Public Works*)
5. Approval of a progress release for the performance guarantee bond in the amount of \$272,411.02 For the Autumn Crest Plat B Subdivision located at 1000 North 1000 East  
(*Requested by Dale Goodman, Public Works*)
6. Approval of a progress release for the performance guarantee bond in the amount of \$47,045.55 For the Autumn Crest Plat C Subdivision located at 1000 North 1000 East  
(*Requested by Dale Goodman, Public Works*)

ACTION ITEMS

1. Review and action on the 1100 South Street Annexation consisting of 20.11 acres at 250 East 1100 South including the Ordinance of Annexation, Annexation Agreement, and placement of the property in the R1-12,000 Residential zone. (*Requested by Terilyn Lurker, Recorder*)
2. Review and action on subdivisions, commercial projects, condominiums, and PUD's including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded

- a. Review and action on a final plat for Covington Cove Subdivision, consisting of 4 lots, located in the area of 600 North 300 East, in the R-1-7,500 Residential zone.  
*Requested by Adam Olsen, Planning*
3. Review and action on a development agreement with Rivulet Apartments, LLC for impact fee credits *(Requested by Terilyn Lurker, Administration)*
4. Consideration and action on entering into a Closed Session to discuss the professional character and competence of individuals. *(Requested by Mayor Hadfield)*
5. Adjournment

Dated this 20 day of July, 2016



Terilyn Lurker  
City Recorder



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Public Works      **Director Approval** Dale Goodman

**AGENDA ITEM**    Approval of a progress release for the performance guarantee bond in the amount of \$314,435.19 for the Green Springs Subdivision located at 150 North State Street

**SUMMARY RECOMMENDATION**    Staff recommends approval of the performance guarantee bond release.

**BACKGROUND**    A progress release has been requested by the developer of the Green Springs the construction of the road improvements, dry utilities, culinary water, storm drainage and pressurized irrigation system. The partial performance guarantee bond release adds up to \$314,435.19. The original performance guarantee calculations are included showing the breakdown of the release

**BUDGET IMPACT**    N/A

**SUGGESTED MOTION**

**SUPPORTING DOCUMENTS**

Green Spring Meadows Performance Guarantee Fourth Release    (PDF)  
Green Spring Meadows Performance Guarantee Fourth Release inspection (PDF)

Name of Development: Green Spring Towns

Date		Date		Date		Date		Date		Date	
4/4/2016		5/18/2016		6/14/2016		7/16/2016					

No.	Description of Item	Quantity	Unit	Unit Price	Total	Release #1	Amount Requested	Release #2	Amount Requested	Release #3	Amount Requested	Release #4	Amount Requested	Release #5	Amount Requested	Release #6	Amount Requested	Balance
<b>MOBILIZATION</b>																		
	Mobilization	1	LS	\$5,000.00	\$5,000.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
	Remove and dispose concrete curb and gutter	20	SY	\$6.00	\$120.00	20	\$120.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>EARTHWORK</b>																		
	Excavation (including hauling off of materials)	17712	Cubic Yd	\$15.00	\$265,680.00		\$0.00		\$0.00	17712	\$265,680.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>ASPHALT AND CONCRETE</b>																		
	Asphalt 3" - Standard Road	37020	SF	\$1.17	\$43,313.40		\$0.00		\$0.00		\$0.00	37020	\$43,313.40		\$0.00		\$0.00	\$0.00
	Roadbase 9" Hauled, Placed & Compacted	37020	SF	\$0.70	\$25,914.00		\$0.00		\$0.00		\$0.00	37020	\$25,914.00		\$0.00		\$0.00	\$0.00
	24" Curb & Gutter (4" untreated base course included)	2211	LF	\$18.00	\$39,798.00		\$0.00		\$0.00		\$0.00	2211	\$39,798.00		\$0.00		\$0.00	\$0.00
	ADA Ramp (6" concrete 6" base course included)	7	Each	\$1,500.00	\$10,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$10,500.00
	Driveway Apron (6" concrete over 6" untreated base course)	2122	SF	\$6.00	\$12,732.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$12,732.00
	Colored Concrete	4775	SF	\$8.00	\$38,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$38,200.00
	Sawcut & Patch	4637	SF	\$4.50	\$20,866.50		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$20,866.50
	Private Lane	14755	SF	\$4.50	\$66,397.50		\$0.00		\$0.00	14755	\$66,397.50		\$0.00		\$0.00		\$0.00	\$0.00
	Gravel Access Road	6131	SF	\$0.75	\$4,598.25		\$0.00		\$0.00	6131	\$4,598.25		\$0.00		\$0.00		\$0.00	\$0.00
	Street Lights	6	Each	\$5,000.00	\$30,000.00		\$0.00		\$0.00	6	\$30,000.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>CULINARY WATER</b>																		
	8" DI Culinary Water	2065	LF	\$28.00	\$57,820.00		\$0.00		\$0.00		\$0.00	2065	\$57,820.00		\$0.00		\$0.00	\$0.00
	8" Gate Valve	11	Each	\$1,383.00	\$15,213.00		\$0.00		\$0.00	11	\$15,213.00		\$0.00		\$0.00		\$0.00	\$0.00
	8" Water MJ Fittings	15	Each	\$413.00	\$6,195.00		\$0.00		\$0.00	15	\$6,195.00		\$0.00		\$0.00		\$0.00	\$0.00
	Connect to Existing Water	1	Each	\$3,500.00	\$3,500.00		\$0.00		\$0.00	1	\$3,500.00		\$0.00		\$0.00		\$0.00	\$0.00
	Fire Hydrant Assembly	10	Each	\$4,355.00	\$43,550.00		\$0.00		\$0.00		\$0.00	10	\$43,550.00		\$0.00		\$0.00	\$0.00
	3/4" Water Service Lateral	68	Each	\$1,135.00	\$77,180.00		\$0.00		\$0.00	68	\$77,180.00		\$0.00		\$0.00		\$0.00	\$0.00
	2" Service Lateral w/ 1 1/2" meter	1	Each	\$4,000.00	\$4,000.00		\$0.00		\$0.00	1	\$4,000.00		\$0.00		\$0.00		\$0.00	\$0.00
	8" Cross	1	Each	\$850.00	\$850.00		\$0.00		\$0.00	1	\$850.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>SEWER</b>																		
	8" PVC Sewer Line	2049	LF	\$29.00	\$59,421.00	2049	\$59,421.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
	4' Sewer Manhole Precast	11	Each	\$2,610.00	\$28,710.00	11	\$28,710.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
	5' Sewer Manhole Precast	6	Each	\$3,208.00	\$19,248.00	6	\$19,248.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
	4" Service Lateral	68	Each	\$900.00	\$61,200.00	68	\$61,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
	Connect to Existing	2	Each	\$1,500.00	\$3,000.00	2	\$3,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>STORM</b>																		
	18" RCP Storm Drain	531	LF	\$35.60	\$18,903.60		\$0.00	291	\$10,359.60		\$0.00	240	\$8,544.00		\$0.00		\$0.00	\$0.00
	15" RCP Storm Drain	1033	LF	\$32.80	\$33,882.40		\$0.00	489	\$16,039.20		\$0.00	544	\$17,843.20		\$0.00		\$0.00	\$0.00
	Curb Inlet 2' x 3' x 4'	13	Each	\$1,904.00	\$24,752.00		\$0.00	10	\$19,040.00		\$0.00	3	\$5,712.00		\$0.00		\$0.00	\$0.00
	Storm Drain Connection	3	Each	\$1,215.00	\$3,645.00		\$0.00	3	\$3,645.00		\$0.00	0	\$0.00		\$0.00		\$0.00	\$0.00
	12" SDR-35 PVC-SD	565	LF	\$27.50	\$15,537.50		\$0.00	290	\$7,975.00		\$0.00	275	\$7,562.50		\$0.00		\$0.00	\$0.00
	12" Class III RCP-SD	91	LF	\$32.00	\$2,912.00		\$0.00	88	\$2,816.00		\$0.00	3	\$96.00		\$0.00		\$0.00	\$0.00
	36" Class III RCP-SD	383	LF	\$65.00	\$24,895.00		\$0.00	100	\$6,500.00		\$0.00	283	\$18,395.00		\$0.00		\$0.00	\$0.00
	Sump/Retention Basin	4	Each	\$12,500.00	\$50,000.00		\$0.00	2	\$25,000.00		\$0.00	2	\$25,000.00		\$0.00		\$0.00	\$0.00
	Yard Drains	6	Each	\$1,500.00	\$9,000.00		\$0.00	6	\$9,000.00		\$0.00	0	\$0.00		\$0.00		\$0.00	\$0.00
	Pond Outlet Structure	3	Each	\$7,500.00	\$22,500.00		\$0.00	3	\$22,500.00		\$0.00	0	\$0.00		\$0.00		\$0.00	\$0.00
	SD Cleanout	17	Each	\$2,900.00	\$49,300.00		\$0.00	17	\$49,300.00		\$0.00	0	\$0.00		\$0.00		\$0.00	\$0.00
	Orifice Plate	3	Each	\$250.00	\$750.00		\$0.00	0	\$0.00		\$0.00	3	\$750.00		\$0.00		\$0.00	\$0.00
<b>PRESSURIZED IRRIGATION</b>																		
	6" PVC Pipe	1080	LF	\$25.00	\$27,000.00		\$0.00		\$0.00	1080	\$27,000.00		\$0.00		\$0.00		\$0.00	\$0.00
	Connect to Existing PI	1	Each	\$3,500.00	\$3,500.00		\$0.00		\$0.00	1	\$3,500.00		\$0.00		\$0.00		\$0.00	\$0.00
	Irrigation (POC)	2	Each	\$1,600.00	\$3,200.00		\$0.00		\$0.00	2	\$3,200.00		\$0.00		\$0.00		\$0.00	\$0.00
	6" Washout Valve	1	Each	\$1,200.00	\$1,200.00		\$0.00		\$0.00	1	\$1,200.00		\$0.00		\$0.00		\$0.00	\$0.00
	6" Water Fittings	6	Each	\$500.00	\$3,000.00		\$0.00		\$0.00	6	\$3,000.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>LANDSCAPING</b>																		
	Fencing	1600	LF	\$30.00	\$48,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$48,000.00

Topsoil, Sprinkler, Sod Landscaping (Basic General Landscape)	54158	SF	\$1.50	\$81,237.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$81,237.00
Tot Lots or Playgrounds	1	Each	\$12,500.00	\$12,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$12,500.00
<b>SWPPP</b>																	
Total SWPPP	1	LS	\$17,500.00	\$17,500.00		\$0.00		\$0.00	0.8	\$14,000.00		\$0.00		\$0.00		\$0.00	\$3,500.00
Check Dam		LF	\$24.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Compost Blanket		SF	\$0.36	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Compost Filter Berm		LF	\$2.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Concrete Washout Area		Each	\$150.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Silt Fence		LF	\$2.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Construction Markers		LF	\$0.20	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Dewatering		Each	\$600.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Diversion Ditch		LF	\$1.60	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Erosion Control Blanket		SY	\$5.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Inlet Protection		LF	\$20.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Portable Toilet		Each	\$150.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Reinforced Check Dam		LF	\$36.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Reinforced Rock Berm		LF	\$9.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Sediment Basin		AC	\$1,100.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Sediment Control Long		LF	\$2.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Sediment Trap		Each	\$600.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Seeding and Mulching		AC	\$2,500.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Stabilized Staging Area		SY	\$2.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
SWPPP Board		Each	\$150.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Temporary Slope Drain		LF	\$30.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Temporary Stream Crossing		Each	\$1,000.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Terracing		LS	\$500.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Vehicle Tracking Control		LS	\$500.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Notice Of Intent		Each	\$100.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Notice Of Termination		Each	\$100.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Maintenance Agreement		Each	\$100.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Easement		Each	\$100.00	\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>DRY UTILITIES</b>																	
Power Service	68	Each	\$2,500.00	\$170,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$170,000.00
Gas Service	68	Each	\$750.00	\$51,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$51,000.00
Telephone	1	LS	\$5,000.00	\$5,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$5,000.00
<b>CONSTRUCTION MANAGEMENT</b>																	
As Builts Mylar & Disks	1	Each	\$250.00	\$250.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$250.00
Construction Staking	1	LS	\$2,500.00	\$2,500.00		\$0.00		\$0.00		\$0.00	1	\$2,500.00		\$0.00		\$0.00	\$0.00
Testing, Cleaning, Inspections	1	LS	\$2,500.00	\$2,500.00		\$0.00		\$0.00	1	\$2,500.00		\$0.00		\$0.00		\$0.00	\$0.00
Street Sign	2	Each	\$225.00	\$450.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$450.00
No Parking Sign	6	Each	\$300.00	\$1,800.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$1,800.00
CBU Mailbox	2	Each	\$1,250.00	\$2,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$2,500.00
Pedestrian Crossings (striped asphalt)	6	Each	\$575.00	\$3,450.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$3,450.00

	\$176,699.00	\$172,174.80	\$528,013.75	\$296,798.10	\$0.00	\$0.00	<b>\$461,985.50</b>
\$1,635,671.15							
25% Per Ordinance Section 17.9.301	\$408,917.79		\$131,501.25	\$17,637.09			\$259,779.45
<b>ICG Amount</b>	<b>\$2,044,588.94</b>	\$176,699.00	\$172,174.80	\$659,515.00	\$314,435.19		\$721,764.95
10% Durability - retained at ICG release	<b>\$204,458.89</b>						<b>\$204,458.89</b>
<b>Street Lights</b>	<b>\$ 10,000.00</b>						Available for release balance: <b>\$517,306.05</b>
<b>Street Trees</b>	<b>\$ -</b>						
<b>Fees</b>	<b>\$14,880.00</b>						

### PERFORMANCE GUARANTEE BOND RELEASE INSPECTION

This is an application for Escrow Bond Release/ Performance Guarantee or Maintenance Bond partial or final release.

#### Project Information

Project Name: Green Springs Subdivision  
Project Address: 150 North State Street  
Type of Project  Subdivision  Site Plan  Road Project  Underground Utility

#### Performance Guarantee Bond Information

Performance Guarantee Bond posted for site improvements in the amount of \$ 2,044,588.94  
Date of the Request: July 1 2016  
Amount of the Request: \$ 314,435.19 Land Disturbance Permit No: 975  
Type of Release:  Partial Release  Final Release  Warranty Period  
Type of Bond:  Cash Deposit  Letter of Credit  Performance in Lieu

#### Field Inspection and Performance Guarantee Bond Release Information

- A field inspection was performed on the above referenced application on 07/14/2016
- Recommended Performance Guarantee Bond Release: \$314,435.19
- DO NOT Recommend Release or Reduction at this time for the following reasons:  
1. ....  
2. ....  
3. ....  
4. ....  
5. ....  
6. ....

I certify that the following recommendations are based on compliance with the American Fork City standards and technical specifications.

Jay Butcher City Inspector's signature 07/14/2016 Date  
M. D. Hall City Engineer's signature 7/14/2016 Date  
**APPROVED**

Attachment: Green Spring Meadows Performance Guarantee Fourth Release inspection (1385 : Green Spring Subdivision Performance

Alt BOND RELEASE REQUEST

Please complete and return this form to the Engineering Division:

City Engineer's Office  
 American Fork City  
 275 East 200 North  
 American Fork, UT 84004

It is the City of American Fork policy to release performance guarantee bond funds upon the request of and to the person who paid the performance guarantee bond once the bond release inspection is satisfied.

Project Information

Subdivision/ Site Plan Name: GREEN SPRING TOWNS P.U.D.  
 Subdivision/ Site Plan Address: 150 N. STATE STREET

I/ we McARTHUR HOMES, am/ are requesting the release of the following bond (s):

Nro	Description of Item	Estimate
1	CULINARY WATER 78,308 + 25%	\$ 97,885.-
2	STREETS -	
3	ASPHALT 43,313.40 + 25%	\$ 54,141.75
4	SAND + PATCH 20,866.50 + 25%	\$ 26,083.13
5	ACCESS ROAD 4,598.25 + 25%	\$ 5,747.81
6		
7	DRAINAGE	\$ 128,077.50
8		
9	CONSTRUCTION MANAGEMENT \$2,000 + 25%	\$ 2,500
10		
11		
12		
Subtotal =		314,435.19

Please, send bond release to (select one):  Individual  Letter to the Bank of record

Name: McARTHUR HOMES  
 Address: 9962 S. REDWOOD RD.  
 City: SOUTH JORDAN State: UT Zip Code: 84095  
 Phone: 801-859-5734 Email: JD@McARTHURHOMES.COM

[Signature]  
 Signature

7/1/16  
 Date

Attachment: Green Spring Meadows Performance Guarantee Fourth Release inspection (1385 : Green Spring Subdivision Performance



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Public Works      **Director Approval** Dale Goodman

**AGENDA ITEM**    Approval of a progress release for the performance guarantee bond in the amount of \$176,678.89 For The Autumn Crest Plat A Subdivision located at 1000 North 1000 East

**SUMMARY RECOMMENDATION**    Staff recommends approval of the performance guarantee bond release.

**BACKGROUND**    A progress release has been requested by the developer of the Autumn Crest Subdivision Plat A for the construction of the public improvements. The partial performance guarantee bond release adds up to \$176,678.89.00. The original performance guarantee calculations are included showing the breakdown of the release.

**BUDGET IMPACT**    N/A

**SUGGESTED MOTION**

**SUPPORTING DOCUMENTS**

Autumn Crest A Performance Guarantee Third Release      (PDF)

Autumn Crest A Performance Guarantee Third Release request and inspection      (PDF)

Name of Development: Autumn Crest Plat A

						Date			Date			Date			Date			Date		
						2/22/2016			4/25/2016			7/14/2016								
No	Description of Item	Quantity	Unit	Unit Price	Total	Release #1	Amount Requested	Release #2	Amount Requested	Release #3	Amount Requested	Release #4	Amount Requested	Release #5	Amount Requested	Release #6	Amount Requested	Balance		
<b>MOBILIZATION</b>																				
	Mobilization	1	LS	\$5,000.00	\$5,000.00		\$0.00		\$0.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>EARTHWORK</b>																				
	General Clearing and Grubbing	1	Lump	\$1,000.00	\$1,000.00		\$0.00		\$0.00	1	\$1,000.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>ASPHALT AND CONCRETE</b>																				
	Asphalt 3" - Standard Road	40991	SF	\$1.17	\$47,959.47		\$0.00		\$0.00	40991	\$47,959.47		\$0.00		\$0.00		\$0.00		\$0.00	
	Roadbase 8" Hauled, Placed & Compacted	47823	SF	\$0.70	\$33,476.10		\$0.00		\$0.00	47823	\$33,476.10		\$0.00		\$0.00		\$0.00		\$0.00	
	Sub Base 18" Hauled, Placed & Compacted	47823	SF	\$0.26	\$12,433.98		\$0.00		\$0.00	47823	\$12,433.98		\$0.00		\$0.00		\$0.00		\$0.00	
	24" HB Curb & Gutter	2050	LF	\$14.00	\$28,700.00		\$0.00		\$0.00	2050	\$28,700.00		\$0.00		\$0.00		\$0.00		\$0.00	
	4' Sidewalk 4" Thick	8200	SF	\$3.50	\$28,700.00		\$0.00		\$0.00	8200	\$28,700.00		\$0.00		\$0.00		\$0.00		\$0.00	
	ADA Ramp	4	Each	\$1,000.00	\$4,000.00		\$0.00		\$0.00	4	\$4,000.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>CULINARY WATER</b>																				
	8" DI Culinary Water	1158	LF	\$30.00	\$34,740.00		\$0.00	1158	\$34,740.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	8" Gate Valve	6	Each	\$1,383.00	\$8,298.00		\$0.00	6	\$8,298.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Fire Hydrant Assembly with Tee and Valve	2	Each	\$4,500.00	\$9,000.00		\$0.00	2	\$9,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	1" Water Service	17	Each	\$1,000.00	\$17,000.00		\$0.00	17	\$17,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	2" Blowoff	2	Each	\$1,750.00	\$3,500.00		\$0.00	2	\$3,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Cover Collar for Water Valve Boxes	6	Each	\$200.00	\$1,200.00		\$0.00	6	\$1,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Off-Site 8-inch waterline with fittings, valves, and hot tap	1200	LF	\$35.00	\$42,000.00		\$0.00	1200	\$42,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>SEWER</b>																				
	8" PVC Sewer Line 17' Deep	2304	LF	\$32.00	\$73,728.00	2304	\$73,728.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	4' Sewer Manhole Precast	5	Each	\$2,600.00	\$13,000.00	5	\$13,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	5' Sewer Manhole Precast	6	Each	\$3,000.00	\$18,000.00	6	\$18,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Cover Collar for Sewer Manhole Lids	4	Each	\$250.00	\$1,000.00	4	\$1,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	4" PVC Sewer Lateral Complete (Average Length 40 LF)	17	Each	\$1,000.00	\$17,000.00	17	\$17,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>DRAINAGE</b>																				
	15" RCP Storm Drain	220	LF	\$32.50	\$7,150.00	220	\$7,150.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Curb Inlet 2' x 3' x 4'	6	Each	\$2,000.00	\$12,000.00	6	\$12,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Storm Drain Sump	3	Each	\$4,500.00	\$13,500.00	3	\$13,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Storm Drain Oil/ Water Separator (Snout)	6	Each	\$500.00	\$3,000.00	6	\$3,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	3x3 Clean-Out Box (Non-Road Area)	1	Each	\$1,500.00	\$1,500.00	1	\$1,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>Ground Water Drain</b>																				
<b>PRESSURIZED IRRIGATION</b>																				
	6" PVC Pipe	1158	LF	\$20.00	\$23,160.00		\$0.00	1158	\$23,160.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	6" Gate Valve	6	Each	\$1,000.00	\$6,000.00		\$0.00	6	\$6,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	2" Blowoff Pressurized Irrigation	3	Each	\$1,350.00	\$4,050.00		\$0.00	3	\$4,050.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	1 1/2" Double Irrigation Service	8	Each	\$900.00	\$7,200.00		\$0.00	8	\$7,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	1" Irrigation Service	2	Each	\$600.00	\$1,200.00		\$0.00	2	\$1,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	2" Pressurized Irrigation Drain	1	Each	\$1,750.00	\$1,750.00		\$0.00	1	\$1,750.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Cover Collar for Water Valve Boxes	6	Each	\$200.00	\$1,200.00		\$0.00	6	\$1,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>SWPPP</b>																				
	Silt Fence	960	LF	\$2.00	\$1,920.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$1,920.00	
	Portable Toilet	1	Each	\$150.00	\$150.00		\$0.00		\$0.00	1	\$150.00		\$0.00		\$0.00		\$0.00		\$0.00	
	SWPPP Board	1	Each	\$150.00	\$150.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$150.00	
	Notice Of Intent	1	Each	\$100.00	\$100.00		\$0.00		\$0.00	1	\$100.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Curb Inlet Box Protection	6	Each	\$80.30	\$481.80		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$481.80	
	Gravel Construction Entrance: Maintenance Cobble Added	12	Ton	\$24.60	\$295.20		\$0.00		\$0.00	12	\$295.20		\$0.00		\$0.00		\$0.00		\$0.00	
<b>LANDSCAPING</b>																				
	Parkways (Complete)	30400	SF	\$3.25	\$98,800.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$98,800.00	
	Fencing (Concrete)	1600	LF	\$60.00	\$96,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$96,000.00	
<b>CONSTRUCTION MANAGEMENT</b>																				
	As Builts Mylar & Disks	1	Each	\$2,000.00	\$2,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$2,000.00	
	Construction Staking	1	LS	\$3,500.00	\$3,500.00		\$0.00		\$0.00	1	\$3,500.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Testing, Cleaning, Inspections	1	LS	\$2,500.00	\$2,500.00		\$0.00		\$0.00	1	\$2,500.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>DRY UTILITIES</b>																				
	Dry Utility Trenching & Power Conduit	2050	LF	\$6.34	\$12,997.00		\$0.00	2050	\$12,997.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Utility Sleeve Trenching	200	LF	\$4.61	\$922.00		\$0.00	200	\$922.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Gas Sleeve	200	LF	\$2.40	\$480.00		\$0.00	200	\$480.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Phone Sleeve	200	LF	\$2.40	\$480.00		\$0.00	200	\$480.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
	Rocky Mountain Power Fees	17	Lot	\$2,500.00	\$42,500.00		\$0.00	17	\$42,500.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	
<b>MISCELLANEOUS</b>																				

