

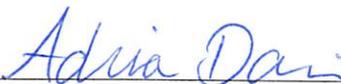
## NOTICE AND AGENDA

Notice is hereby given that the Planning Commission of Millville City will hold a meeting on Wednesday, **June 22, 2016** in the Millville City Office, at 510 East 300 South, Millville, Utah, which meeting shall begin promptly at **8:00 p.m.**

1. Roll call
2. Opening remarks/Pledge of Allegiance.
3. Review and approval of agenda
4. Review and approval of minutes from June 16, 2016.
5. Action Items:
  - A. Consideration of zoning clearance for a building permit by Braden Reeder Construction, for a residence to be located at 491 East 120 North, lot #26 Mond-Aire Heights Subdivision in Millville, Ut.
  - B. Consideration of Sign Permit for Millville City, for permanent sign to be located at the corner of 550 North and Hwy 165.
6. Adjournment.

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during public meetings should notify Adria Davis at (435) 213-0787 at least three working days prior to the meeting.

Notice was posted on June 17, 2016 a date not less than 24 hours prior to the date and time of the meeting and remained so posted until after said meeting. A copy of the agenda was sent electronically to the Utah Public Meeting Notice Website (<http://www.utah.gov/pmn/index.html>) on June 17, 2016.

  
\_\_\_\_\_  
Adria Davis, Secretary  
Millville City Planning Commission

# **MILLVILLE PLANNING COMMISSION MEETING**

**City Hall - 510 East 300 South - Millville, Utah**

**June 16, 2016**

## **1. Roll Call:**

Chairman Jim Hart, Commissioners Lynette Dickey, Garrett Greenhalgh, and Larry Lewis (Alt.)

## **Others Present:**

Mayor Michael Johnson, Councilmember Michael Callahan, Councilmember Julianne Duffin, Treasurer Tara Hobbs, Ezra Eames, Megan and Melia Richards, Paul and Mykell Saunders, Randon Parkinson, Braden Reeder, and Roger Roundy. Secretary Adria Davis recorded the minutes.

## **2. Opening Remarks/Pledge of Allegiance**

Chairman Hart opened the meeting at 8:00 p.m.  
He led those present in the Pledge of Allegiance.

## **3. Review and Approval of agenda**

The agenda for the Planning Commission meeting of June 16, 2016 was reviewed. A motion was made by Commissioner Lewis (Alt.) to approve the agenda as presented. Commissioner Greenhalgh seconded. Commissioners Hart, Dickey, Greenhalgh, and Lewis (Alt.) voted yes, with Commissioners Thompson, Farmer and Smith (Alt.) absent.

## **4. Review and Approval of the Minutes of the Planning Commission Meeting**

The minutes for the meeting of June 2, 2016 were reviewed. A motion was made by Commissioner Dickey to approve the minutes as outlined. Commissioner Greenhalgh seconded. Commissioners Hart, Dickey, Greenhalgh, and Lewis (Alt.) voted yes, with Commissioners Thompson, Farmer and Smith (Alt.) absent.

Chairman Hart explained that he had spoken with Gary Larsen regarding Phase II of the Mond-Aire Heights Subdivision. Gary had contacted Utah Power and Light and also Mountain Fuel. They both had been paid in full and were scheduled for Monday (elec) and 10 days following that (gas). Gary felt comfortable that all improvements would be complete and was okay to proceed with issuing permits.

## **5.A Consideration of zoning clearance for a building permit by Megan and Eric Richards, for a residence to be located at 152 North 480 East, lot #28 Mond-Aire Heights Subdivision in Millville, Ut.**

Commissioner Lewis (Alt.) made a motion to approve the permit. Commissioner Greenhalgh seconded. Commissioners Hart, Dickey, Greenhalgh, and Lewis (Alt.) voted yes, with Commissioners Thompson, Farmer and Smith (Alt.) absent.

**Commissioner Farmer arrived at the meeting at this time.**

**5.B. Consideration of zoning clearance for a building permit by Paul and Mykell Saunders, for a remodel and addition to the residence at approx. 500 North 300 East in Millville, Ut.**

Paul had a question on the house numbering for his remodeled house as well as the numbering in the new subdivision. They weren't consistent with the even and odd numbering of other houses in the area. His house showed as 500 North on the west side of the street with other numbers out of sequence. There was discussion among the Mayor, commissioners and other councilmembers present. Since the Development Coordinator position is currently vacant he was referred to the City Engineer. Commissioner Lewis (Alt.) made a motion to approve the permit. Commissioner Greenhalgh seconded. Commissioners Hart, Dickey, Farmer, Greenhalgh, and Lewis (Alt.) voted yes, with Commissioners Thompson and Smith (Alt.) absent.

**5.C. Consideration of zoning clearance for a building permit by Visionary Homes, for a residence to be located at 165 North 480 East, lot #20 Mond-Aire Heights Subdivision in Millville, Ut.**

Commissioner Greenhalgh declared he has a personal interest in this item and the next. Commissioner Dickey made a motion to approve the permit. Commissioner Farmer seconded. Commissioners Hart, Dickey, Farmer, and Lewis (Alt.) voted yes, with Commissioners Thompson and Smith (Alt.) absent. Commissioner Greenhalgh abstained from the vote.

**5.D. Consideration of zoning clearance for a building permit by Visionary Homes, for a residence to be located at 136 North 480 East, lot #27 Mond-Aire Heights Subdivision in Millville, Ut.**

Commissioner Lewis (Alt.) made a motion to approve the permit. Commissioner Dickey seconded. Commissioners Hart, Dickey, Farmer, and Lewis (Alt.) voted yes, with Commissioners Thompson and Smith (Alt.) absent. Commissioner Greenhalgh abstained from the vote.

**6.A. Ordinance change re: facilities for the elderly**

There was discussion held regarding distance from another facility and the definition of a facility, including multiple buildings. Commissioner Greenhalgh will put together the changes for review at the next mtg.

**6.B. City Council Reports – review minutes from June 9, 2016 meeting.**

No comments were made.

**6.C. Agenda Items for Next Meeting**

Building permits  
Ordinance on Elderly facilities

**6.D. Other**

Braden Reeder had tried unsuccessfully to get on the agenda and was requesting a special meeting for his building permit request. The commissioners agreed to meet next Wed. June 22<sup>nd</sup>.

Julianne Duffin also had a request for a sign permit that wasn't on the agenda. She will be added to Wednesday's meeting also.

**6.D. Other Cont.**

Commissioner Dickey had questions regarding fires left burning unattended. She was referred to the fire marshal.

Commissioner Greenhalgh had questions regarding a variance for 100' instead of the 108' frontage requirement, wanting to split a 208' frontage property into 2 lots. Mayor Johnson clarified that if the situation was man-made it would not be eligible for a variance.

Clarification was made on future P&Z agenda items. Building permit packets could be obtained from Michael Johnson or Michael Callahan and completed packets could be turned in directly to Secretary Adria Davis.

**7. Calendaring of future Planning and Zoning Meeting**

A special meeting will be held Wednesday, June 22, 2016 at 8:00 pm.

The next regularly scheduled meeting will be held Thursday, July 7, 2016.

**8. Assignment of Representative for City Council Meeting**

No one was assigned.

**9. Adjournment**

Chairman Hart moved to adjourn the meeting at 9:35 p.m.

