

BOUNTIFUL CITY
PLANNING COMMISSION AGENDA
Tuesday, July 19, 2016
6:30 p.m.

NOTICE IS HEREBY GIVEN that the Bountiful City Planning Commission will hold a meeting in the Conference Room at City Hall, 790 South 100 East, Bountiful, Utah, at the time and on the date given above. The public is invited. Persons who are disabled as defined by the American with Disabilities Act may request an accommodation by contacting the Bountiful Planning Office at 298-6190. Notification at least 24 hours prior to the meeting would be appreciated.

1. Welcome and Introductions.
2. Approval of the minutes for July 5, 2016.
3. Consider preliminary and final site plan approval for a bank with drive-thru at 95 East 500 South, Bank of American Fork, Ken Peck, applicant.
4. Consider preliminary site plan approval for the expansion of the Intermountain Health Care Facility (IHC) at 390 N Main, Jimmy Nielsen, Architect and Project Manager for IHC.
5. Planning Director's report, review of pending applications and miscellaneous business.



Chad Wilkinson, City Planner

Bountiful City
Planning Commission Minutes
July 5, 2016
6:30 P.M.

Present: Chairman – Sean Monson; Vice Chairman – Mike Allen; Planning Commission Members – Dave Badham, Von Hill, Tom Smith, and Sharon Spratley; City Council Representation - Richard Higginson; City Engineer – Paul Rowland; and Recording Secretary – Darlene Baetz

Excused: City Planner – Chad Wilkinson and City Attorney – Clinton Drake

1. Welcome and Introductions.

Chairman Monson opened the meeting at 6:30 pm and welcomed all those present.

2. Approval of the minutes for June 7, 2016.

Sharon Spratley made a motion to approve the minutes for June 7, 2016 as written. Tom Smith seconded the motion. Voting passed 7-0 with Commission members Allen, Badham, Higginson, Hill, Monson, Smith and Spratley voting aye.

3. Consider a Preliminary and Final Approval of the Deer Hollow at Stone Creek Amended, 1090 E 400 N, Joan Peterson, applicant.

Joan Peterson was present. Paul Rowland presented the staff report.

In March of 2015, Ms. Joan Peterson was granted final approval for a four lot subdivision of the property on the southeast corner of 400 North Street and Davis Blvd. She is now requesting preliminary and final approval of an amendment to that plat.

In review, the existing subdivision is located in the R-3 zone and consists of four lots, two fronting onto Davis Blvd., one fronting onto 400 North St. and a corner lot fronting both streets. All of the lots contain more than the minimum required footage of 11,000 s.f., with the smallest being 11,023 sf. and the largest containing almost 30,200 s.f. The two lots fronting Davis Blvd. have just over 103 and 129 ft. of frontage, the corner lot has 110 ft. along Davis Blvd and 119 ft along 400 North, and the lot fronting 400 North has a frontage of almost 125 ft.

Ms. Peterson has decided to build a new home on lot 4 and is desirous of modifying this lot to accommodate her proposed house plans and to include more of the stream frontage. The change takes property from lot 1 and lot 3 and adds it to lot 4. Lot 2 is not affected. All of the modified lots still have more than the minimum frontage and area. The only significant change is taking a large part of the south portion of lot 1, which is in the FEMA Flood Area, and adding it to lot 4.

We recommend that the Planning Commission pass a recommendation for Preliminary and Final Approval of the Deer Hollow at Stone Creek Amended to the full City Council with the conditions listed below.

1. Payment of all required fees.
2. Provide a current Title Report.
3. No building will be allowed in the mapped Special Flood Hazard Area.
4. Lot 2, the corner lot, shall have its access from Davis Blvd.

Mr. Rowland discussed that the anticipated updates to the FEMA Flood maps could be in 2018-2019.

Richard Higginson made a motion to recommend to City Council approval of a Preliminary and Final Approval of the Deer Hollow at Stone Creek Amended, 1090 E 400 N, Joan Peterson, applicant. Dave Badham seconded the motion.

Voting passed 6-0-1 in favor with Commission members Allen, Badham, Higginson, Monson, Smith and Spratley voting aye with Von Hill abstaining.

4. Planning Director's report, review of pending applications and miscellaneous business.

1. Next Planning Commission meeting to be held on July 19, 2016.
2. Next City Council meeting to be held on July 12, 2016.
3. IHC has submitted for site plan approval of the expansion of the medical offices on Main and 400 North.
4. Upcoming agenda items.

Chairman Monson ascertained there were no other items to discuss. The meeting was adjourned at 6:37 p.m.

Chad Wilkinson, City Planner

Commission Staff Report

Item # 3

Subject: Preliminary and Final Site Plan Review for a Bank with Drive-through
Author: Chad Wilkinson, City Planner
Address: 95 E. 500 South
Date: July 19, 2016



Description of Request:

The applicant, Bank of American Fork, is requesting site plan approval for change of use in an existing building from a drive-through restaurant to a bank. The proposal includes relocation of the existing drive-through to the north side of the building. The property is located in the DN (Downtown) zoning district and banks are a permitted use in the zone.

Background and Analysis:

The proposed bank will be located in the building previously occupied by Dunkin Donuts at the intersection of 500 South and 100 East. The building is approximately 2,200 square feet in area and ±23 feet in height. The major change proposed in the application includes relocation of the existing drive-through from the west side of the building to the north side. The applicant proposes to construct a small addition to the north side of the building along with a covered drive through space. The proposed drive-through will still provide adequate queue length on site and the design will allow for adequate circulation on site without major impacts to the public street system.

The applicant proposes to install a stone veneer on the predominantly stucco building. This change is in keeping with the design standard of the Code which encourages designs that utilize a variety of low maintenance materials.

The submitted plan shows a total of 14 parking spaces which exceeds the 11 spaces required by Code for a bank of this size. Landscaping on the site will be slightly modified to accommodate the new drive-through. The plan submitted shows that the minimum landscape area of 15 percent will still be provided through replacement of some existing concrete areas on the south of the site. However, a submittal of a final landscape plan detailing plant types and changes to irrigation will be required prior to issuance of a building permit.

The existing location of the dumpster may pose problems for access by waste collection vehicles. In addition, property line information from Davis County shows that the dumpster may be located partially on an adjacent property. Prior to approval of the building permit, the applicant will be required to demonstrate that the dumpster is completely on their property or provide a revised location that meets the standards of the Code.

Department Review

This proposal has been reviewed by the Engineering and Planning Departments.

Significant Impacts

Impacts are expected to be minimal as the property has been commercially developed for many years.

Recommended Action

Staff Recommends approval of the request for preliminary and final site plan review subject to the following conditions:

1. Complete any and all redline corrections.
2. Obtain a building permit for the proposed modifications to the north side of the building.
3. Prior to building permit issuance, provide evidence that the existing dumpster is located completely on property owned or controlled by the applicant, or provide a revised location meeting the requirements of the Code.
4. Prior to issuance of the building permit, submit a final landscape plan meeting the requirements of Chapter 16 of the Bountiful City Zoning Ordinance.
5. Complete any modifications required by conditions of the Planning Commission for preliminary approval.