No	Description of Item	Quantity	Unit	Unit Price	Total	Release #1	Amount Requested	Release #2	Amount Requested	Release #3	Amount Requested	Release #4	Amount Requested	Release #5	Amount Requested	Release #6	Amount Requested	Balance
	Street Sign	3	Each	\$225.00	\$675.00		\$0.00		\$0.00	3	\$675.00		\$0.00		\$0.00		\$0.00	\$0.00
	Traffic Sign	3	Each	\$300.00	\$900.00		\$0.00		\$0.00	3	\$900.00		\$0.00		\$0.00		\$0.00	\$0.00
	Subdivision Monument	2	Each	\$450.00	\$900.00		\$0.00		\$0.00	2	\$900.00		\$0.00		\$0.00		\$0.00	\$0.00
	CBU Mailbox	2	Each	\$1,000.00	\$2,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$2,000.00
	Lot pins and curb markers	17	Lots	\$150.00	\$2,550.00		\$0.00		\$0.00	17	\$2,550.00		\$0.00		\$0.00		\$0.00	\$0.00
	Guarantee Extended November 25 2015	1	Each	\$3,839.14	\$3,839.14		\$0.00		\$0.00	1	\$3,839.14		\$0.00		\$0.00		\$0.00	\$0.00
							<b>\$159,878.00</b>		<b>\$217,677.00</b>		<b>\$176,678.89</b>		<b>\$0.00</b>		<b>\$0.00</b>		<b>\$0.00</b>	\$554,233.89
	Performance Guarantee Subtotal =				\$755,585.69		\$159,878.00		\$217,677.00		\$176,678.89		\$0.00		\$0.00		\$0.00	\$201,351.80
	25% Contingency per Ordinance Section 17.9.301 =				\$ 188,896.42		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -	\$ 188,896.42
	Performance Guarantee Total =				<b>\$ 944,482.11</b>													<b>\$ 390,248.22</b>
	10% Durability - Retained at ICG Release =				\$ 94,448.21													\$ 94,448.21
	Street Lights Installation Fees =																	Available for bond release balance = <b>\$ 295,800.01</b>
	Street Trees Fees =				\$ 5,100.00													
	Inspection Fees =				\$ 2,556.77													

### PERFORMANCE GUARANTEE BOND RELEASE INSPECTION

This is an application for Escrow Bond Release/ Performance Guarantee or Maintenance Bond partial or final release.

#### Project Information

Project Name: Autumn Crest Subdivision Plat A  
Project Address: 1000 North 1000 East  
Type of Project  Subdivision  Site Plan  Road Project  Underground Utility

#### Performance Guarantee Bond Information

Performance Guarantee Bond posted for site improvements in the amount of \$ 944,482.11  
Date of the Request: July 1 2016  
Amount of the Request: \$ 176,678.89 Land Disturbance Permit No: 975  
Type of Release:  Partial Release  Final Release  Warranty Period  
Type of Bond:  Cash Deposit  Letter of Credit  Performance in Lieu

#### Field Inspection and Performance Guarantee Bond Release Information

- A field inspection was performed on the above referenced application on 07/14/2016
- Recommended Performance Guarantee Bond Release: 176,678.89
- DO NOT Recommend Release or Reduction at this time for the following reasons:  
1. ....  
2. ....  
3. ....  
4. ....  
5. ....  
6. ....

I certify that the following recommendations are based on compliance with the American Fork City standards and technical specifications.

*Jay Butcher*  
City Inspector's signature  
*M. Hall*  
City Engineer's signature  
07/14/2016  
Date  
7/14/2016  
Date  
**APPROVED**

Attachment: Autumn Crest A Performance Guarantee Third Release request and inspection (1386 : Autumn Crest Plat A Subdivision

American Fork City

Public Works Department

Engineering Division

**BOND RELEASE REQUEST**

Please complete and return this form to the Engineering Division:

City Engineer's Office  
 American Fork City  
 275 East 200 North  
 American Fork, UT 84004

It is the City of American Fork policy to release performance guarantee bond funds upon the request pf and to the person who paid the performance guarantee bond once the bond release inspection is satisfied.

Project Information

Subdivision/ Site Plan Name: Autumn Crest Plat A  
 Subdivision/ Site Plan Address: 1000 N. 1000 E.

I/ we Patterson Construction, am/ are requesting the release of the following bond (s):

Nro.	Description of Item	Quantity	Unit	Unit Price	Total
	Mobilization	1	LS	5000	\$5,000.00
	General Clearing and Grubbing	1	Lump	1000	\$1000.00
	Asphalt 3" Standard Road	40991	SF	1.17	\$47,959.47
	Roadbase 8" Hauled, Placed & Compacted	47823	SF	0.70	\$33,476.10
	Sub Base 18" Hauled, Placed & Compacted	47823	SF	0.26	\$12,433.98
	24" HB Curb & Gutter	2050	LF	14.00	\$28,700.00
	4' Sidewalk 4' Thick	8200	SF	3.50	\$28,700.00
	ADA Ramp	4	Each	1,000.00	\$4,000.00
	Silt Fence	960	LF	2.00	\$1,920.00
	Potrable Toilet	1	✓ Each	150.00	\$150.00
	SWPPP Board	1	Each	150.00	\$150.00
	Notice of Internet	1	✓ Each	100.00	\$100.00
	Curb Inlet Box Protection	6	Each	80.30	\$481.80
	Gravel Construction Entrance : Maintenance Cobble Added	12	✓ Toon	24.60	\$295.20
	As Builts Mylar & Disks	1	Each	2,00.00	\$2,000.00
	Construction Staking	1	LS	3,500.00	\$3,500.00
	Testing, Cleaning Inspections	1	LS	2,500.00	\$2,500.00
	Street Sign	3	Each	225.00	\$675.00
	Traffic Sign	3	Each	300.00	\$900.00
	Subdivision Monument	2	Each	450.00	\$900.00
	Lot pins and curb markers	17	Lots	150.00	\$2,550.00
	Guarentee Extended Novmeber 25, 2015	1	Each	3,839.14	\$3,839.14

Attachment: Autumn Crest A Performance Guarantee Third Release request and inspection (1386 : Autumn Crest Plat A Subdivision





**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Public Works      **Director Approval** Dale Goodman

**AGENDA ITEM**    Approval of a progress release for the performance guarantee bond in the amount of \$272,411.02 For the Autumn Crest Plat B Subdivision located at 1000 North 1000 East

**SUMMARY RECOMMENDATION**    Staff recommends approval of the performance guarantee bond release.

**BACKGROUND**    A progress release has been requested by the developer of the Autumn Crest Subdivision Plat B for the construction of the public improvements. The partial performance guarantee bond release adds up to \$272,411.02. The original performance guarantee calculations are included showing the breakdown of the release.

**BUDGET IMPACT**    N/A

**SUGGESTED MOTION**

**SUPPORTING DOCUMENTS**

Autumn Crest B Performance Guarantee Third Release      (PDF)  
PERFORMANCE GUARANTEE BOND RELEASE INSPECTION Third release request and inspection      (PDF)

**Name of Development: Autum Crest Plat B**

Date		Date		Date		Date		Date		Date	
2/22/2016		4/25/2016		7/14/2016							

Description of Item	Quantity	Unit	Unit Price	Total	Release #1	Amount Requested	Release #2	Amount Requested	Release #3	Amount Requested	Release #4	Amount Requested	Release #5	Amount Requested	Release #6	Amount Requested	Balance
<b>MOBILIZATION</b>																	
Mobilization	1.00	LS	\$5,000.00	\$5,000.00		\$0.00		\$0.00	1	\$5,000.00		\$0.00		\$0.00		\$0.00	\$0.00
General Clearing and Grubbing	1.00	Lump	\$1,000.00	\$1,000.00		\$0.00		\$0.00	1	\$1,000.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>ASPHALT AND CONCRETE</b>																	
Asphalt 3" - Standard Road	54198.00	SF	\$1.17	\$63,411.66		\$0.00		\$0.00	54198	\$63,411.66		\$0.00		\$0.00		\$0.00	\$0.00
Roadbase 8" Hauled, Placed & Compacted	70587.00	SF	\$0.70	\$49,410.90		\$0.00		\$0.00	70587.00	\$49,410.90		\$0.00		\$0.00		\$0.00	\$0.00
Sub Base 18" Hauled, Placed & Compacted	70587.00	SF	\$0.26	\$18,352.62		\$0.00		\$0.00	70587.00	\$18,352.62		\$0.00		\$0.00		\$0.00	\$0.00
24" HB Curb & Gutter	3233.00	LF	\$14.00	\$45,262.00		\$0.00		\$0.00	3233.00	\$45,262.00		\$0.00		\$0.00		\$0.00	\$0.00
Sidewalk 4" Thick (includes sidewalk and trail)	13942.00	SF	\$3.50	\$48,797.00		\$0.00		\$0.00	13942.00	\$48,797.00		\$0.00		\$0.00		\$0.00	\$0.00
Saw Cutting	750.00	LF	\$1.75	\$1,312.50		\$0.00		\$0.00	750.00	\$1,312.50		\$0.00		\$0.00		\$0.00	\$0.00
ADA Ramp	8.00	Each	\$1,000.00	\$8,000.00		\$0.00		\$0.00	8.00	\$8,000.00		\$0.00		\$0.00		\$0.00	\$0.00
Asphalt 4" - 1100 North Road	7865.00	SF	\$1.35	\$10,617.75		\$0.00		\$0.00	7865.00	\$10,617.75		\$0.00		\$0.00		\$0.00	\$0.00
Asphalt Patching and overlay (included base)	2945.00	SF	\$2.75	\$8,098.75		\$0.00		\$0.00	2945.00	\$8,098.75		\$0.00		\$0.00		\$0.00	\$0.00
<b>CULINARY WATER</b>																	
8" DI Culinary Water	1598.00	LF	\$30.00	\$47,940.00		\$0.00	1598.00	\$47,940.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
8" Gate Valve	10.00	Each	\$1,383.00	\$13,830.00		\$0.00	10.00	\$13,830.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Fire Hydrant Assembly with Tee and Valve	2.00	Each	\$4,500.00	\$9,000.00		\$0.00	2.00	\$9,000.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
1" Water Service	22.00	Each	\$1,000.00	\$22,000.00		\$0.00	22.00	\$22,000.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
2" Blowoff	2.00	Each	\$1,750.00	\$3,500.00		\$0.00	2.00	\$3,500.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Cover Collar for Water Valve Boxes	12.00	Each	\$200.00	\$2,400.00		\$0.00	12.00	\$2,400.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>SEWER</b>																	
8" PVC Sewer Line 10'-12' Deep	1134.53	LF	\$29.00	\$32,901.37	1134.53	\$32,901.37		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
4' Sewer Manhole Precast	2.00	Each	\$2,600.00	\$5,200.00	2	\$5,200.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
5' Sewer Manhole Precast	1.00	Each	\$3,000.00	\$3,000.00	1	\$3,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Cover Collar for Sewer Manhole Lids	3.00	Each	\$250.00	\$750.00	3	\$750.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
4" PVC Sewer Lateral Complete (Average Length 40 LF)	22.00	Each	\$1,000.00	\$22,000.00	22	\$22,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>DRAINAGE</b>																	
15" RCP Storm Drain	88.00	LF	\$32.50	\$2,860.00	88	\$2,860.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Curb Inlet 2' x 3' x 4'	6.00	Each	\$2,000.00	\$12,000.00	6	\$12,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Sump	4.00	Each	\$4,500.00	\$18,000.00	4	\$18,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Oil/ Water Separator (Snout)	6.00	Each	\$500.00	\$3,000.00	6	\$3,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>PRESSURIZED IRRIGATION</b>																	
6" PVC Pipe	1560.00	LF	\$20.00	\$31,200.00		\$0.00	1560.00	\$31,200.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
6" Gate Valve	10.00	Each	\$1,000.00	\$10,000.00		\$0.00	10.00	\$10,000.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
2" Blowoff Pressurized Irrigation	2.00	Each	\$1,350.00	\$2,700.00		\$0.00	2.00	\$2,700.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
1 1/2" Double Irrigation Service	9.00	Each	\$900.00	\$8,100.00		\$0.00	9.00	\$8,100.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
1" Irrigation Service	3.00	Each	\$600.00	\$1,800.00		\$0.00	3.00	\$1,800.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
2" Pressurized Irrigation Drain	1.00	Each	\$1,750.00	\$1,750.00		\$0.00	1.00	\$1,750.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Cover Collar for Water Valve Boxes	10.00	Each	\$200.00	\$2,000.00		\$0.00	10.00	\$2,000.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00

<b>SWPPP</b>																	
Silt Fence	442.00	LF	\$2.00	\$884.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$884.00
Portable Toilet	1.00	Each	\$150.00	\$150.00		\$0.00		\$0.00	1	\$150.00		\$0.00		\$0.00		\$0.00	\$0.00
SWPPP Board	1.00	Each	\$150.00	\$150.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$150.00
Notice Of Intent	1.00	Each	\$100.00	\$100.00		\$0.00		\$0.00	1	\$100.00		\$0.00		\$0.00		\$0.00	\$0.00
Curb Inlet Box Protection	4.00	Each	\$80.30	\$321.20		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$321.20
Gravel Construction Entrance: Maintenance Cobble Added	12.00	Ton	\$24.60	\$295.20		\$0.00		\$0.00	12	\$295.20		\$0.00		\$0.00		\$0.00	\$0.00
<b>DRY UTILITIES</b>																	
Dry Utility Trenching & Power Conduit	3233.00	LF	\$6.34	\$20,497.22		\$0.00	3233	\$20,497.22		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Utility Sleeve Trenching	180.00	LF	\$4.61	\$829.80		\$0.00	180	\$829.80		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Gas Sleeve	180.00	LF	\$2.40	\$432.00		\$0.00	180	\$432.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Phone Sleeve	180.00	LF	\$2.40	\$432.00		\$0.00	180	\$432.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Rocky Mountain Power Fees	22.00	Lot	\$2,500.00	\$55,000.00		\$0.00	22	\$55,000.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>CONSTRUCTION MANAGEMENT</b>																	
As Builts Mylar & Disks	1.00	Each	\$2,000.00	\$2,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$2,000.00
Construction Staking	1.00	LS	\$3,500.00	\$3,500.00		\$0.00		\$0.00	1	\$3,500.00		\$0.00		\$0.00		\$0.00	\$0.00
Testing, Cleaning, Inspections	1.00	LS	\$2,500.00	\$2,500.00		\$0.00		\$0.00	1	\$2,500.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>MISCELLANEOUS</b>																	
Street Sign	3.00	Each	\$225.00	\$675.00		\$0.00		\$0.00	3	\$675.00		\$0.00		\$0.00		\$0.00	\$0.00
Traffic Sign	3.00	Each	\$300.00	\$900.00		\$0.00		\$0.00	3	\$900.00		\$0.00		\$0.00		\$0.00	\$0.00
Subdivision Monument	3.00	Each	\$450.00	\$1,350.00		\$0.00		\$0.00	3	\$1,350.00		\$0.00		\$0.00		\$0.00	\$0.00
CBU Mailbox	2.00	Each	\$1,000.00	\$2,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$2,000.00
Lot pins and curb markers	22.00	Lots	\$150.00	\$3,300.00		\$0.00		\$0.00	22	\$3,300.00		\$0.00		\$0.00		\$0.00	\$0.00
						\$99,711.37		\$233,411.02		\$272,033.38		\$0.00		\$0.00		\$0.00	\$0.00
Performance Guarantee			\$610,510.97			\$99,711.37		\$233,411.02		\$272,033.38		\$0.00		\$0.00		\$0.00	\$5,355.20
25% Contingency per Ordinance			\$ 152,627.74		\$ -			\$ -		\$ 377.64		\$ -		\$ -		\$ -	\$ 152,250.10
Performance Guarantee			\$ 763,138.71							\$272,411.02							Performance guarantee \$ 157,605.30
10% Durability - Retained at			\$ 76,313.87														10% Durability - Retained at \$ 76,313.87
Street Lights Installation Fees =																	Available for bond release \$ 81,291.43
Street Trees Fee			\$ 6,600.00														
Inspection Fee			\$ 2,556.77														

# PERFORMANCE GUARANTEE BOND RELEASE INSPECTION

This is an application for Escrow Bond Release/ Performance Guarantee or Maintenance Bond partial or final release.

### Project Information

Project Name: Autumn Crest Subdivision Plat B  
 Project Address: 1000 North 1000 East  
 Type of Project  Subdivision  Site Plan  Road Project  Underground Utility

### Performance Guarantee Bond Information

Performance Guarantee Bond posted for site improvements in the amount of \$ 763,138.71  
 Date of the Request: July 1 2016  
 Amount of the Request: \$ 272,411.02 Land Disturbance Permit No: 975  
 Type of Release:  Partial Release  Final Release  Warranty Period  
 Type of Bond:  Cash Deposit  Letter of Credit  Performance in Lieu

### Field Inspection and Performance Guarantee Bond Release Information

- A field inspection was performed on the above referenced application on 07/14/2016
- Recommended Performance Guarantee Bond Release: \$ 272,411.02
- DO NOT Recommend Release or Reduction at this time for the following reasons:
  1. ....
  2. ....
  3. ....
  4. ....
  5. ....
  6. ....

I certify that the following recommendations are based on compliance with the American Fork City standards and technical specifications.

Jay Butcher ..... 07/14/2016  
 City Inspector's signature Date

M. Hall ..... 7/14/2016  
 City Engineer's signature Date

**APPROVED**

Attachment: PERFORMANCE GUARANTEE BOND RELEASE INSPECTION Third release request and inspection (1387 : Autumn Crest Plat B

American Fork City

Public Works Department

Engineering Division

**BOND RELEASE REQUEST**

Please complete and return this form to the Engineering Division:

City Engineer's Office  
 American Fork City  
 275 East 200 North  
 American Fork, UT 84004

It is the City of American Fork policy to release performance guarantee bond funds upon the request pf and to the person who paid the performance guarantee bond once the bond release inspection is satisfied.

Project Information

Subdivision/ Site Plan Name: Autumn Crest Plat B  
 Subdivision/ Site Plan Address: 1000 N. 1000 E.

I/ we Patterson Construction, am/ are requesting the release of the following bond (s):

Nro.	Description of Item	Quantity	Unit	Unit Price	Total
	Mobilization	1.00	LS	5,000.00	\$5,000.00
	General Clearing & Grubbing	1.00	Lump	1,000.00	\$1,000.00
	Asphalt 3" -Standard Road	54198.00	SF	1.17	\$63,411.66
	Roadbase 8' Hauled, Palced & Compacted	70587.00	SF	0.70	\$49,410.90
	Sub Base 18" Hauled, Placed & Compacted	70587.00	SF	0.26	\$18,352.62
	24" HB Curb & Gutter	3233.00	LF	14.00	\$45,262.00
	Sidewalk 4" thick (includes sidewalk and trail)	13942.00	SF	3.50	\$48,797.00
	Saw cutting	750.00	LF	1.75	\$1312.50
	ADA Ramp	8.00	Each	1000.00	\$8,000.00
	Asphalt 4" -1100 North Road	7865.00	SF	1.35	\$10,617.75
	Asphalt Patching and overlay (included base)	2945.00	SF	8,089.75	\$8,098.75
	Silt Fence	442.00	LF	2.00	\$884.00
	Portable Toilet	1.00	✓ Each	150.00	\$150.00
	SWPPP Board	1.00	Each	150.00	\$150.00
	Notice of Internet	1.00	✓ Each	100.00	\$100.00
	Curb Inlet Box Protection	4.00	Each	80.30	\$321.20
	Gravel Construction Entrance: Maintenance Cobble Added	12.00	✓ Toon	24.60	\$295.20
	As Builts Mylar & Disks	1.00	Each	2,000.00	\$2,000.00
	Construction Staking	1.00	LS	3,500.00	\$3,500.00
	Testing, Cleaning Inspections	1.00	LS	2,500.00	\$2,500.00
	Street Sign	3.00	Each	225.00	\$675.00
	Traffic Sign	3.00	Each	300.00	\$900.00
	Subdivision Monument	3.00	Each	450.00	\$1,350.00
	Lot pins and curb markers	22.00	Lots	150.00	\$3,300.00

Attachment: PERFORMANCE GUARANTEE BOND RELEASE INSPECTION Third release request and inspection (1387 : Autumn Crest Plat B





**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Public Works      **Director Approval** Dale Goodman

**AGENDA ITEM**    Approval of a progress release for the performance guarantee bond in the amount of \$47,045.55 For the Autumn Crest Plat C Subdivision located at 1000 North 1000 East

**SUMMARY RECOMMENDATION**    Staff recommends approval of the performance guarantee bond release.

**BACKGROUND**    A progress release has been requested by the developer of the Autumn Crest Subdivision Plat C for the construction of the public improvements. The partial performance guarantee bond release adds up to \$47,045.55. The original performance guarantee calculations are included showing the breakdown of the release.