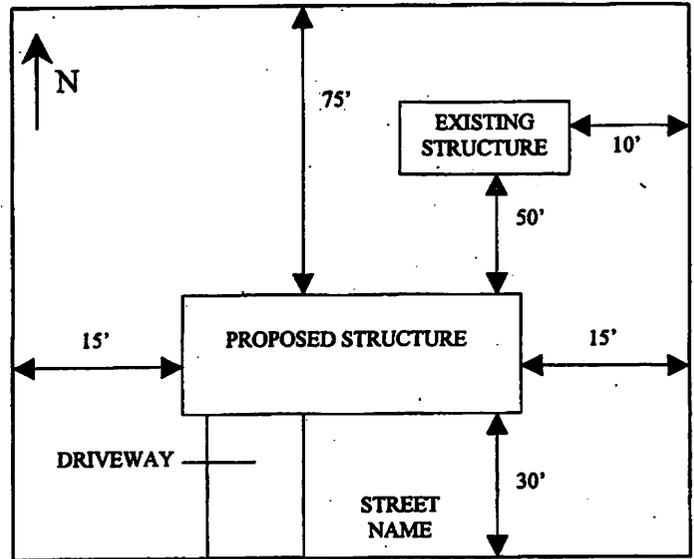


MILLVILLE CITY  
 ZONING CLEARANCE FOR BUILDING PERMIT  
 THIS FORM EXPIRES 60 DAYS FROM DATE OF APPROVAL

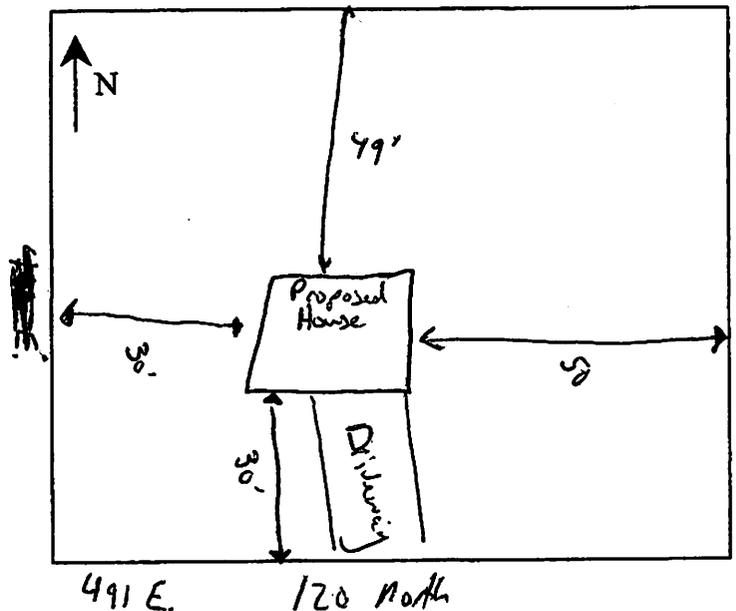
APPLICATION INFORMATION

1. Broder Reeder Const.  
APPLICANT'S NAME
2. 450 n. 400 E  
MAILING ADDRESS
- Hyde Park VT 84318  
CITY STATE ZIP CODE
3. 435-770-4715 4. 435-770-4715  
HOME TELEPHONE BUSINESS TELEPHONE
5. Randon Parkinson  
OWNER'S NAME (if different from applicant)
6. Primary Residence  
TYPE OF STRUCTURE
7. 3813 sq ft 8. Residential  
SQUARE FOOTAGE ZONE
9. Wood-air Heights Lot 26  
SUBDIVISION NAME AND LOT NUMBER (if applicable)
10. 03 - 194 - 0026  
TAX IDENTIFICATION NUMBER
11. 491 E 0120 N.  
ADDRESS OF CONSTRUCTION
12. .46 acres 13. \_\_\_\_\_  
LOT SIZE LOT ELEVATION
14. SEWER  SEPTIC TANK  N/A   
(choose one)
15. CITY WATER  PRIVATE WELL  N/A   
(choose one)
16. ELECTRICITY  GAS  OTHER UTILITY   
(specify in remarks)
17. \_\_\_\_\_  
REMARKS

SAMPLE PLOT PLAN  
 (numbers do not represent required setbacks)



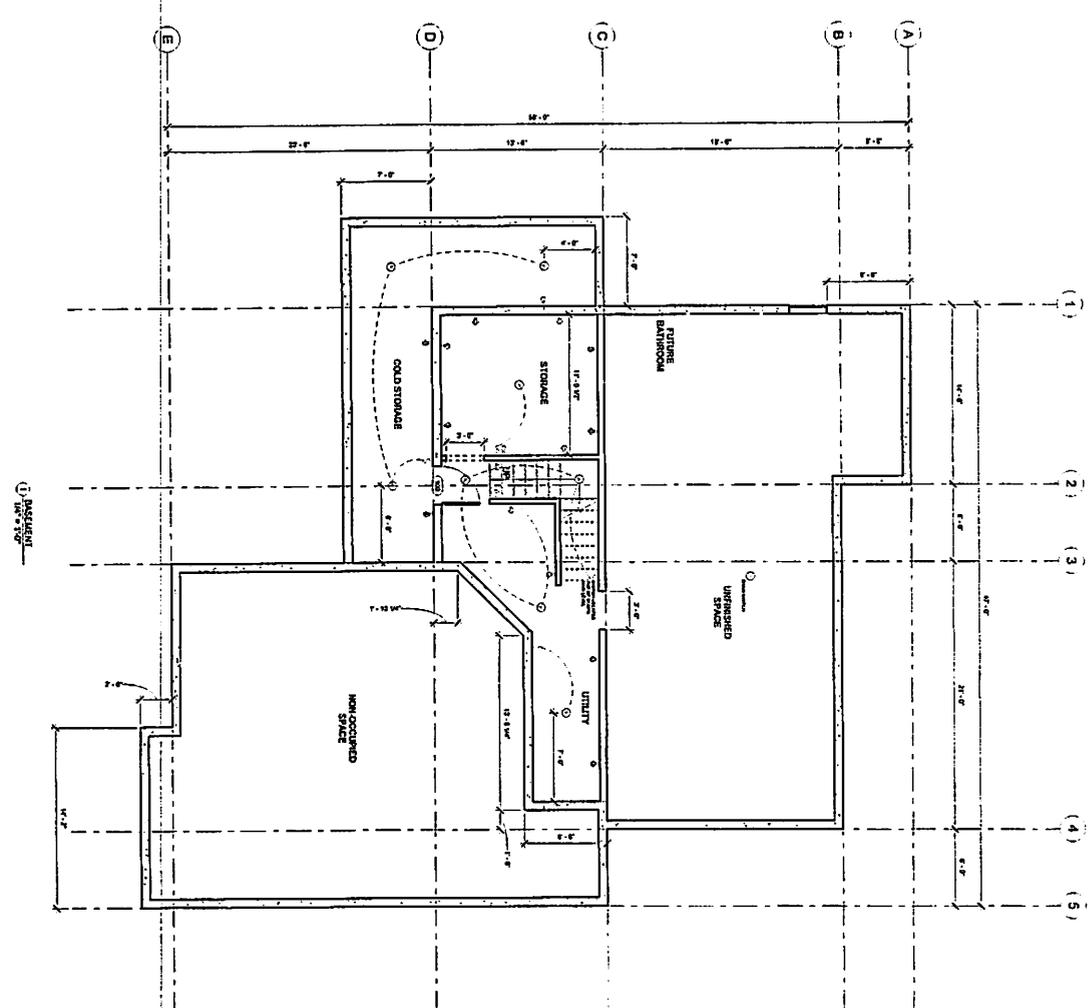
PLOT PLAN



APPROVED - PLANNING AND ZONING \_\_\_\_\_ DATE \_\_\_\_\_ FEES PAID - TREASURER \_\_\_\_\_ DATE \_\_\_\_\_

This property is being approved for building permit issuance as indicated above. Any change in the type or placement of the structure is not allowed. This clearance is not a waiver of compliance with either the zoning ordinance or the building codes. Millville City Form 101 - 15 Nov. 2003 (previous edition is obsolete)





- FINISH LEGEND**
- HARDWOOD
  - CERAMIC TILE
  - CARPET
  - CONCRETE

**SQUARE FOOTAGE**

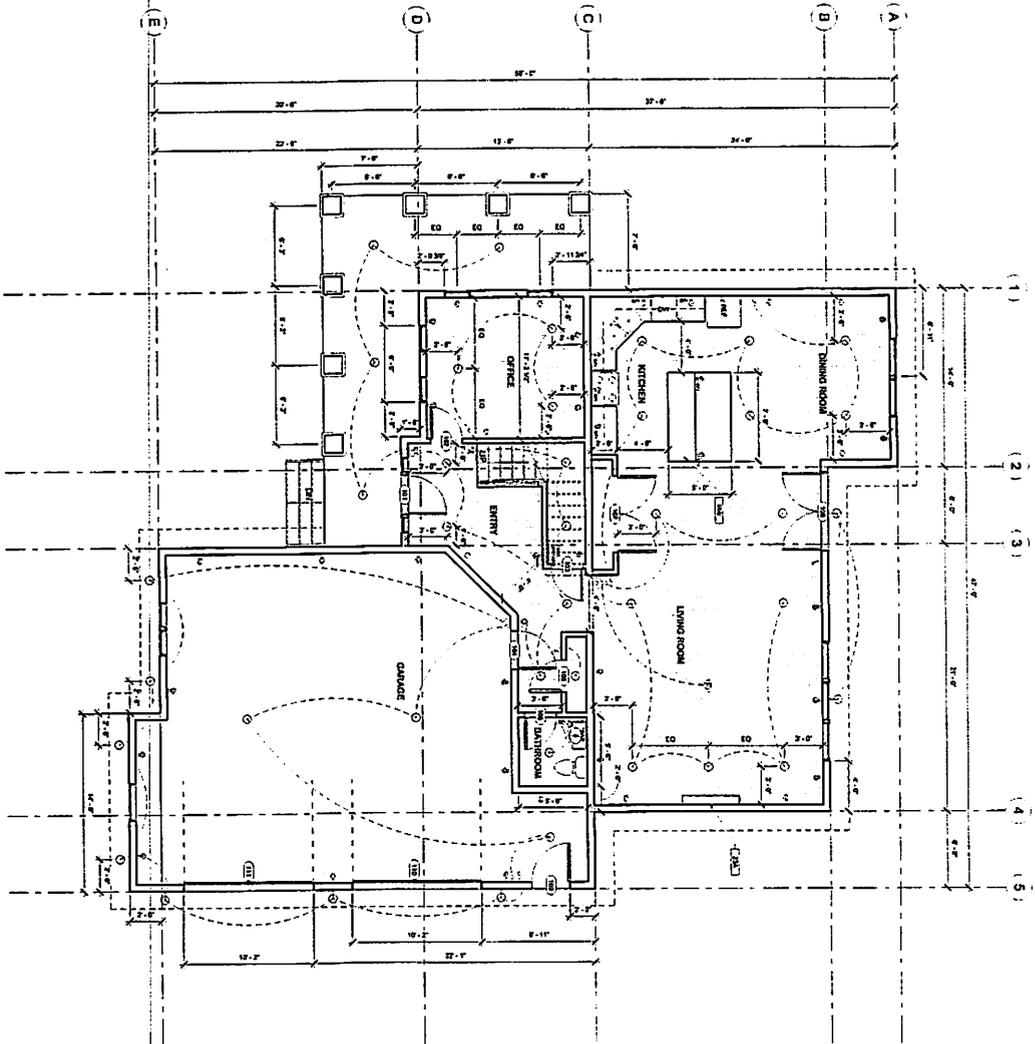
**BASEMENT**  
 1322 SF DRYD WALL  
 136 SF COLD STORAGE  
 1745 SF FINISHED  
 248 SF OVERAGE  
 128 SF DRYD WALL  
 192 SF OVERAGE

