



Planning Commission Meeting

Thursday, July 14, 2016

Meeting held at the Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs

AGENDA

Commencing at 6:30 P.M.

1. Pledge of Allegiance.
2. Roll Call.
3. Public Input – Time has been set aside for any person to express ideas, concerns, comments, questions or issues that are not listed on the agenda. Comments are limited to three minutes.
4. Public Hearing: proposed Code Amendments, Title 19, including changes to Open Space, Zoning, Supplementary Regulations, Landscaping and Fencing, Parking, Conditional Uses, Signs, and other changes, City initiated. – Presented by Planning Director Gabryszak.
5. Work Session: Wildflower Village Plan 1, located west of Harvest Hills, DAI applicant. – Presented by Planning Director Gabryszak.
6. Approval of Minutes:
 - a. June 23, 2016
7. Reports of Action
8. Commission Comments
9. Director's Report:
 - a. Council Actions
 - b. Applications and Approval
 - c. Upcoming Agendas
 - d. Other
10. Possible Motion to enter into closed session for the purchase, exchange, or lease of property, pending or reasonably imminent litigation, the character, professional competence, the deployment of security personnel, devices or systems or the physical or mental health of an individual.
11. Adjourn.

PLEASE NOTE: The order of items may be subject to change with the order of the planning commission chair. One or more members of the Commission may participate electronically via video or telephonic conferencing in this meeting.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting should notify the City Recorder at 766-9793 at least one day prior to the meeting.



Planning Commission Staff Report

Code Amendments

Title 19 Multiple Sections

Thursday, July 14, 2016

Public Hearing

Report Date:	Thursday, July 7, 2016
Applicant:	City Initiated
Previous Meetings:	Planning Commission Work Sessions 6/9/2016 and 6/23/2016
Land Use Authority:	City Council
Future Routing:	Public Hearing(s) with City Council
Author:	Kimber Gabryszak, Planning Director

A. Executive Summary:

A Land Development Code is a living, breathing document, that often requires updates for additional clarity and effectiveness, to remove inconsistencies and typos, to reflect new “best practices” in Planning, and to address changes in the economy or community needs. The Planning Department keeps a running list of minor and major changes that are needed to achieve the above goals, and has a goal of adopting amendments approximately four times a year to keep the Code current. The Planning Department has also, with the aid of a previous Code Update Subcommittee of the Planning Commission and City Council, identified several major policy updates to adopt as appropriate in the coming years. This current Code amendment package contains primarily smaller updates to INSERT PHRASE...

Recommendation:

Staff recommends that the Planning Commission conduct a public hearing, take public comment, discuss the proposed amendments, and vote to forward a positive recommendation to the City Council on all or some of the amendments with or without modifications, as outlined in Section H of this report. Alternatives include continuance to a future meeting or a negative recommendation for all or some of the amendments.

B. Background:

Staff has assembled the attached package of amendments to remove several inconsistencies (e.g. parking requirements), clarify several standards (e.g. parallel fencing and wire fencing), correct unintended consequences from previous amendments. (e.g. ice cream trucks in neighborhoods), reduce requirements for homeowners (e.g. backyard development), and add standards for electronic and special event signage.

The Planning Commission held work sessions on June 9, 2016 and June 14, 2016, and discussed the code language. The Commission gave direction on several changes, which have been incorporated into the attached draft Code.

C. Specific Request: The proposed amendment is summarized below, with details in Exhibit 1.

- 19.02. Definitions.
 - Add definition for “protective ground cover” to accompany changes to 19.06
- 19.04. Zone Districts.
 - Postponed to accompany Fall 2016 amendments
- 19.05. Supplementary Regulations.
 - Clarify that Ice Cream Trucks are allowed in residential zones
 - Clarify standards for wireless telecommunications towers
- 19.06. Landscaping. (And 19.02, definitions)
 - Clarify landscaping requirements for backyards, to reduce requirements.
 - Clarify parallel fencing prohibition
- 19.09. Parking:
 - Clarify requirements for covered parking for multi-family development
 - Correct parking requirements for Mixed Use and similar zones that the parking requirement for commercial uses is based on square footage, but the parking requirement for residential uses is based on the number of dwellings
- 19.14. Site Plans:
 - Clarify access width language
- 19.15. Conditional Uses:
 - Remove requirement to protect viewsheds
- 19.18. Signs:
 - Create provision for electronic signs in limited circumstances
 - Create provision for directional signage for approved special events
 - Create signage standards for parks and trails

The Planning Commission also reviewed additional amendments in their June work sessions, which will be reviewed in upcoming meetings and hearings with the goal of adoption by early fall 2016:

- 19.04, Zoning:
 - overhaul and reformat
 - reduce commercial setback requirements
 - remove open space requirements as they will be addressed in the new open space chapter
 - add Community Commercial zone
 - clarify ERU application to residential uses and non-residential uses
- Rezones: rezone schools and churches and public facilities to the Institutional / Civic zone
- 19.12. Subdivisions:
 - Implement requirement to bury canals
 - Clarify requirement to underground utilities
- 19.tbd. New Design Standards chapter
 - Assemble all design standards from other code sections in one location
 - Update and relocate current Architectural Design Standards
- 19.tbd. New Open Space chapter
 - Replace current OS standards with requirement for “park” space per residential unit

D. Process: Section 19.17.03 of the Code outlines the process and criteria for an amendment:

1. The Planning Commission shall review the petition and make its recommendation to the City Council within thirty days of the receipt of the petition.
Complies. There is no application as this is City initiated, and is being presented to the Commission for a recommendation.

2. The Planning Commission shall recommend adoption of proposed amendments only where it finds the proposed amendment furthers the purpose of the Saratoga Springs Land Use Element of the General Plan and that changed conditions make the proposed amendment necessary to fulfill the purposes of this Title.
Complies. Please see Sections F and G of this report.

3. The Planning Commission and City Council shall provide the notice and hold a public hearing as required by the Utah Code. For an application which concerns a specific parcel of property, the City shall provide the notice required by Chapter 19.13 for a public hearing.
Complies. Please see Section E of this report.

4. For an application which does not concern a specific parcel of property, the City shall provide the notice required for a public hearing except that notice is not required to be sent to property owners directly affected by the application or to property owners within 300 feet of the property included in the application.
Complies. Please see Section E of this report.

E. Community Review: Per Section 19.17.03 of the City Code, this item has been noticed as a public hearing in the *Daily Herald*; as these amendments affect the entire City, no mailed notice was required. A public hearing with the City Council will be held and noticed at a later date.

F. General Plan:

Land Use Element – General Goals

The General Plan has stated goals of responsible growth management, the provision of orderly and efficient development that is compatible with both the natural and built environment, establish a strong community identity in the City of Saratoga Springs, and implement ordinances and guidelines to assure quality of development.

Staff conclusion: consistent. The proposed changes will still ensure quality of development, maintain community identity, ensure quality development through the maintenance of high standards, and require mitigation of impacts to existing development (the built environment).

G. Code Criteria:

Code amendments are a legislative decision; therefore the City Council has significant discretion when considering changes to the Code.

The criteria for an ordinance (Code) change are outlined below, and act as guidance to the Council, and to the Commission in making a recommendation. Note that the criteria are not binding.

19.17.04 Consideration of General Plan, Ordinance, or Zoning Map Amendment

The Planning Commission and City Council shall consider, but not be bound by, the following criteria when deciding whether to recommend or grant a general plan, ordinance, or zoning map amendment:

1. The proposed change will conform to the Land Use Element and other provisions of the General Plan;
Consistent. See Section F of this report.
2. the proposed change will not decrease nor otherwise adversely affect the health, safety, convenience, morals, or general welfare of the public;
Consistent. The amendments will ensure clear and consistent standards for fencing, temporary uses, landscaping, conditional uses, parking, and signage, while providing additional flexibility to property owners and businesses that will not adversely affect the health and welfare of the general public.
3. the proposed change will more fully carry out the general purposes and intent of this Title and any other ordinance of the City; and
Consistent. The stated purposes of the Code are found in section 19.01.04:
 1. The purpose of this Title, and for which reason it is deemed necessary, and for which it is designed and enacted, is to preserve and promote the health, safety, morals, convenience, order, fiscal welfare, and the general welfare of the City, its present and future inhabitants, and the public generally, and in particular to:
 - a. encourage and facilitate the orderly growth and expansion of the City;
 - b. secure economy in governmental expenditures;
 - c. provide adequate light, air, and privacy to meet the ordinary or common requirements of happy, convenient, and comfortable living of the municipality's inhabitants, and to foster a wholesome social environment;
 - d. enhance the economic well-being of the municipality and its inhabitants;
 - e. facilitate adequate provisions for transportation, water, sewer, schools, parks, recreation, storm drains, and other public requirements;
 - f. prevent the overcrowding of land, the undue concentration of population, and promote environmentally friendly open space;
 - g. stabilize and conserve property values;
 - h. encourage the development of an attractive and beautiful community; and
 - i. promote the development of the City of Saratoga Springs in accordance with the Land Use Element of the General Plan.

The proposed amendments will provide clarity in development standards to ensure orderly growth, will maintain high standards to ensure a wholesome environment, and will both allow flexibility for property owners while helping ensure an attractive and beautiful community. The amendment will also secure economy in governmental expenditures by reducing the need for code enforcement on backyard landscaping, while keeping standards that minimize impacts to neighboring property owners.

4. in balancing the interest of the petitioner with the interest of the public, community interests will be better served by making the proposed change.

Consistent. The amendments will provide additional flexibility in signage for larger businesses and for hosts of special events, and remove confusing language from the code. Community interests will also be protected by requiring minimum standards for runoff prevention, weed abatement, and other standards as proposed.

H. Recommendation / Options:

Staff Recommended Motion – Positive Recommendation

The Planning Commission may choose to forward a **positive recommendation** on all or some of the amendments to the Code Sections listed in the motion, as proposed or with modifications:

Motion: “Based upon the evidence and explanations received today, I move to forward a **positive** recommendation to the City Council for the proposed amendments to Sections 19.05, 19.06, 19.09, 19.12, 19.15, and 19.18, with the Findings and Conditions below:

Findings:

1. The amendments are consistent with Section 19.17.04.1, General Plan, as outlined in Sections F and G of this report and incorporated herein by reference.
2. The amendments are consistent with Section 19.17.04.2 as outlined in Section G of this report and incorporated herein by reference.
3. The amendments are consistent with Section 19.17.04.3 as outlined in Section G of this report and incorporated herein by reference.
4. The amendments are consistent with Section 19.17.04.4 as outlined in Section G of this report, and incorporated herein by reference.

Conditions:

1. The amendments shall be edited as directed by the Commission: _____
 - a. _____
 - b. _____
 - c. _____

Alternative A – Continuance

Vote to **continue** all or some of the Code amendments to the next meeting, with specific feedback and direction to Staff on changes needed to render a decision.

Motion: “I move to continue the amendments to Section 19.06 of the Code to the [July 28, 2016] meeting, with the following direction on additional information needed and/or changes to the draft:

Alternative B – Negative Recommendation

Vote to forward a **negative** recommendation to the City Council for all or some of the proposed Code amendments.

Motion: “Based upon the evidence and explanations received today, I move to forward a **negative** recommendation to the City Council for the proposed amendments to Sections 19.05, 19.06, 19.09, 19.12, 19.15, and 19.18 of the Code with the Findings below:

Findings

1. The amendments do not comply with Section 19.17.04(1), General Plan, as articulated by the Commission: _____
2. The amendments do not comply with Section 19.17.04, sub paragraphs 2, 3, and/or 4 as articulated by the Commission: _____
3. _____
4. _____
5. _____

I. Exhibits:

1. Draft Amendments
 - a. 19.05. Supplementary Regulations (pages 7-10)
 - b. 19.06. Landscaping and Fencing (pages 11-12)
 - c. 19.09. Parking (pages 13-14)
 - d. 19.14. Site Plans (page 15)
 - e. 19.15. Conditional Use Permits (page 16)
 - f. 19.18. Signs (pages 17-21)

19.05. Supplementary Regulations
WIRELESS TOWERS and ICE CREAM TRUCKS

* * * * *

19.05.03. Wireless Telecommunication Equipment.

1. **Wall mounted antennas.** Wall mounted antennas are permitted uses in all land use zones. Wall mounted antennas larger than five square feet may not be placed on a residential building or structure. Wall mounted antennas must comply with the following criteria:
 - a. Wall mounted antennas shall not extend above the roof line of the building more than ten feet, and whip antennas shall not extend above the roof line of the building more than ten feet.
 - b. City Staff may require antennas and all associated equipment to be painted to match the color of a non-residential building or structure.
 - c. Wall mounted antennas may have a maximum area of forty square feet per each side of a non-residential building or structure. The area is determined by drawing straight lines around the outermost portions of the antennas until enclosed.
 - d. All equipment associated with the use, excluding the antenna, must be screened by a view obstructing structure.
 - e. If the associated equipment is located on the ground it must be appropriately landscaped.

2. **Roof mounted antennas.** Roof mounted antennas are permitted uses in all land use zones. Roof mounted antennas larger than five square feet may not be placed on a residential building or structure. The following provisions and any applicable provisions in sub-section one above shall apply to roof mounted antennas:
 - a. roof mounted antennas can only be mounted on structures with flat roofs. Exceptions may be granted by City staff with the following stipulations:
 - i. the antenna will be mounted on the roof of a building such that the building will obstruct the view of the antenna from the front of the building; and
 - ii. the antenna will be less visible from ground level than the typical antenna mounted on a flat roof.
 - b. roof mounted antennas must be set back from the front building edge one foot for every one foot of antenna height to a maximum of ten feet; and
 - c. if possible and feasible, roof mounted antennas shall co-locate on City-owned buildings and structures.

3. **Free-standing antennae or towers.**
 - a. Proliferation minimized. No new mono-pole or other free-standing structure shall be approved unless the applicant demonstrates that the proposed antenna cannot be accommodated on an existing building or structure.

b. Mono-pole towers. Mono-pole towers are required to obtain Conditional Use approval prior to construction.

a.—

b-c. Other free-standing structures. Free-standing antennae or towers are required to obtain Conditional Use approval prior to construction.

d. Where buildings, trees, or other large objects are present, all new mono-pole and other free-standing structures shall use stealth design, meaning camouflaged to blend in with said buildings, trees and other large objects.

e-e. Co-location on existing mono-pole towers is a permitted use in any land use zone. However, if the compound area needs to be expanded to handle additional equipment and the site is located in a land use zone that requires mono-pole towers to get a Conditional Use permit, then the expansion is also a Conditional Use.

d-f. Maximum height limits for free-standing antennae or mono-pole towers for defined land use zones are as follows:

i.	Agricultural (A):	100* feet
ii.	Rural Residential (RR)	100* feet
iii.	Low Density Residential (R-1)	100* feet
iv.	Low Density Residential (R-2)	35 feet
v.	Low Density Residential (R-3)	35 feet
vi.	Medium Density Residential (R-6)	35 feet
vii.	Medium Density Residential (R-10)	35 feet
viii.	High Density Residential (R-14)	35 feet
ix.	High Density Residential (R-18)	35 feet
x.	Neighborhood Commercial (NC)	40 feet
xi.	Mixed Use (MU)	40 feet
xii.	Regional Commercial (RC)	40 feet
xiii.	Office Warehouse (OW)	100* feet
xiv.	Industrial (I)	100* feet

* The maximum height for towers within 200 feet of residential development existing at the time of tower construction shall be 40 feet.

e-g. The maximum height limits include the height of any structure on which the free-standing antennae or mono-pole may be located, and any lightning poles or other items attached to the antennae or mono-pole.

4. **Ham radio towers.** Ham radio towers or any other radio or antennae facilities are regulated by the FCC as well as individual homeowners associations (HOA's) through restrictive covenants or other regulating documents.

* * * * *

19.05.10. Temporary Uses.

1. **Purpose and Intent.** The purpose and intent of the Temporary Use section is to allow certain uses within the City of Saratoga Springs which are temporary, or seasonal in nature, in a manner that such uses will be compatible with the land use zone and adjacent properties. A Temporary Use, which is subject to the provisions in this Section, is a commercial business venture for

which a business license is required.

2. **Uses:** the following are acceptable Temporary Uses, as defined in Section 19.02.02:
 - a. Produce Stand or Farmers Market
 - b. Fireworks Stand*
 - c. Christmas Tree Lot
 - d. Snow Shack or Ice Cream Vendor, fixed location*
 - ~~e. Snow Shack or Ice Cream Vendor, motorized**~~
 - e.f. Pumpkin Patch
 - f.g. Festivals including Bazaars or Fairs*
 - g.h. Temporary Retail (tent or sidewalk sale)*
 - h.i. Mobile Food Vendors*

* These uses are limited to non-residential and agricultural zones, unless occurring as part of a City sponsored special event, or wholly within the property boundaries of an institutional use.

**These uses are not permitted to park in one location for longer than 20 minutes, and are required to obtain a Solicitor's License in addition to a Temporary Use Permit.

3. **Standards for Temporary Uses.** A Temporary Use shall comply with the general standards as provided within this section:
 - a. Written approval from all brick and mortar businesses, meaning a permitted business in a permanent structure, within 300' shall be obtained for all Temporary uses.
 - b. All Temporary uses except for roadside stands require a paved surface on site. Temporary road base installed in compliance with the City Standard Technical Specifications and Drawings shall qualify as a paved surface, shall be capable of supporting a minimum of 75,000 pounds on all driving and parking surfaces, and shall be removed immediately upon completion of the Temporary use unless occurring as part of a separate development permit.
 - c. All Temporary uses except roadside stands are required to provide sanitary facilities for waste disposal for protection of community health and safety. This may be met through agreement with a host business or through temporary restroom facilities.
 - d. All temporary uses shall provide a receptacle for garbage, and shall be responsible for garbage removal.
 - e. Night lighting shall be compatible with adjacent uses. This requires all lighting to be shielded and directed downward to avoid light spill onto adjacent properties.
 - f. All signs must comply with City adopted sign regulations.
 - g. A use and/or display may not be placed within the right-of-way or on any landscaped area.
 - ~~a.h.~~ No temporary use may occur within the clear view triangle of any intersection.
 - ~~b.i.~~ No more than one temporary use is allowed per lot or parcel at any one time, including those approved by the Planning Commission.
 - ~~e.j.~~ When electricity will be utilized, an electrical permit must be obtained from the Building Department prior to any sales occurring or prior to persons occupying the structure, whichever occurs earliest.
 - ~~d.k.~~ Accessibility requirements must be addressed with the Building Department prior to any

sales occurring.

e.l. Where required, Health Department approval shall be provided prior to operation.

f.m. Where temporary structures are proposed, an inspection with the Fire Department is required prior to any sales occurring or prior to persons occupying the structure, whichever occurs earliest.

h.n. Hours of operation shall be restricted to the hours of 7:00 a.m. to 10:00 p.m.

i.o. All temporary uses requesting temporary access from a public road shall obtain written permission from UDOT for state roads, and from the City Engineer for all other public roads.

- i. A traffic study and safety mitigation may be required, including appropriate acceleration and deceleration areas.
- ii. No curb or park strip shall be driven over unless temporary bridging is provided and approved by the City Engineer to prevent damage to the curb or park strip.

4. Additional Standards for Mobile Food Vendors:

- a. A mobile food vendor shall be permitted only when hosted by an existing brick-and-mortar business, meaning a permitted business in a permanent structure, or on public property with the approval of the City.
- b. Mobile food vendors shall not be parked for more than 8 hours in a day in any one location without express written permission from the City.
- c. Mobile food vendors shall not be parked on a street or driveway, nor in a manner that impedes vehicular and pedestrian traffic flow or public safety. A minimum clearance of 15 feet must be kept between the mobile food vendor and any fire hydrants, utility boxes, sidewalks, handicapped ramps, or building entrances.
- d. At no time may the mobile food vendor serve food to vehicles in a drive through manner or while the mobile food vendor vehicle is in motion.
- e. Mobile food vendors must be parked a minimum of 200 feet from residential property or must have the permission of residential property owners within the prohibited area.

5. Planning Commission Review. When considered appropriate by the Planning Director, a Temporary Use may be referred to the Planning Commission for review.

6. Permit Required. A Temporary Use Permit and Business License shall be required for all Temporary Uses.

* * * * *

19.06. Landscaping and Fencing

19.02. Definitions.

Clarify requirements for residential backyards

Limit chain link only for Ag uses

19.02

Protective Ground Cover. Grasses, other living plants, or inorganic materials grown or placed to stabilize soils and protect against erosion and dust, and to minimize runoff onto adjacent properties.

19.06.08. Single Family Residential and Park Strip Landscaping Requirements.

1. Single Family Residential Lots

- a. All residential lots in all zones except A and RA-5 that are one-third acre in size or smaller shall have the front yards, and street-side yards for corner lots, landscaped within one year, and interior side and back yards within two years after (whichever is less restrictive):
 - i. receiving a Certificate of Occupancy; or
 - ii. once ownership is established by the current owner.
- b. All residential lots in all zones except A and RA-5 that are larger than one-third acre must landscape a minimum of one-third acre.
 - i. The one-third acre may include structure footprints, driveways, parking areas, and other lot improvements that fall within a contiguous one-half acre area.
 - ii. The one-third acre shall include the front yard.
 - iii. Areas outside of the landscaped one-third acre may remain in a native state, and shall be maintained in compliance with nuisance and fire requirements.
 - iv. That portion of the landscaping that falls within the front yard, and street-side yard for corner lots, shall be landscaped within one year, and that portion of landscaping within interior side and back yards shall be landscaped within two years after (whichever is less restrictive):
 - 1. receiving a Certificate of Occupancy; or
 - 2. once ownership is established by the current owner.
- c. All ~~landscaped areas~~ front yards and street side yards shall be completely landscaped per the definition of Landscaping in Section 19.02, and all back yards stabilized per the definition of Protective Ground Cover in Section 19.02, with the following exceptions:
 - i. Bare dirt, meaning ground with no planting, hardscape, rock, or other cover, may occur in limited quantities when in conjunction with features including gardens and trellis areas.

- ii. Trees and shrubs are permitted to have a ring of bare dirt around the trunk and beneath the drip line of the canopy.
- d. At least 25% of landscaping in front yards and corner street side yards shall consist of non-rock planter beds, shrubs and grasses, or other non-hardscape and non-rock landscaping.
- e. Artificial turf is not permitted in front or corner street side yards.
- f. No trees shall be planted directly under or in close proximity to power lines, poles, or utility structures unless:
 - i. the power company or owner of the power line gives written consent; and
 - ii. the maximum height or width at maturity of the tree species planted is less than 5 feet to any pole, line, or structure.

* * * * *

19.06.09. Screening and Fencing Requirements and Restrictions.

* * * * *

4. Prohibited fencing:

- a. No barbed wire, chain link, razor, or wire (agricultural, electric, chicken wire, mesh wire, hog fencing, etc.) fences shall be allowed. This does not apply to chain link or wire fences if the fence: ~~(1) is not being used to delineate lot boundaries; and (2) is used for keeping of animals. This Section also does not apply in the A, RA-5, and RR zones.~~ is being used for Agricultural uses or otherwise for the keeping of animals.
- b. No fencing that parallels existing fencing ~~and is visible from an adjacent road or street~~ shall be permitted within an existing fenced yard. Exceptions: interior fencing to enclose chickens, bees, or other livestock as otherwise specifically permitted under this Code, and any fencing of three feet or less in height within an existing fenced yard.

* * * * *

19.09. Parking.

Dwelling, Multi-Family – permit carports but require similar architecture
 Mixed Use, Mixed Waterfront – clarify parking on ERU vs square footage
 Delete wider stall requirement to avoid conflict with 19.14

* * * * *

19.09.06. Dimensions for Parking Stalls.

The standards in this Section shall apply to all parking areas unless otherwise noted. The dimensions of parking stalls and aisles contained within the parking areas shall be dependent upon the orientation of stalls.

Dimensions for Parking Stalls and Aisle

Parking Angle	Stall Width*	Stall Length	Aisle Width (two-way traffic)	Aisle Width (one-way traffic)
Parallel	9'	20'	N/A	12'
45	9'	18'	25'	14'
60	9'	18'	25'	18'
90	9'	18'	24'	24'

~~*Stalls immediately adjacent to garbage surrounds shall be 50% wider, or separated from the garbage surround by a landscaping area no less than 50% the width of a parking stall.~~

* * * * *

19.09.11. Required Minimum Parking.

The table below indicates the minimum requirement for each use; unless otherwise identified, in no case may the minimums be exceeded by more than 25%.

Use	<u>Parking Requirement</u>
Dwelling, above commercial	1 stall per bedroom or 2 stalls per unit, <u>one of which must be covered</u> , whichever is lower, plus 0.25 guest stalls per unit.
Dwelling, Multi-Family*	1 stall per bedroom or 2 stalls per unit, whichever is lower, one of which must be covered, plus 0.25 guest stalls per unit. **
Dwelling, Single Family	2 stalls per dwelling enclosed in garages. Driveways are to be 20' in length**

Dwelling, Three-Family	1 stall per bedroom or 2 stalls per unit, whichever is lower, one of which must be covered <u>enclosed</u> , plus 0.25 guest stalls per unit. **
Dwelling, Two-Family	1 stall per bedroom or 2 stalls per unit, whichever is lower, one of which must be covered <u>enclosed</u> , plus 0.25 guest stalls per unit. **
* * * * *	* * * * *
Mixed Use, Commercial, Office & Residential Use	<u>Residential</u> : see Dwelling requirements <u>Nonresidential</u> : Based on the sq.ft. of each individual use
Residential Facilities for Elderly Persons	To be determined by the Planning Commission (See 19.09.05(6))
Residential Facility for Persons with a Disability	Same as for the dwelling, plus Home Occupation requirements for employees.

~~* Exception — All dwellings must have one covered parking space. A 35% reduction to the enclosed parking requirement may be allowed for a PUD multi-family rental project within the R-18 zone; however, the remaining 35% shall be replaced with carports that incorporate a residential appearance. This will require a positive recommendation from the Planning Commission and approval from the City Council.~~

*Tandem parking spaces within a garage will only be counted as one parking space for residential uses.

** Exception – the minimum for these uses may be exceeded by more than 25%.

NOTE: WE WILL ADD REQUIREMENT TO DESIGN STANDARD CHAPTER THAT CARPORTS MUST INCORPORATE A RESIDENTIAL APPEARANCE CONSISTENT WITH THE RESIDENTIAL STRUCTURE

19.14. Site Plans.
Clarify 40' access width language

* * * * *

19.14.03. Site Plan Development Standards.

3. Access Requirements.

- a. **Access dimensions.** For each commercial ~~lot~~access:
 - i. ~~each roadway~~the access shall not be more than forty feet in width, measured at right angles to the center line of the driveway access except as increased by permissible curb return radii; and
 - ii. the entire flare of any return ~~radii~~radius shall fall within the right-of-way.
- b. **Interconnection.** All parking and other vehicular use areas shall be interconnected with adjacent properties in order to allow maximum off-street vehicular circulation.
- c. **Acceleration and Deceleration Lanes.** Acceleration and deceleration lanes shall be required on major arterials when deemed necessary by the City Engineer.
- d. **Off-street Truck Loading Space.** Every structure involving the receipt or distribution by vehicles of materials or merchandise shall provide and maintain on the building's lot adequate space for standing, loading, and unloading of the vehicles in order to avoid undue interference with public use of streets or alleys.

* * * * *

19.15. Conditional Uses.
Remove requirement to protect views

* * * * *

19.15.05. General Standards and Considerations Governing Conditional Uses.

In reviewing an application for a Conditional Use permit, the ~~the~~ following considerations and standard shall be applied:

1. The siting of the structure or use, and in particular:
 - a. the adequacy of the site to accommodate the proposed use or building and all related activities;
 - b. the location and possible screening of all outdoor activities;
 - c. the relation of the proposed building or use to any adjoining building with particular attention to protection of ~~views,~~ light, air, and peace and quiet;
 - d. the location and character of any display of goods and services; and
 - e. the size, nature, and lighting of any signs.

2. Traffic circulation and parking, and in particular:
 - a. the type of street serving the proposed use in relation to the amount of traffic expected to be generated;
 - b. the adequacy, convenience, and safety of provisions for vehicular access and parking, including the location of driveway entrance and exits; and
 - c. the amount, timing, and nature of traffic generated by the proposed conditional use.

3. The compatibility of the proposed conditional use with its environment, and in particular:
 - a. the number of customers or users and the suitability of the resulting activity level to the surrounding uses;
 - b. hours of operation;
 - c. adequacy of provisions for the control of any off-site effects such as noise, dust, odors, light, or glare, etc.;
 - d. adequacy of provisions for protection of the public against any special hazards arising from the intended use;
 - e. the expected duration of the proposed building, whether temporary or permanent, and the setting of time limits when appropriate; and the degree to which the location of the particular use in the particular location can be considered a matter of public convenience and necessity.

* * * * *

Exhibit 1.f
SIGNS

- Clean up titles
 - Create provision for electronic message signs in RC zone
 - Create provision for directional signage for approved special events
 - Create provision for signage in parks and for trails
-

Chapter 19.18. Sign Regulations.

Sections:

- 19.18.01. Intent.
- 19.18.02. Content.
- 19.18.03. Definitions.
- 19.18.04. Prohibited Signs.
- 19.18.05. Signs Not Requiring A Permit.
- 19.18.06. Measurement-General Standards.
- 19.18.07. Residential Sign Standards.
- 19.18.08. Agricultural, Vacant, and Active Development.
- 19.18.09. Institutional Sign Standards.
- 19.18.10. Commercial Zone Sign Standards.
- 19.18.11. Industrial Zone Sign Standards.
- 19.18.12. Mixed Use and Mixed Waterfront Zone Sign Standards.
- 19.18.13. Parks and Trails Signage Standards.
- 19.18.14. Special Event Signage Standards.
- ~~19.18.15.~~ Permit Process.
- ~~19.18.16.~~ Nonconforming Signs.

* * * * *

19.18.03. Definitions.

As used in this Chapter, the following words and phrases have the following meanings, unless the context clearly indicates that a contrary meaning is intended:

21. “Dwell Time” means the total amount of time an image or other content is shown on an electronic message sign.

* * * * *

19.18.04. Prohibited Signs.

1. The following signs and any sign not otherwise authorized under the terms of this code are prohibited in the City, except as expressly permitted elsewhere in this chapter:
 - a. Abandoned Signs.
 - b. Animated Signs.

- c. Bench Signs other than artwork included in the bench structure.
- d. Balloon Signs.
- e. Billboards.
- f. Cabinet Signs, Simple.
- ~~g. Electronic Message Signs.~~
- ~~h.g.~~ Flashing signs.
- ~~i.h.~~ Neon signs in residential zones.
- ~~j.i.~~ Pennants.
- ~~k.j.~~ Pole Signs.
- ~~l.k.~~ Pylon Signs.
- ~~m.l.~~ _____ Roof Signs.
- ~~n.m.~~ _____ Snipe Signs.
- ~~o.n.~~ Wind Signs.
- ~~p.o.~~ Vehicle Signs parked outside of designated parking stalls, or occupying required parking for more than 50% of the operating hours.
- ~~q.p.~~ Trailer Signs not affixed to a vehicle, parked outside of designated parking stalls, or occupying required parking for more than 50% of the operating hours.
- ~~r.q.~~ Illuminated signs directly facing and visible to an immediately adjacent residential zone or residential development.
- ~~s.r.~~ Signs not otherwise expressly permitted in this chapter.

* * * * *

19.18.06. General Standards.

8. Electronic Message Signs.

- a. Types of signs. An electronic message sign shall only be constructed as part of a permitted monument sign and only in specified zones.
- b. Area. The electronic message sign is limited to 50% of the permitted sign area, or 45 square feet, whichever is smaller.
- c. Residential separation. An electronic message sign shall not be located within 200 feet of existing residential development. An electronic message sign located within 500 feet of existing residential development shall be required to orient the sign so that it does not directly face existing residential development.
- d. Design standards.
 - a. Videos are prohibited at all times.
 - b. No sign shall use a white, ivory, or similarly near-white background.
 - c. The minimum dwell time shall be eight seconds.
 - d. The flashing of any content is prohibited.
 - e. The minimum transition time between content shall be no greater than three seconds.
 - f. Illumination shall not exceed 0.3 foot candles over natural ambient light conditions at any time, as measured no farther than 100 feet from the sign.
 - g. An electronic message sign shall be equipped with a sensor or other device that automatically determines the ambient illumination and must be programmed to automatically dim according to ambient light conditions.

* * * * *

19.18.09. Institutional/ Civic Zone Standards.

1. Schools, churches, public facilities, and other uses in the Institutional/ Civic Zone are permitted the following signage.

- a. Primary Building signs.
 - i. Number. Each primary building is permitted one building sign.
 - ii. Size. The primary building sign shall not exceed eight percent of the façade on which the sign or signs are mounted, or thirty square feet, whichever is larger.
 - iii. Height. Each primary building sign for single story buildings shall maintain a minimum of 7.5 feet of clearance between the top of the nearest sidewalk or curb and the bottom of the sign; each primary building sign for multiple story buildings shall be mounted no lower than the bottom of the top floor of the building.
- b. Monument signs.
 - i. Number.
 - i. Single building or use: one monument sign shall be allowed for each frontage in excess of one hundred feet a building or use has on a public street.
 - ii. Multiple buildings or uses: One shared monument sign shall be allowed for each frontage in excess of 200 feet a site has on a public street.
 - ii. Size. A monument sign for a single building or use shall not exceed forty-five square feet in size. A monument sign for multiple buildings or uses shall not exceed sixty-four square feet in size.
 - iii. Height. A monument sign for a single building or use shall not exceed 7.5 feet in height. A monument sign for multiple buildings or uses shall not exceed ten feet in height.
 - ~~iii~~.iv. Electronic Messaging. Permitted only on shared monument signs for developments exceeding four acres.
- c. Pedestal and Pole signs.
 - i. Not permitted.
- d. Window and Door signs.
 - i. Window and door signs shall not exceed twenty percent of the window or door on which the sign is located.
- e. Banner Signs.
 - i. Banner signs shall only be permitted on a temporary basis.
 - ii. Banner signs shall not exceed four feet in height and thirty-two square feet in size.
 - iii. Banner signs shall be placed in a landscaped area or on a structure, and shall not be located within the clear sight triangle identified in Chapter 19.06.
 - iv. Banner signs shall be limited to a cumulative total of thirty days in a calendar year.