**BUDGET IMPACT**    N/A

**SUGGESTED MOTION**

**SUPPORTING DOCUMENTS**

Autumn Crest C Performance Guarantee    (XLSX)

Autumn Crest C Performance Guarantee Third Release request and inspection    (PDF)

**Name of Development: Autumn Crest Plat C**

Description of Item	Quantity	Unit	Unit Price	Total	Date		Balance										
					2/22/2016		4/25/2016		7/13/2016								
					Release #1	Amount Requested	Release #2	Amount Requested	Release #3	Amount Requested	Release #4	Amount Requested	Release #5	Amount Requested	Release #6	Amount Requested	
<b>MOBILIZATION</b>																	
Mobilization	1	LS	\$5,000.00	\$5,000.00		\$0.00		\$0.00	\$1.00	\$5,000.00		\$0.00		\$0.00		\$0.00	\$0.00
Traffic Control	1	LS	\$2,000.00	\$2,000.00		\$0.00		\$0.00	\$1.00	\$2,000.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>EARTHWORK</b>																	
General Clearing and Grubbing	1	Lump	\$500.00	\$500.00		\$0.00		\$0.00	\$1.00	\$500.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>ASPHALT AND CONCRETE</b>																	
Asphalt 4" - Standard Road	6375	SF	\$1.35	\$8,606.25		\$0.00		\$0.00	\$6,375.00	\$8,606.25		\$0.00		\$0.00		\$0.00	\$0.00
Roadbase 8" Hauled, Placed & Compacted	6375	SF	\$0.70	\$4,462.50		\$0.00		\$0.00	\$6,375.00	\$4,462.50		\$0.00		\$0.00		\$0.00	\$0.00
Sub Base 18" Hauled, Placed & Compacted	4430	SF	\$0.26	\$1,151.80		\$0.00		\$0.00	\$4,430.00	\$1,151.80		\$0.00		\$0.00		\$0.00	\$0.00
24" HB Curb & Gutter	450	LF	\$14.00	\$6,300.00		\$0.00		\$0.00	\$450.00	\$6,300.00		\$0.00		\$0.00		\$0.00	\$0.00
4' Sidewalk 4" Thick	3600	SF	\$3.50	\$12,600.00		\$0.00		\$0.00	\$3,600.00	\$12,600.00		\$0.00		\$0.00		\$0.00	\$0.00
2" Mill and overlay	4500	SF	\$0.85	\$3,825.00		\$0.00		\$0.00	\$4,500.00	\$3,825.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>CULINARY WATER</b>																	
1" Water Service	5	Each	\$1,500.00	\$7,500.00		\$0.00	5	\$7,500.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>SEWER</b>																	
4" PVC Sewer Lateral Complete (Average Length 75 LF)	5	Each	\$1,250.00	\$6,250.00	5	\$6,250.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>DRAINAGE</b>																	
Curb Inlet 2' x 3' x 4'	2	Each	\$2,000.00	\$4,000.00	2	\$4,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Sump	2	Each	\$4,500.00	\$9,000.00	2	\$9,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Storm Drain Oil/ Water Separator (Snout)	2	Each	\$500.00	\$1,000.00	2	\$1,000.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>PRESSURIZED IRRIGATION</b>																	
1 1/2" Double Irrigation Service	3	Each	\$1,500.00	\$4,500.00		\$0.00	3	\$4,500.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>DRY UTILITIES</b>																	
Dry Utility Trenching & Power Conduit	450	LF	\$6.34	\$2,853.00		\$0.00	450	\$2,853.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Rocky Mountain Power Fees	5	Lot	\$2,500.00	\$12,500.00		\$0.00	5	\$12,500.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>CONSTRUCTION MANAGEMENT</b>																	
As Builts Mylar & Disks	1	Each	\$750.00	\$750.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00		\$0.00	\$0.00
Construction Staking	1	LS	\$800.00	\$800.00		\$0.00		\$0.00	\$1.00	\$800.00		\$0.00		\$0.00		\$0.00	\$0.00
Testing, Cleaning, Inspections	1	LS	\$600.00	\$600.00		\$0.00		\$0.00	\$1.00	\$600.00		\$0.00		\$0.00		\$0.00	\$0.00
<b>MISCELLANEOUS</b>																	
Subdivision Monument	1	Each	\$450.00	\$450.00		\$0.00		\$0.00	\$1.00	\$450.00		\$0.00		\$0.00		\$0.00	\$0.00
Lot pins and curb markers	5	Lots	\$150.00	\$750.00		\$0.00		\$0.00	\$5.00	\$750.00		\$0.00		\$0.00		\$0.00	\$0.00
						\$20,250.00		\$27,353.00		\$47,045.55		\$0.00		\$0.00		\$0.00	\$0.00
				\$95,398.55		\$20,250.00		\$27,353.00		\$47,045.55		\$0.00		\$0.00		\$0.00	\$750.00
				25% Per Ordinance Section 17.9.301		\$24,090.51											
				<b>ICG Amount</b>		\$ -		\$ -		\$ -		\$ -		\$ -		\$ -	\$ 119,489.06
				10% Durability - retained at ICG release		\$11,948.91											Performance guarantee Balance = \$ 120,239.06
				<b>Street Lights</b>		\$ -											10% Durability - Retained at ICG Release = \$11,948.91
				<b>Street Trees</b>		\$ -											Available for bond release balance = \$ 108,290.15
				<b>Fees</b>		\$1,255.00											

Attachment: Autumn Crest C Performance Guarantee (1388 : Autumn Crest Plat C Subdivision Performance Guarantee Progress Release)

### PERFORMANCE GUARANTEE BOND RELEASE INSPECTION

This is an application for Escrow Bond Release/ Performance Guarantee or Maintenance Bond partial or final release.

#### Project Information

Project Name: Autumn Crest Subdivision Plat C  
 Project Address: 1000 North 1000 East  
 Type of Project  Subdivision  Site Plan  Road Project  Underground Utility

#### Performance Guarantee Bond Information

Performance Guarantee Bond posted for site improvements in the amount of \$ 119,489.06  
 Date of the Request: July 1 2016  
 Amount of the Request: \$ 47,045.55 Land Disturbance Permit No: 975  
 Type of Release:  Partial Release  Final Release  Warranty Period  
 Type of Bond:  Cash Deposit  Letter of Credit  Performance in Lieu

#### Field Inspection and Performance Guarantee Bond Release Information

A field inspection was performed on the above referenced application on 07/14/2016  
 Recommended Performance Guarantee Bond Release: \$47,045.55  
 DO NOT Recommend Release or Reduction at this time for the following reasons:

1. ....
2. ....
3. ....
4. ....
5. ....
6. ....

I certify that the following recommendations are based on compliance with the American Fork City standards and technical specifications.

Jay Butcher ..... 07/14/16  
 City Inspector's signature Date  
M. Hall ..... 7/14/2016  
 City Engineer's signature Date



Attachment: Autumn Crest C Performance Guarantee Third Release request and inspection (1388 : Autumn Crest Plat C Subdivision







**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Recorder                      **Director Approval** Terilyn Lurker

**AGENDA ITEM**    Review and action on the 1100 South Street Annexation consisting of 20.11 acres at 250 East 1100 South including the Ordinance of Annexation, Annexation Agreement, and placement of the property in the R1-12,000 Residential zone.

**SUMMARY RECOMMENDATION**    Staff recommends approval of the Ordinance of Annexation.

**BACKGROUND**    The Annexation Agreement was approved at the August 28, 2012, City Council meeting. The required attachments for the agreement have been provided and this annexation is now ready for adoption.

**BUDGET IMPACT**    N/A

**SUGGESTED MOTION**    Move to approve the Ordinance adopting the 1100 South Street Annexation consisting of 20.11 acres at 250 East 1100 South including the Ordinance of Annexation, annexation agreement, and placement of the property in the R1-12,000 Residential zone.

**SUPPORTING DOCUMENTS**

1100 South Street Ordinance of Annexation (PDF)

AN ORDINANCE

AN ORDINANCE AMENDING SECTION 1.12.010 OF THE REVISED ORDINANCES OF AMERICAN FORK CITY 1985, AS AMENDED, ANNEXING CERTAIN PROPERTIES TO AMERICAN FORK CITY AND ESTABLISHING ZONING CLASSIFICATION FOR SAID PROPERTY.

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

SECTION I. THAT THE FOLLOWING DESCRIBED REAL PROPERTY BE, AND THE SAME IS HEREBY ANNEXED TO AMERICAN FORK CITY, UTAH, THE CORPORATE LIMITS OF SAID CITY ARE HEREBY EXTENDED TO INCLUDE SAID DESCRIBED PROPERTY, AND SAID PROPERTY IS HEREBY DECLARED TO BE PART OF AMERICAN FORK CITY AND SHALL HENCEFORTH BE SUBJECT TO ALL OF THE ORDINANCES AND REGULATIONS THEREOF, AND THAT THE DESCRIPTION OF THE BOUNDARIES OF AMERICAN FORK CITY AS SET FORTH IN SECTION 1.12.010 OF THE REVISED ORDINANCES BE AMENDED TO INCLUDE THE FOLLOWING DESCRIBED PROPERTY TO-WIT:

ORDINANCE NO. \_\_\_\_\_  
1100 SOUTH STREET ANNEXATION (250 EAST 1100 SOUTH)  
SEE ATTACHMENT 'A'

SECTION II. THAT THE TERRITORY ANNEXED UNDER SECTION I ABOVE, IS HEREBY CLASSIFIED INTO THE R1-12,000 RESIDENTIAL ZONE AND SUBJECT TO THE TERMS AND CONDITIONS OF THE 1100 SOUTH STREET ANNEXATION AGREEMENT AS PROVIDED IN ATTACHMENT 'B'.

SECTION III. THIS ORDINANCE SHALL TAKE EFFECT UPON ITS PASSAGE AND FIRST PUBLICATION. PASSED BY THE CITY COUNCIL OF AMERICAN FORK, THIS 26 DAY OF JULY, 2016.

JAMES H. HADFIELD, MAYOR

ATTEST:

STATE OF UTAH  
COUNTY OF UTAH

I, TERILYN LURKER, CITY RECORDER OF AMERICAN FORK CITY, UTAH, DO HEREBY CERTIFY THE ABOVE AND FOREGOING TO BE A FULL, TRUE AND CORRECT COPY OF AN ORDINANCE AMENDING SECTION 1.12.010 OF THE REVISED ORDINANCES OF AMERICAN FORK CITY 1985, AMENDED, ANNEXING CERTAIN PROPERTIES TO AMERICAN FORK CITY AND ESTABLISHING ZONING CLASSIFICATION FOR SAID PROPERTY.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX THE CORPORATE SEAL OF AMERICAN FORK, UTAH THIS 26 DAY OF JULY, 2016.

TERILYN LURKER, CITY RECORDER

Attachment: 1100 South Street Ordinance of Annexation (1383 : 1100 South Street Annexation)

# ATTACHMENT 'A'

## SURVEYOR'S CERTIFICATE

I, SEAN A. FERNANDEZ, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 312775 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT THIS IS A TRUE AND ACCURATE MAP OF THE TRACT OF LAND TO BE ANNEXED TO AMERICAN FORK CITY, UTAH COUNTY, UTAH.

## BOUNDARY DESCRIPTION

COMMENCING AT THE NORTHWEST CORNER OF THE ANNEXATION BOUNDARY OF THE BEEHIVE MILLS ANNEXATION PLAT ON FILE WITH THE UTAH COUNTY RECORDER'S OFFICE, SAID ALSO BEING LOCATED SOUTH 89°39'33" EAST 106.92 FEET FROM THE EAST QUARTER CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN;  
THENCE NORTH 00°00'12" WEST 33.64 FEET ALONG THE BOUNDARY OF THE DAN FRANSDSEN ANNEXATION;  
THENCE SOUTH 89°59'54" WEST 106.92 FEET ALONG THE BOUNDARY OF THE DAN FRANSDSEN ANNEXATION;  
THENCE NORTH 2.34 FEET ALONG THE BOUNDARY OF THE DAN FRANSDSEN ANNEXATION;  
THENCE NORTH 89°59'58" WEST 928.78 FEET ALONG THE BOUNDARY OF THE DAN FRANSDSEN ANNEXATION;  
THENCE NORTH 620.59 FEET;  
THENCE NORTH 89°30'11" EAST 654.08 FEET;  
THENCE NORTH 89°30'24" EAST 274.73 FEET;  
THENCE NORTH 89°36'00" EAST 448.80 FEET;  
THENCE SOUTH 00°00'03" EAST 669.78 FEET;  
THENCE NORTH 89°39'33" WEST 341.89 FEET TO THE POINT OF BEGINNING.;

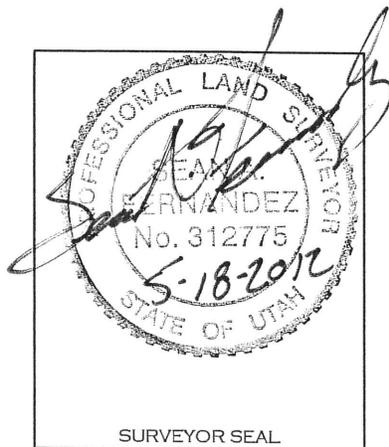
AREA: 875,867 SQ.FT. 20.11 ACRES



SEAN A. FERNANDEZ, REGISTRATION/LICENSE NUMBER 312775

May 18, 2012

DATE



## ACCEPTANCE BY LEGISLATIVE BODY

WE, THE DULY ELECTED COUNCIL OF THE CITY OF AMERICAN FORK, UTAH, HAVE RECEIVED A REQUEST TO INITIATE PROCEDURES FOR THE ANNEXATION OF THE TRACT OF LAND SHOWN HEREON, WHICH TRACT CONSTITUTES A PORTION OF AN EXISTING ISLAND OR PENINSULA WITHIN OR CONTIGUOUS TO THE CITY, AND DO HEREBY CERTIFY: (1) THE COUNCIL HAS ADOPTED A RESOLUTION SETTING FORTH ITS INTENT TO ANNEX THE TRACT, PROVIDED NOTICE AND CONDUCTED HEARINGS ON THE MATTER, AND ADOPTED AN ORDINANCE PROVIDING FOR THE ANNEXATION OF THE TRACT TO THE CITY; ALL IN ACCORDANCE WITH

Attachment: 1100 South Street Ordinance of Annexation (1383 : 1100 South Street Annexation)

# ATTACHMENT 'B'

## ANNEXATION AGREEMENT (1100 South Street Annexation)

This Agreement, made and entered into this 28 day of August, 2012, by and between The City of American Fork, Utah, a Utah Municipal Corporation (hereafter referred to as "City") and Corporation of the Presiding Bishop of the Church of Jesus Christ of latter-day Saints (hereafter referred to as "Applicant"), is based on the following:

### RECITALS

**WHEREAS,** Applicant is the owner of three parcels of privately owned real property situated within the boundary of the 1100 South Street Annexation, identified on Attachment 1 as the LDS Church Parcels", which parcel is located within the unincorporated territory of Utah County, but contiguous to the corporate boundary of City, and which constitute all of the lands requesting annexation to City under the 1100 South Street Annexation. An application requesting City to initiate proceedings for annexation of the territory within the 1100 South Street Annexation together with a map showing the area included within the annexation (hereafter referred to as "Annexation Area") has been submitted to City. A copy of the *Request to Initiate Annexation of Land Within an Island or Peninsula* (Attachment 2) and the appurtenant annexation plat (Attachment 1) are attached hereto; and

**WHEREAS,** the Annexation Area constitutes a portion of an existing island as defined by Utah State Law; and

**WHEREAS,** in accordance with the provisions of UCA 10-2-418, the American Fork City Council has heretofore adopted Resolution No.2012-06-10R indicating its intent to annex the entire Annexation Area. Further, notice of hearing regarding the proposed annexation has been published and the public hearing thereon held. No protests to the annexation have been received; and

**WHEREAS,** The City Council has determined that annexation of the real property described on Attachment 1 is in the best interest of City and has indicated an intent to: (1) enact an ordinance of annexation relating thereto, following approval of this agreement by the City Council and execution by all parties, and (2) authorize the recording of the annexation plat at the office of the Utah County Recorder, subject to those certain understandings as are more fully set forth in this Agreement and completion of all outstanding tasks identified herein or otherwise required prior to annexation.

### TERMS AND CONDITIONS

**NOW THEREFORE,** based on the above recitals and in consideration of the annexation of the territory described in Attachment 1 to City, the parties covenant and agree as follows:

**SECTION 1. Applicability of Agreement.** The real property to which the terms of this Agreement apply shall be the parcels of private property within the Annexation Area, identified on Attachment 1. Attachment 1 is hereby made part of this Agreement.

**SECTION 2. Annexation a benefit to Applicant.** Applicant and City acknowledge that City is not required to approve the annexation and that the terms and conditions of annexation, as set forth herein, are reasonable and entered into freely and voluntarily. Further, Applicant hereby acknowledges and agrees that the benefit received from annexation of the property is equal to or greater than the requirements and conditions of annexation as set forth in this Agreement and the conditions of development as set forth under the terms of the City's Development Code, Sensitive Lands Ordinance and Impact Fee Ordinance and does not constitute a taking as defined pursuant to the terms of UCA 10-9a-103(6), 1953, as amended.

**SECTION 3. Authority of Applicant.** Applicant hereby affirms that it is the current sole owner of the LDS Church Parcels and has complete authority to enter into this Agreement and to bind the properties hereto.

**SECTION 4. Compatibility with Land Use Plan and Initial Zone Classification.** The Land Use Element of the General Plan for the area shows the western one-half of the 1100 South Street Annexation area located in the future Low Density Residential classification and the eastern one-half in the Design Industrial. The Applicant has indicated that the primary purpose of the annexation is to allow the immediate construction of a church building on a portion of the land (approximately 4 acres) with the remainder to be subsequently developed into a single family subdivision. Accordingly, the City has determined that the Land Use Element be amended to show the entire Annexation Area as Low Density Residential and the initial zone classification will be the R-1-12,000 Residential Zone district, which zone allows the construction of a church building, and the future development of the remainder as single family residential. The entire area is currently used is for farming which is also allowed under the code.

**SECTION 5. Street Rights-of-way to be Conveyed.** City's Major Street Plan provides for the development of 1100 South Street and 100 East Street as Major Collector Roads. As a condition of annexation, Applicant hereby agrees to convey to City the right-of-way necessary for the widening of 1100 South and 100 East Streets. A map showing the general location of the lands to be conveyed for street purposes is attached (Attachment 3) and a copy of the deed conveying title to the parcels required for the public road is attached hereto (Attachment 4). City hereby acknowledges receipt of the executed original.

**SECTION 6. Water Rights to be Conveyed at Time of Development.** Current City annexation policies require that all signatories to the petition convey to City sufficient water right to meet the needs of the proposed development. In the instance of church sites not having outdoor recreation space, the amount of water right has been determined to be six acre feet. In the instance of single family residential development the amount of water is set at 1 acre foot per dwelling. The Applicant has indicated that they do not intend to go forward with the residential development for some period of time. Accordingly, no conveyance of water right will be required at the time of annexation. Provided, however, any further development of the

Applicant agrees to convey the water right to the City, without cost, in accordance with the City's water right conveyance policy in effect at that time.

**SECTION 7. Compliance with Sensitive Lands Ordinance.** Applicant acknowledges that portions of the Annexation Area may have significant physical limitations for development including, but not necessarily limited to, wetland designation, high water table and the presence of historic open drains (sloughs) which require the need for more definitive studies to determine suitability of the area for development. In furtherance of securing annexation, at such time as any portion of the Annexation Area is proposed for further development approval, Applicant agrees to provide a geotechnical study report and other documents covering the Annexation Area, identifying certain natural conditions, indicating the location of any wetland or any areas that may be unsuitable for development and providing recommendations for mitigation. All further submissions for development approval within the Annexation Area will incorporate impacts relating to natural condition identified in the geotechnical report and as set forth in the criteria for development as set forth in the Sensitive Lands Ordinance.

**SECTION 8. Impact Fees.** No impact fees are required as a condition of annexation. However, nothing in this Agreement constitutes a waiver of any obligation that Applicant or any successor may have for the payment of impact fees required as a condition of connection to the City water and/or sewer systems or development of the Annexation Area or any portion thereof. Applicant acknowledges that no development approval or building permit shall be issued until all applicable fees required by City ordinance have been paid at the amount then in effect.

**SECTION 9. Default.** Should any of the parties default in the performance of any of the terms of this Agreement, the parties shall first seek mediation to resolve any defaulting performance. The defaulting party shall pay all costs and expenses, including mediation fees and/or reasonable attorney's fee, which may arise from enforcing this Agreement, whether such remedy is pursued by mediation and/or filing suit or otherwise.

