

AMERICAN FORK CITY COUNCIL
MAY 10, 2016
REGULAR SESSION AGENDA

REGULAR SESSION

The American Fork City Council will meet in regular session on **Tuesday, May 10, 2016, in the American Fork City Hall, 31 North Church Street, commencing at 7:30 p.m.** The agenda shall be as follows:

1. Pledge of Allegiance; prayer by Parks and Recreation Director Derric Rykert; roll call.
2. Presentation by the Strawberry Days Royalty.
3. Presentation regarding the Hill Air Force Base Air Show – goals, prohibited items, parking and public transportation arrangements, and scheduled performances.
4. Twenty-minute public comment period - limited to two minutes per person.
5. City Administrator's Report.
6. Council Reports concerning Committee Assignments.
7. Mayor's Report

COMMON CONSENT AGENDA

(Common Consent is that class of Council action that requires no further discussion or which is routine in nature. All items on the Common Consent Agenda are adopted by a single motion unless removed from the Common Consent Agenda by the Mayor or a Councilmember and placed in the action items.)

1. Approval of the April 21, 2016 Work Session/Special Session Minutes
2. Approval of the April 26, 2016 City Council Minutes
3. Approval of the city bills for payment, manual checks, and purchase requests over \$25,000
4. Approval on a progress release for the performance guarantee bond in the amount of \$172,174.75 for the Green Springs Subdivision located at 150 North State Street. *(Requested by Dale Goodman, Public Works)*
5. Approval regarding authorization to release the Improvements Construction Guarantee in the amount of \$126,180.40 and Issue a Notice of Acceptance for the CVS Pharmacy construction of public improvements located at 475 East State Street. *(Requested by Dale Goodman, Public Works)*

ACTION ITEMS

1. Presentation and adoption of the City's Tentative Budget for fiscal year ending June 30, 2017 *(Requested by Cathy Jensen, Administration)*
2. Review and action on the appointment of a City Recorder *(Requested by Mayor Hadfield)*
3. Review and action on the Richards Annexation consisting of 11.74 acres at 980 North 900 West including the Ordinance of Annexation, Annexation Agreement, and placement of the property in the RA-1 and R1-12,000 residential zones *(Requested by Richard Colborn, Recorder)*
4. Review and action on Steel Days agreements with the Food Truck Underground and with Walker Productions, LLC. *(Requested by Councilman Shelton)*
5. Review and action on a Resolution approving an amendment to the land use element of the general plan located at 326 South 860 East from the Design Commercial to the Planned Community designation *(Requested by Adam Olsen, Planning)*

6. Review and action on an Ordinance approving a zone map amendment from the GC-1 General Commercial to the PC Planned Community zone located at 326 South 860 East. *(Requested by Adam Olsen, Planning)*
7. Review and action on subdivisions, commercial projects, condominiums, and PUD's including 1) plat approval; 2) method of satisfaction of water rights requirements; 3) posting of an improvement bond or setting of a time frame for improvement installation; and 4) authorization to sign the final plat and acceptance of all dedications to the public and to have the plat recorded
 - a. Review and action on an Ordinance approving a site plan for the Pacific Drive Apartments located at 492 West Pacific Drive in the R-3-7,500 Residential zone. *(Requested by Adam Olsen, Planning)*
 - b. Review and action on an Ordinance approving the Easton Park Planned Community and Easton Park Subdivision Phases 1-3 located in the area of 500 South 860 East in the PC Planned Community zone. *(Requested by Adam Olsen, Planning)*
 - c. Review and action on an Ordinance approving a commercial site plan for a billboard located at 195 East 620 South in the PI-1 Planned Industrial zone. *(Requested by Adam Olsen, Planning)*
8. Review and Action regarding a Dark Fiber Lease Agreement with XO Communications. *(Requested by George Schade, Technology)*
9. Review and Action Regarding a Supplemental Agreement for utility work on I-15 with the Utah Department of Transportation (UDOT) *(Requested by George Schade, Technology)*
10. Adjournment

Dated this 4 day of May, 2016



Terilyn Lurker
Deputy Recorder



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Public Works **Director Approval** Dale Goodman

AGENDA ITEM Review and action on a progress release for the performance guarantee bond in the amount of \$172,174.75 for the Green Springs Subdivision located at 150 North State Street.

SUMMARY RECOMMENDATION Staff recommends approval of the performance guarantee bond release.

BACKGROUND A progress release has been requested by the developer of the Green Springs Subdivision for the construction of the storm drainage, sanitary sewer pipe system and mobilization. The partial performance guarantee bond release adds up to \$172,174.75. The original performance guarantee calculations are included showing the breakdown of the release.

BUDGET IMPACT N/A

SUGGESTED MOTION

SUPPORTING DOCUMENTS

Green Spring Meadows Performance Guarantee April 12 2016 (PDF)
Second bond release Sewer and site prep Green Springs (PDF)

Name of Development: Green Spring Towns (Meadows),150 North West State Rd

Date: 4-12-2016

No.	Description of Item	Estimate	Release #1 date 4/12/2016	Release #2 date	Release #3 date	Release #4 date	Release #5 date	Balance
1	SITE PREPARATION	\$5,120.00	\$5,120.00					\$0.00
2								
3	SWPPP	\$17,500.00						\$17,500.00
4								
5	EARTHWORK	\$265,680.00						\$265,680.00
6								
7	DRY UTILITIES	\$226,000.00						\$226,000.00
8								
9	GROUNDWATER	\$0.00						\$0.00
10								
11	SANITARY SEWER	\$171,579.00	\$171,579.00					\$0.00
12								
13	CULINARY WATER	\$208,308.00						\$208,308.00
14								
15	PRESSURIZED IRRIGATION	\$37,900.00						\$37,900.00
16								
17	STREET IMPROVEMENTS	\$292,319.65						\$292,319.65
18								
19	DRAINAGE	\$256,077.50						\$256,077.50
20								
21	LANDSCAPING	\$141,737.00						\$141,737.00
22								
23	CONSTRUCTION MANAGEMENT	\$5,250.00						\$5,250.00
24								
25	MISCELLANEOUS	\$8,200.00						\$8,200.00
26								

		\$1,635,671.15	\$176,699.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,458,972.15
	25% Per Ordinance Section 17.9.301	\$408,917.79						\$408,917.79
LETTER	ICG Amount	\$2,044,588.94	\$176,699.00	\$0.00	\$0.00	\$0.00	\$0.00	\$1,867,889.94
	10% Durability - retained at ICG release	\$204,458.89						\$204,458.89
PAID	Street Lights	\$ 10,000.00						
	Street Trees	\$ -						
PAID	Fees	\$14,880.00						

Please Note: This Performance Guarantee is a representation ONLY for the basis of determining the initial amount of guarantee. Performance Guarantee funds are to ensure the completion of all public or essential common improvements per the American Fork City ordinance pertaining to said improvements. As such, release of funds will be based upon a determination that all such facilities are complete, without regard to if they are found within the itemized list hereupon.

BOND RELEASE REQUEST

Please complete and return this form to the Engineering Division:

City Engineer's Office
American Fork City
275 East 200 North
American Fork, UT 84004

It is the City of American Fork policy to release performance guarantee bond funds upon the request of and to the person who paid the performance guarantee bond once the bond release inspection is satisfied.

Project Information

Subdivision/ Site Plan Name: GREEN SPRING TOWNS P.U.D.
Subdivision/ Site Plan Address: 150 N. STATE STREET

I/ we McArthur Homes, am/ are requesting the release of the following bond (s):

Nro	Description of Item	Estimate
1	DRAINAGE - APPROX 50% COMPL.	\$ 120,000
2		
3	SEWER - +25% PER ORD.	\$ 42,894.75
4		
5	MOBILIZATION - +25% PER ORD.	\$ 1,280
6		
7		
8		
9		
10		
11		
12		
Subtotal =		172,174.75

Please, send bond release to (select one): Individual Letter to the Bank of record

Name: McArthur Homes

Address: 9962 S. REDWOOD RD.

City: South Jordan State: UT Zip Code: 84095

Phone: 801-859-5734 Email: Joni@McArthurHomes.com

Joni M
Signature

4/12/16
Date

received
4-13-16

Attachment: Second bond release Sewer and site prep Green Springs (1304 : Green Springs Subdivision progress performance guarantee



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016

Department Public Works **Director Approval** Dale Goodman

AGENDA ITEM (Common Consent Agenda) - Consideration regarding authorization to release the Improvements Construction Guarantee in the amount of \$126,180.40 and Issue a Notice of Acceptance for the CVS Pharmacy construction of public improvements located at 475 East State Street.

SUMMARY RECOMMENDATION The City Engineer recommends that the Improvements Construction Guarantee (ICG) be released. The improvements were found in a condition meeting City standards and specifications and in conformance with the approved project construction plans.

BACKGROUND Pursuant to the terms of Sections 17.9.100 and 17.9.304 of the City Development Code, the City Council may authorize the release of the ICG and issue a "Notice of Acceptance" of the project improvements. Following the issuance of the Notice of Acceptance, the City accepts ownership of the project improvements. The project will then enter the one (1) year Durability Testing Period as specified in section 17.9.400 of the City Development Code.

In issuing a Notice of Acceptance, the City Council finds that:

- The condition of the improvements are found to be satisfactory.
- All liens have been released, all outstanding fees paid, costs of administration paid, and reimbursement payments to prior developers (if any) have been made.
- The project clean-up is found to be satisfactory.

The City may request a current title report or other such measures or reports as deemed appropriate by the City as a means of determining the existence of any unreported liens or other claims upon the project. All financial information (if any) provided by the developer is attached. The Council may request additional information as deemed necessary.

BUDGET IMPACT Following the release of the ICG, there is a one (1) year Durability Testing Period wherein ten percent (10%) of the total ICG is held to ensure the durability of the constructed improvements.

SUGGESTED MOTION Move to accept the improvements and authorize the Mayor to execute the Notice of Acceptance for the CVS Pharmacy public improvements located at 475 East State Street. To authorize the issuance of documents and/or payments to release the Improvement Construction Guarantee (ICG). Commence the Durability Testing Period by retaining ten percent (10%) of the ICG. To find that the project improvements are in a condition meeting City ordinances, standards, and specifications and are in conformance with the approved

project construction plans.

Note: With passage of the Common Consent Agenda items, the City Council will enact the motion and findings as noted in the "Suggested Motion" heading found above.

SUPPORTING DOCUMENTS

CVS Pharmacy Performance Guarantee Bond (PDF)

Notice of Acceptance and Improvement Construction Guarantee Retainer Release Authorization
(PDF)

Notice of Completion and Request for Release (PDF)



**NOTICE OF ACCEPTANCE
AND
IMPROVEMENTS CONSTRUCTION GUARANTEE
RETAINER RELEASE AUTHORIZATION**

The City Council of American Fork City, a Municipal Corporation and Body Politic in the State of Utah, hereby authorizes the release of the Improvements Construction Guarantee for the CVS Pharmacy pursuant to the terms of Sections 17.9.100 and 17.9.304 of the City Development Code. The City Council accepts the improvements completed with the finding that said improvements are in a condition meeting City ordinances, standards, and specifications, are in conformance with the approved project construction plans, and all conditions for release as detailed in section 17.9.304 of the City Code have been satisfied.

The City Council hereby authorizes the issuance of a letter to the financial guarantee institution authorizing release of the Improvements Construction Guarantee, or to issue an authorized City check as appropriate for the type of guarantee provided. Upon issuance of this Notice of Acceptance, the Durability Testing Period shall commence as detailed in section 17.9.400 of the City Development Code. An amount totaling ten percent (10%) of the Improvements Construction Guarantee funds will be held as the Durability Retainer pursuant to the City Performance Guarantee ordinance.

Amount Released: \$126,180.40

PASSED THIS _____ DAY OF _____, 2016.

James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder

Attachment: Notice of Acceptance and Improvement Construction Guarantee Retainer Release Authorization (1305 : CVS Pharmacy ICG



NOTICE OF COMPLETION AND REQUEST FOR RELEASE

Projects and/or subdivisions completed within the corporate limits of American Fork City

Mayor James H. Hadfield
51 East Main
American Fork, UT 84003

Re: CVS Pharmacy

Dear Mayor Hadfield:

As the project construction has now been completed in full, I request that the Improvement Construction Guarantee (ICG) be released in full up to one hundred percent (100%) of the initial construction costs. Following the release of the ICG, I understand that the one (1) year Durability Testing Period will commence wherein ten percent (10%) of the total ICG is held to ensure the durability of the constructed improvements per City Ordinance Section 17.9.

I, _____, the owner, developer, and authorized representative of _____ and regarding CVS Pharmacy, do hereby request the release of the Improvement Construction Guarantee. I certify that all liens have been released, all outstanding fees paid, costs of administration paid, and reimbursement payments to prior developers (if any) have been made, and the project clean-up is complete.

Project: CVS Pharmacy
Address: 475 East State Street
Requested ICG Amount: \$126,180.40

Owner/Developer

Date

Attachment: Notice of Completion and Request for Release (1305 : CVS Pharmacy ICG Release and Enter Durability)



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016

Department Recorder **Director Approval** Richard Colborn

AGENDA ITEM Review and action on the Richards Annexation consisting of 11.74 acres at 980 North 900 West including the Ordinance of Annexation, Annexation Agreement, and placement of the property in the RA-1 and R1-12,000 residential zones.

SUMMARY RECOMMENDATION Staff recommends approval of the Ordinance of Annexation.

BACKGROUND The Annexation Agreement was approved at the January 26, 2016 City Council meeting. The necessary attachments have been provided and this annexation is now ready for adoption.

BUDGET IMPACT N/A

SUGGESTED MOTION Move to approve the Richards Annexation consisting of 11.74 acres at 980 North 900 West including the Ordinance of Annexation, Annexation Agreement, and placement of the property in the RA-1 and R1-12,000 residential zones.

SUPPORTING DOCUMENTS

Richards Annexation Ordinance (PDF)

AN ORDINANCE

AN ORDINANCE AMENDING SECTION 1.12.010 OF THE REVISED ORDINANCES OF AMERICAN FORK CITY 1985, AS AMENDED, ANNEXING CERTAIN PROPERTIES TO AMERICAN FORK CITY AND ESTABLISHING ZONING CLASSIFICATION FOR SAID PROPERTY.

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

SECTION I. THAT THE FOLLOWING DESCRIBED REAL PROPERTY BE, AND THE SAME IS HEREBY ANNEXED TO AMERICAN FORK CITY, UTAH, THE CORPORATE LIMITS OF SAID CITY ARE HEREBY EXTENDED TO INCLUDE SAID DESCRIBED PROPERTY, AND SAID PROPERTY IS HEREBY DECLARED TO BE PART OF AMERICAN FORK CITY AND SHALL HENCEFORTH BE SUBJECT TO ALL OF THE ORDINANCES AND REGULATIONS THEREOF, AND THAT THE DESCRIPTION OF THE BOUNDARIES OF AMERICAN FORK CITY AS SET FORTH IN SECTION 1.12.010 OF THE REVISED ORDINANCES BE AMENDED TO INCLUDE THE FOLLOWING DESCRIBED PROPERTY TO-WIT:

ORDINANCE NO.
RICHARDS ANNEXATION (980 NORTH 900 WEST)
SEE ATTACHMENT 'A'

SECTION II. THAT THE TERRITORY ANNEXED UNDER SECTION I ABOVE, IS HEREBY CLASSIFIED INTO THE RA-1 RESIDENTIAL AGRICULTURAL ZONE AND THE R1-12,000 RESIDENTIAL ZONE AND SUBJECT TO THE TERMS AND CONDITIONS OF THE RICHARDS ANNEXATION AGREEMENT AS PROVIDED IN ATTACHMENT 'B'.

SECTION III. THIS ORDINANCE SHALL TAKE EFFECT UPON ITS PASSAGE AND FIRST PUBLICATION. PASSED BY THE CITY COUNCIL OF AMERICAN FORK, THIS 10 DAY OF MAY, 2016.

JAMES H. HADFIELD, MAYOR

ATTEST:

STATE OF UTAH
COUNTY OF UTAH

I, TERILYN LURKER, DEPUTY RECORDER OF AMERICAN FORK CITY, UTAH, DO HEREBY CERTIFY THE ABOVE AND FOREGOING TO BE A FULL, TRUE AND CORRECT COPY OF AN ORDINANCE AMENDING SECTION 1.12.010 OF THE REVISED ORDINANCES OF AMERICAN FORK CITY 1985, AMENDED, ANNEXING CERTAIN PROPERTIES TO AMERICAN FORK CITY AND ESTABLISHING ZONING CLASSIFICATION FOR SAID PROPERTY.

IN WITNESS WHEREOF, I HEREUNTO SET MY HAND AND AFFIX THE CORPORATE SEAL OF AMERICAN FORK, UTAH THIS 10 DAY OF MAY, 2016.

TERILYN LURKER, DEPUTY RECORDER

ATTACHMENT A

SURVEYOR'S CERTIFICATE

I, AARON D. THOMAS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6418780 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT THIS PLAT OF ANNEXATION TO THE CORPORATE LIMITS OF AMERICAN FORK CITY, UTAH COUNTY, UTAH IS A TRUE AND CORRECT REPRESENTATION OF DATA COMPILED FROM RECORDS ON FILE IN THE OFFICE OF THE UTAH COUNTY RECORDER.

AUG. 6, 2015
DATE


SURVEYOR'S NAME (SEE SEAL BELOW)

BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED NORTH 1564.82 FEET AND 1.34 FEET EAST FROM THE SOUTH QUARTER CORNER OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN; THENCE ALONG THE EXISTING AMERICAN FORK CITY BOUNDARY THE FOLLOWING FOUR COURSES AND DISTANCES: 1) NORTH 0°18'05" EAST 603.86 FEET, 2) SOUTH 89°51'02" EAST 420.97 FEET, 3) NORTH 2°20'54" WEST 213.12 FEET, AND 4) SOUTH 72°22'58" EAST 495.78 FEET; THENCE SOUTH 1°35'20" EAST 450.79 FEET; THENCE SOUTH 88°01'00" WEST 291.09 FEET; THENCE SOUTH 84°23'53" WEST 165.65 FEET; THENCE SOUTH 2°37'27" EAST 188.58 FEET; THENCE SOUTH 89°56'57" WEST 453.30 FEET TO THE POINT OF BEGINNING.

CONTAINING 11.74 ACRES, MORE OR LESS.

BASIS OF BEARING: UTAH STATE PLANE COORDINATE SYSTEM NAD 1927, CENTRAL ZONE.