* * * * *

19.18.10. Commercial Zone Sign Standards.

1. Signage in the Regional Commercial zone.
 - b. Monument signs.
 - i. Number.
 - a. Single building or use: one monument sign shall be allowed for each frontage in excess of one hundred feet a building or use has on a public street.
 - b. Multiple buildings or uses: One shared monument sign shall be allowed for each frontage in excess of 200 feet a site has on a public street.
 - ii. Size. A monument sign for a single building or use shall not exceed forty-five square feet in size. A monument sign for multiple buildings or uses shall not exceed sixty-four square feet in size.
 - iii. Height. A monument sign for a single building or use shall not exceed 7.5 feet in height. A monument sign for multiple buildings or uses shall not exceed ten feet in height.
 - iii.iv. Electronic Messaging. Permitted only on shared monument signs for developments exceeding four acres.

* * * * *

19.18.13. Parks and Trails Signage Standards.

1. Public parks and HOA maintained parks are permitted the following signs:
 - a. Banner Signs.
 - i. Banner signs shall only be permitted on a temporary basis.
 - ii. Banner signs shall not exceed four feet in height and thirty-two square feet in size.
 - iii. Banner signs shall be placed in a landscaped area, and shall not be located within the clear sight triangle identified in Chapter 19.06.
 - iv. Banner signs shall be limited to a cumulative total of thirty days in a calendar year per parcel.
 - v. Banner signs shall be limited to no more than one sign per frontage at any given time.
 - b. Monument and Pedestal signs.
 - i. Number. One monument or pedestal sign shall be allowed for each frontage in excess of thirty-five feet, or where frontage is less than thirty-five feet but parking access is provided.
 - ii. Size. A monument or pedestal sign shall not exceed forty-five square feet in size.
 - iii. Height. A monument or pedestal sign shall not exceed 7.5 feet in height.
 - iv. Separation. Monument and pedestal signs shall be separated by a minimum distance of 200 feet as measured diagonally across the property, and shall be a minimum of 100 feet from any other permanent ground sign on the same frontage.

c. Pole signs and small pedestal signs.

- i. Number. Two pole signs or pedestal signs shall be allowed for each park.
- ii. Size. A pole sign or pedestal sign shall not exceed six square feet in size.
- iii. Height. A pole sign or pedestal sign shall not exceed 7.5 feet in height.
- iv. Separation. Pole and pedestal signs shall be separated by a minimum of 100 feet from any other pole sign.

2. Public trails and HOA maintained trails are permitted the following signs:

a. Pole signs and small pedestal signs.

- i. Number. One pole or pedestal sign shall be permitted for each trail access point. One additional pole or pedestal sign shall be permitted to be placed in 1/4 mile increments along the trail.
- ii. Size. A pole or pedestal sign located at the entrance to a trail shall not exceed six square feet in size. A pole or pedestal sign located along a trail shall not exceed four square feet in size.
- iii. Height. A pole or pedestal sign shall not exceed 7.5 feet in height.
- iv. Location. These signs shall only be located within 10 feet of a trail or trailhead.

19.18.14. Special Event Signage Standards.

1. City approved special events shall be permitted the temporary signage subject to the following standards:

a. A signage plan shall be submitted identifying the location of all on-premise and off-premise signs.

b. Off-premise signs:

- i. Signs shall be placed entirely on private property with the written permission of the property owner.
- ii. Signs shall be temporary in nature, with the sign made of corrugated cardboard, plastic, or similar material and fastened to wires or wooden stakes. A-frame or similar removable signs may be used, which shall be weighted to prevent relocation via wind. Signs shall be free-standing, and shall not be attached to light poles, fences, vehicles, or other structures.
- iii. Signs shall be limited to three square feet in size and four feet in height.
- iv. Signs shall be placed no earlier than 24 hours prior to the event, and shall be removed no later than 24 hours after the conclusion of the event.
- v. Special event sponsors are limited to one special event signage permit in a ninety-day period.

c. On premise signs:

- i. Regardless of other zone limitations, one banner sign is permitted for the duration of the event, up to a maximum of seven days per event.
- ii. Additional temporary signage is limited to the signage allowed in the zone.

Planning Commission Memorandum

Author: Kimber Gabryszak, AICP
Memo Date: Thursday, July 7, 2016
Meeting Date: Thursday, July 14, 2016
Re: Wildflower Village Plan, Work Session

Background

The Wildflower Community Plan (CP) and Rezone and MDA were approved February 24, 2015. The CP allocated a total of 1465 Equivalent Residential Units (ERUs) to the property, for an overall density of 2.46 units per acre including the future Mountain View Corridor (MVC). This density was allocated to the remaining property east and west of the MVC.

The CP also allocated Regional Commercial zoning along State Road 73. The overall development plan, as approved in the CP, is outlined in Exhibit 1.

The CP contained standards and guidelines for density, lot size, phasing, road networks, open space and parks, design and development standards, housing types, fencing, signage, and other topics. These standards and guidelines are to be further clarified in Village Plans, and density allocated to areas within the CP. Following Village Plan approval(s), specific subdivision plat and site plan applications may be submitted.

Request

The applicant, DAI, has submitted a request for Village Plan 1 (VP1), as part of the Wildflower development west of Harvest Hills. The overall use map is contained in Exhibit 2, and the complete detailed draft VP is contained in Exhibit 3.

VP1 contains all of the property to the east of the future MVC, excepting ~7 acres to be used for a MVC stormwater pond. VP1 assigns 571 ERUs to this property, as anticipated by the CP.

Process

A public hearing will be noticed and held with the Planning Commission at a future date, and following a recommendation by the Planning Commission, a public hearing will be noticed and held with the City Council.

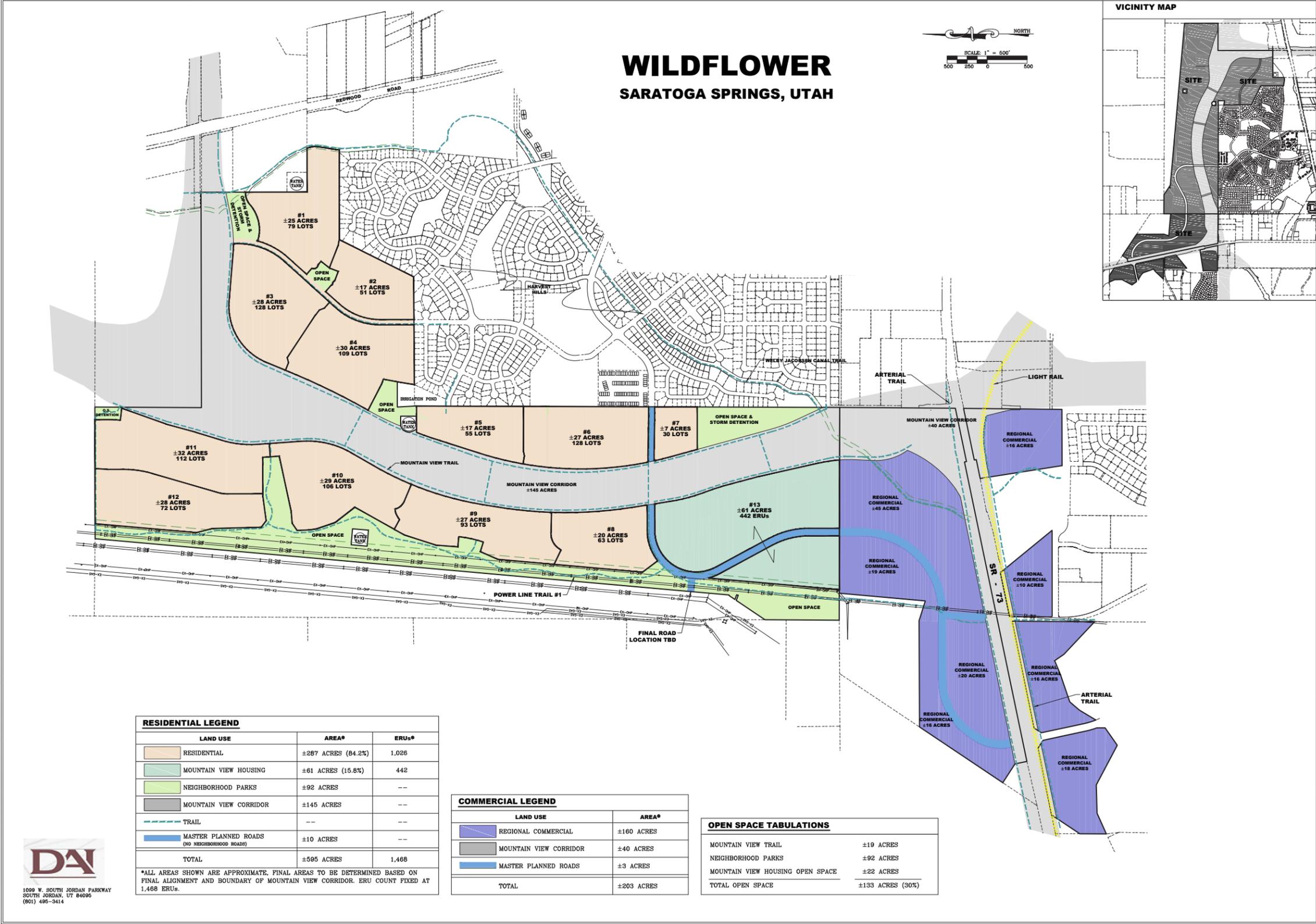
Recommendation

Staff recommends that the Planning Commission review the Village Plan and provide feedback on the proposal in preparation for a future public hearing.

Exhibits

1. Wildflower Community Plan Layout (page 2)
2. Wildflower Village Plan Draft Layouts (pages 3-4)
3. Complete Wildflower Village Plan 1, Draft (pages 5-98)

EXHIBIT TWO: Land Use Master Plan



LEI
ENGINEERS
SURVEYORS
PLANNERS
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0555
 Fax: 801.798.9393
 office@lei-eng.com
 www.lei-eng.com

WILDFLOWER
 SARATOGA SPRING, UTAH
MASTER PLAN

RESIDENTIAL LEGEND		
LAND USE	AREA*	ERUs*
RESIDENTIAL	±287 ACRES (84.2%)	1,026
MOUNTAIN VIEW HOUSING	±61 ACRES (15.8%)	442
NEIGHBORHOOD PARKS	±92 ACRES	---
MOUNTAIN VIEW CORRIDOR	±145 ACRES	---
TRAIL	---	---
MASTER PLANNED ROADS (NO NEIGHBORHOOD ROADS)	±10 ACRES	---
TOTAL	±595 ACRES	1,468

*ALL AREAS SHOWN ARE APPROXIMATE. FINAL AREAS TO BE DETERMINED BASED ON FINAL ALIGNMENT AND BOUNDARY OF MOUNTAIN VIEW CORRIDOR. ERU COUNT FIXED AT 1,468 ERUs.

COMMERCIAL LEGEND	
LAND USE	AREA*
REGIONAL COMMERCIAL	±160 ACRES
MOUNTAIN VIEW CORRIDOR	±40 ACRES
MASTER PLANNED ROADS	±3 ACRES
TOTAL	±203 ACRES

OPEN SPACE TABULATIONS	
MOUNTAIN VIEW TRAIL	±19 ACRES
NEIGHBORHOOD PARKS	±92 ACRES
MOUNTAIN VIEW HOUSING OPEN SPACE	±22 ACRES
TOTAL OPEN SPACE	±133 ACRES (30%)

REVISIONS	
1	
2	
3	
4	
5	
6	

LEI PROJECT #
 2013-0902
 DRAWN BY:
 BLS/TJP
 CHECKED BY:
 GDM
 SCALE:
 1" = 600'
 DATE:
 2/25/2015





SECTION 2: Detailed Use Map



Uses within a Planned Community District shall be guided but not limited to the following section of the Land Development Code (19.04.13):

R-3 Permitted Uses: Apiary; Chickens; Church; Dwelling, Single Family; Production of Fruit and Crops; Public Parks, Playgrounds, Recreation Areas, or Other Park Improvements; Residential Facilities for Persons with a Disability; School, Charter; School, Public; and Temporary Sales Trailer.

R-3 Conditional Uses: Bed & Breakfast; Cemetery; Child Care Center; Educational Center; Golf Course; Preschool; Public & Private Utility Building or Facility; Public Building or Facilities (City-Owned); Residential Facilities for Elderly Persons.

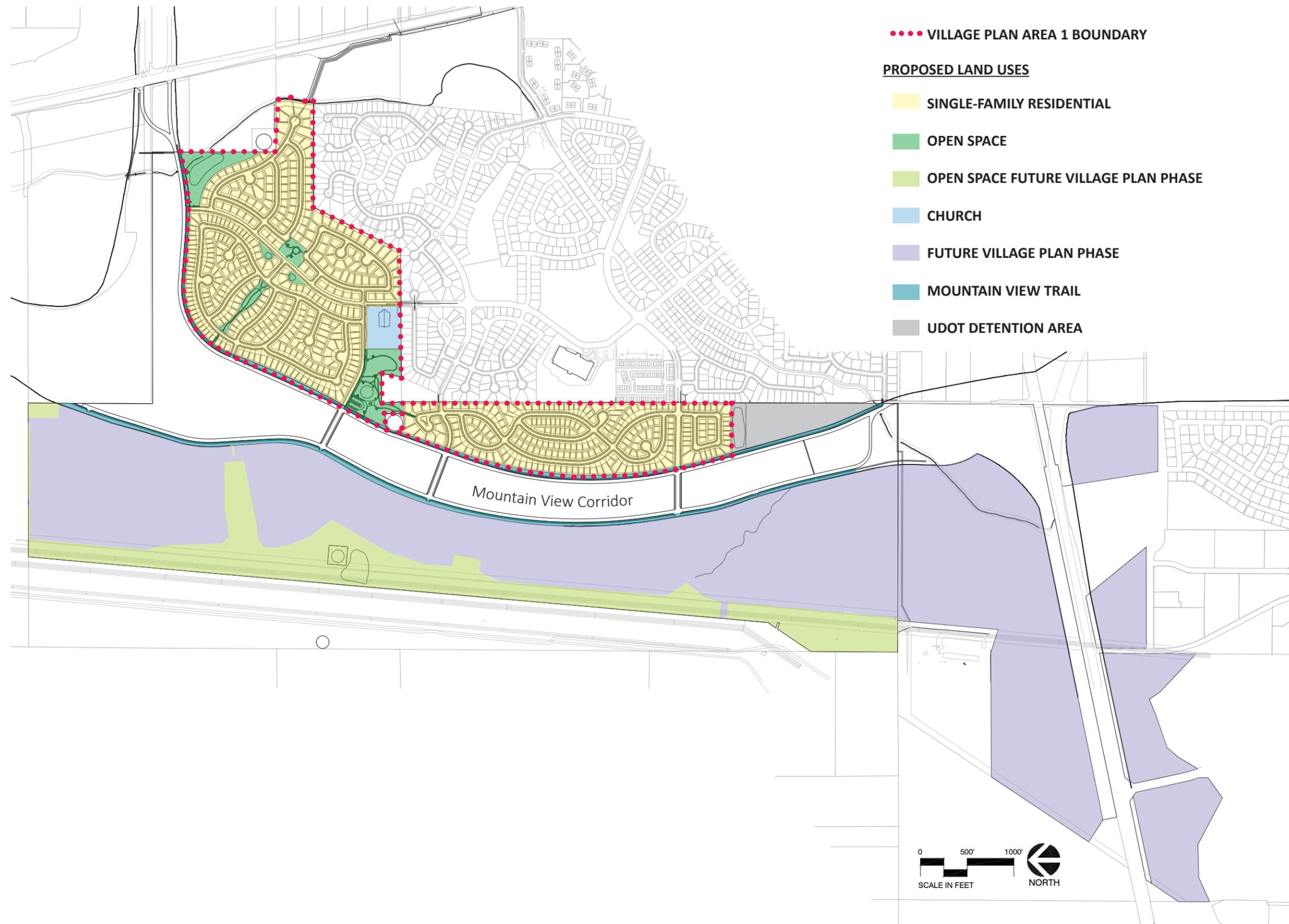
Buffering: Proposed land uses are compatible with neighboring land uses, including uses within and outside of Village Plan Area 1. Fencing will be used to buffer between residential areas, open space, and the church site (see the Fencing Plan in Section 5.)

RESIDENTIAL LEGEND		
LAND USE	AREA*	ERUs*
RESIDENTIAL VILLAGE 1	±148 ACRES	571
NEIGHBORHOOD PARKS VILLAGE 1	±15 ACRES	--
MASTER PLANNED ROADS (NO NEIGHBORHOOD ROADS)	±5 ACRES	--
TOTAL	±168 ACRES	571

*ALL AREAS SHOWN ARE APPROXIMATE. FINAL AREAS TO BE DETERMINED BASED ON FINAL ALIGNMENT AND BOUNDARY OF MOUNTAIN VIEW CORRIDOR.



SECTION 2 (cont'd): Detailed Use Map





VILLAGE PLAN AREA 1

June 20, 2016

DRAFT



WILDFLOWER

AT SARATOGA SPRINGS



VILLAGE PLAN

Prepared By:

DAI

Landmark Design

LEI

Hales Engineering

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SECTION 1: Legal Description



ENGINEERS
SURVEYORS
PLANNERS

LEGAL DESCRIPTION PREPARED FOR DAI Job No. 13-0902 (April 27, 2016)

VILLAGE PLAN LEGAL DESCRIPTION

A Portion of the West Half of Section 10 and the South Half of Section 3, Township 5 South, Range 1 West, Salt Lake Base and Meridian, described as follows:

Beginning at the North 1/4 Corner of Section 10, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence $S0^{\circ}11'02''W$ along the Quarter Section Line 3688.23 feet; thence $N89^{\circ}48'58''W$ 491.89 feet; thence $N15^{\circ}21'47''W$ 459.85 feet; thence along the arc of a 4440.00 foot radius curve to the right 2668.32 feet through a central angle of $34^{\circ}26'00''$ (chord: $N1^{\circ}51'13''E$ 2628.34 feet); thence $N19^{\circ}04'13''E$ 684.52 feet to the southerly line of that real property described in Deed Entry No. 3238:2014 in the official records of the Utah County Recorder; thence along said real property the following six (6) courses: $S18^{\circ}26'38''E$ 1.65 feet; thence $S25^{\circ}22'31''E$ 60.27 feet; thence $N89^{\circ}45'50''E$ 164.03 feet; thence $N0^{\circ}02'37''E$ 198.17 feet; thence $S89^{\circ}57'58''W$ 121.39 feet; thence $S64^{\circ}33'09''W$ 20.59 feet to the proposed easterly right-of-way line of Mountain View Corridor; thence along said right-of-way line the following eight (8) courses: along the arc of a 3000.00 foot radius non-tangent curve to the right (radius bears: $S67^{\circ}52'05''E$) 409.38 feet through a central angle of $7^{\circ}49'07''$ (chord: $N26^{\circ}02'28''E$ 409.06 feet); thence along the arc of a 8140.00 foot radius curve to the left 1433.58 feet through a central angle of $10^{\circ}05'27''$ (chord: $N24^{\circ}54'18''E$ 1431.73 feet); thence along the arc of a 750.00 foot radius curve to the right 974.95 feet through a central angle of $74^{\circ}28'49''$ (chord: $N57^{\circ}06'00''E$ 907.74 feet); thence $S85^{\circ}39'35''E$ 665.49 feet; thence along the arc of a 1500.00 foot radius curve to the left 438.11 feet through a central angle of $16^{\circ}44'05''$ (chord: $N85^{\circ}58'22''E$ 436.56 feet); thence $N77^{\circ}36'20''E$ 298.85 feet to the East Line of Section 3, Township 5 South, Range 1 West, Salt Lake Base and Meridian; thence $S0^{\circ}05'10''E$ along the Section Line 1023.87 feet; thence $N89^{\circ}51'58''E$ 547.97 feet to the East Bank of the Jacob Welby Canal; thence along the said East Bank the following six (6) courses: $S16^{\circ}33'17''E$ 43.07 feet; thence $S9^{\circ}58'30''E$ 53.91 feet; thence $S6^{\circ}37'28''W$ 103.89 feet; thence $S9^{\circ}27'03''W$ 107.43 feet; thence $S8^{\circ}32'21''W$ 53.31 feet; thence $S6^{\circ}29'17''W$ 48.17 feet; thence $N89^{\circ}58'51''W$ 1118.84 feet to the Northwest Corner of Plat "W", Harvest Hills Subdivision; thence $S26^{\circ}33'37''W$ along the westerly line of Plats "W & R/S", Harvest Hills Subdivisions 1040.70 feet; thence $S89^{\circ}36'29''W$ along Plats "Z, AA & CC" Harvest Hills Subdivisions 1346.34 feet; thence $N9^{\circ}35'01''E$ 216.50 feet; thence West 315.47 feet; thence $S3^{\circ}19'17''E$ 215.67 feet to the point of beginning.

Contains: ±168.69 Acres

- Civil Engineering
- Structural Engineering
- Surveying
- Land Planning
- Landscape Architecture

www.lei-eng.com

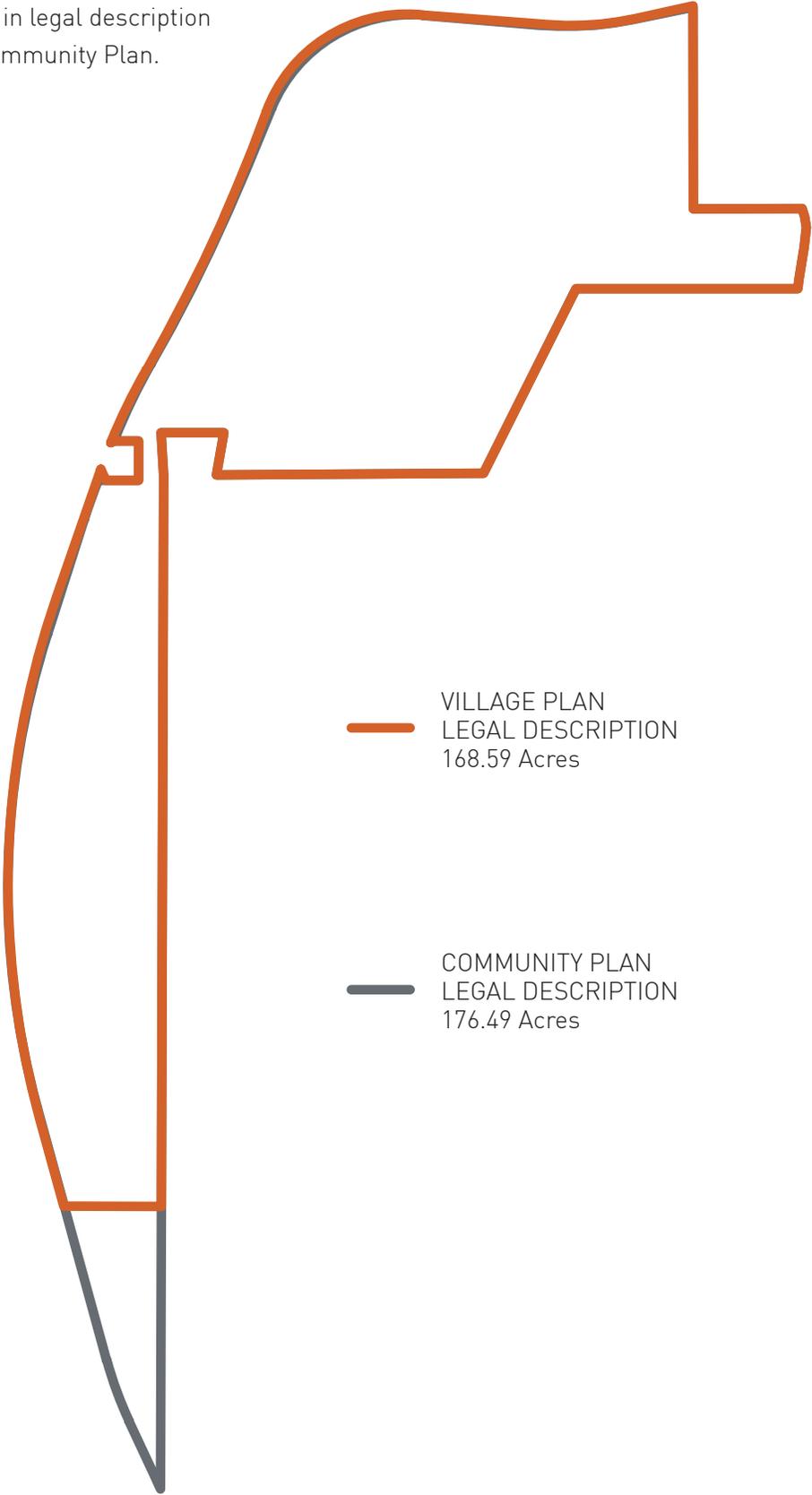
Note: Acreage in legal description varies from Community Plan. See exhibit on page S1-2.

Corporate Office: 3302 N. Main Street • Spanish Fork, UT 84660
Salt Lake Office: 14441 South 980 West • Bluffdale, UT 84065
Boise Office: 2040 S. Eagle Road • Meridian, ID 83642

☎ 801.798.0555 📠 801.798.9393
☎ 801.495.2844 📠 801.495.2847
☎ 208.846.9600



Note: Acreage in legal description varies from Community Plan.





SECTION 2: Detailed Use Map



RESIDENTIAL LEGEND		
LAND USE	AREA*	ERUs*
RESIDENTIAL VILLAGE 1	±148 ACRES	571
NEIGHBORHOOD PARKS VILLAGE 1	±15 ACRES	--
MASTER PLANNED ROADS (NO NEIGHBORHOOD ROADS)	±5 ACRES	--
TOTAL	±168 ACRES	571

*ALL AREAS SHOWN ARE APPROXIMATE. FINAL AREAS TO BE DETERMINED BASED ON FINAL ALIGNMENT AND BOUNDARY OF MOUNTAIN VIEW CORRIDOR.

Uses within a Planned Community District shall be guided but not limited to the following section of the Land Development Code (19.04.13):

R-3 Permitted Uses: Apiary; Chickens; Church; Dwelling, Single Family; Production of Fruit and Crops; Public Parks, Playgrounds, Recreation Areas, or Other Park Improvements; Residential Facilities for Persons with a Disability; School, Charter; School, Public; and Temporary Sales Trailer.

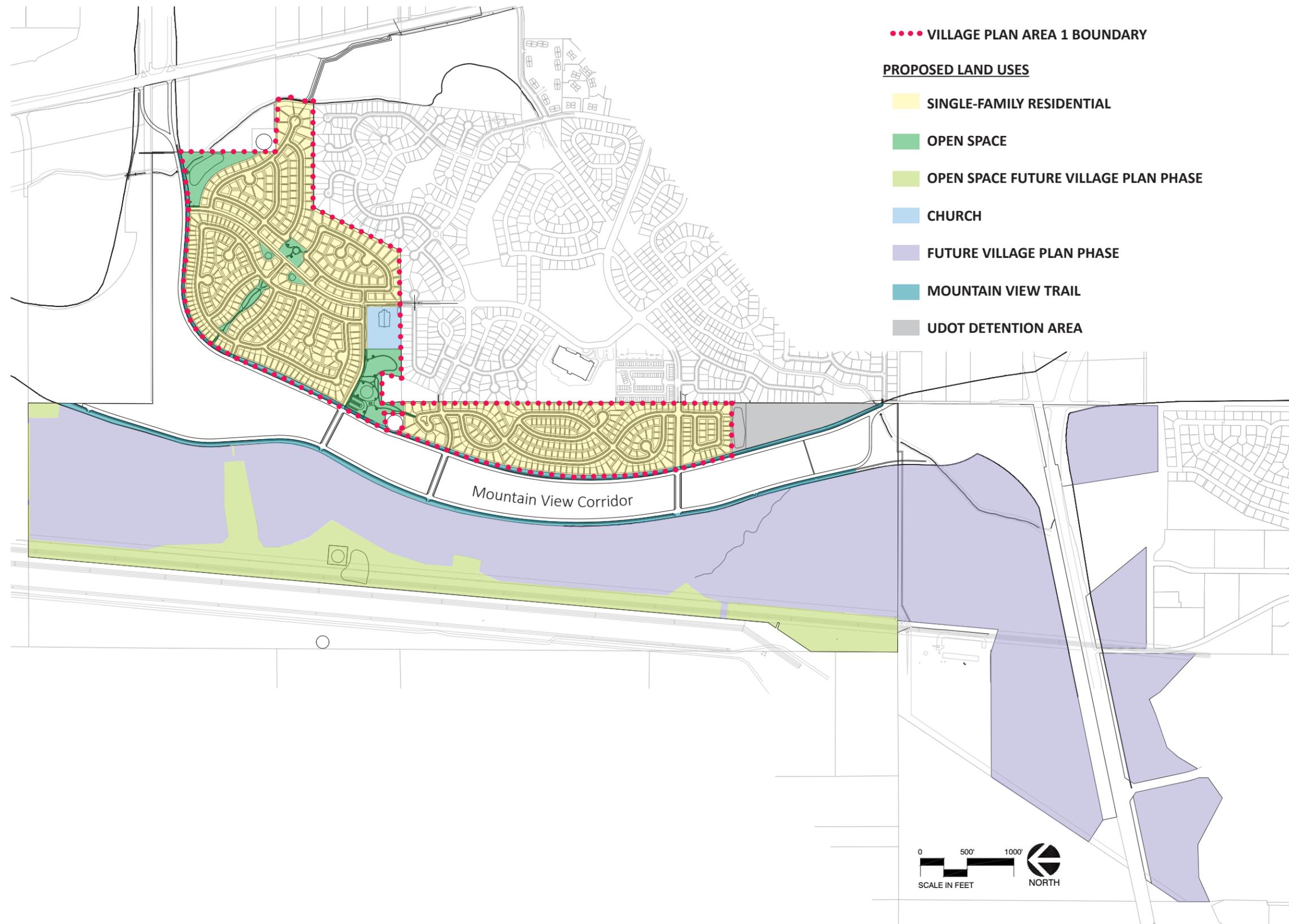
R-3 Conditional Uses: Bed & Breakfast; Cemetery; Child Care Center; Educational Center; Golf Course; Preschool; Public & Private Utility Building or Facility; Public Building or Facilities (City-Owned); Residential Facilities for Elderly Persons.

Buffering: Proposed land uses are compatible with neighboring land uses, including uses within and outside of Village Plan Area 1. Fencing will be used to buffer between residential areas, open space, and the church site (see the Fencing Plan in Section 5.)





SECTION 2 (cont'd): Detailed Use Map





SECTION 3: Detailed Buildout Allocation

The following information details the allocation of all acreage within Village Plan Area 1 (Refer to Phasing and Maintenance Plan in Section 7).

Area	Land Use	Acres	ERUs Assigned in the Community Plan	ERUs in Village Plan Area 1	Percent Change	ERUs/Gross Acre
Neighborhood 1	Single Family Residential	19.33	79	80	+1.0%	2.64
	Open Space	5.03				
	ROW	5.85				
Neighborhood 2	Single Family Residential	13.24	51	51	0%	2.84
	Open Space	0.68				
	ROW	4.03				
Neighborhood 3	Single Family Residential	19.93	128	125	-2.4%	4.44
	Open Space	1.67				
	ROW	6.56				
Neighborhood 4	Single Family Residential	17.55	109	94 (2 of these for the church)	-12.8%	2.71
	Open Space	6.39				
	Church	3.76				
	ROW	7.39				
Neighborhood 5	Single Family Residential	10.58	55	47	-14.6%	2.32
	Open Space	0.15				
	ROW	9.92				
Neighborhood 6	Single Family Residential	22.43	128	138	+7.8%	4.66
	ROW	7.16				
Neighborhood 7	Single Family Residential	5.71	30	36	+1.2%	3.77
	Open Space	1.82				
	ROW	2.01				
Village Plan Area 1	Master Planned Roads	4.57	N/A	N/A	N/A	N/A
Total ERUs Village Plan Area 1			580	571	-2.1%	

Note: See Lotting Plan for Neighborhood Breakdown in Section 8.

Future Population Projections

According to the City's Parks, Recreation, Trails, and Open Space Master Plan (2011), the average household size in Saratoga Springs is 4.05 persons. The total number of new housing units in Village Plan Area 1 is 571. Multiplying the number of new housing units by the average household size of 4.05 persons provides a future population projection of 2,316.6 for Village Plan Area 1.

Employment Levels

The land uses within Village Plan Area 1 are single family residential, open space, church, and right-of-way; therefore no employment will be provided in Village Plan Area 1.



SECTION 4: Development Standards

Building Form — Single Family Residential

Disclaimer: If any requirements in the Development Standards conflict with City or State Codes, the City or State codes take precedence over the Development Standards.

BUILDING CONFIGURATION	
Number of Bldgs. per Lot	1 + outbuilding
Height — Principal Building	35' maximum height measured at vertical distance from established finished grade surface at the building wall to the mean highest level between eaves and ridge for gable, hip, or gambrel roofs.
Height — Outbuilding	Equal to or less than 20 feet
Lot Coverage	50% maximum
Lot Frontage	45' minimum measured at front setback
Lot Size	Varies by neighborhood (see S8-1). Minimum lot size on corner lots shall be increased by 10%
SETBACKS — SINGLE FAMILY DWELLINGS	
Front Yard*	15' minimum
Front Access Garage	20' minimum (to garage)
Side Access Garage	24' minimum (subject to standard driveway approach widths)
Rear Yard	10' minimum
Side Yard*	Varies by lot size measured at front setback (see Section 8-1)
Corner Front Yard	15' minimum
Corner Front & Side Access Garages	20' minimum
Corner Side Yard Facing Street	15' minimum
SETBACKS — ACCESSORY STRUCTURES REQUIRING A BUILDING PERMIT	
Front Yard	Same as principal building
Side Yard	5' minimum
Rear Yard	5' minimum

*Any plats using 15' front setbacks will require the proper buffering per Questar Gas Standards.