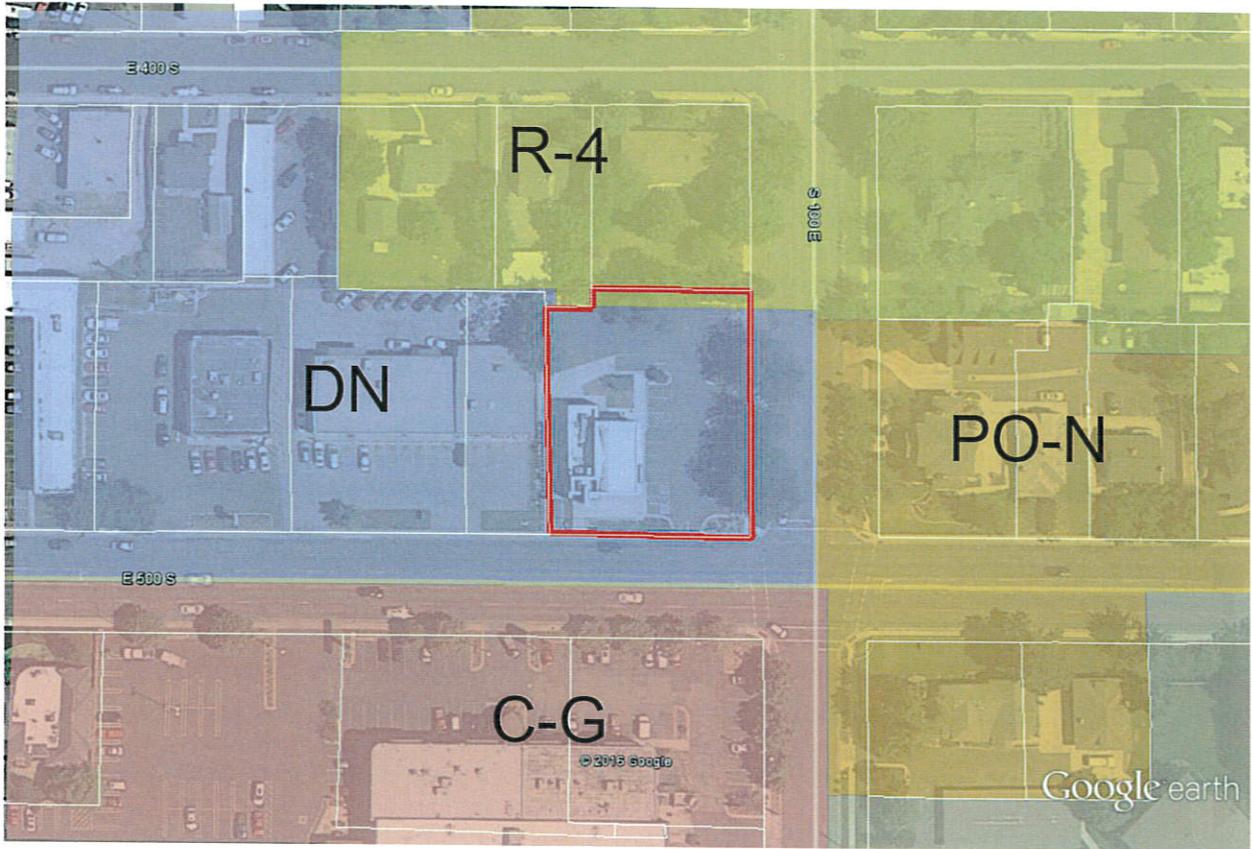
Attachments

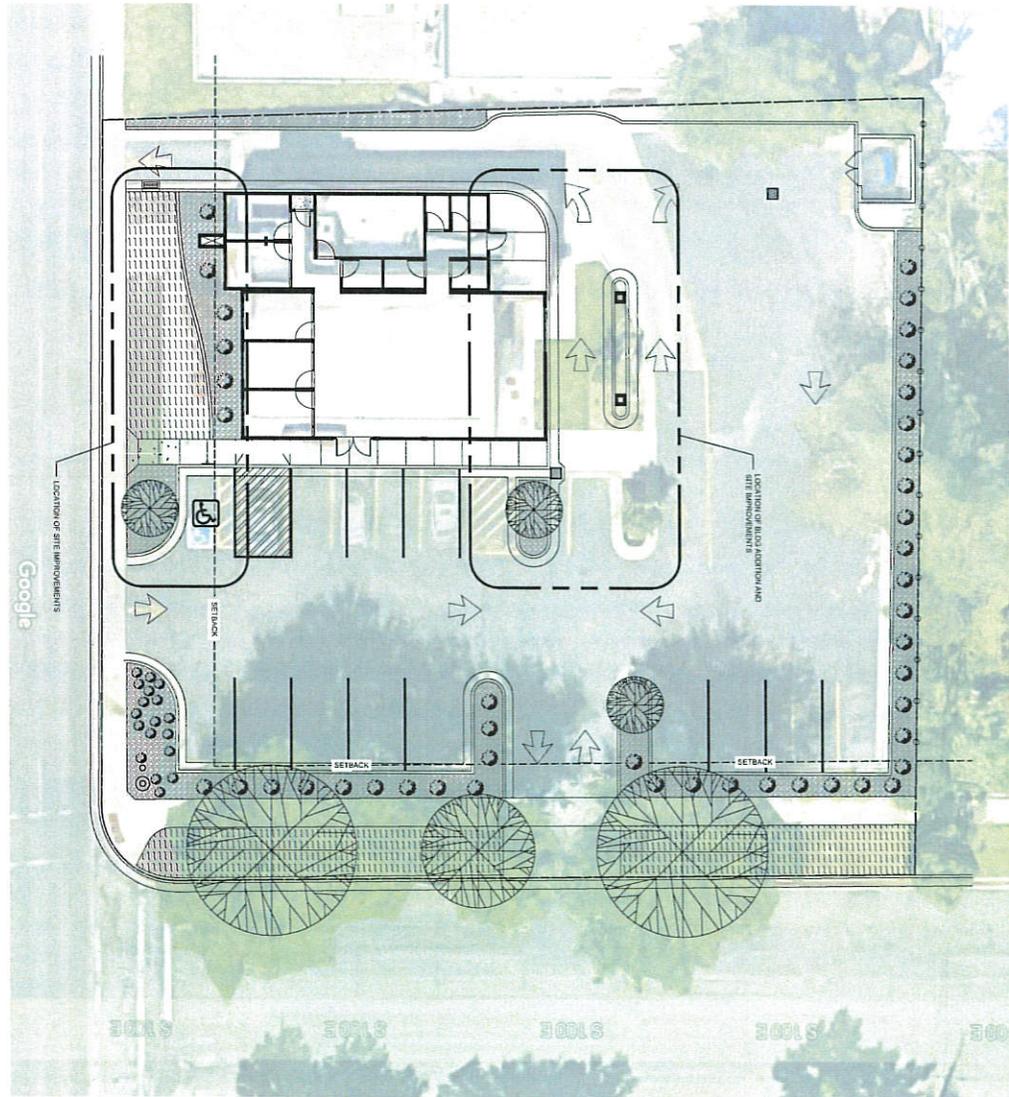
1. Aerial photo
2. Zoning Map
3. Site plan
4. Building elevations

Aerial Photo



Zoning Map





SITE PLAN

1" = 30'