ACCEPTANCE BY LEGISLATIVE BODY

WE, THE DULY ELECTED COUNCIL OF THE CITY OF AMERICAN FORK, UTAH, HAVE RECEIVED A REQUEST TO INITIATE PROCEDURES FOR THE ANNEXATION OF THE TRACT OF LAND SHOWN HEREON, WHICH TRACT CONSTITUTES A PORTION OF AN EXISTING ISLAND OR PENINSULA WITHIN OR CONTIGUOUS TO THE CITY, AND DO HEREBY CERTIFY: (1) THE COUNCIL HAS ADOPTED A RESOLUTION SETTING FORTH IT'S INTENT TO ANNEX THE TRACT. PROVIDED

ATTACHMENT B

ANNEXATION AGREEMENT (Richards Annexation)

This Agreement, made and entered into this 26 day of January, 2016, by and between The City of American Fork, Utah, a Utah Municipal Corporation (hereafter referred to as “City”) and Guy E. Richards, Susan Richards and Daniel L. Richards (hereafter referred to as “Applicants”), is based on the following:

RECITALS

WHEREAS, Applicants are the owners of parcels of privately owned real property constituting the entirety of, the Richards Annexation, which annexation is located within the unincorporated territory of Utah County and contiguous to the corporate boundary of the City. A “Request to Initiate Annexation of Land Within an Island or Peninsula” relating to the Richards Annexation (Attachment 2), together with a map showing the area proposed for annexation (hereafter referred to as “Annexation Area”), has been submitted to the City (Attachment 1); and

WHEREAS, the area proposed for annexation constitutes a portion of an existing island, as defined by Utah State law; and

WHEREAS, in accordance with the provisions of UCA 10-2-418, the American Fork City Council has heretofore adopted Resolution No. 2015-07-20R indicating its intent to annex the entire Annexation Area. Further, notice of hearing regarding the proposed annexation has been published and the public hearing thereon held.

WHEREAS, the City Council has determined that annexation of the real property described on Attachment 1 is in the best interest of the City and has indicated an intent to: (1) enact an ordinance of annexation relating thereto, subject to the prior execution of this Agreement, and (2) authorize the recording of the annexation plat at the office of the Utah County Recorder, subject to those certain understandings as are more fully set forth in this Agreement, completion of all outstanding tasks identified herein or otherwise required prior to annexation.

TERMS AND CONDITIONS

NOW THEREFORE, based on the above recitals and in consideration of the annexation of the territory described in Attachment 1 to the City, the parties covenant and agree as follows:

SECTION 1 – Applicability of Agreement: The real property to which the terms of this Agreement apply shall be the parcels of private property within the Annexation Area, identified on Attachment 1. Attachment 1 is hereby made part of this Agreement.

SECTION 2 – Annexation a benefit to Applicants: Applicants and City acknowledge that the City is not required to approve the annexation and that the terms and conditions of annexation, as

set forth herein, are reasonable and entered into freely and voluntarily. Further, Applicants hereby acknowledge and agree that the benefit received from annexation of the property is equal to or greater than the requirements and conditions of annexation as set forth in this Agreement and the conditions of the development as set forth under the terms of the City's Development Code and Impact Fee Ordinance and does not constitute a taking as defined pursuant to the terms of UCA 10-9a-103(6), 1953, as amended.

SECTION 3 – Authority of Applicants: Applicants hereby affirm they are the sole owners of the Richards parcels and have complete authority to enter into this Agreement and bind the property hereto.

SECTION 4 – Compatibility with Land Use Plan and Initial Zone Classification: The Land Use Element of the General Plan shows the entire annexation area classified as Low Density Residential. Applicants intend to develop the parcels for residential uses; a portion to allow animal rights. Therefore, the zone classifications attached to the parcels shall be the RA-1 and R-1-12,000 Residential zones. A map illustrating the zone classifications and their respective boundaries is made part of this agreement (Attachment 3).

SECTION 5 – Annexation Concept Plan: Applicants have submitted an Annexation Concept Plan (Attachment 4) showing the intended development within the Annexation Area as a single-family development consisting of detached homes with a density of approximately 1.1 du/ac. The proposed use, density of development, and other particulars of the proposed development are in general compliance with the terms of the General Plan for the area and the proposed zone classifications. This finding of general compliance is conditioned upon the understanding that all future submittals will fully conform to the general design of the Annexation Concept Plan and the requirements of the RA-1 and R-1-12,000 zones, respectively. However, Applicants hereby agree that the City may require adjustments to the Annexation Concept Plan to conform to City Ordinances or the specific terms of an approved final subdivision plat.

SECTION 6 – Mitchell Hollow Trail Easement to be Conveyed: The City's Trails Master Plan illustrates the placement of the Mitchell Hollow Trail through a portion of the Annexation Area. As a condition of annexation, Applicants hereby agree to convey to City an easement for the trail corridor necessary for the construction of the Mitchell Hollow Trail in the location shown on the Trail Corridor Map (Attachment 5). Further, a copy of the deeds conveying this easement for trail purposes are attached hereto (Attachment 6) and City hereby acknowledges receipt of executed originals. If forthcoming wetland determinations prohibit placement of facilities within the corridor dedicated herein, applicants shall provide City a substitute corridor at no cost to City. Applicants shall have no obligation to construct any trail improvements unless and until any improvement or development occurs within the Annexation Area adjacent to the trail right-of-way corridor.

SECTION 7 - Conveyance of Water Right: City agrees to allow a delay in the actual conveyance of water right until the time of development, based upon the proposed concept plan. A water dedication agreement shall be enacted by the Applicants, requiring water dedication at the time of development. This agreement is included as Attachment 7.

SECTION 8 – Sensitive Lands Overlay: Applicants acknowledge that all or portions of the Annexation Area may have significant physical limitations for development and lie within the Sensitive Lands Overlay. Prior to approval of any development plan, Applicants agree to provide a geotechnical report and any other such studies as the City deems appropriate to determine the suitability of the Annexation Area for development as shown on the Annexation Concept Plan and may require adjustments to more adequately incorporate impacts relating to natural conditions or any provision of the Sensitive Lands Ordinance which may be applicable to the Annexation Area.

SECTION 9 – Open Ditches to be Piped: Applicants acknowledge that it is their burden in full to pipe any and all gravity irrigation conveyances (ditches) with the exception of the Mitchell Spring Creek, to the standards of the City and to the standards of the irrigation company or private ditch easement holders as part of any forthcoming development project.

SECTION 10 – Property Taxes and Rollback Taxes to be Paid: Applicants agree to pay any outstanding property taxes on the Annexation Area; including any and all rollback taxes if the subject Annexation Area is classified as “Greenbelt” with the Utah County Tax Assessor. These taxes and receipt of payment shall be required prior to City recording this Agreement.

SECTION 11 – Impact Fees: No impact fees are required as a condition of annexation. However, nothing in this Agreement constitutes a waiver of any obligation that Applicants or any successor may have for the payment of impact fees required as a condition of connection to the City water and/or sewer systems or development of the Annexation Area or any portion thereof. Applicants acknowledge that no development approval or building permit shall be issued until all applicable fees required by City ordinance have been paid at the amount then in effect.

SECTION 12 – Default: Should any of the parties default in the performance of any of the terms of this Agreement, the parties shall first seek mediation to resolve any defaulting performance. The defaulting party shall pay all costs and expenses, including mediation fees and/or reasonable attorney’s fees, which may arise from enforcing this Agreement, whether such remedy is pursued by mediation and/or filing suit or otherwise.

SECTION 13 – Notice: Any notice to be given hereunder shall be given by certified mail, return receipt requested, addressed as follows:

- a. If to the City, to the City of American Fork, 51 East Main Street, American Fork Utah, 84003
- b. If to Applicants, to Daniel L. Richards, 8966 North 6800 West, American Fork Utah, 84003

SECTION 14 – Entire Agreement: This Agreement constitutes the entire agreement between the parties and may be changed only in writing signed by all parties, and this agreement shall bind the heirs, assigns and successors in interest of the respective parties. If any party shall breach this Agreement, the other party shall be entitled to recover their attorney fees and court costs in addition to other lawful damages resulting therefrom.

IN WITNESS WHEREOF, the parties have signed this agreement on the date first mentioned above.

Guy E. Richards

Guy E. Richards

MAYOR

J. H. Hedfield

Susan Richards

Susan Richards

Daniel L. Richards

Daniel L. Richards

ATTEST:

Phillip Larkin
Deputy
City Recorder



Attachment: Richards Annexation Ordinance (1316 : Richards Annexation)

LIST OF ATTACHMENTS

- | | |
|---------------------|---|
| Attachment 1 | Copy of Annexation Plat |
| Attachment 2 | Copy of Request to Initiate Annexation |
| Attachment 3 | Map illustrating zone classifications |
| Attachment 4 | Annexation Concept Plan |
| Attachment 5 | Trail Corridor Map |
| Attachment 6 | Copy of deeds conveying Mitchell Hollow Trail Easement (TO BE PROVIDED BY APPLICANTS) |
| Attachment 7 | Water Dedication Agreement (TO BE PROVIDED BY APPLICANTS) |

Attachment 2

EXHIBIT A

REQUEST TO INITIATE ANNEXATION
OF LAND WITHIN IN AN ISLAND OR PENINSULA

DATE: 6-16-2014

We the undersigned, by virtue of our signatures affixed hereto, do hereby request the City of American Fork, Utah, to annex the parcel(s) identified on the attached map, in accordance with the procedures for "Annexation Without Petition" as set forth under Section 10-2-418(1)(a)(ii) of the Utah State Code.

We hereby further acknowledge and affirm as follows:

- A. The area to be annexed is contiguous to the municipality and has fewer than 800 residents, and
- B. The municipality has provided one or more municipal type services to the area for at least one year.

Tax I.D. No. Name(s) of Owner Signature of Owner(s)

12-0056-0082 GUY E. RICHARDS Susan Richards x

12-0056-0094 GUY E, RICHARDS Susan Richards x

12-0056-0083 DANIEL L RICHARDS Daniel Richards

Susan Richards x Guy E Richards

Susan Richards x Guy E Richards

Attachment: Richards Annexation Ordinance (1316 : Richards Annexation)



SALT LAKE CITY
 800 W. 200 S.
 Suite 101
 Salt Lake, UT 84102
 Phone: 801.255.0529
 Fax: 801.255.4449

LAYTON
 Phone: 801.547.1100

TOOELE
 Phone: 435.463.3590

CEDAR CITY
 Phone: 435.865.1453

RICHFIELD
 Phone: 435.580.0187

WWW.ENSIGNENG.COM

CLAY INDUSTRIES
 1000 WEST 1000 SOUTH
 AMERICAN FORK, UTAH 84303
 (801) 437-1000
 WWW.CLAYINDUSTRIES.COM

DANIEL LINDNER
 1000 WEST 1000 SOUTH
 AMERICAN FORK, UTAH 84303
 (801) 437-1000
 WWW.DANIELLINDNER.COM

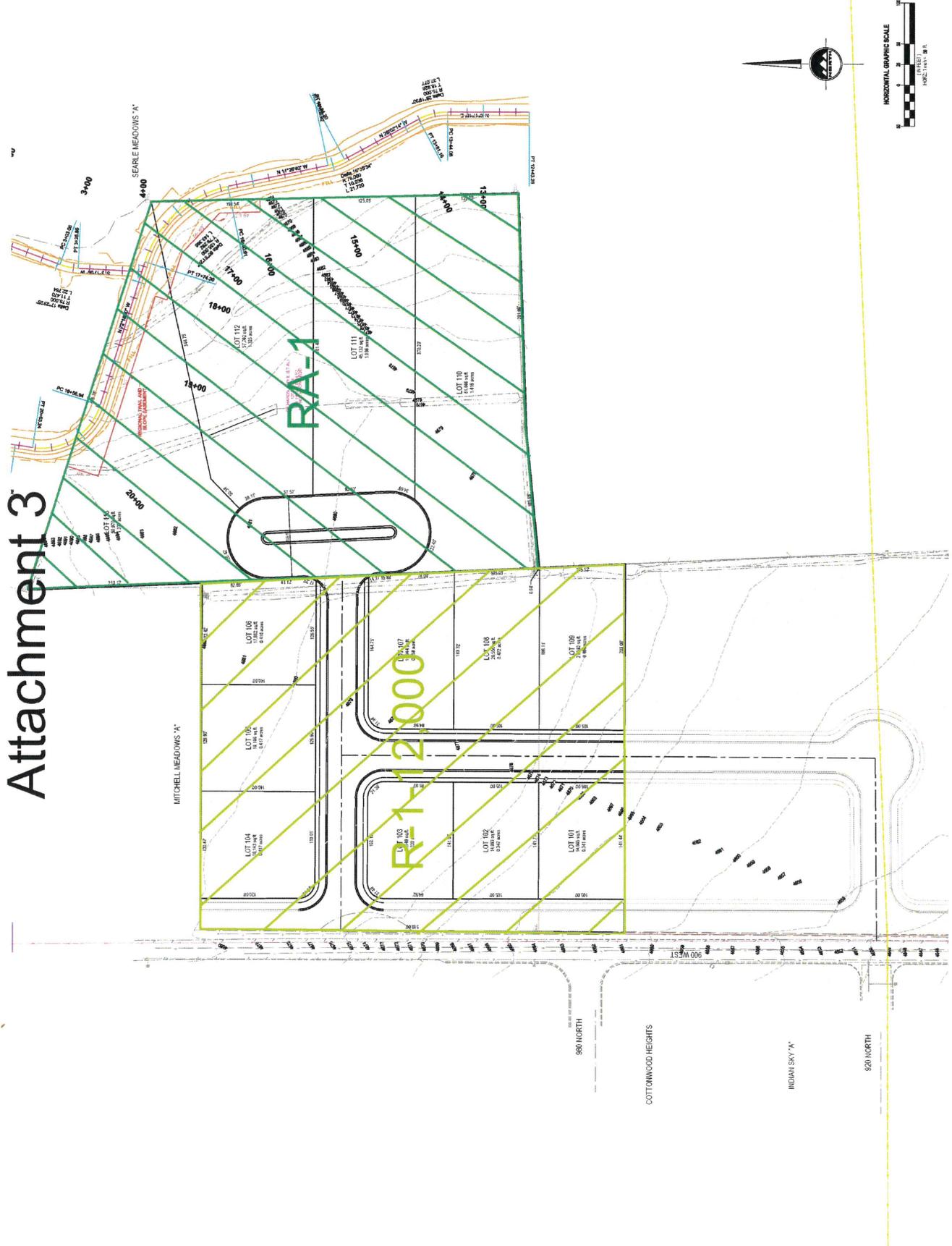
MITCHELL MEADOWS SUBDIVISION
 6800 WEST 980 NORTH
 AMERICAN FORK, UTAH

CONCEPT

SCALE: 1" = 40' HORIZONTAL
 1" = 10' VERTICAL

DATE: 11/15/2011

PROJECT: 10F1



Attachment 3

ENSIGN
 SALT LAKE CITY
 40 W. 10300 S. SUITE 400
 SANDY, UT 84070
 PHONE 801.255.0929
 FAX 801.255.4442

LAYTON
 Phone 801.547.1100

TOOELE
 Phone 435.843.3590

CEDAR CITY
 Phone 435.865.1453

RICHFIELD
 Phone 435.950.0187

WWW.ENSIGN.COM

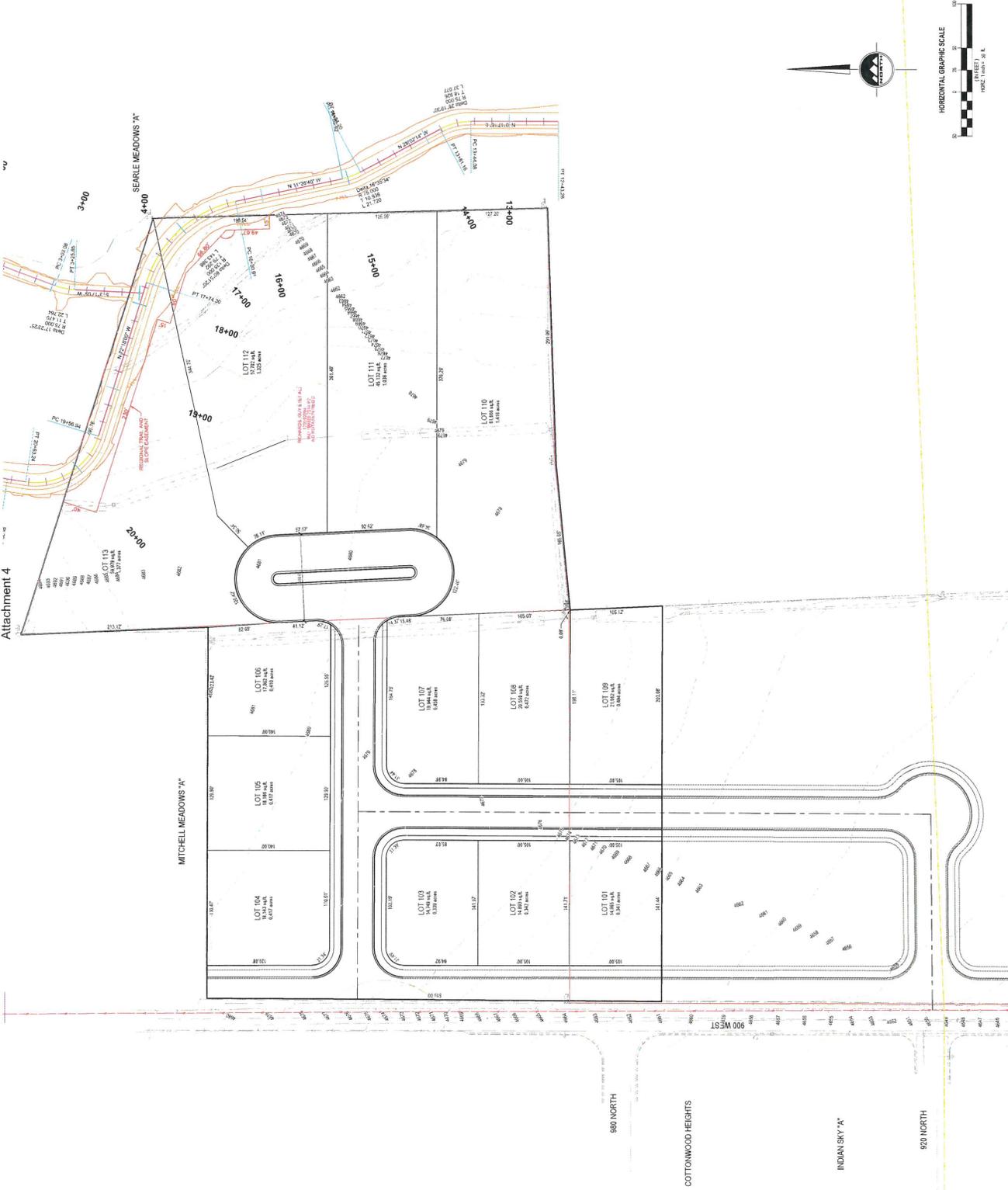
USA INDUSTRIES
 1000 W. 10300 S. SUITE 400
 AMERICAN FORK, UT 84303
 PHONE 801.284.0303
 FAX 801.284.0303

MITCHELL MEADOWS SUBDIVISION
 6800 WEST 980 NORTH
 AMERICAN FORK, UTAH

CONCEPT

DATE PREPARED: 09/24/11
 DATE: 09/21/11
 E. COMPTON
 S. FURBER
 C. WILSON

1 OF 1



CONCEPT





SALT LAKE CITY
45 W. 1000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.4499
Fax: 801.255.4499