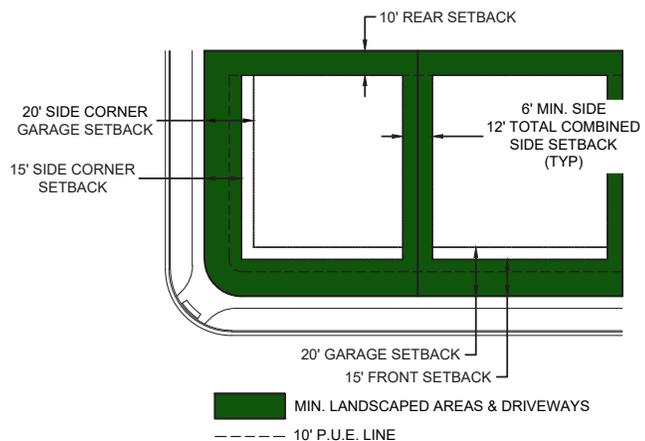
SECTION 4: Development Standards (cont'd)

Building Form — Single Family Residential

Neighborhood 1 - Primrose



Building Setback Detail



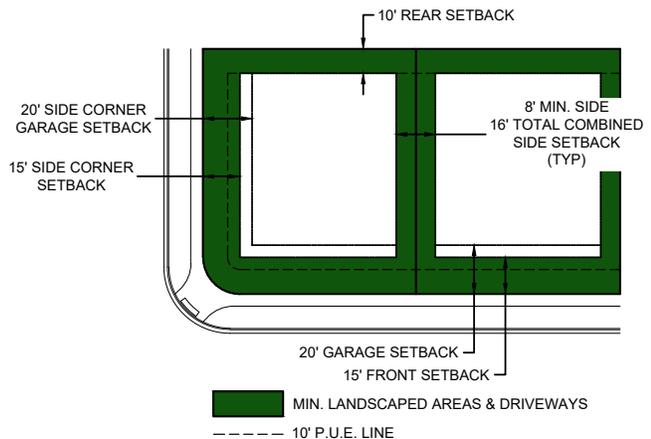
SECTION 4: Development Standards (cont'd)

Building Form — Single Family Residential

Neighborhood 2 - Primrose



Building Setback Detail



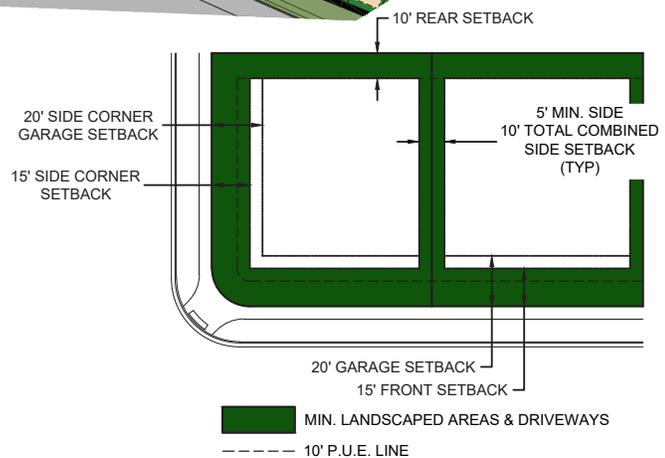
SECTION 4: Development Standards (cont'd)

Building Form — Single Family Residential

Neighborhood 3 - Sego Lily



Building Setback Detail



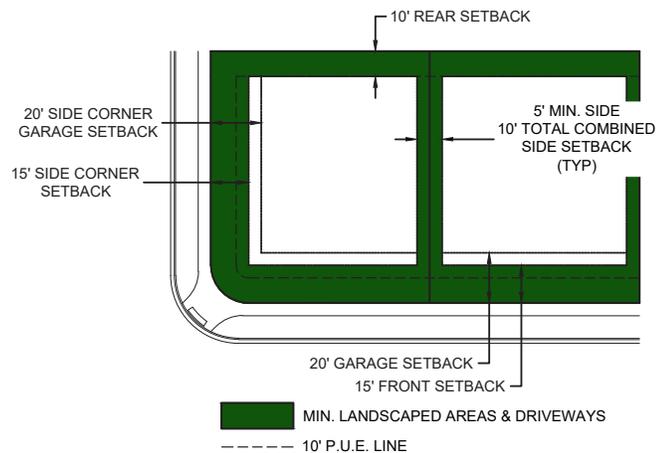
SECTION 4: Development Standards (cont'd)

Building Form — Single Family Residential

Neighborhood 4 - Segó Lily



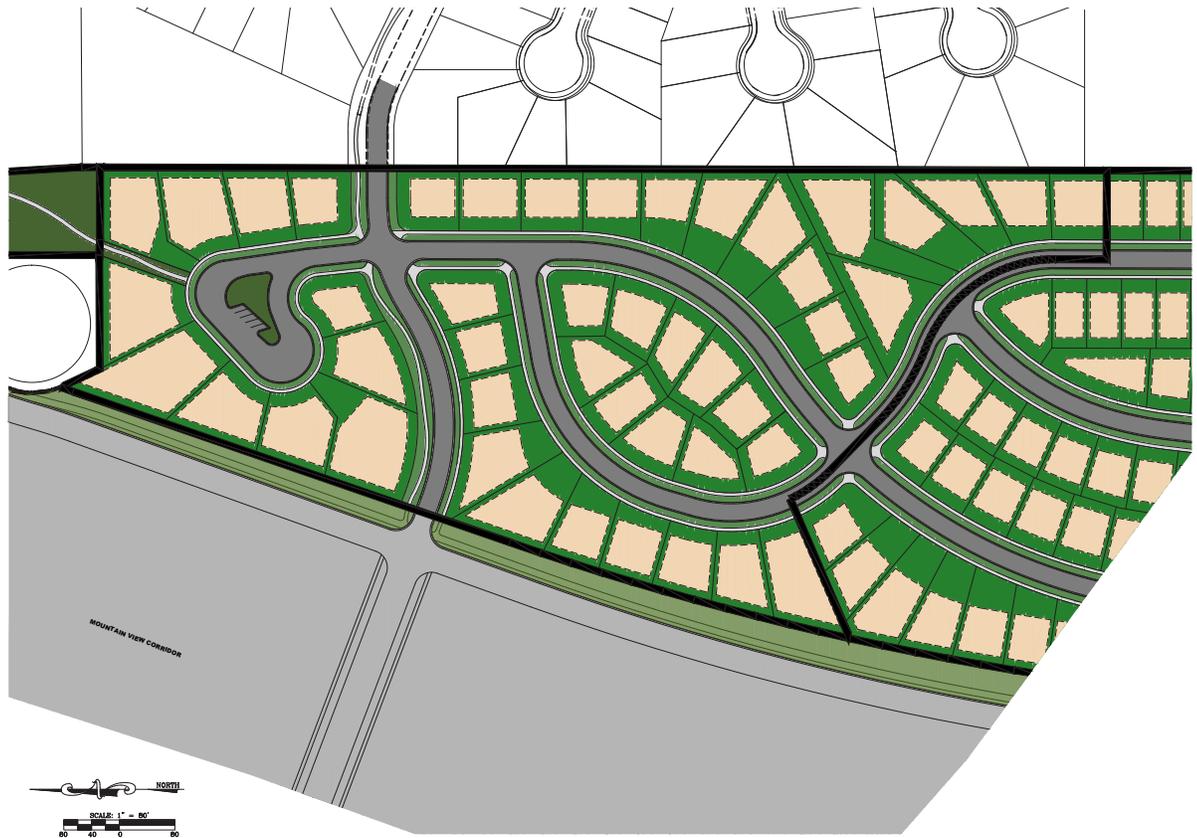
Building Setback Detail



SECTION 4: Development Standards (cont'd)

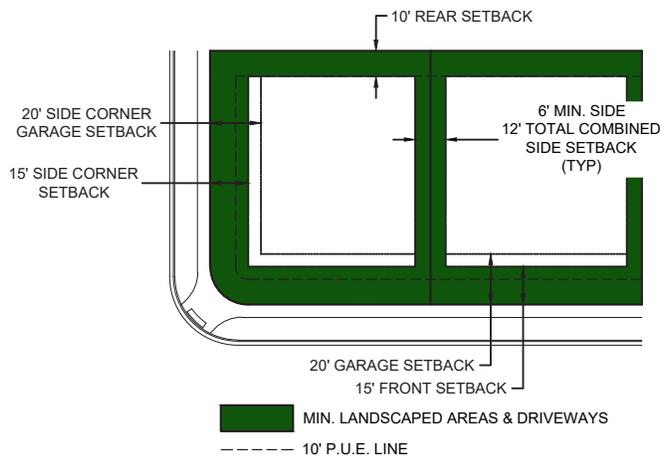
Building Form — Single Family Residential

Neighborhood 5 - Daisy



Note: The landscaped island and parking area associated with it are subject to change or deletion.

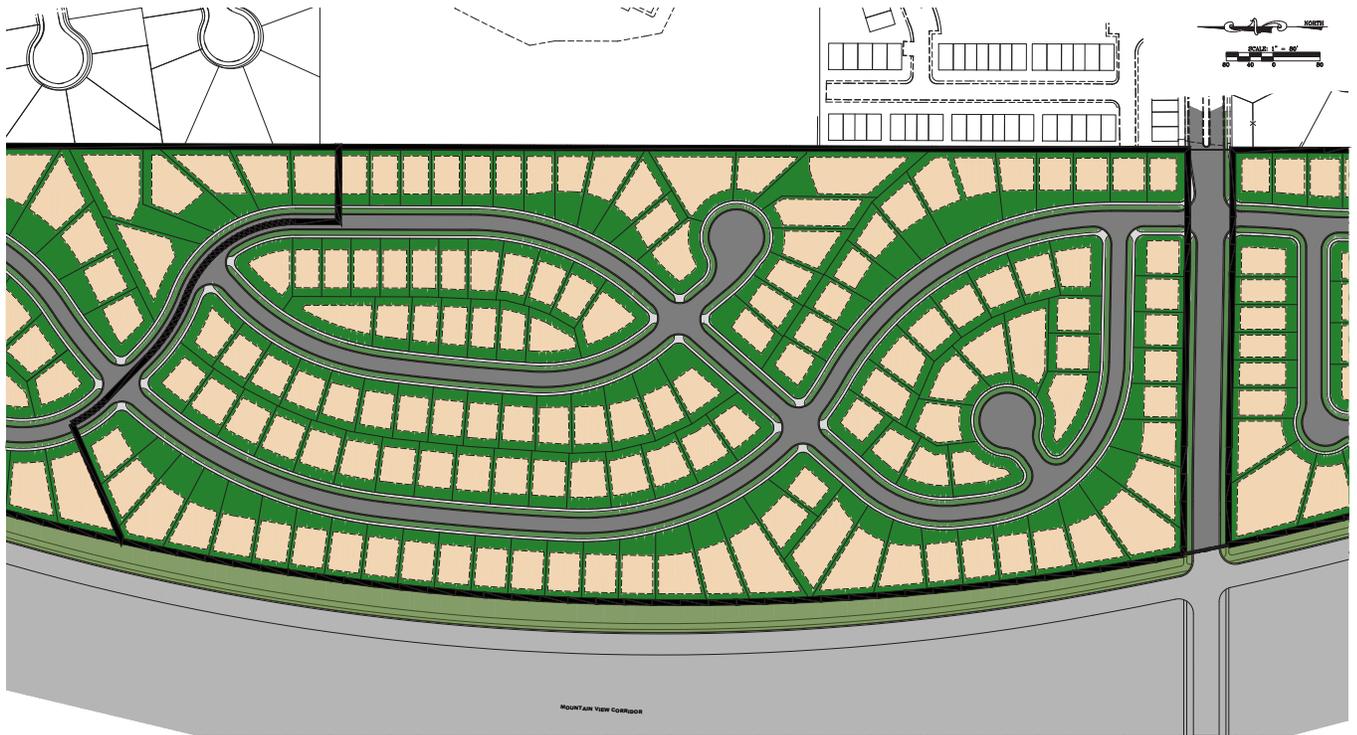
Building Setback Detail



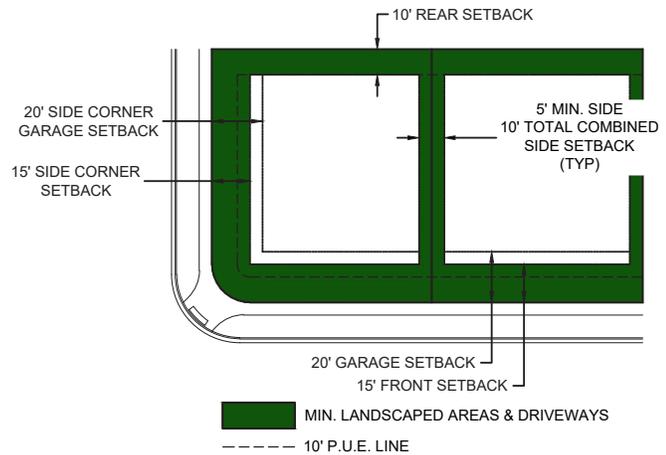
SECTION 4: Development Standards (cont'd)

Building Form — Single Family Residential

Neighborhood 6 - Daisy



Building Setback Detail



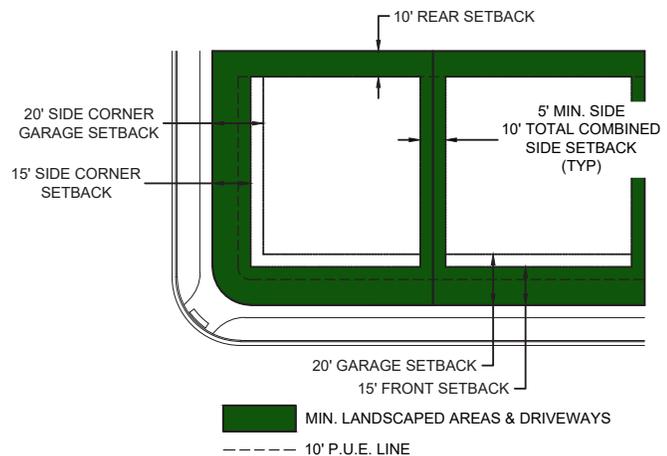
SECTION 4: Development Standards (cont'd)

Building Form — Single Family Residential

Neighborhood 7 - Wild Rose

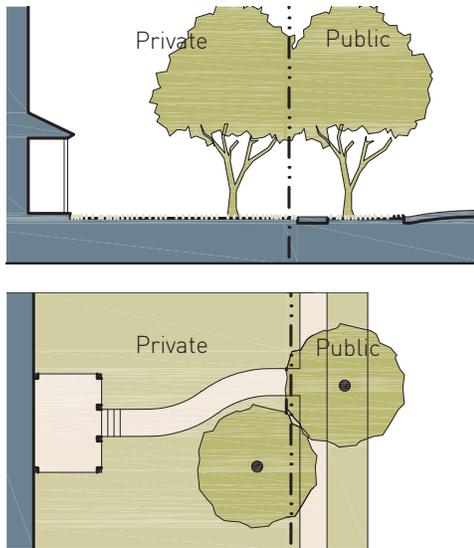


Building Setback Detail



SECTION 4: Development Standards (cont'd)

Private Open Space — Single Family Residential



PRIVATE YARD*	
Permitted Elements	Front Yard: Fences, hedges, & masonry walls (4' max. height/3' max. height inside clear-view triangle); outdoor furniture to stay within porch. Rear & Side Yard: 6' fences.
Surface Treatments	Groundcover, lawn, trees, flower gardens, vegetable gardens, & small shrubs. Stone mulch limited use with approval of WDRC. Landscape boulders are allowed. Artificial turf not allowed in front yard.
Special Requirements	Fences, hedges, & walls must be parallel with facade of principal building or placed along the front lot line.
Decks	Decks may not extend into setback. Deck must stay within the setbacks as described above.
Schedule	Front yard landscaping to be installed by certificate of occupancy. Back yard landscaping to be installed within 1 year of certificate of occupancy.

* Lawn, patio, and garden areas are subject to approval by the Wildflower Design Review Committee (WDRC).

** If certificate of occupancy is issued between November and March, landscaping to be installed by end of June.

Parking — Single Family Residential

Two off-street parking spaces are required per single family residential unit. Driveways for single family residential units meet this requirement.

Please reference City Code "Section 19.12.06 General Subdivision Improvement Requirements" for standards on garages and covered parking.

SECTION 5: Design Guidelines

Architecture Materials

The architectural standards presented in this Village Plan document are meant to govern the selection of building material and color scheme. The matrix below contains the potential building materials and how they can be used on the included home elevations. Materials are not limited to the details below. Additional materials may be introduced once approved by the WDRC. New materials to be introduced must maintain a high level of quality similar to the products listed below, and must be shown to be appropriate to a specified architectural style.

		ARCHITECTURAL STYLES				
		Prairie	Craftsman	Farmhouse	Utah Traditional	European
EXTERIOR MATERIALS	Composite Siding	*	*	*	*	*
	Stone / Brick	*	*	*	*	*
	Stone / Brick Not Required*	*	*	*		
	Stucco	*	*	*	*	*
	Architectural Asphalt Shingles	*	*	*	*	*
	Gable Returns				*	*
	Metal Roofing	*	*	*		
	Main Body Low Pitched Roofs (Under 6/12—18" Minimum Overhang)	*	*	*		
	Exposed Rafter Tails	*	*	*		*
	Shutters	*		*	*	*
	Arched Windows				*	*

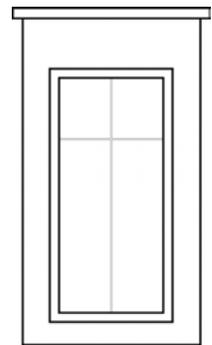


SECTION 5: Design Guidelines (cont'd)

Craftsman Elevation

The Craftsman Style originated in Southern California and quickly became the dominant style for smaller homes built throughout the country in the early 1900s. Though bungalows are the most common form of the Craftsman elevation, “high-style” interpretations can be found in various locations and are sometimes called “stick houses.” The following features identify a Craftsman style home:

- » Lap siding, board and batten, and shake and shingle exteriors with limited use of stucco
- » Low-pitched gable roofs (4/12 and 6/12 roof pitches are most common)
- » Exposed rafter tails under eaves
- » Decorative corbels and braces
- » Front porches with possible extensions to the side and rear of the home
- » Porch supports (columns/pillars) that are typically rectangular or tapered (not round) with masonry bases. All columns/pillars to be a minimum of 12 inches square.
- » Large roof overhangs (typically 18 to 24 inches wide)
- » Window grids
- » Heavy, thick fascia
- » Single-hung and double casement windows
- » Exposed, decorative beams
- » Garage windows



Window and Door
Casing and Trim





Craftsman Examples



SECTION 5: Design Guidelines (cont'd)

Farmhouse Elevation

The design of the American Farmhouse was initially influenced strictly by function and geography. The farmhouse was always unpretentious, straightforward, and functional. It was shaped by the needs of the farmers, the local climate, and the materials available. The original farmhouse represented simple shelter structures, yet provided a place of pride to entertain important relatives and live their lives in some comfort. Today, there is a growing interest in a simple, back-to-basics lifestyle. The American Farmhouse symbolizes that ideal, and it gives today's homeowners a tangible and sentimental connection to the nation's history. The following features identify a Farmhouse style home:

- » Simple, single or double column porch supports (columns/pillars)
- » Simple, rectangular floor plan
- » Dormers
- » Large, and often wrap-around, porches
- » Window grids
- » Large flat surfaces of board and batten on front elevation (typically 1.5 to 2 stories tall)
- » Low roof pitches above porches (typically 3/12 to 5/12)
- » Steeper roof pitches recommended on all other roofs, often as steep as 10/12 to 12/12
- » Gable-style roofs (not hipped)
- » Dormers (gabled and shed dormers are appropriate)
- » Taller, more narrow windows
- » White or light-colored exterior colors (strongly recommended)
- » Dark or colored windows are common





Farmhouse Examples



SECTION 5: Design Guidelines (cont'd)

European Elevation

The Wildflower European style combines an old world and romantic charm with modern elements. This style of home showcases many European influences such as Italian influence, Tudor style design cues, Mediterranean floor plans and Spanish home designs; the European style can easily range in size to fit each individual family's needs. These homes are characterized by medium to steep roof pitches, detailed entrances, hip roof forms, arched openings and shutters. Unique elements such as multi-paneled windows of varying sizes, spacious living areas and high ceilings create the unique blend of comfort and refinement. The following features identify a European style home:

- » Moderate to high roof pitches
- » Hip roof forms
- » Arched or square openings
- » Decorative front porches
- » Shutters





European Examples



SECTION 5: Design Guidelines (cont'd)

Prairie Elevation

The Prairie elevation is a recent style created by incorporating modern elements into the style of a traditional prairie home. This design emphasizes the simplicity and integrity that combines comfort, utility, and beauty, without imitating past styles. Prairie home plans have broad, gently sloping, shelter roofs with prominent, low chimneys. Balconies and terraces extend in several directions beyond the basic house, creating a protected outdoor space and a rhythm of vertical and horizontal planes. The following features identify a Prairie style home:

- » Low roof pitches (4/12-6/12)
- » Large modern-style windows (typically without grids)
- » Overhanging eaves, 18" to 24" recommended (Note: Eaves must be fire rated if less than 5 feet from property line)
- » Horizontal, clean lines in the detailing
- » Lap siding or stucco with masonry details
- » Open floor plans
- » Wide, rectangular columns/pillars
- » Prominent low chimneys
- » Brick as needed for masonry elements

The following features are often incorporated into traditional Prairie style homes in order to add a contemporary feel:

- » Large, tall windows
- » Modern, glass panel front door and garage
- » Wide front door (42 inches wide or larger)





Prairie Examples



SECTION 5: Design Guidelines (cont'd)

Utah Traditional Elevation

Traditional Utah architecture is very similar to domestic architecture elsewhere in the United States. This style is based on existing cultural traditions and/or current trends in architecture, rather than being original. It does, however, represent the early pioneer heritage and the eventual merging of Utah with mainstream American society. The result provides a certain sameness from community to community. The following features identify a Utah Traditional home:

- » Roof pitches (6/12 and greater)
- » Hipped and gabled roofs are common
- » Shutters
- » Masonry (brick or stone)
- » Body materials of siding or stucco
- » Gable returns
- » Arched windows, front doors, and garages
- » Use of copper or other metal on small roof elements
- » Bay or boxed windows
- » Wide front door (42 inches wide or larger)





Utah Traditional Examples



SECTION 5: Design Guidelines (cont'd)

Exterior Color Schemes

All exterior colors will be compatible with the architectural style of each dwelling. Bright artificial colors such as pastels, neons, fluorescents, etc will not be allowed.

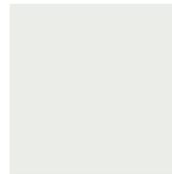
Color is a critical element for creating the ambiance of the overall community. A well-designed color palette should be based on natural elements. Appropriate use of color will bring unity to each neighborhood and help establish a sense of community. Additional colors may be added upon approval by the WDRC.



EXAMPLE COLORS - 01



Front Door
Manufacturer:
Kwal
Color:
Raccoon CL3176N



Soffit, Fascia, Trim
Manufacturer:
Hardie Color Plus
Color:
Arctic White

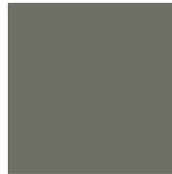


Hardie - Color 1
Manufacturer:
Hardie Color Plus
Color:
Boothbay Blue

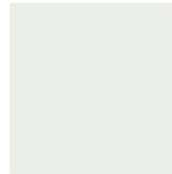


Hardie - Color 2
Manufacturer:
Hardie Color Plus
Color:
Sandstone Beige

EXAMPLE COLORS - 02



Front Door
Manufacturer:
Kwal
Color:
Jumpsuit CL2986A



Soffit, Fascia, Trim
Manufacturer:
Hardie Color Plus
Color:
Arctic White

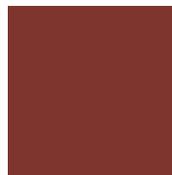


Hardie - Color 1
Manufacturer:
Hardie Color Plus
Color:
Heathered Moss

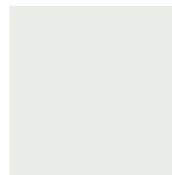


Hardie - Color 2
Manufacturer:
Hardie Color Plus
Color:
Sandstone Beige

EXAMPLE COLORS - 03



Front Door
Manufacturer:
Sherwin Williams
Color:
Fireweed SW6328



Soffit, Fascia, Trim
Manufacturer:
Hardie Color Plus
Color:
Arctic White



Hardie - Color 1
Manufacturer:
Hardie Color Plus
Color:
Timber Bark



Hardie - Color 2
Manufacturer:
Hardie Color Plus
Color:
Sandstone Beige



Native Regional Suitability

The color palette established for Wildflower has been based on the native flowers found at Wildflower and the surrounding area as well as a variety of hues found in the landscape. Approved colors include native and natural tones found in the Utah landscape, including earth tones and colors indicative of mountainous and prairie settlements.

Stylistic Appropriateness

The colors used at Wildflower should reflect the architectural styles being offered at Wildflower. Fewer colors are typically more appropriate than incorporating a large variety of colors on individual buildings. This keeps homes from distracting from the overall ambiance of the community.

Community Cohesiveness

The relationship of colors between neighboring homes is critical when selecting the palette for each building facade. A sense of flow is created by balancing building elements, which have similar tones across many buildings, yet incorporate a variety of color elements, making each home unique.

Main Body and Trim

Color schemes for Wildflower may have a softer contrast between the main body and trim colors for a more subtle appearance. Alternatively, some homes may have a stronger contrast between the main body and trim colors.

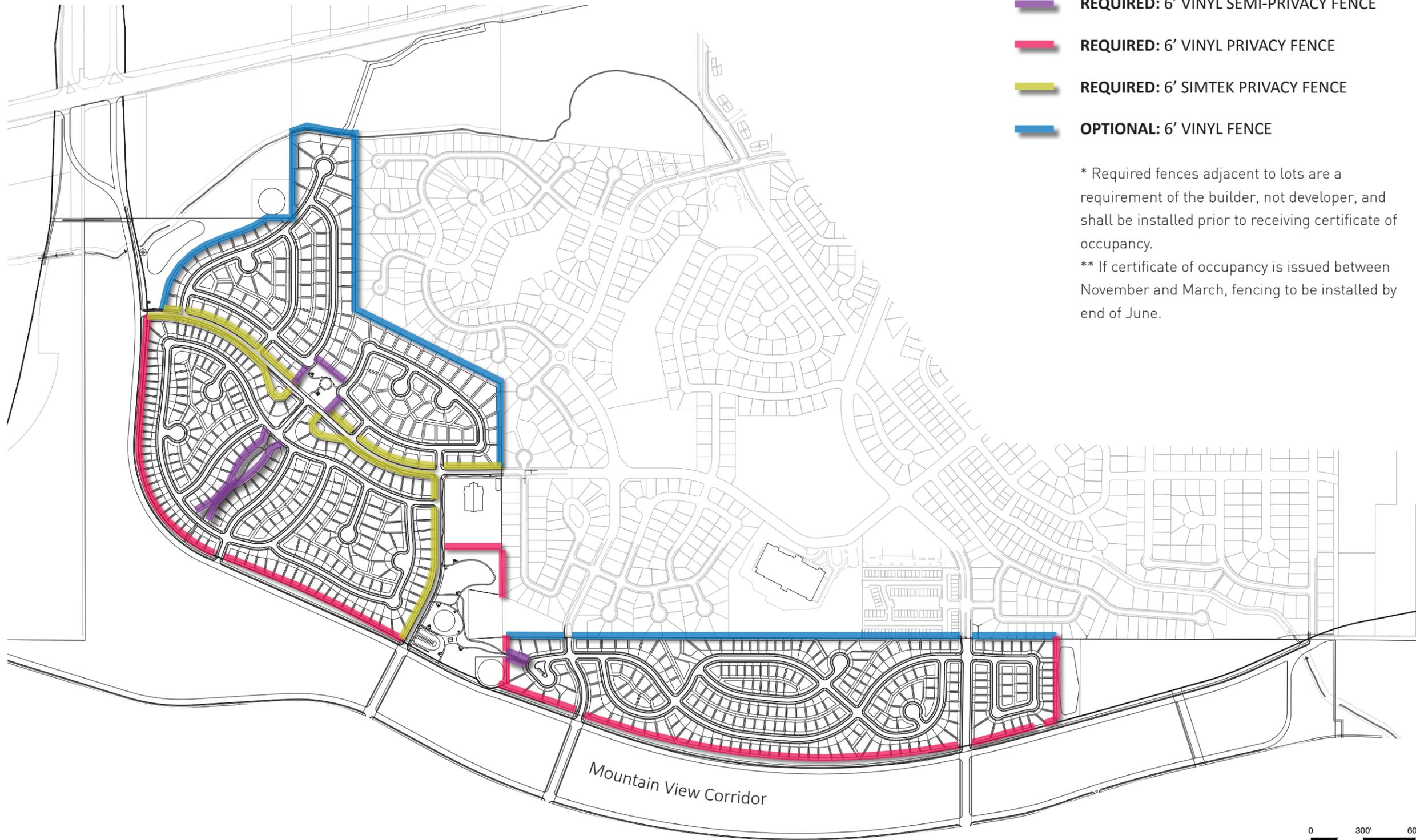
Roofing Colors and Materials

It is especially important to consider color variation with roofing materials in order to encourage diversity and architectural interest in each neighborhood and throughout the community.





SECTION 5a: Fencing Plan



-  **REQUIRED: 6' VINYL SEMI-PRIVACY FENCE**
-  **REQUIRED: 6' VINYL PRIVACY FENCE**
-  **REQUIRED: 6' SIMTEK PRIVACY FENCE**
-  **OPTIONAL: 6' VINYL FENCE**

* Required fences adjacent to lots are a requirement of the builder, not developer, and shall be installed prior to receiving certificate of occupancy.
 ** If certificate of occupancy is issued between November and March, fencing to be installed by end of June.



SECTION 5: Design Guidelines (cont'd)

Fence Type Examples

6' Vinyl Semi-Privacy Fence*



6' Vinyl Privacy Fence



6' SimTek Privacy Fence



*Openings in semi-privacy fence to match the City standard of 1-inch.



SECTION 6: Associations

Home Owners Associations

In accordance with section 19.26.03,2,d of the Planned Community Zone ordinance, a Master Home Owners Association (HOA) will be established to review, approve, and enforce architectural requirements and restrictions, and to address common area maintenance obligations for the entire Wildflower Community. Where required, typically in multi-family areas in later phases, sub-HOAs will be established to address area-specific costs.

Wildflower Design Review Committee (WDRC)

In order to create, maintain and improve the Project as a pleasant, desirable and sustainable community, and to establish and implement a consistent and harmonious design concept and to protect and promote the present and future values of Wildflower Development, all exterior, architectural building elevations and building materials, colors and usage design, site plan and landscape treatments, wall and fencing, and signage within Village Plan Area 1 shall be subject to a Design Review Process and approval by the established Wildflower Development Review Committee (WDRC).

The WDRC shall review and approve all residential site plans and building permits prior to beginning the City of Saratoga Springs submittal and review processes. The WDRC shall consist of representatives from the following: the Master Developer and a selected team of design professionals, i.e. planners, engineers, architects, contractors, etc. The Master Developer shall retain the right to retain or replace members of the WDRC at its discretion.



SECTION 7: Phasing & Maintenance Plan

Phasing

As indicated on page 15 in the Wildflower Community Plan, Wildflower Village Plan Area 1 is the first phase for the Wildflower at Saratoga Springs development. Preliminary phasing for Village Plan Area 1 is shown on the Phase Plan on the following page, including open space. Phasing for open space in future village plan areas shown in the Detailed Use Plan in Section 3 will be determined at the corresponding Village Plan stage.

Maintenance

Maintenance for all common open space areas within Wildflower Village Plan Area 1, including park strips, private parks, and developed and natural open space, will be provided by the Master Homeowners Association (HOA) described in Section 6 of this Village Plan. Any open space where ownership is transferred to the City for use as a City Park will be maintained by the City of Saratoga Springs.

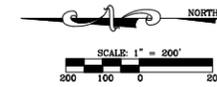




SECTION 7a: Phasing Plan

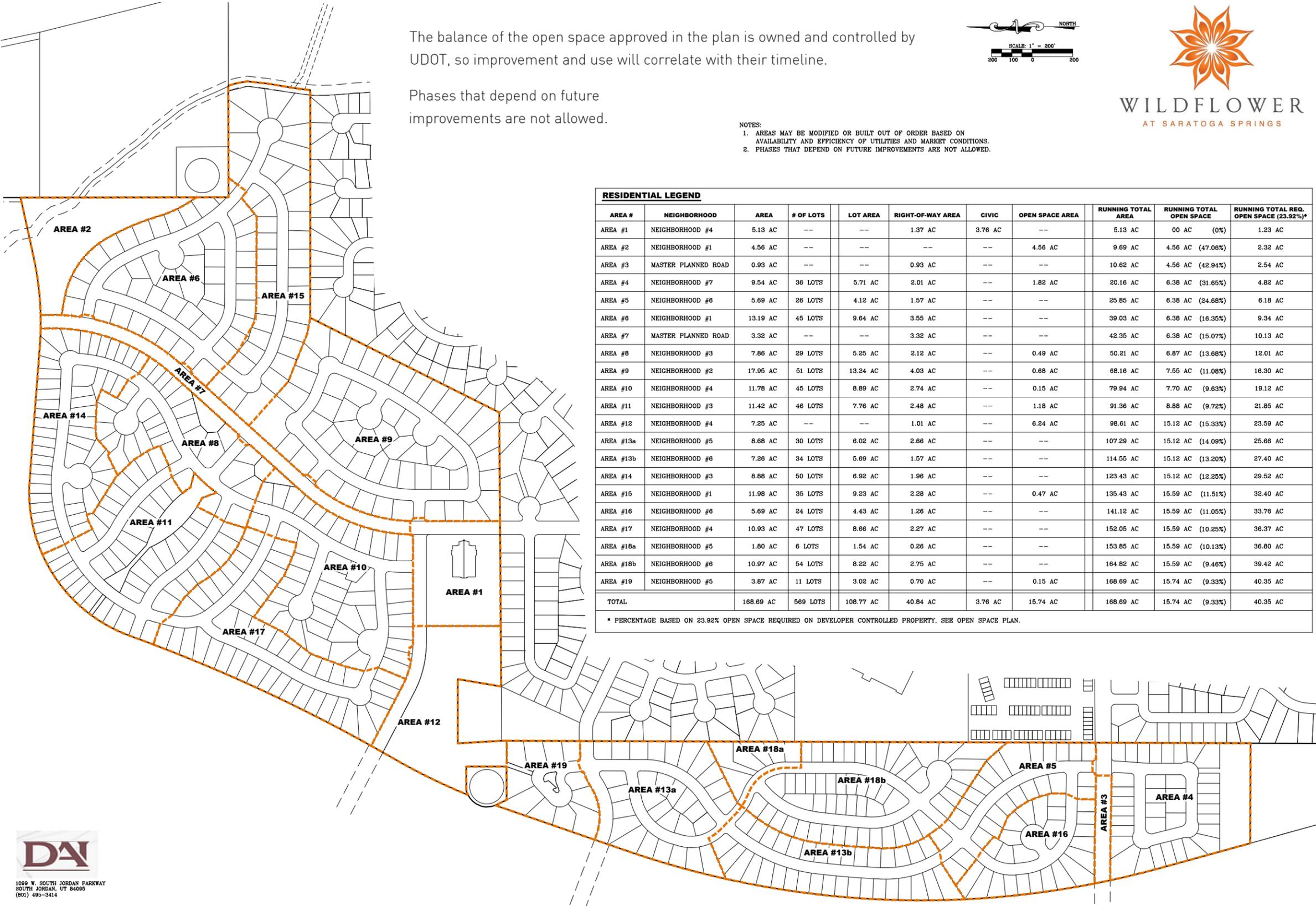
The balance of the open space approved in the plan is owned and controlled by UDOT, so improvement and use will correlate with their timeline.

