

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING AGENDA

TUESDAY, JULY 12TH, 2016 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

1. Pledge of Allegiance
2. Declaration of Conflicts of Interest
3. Approval of Meeting Minutes
 - A. June 14th, 2016
4. Action and Advisory Items (Recommendations to the City Council)
 - A. Heatherwood Church Site Plan and CUP, Public Hearing, Action Item, Recommendation to City Council:
A 3.45 Acre church located within the Heatherwood Development at 8732 North Desert Canyon Road.
 - B. Alpine Credit Union Site Plan, Public Hearing, Action Item, Recommendation to City Council:
A 3,000 SF building proposed on lot 2 within the Porter's Crossing Town Center Site.
 - C. Valley View Foothills Preliminary Plat, Public Hearing, Action Item, Recommendation to City Council:
A 71 lot 46.42 Acre Preliminary Plat, Located north of SR-73. The final undeveloped area in the Valley View Ranch Development which previously received approval for the Master Development Plan and Agreement.
 - D. Overland Phase A Preliminary Plat, Public Hearing, Action Item, Recommendation to City Council:
A 137 lot preliminary plat located west of Pony Express Parkway and north of Mid-Valley Road (North and East of Frontier Middle School)
 - E. An Amendment to the Spring Run Master Development Plan, Public Hearing, Action Item, Recommendation to City Council:
A Proposed amendment to the Spring Run Master Development Plan realigning major roads and changing land uses/zoning.
 - F. Evans Ranch Cottages and Townhomes, Master Site Plan, Preliminary Plat, and Master Development Plan Amendment Public Hearing, Action Item, Recommendation to City Council:
A proposal to realign streets in the Evans Ranch development, a proposal to reduce the number of units in the Evans Ranch Development from 421 to 408, a reduction in the number of townhomes, and an increase in the number of single family dwellings. Amendments to the Parks Map, and an amendment to the approved townhome elevations. A Master Site Plan for the Townhome area of the Development, and a 156 lot preliminary plat for the townhome and cottage lot area of the Evans Ranch Development

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PLANNING COMMISSION MEETING AGENDA

TUESDAY, JULY 12TH, 2016 AT 6:00 P.M.

Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

G. Chapter 17.54 Development Code Amendments, Public Hearing, Action Item,
Recommendation to City Council:

A Staff Driven amendment to the Extractive Industries Overlay Zone designed to mitigate future concerns

5. Next scheduled meeting: July 26th, 2016
6. Adjournment

EAGLE MOUNTAIN CITY
PLANNING COMMISSION MEETING MINUTES
TUESDAY, JUNE 14, 2016 AT 6:00 P.M.
Eagle Mountain City Council Chambers; 1650 E. Stagecoach Run, Eagle Mountain, UT 84005

6:00 P.M. - Eagle Mountain City Planning Commission Policy Session

COMMISSION MEMBERS PRESENT: Wendy Komoroski, Matthew Everett, John Linton, and Daniel Boles. EXCUSED: Mike Owens.

CITY STAFF PRESENT: Steve Mumford, Planning Director; Mike Hadley, Senior Planner; Tayler Jensen, Planner; and Johna Rose, Deputy Recorder.

ELECTED OFFICIALS PRESENT: Colby Curtis and Stephanie Gricius.

1. Pledge of Allegiance

Commissioner Linton led the Pledge of Allegiance.

2. Declaration of Conflicts of Interest

None

3. Approval of Meeting Minutes

A. May 24, 2016

MOTION:

Wendy Komoroski moved to approve the May 24, 2016 meeting minutes. Matthew Everett seconded the motion. Those voting aye: Matthew Everett, Daniel Boles, John Linton, and Wendy Komoroski. The motion passed with a unanimous vote.

4. Items noticed but removed from the Agenda

A. City Center Commercial, Master Site Plan

B. Overland Phase A Preliminary Plat, Public Hearing, Action Item, Recommendation to City Council:

5. Action and Advisory Items (Recommendations to the City Council)

A. Gateway Park Phase B Preliminary Plat, Public Hearing, Action Item, Recommendation to City Council:

Mike Hadley explained that the proposed preliminary plat consists of 4 lots on 8.18 acres. The commercial subdivision is along Cory Wride Memorial Highway and Mt. Airey Drive. The Mountainland Association of Governments has approved money for UDOT to purchase a portion of the proposed preliminary plat property for future ROW expansion. The applicant has been working with UDOT but has been unable to finalize the purchase of the land, so the applicant is moving forward with this preliminary plat. UDOT's future

1 plans show expansion of Cory Wride Memorial Hwy (SR 73) to become a major
2 transportation corridor.

3
4 Daniel Boles asked how much property is UDOT taking from this plat. Steve Mumford
5 stated that the future expansion of Cory Wride Memorial would require all the property
6 from this plat.

7
8 *Commissioner Linton opened the public hearing at 6:11 p.m.*

9
10 Lori Gilson, resident, was concerned about what type of businesses were planned for the
11 development. She was also concerned about the beautification of the entrance to Eagle
12 Mountain City and felt that industrial development was not appropriate for the entrance.

13
14 Jim Maxwell, resident, wanted to make sure the builders would have standards and
15 setback to help beautify the entrance. He was also concerned about controlling the dust.

16
17 Jen Morrison, resident, felt that the City has not done their part in controlling the dust
18 from the gravel pits.

19
20 Clara Bartell, resident, was concerned about the dust and the working hours of the gravel
21 pits. She was also concerned about loose gravel from the gravel trucks on Cory Wride
22 Memorial Highway. She felt that the City's enforcement for commercial business was
23 lacking.

24
25 Bruno Hunziker, resident, suggested that the residents of Mount Airey subdivision get in
26 contact with the EPA (US Environmental Protection Agency) to help control the dust.

27
28 *Commissioner Linton closed the public hearing at 6:24 p.m.*

29
30 Scott Hazard, applicant, explained that he has been working with UDOT since 2014 and
31 UDOT has not given a written offer for the property. UDOT has not condemned the
32 property so he would like to proceed with the planned development.

33
34 Commissioner Linton questioned if the lots would be marketable with a maximum
35 lifespan of only ten years.

36
37 **MOTION:** *Wendy Komoroski moved to recommend approval of the preliminary plat
38 for Gateway Park Phase B to the City Council. Daniel Boles seconded
39 the motion. Those voting aye: Daniel Boles, Matthew Everett, John
40 Linton, and Wendy Komoroski. The motion passed with a unanimous
41 vote.*

42
43 **B. Metro Ready Mix Concrete Plant, Site Plan, Public Hearing, Action Item,**
44 **Recommendation to City Council:**

45
46 Tayler Jensen explained that the proposal is for a concrete plant located north of Cory
47 Wride Memorial Hwy (SR 73), on the Talons Cove property. The proposed concrete
48 plant is located within the Extractive Industries Overlay Zone.

49
50 **Buffering and Screening**

1 The Eagle Mountain Municipal Code (EMMC) requires uses in the Extractive Industries
2 Overlay Zone that produce substantial noise to be located at least a quarter of a mile or
3 one thousand three hundred and twenty feet (1,320') from properties containing
4 residential development. The proposed location does comply with this standard.
5

- 6 • Berms and landscaping may be required to buffer the use from public roads;
7 however, the proposed concrete plant location is separated from public roads by a
8 large hill, and staff doesn't believe any additional buffering is necessary.
9
- 10 • The applicant placed a 94' model at the site location on Google Earth, and street
11 views confirmed that it could not be seen from any street in Eagle Mountain City
12 staff has confirmed the results.
13

14 **Truck Traffic.**

15 The applicant has indicated that truck traffic to and from the concrete plant will leave
16 through Saratoga Springs, and will not result in increased truck traffic in Eagle Mountain.
17

18 **Noise Restrictions.**

19 The use shall comply with the Eagle Mountain noise ordinance, which restricts sound to
20 below sixty-five (65) decibels, measured at the property line from the hours of 9:00 PM
21 to 7:00 AM Monday-Saturday, and 9:00 PM to 9:00 AM Sunday.
22

23 Commissioner Everett was concerned about how the City could enforce and fine the
24 companies that are in violation of the noise and hours of operation ordinances. Mr.
25 Mumford confirmed that the City is looking into ways to enforce and fine those
26 companies with violations.
27

28 *Commissioner Linton opened the public hearing at 6:39 p.m.*
29

30 Clara Bartell, resident, was concerned about how the industrial properties are devaluing
31 her home. She was also concerned about the health of the children in her neighborhood.
32

33 Richard Thomas, resident, was concerned about the noise and the air quality. He read a
34 report from the EPA website about cement plants and how they contribute to air
35 pollution.
36

37 Jen Morrison, resident, said that Saratoga Spring has cut off the access road before for
38 trucks accessing through Saratoga Springs and has forced them to use Cory Wride
39 Memorial Hwy. She requested that the concrete plant not be approved.
40

41 Lori Gilson, resident, was concerned about being surrounded by an industrial zone. She
42 was also concerned about the air quality, dust, and noise from the industrial zone.
43

44 Lisa Maxwell, resident, said that Cory Wride Memorial Hwy is not being maintained by a
45 sweeper. She explained that with the loose gravel along Cory Wride Memorial Hwy she
46 has had to replace her car windshield twice.
47

48 DJ King, resident, was concerned about the air quality. He also wanted to know how long
49 the gravel pit would be leasing the property. He was also concerned about the tower
50 being visible once the mountain was removed.
51

1 Nate Bruisk, resident, requested that the City implement SWPPP (Storm Water Pollution
2 Prevention Plan) requirements. He also stated that as a builder, the concrete plant would
3 benefit the builders working in Eagle Mountain City.
4

5 Travis Jenson, resident, stated that he did not want a concrete plant in his backyard. He
6 was also concerned about the truck destroying City roads and taxpayer having to pay to
7 repair the roads.
8

9 Jennifer Lavorsen, resident, was concerned about the pollution, health of the residents,
10 and the value of her home.
11

12 Carrie Jenson, resident, was concerned about the debris the high winds will carry from
13 the plant into the neighborhood. She felt that industrial lots should be moved away from
14 residential housing.
15

16 *Commissioner Linton closed the public hearing at 7:14 p.m.*
17

18 Commissioner Komoroski asked if an environmental impact study has been done for the
19 plant. Mr. Mumford stated that the City could look into the health impact.
20

21 Commissioner Linton suggested that a code be implemented requiring that the gravel
22 truck loads must be wetted down before leaving the plant.
23

24 John Dunn, president of Metro Ready Mix Concrete, explained that this plant has nothing
25 to do with the gravel pits. He stated that this is a concrete plant and not a cement plant.
26 He explained that cement plants do produce pollution. The Utah Division of Air Quality
27 (DEQ) does regulate the concrete plants dust. He said that his other two concrete plants
28 are located in West Valley City and Pleasant Grove next to residential neighborhoods.
29

30 Commissioner Everett was concerned with the hours of operation. His experience with
31 concrete plants is that most orders for concrete are delivered to the job site around 5:00
32 am in the summer. The concrete plant would need to start at 4:00 am to get the order
33 delivered. Mr. Dunn explained that his other concrete plants do not have time restrictions.
34 Those morning orders could be dispatched from another concrete plant.
35

36 Mr. Mumford said that the Staker Parson gravel pit has been there for about 20 years and
37 the TM Crushing gravel pit has been there for 5 years.
38

39 Commissioner Komoroski asked if the City would look into an ordinance that could help
40 control the pollution and the debris on the road.
41

42 Commissioners felt that the gravel pit issues should not affect the concrete plant's
43 application.
44

45 **MOTION:** *Wendy Komoroski moved to recommend approval of the site plan for the*
46 *Metro Ready Mix Concrete Plant to the City Council.*
47 *Matthew Everett seconded the motion. Those voting aye: Daniel Boles,*
48 *Matthew Everett, John Linton, and Wendy Komoroski. The motion*
49 *passed with a unanimous vote.*
50

1 C. Lakeview Estates Preliminary Plat, Public Hearing, Action Item, Recommendation to
2 City Council:
3

4 Mr. Hadley explained that the property is located southeast of the Cory Wride Memorial
5 Highway (SR 73) and Sunset Drive. The property sits between the Cedar Pass Ranch
6 subdivision and the Westview Heights subdivision. The applicant has proposed a
7 preliminary plat consisting of 65 lots. The lots range from ½ acre to 1.5 acres in size.
8

9 **Remnant Piece of Ground**

10 The proposed plat shows a leftover piece of property in the southwest corner of the plat.
11 City staff feels that this piece should be incorporated into the plat.
12

13 *Commissioner Linton opened the public hearing at 7:40 p.m.*
14

15 DJ King, resident, requested that the Lakeview Estates subdivision mirror the Westview
16 Heights neighborhood. He also felt that a second access road should be added to the new
17 development.
18

19 Lou Carol, resident, requested a buffer zone of one acre lots adjacent to Cedar Pass
20 Ranch. He also requested a second access road into the development for safety.
21

22 Nate Brusik, resident, said that he liked the new plat, but requested a second access road
23 into the new development.
24

25 Jeff Morris, resident, would like to see a fence between Cedar Pass Ranch and Lakeview
26 Estates. He felt that a fence would help preserve the horse trail between the
27 developments.
28

29 *Commissioner Linton closed the public hearing at 7:53 p.m.*
30

31 Mr. Mumford explained that UDOT does not want another access road onto Cory Wride
32 Memorial Highway. The development has been approved by the Fire Marshal with one
33 access onto the highway.
34

35 Mr. Mumford suggested that the remnant piece of property be incorporated into the
36 proposed plat, adding the piece to lot 137.
37

38 **MOTION:** *Wendy Komoroski moved to recommend approval of the preliminary plat*
39 *for Lakeview Estates to the City Council with the following conditions:*

- 40 *1. The applicant shall submit a parks and open space amenities*
41 *worksheet.*
- 42 *2. Street lights be added to the utility plan.*
- 43 *3. The street names for Church Way and Lake View be changed.*
- 44 *4. The leftover piece of property in the southwest corner of the plat*
45 *be incorporated into the proposed plat or an alternative plan for the*
46 *piece be approved.*

47 *Daniel Boles seconded the motion. Those voting aye: Daniel Boles,*
48 *Matthew Everett, John Linton, and Wendy Komoroski. The motion*
49 *passed with a unanimous vote.*
50

1 D. Pole Canyon Phase 1 Preliminary Plat, Public Hearing, Action Item, and
2 Recommendation to City Council: This is 20 lot preliminary plat, located within the Pole
3 Canyon Master Development Plan area.
4

5 Mr. Jenson said that in 2010 the Pole Canyon area, which includes the White Hills
6 development, was annexed into Eagle Mountain City. At the time of annexation, a
7 Master Development Plan and a Master Development Agreement were also adopted. This
8 project is located adjacent to the existing White Hills development, in Neighborhood
9 Planning Area 11 (NPA 11) of the approved Pole Canyon Master Development Plan.
10

11 **Infrastructure**

12 No building permits shall be issued by the City for the construction in the Pole Canyon
13 property, unless PCIG or its successor has substantially completed the required
14 infrastructure to comply with City requirements for phasing of infrastructure and
15 completion of off-site improvements required by the relevant project or proposed
16 construction.
17

18 The water line is currently under construction, and is anticipated to be completed shortly,
19 at which time it is planned that Wilson Avenue will be repaired. Sewer plans are
20 currently being reviewed by the state.
21

22 **Street Lights**

23 The Eagle Mountain Municipal Code (EMMC) **15.10.390 Street Lighting** requires street
24 lights to be placed in residential developments at a minimum of 250', apart and at a
25 maximum of 350' apart. The applicant is asking for this requirement to be waived for
26 Phase 1 of the Pole Canyon development as the existing White Hills community does not
27 have street lights. The applicant does not believe street lights match the character of the
28 existing community.
29

30 Commissioners Linton and Boles asked if there was leeway in the Municipal Code that
31 would allow the Commissioners or the City to waive the street light requirement. Mr.
32 Mumford explained that the Code allows a little bit of flexibility when it makes sense not
33 to have street lighting. City staff recommended that street lights be installed for
34 pedestrian safety.
35

36 *Commissioner Linton opened the public hearing at 8:15 p.m.*
37

38 Peggy Hunziker, resident, said that DAI has not complied with their agreements with the
39 City in getting the park finished and turning over the water system to the City. She stated
40 that the Pole Canyon Master Development Agreement states:
41

42 13.0 Building Permits. No Building Permit shall be issued by the City for construction
43 in the PCIG property, unless PCIG or its successor has substantially completed the
44 required infrastructure to comply with City requirements.
45

46 She was also concerned about only having one access road into the neighborhood.
47

48 Bruno Hunziker, resident, felt that the City should hold DAI to the Pole Canyon Master
49 Development Agreement. He said that he has no problem with DAI building the
50 development as long as DAI finishes the infrastructure and complies with the agreement.

1
2 Erika Douglas, resident, said that the developer has not finished the park to the agreement
3 standards. She said that she was told that White Hills water pipes were being shattered by
4 heavy equipment driving along the roads. She felt that the roads and pipes should be
5 fixed before the City allows any more building in the area.
6

7 Amy Perry, resident, said that the City should hold the developer accountable for the
8 infrastructure being done prior to building. She was also concerned for the safety of the
9 children in the neighborhood with the amount of traffic the construction would bring.
10 She likes that there is no light pollution in their area and did not feel street lights were
11 necessary for White Hills neighborhoods.
12

13 Jessica Lewis, resident, sent an email disapproving of the development.
14

15 *Commissioner Linton closed the public hearing at 8:29 p.m.*
16

17 Mr. Mumford thanked Peggy Hunziker for her comment. He stated that the City
18 Planner's new recommendation is that no building permits shall be issued until the
19 infrastructure is complete.
20

21 Nate Shipp, applicant, said that he was not planning to start building in White Hills until
22 the issues that were discussed are complete.
23

24 **MOTION:** *Daniel Boles moved to recommend approval of the preliminary plat for*
25 *the Pole Canyon Phase I to the City Council with the following*
26 *conditions:*

- 27 **1. A community improvement fee of \$10,658 (\$2,000 per buildable**
28 **acre) shall be paid at plat recording.**
- 29 **2. Building permits shall not be issued for construction until**
30 **infrastructure needed to comply with City requirements has been**
31 **substantially completed (sewer, water, & Wilson Avenue repair).**
- 32 **3. No plat approval until Wilson Avenue is repaired.**

33 *Wendy Komoroski seconded the motion. Those voting aye: Daniel*
34 *Boles, Matthew Everett, John Linton, and Wendy Komoroski. The*
35 *motion passed with a unanimous vote.*
36

37 E. Chapter 17.25 Development Code Amendments, Public Hearing, Action Item,
38 Recommendation to City Council:
39

40 Mr. Jensen said that the applicant has proposed a reduce front and rear setback reduction
41 from 50' to 35' in Base and Tier I residential developments on both sides of the road,
42 when a road has been constructed with curb, gutter, and a trail way.
43

44 *Commissioner Linton opened the public hearing at 8:43 p.m.*
45

46 None
47

48 *Commissioner Linton closed the public hearing at 8:43 p.m.*
49

1 Scot Hazard, applicant, stated that this request came about due to an oversight in the
2 design of 5 smaller lots in the Arrival development.
3

4 Mr. Mumford said that City staff recommendations went beyond the applicant's request.
5 Staff has recommended a 25' setback instead of the 35' setback the applicant proposed.
6 He stated that it would give residents a bigger back yard where they could keep their
7 horses in the back yard instead of the side yard.
8

9 **MOTION:** *Wendy Komoroski moved to recommend approval of the amendment to*
10 *Chapter 17.25 of the Eagle Mountain City Municipal Code to the City*
11 *Council. Matthew Everett seconded the motion. Those voting aye:*
12 *Daniel Boles, Matthew Everett, John Linton, and Wendy Komoroski.*
13 *The motion passed with a unanimous vote.*
14

15 F. Chapters 17.10 & 17.70 Development Code Amendments, Public Hearing, Action
16 Items, Recommendation to City Council
17

18 Mr. Jensen explained that the proposal is an amendment defining tiny homes on wheels
19 and allowing them to serve as accessory apartments in Base and Tier I residential
20 developments.
21

22 *Commissioner Linton opened the public hearing at 8:50 p.m.*
23

24 None
25

26 *Commissioner Linton closed the public hearing at 8:50 p.m.*
27

28 Commissioner Everett was concerned about how many tiny homes will be allowed on a
29 property. Mr. Jensen said that the Code would only allow one tiny home on the property.
30

31 **MOTION:** *Wendy Komoroski moved to recommend approval of the amendments to*
32 *Chapters 17.10 and 17.70 of the Eagle Mountain City Municipal Code to*
33 *the City Council. Matthew Everett seconded the motion. Those voting*
34 *aye: Daniel Boles, Matthew Everett, John Linton, and Wendy*
35 *Komoroski. The motion passed with a unanimous vote.*
36

37 G. Chapter 17.10 & 17.25 Development Code Amendments, Public Hearing, Action Items,
38 Recommendation to City Council:
39

40 Mr. Jensen explained that the City staff is proposing an amendment to clarify the
41 definition of manufactured home or dwelling and create a minimum design standard for
42 residential developments.
43

44 *Commissioner Linton opened the public hearing at 8:52 p.m.*
45

46 None
47

48 *Commissioner Linton closed the public hearing at 8:52 p.m.*
49

50 No discussion was held on this item.
51

1 **MOTION:** *Wendy Komoroski moved to recommend approval of the amendments to*
2 *Chapters 17.10 and 17.25 of the Eagle Mountain City Municipal Code to*
3 *the City Council. Daniel Boles seconded the motion. Those voting aye:*
4 *Daniel Boles, Matthew Everett, John Linton, and Wendy Komoroski.*
5 *The motion passed with a unanimous vote.*
6

7 H. Chapter 16.35.100 Development Code Amendment, Public Hearing, Action Item,
8 Recommendation to City Council
9

10 Mr. Jensen and Mr. Mumford explained that the City Council and staff have requested an
11 amendment to remove a clerical mistake from the Code, and increase the right-of-ways
12 of the local streets to 53', allowing for 5' sidewalks, rather than the 4' sidewalks how
13 allowed.
14

15 *Commissioner Linton opened the public hearing at 8:57 p.m.*
16

17 None
18

19 *Commissioner Linton closed the public hearing at 8:57 p.m.*
20

21 **MOTION:** *Wendy Komoroski moved to recommend approval of the amendment to*
22 *Chapter 16.35.100 of the Eagle Mountain City Municipal Code to the*
23 *City Council. Matthew Everett seconded the motion. Those voting aye:*
24 *Mike Owens, Daniel Boles, Matthew Everett, John Linton, and Wendy*
25 *Komoroski. The motion passed with a unanimous vote.*
26

27 6. Next scheduled meeting: July 12, 2016
28

29 7. Adjournment
30

31 The meeting was adjourned at 9:00 p.m.
32

33 APPROVED BY THE PLANNING COMMISSION ON JULY 12, 2016
34
35

36 _____
37 Steve Mumford, Planning Director



EAGLE MOUNTAIN CITY

Planning Commission Staff Report

JULY 12TH 2016

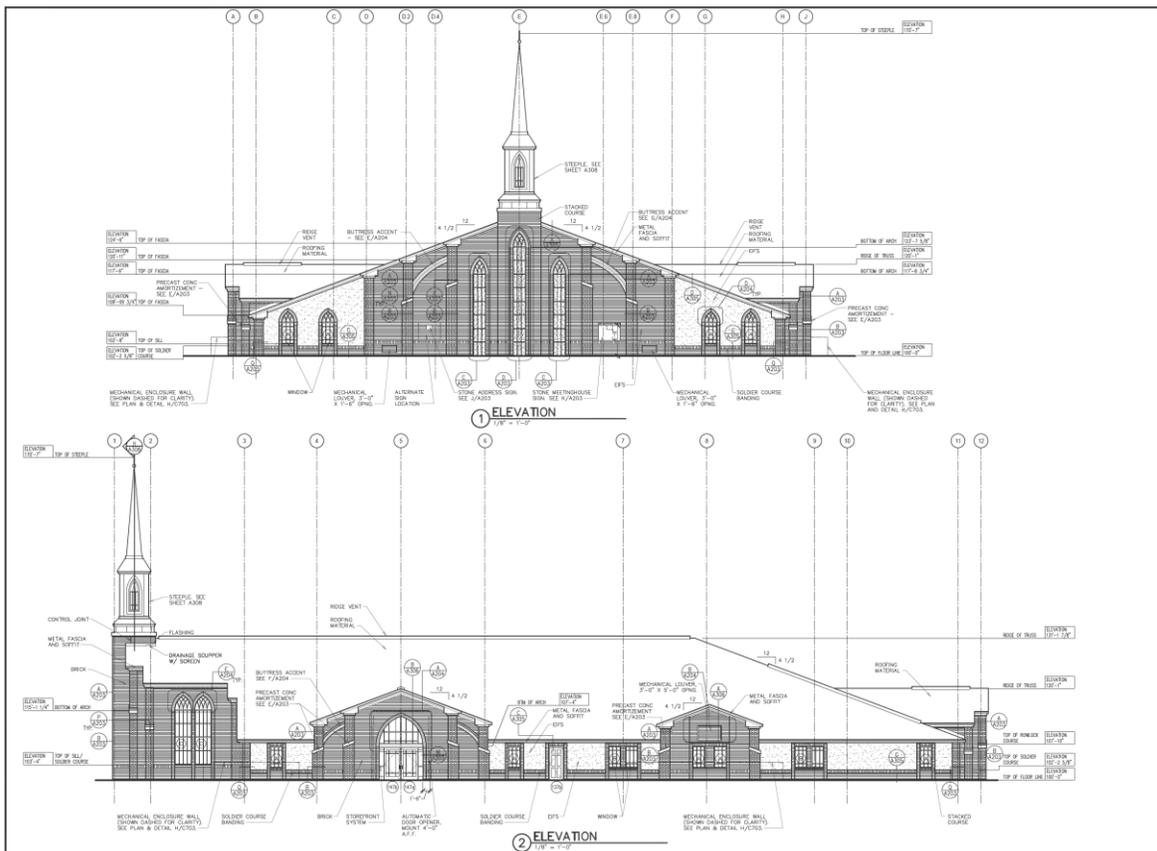
Project: Heatherwood Church
Applicant: The Church of Jesus Christ of Latter-Day Saints
Request: Conditional Use Permit, Site Plan
Type of Action: Action Item, CUP Approval, Site Plan Recommendation

Preface

This application is for a Conditional Use Permit and a Site Plan for a property located at approximately 8732 North Desert Canyon Road, in the Heatherwood Subdivision, lot 8, and is approximately 3.45 acres in size. The proposed project is for a church which is a Conditional Use.

Building & Commercial Design Standards

Building elevations have been submitted for the Heatherwood Church. Color renderings have not been presented to staff, but the plans provided show that the design will comply with the City's Commercial Design Standards, minor deviations from these plans, still in compliance with the design standards, require approval by the Planning Director.



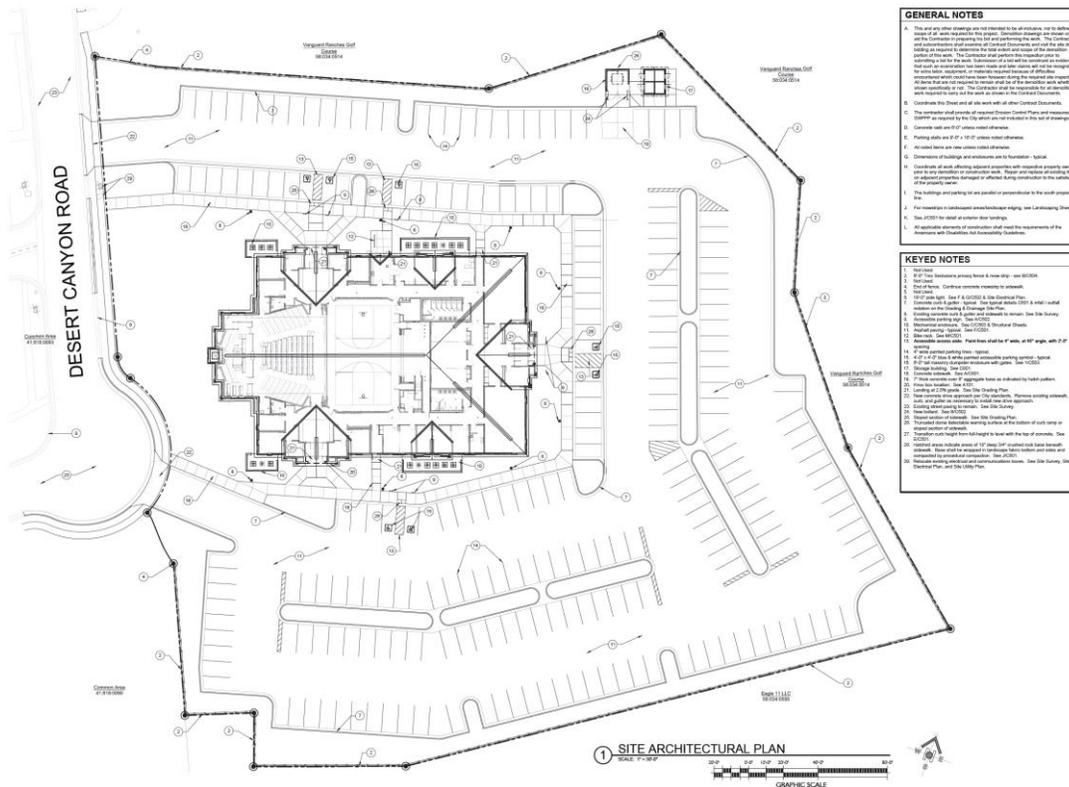
Location

The Proposed Heatherwood Church is located at approximately 8732 North Desert Canyon Road. And is approximately 3.45 ac in size.



Parking

Required parking is 1 stall per 20 square feet of the main assembly room. The main assembly room is 2,984 square feet, and therefore requires 150 parking stalls. 224 standard stalls, and 7 ADA parking stalls are provided; this is consistent with city code.

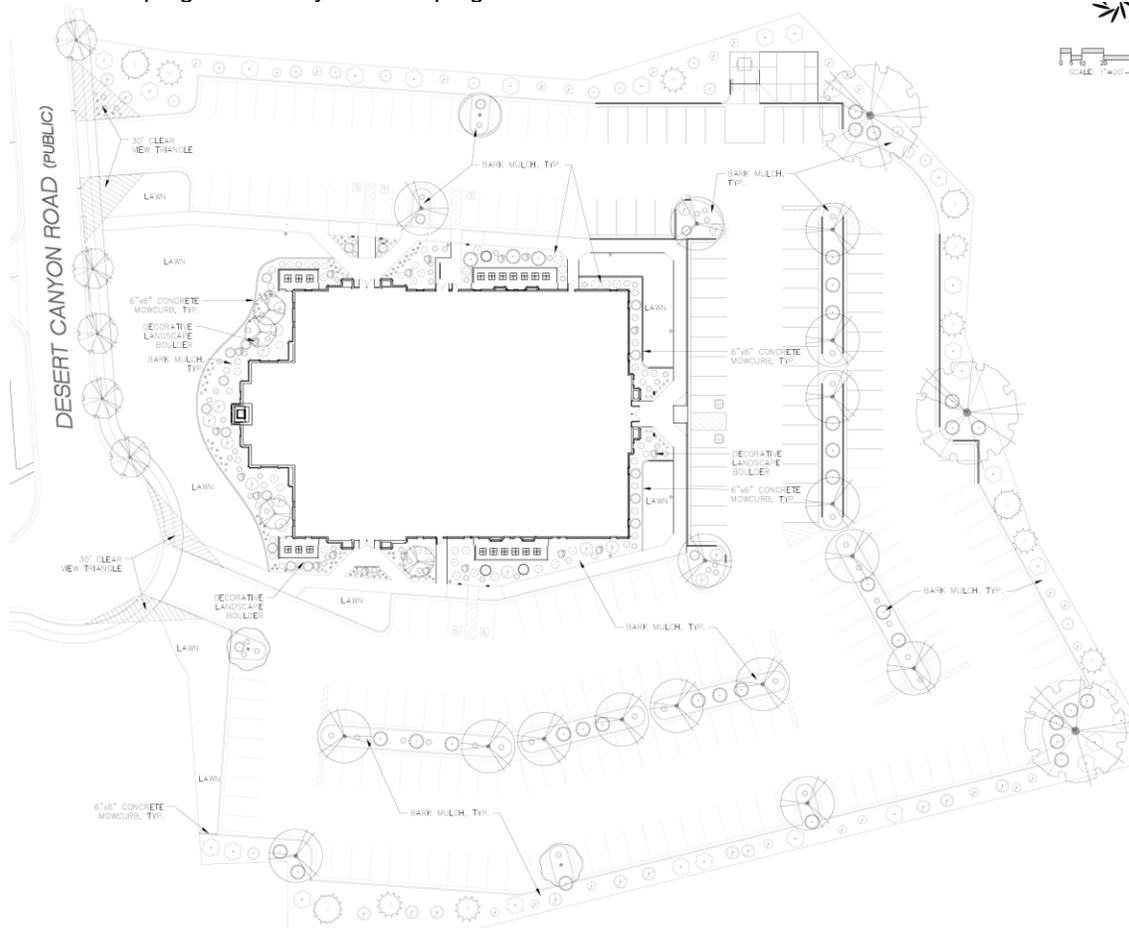


The applicant is proposing parking islands that do not have island bulb outs every 12 stalls (above). Rather the applicant is proposing islands between all rows of double parking, with no bulb outs. The applicant believes these parking islands without the bulb outs provide for better circulation, and make it easier to plow in the winter.

The Planning Commission has the authority to recommend either approval or denial of this parking layout to the City Council. There are several churches within the city that have parking layouts similar to the applicant's proposal including: the Silverlake LDS Church, The Porter's Crossing LDS Church.

Landscaping

Proposed landscaping meets City Landscaping standards.



Lighting

The applicant has provided spec sheets for outdoor lights, which do meet the City Dark Sky Ordinance. The applicant shall provide staff and approved outdoor lighting plan that shows compliance with the ordinance.

Fencing

The applicant is proposing a 6' Trex fence around the entirety of the project. Fencing shall be approved by the Ranches HOA.

Zoning

The Heatherwood Church is located in the Residential Zone. This type of use is allowed as a conditional user under section 17.25.060 which states: "The following conditional uses and such uses as the planning director and planning commission may recommend as similar and consistent with the scale, character and impact of the area will be considered:

D. Religious or cultural meeting halls"

Future Reviews

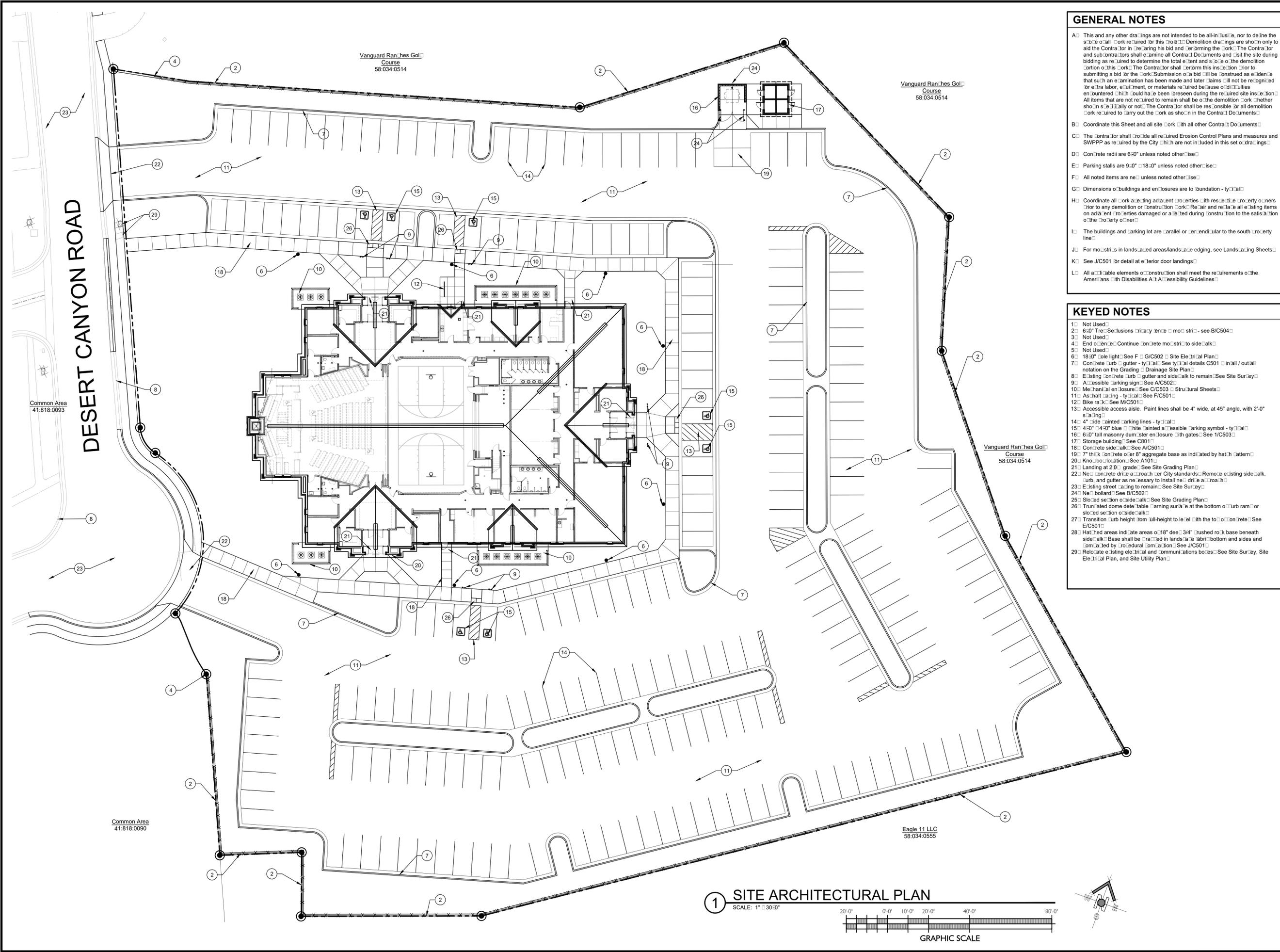
Site plan will be presented to the City Council for final approval.

Recommendations

- Staff recommends that the Planning Commission approve the Conditional Use Permit for the Heatherwood Church
- Staff recommends that the Planning Commission recommends approval of the Heatherwood Church site plan to the City Council with any proposed conditions:

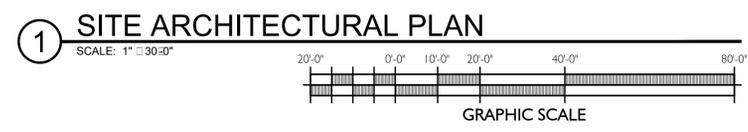
Attachments

Site Plan



- ### GENERAL NOTES
- A This and any other drawings are not intended to be all-inclusive, nor to define the scope of all work required for this project. Demolition drawings are shown only to aid the Contractor in preparing his bid and performing the work. The Contractor and subcontractors shall examine all Contract Documents and visit the site during bidding as required to determine the total extent and scope of the demolition portion of this work. The Contractor shall perform this inspection prior to submitting a bid for the work. Submission of a bid shall be construed as evidence that such an examination has been made and later claims will not be recognized for extra labor, equipment, or materials required because of conditions encountered which could have been foreseen during the required site inspection. All items that are not required to remain shall be the demolition work whether shown specially or not. The Contractor shall be responsible for all demolition work required to carry out the work as shown in the Contract Documents.
 - B Coordinate this Sheet and all site work with all other Contract Documents.
 - C The Contractor shall provide all required Erosion Control Plans and measures and SWPPP as required by the City which are not included in this set of drawings.
 - D Concrete radii are 6'-0" unless noted otherwise.
 - E Parking stalls are 9'-0" x 18'-0" unless noted otherwise.
 - F All noted items are new unless noted otherwise.
 - G Dimensions of buildings and enclosures are to foundation - typical.
 - H Coordinate all work affecting adjacent properties with respective property owners prior to any demolition or construction work. Repair and replace all existing items on adjacent properties damaged or affected during construction to the satisfaction of the property owner.
 - I The buildings and parking lot are parallel or perpendicular to the south property line.
 - J For mortars in landscaped areas/landscaping, see Landscaping Sheets.
 - K See J/C501 for detail at exterior door landings.
 - L All accessible elements of construction shall meet the requirements of the Americans with Disabilities Act Accessibility Guidelines.

- ### KEYED NOTES
- 1 Not Used.
 - 2 6'-0" Tree. See Discussions Primary and secondary - see B/C504.
 - 3 Not Used.
 - 4 End of driveway. Continue concrete mortar to sidewalk.
 - 5 Not Used.
 - 6 18'-0" pole light. See F/G/C502 Site Electrical Plan.
 - 7 Concrete curb gutter - typical. See typical details C501 in all / out all notation on the Grading / Drainage Site Plan.
 - 8 Existing concrete curb gutter and sidewalk to remain. See Site Survey.
 - 9 Accessible parking sign. See A/C502.
 - 10 Mechanical enclosure. See C/C503 Structural Sheets.
 - 11 Asphalt paving - typical. See F/C501.
 - 12 Bike rack. See M/C501.
 - 13 Accessible access aisle. Paint lines shall be 4" wide, at 45° angle, with 2'-0" spacing.
 - 14 4" wide painted parking lines - typical.
 - 15 4'-0" x 4'-0" blue or white painted accessible parking symbol - typical.
 - 16 6'-0" tall masonry dumpster enclosure with gates. See 1/C503.
 - 17 Storage building. See C801.
 - 18 Concrete sidewalk. See A/C501.
 - 19 7" thick concrete or 8" aggregate base as indicated by hatch pattern.
 - 20 Knob location. See A101.
 - 21 Landing at 2'-0" grade. See Site Grading Plan.
 - 22 New concrete driveway. See City standards. Remove existing sidewalk, curb, and gutter as necessary to install new driveway.
 - 23 Existing street paving to remain. See Site Survey.
 - 24 New bollard. See B/C502.
 - 25 Sloped section of sidewalk. See Site Grading Plan.
 - 26 Truncated dome detectable warning surface at the bottom of curb ramp or sloped section of sidewalk.
 - 27 Transition curb height from full-height to level with the top of concrete. See E/C501.
 - 28 Hathead areas indicate areas of 18" deep x 3/4" crushed rock base beneath sidewalk. Base shall be installed in landscaped area below bottom and sides and compacted by mechanical compaction. See J/C501.
 - 29 Relocate existing electrical and communications boxes. See Site Survey, Site Electrical Plan, and Site Utility Plan.



DATE	DESCRIPTION
1/29/2016	Site Summary

DATE	DESCRIPTION
1/29/2016	Site Summary

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THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

**Highlands 2, 3
Eagle Mountain UT North Stake**

8732 North Desert Canyon Road
Eagle Mountain, Utah 84005

BIDDING PROJECT # HET-MAS-09-06
DATE 29 June 2016 1603

PROPERTY # 500-8473

SITE ARCHITECTURAL PLAN

C111

LIST OF ABBREVIATIONS

AB	ANCHOR BOLT	L	ANGLE
ACOUST	ACOUSTICAL	LAM	LAMINATE
A/C	AIR CONDITION	LAV	LAVATORY
ALUM	ALUMINUM	LBS	POUNDS
ANOD	ANODIZED	LL	LIVE LOAD
ARCH	ARCHITECT	LSL	LAMINATED STRAND LUMBER
ASPH	ASPHALT	LT	LIGHT
⊙	AT	LVL	LAMINATED VENEER LUMBER
BD	BOARD	MATL	MATERIAL
BLKG	BLOCKING	MAX	MAXIMUM
BLDG	BUILDING	MECH	MECHANICAL
BM	BEAM	MET	METAL
BO	BOTTOM OF	MEZZ	MEZZANINE
BOT	BOTTOM	MFR	MANUFACTURE
BRK	BRICK	MH	MAN HOLE
BTU/HR	BRITISH THERMAL UNITS PER HOUR	MIN	MINIMUM
		MISC	MISCELLANEOUS
		MTD	MOUNTED
		MULL	MULLION
CI	CAST IRON	NFA	NET FREE AREA
CB	CATCH BASIN	NG	NATURAL GRADE
CEM	CEMENT	NIC	NOT IN CONTRACT
CFM	CUBIC FEET PER MINUTE	NOM	NOMINAL
CHNL	CHANNEL	NOM #	NUMBER
CL	CONTROL JOINT	NTS	NOT TO SCALE
CL	CENTER LINE		
CLF	CHAIN LINK FENCE	OA	OUTDOOR AIR
CLG	CEILING	OAL	OVERALL LENGTH
CLR	CLEAR	OBS	OBSCURE
CMU	CONC MASONRY UNIT	OC	ON CENTER
CO	CLEAN OUT	OD	OUTSIDE DIAMETER
COL	COLUMN	OCFI	OWNER FURNISHED
CONC	CONCRETE	OD	OUTSIDE DIAMETER
CONST	CONSTRUCTION	OCFI	OWNER FURNISHED
CONTR	CONTRACTOR	OPNG	OPENING
CONT	CONTINUOUS	OPP	OPPOSITE
COTG	CLEAN OUT TOP OF GRADE	PERP	PERPENDICULAR
CT	CERAMIC TILE	PL	PLATE
CTR	CENTER	PLAM	PLASTIC LAMINATE
d	PENNY (NAIL SIZE)	PLAST	PLASTER
DB	DECEL	PLF	POUNDS PER LINEAR FOOT
DEG	DEGREE	PLI	PLIES
DET	DETAIL	PLMB	PLUMBING
DIA	DIAMETER	PLYWD	PLYWOOD
DIM	DIMENSION	PR	PAIR
DIV	DIVISION	PSI	POUNDS PER SQUARE IN
DL	DEAD LOAD	PSIG	PSI GAUGE
DN	DOWN	PSF	POUNDS PER SQUARE FT
DS	DOWNSPOUT	PT	POINT
DWG	DRAWING	PTN	PARTITION
DWV	DRAIN WASTE AND VENT	PVC	POLYVINYL CHLORIDE
EA	EACH	QT	QUARRY TILE
EIFS	EXTERIOR INSULATION FINISH SYSTEM	R	RISER
EJ	EXPANSION JOINT	RA	RETURN AIR
ELEC	ELECTRIC	RAD	RADIUS
ELEV	ELEVATION	RCP	REFLECTED CEILING PLAN
EQ	EQUAL	RD	ROOF DRAIN
EQUIP	EQUIPMENT	REF	REFRIGERATOR
ETC	ET CETERA	REQD	REQUIRED
EWC	ELECTRIC WATER COOLER	REV	REVISION
EXA	EXHAUST AIR	RF	ROOF
EXH	EXHAUST	RM	ROOM
EXIST	EXISTING	ROW	RIGHT OF WAY
EXP	EXPANSION	SA	SUPPLY AIR
EXT	EXTERIOR	SCHED	SCHEDULE
FD	FLOOR DRAIN	SECT	SECTION
FE	FIRE EXTINGUISHER	SEL	SELECT
FEC	FIRE EXTINGUISHER CABINET	SF	SQUARE FEET
FG	FINISH GRADE	SHT	SHEET
FIN	FINISH	SIM	SIMILAR
FIXT	FIXTURE	SLDG	SLIDING
FLEX	FLEXIBLE	SPEC	SPECIFICATION
FLR	FLOOR	SQ	SQUARE
FLUOR	FLUORESCENT	SS	STAINLESS STEEL
FND	FOUNDATION	STD	STANDARD
FOS	FACE OF STUD	STL	STEEL
FS	FLOOR SINK	STRUCT	STRUCTURAL
FT/	FEET	SUSP	SUSPENDED
FTG	FOOTING	SYS	SYSTEM
FT lbs	FOOT POUNDS	T	TREAD
FUR	FURRING	T&G	TONGUE & GROOVE
FV	FIELD VERIFY	TBC	TOP BACK OF CURB
GA	GAUGE	TEL	TELEPHONE
GALV	GALVANIZED	THK	THICK
GC	GENERAL CONTR	TO	TOP OF
GL	GALVANIZED IRON	TOF	TOP OF FOOTING
GFRG	GL FIBER REINFORCED CONC	TOW	TOP OF WALL
GFRG	GL FIBER REINFORCED GYP	TYP	TYPICAL
GRD	GRADE	UNO	UNLESS NOTED OTHERWISE
GRND	GROUND	UR	URINAL
GYP BD	GYP SUM BOARD	VCT	VINYL COMPOSITE TILE
H	HIGH	VERT	VERTICAL
HB	HOSE BIB	VEST	VESTIBULE
HDR	HEADER	VG	VERTICAL GRAIN
HDW	HARDWARE	VNR	VENEER
HDWD	HARDWOOD	VTR	VENT THROUGH ROOF
HGT	HEIGHT	W	WIDE
HM	HOLLOW METAL	W/O	WITH OUT
HORIZ	HORIZONTAL	WC	WATER CLOSET
HSS	HOLLOW STRUCTURAL SECTION	WCO	WATER CLEANOUT
HW	HOT WATER	WD	WOOD
ID	INSIDE DIAMETER	WDW	WINDOW
IN	INCH	WF	WIDE FLANGE
INSUL	INSULATION	WH	WATER HEATER
INT	INTERIOR	WMN'S	WOMEN'S
INV	INVERT	WP	WEATHER PROOF
JAN	JANITOR	WR	WATER RESISTANT
JST	JOIST	WWR	WELDED WIRE REINFORCEMENT
JT	JOINT		

2012 IBC CODE REQUIREMENTS INFORMATION

CODE ITEM REFERENCE	CODE REQUIREMENT	ACTUAL BUILDING DESIGN
OCCUPANCY CHAPTER 3	A-3 ASSEMBLY SECTIONS 302.1.1 AND 303.4	A-3 ASSEMBLY
CONSTRUCTION TYPE 602.5	TYPE V-B FIRE SPRINKLED	TYPE V-B FIRE SPRINKLED
ALLOWABLE FLOOR AREA TABLE 503	SECTION 302.1.1 - ALLOWABLE AREAS BASED ON MOST RESTRICTIVE USE. DIFFERENT USES ARE NOT SEPARATED BY FIRE BARRIERS.	BASE ALLOWABLE AREA = 6,000 S.F.
ALLOWABLE AREA INCREASE	300% INCREASE FOR FIRE SPRINKLERS PER 506.3 75% INCREASE FOR FRONTAGE PER 506.2 TOTAL ALLOWABLE AREA WITH INCREASE = 28,500 S.F.	ACTUAL AREA = 19,472 S.F.
MAXIMUM HEIGHT TABLE 503	1 STORY, 40 FEET 504.2: 20 FOOT INCREASE FOR SPRINKLER + 1 STORY	1 STORY, 30'-10" + SPIRE AND BASE 39'-2" = 70'-0"
ROOF COVERING TABLE 1505.1	CLASS C FIRE-RESISTANCE	CLASS A FIRE-RESISTANCE
ROOF VENTILATION	SECTION 1203.2 - MIN 2% OF ROOF AREA 20,369/300=68 SF NFA	78 SF NET FREE AREA PROVIDED
DRAFT STOPS	718.3.3 & 718.4.3 EXCEPTION: NOT REQUIRED IN BUILDINGS WITH SPRINKLERS	BUILDING IS SPRINKLED
EGRESS WIDTH SECTION 1005.3.1 AND 1005.3.2	WITH SPRINKLER SYSTEM AND EMERGENCY VOICE/ALARM COMMUNICATION SYSTEM: STAIRS 0.2' / OCCUPANT OTHERS 0.15' / OCCUPANT 218" REQUIRED	267" PROVIDED
RESTROOM ACCESSIBILITY	ANSI A117.1 GROUP A OCCUPANCY - 1 UNISEX TOILET TABLE 2902.1	1 ACCESSIBLE FIXTURE TYPE FOR EACH RESTROOM, 2 UNISEX TOILETS
ACCESSIBLE ENTRANCE SECTION 1105.1	AT LEAST 60% BUT NOT LESS THAN 1	PROVIDED
INCIDENTAL USE PER CODE	SECTION 509.1 AND 509.4.2	THIS IS A NON-SEPARATED USE BUILDING

TOTAL OCCUPANCY LOAD FOR OCCUPANCIES = 1453
 EXITING PLAN COMPLIES WITH 2012 IBC
REQUIREMENTS:
 36" DOOR = 33" CLR. = 220 PEOPLE AT 0.15" PER PERSON
 42" DOOR = 39" CLR. = 260 PEOPLE AT 0.15" PER PERSON

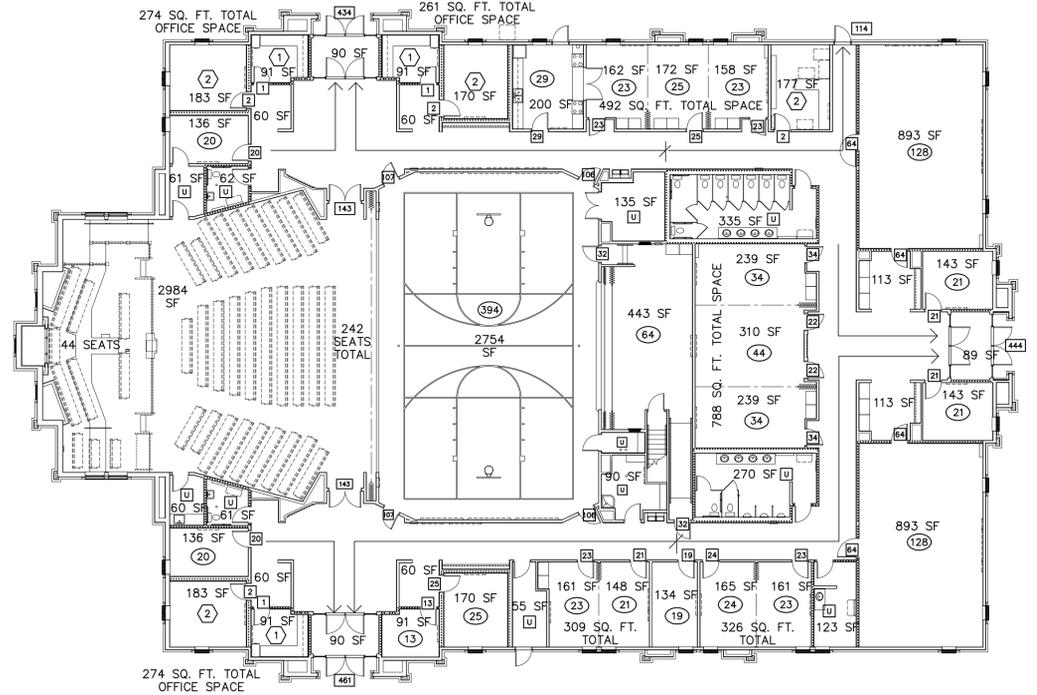
PLUMBING FIXTURE COUNT

1453 OCCUPANTS			
	WATER CLOSETS	LAVS	DRINKING FOUNTAINS
MEN	727/150 = 4.84	1:200 = 3.63	2 REQUIRED
WOMEN	727/75 = 9.69	1:200 = 3.63	
	PROVIDED		4 TOTAL
MEN	5	4	
WOMEN	10	6	
FAMILY	2	2	

NOTE: THE FAMILY TOILET ROOM FIXTURES COUNT TOWARD THE WOMENS FIXTURE COUNT.

DESIGN CRITERIA	2012 IBC
TYPE OF CONSTRUCTION	V - B
OCCUPANCY	A-3 ASSEMBLY
HEIGHT AS PER CODE	1 STORY, 40'-0"
SEE SHEET S001 FOR STRUCTURAL DESIGN CRITERIA	
WINTER DESIGN TEMPERATURE	SEE SHEET M101 FOR DESIGN CRITERIA
SUMMER DESIGN CONDITIONS	THESE DOCUMENTS HAVE BEEN DESIGNED TO MEET THE VENTILATION REQUIREMENTS OF ASHRAE 62-2001
VENTILATION	
ELEVATION	4,855
ELECTRICAL PHASE	120/208V 3 PHASE
PLUMBING CODE	2012 - INTERNATIONAL PLUMBING CODE
MECHANICAL CODE	2012 - INTERNATIONAL MECHANICAL CODE

STANDARD SYMBOLS LEGEND	
DETAIL	DETAIL LETTER SHEET NUMBER
SECTION	SECTION LETTER SHEET NUMBER
SHEET REFERENCE	
ROOM NUMBER	ROOM NAME ROOM NUMBER ENLARGED PLAN
DOOR DESIGNATION	
WINDOW DESIGNATION	
ELEVATION (VIEW)	ELEVATION LETTER SHEET NUMBER
ELEVATION (DATUM)	
VISUAL DISPLAY BOARDS	



1 EXITING & OCCUPANCY PLAN
 1/16" = 1'-0" TOTAL OCCUPANCY: 1453

LEGEND	
SYMBOL	DESCRIPTION
150 SF	ROOM SQUARE FOOTAGES
	OCCUPANT LOAD SERVED BY EXIT
	NOT COUNTED IN TOTAL OCCUPANT LOAD
	"ROOM OCCUPANT LOAD AT 7 SQ. FT. PER PERSON" (ASSEMBLY)
	"ROOM OCCUPANT LOAD AT 15 SQ. FT. PER PERSON" (ASSEMBLY)
	"ROOM OCCUPANT LOAD AT 100 SQ. FT. PER PERSON" (BUSINESS)

DATE	DESCRIPTION
1 29 JAN 2016	Site Submittal

DATE	DESCRIPTION
1 29 JAN 2016	Site Submittal



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PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake
 8732 North Desert Canyon Road Eagle Mountain, Utah 84005
 BIDDING PROJECT # 1603
 PLAN SERIES: HET-MAS-09-06
 PROPERTY # 500-8473
 DATE: 29 June 2016

SHEET TITLE:
CODE INFORMATION, SYMBOLS, EXITING AND OCCUPANCY PLAN

SHEET:
G101

ALTA / ACSM LAND TITLE SURVEY 8732 NORTH DESERT CANYON ROAD EAGLE MOUNTAIN, UTAH 84005

Commitment Number: BT-13505 1st Amended
Effective Date: 11/07/15 @ 8:00 a.m.

To: First American Title Company
Bartlett Title Insurance Agency, Inc.
Eagle11, LLC, a Utah limited liability company
Corporation of the Presiding Bishop of the Church of Jesus Christ of Latter-Day Saints, a Utah corporation sole

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 11a, 13, 14, 16 and 18 of the Table A thereof. The field work was completed on September 21, 2015.

December 18, 2015
Date of Plat:

Nathan B. Weber
Professional Land Surveyor
Nathan B. Weber, PLS
License No. 5152762

Property Description

The land referred to is located in Utah County, State of Utah, and is described as follows:

A parcel of land located in the Northeast Quarter of Section 20, Township 5 South, Range 1 East, Salt Lake base and Meridian more particularly described as follows:
Lot 8, Heatherwood on the Green Phase 2, Vacating Lot 8 Heatherwood on The Green PH1, 2nd Amendment Planned Unit Development, more particularly described as follows:

Being at a point North 0°54'56" West 1336.26 feet along the section line and North 89°05'04" East 4099.70 feet from the West Quarter corner of said Section 20 and running:
thence North 74°01'29" East 18.44 feet; thence North 52°45'30" East 104.22 feet; thence South 38°48'13" East 94.82 feet; thence South 16°35'06" East 64.81 feet; thence South 56°01'16" West 323.62 feet; thence South 70°03'55" West 87.68 feet; thence North 19°27'01" West 30.99 feet; thence South 68°12'23" West 39.86 feet; thence North 24°04'59" West 122.55 feet; thence North 27°34'40" West 50.10 feet; thence North 24°05'25" West 8.53 feet to a point of curvature; thence 20.77 feet along the arc of a 51.00 foot radius curve to the left through a central angle of 23°20'16" (Long Chord Bears North 65°23'57" West 20.63 feet) to a point of reverse curvature; thence 14.79 feet along the arc of a 16.00 foot radius curve to the right through a central angle of 52°58'00" (Long Chord Bears North 50°34'46" West 14.27 feet); thence North 24°05'25" West 174.16 feet; thence North 79°18'09" East 37.22 feet; thence North 74°01'29" East 172.11 feet to the point of beginning.

Notes:

- The basis of bearing is North 0°54'56" West between the found brass cap monuments at the West Quarter Corner and Northwest Corner of Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian. The survey control was established with GPS from the Utah State VRS system. The GPS data was measured on the Utah State Plane Central USF NAD83 system and was then projected to a local ground system for this survey.
- The purpose of this survey is to retrace and monument the boundary of the described property according to the official records and the location of pertinent existing improvements located on the ground.
- This does not represent a title search by the surveyor. Title information was provided by others for the subject property.
- The location of underground utilities as shown hereon are based on above ground structures and blue stake locations. Additional maps were acquired from utility GIS and mapping departments for verification. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of this survey to locate buried utilities/structures. Before excavations are begun, please contact blue stakes and appropriate agencies.
- Parcel contains 150,475 square feet or 3.45 acres.
- The Property has access to Desert Canyon Road and Cunninghamhill Drive.
- The Purported address of the site is 8732 North Desert Canyon Road, Eagle Mountain, Utah 84005
- The property lies within Flood Zone X per FEMA Community-Panel Number 4955170115 B.
- The property lies within the Village Core Zone.
- No observed evidence of any current earth moving work, building construction or building additions.
- No observed evidence of site use as a solid waste dump, sump or sanitary landfill.
- The property is 46 feet Northeast of the Intersection of Desert Canyon Road and Cunninghamhill Drive.

SCHEDULE B - SECTION II EXCEPTIONS

- An easement over, across or through the land for pipelines and/or communications cable and incidental purposes, as granted to Kern River Gas Transmission Company by Instrument recorded April 3, 1990, as Entry No. 10146 in Book 2678 at Page 346 of Official Records.

Survey Findings: The easement is a blanket easement over the Northeast Quarter of Section 20, Township 5 South, Range 1 West, Salt Lake Base and Meridian.