**SECTION 10. Notice.** Any Notice to be given hereunder shall be given by certified mail, return receipt requested, addressed as follows:

- a. If to City, to the City of American Fork, 51 East Main Street, American Fork, Utah 84003.
- b. If to Applicant, to Mark Greenwood 2230 North University Parkway, Suite 6-D, Provo, Utah 84604

**SECTION 11. Entire Agreement.** This Agreement constitutes the entire agreement between the parties and may be changed only in writing signed by all parties, and this agreement shall bind the heirs, assigns and successors in interest of the respective parties. If any party shall breach this Agreement, the other party shall be entitled to recover their attorneys fees and court costs in addition to other lawful damages resulting therefrom.

**IN WITNESS WHEREOF,** the parties have signed this agreement on the date first mentioned above.

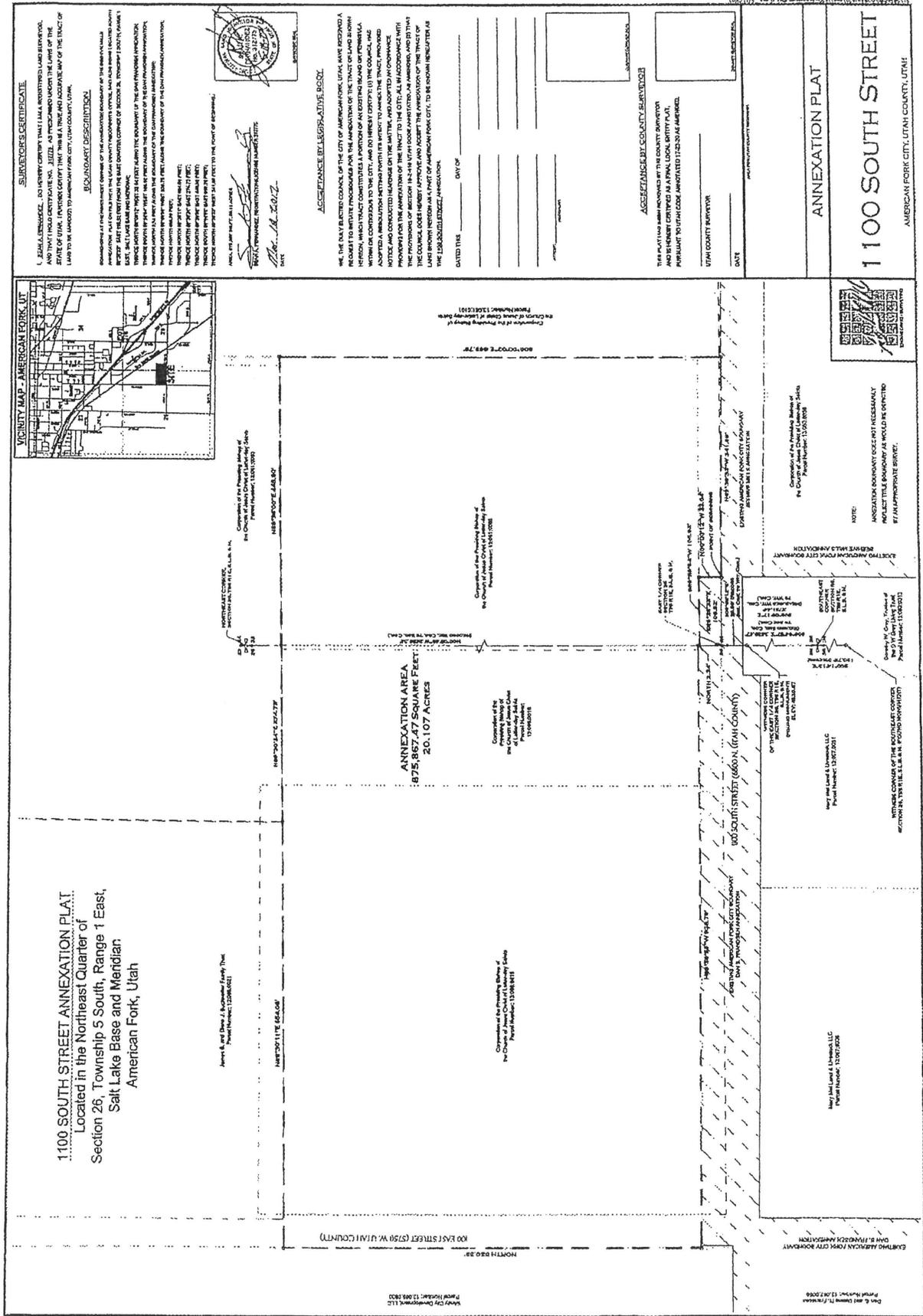


**LIST OF ATTACHMENTS**

- Attachment 1.** Copy of Annexation Plat
- Attachment 2.** Copy of Request to Initiate Annexation
- Attachment 3.** Map showing general location of right-of-way to be conveyed to City
- Attachment 4** Copy of deed conveying the additional right-of-way for widening of 1100 South 100 East Streets

# ATTACHMENT 1

## EXHIBIT B



**1100 SOUTH STREET ANNEXATION PLAT**  
 Located in the Northeast Quarter of  
 Section 26, Township 5 South, Range 1 East,  
 Salt Lake Base and Meridian  
 American Fork, Utah

David L. Johnson, Surveyor  
 Parcel Number: 130672028

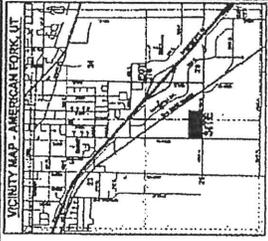
New Land & Homes, LLC  
 Parcel Number: 130672028

Marty & Heidi, LLC  
 Parcel Number: 130672027

Annexation Area  
 875,857.47 Square Feet  
 20.107 Acres

Commission for Planning Services  
 of the County of Salt Lake  
 Parcel Number: 130672021

James R. Hill, Director of Surveying  
 Parcel Number: 130672021



**SURVEYOR'S CERTIFICATE**  
 I, DAVID L. JOHNSON, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR  
 IN THE STATE OF UTAH. I HEREBY CERTIFY THAT THIS IS TRUE AND ACCORDING TO THE TITLE OF  
 THIS PLAT IS ALIGNED TO AMERICAN FORK CITY, UTAH COUNTY, UTAH.

**BOUNDARY DESCRIPTION**  
 The boundaries of the annexation area are as follows:  
 NORTH: 100 EAST STREET FROM THE EAST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.  
 SOUTH: 100 SOUTH STREET FROM THE EAST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.  
 WEST: 100 WEST STREET FROM THE EAST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.  
 EAST: 1100 SOUTH STREET FROM THE EAST CORNER OF SECTION 26, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN.



**AGREEMENT BY LEGISLATIVE BODY**  
 WE, THE CITY COUNCIL OF THE CITY OF AMERICAN FORK, UTAH, HAVE RECEIVED A  
 REQUEST TO INITIATE PROCEEDINGS FOR THE ANNEXATION OF THE TRACT OF LAND SHOWN  
 HEREON, WHICH TRACT CONSTITUTES A PORTION OF AN EXISTING TRACT OF LAND, AND  
 WHICH IS CONTAINED WITHIN THE BOUNDARIES OF THE CITY OF AMERICAN FORK,  
 UTAH, AND TO HEREBY CERTIFY TO THE COUNTY CLERK OF UTAH COUNTY, UTAH,  
 THAT THE TRACT OF LAND SHOWN HEREON IS SUBJECT TO THE ANNEXATION  
 PROCEEDINGS FOR THE ANNEXATION OF THE TRACT TO THE CITY, ALL IN ACCORDANCE WITH  
 THE PROVISIONS OF SECTION 10-2-414 UTAH CODE ANNOTATED, AND THAT THE  
 CITY COUNCIL DOES HEREBY APPROVE AND ACCEPT THE ANNEXATION OF THE TRACT OF  
 LAND SHOWN HEREON TO THE CITY OF AMERICAN FORK, UTAH, TO BE GOVERNED BY THE CITY OF  
 AMERICAN FORK, UTAH, UTAH COUNTY, UTAH.

**AGREEMENT BY COUNTY CLERK**  
 I, THE COUNTY CLERK OF UTAH COUNTY, UTAH, DO HEREBY CERTIFY THAT I AM A REGISTERED  
 LAND SURVEYOR IN THE STATE OF UTAH. I HEREBY CERTIFY THAT THIS IS TRUE AND ACCORDING TO THE  
 TITLE OF THIS PLAT IS ALIGNED TO AMERICAN FORK CITY, UTAH COUNTY, UTAH.

UTAH COUNTY SURVEYOR  
 DATE

**ANNEXATION PLAT**

**1100 SOUTH STREET**  
 AMERICAN FORK CITY, UTAH COUNTY, UTAH

# ATTACHMENT 2

## REQUEST TO INITIATE ANNEXATION OF LAND WITHIN AN ISLAND OR PENINSULA

DATE: 5-17-12

We the undersigned, by virtue of our signatures affixed hereto, do hereby request the City of American Fork, Utah, to annex the parcel(s) identified on the attached map, in accordance with the procedures for "Annexation Without Petition" as set forth under Section 10-2-418 of the Utah State Code.

We hereby further acknowledge and affirm as follows:

- A. The area qualifies as an unincorporated island within the City, or a peninsula contiguous to the City.
- B. The area to be annexed contains less than 500 residents.
- C. The City has provided one or more municipal-type services to the area for at least one year.

Tax I.D. Number	Name(s) of Owner(s)	Signature of Owner(s)
13:066:0010	<i>Corporation of the Presiding Bishop Church of Jesus Christ of Latter-day Saints</i>	<i>[Signature]</i>
13:061:0093	<i>"</i>	<i>[Signature]</i>

Attachment: 1100 South Street Ordinance of Annexation (1383 : 1100 South Street Annexation)



# ATTACHMENT 4

Property # 500-4672

## QUIT CLAIM DEED

**CORPORATION OF THE PRESIDING BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, a Utah corporation sole** GRANTOR, hereby QUIT CLAIMS to, **THE CITY OF AMERICAN FORK, UTAH, A UTAH MUNICIPAL CORPORATION**, GRANTEE, of 51 East Main Street, American Fork, Utah, 84003 for the sum of Ten Dollars (\$10.00) and other valuable consideration, all of grantors right title and interest in the following described real property situate in the County of Utah, State of Utah, and more particularly described as follows: to-wit:

Commencing at a point located North 00°05'49" West along the section line 1.45 feet and East 448.79 feet from the East Quarter Corner of Section 26, Township 5 South, Range 1 East, Salt Lake Base and Meridian; thence South 46.50 feet to the center line of 1100 South Street; thence North 89°24'18" West along the center line of 1100 South Street 494.37 feet; thence North 89°13'28" West along the center line of 1100 South Street 872.14 feet to the center intersection of 1100 South and 100 East; thence North 00°28'32" East along the center line of 100 East Street 684.23 feet; thence North 89°30'11" East 44.01 feet to the easterly right of way of 100 East Street; thence South 00°28'32" West along the easterly right-of-way of 100 East Street 619.76 feet; thence South 59°11'31" East 13.86 feet to the northerly right-of-way of 1100 South Street; thence along the northerly right-of-way of 1100 South Street the following four (4) calls: South 89°13'28" East 89.47 feet, South 81°38'06" East 90.86 feet, South 89°13'28" East 636.88 feet, South 89°24'18" East 493.81 feet to the point of beginning.

**IN WITNESS WHEREOF**, the said Grantor has hereto subscribed his/her/their name and this \_\_ day of December, 2015.

CORPORATION OF THE PRESIDING  
BISHOP OF THE CHURCH OF JESUS  
CHRIST OF LATTER-DAY SAINTS, a  
Utah corporation sole

DRAFT ONLY – DO NOT EXECUTE

\_\_\_\_\_  
Its Authorized Agent

Attachment: 1100 South Street Ordinance of Annexation (1383 : 1100 South Street Annexation)

STATE OF UTAH )  
 :SS  
COUNTY OF SALT LAKE )

On this \_\_\_ December, 2015, personally appeared before me \_\_\_\_\_,  
personally known to me to be an Authorized Agent of **CORPORATION OF THE PRESIDING  
BISHOP OF THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS, a Utah  
corporation sole**, who acknowledged before me that he signed the foregoing instrument as  
Authorized Agent for said corporation, and that the seal impressed on the within instrument is the  
seal of said Corporation; and that said instrument is the free and voluntary act of said Corporation,  
for the uses and purposes therein mentioned, and on oath stated that he was authorized to execute  
said instrument on behalf of said Corporation and that said Corporation executed the same.

WITNESS my hand and official seal.

\_\_\_\_\_  
Notary Public for the  
State of Utah

Attachment: 1100 South Street Ordinance of Annexation (1383 : 1100 South Street Annexation)



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Planning                      **Director Approval** Adam Olsen

**AGENDA ITEM**    Review and action on a final plat for Covington Cove Subdivision, consisting of 4 lots, located in the area of 600 North 300 East, in the R-1-7,500 Residential zone.

**SUMMARY RECOMMENDATION**    The planning commission will act on this item at its July 20, 2016 regular session.

**BACKGROUND**    The applicant proposes a four lot residential subdivision in an infill location at 600 North 300 East. The planning commission approved the preliminary plan on May 4, 2016 and will make a recommendation on the final plat on July 20, 2016. A verbal report regarding the planning commission recommendation that will have been made on July 20, 2016 will be delivered at the July 26 city council meeting. For further analysis, please refer to the attached final plat, staff report and planning commission minutes for the preliminary plan.

**BUDGET IMPACT**    No direct budgetary impact is anticipated as part of this final plat approval.

**SUGGESTED MOTION**    I move to approve the final plat of Covington Cove Subdivision, consisting of 4 lots, located in the area of 600 North 300 East, in the R-1-7,500 Residential zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat subject to:

- All conditions identified in the public record associated with the July 20, 2016 planning commission meeting.

**SUPPORTING DOCUMENTS**

1. Plat (PDF)
2. Staff report (PDF)
3. Minutes (PDF)

**CONTACT LIST:**

UTILITY COMPANY	CONTACT	PHONE
WATER - AF CITY	JAY BREMS	(801) 763-3060
SEWER - AF CITY	AARON BREMS	(801) 763-3060
STORM - AF CITY	AARON BREMS	(801) 763-3060
IRRIGATION - AF CITY	JAY BREMS	(801) 763-3060
TELEPHONE - QWEST	DARREN KELLER	(801) 356-6975
POWER - ROCKY MT. POWER	TERIA WALKER	(801) 221-7070
GAS - QUESTAR	GAYLAN SORENSEN	(801) 370-6577
CABLE - CENTURY LINK	HEIDI HAWKEY	(801) 401-3023

DEPARTMENT	CONTACT	PHONE
CITY ENGINEER	NESTOR GALLO	(801) 763-3060
PROJECT MANAGER	TRENT ANDRUS	(801) 763-3060
CITY INSPECTOR	JAY BUTCHER	(801) 404-9500
SWPPP PERMIT	AARON BREMS	(801) 763-3060
FIRE MARSHALL	DOUG BATEMAN	(801) 404-6364



# CONSTRUCTION DOCUMENTS

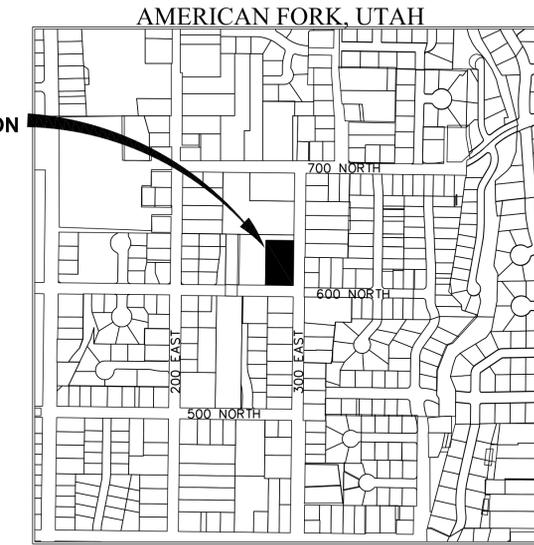
# COVINGTON COVE

a Residential Development

## LOCATION

NW1/4 SECTION 13,  
TOWNSHIP 5 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE AND MERIDIAN  
AMERICAN FORK, UTAH COUNTY, STATE OF UTAH

July 2, 2016



**VICINITY MAP**

NOT TO SCALE



PROJECT BENCHMARK = W1/4 SEC. 13 = 4638.95

**AREA DATA TABLE**

TOTAL ACREAGE	0.810 Ac.
TOTAL NUMBER OF LOTS	4
TOTAL DENSITY	3.70 U/A

**INDEX OF PLAN SHEETS**

1	COVER
2	SUBDIVISION PLAT
3	GENERAL NOTES
4	GENERAL DETAILS
5	SITE PLAN
6	UTILITY /GRADING PLAN
7	600 NORTH PLAN & PROFILE
8	300 EAST PLAN & PROFILE

Property Address:

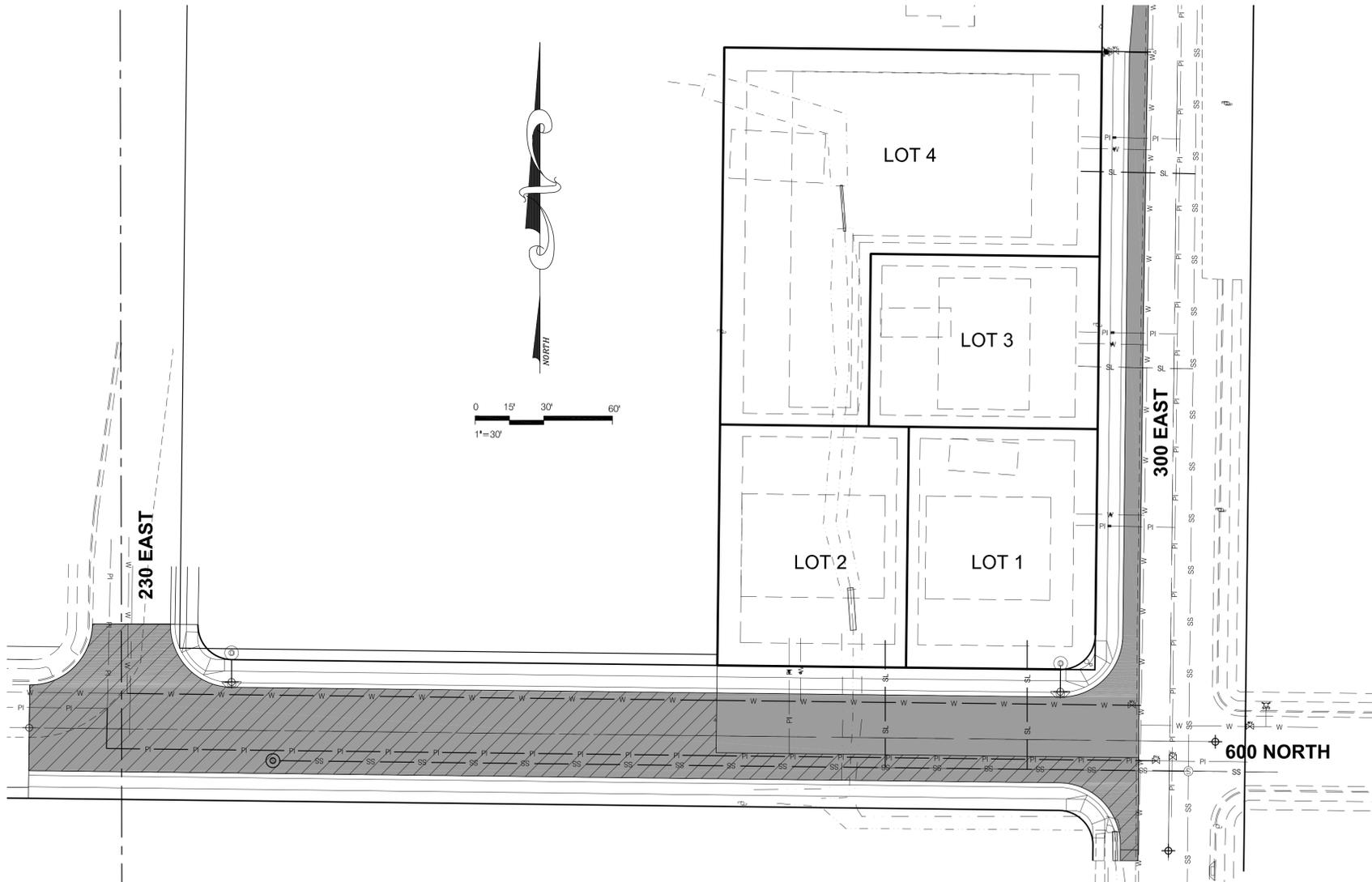
611 North 300 East  
American Fork, Utah

Owner / Developer:

SHAWN ARGYLE  
Tel: 801-494-4463  
Attn: Shawn Argyle  
ticonconstructors@gmail.com

Engineer / Surveyor

H&H Engineering and Surveying, INC  
42 North 200 East, Suite 1  
American Fork, Ut 84003  
Tel: 801-756-2488  
Attn: Victor Hansen  
victor@h-heng.com



VERIFY SCALE  
 BAR IS ONE INCH IN  
 ORIGINAL DRAWING.  
 0 1"  
 IF NOT ONE INCH ON  
 THIS SHEET, ADJUST  
 SCALES ACCORDINGLY

NO.	DATE	REVISION	BY

DESIGN: T. KENISON  
 DRAWN: T. KENISON  
 CHECK: V. HANSEN  
 APRVD: V. HANSEN

42 NORTH 200 EAST, SUITE 1  
 AMERICAN FORK, UTAH 84003  
 TEL: (801) 756-2488  
 FAX: (801) 756-2489

**H&H**  
**ENGINEERING & SURVEYING, INC.**

COVINGTON COVE  
 AMERICAN FORK, UTAH  
**COVER SHEET**

PROJ	15-387-05
DATE	7-05-2016
SHEET	<b>01</b>

# A SUBDIVISION IN AMERICAN FORK CITY

## COVINGTON COVE

A SUBDIVISION LOCATED IN THE NW1/4 OF SECTION 13,  
TOWNSHIP 5 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE & MERIDIAN  
AMERICAN FORK CITY, UTAH COUNTY, UTAH