Phases that depend on future improvements are not allowed.



WILDFLOWER
AT SARATOGA SPRINGS

- NOTES:
 1. AREAS MAY BE MODIFIED OR BUILT OUT OF ORDER BASED ON AVAILABILITY AND EFFICIENCY OF UTILITIES AND MARKET CONDITIONS.
 2. PHASES THAT DEPEND ON FUTURE IMPROVEMENTS ARE NOT ALLOWED.



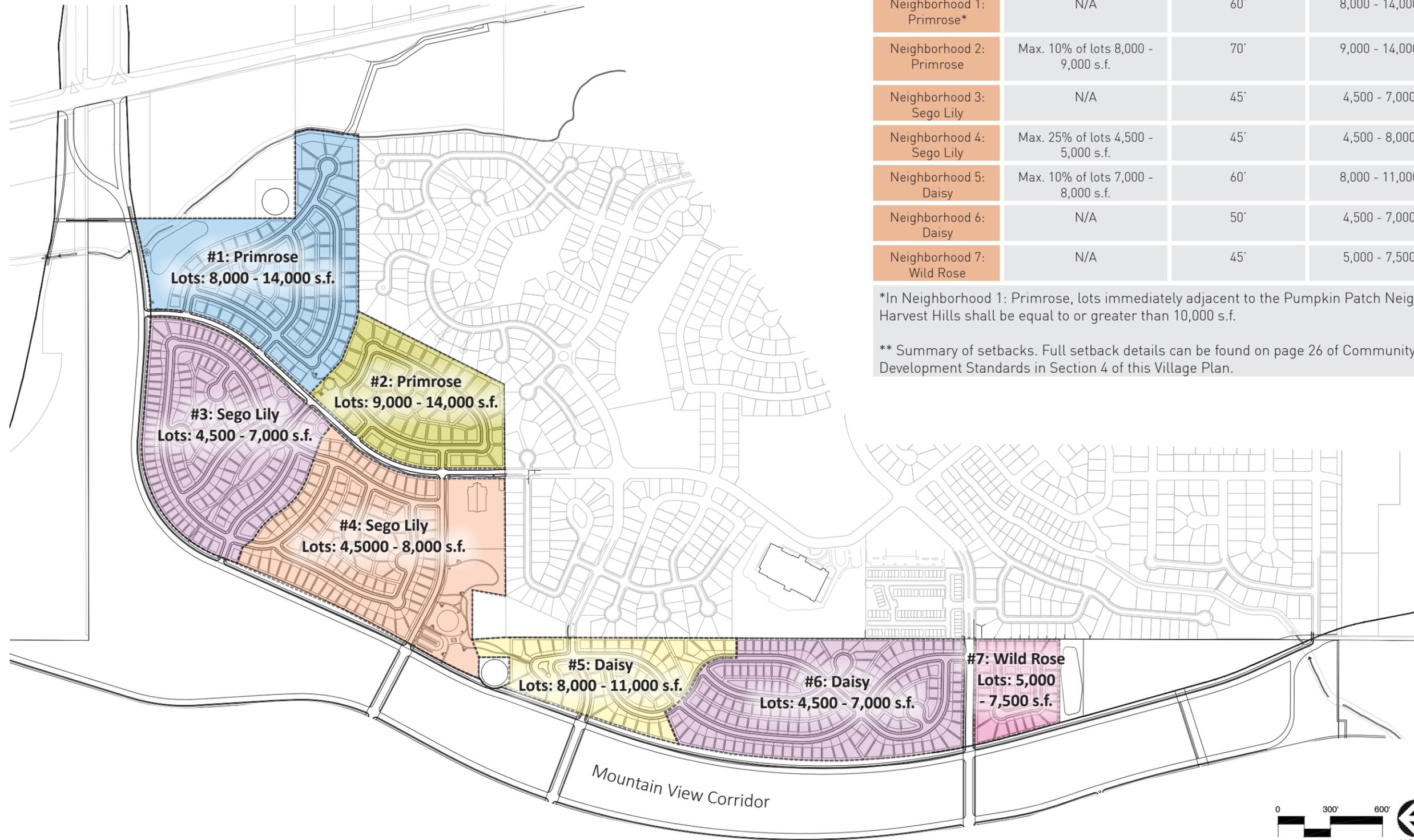
RESIDENTIAL LEGEND										
AREA #	NEIGHBORHOOD	AREA	# OF LOTS	LOT AREA	RIGHT-OF-WAY AREA	CIVIC	OPEN SPACE AREA	RUNNING TOTAL AREA	RUNNING TOTAL OPEN SPACE	RUNNING TOTAL REQ. OPEN SPACE (23.92%)*
AREA #1	NEIGHBORHOOD #4	5.13 AC	--	--	1.37 AC	3.76 AC	--	5.13 AC	00 AC (0%)	1.23 AC
AREA #2	NEIGHBORHOOD #1	4.56 AC	--	--	--	--	4.56 AC	9.69 AC	4.56 AC (47.06%)	2.32 AC
AREA #3	MASTER PLANNED ROAD	0.93 AC	--	--	0.93 AC	--	--	10.62 AC	4.56 AC (42.94%)	2.54 AC
AREA #4	NEIGHBORHOOD #7	9.54 AC	36 LOTS	5.71 AC	2.01 AC	--	1.82 AC	20.16 AC	6.38 AC (31.65%)	4.82 AC
AREA #5	NEIGHBORHOOD #6	5.69 AC	26 LOTS	4.12 AC	1.57 AC	--	--	25.85 AC	6.38 AC (24.68%)	6.18 AC
AREA #6	NEIGHBORHOOD #1	13.19 AC	45 LOTS	9.64 AC	3.55 AC	--	--	39.03 AC	6.38 AC (16.35%)	9.34 AC
AREA #7	MASTER PLANNED ROAD	3.32 AC	--	--	3.32 AC	--	--	42.35 AC	6.38 AC (15.07%)	10.13 AC
AREA #8	NEIGHBORHOOD #3	7.86 AC	29 LOTS	5.25 AC	2.12 AC	--	0.49 AC	50.21 AC	6.87 AC (13.68%)	12.01 AC
AREA #9	NEIGHBORHOOD #2	17.95 AC	51 LOTS	13.24 AC	4.03 AC	--	0.68 AC	68.16 AC	7.55 AC (11.08%)	16.30 AC
AREA #10	NEIGHBORHOOD #4	11.78 AC	45 LOTS	8.89 AC	2.74 AC	--	0.15 AC	79.94 AC	7.70 AC (9.63%)	19.12 AC
AREA #11	NEIGHBORHOOD #3	11.42 AC	46 LOTS	7.76 AC	2.48 AC	--	1.18 AC	91.36 AC	8.88 AC (9.72%)	21.85 AC
AREA #12	NEIGHBORHOOD #4	7.25 AC	--	--	1.01 AC	--	6.24 AC	98.61 AC	15.12 AC (15.33%)	23.59 AC
AREA #13a	NEIGHBORHOOD #5	8.88 AC	30 LOTS	6.02 AC	2.86 AC	--	--	107.29 AC	15.12 AC (14.09%)	25.86 AC
AREA #13b	NEIGHBORHOOD #6	7.26 AC	34 LOTS	5.69 AC	1.57 AC	--	--	114.55 AC	15.12 AC (13.20%)	27.40 AC
AREA #14	NEIGHBORHOOD #3	8.88 AC	50 LOTS	6.92 AC	1.96 AC	--	--	123.43 AC	15.12 AC (12.25%)	29.52 AC
AREA #15	NEIGHBORHOOD #1	11.98 AC	35 LOTS	9.23 AC	2.28 AC	--	0.47 AC	135.43 AC	15.59 AC (11.51%)	32.40 AC
AREA #16	NEIGHBORHOOD #6	5.89 AC	24 LOTS	4.43 AC	1.26 AC	--	--	141.12 AC	15.59 AC (11.05%)	33.76 AC
AREA #17	NEIGHBORHOOD #4	10.93 AC	47 LOTS	8.66 AC	2.27 AC	--	--	152.05 AC	15.59 AC (10.25%)	36.37 AC
AREA #18a	NEIGHBORHOOD #5	1.80 AC	6 LOTS	1.54 AC	0.26 AC	--	--	153.85 AC	15.59 AC (10.13%)	36.80 AC
AREA #18b	NEIGHBORHOOD #6	10.97 AC	54 LOTS	8.22 AC	2.75 AC	--	--	164.82 AC	15.59 AC (9.46%)	39.42 AC
AREA #19	NEIGHBORHOOD #5	3.87 AC	11 LOTS	3.02 AC	0.70 AC	--	0.15 AC	168.69 AC	15.74 AC (9.33%)	40.35 AC
TOTAL		168.69 AC	569 LOTS	108.77 AC	40.84 AC	3.76 AC	15.74 AC	168.69 AC	15.74 AC (9.33%)	40.35 AC

* PERCENTAGE BASED ON 23.92% OPEN SPACE REQUIRED ON DEVELOPER CONTROLLED PROPERTY, SEE OPEN SPACE PLAN.





SECTION 8: Lotting Map



AREA	NEIGHBORHOOD LOT SIZE PERCENTAGE EXCEPTIONS	MIN. LOT SIZE WIDTH AT FRONT SETBACK	TYPICAL RANGE OF LOT SIZES	SIDE YARD SETBACKS
Neighborhood 1: Primrose*	N/A	60'	8,000 - 14,000	6'/12'
Neighborhood 2: Primrose	Max. 10% of lots 8,000 - 9,000 s.f.	70'	9,000 - 14,000	8'/16'
Neighborhood 3: Sego Lily	N/A	45'	4,500 - 7,000	5'/10'
Neighborhood 4: Sego Lily	Max. 25% of lots 4,500 - 5,000 s.f.	45'	4,500 - 8,000	5'/10'
Neighborhood 5: Daisy	Max. 10% of lots 7,000 - 8,000 s.f.	60'	8,000 - 11,000	6'/12'
Neighborhood 6: Daisy	N/A	50'	4,500 - 7,000	5'/10'
Neighborhood 7: Wild Rose	N/A	45'	5,000 - 7,500	5'/10'

*In Neighborhood 1: Primrose, lots immediately adjacent to the Pumpkin Patch Neighborhood of Harvest Hills shall be equal to or greater than 10,000 s.f.

** Summary of setbacks. Full setback details can be found on page 26 of Community Plan and in the Development Standards in Section 4 of this Village Plan.





SECTION 9: Landscape Plan & Plant Palette

VILLAGE PLAN AREA 1 -- CONCEPT PLANT SCHEDULE

Quantities shown on this sheet are for entire Village Plan Area 1.



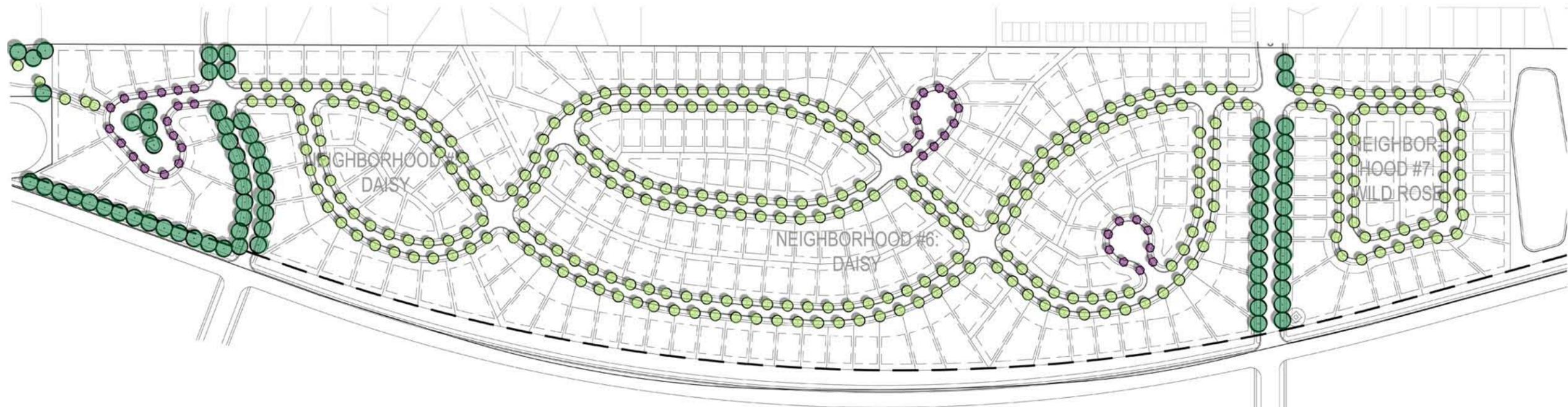
Landscape Concept Plan
Neighborhoods 1 and 2





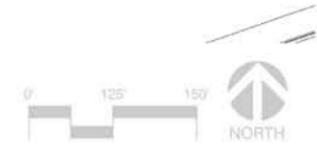
Landscape Concept Plan
Neighborhoods 3 and 4





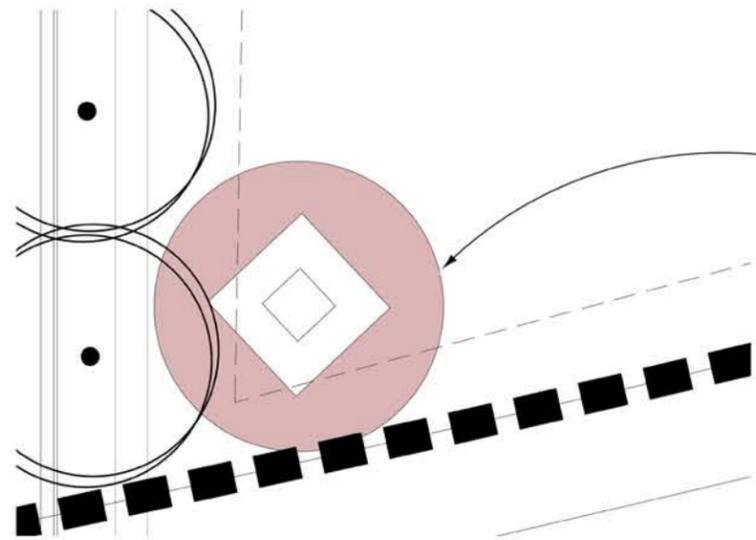
VILLAGE PLAN AREA 1 -- CONCEPT PLANT SCHEDULE

- | | |
|---|---|
| <p> LARGE TREE (2" CALIPER)
 <i>Acer platanoides</i> 'Emerald Queen'
 <i>Pinus nigra</i>
 <i>Platanus x acerifolia</i> 'Bloodgood'
 <i>Quercus macrocarpa</i>
 <i>Quercus robur</i> 'Fastigiata'
 <i>Tilia tomentosa</i></p> | <p><i>Emerald Queen Maple</i>
 <i>Austrian Black Pine</i>
 <i>London Plane Tree</i>
 <i>Burr Oak</i>
 <i>Pyramidal English Oak</i>
 <i>Silver Linden</i></p> |
| <p> MEDIUM TREE (2" CALIPER)
 <i>Acer negundo</i> 'Sensation'
 <i>Celtis occidentalis</i>
 <i>Gleditsia triacanthos inermis</i>
 <i>Tilia cordata</i></p> | <p><i>Sensation Box Elder Maple</i>
 <i>Common Hackberry</i>
 <i>Thornless Common Honeylocust</i>
 <i>Littleleaf Linden</i></p> |
| <p> SMALL TREE (2" CALIPER)
 <i>Acer tataricum</i>
 <i>Crataegus x lavalleyi</i>
 <i>Malus x 'Indian Magic'</i>
 <i>Malus x 'Prairifire'</i>
 <i>Malus x 'Spring Snow'</i>
 <i>Prunus virginiana</i> 'Canada Red'</p> | <p><i>Tatarian Maple</i>
 <i>Hawthorn</i>
 <i>Indian Magic Crab Apple</i>
 <i>Prairifire Crab Apple</i>
 <i>Spring Snow Crab Apple</i>
 <i>Canada Red Chokecherry</i></p> |



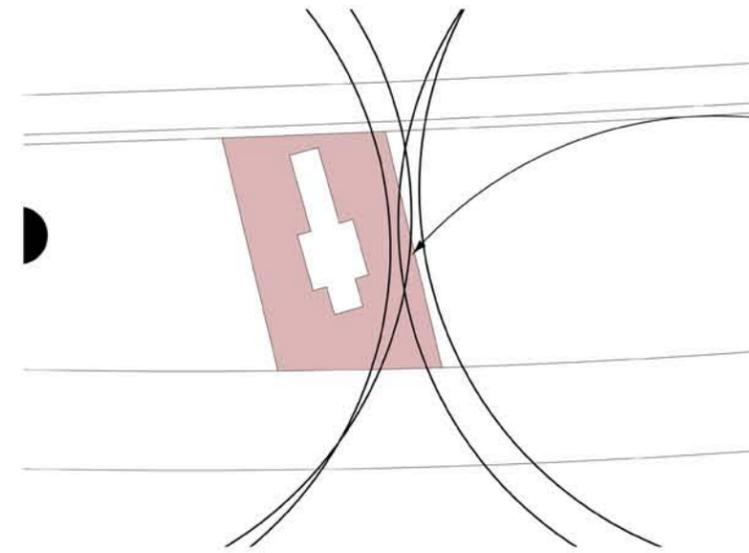
Landscape Concept Plan
Neighborhoods 5, 6, and 7





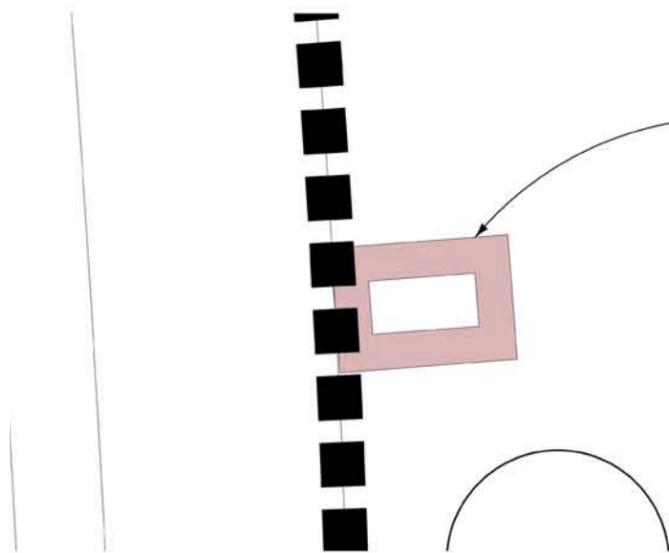
- Planting Mix**
(size - 1 gallon minimum, grouped in clusters of 3, 5, or 7 per species)
- Perennial Grasses**
(Miscanthus sp., Calamagrostis sp., Helictrotrichon sp., or Deschampsia sp.)
- Perennial Flowers**
(Leucanthemum sp., Coreopsis sp., Gaura sp., Geranium sp., Hemerocallis sp., Lavandula sp., Linum sp., Penstemon sp., Rudbeckia sp., or Sedum sp.)

LANDSCAPE CONCEPT: PRIMARY ENTRANCE SIGN



- Planting Mix**
(size - 1 gallon minimum, grouped in clusters of 3, 5, or 7 per species)
- Perennial Grasses**
(Helictrotrichon sp. or Deschampsia sp.)
- Perennial Flowers**
(Leucanthemum sp., Coreopsis sp., Gaura sp., Geranium sp., Hemerocallis sp., Lavandula sp., Linum sp., Penstemon sp., Rudbeckia sp., or Sedum sp.)

LANDSCAPE CONCEPT: SECONDARY ENTRANCE SIGN (TYPICAL)



- Planting Mix**
(size - 1 gallon minimum, grouped in clusters of 3, 5, or 7 per species)
- Perennial Grasses**
(Helictrotrichon sp. or Deschampsia sp.)
- Annual Flowers**
(As determined by WDRC)

LANDSCAPE CONCEPT: BUILDER DIRECTIONAL SIGN (TYPICAL)

Landscape Concept Plans for Typical Signage



SECTION 10: Utility Plans

The following maps provide greater detail on the utilities for Wildflower Village Plan Area 1.

Section 10a: Culinary Water Plan

Section 10b: Secondary Water Plan

Section 10c: Sewer Plan

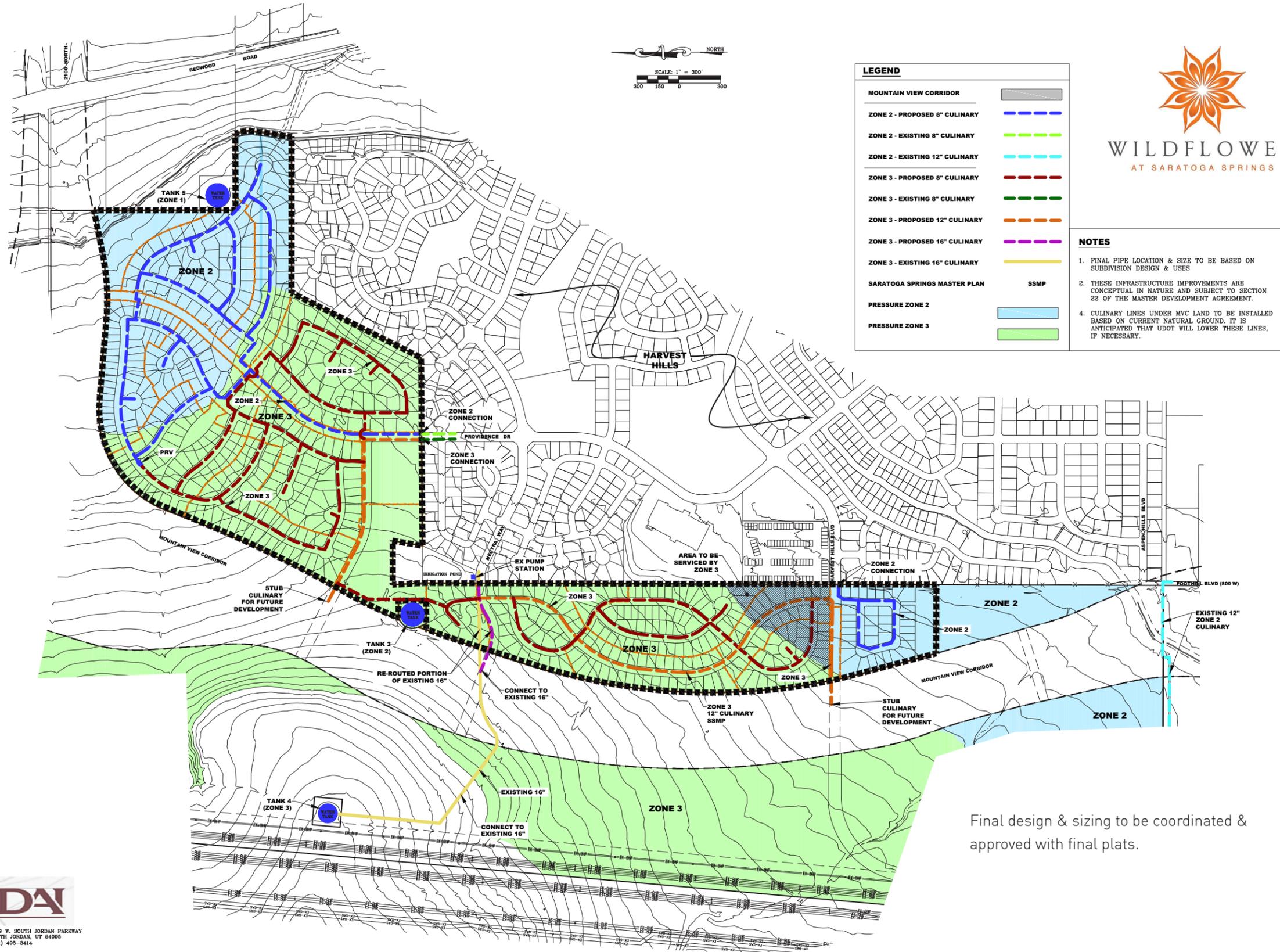
Section 10d: Stormwater Drainage Plan

Section 10e: Master CFP Plan





SECTION 10a: Culinary Water Plan



WILDFLOWER
AT SARATOGA SPRINGS

Final design & sizing to be coordinated & approved with final plats.

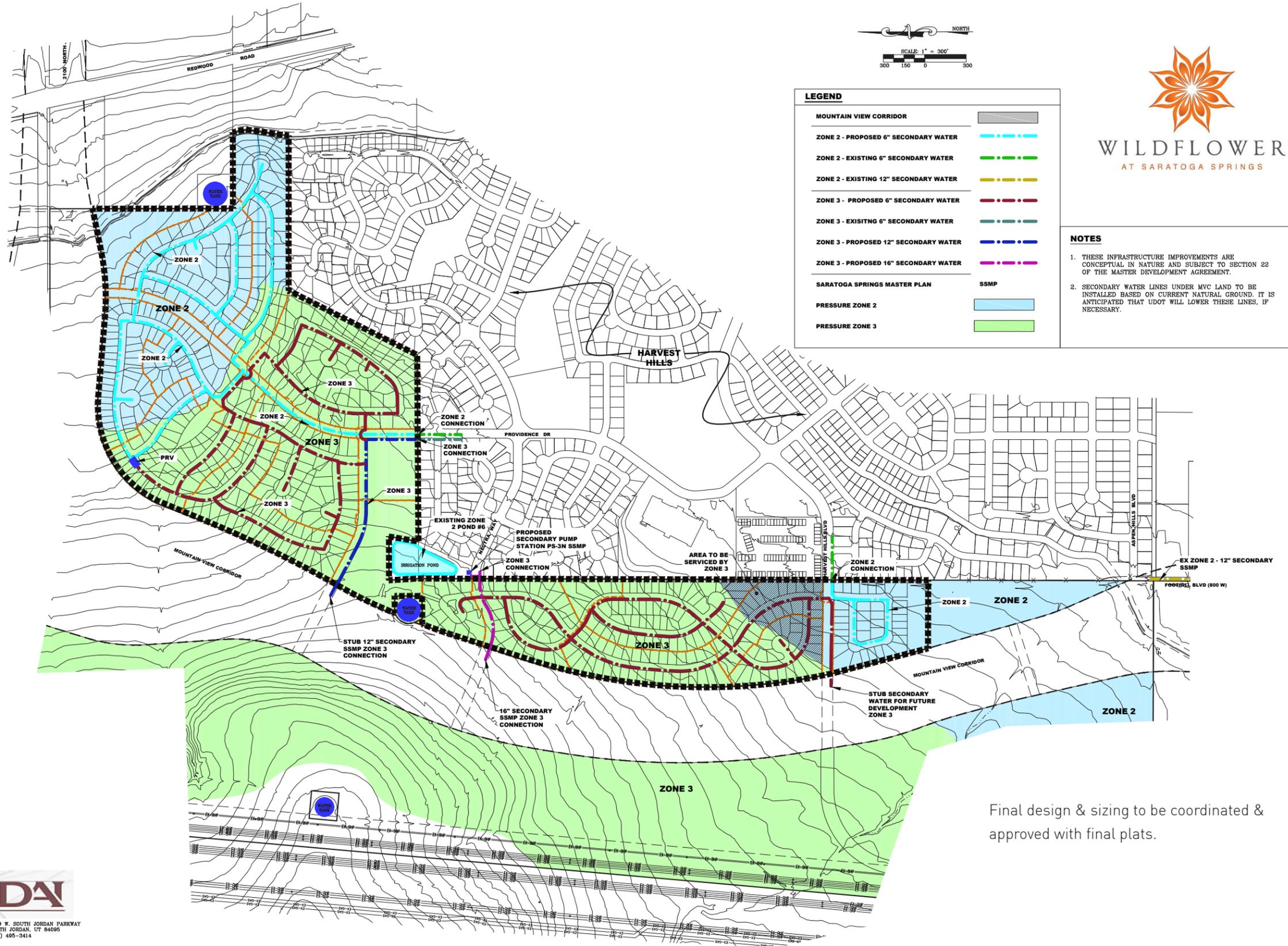


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SECTION 10b: Secondary Water Plan



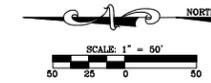
Final design & sizing to be coordinated & approved with final plats.

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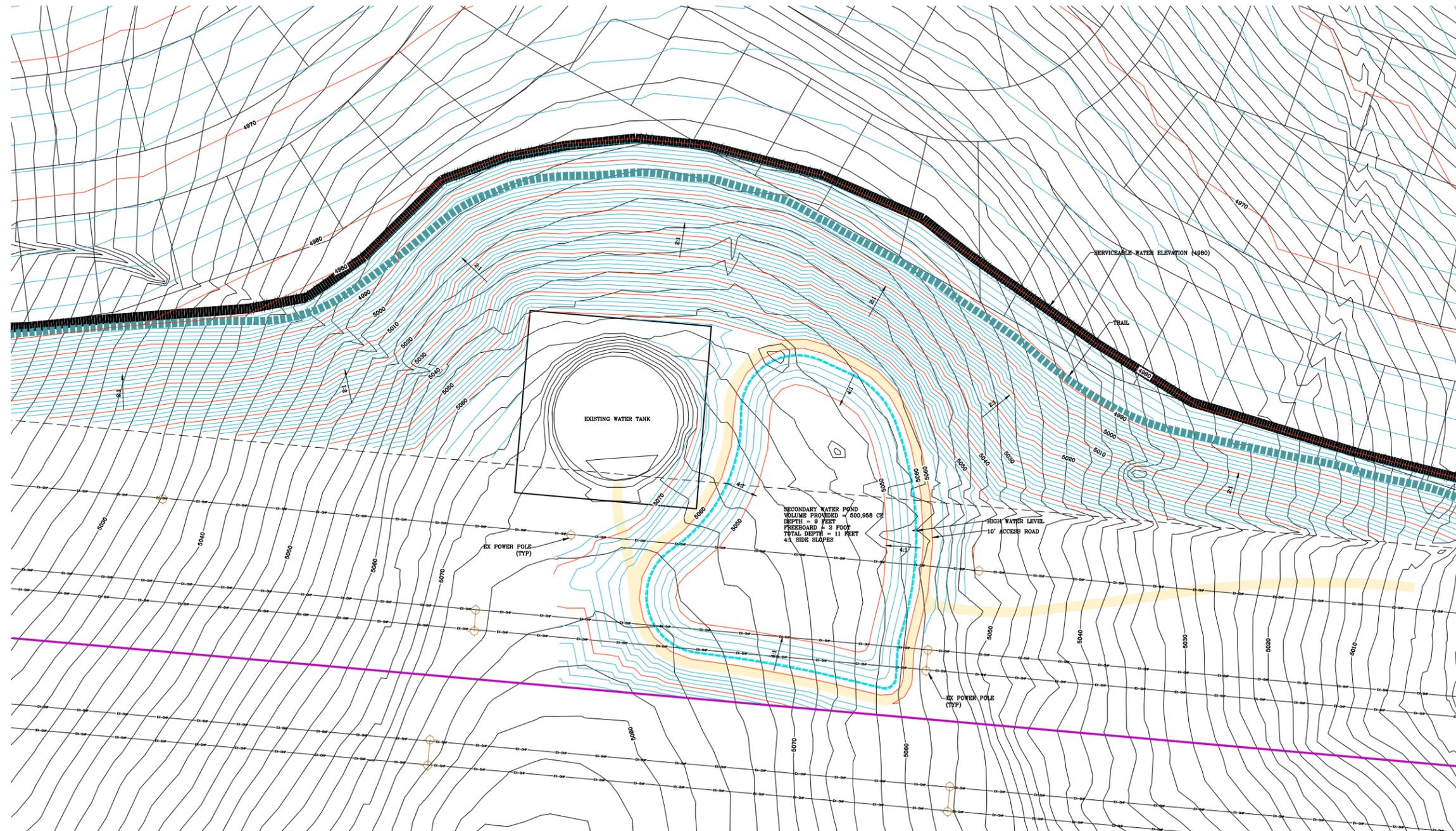


SECTION 10b (cont'd): Secondary Water Plan

Final design & sizing to be coordinated & approved with final plats.



Secondary Water Pond





SECTION 10c: Sewer Plan

Final design & sizing to be coordinated & approved with final plats.