#	DATE	DESCRIPTION
1	29 Jun 2016	Site Submittal

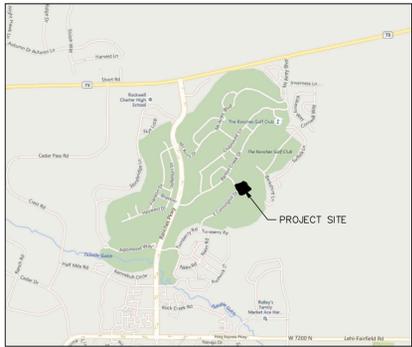
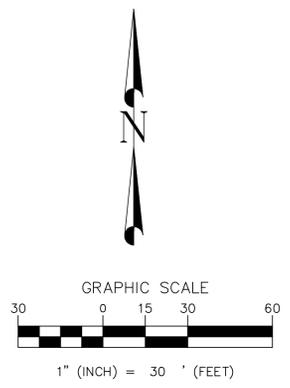
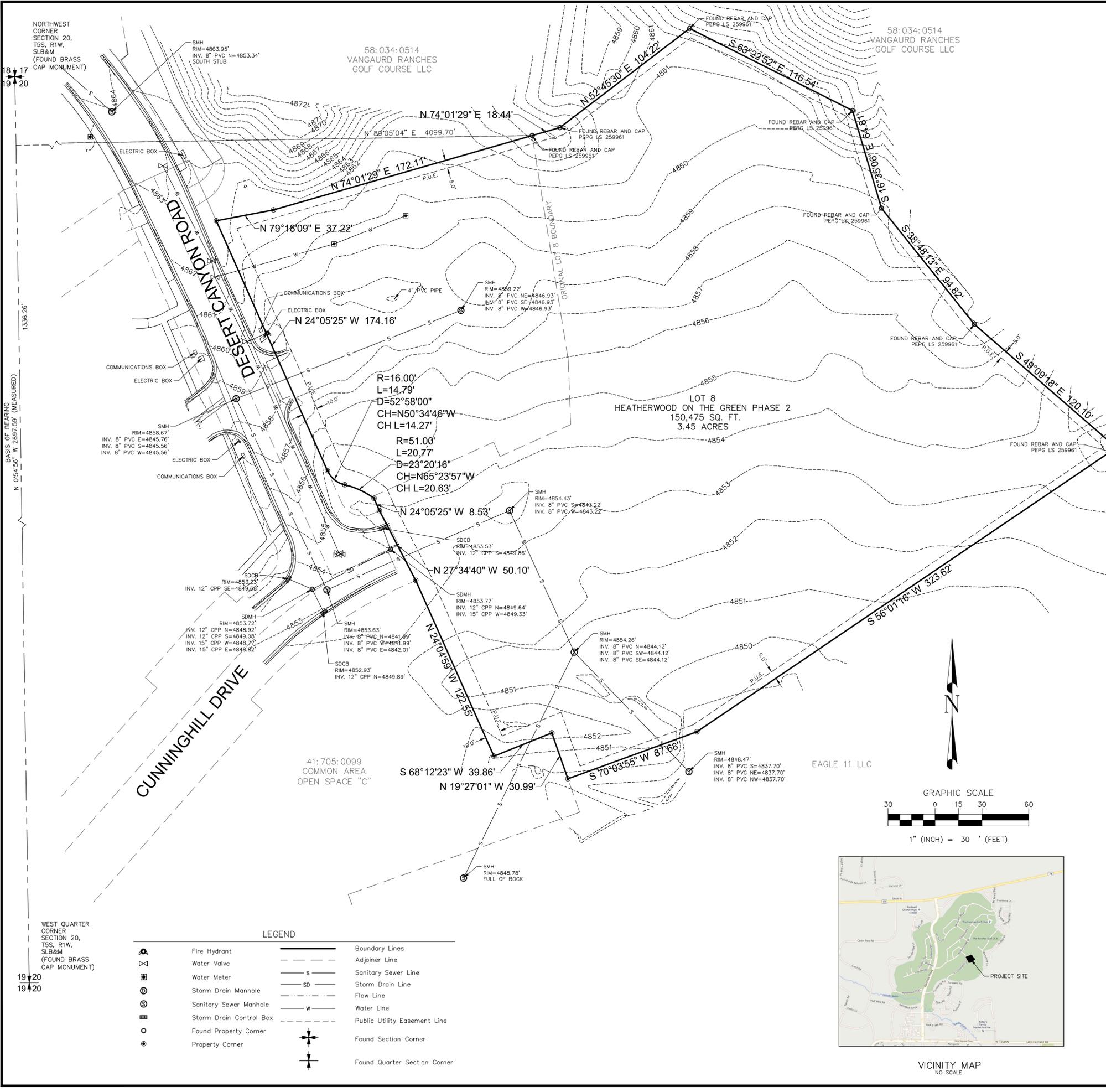


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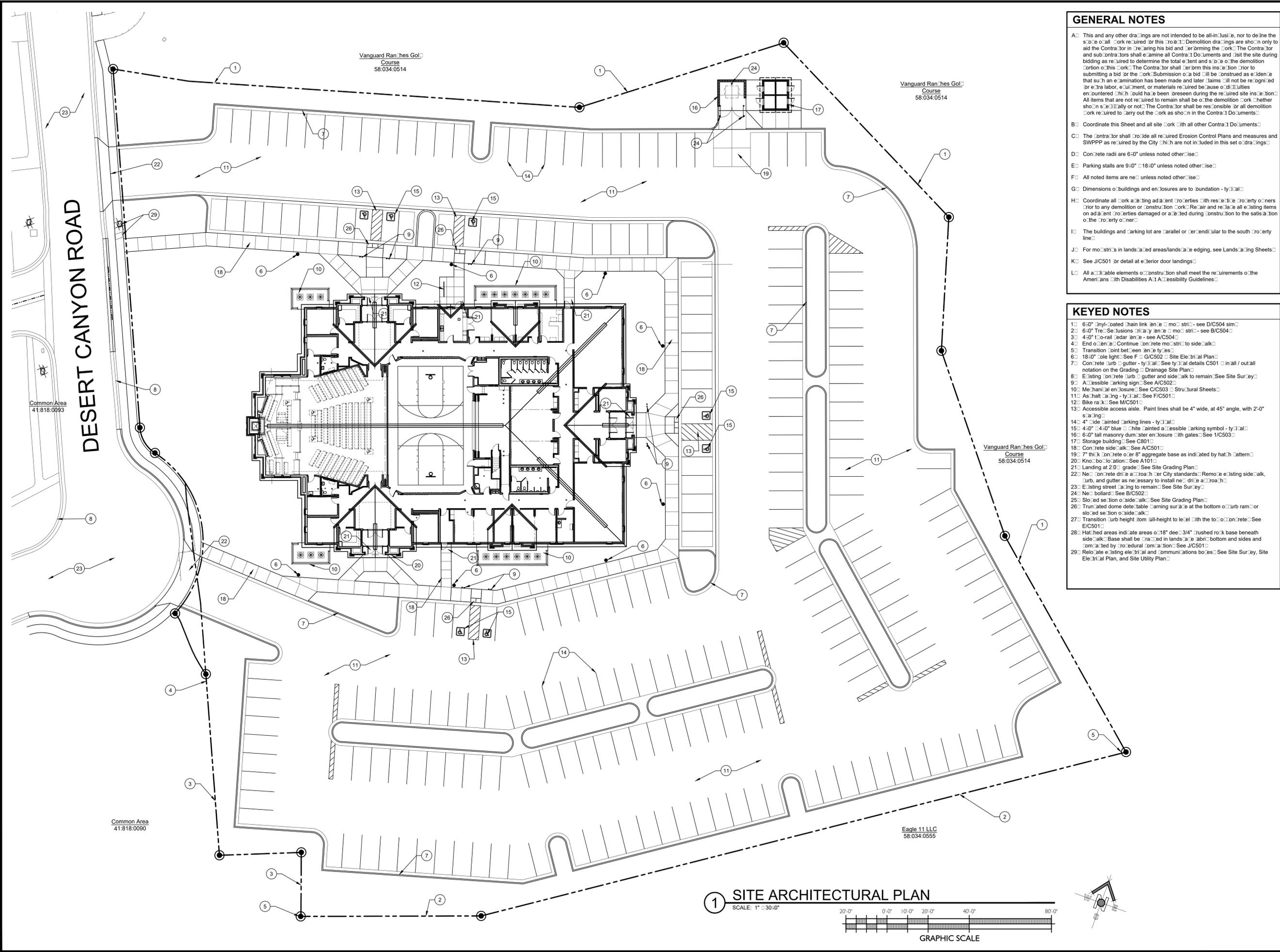
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME: Highlands 2, 3
Eagle Mountain UT North Stake
PROPERTY # 500-8473
PLAN SERIES: HET-MAS-09-06
DATE: 29 June 2016

SHEET TITLE: SITE SURVEY PLAN
SHEET: C101



LOCATED IN THE NORTHEAST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 1 WEST, SALT LAKE BASE AND MERIDIAN



GENERAL NOTES

A This and any other drawings are not intended to be all-inclusive, nor to define the scope of all work required for this project. Demolition drawings are shown only to aid the Contractor in preparing his bid and in performing the work. The Contractor and subcontractors shall examine all Contract Documents and list the site during bidding as required to determine the total extent and scope of the demolition portion of this work. The Contractor shall perform this inspection prior to submitting a bid for the work. Submission of a bid shall be construed as evidence that such an examination has been made and later claims will not be recognized for extra labor, equipment, or materials required because of deficiencies encountered which could have been foreseen during the required site inspection. All items that are not required to remain shall be the demolition work whether shown specially or not. The Contractor shall be responsible for all demolition work required to carry out the work as shown in the Contract Documents.

B Coordinate this Sheet and all site work with all other Contract Documents.

C The Contractor shall provide all required Erosion Control Plans and measures and SWPPP as required by the City which are not included in this set of drawings.

D Concrete radii are 6'-0" unless noted otherwise.

E Parking stalls are 9'-0" x 18'-0" unless noted otherwise.

F All noted items are new unless noted otherwise.

G Dimensions of buildings and enclosures are to foundation - typically.

H Coordinate all work affecting adjacent properties with respective property owners prior to any demolition or construction work. Repair and replace all existing items on adjacent properties damaged or affected during construction to the satisfaction of the property owner.

I The buildings and parking lot are parallel or perpendicular to the south property line.

J For mortars in landscaped areas/landscaping, see Landscaping Sheets.

K See J/C501 for detail at exterior door landings.

L All accessible elements of construction shall meet the requirements of the Americans with Disabilities Act Accessibility Guidelines.

KEYED NOTES

1 6'-0" vinyl-coated chain link fence - see D/C504 sim.

2 6'-0" Tree - See Inclusions in site plan - see B/C504.

3 4'-0" Over-all radius - see A/C504.

4 End of concrete - Continue concrete to sidewalk.

5 Transition point between areas - typically.

6 18'-0" pole light - See F/G/C502 - Site Electrical Plan.

7 Concrete curb - gutter - typically - See typical details C501 in all / outfall notation on the Grading / Drainage Site Plan.

8 Existing concrete curb - gutter and sidewalk to remain - See Site Survey.

9 Accessible parking sign - See A/C502.

10 Mechanical enclosure - See C/C503 - Structural Sheets.

11 As-shalt paving - typically - See F/C501.

12 Bike rack - See M/C501.

13 Accessible access aisle. Paint lines shall be 4" wide, at 45° angle, with 2'-0" spacing.

14 4" wide painted parking lines - typically.

15 4'-0" x 4'-0" blue white painted accessible parking symbol - typically.

16 6'-0" tall masonry dumpster enclosure with gates - See I/C503.

17 Storage building - See C801.

18 Concrete sidewalk - See A/C501.

19 7" thick concrete or 8" aggregate base as indicated by hatch pattern.

20 Knob location - See A101.

21 Landing at 2'-0" grade - See Site Grading Plan.

22 New concrete drainage approach per City standards. Remove existing sidewalk, curb, and gutter as necessary to install new drainage approach.

23 Existing street paving to remain - See Site Survey.

24 New bollard - See B/C502.

25 Sloped section sidewalk - See Site Grading Plan.

26 Truncated dome detectable warning surface at the bottom of curb ramp or sloped section sidewalk.

27 Transition curb height from full-height to level with the top of concrete - See E/C501.

28 Hat head areas indicate areas of 18" deep x 3/4" crushed rock base beneath sidewalk. Base shall be graded in lands to a depth of bottom and sides and compacted by mechanical compaction - See J/C501.

29 Relocate existing electrical and communications boxes - See Site Survey, Site Electrical Plan, and Site Utility Plan.

#	DATE	DESCRIPTION
1	29 Jun 2016	Site Summary



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THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

**Highlands 2, 3
Eagle Mountain UT North Stake**

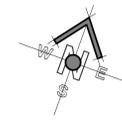
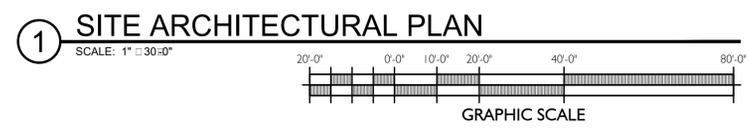
8732 North Desert Canyon Road
Eagle Mountain, Utah 84005

BID/PROJECT # HET-MAS-09-06
DATE 29 June 2016 1603

PROPERTY # 500-8473

SITE ARCHITECTURAL PLAN

C111



GENERAL NOTES

A: Install concrete landscaping moat curbs with smooth transitions in all bases as shown.

B: Radii are 6'-0" unless noted otherwise.

#	DATE	DESCRIPTION
1	29 Jun 2016	Site Summary



bb ARCHITECTS

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THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

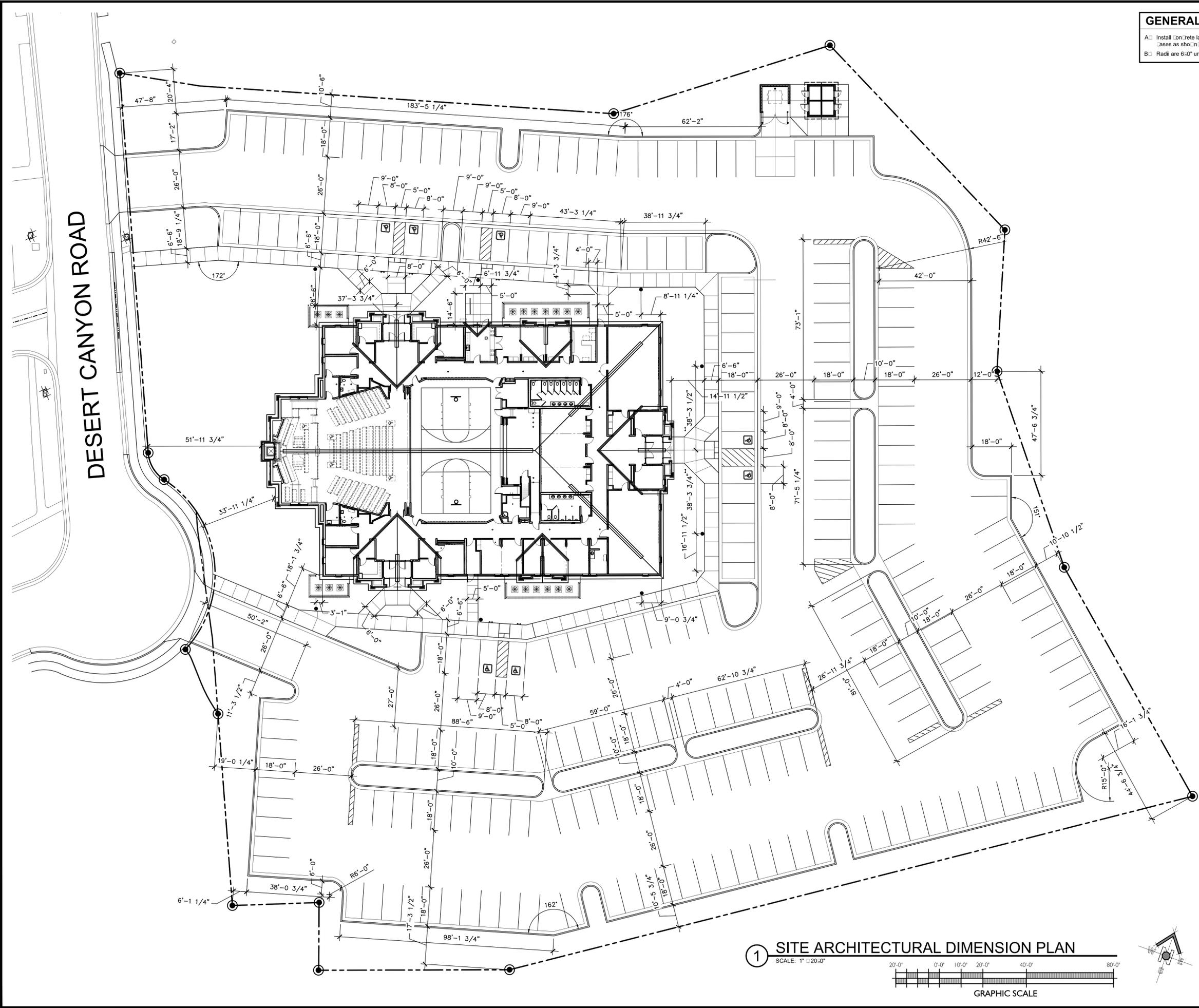
Highlands 2, 3
Eagle Mountain UT North Stake

8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005

PROJECT # HET-MAS-09-06
 PROPERTY # 500-8473

SITE ARCHITECTURAL DIMENSION PLAN

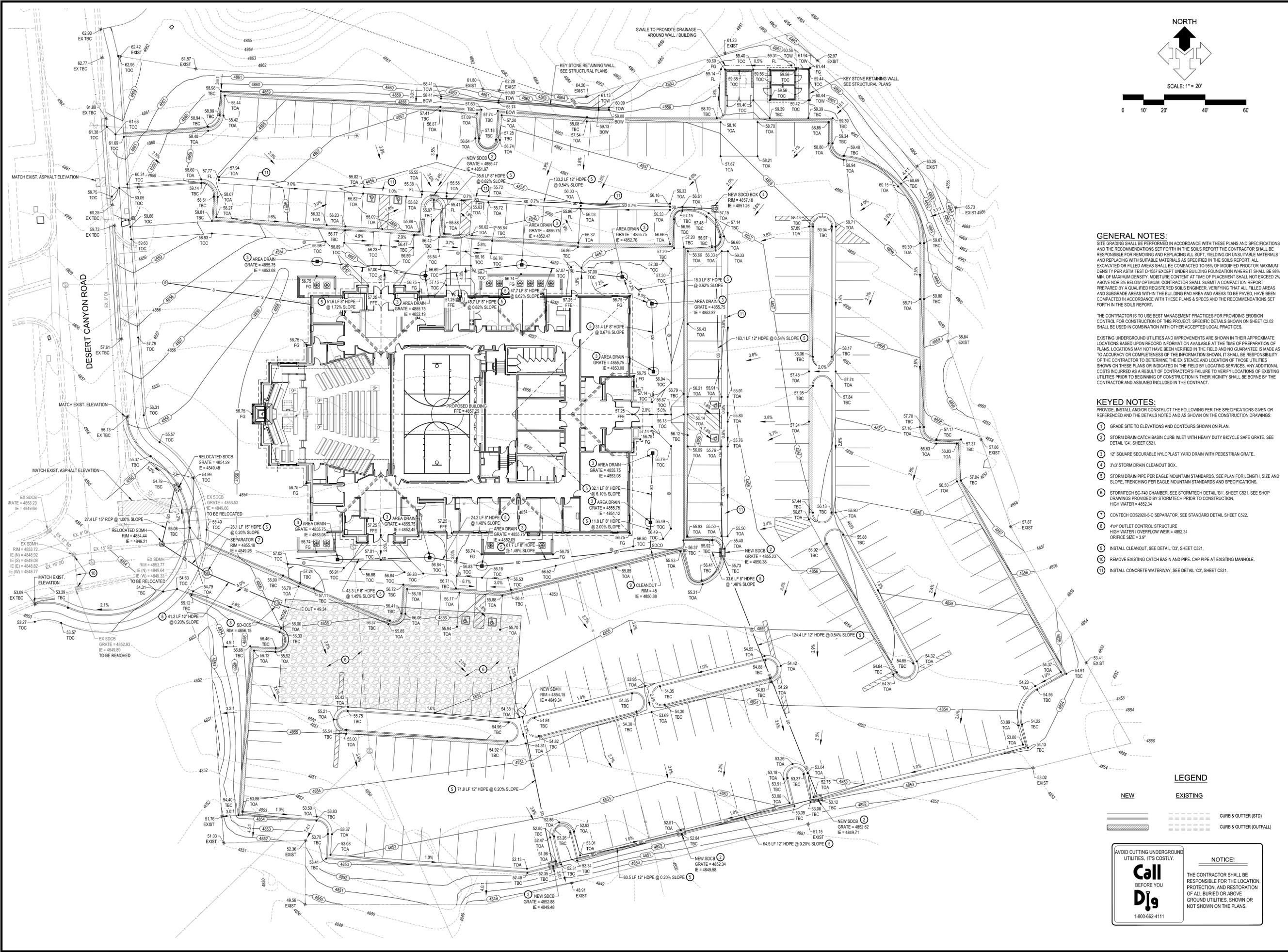
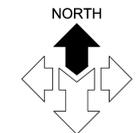
C112



1 SITE ARCHITECTURAL DIMENSION PLAN
 SCALE: 1" = 20'-0"

20'-0" 0'-0" 10'-0" 20'-0" 40'-0" 80'-0"
 GRAPHIC SCALE

DESERT CANYON ROAD



GENERAL NOTES:

SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.02 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

- KEYED NOTES:**
- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
 - STORM DRAIN CATCH BASIN CURB INLET WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'C4', SHEET C521.
 - 12" SQUARE SECURABLE NYLOPLAST YARD DRAIN WITH PEDESTRIAN GRATE.
 - 3"x3" STORM DRAIN CLEANOUT BOX.
 - STORM DRAIN PIPE PER EAGLE MOUNTAIN STANDARDS. SEE PLAN FOR LENGTH, SIZE AND SLOPE. TRENCHEING PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS.
 - STORMTECH SC-740 CHAMBER. SEE STORMTECH DETAIL 'B1', SHEET C521. SEE SHOP DRAWINGS PROVIDED BY STORMTECH PRIOR TO CONSTRUCTION. HIGH WATER = 4852.34
 - CONTECH CDS2020-S-C SEPARATOR. SEE STANDARD DETAIL SHEET C522.
 - 4"x4" OUTLET CONTROL STRUCTURE HIGH WATER / OVERFLOW WEIR = 4852.34 GRIPCE SIZE = 3"x3"
 - INSTALL CLEANOUT. SEE DETAIL 'C3', SHEET C521.
 - REMOVE EXISTING CATCH BASIN AND PIPE. CAP PIPE AT EXISTING MANHOLE.
 - INSTALL CONCRETE WATERWAY. SEE DETAIL 'C3', SHEET C521.

LEGEND

NEW

EXISTING

— CURB & GUTTER (STD)

--- CURB & GUTTER (OUTFALL)

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call BEFORE YOU Dig

1-800-682-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

DATE:	29 Jun 2016
DESCRIPTION:	Site Submittal
PROJECT NO.:	16145

MCNEIL ENGINEERING

Professional Engineer
 Robert J. Poirier
 State of Utah
 License No. 2202

bb ARCHITECTS

65 E. Wadsworth Park Dr., Ste. 205
 Draper, Utah 84020
 Phone: 801.571.0010
 Fax: 801.571.0303
 Toll Free: 888.571.0010
 bbarchitects.com

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Highlands 2, 3
 Eagle Mountain UT North Stake

GRADING AND DRAINAGE PLAN

PROJECT NAME: Highlands 2, 3 Eagle Mountain UT North Stake

PROPERTY # 8732 North Desert Canyon Road Eagle Mountain, Utah 84005

PLAN SERIES: HET-MAS-09-06

BID/PROJECT # 1603

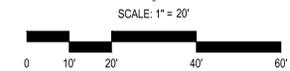
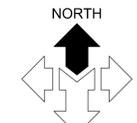
DATE: 29 June 2016

500-8473

C121

SHEET TITLE: GRADING AND DRAINAGE PLAN

SHEET: C121



GENERAL NOTES:

CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.

ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH EAGLE MOUNTAIN STANDARDS & SPECIFICATIONS.

ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.

CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY LINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURY LINK.

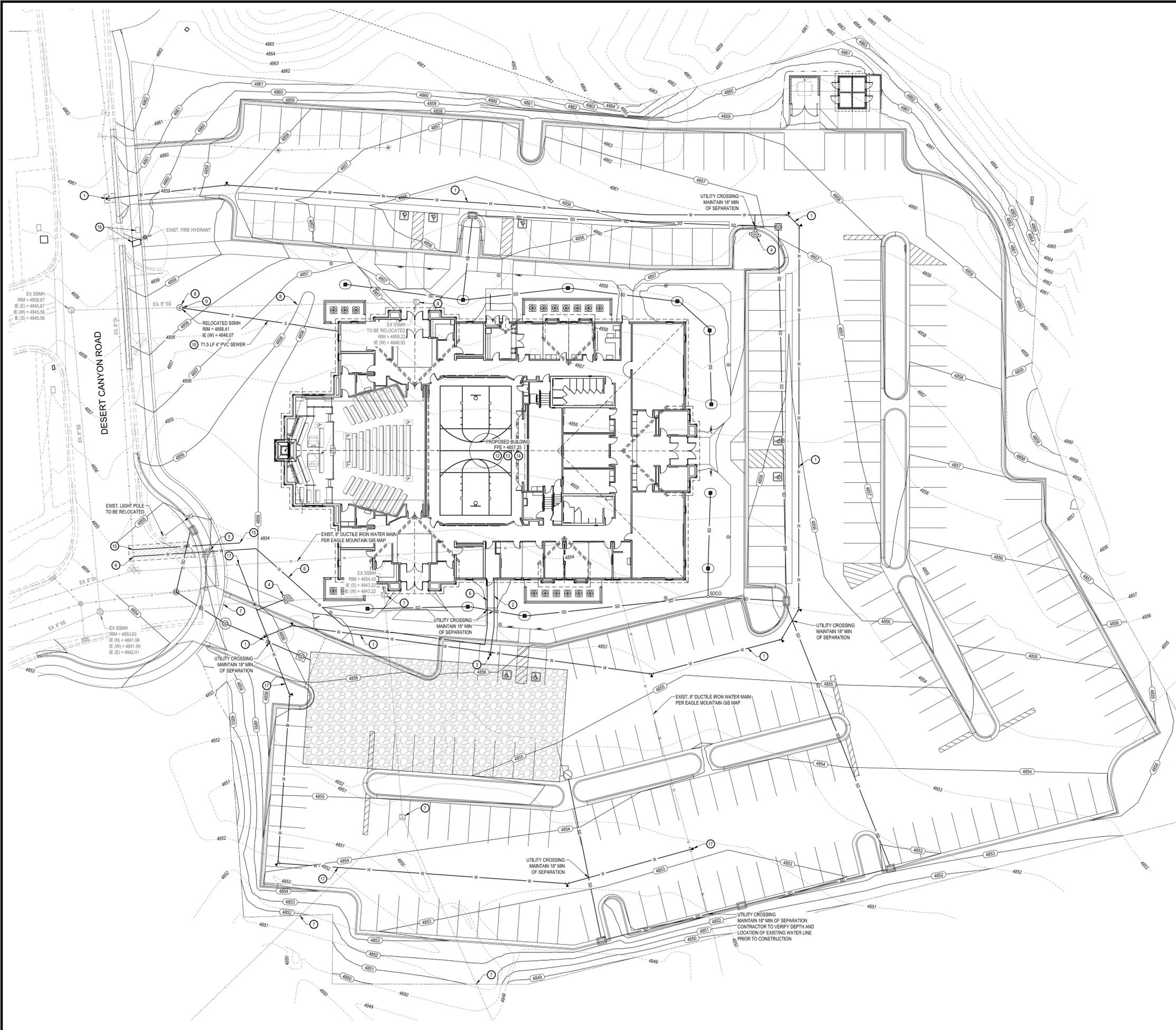
CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS FOR DESIGN OF GAS LINE SERVICE TO BUILDING. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS SERVICE GAS LIMITS.

LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.

UTILITY ALERT PHONE NUMBERS
 WATER: EAGLE MOUNTAIN - 801-788-6678
 SEWER: EAGLE MOUNTAIN - 801-788-6685
 NATURAL GAS: QUESTAR GAS - 800-232-9517
 ELECTRICAL POWER: ROCKY MOUNTAIN POWER - 866-870-3419
 TELEPHONE: CENTURY LINK - 877-837-5738

KEYED NOTES:

- PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 8" DUCTILE IRON WATER LINE WITH POLYWRAP, HOT TAP CONNECT TO EXISTING 8" DI WATER MAIN IN DESERT CANYON ROAD AND TO RELOCATED 8" DI WATER MAIN PER EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS, INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE DETAIL 'A1' SHEET CS21 FOR TRENCHING AND APWA STANDARD DETAIL '255', SHEET CS21 FOR ASPHALT REPAIR.
 - 8" PVC C-900 FIRE SERVICE WATER LINE WITH POLYWRAP PER EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS, INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE DETAIL 'A1' SHEET CS21 FOR TRENCHING.
 - 8"x6"x8" TEE.
 - INSTALL NEW FIRE HYDRANT PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS.
 - 2" WATER SERVICE METER SET PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS.
 - 2" TYPE 'K' COPPER WATER SERVICE LINE, CONNECT TO EXISTING 8" DI WATER MAIN PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS.
 - CAP EXISTING SEWER MAIN AT PROPERTY LINE AND REMOVE SEWER PIPES, LATERALS AND MANHOLES PER EAGLE MOUNTAIN CITY STANDARDS AND SPECIFICATIONS.
 - CUT AND REMOVE EXISTING 8" SEWER MAIN, RELOCATE EXISTING MANHOLE TO LOCATION SHOWN ON PLANS.
 - CONNECT NEW 4" PVC SDR-35 SANITARY SEWER LATERAL TO RELOCATED SEWER MANHOLE PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS.
 - 4" PVC SDR-35 SANITARY SEWER LATERAL @ 2.00% MINIMUM SLOPE, INCLUDING NEW CLEANOUTS PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS.
 - LIGHT POLE. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - NATURAL GAS LINE. CONTRACTOR TO COORDINATE SIZE, DESIGN AND INSTALLATION BY QUESTAR GAS WITH OTHER CONSTRUCTION.
 - TELEPHONE LINE. CONTRACTOR TO PROVIDE TRENCHING 30" DEEP X 24" WIDE FOR CENTURY LINK AND THEN BACKFILL AS REQUIRED.
 - UNDERGROUND CABLE AND POWER LINES. CONTRACTOR TO COORDINATE WITH COMCAST AND ROCKY MOUNTAIN POWER.
 - INSTALL STOP AND WASTE FOR IRRIGATION, CONNECT TO EXISTING 8" DI WATER MAIN PER EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS. SEE LANDSCAPE PLANS FOR DETAILS.
 - EXISTING UTILITY BOXES TO BE RELOCATED OUTSIDE NEW SIDEWALK. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES.
 - RELOCATE EXISTING 8" DUCTILE IRON WATER MAIN. CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION.



AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call Before You Dig

1-800-682-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

DATE:	29 Jun 2016
DESCRIPTION:	Site Utilities
DRAWING ISSUE SCHEDULE:	

MCNEIL ENGINEERING

8410 South Sandy Parkway, Suite 200
 Salt Lake City, UT 84120
 Phone: 352.770.7700
 Fax: 352.770.7700
 www.mcneileng.com

PROJECT NO. 16145

PROFESSIONAL ENGINEER

ROBERT J. POIRIER

06-29-16

STATE OF UTAH

ARCHITECTS

65 E. Wadsworth Park Dr., Ste. 205
 Draper, Utah 84020
 Phone: 801.571.0010
 Fax: 801.571.0003
 www.bharchitects.com

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Highlands 2, 3
Eagle Mountain UT North Stake

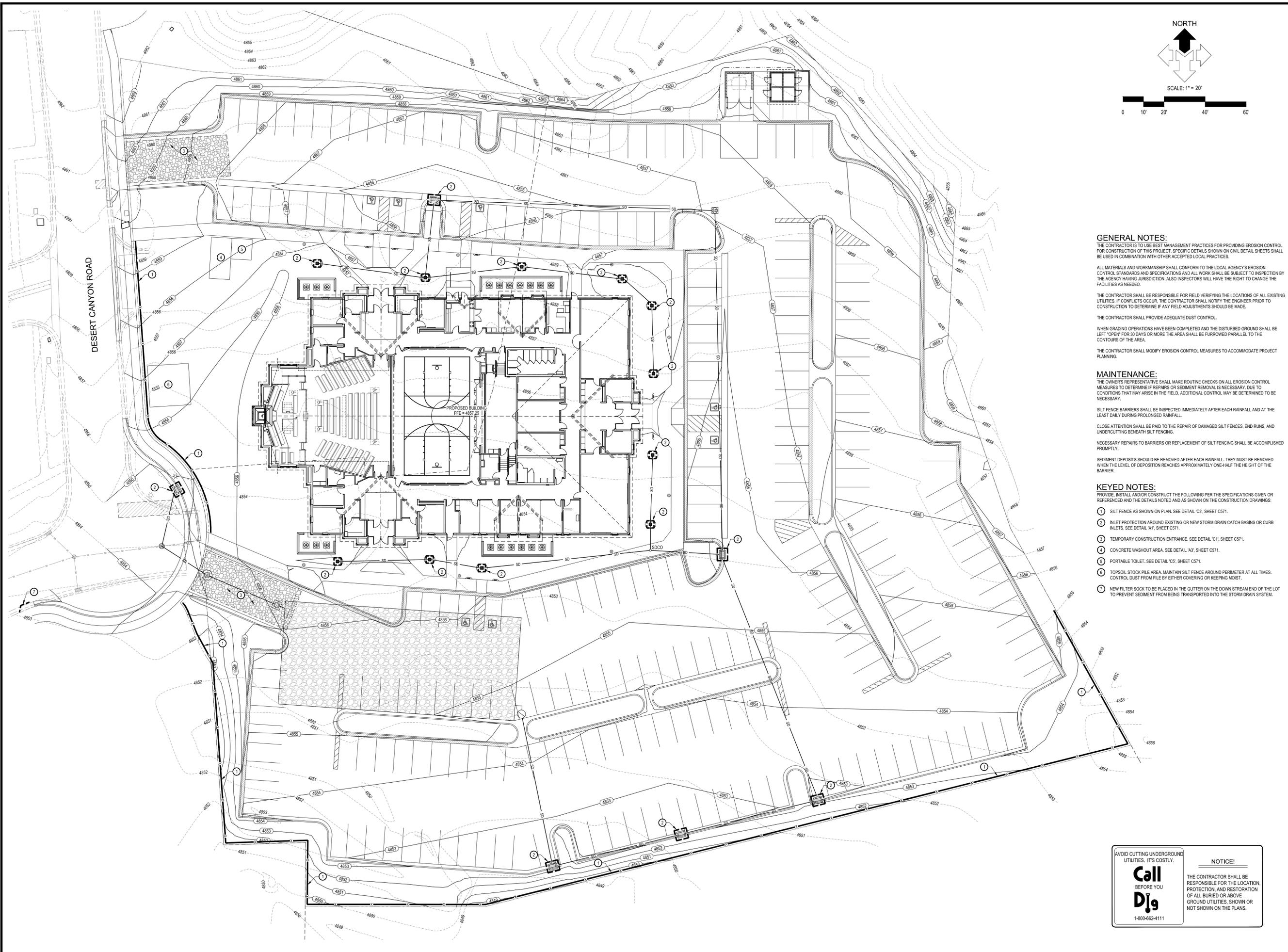
8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005

PROJECT # : HET-MAS-09-06
 PLAN SERIES :
 SHEET # : 1603

PROPERTY # : 500-8473

SITE UTILITY PLAN

C151



PLOTTED:	06/20/2016 11:46 AM
DRAWING ISSUE SCHEDULE	
DESCRIPTION	Site Stormwater
DATE	29 Jun 2016
#	1

MCNEIL ENGINEERING
 4610 South Sandy Parkway, Suite 200
 Draper, Utah 84020
 801.255.7700
 mce@mcneileng.com
 PROJECT NO: 16145

PROFESSIONAL ENGINEER
 801.255.7700
ROBERT J. POIRIER
 06-29-16
 STATE OF UTAH

ARCHITECTS
 65 E. Wadsworth Park Dr., Ste. 205
 Draper, Utah 84020
 Phone: 801.571.0010
 Fax: 801.571.0003
 Toll Free: 888.571.0010
 bhdarchitects.com

PROJECT FIRM:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake

PROPERTY #:
 500-8473

PLAN SERIES:
 HET-MAS-09-06

BIDD PROJECT #:
 1603

DATE:
 29 June 2016

SHEET TITLE:
EROSION CONTROL PLAN

SHEET:
C171

GENERAL NOTES:

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON CIVIL DETAIL SHEETS SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.

WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

MAINTENANCE:

THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCING.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

KEYED NOTES:

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C3', SHEET C571.
- 2 INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'A1', SHEET C571.
- 3 TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'C1', SHEET C571.
- 4 CONCRETE WASHOUT AREA. SEE DETAIL 'A3', SHEET C571.
- 5 PORTABLE TOILET. SEE DETAIL 'C5', SHEET C571.
- 6 TOPSOIL STOCK PILE AREA. MAINTAIN SILT FENCE AROUND PERIMETER AT ALL TIMES. CONTROL DUST FROM PILE BY EITHER COVERING OR KEEPING MOIST.
- 7 NEW FILTER SOCK TO BE PLACED IN THE GUTTER ON THE DOWN STREAM END OF THE LOT TO PREVENT SEDIMENT FROM BEING TRANSPORTED INTO THE STORM DRAIN SYSTEM.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

Call BEFORE YOU Dig
 1-800-662-4111

NOTICE!

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

#	DATE	DESCRIPTION	BY	CHK
1	29 Jun 2016	Site Submittal		



bba ARCHITECTS
 65 E Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0023
 bbaarchitects.com Toll Free: 888.571.0010

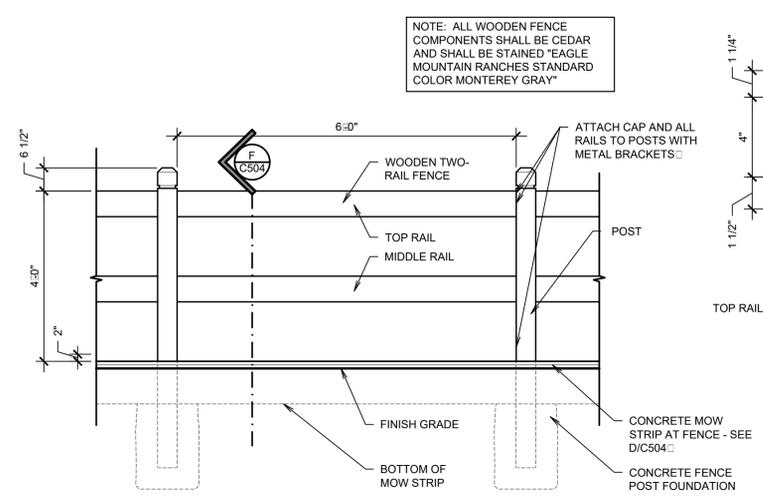
PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake
 8732 North Desert Canyon Road Eagle Mountain, Utah 84005
 BID/PROJECT # 1603 PLAN SERIES HET-MAS-09-06 PROPERTY # 500-8473
 DATE 29 June 2016

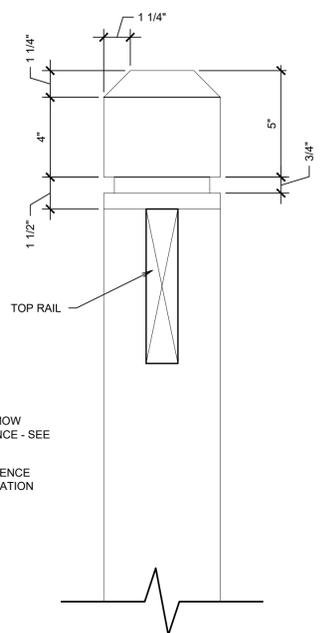
SHEET TITLE:
SITE DETAILS

SHEET:
C504

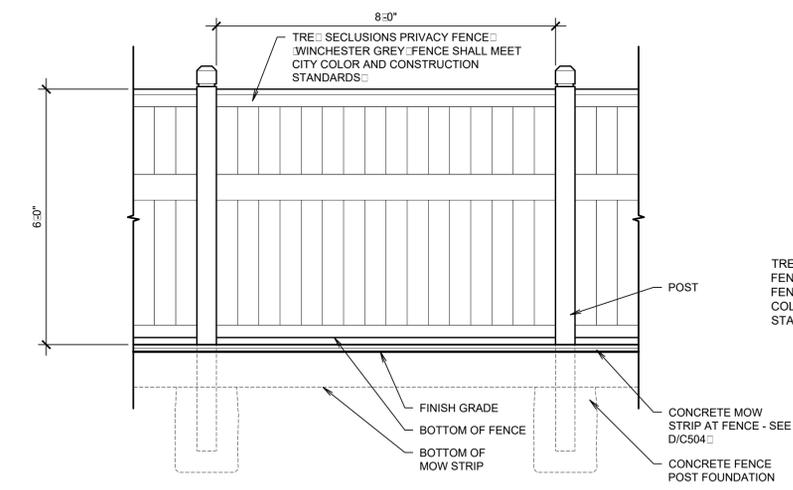
NOTE: ALL WOODEN FENCE COMPONENTS SHALL BE CEDAR AND SHALL BE STAINED "EAGLE MOUNTAIN RANCHES" STANDARD COLOR MONTEREY GRAY



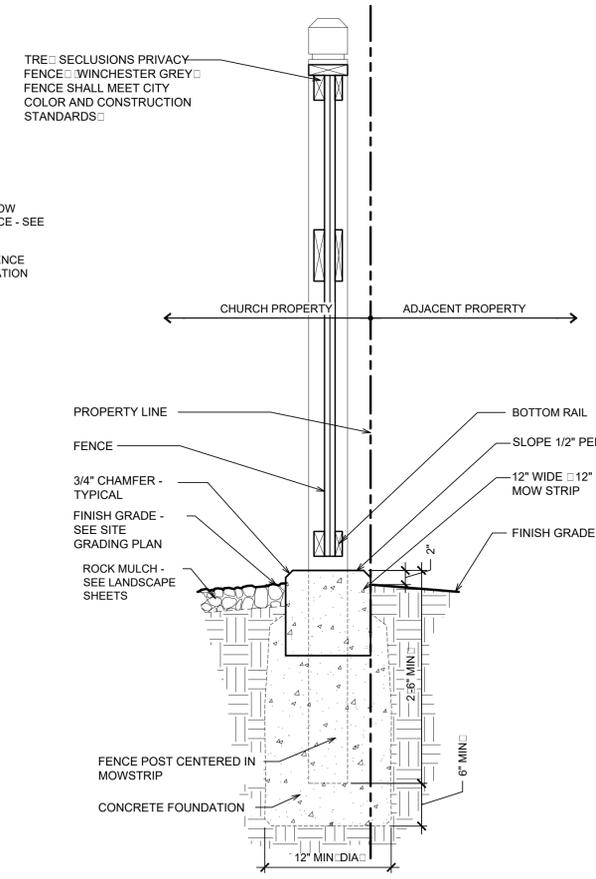
A FENCE ELEVATION
 SCALE: 1/2" = 1'-0"



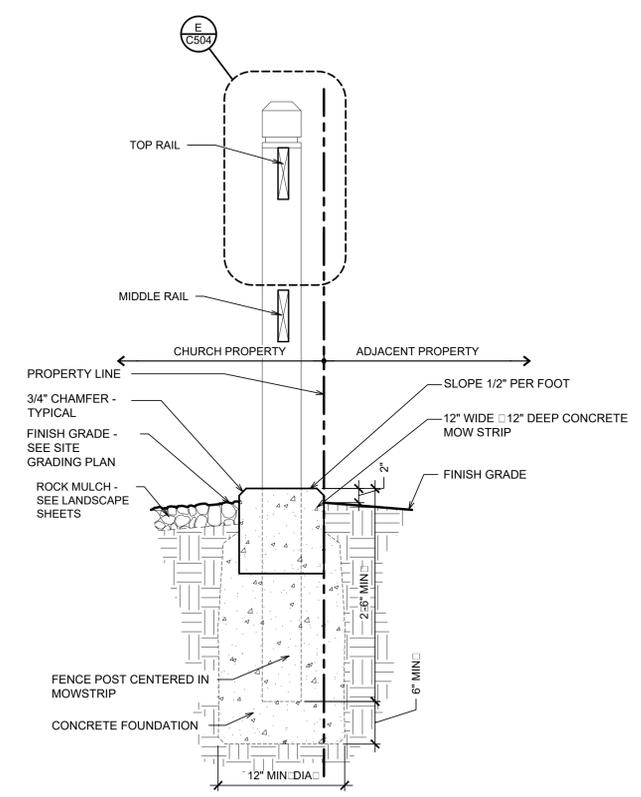
E FENCE POST DETAIL
 SCALE: 3" = 1'-0"



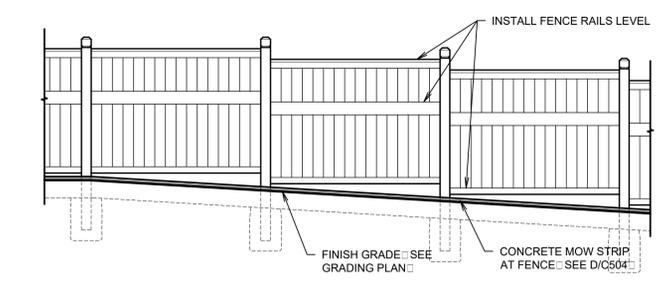
B FENCE ELEVATION
 SCALE: 1/2" = 1'-0"



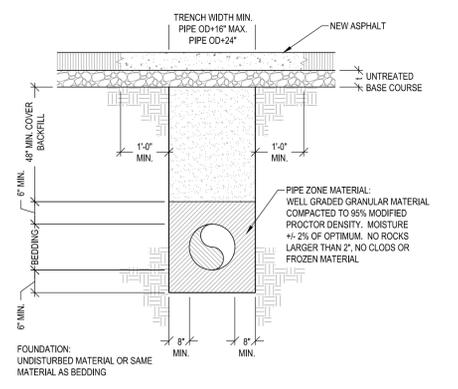
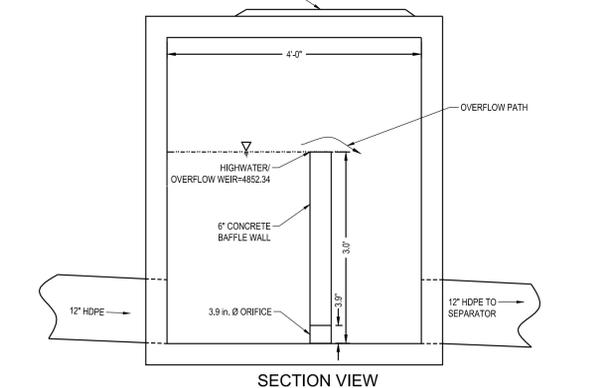
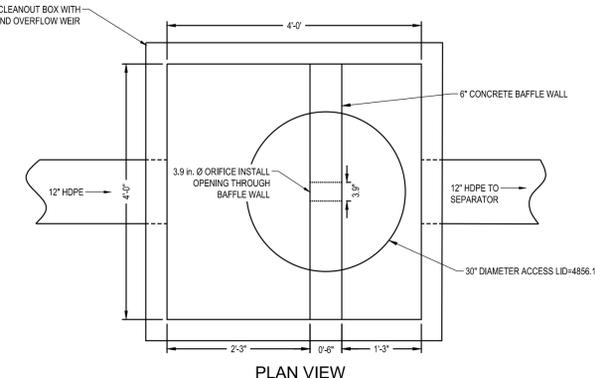
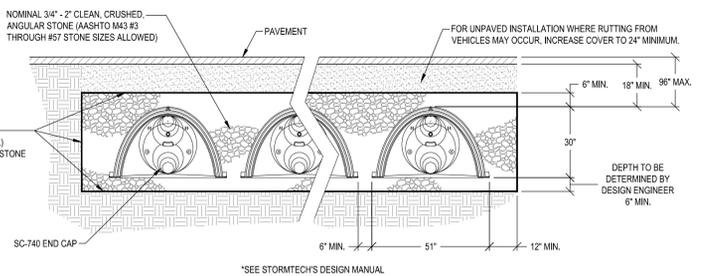
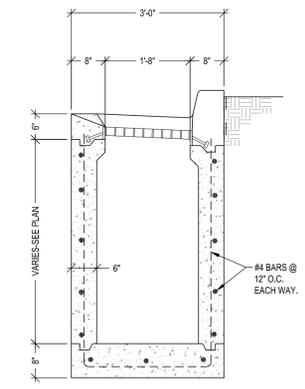
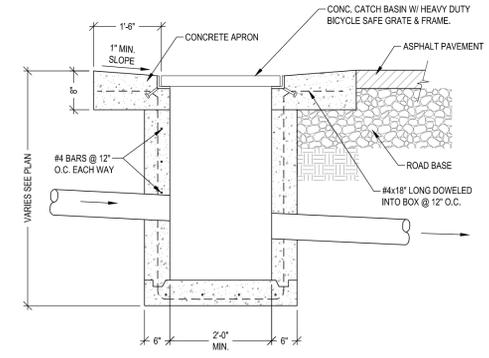
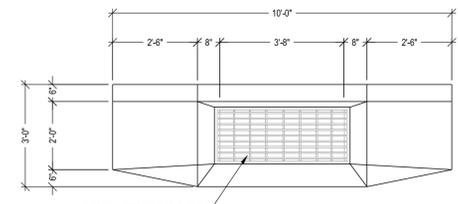
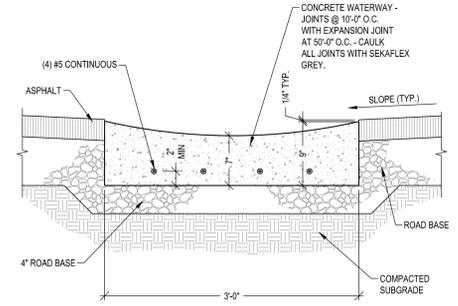
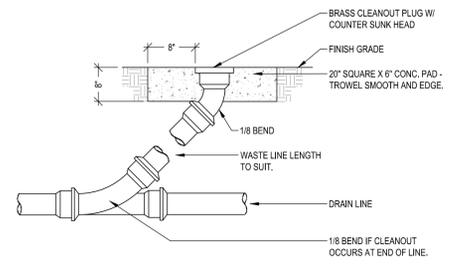
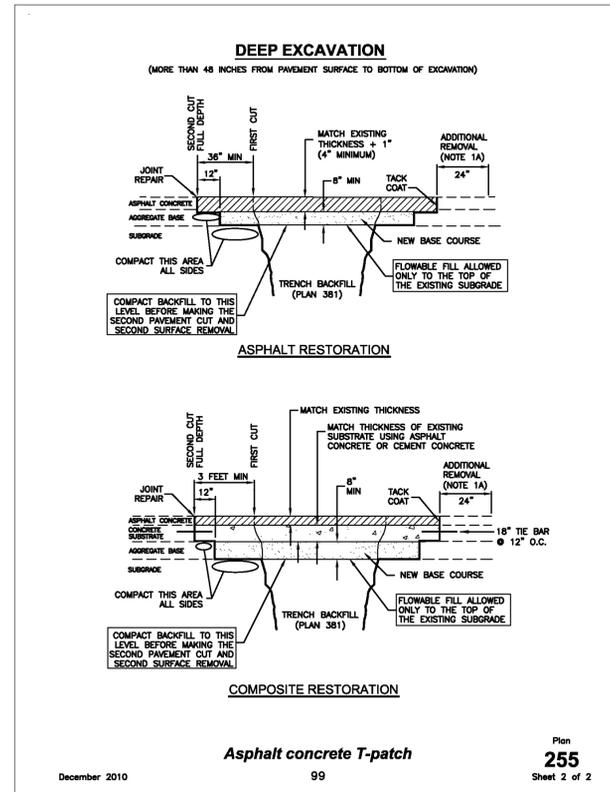
D FENCE AND MOWSTRIP DETAIL
 SCALE: 1" = 1'-0"



F FENCE AND MOWSTRIP DETAIL
 SCALE: 1" = 1'-0"



C STEPPED FENCE AT SLOPED AREAS
 SCALE: 1/4" = 1'-0"



PLOTTED: 6/20/2016 11:41 AM

#	DATE	DESCRIPTION
1	29 Jun 2016	Site Submittal

McNEIL ENGINEERING
8410 South Sandy Parkway, Suite 200
Draper, Utah 84020
801.255.7700
mceiling.com

PROJECT NO. 16145

PROFESSIONAL ENGINEER
ROBERT J. POIRIER
06-29-16
STATE OF UTAH

bb ARCHITECTS
65 E Wadsworth Park Dr, Ste 205
Draper, Utah 84020
888.571.0010
bbarchitects.com

PROJECT NAME: Highlands 2, 3 Eagle Mountain UT North Stake
PROPERTY #: 500-8473
PLAN SERIES: HET-MAS-09-06
BIDDING PROJECT #: 1603
DATE: 29 June 2016

SHEET TITLE: CIVIL DETAILS

SHEET: C521

#	DATE	DESCRIPTION
1	29 Jun 2016	Size Submitted

MCNEIL ENGINEERING™
 8410 South Sandy Parkway, Suite 200
 Salt Lake City, UT 84120
 801.353.7700 mcnengineering.com
 PROJECT NO. 16145

PROFESSIONAL ENGINEER
 06-29-16
ROBERT J. POIRIER
 STATE OF UTAH

bb ARCHITECTS
 65 E Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0003
 Toll Free: 888.571.0010
 bbarchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake

PROPERTY #:
 500-8473

PLANS SERIES:
 HET-MAS-09-06

DATE:
 29 June 2016

SHEET TITLE:
CIVIL DETAILS

SHEET:
C522

PLAN VIEW B-B
N.T.S.

ELEVATION A-A
N.T.S.

CDS2025-5-C DESIGN NOTES

CDS2025-5-C RATED TREATMENT CAPACITY IS 1.6 CFS [45.3 L/s], OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY IS 14.0 CFS [396 L/s]. IF THE SITE CONDITIONS EXCEED 14.0 CFS [396 L/s], AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

THE STANDARD CDS2025-5-C CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION
GRATED INLET ONLY (NO INLET PIPE)
GRATED INLET WITH INLET PIPE OR PIPES
CURB INLET ONLY (NO INLET PIPE)
CURB INLET WITH INLET PIPE OR PIPES
SEPARATE OIL BAFFLE (SINGLE INLET PIPE REQUIRED FOR THIS CONFIGURATION)
SEDIMENT WEIR FOR NJDEP / NJCAT CONFORMING UNITS

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			*
WATER QUALITY FLOW RATE (CFS OR L/s)			*
PEAK FLOW RATE (CFS OR L/s)			*
RETURN PERIOD OF PEAK FLOW (YRS)			*
SCREEN APERTURE (2400 OR 4700)			*
PIPE DATA:			
	I.E.	MATERIAL	DIAMETER
INLET PIPE 1	*	*	*
INLET PIPE 2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			
			*
ANTI-FLOTATION BALLAST			
	WIDTH	HEIGHT	
	*	*	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
- CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS20 AND CASTINGS SHALL MEET HS20 (AASHTO M 306) LOAD RATING, ASSUMING GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
- PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.

INSTALLATION NOTES

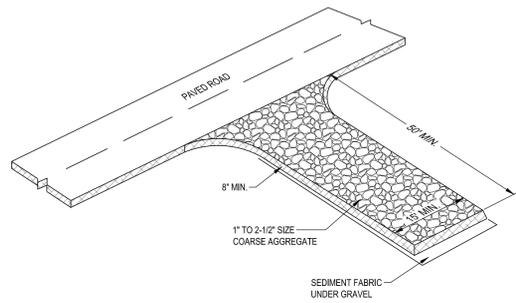
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO ADD JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS, AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

www.ContechES.com
 9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
 800-338-1122 513-645-7000 513-645-7993 FAX

CDS2025-5-C
INLINE CDS
STANDARD DETAIL

S:\2016FILES\16153\DWG\DOC TRANSFER FROM CONTECH\CDS2025-5-C STANDARD DETAIL (DWG).DWG 6/13/2016 5:58 PM





DESCRIPTION:
A STABILIZED PAD OF CRUSHED STONE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES THE SITE FROM OR TO PAVED SURFACE.

APPLICATIONS:
AT ANY POINT OF INGRESS OR EGRESS AT A CONSTRUCTION SITE WHERE ADJACENT TRAVELED WAY IS PAVED. GENERALLY APPLIES TO SITES OVER 2 ACRES UNLESS SPECIAL CONDITIONS EXIST.

INSTALLATION/APPLICATION CRITERIA:

- CLEAR GRASS AREA AND GRAD TO PROVIDE MAXIMUM SLOPE OF 2%.
- COMPACT SUB GRADE AND PLACE FILTER FABRIC IF DESIRED (RECOMMENDED FOR ENTRANCES TO REMAIN FOR MORE THAN 3 MONTHS).
- PLACE COARSE AGGREGATE, 1 TO 2-1/2 INCHES IN SIZE, TO A MINIMUM DEPTH OF 8 INCHES.

LIMITATIONS:

- REQUIRES PERIODIC TOP DRESSING WITH ADDITIONAL STONES.
- SHOULD BE USED IN CONJUNCTION WITH STREET SWEEPING ON ADJACENT PUBLIC RIGHT-OF-WAY.

MAINTENANCE:

- INSPECT DAILY FOR LOSS OF GRAVEL OR SEDIMENT BUILDUP.
- INSPECT ADJACENT ROADWAY FOR SEDIMENT DEPOSIT AND CLEAN BY SWEEPING OR SHOVELING.
- REPAIR ENTRANCE AND REPLACE GRAVEL AS REQUIRED TO MAINTAIN CONTROL IN GOOD WORKING CONDITION.
- EXPAND STABILIZED AREA AS REQUIRED TO ACCOMMODATE TRAFFIC AND PREVENT EROSION AT DRIVEWAYS.

- OBJECTIVES**
- ☐ HOUSEKEEPING PRACTICES
 - ☐ CONTAIN WASTE
 - ☐ MINIMIZE DISTURBED AREA
 - ☐ STABILIZE DISTURBED AREA
 - ☐ PROTECT SLOPES/CHANNELS
 - ☐ CONTROL SITE PERIMETER
 - ☐ CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
 - ☐ NUTRIENTS
 - ☐ TOXIC MATERIALS
 - ☐ OIL & GREASE
 - ☐ FLOATABLE MATERIALS
 - ☐ OTHER WASTE

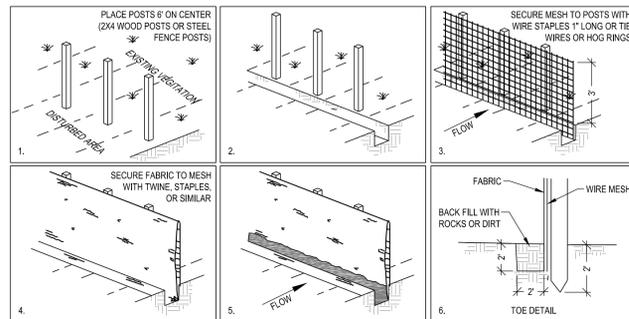
- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
 - MEDIUM IMPACT
 - ☐ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- ☐ TRAINING

- HIGH
- MEDIUM
- ☐ LOW

STABILIZED CONSTRUCTION ENTRANCE (C1)
SCALE: N.T.S.



DESCRIPTION:
A TEMPORARY SEDIMENT BARRIER CONSISTING OF ENTRENCHED FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS.

APPLICATIONS:

- PERIMETER CONTROL: PLACER BARRIER AT DOWNGRADE LIMITS OF DISTURBANCE.
- SEDIMENT BARRIER: PLACE BARRIER AT TOE OF SLOPE OR SOIL STOCKPILE.
- PROTECTION OF EXISTING WATERWAYS: PLACE BARRIER AT TOP OF STREAM BANK.
- INLET PROTECTION: PLACE FENCE SURROUNDING CATCH BASINS.

INSTALLATION/APPLICATION CRITERIA:

- PLACE POSTS 6 FEET APART ON CENTER ALONG CONTOUR (OR USE PRE-ASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
- SECURE WIRE MESH (1/4 GAGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY 1 INCH LONG WIRE STAPLES, TIE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH. UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL OVER FILTER FABRIC TO ANCHOR.

LIMITATIONS:

- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE.
- RECOMMENDED MAXIMUM UPHILL GRADE OF 150 FEET.
- RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (60%).
- RECOMMENDED MAXIMUM FLOW RATE OF 0.5 CFS.
- PONDING SHOULD NOT BE ALLOWED BEHIND FENCE.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING BARRIERS.
- REPAIR OR REPLACE DAMAGED AREAS OF THE BARRIER AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.

- OBJECTIVES**
- ☐ HOUSEKEEPING PRACTICES
 - ☐ CONTAIN WASTE
 - ☐ MINIMIZE DISTURBED AREA
 - ☐ STABILIZE DISTURBED AREA
 - ☐ PROTECT SLOPES/CHANNELS
 - ☐ CONTROL SITE PERIMETER
 - ☐ CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- SEDIMENT
 - ☐ NUTRIENTS
 - ☐ TOXIC MATERIALS
 - ☐ OIL & GREASE
 - ☐ FLOATABLE MATERIALS
 - ☐ OTHER WASTE

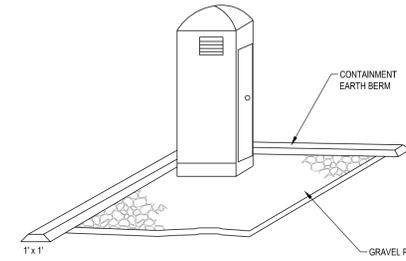
- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
 - MEDIUM IMPACT
 - ☐ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- ☐ TRAINING

- HIGH
- MEDIUM
- ☐ LOW

SILT FENCE (C3)
SCALE: N.T.S.



DESCRIPTION:
TEMPORARY ON-SITE SANITARY FACILITIES FOR CONSTRUCTION PERSONNEL.

APPLICATIONS:

- ALL SITES WITH NO PERMANENT SANITARY FACILITIES OR WHERE PERMANENT FACILITY IS TO FAR FROM ACTIVITIES.

INSTALLATION/APPLICATION CRITERIA:

- LOCATE PORTABLE TOILETS IN CONVENIENT LOCATIONS THROUGHOUT THE SITE.
- PREPARE LEVEL, GRAVEL SURFACE AND PROVIDE CLEAR ACCESS TO THE TOILETS FOR SERVING AND FOR ON-SITE PERSONNEL.
- CONSTRUCT EARTH BERM PERIMETER (SEE EARTH BERM BARRIER INFORMATION SHEET), CONTROL FOR SPILL/PROTECTION LEAK.

LIMITATIONS:

- NO LIMITATIONS

MAINTENANCE:

- PORTABLE TOILETS SHOULD BE MAINTAINED IN GOOD WORKING ORDER BY LICENSED SERVICE WITH DAILY OBSERVATION FOR LEAK DETECTION.
- REGULAR WASTE COLLECTION SHOULD BE ARRANGED WITH LICENSED SERVICE.
- ALL WASTE SHOULD BE DEPOSITED IN SANITARY SEWER SYSTEM FOR TREATMENT WITH APPROPRIATE AGENCY APPROVAL.

- OBJECTIVES**
- ☐ HOUSEKEEPING PRACTICES
 - ☐ CONTAIN WASTE
 - ☐ MINIMIZE DISTURBED AREA
 - ☐ STABILIZE DISTURBED AREA
 - ☐ PROTECT SLOPES/CHANNELS
 - ☐ CONTROL SITE PERIMETER
 - ☐ CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- ☐ SEDIMENT
 - ☐ NUTRIENTS
 - ☐ TOXIC MATERIALS
 - ☐ OIL & GREASE
 - ☐ FLOATABLE MATERIALS
 - ☐ OTHER WASTE

- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
 - MEDIUM IMPACT
 - ☐ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- ☐ TRAINING

- HIGH
- MEDIUM
- ☐ LOW

PORTABLE TOILETS (C5)
SCALE: N.T.S.

FILTERSOCK SPECIFICATION:

FILTREXX FILTERSOCK INSTALLATION AND MAINTENANCE

- 1.0 DESCRIPTION:**
THIS WORK SHALL CONSIST OF FURNISHING, INSTALLING, MAINTAINING AND DISPERSING (IF NEEDED) A WATER PERMEABLE COMPOST FILTER SOCK (FILTREXX FILTERSOCK) TO CONTAIN SOIL EROSION AND SEDIMENT BY REMOVING SOIL PARTICLES FROM WATER MOVING OFF SITE INTO ADJACENT WATERWAYS OR STORM DRAINAGE SYSTEMS. FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION FOR OPERATIONAL STORM DRAINAGE SYSTEMS.
- 2.0 COMPOST PRODUCTS USED TO FILL FILTREXX FILTERSOCKS**
1. COMPOST: COMPOST USED FOR FILTREXX FILTERSOCKS SHALL BE WEED FREE AND DERIVED FROM A WELL-DECOMPOSED SOURCE OF ORGANIC MATTER. THE COMPOST SHALL BE PRODUCED USING AN AEROBIC COMPOSTING PROCESS MEETING CFR 503 REGULATIONS, INCLUDING TIME AND TEMPERATURE DATA INDICATING EFFECTIVE WEED SEED, PATHOGEN AND INSECT LARVAE KILL. THE COMPOST SHALL BE FREE OF ANY REFUSE, CONTAMINANTS OR OTHER MATERIALS TOXIC TO PLANT GROWTH. NON-COMPOSTED PRODUCTS WILL NOT BE ACCEPTED. TEST METHODS FOR THE ITEMS BELOW SHOULD FOLLOW USCC TMECC GUIDELINES FOR LABORATORY PROCEDURES.
 - A. PH - 5.0-8.0 IN ACCORDANCE WITH TMECC 04.11-A, "ELECTROMETRIC PH DETERMINATIONS FOR COMPOST"
 - B. PARTICLE SIZE - 99% PASSING A 1" SIEVE, 50% PASSING A 1/2" SIEVE AND A MINIMUM OF 70% GREATER THAN THE 3/8" SIEVE. A TOTAL OF 98% SHALL NOT EXCEED 3 INCHES IN LENGTH, IN ACCORDANCE WITH TMECC 02.02-B, "SAMPLE SIEVING FOR AGGREGATE SIZE CLASSIFICATION"
 - C. MOISTURE CONTENT OF LESS THAN 60% IN ACCORDANCE WITH STANDARDIZED TEST METHODS FOR MOISTURE DETERMINATION.
 - D. MATERIAL SHALL BE RELATIVELY FREE (<1% BY DRY WEIGHT) OF INERT OR FOREIGN MAN MADE MATERIALS. E. A SAMPLE SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO BEING USED AND MUST COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.