LAYTON
Phone: 801.547.1100
Fax: 801.547.1100

TODDLE
Phone: 801.350.3500
Fax: 801.350.3500

GEAR CITY
Phone: 435.665.4663
Fax: 435.665.4663

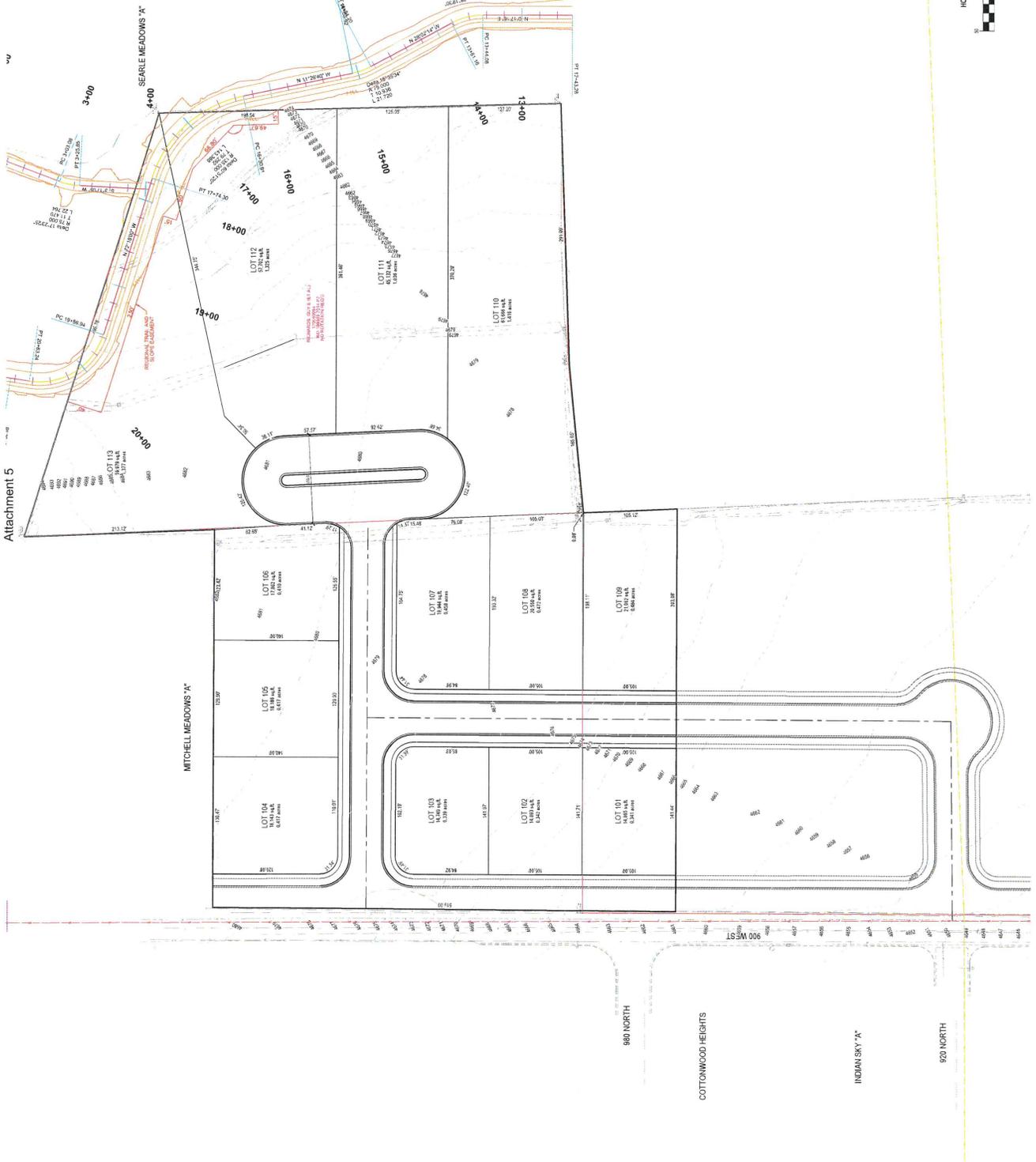
RICHFIELD
Phone: 435.550.7887
Fax: 435.550.7887

WWW.ENSIGNENG.COM

MITCHELL MEADOWS SUBDIVISION

6800 WEST 980 NORTH
AMERICAN FORK, UTAH

DATE: 11/11/14
DRAWN BY: E. PINE
CHECKED BY: C. DOWNEY
APPROVED BY: E. WILKINSON



ATTACHMENT 6

When Recorded Return to
American Fork City
81 East Main Street
American Fork, Utah 84003

MTC File No. 239508

GRANT OF TRAIL EASEMENT

For the sum of Ten Dollars (\$10.00) and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, GSR Properties, LLC, GRANTOR, does hereby grant, convey, sell and set over unto American Fork City, hereinafter referred to as GRANTEE, a perpetual non-exclusive use easement for the purpose of a pedestrian trail, including construction, operation, access and maintenance with related facilities, insofar as they lie within the land owned by the Grantor over the following described property situated in Utah County, Utah:

[Mitchell Meadows – 12’ Wide Trail Easement]

Beginning at a point being North 00°18'00" West 2,058.82 feet along the section line and East 892.82 feet from the South Quarter Corner of Section 10, Township 5 South, Range 1 East, Salt Lake Base and Meridian; and running
thence North 01°35'20" West 162.89 feet;
thence North 72°22'58" West 417.97 feet;
thence North 17°37'02" East 12.00 feet;
thence South 72°22'58" East 426.50 feet;
thence South 01°35'20" East 167.01 feet;
thence South 68°15'45" West 12.78 feet to the point of beginning.

Dated this 20 day of April, 2016.

GSR Properties, LLC

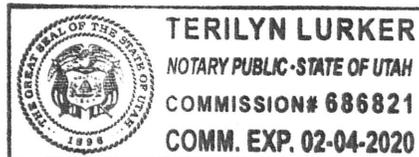
By: [Signature]
Guy Richards, Manager

By: [Signature]
Susan Richards, Manager

STATE OF UTAH)
) : ss.
COUNTY OF UTAH)

The foregoing instrument was acknowledged before me this 20 day of April, 2016, by Guy Richards and Susan Richards, the Managers of GSR Properties, LLC, who duly acknowledge to me that it was executed by authority.

[Signature]
Notary Public



Attachment: Richards Annexation Ordinance (1316 : Richards Annexation)

ATTACHMENT 7

WATER TRANSFER AGREEMENT

This Water Transfer Agreement (“**Agreement**”) is entered into as of the ____ day of _____, 2016 (“**Effective Date**”), by and between _____ (“**Owner**”), and AMERICAN FORK CITY, a municipal corporation and political subdivision of the State of Utah (“**City**”).

RECITALS

WHEREAS Owner is the owner of Parcel No(s). 12:056:0092, 12:056:094, 12:056:0124 (“**Property**”), which are located outside of the City’s current municipal boundaries; and

WHEREAS Owner has filed with the City a request to have the Property annexed into the City (“**Annexation Request**”); and

WHEREAS Section 17.1.400(C) of the City Code requires the conveyance of title to water rights concurrently with final action by the City Council on an annexation, except under pursuant to certain findings, terms, and conditions; and

WHEREAS City and Owner desire to enter into this Agreement as part of the findings, terms, and conditions required under Section 17.1.400(C) of the City Code.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants hereafter set forth, and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, Owner and City, incorporating the recitals set forth above, agree as follows:

AGREEMENT

1. Determination of City Council. The City Council, with the recommendation of the City Planning Commission, has determined that there is good and sufficient reason to delay the time of conveyance of water rights and/or water shares beyond the time of the City Council’s final action on the Annexation Request. This determination was made in the City Council meeting held on January 26, 2016. The basis and reasoning for the City Council’s determination are included within the recording, minutes, and other documentation from said City Council meeting.

2. Water Rights/Shares. The specific water rights and/or water shares that may be conveyed to the City, and that pursuant to the terms and conditions of this Agreement are hereby committed to the City, which commitment is irrevocable by Owner and may be released by the City only as provided in this Agreement, are identified as follows: TO BE DETERMINED (“**Committed Water**”).

3. Conveyance of Committed Water. Prior to the City’s approval of any development on the Property that will require the delivery of water, the City will determine the amount of water rights/shares required for dedication and conveyance to the City in order to meet the water requirements of the development. Owner will convey clear title to the required amount of the Committed Water to the City. If the amount of water necessary for the development is less than the

total amount of the Committed Water, the City will release the commitment (provided in paragraph 2 above) as to the unnecessary portion of the Committed Water. If the amount of water necessary for the development is more than the total amount of the Committed Water, Owner shall convey additional acceptable water rights/shares to the City to meet the dedication requirements. If the Committed Water consists of any water rights, the conveyance shall be by Warranty Deed and an accompanying Water Rights Deed Addendum. If the Committed Water consists of any water shares, the conveyance shall be by assignment, endorsement, and delivery of the appropriate share certificates. Owner acknowledges that under the Article XI, Section 6 of the Utah Constitution, City is prohibited from returning to Owner any portion of the Committed Water once it has been conveyed to the City.

4. Change Application. If any of the Committed Water consists of water rights, an express prerequisite for conveyance shall be the filing and approval of an Application for Permanent Change of Water (“**Change Application**”) with the Utah Division of Water Rights (“**Division**”) to convert the water rights to municipal use to be diverted from the City’s wells. Prior to the filing of the Change Application, the water rights shall be reviewed by the City’s water attorneys to ensure that the water rights are suitable for dedication. The City’s water attorneys shall also prepare and prosecute the Change Application, with the full assistance and support of Owner. The water rights will be deemed acceptable for conveyance to the City under this paragraph upon the issuance of an Order approving the Change Application that is acceptable to the City and upon expiration of all applicable deadlines for requests for reconsideration and/or appeal of the Order. Owner shall be responsible for all costs associated with the Change Application, including but not limited to the City’s attorney fees, application filing fees, and document fees.

5. Title to Committed Water. Owner shall convey unencumbered title to the Committed Water to the City. If the Committed Water consists of water rights, the City will obtain a water rights title insurance policy for the water rights from First American Title Insurance Company. Owner shall be responsible for all costs associated with the water rights title insurance, including but not limited to the policy premium and recording fees. Owner shall be responsible for satisfying the requirements and conditions of the Title Commitment in order for First American to issue a title insurance policy that is acceptable to the City. A water rights title insurance policy that is agreeable to the City is an express condition to the acceptability of the water rights for dedication and conveyance to the City. If the Committed Water consists of water shares, the City will obtain written confirmation of share ownership and current payment of all assessments from the respective water company/companies. Owner shall be responsible for all costs associated with obtaining the written confirmation. From the date of this Agreement until the Committed Water is conveyed to the City, Owner shall not sell or otherwise dispose of the Committed Water, nor shall Owner allow any liens or encumbrances upon the Committed Water that would prevent Owner from conveying unencumbered title to the Committed Water to the City.

6. Cessation of Owner’s Use. Upon conveyance of the Committed Water to the City, Owner shall immediately cease any and all use of the Committed Water.

7. Successors and Assigns. Pursuant to the terms of this Agreement, Owner shall have the right to assign its rights, duties, and obligations. The parties acknowledge that the rights, duties,

and obligations of Owner will also apply to any successor or assign of Owner, and that the use of the term “Owner” in this contract includes Owner’s successors or assigns.

8. Ownership of Water Facilities. Nothing in this Agreement shall alter the ownership of any wells or other water facilities of Owner or City.

9. Entire Agreement. This Agreement represents the entire agreement between the parties and supersedes all prior agreements and understandings concerning the commitment and conveyance of water rights for the Property. This Agreement shall not be amended, modified, or terminated except by written instrument signed by all parties.

10. Construction and Enforcement. This Agreement shall be construed in accordance with and governed by the laws of the State of Utah. This Agreement may be specifically enforced.

11. Third Party Beneficiaries. This Agreement is not intended to and shall not create any rights in any person or entity not a party to this Agreement.

12. Attorney Fees. In any action arising out of this Agreement, the prevailing party shall be entitled to costs and reasonable attorney fees.

13. Further Assurances. After the execution of this Agreement, the parties agree to execute and deliver such documents, and to take or cause to be taken all such other actions, as either party may reasonably deem necessary or appropriate in order to carry out the intents and purposes of this Agreement.

14. Severability. If any term, covenant, or condition of this Agreement shall be determined by a court of competent jurisdiction to be invalid or unenforceable, the remainder of this Agreement shall not be affected thereby, and the remainder of the Agreement shall remain in full force and effect.

15. Authority of Parties. The persons signing this Agreement represent and warrant that they have full authority to do so and that their corporation or entity has undertaken and obtained whatever formalities and approvals are necessary to enter into this Agreement.

16. Counterparts. This Agreement may be executed in multiple counterparts, all of which taken together shall comprise one agreement.



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Recorder **Director Approval** Richard Colborn

AGENDA ITEM Review and action on Steel Days Agreements with the Food Truck Underground and with Walker Productions, LLC.

SUMMARY RECOMMENDATION Councilman Shelton recommends approval of the two contracts.

BACKGROUND Councilman Shelton has worked with legal on preparing two contracts for the upcoming Steel Days Celebration.

The first contract is with the Food Truck Underground for July 9. This contract will explain the services that will be provided by the Food Truck Rally - what food trucks will be there; that a representative will be there to help park the trucks, collect money and maintain cleanliness; ensure all vendors comply with laws; and ensure all vendors will have adequate insurance coverage. This contract also lists the fees for the event. The City will be required to provide a parking map, assist in marketing, and include the Food Truck Underground Logo on marketing materials.

The second contract is with Walker Productions, LLC, for the promotion and marketing of Steel Days. This will include the Steel Days magazine and event sponsorship. This contract is forthcoming and will be provided shortly.

BUDGET IMPACT The budget impact is unknown at this time. The city will collect an initial fee of \$50 per food truck and receive 10% of the revenue for the day. All fees shall be paid to the City within 7 days of the event. The budget impact is unknown at this time for the Walker Productions, LLC. contract.

SUGGESTED MOTION I move to approve the Steel Days Agreements with the Food Truck Underground and with Walker Productions, LLC.

SUPPORTING DOCUMENTS

Food Truck Underground Contract (PDF)

STEEL DAYS AGREEMENT

This Steel Days Agreement is made effective as of April 26, 2016 by and between The City of American Fork, a municipal cooperation of the State of Utah, with its principal offices located at 51 East Main Street, American Fork, Utah 84003 (hereinafter the “City”) and Food Truck Underground, a _____, licensed to do business in the State of Utah with its principal offices located at _____ for the American Fork Steel Days Event held on July 9th.

In consideration of the mutual covenants of the parties as hereinafter set forth, the City and Food Truck Underground mutually agree as follows:

DESCRIPTION OF SERVICES.

1. Food Truck Underground will provide the following services for the event:
 - a. Coordination of the trucks for the event:
 - i. The following trucks have been requested to participate and as of March 10, 2016 have provided confirmation for the American Fork Steel Days:
 1. Pyro Maniacs Pizza, Kona Ice, Corndog Commander, Battle Creek BBQ, The Soda Truck, Savour, Milo's Mexican Food, Clarks Malasadas, Melty Way and Cupbop.
 - ii. In the event one of the above listed truck cannot attend the Steel Days event, Food Truck Underground will be responsible for finding a replacement at least seven (7) days prior to the event.
 - b. Food Truck Underground will provide a representative at the event to help the trucks park, collect money and help maintain the cleanliness of the area.
 - c. Food Truck Underground and all food trucks participating in the event will comply with all local, state, and federal laws.
 - d. Food Truck Underground will ensure that each food truck participating in the event will have an active general liability insurance policy in an amount no less than \$500,000.

FEES FOR THE EVENT.

1. Food Truck Underground and the City agree to charge the following fees to each food truck participating in the Steel Days event:
 - a. Initial booth fee: \$50.00 (collected prior to the event and paid to the City);
 - b. 10% of revenue for the day (5% paid to the City and 5% paid to Food Truck Underground).
 - i. Food Truck Underground uses the food trucks POS system to verify proof of payments.
2. Food Truck Underground will be responsible for collecting all fees for the event from each food truck participating in the event.
3. Food Truck Underground will be responsible for paying to the City its portion of the fees collected from the food trucks.
4. All fees shall be paid no later than 7 days after the event.

ROLE OF THE CITY.

1. The City will provide a parking map with instructions to Food Truck Underground a minimum of seven (7) days prior to event.
2. The City will assist in marketing the event.
3. The City will include the Food Truck Underground logo on any marketing Steel Days materials.

SIGNED AND ENTERED INTO THIS ____ DAY OF _____, 2016.

Food Truck Underground

City of American Fork

By:
Its:

James H. Hadfield
Mayor, American Fork City

ATTEST:

City Recorder

Attachment: Food Truck Underground Contract (1323 : Steel Days Contracts - Food Truck Underground and Fundraising)



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Resolution approving an amendment to the land use element of the general plan located at 326 South 860 East from the Design Commercial to the Planned Community designation.

SUMMARY RECOMMENDATION The planning commission recommended approval of the amendment to the land use element of the general plan located at 326 South 860 East as stated in the attached minutes of the April 20, 2016 planning commission meeting.

BACKGROUND The applicant proposes a change to the land use designation of the parcel located at 326 South 860 East from Design Commercial to Planned Community in order to accommodate a zone map amendment for a storage facility (see next item on this agenda). For further analysis, please refer to the attached application, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to adopt the resolution approving an amendment to the land use element of the general plan located at 326 South 860 East from the Design Commercial to the Planned Community designation.

SUPPORTING DOCUMENTS

1. Resolution (DOCX)
2. Application (PDF)
3. Minutes (PDF)

RESOLUTION NO.

A RESOLUTION APPROVING AN AMENDMENT TO THE LAND USE ELEMENT OF THE GENERAL PLAN LOCATED AT 326 SOUTH 860 EAST FROM THE DESIGN COMMERCIAL TO THE PLANNED COMMUNITY DESIGNATION.

WHEREAS, Section 10-9a-401(1), Utah Code Annotated, 1953, as amended, requires each municipality in the State of Utah to prepare and adopt a comprehensive, long range general plan for: (1) present and future needs of the municipality; and (2) growth and development of the land within the municipality; and

WHEREAS, Section 10-9a-403, Utah Code Annotated, 1953, as amended, recommends and describes the general content of each of the major elements typically included within a general plan including, but not limited to, a Land Use Element that designates the long term goals and the proposed extent, general distribution, and location of land for housing, business, industry, agriculture, recreation, education, public buildings and grounds, open space and other categories of public and private uses of land; and

WHEREAS, Section 10-9a-403, Utah Code Annotated, 1953, as amended, anticipated that the Land Use Element will, from time to time, be amended and updated to reflect changes in condition or policy within the City; and

WHEREAS, the Planning Commission has reviewed the proposed amendment to the Land Use Element, advertised and held a public hearing thereon, duly considered the comments received at the hearing, and provided a positive recommendation regarding this request; and

WHEREAS, the City Council has received a positive recommendation from the Planning Commission, and has reviewed the request further, all in accordance with Utah State law.