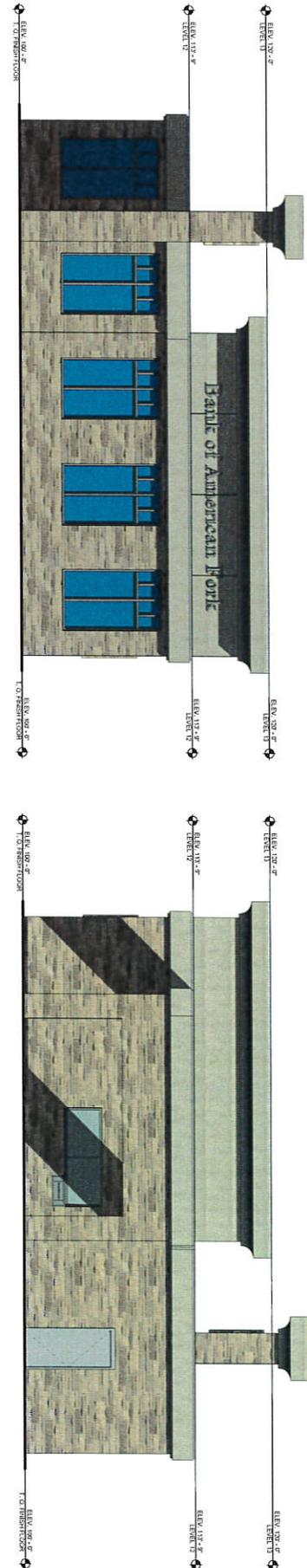
PROJECT TITLE
BOUNTIFUL BRANCH REMODEL
 95 E 500 SOUTH BOUNTIFUL, UTAH

REVISIONS



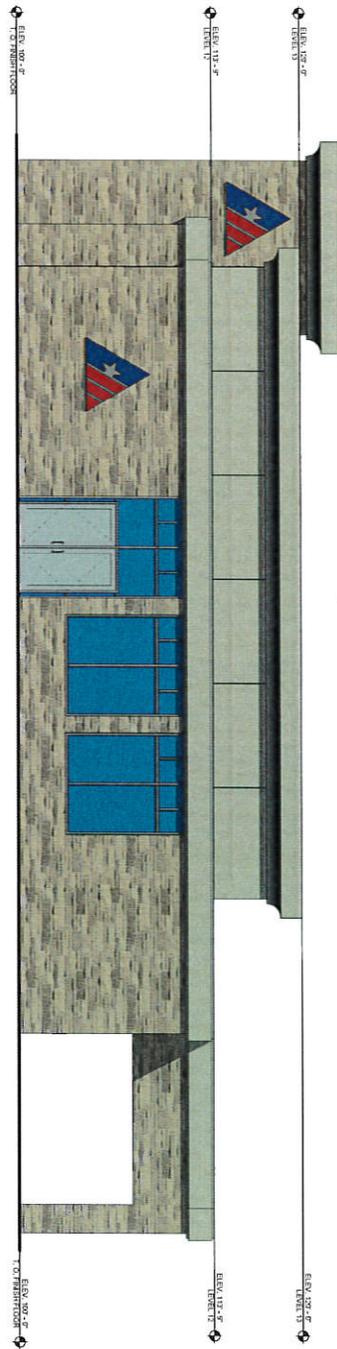
KMA ARCHITECTS
 KEVIN MADSON & ASSOCIATES
 ARCHITECTURE & PLANNING
 195 EAST 100 NORTH PROVO, UTAH 84606
 PHONE: (801) 377-5062
 KMAARCHITECTS.COM



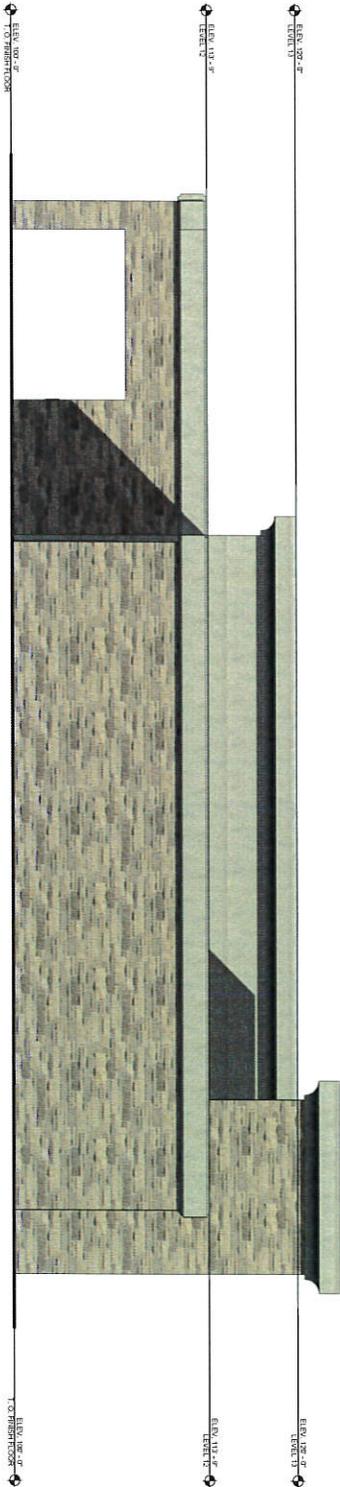


SOUTH ELEVATION
1/4" = 1'-0"

NORTH ELEVATION
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"



WEST ELEVATION
1/4" = 1'-0"

PROJECT TITLE
BOUNTIFUL BRANCH REMODEL
 BANK OF AMERICAN FORK
 BOUNTIFUL, UT

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT #
 DATE
 DRAWN BY
 CHECKED BY
 APPROVED BY



KMA ARCHITECTS
 KEVIN MADSON & ASSOCIATES
 ARCHITECTURE & PLANNING
 195 EAST 100 NORTH PROVO, UTAH 84606
 PHONE: (801) 377-5062
 KMAARCHITECTS.COM



A3.1

Commission Staff Report

Item # 4

Subject: Preliminary site plan review for an expansion of an existing Medical Office building

Address: 390 N. Main Street

Author: Chad Wilkinson, Planning Director

Department: Planning and Engineering

Date: July 19, 2016



Background

The applicant, Jimmy Nielson, representing Intermountain Health Care (IHC), is requesting preliminary site plan approval for an expansion of the existing IHC Clinic located at 390 N. Main Street. The property is located in the DN (Downtown) zoning district and medical clinics are a permitted use in the zone subject to site plan review. The proposed expansion is approximately 52,700 square feet consisting of 3 floors.

Background and Analysis

The existing IHC building at 390 North Main resulted from a remodel of the Shipley building in 2007. IHC purchased the Shipley building in 1999 along with properties to the south for the purpose of establishing a medical office campus in Bountiful. The current request is part of a larger expansion plan for IHC at this location. The proposed expansion area of 52,721 square feet will more than double the existing clinic size. The proposed building will be 3 levels with a screening structure extending above the roof to screen roof mounted equipment and an elevator shaft. Architectural materials include a mix of brick, metal panels, and a substantial number of windows.

Parking

One of the predominant issues with the current proposal is parking. The Code requires a minimum of 1 space per 250 square feet (4 spaces per 1,000 square feet) for medical clinic uses based on gross floor area square footage. The combined floor area of the existing and proposed clinic space totals approximately 89,430 square feet requiring a total of 358 parking spaces. The proposal includes a total of 176 spaces in the onsite parking areas adjacent to the proposed clinic. The Downtown zone standards have recently been modified to allow for joint use of parking located within 500 feet of the subject property. The proposal includes joint use of parking associated with the IHC building located at 280 North Main. The application also includes an expansion of the parking area associated with the 280 North Main building (identified as South Lot on the submitted plan). With the proposed expansion of the parking area to the south the total provided spaces increases to 360. After calculating the required parking for the 15,000 square foot IHC building located to the south, total parking required for both sites under the standards of the Code is 418 spaces.