- 3.0 CONSTRUCTION AND INSTALLATION OF FILTREXX FILTERSOCKS:**
1. FILTREXX FILTERSOCKS WILL BE USED AS A FORM OF INLET PROTECTION ON CONSTRUCTION SITES WHICH REQUIRE PROTECTION AGAINST SEDIMENT LADEN WATER AFTER STORM DRAINS BECOME OPERATIONAL.
 2. FILTREXX FILTERSOCKS WILL BE PLACED AT LOCATIONS INDICATED ON PLANS AS DIRECTED BY THE ENGINEER. FILTERSOCKS SHOULD BE INSTALLED IN A PATTERN THAT ALLOWS COMPLETE PROTECTION OF THE INLET AREA.
 3. INSTALLATION OF FILTREXX FILTERSOCKS WILL ENSURE A MINIMAL OVERLAP OF AT LEAST ONE FOOT ON EITHER SIDE OF THE OPENING BEING PROTECTED. THE FILTERSOCKS WILL BE ANCHORED TO THE SOIL BEHIND THE CURB USING STAPLES, STAKES OR OTHER DEVICES CAPABLE OF HOLDING THE FILTERSOCK IN PLACE.
 4. STANDARD SIZES OF FILTERSOCKS FOR INLET PROTECTION WILL BE 8" DIAMETER PRODUCTS. IN SEVERE FLOW SITUATIONS, LARGER FILTERSOCKS MAY BE RECOMMENDED BY THE ENGINEER.
 5. FILTERSOCKS SHALL BE CONSTRUCTED OF A WOVEN MATERIAL AND FILLED WITH A COMPOST PRODUCT THAT PASSES THE CRITERIA LISTED IN SECTION 2.
 6. IF THE FILTERSOCKS BECOME CLOGGED WITH DEBRIS AND SEDIMENT, THEY SHALL BE MAINTAINED SO AS TO ASSURE A PROPER DRAINAGE AND WATER FLOW INTO THE STORM DRAIN. IN SEVERE STORM EVENTS, OVERFLOW OF THE FILTERSOCK MAY BE ACCEPTABLE IN ORDER TO KEEP THE AREA FROM FLOODING.
 7. THE FILTERSOCKS SHALL BE POSITIONED SO AS TO PROVIDE COMPLETE PHYSICAL BARRIER TO THE DRAIN ITSELF, ALLOWING SEDIMENT TO COLLECT ON THE OUTSIDE OF THE

FILTERSOCKS: SEE ATTACHED SCHEMATIC FOR FILTREXX FILTERSOCK INSTALLATION.

8. FOR AREAS WHERE FILTERSOCKS ARE TO BE LEFT AS A PERMANENT PART OF THE LANDSCAPE, FILTERSOCKS MAY BE SEEDED DURING TIME OF MANUFACTURE TO CREATE A LIVING SOCK. FOR SEEDING OPTIONS, THE ENGINEER MAY SIMPLY REPLACE ALL LANGUAGE ABOVE WITH "LIVING FILTREXX FILTERSOCKS"

- 4.0 MAINTENANCE:**
1. THE CONTRACTOR SHALL MAINTAIN FILTREXX FILTERSOCKS IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE ROUTINELY INSPECTED.
 2. WHERE THE FILTERSOCK REQUIRES REPAIR, IT WILL BE ROUTINELY REPAIRED.
 3. THE CONTRACTOR SHALL REMOVE SEDIMENTS COLLECTED AT THE BASE OF THE FILTERSOCK WHEN THEY REACH 1/3 OF THE EXPOSED HEIGHT OF THE FILTERSOCK, OR AS DIRECTED BY THE ENGINEER.
 4. THE FILTREXX FILTERSOCK WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER. THE NETTING MATERIAL WILL BE DISPOSED OF IN NORMAL TRASH CONTAINERS OR REMOVED BY THE CONTRACTOR.
 5. REGULAR MAINTENANCE INCLUDES LIFTING THE FILTREXX FILTERSOCKS AND CLEANING UNDER THEM AS SEDIMENT COLLECTS.

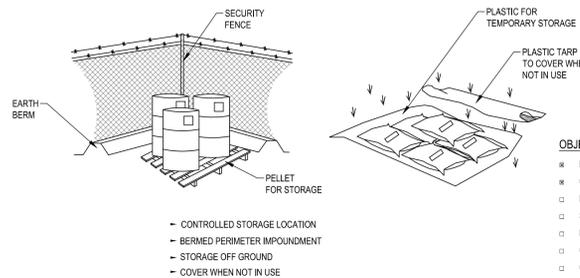
5.0 METHOD OF MEASUREMENT:
BID ITEMS SHALL SHOW REQUIREMENT AS "FILTREXX FILTERSOCK" PER LINEAR FOOT, INSTALLED OR PER INLET, AS SPECIFIED BY THE ENGINEER.

- 6.0 PERFORMANCE:**
1. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING A WORKING EROSION CONTROL SYSTEM AND MAY, WITH APPROVAL OF THE ENGINEER, WORK OUTSIDE THE MINIMUM CONSTRUCTION REQUIREMENTS AS NEEDED.
 2. WHERE THE FILTERSOCK DETERIORATES OR FAILS, IT WILL BE REPAIRED OR REPLACED WITH A MORE EFFECTIVE ALTERNATIVE.
 3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (480-826-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

- 7.0 APPLICATION GUIDELINES:**
1. FILTREXX FILTERSOCKS SHALL EITHER BE MADE ON SITE OR DELIVERED TO THE JOBSITE USING A 3 MIL TUBULAR HDPE KNITTED MESH NETTING MATERIAL, FILLED WITH COMPOST PASSING THE ABOVE SPECIFICATIONS FOR COMPOST PRODUCTS AS OUTLINED IN 2.0.
 2. FILTREXX FILTERSOCKS NETTING MATERIALS ARE AVAILABLE ONLY FROM FILTREXX INTERNATIONAL, LLC AND ARE THE ONLY CERTIFIED MESH MATERIALS ACCEPTED IN CREATING FILTREXX PRODUCTS ON SITE OR AS DELIVERED TO THE JOB SITE. STANDARD FILTREXX COLOR CODING SYSTEMS INCLUDE YELLOW AND BLACK STRIPED MESH NETTING WITH 3/8" MESH OPENINGS FOR INLET PROTECTION. OTHER COLORS ARE ONLY ACCEPTABLE AS APPROVED BY BOTH THE ENGINEER AND FILTREXX INTERNATIONAL, LLC.
 3. CONTRACTOR IS REQUIRED TO BE A CERTIFIED FILTREXX INSTALLER AS DETERMINED BY FILTREXX INTERNATIONAL, LLC (480-826-8041 OR VISIT WEBSITE AT FILTREXX.COM). CERTIFICATION SHALL BE CONSIDERED CURRENT IF APPROPRIATE IDENTIFICATION IS SHOWN DURING TIME OF BID OR AT TIME OF APPLICATION.

8.0 AVAILABLE VENDORS FILTREXX FILTERSOCKS MAY BE PURCHASED FROM THE FOLLOWING CERTIFIED FILTREXX INSTALLERS:

WINDSWEEP ORGANIC INC.
WORK: 480-983-4838
FAX: 408-940-4261
880 SOUTH BOGUE AVE, SUITE 2
CHANDLER, AZ 85225



DESCRIPTION:
CONTROLLED STORAGE OF ON-SITE MATERIALS.

APPLICATIONS:

- STORAGE OF HAZARDOUS, TOXIC, AND ALL CHEMICAL SUBSTANCES.
- ANY CONSTRUCTION SITE WITH OUTSIDE STORAGE OF MATERIALS.

INSTALLATION/APPLICATION CRITERIA:

- DESIGNATE A SECURED AREA WITH LIMITED ACCESS AS THE STORAGE LOCATION.
- ENSURE NO WATERWAYS OR DRAINAGE PATHS ARE NEARBY.
- CONSTRUCT COMPACTED EARTHEN BERM (SEE EARTH BERM BARRIER INFORMATION SHEET), OR SIMILAR PERIMETER CONTAINMENT AROUND STORAGE LOCATION FOR IMPOUNDMENT IN THE CASE OF SPILLS.
- ENSURE ALL ON-SITE PERSONNEL UTILIZE DESIGNATED STORAGE AREA. DO NOT STORE EXCESSIVE AMOUNTS OF MATERIAL THAT WILL NOT BE UTILIZED ON SITE.
- FOR ACTIVE USE OF MATERIAL AWAY FROM THE STORAGE AREA ENSURE MATERIALS ARE NOT SET DIRECTLY ON THE GROUND AND ARE COVERED WHEN NOT IN USE. PROTECT STORM DRAINAGE DURING USE.

LIMITATIONS:

- DOES NOT PREVENT CONTAMINATION DUE TO MISHANDLING OF PRODUCTS.
- SPILL PREVENTION AND RESPONSE PLAN STILL REQUIRED.
- ONLY EFFECTIVE IF MATERIALS ARE ACTIVELY STORED IN CONTROLLED LOCATION.

MAINTENANCE:

- INSPECT DAILY AND REPAIR ANY DAMAGE TO PERIMETER IMPOUNDMENT OR SECURITY FENCING.
- CHECK MATERIALS ARE BEING CORRECTLY STORED (I.E. STANDING UPRIGHT, IN LABELED CONTAINERS, TIGHTLY CAPPED) AND THAT NO MATERIALS ARE BEING STORED AWAY FROM THE DESIGNATED LOCATION.

- OBJECTIVES**
- ☐ HOUSEKEEPING PRACTICES
 - ☐ CONTAIN WASTE
 - ☐ MINIMIZE DISTURBED AREA
 - ☐ STABILIZE DISTURBED AREA
 - ☐ PROTECT SLOPES/CHANNELS
 - ☐ CONTROL SITE PERIMETER
 - ☐ CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- ☐ SEDIMENT
 - ☐ NUTRIENTS
 - TOXIC MATERIALS
 - ☐ OIL & GREASE
 - ☐ FLOATABLE MATERIALS
 - ☐ OTHER WASTE

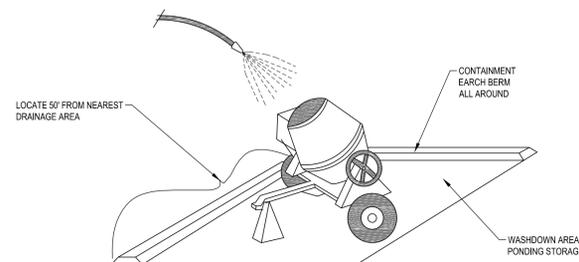
- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
 - MEDIUM IMPACT
 - ☐ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- ☐ TRAINING

- HIGH
- MEDIUM
- ☐ LOW

MATERIALS STORAGE (A3)
SCALE: N.T.S.



DESCRIPTION:
PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORM WATER FROM CONCRETE WASTE BY CONDUCTING WASHOUT OFF-SITE, PERFORMING ON-SITE WASHOUT IN A DESIGNATED AREA, AND TRAINING EMPLOYEES AND SUBCONTRACTORS.

APPLICATIONS:

- THIS TECHNIQUE IS APPLICABLE TO ALL TYPES OF SITES.

INSTALLATION/APPLICATION CRITERIA:

- STORE DRY AND WET MATERIALS UNDER COVER, AWAY FROM DRAINAGE AREAS.
- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT ON-SITE.
- PERFORM WASHOUT OF CONCRETE TRUCKS OFF-SITE OR IN DESIGNATED AREAS ONLY.
- DO NOT WASH OUT CONCRETE TRUCKS INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
- DO NOT ALLOW EXCESS CONCRETE TO BE DUMPED ON-SITE, EXCEPT IN DESIGNATED AREAS.
- WHEN WASHING CONCRETE TO REMOVE FINE PARTICLES AND EXPOSE THE AGGREGATE, AVOID CREATING RUNOFF BY DRAINING THE WATER WITHIN A BERMED OR LEVEL AREA (SEE EARTH BERM BARRIER INFORMATION SHEET).
- TRAIN EMPLOYEES AND SUBCONTRACTORS IN PROPER CONCRETE WASTE MANAGEMENT.

LIMITATIONS:

- OFF-SITE WASHOUT OF CONCRETE WASTES MAY NOT ALWAYS BE POSSIBLE.

MAINTENANCE:

- INSPECT SUBCONTRACTORS TO ENSURE THAT CONCRETE WASTES ARE BEING PROPERLY MANAGED.
- IF USING A TEMPORARY PIT, DISPOSE HARDENED CONCRETE ON A REGULAR BASIS.

- OBJECTIVES**
- ☐ HOUSEKEEPING PRACTICES
 - ☐ CONTAIN WASTE
 - ☐ MINIMIZE DISTURBED AREA
 - ☐ STABILIZE DISTURBED AREA
 - ☐ PROTECT SLOPES/CHANNELS
 - ☐ CONTROL SITE PERIMETER
 - ☐ CONTROL INTERNAL EROSION

- TARGETED POLLUTANTS**
- ☐ SEDIMENT
 - ☐ NUTRIENTS
 - ☐ TOXIC MATERIALS
 - ☐ OIL & GREASE
 - ☐ FLOATABLE MATERIALS
 - ☐ OTHER WASTE

- IMPLEMENTATION REQUIREMENTS**
- HIGH IMPACT
 - MEDIUM IMPACT
 - ☐ LOW OR UNKNOWN IMPACT

IMPLEMENTATION REQUIREMENTS

- CAPITAL COSTS
- O & M COSTS
- MAINTENANCE
- ☐ TRAINING

- HIGH
- MEDIUM
- ☐ LOW

CONCRETE WASTE MANAGEMENT (A5)
SCALE: N.T.S.

PLOTTED: 06/20/2016 10:41 AM

#	DATE	DESCRIPTION
1	29 Jun 2016	Site Submittal

McNEIL ENGINEERING
4610 South Sandy Parkway, Suite 200
Salt Lake City, UT 84120
801.353.7700
mce@mcneileng.com

PROFESSIONAL ENGINEER
ROBERT J. POIRIER
06-29-16
STATE OF UTAH

bb ARCHITECTS
65 E. Wadsworth Park Dr., Ste. 205
Draper, Utah 84020
Phone: 801.571.0010
Fax: 801.571.0003
Toll Free: 888.571.0010
bbarchitects.com

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Highlands 2, 3 Eagle Mountain UT North Stake
8732 North Desert Canyon Road
Eagle Mountain, Utah 84005
PLAN SERIES: HET-MA5-09-06
BID#/PROJECT #: 1603
PROPERTY #: 500-8473

CIVIL DETAILS
SHEET TITLE:
DATE: 29 June 2016
SHEET:

C571

GENERAL NOTES

- 1.1 COMPLIANCE**
- ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
 - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
 - ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.

- 1.2 PERMITTING AND INSPECTIONS**
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
 - CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
 - ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.

- 1.3 COORDINATION & VERIFICATION**
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
 - CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
 - CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
 - CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC., TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, FLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.

- 1.4 SAFETY AND PROTECTION**
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
 - CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
 - CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS. DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
 - CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
 - CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADEING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES' LATEST EDITION.
 - CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
 - CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN IF REQUIRED.
 - WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
 - CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO NEW CONSTRUCTION.
 - NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
 - THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.

- 1.5 MATERIALS**
- SITE CONCRETE SHALL BE A MINIMUM 6.5 BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 4 - OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE. -SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
 - CONCRETE WATERWAYS, CURBS/WALLS, MONOSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
 - UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 8" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
 - UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
 - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
 - ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
 - ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 8" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE. -SEE SPECIFICATIONS, AND DETAIL 'D' SHEET C5.01
 - ASPHALT COMPACTON SHALL BE A MINIMUM 96% MARSHALL DESIGN.
 - SURFACE COURSE SHALL BE 1/2" MINUS, MAX. DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
 - AC PAVEMENT TO BE A 1/4" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
 - THICKNESSES OVER 3" WILL BE Laid IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.

- 1.6 GRADING / SOILS**
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
 - ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OR MAXIMUM DENSITY, MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
 - CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
 - SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
 - ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

GENERAL NOTES: CONTINUED

- 1.7 UTILITIES**
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
 - CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
 - CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
 - CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
 - CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
 - SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
 - STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
 - ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
 - ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINKING GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
 - NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
 - ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.

- 1.8 SURVEY CONTROL**
- CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND OR FACILITY AS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
 - CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.

- 1.9 AMERICAN DISABILITIES ACT**
- PEDESTRIAN / ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
 - ROUTES SHALL HAVE A 2.00% (1:50) MAXIMUM CROSS SLOPE.
 - ROUTES SHALL HAVE A 3.00% (1:33) MAXIMUM RUNNING SLOPE.
 - RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
 - ADA PARKING STALLS AND ADJACENT ROUTES SHALL HAVE A 2.00% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
 - THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS, IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

AC	ACRE	E	EAST	GV	GAS VALVE	TFC	TOP FACE OF CURB
ADA	AMERICANS WITH DISABILITIES ACT	EB	ELECTRIC BOX	HDFE	HIGH DENSITY POLYETHYLENE	TL	TREE LINE
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	EGL	ENERGY GRADE LINE	HG	HEADGATE	TMH	TELEPHONE MANHOLE
S&C	BAR & CAP	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	TOA	TOP OF ASPHALT
BC	BUILDING CORNER	EM	ELECTRIC METER	HP	HIGH POINT	TOC	TOP OF CONCRETE
BLUE	BLUE STAKED ELECTRIC	EMH	ELECTRIC MANHOLE	HW	HEADWALL or HIGH WATER	TOS	TOE OF SLOPE
BLUFO	BLUE STAKED FIBER OPTIC	EDA	EDGE OF ASPHALT	HWY	HIGHWAY	TOP	TOP OF SLOPE or TOP OF PIPE
BLUG	BLUE STAKED NATURAL GAS	EOC	EDGE OF CONCRETE	ICO	IRRIGATION CLEANOUT	TOW	TOP OF WALK
BLURR	BLUE STAKED IRRIGATION	EOG	EDGE OF GRAVEL	ICV	IRRIGATION CONTROL VALVE	TR	TRAFFIC SIGNAL RISER
BLUSD	BLUE STAKED STORM DRAIN	EOL	EDGE OF LAWN	IE	INVERT ELEVATION	TV	TELEVISION
BLUSS	BLUE STAKED SANITARY SEWER	EX or EXIST	EXISTING	IRR	IRRIGATION	TW	TOP OF WALL
BLUT	BLUE STAKED TELEPHONE	F	FIRE	LF	LINEAR FEET	TRANS	TRANSFORMER
BLW	BLUE STAKED WATER	FC	FOUNDATION CORNER	LR	LIP OF GUTTER	TSP	TRAFFIC SIGNAL POLE
BM	BENCHMARK	FD	FOUND	LP	LOW POINT or LIGHT POLE	TSB	TRAFFIC SIGNAL BOX
B0B	BOTTOM OF BOX	FDC	FIRE DEPT. CONNECTION	MAX	MAXIMUM	UD	UNDERDRAIN
BOL	BOLLARD	FDM	FOUND MONUMENT	MIN	MINIMUM	UGCC	UNDERGROUND COMMUNICATIONS
BOV	BLOW-OFF VALVE	FDS	FOUND SECTION CORNER	MON	MONUMENT	UGP	UNDERGROUND POWER
BOW	BACK OF WALK	FDE	FINISHED FLOOR ELEVATION	MP	METAL PIPE	UGT	UNDERGROUND TELEPHONE
BW	BOTTOM OF WALL	FG	FINISHED GRADE	NW	MONITORING WELL	UGTV	UNDERGROUND TELEVISION
C	CENTERLINE	FH	FIRE HYDRANT	N	NORTH	UNQ.	UNLESS NOTED OTHERWISE
CATV	CABLE TELEVISION	FL	FLOW LINE	NG	SPECS	UP	UTILITY POLE
CBR	CONCRETE BARRIER	FNC	FENCE	NGRET	NG AT RETAINING WALL	VCP	VITRIFIED CLAY PIPE
CC	CURB CUT	FNCL	CHAIN LINK FENCE	NR	NAIL & RIBBON	VP	VERTICAL PIPE
COL	COLUMN	FNCRN	IRON FENCE	NW	NAIL & WASHER	W	WEST OF WATER
COMM	COMMUNICATIONS	FNCLV	VINYL FENCE	NTS	NOT TO SCALE	WM	WATER METER
CONC	CONCRETE	FNCDV	WOOD FENCE	OG	ORIGINAL GROUND	WMH	WATER MANHOLE
CONST	CONSTRUCTION	FNCHW	WIRE FENCE	OH	OVERHEAD	WS	WATER SURFACE
CONSTR	CONSTRUCTION	FO	FIBER OPTIC	OHC	OVERHEAD COMMUNICATIONS	WTR	WATER
CP	CONTROL POINT	FOV	FRONT OF WALK	ORP	OVERHEAD POWER	WV	WATER VALVE
CTREE	CONIFEROUS TREE	FT	FEET	OTV	OVERHEAD TELEVISION	WV	WATER VALVE
CURT	CURB FOOT	G	NATURAL GAS	OTV	OVERHEAD TELEVISION	STD	STANDARD
CYD	CURB YARD	GAR	GARAGE	R	PROPERTY LINE	STM	STORM
DEL	DELINEATOR	GB	GRADE BREAK	PB	POWER BOX	SYL	SOLID YELLOW LINE
DIA or Ø	DIAMETER	GL	GROUND LIGHT	PC	POINT OF CURVATURE	SWL	SOLID WHITE LINE
DIP	DUCTILE IRON PIPE	GM	GAS METER	PCD	POINT OF COMPOUND CURVE	T	TOWNSHIP
DIAE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION	TBC	TOP BACK OF CURB
DYL	DOUBLE YELLOW LINE	GUY	GUY WIRE	PM	PARKING METER	TELE	TELEPHONE

ABBREVIATIONS

PP	POWER POLE	TTC	TOP FACE OF CURB
PRK	POINT OF REVERSE CURVE	TMH	TELEPHONE MANHOLE
PRK	PARKING STRIPE	TOA	TOP OF ASPHALT
POC	POINT OF CONNECTION	TOC	TOP OF CONCRETE
PT	POINT OF TANGENCY	TOS	TOE OF SLOPE
PWR	POWER	TOP	TOP OF SLOPE or TOP OF PIPE
PVC	POLYVINYL CHLORIDE PIPE	TOW	TOP OF WALK
R	RANGE	TR	TRAFFIC SIGNAL RISER
RCP	REINFORCED CONCRETE PIPE	TV	TELEVISION
RD	ROAD	TW	TOP OF WALL
REV	REVISION	TRANS	TRANSFORMER
ROW	RIGHT-OF-WAY	TSP	TRAFFIC SIGNAL POLE
S	SOUTH	TSB	TRAFFIC SIGNAL BOX
SAD	SEE ARCHITECTURAL DRAWINGS	UD	UNDERDRAIN
SD	STORM DRAIN	UGCC	UNDERGROUND COMMUNICATIONS
SDCB	STORM DRAIN CATCH BASIN	UGP	UNDERGROUND POWER
SDDC	STORM DRAIN CLEANOUT BOX	UGT	UNDERGROUND TELEPHONE
SDMH	STORM DRAIN MANHOLE	UGTV	UNDERGROUND TELEVISION
SEC	SECTION	UNQ.	UNLESS NOTED OTHERWISE
SPCS	SPECIFICATIONS	UP	UTILITY POLE
SLBAM	SALT LAKE BASE & MERIDIAN	VCP	VITRIFIED CLAY PIPE
FNCL	CHAIN LINK FENCE	VP	VERTICAL PIPE
FNCRN	IRON FENCE	W	WEST OF WATER
FNCLV	VINYL FENCE	WM	WATER METER
FNCDV	WOOD FENCE	WMH	WATER MANHOLE
FNCHW	WIRE FENCE	WS	WATER SURFACE
FO	FIBER OPTIC	WTR	WATER
FOV	FRONT OF WALK	WV	WATER VALVE
FT	FEET	WV	WATER VALVE
G	NATURAL GAS	STD	STANDARD
GAR	GARAGE	STM	STORM
GB	GRADE BREAK	SYL	SOLID YELLOW LINE
GL	GROUND LIGHT	SWL	SOLID WHITE LINE
GM	GAS METER	T	TOWNSHIP
GMH	GAS MANHOLE	TBC	TOP BACK OF CURB
GUY	GUY WIRE	TELE	TELEPHONE

PLOTTED: 06/20/2016 11:38 AM

#	DATE	DESCRIPTION	DATE	DESCRIPTION
1	29 Jun 2016	Site Submittal		

McNEIL ENGINEERING
 8410 South Sandy Parkway, Suite 200
 Draper, Utah 84020
 801.255.7700
 mcnearchitects.com
 PROJECT NO: 16145

PROFESSIONAL ENGINEER
 06-29-16
ROBERT J. POIRIER
 STATE OF UTAH

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 65 E. Wadsworth Park Dr., Ste. 205
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 brcarchitects.com

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Highlands 2, 3
Eagle Mountain UT North Stake
 8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005
 BIDD./PROJECT # 1603
 PLAN SERIES HET-MAS-09-06
 PROPERTY # 500-8473

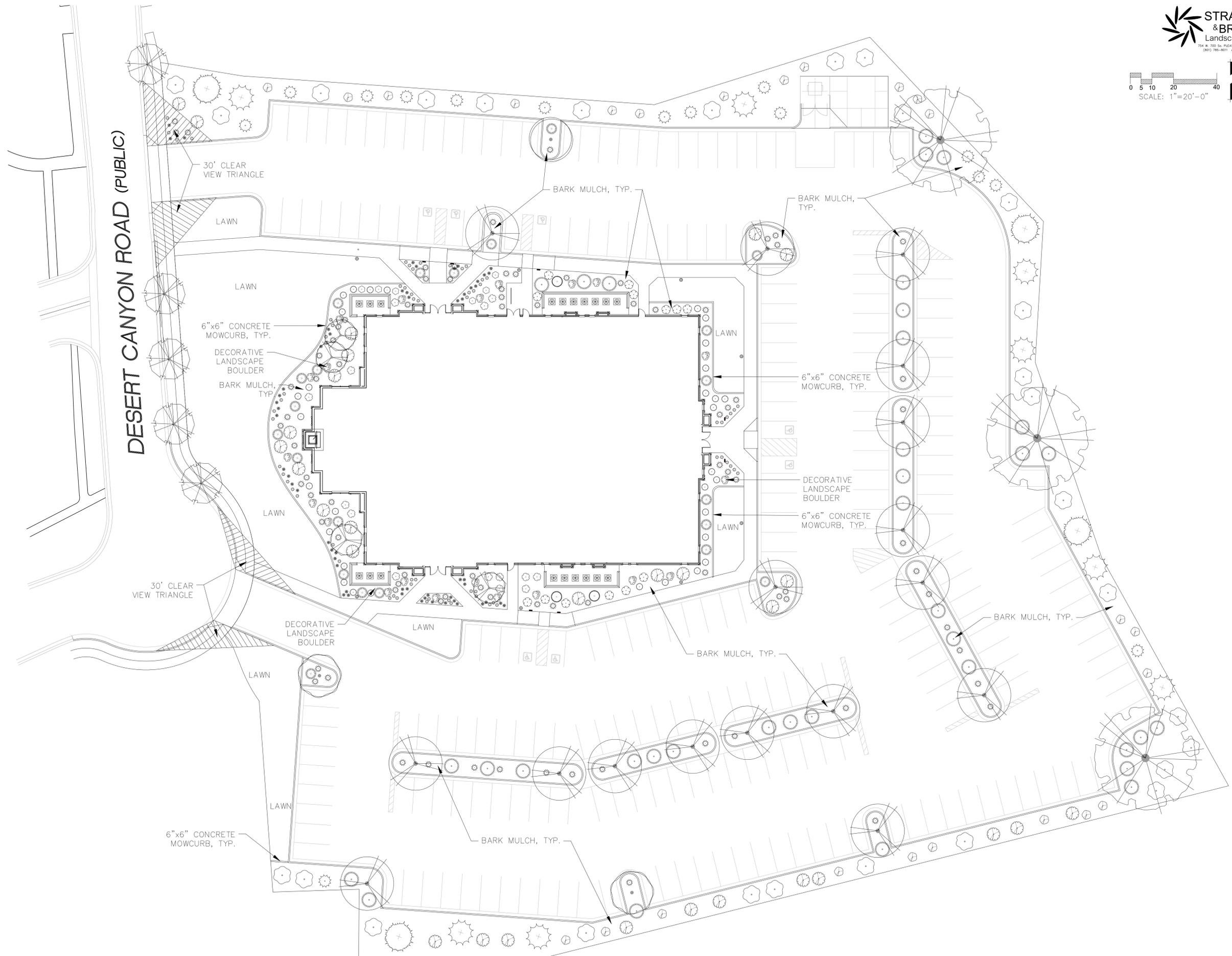
CIVIL NOTES

SHEET TITLE: **C601**



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#	DATE	DESCRIPTION



#	DATE	DESCRIPTION

LANDSCAPE ARCHITECT
7922519-5301
R: August Bateman
STATE OF UTAH

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PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake

8732 North Desert Canyon Road
Eagle Mountain, Utah 84005

DATE: 29 June 2016
BIDD PROJECT #: 1603
PLAN SERIES: HET-MAS-09-06
PROPERTY #: 500-8473

SHEET TITLE:
PLANTING PLAN

SHEET:
L101

PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY
	AcKe	Acer truncatum 'Norwegian Sunset'	Norwegian Sunset Maple*	2"-Cal	17
	AmAB	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry (clump)	Clump	4
	Kopa	Koelreuteria paniculata	Golden Rain Tree*	2"-Cal	5
	PcTc	Prunus cerasifera 'Thundercloud'	Thundercloud Plum	2"-Cal	1
	PsKw	Prunus serrulata 'Kwanzan'	Flowering Cherry	2"-Cal	2
	Soja	Sophora japonica 'Halka'	Japanese Pagoda Tree*	2"-Cal	3
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY
	Piac	Picea abies 'Cupressino'	Columnar Norway Spruce	6' Ht.	3
	Pigd	Picea glauca 'Densata'	Black Hills Spruce	6' Ht.	4
	Pihe	Pinus heldreichii leucodermis	Bosnian Pine	6' Ht.	8
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY
	CsKy	Cornus sericea 'Kelseyi'	Kelseyi Dogwood	5 gal	32
	HsAT	Hibiscus syriacus 'Antong Two'	Lil' Kim Rose Of Sharon	5 gal	24
	JusaS	Juniperus sabinia 'Scandia'	Scandia Juniper*	5 gal	15
	MaCo	Mahonia aquifolium 'Compacta'	Compact Oregon Grape*	5 gal	6
	PhLD	Physocarpus opulifolius 'Little Devil'	Little Devil Dwarf Ninebark*	5 gal	14
	PR	Picea abies 'Repens'	Repens Nest spruce	5 gal	22
	PoKD	Potentilla fruticosa 'Katherine Dykes'	Katherine Dykes Potentilla*	5 gal	13
	PrPB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sand Cherry*	5 gal	29
	RaGL	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac*	5 gal	28
	SychH	Symphoricarpos x chenaultii 'Hancock' (horizontal)	Hancock Coralberry (low spreading)*	5 gal	36
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY
	CaKF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass*	1 gal	86
PERENNIAL	CODE	BOTANICAL NAME	COMMON NAME	CONT	QTY
	HePM	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily*	1 gal	65
	HeST	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily*	1 gal	57

* Indicates drought tolerant plant

DESIGN CRITERIA

Eco-Region	10.1 Northern Cold Desert
Climate	U.S. Hardiness Zone 5
Zoning Ordinance	Eagle Mountain City
Water Availability	2" Culinary Water Stub
Soil Type	Clay Loam
Slopes	See Grading Plan
Wind	South Prevailing
Setbacks/Easements	NA
Microclimates	NA
Soil ph	NA
Lawn Area	43% of Total Landscape (17,016 sq. ft.)*
Undeveloped Property	NA
Irrigation System	Automated system with SMART Controller

* Park Strip landscape of 832 sq. ft. NOT included in this total

LANDSCAPE DATA

Total Site Area	150,887 sq. ft.*	3.46 acres
Total Landscape Area	40,586 sq. ft.*	27%
Shrubs/Groundcover	23,570 sq. ft.	55%
Lawn Area	17,016 sq. ft.*	42%
Trees On Site	44	Total Req'd = 10** Deciduous Req'd = NA Evergreen Req'd = NA Shrubs Req'd = NA Drought Tolerant Req'd = NA Drought Tolerant Provided = 355 (85%)
Additional Information	NA	

* Park Strip landscape of 832 sq. ft. NOT included in this total

** 10 total trees (Deciduous & Evergreen) required.

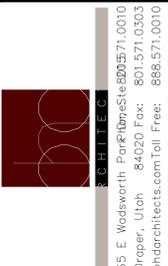
PLANT COVERAGE TABLE

	Shrub-Mature Coverage	Actual % Coverage	Tree-Coverage Intent	Tree #
Street Frontage	25%-50%	25%	Frame Building	3
Primary Entries	30%-50%	30%	Frame Entry	1
Building Perimeter	25%-45%	31%	Accent Building	3
Perimeter Sides	5%-15%	15%	Screen Lot	8
Perimeter Rear	5%-15%	15%	Screen Lot	8

NOTES:

- IMPORT and implement topsoil in the following manner:
-5 inches minimum in lawn area
-All shrub beds between building and parking lot (including front of building) to have full bed filled with 12 inches minimum.
-All shrub beds between parking lot and property perimeter to have topsoil implemented around individual plants in an area twice the size of the root ball and at the same depth as root ball.
- Lawn to be a Kentucky Bluegrass Blend (min. 3 varieties) and be implemented as sod.
- 6"x6" flat concrete curbing to be implemented between all shrub bed and lawn areas as shown on plan.
- Shredded bark mulch to be a natural, non-dyed bark, 2"-3" average size. Implement Bark Mulch in planter beds at a 3" depth over weed barrier fabric.
- Bark Mulch to be clean and free of dirt and debris, placed at uniform depth, and raked smooth.
- DeWitt 4.1 oz Landscape Fabric to be implemented in all shrub beds and other indicated areas prior to bark mulch implementation. Follow manufacturers installation instructions.
- Landscape Boulders to be 3'-4" size 'McGuire Boulders' from Staker Parsons in Willard, Utah. Bury boulders a minimum of 6" in ground. (21 Total)
- No landscaping or other obstruction in excess of 3 feet above finished grade shall be implemented in clear view triangles.

#	DATE	DESCRIPTION



PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake

PROPERTY #:
500-8473

PLAN SERIES:
HET-MAS-09-06

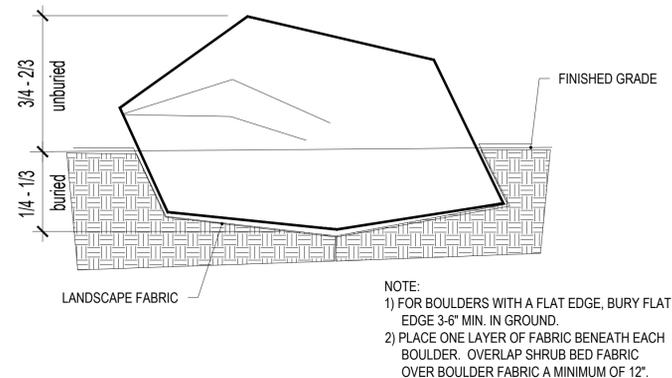
DATE:
29 June 2016

BIDD PROJECT #:
1603

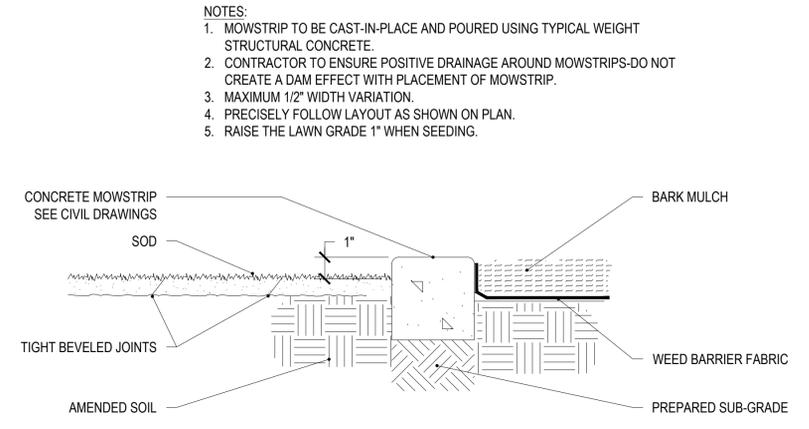
8732 North Desert Canyon Road
Eagle Mountain, Utah 84005

SHEET TITLE:
PLANTING SCHEDULE

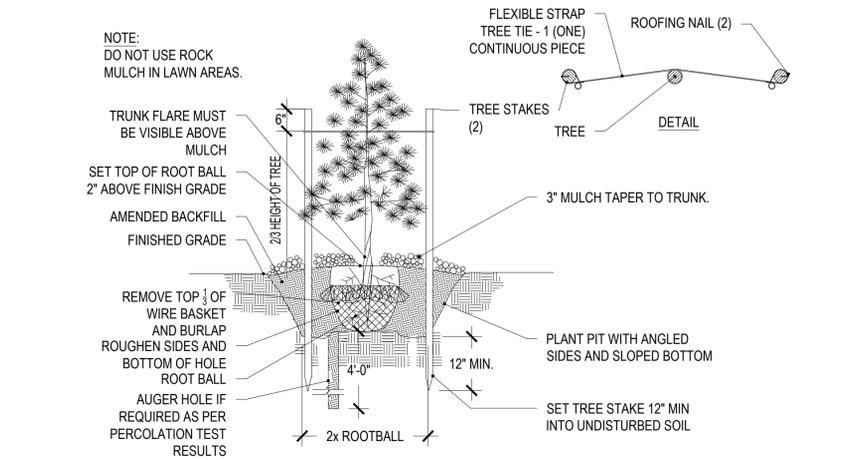
SHEET:
L601



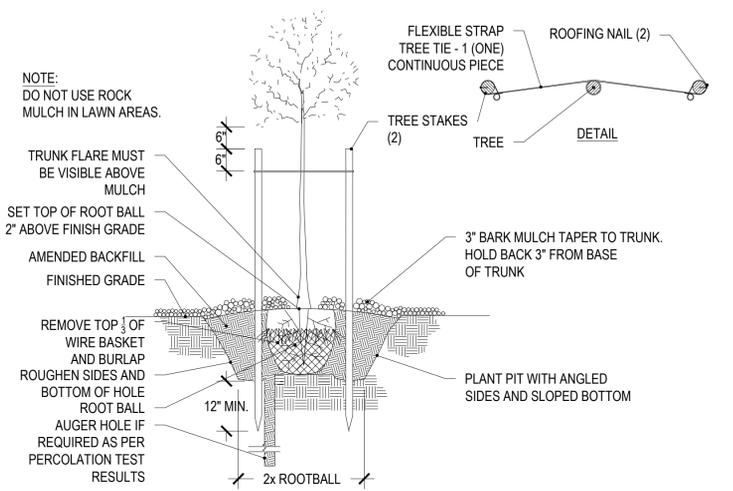
A BOULDER PLACEMENT DETAIL SCALE: NTS



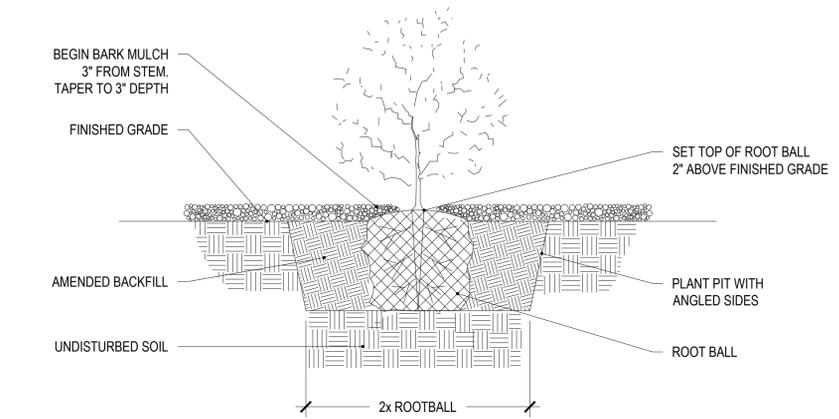
B CONCRETE MOWCURB SCALE: NTS



C CONIFER TREE PLANTING & STAKING SCALE: NTS



D TREE PLANTING & STAKING SCALE: NTS



E SHRUB PLANTING DETAIL SCALE: NTS

#	DATE	DESCRIPTION

#	DATE	DESCRIPTION

LANDSCAPE ARCHITECT
7922519-5301
R: August Bateman
STATE OF UTAH

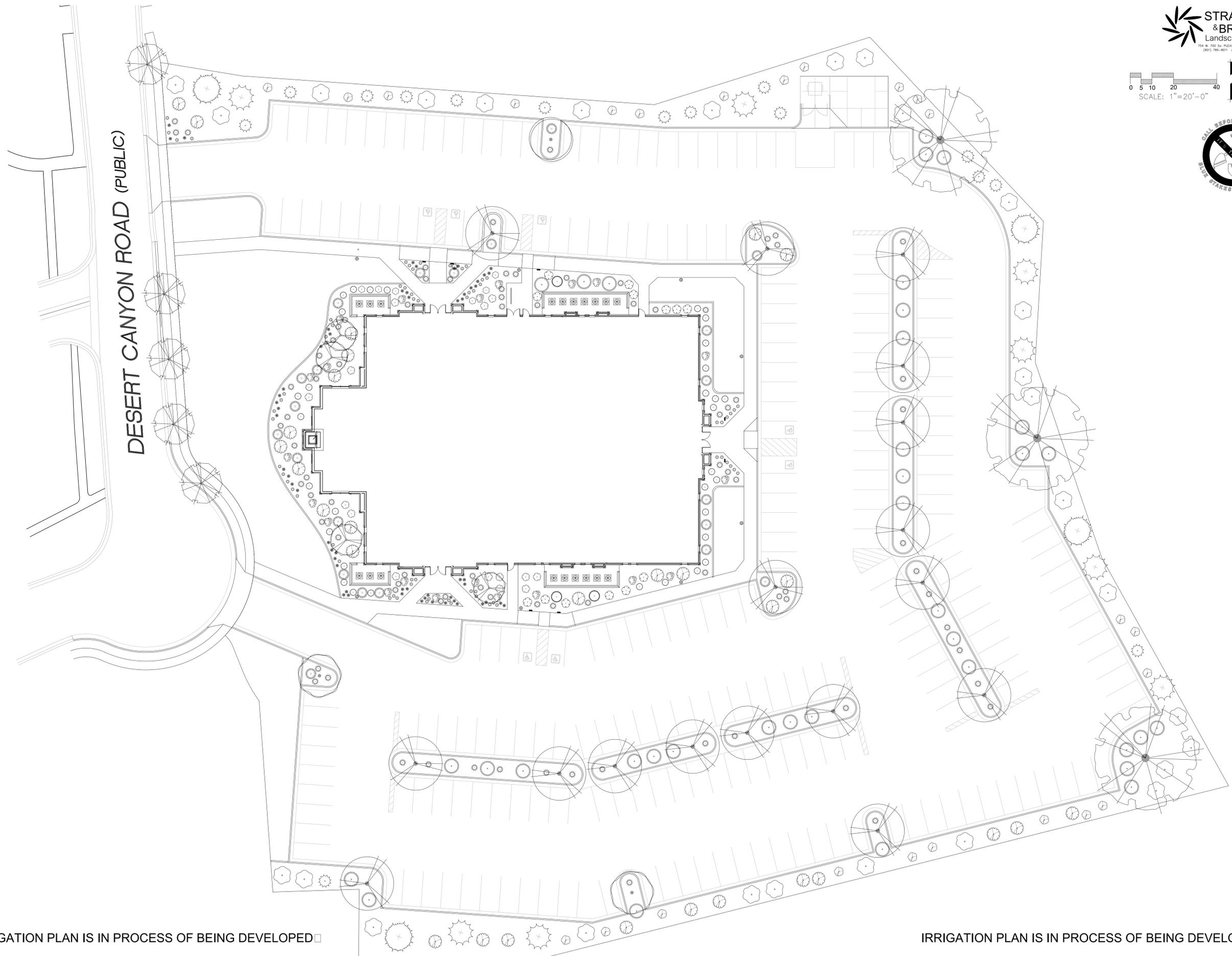
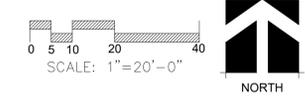
65 E. Wadsworth Park
Draper, Utah 84020
801.571.0303
888.571.0010
bhadarchitects.com

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Highlands 2, 3
Eagle Mountain UT North Stake
8732 North Desert Canyon Road
Eagle Mountain, Utah 84005
DATE: 29 June 2016
BRDA PROJECT #: 1603
PLAN SERIES: HET-MAS-09-06
PROPERTY #: 500-8473

PLANTING DETAILS

SHEET: L50



IRRIGATION PLAN IS IN PROCESS OF BEING DEVELOPED □

IRRIGATION PLAN IS IN PROCESS OF BEING DEVELOPED □

#	DATE	DESCRIPTION



LANDSCAPE ARCHITECT
7922519-5301
R: August Bateman
STATE OF UTAH

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

65 E. Wadsworth Draper, Utah 84020
801.571.0303
888.571.0010
bhadarchitects.com

PROJECT NAME:
**Highlands 2, 3
Eagle Mountain UT North Stake**

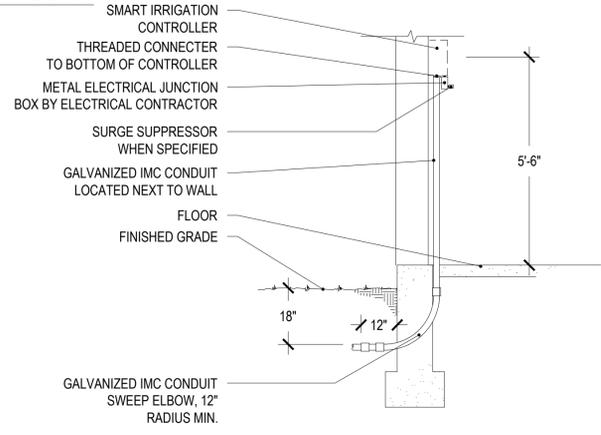
8732 North Desert Canyon Road
Eagle Mountain, Utah 84005

DATE: 29 June 2016
BIDD PROJECT #: 1603
PLAN SERIES: HET-MAS-09-06
PROPERTY #: 500-8473

SHEET TITLE:
IRRIGATION PLAN

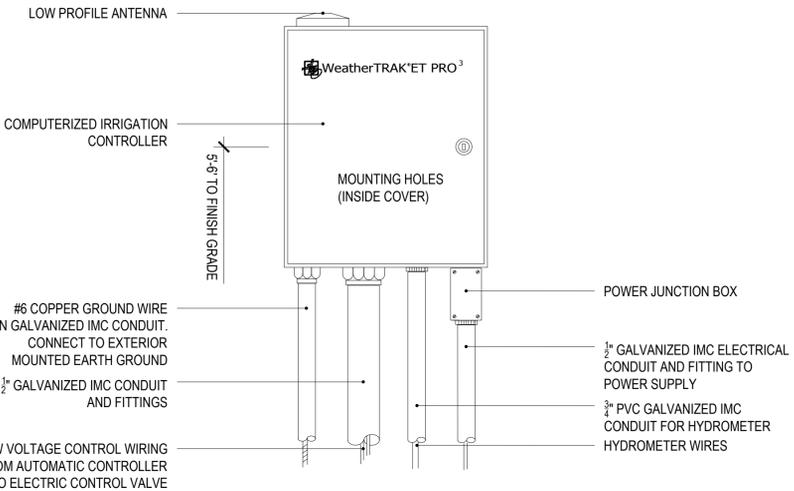
SHEET:
L121

INTERIOR MOUNT



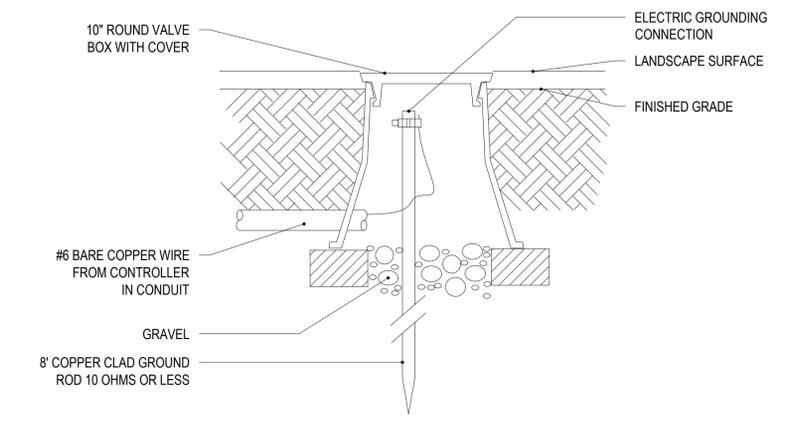
A IRRIGATION CONTROLLER

SCALE: NTS



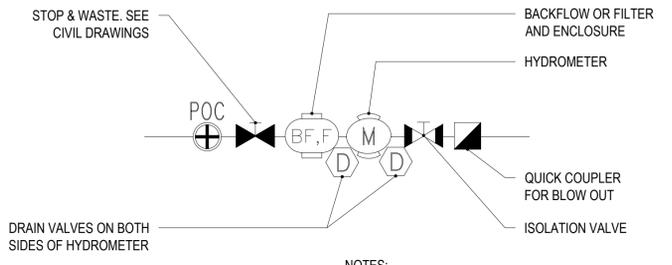
B SMART CONTROLLER

SCALE: NTS



C LIGHTNING GROUNDING ROD

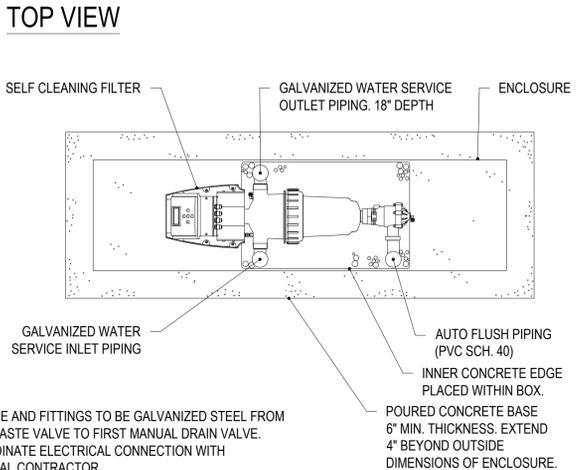
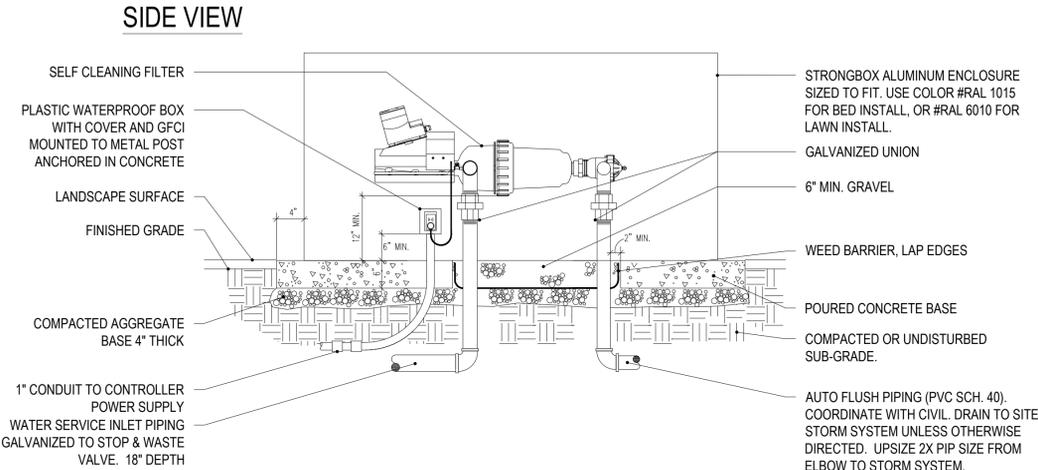
SCALE: NTS



- NOTES: 1. INSTALL ISOLATION VALVE AFTER THE HYDROMETER AND BEFORE THE QUICK COUPLER. THE HYDROMETER IS TO BE DRAINED MANUALLY. 2. COMBINE COMPONENTS INTO AS FEW BOXES AS POSSIBLE WHILE MAINTAINING EASE OF ACCESS AND MAINTENANCE.

D POC SCHEMATIC LAYOUT

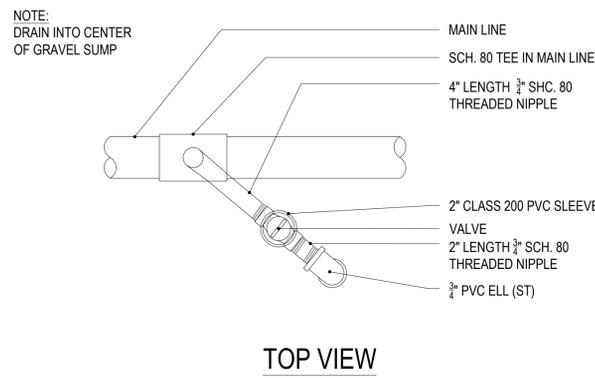
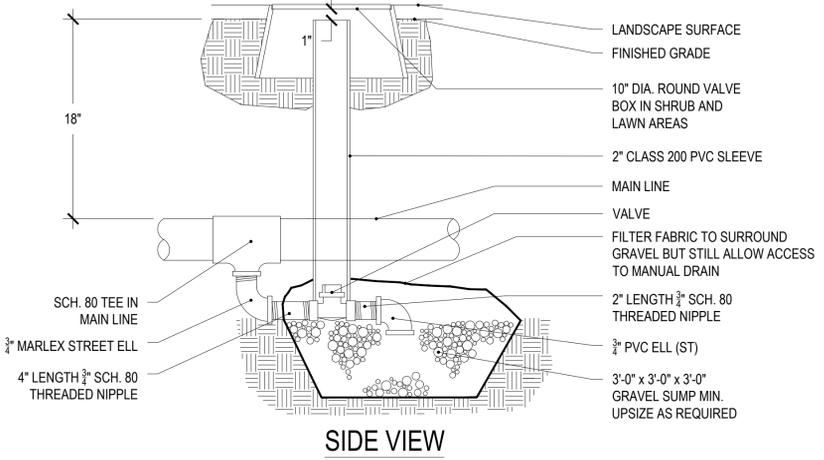
SCALE: NTS



- NOTES: 1. ALL PIPE AND FITTINGS TO BE GALVANIZED STEEL FROM STOP & WASTE VALVE TO FIRST MANUAL DRAIN VALVE. 2. COORDINATE ELECTRICAL CONNECTION WITH ELECTRICAL CONTRACTOR.

E ELECTRIC FILTER ASSEMBLY-AUTOMATIC

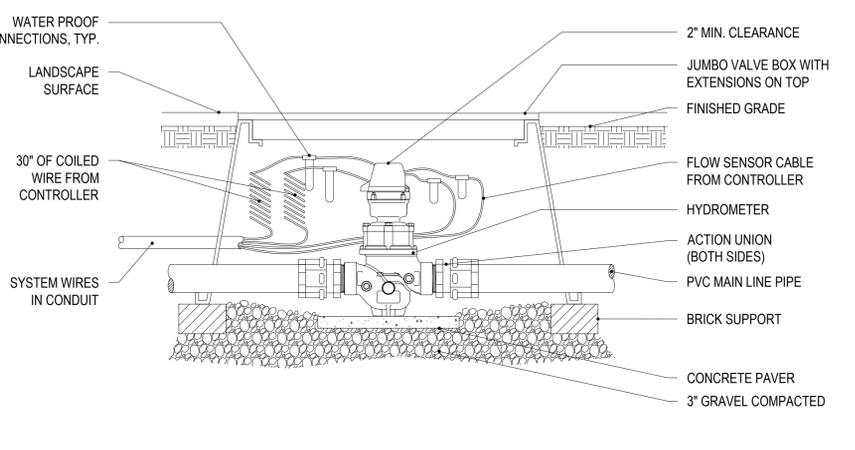
SCALE: NTS



NOTE: DRAIN INTO CENTER OF GRAVEL SUMP

F MAIN LINE MANUAL DRAIN

SCALE: NTS



G HYDROMETER

SCALE: NTS

Table with columns for Drawing Issue Schedule, Date, and Description.

Professional seal area for August Bateman, License # 7922519-5301, State of Utah.

Professional seal area for August Bateman, License # 7922519-5301, State of Utah.

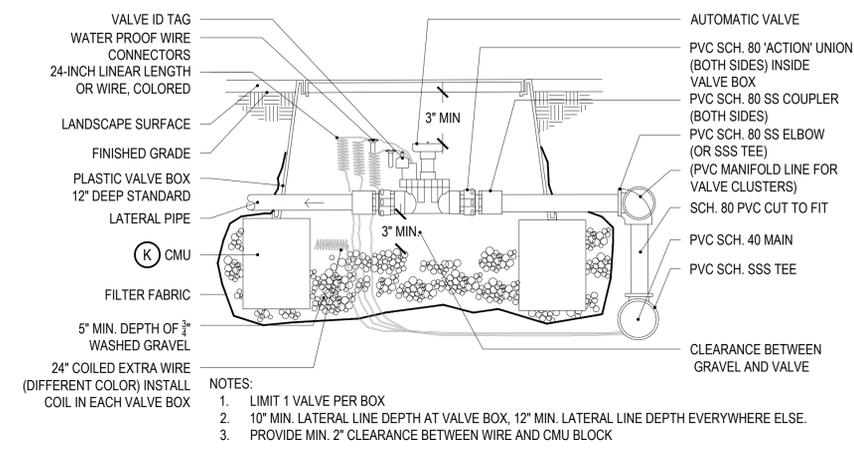
Professional seal area for August Bateman, License # 7922519-5301, State of Utah.

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

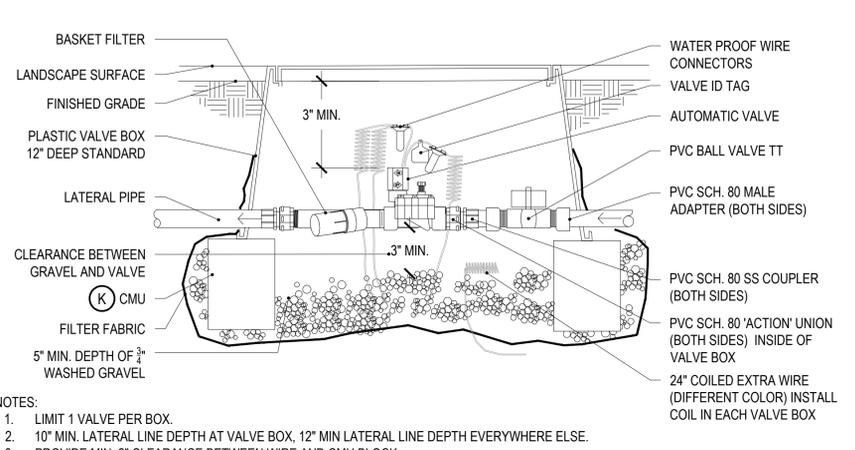
Highlands 2, 3 Eagle Mountain UT North Stake. 8732 North Desert Canyon Road, Eagle Mountain, Utah 84005.