NOW THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

SECTION 1. That certain map entitled AMERICAN FORK CITY - LAND USE PLAN is hereby amended to show that the parcel located in the area of 326 South 860 East be amended from the Design Commercial to the Planned Community designation, as shown in the below attachment. Said change in designation is hereby adopted as an amendment to the Land Use Element of the General Plan of American Fork, Utah.

SECTION 2. The City Council hereby directs that the American Fork Land Use Plan Map be modified to incorporate the changes approved by this Resolution.

Exhibit A



Attachment: 1. Resolution (1318 : Land Use 326 S)

SECTION 3. It is the express intent of the City Council that said plan be followed, complied with, and otherwise adhered to.

SECTION 4. The Planning Commission and City Staff are hereby directed to recommend such ordinances and policies as recommend under the plan and deemed essential for its implementation.

PASSED AND ADOPTED THIS 10TH DAY OF MAY, 2016.

James H. Hadfield, Mayor

ATTEST:

Terilyn Lurker, Deputy Recorder

Attachment: 1. Resolution (1318 : Land Use 326 S)



AMERICAN FORK CITY – Public Works Department
 275 EAST 200 NORTH, AMERICAN FORK UT 84003
 Phone: 801-763-3060 Fax: 801-763-3005 www.afcity.org

GENERAL PLAN AMENDMENT (purple)

Technical Review Committee Submittal Form

Project Name: American Fork Storage
 Location: 326 S. 660 E. AF
 Reason/Description: Vacant land
 Utah County Parcel No(s): 130580119

Property Owner Name: V HOLDINGS LLC
 Property Owner Signature: Rob McNeel

Property Owner or Authorized Representative Contact Information: (By indicating an authorized representative, all communication from the City regarding the project will be directed to your authorized representative.)

Name: Rob McNeel
 Address: 163 S. 200 E. AF 84003
 Telephone: 801-860-5500 Fax: _____
 Email: swifstareekproperties@gmail.com

Submit the following to Lana Kopecky, Public Works Dept, 275 East 200 North, by 3:00 p.m. on Monday, (date)

1. Five paper submittals including plans (sized 11" x 17") and all reports (sized 8.5" x 11")
2. Electronic submittal on disc or flash drive:
 - a. a full plan set in one (1) single pdf
 - b. an electronic design file AutoCAD 2009 format (N.A.D. 83 Coordinates)
 - c. reports (drainage, geotechnical, title) each in a separate pdf
3. Fee as determined at time of Site Plan Review Fee: \$ 250. -

Applications will not be accepted without ALL the required submittal materials. The City will not hold partial submittals.

Acceptance of this submittal to the Technical Review Committee (TRC) for review is not an acknowledgement by the City of a complete application. This determination will be made by the TRC in accordance with UCA 10-9a-509.5

By submitting an application, owner/authorized representative hereby authorizes American Fork City Representatives to enter the property for purposes of evaluating this application.

SUBMITTAL CHECKLIST (check to indicate items are included in submittal)

<input checked="" type="checkbox"/>	Property Size (acres): <u>0.91</u>
<input checked="" type="checkbox"/>	What changing conditions make the proposed amendment reasonably necessary to promote the purpose of the American Fork City Land Use Plan? (typewritten)
<input checked="" type="checkbox"/>	What is the current land use classification of the area to be considered? <u>Design Commercial</u>
<input checked="" type="checkbox"/>	What land use classification are you proposing for the area to be considered? <u>Planned Commercial</u>
<input checked="" type="checkbox"/>	Map illustrating property to be changed.

Link to Development Code

<http://library.municode.com/index.aspx?clientId=14764>

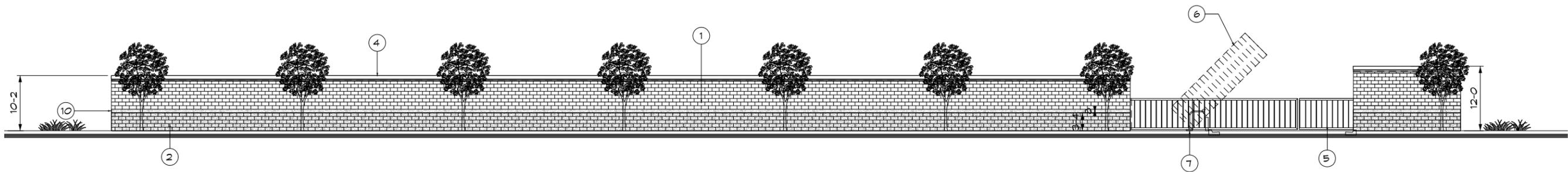
- Amendments – Chapter 17.11
- General Provisions – Sections 17.1.101 and 17.1.102

Attachment: 2. Application (1318 : Land Use 326 S)

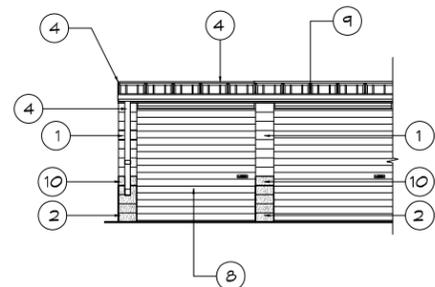
In speaking to the city planners it was recommended that we submit for a Zone change from a GC-1 to a PC zone to better accommodate our proposed project. We would like to build a storage facility to serve the local community. With a GC-1 zone we could build a facility but due to the lot size and the setback requirements, it make it difficult financially to work. Under a PC zone section 17.4.407 C2 we are allowed to build said facility with smaller setbacks. It was also mention there may be some flexibility under section 17.4.407 C4.

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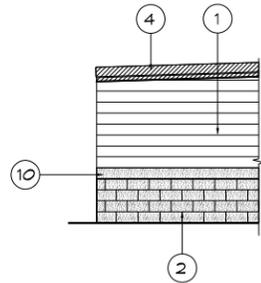
REVISION				
SYM.	DESCRIPTION	DATE	APPROVAL	CAD
1	STORAGE LAYOUT PROPOSAL	3-29-16	LB	TMN
2	REVISED DRAWING ELEVATION	3/30/16	NIELSEN	TROY



EAST ELEVATION



LOW EAVE ELEVATION
(TYP) INSIDE STORAGE PROJECT



MASONRY (COLOR, TYPE, AND DESIGN)
TYPICAL CONSTRUCTION COMPLETE PROJECT

MATERIAL / FINISH COLOR

- 1. SMOOTH 8" CMU / TBD
- 2. SPLIT FACE 8" CMU / TBD
- 3. SIGNAGE
- 4. METAL CAP FLASHING / TBD
- 5. DECORATIVE (ALUMSTAR) IRON GATE AND FENCE / BLACK
- 6. AUTOMATIC IRON LIFT GATE / TBD
- 7. KEY PAD (CONTROL GATE ACCESS) / TBD
- 8. EXTERIOR METAL - ROLL UP DOORS / TBD
- 9. METAL STANDING SEAM ROOF DECK / GALVALUME+ 266A
- 10. SPLIT FACE 8" CMU / TBD

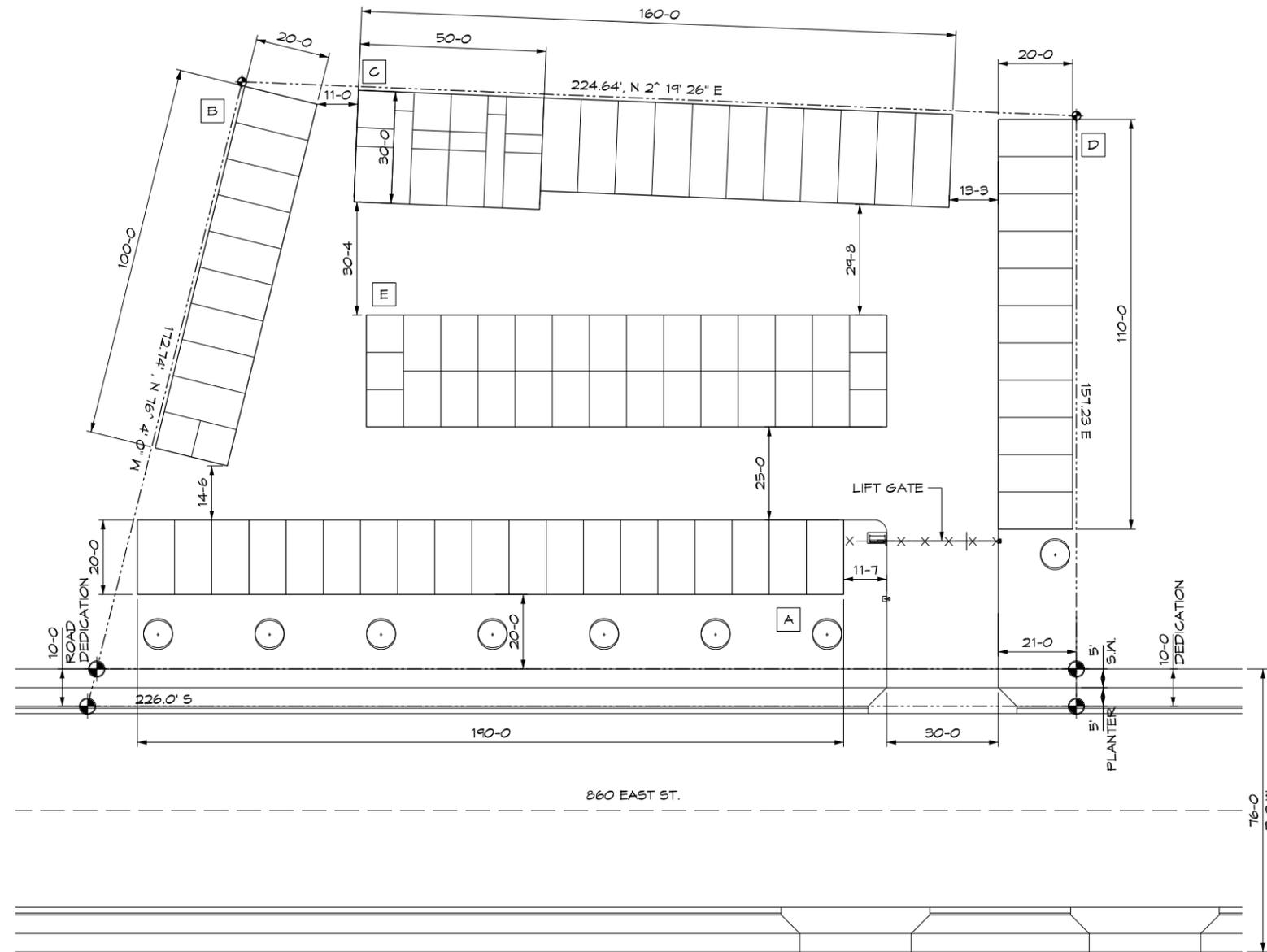


DRAWN BY: TROY NIELSEN
 CHECKED: _____
 CHECKED: _____
 ENGINEER: LYNN BARNETT
 ADDRESS: P.O. BOX 1248
 1199 S. MAIN
 CENTERVILLE, UT
 84014
 PHONE: (801) 294-2950

KRIEGER AMERICAN FORK 326 SOUTH 860 EAST		BARNETT STRUCTURES COPYRIGHT ©			
				ELEVATION	
SCALE	SIZE	SHEET	PROJECT #	DRAWING	REV.
					2

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REVISION				
SYM.	DESCRIPTION	DATE	APPROVAL	CAD
1	STORAGE LAYOUT PROPOSAL	3-29-16	LB	TMN
2	REVISED DRAWING ELEVATION	3/30/16	NIELSEN	TROY



STORAGE LAYOUT

- A - 3,800 SQ. FT. (20X190)
- B - 2,000 SQ. FT. (20X90)
- C - 4,250 SQ. FT.
- D - 2,200 SQ. FT. (20X110)
- E - 4,200 SQ. FT. (30X140)

TOTAL STORAGE - 16,450 SQ. FT.



DRAWN BY: TATE NIELSEN 3-16
 CHECKED: _____
 CHECKED: _____
 ENGINEER: LYNN BARNETT 3-16
 ADDRESS: P.O. BOX 1248
 1199 S. MAIN
 CENTERVILLE, UT
 84014
 PHONE: (801) 294-2950

**KRIEGER
 AMERICAN FORK
 326 SOUTH 860 EAST**

BARNETT
 STRUCTURES
 COPYRIGHT ©

STORAGE LAYOUT

SCALE	SIZE	SHEET	PROJECT #	DRAWING	REV.
					2

Packet Pg. 41

CO

4.5.b

UNAPPROVED MINUTES

1 Mr. Gallo reported there was an 8-inch pressured gas line running south of the I-15 corridor and
 2 they strongly recommend the applicant contact Questar and have an inspector on site while
 3 construction on the foundation was taking place.

4
 5 Public Hearing: There were no public comments.

6
 7 Dan Ford, representing Rich Peg Development, stated they wanted to make sure they do not
 8 have any problems with the gas lines and have had the area blue staked and marked. With
 9 regards to UDOT, the typical protocol was to get the city's approval and permit before they
 10 approach UDOT.

11
 12 Ms. Staten arrived at 7:08 p.m.

13
 14 Mr. Ford noted this would initially be static based but then changed to digital based. It was
 15 noted they would need to coordinate with Rocky Mountain Power for a meter.

16
 17 **Eric Franson moved to recommend approval of the site plan for the placement of a billboard
 18 at 195 East 620 South in the PI-1 (Planning Industrial) Zone with the findings as outlined in
 19 the staff report and subject to any findings, conditions and modifications listed in the
 20 engineering report. Geoff Dupaix seconded the motion. The voting was as follows:**

21
 22 **John Woffinden, Chairman Aye**
 23 **Geoff Dupaix Aye**
 24 **Eric Franson Aye**
 25 **Leonard Hight Aye**
 26 **Rebecca Staten Aye**

27 **The motion carried.**
 28

29 HEARING, REVIEW AND ACTION ON A LAND USE MAP AMENDMENT FROM THE DESIGN
 30 COMMERCIAL TO THE PLANNED COMMUNITY DESIGNATION LOCATED AT 326 SOUTH 860
 31 EAST.

32 It was noted this action item and the following action item would be discussed together, but
 33 would have two separate hearings and motions.

34
 35 Mr. Olsen reported that the Land Use Map Amendment involved changing from the Design
 36 Commercial to the Planned Community Designation and the Zone Map Amendment would
 37 change from the General Commercial to the Planned Community zone. If both are approved,
 38 the applicant would like to bring back for approval a small storage facility, as they feel there
 39 was a market for the residents of the upcoming multifamily development in the area.

40
 41 Mr. Gallo had no additional comments from engineering.

42
 43 Public Hearing: There were no public comments.
 44

UNAPPROVED MINUTES

1 Terry Krieger stated they wanted to get the zone change approved so they could build the small
2 storage unit facility. He noted it would not be climate controlled.

3
4 Chairman Woffinden commented it was legal in the zone and would probably be needed with
5 the housing projects that would be going in.

6
7 **Geoff Dupaix moved to recommend approval of the land use map amendment from the**
8 **Design commercial to the Planned Community designation located at 326 South 860 East.**
9 **Rebecca Staten seconded the motion. The voting was as follows:**

10		
11	John Woffinden, Chairman	Aye
12	Geoff Dupaix	Aye
13	Eric Franson	Aye
14	Leonard Hight	Aye
15	Rebecca Staten	Aye

16 **The motion carried.**

17
18 HEARING, REVIEW AND ACTION ON A ZONE MAP AMENDMENT FROM THE GC-1 GENERAL
19 COMMERCIAL TO THE PC PLANNED COMMUNITY ZONE LOCATED AT 326 SOUTH 860 EAST.
20 This was discussed with the previous action item.

21
22 Public Hearing: There were no comments.

23
24 **Geoff Dupaix moved to recommend approval for the zone map amendment from the GC-1**
25 **General commercial to the PC Planned Community Zone located at 326 South 860 East.**
26 **Rebecca Staten seconded the motion. The voting was as follows:**

27		
28	John Woffinden, Chairman	Aye
29	Geoff Dupaix	Aye
30	Eric Franson	Aye
31	Leonard Hight	Aye
32	Rebecca Staten	Aye

33 **The motion carried.**

34
35 HEARING, REVIEW AND ACTION ON A SITE PLAN FOR THE PACIFIC DRIVE APARTMENTS
36 LOCATED AT 492 WEST PACIFIC DRIVE IN THE R3-7,500 RESIDENTIAL ZONE.

37 Mr. Olsen explained this was a senior housing project brought forward by the Utah County
38 Housing Authority. The proposed site plan included 26 units plus a clubhouse, with six
39 structures having four units and one structure having two units plus the clubhouse. He stated
40 that the land use plan designates this area as high density, so the proposed density does fall
41 within the requirements. The Development Code allows for four units per structure with the
42 structures being single story; this project does meet that requirement. The Development Code
43 also requires one covered parking space per unit which they have provided. Mr. Olsen stated
44 they meet the separation and distance requirements. There was fencing requirement for the



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Ordinance approving a zone map amendment from the GC-1 General Commercial to the PC Planned Community zone located at 326 South 860 East.

SUMMARY RECOMMENDATION The planning commission recommended approval of the zone map amendment from GC-1 General Commercial to the PC Planned Community zone located at 326 South 860 East as stated in the attached minutes of the April 20, 2016 planning commission meeting.

BACKGROUND The applicant proposes a zone map amendment from GC-1 General Commercial to the PC Planned Community zone for the parcel located at 326 South 860 East in order to accommodate a storage facility. For further analysis, please refer to the attached application, concept plan and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I move to adopt the ordinance approving a zone map amendment from the GC-1 General Commercial to the PC Planned Community zone located at 326 South 860 East.