The Code allows for the approving authority to reduce the required parking for uses that have varying intensities during the course of the day. The parking reduction must be based on professional standards and the approving authority can request a shared parking analysis prepared by a traffic engineer. The applicant has submitted a parking analysis prepared by Ryan Hales, a local traffic engineer. Based on the analysis a peak parking demand of 3.45 spaces per 1,000 square feet was calculated. Based on this rate a total of 360 spaces are recommended by the traffic engineer to adequately meet parking needs on the site. The proposed rate would constitute a reduction of approximately 58 spaces between the north and south lots. The City Engineer and City Planner have reviewed the requested reduction and recommend that a reduction may be appropriate in this instance, contingent on the applicant providing details on future parking plans for the property showing how additional parking will be provided at the time of future expansion.

Building Height

The other predominant issue with the proposed building is height. The Code allows for an overall building height of three stories or 45 feet. The Code allows for accessory elements not used for human occupancy, such as mechanical equipment, to extend above the 45 foot height, provided the City Council does not deem the protrusion to be a public nuisance. The proposed building includes a roofed mechanical screen area that will screen the elevator shaft and other mechanical equipment. Not including the screen area, the building complies with the 45 foot height maximum. With the screen area, the building height extends to a total height of 58 feet. The code does not have specific height limit for mechanical equipment or accompanying screening areas. Section 14-15-104 D. does require that all rooftop equipment should be screened so as not to be visible from the nearest public street. Additionally, screening areas are to be architecturally compatible with the building. The perspectives submitted seem to show this mechanical screen area stepped back from the walls of the building. This stepping back is appropriate to break up the mass of the building and visual impacts to the adjoining neighborhood and should be a requirement of the approval of the building.

The proposed elevations show signage located on the mechanical screen area. The signage standards for the DN zone specifically state that signage may not extend more than two feet above the highest point of a flat roof. Since the mechanical screen is not considered to be the “roof” of the building for the purpose of calculating building height, placing signage on this portion of the building is not consistent with the intent of the signage ordinance and signage should be moved from the screen area to the actual walls of the building and should not extend more than 2 feet above the maximum height of the building.

Landscaping and site design

The proposed building meets the setbacks of the DN zone district. The building has been setback approximately 120 feet from the nearest residential structure to the east. A minimum 10 foot wide landscape buffer shall be provided where the site is adjacent to a residentially zoned property. In addition to the landscaping required for the zone buffer, a solid screening fence or wall shall be constructed along the property line abutting residential properties. This fence or

wall should be shown on the landscaping and site plan. This requirement includes the new parking areas proposed for the area labeled as the south lot. Landscaping for both properties is shown to be 10 percent as required for the DN zone.

Storm water detention for the new parking areas is proposed to be accommodated via underground detention structures in both the north and south parking areas. A new sewer line will be extended across the development parcel connecting to the existing sewer in 300 North Water will also be extended through the site connecting lines on 300 and 400 North along with installation of an onsite fire hydrant.

Department Review

The application has been reviewed by the City Planner and City Engineer.

Significant Impacts

The proposed expansion will have an impact on traffic in and around the project area. The building will also represent a visual impact to the neighborhood.

Recommendation

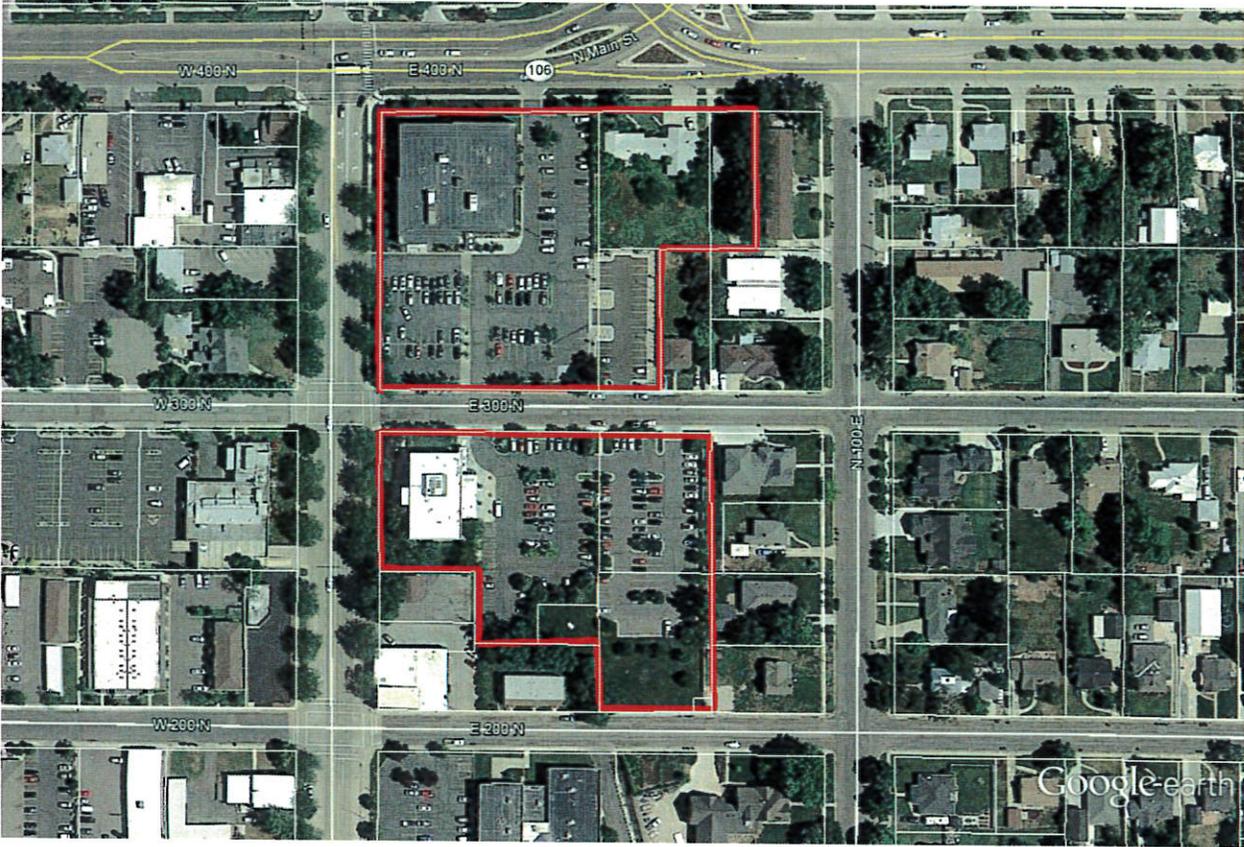
Staff recommends that the Planning Commission forward a recommendation of approval to the City Council for the preliminary site plan subject to the following conditions:

1. Complete any and all redline corrections.
2. Provide a future parking plan showing how parking meeting the requirements of the Land Use Ordinance will be provided with future redevelopment of the site. The plan should include an approximate time frame for implementation of the plan.
3. The applicant shall revise the elevations and perspectives to remove the wall signage from the screen wall areas.
4. Screening features shall be stepped back from the building.
5. Show the required 10 foot wide landscape buffer areas and required solid screening wall or fence along all areas abutting residentially zoned properties.
6. The final site plan submittal shall incorporate any changes required by the Planning Commission and City Council.