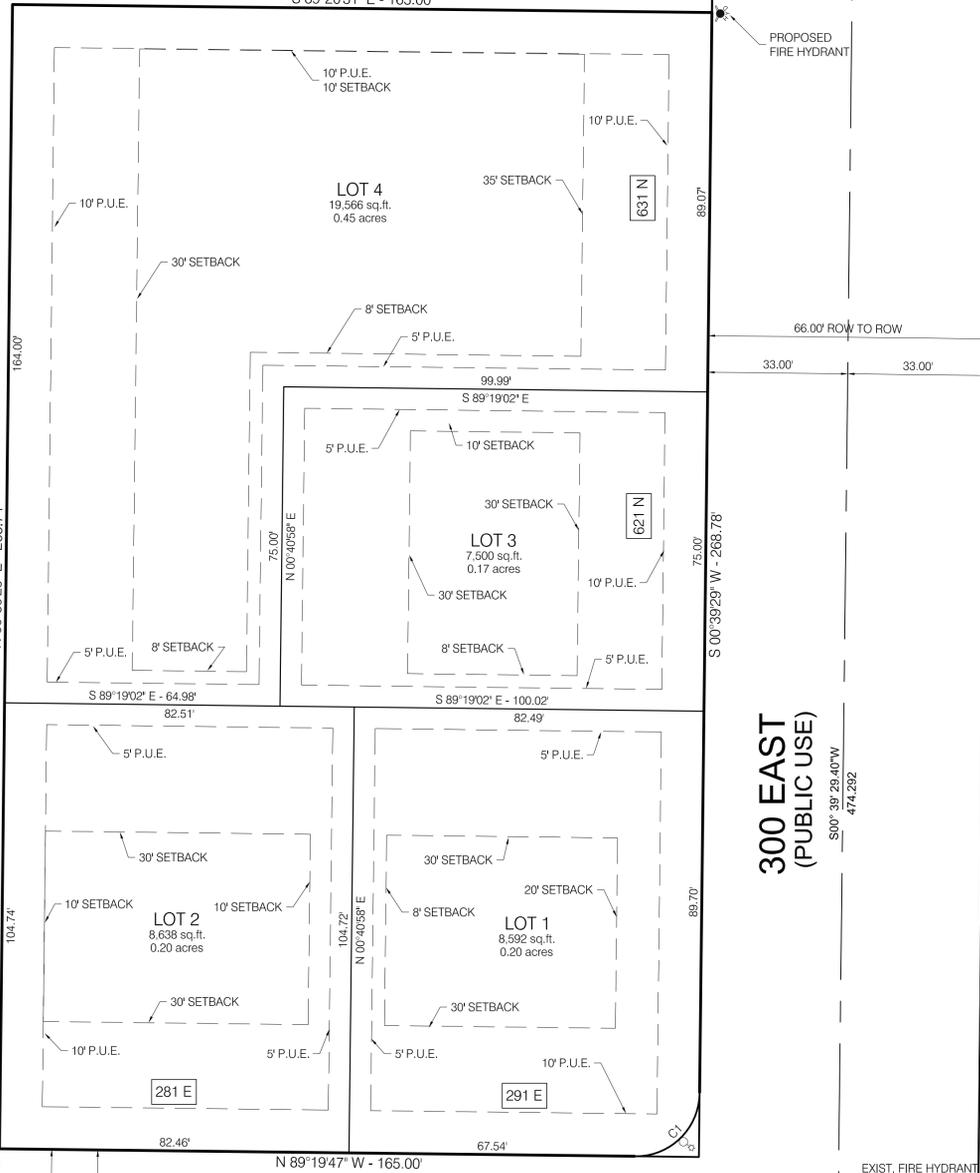
### SE BLOCK 58

STEELE, PAUL L  
ENTRY NO. 14091-1981  
BK 1913 PG 584  
PARCEL TAX ID # 02:070:0001  
S 89°20'31" E - 165.00'



NW CORNER  
SECTION 13  
T5S, R1E, S.L.B.&M.

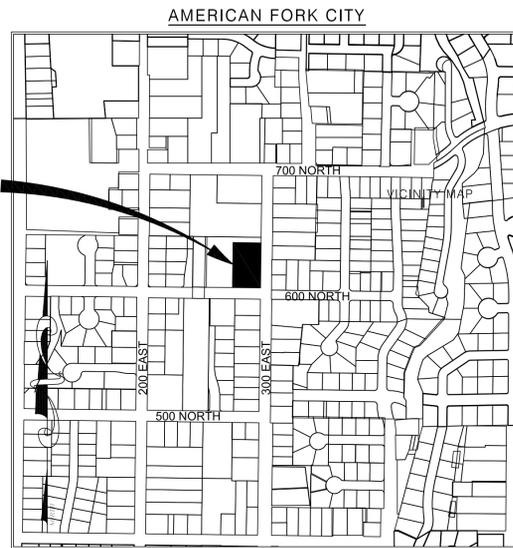
STEELE, PAUL L  
ENTRY NO. 14091-1981  
BK 1913 PG 584  
PARCEL TAX ID #  
02:070:0002



300 EAST  
(PUBLIC USE)

600 NORTH  
(PUBLIC USE)

PROJECT  
LOCATION



### VICINITY MAP

NOT TO SCALE

#### NOTES:

OFF-SET PINS TO BE PLACED ON THE BACK OF THE CURB AND 3/4"x18" REBAR WITH THE SURVEYOR'S LICENSE NUMBER CAP TO BE PLACED AT ALL REAR CORNERS PRIOR TO ANY OCCUPANCY.

BUILDING PERMITS WILL NOT BE ISSUED FOR ANY HOME UNTIL

- 1) ASPHALT PAVING IS INSTALLED
- 2) FIRE HYDRANTS ARE INSTALLED, APPROVED AND CHARGED.

THIS DEVELOPMENT IS ADJACENT TO AN AGRICULTURAL USE AND IS SUBJECT TO THE NORMAL EVERYDAY SOUNDS, ODORS, SIGHTS, AND OTHER ASPECTS ASSOCIATED WITH AN AGRICULTURAL LIFESTYLE.

#### LEGEND

- SECTION CORNER
- STREET MONUMENT
- PROPERTY CORNER
- FIRE HYDRANT
- SECTION LINE
- PROPERTY LINE
- SETBACK LINE
- P.U.E. LINE
- EXISTING CONCRETE
- BLOCK RETAINING WALL
- CHAIN LINK FENC LINE

#### Curve Table

Curve #	Length	Tangent	Radius	Delta	Chord Direction	Chord Length
C1	23.57'	15.00'	15.00'	90°00'43"	S45°39'51"W	21.22'

#### BASIS OF BEARING

BASIS OF BEARING AS SHOWN ON THIS PLAT IS BASED ON NAD 83 STATE PLANE COORDINATES, UTAH CENTRAL ZONE, AND INFORMATION AVAILABLE AT THE UTAH COUNTY RECORDER'S OFFICE.

#### FLOOD ZONE DESIGNATION

SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE B AS DELINEATED BY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP # 490152 005 B EFFECTIVE 11/25/1980.

#### WATER AND SEWER AUTHORITY APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BY THE WATER AND SEWER AUTHORITY.

PUBLIC WORKS DEPARTMENT DIRECTOR

#### SURVEYOR'S CERTIFICATE

I, VICTOR E. HANSEN DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NUMBER 1766895 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

#### BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE NW 1/4 OF SECTION 13, TOWNSHIP 5 SOUTH, RANGE 1 EAST SALT LAKE BASE AND MERIDIAN. THE BASIS OF BEARING IS N00°06'39"W BETWEEN THE WEST 1/4 CORNER AND THE NORTHWEST CORNER OF SECTION 13. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT N00°06'39"W 1664.07 FEET ALONG THE SECTION LINE (UTAH STATE PLANE COORDINATES, NAD 83, UTAH CENTRAL ZONE) AND EAST 260.32 FEET FROM THE WEST 1/4 CORNER OF SECTION 13, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, SAID POINT ALSO BEING N87°10'04"E 529.08 FEET FROM A PK NAIL SET IN THE ASPHALT WITHIN THE INTERSECTION OF 200 EAST AND 600 NORTH STREET, AS REFERENCED BY THE PLAT OF SURVEY PREPARED BY GEORGE B. WILSON DATED JULY 07, 2014 AND AS RECORDED AT THE OFFICE OF THE UTAH COUNTY SURVEYOR; THENCE N00°39'29"E 268.74 FEET; THENCE S89°20'31"E 165.00 FEET; THENCE S00°39'29"W 268.78 FEET; THENCE N89°20'31"W 165.00 FEET TO THE POINT OF BEGINNING. CONTAINS 44,345 SQ. FT. OR 1.02 ACRES MORE OR LESS

Total Number of Acres: 1.02  
Total Number of Lots: 4

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_  
(SEE SEAL BELOW)

#### OWNER'S DEDICATION

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

OWNER \_\_\_\_\_ OWNER \_\_\_\_\_  
OWNER \_\_\_\_\_ OWNER \_\_\_\_\_

#### ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF UTAH

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES \_\_\_\_\_ NOTARY PUBLIC  
(SEE SEAL BELOW)

#### ACCEPTANCE BY LEGISLATIVE BODY

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

MAYOR \_\_\_\_\_ CITY COUNCIL MEMBER \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ CITY COUNCIL MEMBER \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ CITY COUNCIL MEMBER \_\_\_\_\_

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
CITY ENGINEER (SEE SEAL BELOW) CLERK - RECORDER (SEE SEAL BELOW)

#### PLANNING COMMISSION APPROVAL

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_ BY THE AMERICAN FORK CITY PLANNING COMMISSION.

PLANNER \_\_\_\_\_ PLANNING COMMISSION CHAIRMAN \_\_\_\_\_

### COVINGTON COVE

A SUBDIVISION LOCATED IN THE NW1/4 OF SECTION 13,  
TOWNSHIP 5 SOUTH, RANGE 1 EAST,  
SALT LAKE BASE & MERIDIAN  
AMERICAN FORK CITY, UTAH COUNTY, UTAH  
SCALE 1" = 20 FEET

SURVEYOR'S SEAL NOTARY PUBLIC'S SEAL CLERK-RECORDER SEAL

**H&H** ENGINEERING & SURVEYING, INC.  
42 N 200 E, Suite 1 - AMERICAN FORK, UT 84003  
TEL: (801) 756-2488 FAX: (801) 756-3499

**GENERAL NOTES**

- City of American Fork, A.P.W.A, Utah Chapter and Utah Department of Transportation Construction and Material Specifications, current editions, and any supplements thereto (hereafter referred to as Standard Specifications), shall govern all construction items unless otherwise noted. If a conflict between specifications is found, the more strict specification will apply as decided by the City Engineer. Item Numbers listed refer to City of American Fork Item Numbers unless otherwise noted.
- The City Engineer will not be responsible for means, methods, procedures, techniques, or sequences of construction that are not specified herein. The City Engineer will not be responsible for safety on the work site, or for failure by the Contractor to perform work according to contract documents.
- The Developer or Contractor shall be responsible to obtain all necessary permits including but not limited to Road Cut Permits and Notices of Intent (NOI), Building Permits, etc.
- The Contractor shall notify the City of American Fork, Public Works Department in writing at least 7 working days prior to beginning construction and request a pre-construction meeting. Bond for public improvements and inspection fees must be paid in full prior to requesting a pre-construction meeting.
- The Contractor shall be solely responsible for complying with all federal, state and local safety requirements including the Occupational Safety and Health Act of 1970. The Contractor shall exercise precaution always for the protection of persons (including employees) and property. It shall also be the sole responsibility of the Contractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with the work, including the requirements for confined spaces per 29 CFR 1910.146.
- Following completion of construction of the site improvements and before requesting occupancy, a proof survey shall be provided to the City of American Fork, Public Works Department, that documents "as built" elevations, dimensions, slopes and alignments of all elements of this project. The proof survey shall be prepared, signed and submitted by the Professional Engineer who sealed the construction drawings.
- The Contractor shall restrict construction activity to public right-of-way and areas defined as permanent and/or temporary construction easements, unless otherwise authorized by the City Engineer.
- The Contractor shall carefully preserve benchmarks, property corners, reference points, stakes and other survey reference monuments or markers. In cases of willful or careless destruction, the Contractor shall be responsible for restorations. Resetting of markers shall be performed by a License Utah Professional Surveyor as approved by the City Engineer.
- Non-rubber tired vehicles shall not be moved on or across public streets or highways without the written permission of the City Engineer.
- The Contractor shall restore all disturbed areas to equal or better condition than existed before construction. Drainage ditches or watercourses that are disturbed by construction shall be restored to the grades and cross sections that existed before construction.
- Tracking or spilling mud, dirt or debris upon streets, residential or commercial drives, sidewalks or bike paths is prohibited. Any such occurrence shall be cleaned up immediately by the Contractor at no cost to the City. If the Contractor fails to remove said mud, dirt, debris, or spillage, the City reserves the right to remove these materials and clean affected areas, the cost of which shall be the responsibility of the Contractor.
- Disposal of excess excavation within Special Flood Hazard Areas (100-year floodplain) must be approved by the City Engineer.
- All signs, landscaping, structures or other appurtenances within right-of-way disturbed or damaged during construction shall be replaced or repaired to the satisfaction of the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All field tile broken or encountered during excavation shall be replaced or repaired and connected to the public storm sewer system as directed by the City Engineer. The cost of this work shall be the responsibility of the Contractor.
- All precast concrete products shall be inspected at the location of manufacture. Approved precast concrete products will be stamped or have such identification noting that inspection has been conducted by the City of American Fork. Precast concrete products without proof of inspection shall not be approved for installation.
- All trenches within public right-of-way shall be backfilled according to the approved construction drawings or securely plated during nonworking hours.
- Trenches outside these areas shall be backfilled or shall be protected by approved temporary fencing or barricades during nonworking hours. Clean up shall follow closely behind the trenching operation.
- All trees within the construction area not specifically designated for removal shall be preserved, whether shown or not shown on the approved construction drawings. Trees to be preserved shall be protected with high visibility fencing placed a minimum 15 feet from the tree trunk. Trees 6 - inches or greater at DBH (Diameter Breast Height) must be protected with fencing placed at the critical root zone or 15 feet, whichever is greater.
- Trees not indicated on the approved construction drawings for removal may not be removed without prior approval of the Division of Engineering.
- Permits to construct in the right-of-way of existing streets must be obtained from the City of American Fork, Public Works Department before commencing construction.
- The Contractor shall be responsible for the condition of trenches within the right-of-way and public easements for a period of one year from the final acceptance of the work, and shall make any necessary repairs at no cost to the City.
- Pavements shall be cut in neat, straight lines the full depth of the existing pavement, or as

required by the City Engineer.

- The replacement of driveways, handicapped ramps, sidewalks, bike paths, parking lot pavement, etc. shall be provided according to the approved construction drawings and the City of American Fork standard construction drawings.
- Any modification to the work shown on drawings must have prior written approval by the City Engineer.
- Traffic control and other regulatory signs shall comply with the Utah Department of Transportation Traffic Control guidelines and MUTCD Manual, current edition
- Public street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a green background.
- Private street signs shall meet all City of American Fork specifications with lettering colored in white displayed over a blue background

**UTILITIES**

- The Contractor shall give notice of intent to construct to Blue Stake (telephone number 800\_662-4111) at least 2 working days before start of construction.
- The identity and locations of existing underground utilities in the construction area have been shown on the approved construction drawings as accurately as provided by the owner of the underground utility. The City of American Fork and the City Engineer assumes no responsibility for the accuracy or depths of underground facilities shown on the approved construction drawings. If damage is caused, the Contractor shall be responsible for repair of the same and for any resulting contingent damage.
- Location, support, protection and restoration of all existing utilities and appurtenances, whether shown or not shown on the approved construction drawings, shall be the responsibility of the Contractor.
- When unknown or incorrectly located underground utilities are encountered during construction, the Contractor shall immediately notify the owner and the City Engineer.

**TRAFFIC CONTROL**

- Traffic control shall be furnished, erected, maintained, and removed by the Contractor according to Utah Department Of Transportation, Traffic Control guidelines or Manual of Uniform Traffic Control Devices, current edition.
- All traffic lanes of public roadways shall be fully open to traffic from 7:00 AM to 9:00 AM and from 4:00 PM to 6:00 PM unless authorized differently by the City Engineer.
- At all other hours the Contractor shall maintain minimum one \_ lane two \_ way traffic. Traffic circulation must be supervised by a Certified Flagger.
- Steady \_ burning, Type "C" lights shall be required on all barricades, drums, and similar traffic control devices in use at night.
- Access from public roadways to all adjoining properties for existing residents or businesses shall be maintained throughout the duration of the project for mail, public water and sanitary sewer service, and emergency vehicles.
- The Contractor shall provide a traffic control plan detailing the proposed maintenance of traffic procedures. The traffic control plan must incorporate any traffic control details contained herein.
- The traffic control plan proposed by the Contractor must be approved by the City Engineer prior to construction.
- Traffic Control requiring road closures and/ or detouring must be approved by the City Council.

**EROSION AND SEDIMENT CONTROL**

- The Contractor or Developer is responsible for submitting a Notice of Intent (NOI) to be reviewed and approved by the Utah DWQ.
- The NOI must be submitted to DWQ 45 days prior to the start of construction and may entitle coverage under the Utah DWQ General Permit for Storm Water Discharges associated with construction activity. A project location map must be submitted with the NOI.
- A sediment and erosion control plan must be submitted to the City Engineer for approval if a sediment and erosion control plan has not already been included with the approved construction drawings. This plan must be made available at the project site at all times.
- A UPDES Storm water Discharge Permit may be required. The Contractor shall be considered the Permittee.
- The Contractor shall provide sediment control at all points where storm water runoff leaves the site, including waterways, overland sheet flow, and storm sewers.
- Accepted methods of providing erosion/sediment control include but are not limited to: sediment basins, silt filter fence, aggregate check dams, and temporary ground cover. Hay or straw bales are not permitted.
- The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices.
- Disturbed areas that will remain un-worked for 30 days or more shall be seeded or protected within seven calendar days of the disturbance.
- Other sediment controls that are installed shall be maintained until vegetative growth has

been established. The Contractor shall be responsible for the removal of all temporary sediment devices at the conclusion of construction but not before growth of permanent ground cover.

**GENERAL WATER & IRRIGATION LINES**

- All potable and pressurized irrigation line materials shall be provided and installed in accordance with current specifications of the City of American Fork, Water Department.
- Pressure testing shall be performed in accordance with the City of American Fork, Construction and Material Specifications.
- The Contractor shall notify the City of American Fork, Water Department at (801) 763 3060 at least 24 hours before tapping into existing water lines.
- All water main stationing shall be based on street centerline stationing.
- All bends, joint deflections and fittings shall be backed with concrete per City of American Fork standards.
- The Contractor shall give written notice to all affected property owners at least 1 working day but not more than 3 working days prior to any temporary interruption of water service. Interruption of water service shall be minimized and must be approved by the City Engineer.

**POTABLE WATER**

- All public water pipe with a diameter 3 inches to 8 inches shall be Ductile Iron, Class 53. Public water pipe 12 inches in diameter or larger shall be Ductile Iron, Class 54.
- Only fire hydrants conforming to City of American Fork standards will be approved for use.
- The Contractor shall paint all fire hydrants according to City of American Fork standards. The cost of painting fire hydrants shall be included in the contract unit price for fire hydrants.
- All potable water lines shall be disinfected according to City of American Fork Standard specifications. Special attention is directed to applicable sections of American Water Works Association specification C, 651, particularly for flushing (Section 5) and for chlorinating valves and fire hydrants (Section 7).
- When water lines are ready for disinfection, the Contractor shall submit two (2) sets of "as-built" plans, and a letter stating that the water lines have been pressure tested and need to be disinfected, to the City of American Fork, Water Department.
- No water taps or service connections (e.g., to curb stops or meter pits) may be issued until adjacent public water lines serving the construction site have been disinfected by the City of American Fork, Water Department and have been accepted by the Public Works Department.
- All water lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of water line. Water lines shall be set deeper at all points where necessary to clear existing or proposed utility lines or other underground restrictions by a minimum of 18 inches.

**PRESSURIZED IRRIGATION**

- All pressurized irrigation pipe, valves and appurtenances shall be installed in accordance with the City of American Fork, Public Works Department standards and specifications.
- Drain lines and valves shall be located at all low points. Drain lines shall drain into storm drain structures or into an existing conveyance ditch.
- Valve boxes on pressurized irrigation systems shall be stamped with the word "IRRIGATION" on the circular shaped lid with the inside being painted purple.

**SANITARY SEWER**

- Sanitary sewage collection systems shall be constructed in accordance with the rules, regulations, standards and specifications of the City of American Fork, Public Works Department and the Utah Department of Health Code and Regulations.
- The minimum requirements for sanitary sewer pipe with diameters 15 inches and smaller shall be reinforced concrete pipe ASTM C76 Class 3, or PVC sewer pipe ASTM D3034, SDR 35.
- Pipe for 6-inch diameter house service lines shall be PVC pipe ASTM D3034, SDR 35. PVC pipe shall not be used at depths greater than 28 feet. Pipe materials and related structures shall be shop tested in accordance with City of American Fork Construction Inspection Division quality control requirements.
- All manhole lids shall be provided with continuous self\_sealing gaskets.
- The approved construction drawings shall show where bolt\_down lids are required.
- Sanitary sewer manholes shall be precast concrete or as approved by the City Engineer and conform to the City of American Fork sanitary manhole standard drawing. Manhole lids shall include the word SEWER.
- All PVC sewer pipes shall be deflection tested no less than 60 days after completion of backfilling operations.