WILDFLOWER
AT SARATOGA SPRINGS

NOTES

1. ALL INTERNAL SEWER TO BE 8" MINIMUM.
2. FOR PRELIMINARY PLANNING PURPOSES, A VALUE OF 2 ERU'S PER ACRE IS USED FOR ALL REGIONAL COMMERCIAL.
3. THESE INFRASTRUCTURE IMPROVEMENTS ARE CONCEPTUAL IN NATURE AND SUBJECT TO SECTION 22 OF THE MASTER DEVELOPMENT AGREEMENT.
4. SEWER LINES UNDER MVC LAND TO BE INSTALLED BASED ON CURRENT NATURAL GROUND. IT IS ANTICIPATED THAT UDOT WILL LOWER THESE LINES, IF NECESSARY.
5. SEWER TO BE CONVEYED TO EXISTING LINE LOCATED IN GOLDENROD WAY. A 20' SEWER MAIN EASEMENT EXISTS ON LOT 2211 AND 2212 OF HARVEST HILLS PLAT "P". ACCORDING TO TECHNICAL MEMORANDUM PREPARED BY BOWEN COLLINS AND ASSOCIATES DATED 10/15/14, EXCESS CAPACITY EXISTS WITHIN THE GOLDENROD WAY AND DOWNSTREAM SEWER LINES.
6. FINAL LINE SIZING TO BE DETERMINED BASED ON SLOPE DETERMINED IN FINAL DESIGN PROCESS.

LEGEND

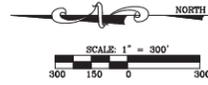
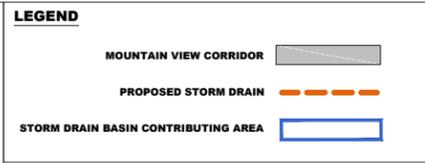
MOUNTAIN VIEW CORRIDOR	
PROPOSED 18" SEWER	
PROPOSED 12" SEWER	
PROPOSED 8" SEWER	
EXISTING SEWER	
SEWER AREA NODE "A"	
SEWER AREA NODE "B"	
SEWER AREA NODE "C"	



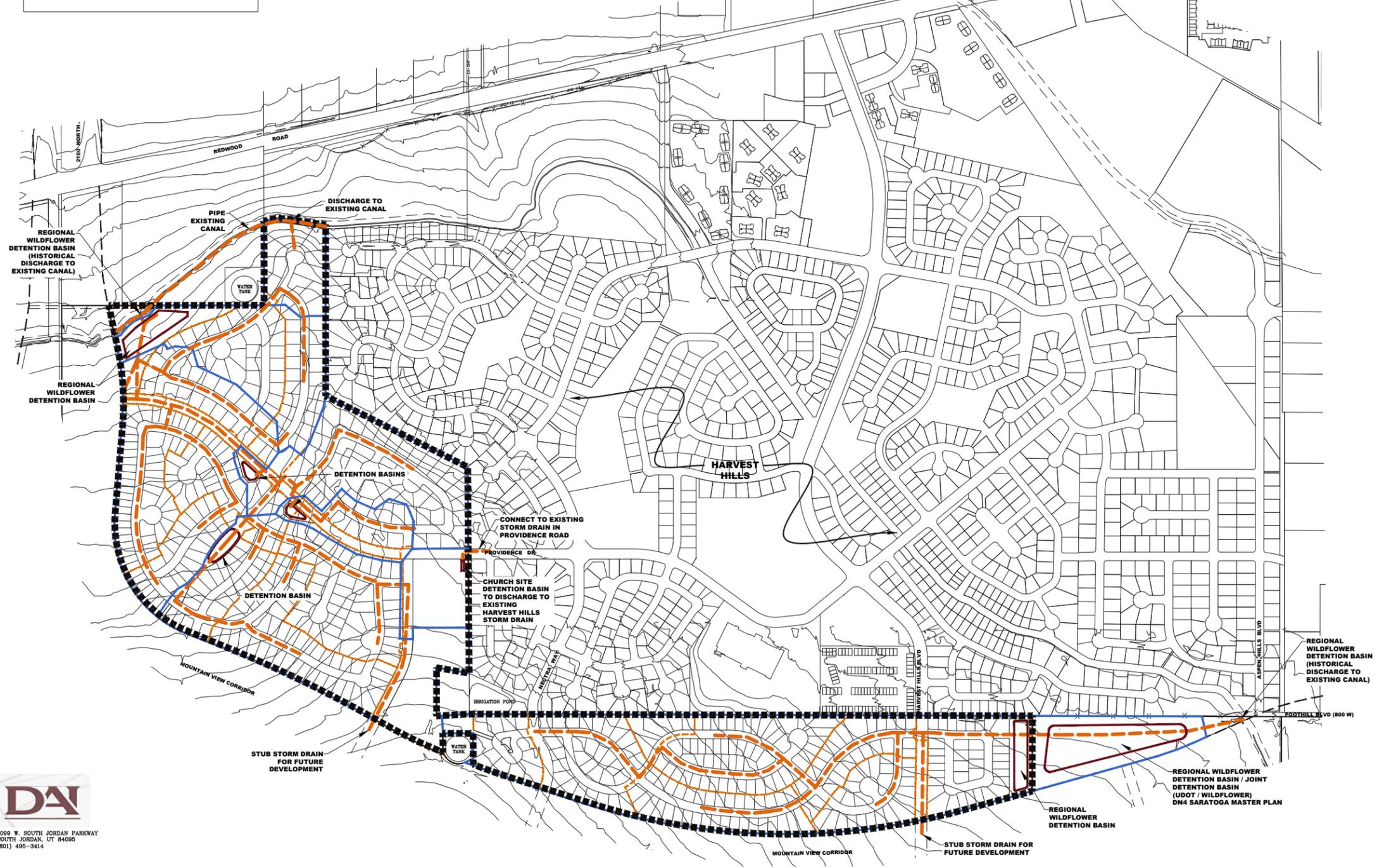


SECTION 10d: Storm Water Drainage Plan

- NOTES**
1. FINAL STORM DRAIN LINE SIZING TO BE DETERMINED WITH FINAL ROADWAY DESIGN.
 2. THESE INFRASTRUCTURE IMPROVEMENTS ARE PRELIMINARY IN NATURE AND SUBJECT TO SECTION 22 OF THE MASTER DEVELOPMENT AGREEMENT.
 3. UDOT HAS ALLOWED THE DEVELOPER TO CO-LOCATE STORAGE WATER AREAS TO SERVE BOTH THE PROJECT AND MVC UPON THE REQUEST AND APPROVAL OF THE CITY.
 4. STORM DRAIN LINES UNDER MVC LAND TO BE INSTALLED BASED ON CURRENT NATURAL GROUND. IT IS ANTICIPATED THAT UDOT WILL LOWER THESE LINES, IF NECESSARY.



WILDFLOWER
AT SARATOGA SPRINGS



Final design & sizing to be coordinated & approved with final plats.

An executed agreement between Saratoga Springs & Canal Company allowing for drainage shall be required prior to final plat approval.

If discharge is not allowed into the existing canal to manage the 100-year event, downstream storm facilities will be required according to the City's Capital Facilities Plan and Impact Fee Facilities Plan.

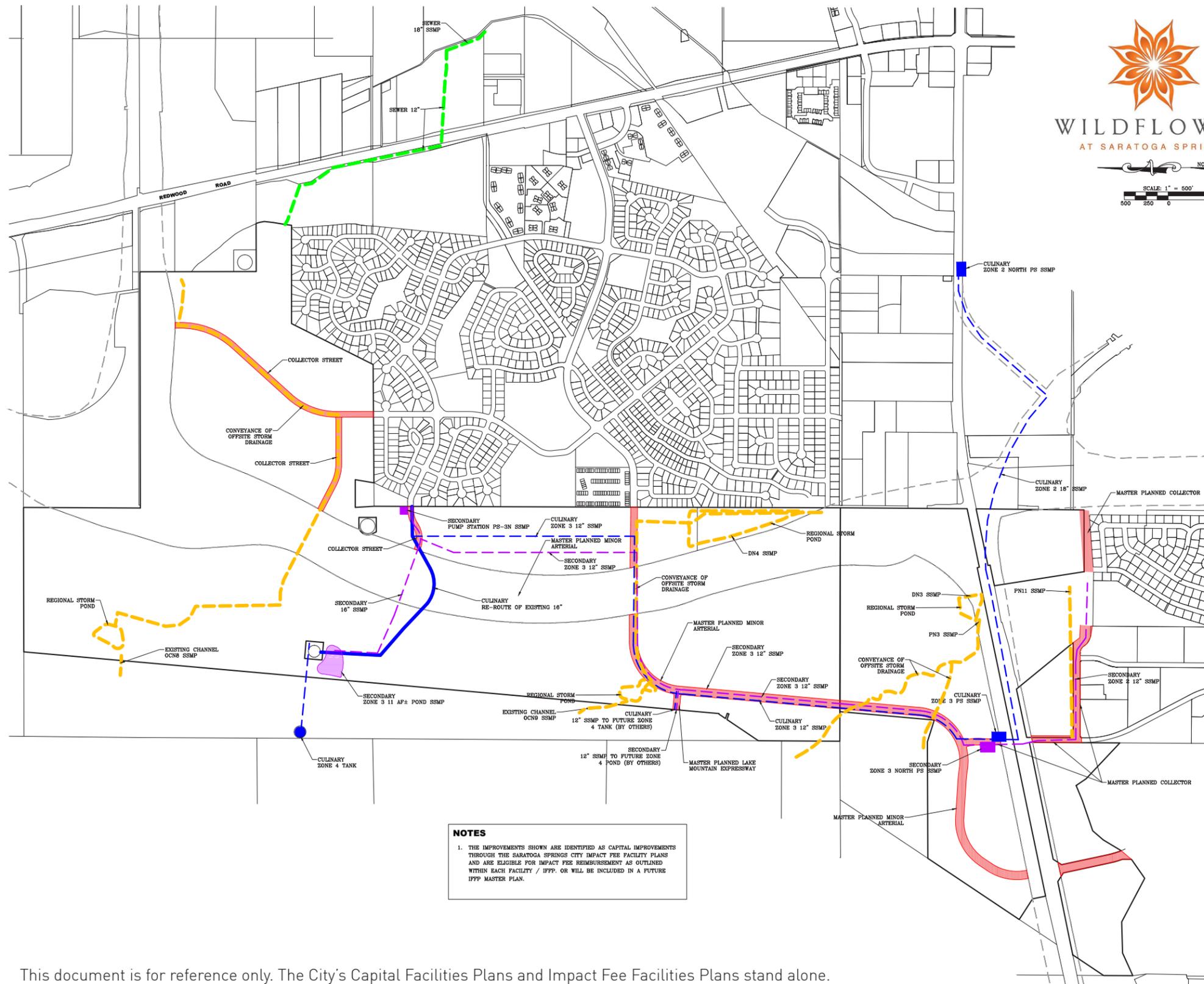


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SECTION 10e: Capital Facility Upgrade Plan



NOTES

1. THE IMPROVEMENTS SHOWN ARE IDENTIFIED AS CAPITAL IMPROVEMENTS THROUGH THE SARATOGA SPRINGS CITY IMPACT FEE FACILITY PLANS AND ARE ELIGIBLE FOR IMPACT FEE REIMBURSEMENT AS OUTLINED WITHIN EACH FACILITY / IFFP. OR WILL BE INCLUDED IN A FUTURE IFFP MASTER PLAN.



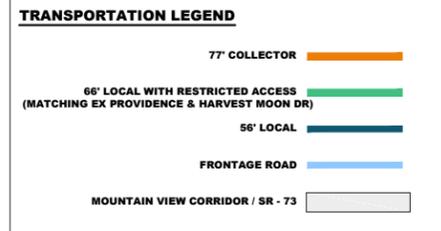
This document is for reference only. The City's Capital Facilities Plans and Impact Fee Facilities Plans stand alone.



SECTION 11: Vehicular Plan

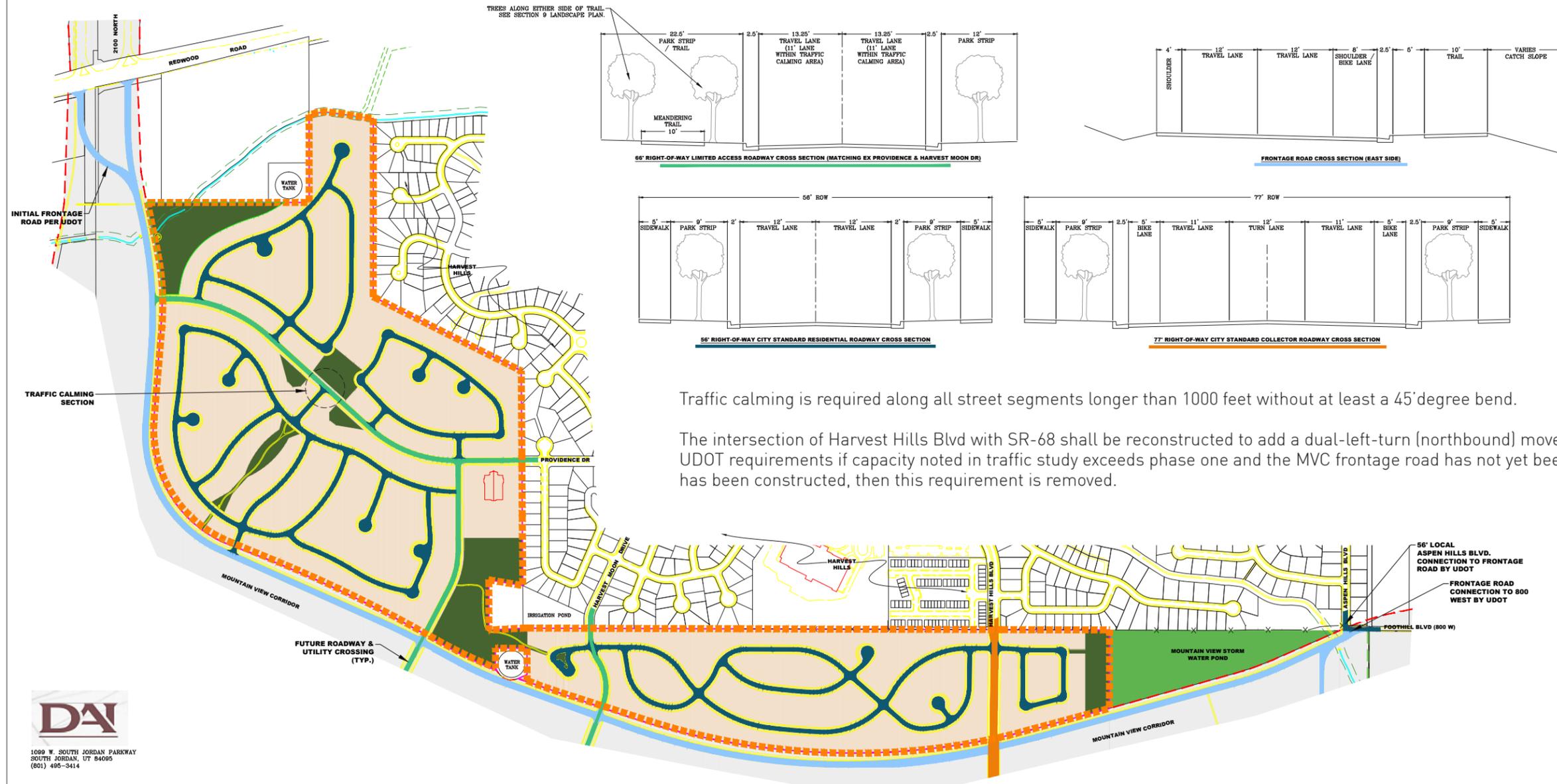


WILDFLOWER
AT SARATOGA SPRINGS



NOTES

1. TRAFFIC CALMING IS REQUIRED ALONG ALL STREET SEGMENTS LONGER THAN 1000 FEET.
2. THE INTERSECTION OF HARVEST HILLS BLVD WITH SR68 SHALL BE RECONSTRUCTED TO ADD A DUAL-LEFT-TURN (NORTHBOUND) MOVEMENT IN ACCORDANCE WITH UDOT REQUIREMENTS.

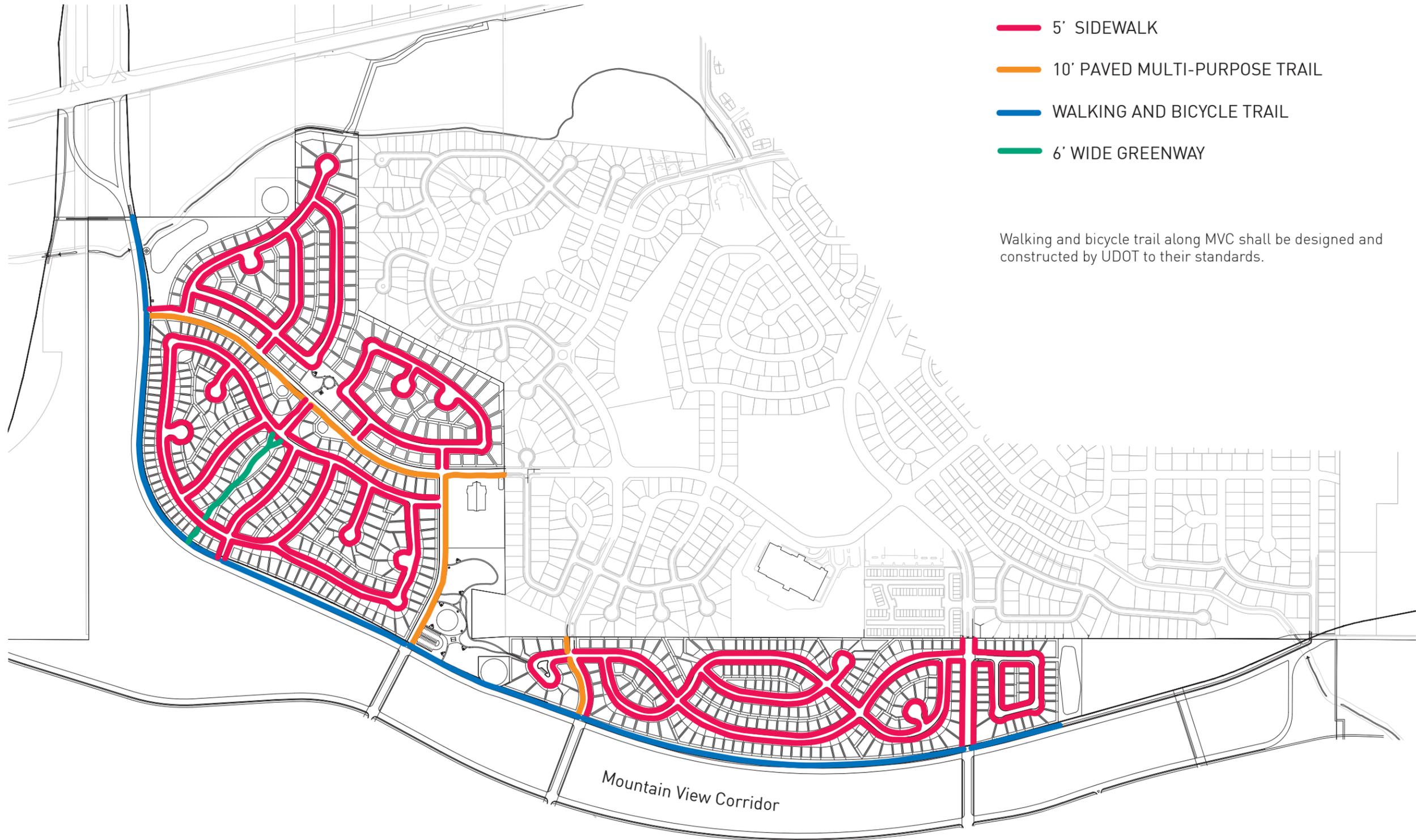


Traffic calming is required along all street segments longer than 1000 feet without at least a 45 degree bend.

The intersection of Harvest Hills Blvd with SR-68 shall be reconstructed to add a dual-left-turn (northbound) movement in accordance with UDOT requirements if capacity noted in traffic study exceeds phase one and the MVC frontage road has not yet been built. If the frontage road has been constructed, then this requirement is removed.

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SECTION 13: Density Transfers

Exhibit Two: Land Use Master Plan (page 14), Equivalent Residential Unit Transfers (page 21), and Density (page 22) of the “Wildflower Community Plan” establish the number of Equivalent Residential Units (ERUs) and density for Wildflower.

An Equivalent Residential Unit (ERU) is defined by the Saratoga Springs Municipal Code as a unit of measurement to evaluate development impacts on public infrastructure including water, sewer, storm drainage, parks, roads and public safety of proposed residential and commercial land uses. Every residential and commercial unit is a minimum of one ERU. Since build-out of the Wildflower development will occur over many years, flexibility is necessary to respond to market conditions, site conditions, and other factors. Therefore, residential density ERUs may be transferred within the project as necessary to improve design, accessibility, and marketability. The City acknowledges that the master developer shall have the ability in its reasonable business judgment to transfer ERUs between residential areas within the project upon written notice to the City and delivery to the City of written consent of the property owners of the neighborhoods which are sending and receiving such densities (if different from the master developer), so long as any such transfer adheres to the following standards:

- » Any transfer of ERUs into or out of any neighborhood type established in the Community Plan shall not exceed fifteen percent (15%) without approval of the City Council. In no case shall the transfer of ERUs into or out of any land use designation or district exceed twenty-five (25%) of that established in the Community Plan. ERU transfers shall comply with the neighborhood breakdown on page 27 of the Community Plan.
- » ERUs may not be transferred from a more intensive neighborhood into a less intensive neighborhood designated in this Community Plan located east of the identified Mountain View Corridor and bordering any portion of the Harvest Hills subdivision if such transfer would result in single family lots smaller than 4,500 square feet.
- » ERUs may not be transferred into any open space or park unless said use and acreage is replaced elsewhere within the same neighborhood.

Village Plan Area 1 is approximately 169 acres in size, and contains 571 units. See Detailed Buildout Allocation in Section 3 for density transfers within Village Plan Area 1.



SECTION 14: Additional Detailed Plans

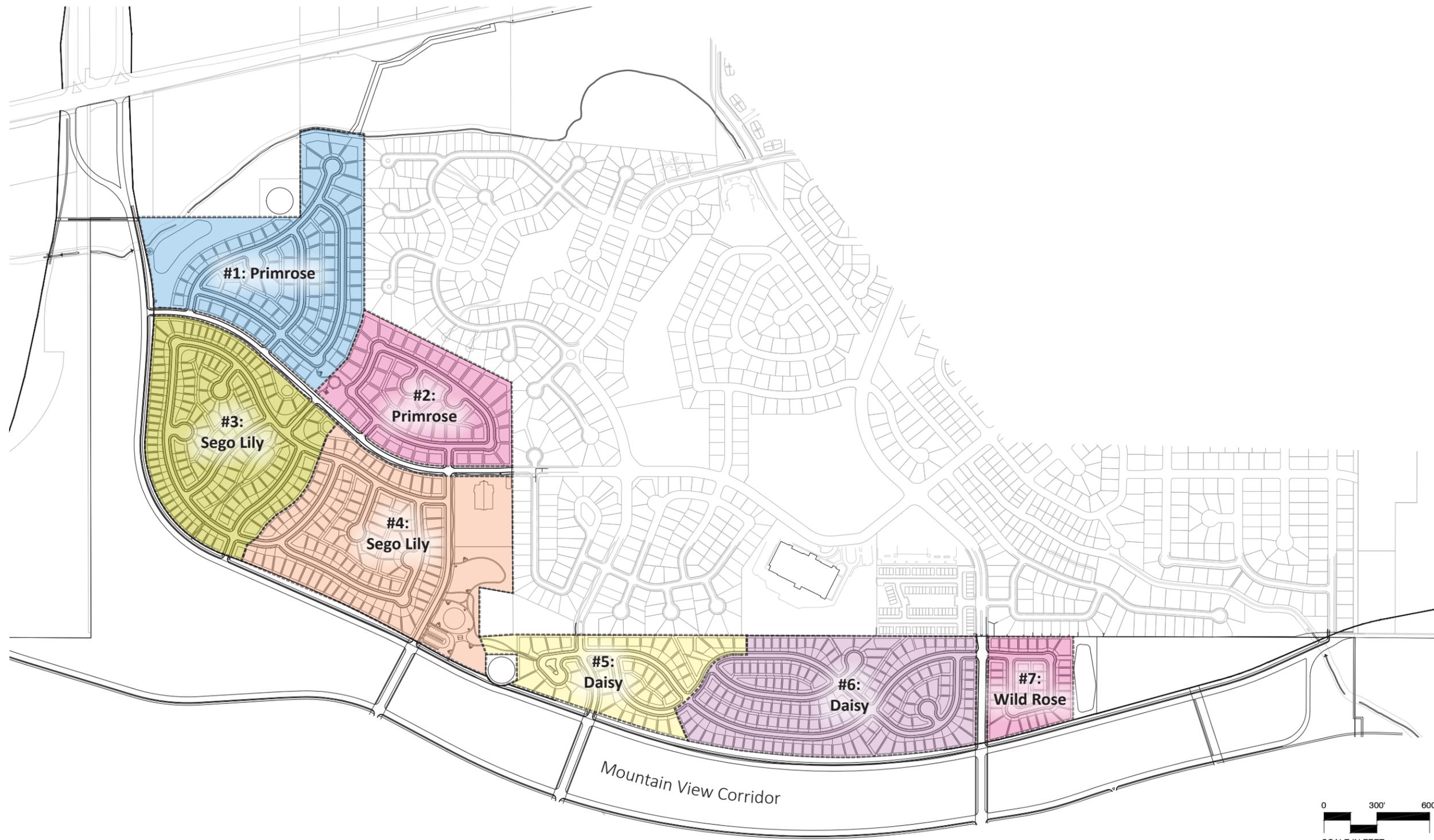
The following elements have been included to detail plans and direction contained in the Community Plan for Village Plan Area 1:

- Section 14a: Neighborhood Names
- Section 14b: Signage Plan
- Section 14c: Grading Plan
- Section 14d: Open Space Management
- Section 14e: Natural Resource Inventory Plan
- Section 14f: Wildlife Mitigation
- Section 14g: Sensitive Lands Protection
- Section 14h: Fire Protection Plan
- Section 14i: Traffic Study



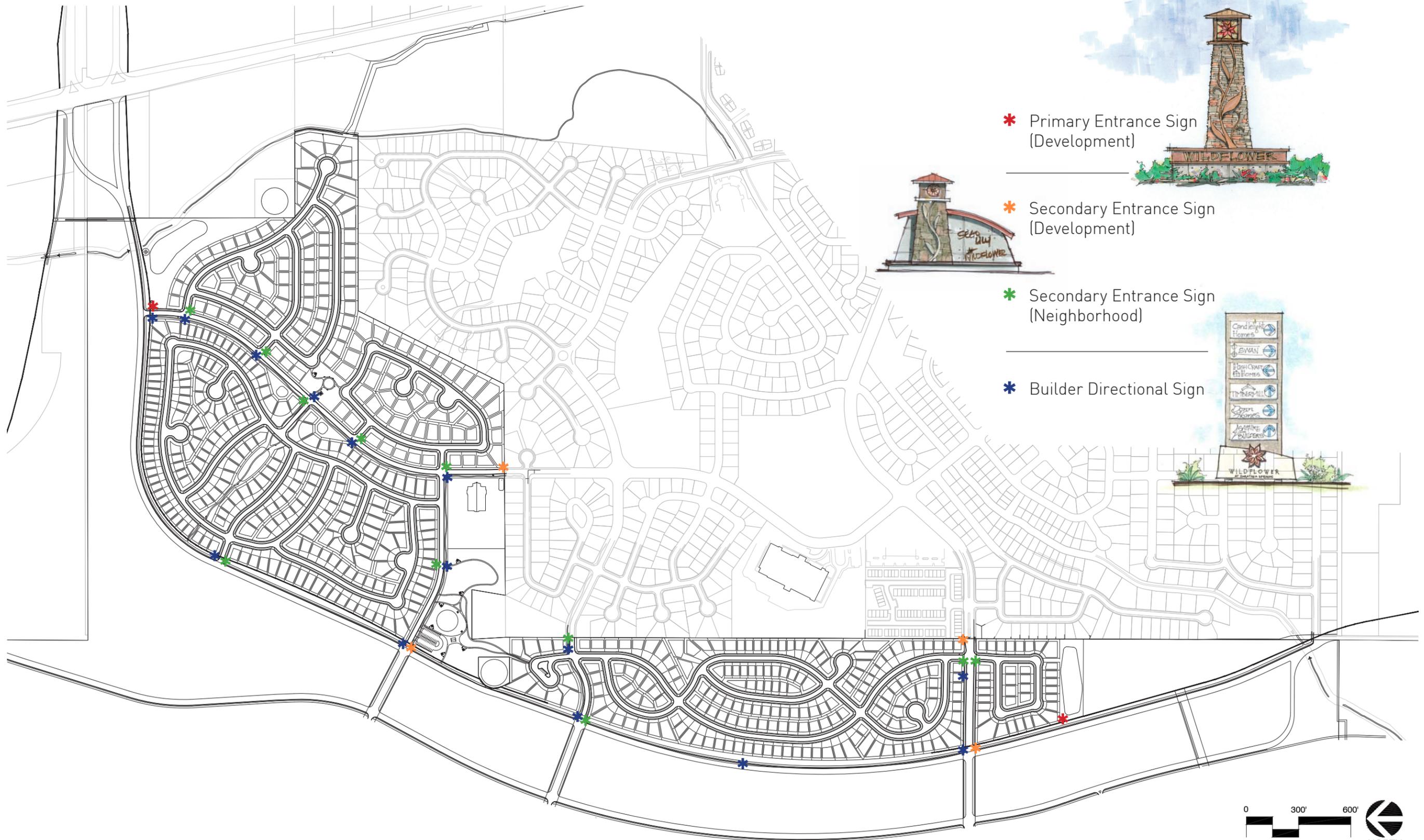


SECTION 14a: Neighborhood Names





SECTION 14b: Signage Plan



* Primary Entrance Sign (Development)

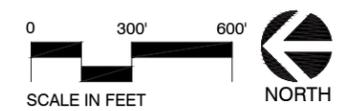


* Secondary Entrance Sign (Development)



* Secondary Entrance Sign (Neighborhood)

* Builder Directional Sign

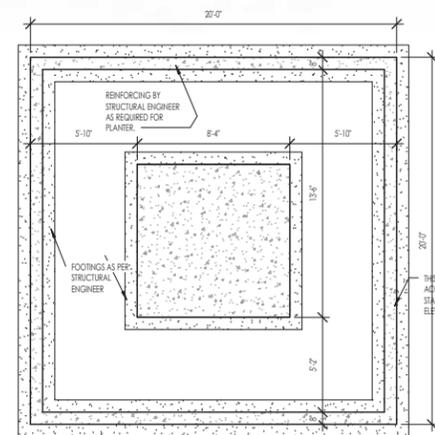
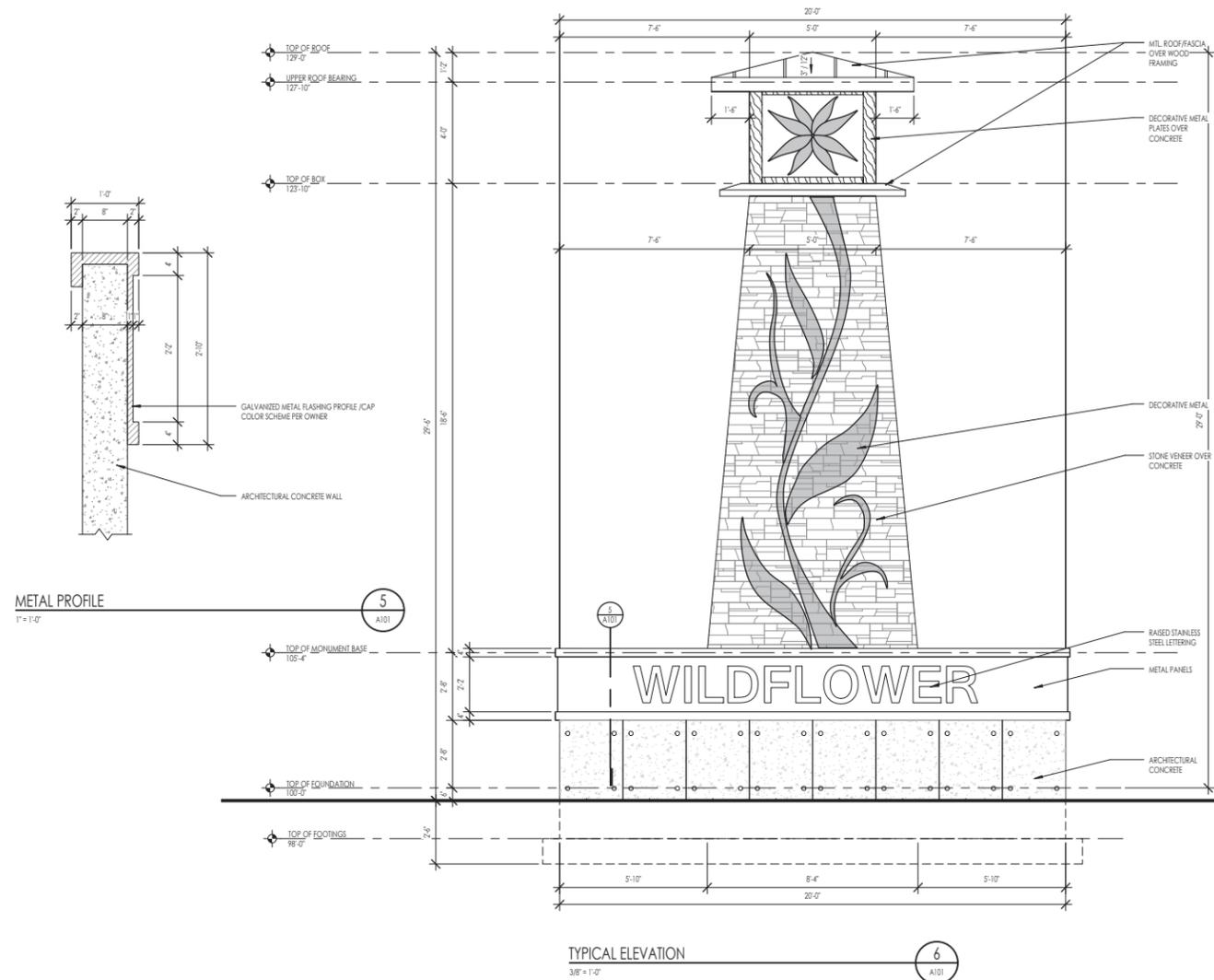




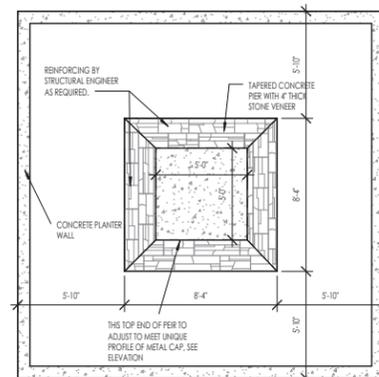
PRIMARY ENTRANCE SIGN



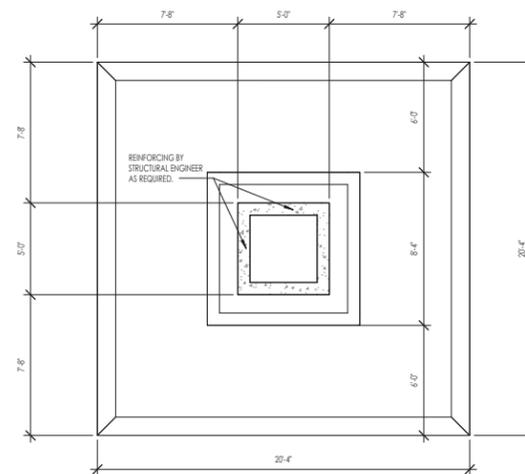
CONCEPTUAL DESIGN AND COLOR SCHEME



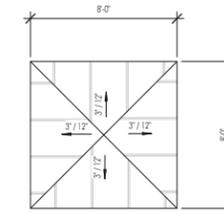
FOOTINGS AND FOUNDATION
1/4" = 1'-0" (1)



TOP OF MONUMENT BASE
1/4" = 1'-0" (2)



TOP OF BOX
1/4" = 1'-0" (3)



ROOF PLAN
1/4" = 1'-0" (4)

NOTE: Drawings show design intent. Contractor to provide shop drawings for owner/architect to review prior to construction. Contractor to coordinate with owner for finish selections, provide shop drawings for metal panels, and signage lettering. Coordinate with owner for additional information.