Attachments

1. Aerial photo
2. Site and Landscape plan
3. Building elevations and perspectives
4. Parking Analysis from Hales Engineering

Aerial Photo





ARCHITECTURAL
SERVICES
CONSULTING



BOUNTEFUL CLINIC
EXPANSION

380 NORTH MAIN STREET
BOUNTEFUL, UT 84010

Project Manager
Project Architect
Civil Engineer
Mechanical Engineer
Electrical Engineer
Structural Engineer
Landscape Architect
Quantity Surveyor

DATE DESCRIPTION

11-16-2021 SITE PLAN REVIEW

Project Number
Drawing Number

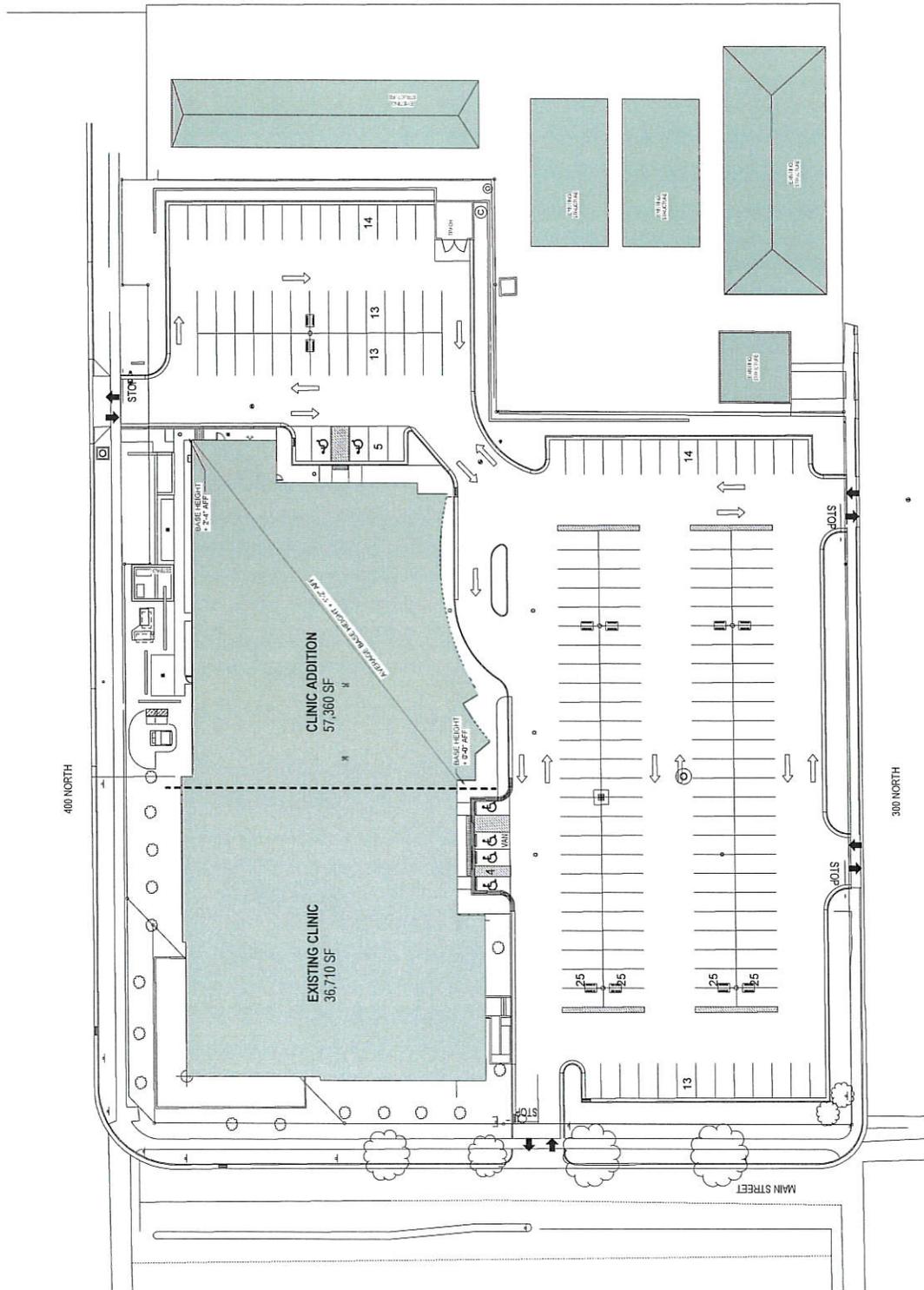
Sheet Name
SITE PLAN - NORTH
LOT

Date
11-16-21

Sheet Number
AS102

Project Name
BOUNTEFUL CLINIC

PARKING CALCULATION
NORTH LOT: 176
SOUTH LOT: 184
TOTAL: 360



1 SITE PLAN - NORTH LOT - SURFACE PARKING



HDR ARCHITECTURE, P.C.
1000 EAST 17TH AVENUE, SUITE 100
DENVER, CO 80202



BOUNTEFUL CLINIC
EXPANSION

360 NORTH MAIN STREET
BOUNTIFUL, UT 84010

Project Name: BOUNTIFUL CLINIC EXPANSION
Project Number: 17-0001
Location: BOUNTIFUL, UT
Client: INTERMOUNTAIN HEALTHCARE
Architect: HDR ARCHITECTURE, P.C.
Date: 01/2017