IRRIGATION DETAILS. SHEET: L52

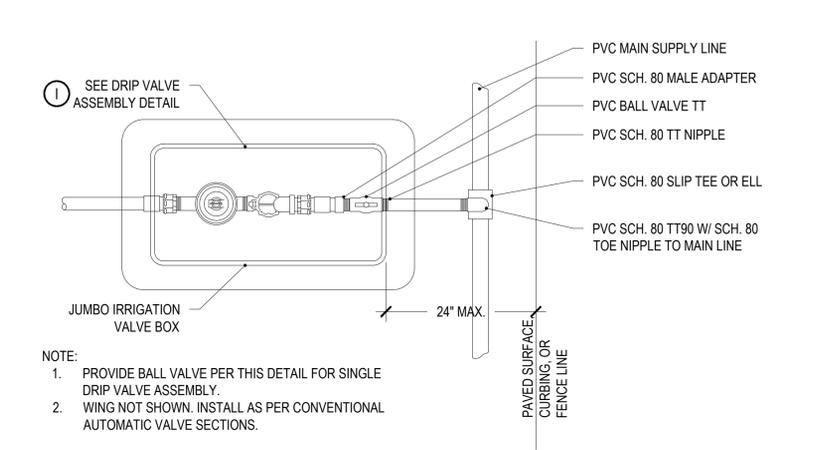




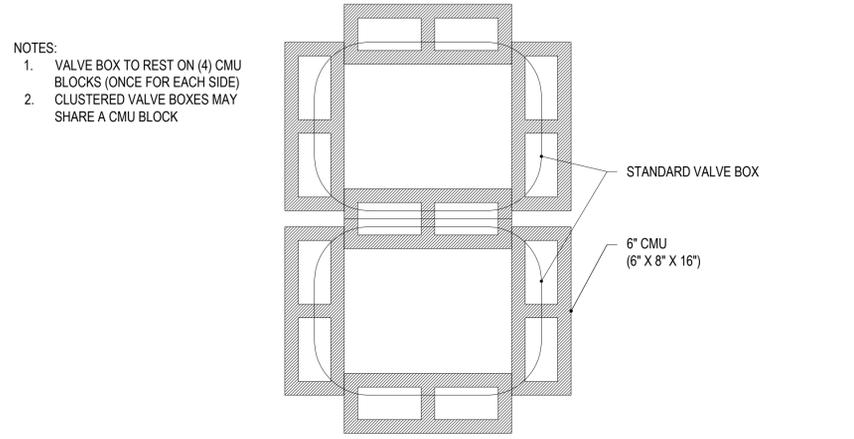
H AUTOMATIC VALVE WITH CONVENTIONAL WIRE SYSTEM SCALE: NTS



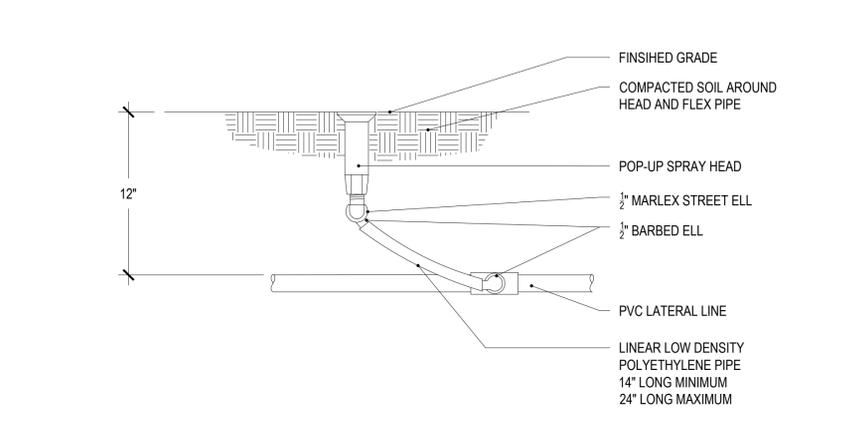
I DRIP VALVE ASSEMBLY (SECTION) CONVENTIONAL WIRE SYSTEM SCALE: NTS



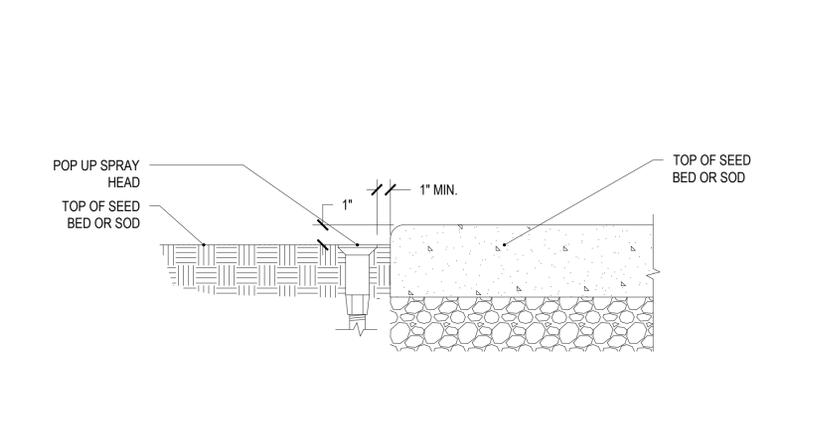
J DRIP VALVE ASSEMBLY SCALE: NTS



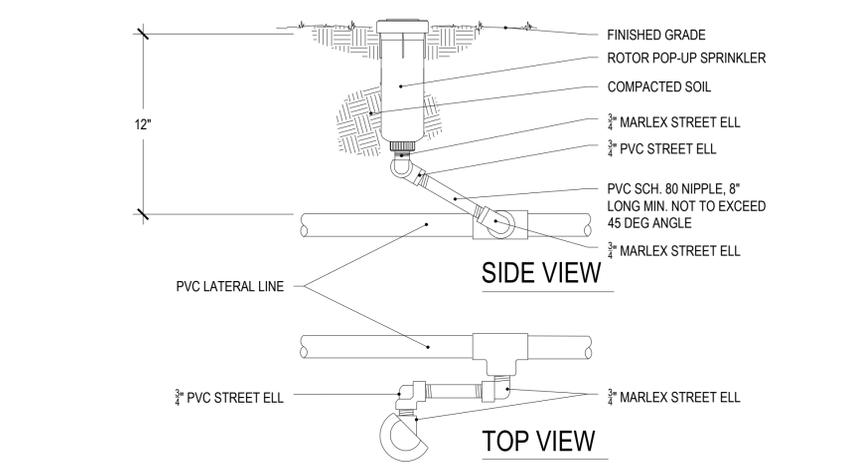
K CMU PLACEMENT SCALE: NTS



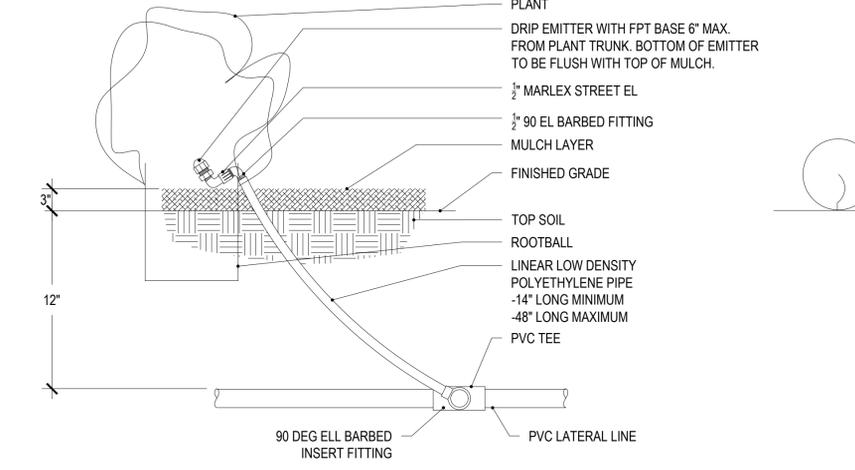
L SPRAY AND ROTARY HEAD ASSEMBLY SCALE: NTS



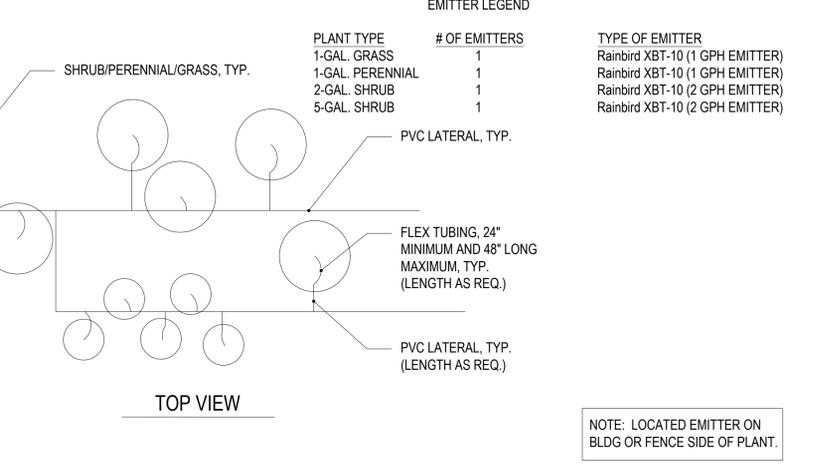
M SPRAY AND ROTARY HEAD ASSEMBLY NEXT TO CURB OR WALK SCALE: NTS



N ROTOR POP-UP HEAD SCALE: NTS



O DRIP EMITTER SCALE: NTS



P EMITTER LEGEND SCALE: NTS



DATE	DESCRIPTION

DATE	DESCRIPTION

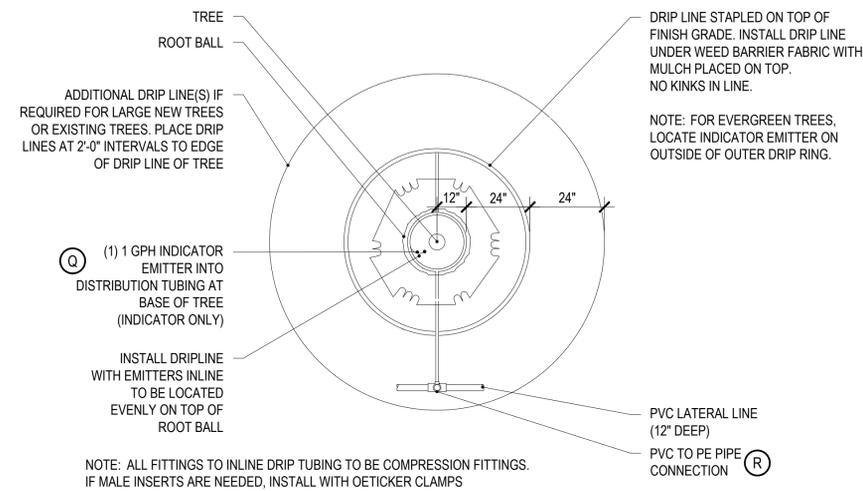
LANDSCAPE ARCHITECT
7922519-5301
R: August Bateman
STATE OF UTAH

65 E. Wadsworth Park
Draper, Utah 84020
84020 Fax: 801-571-0303
bharchitects.com Toll Free: 888-571-0010

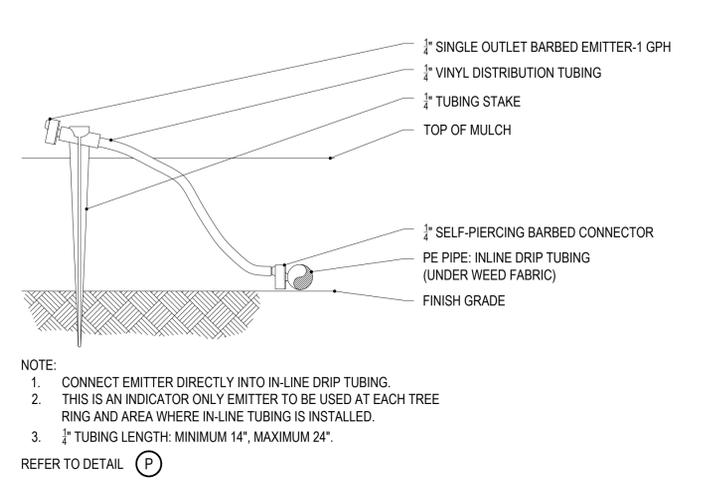
THE CHURCH OF
JESUS CHRIST
OF LATTER-DAY SAINTS

Highlands 2, 3
Eagle Mountain UT North Stake
8732 North Desert Canyon Road
Eagle Mountain, Utah 84005
DATE: 29 June 2016
PROJECT # 1603
PLAN SERIES: HET-MAS-09-06
PROPERTY # 500-8473

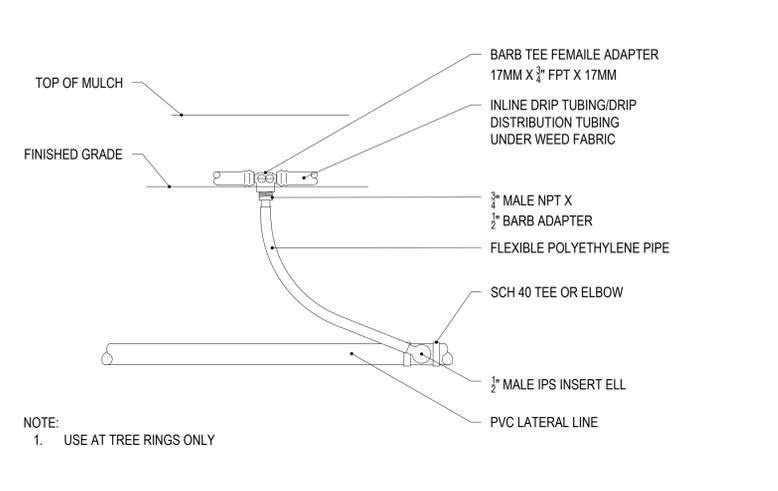
IRRIGATION DETAILS
SHEET: L53



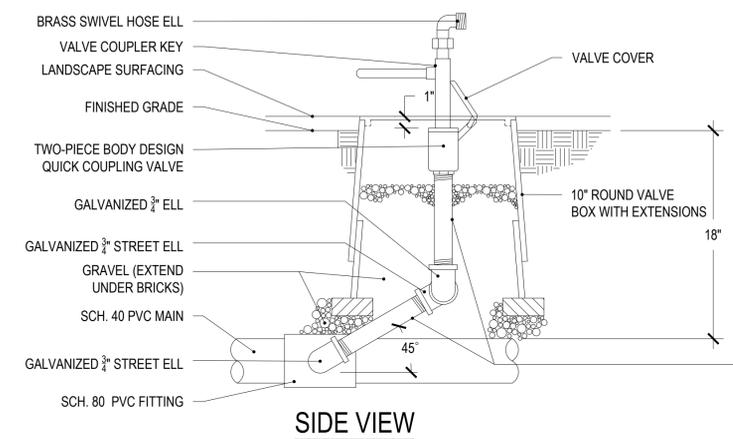
P TREE DRIP-PLAN VIEW (PLANTER AREAS) SCALE: NTS



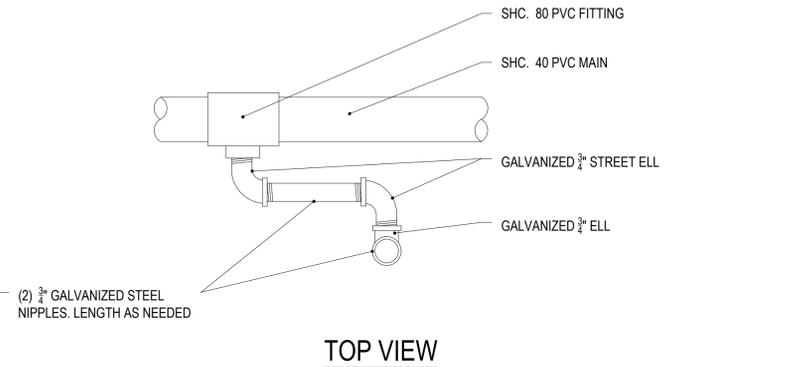
Q INDICATOR EMITTER SCALE: NTS



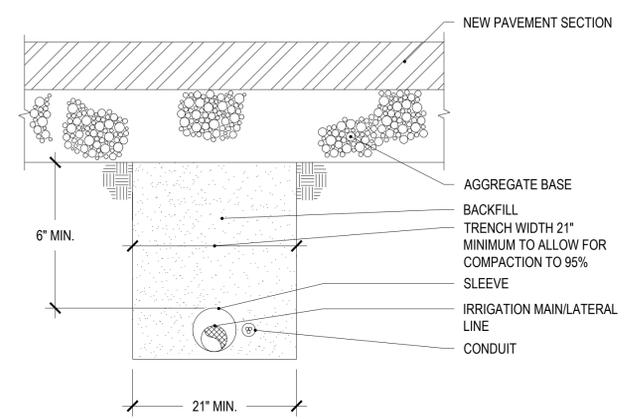
R PVC TO PE PIPE CONNECTOR SCALE: NTS



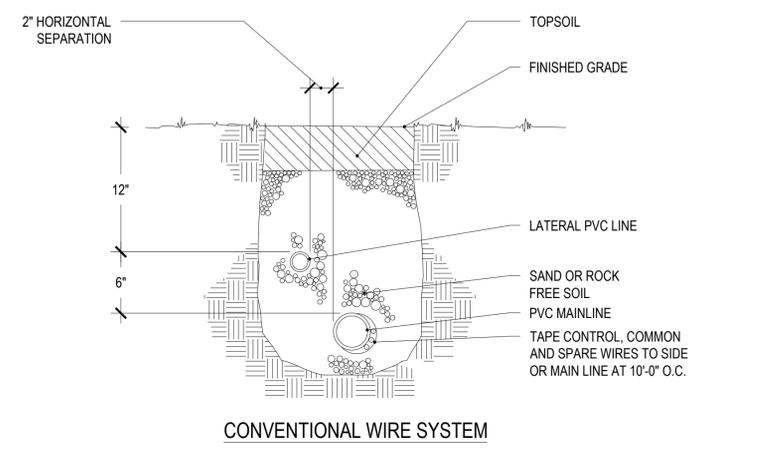
S QUICK COUPLING VALVE SCALE: NTS



T TRENCH SECTION SCALE: NTS



U MISC. PIPE TRENCH DETAIL- NEW PAVEMENT AREAS SCALE: NTS



#	DATE	DESCRIPTION

LANDSCAPE ARCHITECT
 # 7922519-5301
 R: August Bateman
 STATE OF UTAH

65 E. Wadsworth Provo, UT 84605
 801.571.0303
 84020 Fax: 888.571.0010
 bndarchitects.com Toll Free: 888.571.0010

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Highlands 2, 3
 Eagle Mountain UT North Stake
 8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005
 DATE: 29 June 2016
 BIDD PROJECT #: 1603
 PLAN SERIES: HET-MAS-09-06
 PROPERTY #: 500-8473

IRRIGATION DETAILS
 SHEET: L54



#	DATE	DESCRIPTION
1	29 Jun 2016	Site Summary



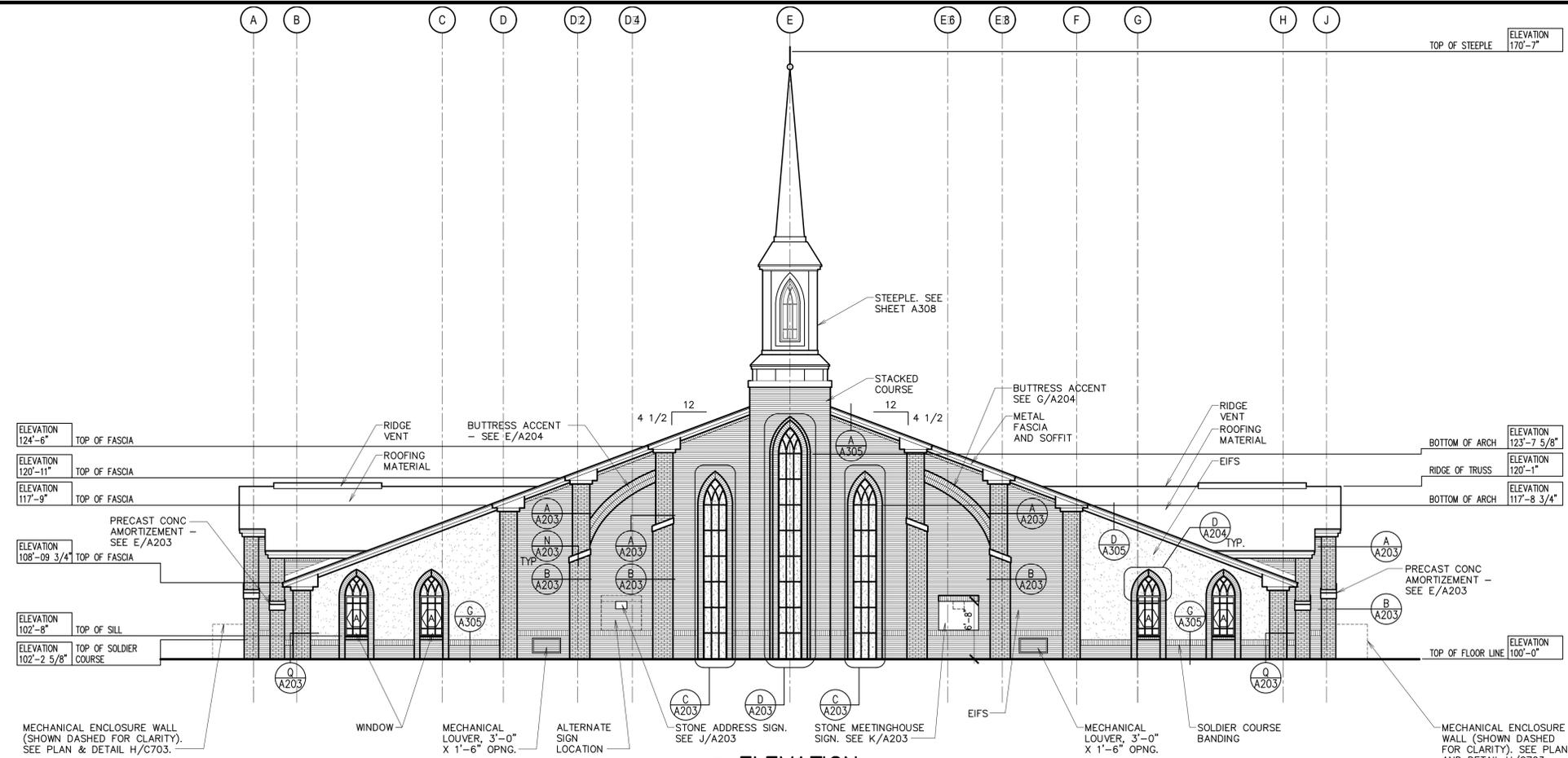
bba ARCHITECTS
 65 E. Wadsworth Park Dr., Ste. 205 • Phone: 801.571.0010
 Draper, Utah 84020 • Fax: 801.571.0003
 Toll Free: 888.571.0010
 bbaarchitects.com

PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

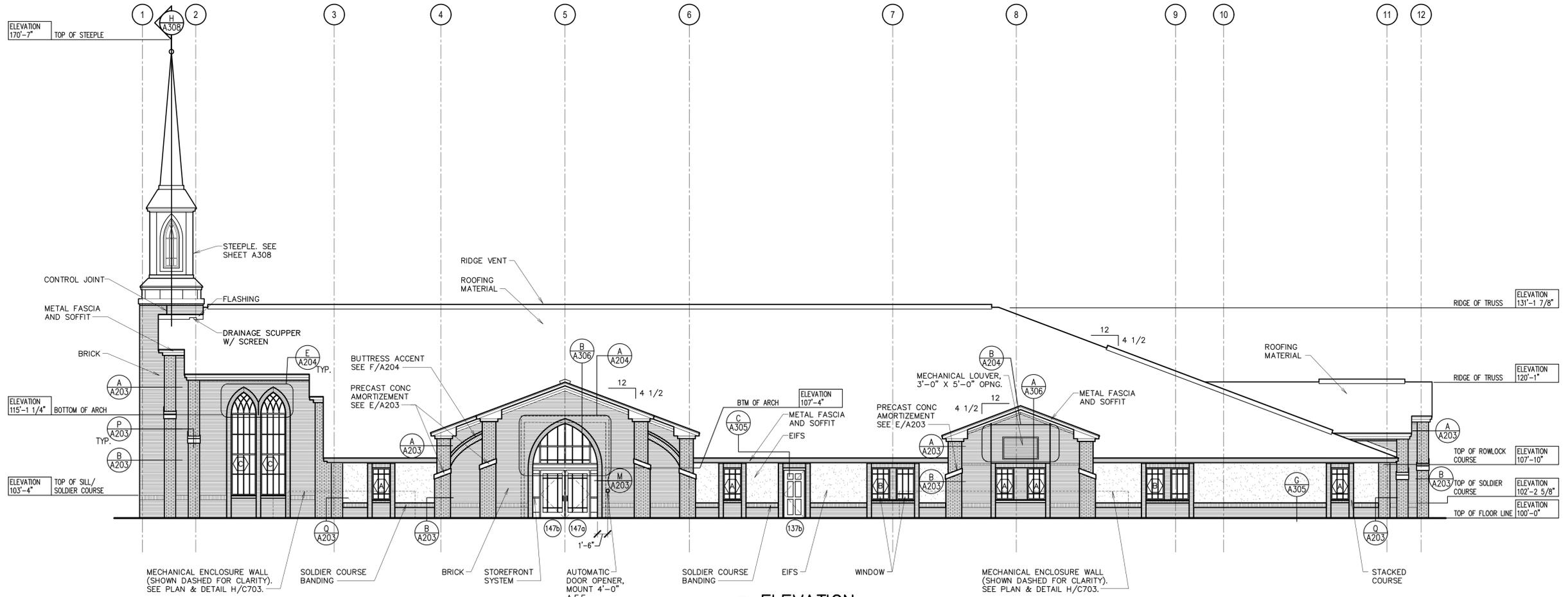
PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake
 8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005
 BID/PROJECT #: HET-MAS-09-06
 PLAN SERIES: 1603
 DATE: 29 June 2016
 PROPERTY #: 500-8473

SHEET TITLE:
BUILDING ELEVATIONS

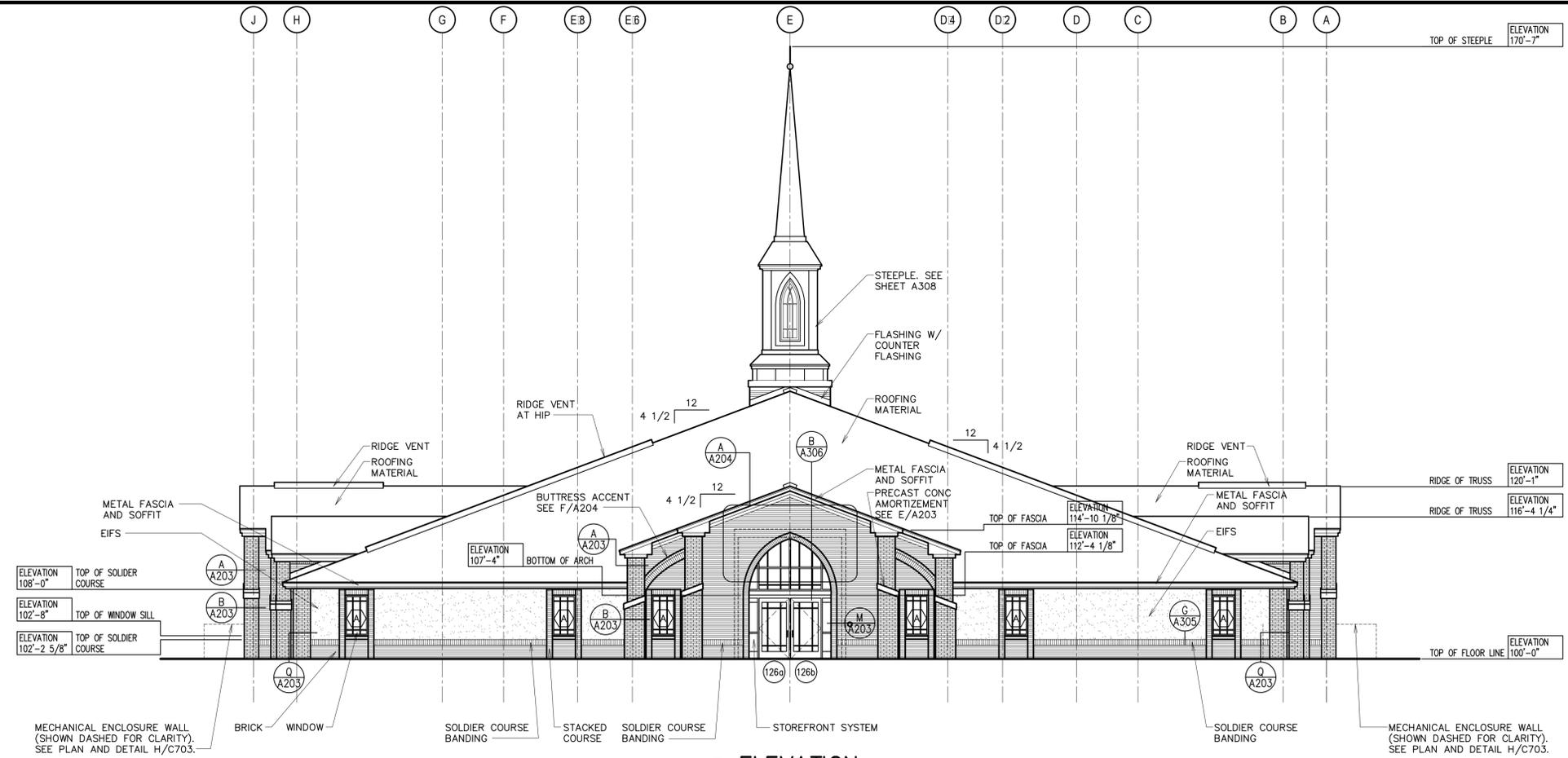
SHEET:
A201



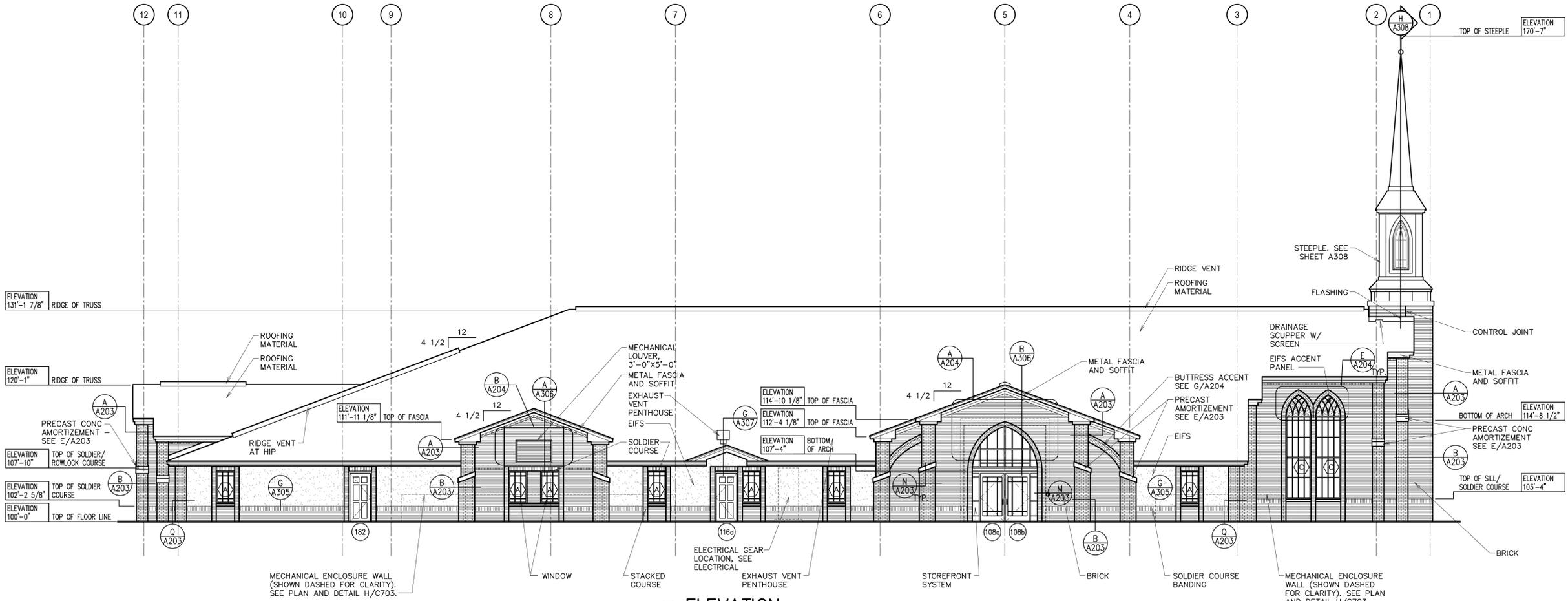
1 ELEVATION
 1/8" = 1'-0"



2 ELEVATION
 1/8" = 1'-0"



1 ELEVATION
1/8" = 1'-0"



2 ELEVATION
1/8" = 1'-0"

#	DATE	DESCRIPTION	BY	CHKD
1	29 Jun 2016	Site Submittal		



PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 Highlands 2, 3
 Eagle Mountain UT North Stake
 8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005
 B2B ARCHITECTS
 65 E Wadsworth Park Dr., Ste 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0303
 b2barchitects.com Toll Free: 888.571.0010

PROJECT NAME:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS
 Highlands 2, 3
 Eagle Mountain UT North Stake
 8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005
 B2B ARCHITECTS
 65 E Wadsworth Park Dr., Ste 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0303
 b2barchitects.com Toll Free: 888.571.0010

PROJECT TITLE:
BUILDING ELEVATIONS
 SHEET:
A202

DATE: 29 June 2016
 PLAN SERIES: HET-MAS-09-06
 PROPERTY #: 500-8473
 B2B PROJECT #: 1603

#	DATE	DESCRIPTION
1	29 JAN 2016	SIN SUBMITTAL

#	DATE	DESCRIPTION
1	29 JAN 2016	SIN SUBMITTAL



PROJECT FOR:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

PROJECT NAME:
Highlands 2, 3 Eagle Mountain UT North Stake

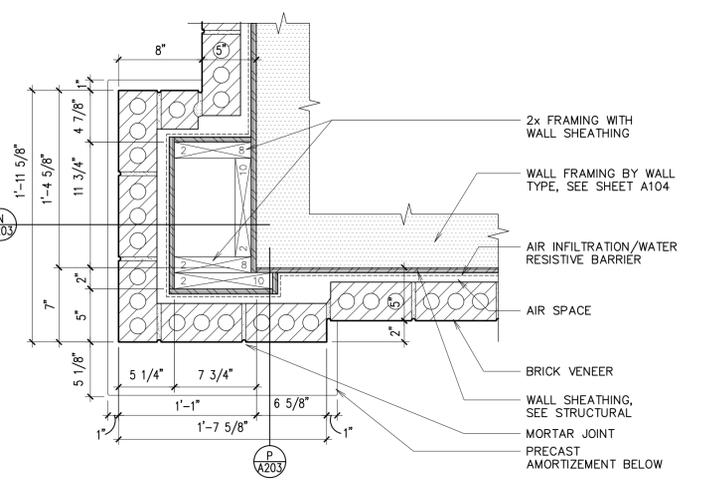
PROPERTY #:
 500-8473

PLAN SERIES:
 HET-MAS-09-06

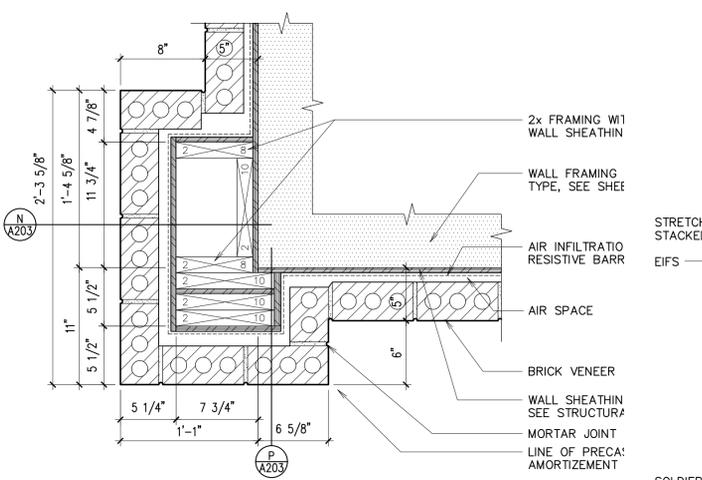
DATE:
 29 JUNE 2016

SHEET TITLE:
BUILDING ELEVATION DETAILS

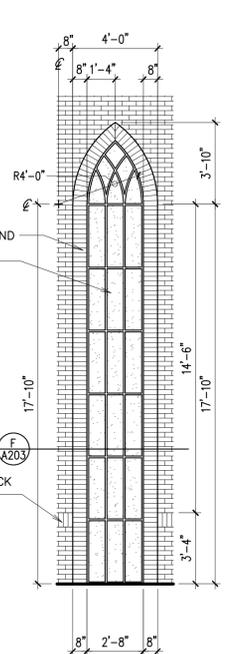
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A203



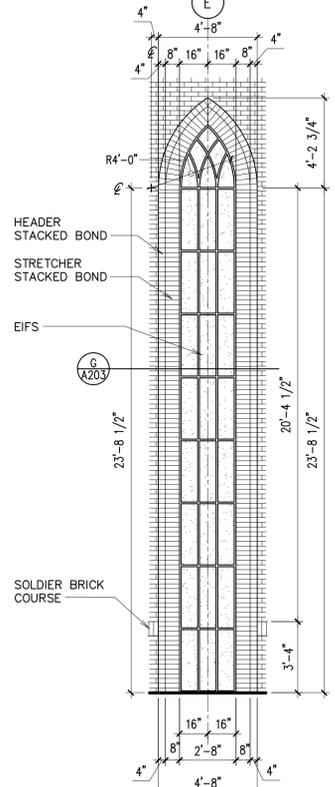
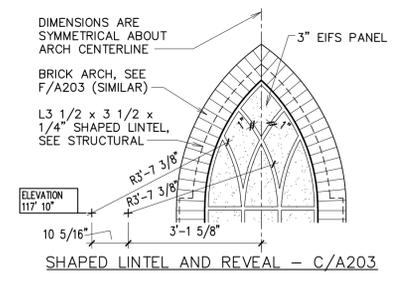
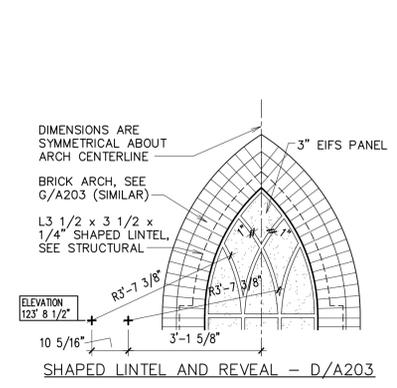
A UPPER BRICK CORNER
 1 1/2" = 1'-0"



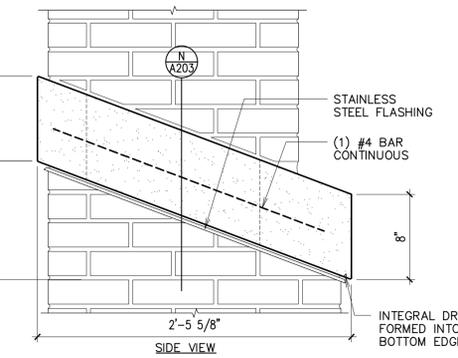
B LOWER BRICK CORNER
 1 1/2" = 1'-0"



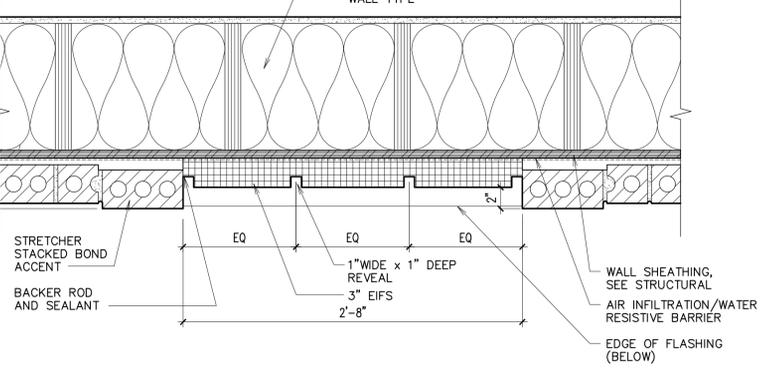
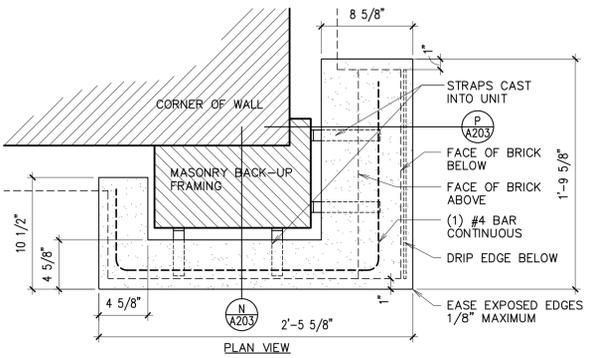
C SIDE RECESSED EIFS PANEL
 1/4" = 1'-0"



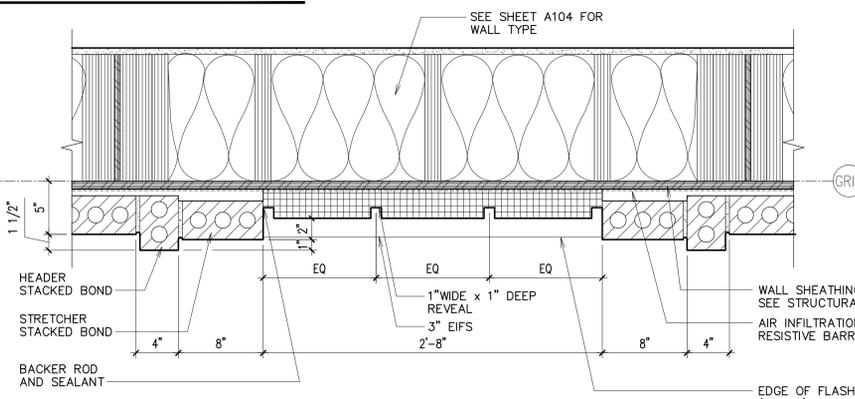
D CENTER RECESSED EIFS PANEL
 1/4" = 1'-0"



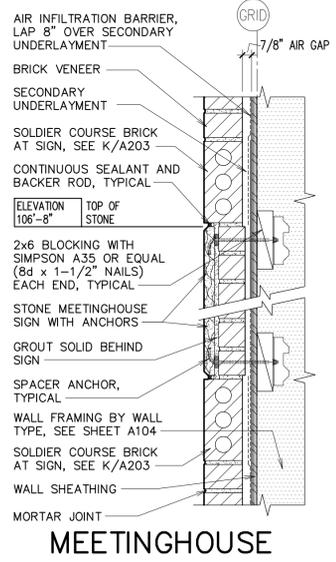
E PRECAST CONCRETE AMORTIZEMENT
 1 1/2" = 1'-0"



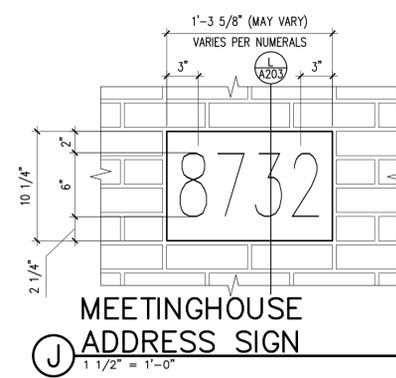
F FRONT RECESSED SIDE EIFS PANEL
 1 1/2" = 1'-0"



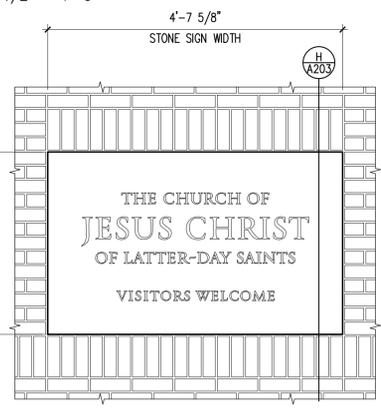
G FRONT RECESSED CENTER EIFS PANEL
 1 1/2" = 1'-0"



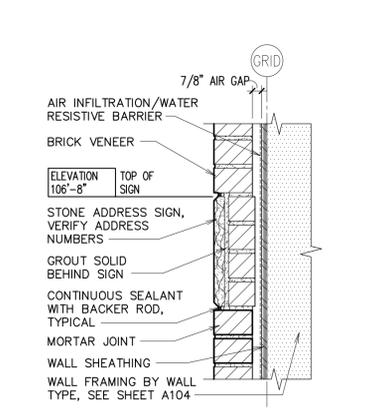
H MEETINGHOUSE STONE SIGN
 1 1/2" = 1'-0"



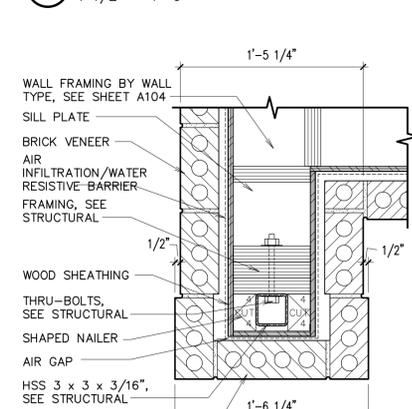
J MEETINGHOUSE ADDRESS SIGN
 1 1/2" = 1'-0"



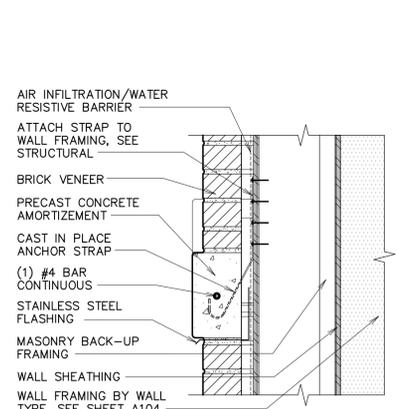
K MEETINGHOUSE STONE SIGN
 3/4" = 1'-0"



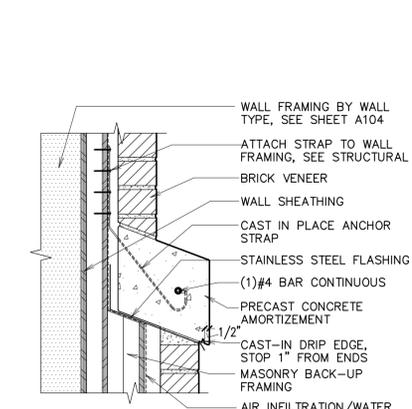
L MEETINGHOUSE ADDRESS SIGN
 1 1/2" = 1'-0"



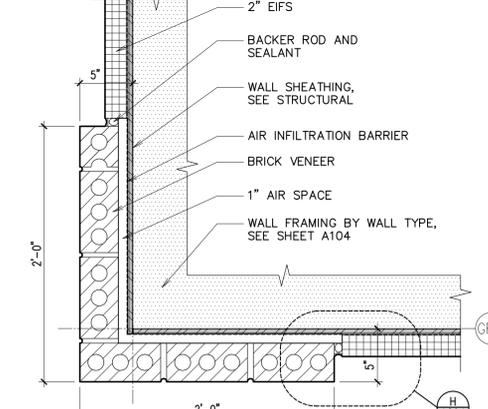
M ENTRY ARCH JAMB
 1 1/2" = 1'-0"



N PRECAST CONCRETE
 1 1/2" = 1'-0"



P PRECAST CONCRETE
 1 1/2" = 1'-0"



Q BRICK CORNER AT EIFS
 1 1/2" = 1'-0"

NO.	DATE	DESCRIPTION
1.	29 JUN 2016	Site Stakes

NO.	DATE	DESCRIPTION
1.	29 JUN 2016	Site Stakes

NO.	DATE	DESCRIPTION
1.	29 JUN 2016	Site Stakes

NO.	DATE	DESCRIPTION
1.	29 JUN 2016	Site Stakes

STAMP:



65 E Wadsworth Park Dr, Ste 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0303
 bbdarchitects.com Toll Free: 888.571.0010

PROJECT FOR:
**THE CHURCH OF
 JESUS CHRIST
 OF LATTER-DAY SAINTS**

PROJECT NAME:
**Highlands 2, 3
 Eagle Mountain UT North Stake**

PROPERTY #:
 500-8473

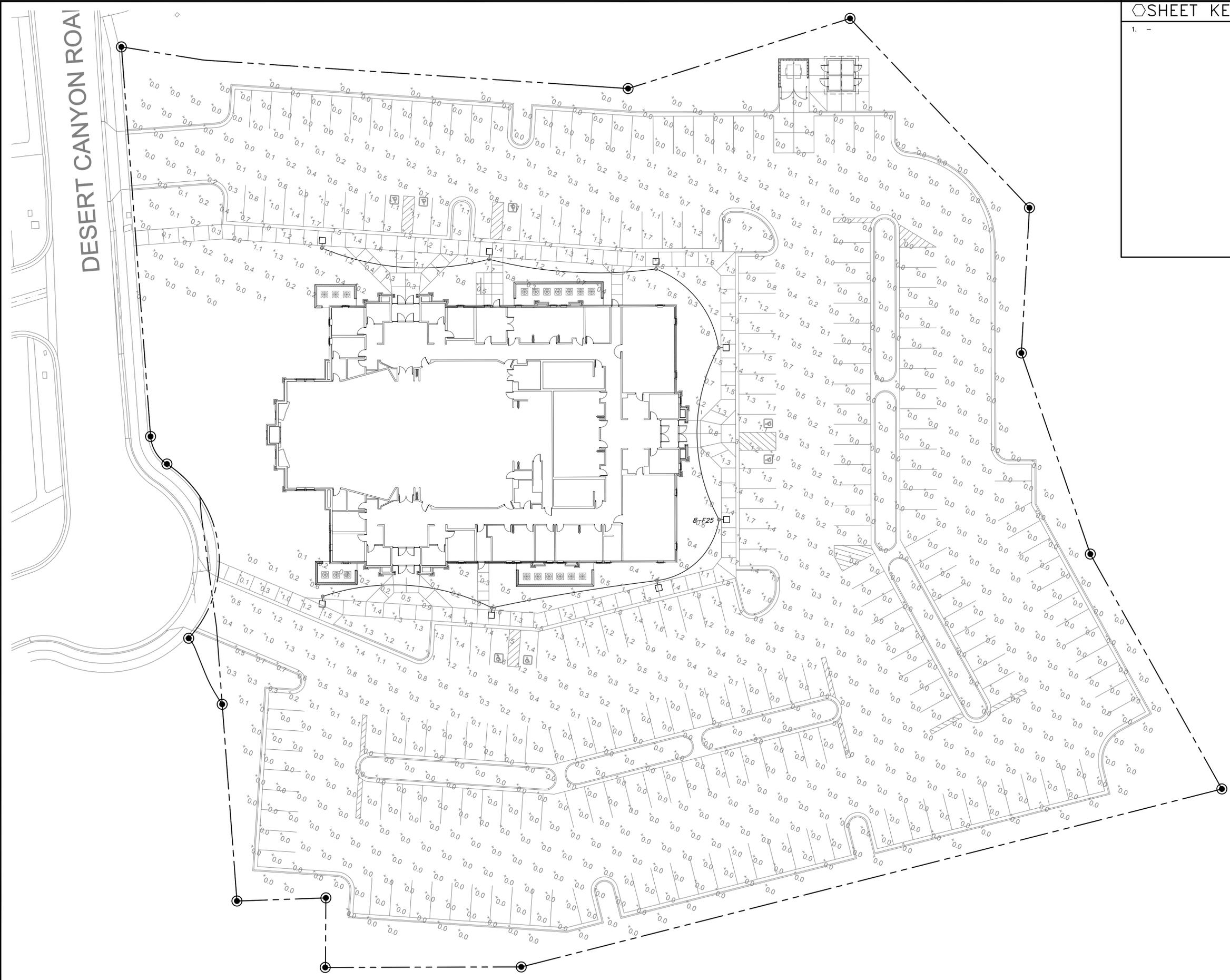
PLAN SERIES:
 HET-MAS-09-06

BIDD PROJECT #:
 1603

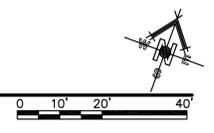
DATE:
 29 June 2016

SHEET TITLE:
**ELECTRICAL
 SITE PLAN**

SHEET:
ES101



1 ELECTRICAL SITE PLAN
 SCALE: 1" = 20'-0"



#	DATE	DESCRIPTION
1	29 Jun 2016	Site Submittal

ARCHITECTS

65 E. Wadsworth Park Dr., Ste. 205 Phone: 801.571.0010
 Draper, Utah 84020 Fax: 801.571.0023
 bbaarchitects.com Toll Free: 888.571.0010

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

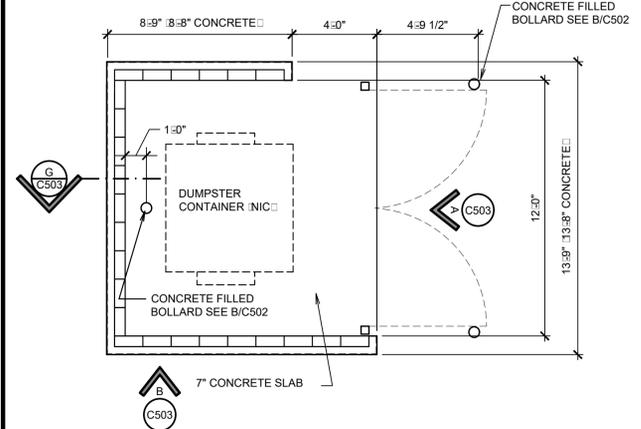
Highlands 2, 3
 Eagle Mountain UT North Stake

8732 North Desert Canyon Road
 Eagle Mountain, Utah 84005

DATE: 29 June 2016
 PLAN SERIES: HET-MAS-09-06
 BRICK PROJECT #: 1603
 PROPERTY #: 500-8473

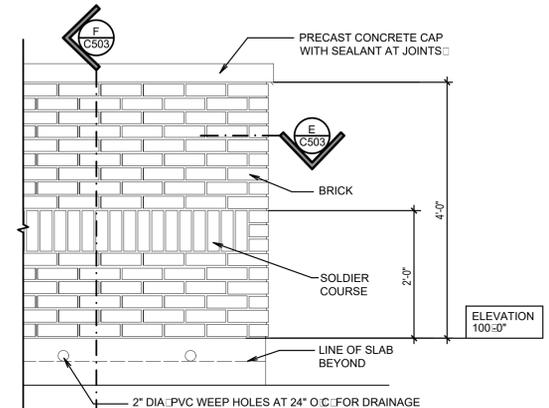
SHEET TITLE: SITE DETAILS

SHEET: C503

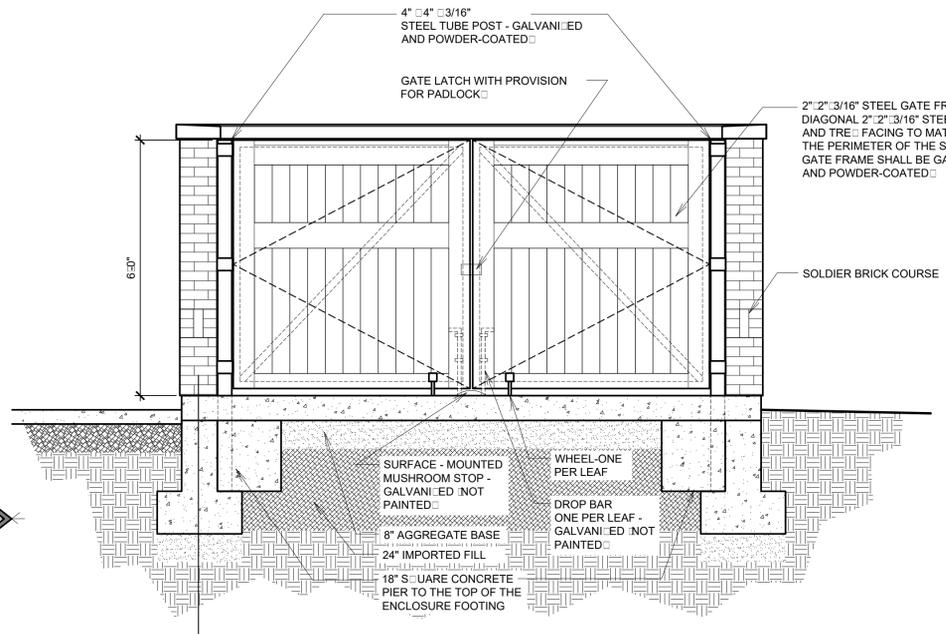


1 DUMPSTER ENCLOSURE PLAN
 SCALE: 1/4" = 1'-0"

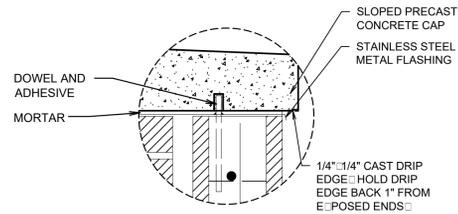
NOTE: BRICK DETAILS AND COLOR SHALL MATCH MAIN BUILDING



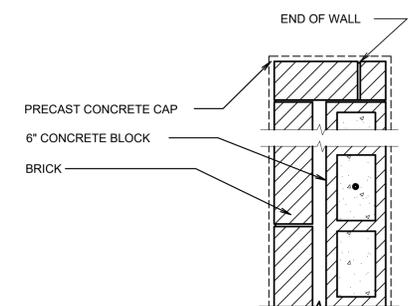
C MECHANICAL ENCLOSURE WALL ELEVATION
 SCALE: 3/4" = 1'-0"



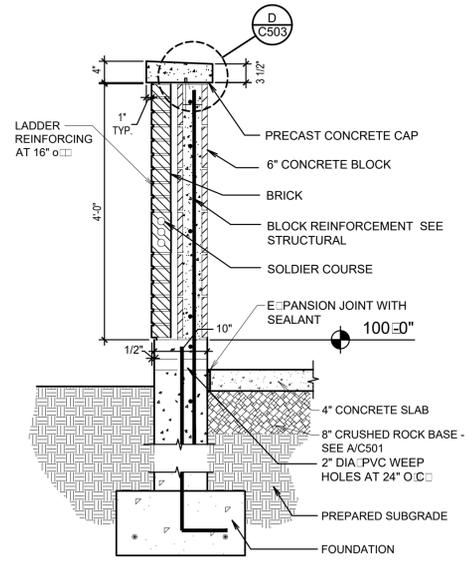
A DUMPSTER GATE ELEVATION
 SCALE: 1/2" = 1'-0"



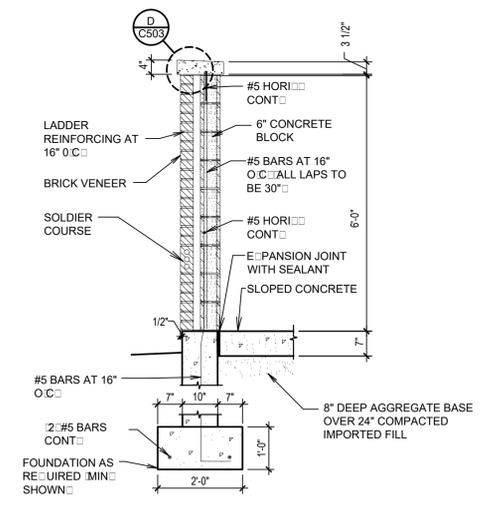
D PRECAST CONCRETE CAP
 SCALE: NOT TO SCALE



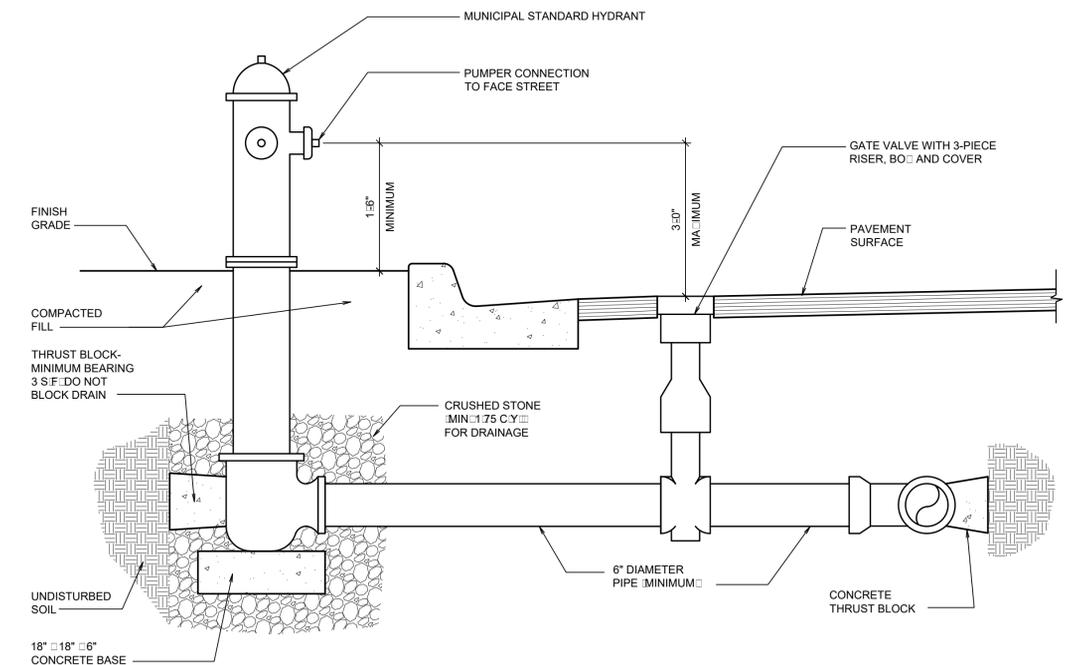
E MECHANICAL ENCLOSURE WALL PLAN
 SCALE: 3/4" = 1'-0"



F MECHANICAL ENCLOSURE WALL SECTION
 SCALE: 3/4" = 1'-0"



G WALL SECTION DUMPSTER ENCLOSURE
 SCALE: 1/2" = 1'-0"



H HYDRANT DETAIL
 SCALE: 1" = 1'-0"



EAGLE MOUNTAIN CITY
Planning Commission Staff Report

JULY 12, 2016

Project: Alpine Credit Union Site Plan
Applicant: Ryan Mackowiak
Request: Site Plan
Type of Action: Action Item, Recommendation to City Council

Preface

This application is for a Site Plan located in the Porter's Crossing Town Center site Lot 2 – approximately .53 ac in size. The Porter's Crossing development was approved by the City Council on May 3, 2011, along with a master site plan and preliminary plat (approved April 2011). This proposed project is for the Alpine Credit Union.

Buildings & Commercial Design Standards

The building square footage is approximately 3000 sq. ft. Building elevations and renderings have been submitted for the Alpine Credit Union. The building design complies with nearly all of the City's Commercial Design Standards. Staff recommends, however, that the applicant reduce the amount of stucco on the structure by adding additional rock or other exterior-2r materials. EMMC 17.72.040–F2 states:

2. All commercial buildings shall avoid large panelized products or featureless surfaces. Commercial

buildings shall utilize an appropriate mixture of building materials on all sides, including brick, rock, fiber/cement siding, wood, glass, stucco, and colored architectural CMU (concrete masonry unit). Stucco may not be used on more than 50 percent of a building. Metal, plain CMU, or other materials deemed appropriate by the planning commission and city council may be used as accents only.



Minor deviations from these elevations, still in compliance with the Design Standards, require approval by the Planning Director.

Parking

Required parking based on approximate building square footage is 10 total stalls. The project provides 11. There are 2 ADA required stalls. To the west of the proposed site is more proposed parking stalls associated with Ridley's grocery store. The developer is going to pave and stripe this large area with the construction of the credit union.

Landscaping

The applicants have designed the site according to City standards. The landscape plan exceeds the number of required trees and turf. The Credit Union will be responsible for the landscaping on the Credit Union site. All plants and trees are drought tolerant. The applicant has been asked to not have a dumpster but, instead regular sized garbage cans. The reason for this the Credit Union does not have enough refuse to require a full sized dumpster.

Lighting

A lighting plan has been submitted and complies with the City's dark sky ordinance. Lights must be shielded downward and the light source may not be visible from surrounding properties.

Signs

Any proposed signs will require a sign permit(s) prior to any construction.

Recommendation

Staff recommends that the Planning Commission recommend to the City Council that the Alpine Credit Union site plan be approved with any conditions that the Commission feels are appropriate.

Recommended Motions

The recommended motions are provided for the benefit of the Planning Commission and may be read or referenced when making a motion. The Planning Commission has the option to recommend approval, recommend approving with conditions, table, or recommend denial of the application, and should make one of the following motions:

I move that the Planning Commission recommend approval of the Alpine Credit Union site plan to the City Council with the following conditions:

Attachments

Overall Site Plan
Building Elevation

EXTERIOR FINISH CALCULATIONS

NORTH ELEVATION = 635 SF
 EIFS = 421 SF (66%)
 GLAZING = 33 SF (5%)
 STONE = 181 SF (29%)

SOUTH ELEVATION = 764 SF
 EIFS = 140 SF (18%)
 GLAZING = 174 SF (23%)
 STONE = 450 SF (59%)

WEST ELEVATION = 902 SF
 EIFS = 356 SF (40%)
 GLAZING = 201 SF (22%)
 STONE = 345 SF (38%)

EAST ELEVATION = 902 SF
 EIFS = 384 SF (43%)
 GLAZING = 196 SF (22%)
 STONE = 322 SF (35%)

TOTAL EXTERIOR WALL = 3,203 SF
 TOTAL EIFS = 1,301 SF (41%)
 TOTAL GLAZING = 604 SF (19%)
 TOTAL STONE = 1,298 SF (40%)



FINISH FLOOR ELEVATION
 EL. 145'-5 1/2"

AVG. FINISH GRADE
 EL. APPROX. 99'-3"

aeurbia
 architects and engineers

ALPINE CREDIT UNION - EAGLE MOUNTAIN
 SOUTH ELEVATION



aeurbia
 architects and engineers

ALPINE CREDIT UNION - EAGLE MOUNTAIN
 EAST ELEVATION



aeur**bi**a
architects and engineers

ALPINE CREDIT UNION - EAGLE MOUNTAIN
NORTH ELEVATION



aeur**bi**a
architects and engineers

ALPINE CREDIT UNION - EAGLE MOUNTAIN
WEST ELEVATION

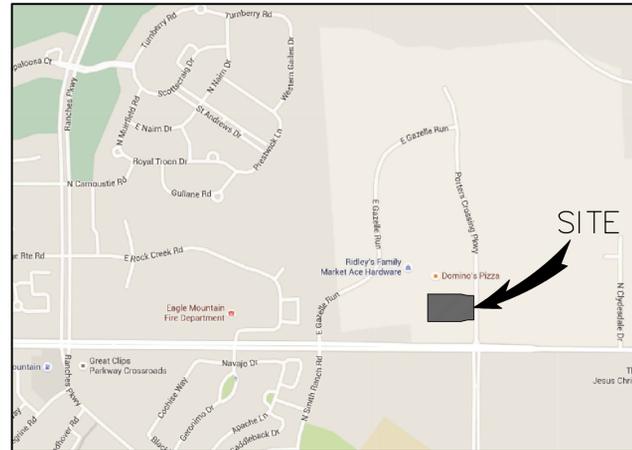
ALPINE CREDIT UNION

LOT 2, PORTER'S CROSSING TOWN CENTER SUBDIVISION
8087 NORTH PONY EXPRESS PARKWAY
EAGLE MOUNTAIN CITY, UTAH 84005

JULY 1, 2016

LEGEND

---	PROPERTY LINE	☼	EXISTING FIRE HYDRANT
---	EASEMENT LINE	☼	PROPOSED FIRE HYDRANT
-4240.0---	PROPOSED GRADE CONTOURS	☼	EXISTING STREET LIGHT
-4240.0---	EXISTING GRADE CONTOURS	☼	PROPOSED STREET LIGHT
---	EXISTING CURB	☼	PROPOSED PARKING LOT LIGHT
---	PROPOSED CURB AND GUTTER	☼	EXISTING WATER METER
---	PROPOSED CURB WALL	☼	EXISTING WATER VALVE
---	REVERSE PAN CURB & GUTTER	☼	EXISTING GATE VALVE
---	EXISTING SEWER	☼	EXISTING OVERHEAD POWER POLE
---	PROPOSED SEWER	TBC	TOP BACK CONCRETE
---	EXISTING WATER	FF	FINISHED FLOOR
---	PROPOSED WATER	HW	HIGH WATER
---	EXISTING FIRE LINE	TOG	TOP OF GRATE
---	PROPOSED FIRE LINE	TOL	TOP OF LID
---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
---	PROPOSED STORM DRAIN	EX	EXISTING
---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
---	EXISTING GAS	TBC	TOP BACK OF CURB
---	PROPOSED GAS	TA	TOP OF ASPHALT
---	EXISTING OVERHEAD POWER	TC	TOP OF CONCRETE
---	EXISTING UNDERGROUND POWER	EC	EDGE OF CONCRETE
---	PROPOSED UNDERGROUND POWER	EA	EDGE OF ASPHALT
---	EXISTING TELEPHONE LINE	TOW	TOP OF WALL
---	PROPOSED TELEPHONE LINE	TG	TOP OF GRAVEL
---	EXISTING FIBER OPTIC LINE	TL	TOP OF LANDSCAPING
---	PROPOSED FIBER OPTIC LINE	TS	TOP OF SIDEWALK
█	PROPOSED CONCRETE	PROP	PROPOSED
█	PROPOSED ASPHALT	39.0	TBC CALLOUT UNLESS OTHERWISE DESIGNATED
█	PROPOSED LANDSCAPING		



VICINITY MAP
NOT TO SCALE

SHEET INDEX

CV	COVER SHEET
C1	SITE PLAN
C2	GRADING & DRAINAGE PLAN
C3	UTILITY PLAN
C4	DETAIL SHEET
C5	APWA DETAIL SHEET
C6	EROSION CONTROL PLAN (SWPPP)

PROJECT CONSTRUCTION NOTES:

- CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
- CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
- ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
- ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
- CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
- CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
- CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
- INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
- INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
- ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER APWA STANDARDS AND SPECIFICATIONS.
- ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
- ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
- FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS.
- ALL WATER LINES TO HAVE A MINIMUM 5' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
- THRUST BLOCKS TO BE INSTALLED PER APWA PLAN NO'S 561 AND 562. SEE DETAIL SHEET C5.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
- THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
- ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.