**SECOND LEVEL**  
 128 SF DRYD WALL  
 192 SF OVERAGE

AREA	TYPE	FINISH	TYPE COMMENTS
100	2'-0"	1'-0"	EXTERIOR DOOR
101	2'-0"	1'-0"	EXTERIOR DOOR
102	2'-0"	1'-0"	EXTERIOR DOOR
103	2'-0"	1'-0"	EXTERIOR DOOR
104	2'-0"	1'-0"	EXTERIOR DOOR
105	2'-0"	1'-0"	EXTERIOR DOOR
106	2'-0"	1'-0"	EXTERIOR DOOR
107	2'-0"	1'-0"	EXTERIOR DOOR
108	2'-0"	1'-0"	EXTERIOR DOOR
109	2'-0"	1'-0"	EXTERIOR DOOR
110	2'-0"	1'-0"	EXTERIOR DOOR
111	2'-0"	1'-0"	EXTERIOR DOOR
112	2'-0"	1'-0"	EXTERIOR DOOR
113	2'-0"	1'-0"	EXTERIOR DOOR
114	2'-0"	1'-0"	EXTERIOR DOOR
115	2'-0"	1'-0"	EXTERIOR DOOR
116	2'-0"	1'-0"	EXTERIOR DOOR
117	2'-0"	1'-0"	EXTERIOR DOOR
118	2'-0"	1'-0"	EXTERIOR DOOR
119	2'-0"	1'-0"	EXTERIOR DOOR
120	2'-0"	1'-0"	EXTERIOR DOOR
121	2'-0"	1'-0"	EXTERIOR DOOR
122	2'-0"	1'-0"	EXTERIOR DOOR
123	2'-0"	1'-0"	EXTERIOR DOOR
124	2'-0"	1'-0"	EXTERIOR DOOR
125	2'-0"	1'-0"	EXTERIOR DOOR
126	2'-0"	1'-0"	EXTERIOR DOOR
127	2'-0"	1'-0"	EXTERIOR DOOR
128	2'-0"	1'-0"	EXTERIOR DOOR
129	2'-0"	1'-0"	EXTERIOR DOOR
130	2'-0"	1'-0"	EXTERIOR DOOR
131	2'-0"	1'-0"	EXTERIOR DOOR
132	2'-0"	1'-0"	EXTERIOR DOOR
133	2'-0"	1'-0"	EXTERIOR DOOR
134	2'-0"	1'-0"	EXTERIOR DOOR
135	2'-0"	1'-0"	EXTERIOR DOOR
136	2'-0"	1'-0"	EXTERIOR DOOR
137	2'-0"	1'-0"	EXTERIOR DOOR
138	2'-0"	1'-0"	EXTERIOR DOOR
139	2'-0"	1'-0"	EXTERIOR DOOR
140	2'-0"	1'-0"	EXTERIOR DOOR
141	2'-0"	1'-0"	EXTERIOR DOOR
142	2'-0"	1'-0"	EXTERIOR DOOR
143	2'-0"	1'-0"	EXTERIOR DOOR
144	2'-0"	1'-0"	EXTERIOR DOOR
145	2'-0"	1'-0"	EXTERIOR DOOR
146	2'-0"	1'-0"	EXTERIOR DOOR
147	2'-0"	1'-0"	EXTERIOR DOOR
148	2'-0"	1'-0"	EXTERIOR DOOR
149	2'-0"	1'-0"	EXTERIOR DOOR
150	2'-0"	1'-0"	EXTERIOR DOOR

RANDON PARKINSON  
 PARKINSON RESIDENCE

BASEMENT  
 A100



1. 10-11-12

**KEYNOTE LEGEND**

KITCHEN ISLAND WITH CABINETS ON ONE SIDE  
 23A BUILT IN REFRIGERATOR WITH WOOD FINISH

**FINISH LEGEND**

- HARDWOOD
- CERAMIC TILE
- CARPET
- CONCRETE

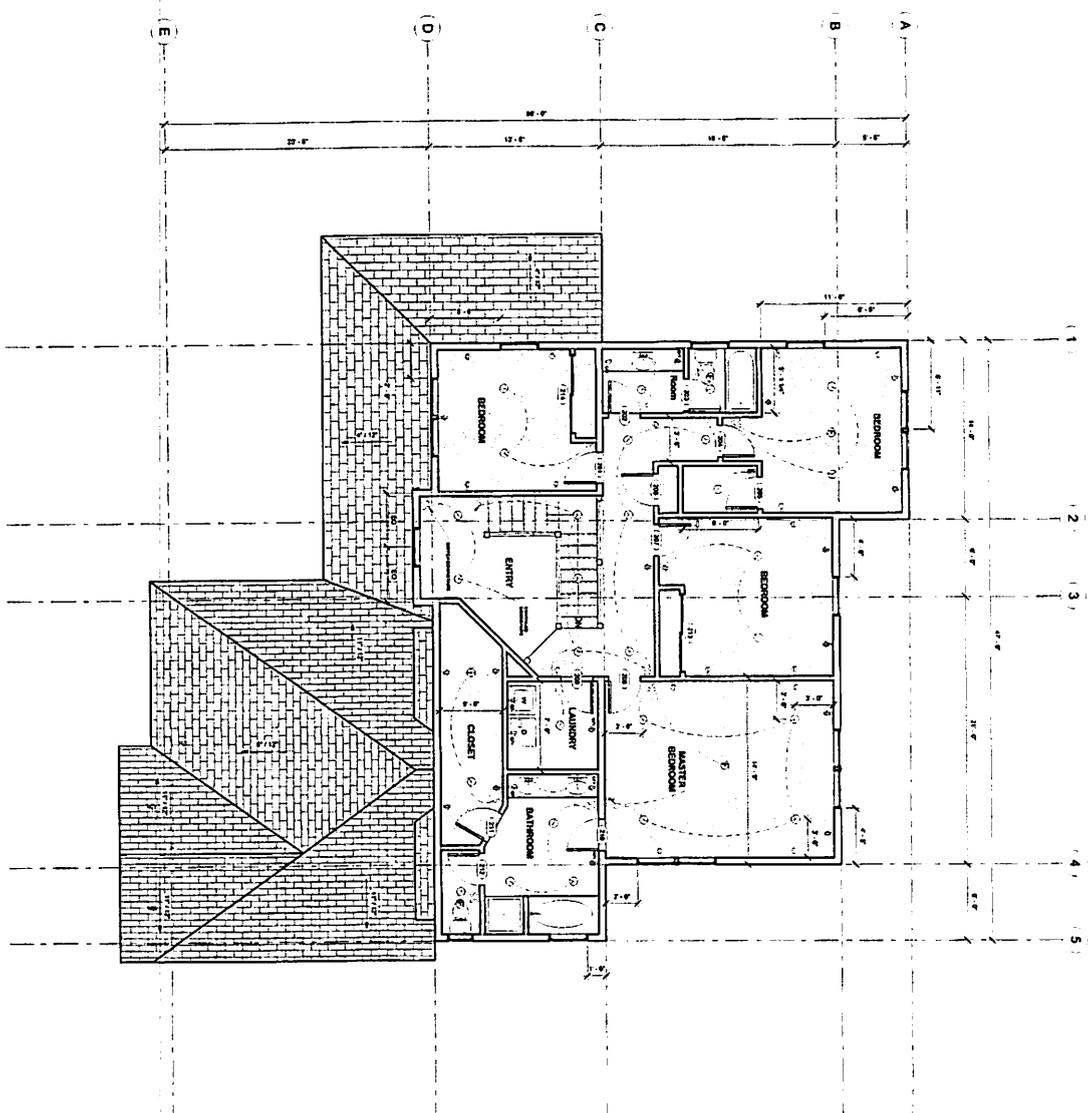
**SQUARE FOOTAGE**

- 1323 SF. LIVING ROOM
- 234 SF. CLOSET STORAGE
- 1345 SF. HALLWAY
- 248 SF. LIVING ROOM
- 248 SF. OFFICE
- 1338 SF. BREAKFAST ROOM
- 143 SF. OPEN ENTRY