- At the determination of the City Engineer, the Contractor may be required to perform a TV inspection of the sanitary sewer system prior to final acceptance by the City. This work shall be completed by the Contractor at his expense.
- Visible leaks or other defects observed or discovered during TV inspection shall be repaired to the satisfaction of the Engineer.
- Roof drains, foundation drains, field tile or other clean water connections to the sanitary sewer system are strictly prohibited according to the American Fork Code of Ordinances.
- All water lines shall be located at least 10 feet horizontally and 18 inches vertically, from sanitary sewers and storm sewers, to the greatest extent practicable.
- Where sanitary sewers cross water mains or other sewers or other utilities, trench backfill shall be placed between the pipes crossing and shall be compacted granular material according to the city Standard Specifications. In the event that a water line must cross within 18 inches of a sanitary sewer, the sanitary sewer shall be concrete encased or consist of ductile iron pipe material.
- Existing sanitary sewer flows shall be maintained at all times. Costs for pumping and bypassing shall be included in the Contractor's unit price bid for the related items.
- The Contractor shall furnish all material, equipment, and labor to make connections to existing manholes.
- All sewer lines shall be placed at a minimum depth of 4 feet measured from top of finished grade to top of sewer line.

**STORM SEWER**

- All storm water detention and retention areas and major flood routing swales shall be constructed to finish grade and hydro \_ seeded and hydro \_ mulched according to the City of American Fork Standard Specifications.
- Where private storm sewers connect to public storm sewers, the last run of private storm sewer connecting to the public storm sewer shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
- Granular backfill shall be compacted granular material according to American Fork City Standard Specifications.
- All public storm sewers shall be Reinforced Concrete Pipe conforming to ASTM Designation C76, Wall B, Class IV for pipe diameters 12 inches to 15 inches, Class III for 18 inches to 24 inch pipes, and 27 inches and larger pipe shall be Class II, unless otherwise shown on the approved construction drawings.
- Headwalls and end walls shall be required at all storm sewer inlets or outlets to and from storm water management facilities. Natural stone and/or brick approved by the City Engineer shall be provided on all visible headwalls and/or end walls surfaces.
- Storm inlets or catch basins shall be channelized and have bicycle safe grates. Manhole lids shall include the word STORM.
- Storm sewer outlets greater than 18 inches in diameter accessible from storm water management facilities or watercourses shall be provided with safety grates, as approved by the City Engineer.

**STRIPING AND SIGNING**

- All striping must be done following Utah Department of Transportation guidelines and MUTCD Manual recommendations, current edition.
- All signing must be done following MUTCD Manual recommendations, current edition.
- Only sand-blasting is allowed for removal of existing striping.
- Contractor is responsible for removal of conflicting existing striping.
- Materials used for striping must comply with the Utah Department of Transportation standard specifications.

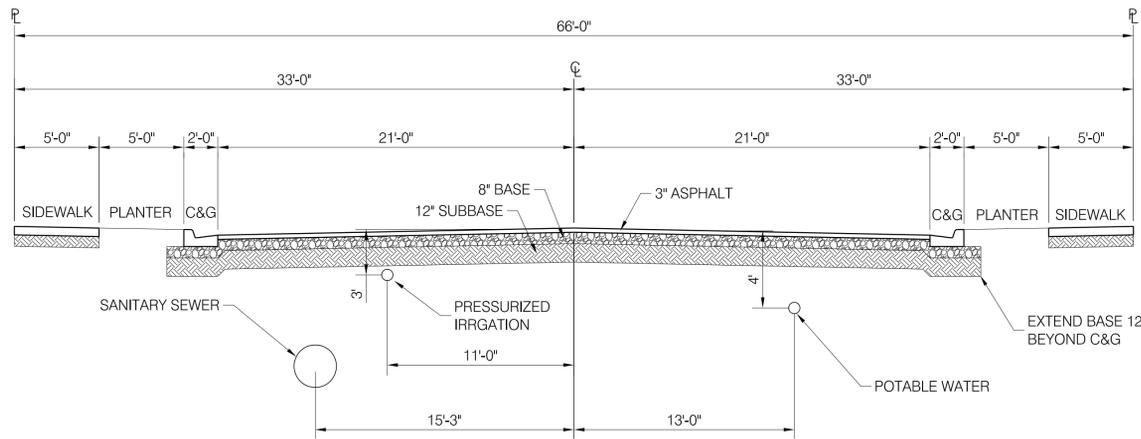
**MAIL DELIVERY**

- The Contractor shall be responsible to ensure that US Mail delivery within the project limits is not disrupted by construction operations.
- This responsibility is limited to relocation of mailboxes to a temporary location that will allow the completion of the work and shall also include the restoration of mailboxes to their original location or approved new location.
- Any relocation of mailbox services must be first coordinated with the US Postal Service and the homeowner.
- Before relocating any mailboxes, the Contractor shall contact the U.S. Postal Service and relocate mailboxes according to the requirements of the Postal Service.

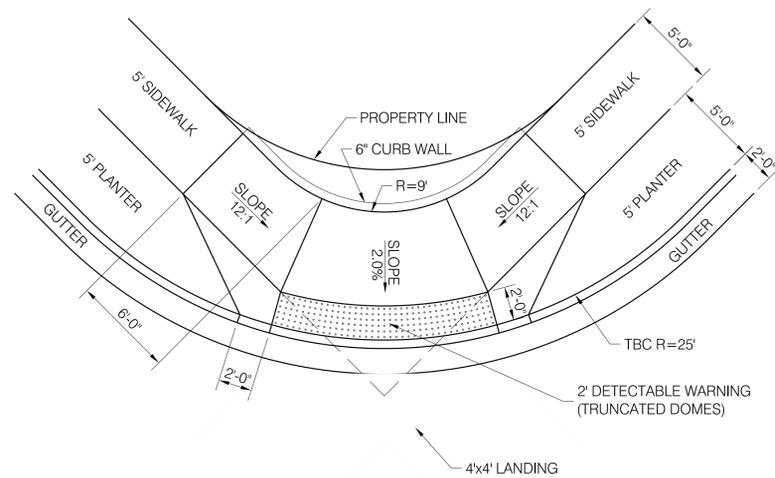
**USE OF FIRE HYDRANTS**

- The Contractor shall make proper arrangements with the American Fork City, Water Department for the use of fire hydrants when used for work performed under this project's approval.

<p>VERIFY SCALE                  BAR IS ONE INCH IN ORIGINAL DRAWING.                  0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p>	BY	REVISION	DATE	NO.
<p>DESIGN T. KENSON                  DRAWN T. KENSON                  CHECK V. HANSEN                  APPROV V. HANSEN</p>	<p>42 NORTH 200 EAST, SUITE 1                  AMERICAN FORK, UTAH 84003                  TEL: (801) 756-2488                  FAX: (801) 756-3499</p>			
<p><b>H&amp;H ENGINEERING &amp; SURVEYING, INC.</b></p>				
<p>COVINGTON COVE                  AMERICAN FORK, UTAH</p>				
<p><b>GENERAL NOTES</b></p>				
PROJ	15-387-05			
DATE	7-05-2016			
SHEET	03			

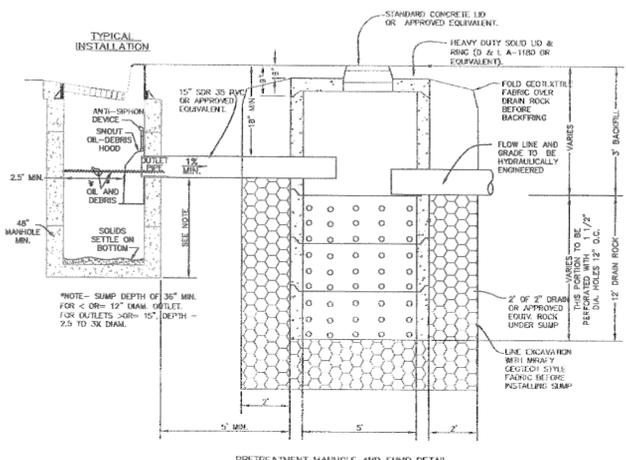


④ 66' 600 NORTH  
SCALE 1"=1'

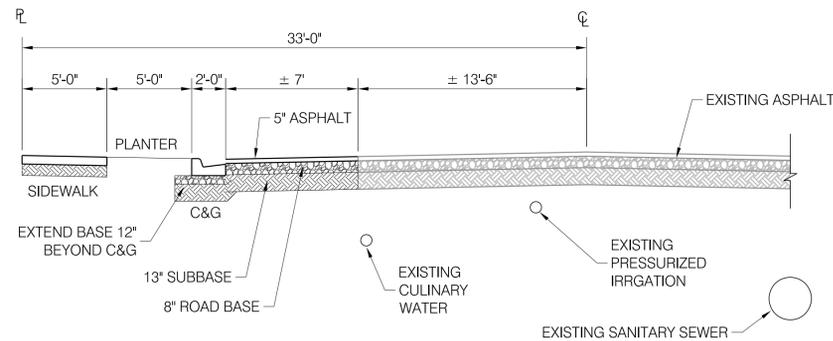


① TYPICAL ADA RAMP  
SCALE 1"=1'

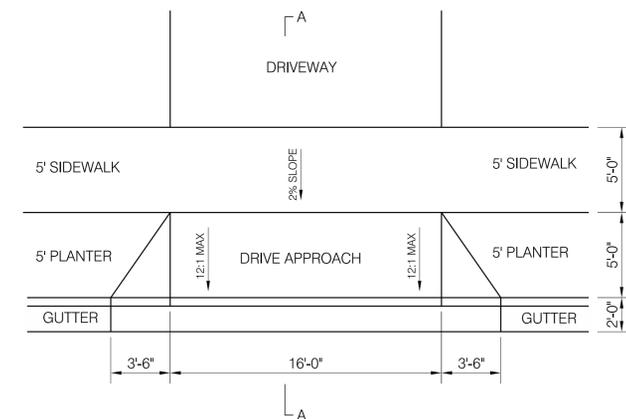
- NOTES:
- 1) MANHOLE BASE AND ALL SECTIONS SHALL BE PRECAST TO CONFORM TO ASTM C-478
  - 2) THE SUMP SHALL BE CONCRETE.
  - 3) THE PRE-TREATMENT MANHOLE SHALL BE CONSTRUCTED TO ENSURE WATER TIGHTNESS
  - 4) THE SUMP SHALL BE LOCATED 5' OFFSET FROM MANHOLE PERPENDICULAR TO GUTTER ALIGNMENT
  - 5) THE SUMP LID SHALL NOT BE LOCATED IN THE SIDEWALK SECTION
  - 6) ANY APPROVED EQUIVALENT REQUIRE CITY ENGINEER WRITTEN APPROVAL.



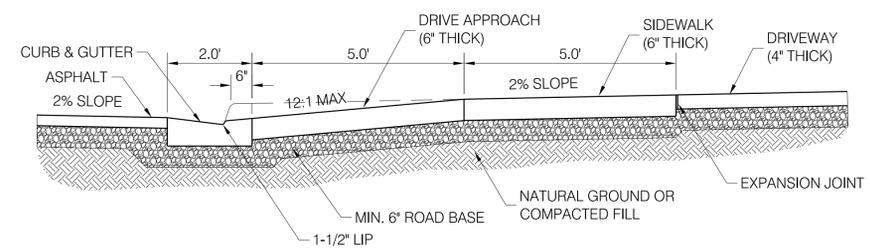
PRE-TREATMENT MANHOLE AND SUMP DETAIL



⑤ 66' 300 EAST STREET  
SCALE 1"=1'



② TYPICAL DRIVE APPROACH  
SCALE 1"=1'



③ TYPICAL DRIVE APPROACH SECTION A-A  
SCALE 1"=1'

DATE: 05/02	<b>Northern</b> CONSTRUCTION PLANNING & SURVEYING, INC.	STANDARD DETAIL FOR: PRE-TREATMENT MANHOLE AND SUMP	DRAWING NO.: 15.14
BY: [Signature]	AMERICAN FORK CITY		

VERIFY SCALE: BAR IS ONE INCH IN ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DESIGN: T. KENISON	NO.:	DATE:	REVISION:	BY:
DRAWN: T. KENISON				
CHECK: V. HANSEN				
APPROVED: V. HANSEN				

42 NORTH 200 EAST, SUITE 1  
 AMERICAN FORK, UTAH 84003  
 TEL: (801) 756-2488  
 FAX: (801) 756-3499

**H&H**  
 ENGINEERING & SURVEYING, INC.

COVINGTON COVE  
 AMERICAN FORK, UTAH

GENERAL DETAILS

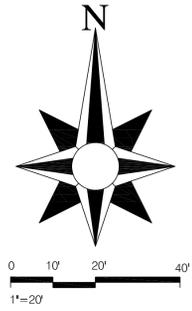
PROJ: 15-387-05
DATE: 7-05-2016
SHEET: 04

**RECORDED BOUNDARY DESCRIPTION**

COMMENCING AT THE SOUTHEAST CORNER OF BLOCK 58, PLAT "A", AMERICAN FORK CITY SURVEY, THENCE WEST 10 RODS; THENCE NORTH 16 RODS; THENCE EAST 10 RODS; THENCE SOUTH 16 RODS TO BEGINNING.

**SURVEYED BOUNDARY DESCRIPTION**

COMMENCING AT THE SOUTHEAST CORNER OF BLOCK 58, PLAT "A", AMERICAN FORK CITY SURVEY, THENCE N89°19'02"W 164.95 FEET; THENCE N00°40'58"E 263.92 FEET; THENCE S89°19'01"E 164.95 FEET; THENCE S00°40'59"W 263.92 FEET TO THE POINT OF BEGINNING. CONTAINING 0.999 ACRES MORE OR LESS.

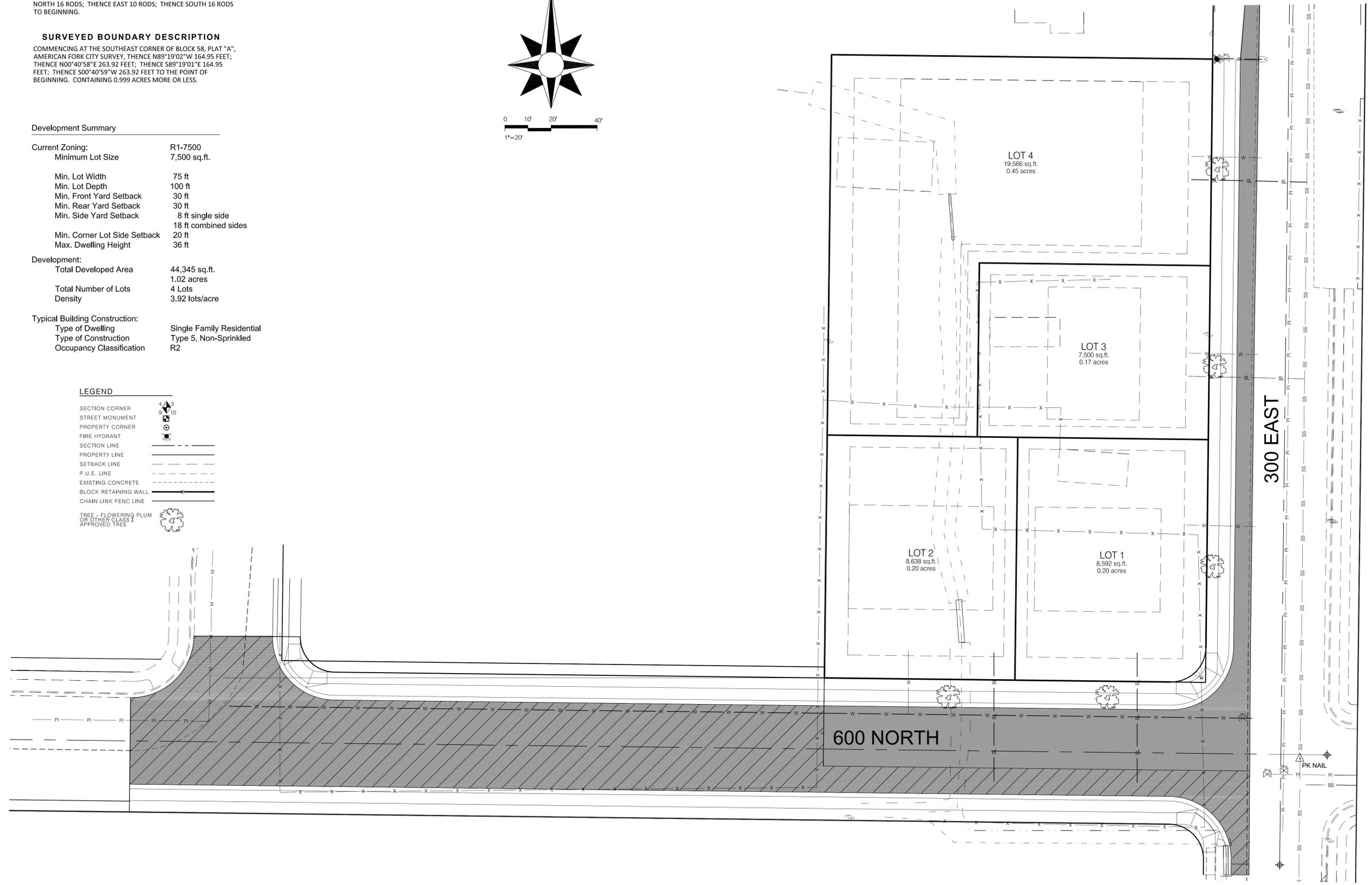


**Development Summary**

Current Zoning:	R1-7500
Minimum Lot Size	7,500 sq.ft.
Min. Lot Width	75 ft
Min. Lot Depth	100 ft
Min. Front Yard Setback	30 ft
Min. Rear Yard Setback	30 ft
Min. Side Yard Setback	8 ft single side
	18 ft combined sides
Min. Corner Lot Side Setback	20 ft
Max. Dwelling Height	36 ft
Development:	
Total Developed Area	44,345 sq.ft.
	1.02 acres
Total Number of Lots	4 Lots
Density	3.92 lots/acre
Typical Building Construction:	
Type of Dwelling	Single Family Residential
Type of Construction	Type 5, Non-Sprinkled
Occupancy Classification	R2

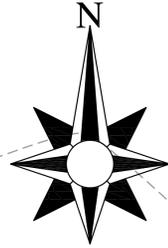
**LEGEND**

SECTION CORNER	
STREET MONUMENT	
PROPERTY CORNER	
FIRE HYDRANT	
SECTION LINE	
PROPERTY LINE	
SETBACK LINE	
P.U.E. LINE	
EXISTING CONCRETE	
BLOCK RETAINING WALL	
CHAIN LINK FENCE LINE	
TREE - FLOWERING PLUM OR OTHER CLASS I APPROVED TREE	



<p>VERIFY SCALE BAR IS ONE INCH IN ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p>		<p>DESIGN T. KENISON DRAWN T. KENISON CHECK V. HANSEN APPROV V. HANSEN</p>	<p>NO. DATE REVISION BY</p>
<p>42 NORTH 200 EAST, SUITE 1 AMERICAN FORK, UTAH 84003 TEL: (801) 756-2488 FAX: (801) 756-3499</p>		<p><b>H&amp;H ENGINEERING &amp; SURVEYING, INC.</b></p>	
<p>COVINGTON COVE AMERICAN FORK, UTAH</p>		<p><b>SITE PLAN</b></p>	
<p>PROJ 15-387-05 DATE 7-05-2016 SHEET</p>		<p><b>05</b></p>	

# COVINGTON COVE OVERALL UTILITY PLAN



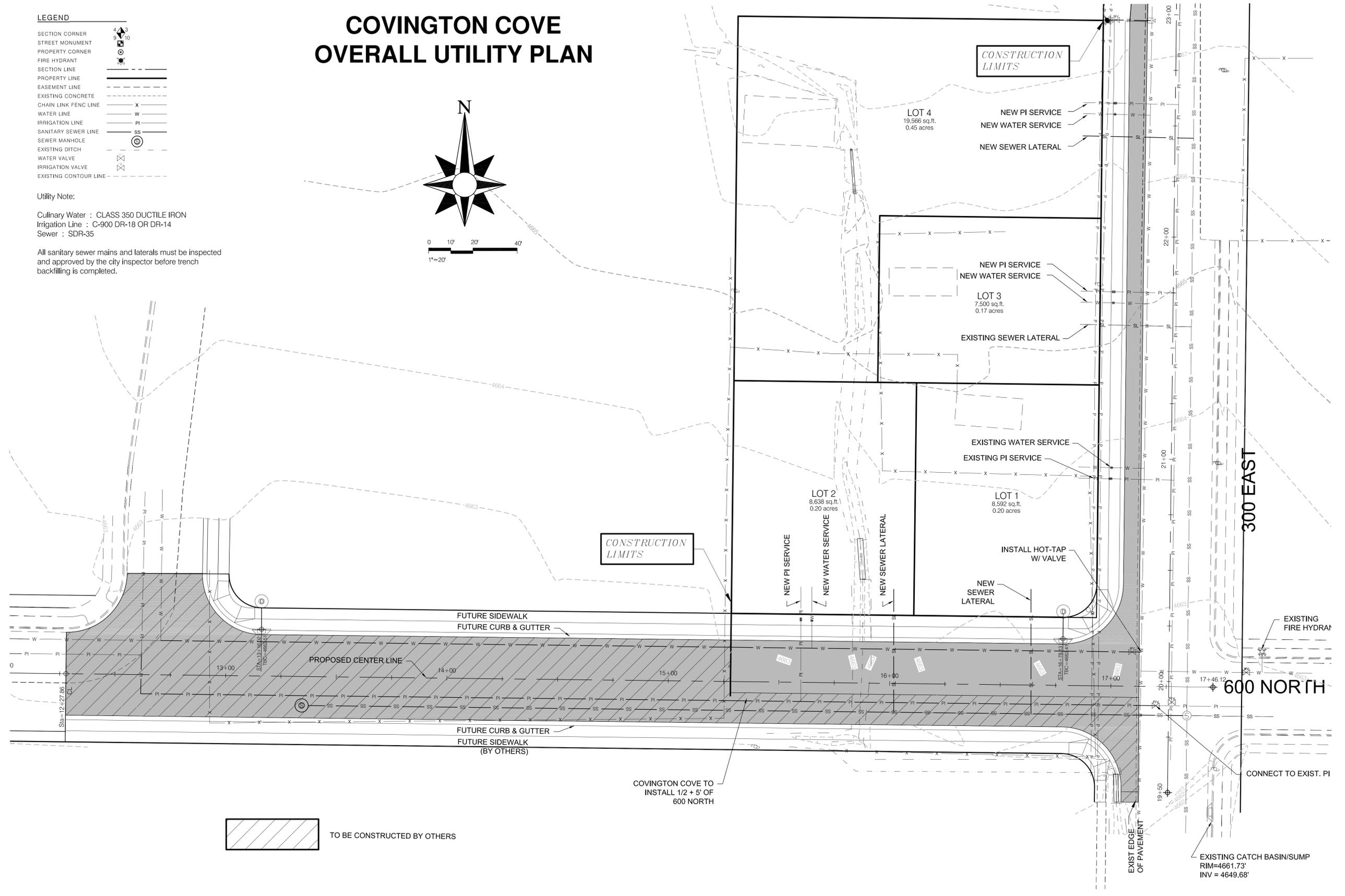
### LEGEND

- SECTION CORNER
- STREET MONUMENT
- PROPERTY CORNER
- FIRE HYDRANT
- SECTION LINE
- PROPERTY LINE
- EASEMENT LINE
- EXISTING CONCRETE
- CHAIN LINK FENC LINE
- WATER LINE
- IRRIGATION LINE
- SANITARY SEWER LINE
- SEWER MANHOLE
- EXISTING DITCH
- WATER VALVE
- IRRIGATION VALVE
- EXISTING CONTOUR LINE