FIRE DEPARTMENT NOTES:

- FIRE HYDRANTS SHALL BE EQUIPPED WITH ONE 4 1/2" AND 2 1/2" OUTLETS, WHICH HAS NATIONAL STANDARD THREADS (NST).
- FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE CENTER LINE OF THE LOWEST CAP, NUT SHALL NOT BE CLOSER THAN 18" FROM THE FINISHED GRADE.
- FIRE HYDRANTS SHALL HAVE THE 4 1/2" BUTT FACING THE FIRE ACCESS ROADWAY.
- UNDERGROUND PIPING SHALL BE TESTED AT 200 PSIA FOR TWO HOURS. TEST CERTIFICATE SHALL BE PROVIDED TO FIRE DEPARTMENT OFFICE.
- BURNING OF TRASH, SCRAP WOOD OR OTHER MATERIALS IS A VIOLATION OF CITY ORDINANCE.
- A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES.
- NEW FIRE HYDRANTS SHALL BE COLOR CODED AND BE DIRECTED BY PUBLIC UTILITIES AS TO THE COLOR AND SHADE OF THE HYDRANT BONNET.
- FIRE HYDRANTS SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT THE BASE INLET OF THE FIRE HYDRANT.
- FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE FOOTINGS AND FOUNDATIONS OF ANY STRUCTURE. FIRE HYDRANTS SHALL BE ACCESSIBLE, OPERATIONAL AND MAINTAINED IN THAT CAPACITY.
- WATER LATERALS WHICH ARE 16 FOOT IN LENGTH OR LONGER SHALL BE PROVIDED WITH CONTROL VALVES AT THE TAP OF THE WATER MAIN AND AT THE FIRE HYDRANT.
- WATER LATERALS WHICH SUPPLY WATER BASED FIRE PROTECTION SHALL BE FERROUS PIPE WHEN PASSING UNDER OR THROUGH FOOTINGS OR FOUNDATION WALLS.



CIVIL ENGINEER:

CIR

ENGINEERING LLC
3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - PH: 801-949-6296

ARCHITECT:

AE URBIA

2875 SOUTH DECKER LAKE DRIVE, SUITE 275
SALT LAKE CITY, UTAH 84119
CONTACT PERSON: RYAN MACKOWIAK
PH: (801) 746-0456

NO.	REVISIONS	BY	DATE

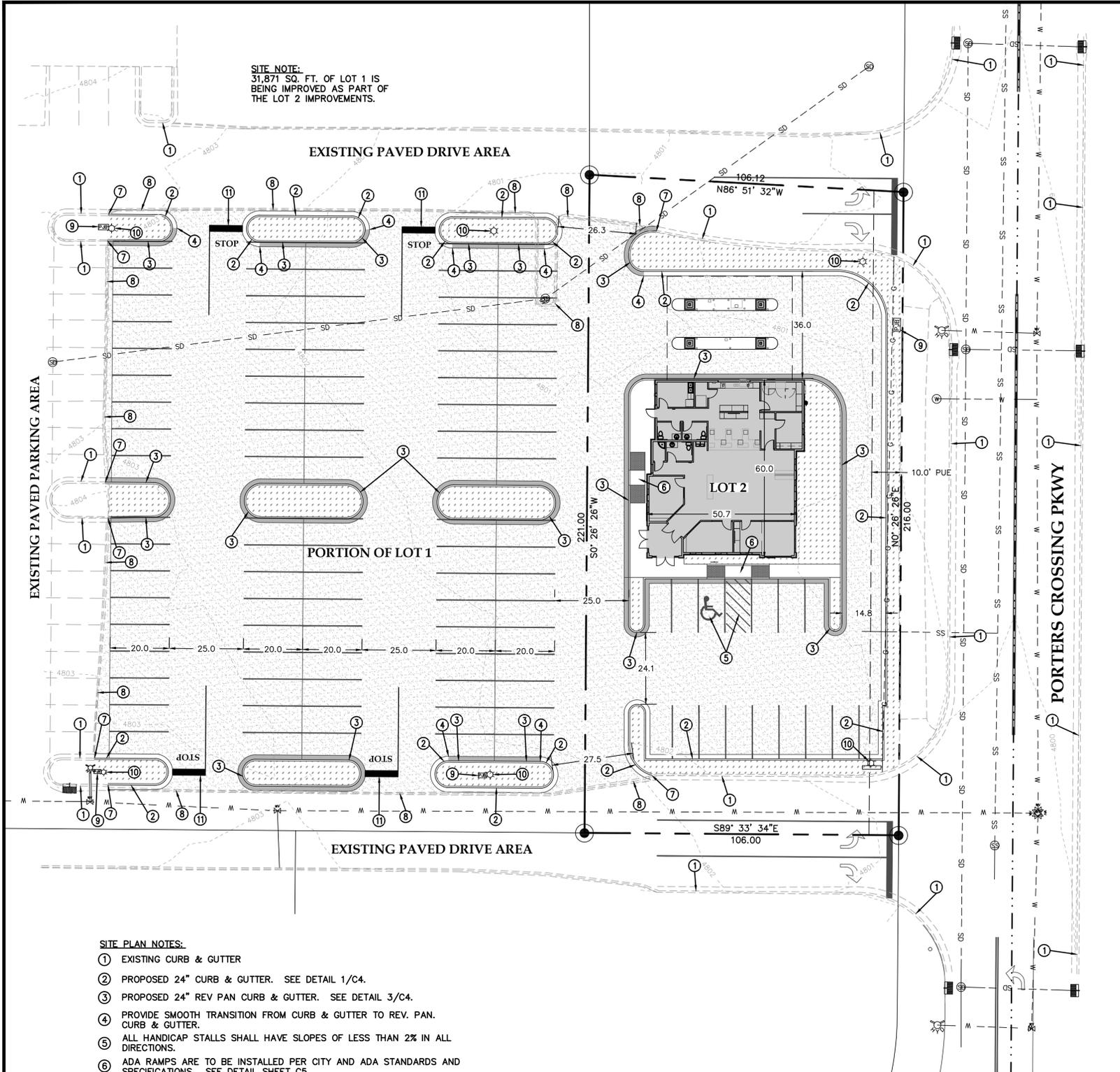
CIR
ENGINEERING LLC
3032 SOUTH 1030 WEST, SUITE 202
SLC, Utah 84119 - 801-949-6296
DESIGNER: SDT
PROJECT ENGINEER: SDT

ALPINE CREDIT UNION
8087 NORTH PORTERS CROSSING, EAGLE MOUNTAIN, UTAH

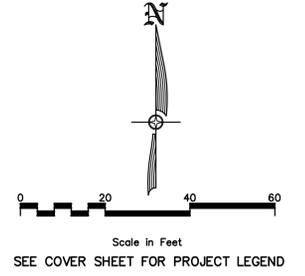
COVER SHEET



SHEET NO.	CV
PROJECT ID:	A1051-01
DATE:	07/01/16
FILE NAME:	PRJ-ACU
SCALE:	1"=20'



SITE NOTE:
31,871 SQ. FT. OF LOT 1 IS BEING IMPROVED AS PART OF THE LOT 2 IMPROVEMENTS.



LOT 2 SUMMARY TABLE

SITE BOUNDARY	23,161 SF (0.53 ACRES)
ZONING DESIGNATION	COMM (COMMERCIAL)
FRONT SETBACK	25'
SIDE SETBACK	0'
REAR SETBACK	20'
PARKING REQUIRED	11 STALLS (3,064 SF AT 1/300 GSF)
PARKING PROVIDED	15 STALLS - INCL. (1) ADA STALL
BUILDING FOOTPRINT	3,064 SF (13.23%)
LANDSCAPING	3,129 SF (13.51%)
TOTAL ASPHALT	13,552 SF (61.35%)
EXISTING ASPHALT	3,786 SF (16.34%)
NEW ASPHALT	10,423 SF (45.00%)
CONCRETE	2,759 SF (11.91%)

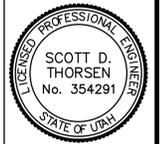
- SITE PLAN NOTES:**
- ① EXISTING CURB & GUTTER
 - ② PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.
 - ③ PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.
 - ④ PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN. CURB & GUTTER.
 - ⑤ ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
 - ⑥ ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET C5.
 - ⑦ MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
 - ⑧ REMOVE ROLLED ASPHALT AND SAWCUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR NEW PAVEMENT TO MATCH INTO.
 - ⑨ EXISTING POWER JUNCTION BOX.
 - ⑩ EXISTING LIGHT POLE.
 - ⑪ PROPOSED STOP BAR STRIPING, SEE DETAIL 13/C4.

NO.	REVISIONS	BY	DATE

DESIGNER: SDT
PROJECT ENGINEER: SDT

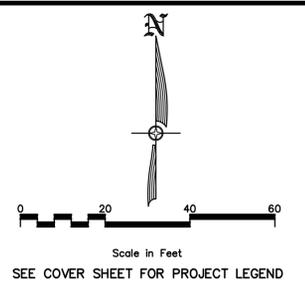
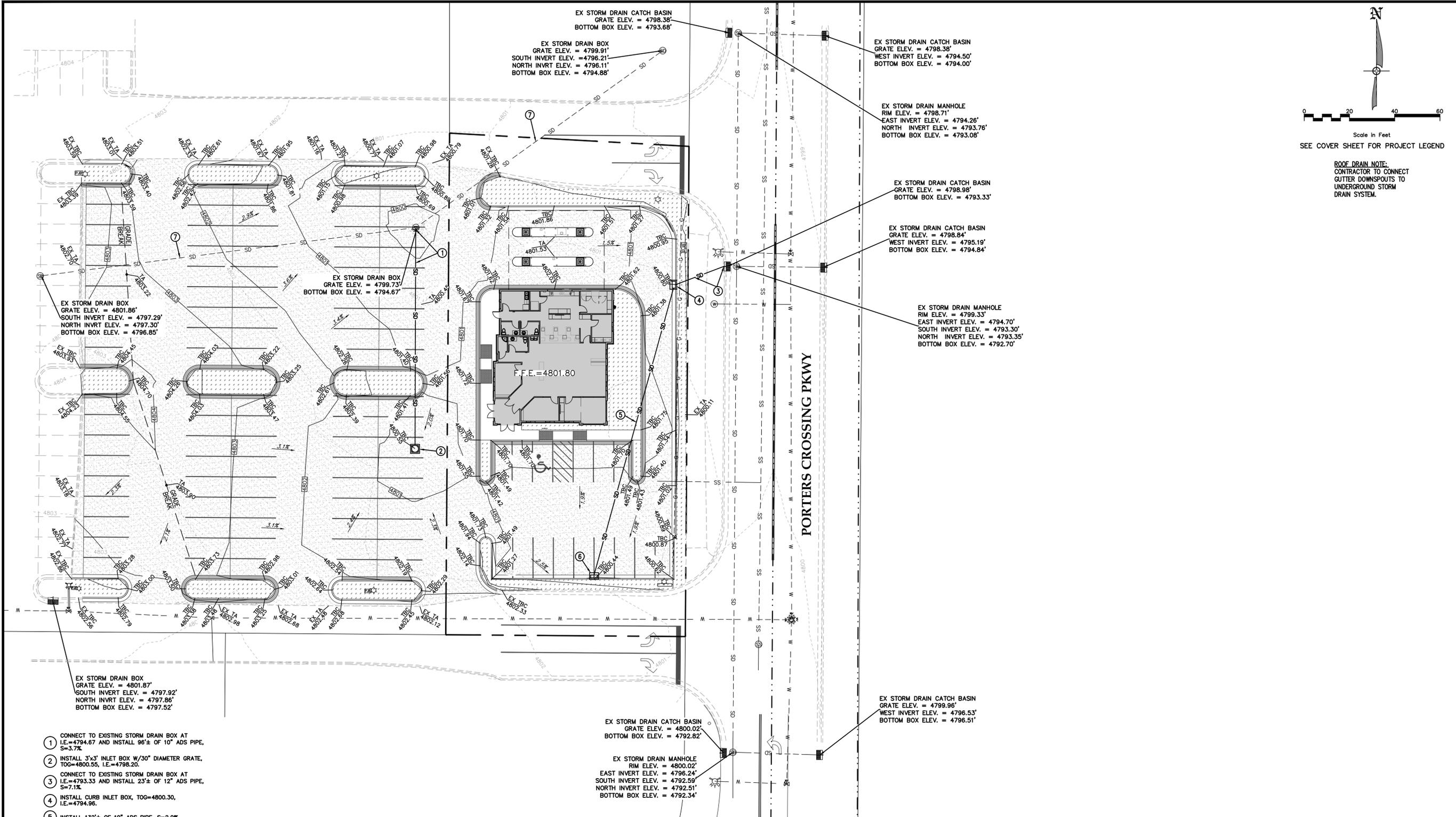
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8087 NORTH PORTERS CROSSING, EAGLE MOUNTAIN, UTAH
SITE PLAN



SHEET NO. C1

PROJECT ID:	A1051-01	DATE:	07/01/16
FILE NAME:	PRJ-ACU	SCALE:	1"=20'



ROOF DRAIN NOTE:
CONTRACTOR TO CONNECT
GUTTER DOWNSPOUTS TO
UNDERGROUND STORM
DRAIN SYSTEM.

- 1 CONNECT TO EXISTING STORM DRAIN BOX AT I.E.=4794.67 AND INSTALL 96"± OF 10" ADS PIPE, S=3.7%
- 2 INSTALL 3"x3" INLET BOX W/30" DIAMETER GRATE, TOG=4800.55, I.E.=4798.20.
- 3 CONNECT TO EXISTING STORM DRAIN BOX AT I.E.=4793.33 AND INSTALL 23'± OF 12" ADS PIPE, S=7.1%
- 4 INSTALL CURB INLET BOX, TOG=4800.30, I.E.=4794.98.
- 5 INSTALL 132'± OF 10" ADS PIPE, S=2.0%
- 6 INSTALL CURB INLET BOX, TOG=4799.94, I.E.=4797.60.
- 7 EXISTING 18" RCP STORM DRAIN PIPE.

NO.	REVISIONS	BY	DATE

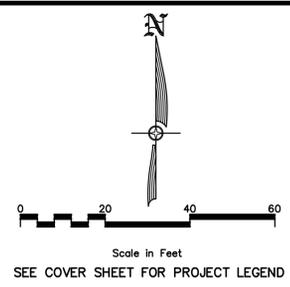
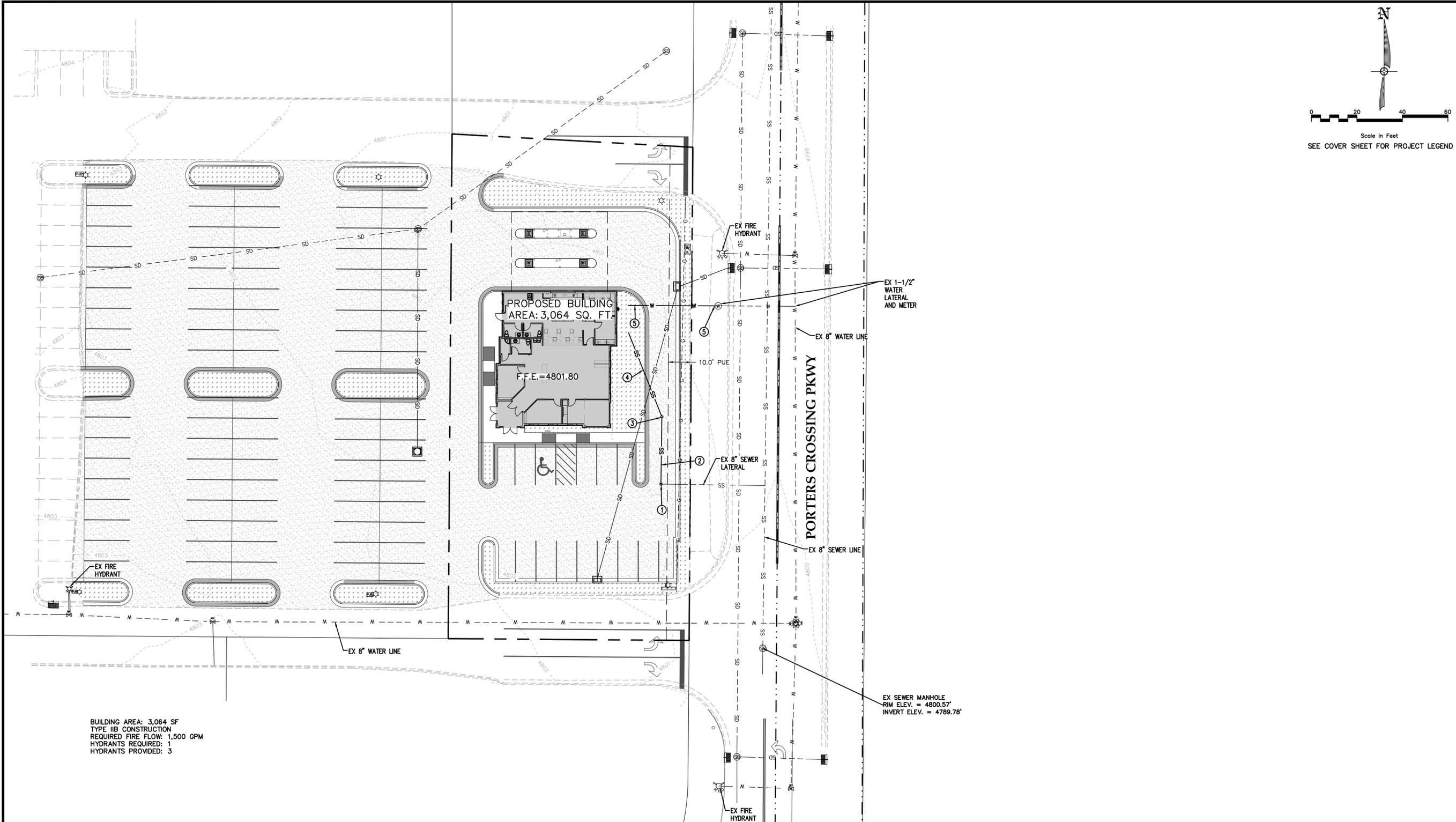
CIR
ENGINEERING LLC
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S.L.C. Utah 84119 - 801-949-6296

ALPINE CREDIT UNION
8087 NORTH PORTERS CROSSING, EAGLE MOUNTAIN, UTAH
GRADING & DRAINAGE PLAN



SHEET NO.
C2

PROJECT ID: A1051-01
DATE: 07/01/16
FILE NAME: PRJ-ACU
SCALE: 1"=20'



BUILDING AREA: 3,064 SF
 TYPE IIB CONSTRUCTION
 REQUIRED FIRE FLOW: 1,500 GPM
 HYDRANTS REQUIRED: 1
 HYDRANTS PROVIDED: 3

- ① CONNECT TO EXISTING 4" SEWER LATERAL AT I.E.=4788.00± AND INSTALL 4" 90° BEND AND 4" CLEANOUT WYE. TOL=MATCH TOP OF PROPOSED ASPHALT. CONTRACTOR TO VERIFY EXACT LOCATION AND ELEVATION PRIOR TO CONSTRUCTION.
- ② INSTALL 29'± OF 6" PVC SEWER PIPE, S=2.0% PER EAGLE MOUNTAIN CITY AND/OR APWA STANDARDS.
- ③ INSTALL 4" 22.5' WYE AND 4" CLEANOUT WYE. I.E.=4788.58, TOL=MATCH TOP OF PROPOSED ASPHALT.
- ④ INSTALL 40'± OF 6" PVC SEWER PIPE, S=2.0% PER EAGLE MOUNTAIN CITY AND/OR APWA STANDARDS. END 5' FROM BUILDING, I.E.=4789.38, AND SEE MECHANICAL PLANS FOR CONTINUATION TO BUILDING.
- ⑤ CONNECT TO EXISTING WATER METER AND INSTALL 1-1/2" POLY PIPE WATER LINE TO 5' FROM BUILDING. SEE MECHANICAL PLANS FOR CONTINUATION INTO BUILDING. ALL WORK TO BE DONE PER EAGLE MOUNTAIN CITY AND/OR APWA STANDARDS.

NO.	REVISIONS	BY	DATE

CIR
ENGINEERING LLC
 3032 SOUTH 1030 WEST, SUITE 202
 SLC, Utah 84119 - 801-949-6296
 DESIGNER: SDT PROJECT ENGINEER: SDT

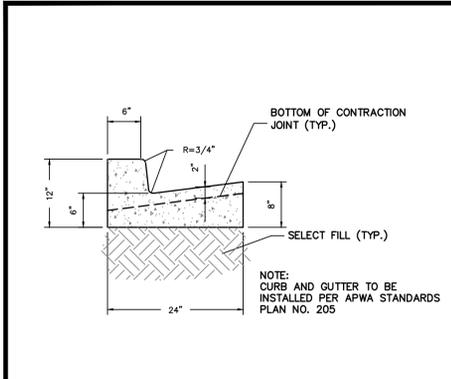
ALPINE CREDIT UNION
 8087 NORTH PORTERS CROSSING, EAGLE MOUNTAIN, UTAH
 UTILITY PLAN



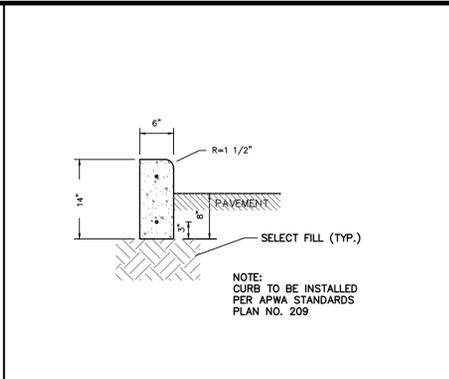
SHEET NO.
C3

PROJECT ID: A1051-01
 DATE: 07/01/16
 FILE NAME: PRJ-ACU
 SCALE: 1"=20'

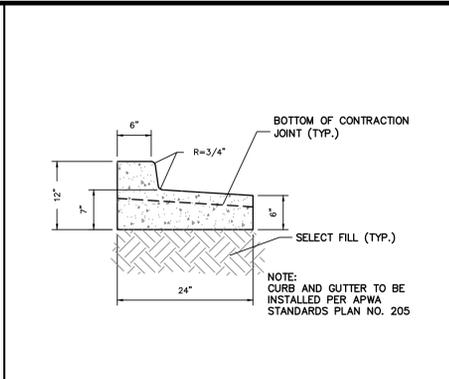




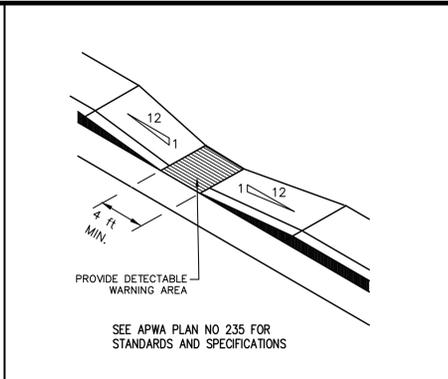
1 | 24" CURB & GUTTER
N.T.S.



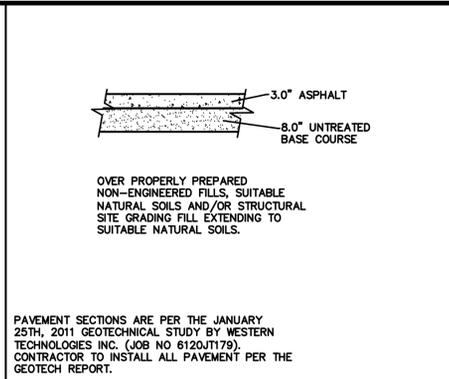
2 | 6" CURB WALL
N.T.S.



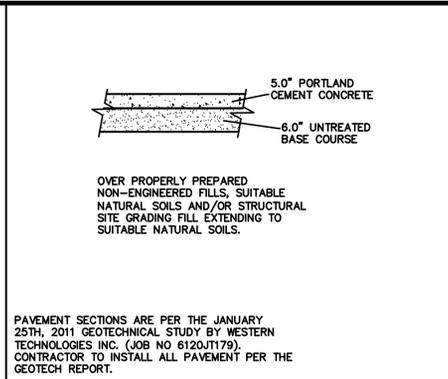
3 | 24" REVERSE PAN CURB & GUTTER
N.T.S.



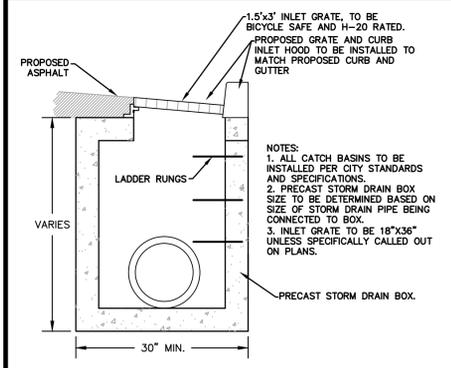
4 | ADA RAMP
N.T.S.



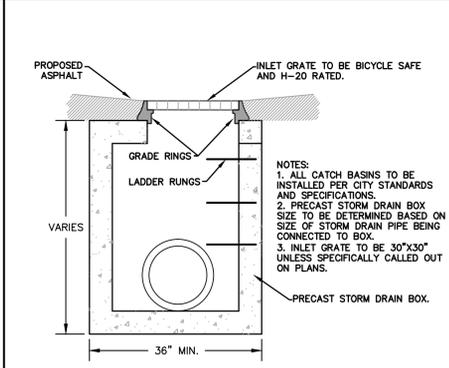
5 | PARKING ASPHALT PAVEMENT SECTION
N.T.S.



6 | PARKING CONCRETE PAVEMENT SECTION
N.T.S.



7 | STANDARD STORM DRAIN CURB INLET BOX
N.T.S.



8 | STANDARD STORM DRAIN INLET BOX
N.T.S.



9 |
N.T.S.



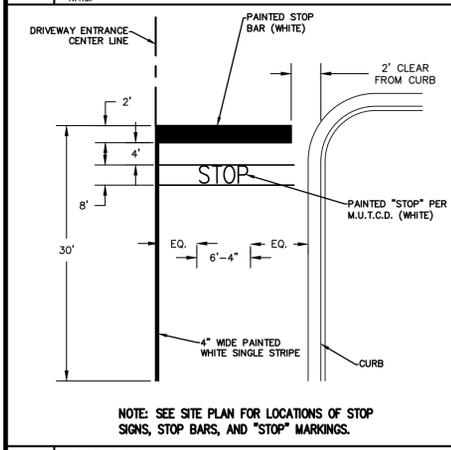
10 |
N.T.S.



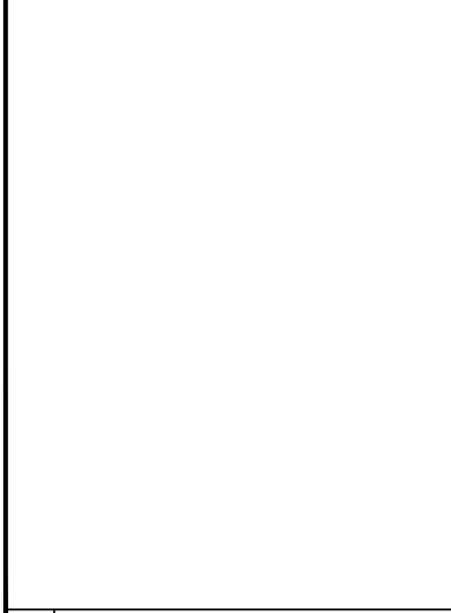
11 |
N.T.S.



12 |
N.T.S.



13 | STOP BAR
N.T.S.



14 |
N.T.S.

NO.	REVISIONS	BY	DATE

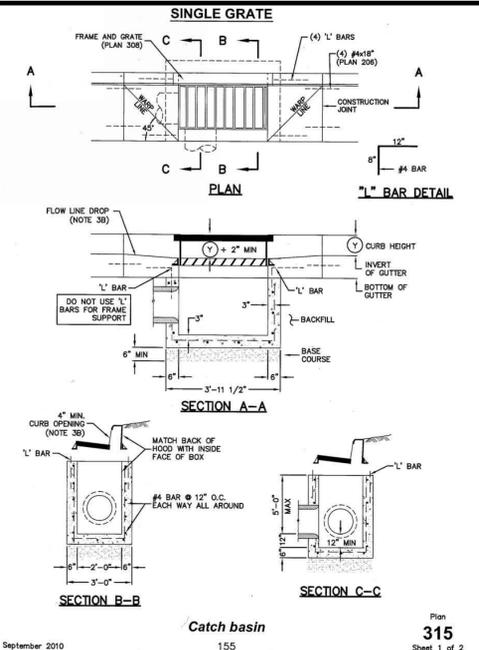
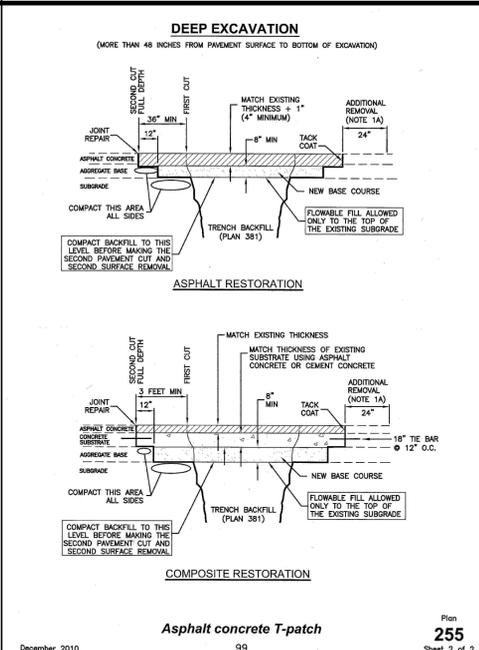
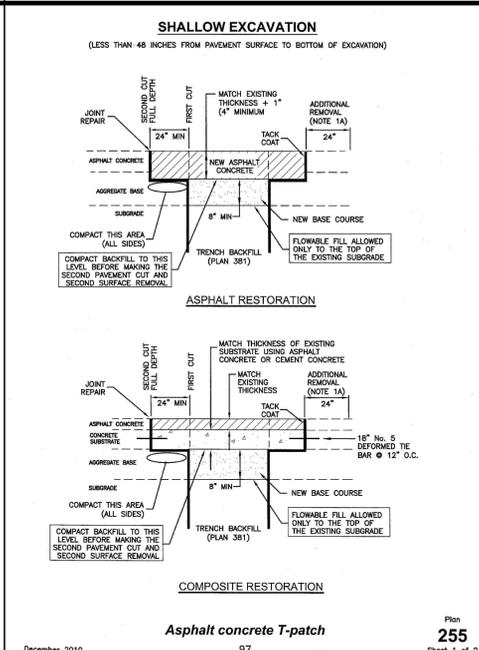
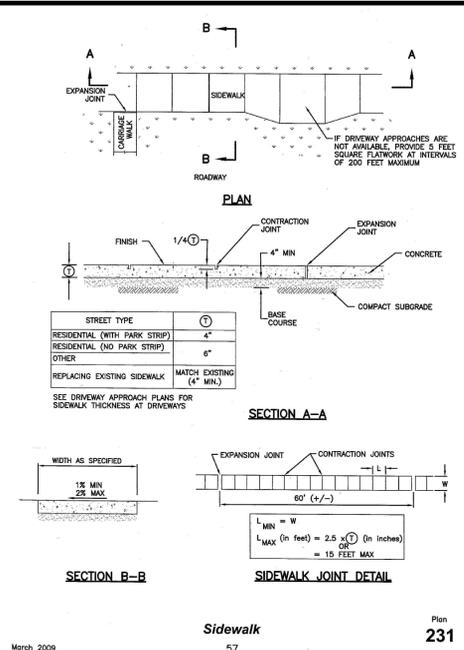
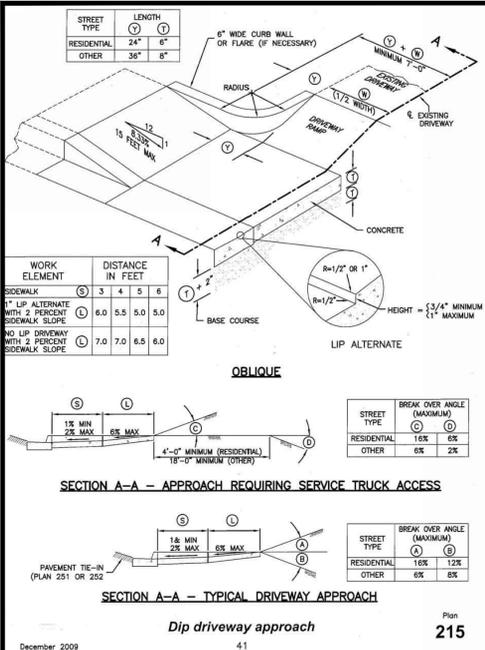
DESIGNER: SDT
PROJECT ENGINEER: SDT
ENGINEERING LLC
3032 SOUTH 1030 WEST, SUITE 202
S.L.C. Utah 84119 - 801-949-6296

ALPINE CREDIT UNION
8087 NORTH PORTERS CROSSING, EAGLE MOUNTAIN, UTAH
DETAIL SHEET

SCOTT D. THORSEN
No. 354291
STATE OF UTAH
LICENSED PROFESSIONAL ENGINEER

SHEET NO. C4
PROJECT ID: A1051-01
DATE: 07/01/16
FILE NAME: PRJ-ACU
SCALE:





Pipe zone backfill

1. GENERAL

A. Install the pipe in the center of the trench or no closer than 6-inches from the wall of the pipe to the wall of the trench.

2. PRODUCTS

A. Base Course: Untreated base course, APWA Section 32 11 23. Do not use gravel as a base course without ENGINEER'S permission.

B. Backfill: Common fill, APWA Section 31 05 13. Maximum particle size 2-inches.

C. Concrete: APWA Section 03 30 04.

D. Flowable Fill: Target is 80 psi in 28 days with 90 psi maximum in 28 days, APWA Section 31 05 15. It must flow easily requiring no vibration for consolidation.

E. Stabilization-Separation Geotextile: Moderate or high at CONTRACTOR'S choice, APWA Section 31 05 19.

3. EXECUTION

A. Excavate the Pipe Zone: Width is measured at the pipe spring line and includes any necessary sheathing. Provide width recommended by pipe manufacturer. Follow manufacturer's recommendations when using trench boxes.

B. Foundation Stabilization: Get ENGINEER'S permission before installing common fill. Vibrate to stabilize. Installation of stabilization-separation geotextile will be required to separate backfill material and native subgrade materials if common fill cannot provide a working surface or prevent soils migration.

C. Base Course:

- Furnish untreated base course material unless specified otherwise by pipe manufacturer.
- Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26.

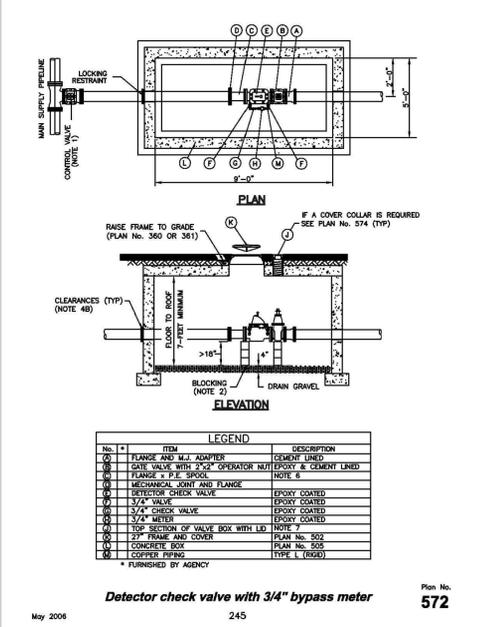
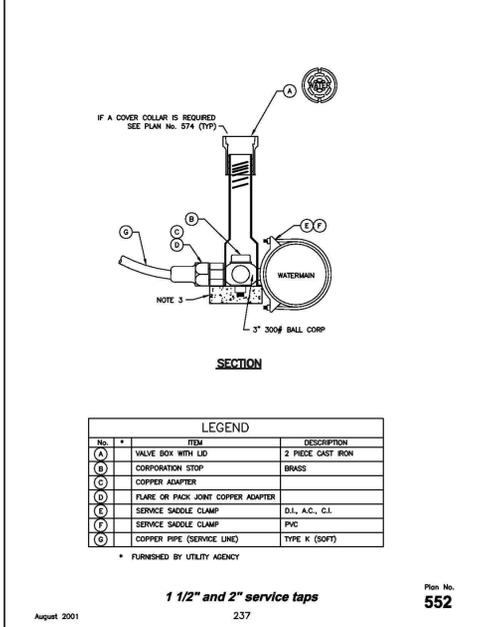
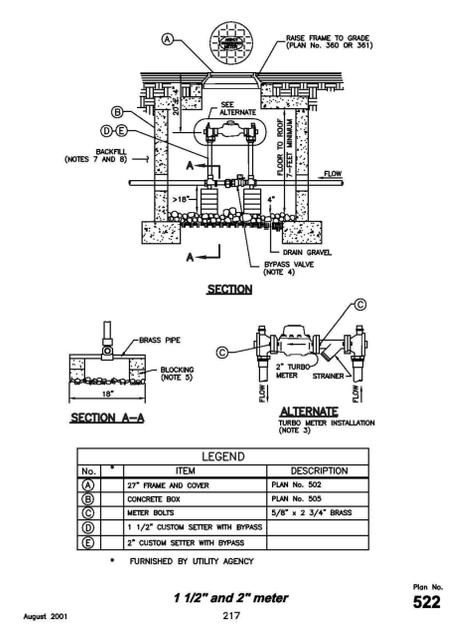
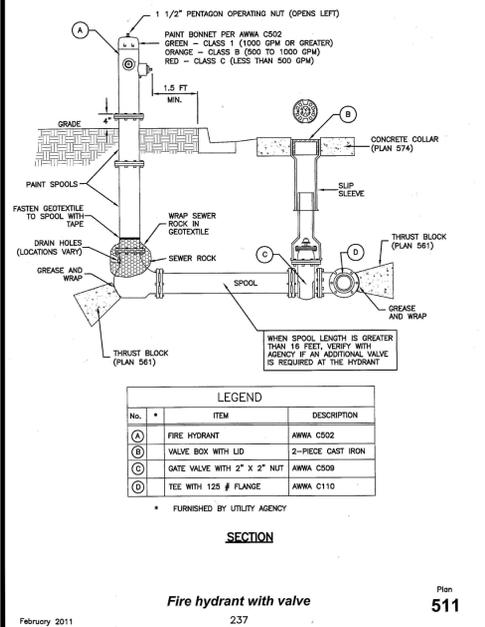
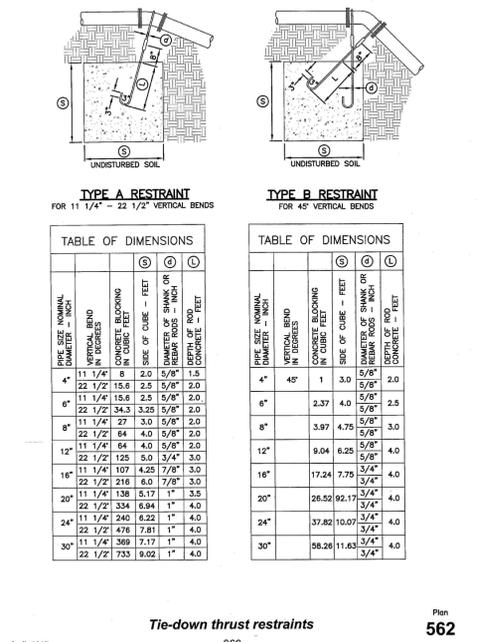
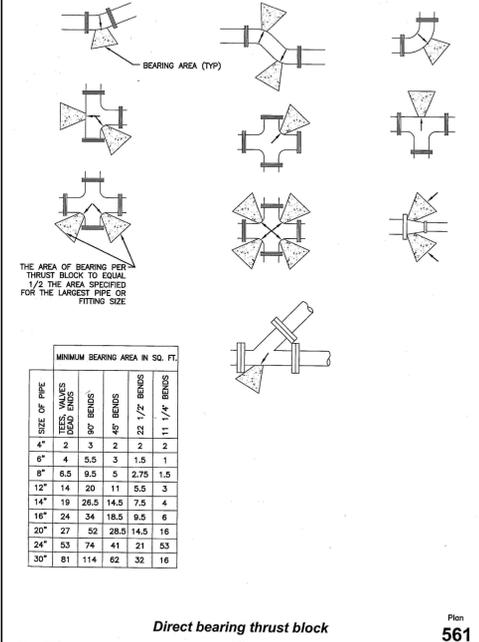
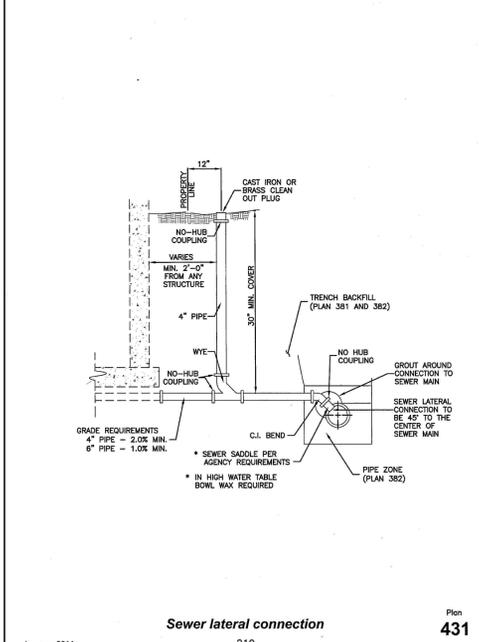
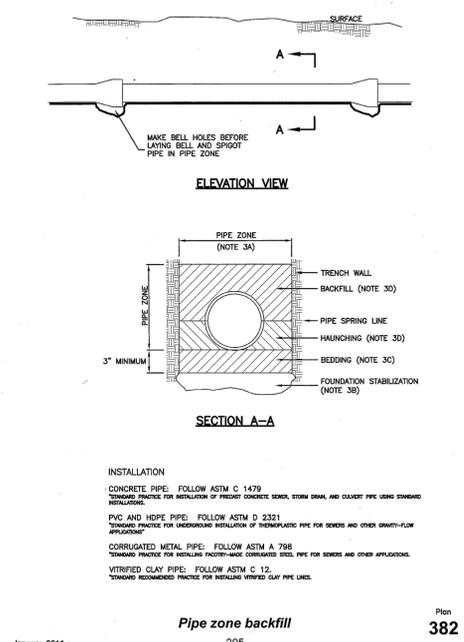
D. Pipe Zone: DO NOT USE sewer rock, pea gravel, or recycled RAP aggregate in the pipe zone. Water jetting is NOT allowed.

- Maximum lift thickness is 8-inches before compaction. Compaction is 95 percent or greater relative to a modified proctor density, APWA Section 31 23 26 unless pipe manufacturer requires more stringent installation.
- Submission of quality control compaction test result data developed for the haunch zone may be requested by ENGINEER at any time. CONTRACTOR is to provide results of tests immediately upon request.

E. Flowable Fill (when required and if allowed by pipe manufacturer):

- Place the controlled low strength material, APWA Section 31 05 15.
- Prevent pipe flotation by installing in lifts and providing pipe restraints as required by pipe manufacturer.
- Reset pipe to line and grade if pipe "floats" out of position.

Plan 204



REVISIONS BY DATE

DESIGNER: SDT

PROJECT ENGINEER: SDT

CIR ENGINEERING LLC

3032 SOUTH 1030 WEST, SUITE 202
S.L.C. Utah 84119 - 801-949-6296

ALPINE CREDIT UNION
8087 NORTH PORTERS CROSSING, EAGLE MOUNTAIN, UTAH

APWA DETAIL SHEET

SCOTT D. THORSE
LICENSED PROFESSIONAL ENGINEER
STATE OF UTAH
No. 354291

SHEET NO. C5

PROJECT ID: 1051-01 DATE: 07/01/16
FILE NAME: PRJ-ACU SCALE:

CALL BEFORE YOU DIG
800 STAKES 1 800 868 674



EAGLE MOUNTAIN CITY
Planning Commission Staff Report

JULY 12, 2016

Project: Valley View Foothills Preliminary Plat
Applicant: Ken Olsen & Gary McDougal
Type of Action: Action Item; Recommendation to the City Council

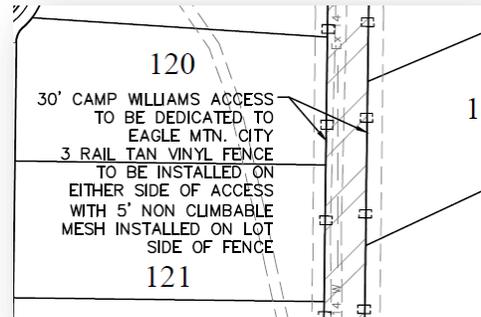
PROPOSAL

The Valley View Foothills preliminary plat is the final undeveloped area in the Valley View Ranch development. The proposed preliminary plat consists of 46.42 acres with 71 total lots for a density of 1.53 lots per acre. The project's tabulations table is shown here. →

<u>PLAT CALCULATIONS</u>	
TOTAL ACREAGE:	46.42 ACRES
BUILDABLE ACREAGE:	44.68 ACRES
TOTAL ACREAGE IN LOTS:	40.66 ACRES
TOTAL OPEN SPACE:	0 ACRES
TOTAL IMPROVED OPEN SPACE:	0 ACRES
AVERAGE LOT SIZE:	24945 SF/0.57 ACRES
LARGEST LOT SIZE:	46776 SF/1.07 ACRES
SMALLEST LOT SIZE:	19627 SF/0.45 ACRES
OVERALL DENSITY:	1.53 LOTS/ACRE
TOTAL # OF LOTS:	71 LOTS

Noteworthy Items

- Number of Lots – The
- Parcel A (access road & trails) – This parcel is to be dedicated to the City. Parcel A is to be an undeveloped road that provides access to Camp Williams, the City's water tower and acts as a proposed trail buffer between homes on the northern portion of the plat and Camp Williams. The proposal is as follows:
 - 30-foot wide Camp Williams access, with 3-rail tan vinyl fencing on each side with 5-foot non-climbable mesh on lot side of fence. To be installed by developer with the infrastructure for the final plat. →
 - NW Corner Trail – a 20-foot "trail" corridor, adding 4" of compacted road base to the existing dirt road to create an 8-foot wide trail, and a 3-rail tan vinyl fence along the south side.
 - North Middle Trail – a 20-foot wide "trail" corridor, cutting a new 8-foot wide trail and adding 4" of compacted road base, with a 3-rail tan vinyl fence along the south side.
 - Northeast Trail/Road – the existing access road to the water tank will remain and be dedicated to the City, and a 3-rail tan vinyl fence along the south side.
- Lot Sizes (less than ½ acre) – There are sixteen lots within this proposal that are less than ½ acre. According to the MDA of Valley View Ranch section 2.3 it states:
"No lot shall be platted on the Subject Property less than one-half acre in size; provided however, that if Valley View can demonstrate to the satisfaction of the City that topographical features or road alignment technical issues prevent a particular lot from achieving full one-half acre lot size, the lot or lots identified to have topographical features or present other technical compliance issues may be



reduced from one-half acre in size by no more than 2,100 square feet to accommodate the topographical or alignment requirements. Not more than five (5%) percent of the total number of lots in the Subject Property shall be approved by the City for less than one-half acre size based on topographic features or alignment technical challenges.”

- The agreement allows for up to 20 lots (5% of total) in the overall Valley View development to be less than ½ acre using the criteria stated above. Here is the breakdown of the sixteen lots that are smaller than ½ acre:
 - Lot 106 = 19,627
 - Lot 107 = 19,856
 - Lot 114 = 19,533
 - Lot 115 = 19,816
 - Lot 116 = 19,673
 - Lot 117 = 19,636
 - Lot 118 = 20,949
 - Lot 122 = 20,208
 - Lot 123 = 20,623
 - Lot 124 = 20,956
 - Lot 136 = 19,931
 - Lot 137 = 19,780
 - Lot 144 = 19,580
 - Lot 145 = 19,763
 - Lot 146 = 20,411
 - Lot 152 = 21,165
 - Recommendations:
 - No lot should be less than 19,680, so Lots 106, 116, 117, and 144 must all be increased.
 - Lots 106 and 107 should be allowed, based on the location of the sewer line/easement, although Lot 106 should be modified slightly to be greater than 19,680 square feet.
 - The Patriot Drive cul-de-sac can be pulled back to give additional square feet to lots 143-146. Lots 145 and 146 should be increased to account for the lack of a Camp Williams road to act as an additional wild-fire buffer.
 - One lot should be removed between lots 114 and lots 118, or lot lines can be adjusted so that none of these lots are less than ½-acre. These lots do not have topographical or alignment issues.
 - Lots 123 and 136 can be replaced with a lot facing to the west, which, with some lot line shifting, resolves some of the lot-size issues to the north and northwest.
 - The Lot line between Lot 124 and Lot 132 can be shifted to increase the size of Lot 124.
 - Summary: Unless the applicant can provide sufficient justification in the mind of the Planning Commission, we recommend that the only lots that should be approved at less than ½ acre should be Lots 106 and 107.
- Lot Sizes (Camp Williams border) – Section 2.2 of the Valley View Ranch MDA states the following: *“To assure compatibility with the adjoining North Ranch and Meadow Ranch communities, Valley View shall be required to plat lots of no less than 1-acre in sized for each and every Valley View lot adjoining the North Ranch, Camp Williams, and Meadow Ranch areas.”*
 - EMMC 17.60.150-D states the following: *“Proposed lots adjacent to Camp Williams, or BLM land, shall be a minimum of one acre in size. The Planning Commission may recommend and the City Council may approve lots smaller than one acre in size when these bodies find that there have been adequate improvements to mitigate concerns with storm water runoff and wild land fires. All development within 1,000 feet of Camp Williams shall have a maximum density of 1.6 dwelling units per acre, and the minimum lot size shall be one-half acre.”*
 - The applicant is proposing an amendment to the MDA that will be reviewed by the City Council, asking to allow a minimum ½ acre lots. Their justification is that the addition of the 20-foot wide trail corridor, along with the Camp Williams access road, mitigates concerns with storm water runoff and wild land fires. Your feedback on this issue is requested.

1/2 Acre = 21,780 sq ft 2,100-sq ft reduction = 19,680 sq ft

- Open Space/Parks/Trails – The park required for the Valley View Ranch project has already begun construction. No additional improved open space is required for this preliminary plat. An asphalt trail is being provided by the developer (along with the infrastructure) between Lots 105 and 106, and Lots 110 and 111, along the sewer line easement, an asphalt trail between lots 117 and 118. Staff recommends that the applicant install 4” of compacted road base for an 8-foot wide trail to the existing trail corridor west of Lots 101 and 102.
- Water Rights – The developer must submit a letter indicating either the banked water rights that he plans to use for this plat, or a commitment to purchase water from the City.
- Utilities – Lot 107 is proposed to be serviced by a septic tank. City Code now restricts septic tanks to a minimum 1-acre lot size, along with several other requirements. This lot, however, cannot be serviced by sewer, as the lots to the south are serviced by septic tanks. This is the only lot in the proposed plat that cannot connect to a sewer line. The Commission and Council will have to decide whether to allow a septic tank for this lot.
- Grading/Drainage – There is a natural drainage path that leads directly to Lot 152. The applicant must add cut-off ditches behind the hillside lots, and must provide for that drainage to get to the storm drain system through an easement along property lines to the satisfaction of the City Engineer.
- Lots – A soils report is required for every lot. The setbacks for all lots are 25’ front yard, 25’ rear yard, and 30 total side yard with a minimum of 12’. Minimum side yard along a street is 20’. Lots with a slope greater than 2:1 will require engineered retaining walls. In order to avoid an awkward corner behind Lot 935 (Valley View A-9) and to the side of Lot 160, the rear lot line of Lot 160, and those to the west, should be shifted to be in line with Lot 935. This may require the elimination of one lot along this row, or, at a minimum, the widening of the lots..
- Camp Williams – We have requested and are awaiting feedback from Colonel Smith with the Utah Army National Guard.

Optional Motions

If the Planning Commission chooses to table/continue the proposed plat in order to make changes to the plans to resolve concerns in the staff report or expressed at the meeting, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission continue the Valley View Foothills preliminary plat to the (July 26?) Planning Commission meeting in order to resolve the concerns expressed in the staff report and in the meeting.

or

I move that the Planning Commission table the Valley View Foothills preliminary plat in order to resolve the concerns expressed in the staff report and in the meeting.

If the Planning Commission chooses to recommend approval of the proposed plat, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission recommend to the City Council approval of the Valley View Foothills preliminary plat with the following conditions or any other conditions deemed appropriate:

1. *Master Plan Compliance. That this subdivision complies with all conditions of the Valley View Master Plan and Agreement.*
2. *Approval of this proposed preliminary plat is contingent on an MDA amendment approval from City Council allowing ½-acre lots along the Camp Williams border.*

3. *The applicant shall install 4" of compacted road base for an 8-foot wide trail in the existing trail corridor west of Lots 101 and 102, connecting Country Drive to the trail north of Lot 102.*
4. *The plat shall be amended so that no lot is less than 19,680 square feet.*
5. *The lot line of Lot 160 shall be amended to be in line with that of the adjacent Lot 935 to the east.*
6. *3-rail fencing and trail improvements shall be installed along with the infrastructure of the adjoining plat.*
7. *The Camp Williams access corridor shall be graded and improved with road base to avoid nuisance issues with dust.*
8. *Applicant shall install a cut-off ditch above the hillside lots to capture storm water runoff, and direct it to the storm drain system to the satisfaction of the City Engineer.*
9. *Lots 145 and 146 shall be increased in size to account for the lack of a Camp Williams road as a wild-fire buffer.*

ATTACHMENTS:

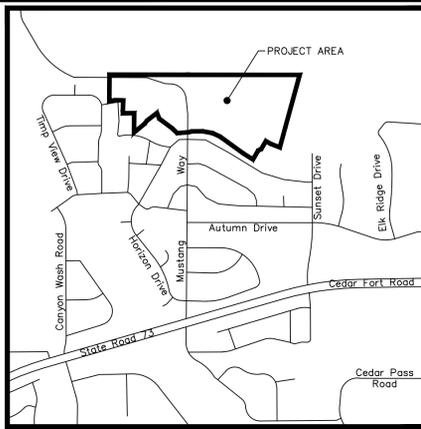
- Proposed preliminary plat and associated plans

VALLE VIE HOOTHILLS

PREPARED FOR:
MUSEETER LC

LOCATED IN:
EAGLE MOUNTAIN CITY, UTAH

PARCEL A



VICINITY MAP
NTS



SITE MAP

SCHEDULE	
Symbol	Description
C	COVER SHEET
C	PRELIMINARY PLAT
C	SITE AND UTILITY PLAN
C	GRADING AND DRAINAGE PLAN
C	SLOPE ANALYSIS

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO EAGLE MOUNTAIN CITY STANDARD PLANS STANDARDS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITIES, PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SALES OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL BE FULLY INDEMNIFIED AND HOLD THE CITY, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF OR ON THIS PROJECT, INCLUDING OR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES OR USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY DATA OR PERFORMANCE BY A LICENSED SURVEYOR DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS. FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINES OR FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD OR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILDOUT OF THE INTENDED IMPROVEMENTS.

CONTACTS

ENGINEER OF SURVEYOR
FOCUS ENGINEERING & SURVEYING
1000 WEST 8300 SOUTH
SANDY, UTAH 84070
CONTACT: TRAVIS BENSON

OWNER/DEVELOPER
MUSEETER LC
1000 SOUTH STATE SUITE 100B
DRAPER, UTAH 84020
CONTACT: BEN OLSON



FOCUS
ENGINEERING AND SURVEYING, LLC
502 WEST 8360 SOUTH
SANDY, UTAH 84070 PH: (801) 352-0075
www.focusutah.com



VALLE VIE HOOTHILLS
EAGLE MOUNTAIN CITY, UTAH
COVER SHEET

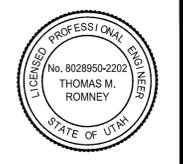
REVISION BLOCK	DATE	DESCRIPTION

COVER SHEET

Scale: 1" = 400'

Drawn by: BBD

Checked by: C



VALLE VIE OOTHILLS
EAGLE MOUNTAIN CITY, UTAH
GRADING AND DRAINAGE PLAN

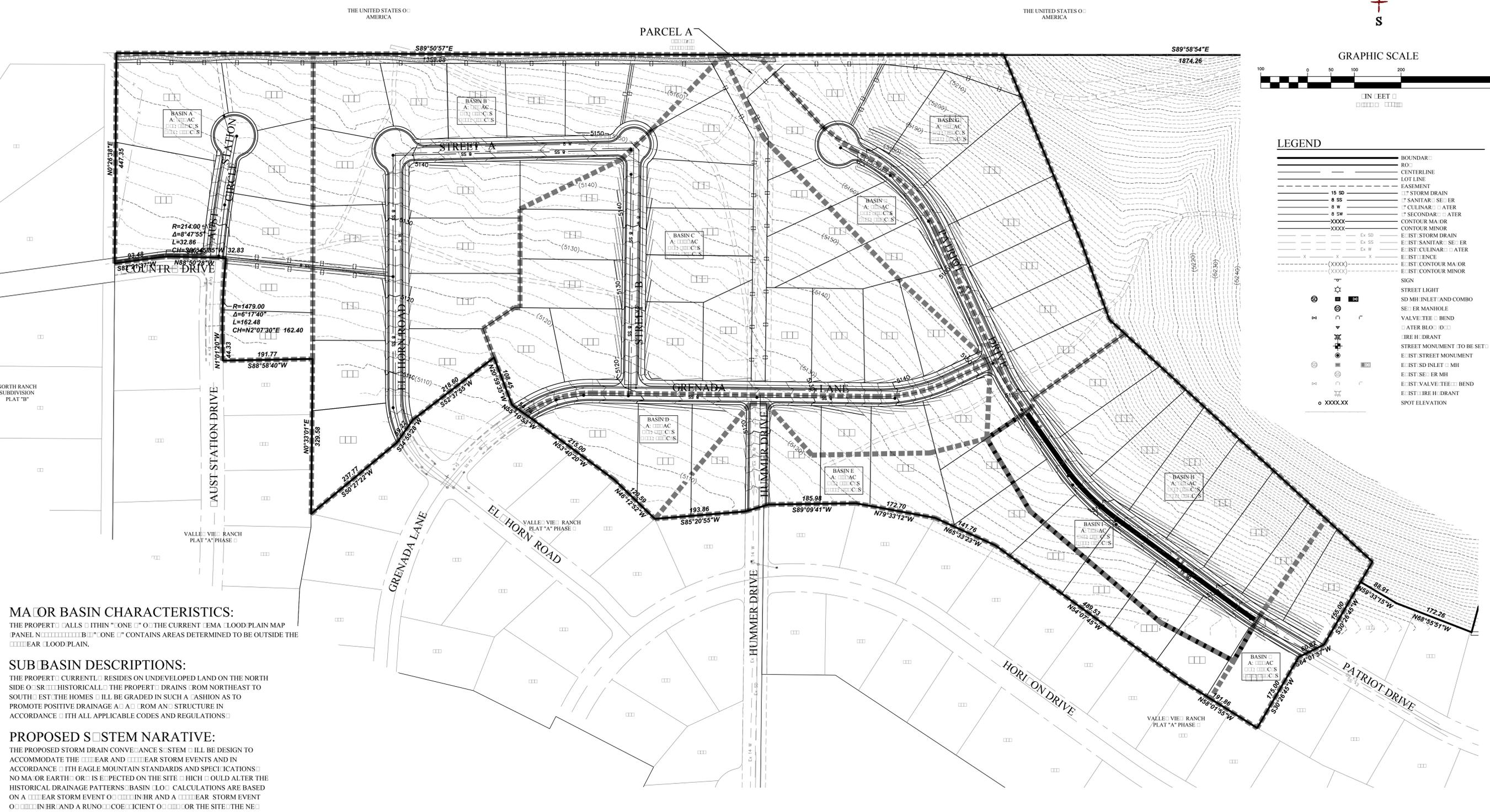
REVISION BLOCK	DATE	DESCRIPTION

GRADING AND DRAINAGE PLAN	
DATE: 01/11/2015	DESIGNER: BDD
DRAWN: [Blank]	CHECKED: [Blank]
C	



LEGEND

	BOUNDARY
	ROAD
	CENTERLINE
	LOT LINE
	EASEMENT
	STORM DRAIN
	SANITARY SEWER
	CULINARY WATER
	SECONDARY WATER
	CONTOUR MAJOR
	CONTOUR MINOR
	EAST STORM DRAIN
	EAST SANITARY SEWER
	EAST CULINARY WATER
	EAST FENCE
	EAST CONTOUR MAJOR
	EAST CONTOUR MINOR
	SIGN
	STREET LIGHT
	SD MH INLET AND COMBO
	SEWER MANHOLE
	VALVE TEE BEND
	METER BLOCK
	FIRE HYDRANT
	STREET MONUMENT TO BE SET
	EAST STREET MONUMENT
	EAST SD INLET / MH
	EAST SEWER MH
	EAST VALVE TEE BEND
	EAST FIRE HYDRANT
	SPOT ELEVATION



MAJOR BASIN CHARACTERISTICS:
THE PROPERTY CALLS WITHIN "ZONE" OF THE CURRENT FEMA FLOODPLAIN MAP. PANEL N... CONTAINS AREAS DETERMINED TO BE OUTSIDE THE FLOODPLAIN.