SUPPORTING DOCUMENTS

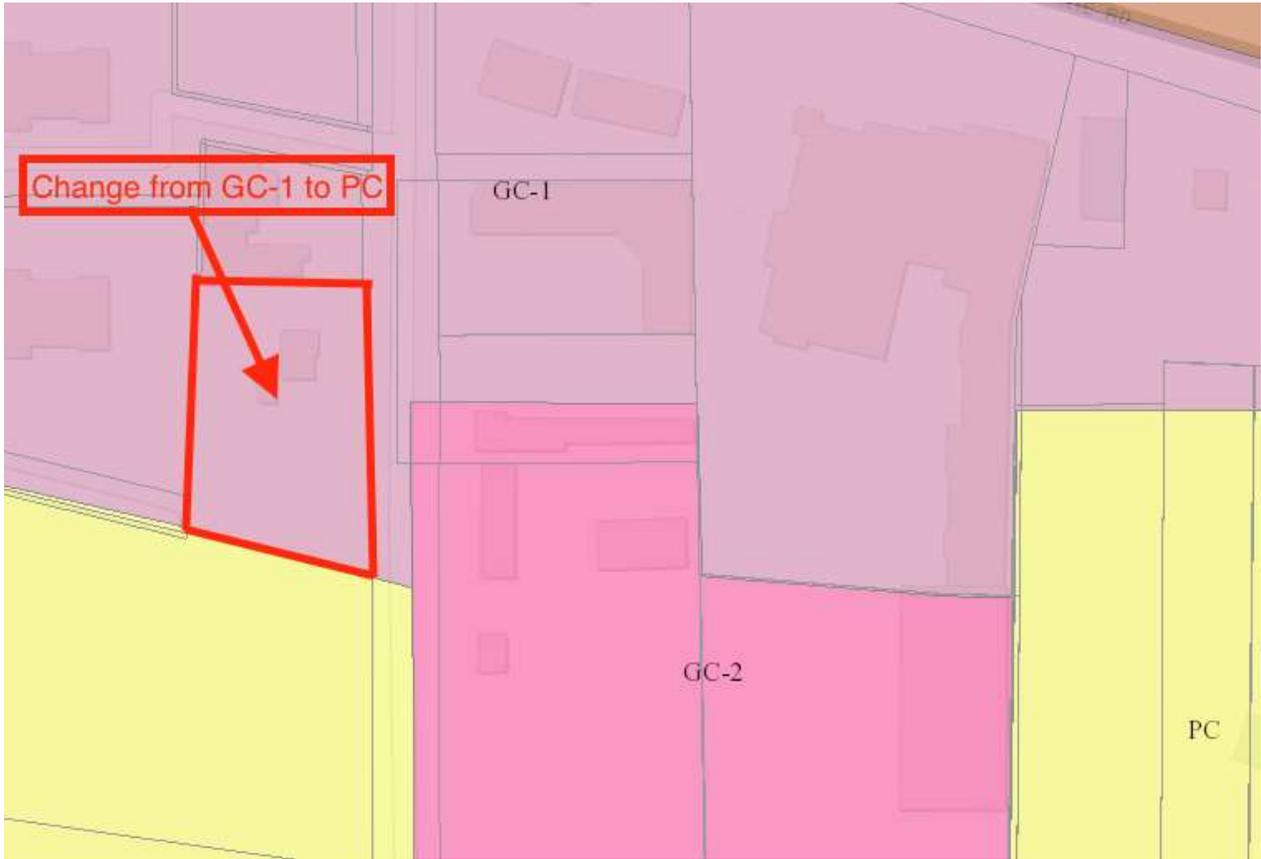
1. Ordinance (DOCX)
2. Application (PDF)
3. Minutes (PDF)

ORDINANCE NO. ____

AN ORDINANCE AMENDING THE OFFICIAL ZONE MAP OF AMERICAN FORK, UTAH.
BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK CITY, UTAH:

PART I

That the Official Zone Map of American Fork, Utah, is hereby amended as shown on the map below, located in the area of 326 South 860 East from the GC-1 General Commercial to the PC Planned Community zone.



Attachment: 1. Ordinance (1319 : Zoning 326 South)

PART II

That said territory shall hereafter be subject to all requirements and conditions applicable with said zone.

PART III

That this Ordinance shall be in force and effect upon its passage and first publication.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK,
UTAH, THIS 10th DAY OF MAY, 2016.

James H. Hadfield, Mayor

ATTEST:

Terilyn Lurker, Deputy Recorder

Attachment: 1. Ordinance (1319 : Zoning 326 South)



AMERICAN FORK CITY – Public Works Department
 275 EAST 200 NORTH, AMERICAN FORK UT 84003
 Phone: 801-763-3060 Fax: 801-763-3005 www.afcity.org

ZONE CHANGE (blue)

Technical Review Committee Submittal Form

Project Name: American Fork Storage
 Location: 326 S. 660 E. AF
 Reason/Description: Vacant land
 Utah County Parcel No(s): 130580119

Property Owner Name: X V HOLDINGS, LLC
 Property Owner Signature: X [Signature]

Property Owner or Authorized Representative Contact Information: (By indicating an authorized representative, all communication from the City regarding the project will be directed to your authorized representative.)

Name: Rob McNeel
 Address: 163 S. 200 E. A.F 84003
 Telephone: 801-860-5500 Fax: _____
 Email: Swiftcreekproperties@gmail.com

Submit the following to Lana Kopecky, Public Works Dept, 275 East 200 North, by 3:00 p.m. on Monday, (date)

- Five paper submittals including plans (sized 11" x 17") and all reports (sized 8.5" x 11")
- Electronic submittal on disc or flash drive:
 - a full plan set in one (1) single pdf
 - an electronic design file AutoCAD 2009 format (N.A.D. 83 Coordinates)
 - reports (drainage, geotechnical, title) each in a separate pdf
- Fee as determined at time of Site Plan Review Fee: \$ 250

Applications will not be accepted without ALL the required submittal materials. The City will not hold partial submittals.

Acceptance of this submittal to the Technical Review Committee (TRC) for review is not an acknowledgement by the City of a complete application. This determination will be made by the TRC in accordance with UCA 10-9a-509.5

By submitting an application, owner/authorized representative hereby authorizes American Fork City Representatives to enter the property for purposes of evaluating this application.

SUBMITTAL CHECKLIST (applicant – check the box to indicate items are included in this submittal)

<input checked="" type="checkbox"/>	Property Size (acres): <u>.91</u>	Current Zone Classification: <u>GC-1</u>
<input checked="" type="checkbox"/>	What changed or changing conditions make the proposed amendment reasonably necessary to promote the purposes of the American Fork City Development Code? (typewritten)	

<input checked="" type="checkbox"/>	Does the proposed zone change conform to the Land Use Plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If no, please submit a request for General Plan Amendment with this application.
<input checked="" type="checkbox"/>	What zone classification are you proposing for the area to be considered? <u>PC</u>
<input checked="" type="checkbox"/>	Map illustrating property to be changed.

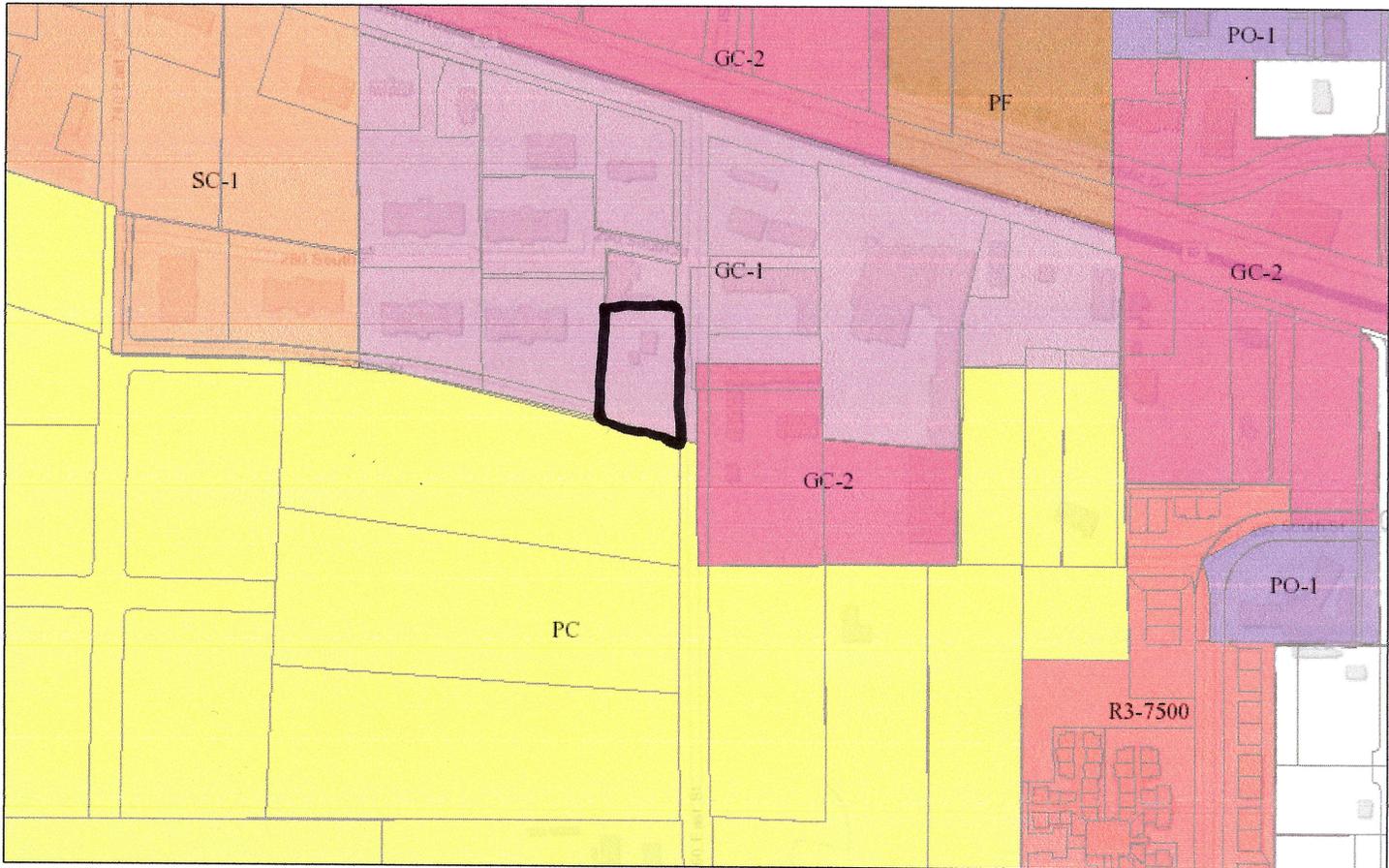
Link to Development Code

<http://library.municode.com/index.aspx?clientId=14764>

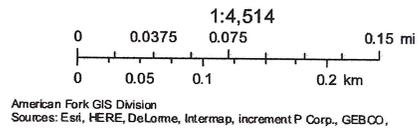
- Amendments – Chapter 17.11
- General Provisions – Sections 17.1.101 and 17.1.102

Attachment: 2. Application (1319 : Zoning 326 South)

In speaking to the city planners it was recommended that we submit for a Zone change from a GC-1 to a PC zone to better accommodate our proposed project. We would like to build a storage facility to serve the local community. With a GC-1 zone we could build a facility but due to the lot size and the setback requirements, it make it difficult financially to work. Under a PC zone section 17.4.407 C2 we are allowed to build said facility with smaller setbacks. It was also mention there may be some flexibility under section 17.4.407 C4.

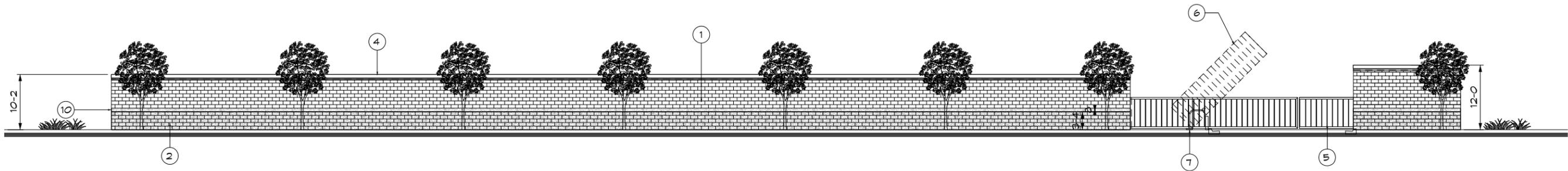


March 30, 2016

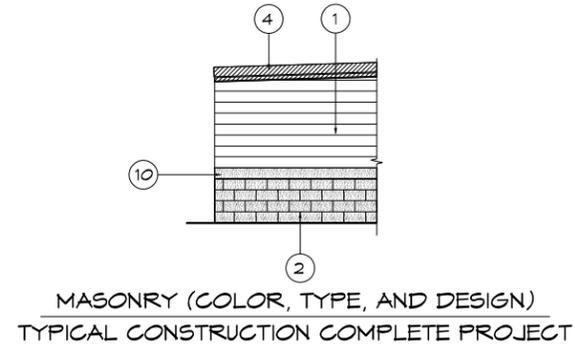
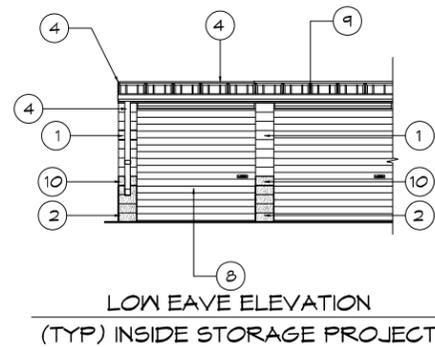


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REVISION				
SYM.	DESCRIPTION	DATE	APPROVAL	CAD
1	STORAGE LAYOUT PROPOSAL	3-29-16	LB	TMN
2	REVISED DRAWING ELEVATION	3/30/16	NIELSEN	TROY



EAST ELEVATION



MATERIAL / FINISH COLOR

- 1. SMOOTH 8" CMU / TBD
- 2. SPLIT FACE 8" CMU / TBD
- 3. SIGNAGE
- 4. METAL CAP FLASHING / TBD
- 5. DECORATIVE (ALUMSTAR) IRON GATE AND FENCE / BLACK
- 6. AUTOMATIC IRON LIFT GATE / TBD
- 7. KEY PAD (CONTROL GATE ACCESS) / TBD
- 8. EXTERIOR METAL - ROLL UP DOORS / TBD
- 9. METAL STANDING SEAM ROOF DECK / GALVALUME+ 266A
- 10. SPLIT FACE 8" CMU / TBD

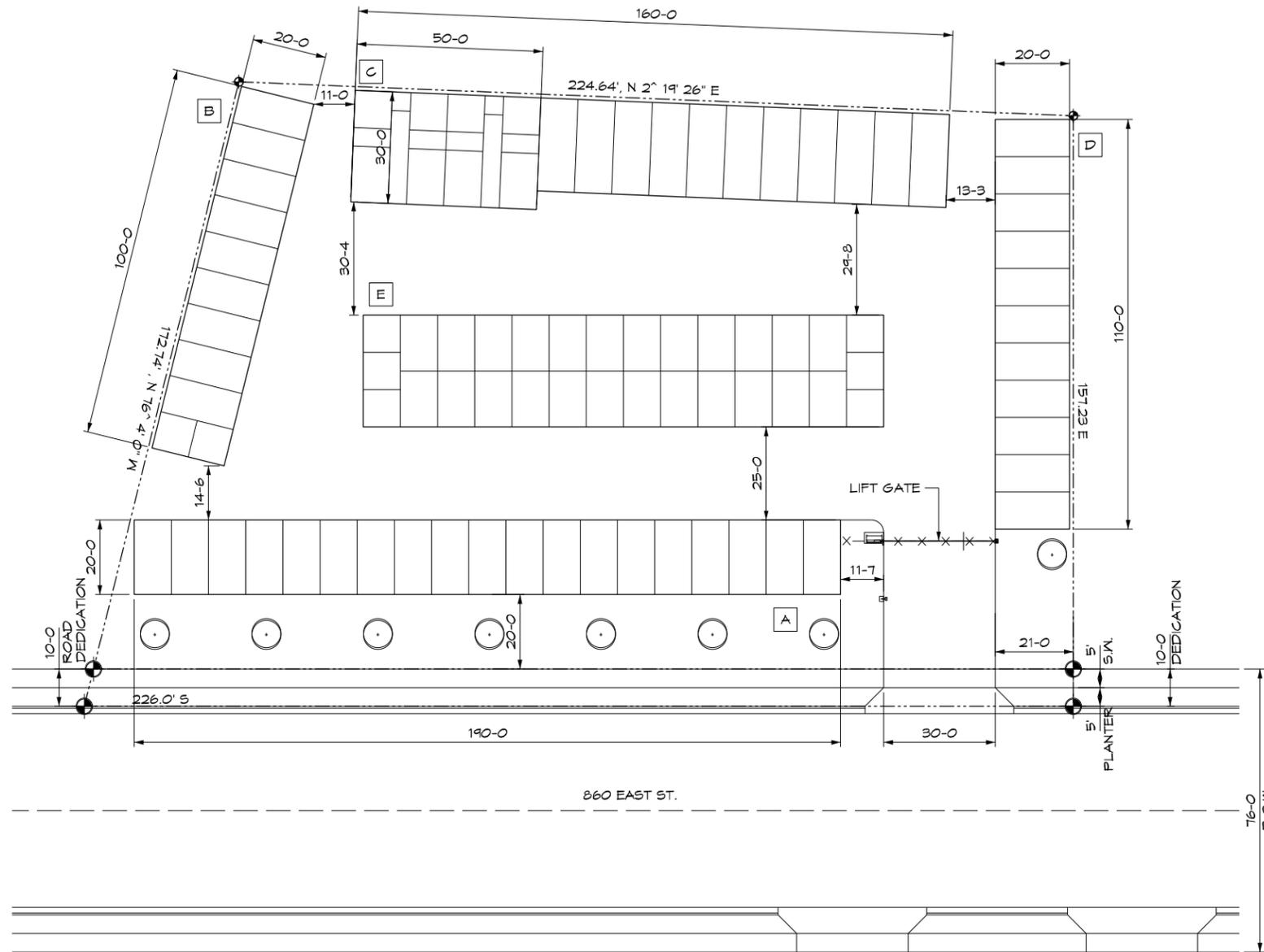


DRAWN BY: TROY NIELSEN
 CHECKED: []
 CHECKED: []
 ENGINEER: LYNN BARNETT
 ADDRESS: P.O. BOX 1248
 1199 S. MAIN
 CENTERVILLE, UT
 84014
 PHONE: (801) 294-2950

KRIEGER AMERICAN FORK 326 SOUTH 860 EAST		BARNETT STRUCTURES COPYRIGHT ©			
				ELEVATION	
SCALE	SIZE	SHEET	PROJECT #	DRAWING	REV.
					2

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REVISION				
SYM.	DESCRIPTION	DATE	APPROVAL	CAD
1	STORAGE LAYOUT PROPOSAL	3-29-16	LB	TMN
2	REVISED DRAWING ELEVATION	3/30/16	NIELSEN	TROY



STORAGE LAYOUT

- A - 3,800 SQ. FT. (20X190)
- B - 2,000 SQ. FT. (20X90)
- C - 4,250 SQ. FT.
- D - 2,200 SQ. FT. (20X110)
- E - 4,200 SQ. FT. (30X140)

TOTAL STORAGE - 16,450 SQ. FT.



DRAWN BY: TATE NIELSEN 3-16
 CHECKED: []
 CHECKED: []
 ENGINEER: LYNN BARNETT 3-16
 ADDRESS: P.O. BOX 1248
 1199 S. MAIN
 CENTERVILLE, UT
 84014
 PHONE: (801) 294-2950

**KRIEGER
 AMERICAN FORK
 326 SOUTH 860 EAST**

BARNETT
 STRUCTURES
 COPYRIGHT ©

STORAGE LAYOUT

SCALE	SIZE	SHEET	PROJECT #	DRAWING	REV.
					2

UNAPPROVED MINUTES

1 Terry Krieger stated they wanted to get the zone change approved so they could build the small
2 storage unit facility. He noted it would not be climate controlled.