NO.	WIDTH	HEIGHT	TYPE	Comments
100	5'-0"	7'-0"	EXT. ENTRY DOOR	
101	5'-0"	7'-0"	EXT. ENTRY DOOR	
102	5'-0"	7'-0"	EXT. ENTRY DOOR	
103	5'-0"	7'-0"	EXT. ENTRY DOOR	
104	5'-0"	7'-0"	EXT. ENTRY DOOR	
105	5'-0"	7'-0"	EXT. ENTRY DOOR	
106	5'-0"	7'-0"	EXT. ENTRY DOOR	
107	5'-0"	7'-0"	EXT. ENTRY DOOR	
108	5'-0"	7'-0"	EXT. ENTRY DOOR	
109	5'-0"	7'-0"	EXT. ENTRY DOOR	
110	5'-0"	7'-0"	EXT. ENTRY DOOR	
111	5'-0"	7'-0"	EXT. ENTRY DOOR	
112	5'-0"	7'-0"	EXT. ENTRY DOOR	
113	5'-0"	7'-0"	EXT. ENTRY DOOR	
114	5'-0"	7'-0"	EXT. ENTRY DOOR	
115	5'-0"	7'-0"	EXT. ENTRY DOOR	
116	5'-0"	7'-0"	EXT. ENTRY DOOR	
117	5'-0"	7'-0"	EXT. ENTRY DOOR	
118	5'-0"	7'-0"	EXT. ENTRY DOOR	
119	5'-0"	7'-0"	EXT. ENTRY DOOR	
120	5'-0"	7'-0"	EXT. ENTRY DOOR	
121	5'-0"	7'-0"	EXT. ENTRY DOOR	
122	5'-0"	7'-0"	EXT. ENTRY DOOR	
123	5'-0"	7'-0"	EXT. ENTRY DOOR	
124	5'-0"	7'-0"	EXT. ENTRY DOOR	
125	5'-0"	7'-0"	EXT. ENTRY DOOR	
126	5'-0"	7'-0"	EXT. ENTRY DOOR	
127	5'-0"	7'-0"	EXT. ENTRY DOOR	
128	5'-0"	7'-0"	EXT. ENTRY DOOR	
129	5'-0"	7'-0"	EXT. ENTRY DOOR	
130	5'-0"	7'-0"	EXT. ENTRY DOOR	
131	5'-0"	7'-0"	EXT. ENTRY DOOR	
132	5'-0"	7'-0"	EXT. ENTRY DOOR	
133	5'-0"	7'-0"	EXT. ENTRY DOOR	
134	5'-0"	7'-0"	EXT. ENTRY DOOR	
135	5'-0"	7'-0"	EXT. ENTRY DOOR	
136	5'-0"	7'-0"	EXT. ENTRY DOOR	
137	5'-0"	7'-0"	EXT. ENTRY DOOR	
138	5'-0"	7'-0"	EXT. ENTRY DOOR	
139	5'-0"	7'-0"	EXT. ENTRY DOOR	
140	5'-0"	7'-0"	EXT. ENTRY DOOR	
141	5'-0"	7'-0"	EXT. ENTRY DOOR	
142	5'-0"	7'-0"	EXT. ENTRY DOOR	
143	5'-0"	7'-0"	EXT. ENTRY DOOR	
144	5'-0"	7'-0"	EXT. ENTRY DOOR	
145	5'-0"	7'-0"	EXT. ENTRY DOOR	
146	5'-0"	7'-0"	EXT. ENTRY DOOR	
147	5'-0"	7'-0"	EXT. ENTRY DOOR	
148	5'-0"	7'-0"	EXT. ENTRY DOOR	
149	5'-0"	7'-0"	EXT. ENTRY DOOR	
150	5'-0"	7'-0"	EXT. ENTRY DOOR	

**RANDON PARKINSON**  
**PARKINSON RESIDENCE**

**MAIN LEVEL**  
**A101**



1 SECOND LEVEL  
IN PLAN

**FINISH LEGEND**

- HARDWOOD
- CERAMIC TILE
- CARPET
- CONCRETE

**SQUARE FOOTAGE**

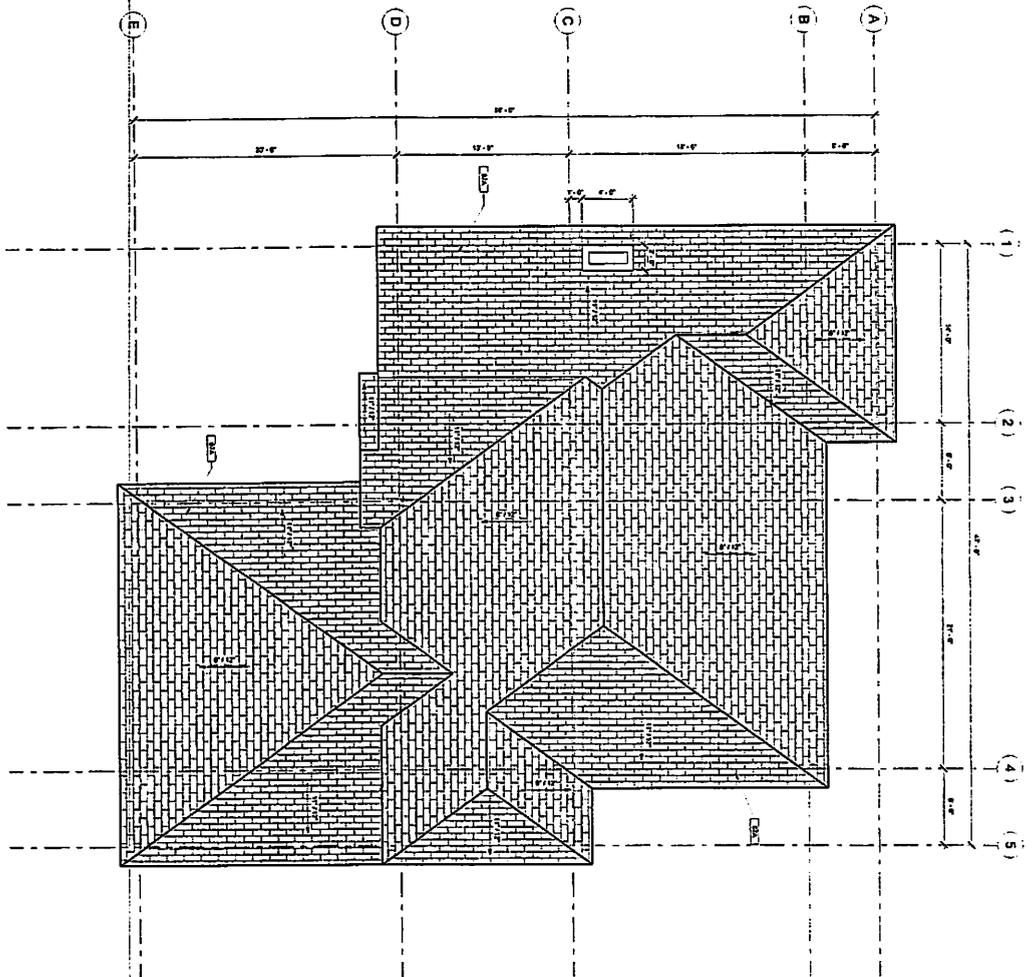
- 1322 SF BASEMENT
- 224 SF LIVING AREA
- 224 SF CLOSET STORAGE
- 1745 SF FINISHED AREA
- 846 SF GARAGE
- 1338 SF SECOND LEVEL
- 124 SF LIVING AREA
- 148 SF OVERLAP

**DOOR SCHEDULE**

NO.	WIDTH	HEIGHT	TYPE	COMMENTS
100	3'-0"	7'-0"	EXTENSION DOOR	
101	3'-0"	7'-0"	EXTENSION DOOR	
102	3'-0"	7'-0"	EXTENSION DOOR	
103	3'-0"	7'-0"	EXTENSION DOOR	
104	3'-0"	7'-0"	EXTENSION DOOR	
105	3'-0"	7'-0"	EXTENSION DOOR	
106	3'-0"	7'-0"	EXTENSION DOOR	
107	3'-0"	7'-0"	EXTENSION DOOR	
108	3'-0"	7'-0"	EXTENSION DOOR	
109	3'-0"	7'-0"	EXTENSION DOOR	
110	3'-0"	7'-0"	EXTENSION DOOR	
111	3'-0"	7'-0"	EXTENSION DOOR	
112	3'-0"	7'-0"	EXTENSION DOOR	
113	3'-0"	7'-0"	EXTENSION DOOR	
114	3'-0"	7'-0"	EXTENSION DOOR	
115	3'-0"	7'-0"	EXTENSION DOOR	
116	3'-0"	7'-0"	EXTENSION DOOR	
117	3'-0"	7'-0"	EXTENSION DOOR	
118	3'-0"	7'-0"	EXTENSION DOOR	
119	3'-0"	7'-0"	EXTENSION DOOR	
120	3'-0"	7'-0"	EXTENSION DOOR	
121	3'-0"	7'-0"	EXTENSION DOOR	
122	3'-0"	7'-0"	EXTENSION DOOR	
123	3'-0"	7'-0"	EXTENSION DOOR	
124	3'-0"	7'-0"	EXTENSION DOOR	
125	3'-0"	7'-0"	EXTENSION DOOR	
126	3'-0"	7'-0"	EXTENSION DOOR	
127	3'-0"	7'-0"	EXTENSION DOOR	
128	3'-0"	7'-0"	EXTENSION DOOR	
129	3'-0"	7'-0"	EXTENSION DOOR	
130	3'-0"	7'-0"	EXTENSION DOOR	
131	3'-0"	7'-0"	EXTENSION DOOR	
132	3'-0"	7'-0"	EXTENSION DOOR	
133	3'-0"	7'-0"	EXTENSION DOOR	
134	3'-0"	7'-0"	EXTENSION DOOR	
135	3'-0"	7'-0"	EXTENSION DOOR	
136	3'-0"	7'-0"	EXTENSION DOOR	
137	3'-0"	7'-0"	EXTENSION DOOR	
138	3'-0"	7'-0"	EXTENSION DOOR	
139	3'-0"	7'-0"	EXTENSION DOOR	
140	3'-0"	7'-0"	EXTENSION DOOR	
141	3'-0"	7'-0"	EXTENSION DOOR	
142	3'-0"	7'-0"	EXTENSION DOOR	
143	3'-0"	7'-0"	EXTENSION DOOR	
144	3'-0"	7'-0"	EXTENSION DOOR	
145	3'-0"	7'-0"	EXTENSION DOOR	
146	3'-0"	7'-0"	EXTENSION DOOR	
147	3'-0"	7'-0"	EXTENSION DOOR	
148	3'-0"	7'-0"	EXTENSION DOOR	
149	3'-0"	7'-0"	EXTENSION DOOR	
150	3'-0"	7'-0"	EXTENSION DOOR	