SUB-BASIN DESCRIPTIONS:
THE PROPERTY CURRENTLY RESIDES ON UNDEVELOPED LAND ON THE NORTH SIDE OF... THE PROPERTY DRAINS FROM NORTHEAST TO SOUTH... THE HOMES WILL BE GRADED IN SUCH A MANNER AS TO PROMOTE POSITIVE DRAINAGE FROM ANY STRUCTURE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.

PROPOSED SYSTEM NARRATIVE:
THE PROPOSED STORM DRAIN CONVEYANCE SYSTEM WILL BE DESIGN TO ACCOMMODATE THE YEAR AND YEAR STORM EVENTS AND IN ACCORDANCE WITH EAGLE MOUNTAIN STANDARDS AND SPECIFICATIONS... NO MAJOR EARTHQUAKE IS EXPECTED ON THE SITE WHICH WOULD ALTER THE HISTORICAL DRAINAGE PATTERNS... BASIN LOAD CALCULATIONS ARE BASED ON A YEAR STORM EVENT... PIPE TO BE INSTALLED IN BASINS... WILL BE ABLE TO CARRY THE STORM RUNOFF... THESE BASINS AT A SLOPE OF... THE STORM DRAIN SYSTEM WILL CONVEY STORM WATER TO THE EXISTING RETENTION POND IN VALLE VIE PHASE SUBDIVISION WHERE THE WATER WILL BE RETAINED ON SITE.

EROSION CONTROL NARRATIVE:
EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED IN ACCORDANCE WITH AN APPROVED STORM WATER POLLUTION PREVENTION PLAN... THESE BEST MANAGEMENT PRACTICES (BMP'S) SHALL CONTROL BOTH ONSITE WATER AND OFFSITE WATER ENTERING THE PROPOSED DEVELOPMENT AND SHALL PREVENT ANY SILTS AND OR DEBRIS FROM ENTERING INTO THE PUBLIC STORM WATER SYSTEM.





EAGLE MOUNTAIN CITY
Planning Commission Staff Report

JULY 12, 2016

Project: **Overland Phase A – Preliminary Plat**
Applicant: Ivory Development (Agent – Bryon Prince)
Type of Action: Action Item; Public Hearing; Recommendation to the City Council

PROPOSAL

Project Location: West of Pony Express Parkway and north of Mid-Valley Road (north and east of Frontier Middle School); Parcel 58:054:0026..

Zoning: Town Core Residential

The proposed Overland project is the first residential plat within the SITLA (State of Utah School and Institutional Trust Lands) Master Development Plan (Mid-Valley Parcel). The plat tabulations are shown here. →

<u>PLAT CALCULATIONS</u>	
TOTAL ACREAGE:	64.93± ACRES
BUILDABLE ACREAGE:	63.77± ACRES
TOTAL ACREAGE IN LOTS:	47.48± ACRES
TOTAL OPEN SPACE:	1.16± ACRES
TOTAL IMPROVED OPEN SPACE:	0.00± ACRES
AVERAGE LOT SIZE:	0.35± ACRES
LARGEST LOT SIZE:	0.84± ACRES
SMALLEST LOT SIZE:	0.24± ACRES
OVERALL DENSITY:	2.86 LOTS/ACRE
TOTAL # OF LOTS:	137 LOTS

We are working with the applicant to draft a new or revised master development agreement for this project, along with a new master development plan. However, since the drafting of a revised development agreement will take quite a bit of time, and the applicant has existing vested rights under the SITLA master development agreement (MDA) for this project, they wish to proceed with the first phase of development prior to finalizing a new MDP and MDA. Ivory Development and SITLA have an agreement between the two parties that requires timely performance and development. Ivory wishes to comply with that agreement and proceed with this first preliminary plat in a timely manner.

The existing MDA requires the following:

- Minimum acres for a preliminary plat in this area: 40 acres
- Minimum lot size in this area: 5,000 square feet
- Minimum lot width/frontage: 60 feet



A preliminary plat review includes the layout of lots, proper street circulation, utility demands, park and recreation sites, etc.

Lots

The lots in this development average 0.35 acres (15,246 sq ft), with the smallest lot being just under a ¼ acre (10,169 sq ft). Lot frontages/widths are all well over the required 60 feet. The setbacks are consistent with those in the City Code.

Street Circulation

This development provides two access points to Pony Express Parkway, located at existing breaks in the medians. There is also only one cul-de-sac, which seems to be necessary based upon the triangle property that exists as a result of the middle school and the Pony Express Trail property. Street connections (stubs) are shown in all directions to future phases.

Utilities

The utilities for this project are fairly straightforward, although the proposal is to place temporary retention ponds within the Pony Express Trail property, between the trail and the development. In the future this storm water will be piped and directed down to the detention pond to be located in a future phase of the Cory Wride Memorial Park.

Parks & Trails

This development will include some trails which consist of either widened sidewalks or asphalt trails, along with some trail connections to the Pony Express Trail and one connecting the neighborhood to the Middle School through the back fence. We have reached out to the School District for their feedback concerning this connection, and although the initial feedback has been positive, it will require approval by the School Board. A trails plan will be submitted prior to Tuesday's meeting indicating trail locations, sizes, and materials, as well as landscaping improvements within those corridors.

Required Improved Open Space: 3.145 Acres (137 lots x 1,000 sq ft = 137,000 sq ft / 43,560 = 3.145 acres)

Section 16.35.105A2 states:

Developers are encouraged, whenever possible, to consolidate improved open space into larger parks that may be used by more than one neighborhood, or improve existing nearby parks. Collocation with schools or other institutions is also encouraged. If the neighborhood is within 1,320 feet of an existing park, the developer may be required to improve the existing park rather than create additional park space within the development, at the discretion of the planning commission and city council.

While the furthest north lots in this development are approximately ½ mile away from the park, a majority of the neighborhood is within walking distance of the park, and it is also adjacent to the middle school soccer field, track, basketball court, and tennis courts. The applicant has also committed to improving a park in a future phase of this development, to the north or west, within walking distance of this development. We will have to watch for that with a future application. The City and Ivory Development currently disagree about how to interpret the Master Development Agreement between SITLA and the City in relation to parks and open space requirements, and the City and the applicant are currently in ongoing discussions concerning a park plan and improvement schedule for their entire master plan properties. Rather than requiring improved open space within this proposed development, the City and the applicant have agreed to resolve and detail all open space and park requirements in a revised master development agreement. In the meantime, the applicant has agreed to an escrowed deposit that can be released to the City to be spent on nearby parks and open space if ordered in a legal proceeding or if the matter does not become resolved with a revised master development agreement. Any future agreements relative to open space requirements or an in-lieu fee will be applicable to this project.

Fencing

As required by EMMC 16.35.090, lots 135-137 must have a six-foot tall privacy fence or a decorative wall along the back of the lots, since they are adjacent to the property that has been dedicated to the City for a future arterial road. The applicant will provide examples of the planned fencing style at Tuesday's meeting. This fencing will be required to be installed during construction of the project infrastructure, prior to building permits. While the applicant is not technically required to install privacy fencing along the lots abutting the Pony Express Trail property, the applicant is planning to install fencing or a decorative wall, and will be determining the fencing style in the near future.

Residential Bonus Density

The City and Ivory Homes currently disagree on the applicability of the residential bonus density standards to this development, since it is part of the SITLA Mid-Valley Master Development Plan. If applicable, the applicant would have to comply with the following Tier II bonus density improvements:

- Entryways and monuments. In accordance with EMMC 17.30.070C, a landscaped entryway with a monument sign shall be located at each entry to the subdivision. There shall be a prominent monument at the principal entry to the development that may consist of a water feature, sculpture, or monument sign. The entryway signs require approval by the City Council.
 - *Entryway signs have not been included in this project.*
- Improved Open Space.
 - *The applicant is proposing to make improvements to Wride Memorial Park, and is paying a deposit of \$150,000 until a determination can be made (through mediation, if necessary) concerning the required fee-in-lieu.*
- Professional land planning.
 - *They are in compliance with this requirement.*

The applicant would have to choose from the following Tier II improvements for an additional 1.26 units/acre. We recommend “Masonry Materials” and “Residential Lot Landscaping.” *There is no word from the applicant as to whether they will comply with these requirements.*

Table 17.30.110(b) Tier II Residential Bonus Density Entitlements (Optional)

Bonus Density	Improvement	Required/Optional
0.8	Base Density Improvements	Required
0.8	Tier I Improvements	Required
	Improved open space: 1,000 square feet improved open space per lot/unit	
0.5	Architectural and landscape guidelines/CC&Rs/design review committee	Optional
0.7	Street trees, enlarged park strips, fencing, and street signposts	Optional
1.0	Masonry materials (75% of the exterior)	Optional
Up to 1.5	Residential lot landscaping (1 front and sides, 0.5 rear)	Optional
0.1 – 0.6	Recreational amenities	Optional
5.9	Total available (cannot exceed 5.2 dwelling units per acre)	

Dark Sky: All exterior lights must comply with the City’s Dark Sky Ordinance.

Unified Fire Authority: The applicant has met the requirements of the Fire Marshal after making some amendments to the road and lot layout. A fire flow report will be required prior to the release of building permits.

Summary

The City and the applicant are in ongoing discussions concerning a major MDP and MDA amendment, which will have impacts on the land uses, zoning, densities, parks requirements, etc. In the meantime, Ivory has proposed this Overland preliminary plat under their vested rights from the existing agreement, along with an understanding that open space requirements will be determined with the revised master development agreement. The same criteria and MDA provisions that are applicable to this current plat may not apply to future plats, depending on the changes to the MDA.

Recommended Conditions of Approval

If the Planning Commission chooses to recommend approval of the Preliminary Plat to the City Council, the following are the recommended conditions and may be read or referenced when making a motion.

I move that the Planning Commission recommend approval of the Overland Phase A Preliminary Plat with the following conditions:

1. *The applicant must deposit \$150,000 with the recording of the first final plat as a fee-in-lieu deposit. If the amended MDA requires additional fee-in-lieu dollars, these will be required according to the timeline specified in the MDA in the future.*
2. *Six-foot tall privacy fencing or decorative wall shall be installed along the backs of lots 135-137 along with the infrastructure for the subdivision, similar to the examples provided by the applicant at the meeting.*
3. *A landscaped entryway monument plan shall be submitted for review and approval of the Planning Commission and City Council, and be installed prior to the first certificate of occupancy in the development.*
4. *A landscaping plan must be submitted for staff approval that includes landscaping treatments of the trail corridors, street trees, and temporary retention ponds. The trails and landscaping within the trail corridors must be completed prior to 40% of the building permits being issued in the final plat that includes the corridor.*
5. *The name of the project must be changed to Overland Phase A, with final plats being named Overland Phase A Plat 1, or Overland Plat A-1.*
6. *Street names are not approved as proposed, and must be amended and approved prior to final plat approval by the City Council.*

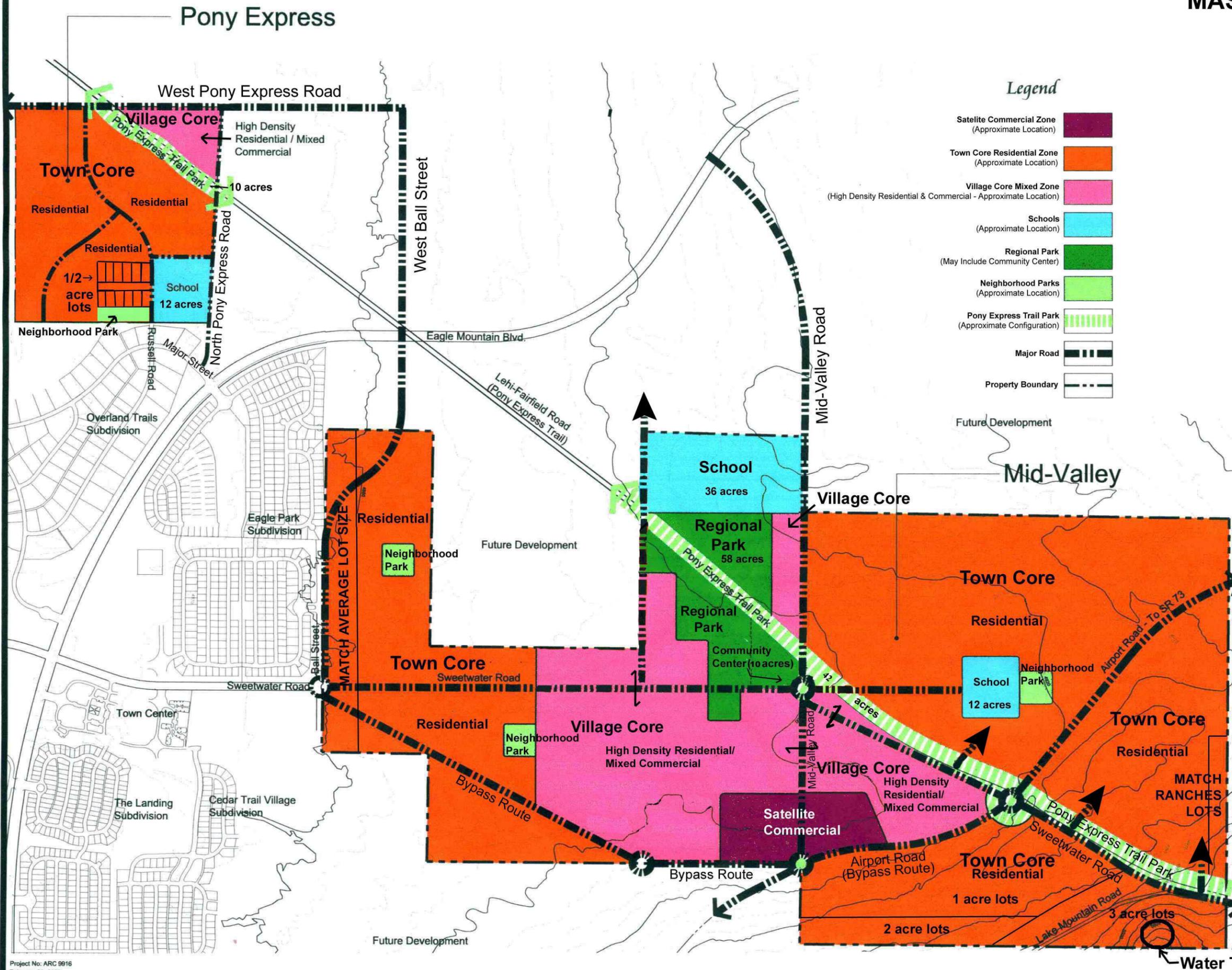
Attachments

- Overland Preliminary Plat and Plans
- SITLA Master Development Plan

MASTER DEVELOPMENT PLAN

STATE OF UTAH SCHOOL AND INSTITUTIONAL TRUST LANDS; MID-VALLEY AND PONY EXPRESS PARCELS.

EAGLE MOUNTAIN CITY, UTAH



Legend

- Satellite Commercial Zone (Approximate Location) [Purple Box]
- Town Core Residential Zone (Approximate Location) [Orange Box]
- Village Core Mixed Zone (High Density Residential & Commercial - Approximate Location) [Pink Box]
- Schools (Approximate Location) [Light Blue Box]
- Regional Park (May Include Community Center) [Green Box]
- Neighborhood Parks (Approximate Location) [Light Green Box]
- Pony Express Trail Park (Approximate Configuration) [Green with vertical lines Box]
- Major Road [Thick black line with dashes]
- Property Boundary [Thin black line with dashes]
- Future Development [Dotted line]

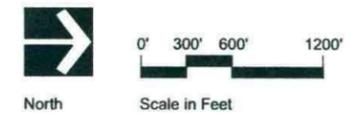
Development Density and Zones:

Mid-Valley Parcel

Zone or Land Use	Acres	Residential Units	DU's/ Acre
Town Core Residential Zone (Will include Neighborhood Parks & Open Space)	780	2220	2.88
Village Core Mixed Zone (High Density Residential & Commercial)	224	1344	6
Satellite Commercial (May include 10-Acre Community Center)	36	NA	NA
Regional Park (May include 10-Acre Community Center)	58	NA	NA
Pony Express Trail Park	42	NA	NA
School Sites	48	NA	NA
Total Mid-Valley	1188	3564	3.0

Pony Express Parcel

Zone or Land Use	Acres	Residential Units	DU's/ Acre
Town Core Residential	113	375	3.31
Village Core Residential	13	78	6
Neighborhood Buffer Park	3	NA	NA
School Site	12	NA	NA
Pony Express Trail Park	10	NA	NA
Total Mid-Valley	151	453	3.0
Total Trust Lands	1339	4017	3.0





EAGLE MOUNTAIN CITY
Planning Commission Staff Report
JULY 12, 2016

Project: **Spring Run MDP Amendment**
Applicant: Jim Allred/Ralph Johnson – 12 Horse Ranch LLC
Request: Master Development Plan Amendment
Type of Action: Action Item - Recommendation to City Council, Public Hearing

Preface

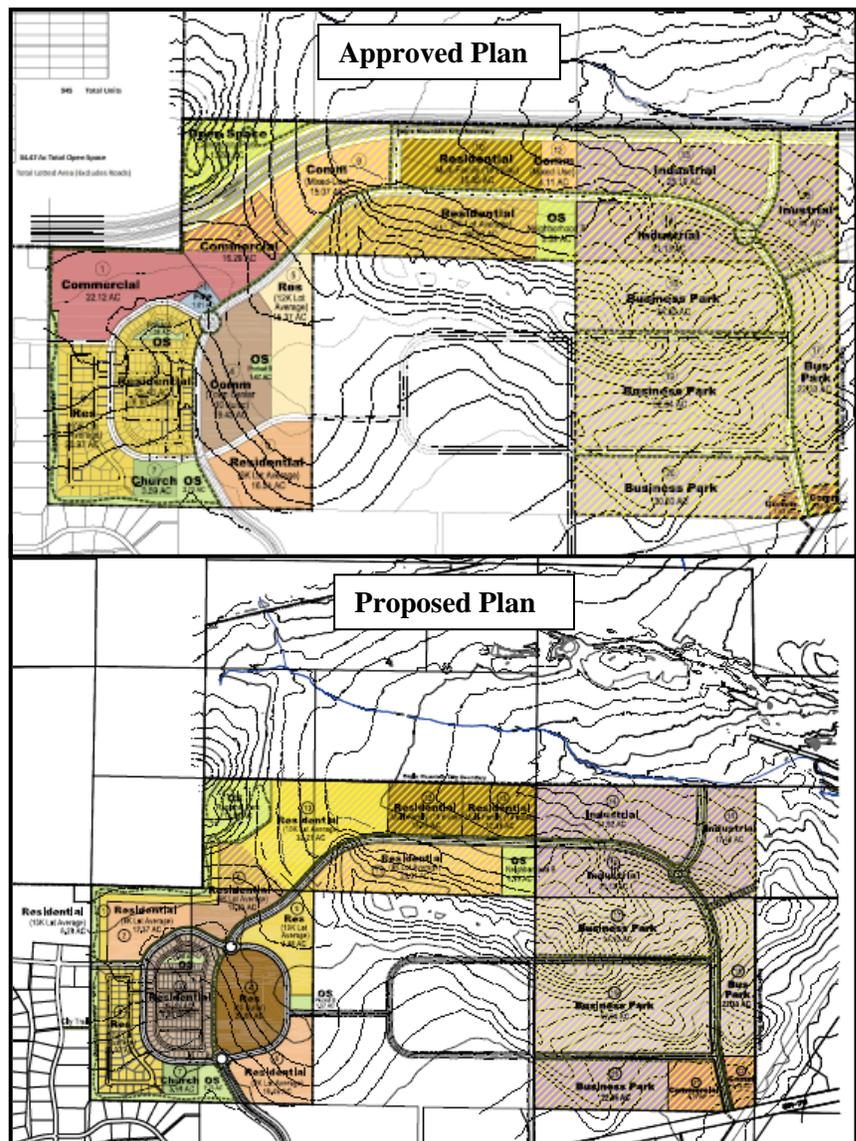
This application is for an amendment to the Spring Run Master Development Plan. The original Master Development Plan was approved on July 19, 2011. The Spring Run Master Development Plan is located north of SR73 and east of Meadow Ranch, and surrounds a 160-acre Industrial property that includes a gravel pit. The current approved plan includes approximately 480 acres and provides a mix of residential densities, a town center area, commercial/mixed-use areas, a business park, an industrial area, and parks and trails. A total of 945 residential units were approved with various densities..

Spring Run Master Development Plan Amendment.

When the original Master Development Plan was designed and approved, the City's Transportation plan showed a major road running through a large portion of this project to the north and west. The Plan was approved with some commercial development pods around the road. Since that time UDOT determined that Wride Memorial Highway will be the future freeway for the valley, necessitating the removal of this major road and the associated commercial pods. The applicant is proposing to replace the commercial pods with residential pods. The proposed plan will increase the number of residential units by 427 for a total of 1,372. The proposed residential includes a variety of lot sizes.

Noteworthy Land Use Changes

- With the removal of the freeway the viability of commercial property in this area is greatly diminished, so approximately 38 acres of commercial property has been removed and replaced with residential. Additional commercial property



(now totaling over 13 acres) has been placed along Wride Memorial Highway in the southeast corner of the project.

- The Commercial Town Center pod has been removed and replaced with multi-family residential.
- At the request of the Unified Fire Authority, the fire station property has been removed.
- The project now contains an area of 8,000 square foot lots, 6,000 square foot lots, and several areas of 10,000 square foot lots. The 12,000 square foot lot area has been removed.

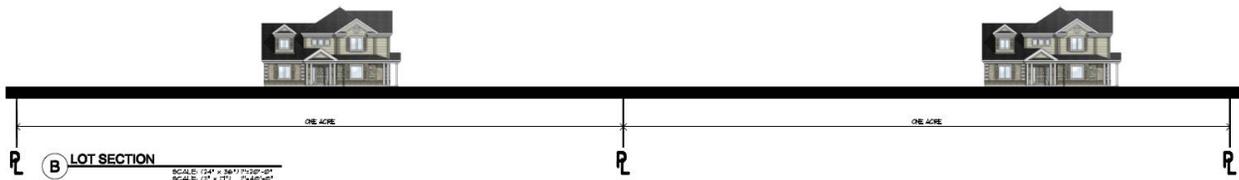
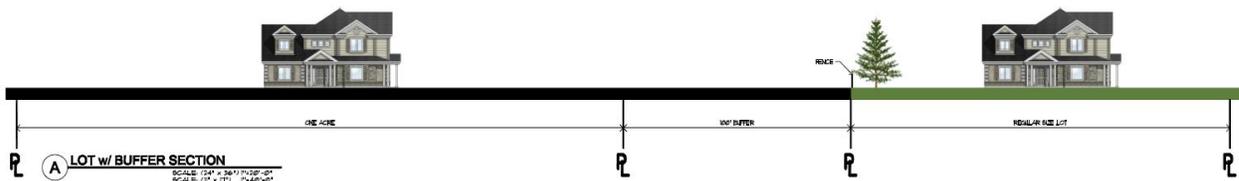
Parcel	Land Use	Acres	Density	Units	Tier
1	Residential - 10K Average	6.29	3.2	20	
2	Residential - 6K Average	12.37	4.25	53	
3	Residential - 5k Average	25.43	6.95	177	3
4	Residential-Multi-family	20.91	10	209	3
5	Residential - 10K Average	8.86	3.2	28	2
6	Residential - 8K Average	19.45	3.75	73	2
7	Church	3.59		0	
8	Residential - 10K Average	20.97	3.2	67	2
9	Residential - 6K Average	15.83	4.25	67	2
10	Residential - 10K Average	32.21	3.2	103	2
11	Residential - 8K Average	29.01	3.75	109	2
12	Residential-Multi-family	13.03	18	235	3
13	Residential-Multi-family	12.88	18	232	3
14	Business Park	31.92			
15	Business Park	17.44			
16	Business Park	21.13			
17	Business Park	34.52			
18	Business Park	22.33			
19	Business Park	52.65			
20	Business Park	22.95			
21	Commercial	8.79			
18	Commercial	4.76			

Transportation

The other major change is to Spring Run Parkway (formerly known as Ranches Parkway). Rather than continuing north, the proposal now includes a roundabout, with the road splitting off east and west. A traffic study memo has been submitted, which indicates that the amended roadway pattern can handle the additional traffic in the 160-acre residential square, and the addition of the roundabout will dissuade industrial traffic from using Spring Run Parkway. The City Engineer has requested a more robust traffic study that includes all of the land uses in the project and the neighboring subdivision to assure the City that this new road pattern will still be effective at moving traffic in a safe and functional manner.

Lot Size Transitioning

- Meadow Ranch. This project abuts the Meadow Ranch subdivision to the west. The Spring Run MDA allows for an alternative transitioning to the requirement in the code. This alternative includes a 100-ft open space area with an 8-ft asphalt trail meandering throughout the buffer. The current proposal contains the buffer area, then a row of 10,000 sq ft lots, then smaller lots.



- Camp Williams. The proposal also includes the 100-ft buffer and a row of 10,000 sq ft lots along the border of Camp Williams, as well as a hillside park.
- The following is the excerpt from the Spring Run MDA in reference to the Trail System Buffer:

7.1.5 Trail System Buffer. A 100-foot wide buffer has been provided between the Project and the existing Meadow Ranch lots. Exhibit "F" shows how the intent of the Development Code is met with this trail system buffer. The buffer is intended to be natural open space with the following exceptions: (1) Neighborhood Parks with benches, play areas, play equipment and grass may be included; and (2) natural vegetation shall be supplemented with a native seed mix that includes sagebrush, rabbit brush, a wildflower mix, where it is not growing; and (3) graveled or paved trails. The Buffer must be maintained by the Spring Run Master HOA. A landscaping plan specific to this corridor, designed by a licensed Landscape Architect, must be submitted for approval along with any phase of development in Residential Parcel 8 or Commercial Parcel 1.

Parks, Open Space, and Trails

This project requires 31.5 acres of improved open space (1,372 units x 1,000 sq ft). The project includes 41.45 acres of open space; however, only 25 acres will be improved as park space, and the remaining area is included in the open space buffer (natural landscaping) and the community trails. The regional park area contains steep slopes, and will likely be improved with trails, lookout areas, and with some improved areas. The Commission and the Council will have to decide if this combination of open space is sufficient for the project.

We recommend that the size of the regional park area be increased to provide flatter areas suitable for play fields, and that the master plan map indicate improved open space within each multi-family residential area. It should be noted that the MDA requires a monument sign for the overall project that needs to be installed by the applicant.

Fencing

Privacy fencing along collector and arterial roads (where lots back up to the roads) will need to be improved by the developer along with the infrastructure of each plat. These fences will need to be included in the improvement bond as well.

Concerns

We have the following concerns with this project:

- The Extractive Industries Overlay Zone is shown on a majority of the project. We recommend that this overlay either be removed completely, or that it be downsized to only the areas that are currently being mined or that will require mining operations in the future.
- Areas 12 and 13 contain a total of 467 high-density multi-family units. This is too many apartments/condominiums in one location and should be substantially reduced.
- Area 4 contains 209 multi-family units. This is too many multi-family units in one location and should either be reduced or required to contain at least two or three housing types.
- The project contains a variety of lot sizes, which allows for movement within the same neighborhood/community. We recommend increases in the lot sizes, however, to provide more housing in the ¼-acre and 1/3-acre range. These lot sizes are a very small percentage of the overall housing product in Eagle Mountain.
- The road system has been modified on the Gateway Park property (the 160-acre white property in the middle). This project should indicate the revised road system.
- A more complete traffic study is still required. This study may indicate a necessary increase in road size or change to the road network.
- Some of the roads in this project are on steep slopes, and may not be possible, depending on future engineering.
- The City's Transportation Master Plan and General Plan Map must be revised to match this project's road system.
- We still need signatures from all property owners for this application.
- A water model still needs to be provided.

Optional Motions

If the Planning Commission chooses to table/continue the master development plan amendment in order to make changes to the plans to resolve concerns in the staff report or expressed at the meeting, the following is a

recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission continue the Spring Run Master Development Plan Amendment to the (July 26?) Planning Commission meeting in order to resolve the concerns expressed in the staff report and in the meeting.

or

I move that the Planning Commission table the Spring Run Master Development Plan Amendment in order to resolve the concerns expressed in the staff report and in the meeting.

If the Planning Commission chooses to recommend approval of the proposed plat, the following is a recommended motion provided for the benefit of the Planning Commission and may be read or referenced when making a motion.

I move that the Planning Commission recommend to the City Council approval of the Spring Run Master Development Plan Amendment with the following conditions or any other conditions deemed appropriate:

- 1. A more complete traffic study must be submitted, and the road layout modified to match the City Engineer's recommendations.*
- 2. The Extractive Industries Overlay Zone must be removed from the plan or modified to only include areas that will be actively mined.*
- 3. Areas 4, 12, & 13 must be reduced in density.*
- 4. The road layout must be modified to match the planned layout on the Gateway Park property.*
- 5. A water model must be submitted for the City Engineer's consideration prior to City Council approval.*
- 6. This project is contingent on a general plan amendment being approved by the City Council.*
- 7. This approval is contingent upon the master development agreement being amended by the City Council.*

ATTACHMENTS:

- Proposed Spring Run Master Development Plan
- Current Spring Run Master Development Plan

Land Use Summary

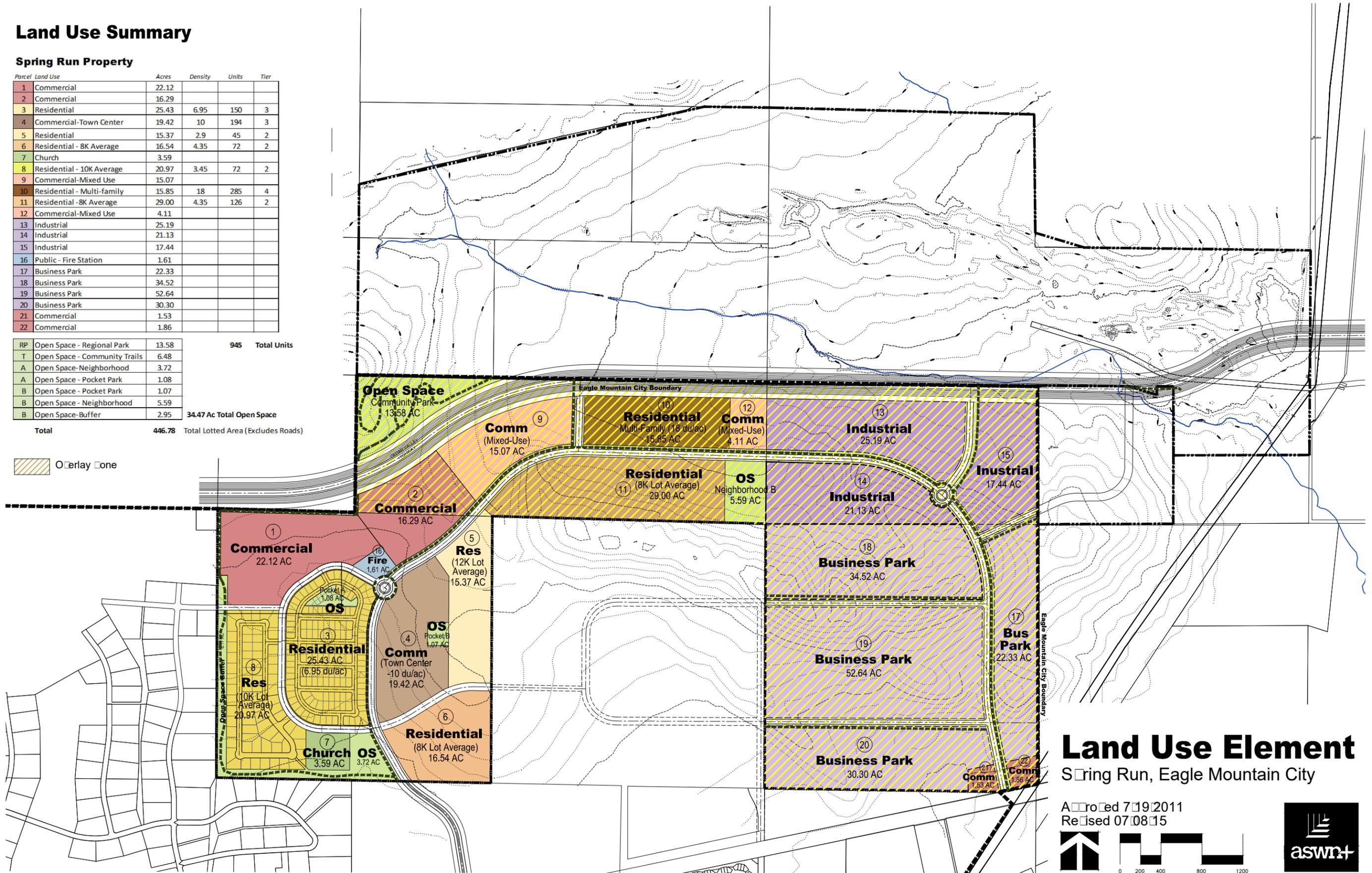
Spring Run Property

Parcel	Land Use	Acres	Density	Units	Tier
1	Commercial	22.12			
2	Commercial	16.29			
3	Residential	25.43	6.95	150	3
4	Commercial-Town Center	19.42	10	194	3
5	Residential	15.37	2.9	45	2
6	Residential - 8K Average	16.54	4.35	72	2
7	Church	3.59			
8	Residential - 10K Average	20.97	3.45	72	2
9	Commercial-Mixed Use	15.07			
10	Residential - Multi-family	15.85	18	285	4
11	Residential - 8K Average	29.00	4.35	126	2
12	Commercial-Mixed Use	4.11			
13	Industrial	25.19			
14	Industrial	21.13			
15	Industrial	17.44			
16	Public - Fire Station	1.61			
17	Business Park	22.33			
18	Business Park	34.52			
19	Business Park	52.64			
20	Business Park	30.30			
21	Commercial	1.53			
22	Commercial	1.86			

RP	Open Space - Regional Park	13.58				945	Total Units
T	Open Space - Community Trails	6.48					
A	Open Space - Neighborhood	3.72					
A	Open Space - Pocket Park	1.08					
B	Open Space - Pocket Park	1.07					
B	Open Space - Neighborhood	5.59					
B	Open Space - Buffer	2.95					
		34.47 Ac Total Open Space					

Total 446.78 Total Lotted Area (Excludes Roads)

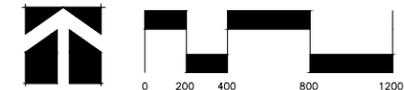
Overlay One



Land Use Element

Spring Run, Eagle Mountain City

Approved 7/19/2011
Revised 07/08/15





Land Use Summary

Spring Run Property

Parcel	Land Use	Acres	Density	Units	Tier
1	Residential - 10K Average	6.29	3.2	20	
2	Residential - 6K Average	12.37	4.25	53	
3	Residential - 5k Average	25.43	6.95	177	3
4	Residential-Multi-family	20.91	10	209	3
5	Residential - 10K Average	8.86	3.2	28	2
6	Residential - 8K Average	19.45	3.75	73	2
7	Church	3.59		0	
8	Residential - 10K Average	20.97	3.2	67	2
9	Residential - 6K Average	15.83	4.25	67	2
10	Residential - 10k Average	32.21	3.2	103	2
11	Residential - 8K Average	29.01	3.75	109	2
12	Residential-Multi-family	13.03	18	235	3
13	Residential-Multi-family	12.88	18	232	3
14	Business Park	31.92			
15	Business Park	17.44			
16	Business Park	21.13			
17	Business Park	34.52			
18	Business Park	22.33			
19	Business Park	52.65			
20	Business Park	22.95			
21	Commercial	8.79			
18	Commercial	4.76			

RP	Open Space - Regional Park	13.58	1,372	Total Units
T	Open Space - Community Trails	13.83		
A	Open Space - Neighborhood	3.72		
B	Open Space - Pocket Park	1.07		
B	Open Space - Buffer	8.17	41.45	Total Open Space
Total		478.77		Total Lotted Area (Excludes Roads)

Overlay Zone



Spring Run

Land Use Element

Spring Run, Eagle Mountain City

Approval Pending
Revised 06.24.16





Eagle Mountain City
Planning Commission Staff Report
July 12th 2016

Project: **Evans Ranch**
Applicant: Nate Shipp/DAI
Request: MDP/MDA Amendment, Preliminary Plat, and Master Site Plan
Type of Action: Action Item, Recommendation to City Council

Preface

This Staff Report covers three separate applications for the Evans Ranch Development. The applications are interrelated, as are the issues and items for consideration. This application is to: approve a preliminary plat for the townhome and cottage lot portion of the development, adopt a master site plan for the townhome area of the project, and to amend the approved Evans Ranch Master Development Plan and Master Development Agreement (MDP/MDA), the proposed changes include:

- Changing the layout of the Master Development Plan for the area to the north of the school and townhome site, east of the church, abandoning the curvilinear concept and replacing it with a more traditional road layout.
- ***Reducing*** the overall number of units in the development from **421** to **408** by:
 - ***Reducing*** the number of townhomes from **149** units to **111** units
 - **Increasing** the number of single family lots from **272** units to **297** units
 - *Adding 15 cottage lots and 10 standard single family lots*
- An amendment to Exhibit 4 of the development agreement (Parks Map) showing the new park plans. Proposed park plans include details for townhome portion of the development.
- An amendment to Exhibit 7 of the development agreement changing the elevations of the townhome units.

History

The Evans Ranch Master Development Plan is located south of Pony Express Parkway and east of Porter’s Crossing Parkway. The original Master Development Plan was approved on June 18, 2002, when the property was annexed into the city. The Master Development Agreement was signed on October 16th 2013, and was last amended on March 1st, 2016. In total, the plan includes approximately 120.45 acres and provides a mix of single family residential, townhomes, a church site, and elementary school site, parks, trails, and the Tickville Wash.

Master Development Plan Amendment

The new proposal changes the layout of the Evans Ranch Master Development Plan, abandoning the curvilinear concept for future phases of development, in the areas to the north of the school and townhome sites, and to the east of the Church site in favor of a more traditional road layout. This

proposal will result in a total of 10 additional single family lots. The applicant is also proposing to reduce the number of townhomes by 38 units, replacing 15 of the units with Single Family Cottage Lots. The applicant is able to reduce the number of townhome lots and increase the number of Cottage Lots under the existing MDA/MDP, however, the alteration to the road alignment and the additional single family homes does require approval of an Amendment to the Master Development Plan.

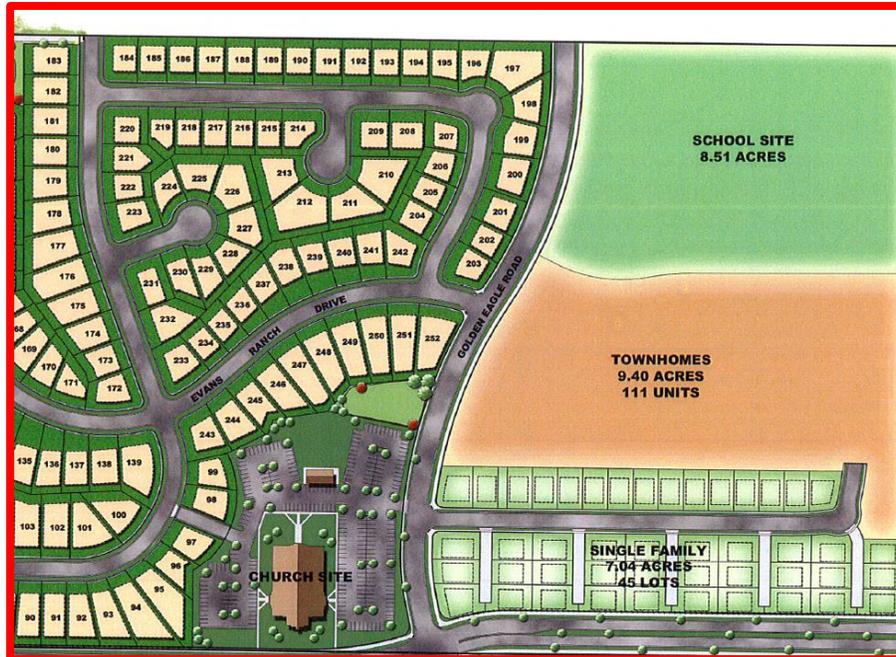
Current MDP



Proposed Amended MDP



The images above show the proposed change to the Master Development Plan, in addition to realigning the street the proposal adds additional single family lots abutting the Church, and proposes smaller, more standard shaped lots on the east boundary of the Evans Ranch Development.



Items for Consideration

Townhome Pod Changes: As mentioned above the applicant is proposing to reduce the number of townhomes from 149 units to the 111 units (above), while also increasing the number of single family dwellings to the west of the townhome units from 30 to 45 units. The applicant is able to accomplish this through the platting process as a reduction in density is allowed in the existing Master Development Agreement, without any changes to the Master Development Plan.

Walkability: One of the hallmarks and selling points of the Evans Ranch Development was the walkability of the project. The proposal does maintain a large pedestrian easement on the front of properties providing for walkability.

Cul-de-Sacs: Cul-de-Sacs are discouraged in the city, and where they are present they should provide pedestrian connections. For this reason staff feels that the two cul-de-sacs should be connected via walking path.

16.35.070 Streets and street systems

“B. Cul-de-Sacs. Cul-de-sacs are discouraged as a design element in subdivisions and are best used where topographic conditions, existing streets, clustering or property ownership make them necessary. In no case shall a cul-de-sac street have a length that exceeds 500 feet measured to the center of the circle or serve more than 15 homes or generate greater than 150 average daily vehicle trips, unless a waiver is granted by the planning commission. Permanent cul-de-sacs shall have a minimum right-of-way radius of 50 feet. *All cul-de-sacs shall provide pedestrian connectivity to open spaces, public facilities, sidewalks or trails.* No cul-de-sacs will be permitted when the topography has

a downward slope without storm water protection plans approved by the city engineer.”

Road Layout: Residents have complained that the curvilinear road concept has caused problems particularly for large vehicles (school buses, and sod trucks) the proposed road layout is more typical and seemingly addresses concerns from elsewhere in the development.

Master Development Agreement Amendment

In addition to the changes to the Master Development Plan the applicant is also proposing to amend two exhibits to the Master Development Agreement, specifically regarding Exhibits 4 and 7 regarding townhome elevations, and the park plan. The existing exhibits and the proposed amendments are provided below, along with staff comments, and concerns.

Exhibit 4 Parks Map

Existing Parks Map



Proposed Parks Map



Items for Consideration

Walking Path Connection: Staff recommends that if the proposed Exhibit 4 is adopted, that it is amended to provide a walking path connection between the two cul-de-sacs, maintaining connectivity and walkability of the overall project.

Exhibit 7 Multifamily Design

The applicant is proposing fairly significant changes to the approved multifamily design.

Current Exhibits



Proposed Exhibits



Items for Consideration

Elevations: *Chapter 17.72.030 Site Design C. Multifamily Parking/Garages* states:

“Garages and parking areas should be placed to the rear of buildings, accessed by a service drive. If garages are placed on the front façade, they shall be staggered and setback so as to minimize their appearance from the street. Garages shall never dominate the street-facing façade of a building.”

Garages are a major feature of the proposed elevations for the townhomes; however, the applicant has included upgraded carriage style garage doors, and included windows in the garage doors to minimize the visual impact of the garages.

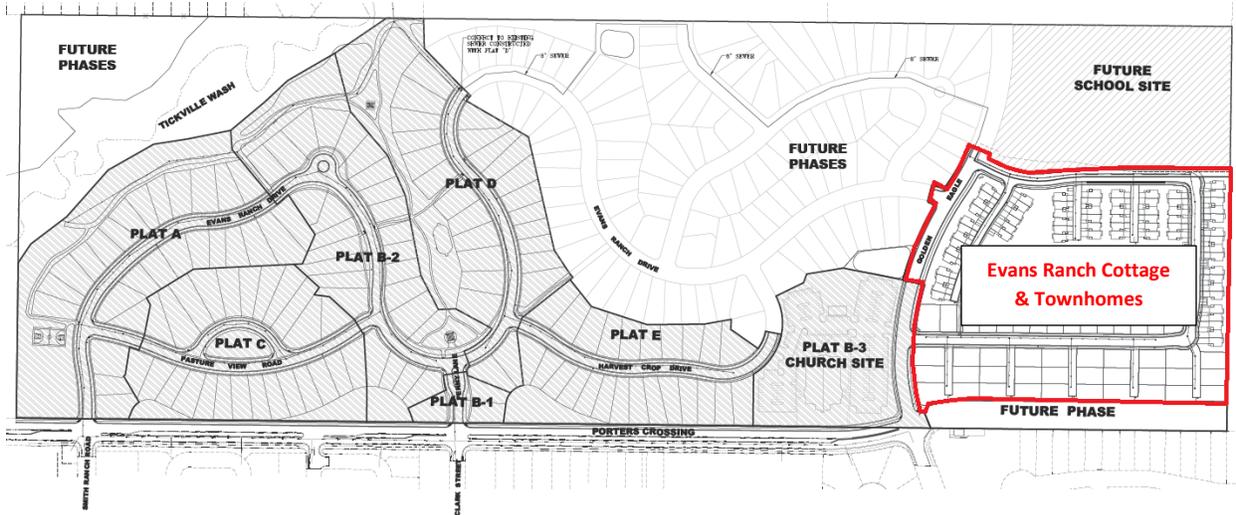
Preliminary Plat

A preliminary plat review includes the layout of lots, and proper street circulation, utility demands, park and recreation sites, etc.

PLAT CALCULATIONS			
-TOWNHOMES	111 UNITS		
-COTTAGES	45 LOTS		
-TOTAL UNITS	156 UNITS	(9.05 UNITS/AC)	
-TOTAL AREA 17.63 AC			
-GOLDEN EAGLE DRIVE	0.80 AC		
-TOWNHOMES	9.38 AC		
-TOWNHOME OPEN SPACE	1.60 AC		
-TOWNHOMES BUILDING, DRIVES & OTHER	8.16 AC		
-COTTAGES	7.07 AC		
-COTTAGES OPEN SPACE	0.04 AC		
-COTTAGES LOT AREA	7.03 AC		
* SEE LANDSCAPE PLANS FOR SPECIFIC OPEN SPACE DETAILS AND AREAS.			

Evans Ranch Cottage and Townhomes is a phase of the approved Evans Ranch Master Development Plan. Fewer units are proposed than what was approved in the Evans Ranch Master Development Plan, and it is consistent with the approved Master Development Plan. The proposed Plat Calculations are shown below. **Note:**

The Plat Calculations should show 9.76 acres in the Townhomes, rather than the 9.38 which are currently shown.



Items for Consideration

Open Space: The Evans Ranch MDA requires the entire Evans Ranch Project to provide 9.67 acres of improved open space and at least 967 Amenity Points. The Single Family portion of the project improved 12.5 acres of open space and provided 651.88 Amenity Points, thus requiring the Townhome portion of the project to provide 315.12 amenity points. The applicant has proposed to provide 391.36 amenity points in townhome portion of the development on .54 acres of additional improved open space for a total of 1,043.24 amenity points and 13.04 acres of improved open space, exceeding the minimum open space requirements for the project. Proposed amenities for the Townhome portion of the development include:

- 173 Trees
- A 325 SF Pavilion

- A Tot Lot/Playground
- A swimming pool
- 175 SF Restroom



Other Open Space Considerations: Pavilions must provide tables/seating and garbage receptacles in order to earn amenity points. The applicant shall also provide model numbers and details about the playground to staff. Irrigation plans should be provided.

The Evans Ranch HOA will be responsible for maintaining the entirety of the Parks and Open Space in this phase of development.

Open Space Safety Considerations: The playground should not be behind the same fence as the swimming pool as this presents a safety concern.

Staff is also concerned about the triangle portion of improved open space kiddy corner to the pool, being hard to see from the street, particularly if private backyards are fenced off. Staff proposes that no back yard fencing be permitted on lots 15-20, 36-40, and 46-51 thereby keeping the open space visible, both from the road, and from all the units that back onto it.

Clubhouse & Pool: This phase of development is a Tier III Residential Development which requires construction of a clubhouse, however, a swimming pool is not required unless there are more than 150 Tier III Units. The applicant believes that a swimming pool is a more desirable amenity than a clubhouse, and has proposed to provide a swimming pool, pavilion, and restroom instead of providing a clubhouse.

Staff agrees with the applicant that a pool provides a bigger benefit to residents and supports the development of a pool instead of a club house.

Construction of the pool shall have commenced construction prior to the issuing of 10% of Tier III building permits (16th building permit for the phase). The pool shall be completed by the time 50% of the units in the phase have been sold (78). The Swimming Pool should be bonded for with the subdivision improvements.

Setbacks: Tier III setbacks require a 20' between multifamily units; the applicant has proposed units which do not meet these setback requirements, however, the Planning Commission may recommend, and the City Council may approve setbacks that differs from this standard if they so choose.

Setbacks for Cottage Lots were established in the Master Development Agreement, and can be seen in the setback diagram here: 

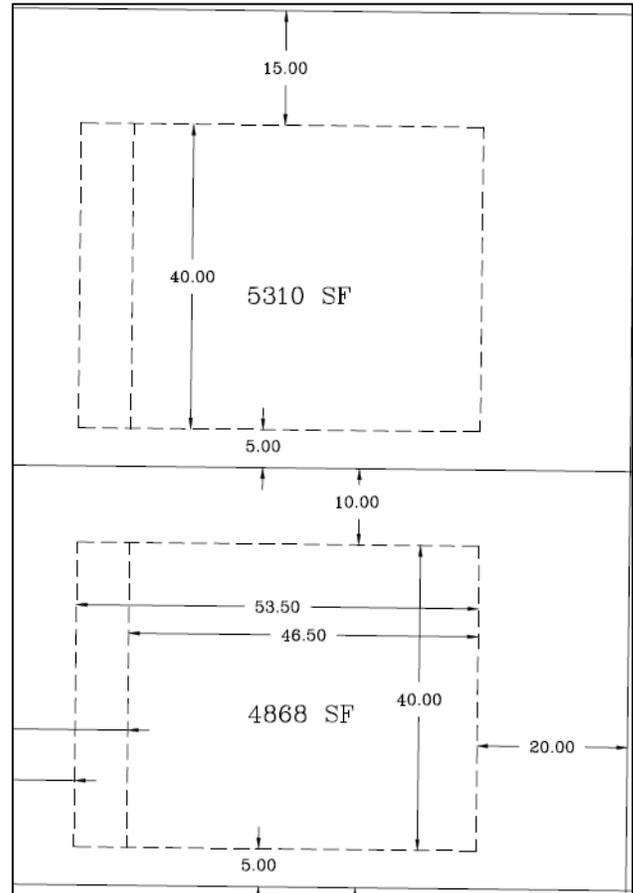
These setbacks should be shown on the plat.

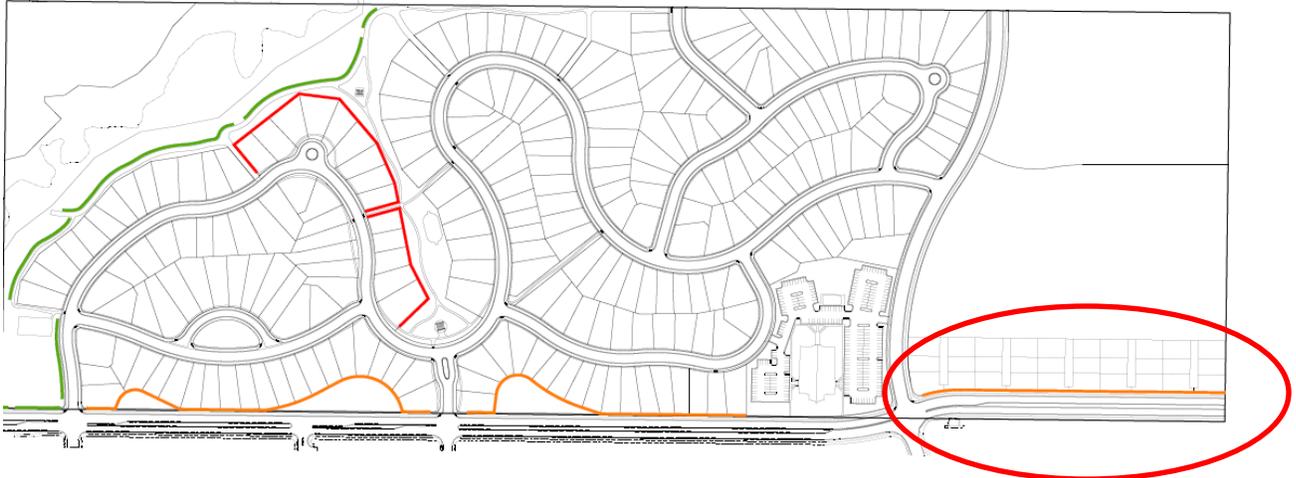
Fire Access: Private roads propose widths of 26'; these roads will require parking restrictions to be enforced on the hydrant side of the roadway. Alleys/Driveways will also need to be signed "no parking" these signs shall be installed at 150' intervals. A signage and striping plan must be approved by the fire marshal that addresses these requirements.

Fencing: All fencing shall meet the standards of the approved exhibit in the Evans Ranch Master Development Plan, and constructed in accordance with Paragraph 3 of the MDA:

"The fencing required along Porter's Crossing Road, together with the fencing required for the Open Space (that is, the fencing required for Open Space pursuant to the attached fencing exhibit, which fencing includes split or 3 rail fencing around such Open Space, but specifically excludes any fencing in the rear of residential lots, which shall not be required) shall be installed at the time that the Public Infrastructure and Improvements are constructed with respect to portions of such Project that are contiguous to the location of the fencing."

The 6' estate fence between the cottage units and the future extension to Porter's Crossing Parkway should be improved in this phase of development.





Streetlights: Streetlights are required at a minimum of every 250' along a public road and at a maximum of 350'. The applicant shall provide street light locations which conform to this standard. Streetlight estimates must be paid prior to recording a plat. Streetlights must be installed prior to the issuing of the first Certificate of Occupancy.

Parking: The Parking requirement for townhome units is 2 Stalls per dwelling unit (not in tandem configuration) and 1 guest parking space per 3 dwelling units. 1 space per unit to be within a fully enclosed garage, the requirements for this development are therefore:

- 222 Stalls
 - 111 of which must be Garage Stalls
- 37 Guest Parking Stalls

The applicant has proposed 222 Garage Parking Stalls, and 40 surface parking stalls. The 40 surface parking stalls shall be posted as Guest Parking only.

While the applicants parking plans do meet city requirements staff feels it is accomplished as a result of heavy amounts of paving. Staff feels the project would be more attractive if a larger parking lot could be constructed in one location and green space (grass, trees, and other plants) be provided between the units and the road, this could be accomplished by removing units (either cottage lots, or townhome lots) and realigning the development.

Traffic Impact Study: The applicant has completed an update to the Evans Ranch Traffic Impact, study, recommended mitigation measures by this study include:

- Signalizing the intersection of Porter's Crossing Parkway and Pony Express Parkway as soon as it is warranted
- Dual left turns be constructed for the westbound left-turn movement at the intersection of Pony Express Parkway / Porters Crossing Parkway

The projected gross trip generation for the development is as follows:

- Daily Trips: 4,420
- Morning peak Hour Trips: 558
- Evening Peak Hour Trips: 448

Existing (2016) plus Project Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to have acceptable levels of service except the Pony Express Parkway / Porters Crossing Parkway intersection. Some Queueing is anticipated for the northbound through/right-turn movement at the Porters Crossing Parkway / Pony Express Parkway intersection and is anticipated to be greater than 1,000 feet in length. This queue will block the left-turn pocket at this intersection causing queue starvation. This queue will also block upstream intersections. No other significant queueing is anticipated.

Future (2020) Background Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to have acceptable levels of service in year 2020. Some queueing is anticipated to occur at the intersection of Porters Crossing Parkway / Pony Express Parkway in the north- and eastbound through/right-turn directions of approximately 175 feet and 270 feet respectively. No other significant queueing is anticipated.

Future (2020) Plus Project Conditions Analysis

As shown in Table ES-1, all intersections are anticipated to operate at acceptable levels of service. Some queueing is anticipated to occur at the intersection of Porters Crossing Parkway / Pony Express Parkway in the north- and eastbound through/right-turn directions of greater than 470 feet and 280 feet respectively. There is also some queueing anticipated at Smith Ranch Road in the north bound direction of approximately 410 feet. No other significant queueing is anticipated.

**TABLE ES-1
Morning Peak Hour
Eagle Mountain - Evans Ranch TIS**

Intersection	Existing 2016 Background	Existing 2016 Plus Project	Future 2020 Background	Future 2020 Plus Project
Description	LOS (Sec/Veh ¹)			
Porters Crossing Pkwy / Pony Express Pkwy	C (18.8)	F (> 50)	C (22.1)	C (26.1)
Smith Ranch Rd / Porters Crossing Pkwy	A (5.5)	B (12.4)	A (6.7)	C (15.7)
Park Place / Porters Crossing Parkway	A (5.7) / EB	A (9.1) / EB	A (6.3) / EB	C (15.4) / EB
Clark Street / Porters Crossing Parkway	A (5.6)	A (6.6)	A (6.1)	A (8.0)
Golden Eagle Road / Porters Crossing Parkway	A (4.7) / EB	A (7.3) / EB	A (5.2) / EB	B (12.3) / EB

1. Intersection LOS and delay (seconds/vehicle) values represent the overall intersection average for roundabout, signalized, all-way stop controlled intersections and the worst approach for all other unsignalized intersections.
2. This intersection is a project access and was only analyzed in "plus project" scenarios.
3. This intersection was eliminated as part of the proposed project and was only analyzed in "background" scenarios.

Source: Hales Engineering, June 2016

RECOMMENDATIONS

The following mitigation measures are recommended:

Existing (2016) Background Conditions Analysis

No mitigation measures are recommended.

Existing (2016) Plus Project Conditions Analysis

The intersection of Porters Crossing Parkway / Pony Express Parkway is anticipated to perform at a poor LOS. It is recommended that a signal be constructed at this location when traffic signal warrants are met.

According to a traffic study done by Hales Engineering for an adjacent development to the north, a signal is recommended at this location by year 2020, or as soon as it is warranted in accordance with Utah Manual on Uniform Traffic Control Devices (UMUTCD).

SUMMARY OF KEY FINDINGS/RECOMMENDATIONS

The following is a summary of key findings and recommendations:

- All study intersections currently experience acceptable levels of service during the weekday morning peak hour
- It is anticipated that the school traffic from the Silver Lake development will have to use Pony Express Parkway and that the existing westbound left-turns that are difficult with current conditions, will only get worse with added traffic in the future
- With project traffic added, all study intersections are anticipated to operate at acceptable LOS except Porters Crossing Parkway / Pony Express Parkway

- At Porters Crossing Parkway / Pony Express Parkway, it is recommended that a signal be constructed at this location when traffic signal warrants are met
- In the 2020 background condition, all intersections are anticipated to operate at acceptable LOS
 - Although not apparent in this morning study, it is anticipated that there will be a large amount of traffic that wants to make a westbound left-turn from Pony Express Parkway to southbound Porters Crossing Parkway during the evening peak hour. The volumes are anticipated to be the reverse of morning peak hour northbound right-turning movement. It was also recommended in a previous study completed by Hales Engineering for the adjacent project, that dual left-turns be constructed for the westbound left-turn movement at the intersection of Pony Express Parkway / Porters Crossing Parkway.
- With project traffic added in year 2020, all intersections are anticipated to operate at acceptable LOS, provided that the Pony Express Parkway / Porters Crossing Parkway intersection is signalized
- Traffic on Porters Crossing Parkway is anticipated to continue growing beyond year 2020. As the area develops, making turning movements from Golden Eagle Road onto Porters Crossing Parkway may become more difficult. With an elementary school in close proximity to this intersection, a westbound left-turn pocket should be considered. Currently, there is approximately 38 feet of pavement allowing for two egress lanes and a single ingress lane
- For the future 2020 plus project conditions, Porters Crossing Parkway is anticipated to have enough capacity to handle the demand

Dark Sky: All lights shall meet the City's Dark Sky Ordinance

Master Site Plan

Purpose: Master Site Plans address the following issues for the entire site: Land Use, Open Space and landscaped areas, architectural guidelines, buildable square footage, parking requirements, access and circulation, phasing and time of improvements, project monument sign locations, storm drainage, and all preliminary calculations for infrastructure improvements and traffic impact mitigation.

The applicant has made a full Master Site Plan application, addressing these concerns. As we are taking the Master Site Plan forward at the same time as the Master Development Plan, and the Preliminary Plat most of the items have already been addressed in this staff report. Staff has had a chance to review the submitted items and is confident recommending approval of the Master Site Plan.

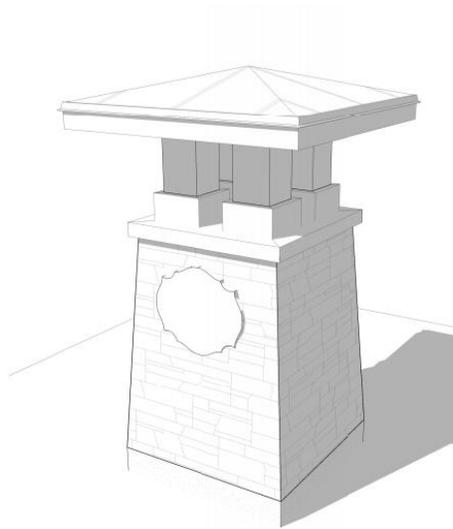
Items for Consideration

Architectural Guidelines: In addition to the townhome elevations which have been provided to staff, the applicant has provided staff a materials list showing the materials that will be used in the project,

and architectural theming is consistent throughout the project, and includes theming for the mail box enclosure. This meets the multifamily design standard that mailboxes not simply be plain CMU's and that they be under a sheltering element and fit the development.



Monument Signs: Monument signs locations are shown on the Master Site Plan, and the applicant has provided staff with the rendering of the monument/pylon signs to be used in the Evans Ranch Development. It is the opinion of staff that these signs are attractive and unique to the development.



Recommendation

Staff recommends the Planning Commission Recommend approval of the Evans Ranch MDP/MDA Amendment, Townhome and Cottages Preliminary Plat, and Master Site Plan to the City Council with the following conditions:

1. A walking path connection is provided between the two cul-de-sacs
2. Townhomes require upgraded “Carriage” look garage doors with windows.
3. Construction of Pool shall be commenced prior to the issuing of the 16th building permit, and be completed prior to the issuing of the 78th building permit

4. Swimming Pool must be bonded for with subdivision improvements
5. No parking on fire hydrant side of 26' private roads
6. Alleys/Driveways must be signed "no parking" at 150' intervals, and the fire marshal must approve a signage and striping plan prior building permits being issued.
7. 6' Estate fence between Cottage Lots and the future extension to Porter's Crossing Parkway should be installed with infrastructure improvements
8. The 40' surface parking stalls shall be signed as guest parking
9. The applicant shall provide street light plans that comply with EMMC

Attachments

- Executive Summary of Traffic Impact Study
- Proposed Exhibit 4
- Proposed Exhibit 7
- Proposed Map (Master Development Plan)
- Preliminary Plat
- Master Site Plan
- Landscaping Plans
- Cottage Lots Setback Diagram
- Evans Ranch Fencing Exhibit
- Proposed Amendments to the Evans Ranch MDA
- Monument Signs

EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with the proposed Evans Ranch development located in Eagle Mountain, Utah. The proposed residential project is located south of Pony Express Parkway and east of Porters Crossing Parkway.

Included within the analyses for this study are the traffic operations and recommended mitigation measures for existing conditions and plus project conditions (conditions after development of the proposed project) at key intersections and roadways in the vicinity of the site. Future (2020) conditions are also analyzed.

TRAFFIC ANALYSIS

The following is an outline of the traffic analysis performed by Hales Engineering for the traffic conditions of this project.