CONCEPTUAL DESIGN AND COLOR SCHEME

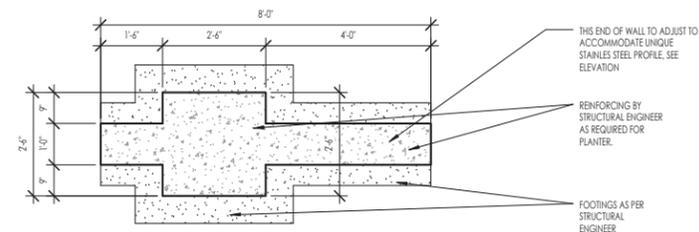
SECONDARY ENTRANCE SIGN

(Development and Neighborhood)

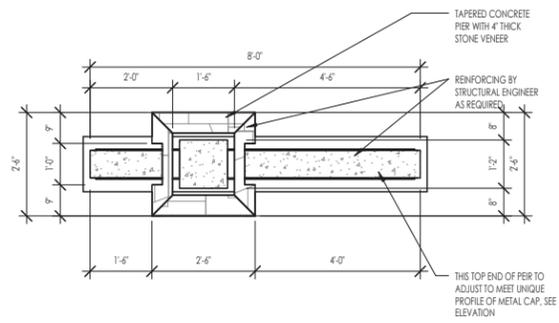
Secondary entrance signs have two functions:

1. The "development" version of this sign is used when a smaller sign is needed at secondary access points into the community.
2. The "neighborhood" version of this sign is used as a neighborhood entry feature announcing the name of the specific neighborhood.

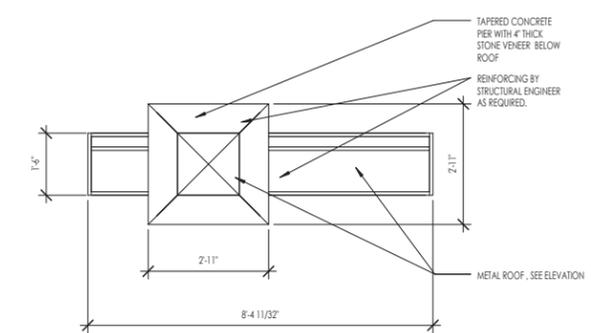
NOTE: Drawings show design intent. Contractor to provide shop drawings for owner/architect to review prior to construction. Contractor to coordinate with owner for finish selections, provide shop drawings for metal panels, and signage lettering. Coordinate with owner for additional information.



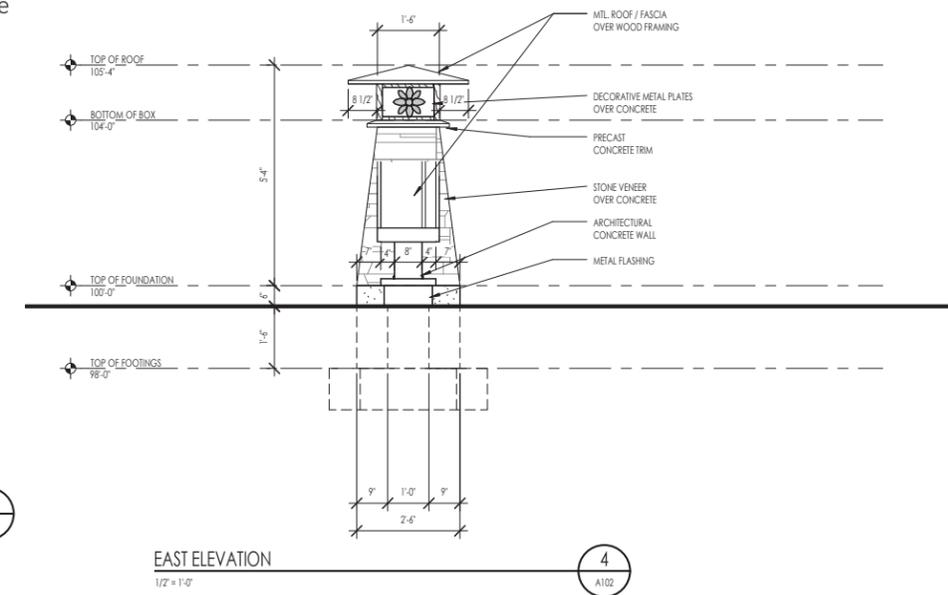
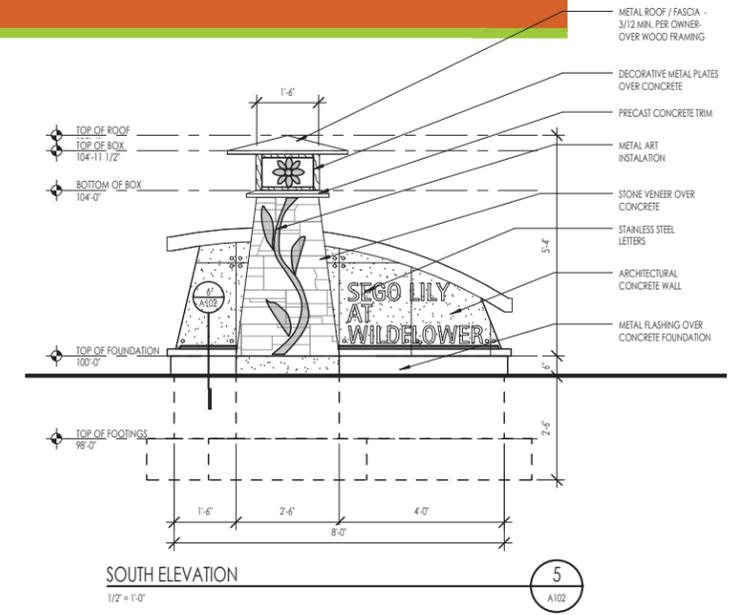
FOOTINGS AND FOUNDATION
1/2" = 1'-0"



FLOOR PLAN
1/2" = 1'-0"



ROOF PLAN
1/2" = 1'-0"





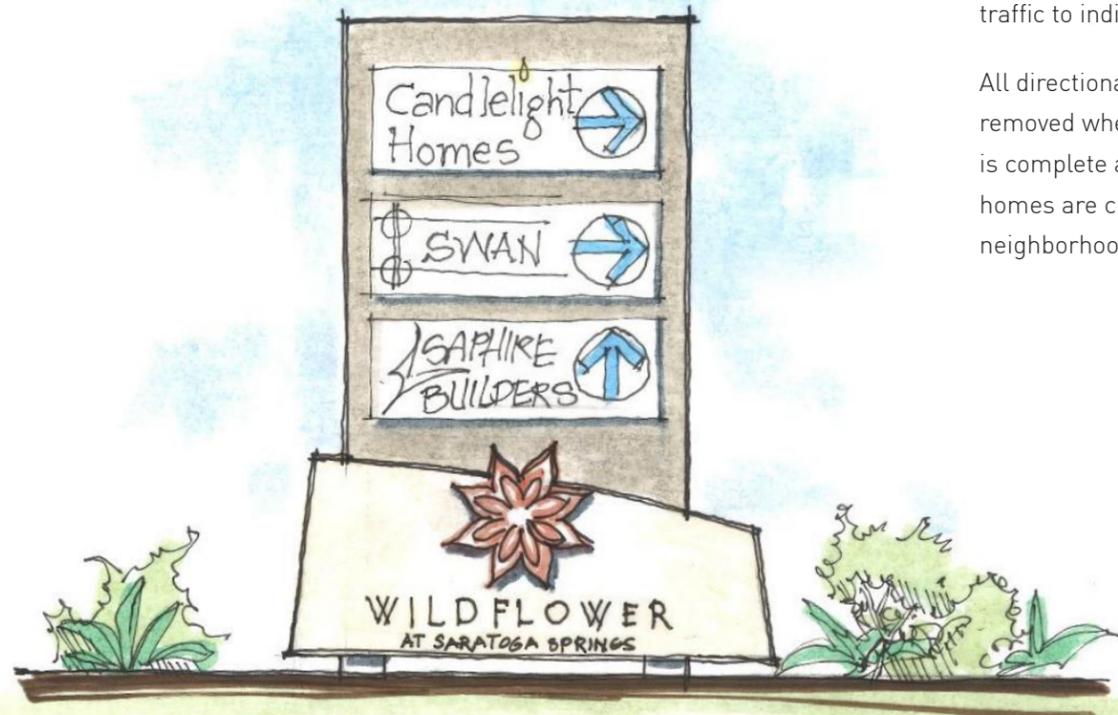
BUILDER DIRECTIONAL SIGN

Maximum Height 12 Feet

There will be approximately 14 temporary, fixed way-finding signs in place at any given time. The height may vary depending on the number of builders in a given area.

Additional small temporary directional signage may be needed to efficiently direct traffic to individual builders.

All directional signage will be removed when construction is complete and model homes are closed in each neighborhood.

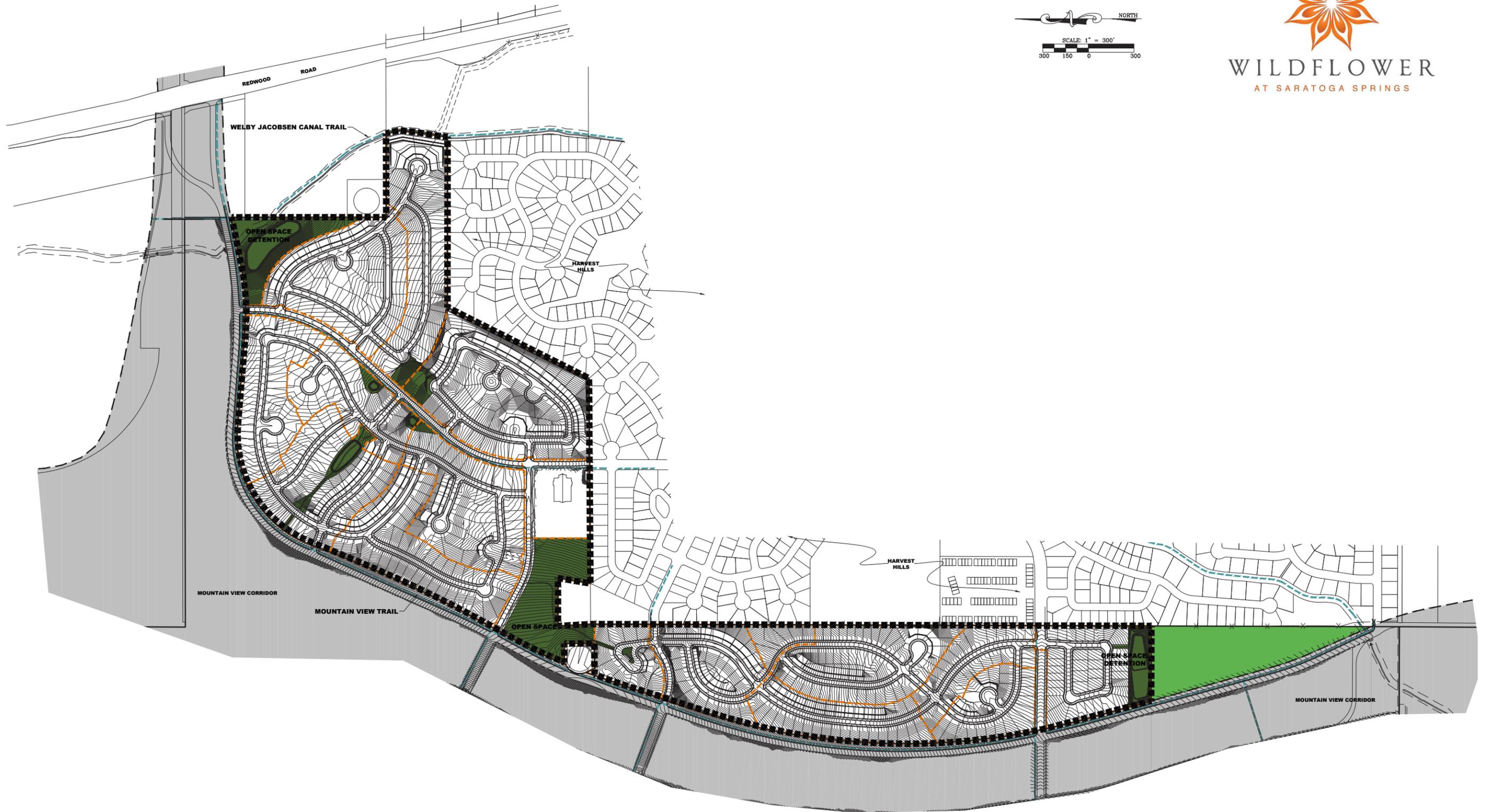
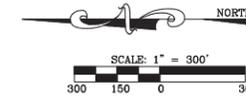




SECTION 14c: Grading Plan



WILDFLOWER
AT SARATOGA SPRINGS



SECTION 14d: Open Space Management Plan

Wildflower meets the City's requirements for a minimum of 30-percent improved and native, public and private open space within the Planned Community District area, as shown on the following table and maps, and as described below:

UDOT has a total of 26 acres of open space in Village Plan Area 1 (see the tables on page S 14-9 and Open Space Plan on page S 14-10). This accounts for 5.85% of the open space. Developer-controlled land accounts for the remaining 24.15% of the open space. Wildflower is required to meet the 24.15% requirement on a phase-by-phase basis to stay compliant. The remaining 5.85% will be improved by UDOT in conjunction with MVC.

The amount of open space provided within Village Plan Area 1 is 11.8% of the required total. On the west side of the corridor, an additional 19.95 acres of open space will be dedicated or bonded as part of platting, so that as a cumulative, the plats are always balanced at a minimum of 24.15% open space. Additionally, the developer is committed to spend \$2000/unit on improvements, which is also required to stay balanced on a cumulative basis.





SECTION 14d: Open Space Management Plan (cont'd)

Village Plan Area 1

	Units	Acres	Park Construction Value	Total Value Phase	Required/Phase	Discrepancy
Neighborhoods 1-7	571	15.74	\$2,071,804	\$2,071,804	\$1,142,000	\$929,804
Additional Open Space Ground Contributed from West of Corridor Towards Village Plan Area 1 Requirement	0	19.95	\$0	\$0	\$0	\$0
Total Village 1	571	35.69	\$0	\$2,071,804	\$1,142,000	\$929,804
Carryover to Village 2	0	0	-\$929,804	\$0	\$0	-\$929,804

Future Village Plan Requirements

	Units	Acres	Park Construction Value	Total Value Phase	Required/Phase	Discrepancy
Future Village Plans	897	71.31	\$864,196	\$864,196	\$1,794,000	-\$929,804
Carryover from Village Plan Area 1	0	0	\$929,804	\$929,804	\$0	\$929,804
Total Future Village Plans	897	71.31	\$1,794,000	\$1,794,000	\$1,794,000	\$0

UDOT Open Space in MVC Trails & Detention

	Units	Acres	Park Construction Value	Total Value Phase	Required/Phase	Discrepancy
UDOT MVC Trails & Detention	0	26.0	\$0	\$0	\$0	\$0
Total UDOT	0	26.0	\$0	\$0	\$0	\$0

Total Open Space Required Per Community Plan

	Units	Acres	Park Construction Value	Total Value Phase	Required/Phase	Discrepancy
Village Plan Area 1	571	35.7	\$2,071,804	\$2,071,804	\$1,142,000	\$929,804
Future Village Plans	897	71.3	\$864,196	\$864,196	\$1,794,000	-\$929,804
UDOT	0	26.0	\$0	\$0	\$0	\$0
Total Village Plan Area 1	1,468	133	\$2,936,000	\$2,936,000	\$2,936,000	\$0

Total Open Space Required Per Community Plan

	Units	Acres of Open Space	% of Total Ground
Wildflower Owned (Village Plan Area 1 plus Future Village Plans)	1,468	107	24.15%
UDOT	0	26	5.85%
Total Village Plan Area 1	1,468	133	30%

The open space outside of this Village Plan shall be dedicated at the time any plat does not have the sufficient 23.92% Open Space and sufficient Open Space is not available to dedicate from within this Village Plan.

Estimates for each park and amenity to be prepared and submitted by a licensed landscape architect at time of platting toward the required values of this village plan. Construction values to count all park/open space improvements and equipment costs.

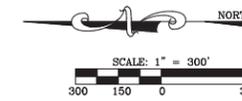




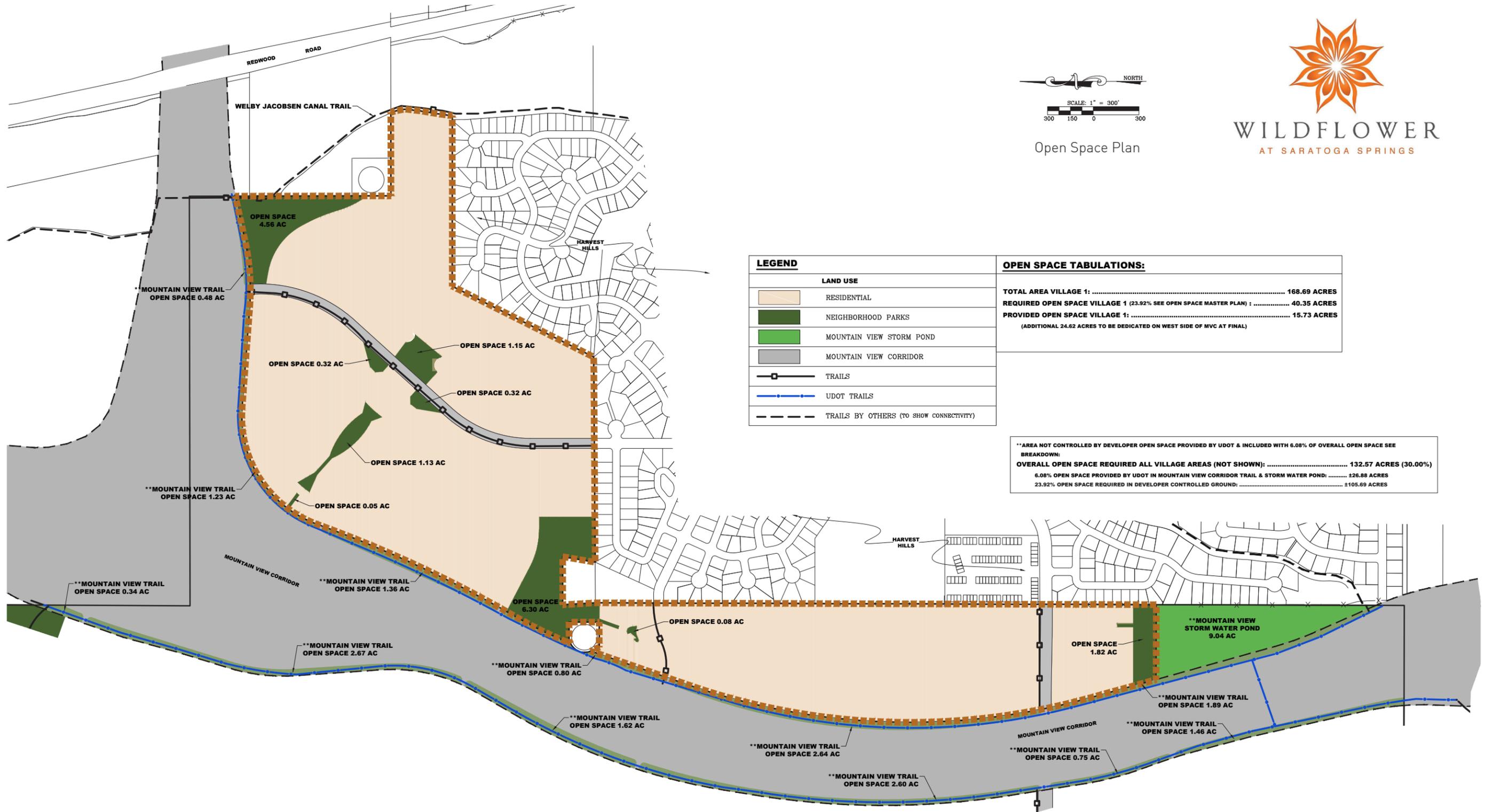
SECTION 14d: Open Space Management Plan (cont'd)



WILDFLOWER
AT SARATOGA SPRINGS



Open Space Plan



LEGEND	
LAND USE	
	RESIDENTIAL
	NEIGHBORHOOD PARKS
	MOUNTAIN VIEW STORM POND
	MOUNTAIN VIEW CORRIDOR
	TRAILS
	UDOT TRAILS
	TRAILS BY OTHERS (TO SHOW CONNECTIVITY)

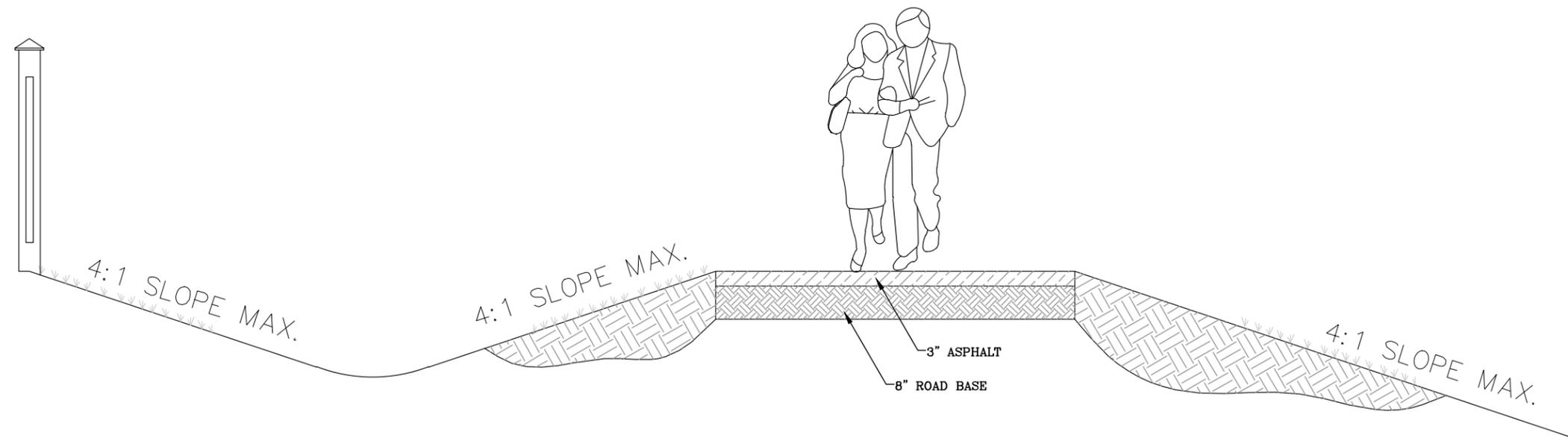
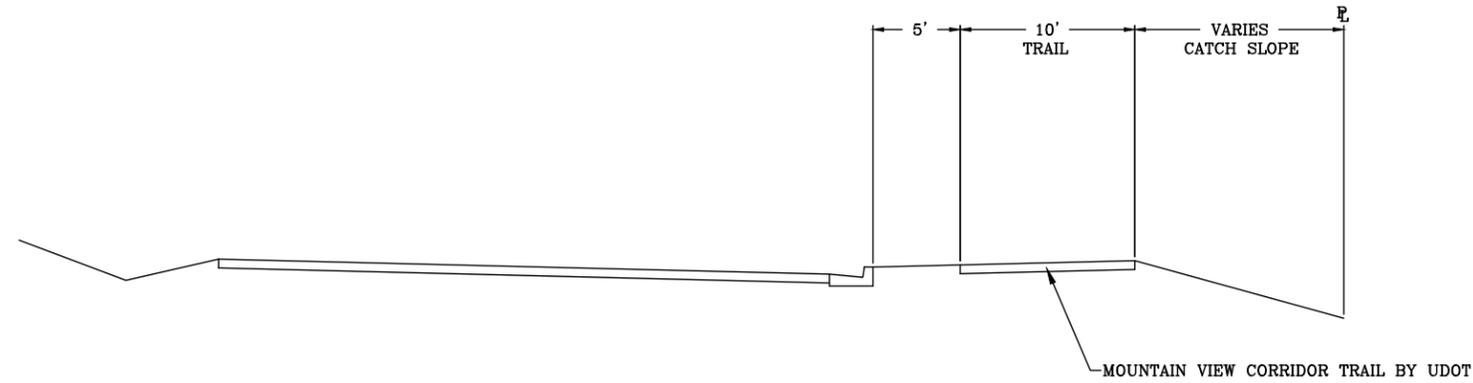
OPEN SPACE TABULATIONS:	
TOTAL AREA VILLAGE 1:	168.69 ACRES
REQUIRED OPEN SPACE VILLAGE 1 (23.92% SEE OPEN SPACE MASTER PLAN):	40.35 ACRES
PROVIDED OPEN SPACE VILLAGE 1:	15.73 ACRES
(ADDITIONAL 24.62 ACRES TO BE DEDICATED ON WEST SIDE OF MVC AT FINAL)	

**AREA NOT CONTROLLED BY DEVELOPER OPEN SPACE PROVIDED BY UDOT & INCLUDED WITH 6.08% OF OVERALL OPEN SPACE SEE BREAKDOWN:
OVERALL OPEN SPACE REQUIRED ALL VILLAGE AREAS (NOT SHOWN): 132.57 ACRES (30.00%)
 6.08% OPEN SPACE PROVIDED BY UDOT IN MOUNTAIN VIEW CORRIDOR TRAIL & STORM WATER POND: ±26.88 ACRES
 23.92% OPEN SPACE REQUIRED IN DEVELOPER CONTROLLED GROUND: ±105.69 ACRES





Typical Trail Sections



NOTES

1. IN UPLAND AREAS PROVIDE 8'-12' ASPHALT TRAIL.
2. FOR WILDERNESS TRAILS IN DEVELOPED AREAS PROVIDE 12' WIDE ASPHALT TRAILS.
3. ALL TRAILS MUST BE ADA ACCESSIBLE AND PROVIDE MAINTENANCE ACCESS.
4. CENTERLINE RADIUS OF MEANDERING TRAILS SHALL BE 100' MIN.





SECTION 14d: Open Space Management Plan (cont'd)



- Open Space A: Private Neighborhood Park
- Open Space B: Private Neighborhood Park
- Open Space C: Private Greenway
- Open Space D: Public Community Park
- Open Space E: Private Neighborhood Park
- Open Space F: Private Neighborhood Park



Open Space Locator Map





SECTION 14d: Open Space Management Plan (cont'd)

BUILDER
DIRECTIONAL SIGN

BENCH

IRRIGATED
SOD (TYP.)

DECIDUOUS
TREES (TYP.)



Open Space A Illustrative





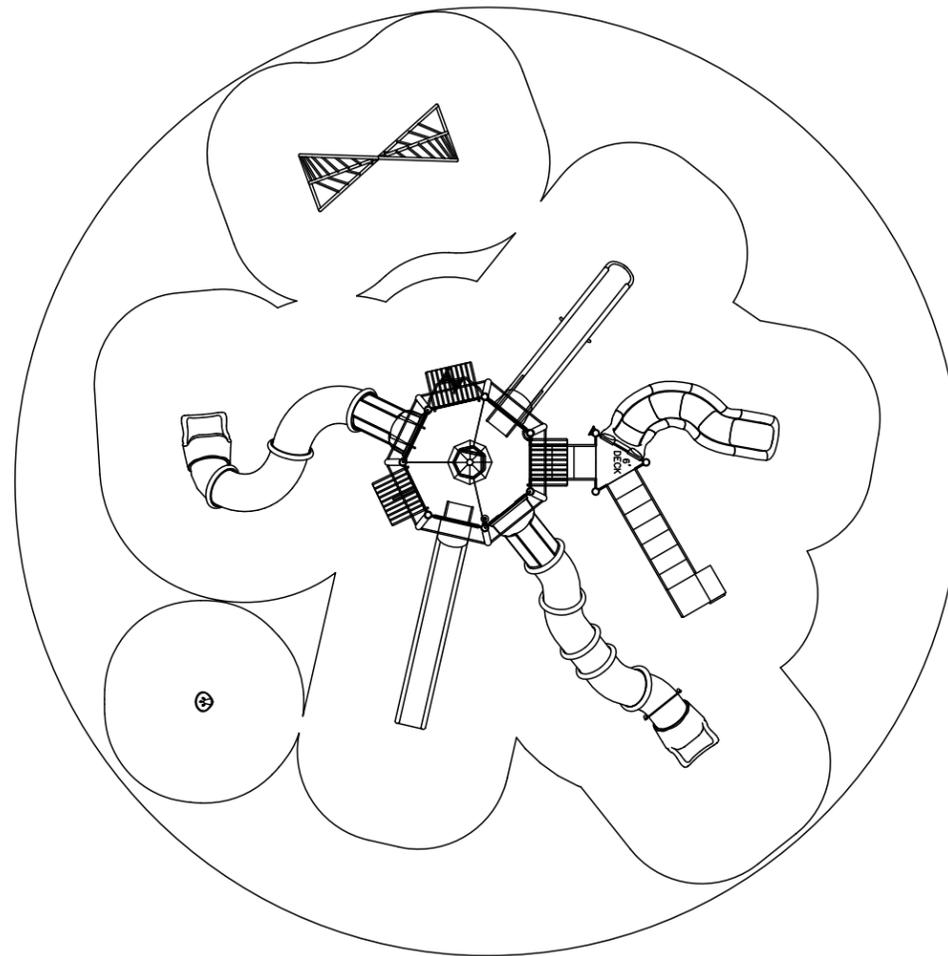
Open Space B Illustrative





**WILDFLOWER - OPTION 1
SARATOGA SPRINGS, UTAH
OVER ALL SITE PLAN**

AREA: 3318 SQUARE FEET
PERIMETER: 205'
The information provided is for estimation purposes only.



The mega tower play system with the adjoining arch and climber and spinner will accommodate approximately 112 children.