RANDON PARKINSON  
PARKINSON RESIDENCE

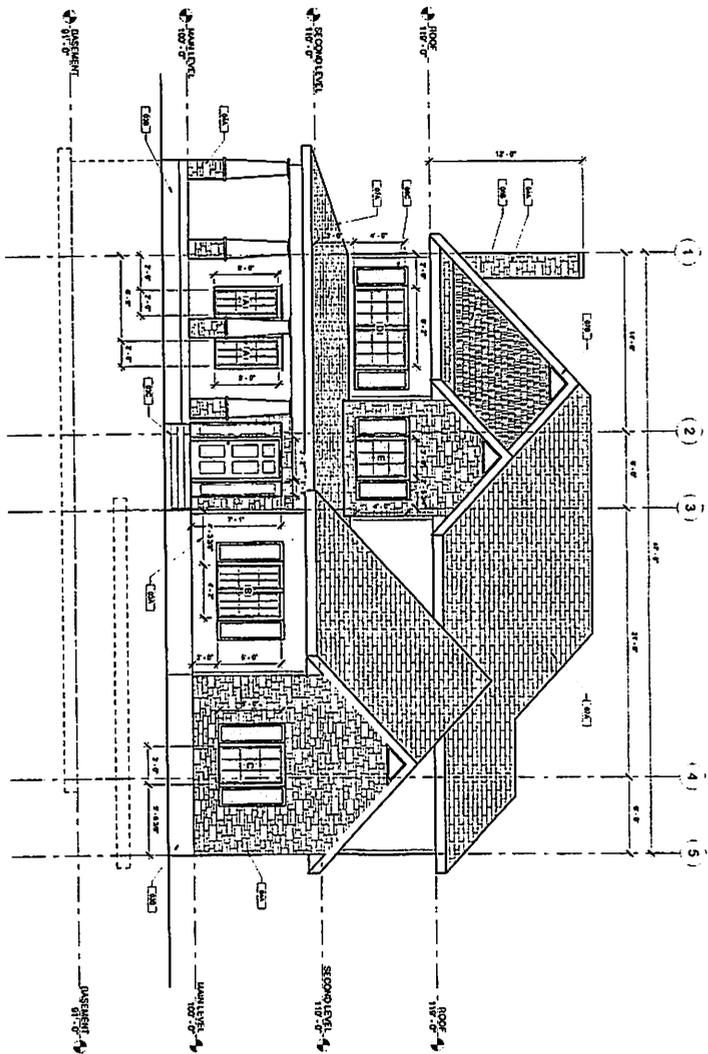
SECOND LEVEL  
A102



**KEYNOTE LEGEND**

GA ASPHALT SHINGLES, TYPICAL ALL LOCATIONS

RANDON PARKINSON PARKINSON RESIDENCE		ROOF PLAN	
A110		A110	
DATE: 10/15/10		SCALE: 1/8" = 1'-0"	



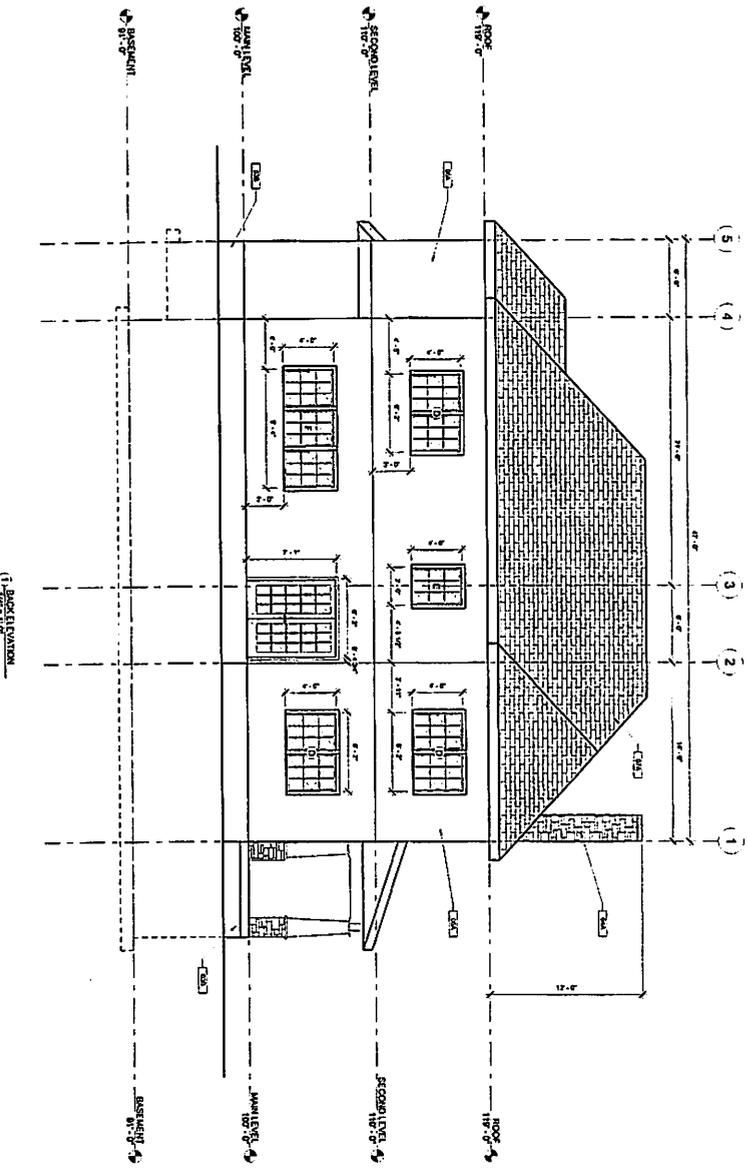
(1) ROOF STATION  
119'-0"

- KEYNOTE LEGEND**
- 00A CONCRETE FOUNDATION WITH VERTICAL BATTENS
  - 00B CONCRETE FOUNDATION WITH VERTICAL BATTENS
  - 00C CONCRETE TIERS
  - 00D SHALE GABLE END SIDING
  - 00E FIBER WINDOW SHUTTER, TYPICAL ALL LOCATIONS
  - 00A ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00B ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00C ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00D ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00E ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00F ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00G ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00H ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00I ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00J ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00K ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00L ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00M ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00N ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00O ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00P ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00Q ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00R ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00S ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00T ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00U ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00V ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00W ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00X ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00Y ASPHALT SHINGLES, TYPICAL ALL LOCATIONS
  - 00Z ASPHALT SHINGLES, TYPICAL ALL LOCATIONS

**WINDOW SCHEDULE**

MARK	WIDTH	HEIGHT	COUNT
A	7'-0"	8'-0"	4
B	6'-0"	8'-0"	1
C	3'-0"	8'-0"	1
D	6'-2"	4'-0"	5
E	3'-0"	4'-0"	7
F	9'-0"	4'-0"	1
G	7'-0"	4'-0"	1

RANDON PARKINSON  
 PARKINSON RESIDENCE  
 FRONT ELEVATION  
 A201



**KEYNOTE LEGEND**

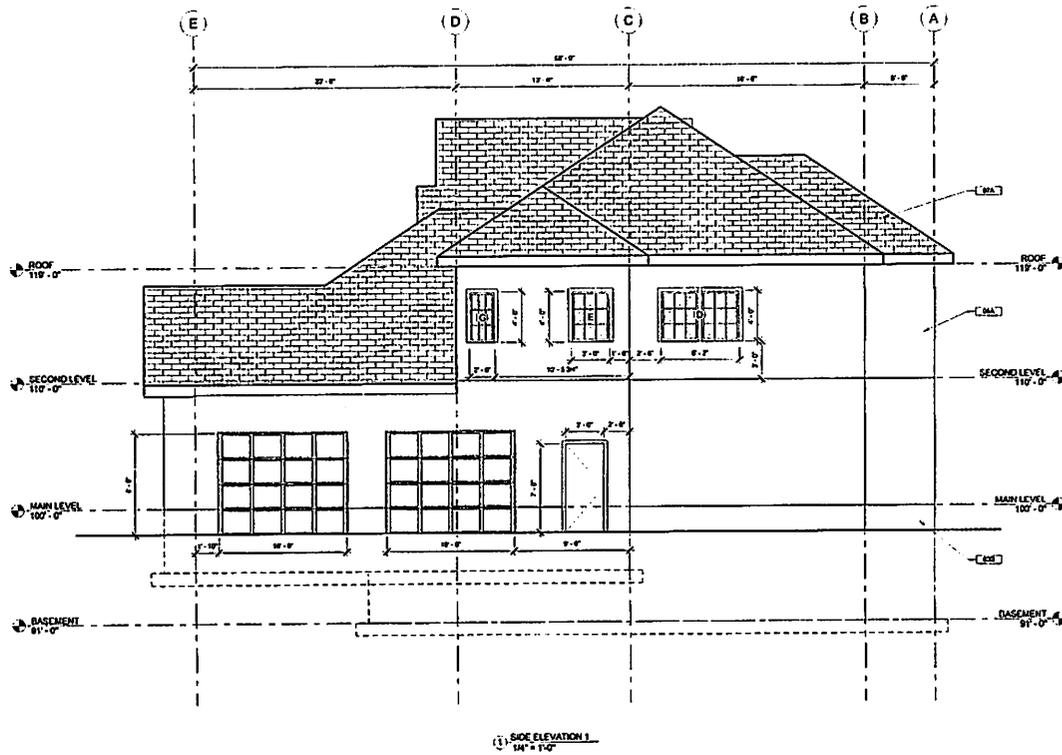
- 001 CONCRETE FOUNDATION WALL TYPICAL ALL
- 002 STONE VENEER
- 003 HORIZONTAL SIDING TYPICAL ALL LOCATIONS
- 004 ASPHALT SHINGLES TYPICAL ALL LOCATIONS