Existing (2016) Background Conditions Analysis

Hales Engineering performed weekday morning (7:00 to 9:00 a.m.) and afternoon (4:00 to 6:00 p.m.) peak period traffic counts at the following intersections:

- Porters Crossing Parkway / Pony Express Parkway
- Smith Ranch Road / Porters Crossing Parkway
- Park Place / Porters Crossing Parkway
- Clark Street / Porters Crossing Parkway
- Golden Eagle Road / Porters Crossing Parkway

These counts were performed on Tuesday, December 1, 2015. The morning peak hour was determined to be between the hours of 7:15 and 8:15 a.m.; detailed count data are included in Appendix A. The weekday morning counts were found to be approximately the same as the evening counts, however, the morning peak hour was used in the analysis because the trip generation rate for the morning peak hour was greater than the evening peak hour by approximately 100 trips. With the added traffic volume from the proposed development, the morning peak hour was determined to be the worst case scenario.

As shown in Table ES-1, all study intersections have acceptable levels of service during the weekday morning peak period. Some queuing is anticipated in the north- and southbound direction at Porters Crossing Parkway / Pony Express Parkway of approximately 290 and 260 feet respectively. No other significant queuing was observed within the study area.

Project Conditions Analysis

The proposed land use for the development has been identified as follows:

- Single Family Dwelling Units: 252 Houses
- Townhouses: 107 Units
- Cottages: 45 Units
- Elementary School: 600 Students

The projected gross trip generation for the development is as follows:

- Daily Trips: 4,420
- Morning peak Hour Trips: 558
- Evening Peak Hour Trips: 448

Existing (2016) plus Project Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to have acceptable levels of service except the Pony Express Parkway / Porters Crossing Parkway intersection. Some Queueing is anticipated for the northbound through/right-turn movement at the Porters Crossing Parkway / Pony Express Parkway intersection and is anticipated to be greater than 1,000 feet in length. This queue will block the left-turn pocket at this intersection causing queue starvation. This queue will also block upstream intersections. No other significant queueing is anticipated.

Future (2020) Background Conditions Analysis

As shown in Table ES-1, all study intersections are anticipated to have acceptable levels of service in year 2020. Some queueing is anticipated to occur at the intersection of Porters Crossing Parkway / Pony Express Parkway in the north- and eastbound through/right-turn directions of approximately 175 feet and 270 feet respectively. No other significant queueing is anticipated.

Future (2020) Plus Project Conditions Analysis

As shown in Table ES-1, all intersections are anticipated to operate at acceptable levels of service. Some queueing is anticipated to occur at the intersection of Porters Crossing Parkway / Pony Express Parkway in the north- and eastbound through/right-turn directions of greater than 470 feet and 280 feet respectively. There is also some queueing anticipated at Smith Ranch Road in the north bound direction of approximately 410 feet. No other significant queueing is anticipated.

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Eagle Mountain - Evans Ranch TIS**

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1. Intersection LOS and delay (seconds/vehicle) values represent the overall intersection average for roundabout, signalized, all-way stop controlled intersections and the worst approach for all other unsignalized intersections.
2. This intersection is a project access and was only analyzed in "plus project" scenarios.
3. This intersection was eliminated as part of the proposed project and was only analyzed in "background" scenarios.
Source: Hales Engineering, June 2016

RECOMMENDATIONS

The following mitigation measures are recommended:

Existing (2016) Background Conditions Analysis

No mitigation measures are recommended.

Existing (2016) Plus Project Conditions Analysis

The intersection of Porters Crossing Parkway / Pony Express Parkway is anticipated to perform at a poor LOS. It is recommended that a signal be constructed at this location when traffic signal warrants are met.

According to a traffic study done by Hales Engineering for an adjacent development to the north, a signal is recommended at this location by year 2020, or as soon as it is warranted in accordance with Utah Manual on Uniform Traffic Control Devices (UMUTCD).

Future (2020) Background Conditions Analysis

Although not apparent in this morning study, it is anticipated that there will be a large amount of traffic that wants to make a westbound left-turn from Pony Express Parkway to southbound Porters Crossing Parkway during the evening peak hour. The volumes are anticipated to be the reverse of morning peak hour northbound right-turning movement. It was also recommended in a previous study completed by Hales Engineering for the adjacent project, that dual left-turns be constructed for the westbound left-turn movement at the intersection of Pony Express Parkway / Porters Crossing Parkway.

Future (2020) Plus Project Conditions Analysis

During the morning peak hour, there many northbound right-turning vehicles at the intersection of Porters Crossing Parkway / Pony Express Parkway. Although there is no significant queueing or poor LOS at this intersection, a right-turn over lap should be considered for the northbound right-turn movement when the traffic signal is installed.

Previously it was recommended that the north- and southbound stop signs be removed at the intersection of Smith Ranch Road / Porters Crossing Parkway. This was based on significant queueing that was anticipated. In the updated analysis, queueing is still present, however, it is only approximately 380 feet in the northbound direction. The LOS at this intersection is acceptable, although some drivers may have to wait in a queue to travel through Smith Ranch Road. This queue is anticipated to last only a short amount of time due to the nature of school traffic.

If the northbound queue at the intersection of Porters Crossing Parkway / Smiths Ranch Road is unacceptable the following measures could be taken:

- Remove the north- and southbound stop signs
- Construct a roundabout
- Widen Porters Crossing Parkway to two lanes in the northbound direction

SUMMARY OF KEY FINDINGS/RECOMMENDATIONS

The following is a summary of key findings and recommendations:

- All study intersections currently experience acceptable levels of service during the weekday morning peak hour
- It is anticipated that the school traffic from the Silver Lake development will have to use Pony Express Parkway and that the existing westbound left-turns that are difficult with current conditions, will only get worse with added traffic in the future
- With project traffic added, all study intersections are anticipated to operate at acceptable LOS except Porters Crossing Parkway / Pony Express Parkway

- At Porters Crossing Parkway / Pony Express Parkway, it is recommended that a signal be constructed at this location when traffic signal warrants are met
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- With project traffic added in year 2020, all intersections are anticipated to operate at acceptable LOS, provided that the Pony Express Parkway / Porters Crossing Parkway intersection is signalized
- Traffic on Porters Crossing Parkway is anticipated to continue growing beyond year 2020. As the area develops, making turning movements from Golden Eagle Road onto Porters Crossing Parkway may become more difficult. With an elementary school in close proximity to this intersection, a westbound left-turn pocket should be considered. Currently, there is approximately 38 feet of pavement allowing for two egress lanes and a single ingress lane
- For the future 2020 plus project conditions, Porters Crossing Parkway is anticipated to have enough capacity to handle the demand



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EVANS RANCH
EAGLE MOUNTAIN, UTAH
EXHIBIT 4 - PARK PLAN



SUMMARY TABULATIONS	LEGEND
PRIVATE CHURCH / SCHOOL 13.12 AC	PRIVATE SINGLE FAMILY OPEN SPACE
PRIVATE TOWNHOME OPEN SPACE 0.54 AC	PUBLIC OPEN SPACE
PRIVATE SINGLE FAMILY OPEN SPACE 7.04 AC	CHURCH
PUBLIC OPEN SPACE 8.71 AC	SCHOOL
TICKVILLE WASH 6.41 AC	TOWNHOMES
BENCH 10 EA	SINGLE FAMILY COTTAGES
SHADE STRUCTURE 2 EA	
1/2 BASKETBALL COURT 2 EA	
TREES 195 EA	
ASPHALT TRAIL 5,573 LF	
PLAYGROUND EQUIPMENT \$80,000	
LIGHT BOLLARDS 39 EA	



1099 W. SOUTH JORDAN PARKWAY
SOUTH JORDAN, UT 84095
(801) 495-3414

REVISIONS
1
2
3
4
5

LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 150'
DATE:
6/22/2016

EXHIBIT
4



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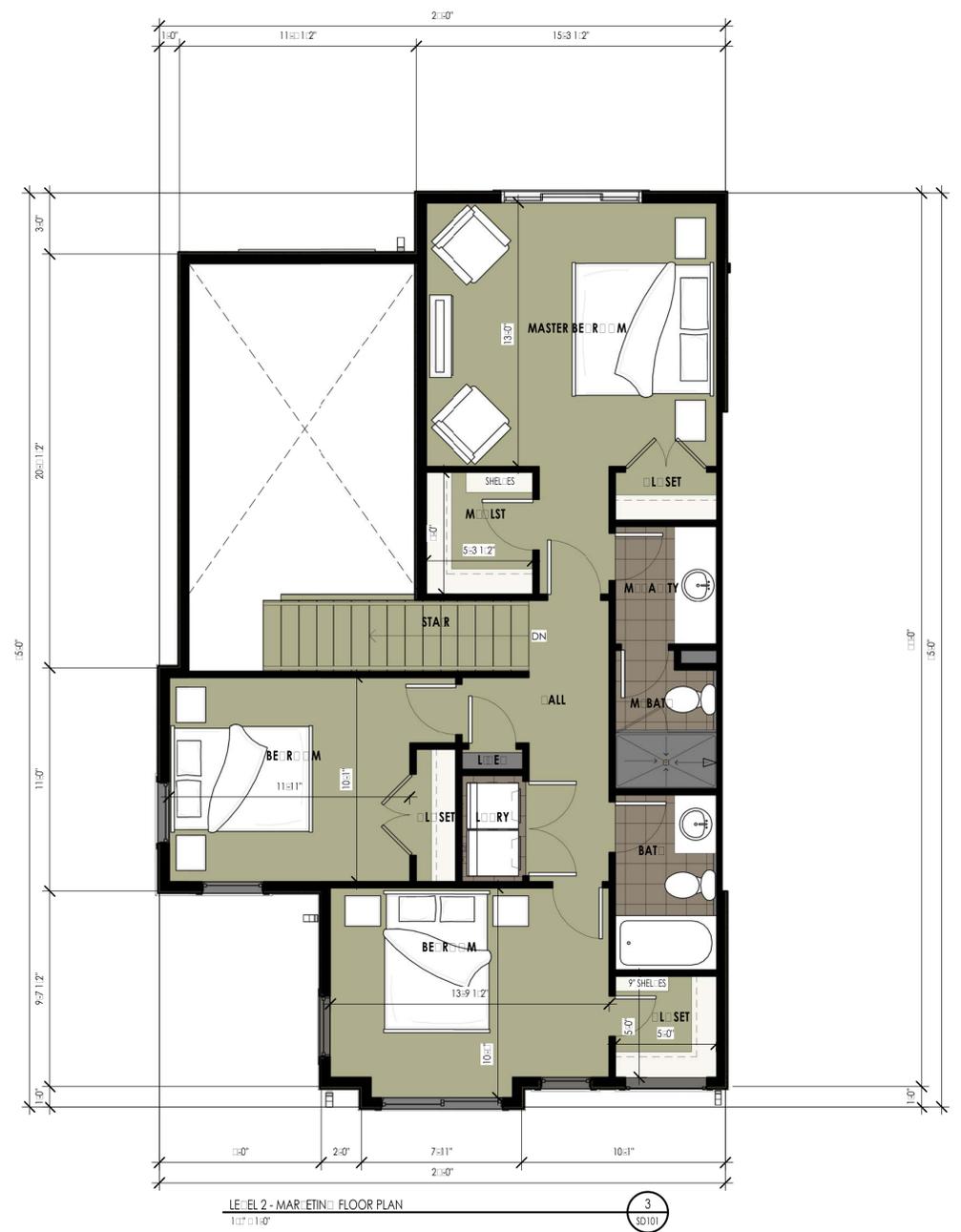
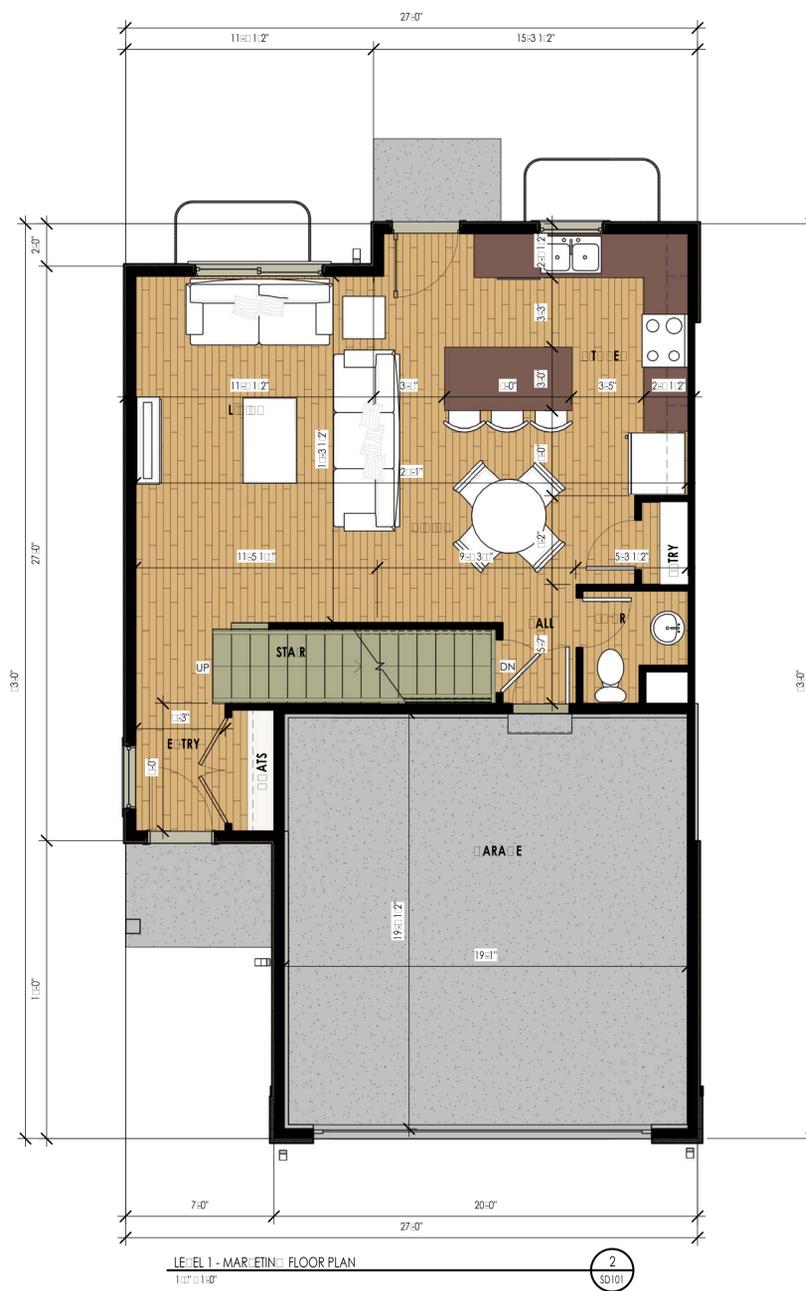
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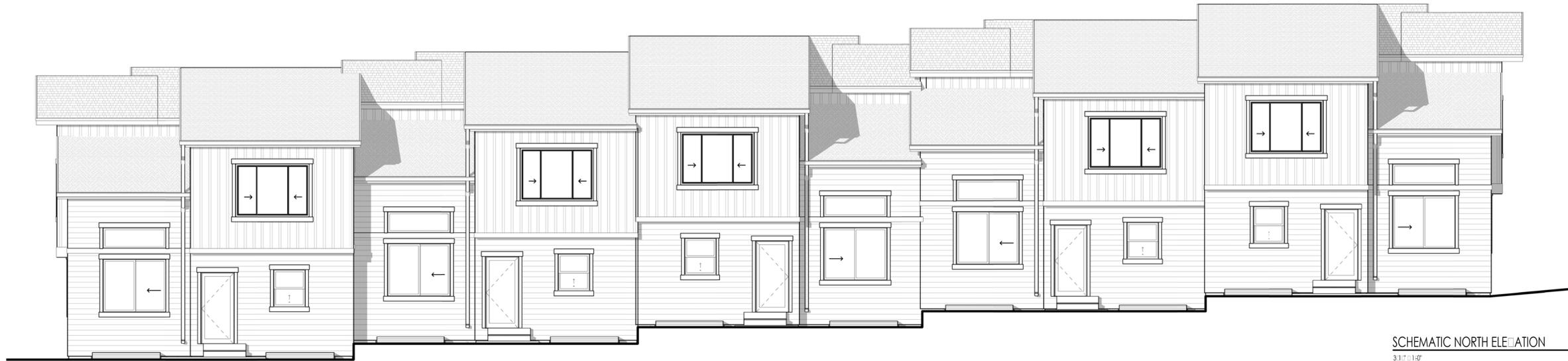
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UNIT A AREAS	
NAME	AREA
LE-EL 1 FINISHED	1122 SF
LE-EL 2 FINISHED	1123 SF
LE-EL 0 UNFINISHED	511 SF
AREA	397 SF
	91 SF
	211 SF



SCHMATIC NORTH ELEVATION
3/17/14'

1
0201



SCHMATIC SOUTH ELEVATION
3/17/14'

2
0201



SCHMATIC EAST ELEVATION
3/17/14'

3
0201



SCHMATIC WEST ELEVATION
3/17/14'

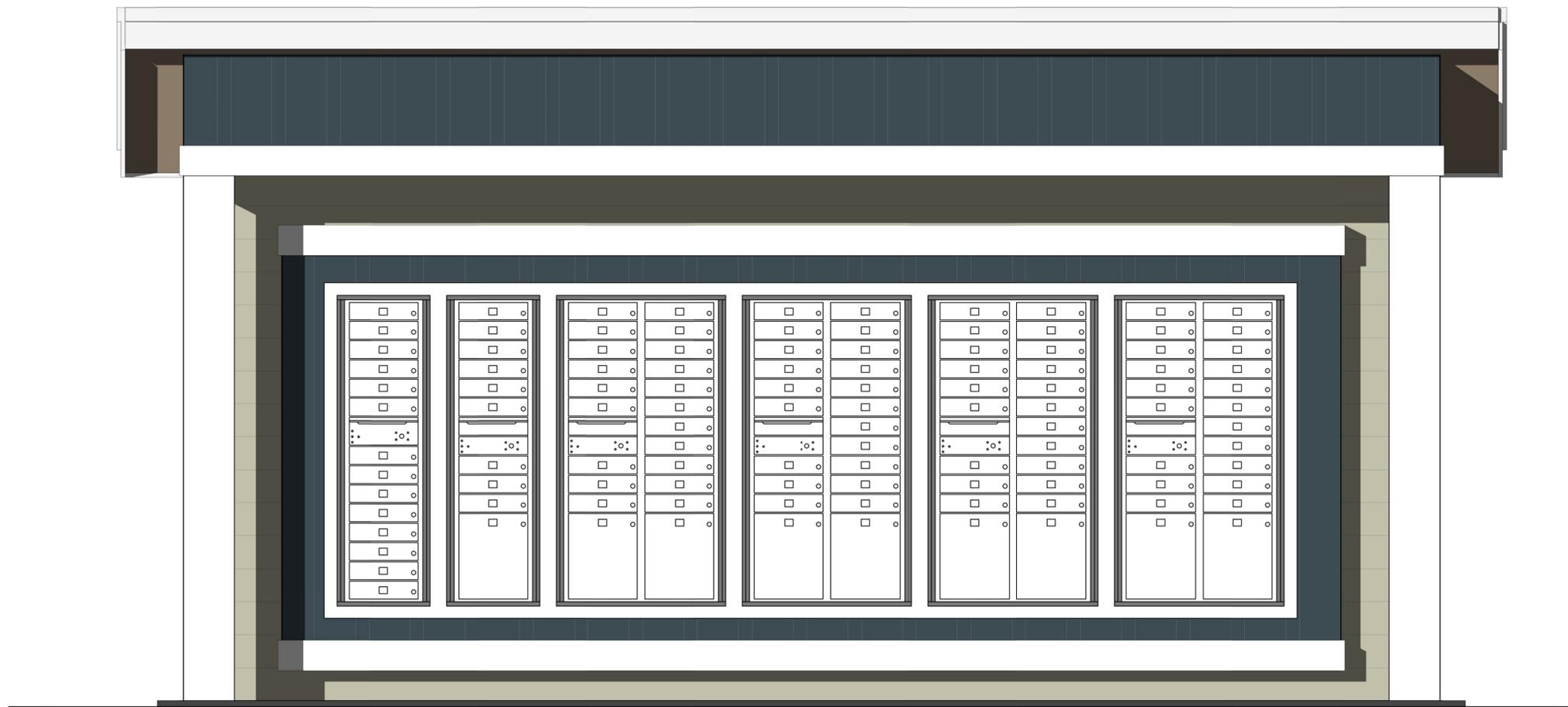
4
0201



SCHEMATIC MATERIALS FRONT ELEVATION
3/17/14'

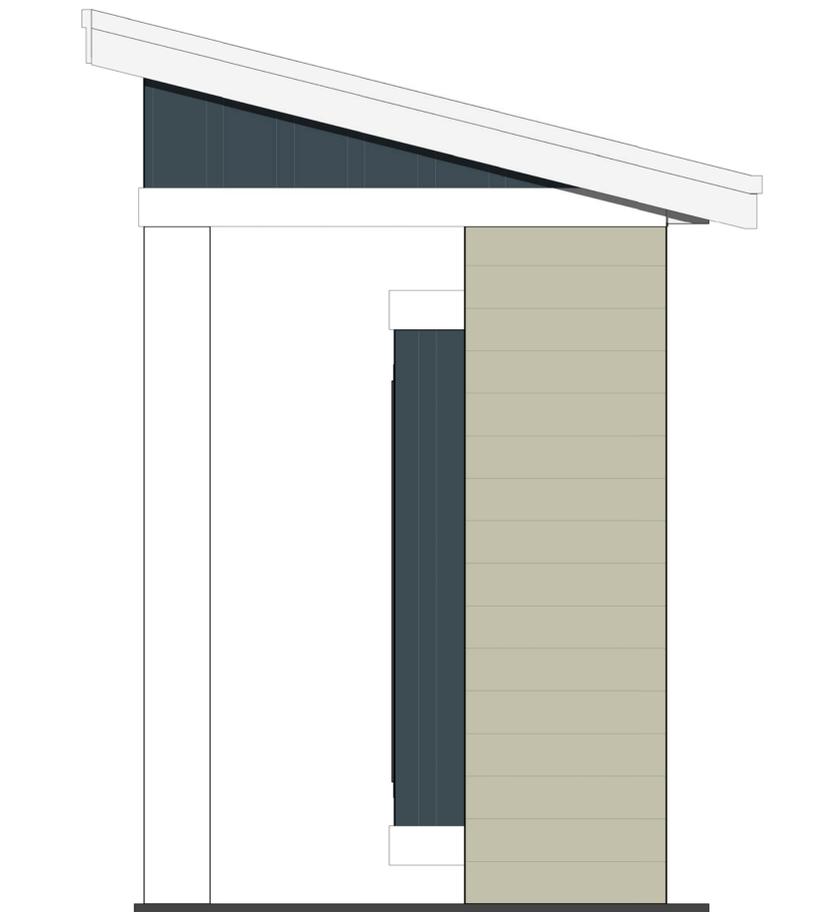


SCHEMATIC MATERIALS REAR ELEVATION
3/17/14'



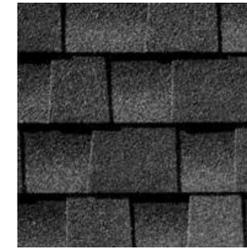
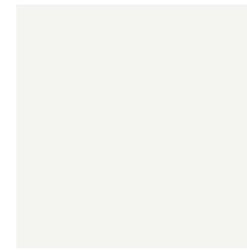
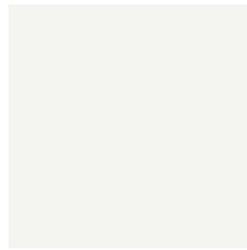
MAILBOX FRONT ELEVATION
1" = 1'-0"

1
D205



MAILBOX SIDE ELEVATION
1" = 1'-0"

2
D205



Tranquil
Mountain
Cedar
ECL3215D

Tranquil
Mountain
Hardwood
Arched

Dark
Mountain
Hardwood
Elegant

Dark
Mountain
Hardwood
Acacia

Dark
Mountain
Hardwood
Cedar

Stone
Mountain
Drapery
Acacia

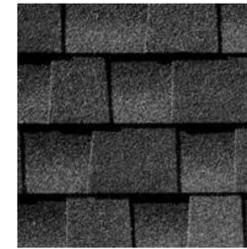
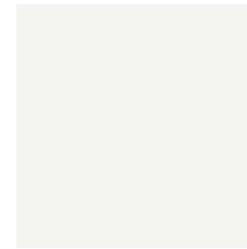
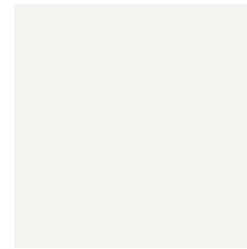
Tranquil
Mountain
Cedar
Acacia

Tranquil
Mountain
Cedar

Acacia
Mountain
Cedar
30 Degree

Rock
Mountain
Cedar
Mountain

LRSEME



Tranquil
Mountain
Cedar
ECL3215D

Tranquil
Mountain
Hardwood
Arched

Dark
Mountain
Hardwood
Cedar Red

Dark
Mountain
Hardwood
Acacia

Dark
Mountain
Hardwood
Cedar

Stone
Mountain
Drapery
Acacia

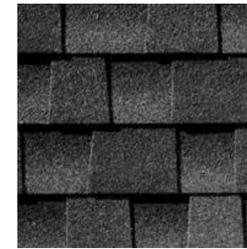
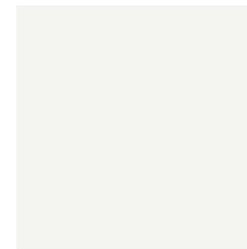
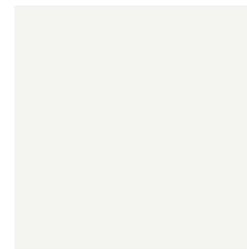
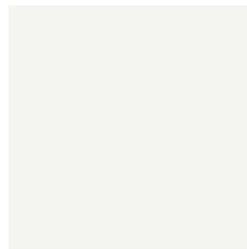
Tranquil
Mountain
Cedar
Acacia

Tranquil
Mountain
Cedar

Acacia
Mountain
Cedar
30 Degree

Rock
Mountain
Cedar
Mountain

LRSEME



Tranquil
Mountain
Cedar
ECL3215D

Tranquil
Mountain
Hardwood
Arched

Dark
Mountain
Hardwood
Honeycomb

Dark
Mountain
Hardwood
Acacia

Dark
Mountain
Hardwood
Cedar

Stone
Mountain
Drapery
Acacia

Tranquil
Mountain
Cedar
Acacia

Tranquil
Mountain
Cedar

Acacia
Mountain
Cedar
30 Degree

Rock
Mountain
Cedar
Mountain

LRSEME

LRSEMES



DAI UTAH EAGLES RANCH TO 10 HOMES

EAGLE MOUNTAIN, UTAH



UNIT SUMMARY					
TYPE	# bd	#ba	#gar	sq. ft.	Total Units
A	3	2	2	1441	111
B	-	-	-	1360	-
TOTAL UNITS					111
PARKING SUMMARY					
LOCATION	# STALLS				
GARAGE STALLS	222				
SURFACE STALLS	40				
DRIVEWAY STALLS	222				
TOTAL STALLS	480				
STALLS/UNIT	4.32				
AREA SUMMARY					
AREA	ACRES	%			
PROPERTY BOUNDARY	9.5	100%			
ROADS/DRIVEWAYS/PKG	2.9	30.5%			
BUILDINGS	2.8	29.5%			
LANDSCAPING/WALKS	4	40%			

NOTE:
CONSTRUCTION TYPE
(VB - NON SPRINKLERED)

SITE PLAN
SCALE: 1" = 40'-0"



DAI UTAH
EVANS RANCH
EAGLE MOUNTAIN, UTAH

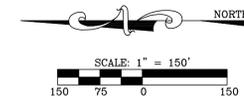
PROJECT NO. 16059
DATE: 17 JUNE, 2016
REVISIONS:
SHEET TITLE:
EVANS-RANCH
MASTER-PLAN
SHEET NUMBER:

A 100

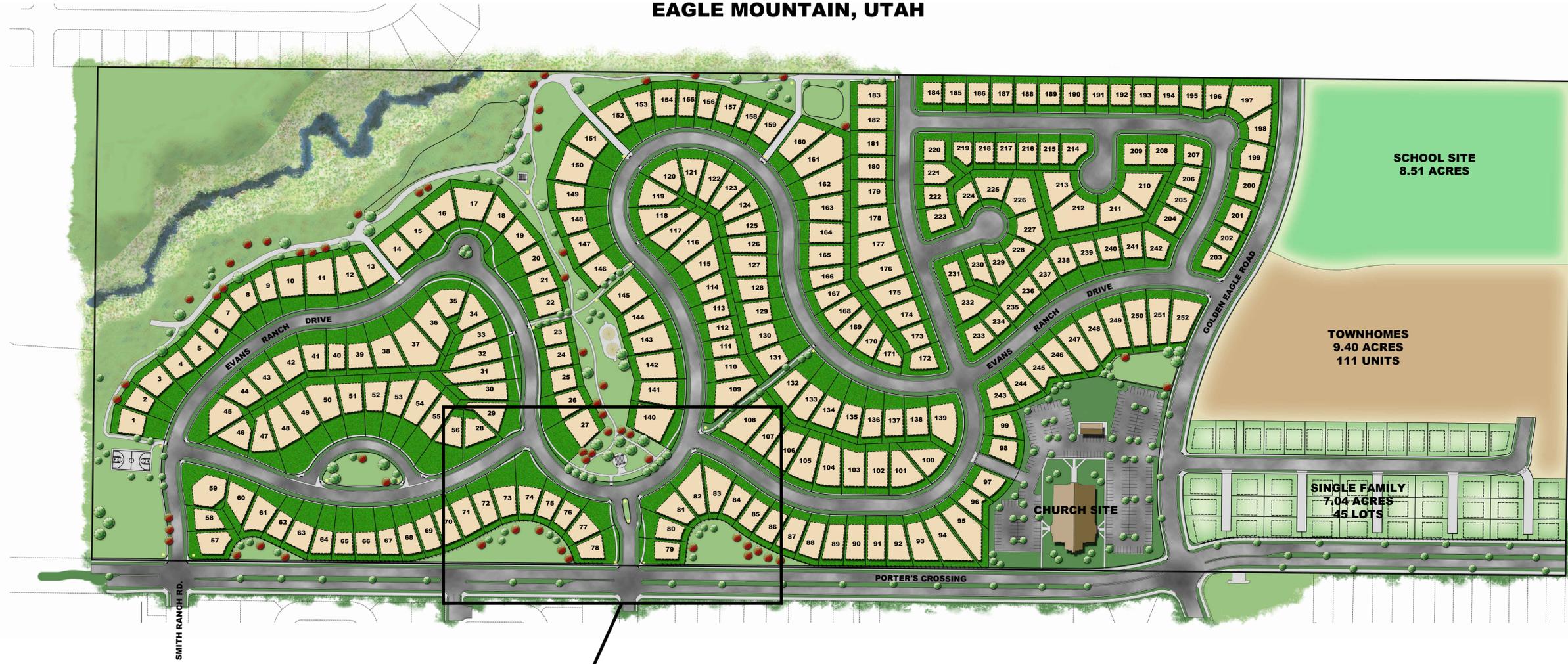
FOR REVIEW - NOT FOR CONSTRUCTION

EVANS RANCH

A PORTION OF THE NW 1/4 & SW 1/4 SECTION 28, T5S, R1W, SLB&M,
EAGLE MOUNTAIN, UTAH



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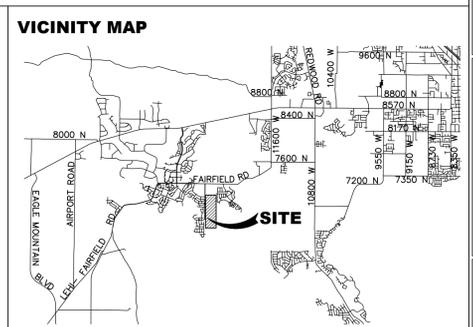


EVANS RANCH
EAGLE MOUNTAIN, UTAH
MASTER DEVELOPMENT PLAN MAP

TABULATIONS

-SINGLE FAMILY	297 DU (3.02 DU/AC)
-TOWNHOMES	111 DU (11.80 DU/AC)
-TOTAL DWELLING UNITS.....	408 DU (3.50 DU/AC)
-AVERAGE LOT SIZE	9,198 SF
-LARGEST LOT SIZE	14,734 SF
-SMALLEST LOT SIZE	5,775 SF
TOTAL AREA 120.45 AC	
-PORTERS CROSSING ROAD	2.55 AC (2.12%)
-GOLDEN EAGLE ROAD	2.15 AC (1.78%)
-CHURCH SITE.....	4.61 AC (3.83%)
-SCHOOL SITE	8.51 AC (7.07%)
-TOWNHOMES.....	9.40 AC (7.80%)
-SINGLE FAMILY.....	93.23 AC (77.40%)

• SEE LANDSCAPE PLANS FOR SPECIFIC OPEN SPACE DETAILS AND AREAS.



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ENGINEER
LEI CONSULTING ENGINEERS
3302 NORTH MAIN
SPANISH FORK, UTAH 84660
(801) 798-0555

PROJECT NAME
EVANS RANCH

REVISIONS

1	
2	
3	
4	
5	

LEI PROJECT #:
2012-1845

DRAWN BY:
BLS

CHECKED BY:
GDM

SCALE:
1" = 150'

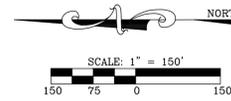
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6/21/2016

SHEET
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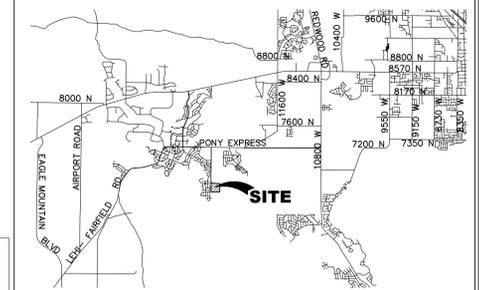
EVANS RANCH COTTAGE LOTS & TOWNHOMES

PRELIMINARY PLAN

A PORTION OF THE SW 1/4 OF SECTION 28, T5S, R1W, SLB&M,
EAGLE MOUNTAIN, UTAH



VICINITY MAP



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SHEET 2	TOWNHOME & LOT LAYOUT
SHEET 3	UTILITY PLAN
SHEET 4	OFFSITE SEWER PLAN
SHEET 5	GRADING & EROSION CONTROL PLAN
SHEET 6	PHASE PLAN
SHEET 7	SLOPE ANALYSIS
SHEET 8	DETAILS

PLAT CALCULATIONS

-TOWNHOMES	111 UNITS
-COTTAGES	45 LOTS
-TOTAL UNITS	156 UNITS (9.05 UNITS/AC)
-TOTAL AREA 17.63 AC	
-GOLDEN EAGLE DRIVE	0.80 AC
-TOWNHOMES	9.38 AC
-TOWNHOME OPEN SPACE	1.60 AC
-TOWNHOMES BUILDING, DRIVES & OTHER	8.16 AC
-COTTAGES	
-COTTAGES OPEN SPACE	0.04 AC
-COTTAGES LOT AREA	7.03 AC

* SEE LANDSCAPE PLANS FOR SPECIFIC OPEN SPACE DETAILS AND AREAS.

NOTES

- NO UTILITY LATERALS OR METERS TO BE LOCATED UNDER DRIVEWAYS.
- PROTECTION TO BE PROVIDED AS NEEDED FOR PUBLIC UTILITIES ADJACENT TO DRIVEWAYS OR WITHIN TRAFFIC AREAS, UTILITIES ARE TO BE PLACED SUCH THAT THE DRIVEWAY TRAFFIC AND UTILITIES DO NOT CREATE A POSSIBLE HAZARD.
- ALL INTERIOR WATER LINES TO BE 8" UNLESS OTHERWISE NOTED.
- ALL INTERIOR SEWER LINES TO BE 8" UNLESS OTHERWISE NOTED.
- SECONDARY ACCESS AND TEMPORARY TURNAROUNDS TO BE PROVIDED ACCORDING TO CITY/FIRE CODE.
- PARKING RESTRICTION SIGNAGE TO BE PROVIDED FOR ALL ALLEYWAYS.
- REAR FENCE TO BE PROVIDED TO LOTS THAT BACK UP TO PORTER'S CROSSING ACCORDING TO MASTER DEVELOPMENT AGREEMENT.
- SURFACE WATER CONTROL WILL BE ADDRESSED WITH EACH FINAL PLAT, INCLUDING INDIVIDUAL LOT DRAINAGE.
- DRIVEWAY SLOPES NOT TO EXCEED 12%.
- ALL CONSTRUCTION TO BE COMPLETED ACCORDING TO EAGLE MOUNTAIN CITY CONSTRUCTION STANDARDS & SPECIFICATIONS.
- NO DEFLECTIONS ALLOWED ON WATER LINES.
- ALL VALVES TO BE FLANGED TO TEES.
- INSTALL A1 BACKFILL FOR FILL AREAS WITHIN RIGHT-OF-WAY.
- SEE SEPARATE PLAN FOR LANDSCAPE & AMENITY DETAILS.

LEGEND

EXISTING	
WATER METER	⊕
WATER	— EX-W —
WATER VALVE	⊗
FIRE HYDRANT	⊙
SEWER	— EX-SS —
SEWER MANHOLE	⊙
STORM DRAIN	— EX-SD —
STORM DRAIN MANHOLE	⊙
STORM DRAIN CURB INLET	⊞
PI	— EX-PI —
PI VALVE	⊗
PROPOSED	
WATER	— W —
WATER VALVE	⊗
FIRE HYDRANT	⊙
SEWER	— SS —
SEWER MANHOLE	⊙
STORM DRAIN	— SD —
STORM DRAIN MANHOLE	⊙
STORM DRAIN CURB INLET	⊞
PI	— PI —
PI VALVE	⊗
FENCE	— F —

EAGLE MOUNTAIN CITY GENERAL NOTES

SEWER:

- PIPE BEDDING: 3/4" GRAVEL REQUIRED 6" BELOW, ON THE SIDES & 12" ABOVE THE PIPE (MINIMUM).
- DEPTH: SEWER MAIN/LATERALS TO MAINTAIN 4" OF COVER (MINIMUM) FROM FINISHED GRADE, 3' MINIMUM FROM TOP OF PIPE AT TIME OF INSTALLATION.
- SEPARATION: SEWER MAINS & LATERALS TO MAINTAIN 10' SEPARATION (MINIMUM) FROM CULINARY WATER MAINS & LATERALS.
- SEWER Y'S: 3' MINIMUM SEPARATION BETWEEN SEWER Y'S.
- LATERAL STUBS: A) STUBS MUST EXTEND 15' INTO PROPERTY AND BE MARKED WITH 2X4 PAINTED GREEN. B) ALL LATERALS MUST BE GIS (SHOT IN) AT THE Y'S AND STUBS. ALSO SLOPES (2% MIN. ON 4" PIPE) TO BE CHECKED BEFORE BACKFILL.
- MANHOLES: MANHOLES TO BE WITHIN 1' OF FINISHED GRADE, 12" OF GRADE RINGS (MAX) AND NO FLAT RINGS ALLOWED. 12" OF 3/4" GRAVEL REQUIRED UNDER MANHOLES/BOXES.

WATER:

- VALVES: 1. VALVES MUST BE FLANGED TO TEE'S (FITTINGS). 2. VALVES 12" AND LARGER TO BE BUTTERFLY VALVES.
- BEDDING: SAND MUST MEET AASHTO (A-3) GRADATION WITH 100% PASSING THE #4 SIEVE, 6" BELOW PIPE ON THE SIDES & 12" ABOVE PIPE (MINIMUM).
- DEPTH: WATER MAIN & LATERALS MUST MAINTAIN 4" COVER FROM FINISHED GRADE (MINIMUM), 3' MINIMUM FROM TOP OF PIPE AT TIME OF INSTALLATION.
- SERVICE & FITTINGS: SERVICES & FITTINGS TO MAINTAIN 3' MINIMUM SEPARATION FROM PIPE JOINTS AND OTHER FITTINGS.
- SETTERS: ALL SETTERS TO BE 21" TALL (MINIMUM), HAVE UNIONS AT THE BASE AND BE DUAL CHECK MODEL. ALSO 3/4" SETTERS TO HAVE DOUBLE BRACES. SETTERS TO BE SET AT 18" TO 22" FROM THE TOP OF SETTER TO TOP OF LID.
- WATER CAN LID: ALL LIDS TO SAY "EAGLE MOUNTAIN" ON THEM RECESSED WITH A HOLE FOR THE ERT AND TO BE SET AT LEVEL TO 1" ABOVE THE PLANE OF THE CURB & SIDEWALK.
- HYDRANTS: HYDRANTS TO BE 5' BURY (MINIMUM).
- LATERALS: ALL LATERALS NEED TO BE GIS (SHOT IN) AT THE CORP. STOP & SETTER, AND ALSO VISUAL INSPECTION ON POLY INSERTS BEFORE BACKFILL. WATER LATERALS TO EXTEND 15' INTO PROPERTY AND BE MARKED WITH A 2X4 PAINTED BLUE. ALL POLY LINES TO HAVE VISUAL POLY INSERT INSPECTION.
- TRACER WIRE: RUN TRACER WIRE ALONG MAIN & EXTEND UP SETTERS AND HYDRANTS, DO NOT RUN UP VALVE BOXES.
- WATER FITTINGS: ALL WATER FITTINGS TO BE CHECKED FOR THRUST BLOCKS (PRE & POST) AND GIS (SHOT IN) BEFORE BACKFILL.
- VERTICAL SEPARATION: WATER MAIN TO MAINTAIN 12" MINIMUM SEPARATION FROM STORM DRAIN OR OTHER OBSTACLES/UTILITIES.
- WATER LINE FITTINGS: ALL FITTINGS TO HAVE MEGA LUG FOLLOWERS.

STORM DRAIN:

- BEDDING: 3/4" GRAVEL 6" BELOW AND ON SIDES OF PIPE & 12" ABOVE PIPE (MINIMUM).
- ADS: ALL ADS PIPE TO BE "HP" BRAND.
- COLLARS: COLLARS TO BE 1'X1' AROUND PIPE, 4000 PSI CONCRETE, INSPECTION IS NEEDED PRE & POST COLLAR POUR.
- MANHOLES: MANHOLES TO BE WITHIN 1' OF FINISHED GRADE, 12" OF GRADE RINGS (MAX) AND NO FLAT RINGS ALLOWED. 12" OF 3/4" GRAVEL REQUIRED UNDER MANHOLES/BOXES.

ROAD SECTION:

- PROOF ROLLS: PROOF ROLL REQUIRED ON ALL SECTION OF ROAD: I.E. SUB-GRADE, SUB-BASE, AND CURB BASE AND ROAD BASE. CURB STAKES REQUIRED FOR SUB-GRADE INSPECTION AND STRING LINE REQUIRED FOR SUB-BASE AND ROAD BASE INSPECTION.
- UTBC: STATE SPEC. ROAD BASE REQUIRED FOR ALL ROAD, COMMERCIAL BASE ACCEPTABLE FOR THE SIDEWALKS & TRAILS.
- COLLARS: ALL COLLARS TO BE 1' DEEP WITH A 6000 PSI CONCRETE WITH 1.5# FIBER MESH PER CUBIC YARD (3/4" MONOFILAMENT) REQUIRED FOR ALL STREET COLLARS. MANHOLE COVERS AND WATER VALVE TOWERS TO BE 1/2" DOWN FROM ASPHALT EDGE AND CONCRETE TO BE 1/4" TO 3/8" DOWN FROM ASPHALT EDGE.

**EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
EAGLE MOUNTAIN, UTAH**

COVER

REVISIONS

NO.	DATE	DESCRIPTION
1		
2		
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4		
5		

LEI PROJECT #:

2012-1845

DRAWN BY:

BLS

CHECKED BY:

GDM

SCALE:

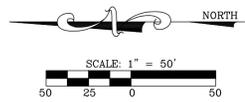
1" = 150'

DATE:

5/24/2016

SHEET

COVER

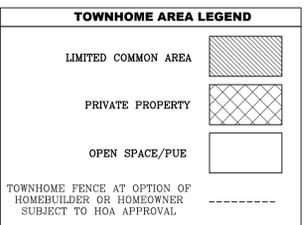
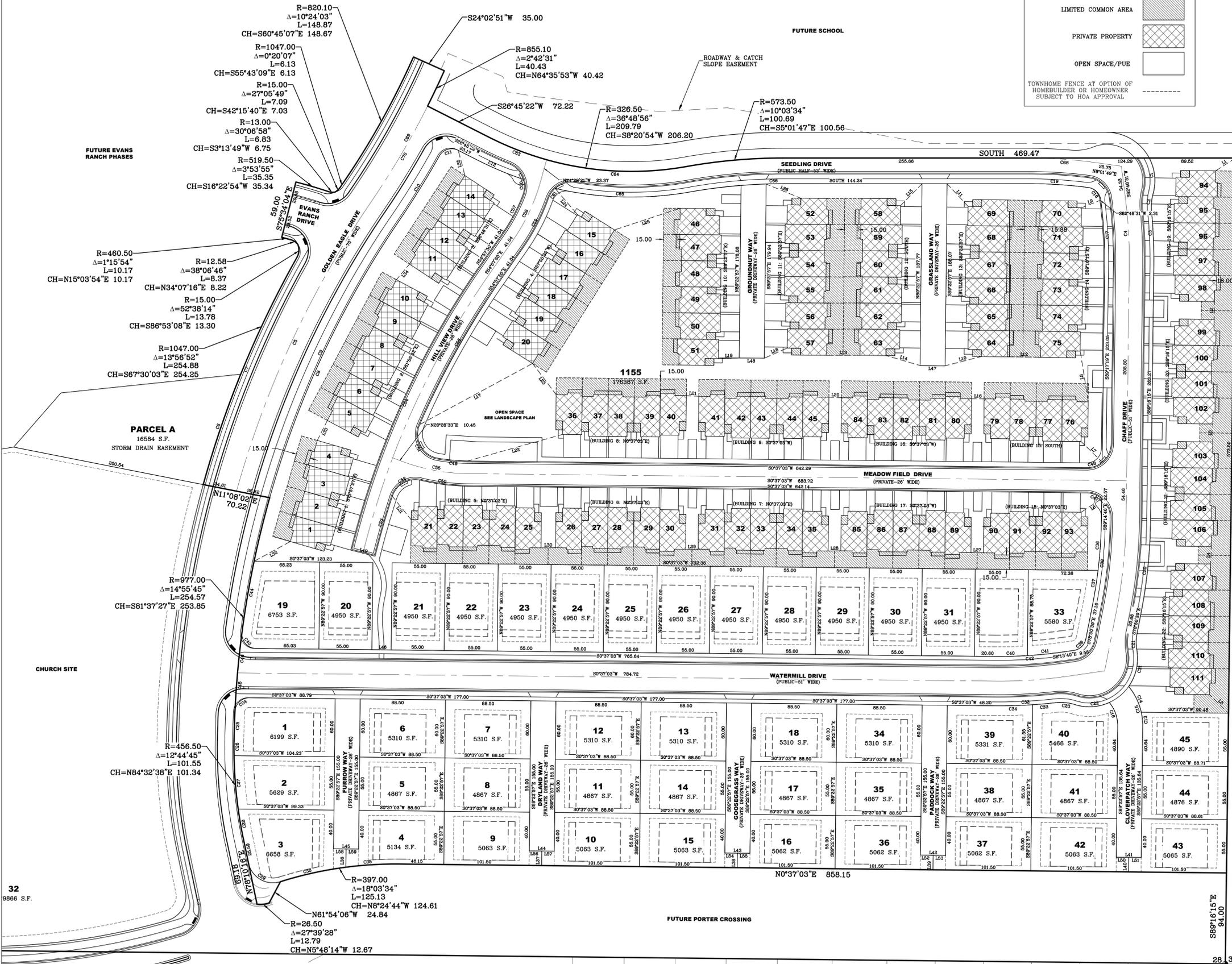


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**EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
EAGLE MOUNTAIN, UTAH**

TOWNHOME & LOT LAYOUT



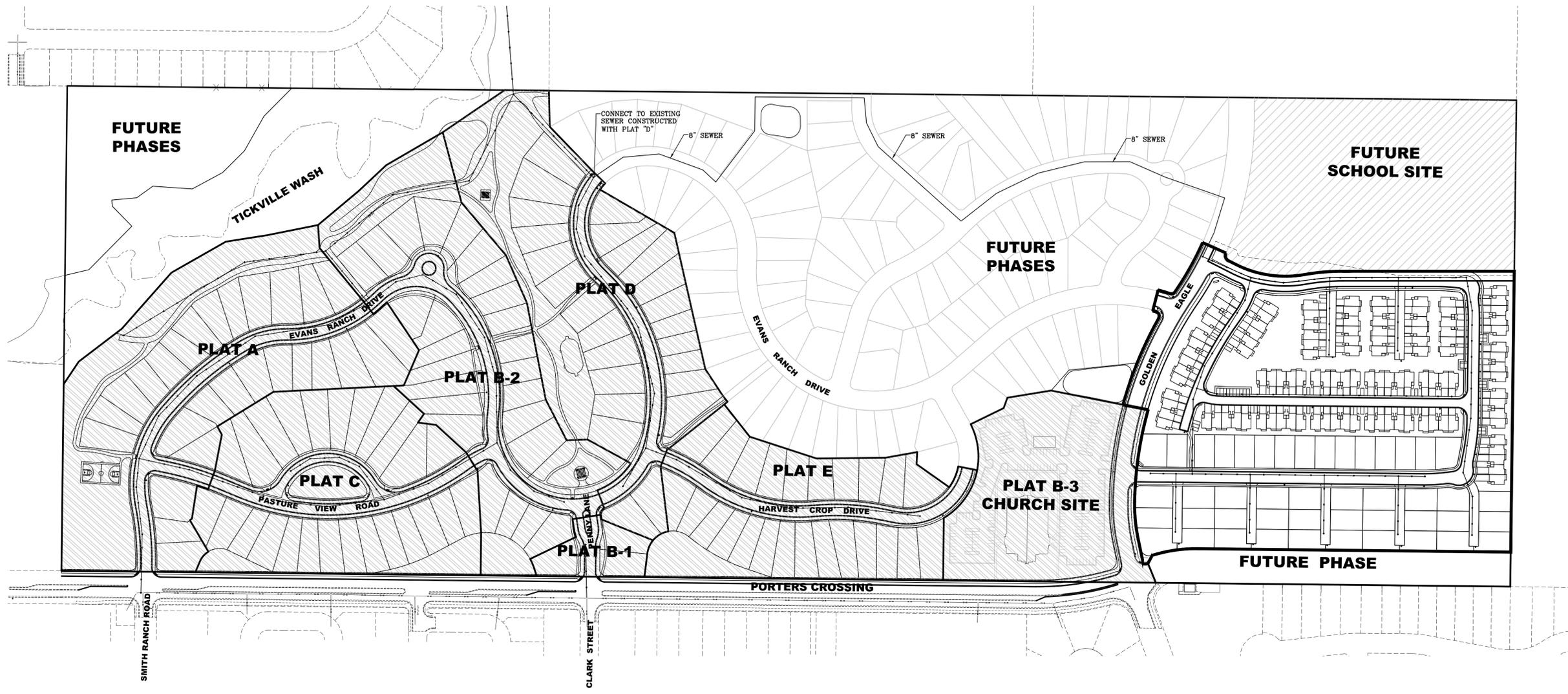
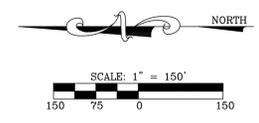
CURVE TABLE				
CURVE	RADIUS	DELTA	LENGTH	CHORD
C1	50.00	43°38'30"	38.08	N89°47'12"E 37.17
C2	50.00	21°03'57"	18.38	N84°55'31"W 18.28
C3	525.50	6°11'15"	56.75	N87°38'08"E 56.72
C4	500.00	7°55'14"	69.12	N86°46'08"E 69.06
C5	1012.00	18°46'16"	331.55	N84°56'13"W 330.07
C6	1047.00	6°35'53"	120.57	N71°10'33"W 120.50
C7	1047.00	13°56'50"	254.87	N67°30'04"W 254.24
C8	977.00	22°34'33"	384.96	N66°50'22"W 382.47
C9	977.00	18°38'29"	317.30	N64°51'20"W 315.91
C10	890.10	5°03'51"	78.87	S58°05'01"E 78.65
C11	15.00	87°22'19"	22.87	N16°55'47"W 20.72
C12	353.00	8°15'23"	50.87	S22°37'41"W 50.82
C13	63.00	13°10'41"	14.49	N84°01'43"E 14.46
C14	63.00	27°13'35"	29.94	N63°49'35"E 29.66
C15	63.00	40°24'16"	44.43	N70°24'55"E 43.51
C16	37.00	40°36'55"	26.23	N70°18'36"E 25.68
C17	474.50	7°55'14"	65.59	N86°46'08"E 65.54
C18	15.00	75°23'37"	19.74	N45°06'43"E 18.34
C19	473.50	7°24'54"	61.28	N3°42'27"E 61.24
C20	525.50	10°25'36"	95.63	S84°03'27"E 95.50
C21	50.00	20°44'49"	18.11	N89°13'03"W 18.01
C22	50.00	41°46'25"	36.45	S3°31'47"E 35.65
C23	50.00	23°43'08"	20.70	N5°29'52"E 20.55
C24	15.00	87°56'00"	23.02	N43°20'57"W 20.83
C25	977.00	1°46'40"	30.32	N88°12'17"W 30.31
C26	456.50	1°54'44"	15.23	S89°57'01"W 15.23
C27	456.50	6°56'05"	55.25	S85°31'36"W 55.22
C28	456.50	3°53'18"	30.98	S80°06'55"W 30.97
C29	28.00	95°36'46"	43.39	S30°21'53"W 38.53
C30	397.00	10°02'41"	69.60	N12°25'10"W 69.51
C31	50.00	45°02'01"	39.30	S77°04'27"E 38.30
C32	525.50	6°56'44"	64.01	S2°52'19"E 63.97
C33	525.50	2°34'51"	23.87	S8°04'16"E 23.67
C34	525.50	4°23'53"	40.34	S1°34'54"E 40.33
C35	397.00	8°00'52"	55.53	N3°23'23"W 55.49
C36	474.50	6°14'31"	51.69	S86°08'59"E 51.67
C37	474.50	4°11'05"	34.66	S80°56'11"E 34.65
C38	474.50	6°14'31"	51.69	S86°08'59"E 51.67
C39	15.00	70°36'58"	18.49	S43°32'09"E 17.34
C40	474.50	4°09'25"	34.43	S1°27'40"E 34.42
C41	474.50	4°41'18"	38.83	S5°53'01"E 38.82
C42	474.50	8°50'43"	73.25	S3°48'19"E 73.18
C43	15.00	98°54'26"	25.37	S49°04'16"W 22.45
C44	977.00	4°20'53"	74.14	N80°18'05"W 74.13
C45	977.00	2°20'50"	40.03	N86°08'32"W 40.02
C46	977.00	2°29'36"	42.51	N83°43'19"W 42.51
C47	25.00	39°55'58"	17.42	N20°35'02"E 17.07
C48	25.11	39°40'48"	17.39	S19°19'00"E 17.05
C49	232.39	7°44'58"	31.43	S5°28'05"W 31.41
C50	230.08	12°05'23"	48.55	S7°08'56"W 48.46
C51	25.00	103°19'06"	45.08	S61°54'41"W 39.22
C52	25.00	85°24'58"	37.27	N29°01'39"W 33.91
C53	710.82	5°11'40"	64.44	N73°53'33"W 64.42
C54	881.73	21°04'52"	324.42	N65°30'16"W 322.59
C55	200.00	19°51'30"	69.32	S10°32'48"W 68.97
C56	929.91	10°33'26"	171.20	N60°41'48"W 170.96
C57	187.00	13°42'47"	44.76	S61°49'13"E 44.65
C58	200.00	19°24'31"	67.75	S64°40'06"E 67.43
C59	213.00	15°30'04"	57.63	S62°42'52"E 57.45
C60	25.00	38°05'13"	16.62	S87°43'13"E 16.31
C61	25.00	28°41'43"	12.52	N56°07'03"W 12.39
C63	326.50	11°07'44"	63.42	S21°11'31"W 63.32
C64	326.50	25°41'13"	146.38	S2°47'02"W 145.15
C65	353.00	23°01'35"	141.87	S1°27'13"W 140.91
C66	473.06	2°06'53"	17.46	N1°13'21"W 17.46
C68	500.00	8°01'49"	70.08	N4°00'54"E 70.02
C69	855.10	10°24'03"	155.23	S60°45'07"E 155.01
C70	855.10	7°41'33"	114.81	S59°23'52"E 114.72

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S32°42'15"E	24.56
L2	N89°16'15"W	18.50
L3	N89°16'15"W	18.50
L4	N87°40'47"W	18.01
L5	S44°12'06"W	27.56
L6	N48°58'26"W	25.39
L7	S44°20'04"W	30.66
L8	N80°59'56"E	53.19
L9	S21°32'03"E	21.48
L10	S14°18'50"E	38.81
L11	S48°58'26"W	31.88
L12	S0°50'18"W	34.45
L13	N0°11'38"W	34.72
L14	S16°21'39"W	36.86
L15	S45°24'19"E	31.65
L16	S0°37'03"W	13.00
L17	S48°21'08"W	133.10
L18	S23°54'17"E	25.83
L19	S2°02'56"E	21.50
L20	S2°05'11"W	13.00
L21	S3°31'11"W	13.02
L22	N15°34'24"W	102.21
L23	S52°47'40"W	40.51
L24	N49°20'38"E	35.57
L25	N18°10'33"W	71.68
L26	S22°10'25"W	38.71
L27	N0°37'07"E	13.00
L28	N1°35'06"W	13.01
L29	N1°40'48"W	13.01
L30	N0°26'59"W	15.00
L31	N5°13'25"E	31.09
L32	N28°32'17"W	42.87
L33	S63°13'35"E	23.17
L34	S49°56'37"E	21.03
L35	N75°07'54"E	28.91
L36	S89°22'57"E	18.88
L37	S89°22'57"E	15.00
L38	S89°22'57"E	15.00
L39	S89°22'57"E	15.00
L40	S89°22'57"E	15.00
L41	S0°37'03"W	13.00
L42	S0°37'03"W	13.00
L43	S0°37'03"W	13.00
L44	S0°37'03"W	13.00
L45	S0°37'03"W	13.00
L46	S0°37'03"W	20.00
L47	N0°37'03"E	26.00
L48	N0°37'03"E	26.00
L49	S14°07'03"W	26.00
L50	S0°37'03"W	13.00
L51	S0°37'03"W	13.00
L52	S0°37'03"W	13.00
L53	S0°37'03"W	13.00
L54	S0°37'03"W	13.00
L55	S0°37'03"W	13.00
L56	S0°37'03"W	13.00
L57	S0°37'03"W	13.00
L58	S0°37'03"W	13.00
L59	S0°37'03"W	13.00

REVISIONS	
1	
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LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 50'
DATE:
5/24/2016

SOUTHWEST CORNER
SECTION 28,
T5S, R1W, SLB&M
(2009 UTAH COUNTY MONUMENT)



EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
 EAGLE MOUNTAIN, UTAH
OFFSITE SEWER PLAN

REVISIONS	
1	
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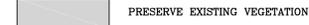
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2012-1845
 DRAWN BY:
BLS
 CHECKED BY:
GDM
 SCALE:
1" = 150'
 DATE:
5/24/2016

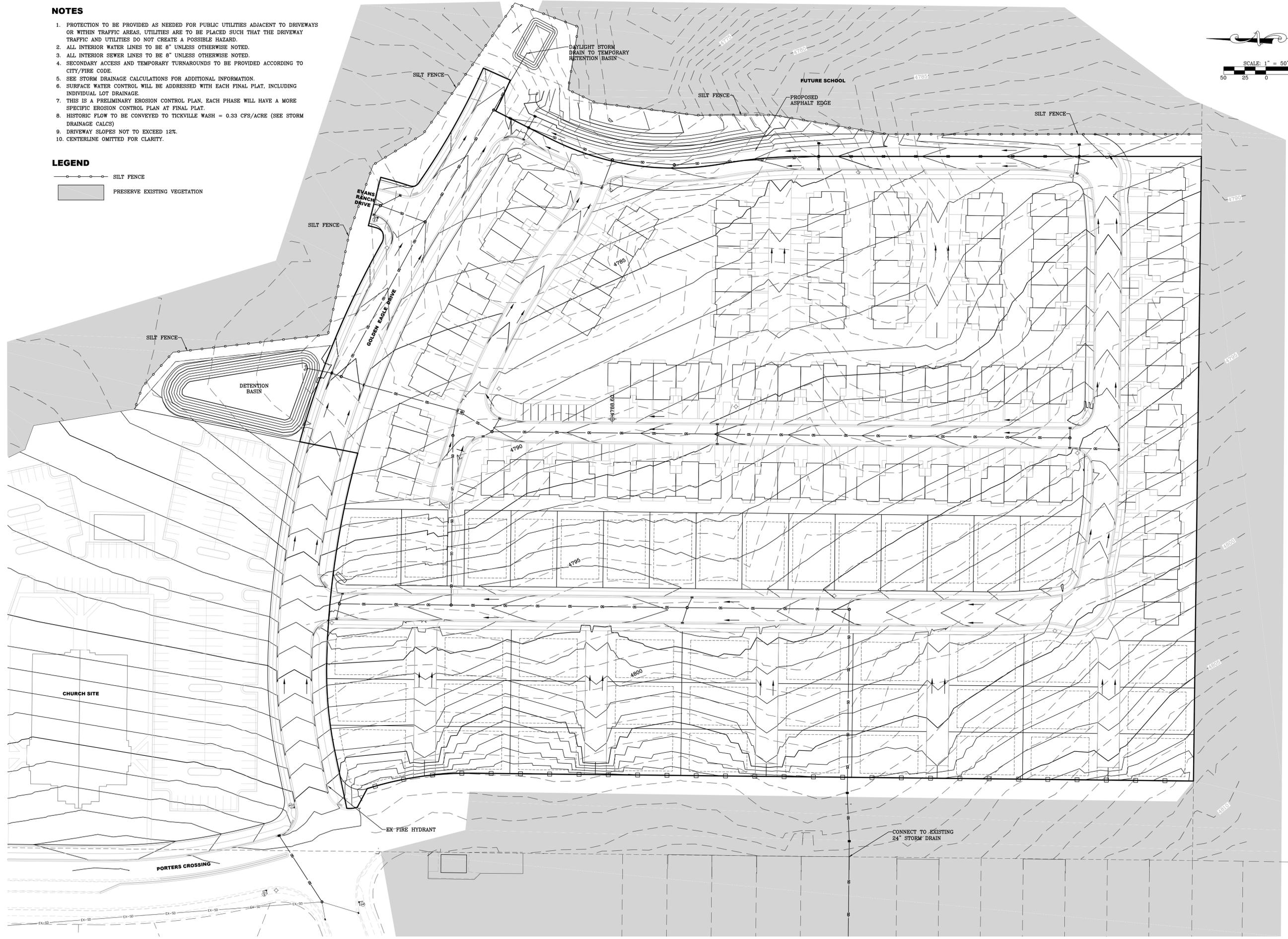
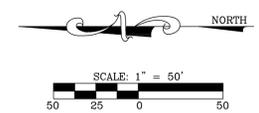
LEI PROJECT # 2012-1845, EAGLE MOUNTAIN, UTAH, PRELIMINARY PLAN, OFFSITE SEWER PLAN, SHEET 4 OF 4

NOTES

1. PROTECTION TO BE PROVIDED AS NEEDED FOR PUBLIC UTILITIES ADJACENT TO DRIVEWAYS OR WITHIN TRAFFIC AREAS. UTILITIES ARE TO BE PLACED SUCH THAT THE DRIVEWAY TRAFFIC AND UTILITIES DO NOT CREATE A POSSIBLE HAZARD.
2. ALL INTERIOR WATER LINES TO BE 8" UNLESS OTHERWISE NOTED.
3. ALL INTERIOR SEWER LINES TO BE 8" UNLESS OTHERWISE NOTED.
4. SECONDARY ACCESS AND TEMPORARY TURNAROUNDS TO BE PROVIDED ACCORDING TO CITY/FIRE CODE.
5. SEE STORM DRAINAGE CALCULATIONS FOR ADDITIONAL INFORMATION.
6. SURFACE WATER CONTROL WILL BE ADDRESSED WITH EACH FINAL PLAT, INCLUDING INDIVIDUAL LOT DRAINAGE.
7. THIS IS A PRELIMINARY EROSION CONTROL PLAN. EACH PHASE WILL HAVE A MORE SPECIFIC EROSION CONTROL PLAN AT FINAL PLAT.
8. HISTORIC FLOW TO BE CONVEYED TO TICKVILLE WASH = 0.33 CFS/ACRE (SEE STORM DRAINAGE CALCS)
9. DRIVEWAY SLOPES NOT TO EXCEED 12%.
10. CENTERLINE OMITTED FOR CLARITY.