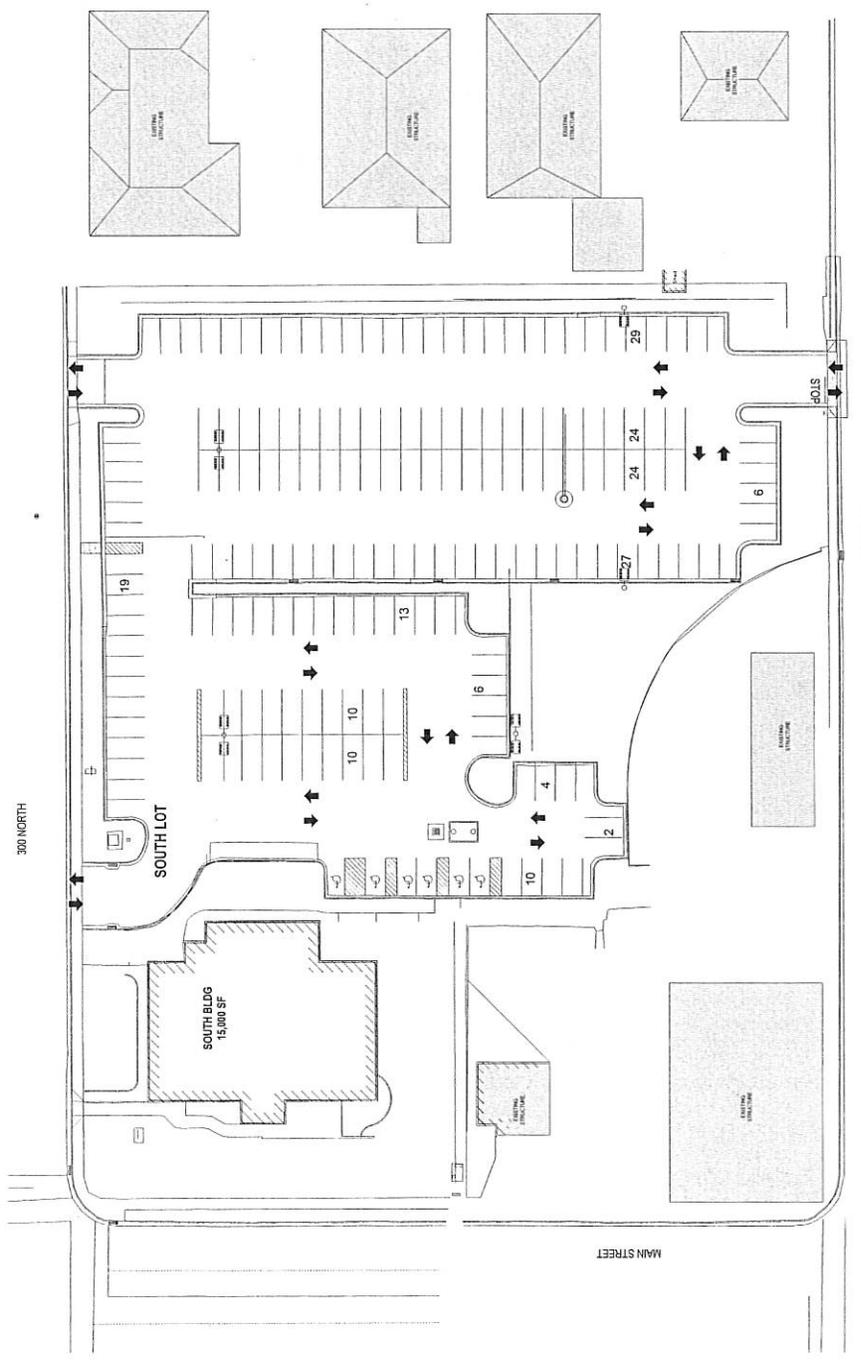
REVISIONS

NO.	DATE	DESCRIPTION
1	01/2017	ISSUED FOR PERMITTING
2	02/2017	REVISED TO REFLECT PERMITTING COMMENTS
3	03/2017	REVISED TO REFLECT PERMITTING COMMENTS
4	04/2017	REVISED TO REFLECT PERMITTING COMMENTS
5	05/2017	REVISED TO REFLECT PERMITTING COMMENTS
6	06/2017	REVISED TO REFLECT PERMITTING COMMENTS
7	07/2017	REVISED TO REFLECT PERMITTING COMMENTS
8	08/2017	REVISED TO REFLECT PERMITTING COMMENTS
9	09/2017	REVISED TO REFLECT PERMITTING COMMENTS
10	10/2017	REVISED TO REFLECT PERMITTING COMMENTS
11	11/2017	REVISED TO REFLECT PERMITTING COMMENTS
12	12/2017	REVISED TO REFLECT PERMITTING COMMENTS
13	01/2018	REVISED TO REFLECT PERMITTING COMMENTS
14	02/2018	REVISED TO REFLECT PERMITTING COMMENTS
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17	05/2018	REVISED TO REFLECT PERMITTING COMMENTS
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22	10/2018	REVISED TO REFLECT PERMITTING COMMENTS
23	11/2018	REVISED TO REFLECT PERMITTING COMMENTS
24	12/2018	REVISED TO REFLECT PERMITTING COMMENTS
25	01/2019	REVISED TO REFLECT PERMITTING COMMENTS
26	02/2019	REVISED TO REFLECT PERMITTING COMMENTS
27	03/2019	REVISED TO REFLECT PERMITTING COMMENTS
28	04/2019	REVISED TO REFLECT PERMITTING COMMENTS
29	05/2019	REVISED TO REFLECT PERMITTING COMMENTS

Project Number: 17-0001
Project Name: BOUNTIFUL CLINIC EXPANSION

Site Name: BOUNTIFUL CLINIC EXPANSION
Site Number: AS103
Project Name: BOUNTIFUL CLINIC EXPANSION

AS103
DESIGN DEVELOPMENT



KEY PLAN



1 SITE PLAN - SOUTH LOT - SURFACE PARKING

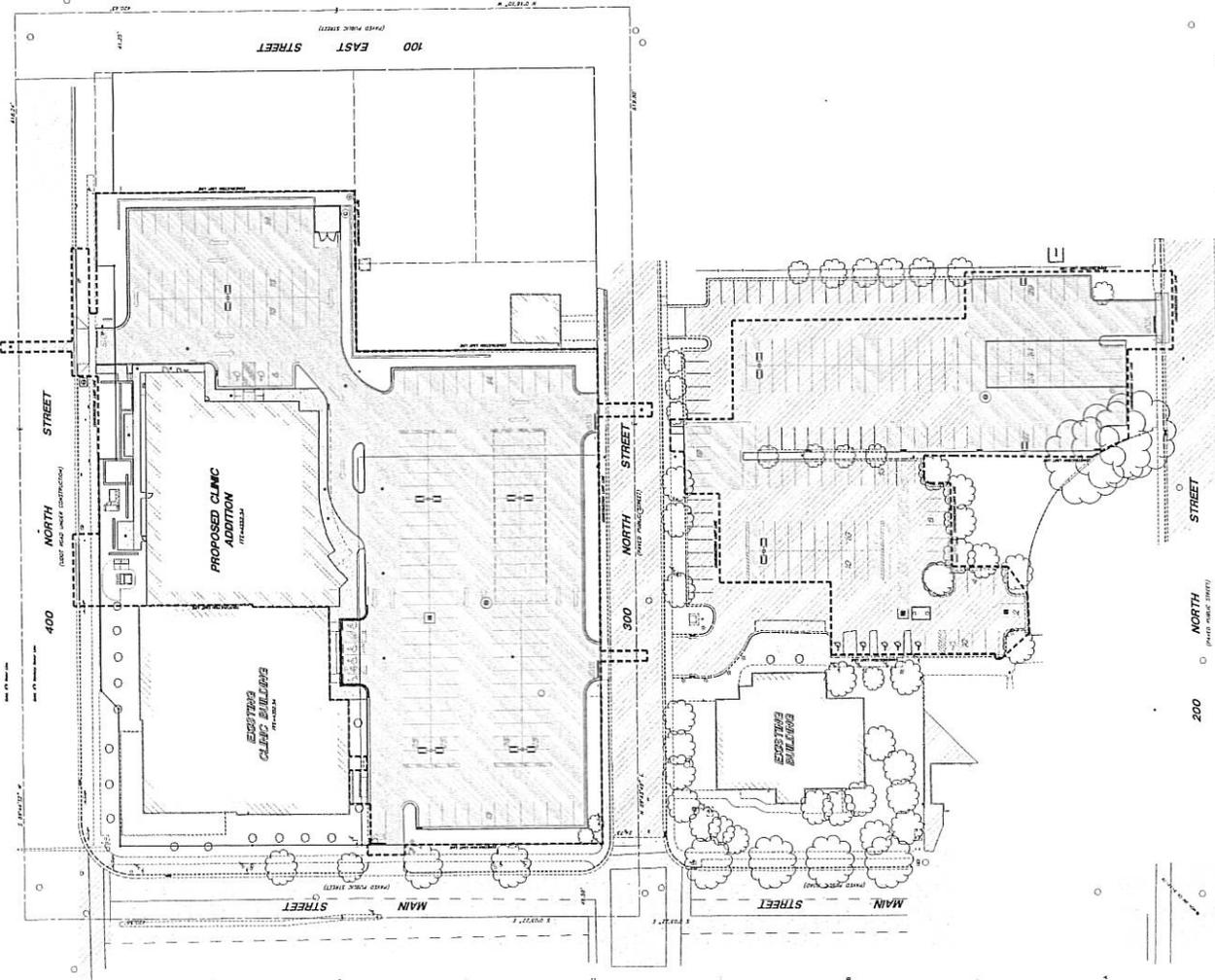


Legend

Scale: 1" = 30'

Graphic Scale

Site	Site Boundary	Proposed Addition	Existing Addition	Existing Building	Existing Parking	Proposed Parking	Proposed Driveway	Proposed Walkway	Proposed Landscaping	Proposed Street	Proposed Sidewalk	Proposed Utility	Proposed Easement	Proposed Right-of-Way	Proposed Fence	Proposed Wall	Proposed Gate	Proposed Sign	Proposed Light	Proposed Tree	Proposed Plant	Proposed Feature
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PARKING STALL DATA TABLE