### Utility Note:

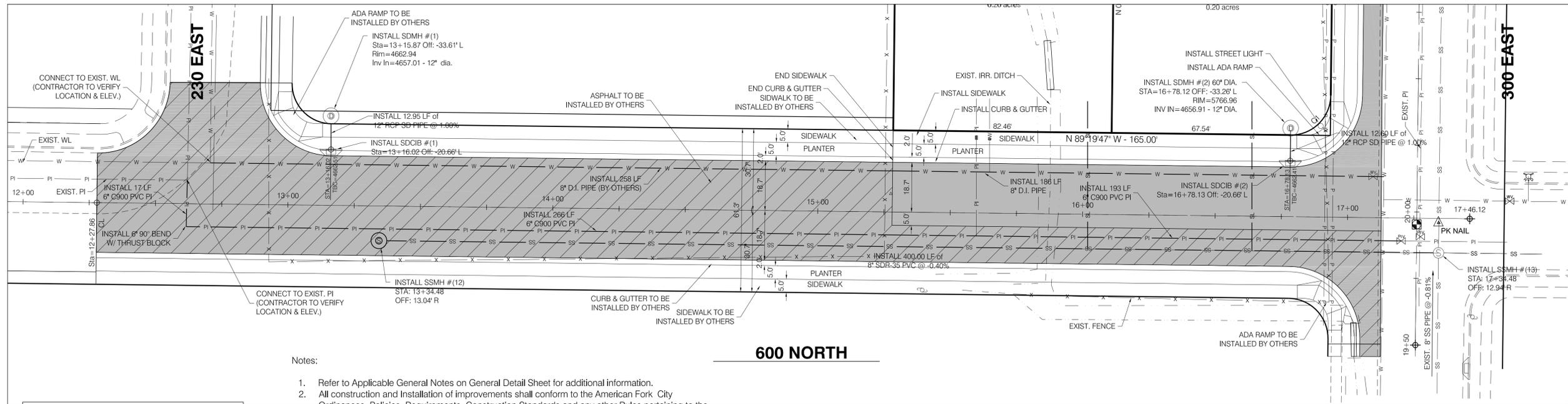
Culinary Water : CLASS 350 DUCTILE IRON  
 Irrigation Line : C-900 DR-18 OR DR-14  
 Sewer : SDR-35

All sanitary sewer mains and laterals must be inspected and approved by the city inspector before trench backfilling is completed.



TO BE CONSTRUCTED BY OTHERS

<b>H&amp;H</b>		<b>ENGINEERING &amp; SURVEYING, INC.</b>	
42 NORTH 200 EAST, SUITE 1 AMERICAN FORK, UTAH 84003 TEL: (801) 756-2488 FAX: (801) 756-3499		DESIGN: T. KENSON DRAWN: T. KENSON CHECK: V. HANSEN APRVD: V. HANSEN	NO. _____ DATE _____ REVISION BY _____
VERIFY SCALE BAR IS ONE INCH IN ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY			
COVINGTON COVE AMERICAN FORK, UTAH <b>OVERALL UTILITY PLAN</b>			
PROJ: 15-387-05		DATE: 7-05-2016	
SHEET: 06			

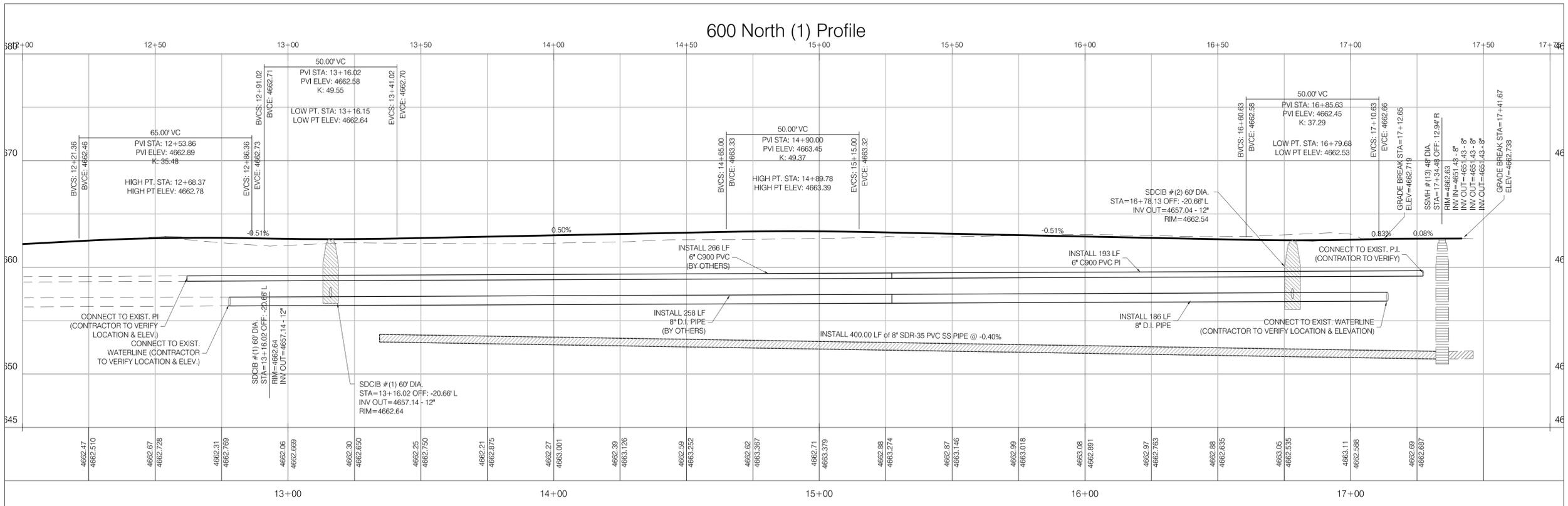


Notes:

1. Refer to Applicable General Notes on General Detail Sheet for additional information.
2. All construction and installation of improvements shall conform to the American Fork City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
3. Contractor to verify all conditions and dimensions on site. It shall be the Contractor's responsibility to verify the actual location and elevation of existing utilities and conditions.
4. Contractor to coordinate all utility work with the appropriate Utility Provider. Contractor to verify and follow all Utility Provider requirements, standards and specifications.
5. Where new asphalt will be placed next to existing asphalt the contractor shall cut the existing asphalt in a vertical and horizontally straight line a minimum of 2 feet from the existing edge. Existing asphalt, base and subgrade shall be removed and replaced with new compacted materials.
6. Prior to placing asphalt surface contractor shall coordinate with other trades and utility companies to insure required conduits have been placed within the asphalt surface area. Primarily the landscape/irrigation contractor, power, gas and cable utility providers.



600 North (1) Profile



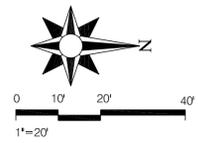
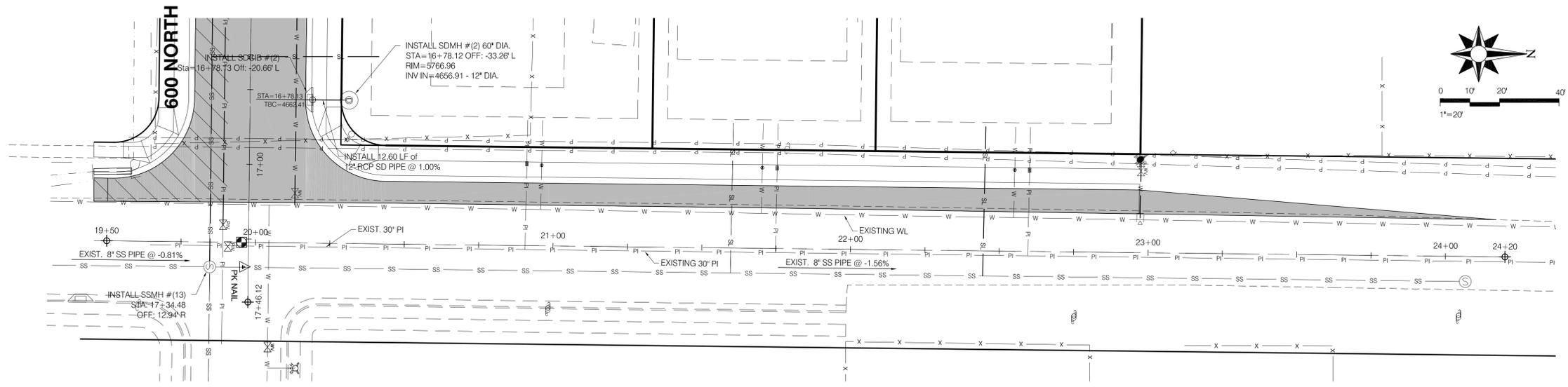
**H&H ENGINEERING & SURVEYING, INC.**

42 NORTH 200 EAST, SUITE 1 DESIGN  
 AMERICAN FORK, UTAH 84003 DRAWN  
 T. KENISON  
 (801) 756-3499 CHECK  
 V. HANSEN  
 (801) 756-3499 APPROV  
 V. HANSEN

VERIFY SCALE  
 BAR IS ONE INCH IN ORIGINAL DRAWING.  
 0 IF NOT ONE INCH ON THIS SHEET, SCALES ACCORDINGLY.

NO.	DATE	REVISION	BY

PROJ 15-387-05  
 DATE 7-05-2016  
 SHEET 07



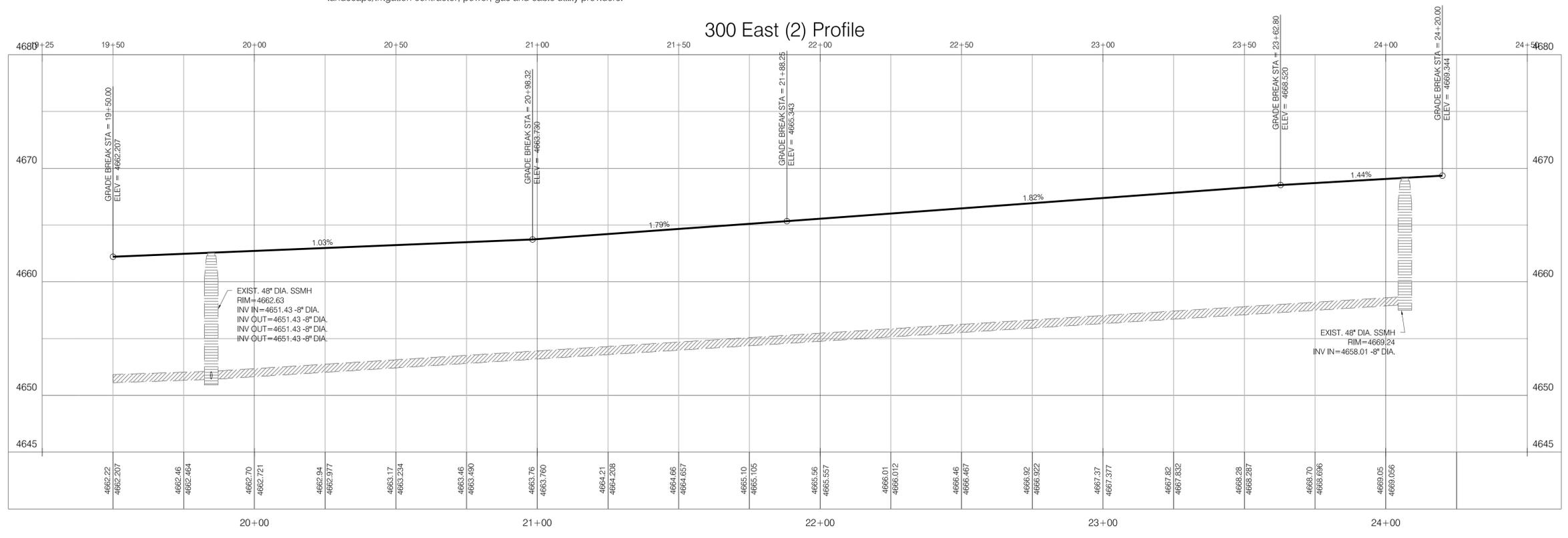
### 300 EAST

Notes:

1. Refer to Applicable General Notes on General Detail Sheet for additional information.
2. All construction and Installation of improvements shall conform to the American Fork City Ordinances, Policies, Requirements, Construction Standards and any other Rules pertaining to the development of this property.
3. Contractor to verify all conditions and dimensions on site. It shall be the Contractor's responsibility to verify the actual location and elevation of existing utilities and conditions.
4. Contractor to coordinate all utility work with the appropriate Utility Provider. Contractor to verify and follow all Utility Provider requirements, standards and specifications.
5. Where new asphalt will be placed next to existing asphalt the contractor shall cut the existing asphalt in a vertical and horizontally straight line a minimum of 2 feet from the existing edge. Existing asphalt, base and subgrade shall be removed and replaced with new compacted materials.
6. Prior to placing asphalt surface contractor shall coordinate with other trades and utility companies to insure required conduits have been placed within the asphalt surface area. Primarily the landscape/irrigation contractor, power, gas and cable utility providers.



### 300 East (2) Profile



VERIFY SCALE BAR IS ONE INCH IN ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, SCALES ACCORDINGLY.

42 NORTH 200 EAST, SUITE 100  
AMERICAN FORK, UTAH 84003  
(801) 756-3499  
FAX: (801) 756-3498

**H&H ENGINEERING & SURVEYING, INC.**

COVINGTON COVE  
AMERICAN FORK, UTAH

300 EAST

PROJ 15-387-05  
DATE 7-05-2016  
SHEET 08

NO.	DATE	REVISION	BY

T. KENISON DESIGN  
T. KENISON DRAWN  
V. HANSEN CHECK  
V. HANSEN APPROV

AMERICAN FORK CITY  
PLANNING COMMISSION

MEETING DATE: July 20, 2016  
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Review and action on the final plat for Covington Cove Subdivision, consisting of 4 lots, located in the area of 600 North 300 East, in the R1-7,500 Residential zone.

ACTIONS REQUESTED: Recommendation of approval of the final plat.

BACKGROUND INFORMATION					
Location:		600 North 300 East			
Applicants:		Shawn Argyle			
Existing Land Use:		Residential			
Proposed Land Use:		Residential			
Surrounding Land Use:	North	Residential			
	South	Residential			
	East	Residential			
	West	Vacant			
Existing Zoning:		R1-7,500			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	R1-7,500			
	South	R1-7,500			
	East	R2-7,500			
	West	R1-7,500			
Growth Plan Designation:		Residential Medium Density (6 du/ac)			
Zoning within density range?		X	Yes		No

PROJECT DESCRIPTION: Final plat of Covington Cove Subdivision, consisting of four lots.

### Background

Covington Cove is a 4-lot subdivision, consisting of 1 acre. Each underlying lot has been sized in accordance with the lot area (7,500 sf), lot width (75') and lot depth (100') requirements for single family lots within the R1-7,500 Zone. Lots within the subdivision range in size from .17 acres to .45 acres.

Access to lots within the subdivision will be off of 300 East and an extension of 600 North. 600 North will stub into adjoining property to the west; facilitating future development of the parcels between this subdivision and 320 East.

The preliminary plan was approved by the Planning Commission on May 4, 2016.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Medium Density Residential” (6 du/ac). The proposed subdivision is consistent with this designation, with a density of 4 du/ac.

Section 17.8.211 of the Development Code

The Planning Commission may act to recommend approval of a final plat upon a finding that:

- a. The final plat conforms with the terms of the preliminary plan approval.

The final plat conforms with the terms of the preliminary plan approval (May 4, 2016).

- b. The final plat complies with all City requirements and standards relating to Subdivisions.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address concerns, if any, at the time of the Planning Commission Meeting.

- d. The estimates of cost of constructing the required improvements are realistic.

Engineering will determine whether the cost estimates of constructing any required improvements are realistic.

- e. The water rights conveyance documents have been provided.

Water rights conveyance, if needed, shall be satisfied prior to plat recordation.

FINDINGS OF FACT/CONDITION OF APPROVAL

After reviewing the application for final plat approval, the following findings of fact and condition of approval are offered for consideration:

1. The final plat meets the criteria within Section 17.8.101 (Intent) of Chapter 17.8 (Subdivisions).
2. The final plat meets the criteria as found in Section 17.8.211 of the Development Code.

Attachment: 2. Staff report (1384 : Covington Cove Final Plat)

3. Water rights conveyance shall be satisfied prior to final plat recordation.

POTENTIAL MOTIONS:

APPROVAL

Mr. Chairman, I move that we recommend approval of the final plat of Covington Cove Subdivision with the findings and condition listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the final plat of Covington Cove Subdivision.

TABLE

Mr. Chairman, I move that we table the final plat of Covington Cove Subdivision.

# AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 7/20/2016

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Covington Cove

Project Address: 600 North 300 East

Developer / Applicant's Name: Victor Hansen, H&H Engineering

Type of Application:

- Subdivision Final Plat       Subdivision Preliminary Plan       Annexation
- Code Text Amendment       General Plan Amendment       Zone Change
- Commercial Site Plan       Residential Accessory Structure Site Plan

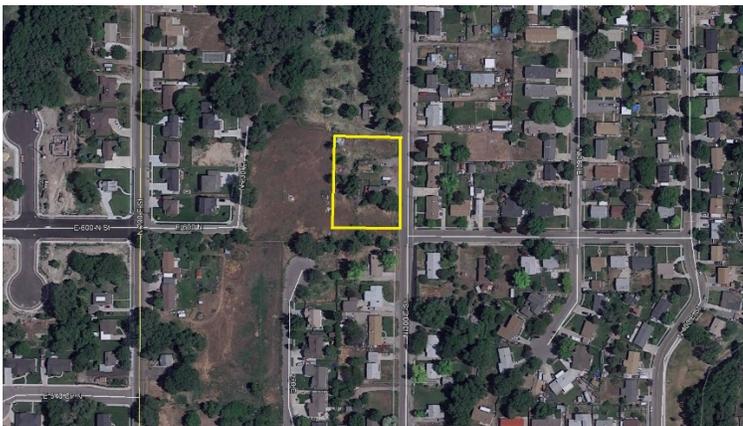
**Engineering Division Recommendation:** The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

- All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 7/20/2016 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

**Applicant is requesting that the Planning Commission waive the following requirement(s):**

- Requested waivers **ARE** necessary for the proposed development to move forward.
  - Requested waivers **ARE NOT** necessary for the proposed development to move forward.

**Plan Submittal:**



## **STANDARD CONDITIONS OF APPROVAL**

### **Standard Conditions of Approval:**

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

### **Plan Modifications Required:**

1. Show areas that are to be vacated by the city on the plat.
2. Label the existing irrigation ditch to be abandoned (assuming approval from AF Irrigation Company is obtained).
3. The proposed street light shown should be moved to the northern end of the subdivision. A street light already exists at the corner of 600 North and 300 East.

AMERICAN FORK CITY  
PLANNING COMMISSION MINUTES  
MAY 4, 2016

The American Fork Planning Commission met in a regular session on April 6, 2016, in the American Fork City Hall, located at 31 North Church Street, commencing at 7:00 p.m.

Present: John Woffinden, Chairman  
Christine Anderson  
Harold Dudley  
Geoff Dupaix, Alternate  
Eric Franson  
Leonard Hight  
Nathan Schellenberg

Absent: Rebecca Staten

Staff Present: Trent Andrus, Engineer I  
Adam Olsen, Senior Planner  
Wendelin Knobloch, Associate Planner  
Terilyn Lurker, Deputy Recorder  
Kriss Garcia, Fire Chief  
Doug Bateman, Battalion Chief

Also Present: Councilman Rob Shelton, Shawn Argyle, Jaron Harral, Matt Swain, Mark Hampton, Tom Henroid, Joe Phelon, Ken Berg, David Wilding, and nine additional people.

Chairman Woffinden welcomed everyone and those present recited the Pledge of Allegiance.

Hearing, review and action on the preliminary plan for Covington Cove Subdivision, consisting of 4 lots, located in the area of 600 North 300 East, in the R1-7,500 Residential zone

Adam Olsen explain this project was located at 600 North 300 East and consisted of four lots. The lots do meet the size requirements. Two of the lots would have access off of an extension of 600 North and two lots would access off of 300 East. He noted this subdivision does meet the Development Code Requirements and Planning recommended approval.

Christine Anderson asked if this would complete 600 North and she was told it would not.

Trent Andrus stated that the applicants would be giving right-of-way along 600 North and 300 East. As for road widths, 600 North does not quite match up with the normal city standards but the applicants have been asked to match the road width with the area. However, that was tricky as the road width changed several times through the course of the block. Mr. Andrus stated they would be working with the applicant on that issue. Engineering recommended approval of the project.

Public Hearing: There were no comments.