LEGEND

-  SILT FENCE
-  PRESERVE EXISTING VEGETATION



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ENGINEERS
SURVEYORS
PLANNERS
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 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com

EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
 EAGLE MOUNTAIN, UTAH
GRADING & EROSION CONTROL PLAN

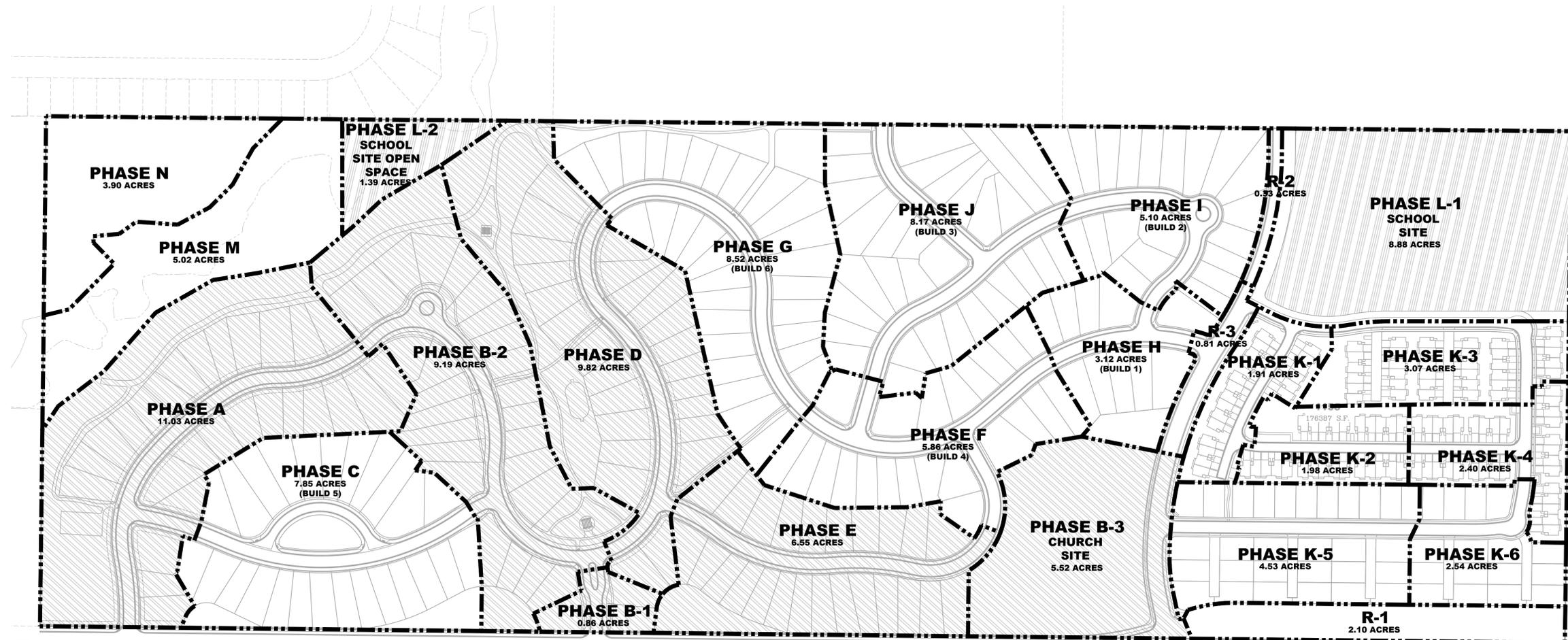
NO.	REVISIONS
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LEI PROJECT #:
2012-1845
 DRAWN BY:
BLS
 CHECKED BY:
GDM
 SCALE:
1" = 50'
 DATE:
5/24/2016



**ENGINEERS
SURVEYORS
PLANNERS**

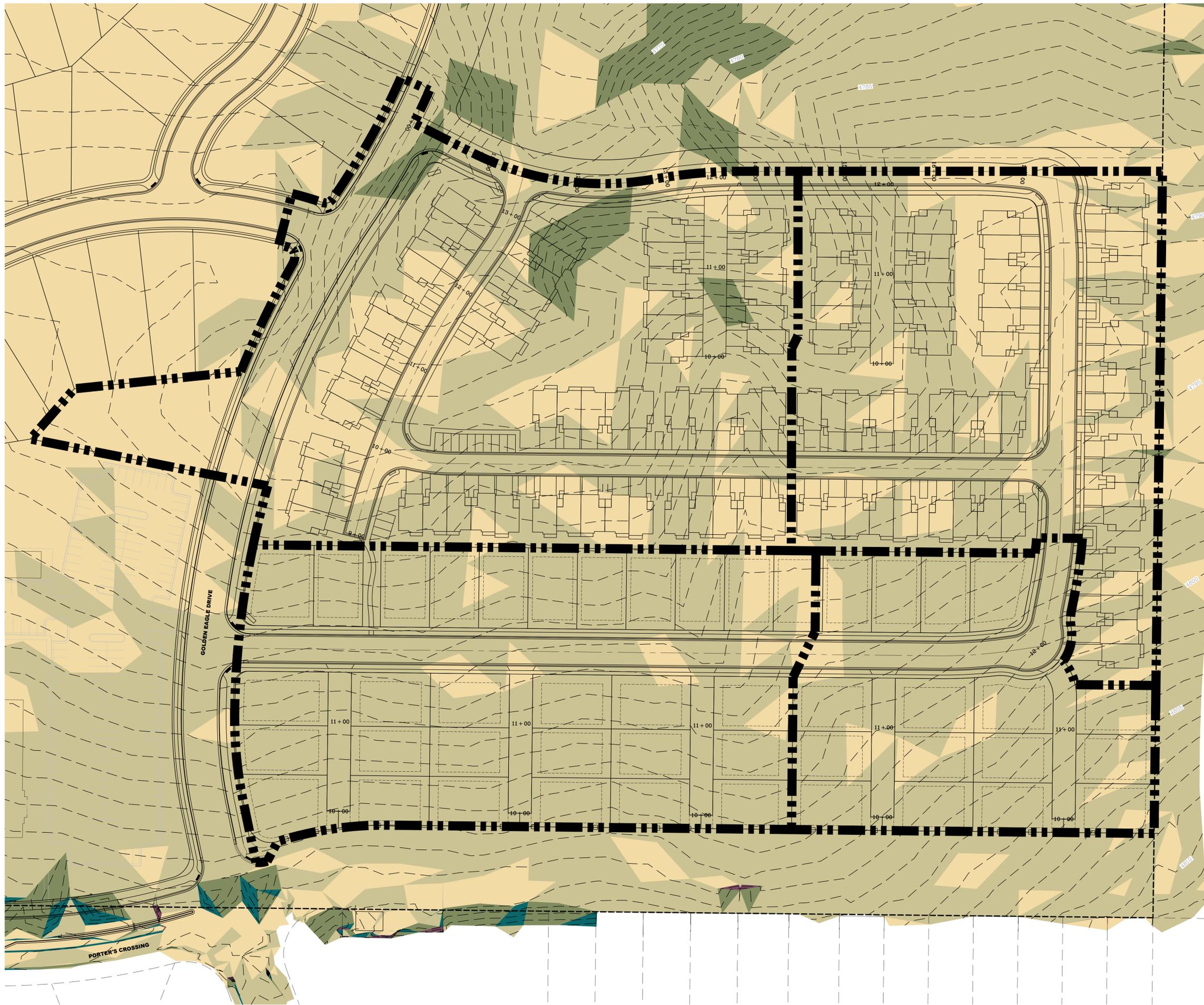
3302 N. Main Street
Spanish Fork, UT 84660
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Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



**EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
EAGLE MOUNTAIN, UTAH
PHASING PLAN**

REVISIONS	
1	
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LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 150'
DATE:
5/24/2016



SLOPE: 30.0%+	0.64 ACRES
SLOPE: 15.0-30.0%	2.17 ACRES
SLOPE: 8.0-15.0%	3.81 ACRES
SLOPE: 3.0-8.0%	7.58 ACRES
SLOPE: 0-3.0%	20.56 ACRES

LEGEND



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**EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
EAGLE MOUNTAIN, UTAH**

SLOPE ANALYSIS

REVISIONS

1	
2	
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4	
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LEI PROJECT #:
2012-1845

DRAWN BY:
BLS

CHECKED BY:
GDM

SCALE:
1" = 50'

DATE:
5/24/2016

SHEET

LEI PROJECT # 2012-1845, EAGLE MOUNTAIN, UTAH. PRELIMINARY PLAN. SLOPE ANALYSIS. SHEET 7 OF 7. DATE 5/24/2016.



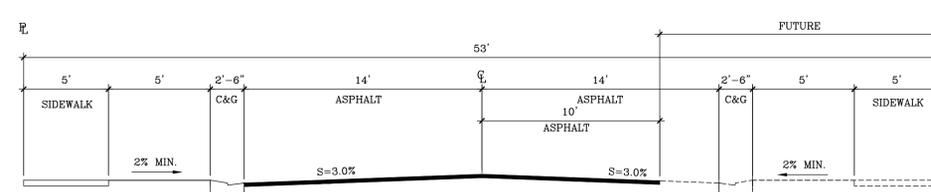
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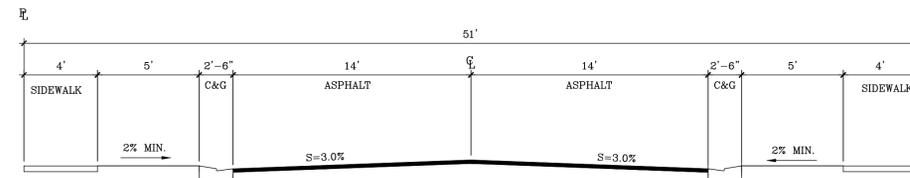
**EVANS RANCH COTTAGE LOTS & TOWNHOMES
PRELIMINARY PLAN
EAGLE MOUNTAIN, UTAH**

DETAILS

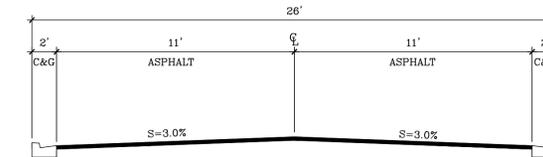
SEE EAGLE MOUNTAIN CONSTRUCTION SPECIFICATION AND STANDARDS FOR FURTHER UTILITY DETAILS



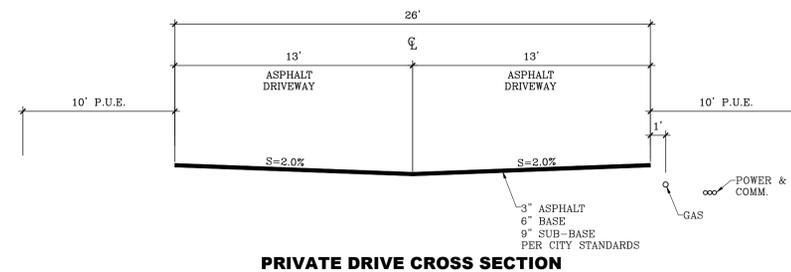
1 53' RIGHT-OF-WAY (LOCAL PUBLIC) - (SEEDLING DRIVE)



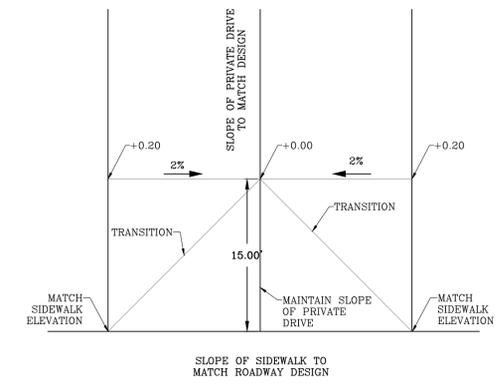
2 51' RIGHT-OF-WAY (LOCAL PUBLIC) - (CHAFF DRIVE, WATERMILL DRIVE)



3 26' PRIVATE STREET - (HILL VIEW DRIVE, MEADOW FIELD DRIVE)

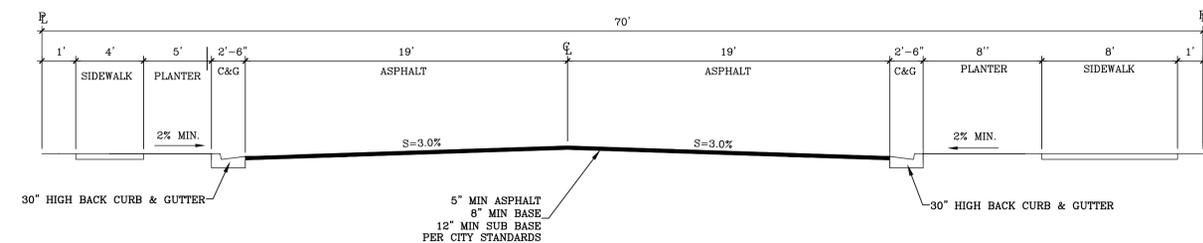


PRIVATE DRIVE CROSS SECTION



**PRIVATE DRIVE TYPICAL
APPROACH TRANSITION**

**4 26' PRIVATE DRIVEWAY CROSS SECTION & TYPICAL APPROACH TRANSITION
(GROUNDNUT WAY, GRASSLAND WAY, FURROW WAY, DRYLAND WAY, GOOSEGRASS WAY, PADDOCK WAY, CLOVERPATCH WAY)**



5 70' RIGHT-OF-WAY (MINOR COLLECTOR) - (GOLDEN EAGLE DRIVE)

REVISIONS	
1	
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LEI PROJECT #:
2012-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
NOTED
DATE:
5/24/2016
SHEET



Think

Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

5151 South 900 East, Suite 200
Salt Lake City, UT 84117
Ph: 801.269.0055
Fax: 801.269.1425
www.thinkaoc.com

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These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



UNIT SUMMARY

TYPE	# bd	#ba	#gar	sq. ft.	Total Units
A	3	2	2	1441	111
B	-	-	-	1360	-

TOTAL UNITS

111

PARKING SUMMARY

LOCATION	# STALLS
GARAGE STALLS	222
SURFACE STALLS	40
DRIVEWAY STALLS	222
TOTAL STALLS	480
STALLS/UNIT	4.32

AREA SUMMARY

AREA	ACRES	%
PROPERTY BOUNDARY	9.5	100%
ROADS/DRIVEWAYS/PKG	2.9	30.5%
BUILDINGS	2.8	29.5%
LANDSCAPING/WALKS	4	40%

NOTE:
CONSTRUCTION TYPE
(VB - NON SPRINKLERED)

SITE PLAN
SCALE: 1" = 40'-0"



FOR REVIEW - NOT FOR CONSTRUCTION

PROJECT NO. 16059
DATE: 02 JUNE, 2016
REVISIONS:
SHEET TITLE: EVANS-RANCH MASTER-PLAN
SHEET NUMBER:

DAI UTAH
EVANS RANCH
EAGLE MOUNTAIN, UTAH

A 100

LEGEND		
COMMON NAME	QTY	BOTANICAL NAME
FLOWER GRASS		
GRASS FORSTER'S FEATHER REED	60	CALAMAGROSTIS X ACUTIFLORA
FLOWER PERENNIAL		
DAYLILY STELLA	65	HEMEROCALLIS HYBRID
SURUB DC. COVILIS		
BARBERY CRIMSON PYQNY	24	Berberis thunbergii crimson pyqny (atropurpurea)
BURNING BUSH DIVARF	25	Solanum elaeagnifolium
BUTTERFLY BUSH PINK DELICIT	58	Buddleia davidii pink delicit
DOGWOOD VAREGATED RED TWIG	58	Cornus sericea bailey's
DOGWOOD VAREGATED RED TWIG	109	Cornus alba elegantissima
POTENTILLA SPRING CHORLEAF	86	Potentilla heilmanniana
SPRUEA GOLDFLAME	2	Spirea bumalda goldflame
SURUB EVERGREEN CONFER		
YELW DENIFORMS PAM PAM	28	Taxus media deniforms
YELW DENIFORMS	8	Taxus deniforms
TREE CORONIS		
ASH FALL	9	Fraxinus americana
ASH LITTLELEAF	2	Fraxinus greggii
BEECH TREASURE	7	Fagus sylvatica treasure
GRAB PRUNE TREE	36	Mallus spprache tree
GRABAPPLE SPRING SNOW	32	Mallus x spring snow
LINDEN GREENSPRE	6	Tilia cordata greenspre
LIGUST SKYLINE	9	Ligustrum truncatum skyline
PEAR QUANTILEER	6	Pyrus calleryana quantileer
PLANT TREE LINDEN LIBERTY	5	Platanus x acerifolia liberty
TREE EVERGREEN		
PINE AUSTRALIAN BOLSUI	20	Pinus miza

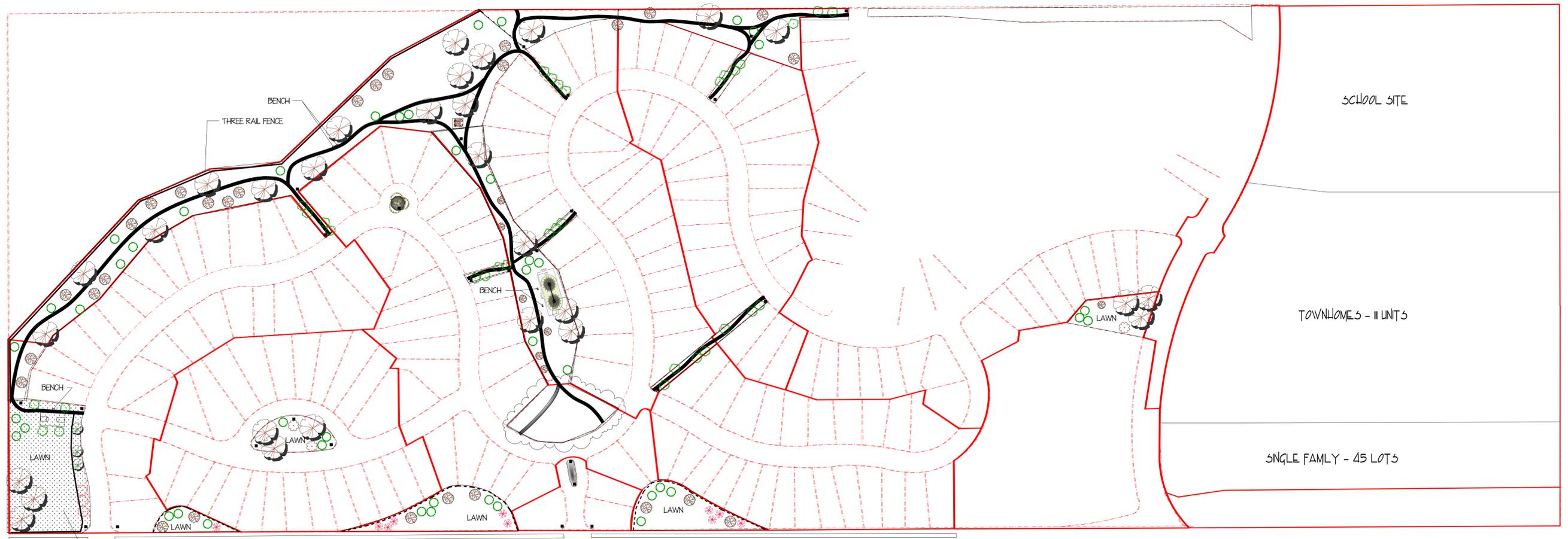


Revision #:
Date: 6/29/2016

Scale:
1" = 30'

EVANS RANCH TOWNHOMES LANDSCAPE PLAN





PUBLIC OPEN SPACE 147 ACRES

SINGLE FAMILY - 252 LOTS
PRIVATE OPEN SPACE 103 ACRES

SUMMARY TABULATIONS

SINGLE FAMILY - 252 TOTAL LOTS
TOWNHOMES - 11 UNITS
COTTAGE HOMES - 45 UNITS
OPEN SPACE REQUIRED - 937 ACRES
SINGLE FAMILY PUBLIC OPEN SPACE - 147 ACRES
SINGLE FAMILY PRIVATE OPEN SPACE - 103 ACRES
SINGLE FAMILY TOTAL OPEN SPACE PROVIDED = 125 ACRES
TOWNHOMES OPEN SPACE PROVIDED = 54 ACRES

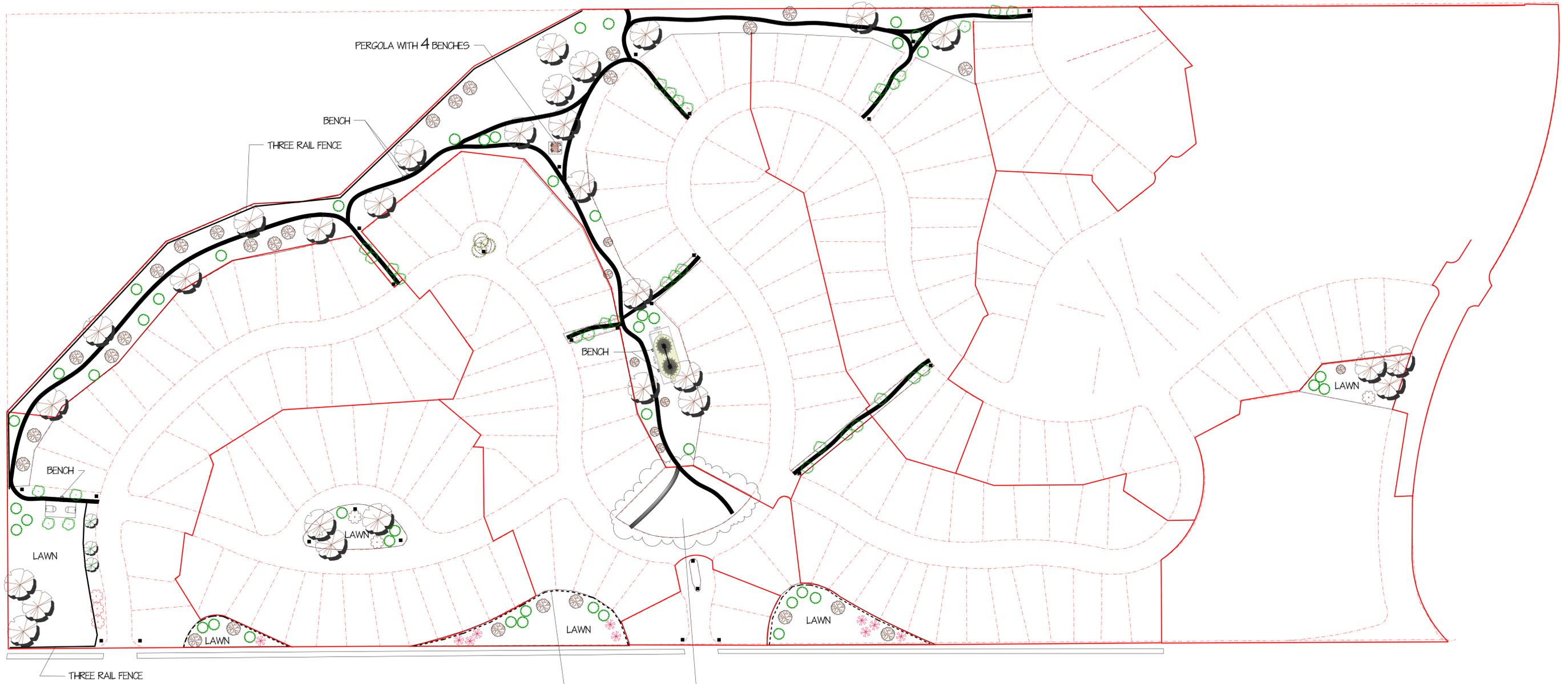
Revision #:

Date: 6/29/2016

Scale:

1/128" = 1'

EVANS RANCH PARK PLAN
SHEET 1 OF 3



SEE SHEET #3 FOR DETAIL AND TREE COUNT IN THIS AREA

POINT TABLE

FEATURE	POINTS AVAILABLE	QUANTITIES	PROPOSED POINTS
BENCH / SHADE STRUCTURE	2	10	20
SHADE STRUCTURE	4	2	8
1/2 CONCRETE BASKETBALL COURT	20	2	40
TREES (5)	2	195	78
ASPHALT TRAILS 8' WIDE PER 100'	6	5573	334.38
PLAYGROUND EQUIPMENT PER \$1,000.00	2.5	\$80,000	160
LIGHT BOLLARDS		39	19.5
TOTAL			659.88

OPEN SPACE POINT TABULATION

408 UNITS WITH TOWNHOMES = 9.37 ACRES REQUIRED OPEN SPACE
 9.37 ACRES REQUIRED AT 100 POINTS PER ACRE = 937 POINTS
 SINGLE FAMILY SITE PROVIDING 651.88 POINTS
 TOWNHOME SITE PROVIDING 390.46 POINTS
 TOTAL POINTS 1042.34 POINTS

LEGEND

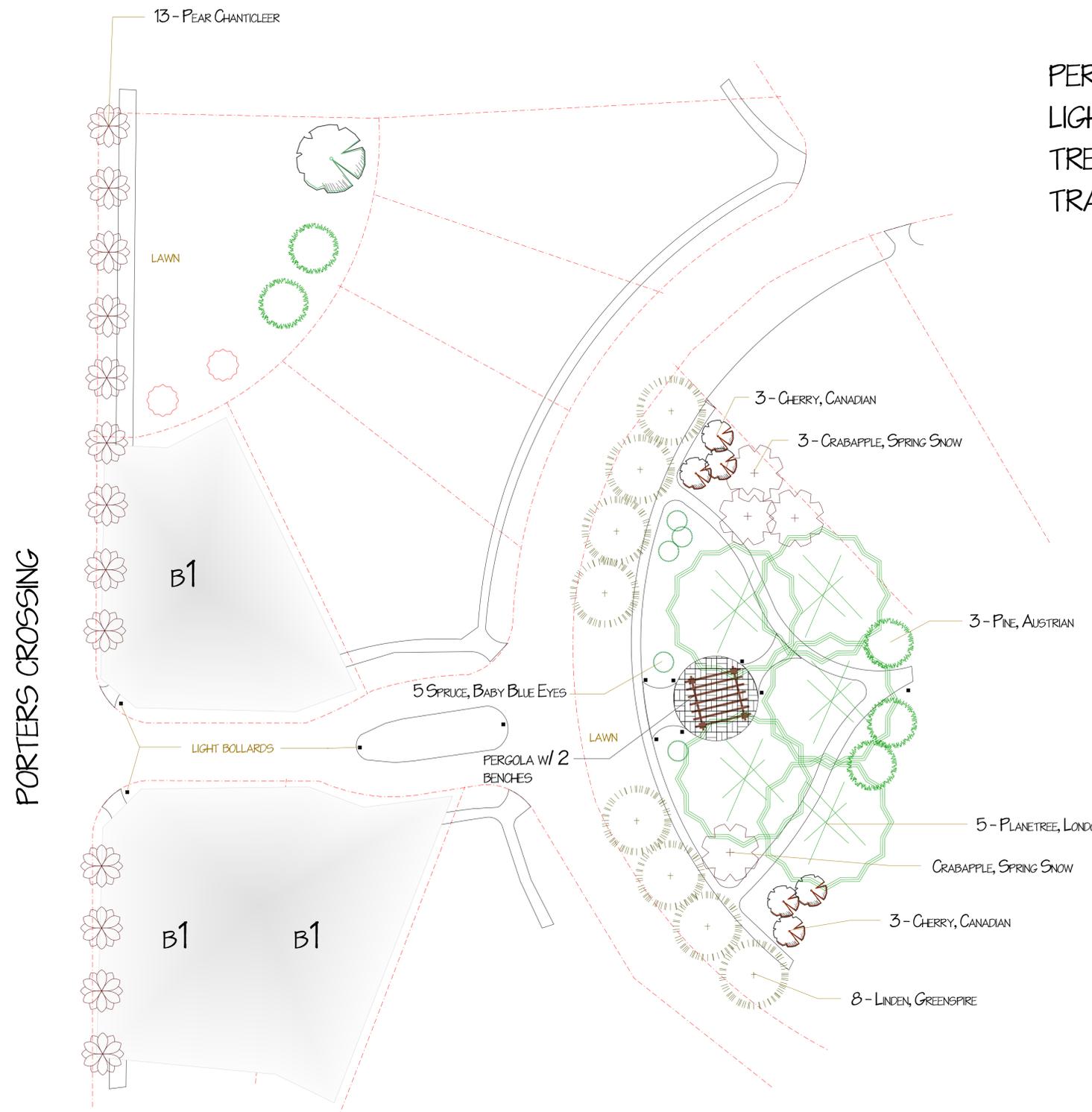
COMMON NAME	QTY	BOTANICAL NAME
TREE, DECIDUOUS		
CRABAPPLE, PRAIRIE FIRE	10	MALUS 'PRAIRIEFIRE'
CRABAPPLE, ROYALTY	3	MALUS X 'ROYALTY'
CRABAPPLE, SPRING SNOW	3	MALUS X 'SPRING SNOW'
LINDEN, GREENSPIRE	3	TILIA CORDATA 'GREENSPIRE'
LOCUST, SHADEMASTER	35	GLEDITSIA TRIACANTHOS 'SHADEMASTER'
PEAR, CALLERY, CHANTICLEER	33	PYRUS CALLERYANA 'CHANTICLEER'
PLANE TREE, LONDON BLOODGOOD	29	PLATANUS X ACERFOLIA 'BLOODGOOD'
WASHINGTON HAWTHORN	3	CRATAEGUS PHAENOPYRUM
TREE, EVERGREEN		
PINE, AUSTRIAN	45	PINUS NIGRA

Revision #:
Date: 6/29/2016

Scale:
1" = 100'

EVANS RANCH PARK PLAN
SHEET 2 OF 3





- AMENITY POINT FEATURES
- PERGOLA SHADE STRUCTURE WITH BENCHES
 - LIGHT BOLLARDS
 - TREES
 - TRAIL

Revision #:
Date: 6/30/2016

Scale:
1" = 30'

EVANS RANCH PARK PLAN
SHEET 3 OF 3



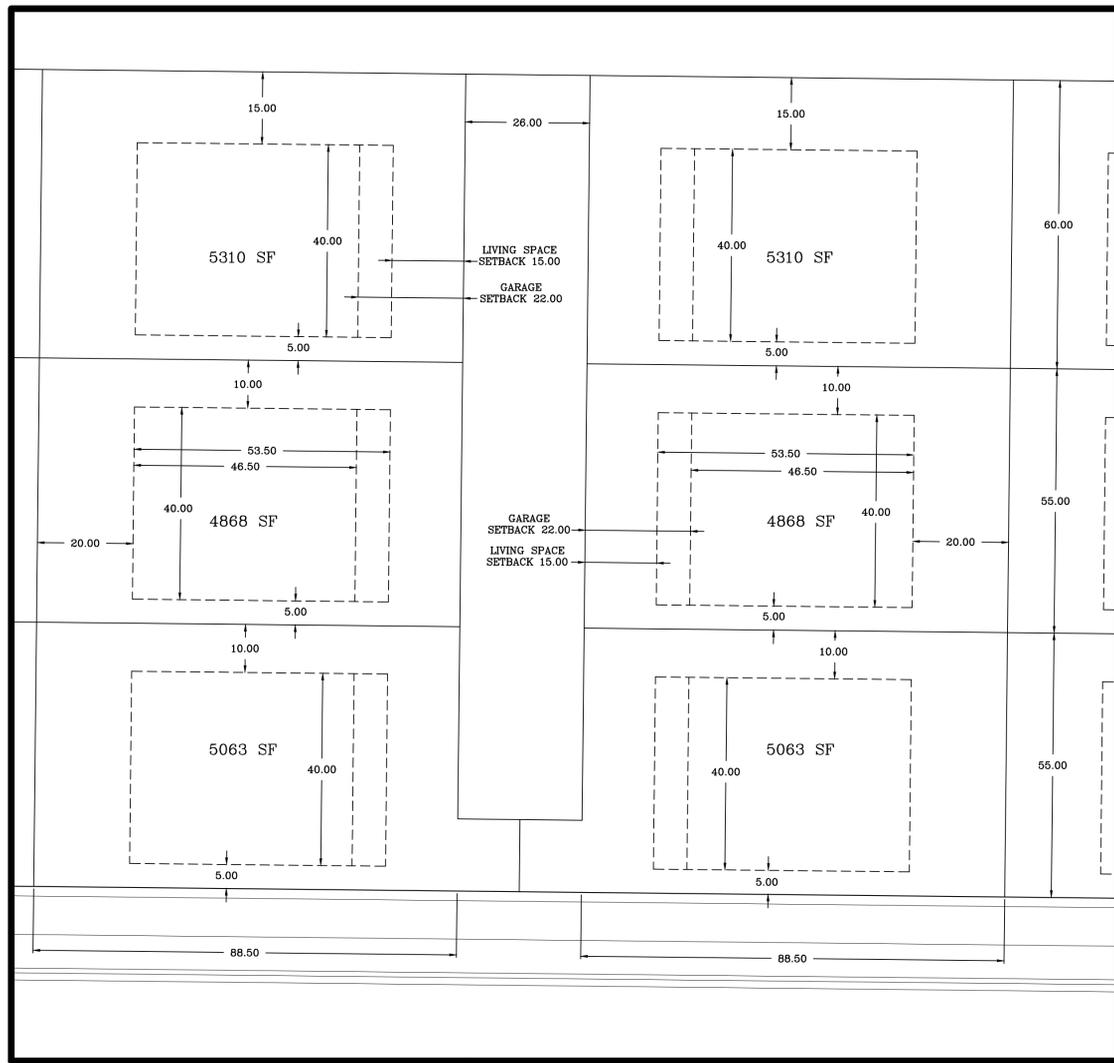


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**NOT FOR
CONSTRUCTION**

**EVANS RANCH
EAGLE MOUNTAIN, UTAH
COTTAGES LOT DETAIL**



REVISIONS	
1 -	
2 -	
3 -	
4 -	
5 -	

LEI PROJECT #:
2012-1845

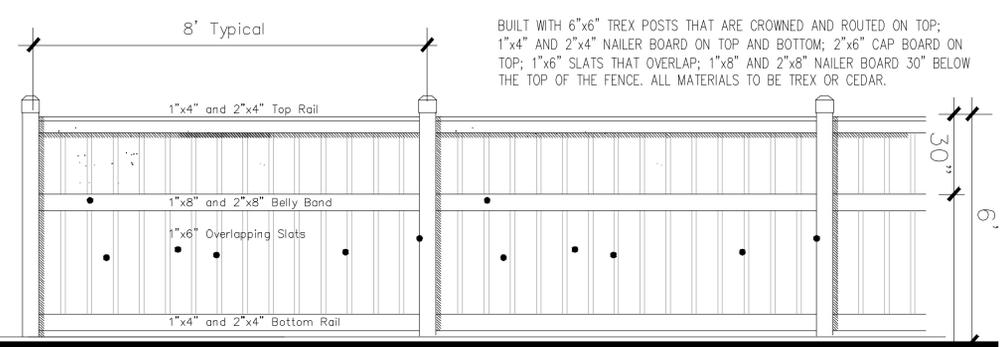
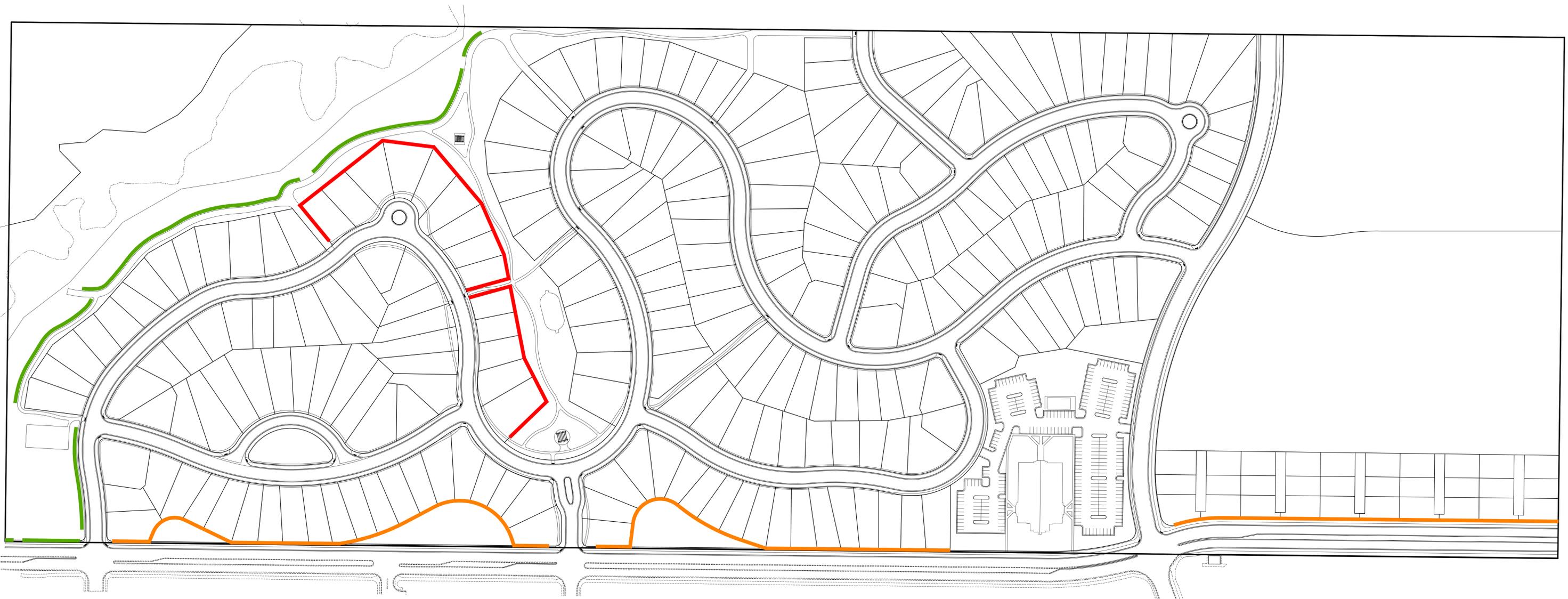
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BLS

CHECKED BY:
NKW

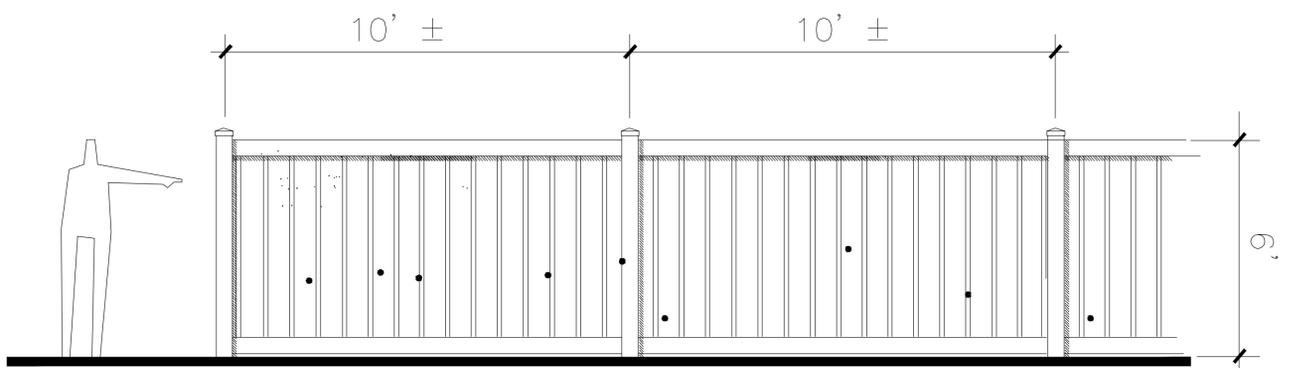
SCALE:
1" = 60'

DATE:
2/25/2016

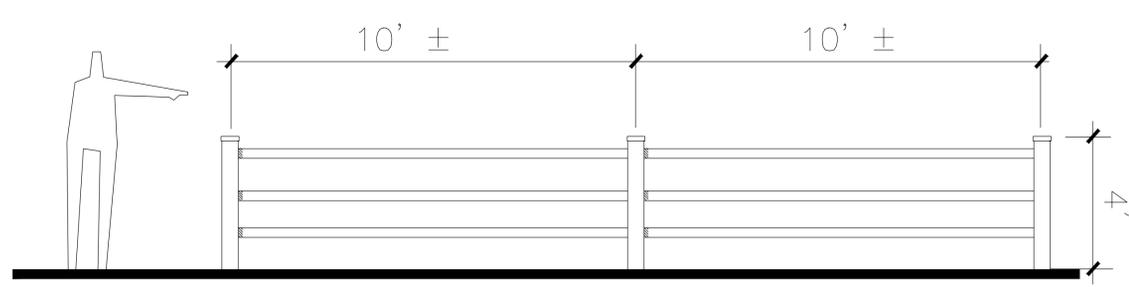
SHEET
1



— Estate Fence



— 6' Vinyl Fence (Tan)



— Split-rail Fence (3-rail)

**SECOND AMENDMENT TO
EVANS RANCH MASTER
DEVELOPMENT AGREEMENT**

THIS SECOND AMENDMENT TO EVANS RANCH MASTER DEVELOPMENT AGREEMENT (“*Amendment*”) is made and entered into effective as of the ____ day of _____, 2016, by and between EAGLE MOUNTAIN CITY, a Utah municipal corporation (“*City*”), and EVANS RANCH, LLC, a Utah limited liability company (“*Developer*”).

RECITALS:

A. The City and Developer (as successor in interest to and assignee of Eagle12, LLC) are parties to that certain Evans Ranch Master Development Agreement dated October 16, 2013, as amended by that certain First Amendment to Evans Ranch Master Development Agreement dated _____, 2016 (collectively, the “*Development Agreement*”). All capitalized terms not otherwise defined in this Amendment shall have the same meaning given to such terms in the Development Agreement.

B. The City and Developer desire to amend the Development Agreement pursuant to this Amendment to, among other things, update the Evans Ranch Master Development Plan Map and the Parks Map.

AMENDMENT:

NOW THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the City and Developer agree as follows:

1. Amendments to Densities and Use Provisions.

a. Exhibit 2 of the Development Agreement (as previously amended) is hereby deleted in its entirety, and Exhibit 2 attached to this Amendment is inserted in lieu thereof. The City and Developer acknowledge and agree that the Maximum Residential Units is by this Amendment and the attached Evans Ranch Master Development Plan Map is 408 dwelling units (including 297 single family and 111 townhome dwelling units).

b. The second sentence of Section 3.4.1 of the Agreement (as previously amended) is hereby deleted, and the following is inserted in lieu thereof:

“Nevertheless, with each preliminary plat application, Developer shall designate the chosen bonus density improvements, as depicted in the following tables, to equal 3.02 du/ac for the single-family areas and 11.80 du/ac for the townhome area; provided, however that nothing herein shall alter the requirements for Open Space identified in Section 6.3 below.”

2. Amendment to Parks Map. Exhibit 4 of the Development Agreement (as has previously been amended) is hereby deleted in its entirety, and Exhibit 4 attached to this Amendment is inserted in lieu thereof.

3. Amendment to Multi-Family Design. Exhibit 7 of the Development Agreement is hereby deleted in its entirety, and Exhibit 7 attached to this Amendment is inserted in lieu thereof.

4. Counterpart Signatures. This Amendment may be executed in counterparts, which, when compiled together shall constitute one and the same document. The exchange of electronic or facsimile copies of signatures to this Amendment shall for all purposes constitute original signatures.

5. Full Force and Effect. Except as expressly amended herein, the Development Agreement remains in full force and effect.

[Signatures on Next Page.]

IN WITNESS WHEREOF, the parties hereto have executed this Amendment effective as of the day and year first written above.

CITY:

EAGLE MOUNTAIN CITY, a Utah municipal corporation

ATTEST:

By: _____
Fionnuala B. Kofoed, City Recorder

By: _____
Christopher Pengra, Mayor

DEVELOPER:

EVANS RANCH, LLC, a Utah limited liability company

By: DAI Managers, LLC, a Utah limited liability company, its Manager

By: _____
Nathan D. Shipp, Manager

1377982

EXHIBIT 2

MASTER DEVELOPMENT PLAN MAP

See attached.

EXHIBIT 4

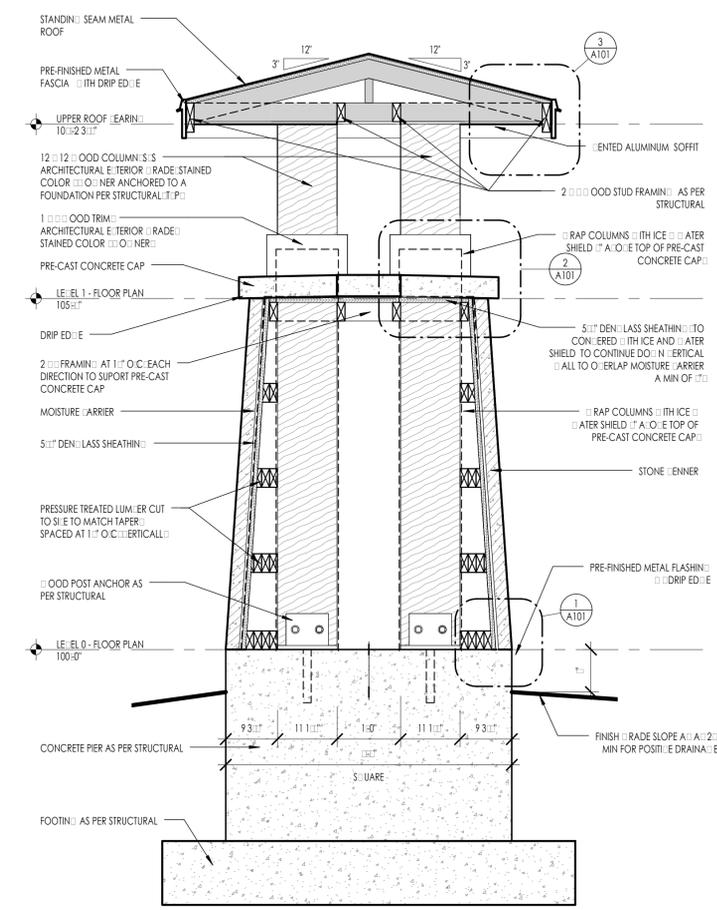
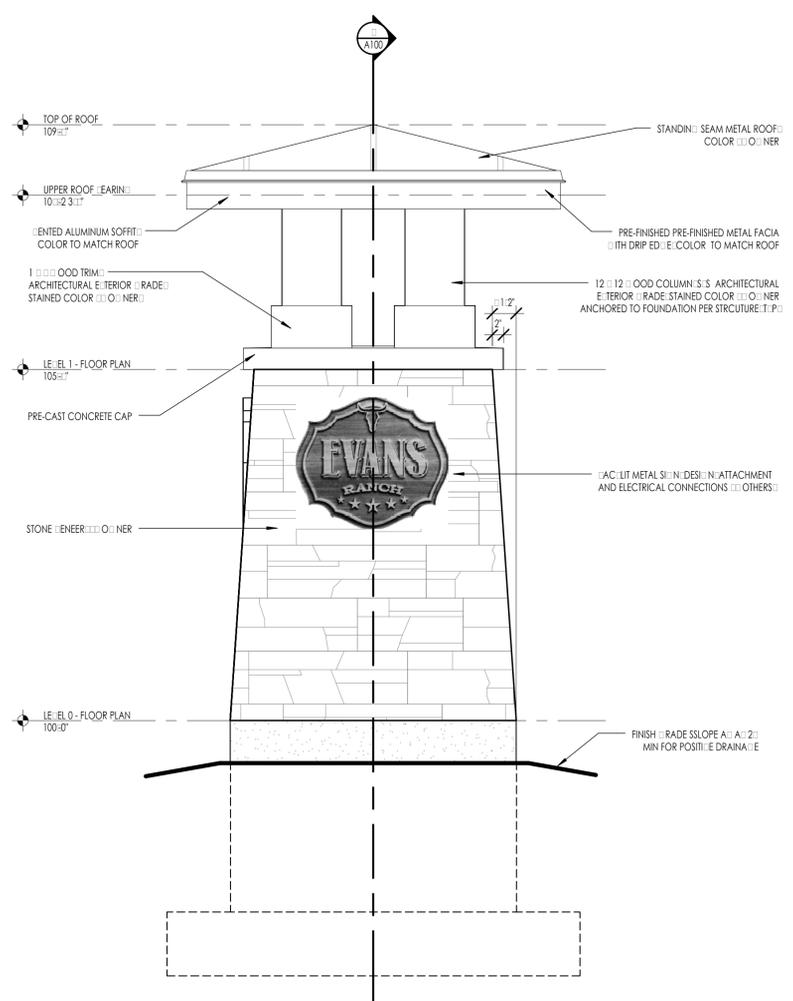
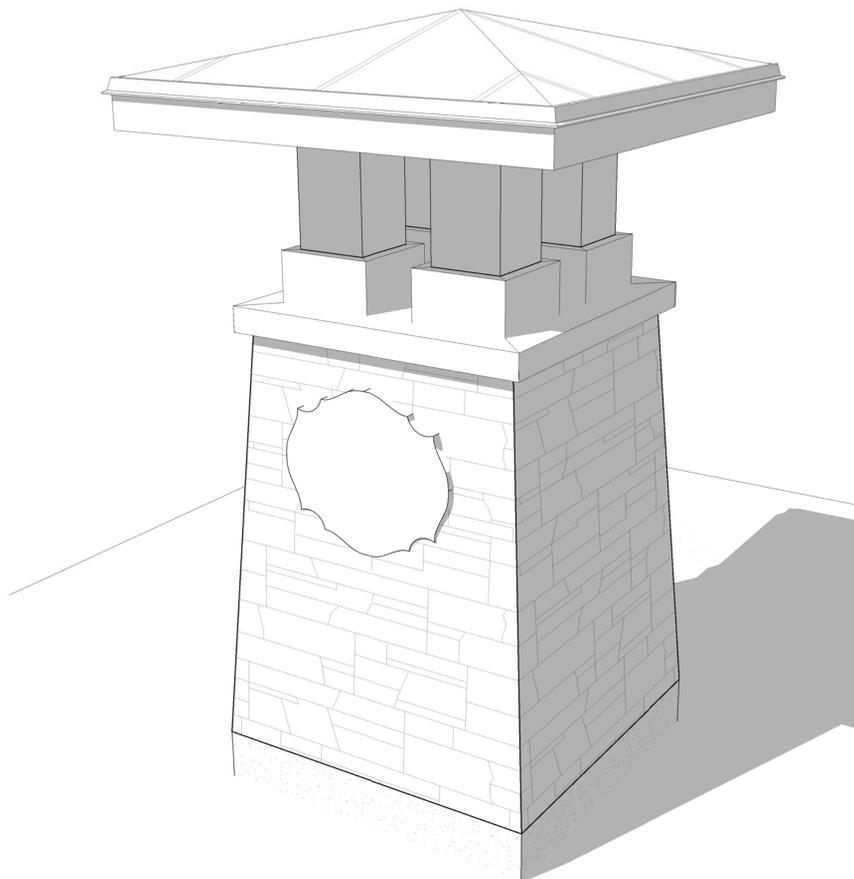
PARKS MAP

See attached.

EXHIBIT 7

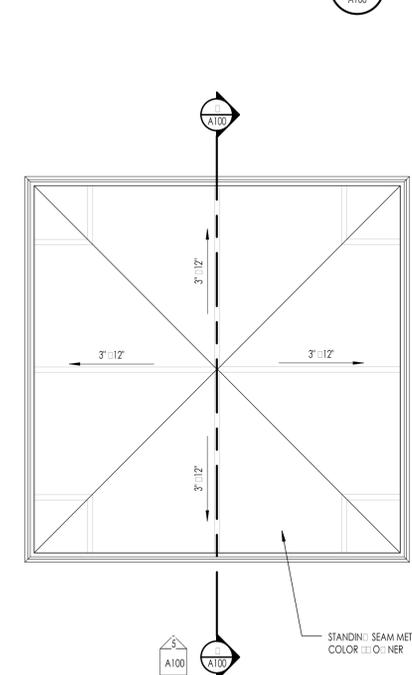
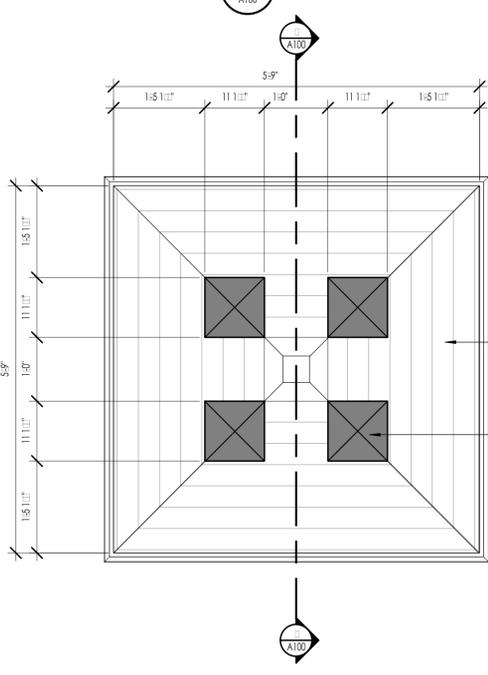
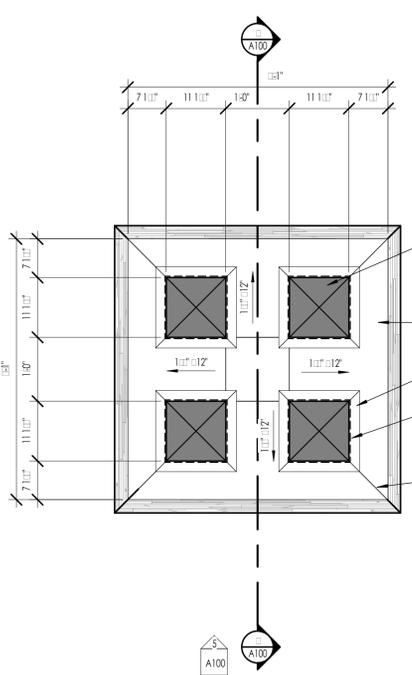
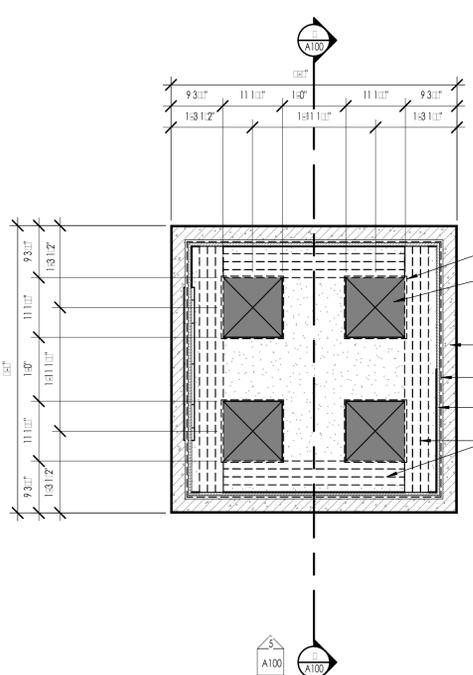
MULTI-FAMILY DESIGN

See attached.



SOUTH ELEVATION
3'-11" x 1'-0"

ENTRANCE MONUMENT SECTION
3'-11" x 1'-0"



LEVEL 0 - FLOOR PLAN
3'-11" x 1'-0"

1
A100

LEVEL 1 - FLOOR PLAN
3'-11" x 1'-0"

2
A100

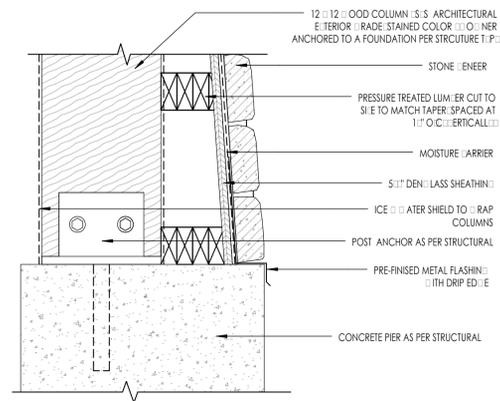
LEVEL 1 - REFLECTED CEILING PLAN
3'-11" x 1'-0"

3
A100

UPPER ROOF EAVES
3'-11" x 1'-0"

A100

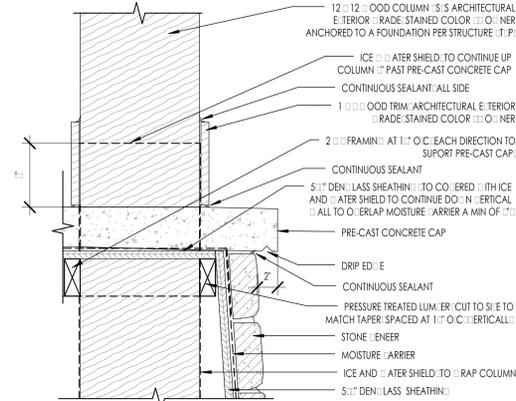
5/11/2011 2:22:11 PM



CONCRETE PIER AND FLASHING DETAIL

1 1/2" = 1'-0"

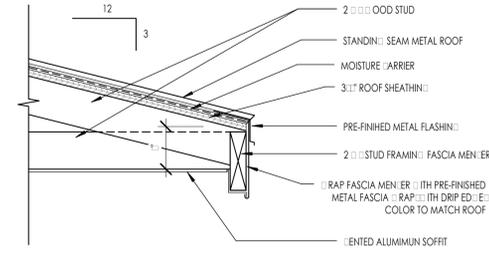
1
A101



PRE-CAST CONCRETE CAP DETAIL

1 1/2" = 1'-0"

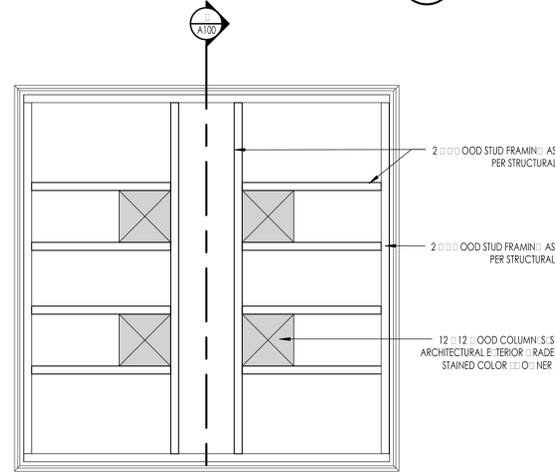
2
A101



ROOF EAVE DETAIL

1 1/2" = 1'-0"

3
A101



ROOF FRAMING PLAN

3/16" = 1'-0"

4
A101



EAGLE MOUNTAIN CITY
Planning Commission Staff Report

JULY 12, 2016

Project: Development Code Amendments: Chapter 17.54 (Extractive Industries Overlay Zone)
Applicant: City Staff
Type of Action: Action Item (Recommendation to the City Council); Public Hearing

Background

Recent concerns with the Extractive Industries Overlay Zone have been discussed in various City Council and Planning Commission meetings, resulting in the Staff desiring to mitigate future concerns by amending the code.

Proposed Amendments

The proposed Code amendment is provided below:

Chapter 17.54
EXTRACTIVE INDUSTRIES OVERLAY ZONE

Sections:

- [17.54.010 What this chapter does.](#)
- [17.54.020 Purpose and objective.](#)
- [17.54.030 Uses.](#)
- [17.54.040 Area requirements.](#)
- [17.54.050 Buffer and screening requirements.](#)
- [17.54.060 Permit application and reclamation plan.](#)

17.54.010 What this chapter does.

This chapter contains land use provisions that regulate mining and earth products extraction ~~asphalt or concrete production~~ on properties appropriately zoned.

17.54.020 Purpose and objective.

The purpose of the extractive industries overlay zone is to provide locational control over extractive uses, to promote the reclamation of these sites, and to provide proper buffering and protection for neighboring development and uses.

17.54.030 Conditional Uses.

In addition to the uses allowed in the base zone, the following uses are ~~permitted~~ conditional as long as the applicable development standards have been met and the potential negative impacts have been

addressed to the satisfaction of the Planning Commission and City Council in a mitigation and reclamation plan:

A. Earth products extraction;

~~B. Asphalt and concrete production.~~

17.54.040 Area requirements.

The minimum ~~lot area property required~~ for this overlay zone is 10 acres.

17.54.050 Buffer and screening requirements.

No new extraction or mining activities are permitted within 1,000 feet of property containing existing residential development. Rock crushers, shredders, batch plants, and other equipment that produces substantial noise are only permitted more than one-quarter mile or 1,320 feet from property containing residential development. Berms and/or landscaping may be required to buffer the equipment from neighboring properties and/or public roads. Lights must be directed in a way that will limit light pollution onto adjoining properties. ~~Flood lights or spot lights shining on the mountain are prohibited.~~

17.54.060 Permit application and reclamation plan.

An application for mining/extraction, ~~a mitigation and a~~ reclamation plan must be submitted for approval by the ~~Planning Commission and City Council~~ ~~city engineer and planning director~~ prior to any excavation or production work on the site, indicating ~~how potential negative impacts or nuisances will be mitigated and~~ how the site will be reclaimed upon completion of mining or production activities to allow for the productive and compatible reuse of the site. The ~~mitigation and~~ reclamation plan shall include the following items of information:

A. Phasing Plan. A plan showing the phasing of the excavation.

B. Grading Plan. A grading plan showing the final topography of the site upon completion of reclamation.

C. Supplemental runoff management plan/storm water pollution prevention plan.

D. Revegetation Plan. A revegetation plan, if applicable, indicating what planting will occur to reestablish vegetation on the site.

E. Drainage Plan. A drainage plan indicating the hydrological characteristics of the site after reclamation, including the creation/modification of floodplains or natural drainage channels.

F. Traffic Study. A traffic study detailing the impact of the traffic generated by the operation on city streets.

~~G. Fugitive Dust Control Plan. A plan or report indicating the type and frequency of dust mitigation measures to keep dust levels down as much as possible.~~

H. Noise Control Plan. A plan or report indicating planned hours of operation and measures to reduce or eliminate noise that affects public health, comfort, convenience, safety, or welfare of the residents of the city. Mining operations should never begin prior to 7 a.m. and never continue past 9:00 p.m., unless given temporary approval by the City Council.

I. Lighting Plan. A plan indicating necessary lighting for the success of the business, and how the lights will be generally compliant with EMMC 17.56 Outdoor Lighting or dark sky best practices.

G. Financial Analysis. A financial analysis detailing all the costs of the reclamation plan.

H. Financial Security. Financial security, in a form and amount reasonably acceptable to the city, as determined by the city engineer, to assure the implementation of the reclamation plan. The security shall be released upon completion of reclamation or rehabilitation of the site. The security shall be forfeited to the city in the event of noncompliance.

I. Reclamation shall take place on or before one year after the date of cessation of operations or one year after the last date that any earth product materials are extracted from the site.

If the Utah Division of Oil, Gas, and Mining requires a reclamation plan and financial security or bond for the project/operation, this plan and evidence of a bond may be submitted to the city in lieu of **some of** the requirements listed above. [Ord. O-08-2012 § 2 (Exh. A)].