ADDITIONAL CITY ZONE	20-DOWNTOWN
PARKING AREA	2,127 ACRES
PARKING STALLS REQUIRED	380 STALLS
EXISTING STALLS/1000 SF (10/1,200 SF)	170 STALLS (EXISTING)
STANDARD PARKING SHOWN	170 STALLS (PROPOSED)
MAX PARKING SHOWN	4 STALLS (PROPOSED)

NOTE: SEE 12 SHEET FOR NUMBER OF LANDSCAPE OCCASIONALS

GENERAL SITE NOTES:

1. All dimensions are horizontal unless otherwise noted.
2. All dimensions are in feet unless otherwise noted.
3. All dimensions are to the centerline of the street unless otherwise noted.
4. All dimensions are to the centerline of the driveway unless otherwise noted.
5. All dimensions are to the centerline of the easement unless otherwise noted.
6. All dimensions are to the centerline of the right-of-way unless otherwise noted.
7. All dimensions are to the centerline of the fence unless otherwise noted.
8. All dimensions are to the centerline of the wall unless otherwise noted.
9. All dimensions are to the centerline of the gate unless otherwise noted.
10. All dimensions are to the centerline of the sign unless otherwise noted.
11. All dimensions are to the centerline of the light unless otherwise noted.
12. All dimensions are to the centerline of the tree unless otherwise noted.
13. All dimensions are to the centerline of the plant unless otherwise noted.
14. All dimensions are to the centerline of the feature unless otherwise noted.

ALL DIMENSIONS TO CENTERLINE OF CITY STREETS AND DRIVEWAYS AS SHOWN ON MAP.



ARCHITECTS P.C.
1000 EAST 10TH AVENUE
SUITE 100
DENVER, CO 80218

**ARC Sittio
Design, Inc.**
Architectural Site Design
1000 East 2300 South
Salt Lake City, Utah 84108
Phone: 801-466-3040
www.arcsittio.com

**BOUNTFUL CLINIC
EXPANSION**

380 NORTH MAIN STREET
BOUNTFUL, UT 84010

**Intermountain
Healthcare**

Project Manager: [Name]
Site Architect: [Name]
Civil Engineer: [Name]
Landscape Architect: [Name]
Mechanical Engineer: [Name]
Electrical Engineer: [Name]
Structural Engineer: [Name]
Energy Auditor: [Name]
Interior Designer: [Name]
Construction Manager: [Name]

DATE: 06-22-2011
PROJECT: BOUNTIFUL CLINIC EXPANSION

DATE: 06-22-2011
PROJECT: BOUNTIFUL CLINIC EXPANSION

**LANDSCAPE
PLAN - SOUTH LOT**

SCALE: 1" = 10'-0"

L-L102

REVISIONS

PLANT SCHEDULE

4" DBL DTL. 4 SPT. L-1008 FOR PLANT SCHEDULE

PLANTING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING THEMSELVES FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND SERVICES. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED DUE TO FAILURE TO DO SO.
- CONTRACTOR SHALL NOT UNLAWFULLY PROCEED WITH CONSTRUCTION AS SHOWN WHEN IT IS KNOWN THAT THE PLANTING MATERIALS SHOWN ON THIS PLAN ARE NOT AVAILABLE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS FOR THIS PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION WITH NEARBY UTILITIES AS SHOWN TO ACCOMMODATE THE LANDSCAPE CONSTRUCTION FOR THIS PROJECT.
- ALL PLANT MATERIALS SHALL BE APPROVED BY THE OWNER'S ARCHITECT. CONTRACTOR SHALL VERIFY THE QUALITY AND QUANTITY OF ALL PLANT MATERIALS PRIOR TO INSTALLATION. ANY PROPOSED SUBSTITUTIONS OF PLANT MATERIALS SHALL BE APPROVED BY THE OWNER'S ARCHITECT AND SHALL BE SHOWN ON THE PLANS AS APPROVED BY THE OWNER'S ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
- CONTRACTOR SHALL PROVIDE SOIL ANALYSIS AND TESTING FOR ALL PLANTING AREAS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
- FINAL LOCATIONS OF ALL PLANT MATERIALS SHALL BE SUBJECT TO FIELD CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.

REFERENCE SCHEDULE NOTES

SYMBOL	DESCRIPTION	SIZE
1	BONOLIA, TYP. - SEE SPT. L-1008 DTL. 1	1
2	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 2	16,704 SF
3	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 3	16,704 SF
4	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 4	16,704 SF
5	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 5	16,704 SF
6	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 6	16,704 SF
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21	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 21	16,704 SF
22	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 22	16,704 SF
23	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 23	16,704 SF
24	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 24	16,704 SF
25	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 25	16,704 SF
26	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 26	16,704 SF
27	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 27	16,704 SF
28	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 28	16,704 SF
29	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 29	16,704 SF
30	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 30	16,704 SF
31	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 31	16,704 SF
32	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 32	16,704 SF
33	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 33	16,704 SF
34	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 34	16,704 SF
35	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 35	16,704 SF
36	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 36	16,704 SF
37	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 37	16,704 SF
38	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 38	16,704 SF
39	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 39	16,704 SF
40	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 40	16,704 SF
41	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 41	16,704 SF
42	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 42	16,704 SF
43	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 43	16,704 SF
44	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 44	16,704 SF
45	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 45	16,704 SF
46	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 46	16,704 SF
47	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 47	16,704 SF
48	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 48	16,704 SF
49	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 49	16,704 SF
50	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 50	16,704 SF
51	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 51	16,704 SF
52	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 52	16,704 SF
53	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 53	16,704 SF
54	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 54	16,704 SF
55	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 55	16,704 SF
56	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 56	16,704 SF
57	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 57	16,704 SF
58	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 58	16,704 SF
59	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 59	16,704 SF
60	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 60	16,704 SF
61	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 61	16,704 SF
62	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 62	16,704 SF
63	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 63	16,704 SF
64	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 64	16,704 SF
65	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 65	16,704 SF
66	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 66	16,704 SF
67	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 67	16,704 SF
68	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 68	16,704 SF
69	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 69	16,704 SF
70	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 70	16,704 SF
71	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 71	16,704 SF
72	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 72	16,704 SF
73	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 73	16,704 SF
74	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 74	16,704 SF
75	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 75	16,704 SF
76	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 76	16,704 SF
77	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 77	16,704 SF
78	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 78	16,704 SF
79	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 79	16,704 SF
80	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 80	16,704 SF
81	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 81	16,704 SF
82	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 82	16,704 SF
83	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 83	16,704 SF
84	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 84	16,704 SF
85	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 85	16,704 SF
86	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 86	16,704 SF
87	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 87	16,704 SF
88	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 88	16,704 SF
89	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 89	16,704 SF
90	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 90	16,704 SF
91	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 91	16,704 SF
92	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 92	16,704 SF
93	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 93	16,704 SF
94	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 94	16,704 SF
95	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 95	16,704 SF
96	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 96	16,704 SF
97	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 97	16,704 SF
98	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 98	16,704 SF
99	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 99	16,704 SF
100	1/2" TO 3/4" ANGLIAR PAN MDOCK PLANTING, TYP. - SEE SPT. L-1008 DTL. 100	16,704 SF

* QUANTITY INFORMATION PROVIDED FOR REFERENCE ONLY. CONTRACTOR RESPONSIBLE TO VERIFY ALL QUANTITIES.