3

4 Chairman Woffinden commented it was legal in the zone and would probably be needed with
5 the housing projects that would be going in.

6

7 **Geoff Dupaix moved to recommend approval of the land use map amendment from the**
8 **Design commercial to the Planned Community designation located at 326 South 860 East.**
9 **Rebecca Staten seconded the motion. The voting was as follows:**

10

11 **John Woffinden, Chairman Aye**

12 **Geoff Dupaix Aye**

13 **Eric Franson Aye**

14 **Leonard Hight Aye**

15 **Rebecca Staten Aye**

16

The motion carried.

17

18 HEARING, REVIEW AND ACTION ON A ZONE MAP AMENDMENT FROM THE GC-1 GENERAL
19 COMMERCIAL TO THE PC PLANNED COMMUNITY ZONE LOCATED AT 326 SOUTH 860 EAST.

20 This was discussed with the previous action item.

21

22 Public Hearing: There were no comments.

23

24 **Geoff Dupaix moved to recommend approval for the zone map amendment from the GC-1**
25 **General commercial to the PC Planned Community Zone located at 326 South 860 East.**
26 **Rebecca Staten seconded the motion. The voting was as follows:**

27

28 **John Woffinden, Chairman Aye**

29 **Geoff Dupaix Aye**

30 **Eric Franson Aye**

31 **Leonard Hight Aye**

32 **Rebecca Staten Aye**

33

The motion carried.

34

35 HEARING, REVIEW AND ACTION ON A SITE PLAN FOR THE PACIFIC DRIVE APARTMENTS
36 LOCATED AT 492 WEST PACIFIC DRIVE IN THE R3-7,500 RESIDENTIAL ZONE.

37 Mr. Olsen explained this was a senior housing project brought forward by the Utah County
38 Housing Authority. The proposed site plan included 26 units plus a clubhouse, with six
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42 structures being single story; this project does meet that requirement. The Development Code
43 also requires one covered parking space per unit which they have provided. Mr. Olsen stated
44 they meet the separation and distance requirements. There was fencing requirement for the



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Ordinance approving a site plan for the Pacific Drive Apartments located at 492 West Pacific Drive in the R-3-7,500 Residential zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the commercial site plan for the Pacific Drive Apartments as stated in the attached minutes of the May 10, 2016 planning commission meeting.

BACKGROUND The Housing Authority of Utah County proposes a site plan for a senior housing project consisting of 26 units at 492 West Pacific Drive. This facility will be very similar to the Rosewood Place Project located at 43 North 300 East, which was completed in 2011. For further analysis, please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I motion to adopt the ordinance approving a site plan for the Pacific Drive Apartments located at 492 West Pacific Drive in the R-3-7,500 Residential zone, with instructions to the city recorder to withhold publication of the ordinance subject to:

- All conditions identified in the public record associated with the April 20, 2016 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ordinance (DOC)
2. Site plan (PDF)
3. Staff report (PDF)
4. Minutes (PDF)

ORDINANCE NO.**AN ORDINANCE APPROVING A SITE PLAN FOR THE PACIFIC DRIVE APARTMENTS LOCATED AT 492 WEST PACIFIC DRIVE IN THE R-3-7,500 RESIDENTIAL ZONE.****BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,****PART I****DEVELOPMENT APPROVED - ZONE MAP AMENDED**

- A. The the site plan and plat for the PACIFIC DRIVE APARTMENTS, as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II**ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK,
 UTAH, THIS 10th DAY OF MAY, 2016.

James H. Hadfield, Mayor

ATTEST:

Terilyn Lurker, Deputy Recorder

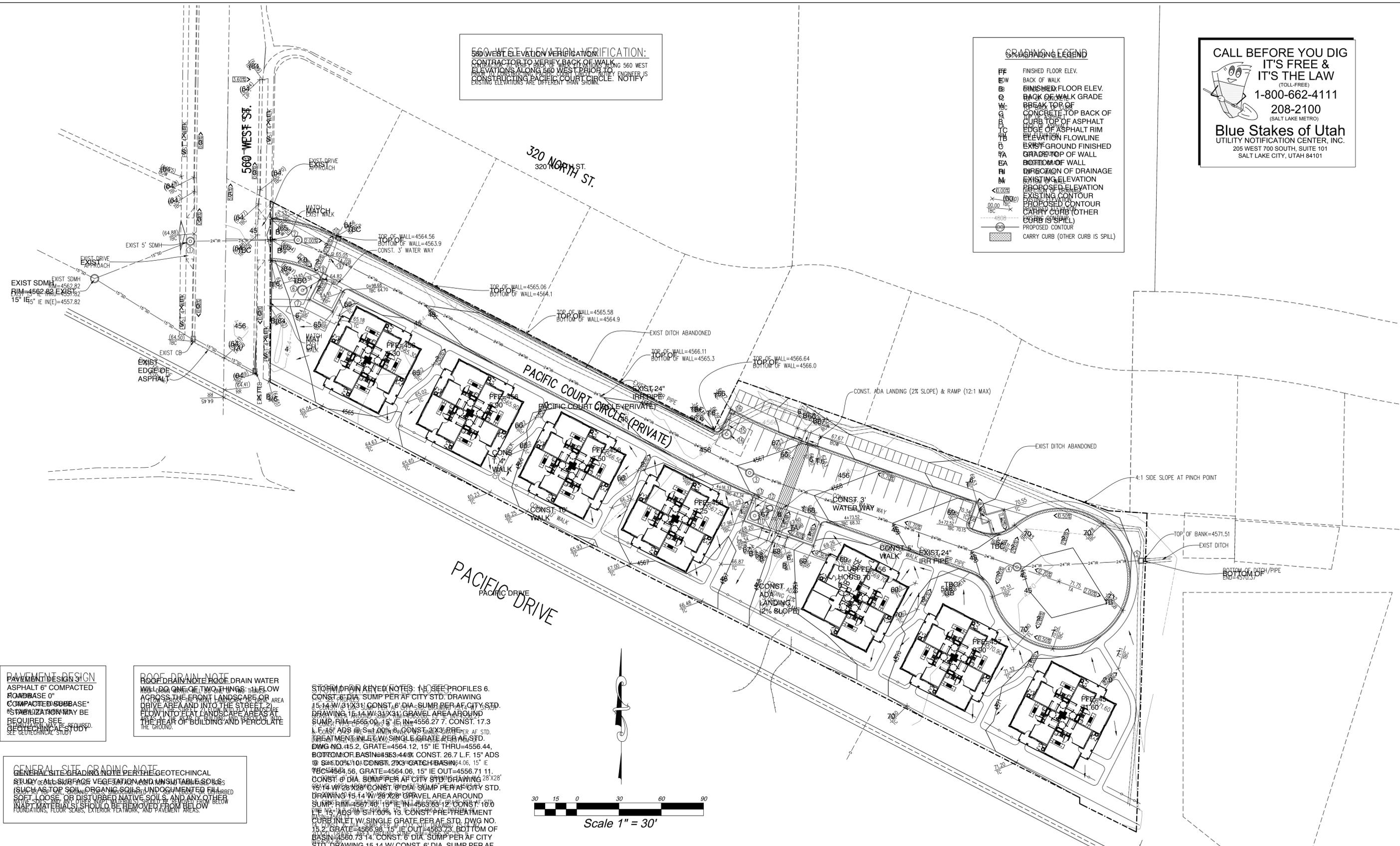
560 WEST ELEVATION VERIFICATION:
CONTRACTOR TO VERIFY BACK OF WALK
ELEVATIONS ALONG 560 WEST PRIOR TO
CONSTRUCTING PACIFIC COURT CIRCLE. NOTIFY
ENGINEER IF ELEVATIONS ARE DIFFERENT THAN SHOWN.

GRADING LEGEND

FF	FINISHED FLOOR ELEV.
EW	BACK OF WALK
B	FINISHED FLOOR ELEV.
BC	BACK OF WALK GRADE
WC	BREAK TOP OF CONCRETE TOP BACK OF CURB
TC	TOP OF ASPHALT EDGE OF ASPHALT RIM
FB	ELEVATION FLOWLINE
G	EXIST. GROUND FINISHED GRADE
TA	TOP OF WALL
EA	BOTTOM OF WALL
DI	DIRECTION OF DRAINAGE
M	EXISTING ELEVATION
PROPOSED ELEVATION	
EXISTING CONTOUR	
PROPOSED CONTOUR	
CARRY CURB (OTHER CURB IS SPILL)	

**CALL BEFORE YOU DIG
IT'S FREE &
IT'S THE LAW**
(TOLL-FREE)
1-800-662-4111
208-2100
(SALT LAKE METRO)

Blue Stakes of Utah
UTILITY NOTIFICATION CENTER, INC.
205 WEST 700 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84101

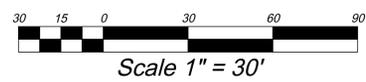


PAVEMENT DESIGN
ASPHALT 6" COMPACTED
ROADBASE 0"
COMPACTED SUBBASE
STABILIZATION MAY BE
REQUIRED. SEE
GEOTECHNICAL STUDY.

ROOF DRAIN NOTE
ROOF DRAIN WATER
WILL DO ONE OF TWO THINGS: 1) FLOW
ACROSS THE FRONT LANDSCAPE OR
DRIVE AREA AND INTO THE STREET, 2)
FLOW INTO FLAT LANDSCAPE AREAS AT
THE REAR OF BUILDING AND PERCOLATE
THE GROUND.

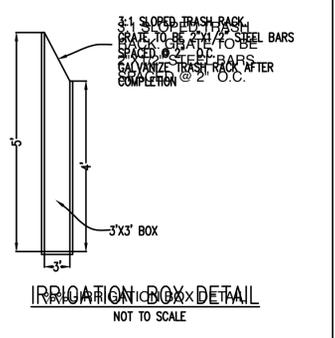
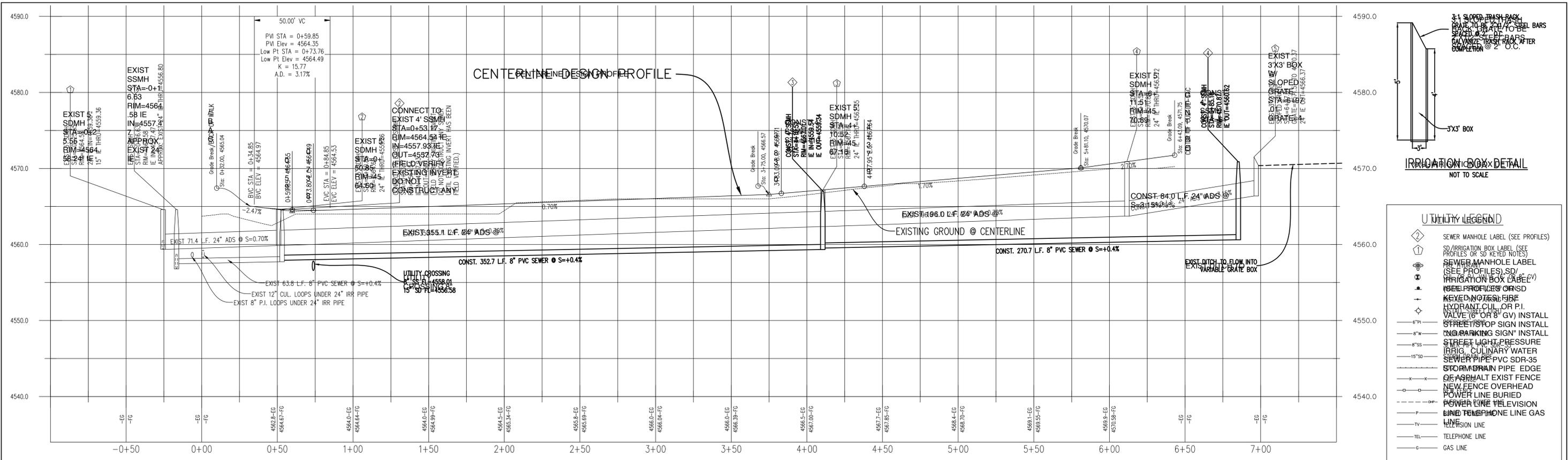
STORM DRAIN KEY NOTES: 1. SEE PROFILES 6.
CONST. 6" DIA. SUMP PER AF CITY STD. DRAWING
15.14 W/ 31" X 31" CONST. 6" DIA. SUMP PER AF CITY STD.
DRAWING 15.14 W/ 31" X 31" GRAVEL AREA AROUND
SUMP. RIM=4566.00. 15" IE IN=4556.27.7. CONST. 17.3
L.F. @ S=1.00% 6" CONST. 3" X 3" PREP. AF STD.
TREATMENT INLET W/ SINGLE GRATE PER AF STD.
DWG NO. 45.2. GRATE=4564.12. 15" IE THRU=4556.44.
BOTTOM OF BASIN=4563.44. CONST. 26.7 L.F. 15" ADS
@ S=1.00% 10" CONST. 2" X 3" GATE BASIN 4.06. 15" IE
THRU=4564.56. GRATE=4564.06. 15" IE OUT=4556.71. 11
CONST. 6" DIA. SUMP PER AF CITY STD. DRAWING 28' X 28'
45.14 W/ 28' X 28' CONST. 8" DIA. SUMP PER AF CITY STD.
DRAWING 15.14 W/ 28' X 28' GRAVEL AREA AROUND
SUMP. RIM=4567.40. 15" IE IN=4563.65. 12" CONST. 10.0
L.F. @ S=1.00% 13. CONST. PREP. TREATMENT
CURB INLET W/ SINGLE GRATE PER AF STD. DWG NO.
15.2. GRATE=4566.98. 15" IE OUT=4563.73. BOTTOM OF
BASIN=4560.73. 14' CONST. 6" DIA. SUMP PER AF CITY
STD. DRAWING 15.14 W/ 20' X 20' GRAVEL AREA AROUND
SUMP. RIM=4566.38. 15" IE IN=4562.40. 15.
CONST. 12.2 L.F. @ S=1.00% 16. CONST. PRE-

GENERAL SITE GRADING NOTE
GENERAL SITE GRADING NOTE PER THE GEOTECHNICAL
STUDY: ALL SURFACE VEGETATION AND UNSUITABLE SOILS
(SUCH AS TOP SOIL, ORGANIC SOILS, UNDOCUMENTED FILL,
SOFT, LOOSE, OR DISTURBED NATIVE SOILS, AND ANY OTHER
HARMFUL MATERIALS) SHOULD BE REMOVED FROM BELOW
FOUNDATIONS, FLOOR SLABS, EXTERIOR FLOORING, AND PAVEMENT AREAS.



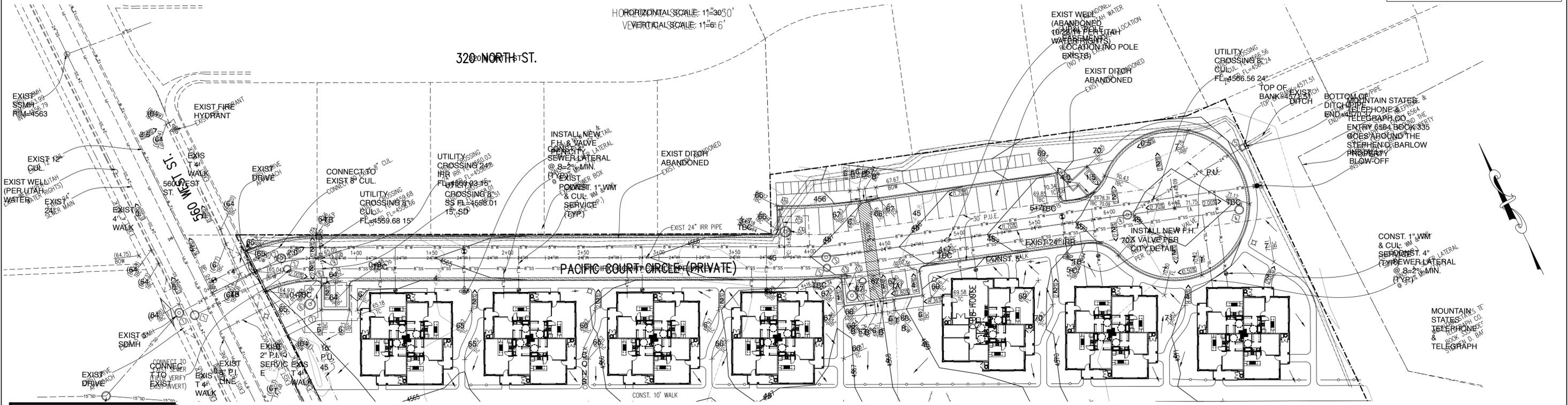
**PRELIMINARY PLAN -
NOT FOR CONSTRUCTION**

BENCH MARK EAST QUARTER CORNER, SECTION 15, TOWNSHIP 5, SOUTH RANGE 4, EAST.	REVISIONS			HOUSING AUTHORITY OF UTAH COUNTY c/o Brent Bluth 63 North 400 West, Provo, Utah 84601 Phone: 801-375-2205, Ext. 106 EXCEL ENGINEERING David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504, F: (801) 756-4511	PACIFIC DRIVE APARTMENTS AMERICAN FORK UTAH	
	Rev.	Date	Description		App'd	Drawn by: D.W.P. Designed by: D.W.P. Checked by: D.W.P.