Play Area Capacity: 75-85



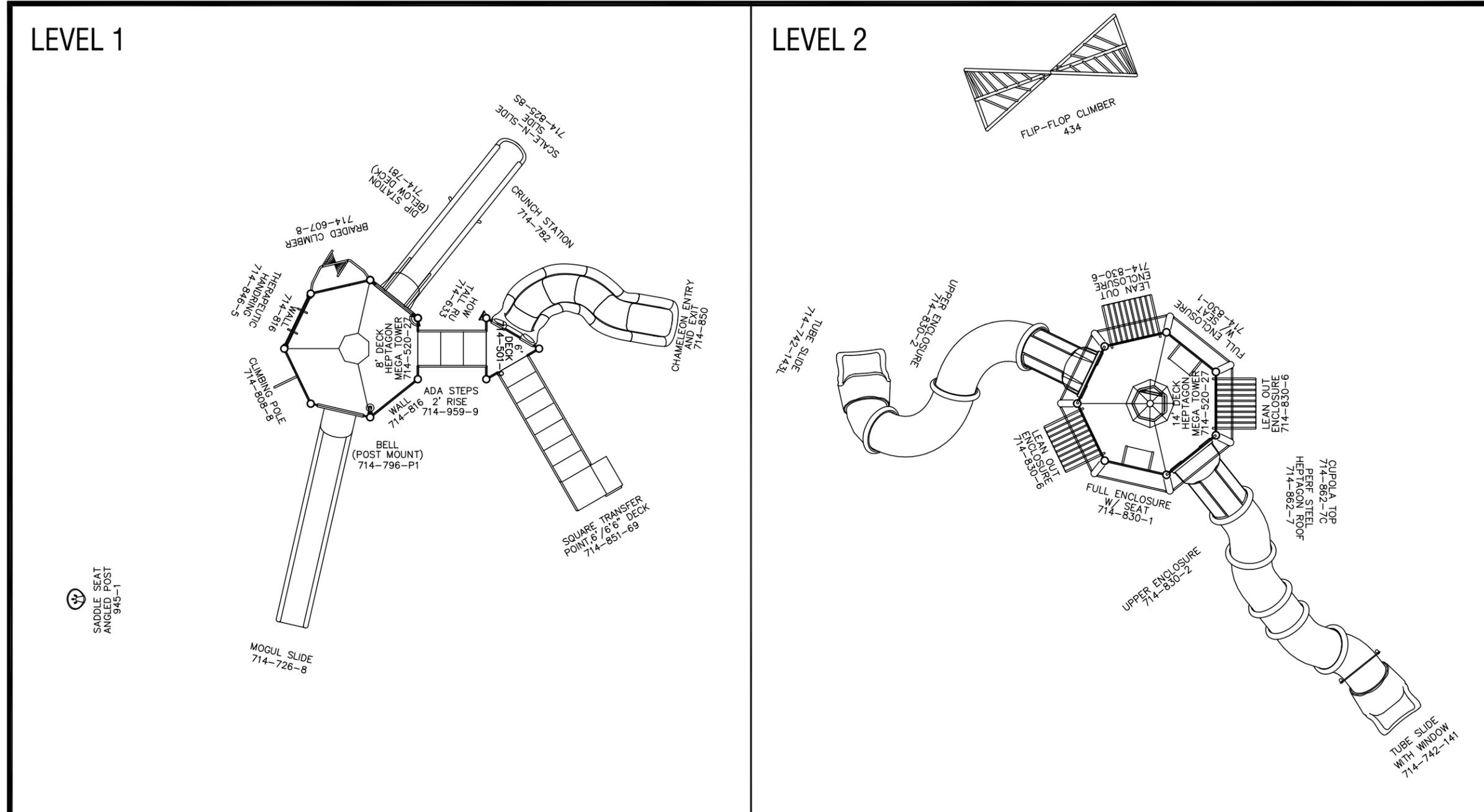
<p>To promote safe and proper equipment use by children, Miracle recommends the installation of either a Miracle safety sign or other appropriate safety signage near each playsystem's main entry point(s) to inform parents and supervisors of the age appropriateness of the playsystem and general rules for safe play.</p> <p>AN ENERGY ABSORBING PROTECTIVE SURFACE IS REQUIRED UNDER & AROUND ALL PLAY SYSTEMS.</p>	CD216781		✓	COMPLIES TO CPSC	DESIGNED FOR AGES 5-12 <small>ADDITIONAL GROUND LEVEL ACCESSIBLE ITEMS NEEDED FOR ADA COMPLIANCE</small>	DATE: 1/18/2016	
	GROUND SPACE: 42' X 46' PROTECTIVE AREA: 65' DIA.		✓	COMPLIES TO ASTM		SCALE: 1"=10'-0"	
			✓	COMPLIES TO ADA	TYPE: 0 QUANTITY: 0	CINDI	SHEET 1 of 2

Open Space B Playground Concept





SECTION 14d: Open Space Management Plan (cont'd)



THE PLAY COMPONENTS IDENTIFIED IN THIS PLAN ARE IPEMA CERTIFIED. THE USE AND LAYOUT OF THESE COMPONENTS CONFORM TO THE REQUIREMENTS OF ASTM F1487.



CD216781	
1/18/2016	SHEET 2 of 2

Open Space B Playground Concept



Wildflower Option 1
Saratoga Springs, Utah

CD216781

FOR KIDS
AGES
5-12
YEARS

Miracle

www.miracle-recreation.com

Open Space B Playground Concept



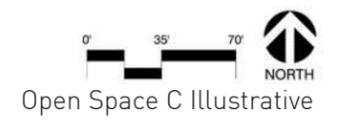
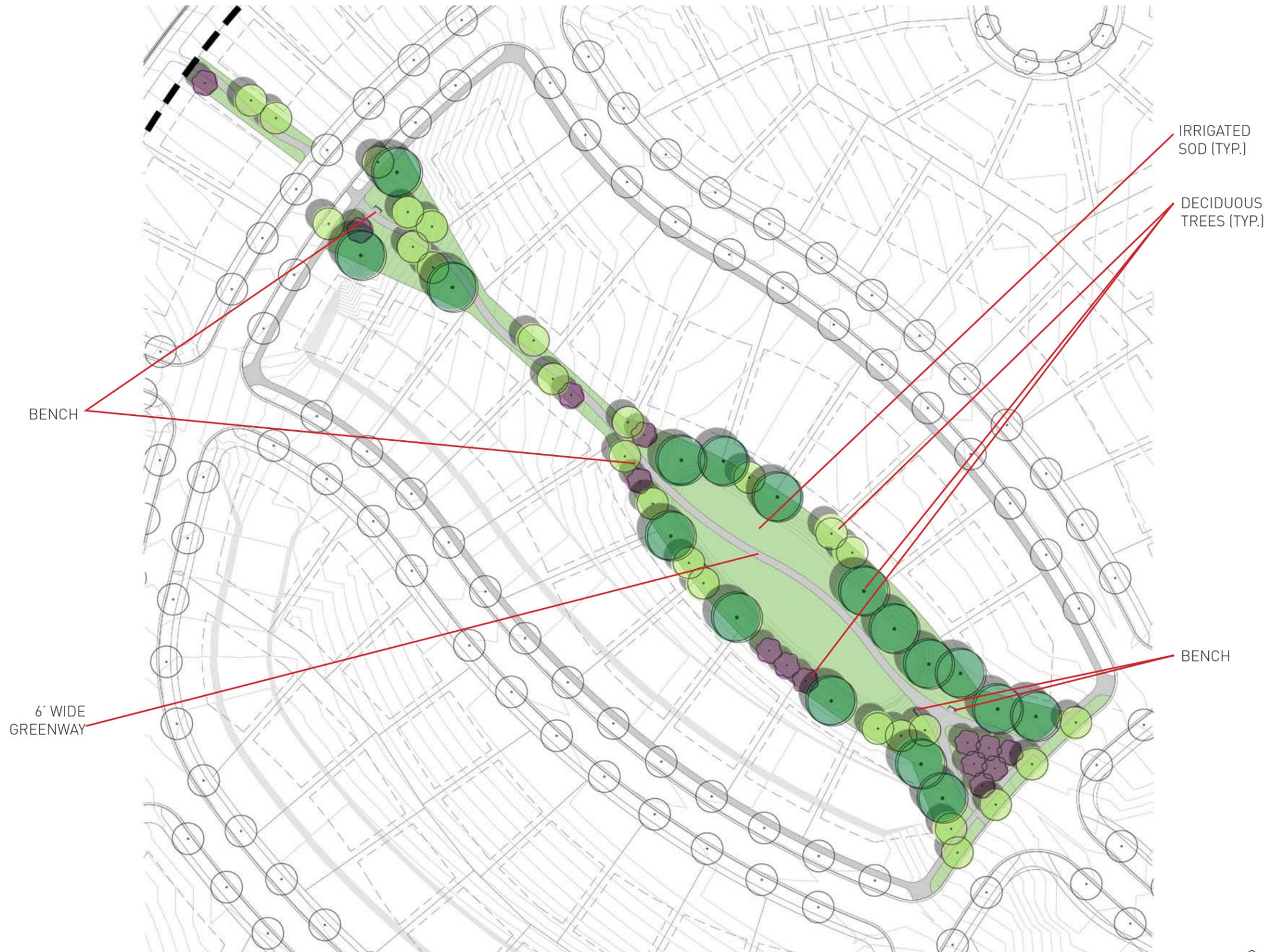


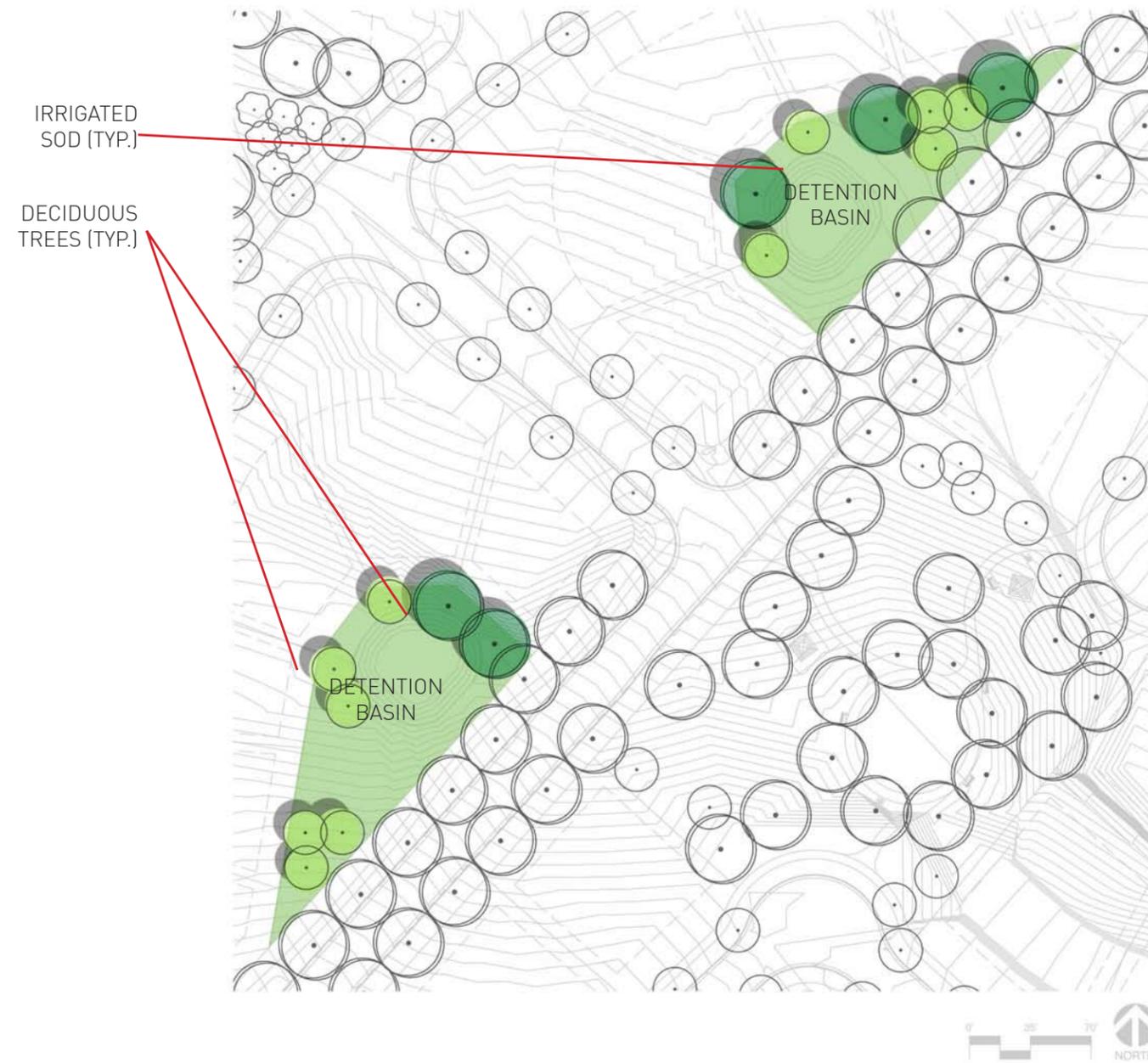
Open Space B Playground Concept





SECTION 14d: Open Space Management Plan (cont'd)



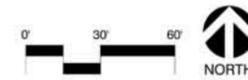


Open Space C Illustrative





SECTION 14d: Open Space Management Plan (cont'd)

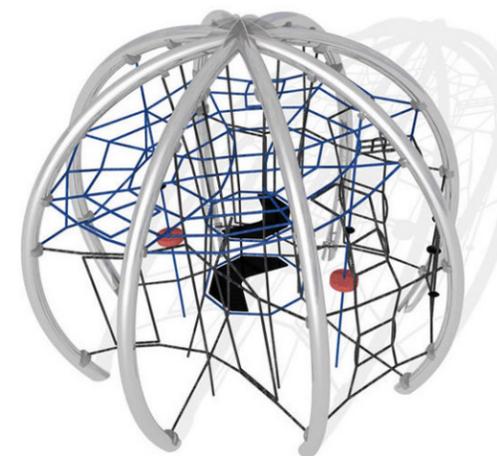
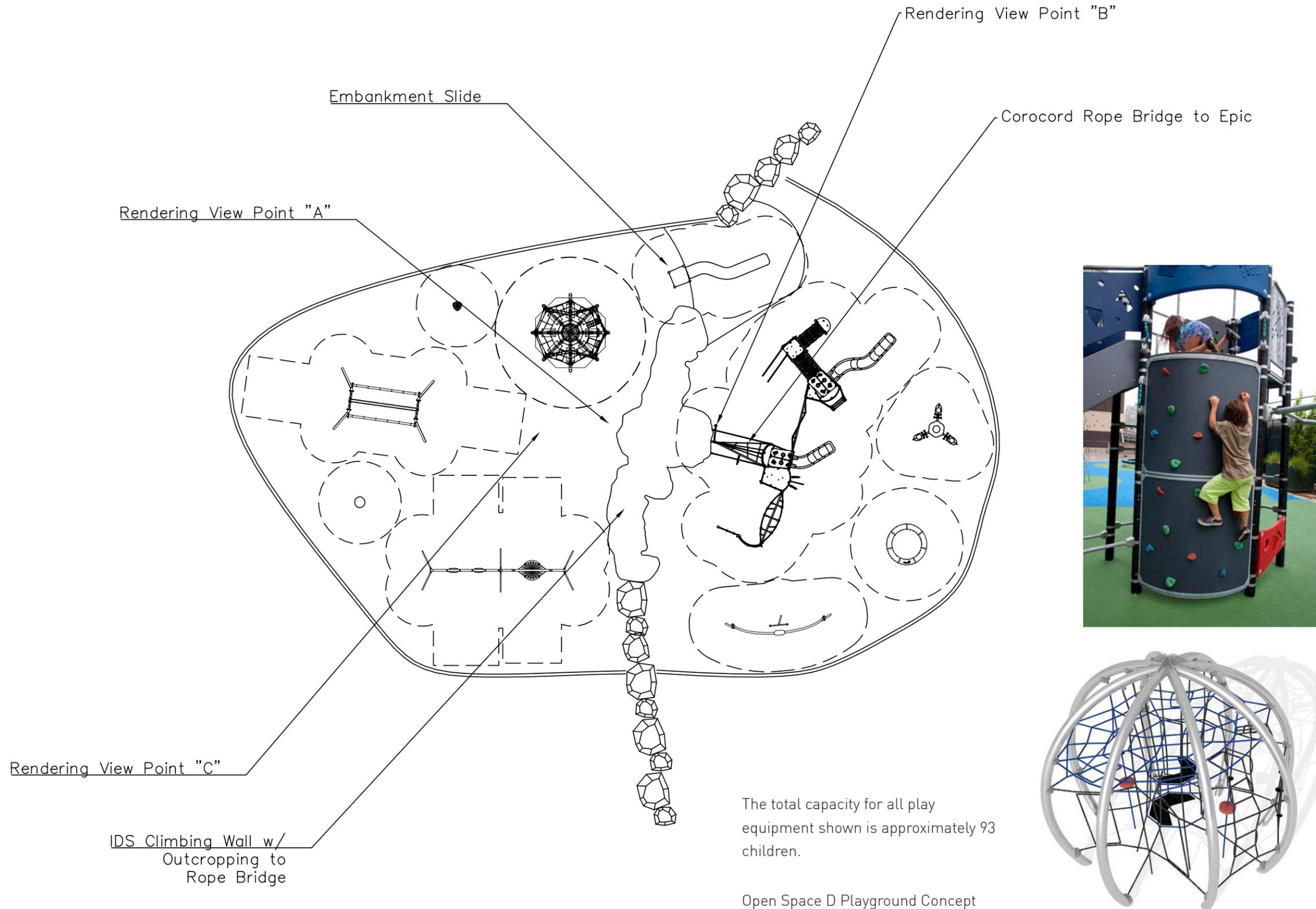


Open Space D Illustrative





SECTION 14d: Open Space Management Plan (cont'd)





Open Space D Playground Concept

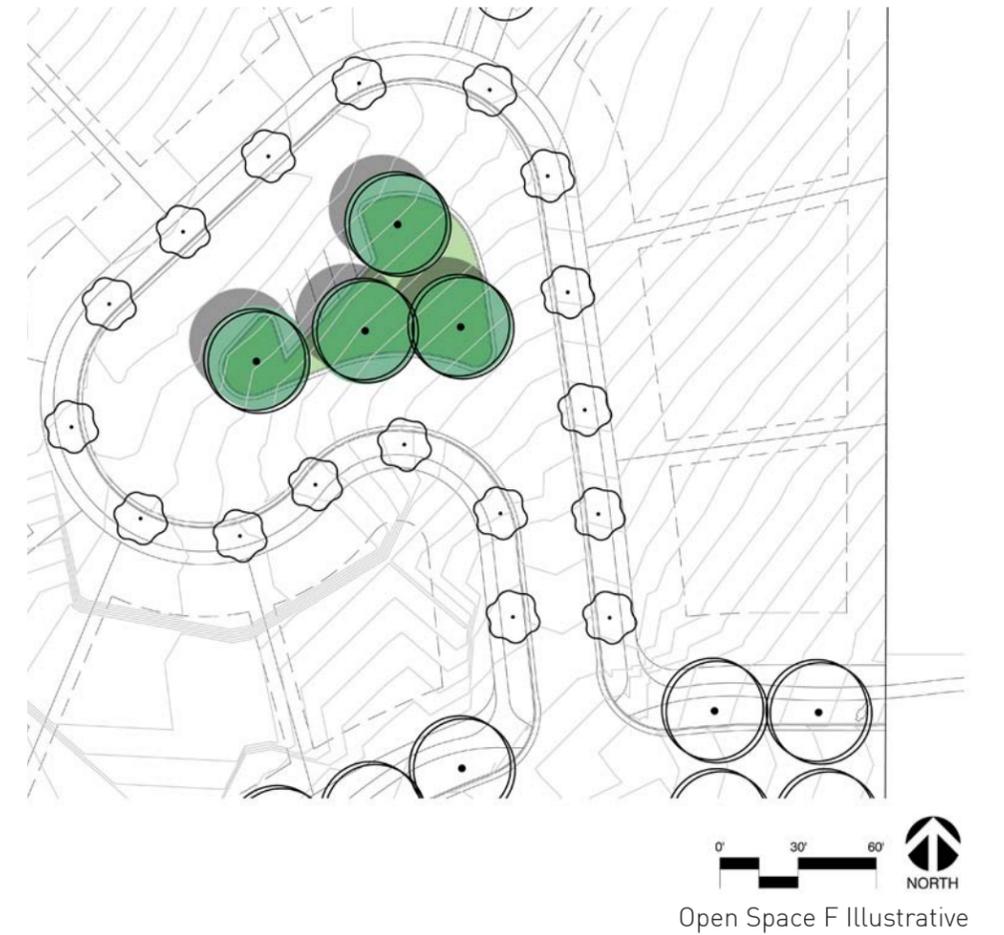
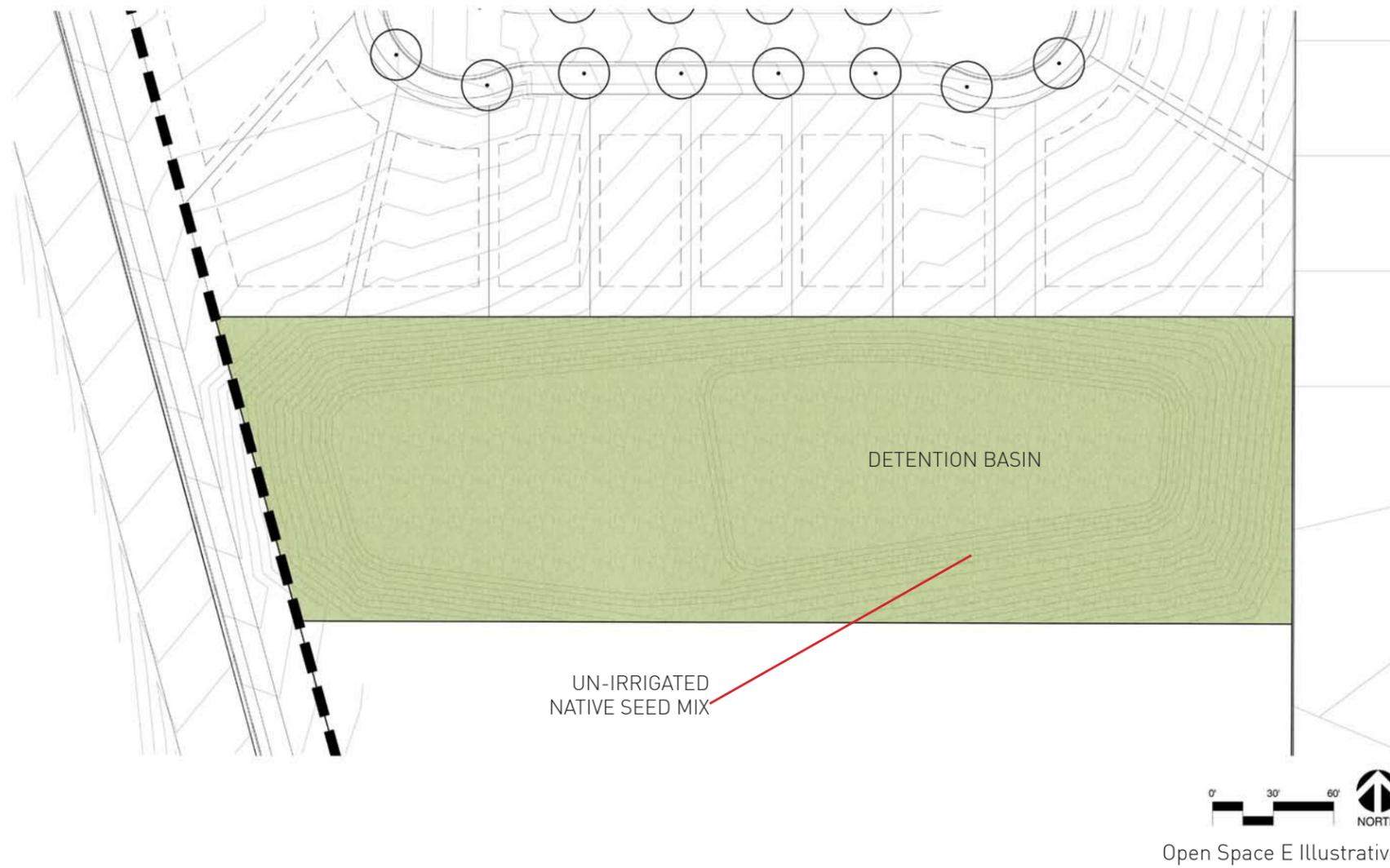




DAI WILDFLOWER

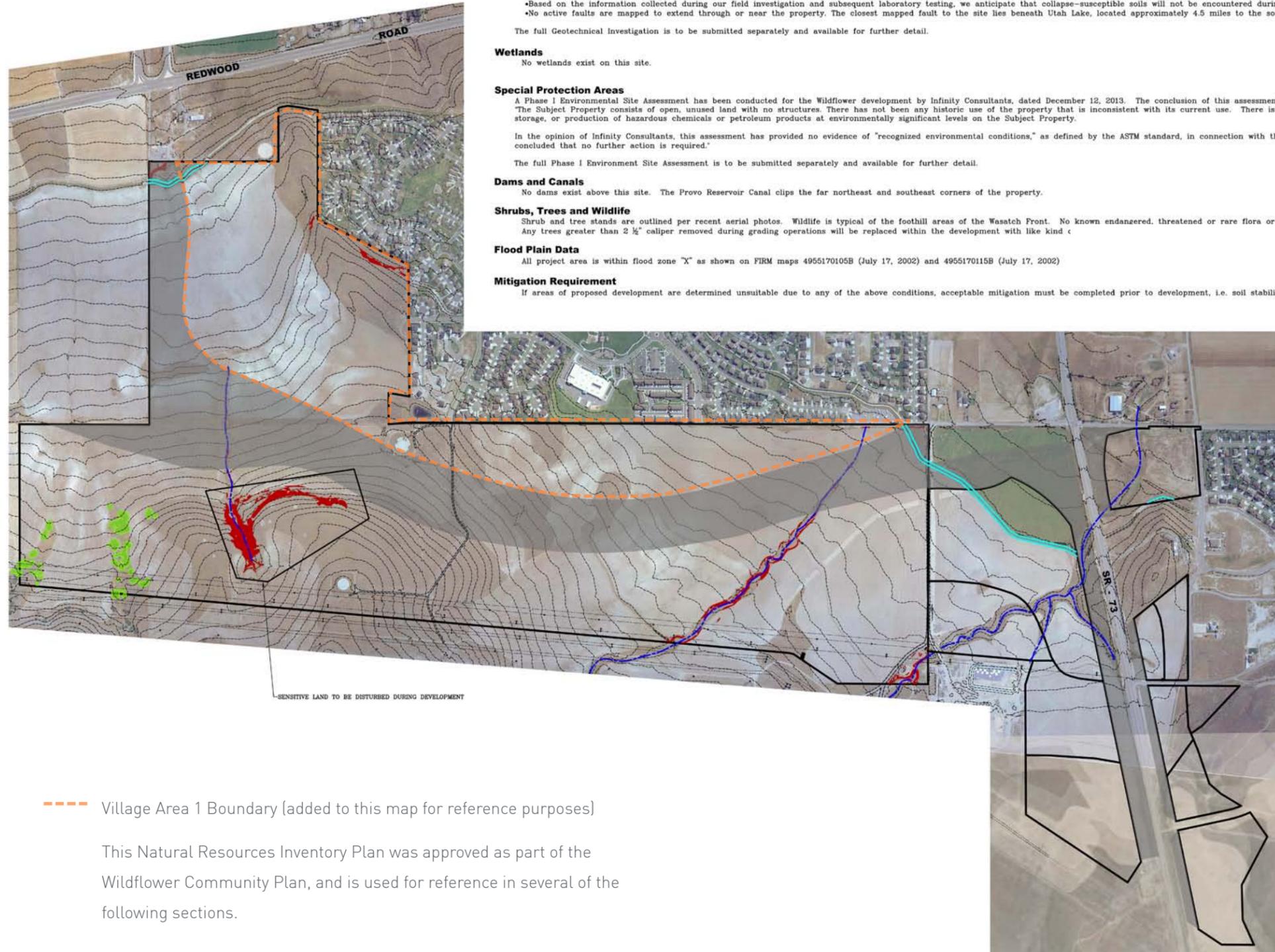
Open Space D Playground Concept







SECTION 14e: Natural Resources Inventory Plan



Slopes

Slope greater than 30% = 7.78 Acres. (for purpose of determining sensitive lands area, incidental & isolated area over 30% have not been included.)

Soils

A Geotechnical Investigation has been conducted for the eastern portion of the Wildflower development by Infinity Consultants, dated January 17, 2014. It is anticipated that the additional parcels within the Wildflower development will have similar soil characteristics. Excerpts from the investigation include:
•The subsurface soils encountered at the site consist of primarily of sandy clays (CL) and silty clays (CL-ML). Silty sands (SM) and clayey sands (SC) were found interspersed with clayey soils on the ridge and in its near vicinity. Cobbles and boulders are frequently found in the near surface soils and topsoil, layers of gravel are frequently found in the subsurface soils.
•No subsurface water was encountered to the maximum depth investigated, approximately 16 feet in the test pits and 50 feet in the borings along the northern ridge lines.
•It is our opinion that the site is suitable for the proposed construction. The buildings supported on shallow spread footings bearing on the undisturbed natural silt or clay soils should be designed for a net allowable pressure of 1,250 pounds per square foot. Shallow footings bearing on natural undisturbed well graded sands, gravels or at least 1 foot of compacted structural fill may be designed for a net allowable bearing pressure of 1,500 psf. Basement footings that are embedded a minimum of 6 feet deep from the native ground surface and are bearing on the undisturbed natural silt or clays may be designed for a net allowable pressure of 1,500 psf. Basement footings embedded more than 6 feet and bearing on undisturbed natural well graded sands or gravels may be designed for a net allowable pressure of 1,800 psf.
•At the time of the site investigation was conducted, vegetation at the site consisted primarily of sage brush, with farmed and fallow fields, native grasses and weeds were present around the perimeter of the fields.
•Based on the information collected during our field investigation and subsequent laboratory testing, we anticipate that collapse-susceptible soils will not be encountered during construction.
•No active faults are mapped to extend through or near the property. The closest mapped fault to the site lies beneath Utah Lake, located approximately 4.5 miles to the south. (Machette, 1992).

The full Geotechnical Investigation is to be submitted separately and available for further detail.

Wetlands

No wetlands exist on this site.

Special Protection Areas

A Phase I Environmental Site Assessment has been conducted for the Wildflower development by Infinity Consultants, dated December 12, 2013. The conclusion of this assessment states:
The Subject Property consists of open, unused land with no structures. There has not been any historic use of the property that is inconsistent with its current use. There is no evidence of current or past use, storage, or production of hazardous chemicals or petroleum products at environmentally significant levels on the Subject Property.

In the opinion of Infinity Consultants, this assessment has provided no evidence of "recognized environmental conditions," as defined by the ASTM standard, in connection with the Subject Property. Therefore, it can be concluded that no further action is required.

The full Phase I Environment Site Assessment is to be submitted separately and available for further detail.

Dams and Canals

No dams exist above this site. The Provo Reservoir Canal clips the far northeast and southeast corners of the property.

Shrubs, Trees and Wildlife

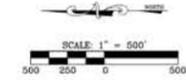
Shrub and tree stands are outlined per recent aerial photos. Wildlife is typical of the foothill areas of the Wasatch Front. No known endangered, threatened or rare flora or fauna are known to exist on the site. Any trees greater than 2 1/2" caliper removed during grading operations will be replaced within the development with like kind.

Flood Plain Data

All project area is within flood zone "X" as shown on FIRM maps 4955170105B (July 17, 2002) and 4955170115B (July 17, 2002)

Mitigation Requirement

If areas of proposed development are determined unsuitable due to any of the above conditions, acceptable mitigation must be completed prior to development, i.e. soil stabilization, environmental hazards, etc.



Natural Resources Inventory Plan

Legend	
	Stands of Trees
	Existing Gravel Road
	Existing Drainage Channel
	Existing Canal

Existing Sensitive Land Calculations	
Sensitive area calculation:	7.78 Acres
(for purpose of determining sensitive lands area, incidental & isolated area over 30% have not been included.)	

----- Village Area 1 Boundary (added to this map for reference purposes)

This Natural Resources Inventory Plan was approved as part of the Wildflower Community Plan, and is used for reference in several of the following sections.



SECTION 14f: Wildlife Mitigation Plan

As indicated in the Natural Resources Inventory Plan in Section 14e of this document, Wildlife is typical of the foothill areas of the Wasatch Front, and no known endangered, threatened, or rare flora or fauna are known to exist on the site. Therefore, no wildlife mitigation is required for Village Plan Area 1.



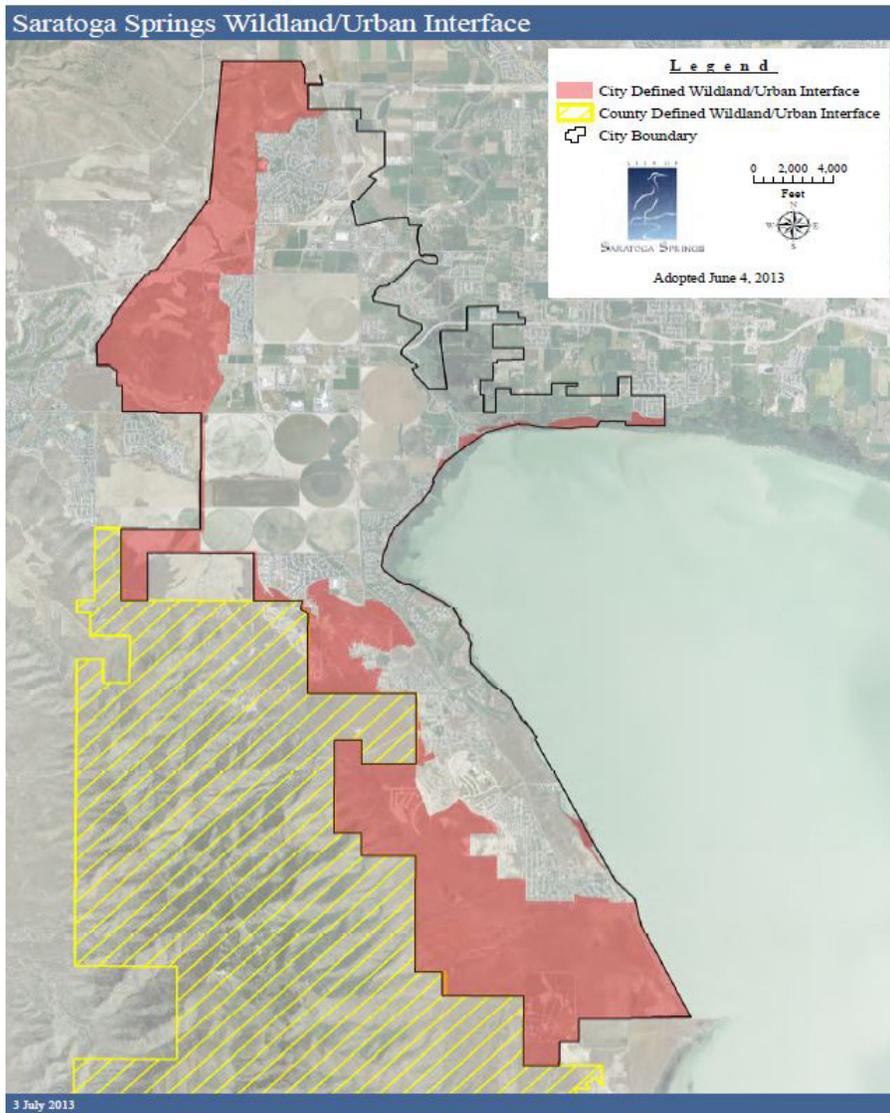
SECTION 14g: Sensitive Lands Protection

Sensitive lands cannot be included within lots. However, as per the Community Plan, areas that are graded out of sensitive lands are allowed to be included within lots. As indicated in the Natural Resources Inventory Plan in Section 14e of this document, there are several areas of sensitive lands (shown in red) within the Village Plan Area 1 boundary. These areas represent land with slopes greater than 30%, and are primarily found in neighborhoods #1 and #2 Primrose, with a small amount found in the open space south of neighborhood #7 Wild Rose. The lots of neighborhoods #1 and #2 Primrose have been laid out to ensure that the sensitive lands in these areas remain in the undeveloped rear yards. These sensitive lands will be protected from disturbance during the development of Village Plan Area 1 through the establishment of construction limit lines.