SCALE: 1" = 10'-0"

DATE: 06-22-2011

PROJECT: BOUNTIFUL CLINIC EXPANSION

LANDSCAPE ARCHITECT: [Name]

CIVIL ENGINEER: [Name]

MECHANICAL ENGINEER: [Name]

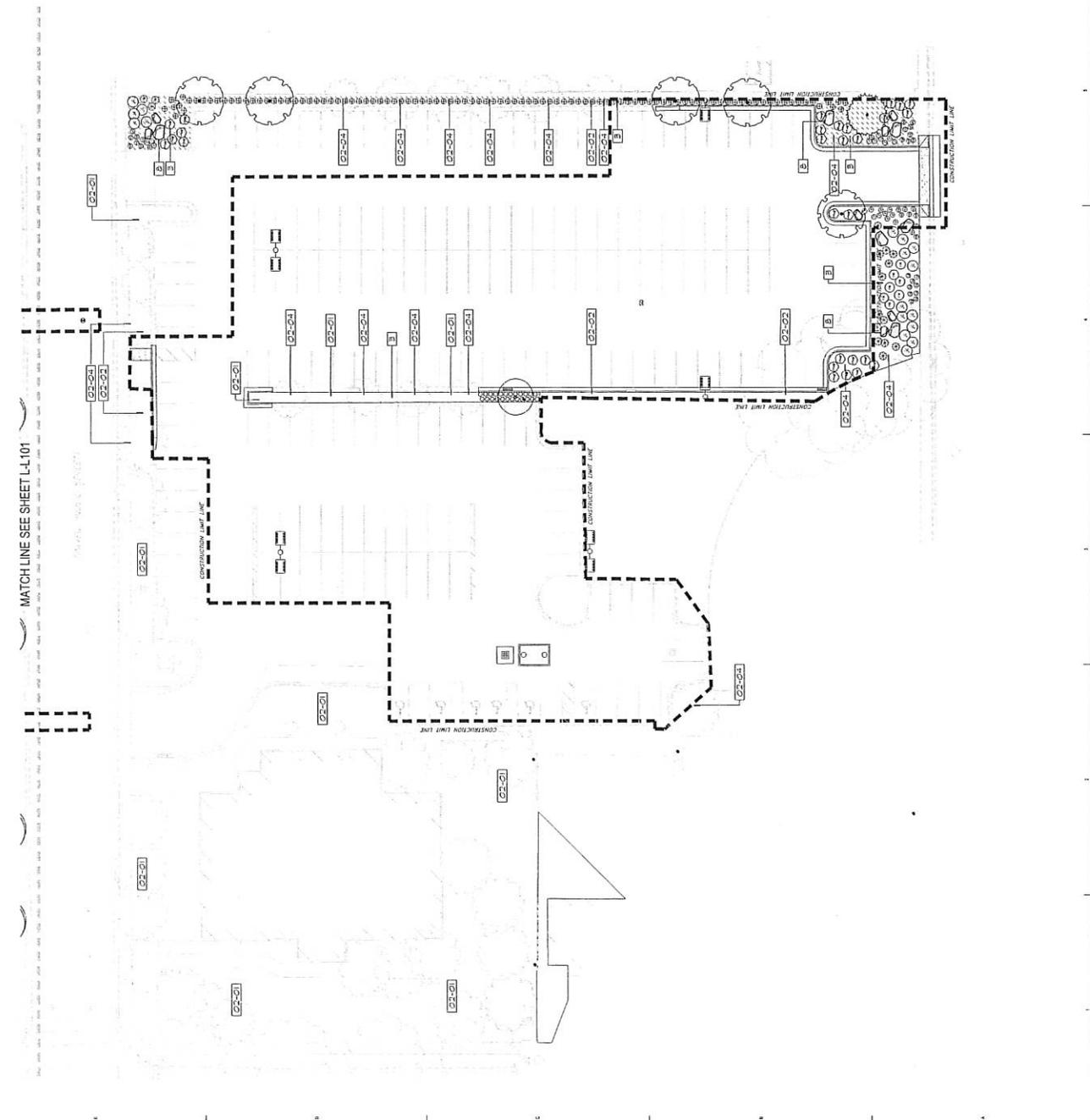
ELECTRICAL ENGINEER: [Name]

STRUCTURAL ENGINEER: [Name]

ENERGY AUDITOR: [Name]

INTERIOR DESIGNER: [Name]

CONSTRUCTION MANAGER: [Name]



OPERATIONAL LEGEND

- ADMIN
- BEHAVIORAL HEALTH
- OB/GYN
- ALLERGY
- PHARMACY
- VACANT (CURRENTLY IMAGING)
- GENERAL WAITING
- RECEPTION
- EXAM ROOM
- OFFICE
- CONFERENCE
- STORAGE
- BREAK ROOM
- PUBLIC TOILET
- ELEVATOR
- STAIR
- JANETRY
- LOCKER
- STORAGE
- RECEPTION
- PUBLIC TOILET
- ELEVATOR
- STAIR
- JANETRY
- LOCKER
- STORAGE
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- JANETRY
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- JANETRY
- LOCKER
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BOUNTIFUL CLINIC EXPANSION
DEPARTMENTAL DIAGRAM - THIRD FLOOR

06-30-2016

MEMORANDUM

Date: July 14, 2016
To: Intermountain Healthcare
From: Hales Engineering
Subject: Intermountain Bountiful Clinic Parking Study

UT16-879

This memorandum discusses the parking study completed for Intermountain Healthcare in consideration for the parking demands as a result of their proposed expansion of the Intermountain Bountiful Clinic located at 390 North Main in Bountiful, Utah. The Bountiful Clinic currently consists of two buildings, a 36,710 square foot north building and a 15,000 square foot south building. The proposed expansion will add approximately 52,721 square feet of gross floor area to the existing north building.

Existing Conditions

The Bountiful City code requires that one parking stall be provided for every 250 square feet of gross floor area (GFA) for this type of land use. Current parking facilities consist of 134 parking spaces adjacent to the north building and 134 parking spaces adjacent to the south building.

Parking Analysis

In an effort to identify the parking demand for this facility the Institute of Transportation Engineers (ITE), *Parking Generation*, 4th Edition, 2010, was consulted to identify a possible range of parking rates and an average peak period parking demand for this use. The ITE study showed the 85th percentile parking demand was 4.96 vehicles per 1,000 square feet of gross floor area.

Hales Engineering also collected data at the Bountiful Clinic to determine the actual parking demand generated by this facility. Data were collected between the hours of 8:00 a.m. and 5:00 p.m. on a typical weekday to match the hours of operation. These data are summarized in Table 1. As shown in Table 1, the peak parking demand for this facility was 3.42 spaces / 1,000 square feet GFA and within the range of data collected by ITE.

Table 1 Parking Data Summary Intermountain Bountiful Clinic Parking Study		
Time	Occupied Parking Spaces	Parking Demand ¹
8:00 AM	78	1.53
9:00 AM	127	2.48
10:00 AM	175	3.42
11:00 AM	165	3.23
12:00 PM	146	2.86
1:00 PM	126	2.47
2:00 PM	152	2.97
3:00 PM	154	3.01
4:00 PM	139	2.72
5:00 PM	115	2.25
1. Parking Spaces Occupied / 1,000 square feet GFA Source: Hales Engineering, April 2016		

Conclusions/Recommendations

Hales Engineering recommends that 3.45 parking spaces per 1,000 square feet of gross floor area (104,431 square feet), or a total of 360 total parking spaces, be provided at the Intermountain Bountiful Clinic to accommodate the anticipated parking demands.

If you have any questions regarding this memo, please feel free to contact us.