UTILITY LEGEND

- ② SEWER MANHOLE LABEL (SEE PROFILES)
- ① SD IRRIGATION BOX LABEL (SEE PROFILES OR SD KEYED NOTES)
- ⊕ SEWER MANHOLE LABEL (SEE PROFILES) SD IRRIGATION BOX LABEL
- ⊕ KEYED NOTES FIBRE
- ⊕ HYDRANT CUL. OR P.I. VALVE (6\"/>
- ⊕ 6\"/>
- ⊕ 8\"/>
- ⊕ 8\"/>
- ⊕ 15\"/>
- ⊕ SEWER PIPE-PVC SDR-35
- ⊕ STORM MAIN PIPE EDGE
- ⊕ ASPHALT EXIST FENCE
- ⊕ NEW FENCE OVERHEAD
- ⊕ POWER LINE BURIED
- ⊕ TELEVISION
- ⊕ BUND TELEPHONE LINE GAS
- ⊕ TELEVISION LINE
- ⊕ TELEPHONE LINE
- ⊕ GAS LINE

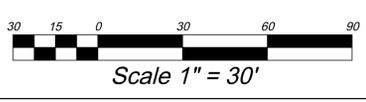


PACIFIC COURT CIRCLE PLAN/PROFILE

CALL BEFORE YOU DIG
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IT'S THE LAW
(TOLL-FREE)
1-800-662-4111
208-2100
(SALT LAKE METRO)
Blue Stakes of Utah
UTILITY NOTIFICATION CENTER, INC.
205 WEST 700 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84101

560 WEST ELEVATION VERIFICATION:
CONTRACTOR TO VERIFY BACK OF WALK 560 WEST ELEVATIONS ALONG 560 WEST PRIOR TO ANY ENGINEER IS CONSTRUCTING PACIFIC COURT CIRCLE. NOTIFY

PRELIMINARY PLAN - NOT FOR CONSTRUCTION



REVISIONS

Rev.	Date	Description	App'd
1	03/31/16	REVISED AS PER AF CITY COMMENTS DATED 03/31/16	

HOUSING AUTHORITY OF UTAH COUNTY
c/o Brent Bluth
63 North 400 West, Provo, Utah 84601
Phone: 801-375-2205, Ext. 106

PACIFIC DRIVE APARTMENTS
AMERICAN FORK UTAH

EXCE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; F: (801) 756-4511

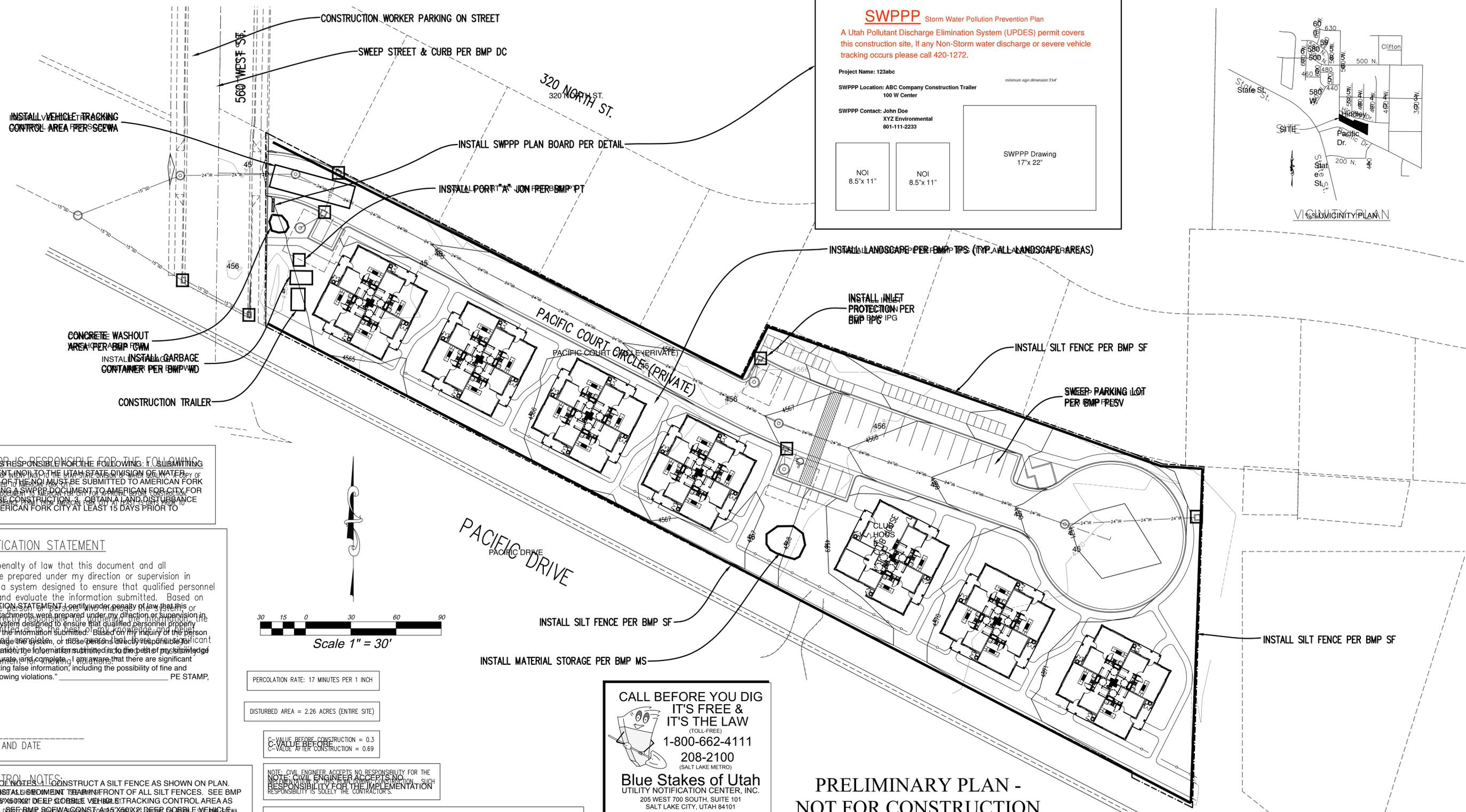
Drawn by: D.W.P.
Designed by: D.W.P.
Checked by: D.W.P.

PACIFIC COURT CIRCLE PLAN/PROFILE

Scale: 1"=30'
Date: 03/15/16
C5

PACIFIC DRIVE APARTMENTS

ADDRESS: 560 WEST 330 NORTH



SWPPP Storm Water Pollution Prevention Plan

A Utah Pollutant Discharge Elimination System (UPDES) permit covers this construction site. If any Non-Storm water discharge or severe vehicle tracking occurs please call 420-1272.

Project Name: 123abc

SWPPP Location: ABC Company Construction Trailer
100 W Center

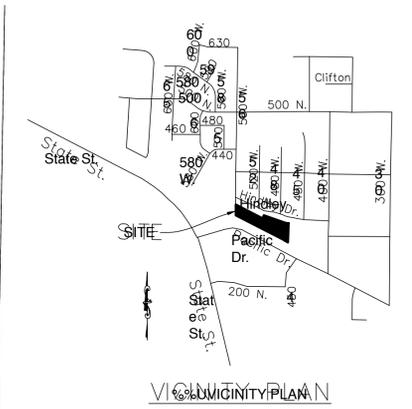
SWPPP Contact: John Doe
XYZ Environmental
801-111-2233

NOI 8.5' x 11"

NOI 8.5' x 11"

SWPPP Drawing 17' x 22"

minimum sign dimension 3' x 4'

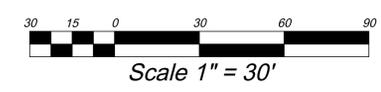


SITE OPERATOR IS RESPONSIBLE FOR THE FOLLOWING: 1. SUBMITTING A NOTICE OF INTENT (NOI) TO THE UTAH STATE DIVISION OF WATER QUALITY & A COPY OF THE NOI MUST BE SUBMITTED TO AMERICAN FORK CITY. 2. SUBMITTING A SWPPP DOCUMENT TO AMERICAN FORK CITY FOR APPROVAL BEFORE CONSTRUCTION. 3. OBTAIN A LAND DISTURBANCE PERMIT FROM AMERICAN FORK CITY AT LEAST 15 DAYS PRIOR TO CONSTRUCTION.

SWMP CERTIFICATION STATEMENT

"I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gather and evaluate the information submitted. Based on my review and the information submitted, I certify that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to ensure that qualified personnel properly gathered and evaluated the information submitted. Based on my inquiry of the person or persons who made the system, or those persons directly responsible for gathering the information, and my review and evaluation of that information, I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations."

PE STAMP, SIGN AND DATE



PERCOLATION RATE: 17 MINUTES PER 1 INCH

DISTURBED AREA = 2.26 ACRES (ENTIRE SITE)

C-VALUE BEFORE CONSTRUCTION = 0.3
C-VALUE AFTER CONSTRUCTION = 0.69

EROSION CONTROL NOTES:

1. CONSTRUCT A SILT FENCE AS SHOWN ON PLAN. SEE BMP SF 2. INSTALL SEDIMENT BARRIERS IN FRONT OF ALL SILT FENCES. SEE BMP ST 3. CONSTRUCT DEEP GOBBLE VEHICLE TRACKING CONTROL AREA AS SHOWN ON PLAN. SEE BMP SCVA 4. CONSTRUCT DEEP GOBBLE VEHICLE TRACKING CONTROL AREA AS SHOWN ON PLAN. SEE BMP SCEWA 5. CONSTRUCT CONCRETE WASH OUT AREA. SEE BMP CWM 6. CONSTRUCT GARBAGE CONTAINER. SEE BMP WD 7. CONSTRUCT PORTABLE TOILET. SEE BMP PT 8. CONSTRUCT MATERIAL STORAGE AREA. SEE BMP MS 9. CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION AND MAINTENANCE OF BMP'S DURING CONSTRUCTION. 10. CONTRACTOR TO WATER SITE AT LEAST WEEKLY OR MORE FREQUENTLY AS NEEDED TO CONTROL DUST POLLUTION. 11. SWEEP STREET AND PARKING LOT. SEE BMP DC & PLSV 12. INSTALL LANDSCAPING. SEE BMP TPS 13. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE BMP'S. CONTACT DEVELOPER FOR CONTRACTOR INFORMATION.

NOTE: CIVIL ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE IMPLEMENTATION OF THE SWPPP. RESPONSIBILITY FOR THE IMPLEMENTATION IS SOLELY THE CONTRACTOR'S.

SWPPP CONTACT LIST:

CONTACT COMPANY	PHONE CONTACT	CONTACT NAME	PHONE CONTACT
DRAIN SEWER	(801) 404 6162	Aaron Brems	(801) 404 6162
AF STORM WATER INSPECTOR	(801) 404 6361	Harriet Nilsson	(801) 404 6361
AF FLOOD CONTROL	(801) 756 6626	Timpanogos	(801) 756 6626
AF FLOOD IRRIGATION COMPANY	(801) 756 5231	Edgar Johns	(801) 756 5231
LEHI CITY WATER	(801) 836 1036	Jeff Mitchell	(801) 836 1036
MITCHELL HOLLOW IRRIGATION	(801) 367 9026	Jeff Mitchell	(801) 367 9026

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208-2100
(SALT LAKE METRO)

Blue Stakes of Utah
UTILITY NOTIFICATION CENTER, INC.
205 WEST 700 SOUTH, SUITE 101
SALT LAKE CITY, UTAH 84101

PRELIMINARY PLAN - NOT FOR CONSTRUCTION

REVISIONS

Rev.	Date	Description	App'd

HOUSING AUTHORITY OF UTAH COUNTY

c/o Brent Bluth
63 North 400 West, Provo, Utah 84601
Phone: 801-375-2205, Ext. 106

EXCE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; F: (801) 756-4511

PACIFIC DRIVE APARTMENTS

AMERICAN FORK UTAH

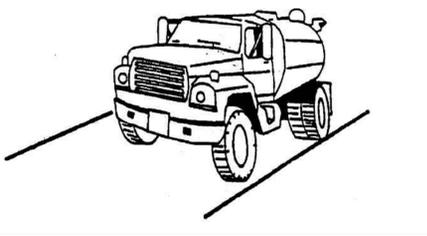
Drawn by: D.W.P.
Designed by: D.W.P.
Checked by: D.W.P.

EROSION CONTROL PLAN

Scale: 1" = 30'
Date: 03/15/16
C6

BMP: Dust Controls

DC



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Dust control measures are used to stabilize soil from wind erosion, and reduce dust by construction activities.

APPLICATION:
Dust control is useful in any process area, loading and unloading area, material handling areas, and transfer areas where dust is generated. Street sweeping is limited to areas that are paved.

INSTALLATION/APPLICATION CRITERIA:

- Two kinds of street sweepers are common: brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.
- Mechanical equipment should be operated according to the manufacturers' recommendations, and should be inspected regularly.
- Water may be sprayed on the ground surface to moisten dry soils, making it less susceptible to wind erosion.

LIMITATIONS:

- Street sweeping is labor and equipment intensive and may not be effective for all pollutants.
- Water sprayed from water trucks must be done at a rate such that the water is absorbed in the soil; if excessive amounts of water are used, it may run off, carrying soil with it.

MAINTENANCE:
If excess water results from water spraying, dust-contaminated waters should not be allowed to run off site. Areas may need to be resprayed to keep dust from spreading.

Adapted from Salt Lake County BMP Fact Sheet

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

■ High Impact
 Medium Impact
 Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High Medium Low

BMP: Parking Lot Sweeping/Vacuuuming

PLSV



PROGRAM ELEMENTS

- New Development
- Residential
- Commercial Activities
- Industrial Activities
- Municipal Facilities
- Illegal Discharges

DESCRIPTION:
Reduce the discharges of pollutants to stormwater from parking lot surfaces by conducting parking lot cleaning on a regular basis.

APPROACH:

- Restrict parking prior to and during sweeping.
- Establish frequency of sweeping based on anticipated need and observations of debris or sediment accumulation.
- Increase sweeping frequency just before the rainy season.
- Lots that generate greater amounts of debris or sediment must be swept more frequently. These include lots associated with or adjacent to recreational, commercial, or industrial areas, or other areas of high vehicle or pedestrian traffic.
- Manually remove debris from corners or other areas of the parking lot that equipment cannot reach.
- Keep accurate operation logs to track programs.
- Equipment selection can be key for this particular BMP. There are two types used: the mechanical broom sweepers (more effective at picking up large debris and clearing wet streets), and the vacuum sweepers (more effective at removing fine particles and associated heavy metals). It may be useful to have the ability to use both kinds.

LIMITATIONS:

- Conventional sweepers are not able to remove oil and grease.
- Mechanical sweepers are not effective at removing finer sediments.
- Effectiveness may also be limited by parking lot conditions, presence of parked vehicles, presence of construction projects, climatic conditions and condition of curbs.

MAINTENANCE:

- Acquisition and maintenance of equipment is generally handled by the company hired to perform the sweeping/vacuuuming.

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Heavy Metals
- Toxic Materials
- Oxygen Demanding Substances
- Oil & Grease
- Floatable Materials
- Bacteria & Viruses

■ High Impact
 Medium Impact
 Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Regulatory
- Training
- Staffing
- Administrative

■ High Medium Low

BMP: Temporary and Permanent Seeding

TPS



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DEFINITION:
Temporary seeding - establishment of short term cover by application of rapidly germinating seed mix (alternatively hydroseeding may be utilized).
Permanent seeding - establishment of final term cover by application of perennial seed mix (alternatively sod may be utilized).

APPLICATION:
Disturbed areas that are at final grade and which will not be disturbed by continuing activities on site. Also areas that are not at final grade but which will be left untouched in excess of one year.

RECOMMENDED SEED MIX:
The recommended seed mix will be dependent on site specific information such as elevation, exposure, soils, water available and topography. Check with the County Extension Service for recommended mixes for site specific conditions:
Utah State University Extension Service
51 South University Avenue, Suite 206
Provo, Utah 84601
phone (801) 370-8460

LIMITATIONS:

- Limited to areas that will not be subject to traffic or high usage.
- May require irrigation and fertilizer which creates potential for impacting runoff quality.
- May only be applied during appropriate planting season; temporary cover required until that time.

INSTALLATION:

- Roughen soil to a depth of 2 inches. Add fertilizer, manure, topsoil as necessary.
- Evenly distribute seed using a commonly accepted method such as broadcast seeding, drilling or hydroseeding.
- Use a seed mix appropriate for soil and location that will provide rapid germination and growth. Check with County Extension Service for recommended mix and application rate.
- Cover area with mulch if required due to steep slopes or unsuitable weather conditions.

MAINTENANCE:

- Provide irrigation as required to establish growth and to maintain plant cover through duration of project.
- Reseed as necessary to provide 75% coverage
- Remediate any areas damaged by erosion or traffic.
- When 75% coverage is achieved inspect monthly for damage and remediate as necessary.

Adapted from Salt Lake County BMP Fact Sheet

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

■ High Impact
 Medium Impact
 Low or Unknown Impact

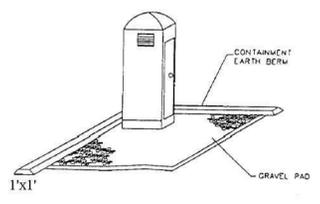
IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High Medium Low

BMP: Portable Toilets

PT



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Temporary onsite sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for onsite personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.
- Stake toilets to prevent them from tipping.

LIMITATIONS:
No limitations.

MAINTENANCE:

- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewers system for treatment with appropriate agency approval.

Adapted from Salt Lake County BMP Fact Sheet

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

■ High Impact
 Medium Impact
 Low or Unknown Impact

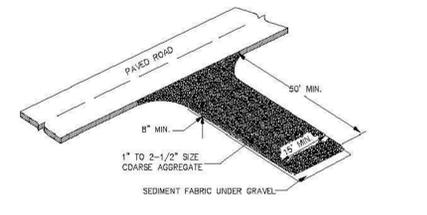
IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High Medium Low

BMP: Stabilized Construction Entrance and Wash Area

SCEWA



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A stabilized pad of crushed stone located where construction traffic enters or leaves the site from or to paved surface. The area can be used to spray off vehicles before they leave the site.

APPLICATIONS:
At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

INSTALLATION/APPLICATION CRITERIA:

- Clear and grub area and grade to provide maximum slope of 2%.
- Compact subgrade and place filter fabric if desired (recommended for entrances to remain for more than 3 months).
- Place coarse aggregate, 1 to 2-1/2 inches in size, to a minimum depth of 8 inches.
- Provide water to the area that can be used to spray off vehicles as needed to prevent the tracking of mud off of the construction site. This may not be needed during dry periods of work, but is needed when construction is proceeding under wet conditions.
- Provide berming as needed to prevent sediment laden wash water from entering storm water facilities or other water bodies, or leaving the site.

LIMITATIONS:

- Requires periodic top dressing with additional stones.
- Should be used in conjunction with street sweeping on adjacent public right-of-way.
- Must be situated such that waste water does not run off site.

MAINTENANCE:

- Inspect daily for loss of gravel or sediment buildup.
- Inspect adjacent roadway for sediment deposit and clean by shoveling and sweeping.
- Repair entrance and replace gravel as required to maintain control in good working condition.
- Expand stabilized area as required to accommodate traffic and prevent erosion at driveways.

Adapted from Salt Lake County BMP Fact Sheet

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

■ High Impact
 Medium Impact
 Low or Unknown Impact

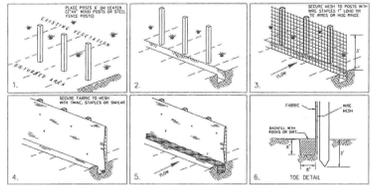
IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High Medium Low

BMP: Silt Fence

SF



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
A temporary sediment barrier consisting of entrenched filter fabric stretched across and secured to supporting posts.

APPLICATION:

- Perimeter control: place barrier at downgradient limits of disturbance
- Sediment barrier: place barrier at toe of slope or soil stockpile
- Protection of existing waterways: place barrier near top of stream bank
- Inlet protection: place fence surrounding catchbasins

INSTALLATION/APPLICATION CRITERIA:

- Place posts 6 feet apart on center along contour (or use preassembled unit) and drive 2 feet minimum into ground. Excavate an anchor trench immediately upgradient of posts.
- Secure wire mesh (14 gage min. with 6 inch openings) to upslope side of posts. Attach with heavy duty 1 inch long wire staples, tie wires or hog rings.
- Cut fabric to required width, unroll along length of barrier and drape over barrier. Secure fabric to mesh with twine, staples, or similar, with trailing edge extending into anchor trench.
- Backfill trench over filter fabric to anchor.