SECTION 14h: Fire Protection Plan

As described in the Wildflower Community Plan, “The project lies entirely within the City defined Wildland/Urban Interface. At the time a preliminary plat is submitted, a Fire Protection Plan in accordance with the Wildland-Urban Interface Code shall be prepared to assess site specific wildfire risk. This assessment includes consideration of location, topography, aspect, flammable vegetation, climatic conditions and fire history. The plan shall address water supply, access, building ignition and fire-resistance factors, fire protection systems and equipment, defensible space and vegetation management. Feasibility of the Fire Protection Plan will be reviewed at time of preliminary plat and full details finalized before a final plat is approved.”



SECTION 14i: Traffic Study

The revised traffic study addresses the entire Wildflower community. However, it is broken into two segments. The first is the number of units that can be developed and have an adequate capacity on current collectors. The second segment is the number of units that can be developed and have an adequate capacity on the MVC frontage roads are built.



SECTION 14i: Traffic Study (cont'd)

HALES ENGINEERING
innovative transportation solutions

Wildflower Traffic Impact Study



WILDFLOWER

AT SARATOGA SPRINGS

Saratoga Springs, Utah
February 2016

UT16-841

1220 North 500 West, Ste. 202 Lehi, UT 84043 p.801.766.4343
www.halesengineering.com



SECTION 14i: Traffic Study (cont'd)



EXECUTIVE SUMMARY

This study addresses the traffic impacts associated with proposed Wildflower residential development in Saratoga Springs, Utah. The proposed development is located on the west side of Redwood Road (SR-68) and the existing Harvest Hills residential development.

Included within the analyses for this study are the traffic operations and recommended mitigation measures for existing conditions and plus project conditions (conditions after development of the proposed project) at key intersections and roadways in the vicinity of the site. Future 2020 and 2040 conditions are also analyzed.

TRAFFIC ANALYSIS

The following is an outline of the traffic analysis performed by Hales Engineering for the traffic conditions of this project.

Existing (2016) Background Conditions Analysis

Hales Engineering performed weekday morning (7:00 – 9:00 a.m.) and afternoon (4:00 to 6:00 p.m.) peak period traffic counts at the following intersections:

- Redwood Road (SR-68) / 2100 North (SR-85)
- Redwood Road (SR-68) / Spring Hills Drive
- Redwood Road (SR-68) / Harvest Hills Boulevard
- Providence Drive / Harvest Hills Boulevard
- Harvest Moon Drive / Spring Hills Drive
- Providence Drive / Harvest Moon Drive

These counts were performed on Wednesday, January 27, 2016. The a.m. peak hour was determined to be between the hours of 7:00 and 8:00 a.m. and the p.m. peak between 5:00 and 6:00 p.m. The afternoon volumes were approximately 17 percent higher than the morning volumes and were used for this analysis. Detailed count data are included in Appendix A.

As shown in Table ES-1, the Redwood Road (SR-68) / Spring Hills Drive intersection is currently operating at LOS F. All other study intersections are currently operating at acceptable levels of service during the p.m. peak hour. The 95th percentile queues at the Redwood Road (SR-68) / Harvest Hills Boulevard extend for several hundred feet on the north- and southbound approaches. The southbound queue, at times, blocks an upstream intersection. The queues on the eastbound approach to the Redwood Road (SR-68) / Spring Hills Drive intersection also extend for several hundred feet. No other significant queueing was observed during the p.m. peak hour.



SECTION 14i: Traffic Study (cont'd)



Project Conditions Analysis

The proposed land use for the development has been identified as follows:

- Single-Family Detached Housing: 1,069 Dwelling Units
- Residential Condominium/Townhouse: 246 Dwelling Units

The total trip generation for Phase I of the development is as follows:

- Daily Trips: 5,184
- a.m. Peak Hour Trips: 408
- p.m. Peak Hour Trips: 502

The total trip generation for both Phase I and Phase II of the development is as follows:

- Daily Trips: 6,042
- a.m. Peak Hour Trips: 471
- p.m. Peak Hour Trips: 577

Existing (2015) Plus Project Conditions Analysis

As shown in Table ES-1, all three study intersections on Redwood Road (SR-68) are anticipated to operate at LOS F with project traffic added during the p.m. peak hour. All other study intersections are anticipated to operate at LOS A. The 95th percentile queues on all three approaches to the Redwood Road (SR-68) / Harvest Hills Boulevard intersection are anticipated to extend for several hundred feet.

Future (2020) Background Conditions Analysis

As shown in Table ES-1, the Redwood Road (SR-68) / 2100 North (SR-85) and Redwood Road (SR-68) / Spring Hills Drive intersection are anticipated to operate at LOS F with future 2020 traffic conditions. All other study intersections are anticipated to operate at acceptable levels of service during the p.m. peak hour. The 95th percentile queues at the Redwood Road (SR-68) / 2100 North (SR-85) intersection are anticipated to be excessive on all three approaches during the p.m. peak hour. The 95th percentile queues on the southbound approach to the Redwood Road (SR-68) / Harvest Hills Boulevard intersection are anticipated to extend several hundred feet. The queues on the eastbound approach to the Redwood Road (SR-68) / Spring Hills Drive intersection are anticipated to be excessive due to the difficulty of executing left-turn movements at this location.

Future (2020) Plus Project Conditions Analysis

As shown in Table ES-1, the Redwood Road (SR-68) / 2100 North (SR-85) intersection is anticipated to operate at LOS F with project traffic added. All other study intersections are



SECTION 14i: Traffic Study (cont'd)



anticipated to operate at acceptable levels of service during the p.m. peak hours. Significant queuing is anticipated at the Redwood Road (SR-68) / 2100 North (SR-85) intersection on all approaches. No other significant queuing is anticipated.

Future (2040) Plus Project Conditions Analysis

As shown in Table ES-1, the Redwood Road (SR-68) / 2100 North (SR-85) intersection is anticipated to operate at LOS F, and the Southbound Mountain View Corridor Frontage Road / Harvest Hills Boulevard intersection is anticipated to operate at LOS E during the p.m. peak hour. All other study intersections are anticipated to operate at acceptable levels of service. Significant queuing is anticipated at the Redwood Road (SR-68) / 2100 North (SR-85) on the southbound approach, and at the Southbound Mountain View Corridor Frontage Road / Harvest Hills Boulevard intersection on the south- and eastbound approaches.



SECTION 14i: Traffic Study (cont'd)



**TABLE ES-1
P.M. Peak Hour
Saratoga Springs - Wildflower TIS**

Intersection	Existing 2016 Background	Existing 2016 Plus Project	Future 2020 Background	Future 2020 Plus Project	Future 2040 Plus Project
Description	LOS (Sec/Veh ¹)				
Redwood Road (SR-68) / 2100 North (SR-85)	-	-	F (>80)	F (>80)	F (>80)
Redwood Road (SR-68) / New Access Road	-	F (>50) / EB	-	C (18.6) / EB	C (18.8) / EB
Redwood Road (SR-68) / Spring Hills Drive	F (>50) / EB	F (>50) / EB	F (>50) / EB	D (26.0) / EB	C (22.2) / EB
Redwood Road (SR-68) / Harvest Hills Boulevard	D (51.7)	F (>80)	C (25.5)	B (14.3)	C (30.0)
Providence Drive / Harvest Hills Boulevard	A (2.4)	A (3.4)	A (3.0)	A (3.4)	A (6.1)
Harvest Moon Drive / Spring Hills Drive	A (7.5) / WB	A (5.6) / NB	C (15.7) / SB	A (3.4) / WB	A (3.8) / WB
Providence Drive / Harvest Moon Drive	A (2.0)	A (2.4)	A (2.1)	A (2.1)	A (2.3)
SB MVC / 2100 North (SR-85)	-	-	-	B (14.7)	-
NB MVC / 2100 North (SR-85)	-	-	-	C (23.3)	-
SB MVC / 1500 North	-	-	-	C (23.5)	C (20.9)
NB MVC / 1500 North	-	-	-	B (13.3)	A (9.8)
SB MVC / Harvest Moon Drive	-	-	-	C (21.0)	B (15.7)
NB MVC / Harvest Moon Drive	-	-	-	B (18.4)	B (13.1)
SB MVC / Harvest Hills Boulevard	-	-	-	D (49.6)	E (77.1)
NB MVC / Harvest Hills Boulevard	-	-	-	C (30.2)	C (34.7)

1. Intersection LOS and delay (seconds/vehicle) values represent the overall intersection average for roundabout, signalized, all-way stop controlled intersections and the worst approach for all other unsignalized intersections.
 2. This intersection is a project access and was only analyzed in "plus project" scenarios.
 3. This intersection was eliminated as part of the proposed project and was only analyzed in "background" scenarios.

Source: Hales Engineering, February 2016



SECTION 14i: Traffic Study (cont'd)



RECOMMENDATIONS

The following mitigation measures are recommended:

Existing (2016) Background Conditions Analysis

The Redwood Road (SR-68) / Spring Hills Drive intersection is a stop-controlled access onto a major highway. It is generally expected that there will be delays at these types of intersections, especially during peak traffic periods. The Redwood Road (SR-68) / Harvest Hills Boulevard intersection is currently meeting UDOT criteria for dual left-turn lanes on the northbound approach. Although this intersection is currently operating at an acceptable LOS, it is recommended that dual left-turn lanes be constructed at this location.

Existing (2016) Plus Project Conditions Analysis

As previously discussed, the Redwood Road (SR-68) / Harvest Hills Boulevard intersection is currently meeting UDOT criteria for dual left-turn lanes on the northbound approach. It is recommended that dual left-turn lanes be constructed at this location.

Future (2020) Background Conditions Analysis

Additional capacity will be required to accommodate the projected traffic on Redwood Road (SR-68). It is recommended that Redwood Road (SR-68) be expanded to a seven-lane cross section. It is recommended that the Redwood Road (SR-68) / Spring Hills Drive intersection be converted to a right-in right-out (RIRO) configuration, as it is anticipated that executing left-turn movements will continue to be difficult. It is likely that drivers will elect to utilize Harvest Hills Boulevard as an alternate access.

Future (2020) Plus Project Conditions Analysis

The Redwood Road (SR-68) / 2100 North (SR-85) intersection is a junction of two major roadways. Future plans are for 2100 North (SR-85) to become a freeway connecting I-15 to the Mountain View Corridor, and for the Mountain View Corridor to take the place of Redwood Road (SR-68) as primary north/south route through the western part of the county. When these projects are completed, east/west traffic will be grade separated and the amount of north/south traffic will be diverted to the Mountain View Corridor. Until these projects are completed, it is recommended that an innovative intersection design be implemented to accommodate the large amounts of traffic at this intersection. No other mitigation measures are recommended.



SECTION 14i: Traffic Study (cont'd)



Future (2040) Plus Project Conditions Analysis

It is anticipated that there will be a high number of right-turning vehicles on the southbound approach to the Mountain View Corridor Frontage Road / Harvest Hills Boulevard intersection. It is recommended that right-turning capacity be increased at this location with the addition of a free right-turn lane onto westbound Harvest Hills Boulevard. No other mitigation measures are recommended.

SUMMARY OF KEY FINDINGS/RECOMMENDATIONS

The following is a summary of key findings and recommendations:

- It was assumed that the proposed project would be built in two phases: the first phase on the east side of the Mountain View Corridor right-of-way, and second on the west side. Trips generated by Phase I of the project were included in the existing (2015) background and plus project analyses. Trips from both Phase I and Phase II were included in all future (2020 and 2040) analyses.
- It was assumed for these analyses that the Mountain View Corridor frontage roads would be constructed through the project area for the future (2020 and 2040) plus project scenarios, and that the Mountain View Corridor and 2100 North freeways would be constructed for the future (2040) plus project scenario.
- The Redwood Road (SR-68) / 2100 North (SR-85) intersection is anticipated to operate at LOS F in 2020 and 2040. It is recommended that an innovative intersection design be implemented at this location.
- The Redwood Road (SR-68) / Harvest Hills Boulevard intersection currently meets UDOT criteria for dual left-turn lanes on the northbound approach. It is recommended that these turn lanes be constructed.
- It is anticipated that the Redwood Road (SR-68) / Harvest Hills Boulevard intersection will operate at LOS E with Phase I project traffic added. With only 90% of the planned 567 single-family homes completed, the intersection will operate at LOS D.
- The Redwood Road (SR-68) / Spring Hills Drive intersection is anticipated to continue to operate at LOS F through 2020. This is generally expected at stop-controlled intersections on busy roadways.
- It is anticipated that a large portion of traffic on Redwood Road (SR-68) will reroute to the new Mountain View Corridor system, alleviating some of the congestion along the corridor.
- All intersections along the Mountain View Corridor frontage roads are anticipated to operate at acceptable levels of service, with the exception of the Southbound Mountain View Corridor Frontage Road / Harvest Hills Boulevard intersection in 2040. There are a high number of right-turning vehicles anticipated on the southbound approach to this intersection. It is recommended that a free right-turn lane be constructed on this approach.



SECTION 14i: Traffic Study (cont'd)



- All existing intersections within the existing Harvest Hills residential development currently operate at acceptable levels of service, and are anticipated to continue as such through 2040 with traffic from the proposed project added.



SECTION 15: Site Characteristics

General site characteristics for Wildflower were provided in the Community Plan, page 92, first paragraph in the geotechnical investigation (text is provided below).

Wildflower is a proposed 800-acre development “located west of Redwood Road approximately 1.5 miles north of highway 73 (Lehi Main Street/Cedar Fort Road) in Saratoga Springs Utah. The project area is located on the northern and western borders of the Harvest Hills subdivision and consists of a northern region and a southern region that are joined by a narrow neck of property. The northern regional slopes generally to the east and has some steep slopes. The southern region of the property predominantly slopes to the southeast with mild slopes. Approximately 70 percent of the property was previously farmed. The remaining 30 percent of the property is undisturbed rangeland with wild grasses and sagebrush.”

General site characteristics were also provided in the Community Plan on page 89, under the summary of the Environmental Site Assessment conducted by Infinity Consultants.

- » “Surficial soils were visually inspected and appear to be sandy silts with gravel and boulders at higher elevations. The property is covered by native grasses, weeds, and plowed fields,.
- » The property slopes gradually and changes several hundred feet from its high point in the northwest to the lowest points in the northeast and south. The slope is much steeper in the northwest, in the vicinity to the western most City water tank.
- » An irrigation canal runs through the Subject Property at two locations, First in the southern part of the property just north of and then crossing Cedar Fort Road, then second in the northeast portion of the property.
- » All drainages crossing the property seem to end at the irrigation canal.
- » There are high power electrical transmission lines bordering the west boundary of the Subject Property.
- » There are no constructed structures on the entire property or evidence of past structures.”



SECTION 16: Findings

Village Plan Area 1 is the 169-acre first phase within the 800-acre Wildflower Community Plan located in Saratoga Spring, Utah. The Wildflower Village Plan Area 1 is compliant with all PC Zone Requirements for Village Plans as defined in section 19.26.09 of the Saratoga Springs Municipal Code. We find that Village Plan Area 1:

- a. is consistent with the adopted Wildflower Community Plan;
 - » Village Plan Area 1 adheres to the development standards, thoroughfare types, and open spaces types and requirements established in the Wildflower Community Plan.
- b. does not exceed the total number of Equivalent Residential Units (ERUs) dictated in the adopted Community Plan;
 - » The number of potential ERUs established in the Community Plan for Village Plan Area 1 is 580. Village Plan Area 1 establishes a maximum of 571 within the seven neighborhoods that comprise Village Plan Area 1.
- c. for an individual neighborhood, does not exceed the total number of ERUs established in the adopted Wildflower Community Plan;
 - » The ERUs were reduced from 109 to 95 to increase the size of the neighborhood park located in Neighborhood 4.
- d. is consistent with the utility, infrastructure, and circulation plans of the Wildflower Community Plan; includes adequately sized utilities, services, and roadway networks to meet demands; and mitigates the fair-share of off-site impacts;
 - » Village Plan Area 1 implements the utility, infrastructure, and circulation plans as specified in the Wildflower Community Plan.
- e. properly integrates utility, infrastructure, open spaces, pedestrian and bicycle systems, and amenities with adjacent properties;
 - » Wildflower has been designed to accommodate significant infrastructure elements that are important to the City within the structure of the property. Wildflower was designed to maximize pedestrian, bike, and other mobility options. Open space is highly integrated to provide direct and easy access to residents.
- f. contains the required elements as required in section 19.26.10 of the Saratoga Springs Municipal Code.



SECTION 17: Mitigation Plans

According to the Natural Resources Inventory Plan in Section 14e:

- » Slopes greater than 30% total 7.78 acres for the entire Wildflower property;
- » No wetlands exist on this site;
- » No subsurface water was encountered to the maximum depth investigated;
- » The site is suitable for the proposed construction;
- » No active faults are mapped to extend near or through the property;
- » There is no evidence of current or past use, storage, or production of hazardous chemicals or petroleum products at environmentally significant levels on the Subject Property;
- » No dams exist above this site;
- » The Provo Reservoir Canal clips the far northeast and southeast corners of the property;
- » No known endangered, threatened or rare flora or fauna are known to exist on the site; and
- » All project area is within the flood zone "X."

Section 14e states that "if areas of proposed development are determined unsuitable due to any of the above conditions, acceptable mitigation must be completed prior to development, i.e. soil stabilization, environmental hazards, etc."

As described in Section 14g: Sensitive Lands Protection, that are several small areas of sensitive lands with slopes over 30%. The lots in Village Plan Area 1 have been laid out to ensure that the sensitive lands in these areas remain in the undeveloped rear yards. These sensitive lands will be protected from disturbance during the development process through the establishment of construction limit lines. As described in Section 14e: Natural Resources Inventory Plan, "any trees greater than 2 1/2" caliper removed during grading operations will be replaced within the development with like kind or better, 2 1/2" caliper minimum."





SECTION 18: Offsite Utilities

Wildflower Village 1 Offsite Estimates					
Saratoga Springs, UT					
Engineer's Construction Cost Estimate Per Master Development Plan Exhibits					
Project Costs					Notes
Item	Est. Quantity	Unit	Unit Price	Total Amount	
Sanitary Sewer - Offsite					
12" PVC Main	3,365	lf	\$ 40.00	\$ 134,600	
18" PVC Main	488	lf	\$ 50.00	\$ 24,400	
48" Manholes	13	ea	\$ 2,500.00	\$ 32,500	
T-Patch Repair in Ex. Asphalt	50	lf	\$ 16.00	\$ 800	
Bore Under Canal & Redwood Road	200	lf.	\$ 350.00	\$ 70,000	
Traffic Control on Redwood Road	1,064	lf	\$ 20.00	\$ 21,280	
Canal Crossing Repair	1	ls	\$ 25,000.00	\$ 25,000	
Imported Pipe Bedding	1,002	tons	\$ 12.00	\$ 12,021	
Imported Trench Backfill	5,009	tons	\$ 8.00	\$ 40,071	
Subtotal Sanitary Sewer - Offsite				\$ 360,673	
Culinary Water - Offsite					
12" PVC	2,739	lf	\$ 40.00	\$ 109,560	
8" PVC	1,072	lf	\$ 28.00	\$ 30,016	
Imported Pipe Bedding	579	tons	\$ 12.00	\$ 6,946	
Imported Trench Backfill	991	tons	\$ 8.00	\$ 7,927	
Subtotal Culinary Water - Offsite				\$ 154,448	
SUBTOTAL				\$ 515,121	
TOTAL CONSTRUCTION COST				\$ 515,121	
NOTES:			DISCLAIMER		
1. Estimates are only for OFFSITE utility improvements relative to Village 1 of the Wildflower Development. 2. Refer to the Master Development Plan Exhibits for the location of all offsite improvements.			THE DATA AND INFORMATION PRESENTED HEREIN HAVE BEEN PRODUCED CONSISTENT WITH INDUSTRY STANDARDS BY OPERATORS EXERCISING REASONABLE SKILL AND CARE. THIS DATA AND INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. NO GUARANTEE OR WARRANTY EXPRESSED OR IMPLIED IS MADE WITH RESPECT TO THE ACCURACY OF THIS DATA OR INFORMATION. IN NO EVENT WILL LEI CONSULTING ENGINEERS AND SURVEYORS INC. BE LIABLE FOR ANY LOSS OF PROFIT OR ANY OTHER COMMERCIAL DAMAGE INCLUDING BUT NOT LIMITED TO SPECIAL, INCIDENTAL, CONSEQUENTIAL, OR OTHER DAMAGES RESULTING FROM THE USE OF THIS INFORMATION OR DATA.		



SECTION 19: Master Development Agreement

A Master Development Agreement has been approved by the City and was recorded with the County on February 24, 2015.



City of Saratoga Springs
Planning Commission Meeting
June 23, 2016

Regular Session held at the City of Saratoga Springs City Offices
1307 North Commerce Drive, Suite 200, Saratoga Springs, Utah 84045

Minutes

Present:

Commission Members: Kirk Wilkins, Sandra Steele, Hayden Williamson, David Funk, Ken Kilgore, Troy Cunningham

Staff: Kimber Gabryszak, Planning Director; Mark Christensen, City Manager; Sarah Carroll, Senior Planner; Kevin Thurman, City Attorney; Gordon Miner, City Engineer; Jamie Baron, Planner I; Cindy LoPiccolo, City Recorder

Excused: Brandon MacKay

Call to Order - 6:30 p.m. by Chairman Kirk Wilkins

1. **Pledge of Allegiance** - led by Commissioner Williamson
2. **Roll Call** – A quorum was present
3. **Public Input**

Public Input Open by Chairman Kirk Wilkins

No input was given.

Public Input Closed by Chairman Kirk Wilkins

4. **Public Hearing: Amendment to the Annexation Expansion Area of the City's Annexation Policy Plan.**

Sarah Carroll, Senior Planner, presented the annexation expansion plan for the City. This would only impact the boundary on the map for the annexation policy plan. The City has not heard anything official back from Lehi on how they feel about the expansion plan.

Commissioner Wilkins opened the public hearing. There were not comments and the public hearing was closed.

Commissioner Cunningham wondered how much coordination there is with Lehi on projects that go over the borders of Lehi and Saratoga Springs.

Senior Planner Carroll advised that the borders have overlapped for years and there is not currently a solution for it.

City Attorney Thurman advised that State Law does go over the fact that municipalities can coordinate together to make sure there are not overlaps but it is not a requirement.

Motion made by Commissioner Steele to forward a recommendation for approval for the proposed amendment to the annexation policy plan, specifically the amendment to the annexation expansion area map as shown in the attached exhibit A, based on the findings in the staff report. Seconded by Commissioner Funk. Aye: Sandra Steele, David Funk, Hayden Williamson, Kirk Wilkins, Ken Kilgore, Troy Cunningham. Motion passed 6 - 0.

5. Public Hearing: Site Plan and Conditional Use Permit for Discount Tire located at 1413 North Exchange Drive, Discount Tire, Applicant.

Jamie Baron, Planner, presented this site plan and conditional use permit to the Planning Commission. This area is currently zoned Regional Commercial so this would be a conditional use. The building would have six bays. There are 41 parking stalls provided to them currently so with the employees and stalls per bay requirements they are shy by one stall. The staff recommends a positive recommendation for this project.

Zach Johnson, the applicant, advised that Discount Tire has about 800 stores nationwide. They are all family owned and they pride themselves on service. They like to be a part of communities and they are excited to be in Saratoga Springs.

Commissioner Wilkins opened the public hearing. There were no comments so the public hearing was closed.

Commissioner Kilgore mentioned that there will be four tire centers within a two mile radius if this is approved. He wondered if that was a typical competitive density. He is concerned about not having enough parking and not meeting the sign requirements. He feels that parking is a big issue. He wondered if the applicant will be able to add two more parking stalls. There have been a lot of parking issues in the shopping center they are wanting to locate in. He also wondered if there was a possibility to reduce the secondary sign to 50% of the primary sign size.

Zach Johnson advised that Discount Tire does a lot of due diligence to understand the growth of communities before they locate. They would not be moving forward if there were too many competitors in the area. The engineering firm puts together an analysis of other businesses in the area before they decide where to locate. In regards to parking he mentioned that you are not going to see 30 employees on a typical day. The average maximum will normally just be 15 employees so there should not be an issue with parking. One concern they have with the site is the single entrance for deliveries and just normal traffic. They will look into finding more spots but it's up to what the site size can allow. He is also willing to talk to Discount Tire to see if they can reduce the secondary sign size to be 50% of the primary sign size. It is likely they will just want to increase the primary sign to the maximum allowed so that the other two signs will conform to the code.

Commissioner Cunningham echoed his concerns about parking.

Commissioner Steele does not have any issues with the parking at the site. The base of the monument sign says that it is painted CMU but she cannot find painted CMU anywhere on the building. The color needs to match the building so she suggested some other things that could be used. She also had some concerns about having a lighter color tan in the back of the building. She would like to see it painted the same color as the building.

Commissioner Williamson is also not concerned about the parking. He feels that Discount Tire knows how to manage their business. He is okay with giving them a variance for the current sign proposal. He thinks three smaller signs is better than making them increase the size of their primary sign to allow for the two other signs.

Commissioner Funk is concerned about parking. He often goes to a Discount Tire store that has plenty of parking but there is almost always a truck coming or going that is delivering tires. With what he sees he

thinks there is a possibility to add a couple more parking spots. If he were a customer going to their business and they didn't have parking he would just go across the street to Walmart where there is parking. He thinks it would be to the advantage of the business to have those extra parking spots. He is concerned about the wording in the code that says that businesses "can comply" rather than saying they "will comply". He would like to have assurance that businesses are going to follow what the code says. Commissioner Funk later commented that with consideration of bay parking he is ok with the parking planned.

Planner Baron advised that a condition in the staff report says that they have to follow all of the standards in the code. So the City will make sure that they do comply.

Commissioner Wilkins clarified some things about the lighting for the site. He noted that the applicant does not have any problems with complying with everything. He is in favor in allowing the parking reduction. His justification for this is because of the parking they also have in the bay and in front of the bay. He said they would have to comply with the sign code. He asked that staff verify that trucks will be able to appropriately access the site.

Commissioner Steele noted that she thought they could push snow into the water basin to keep parking unblocked. She mentioned vegetation buffers to screen boxes.

Commissioner Wilkins reviewed conditions suggested by the Planning Commissioners.

Motion made by Commissioner Williamson made the motion to forward a positive recommendation of the Discount Tire site plan and conditional use permit with the findings and conditions listed in the staff report with the modifications that the proposed amount of parking is acceptable and the external electrical switch gear cabinet meets the screening code, the base of the monument sign meets code, staff verify the ability for a truck to access the site safely. Seconded by Commissioner Cunningham. Aye: Sandra Steele, David Funk, Hayden Williamson, Kirk Wilkins, Ken Kilgore, Troy Cunningham. Motion passed 6 - 0.

6. Work Session: Code Amendments, Multiple Sections, City Initiated.

Kimber Gabryszak, Planning Director, presented code amendments to the Planning Commission that they would like to hold a public hearing held at a future meeting. The first section is 19.04 which is in regards to zoning. It would reduce some setbacks in the commercial zones and includes some other general clean up. They will also be adding the community commercial zone. There will also be a chapter for Mixed Waterfront and a chapter for design standards. They are also looking into rezoning all of the churches, parks and open space to an Institutional/Civic zone. She also reviewed with commissioners some of the requirements for having and obtaining a solicitor license according to the code.

Commissioner Steele mentioned that the EPA is going to be requiring new development to make sure rain water stays where it falls so that runoff doesn't go into the lake. She is a little hesitant about the backyard requirements that are being proposed. She thinks that putting wording to say that runoff needs to be minimal would be prudent.

Planning Director Gabryszak reviewed changes to Section 19.06 regarding landscaping. The City would like to educate the residents on their options for landscaping. There will also be two changes with screening and fencing. One change is to clarify that it's not just in the agricultural zone that chain link and wire fences are allowed, but also in agricultural uses. It also applies to the keeping of animals. Parallel fencing was also not clear in the code so that was written differently to make more sense. She asked opinions on an engineering recommendation of requiring piping of canals. Commissioners asked for examples to be brought back. City Attorney Thurman advised that it's a safety and maintenance issue; it's also a liability issue for the City with trails next to open water channels. There could also be a requirement

that it be fenced. Commissioner Steele noted that the liability of a closed channel could be just as much. Commissioner Kilgore would like to include Historical Canals.

There are also a couple of changes in regards to signs. They changed the definition for dwell time on signs. Code language was also added for parks and trails and also electronic signs. Electronic signs are going to be allowed in Institutional/Civic and Regional Commercial zones on developments that are four acres or larger. Pedestal signs are only allowed on those that are seven acres or larger.

Commissioner Steele is concerned about electronic signs; she is against them and especially having them on pedestals. The dwell time across the nation also varies from five seconds to one week. If they allow them she would like no more than one electronic sign face.

Commissioner Funk has an issue with dwell time being a minimum of five seconds. He talked to a sign company that doesn't allow anything less than six seconds. He thinks it should be at least six and maybe seven seconds. Staff recommended having eight seconds for dwell time on electronic signs.

Commissioner Wilkins also does not like the idea of allowing electronic signs on pedestals.

Commissioner Williamson is not as concerned about the pedestals signs as long as the City is managing lumens.

Commissioner Kilgore mentioned that he likes the illumination that points down instead of up and outward.

Planning Director Gabryszak moved on to mention that signs for HOA and public parks are also held to the same standards as any other use on a limited basis. They are also going to allow pedestal and monument signs at parks on a permit basis. A new chapter regarding open space is also being added. They are changing the approach to open space. This has been sent to developers and park designers. A developer right now is using this as their open space standards for their community plan. The City was going to present this sooner but they wanted to see how it worked with the developer. It seems to be working fine. They are proposing a point system so that a certain amount of amenities need to be provided based on how large the open space is. A certain amount of park space is going to be required based on the amount of residences that are being developed. They reviewed the parks in the City that they thought were good and those that they felt were lacking and came up with the standards for the amount of points based on what was provided in the parks.

Commissioner Funk thinks that there is some disparity in the amount of points that are given for different amenities. A 56,000 square foot soccer field is given 55 points and a little league baseball diamond is only given 4 points. A developer is going to see the smaller cost with greater points so no one will ever build a little league baseball diamond. Planning Director Gabryszak replied that when looking at the cost to develop each was where the points came from but she would check further on that. Commissioner Funk thinks that the fee in lieu is addressed well in the code.

Commissioner Wilkins wondered if the points could be changed based on the needs of the City and who would be doing that in the future. Planning Director Gabryszak advised that it cannot be changed based on the needs of the City. They determined the points based on the cost of each amenity. There is also a note that gives the City the ability to give points to an amenity that is not listed in the code. They also added a section about paying a fee in lieu of open space. If they are allowed to pay one based on the criteria in the code they can but if not they can't. She is also going to add Pickle Ball to the open space code.

Commissioner Kilgore thinks that including the fee in lieu in the code is good.

Commissioner Wilkins would like to see that the funds that are being captured by fee in lieu are earmarked for other projects.

Planning Director Gabryszak advised that fee in lieu payments usually go into the general fund and not for a specific park improvement. She will look into being able to allocate it to a specific project. She also mentioned that there are different categories for different types of amenities so that the City could require a variety of improvements for parks and open space. She is going to look into adding winter amenities, which would give developers points, to the code as well.

7. Approval of Minutes:

a. June 9, 2016

Motion made by Commissioner Williamson to approve the minutes of June 9, 2016. Seconded by Commissioner Funk. Aye: Sandra Steele, David Funk, Hayden Williamson, Kirk Wilkins, Ken Kilgore, Troy Cunningham. Motion passed 6 - 0.

8. Reports of Action. None

9. Commission Comments.

Commissioner Funk noted a change in the annexation boundary on the west side of the map. He asked for clarification on those changes.

Planning Director Gabryszak advised that she believes that is a mistake. They didn't give notice to property owners of that change so it can't be amended right now. She will make sure the map is corrected.

10. Director's Report:

a. Council Actions – The Council has looked at costs of adding sewer and things for property owners that would like to detach and moved to Lehi. They would like that property to stay in the City. They approved the Mountain View Estates rezone and gave feedback on the concept plan. They also approved the first final plat for Catalina Bay.

b. Applications and Approval – included in packet

c. Upcoming Agendas – Code amendments will be brought back on July 28 to the Planning Commission. They will also be presenting the Deer Meadow site plan. There may also be another work session on other code amendments. Wildflower just resubmitted their area one plan. The final sidewalk data is also being finished up. The Council would like to have a joint meeting with the Planning Commission at the beginning of August or end of July.

d. Other – The City put out an RFP for a General Plan update. They selected a consultant and that will be announced after the council approves the contract at the next meeting.

11. Motion to enter into closed session. No closed Session.

12. Meeting Adjourned at 8:57 p.m. by Chairman Kirk Wilkins

Date of Approval

Nicolette Fike, Deputy City Recorder

Planning Commission Chair
Kirk Wilkins



CITY OF SARATOGA SPRINGS

Memo

To: Mayor, City Council and/or Planning Commission
From: Planning Department
Date: July 7, 2016
Meeting Date: July 14, 2016
Re: New Applications & Resubmittals

New Projects:

- 6.28.16 Saratoga Springs Commercial- Utah Valley Turf Farm Rezone (1347 N. Exchange Dr.)
- 7.6.16 Lake Mountain Preliminary Plat (400 West Harbor Park Way)

Resubmittals & Supplemental Submittals:

- 6.29.16 Deer Meadow Church- Fox Hollow N.6 Preliminary (3261 South Village Parkway)
- 6.29.16 Saratoga Hills Plat 6 Preliminary (Grandview & Hillside Dr.)
- 7.6.16 Legacy Farms Village Plan 3 Plats 3A-3E Preliminary & Final (400 S. Redwood Rd)
- 7.6.16 River Heights Phase IV Plat D Final Plat (Cardoba Dr & Verano Way)

Staff Approvals:

- Fox Hollow Sales Trailer TUP
- Sweet Sugar Produce TUP
- Phantom Fireworks TUP
- Denny's Site Plan Minor Site Plan Amendment
- The Shops Building – The Crossing at Saratoga Springs Lot 2 Site Plan