**WINDOW SCHEDULE**

MARK	WIDTH	HEIGHT	COUNT
A	3'-0"	5'-0"	4
B	4'-2"	5'-0"	1
C	3'-0"	5'-0"	1
D	6'-2"	4'-0"	5
E	3'-0"	4'-0"	7
F	5'-4"	4'-0"	1
G	2'-0"	4'-0"	1

RANDON PARKINSON  
PARKINSON RESIDENCE

BACK ELEVATION  
A202



**KEYNOTE LEGEND**

- 030 CONCRETE FOUNDATION WALL, TYPICAL ALL LOCATIONS
- 06A HORIZONTAL SIDING, TYPICAL ALL LOCATIONS
- 07A ASPHALT SHINGLES, TYPICAL ALL LOCATIONS

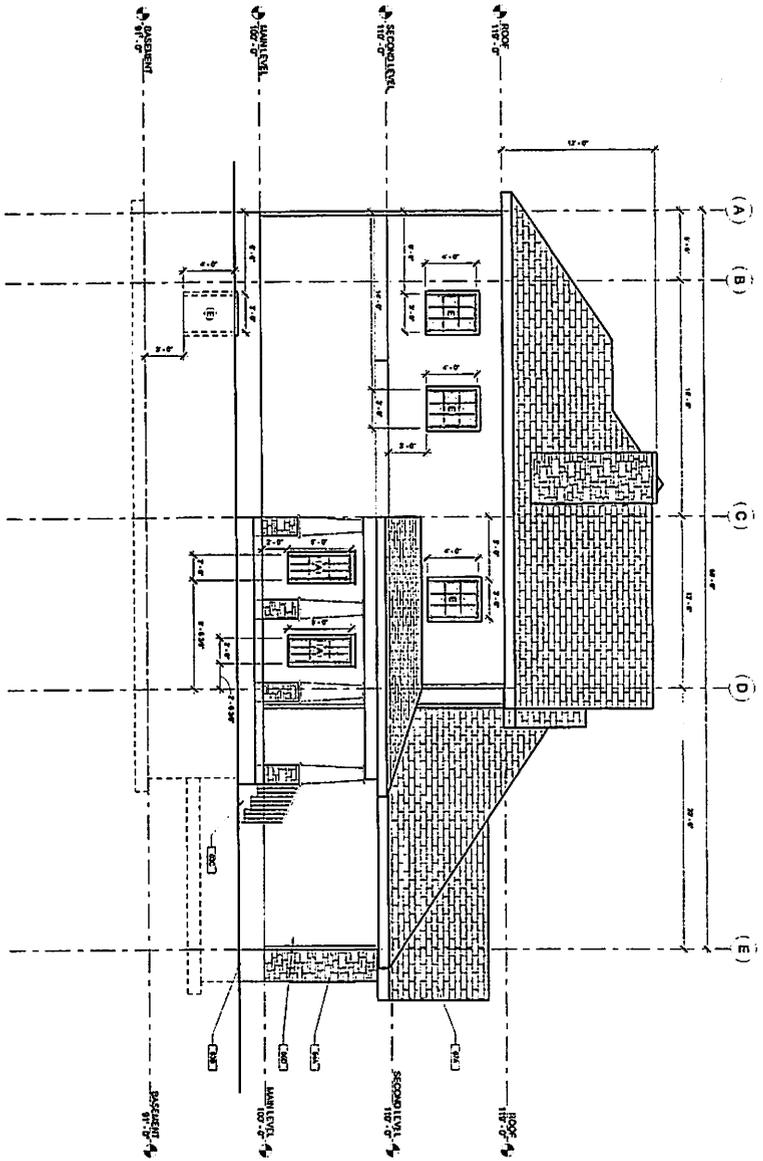
**WINDOW SCHEDULE**

MARK	WIDTH	HEIGHT	COUNT
A	2'-0"	5'-0"	4
B	4'-2"	5'-0"	1
C	3'-0"	5'-0"	1
D	6'-2"	4'-0"	5
E	3'-0"	4'-0"	7
F	6'-0"	4'-0"	1
G	2'-0"	4'-0"	1

RANDON PARKINSON  
PARKINSON RESIDENCE

SIDE ELEVATION  
A203

Date: \_\_\_\_\_



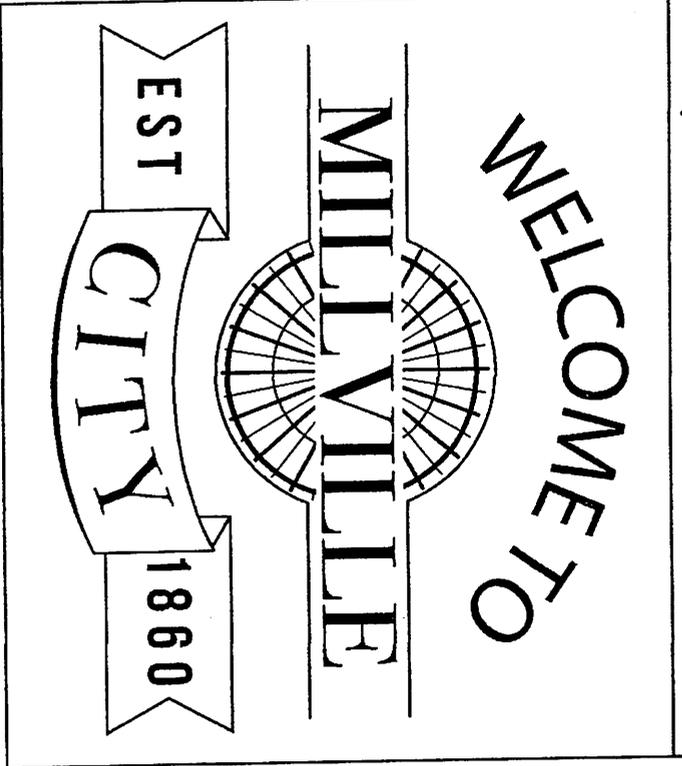
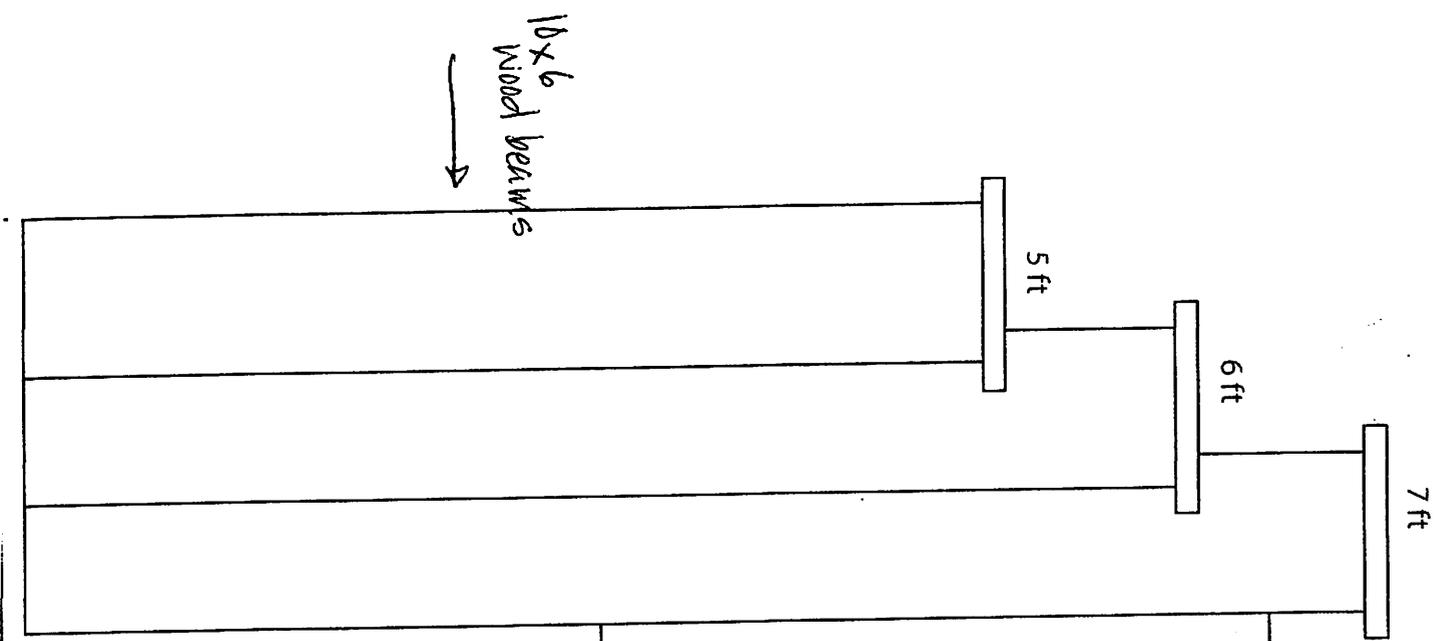
**KEYNOTE LEGEND**