Shawn Argyle was there to answer any questions. He commented they lived in the area and wanted to stay close to where they are from. They would be building homes for parents on the smaller lots.

**Eric Franson moved to approve the preliminary plan of Covington Cove with the findings as listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report. Leonard Hight seconded the motion. The voting was as follows:**

<b>John Woffinden, Chairman</b>	<b>Aye</b>
<b>Christine Anderson</b>	<b>Aye</b>
<b>Harold Dudley</b>	<b>Aye</b>
<b>Geoff Dupaix</b>	<b>Aye</b>
<b>Eric Franson</b>	<b>Aye</b>
<b>Leonard Hight</b>	<b>Aye</b>
<b>Nathan Schellenberg</b>	<b>Aye</b>

**The motion passed.**

Review and action on a commercial site plan for the Timp Rentals Parking Lot Expansion, located at 136 North West State Road in the GC-1 General Commercial zone

Mr. Olsen explained this was an expansion for the Timp Rentals parking lot. This had been anticipated at the time of the zone change for the town homes. As part of that approval, this area was zoned the GC zone for this project. The subdivision plat has been recorded so this could move forward.

Mr. Andrus stated engineering recommended approval.

Joe Phelon represented the applicants and explained they want to expand the parking lot. He pointed out that the landscaping would be maintained by Timp Rentals, not by the Green Springs HOA as noted in the plat.

**Eric Franson moved to approve the commercial site plan for Timp Rentals located at 136 North West State Road, with the findings as listed in the staff report and subject to any findings, conditions and modifications listed in the engineering report. Geoff Dupaix seconded the motion.**

Ms. Anderson asked if there might be any lighting issues with this project they needed to discuss. Mr. Phelon stated there were no lights being installed in the parking lot; the lighting would come from what was currently there.

**Chairman Woffinden called for a vote on the motion. The voting was as follows:**

<b>John Woffinden, Chairman</b>	<b>Aye</b>
<b>Christine Anderson</b>	<b>Aye</b>
<b>Harold Dudley</b>	<b>Aye</b>
<b>Geoff Dupaix</b>	<b>Aye</b>



**REQUEST FOR COUNCIL ACTION  
CITY OF AMERICAN FORK  
JULY 26, 2016**

**Department** Recorder      **Director Approval** Terilyn Lurker

**AGENDA ITEM** Review and action on a Development Agreement with Rivulet Apartments LLC for impact fee credits.

**SUMMARY RECOMMENDATION** Staff recommends approval of the Development Agreement with Rivulet Apartments LLC.

**BACKGROUND** Rivulet Apartments LLC proposes a development agreement for the dedication of a public park in the Rivulet Subdivision. On November 10, 2015, the City Council approved the plat and site plan for the subdivision.

The developer agrees to dedicate 6.94 acres of land to be used as a public park for recreational use with a portion to be part of the 620 South roadway. The City will bear all costs associated with developing and maintaining the park and portion of 620 South. The Developer will receive impact fee credits for park, storm water and pressurized irrigation in the amount of \$786,017.

The agreement has been reviewed by Legal Counsel and given their approval.

**BUDGET IMPACT** The amount of \$786,017 will be applied as park, storm water and pressurized irrigation impact fee credits.

**SUGGESTED MOTION** I move to approve the Development Agreement with Rivulet Apartments LLC for impact fee credits in exchange for the dedication of open space.

**SUPPORTING DOCUMENTS**

Development Agreement Rivulet 071816 (DOCX)  
Rivulet Development Agreement - Exhibit A (PDF)

**DEVELOPMENT AGREEMENT**  
*FOR DEDICATION OF OPEN SPACE IN EXCHANGE FOR  
 CREDIT TOWARD CITY IMPACT FEES*

This Development Agreement (the “*Agreement*”) is made and entered into this \_\_\_ day of \_\_\_\_\_, 2016, by and between **American Fork City Corporation**, a Utah municipal corporation (the “*City*”), and **Rivulet Apartments LLC**, a Utah limited liability company (the “*Developer*”).

**RECITALS**

WHEREAS, under the Utah Municipal Land Use, Development and Management Act (Utah Code § 10-9a-101, et seq.) and American Fork City Code (the “*City Code*”) § 17.1.601, the American Fork City Council (the “*City Council*”) is authorized to enter into development agreements; and

WHEREAS, Developer owns and desires to develop and use an approximately 12.79-acre site at 400 South and 860 East in American Fork as a multi-family residential development known as the Rivulet Apartments (the “*Project*”); and

WHEREAS, on November 10, 2015, the City Council approved the plat and site plan for the Project; and

WHEREAS, adjacent to the Project, Developer also owns an approximately 6.94-acre site which Developer desires to dedicate to the City for use as a park; and

WHEREAS, the City desires to accept such dedication for the benefit of its residents; and

WHEREAS, City will provide Developer park, storm water, and pressurized irrigation impact fee credits in exchange for the dedication of property; and

WHEREAS, the City Council finds that the Project as approved by the City and this Agreement are in conformity with the American Fork City General Plan and the City Code; and

WHEREAS, the parties desire to enter into this Agreement to establish the rights and responsibilities of Developer and City.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, and other good and valuable consideration. The receipt and sufficiency of which is hereby acknowledged, the City and Developer hereby agree as follows:

**AGREEMENT**

1. **Recitals.** The Recitals are hereby incorporated as part of this Agreement.

2. **Property.** Developer hereby dedicates to the City the parcel marked as “Parcel 2” on the plat map attached hereto as Exhibit A (the “*Dedicated Parcel*”), consisting of approximately 6.94 acres of land located at approximately \_\_\_\_\_ . City hereby accepts such Dedicated Parcel.
3. **Improvements.** At the time in which the City is prepared to develop the Dedicated Parcel, the City shall develop the Dedicated Parcel as a public park for recreational use, except that portion of the Dedicated Parcel which is to be part of the 620 South roadway, as shown in Exhibit A. The City shall bear all costs associated with developing and maintaining the park and the associated portion of 620 South. There is no specified period of time that the City must begin or complete development of the Dedicated Parcel.
4. **Impact Fee Credit.** City agrees provide to Developer impact fee credits against the payment of park, storm water, and pressurized irrigation impact fees for the Project in the total amount of \$786,017.
5. **Impact Fee Application and Use.** The credit of park, storm water, and pressurized irrigation impact fees shall be applied immediately as building permits are applied for and issued within the Subdivision.
6. **Recording.** This Agreement shall be recorded against the Dedicated Parcel, and only the Dedicated Parcel, and shall be deemed to run with such land.
7. **Joint Venture.** This Agreement does not create any joint venture, partnership, undertaking, or business arrangement between the parties hereto nor any rights or benefits to third parties.
8. **Modification.** This Agreement may only be modified or altered by a writing signed by both parties.
9. **Choice of Law.** This Agreement shall be governed and construed in accordance with the laws of Utah.
10. **Attorney Fees.** In the event either party seeks to enforce the terms hereof in a lawsuit or other proceeding, the prevailing party shall be entitled to an award of the costs incurred, including reasonable attorney fees.
11. **Entire Agreement.** This Agreement constitutes the entire agreement between the parties on the subject matter of dedicating the Dedicated Parcel in exchange for credit toward City impact fees.
12. **Invalid Provision.** If any provision of this Agreement is determined to be invalid or unenforceable, all other provisions nevertheless shall remain effective and binding on the parties hereto.

13. **Execution.** This Agreement may be executed in multiple original counterparts, each of which shall be deemed to be an original and all of which, taken together, shall constitute one and the same Agreement.

**In witness whereof**, the parties hereto have caused this Agreement to be executed as of the date first mentioned above.

**DEVELOPER:**

Rivulet Apartments LLC,  
a Utah limited liability company

**CITY:**

American Fork City Corporation,  
a Utah municipal corporation

\_\_\_\_\_  
Name:  
Title:

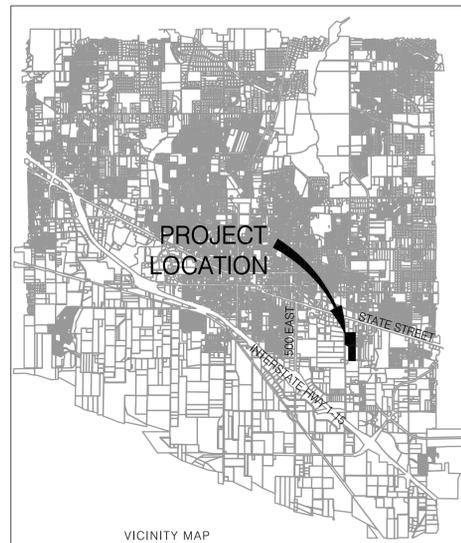
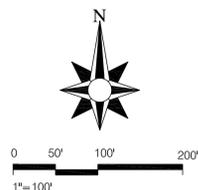
\_\_\_\_\_  
James H. Hadfield, Mayor

Attest: \_\_\_\_\_  
Terilyn Lurker, City Recorder

City Seal:

Attachment: Development Agreement Rivulet 071816 (1389 : Rivulet Apartments Development Agreement)

A SUBDIVISION IN AMERICAN FORK CITY  
RIVULET SUBDIVISION  
A SUBDIVISION LOCATED IN THE SE 1/4 OF SECTION 24,  
TOWNSHIP 5 SOUTH, RANGE 1 EAST  
SALT LAKE BASE & MERIDIAN  
AMERICAN FORK CITY, UTAH COUNTY, UTAH



**SURVEYOR'S CERTIFICATE**  
I, VICTOR E. HANSEN DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NUMBER 176695 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS, HAVE COMPLETED A SURVEY OF THE PROPERTY DESCRIBED ON THIS PLAT, AND HAVE PLACED MONUMENTS AS REPRESENTED ON THE PLAT.

**BOUNDARY DESCRIPTION**  
A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, AND THE SOUTHWEST QUARTER OF SECTION 19, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, THE BASIS OF BEARINGS IS N00°24'14"W BETWEEN THE EAST QUARTER CORNER AND THE NORTHEAST SECTION CORNER OF SECTION 24, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT S00°15'12"E 410.65 FEET ALONG THE SECTION LINE AND WEST 373.17 FEET FROM THE EAST QUARTER CORNER OF SECTION 24, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE S89°45'34"E 237.96 FEET; THENCE S00°58'53"E 0.86 FEET; THENCE S89°40'35"E 272.60 FEET; THENCE N01°08'15"E 0.77 FEET; THENCE S89°28'00"E 136.44 FEET; THENCE S00°00'16"W 194.45 FEET; THENCE S00°29'09"W 308.87 FEET; THENCE S90°00'01"E 371.05 FEET; THENCE S00°00'02"E 825.01 FEET; THENCE S00°00'20"E 46.25 FEET; THENCE S90°00'00"W 192.99 FEET; THENCE N88°42'10"W 212.51 FEET; THENCE N00°01'40"E 883.34 FEET; THENCE N56°19'21"W 101.53 FEET; THENCE N67°35'21"W 19.83 FEET; THENCE N57°17'00"W 4.61 FEET; THENCE N67°56'34"W 133.68 FEET; THENCE N00°37'29"W 100.00 FEET; THENCE N00°49'39"W 1.42 FEET; THENCE N00°37'29"W 117.33 FEET; THENCE N87°33'09"W 1.47 FEET; THENCE N00°32'08"W 526.04 FEET TO THE POINT OF BEGINNING.  
CONTAINING 20.548 ACRES, MORE OR LESS.

DATE \_\_\_\_\_ SURVEYOR \_\_\_\_\_  
(SEE SEAL BELOW)

**OWNER'S DEDICATION**

KNOWN ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREIN AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

OWNER \_\_\_\_\_ OWNER \_\_\_\_\_  
OWNER \_\_\_\_\_ OWNER \_\_\_\_\_

**ACKNOWLEDGMENT**

STATE OF UTAH  
COUNTY OF UTAH  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES \_\_\_\_\_  
NOTARY PUBLIC  
(SEE SEAL BELOW)

**ACCEPTANCE BY LEGISLATIVE BODY**

THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL THE STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

MAYOR \_\_\_\_\_ CITY COUNCIL MEMBER \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ CITY COUNCIL MEMBER \_\_\_\_\_  
CITY COUNCIL MEMBER \_\_\_\_\_ CITY COUNCIL MEMBER \_\_\_\_\_

APPROVED: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
CITY ENGINEER (SEE SEAL BELOW) CLERK - RECORDER (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL  
APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE AMERICAN FORK CITY PLANNING COMMISSION.

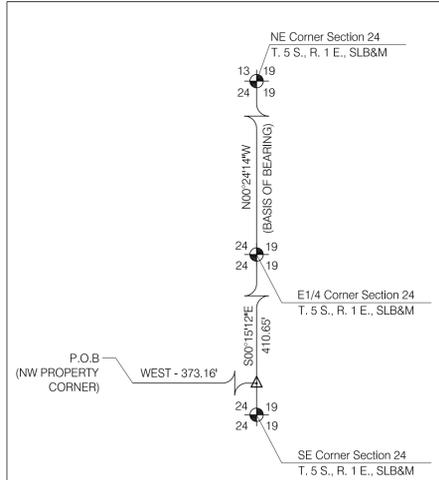
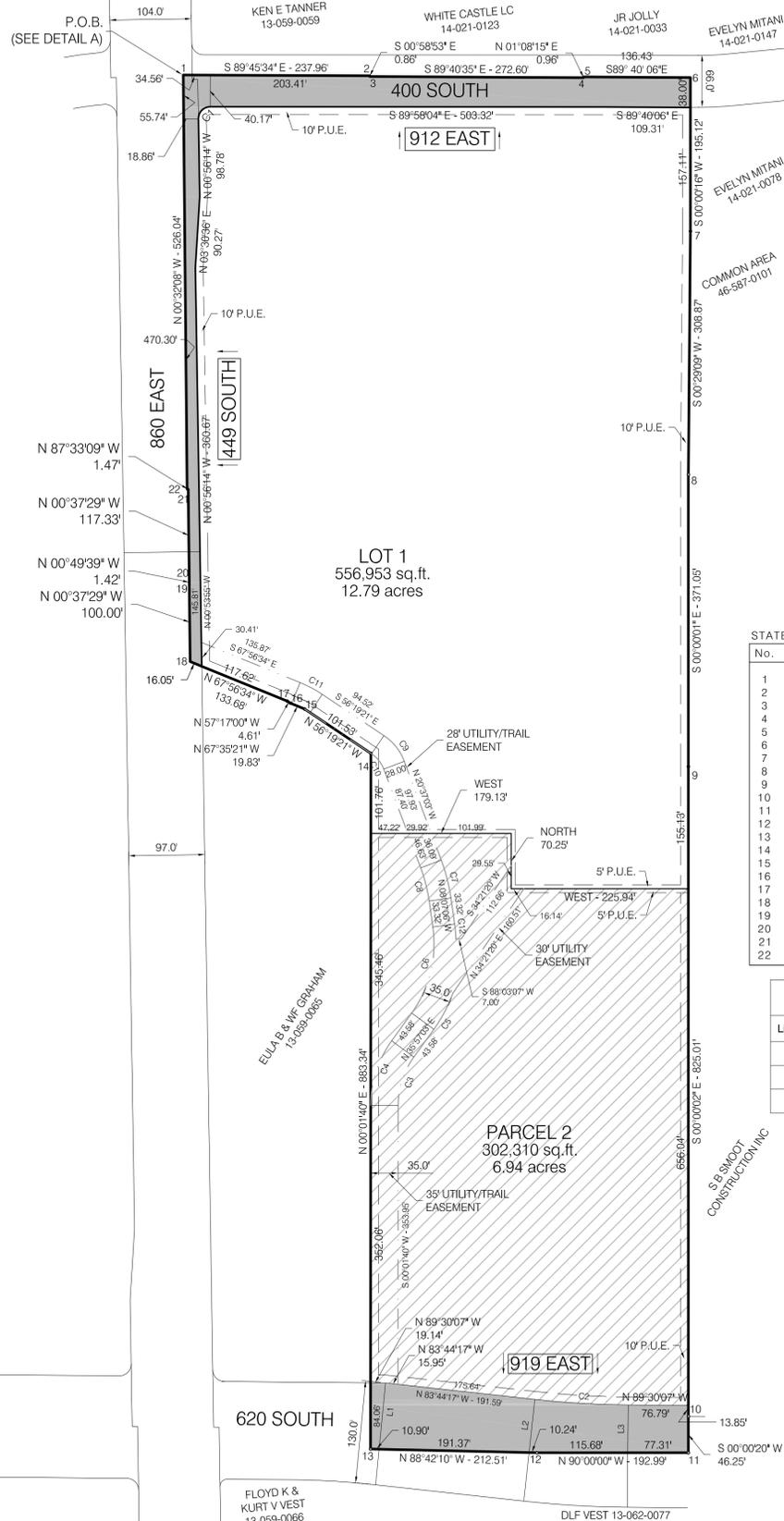
PLANNER \_\_\_\_\_ PLANNING COMMISSION CHAIRMAN \_\_\_\_\_

**RIVULET SUBDIVISION**

A SUBDIVISION LOCATED IN THE SE 1/4 OF SECTION 24,  
TOWNSHIP 5 SOUTH, RANGE 1 EAST  
SALT LAKE BASE & MERIDIAN

AMERICAN FORK CITY, UTAH COUNTY, UTAH  
SCALE 1" = 40 FEET

SURVEYOR'S SEAL NOTARY PUBLIC'S SEAL CITY ENGINEER'S SEAL CLERK-RECORDER SEAL



- LEGEND**
- Section Corner
  - Street Monument
  - Property Corner
  - Street Light
  - Fire Hydrant
  - Section Line
  - Property Line
  - Easement Line
  - Road Dedicated to A.F. City
  - Area Acquired by A.F. City
  - No Basements Allowed

**STATE PLANE COORDINATES**

No.	Northing	Easting
1	7303157.6549	1563984.5403
2	7303156.6561	1564222.4350
3	7303155.7966	1564222.4497
4	7303154.2571	1564494.9708
5	7303155.2145	1564494.9898
6	7303154.4248	1564631.3815
7	7302959.3627	1564631.3659
8	7302650.5882	1564628.7477
9	7302279.6396	1564628.7495
10	7301454.8504	1564628.7594
11	7301408.6095	1564628.7550
12	7301408.6095	1564435.8154
13	7301413.4192	1564223.4180
14	7302296.5211	1564223.8466
15	7302352.8059	1564139.3793
16	7302360.3634	1564121.0533
17	7302362.8545	1564117.1755
18	7302413.0414	1563993.3153
19	7302513.0082	1563992.2253
20	7302514.4297	1563992.2048
21	7302631.7188	1563990.9259
22	7302631.7817	1563989.4559

**Parcel Line Table**

Line #	Length	Direction
L1	84.54	N5°37'30.73"E
L2	67.98	N6°15'42.66"E
L3	60.78	N0°29'53.27"E

**GEOTECHNICAL REPORT**

This property is subject to the findings of a Geotechnical Study dated February 7, 2007 performed by Earthtec Engineering and recorded as Entry No. \_\_\_\_\_, in the office of the Utah County Recorder.

**Curve Table**

Curve #	Length	Tangent	Radius	Delta	Chord Direction	Chord Length
C1	23.81'	15.25'	15.00'	90°56'20"	S44°32'51"W	21.39'
C2	119.29'	59.69'	1185.82'	5°45'49"	S86°37'12"E	119.24'
C3	65.83'	34.04'	105.00'	35°52'23"	S17°59'21"W	64.76'
C4	87.78'	45.38'	140.00'	35°52'23"	S17°59'21"W	86.35'
C5	52.04'	26.19'	185.00'	16°07'00"	N27°53'33"E	51.87'
C6	115.37'	60.71'	150.00'	44°04'08"	N13°54'59"E	112.55'
C7	49.74'	24.97'	228.00'	12°29'57"	N14°22'04"W	49.64'
C8	43.63'	21.90'	200.00'	12°29'57"	N14°22'04"W	43.54'
C9	42.38'	21.90'	68.00'	35°42'18"	N38°28'12"W	41.69'
C10	24.93'	12.88'	40.00'	35°42'18"	N38°28'12"W	24.53'
C11	32.04'	16.08'	158.00'	11°37'13"	N62°07'57"W	31.99'
C12	19.17'	9.59'	178.00'	6°10'13"	N05°01'59"W	19.16'

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require easements in order to serve this development. This approval does not constitute abrogation or waiver of any other existing rights, obligation or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners' Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Questar's Right-of-Way department at 1-800-366-6532.

Questar Gas \_\_\_\_\_ Date \_\_\_\_\_

1. Pursuant to Utah Code Ann. 54-3-27 this plat conveys to the owner(s) or operators of utility facilities a public utility easement along with all the rights and duties described therein.  
2. Pursuant to Utah Code Ann. 17-27a-603(4)(c)(ii) Rocky Mountain Power accepts delivery of the PUE as described in this plat and approves this plat solely for the purpose of confirming that the plat contains public utility easements and approximates the location of the public utility easements, but does not warrant their precise location. Rocky Mountain Power may require other easements in order to serve this development. This approval does not affect any right that Rocky Mountain Power has under:  
(1) a recorded easement or right-of-way,  
(2) the law applicable to prescriptive rights,  
(3) Title 54, Chapter 6a, Damage to Underground Utility Facilities or  
(4) any other provision of law.

Rock Mountain Power \_\_\_\_\_ Date \_\_\_\_\_

**BASIS OF BEARING**

BASIS OF BEARING AS SHOWN ON THIS PLAT IS BASED ON NAD 83 STATE PLANE COORDINATES, UTAH CENTRAL ZONE, AND INFORMATION AVAILABLE AT THE UTAH COUNTY RECORDER'S OFFICE.

**FLOOD ZONE DESIGNATION**

SUBJECT PROPERTY FALLS WITHIN FLOOD ZONE   X   AS DELINEATED BY F.E.M.A. FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP # 4955170120 B EFFECTIVE JULY 17, 2002

**WATER AND SEWER AUTHORITY APPROVAL**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ BY THE WATER AND SEWER AUTHORITY.

PUBLIC WORKS DEPARTMENT DIRECTOR \_\_\_\_\_