- 000 CONCRETE FOUNDATION WALL, TYPICAL ALL LOCATIONS
- 001 CONCRETE STEPS
- 002 STONE VENEER
- 003 TYPICAL ALL LOCATIONS
- 004 TYPICAL ALL LOCATIONS
- 005 TYPICAL ALL LOCATIONS
- 006 ASPHALT SHIKES, TYPICAL ALL LOCATIONS

**WINDOW SCHEDULE**

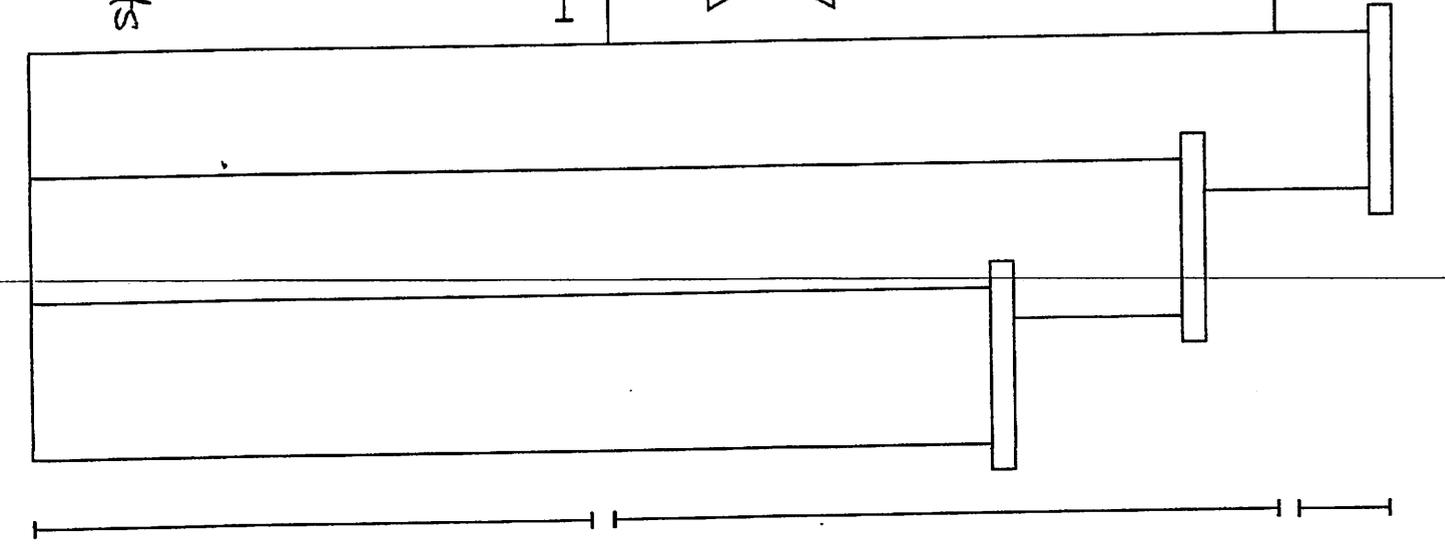
MARK	WIDTH	HEIGHT	COUNT
A	2'-0"	3'-0"	4
B	4'-2"	3'-0"	1
C	2'-0"	3'-0"	1
D	6'-2"	4'-0"	3
E	3'-2"	4'-0"	7
F	6'-4"	4'-0"	1
D	2'-0"	4'-0"	1

RANDOIN PARKINSON  
 PARKINSON RESIDENCE  
 SIDE ELEVATION  
 A204

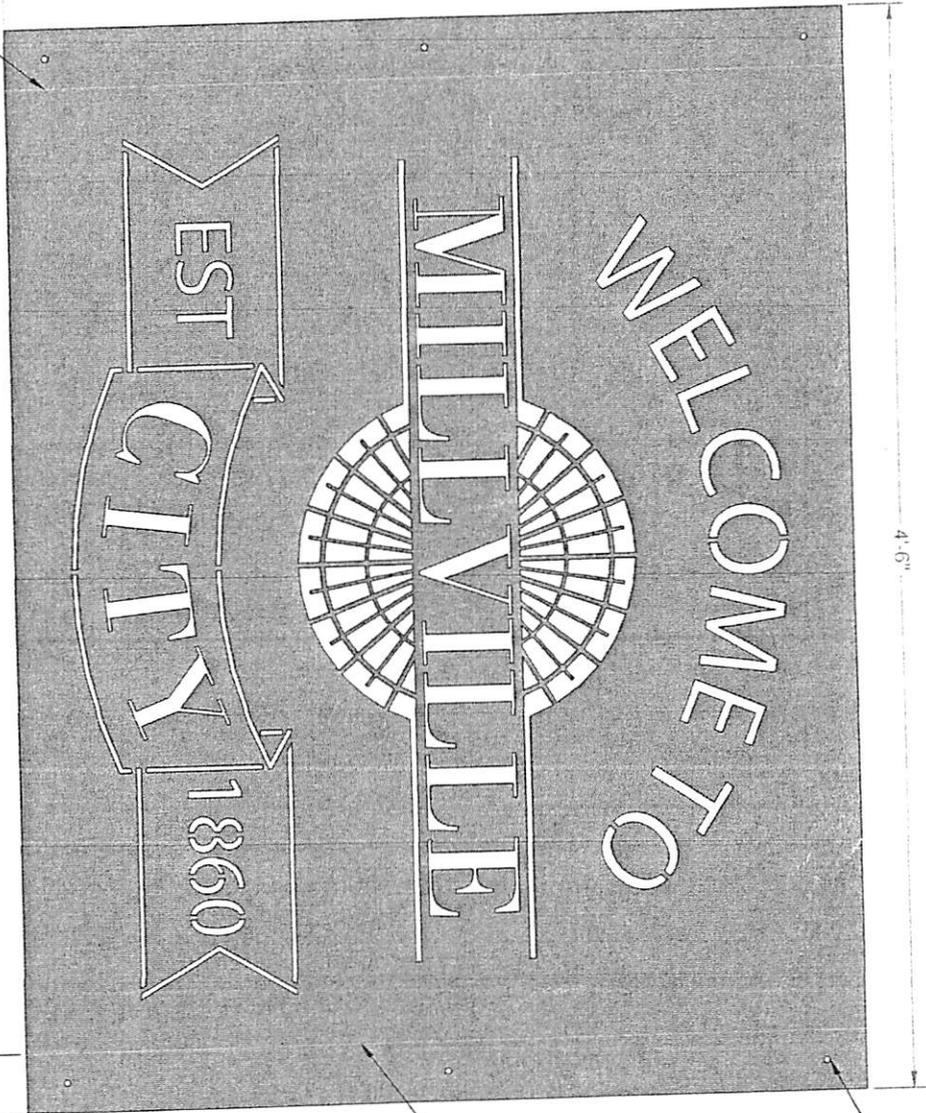


Attached with lags / metal brackets

cut  
Stainless steel with backing



6 in  
3.5 ft  
3 ft



Holes for 5/16 lag screws

Edge of wood beams

Edge of wood beams

CENTRAL VALLEY MACHINE  
 1886 N. 100 EAST  
 LOGAN, UT 84335  
 435-752-0934

TITLE:

SIZE DWG. NO.  
 B MILLVILLE WELCOME SIGN

SCALE: 1/8" = 1' WEIGHT: 70.554185 SHEET 1 OF 1

UNLESS OTHERWISE SPECIFIED  
 DIMENSIONS ARE IN INCHES  
 BREAK SHARP EDGES 0.10/0.20  
 FINISHED SURFACES 125

FRAC TION	1/16
X X	0.010
X X X	0.005
ANGU LAR	3/32

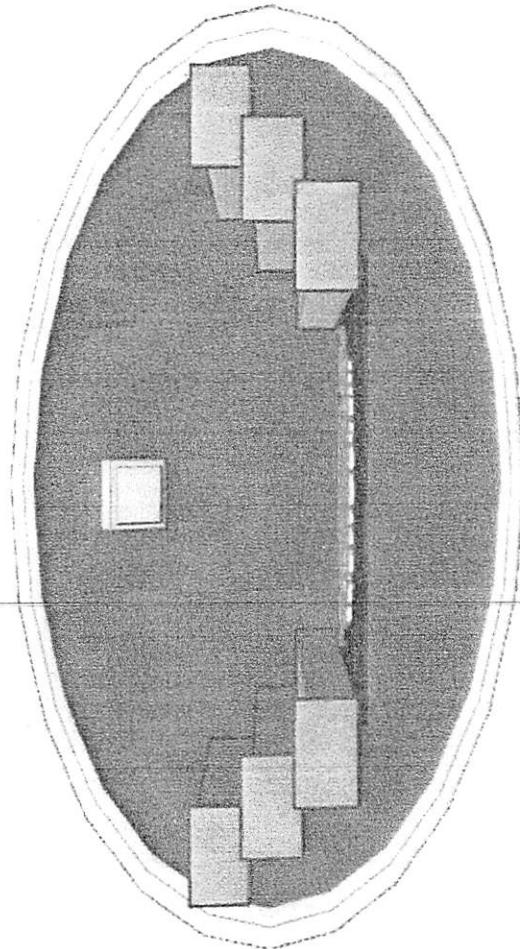
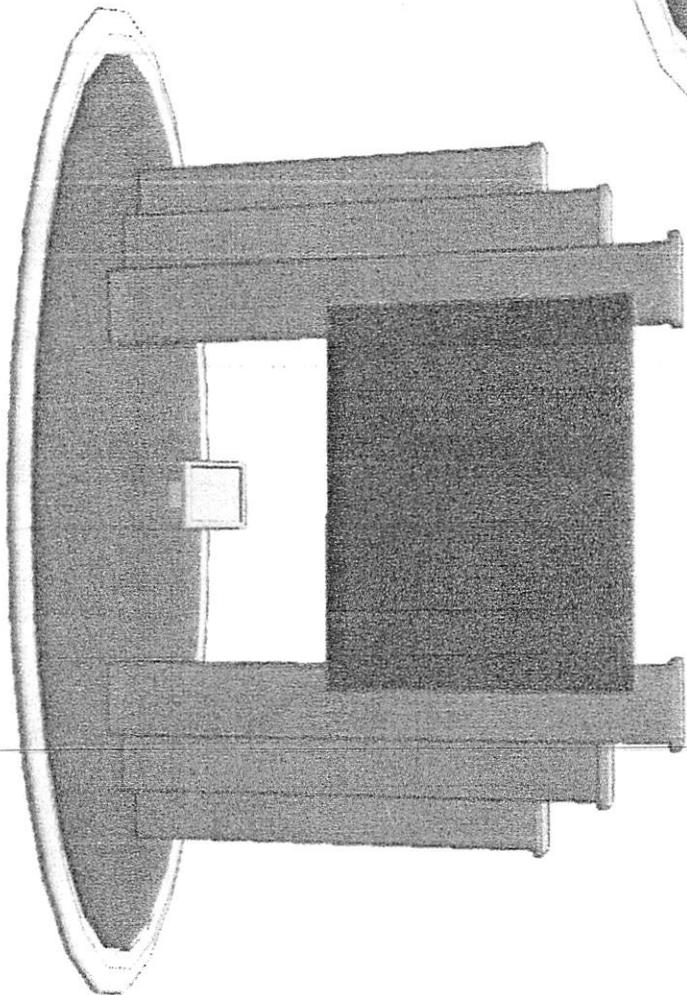
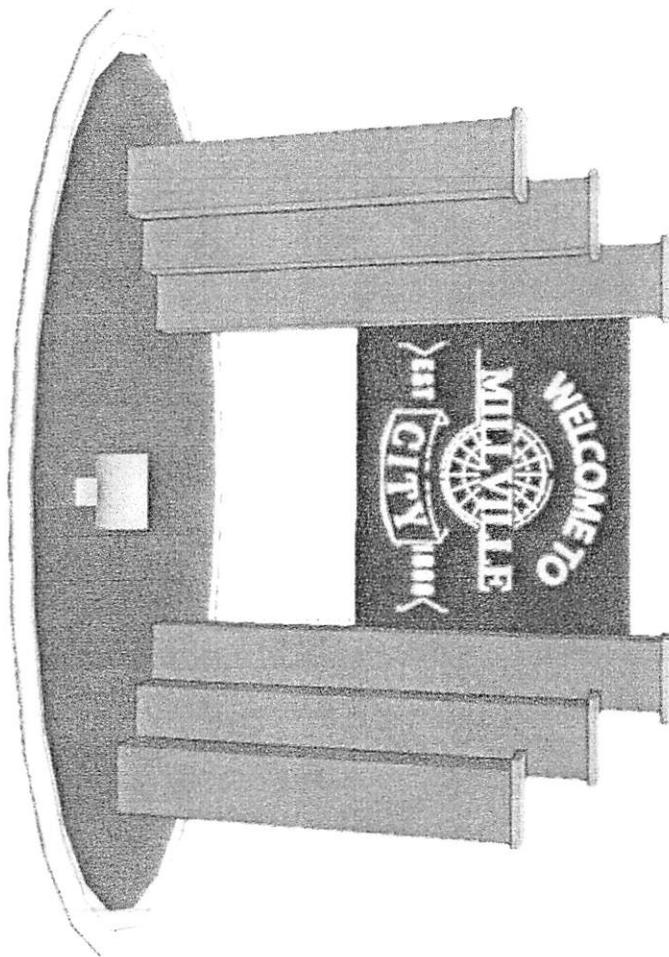
5/24/2016

DRAWN	5/24/2016
CHECKED	
APPR.	
COMMENTS	

MATERIAL  
 FINISH  
 NOT TO SCALE DRAWING

Dimensions: 3'-6", 4'-6", 4'-0", 3"

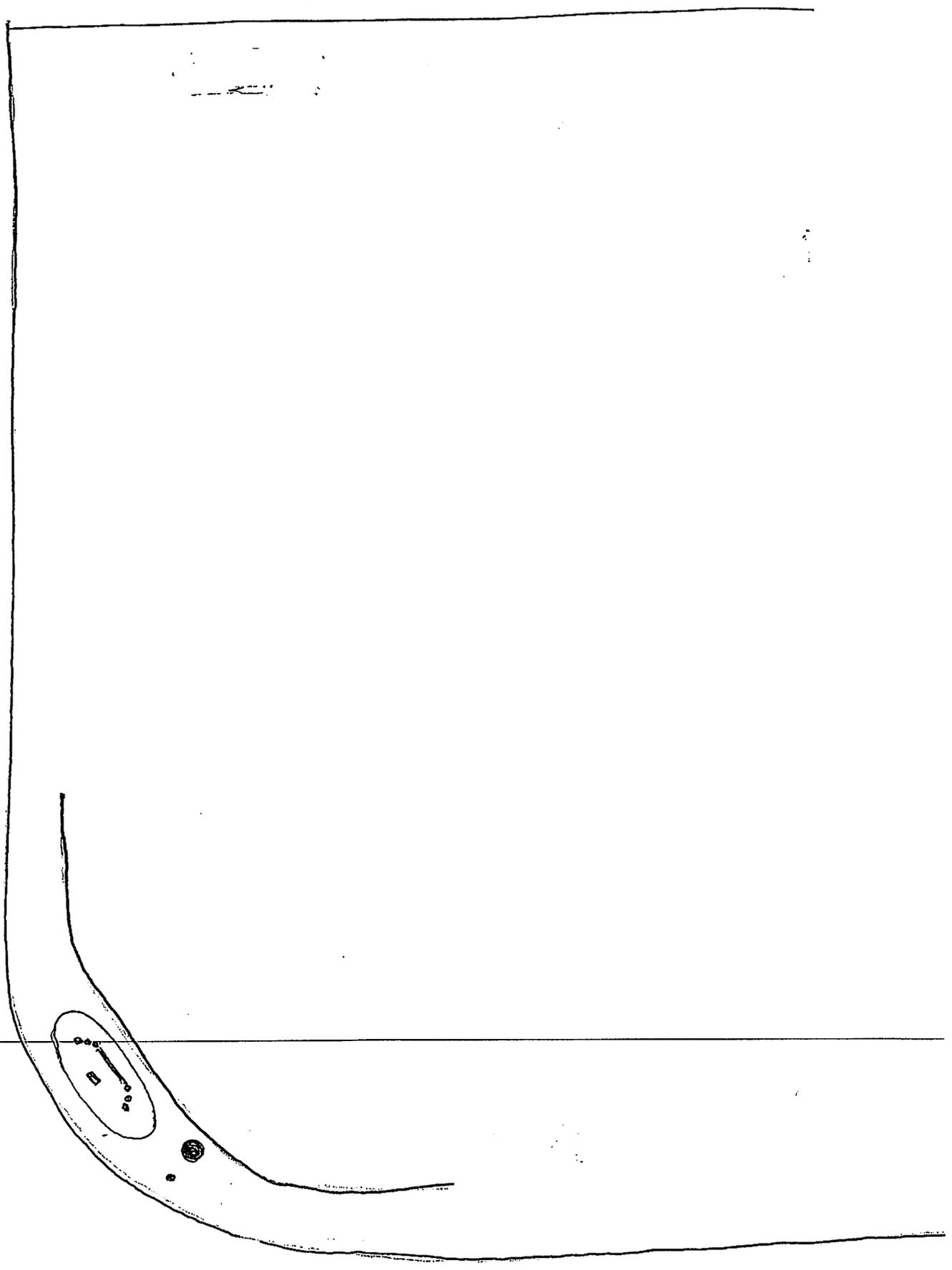
Grid lines: 1, 2, 3, 4, 5, 6, 7, 8



(School)

300 West

550 No.



Hwy 165