LIMITATIONS:

- Recommended maximum drainage area of 0.5 acre per 100 feet of fence
- Recommended maximum upgradient slope length of 150 feet
- Recommended maximum uphill grade of 2:1 (50%)
- Recommended maximum flow rate of 0.5 cfs
- Ponding should not be allowed behind fence

MAINTENANCE:

- Inspect immediately after any rainfall and at least daily during prolonged rainfall.
- Look for runoff bypassing ends of barriers or undercutting barriers.
- Repair or replace damaged areas of the barrier and remove accumulated sediment.
- Reanchor fence as necessary to prevent shortcutting.
- Remove accumulated sediment when it reaches 1/2 the height of the fence.

Adapted from Salt Lake County BMP Factsheet

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

■ High Impact
 Medium Impact
 Low or Unknown Impact

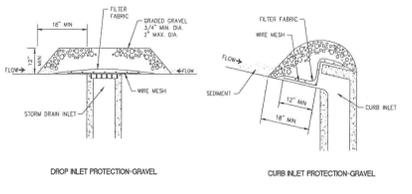
IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High Medium Low

BMP: Inlet Protection - Gravel

IPG



OBJECTIVES

- Housekeeping Practices
- Contain Waste
- Minimize Disturbed Areas
- Stabilize Disturbed Areas
- Protect Slopes/Channels
- Control Site Perimeter
- Control Internal Erosion

DESCRIPTION:
Placement of gravel filter over inlet to storm drain to filter storm water runoff.

APPLICATION:
Construct at inlets in paved or unpaved areas where upgradient area is to be disturbed by construction activities.

INSTALLATION/APPLICATION CRITERIA:

- Place wire mesh (with 1/2 inch openings) over the inlet grate extending one foot past the grate in all directions.
- Place filter fabric over the mesh. Filter fabric should be selected based on soil type.
- Place graded gravel, to a minimum depth of 12-inches, over the filter fabric and extending 18-inches past the grate in all directions.

LIMITATIONS:

- Recommended for maximum drainage area of one acre.
- Excess flows may bypass the inlet requiring down gradient controls.
- Ponding will occur at inlet.

MAINTENANCE:

- Inspect inlet protection after every large storm event and at a minimum of once monthly.
- Remove sediment accumulated when it reaches 4-inches in depth.
- Replace filter fabric and clean or replace gravel if clogging is apparent.

Adapted from Salt Lake County BMP Factsheet

TARGETED POLLUTANTS

- Sediment
- Nutrients
- Toxic Materials
- Oil & Grease
- Floatable Materials
- Other Waste

■ High Impact
 Medium Impact
 Low or Unknown Impact

IMPLEMENTATION REQUIREMENTS

- Capital Costs
- O&M Costs
- Maintenance
- Training

■ High Medium Low

HOUSING AUTHORITY OF UTAH COUNTY
 c/o Brent Bluth
 63 North 400 West, Provo, Utah 84601
 Phone: 801-375-2205, Ext. 106

EXCEL ENGINEERING
 David W. Peterson, P.E., License #270393
 12 West 100 North, Suite 201, American Fork, UT 84003
 P: (801) 756-4504; F: (801) 756-4511

PACIFIC DRIVE APARTMENTS
 AMERICAN FORK UTAH

Drawn by: D.W.P.
 Designed by: D.W.P.
 Checked by: D.W.P.

Scale: 1"=30'
 Date: 03/15/16
 C7

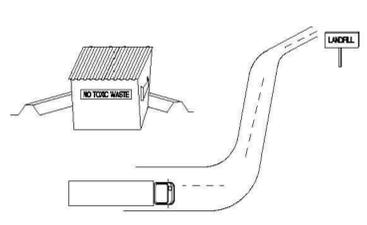
BMP DETAILS

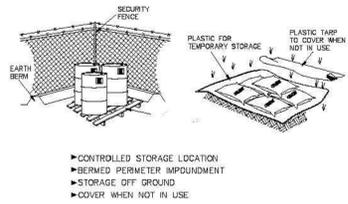
■ High Medium Low

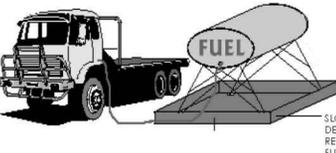
BMP: Concrete Waste Management		CWM
	<p>OBJECTIVES</p> <ul style="list-style-type: none"> <input type="checkbox"/> Housekeeping Practices <input checked="" type="checkbox"/> Contain Waste <input type="checkbox"/> Minimize Disturbed Areas <input type="checkbox"/> Stabilize Disturbed Areas <input type="checkbox"/> Protect Slopes/Channels <input type="checkbox"/> Control Site Perimeter <input type="checkbox"/> Control Internal Erosion 	<p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p>DESCRIPTION: Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.</p> <p>APPLICATIONS: This technique is applicable to all types of sites.</p> <p>INSTALLATION/APPLICATION CRITERIA:</p> <ul style="list-style-type: none"> ▶ Store dry and wet materials under cover, away from drainage areas. ▶ Avoid mixing excess amounts of fresh concrete or cement on-site. ▶ Perform washout of concrete trucks off-site or in designated areas only. ▶ Do not wash out concrete trucks into storm drains, open ditches, streets, or streams. ▶ Do not allow excess concrete to be dumped on-site, except in designated areas. ▶ When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier Information sheet.) ▶ Train employees and subcontractors in proper concrete waste management. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ Off-site washout of concrete wastes may not always be possible. <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ▶ Inspect subcontractors to ensure that concrete wastes are being properly managed. ▶ If using a temporary pit, dispose hardened concrete on a regular basis. 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input type="checkbox"/> Nutrients <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input checked="" type="checkbox"/> Other Waste <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Capital Costs <input type="checkbox"/> O&M Costs <input checked="" type="checkbox"/> Maintenance <input checked="" type="checkbox"/> Training <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

BMP: BMP Inspection and Maintenance		BMPIM
	<p>APPLICATIONS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Manufacturing <input checked="" type="checkbox"/> Material Handling <input checked="" type="checkbox"/> Vehicle Maintenance <input type="checkbox"/> Construction <input type="checkbox"/> Commercial Activities <input type="checkbox"/> Roadways <input checked="" type="checkbox"/> Waste Containment <input checked="" type="checkbox"/> Housekeeping Practices 	
<p>DESCRIPTION: Inspect and maintain all structural BMP's (both existing and new) on a routine basis to remove pollutants from entering storm drain inlets. This includes the establishment of a schedule for inspections and maintenance.</p> <p>APPROACH: Regular maintenance of all structural BMP's is necessary to ensure their proper functionality.</p> <ul style="list-style-type: none"> ▶ Annual Inspections. ▶ Prioritize maintenance to clean, maintain, and repair or replace structures in areas beginning with the highest pollutant loading. ▶ Clean structural BMP's in high pollutant areas just before the wet season to remove sediments and debris accumulated during the summer and fall. ▶ Keep accurate logs of what structures were maintained and when they were maintained. ▶ Record the amount of waste collected. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ Availability of trained staff 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input checked="" type="checkbox"/> Nutrients <input type="checkbox"/> Heavy Metals <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oxygen Demanding Substances <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input type="checkbox"/> Bacteria & Viruses <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> High Impact <input checked="" type="checkbox"/> Medium Impact <input type="checkbox"/> Low or Unknown Impact <p>■ Capital Costs ■ O&M Costs ■ Maintenance ■ Staffing ■ Training ■ Administrative</p> <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

BMP: Vehicle And Equipment Cleaning		VEC
	<p>OBJECTIVES</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Housekeeping Practices <input type="checkbox"/> Contain Waste <input type="checkbox"/> Minimize Disturbed Areas <input type="checkbox"/> Stabilize Disturbed Areas <input type="checkbox"/> Protect Slopes/Channels <input type="checkbox"/> Control Site Perimeter <input checked="" type="checkbox"/> Control Internal Erosion 	<p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p>DESCRIPTION: Prevent or reduce the discharge of pollutants to storm water from vehicle and equipment cleaning by using off-site facilities, washing in designated, contained areas only, eliminating discharges to the storm drain by infiltrating or recycling the wash water, and/or training employees and subcontractors.</p> <p>INSTALLATION/APPLICATION:</p> <ul style="list-style-type: none"> ▶ Use off-site commercial washing businesses as much as possible. Washing vehicles and equipment outdoors or in areas where wash water flows onto paved surfaces or into drainage pathways can pollute storm water. If you wash a large number of vehicles or pieces of equipment, consider conducting this work at an off-site commercial business. These businesses are better equipped to handle and dispose of the wash waters properly. Performing this work off-site can also be economical by eliminating the need for a separate washing operation at your site. ▶ If washing must occur on-site, use designated, bermed wash areas to prevent wash water contact with storm water, creeks, rivers, and other water bodies. The wash area can be sloped for wash water collection and subsequent infiltration into the ground. ▶ Use as little water as possible to avoid having to install erosion and sediment controls for the wash area. Use phosphate-free biodegradable soaps. Educate employees and subcontractors on pollution prevention measures. Do not permit steam cleaning on-site. Steam cleaning can generate significant pollutant concentrations. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ Even phosphate-free, biodegradable soaps have been shown to be toxic to fish before the soap degrades. ▶ Sending vehicles/equipment off-site should be done in conjunction with Stabilized Construction Entrance. <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ▶ Minimal, some berm repair may be necessary. 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input type="checkbox"/> Nutrients <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input type="checkbox"/> Other Waste <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> High Impact <input checked="" type="checkbox"/> Medium Impact <input type="checkbox"/> Low or Unknown Impact <p>■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training</p> <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

BMP: Waste Disposal		WD
	<p>OBJECTIVES</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Housekeeping Practices <input checked="" type="checkbox"/> Contain Waste <input type="checkbox"/> Minimize Disturbed Areas <input type="checkbox"/> Stabilize Disturbed Areas <input type="checkbox"/> Protect Slopes/Channels <input type="checkbox"/> Control Site Perimeter <input type="checkbox"/> Control Internal Erosion 	<p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p>DESCRIPTION: Controlled storage and disposal of solid waste generated by construction activities.</p> <p>APPLICATION: All construction sites.</p> <p>INSTALLATION:</p> <ul style="list-style-type: none"> ▶ Designate one or several waste collection areas with easy access for construction vehicles and personnel. Ensure no waterways or storm drainage inlets are located near the waste collection areas. ▶ Construct compacted earthen berm (See Earth Berm Barrier BMP Fact Sheet), or similar perimeter containment around collection area for impoundment in the case of spills and to trap any windblown trash. ▶ Use waste tight containers with covers to remain closed when not in use. Provide separate containers for different waste types where appropriate and label clearly. ▶ Ensure all on-site personnel are aware of and utilize designated waste collection area properly and for intended use only (e.g., all toxic, hazardous, or recyclable materials shall be properly disposed of separately from general construction waste). ▶ Arrange for periodic pickup, transfer and disposal of collected waste at an authorized disposal location. Include regular Porto-poly service in waste management activities. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ On-site personnel are responsible for correct disposal of waste. <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ▶ Discuss waste management procedures at progress meetings. ▶ Collect site trash daily and deposit in covered containers at designated collection areas. ▶ Check containers for leakage or inadequate covers and replace as needed. ▶ Randomly check disposed materials for any unauthorized waste (e.g., toxic materials). ▶ During daily site inspections check that waste is not being incorrectly disposed of on-site (e.g., burial, burning, surface discharge, discharge to storm drain). 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input type="checkbox"/> Nutrients <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input type="checkbox"/> Other Waste <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> High Impact <input checked="" type="checkbox"/> Medium Impact <input type="checkbox"/> Low or Unknown Impact <p>■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training</p> <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

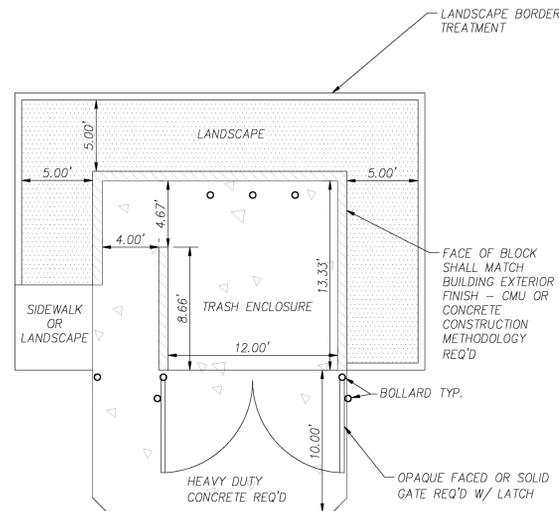
BMP: Materials Storage		MS
	<p>OBJECTIVES</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Housekeeping Practices <input type="checkbox"/> Contain Waste <input type="checkbox"/> Minimize Disturbed Areas <input type="checkbox"/> Stabilize Disturbed Areas <input type="checkbox"/> Protect Slopes/Channels <input type="checkbox"/> Control Site Perimeter <input type="checkbox"/> Control Internal Erosion 	<p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p>DESCRIPTION: Controlled storage of onsite materials.</p> <p>APPLICATION:</p> <ul style="list-style-type: none"> ▶ Storage of hazardous, toxic, and all chemical substances. ▶ Any construction site with outside storage of materials. <p>INSTALLATION/APPLICATION CRITERIA:</p> <ul style="list-style-type: none"> ▶ Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby. ▶ Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills. ▶ Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on-site. ▶ For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ Does not prevent contamination due to mishandling of products. ▶ Spill Prevention and Response Plan still required. ▶ Only effective if materials are actively stored in controlled location. <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ▶ Inspect daily and repair any damage to perimeter impoundment or security fencing. ▶ Verify that materials are being correctly stored (i.e., standing upright, in labeled containers, tightly capped) and that no materials are being stored away from the designated location. 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input type="checkbox"/> Nutrients <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input checked="" type="checkbox"/> Other Waste <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> High Impact <input checked="" type="checkbox"/> Medium Impact <input type="checkbox"/> Low or Unknown Impact <p>■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training</p> <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

BMP: Vehicle And Equipment Fueling		VEF
	<p>OBJECTIVES</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Housekeeping Practices <input type="checkbox"/> Contain Waste <input type="checkbox"/> Minimize Disturbed Areas <input type="checkbox"/> Stabilize Disturbed Areas <input type="checkbox"/> Protect Slopes/Channels <input type="checkbox"/> Control Site Perimeter <input type="checkbox"/> Control Internal Erosion 	<p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p>DESCRIPTION: Prevent fuel spills and leaks, and reduce their impacts to storm water by using off-site facilities, fueling in designated areas only, enclosing or covering stored fuel, implementing spill controls, and training employees and subcontractors.</p> <p>INSTALLATION/APPLICATION:</p> <ul style="list-style-type: none"> ▶ Use off-site fueling stations as much as possible. Fueling vehicles and equipment outdoors or in areas where fuel may spill/leak onto paved surfaces or into drainage pathways can pollute storm water. If you fuel a large number of vehicles or pieces of equipment, consider using an off-site fueling station. These businesses are better equipped to handle fuel and spills properly. Performing this work off-site can also be economical by eliminating the need for a separate fueling area at your site. ▶ If fueling must occur on-site, use designated areas, located away from drainage courses, to prevent the runoff of storm water and the runoff of spills. Discourage "topping-off" of fuel tanks. ▶ Always use secondary containment, such as a drain pan or drop cloth, when fueling to catch spills/leaks. Place a stockpile of spill cleanup materials where it will be readily accessible. Use adsorbent materials on small spills rather than hosing down or burying the spill. Remove the adsorbent materials promptly and dispose of properly. ▶ Carry out all Federal and State requirements regarding stationary above ground storage tanks. (40 CFR Sub. J.) Avoid mobile fueling of mobile construction equipment around the site; rather, transport the equipment to designated fueling areas. With the exception of tracked equipment such as bulldozers and perhaps forklifts, most vehicles should be able to travel to a designated area with little lost time. Train employees and subcontractors in proper fueling and cleanup procedures. <p>LIMITATIONS:</p> <ul style="list-style-type: none"> ▶ Sending vehicles/equipment off-site should be done in conjunction with Stabilized Construction Entrance. <p>MAINTENANCE:</p> <ul style="list-style-type: none"> ▶ Keep ample supplies of spill cleanup materials on-site. ▶ Inspect fueling areas and storage tanks on a regular schedule. 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input type="checkbox"/> Nutrients <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input type="checkbox"/> Other Waste <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> High Impact <input checked="" type="checkbox"/> Medium Impact <input type="checkbox"/> Low or Unknown Impact <p>■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training</p> <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

BMP: Spill Clean-Up		SCU
	<p>OBJECTIVES</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Housekeeping Practices <input type="checkbox"/> Contain Waste <input type="checkbox"/> Minimize Disturbed Areas <input type="checkbox"/> Stabilize Disturbed Areas <input type="checkbox"/> Protect Slopes/Channels <input type="checkbox"/> Control Site Perimeter <input type="checkbox"/> Control Internal Erosion 	<p>Adapted from Salt Lake County BMP Fact Sheet</p>
<p>DESCRIPTION: Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.</p> <p>APPLICATION: All sites</p> <p>GENERAL:</p> <ul style="list-style-type: none"> ▶ Store controlled materials within a storage area. ▶ Educate personnel on prevention and clean-up techniques. ▶ Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response. ▶ Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers. <p>METHODS:</p> <ul style="list-style-type: none"> ▶ Clean-up spills/leaks immediately and remediate cause. ▶ Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL. ▶ Use rags or absorbent material for clean-up. Excavate contaminated soils. Dispose of clean-up material and soil as hazardous waste. ▶ Document all spills with date, location, substance, volume, actions taken and other pertinent data. ▶ Contact local Fire Department and State Division of Environmental Response and Remediation (Phone #801-536-4100) for any spill of reportable quantity. 	<p>TARGETED POLLUTANTS</p> <ul style="list-style-type: none"> <input type="checkbox"/> Sediment <input type="checkbox"/> Nutrients <input type="checkbox"/> Toxic Materials <input type="checkbox"/> Oil & Grease <input type="checkbox"/> Floatable Materials <input type="checkbox"/> Other Waste <p>IMPLEMENTATION REQUIREMENTS</p> <ul style="list-style-type: none"> <input checked="" type="checkbox"/> High Impact <input checked="" type="checkbox"/> Medium Impact <input type="checkbox"/> Low or Unknown Impact <p>■ Capital Costs ■ O&M Costs ■ Maintenance ■ Training</p> <p>■ High <input checked="" type="checkbox"/> Medium <input type="checkbox"/> Low</p>	

<p>HOUSING AUTHORITY OF UTAH COUNTY c/o Brent Bluth 63 North 400 West, Provo, Utah 84601 Phone: 801-375-2205, Ext. 106</p>	
<p>EXCEL ENGINEERING David W. Peterson, P.E., License #270393 12 West 100 North, Suite 201, American Fork, UT 84003 P: (801) 756-4504; F: (801) 756-4511</p>	
<p>PACIFIC DRIVE APARTMENTS AMERICAN FORK UTAH</p>	
<p>Drawn by: D.W.P. Designed by: D.W.P. Checked by: D.W.P.</p>	<p>Scale: 1"=30' Date: 03/15/16 C8</p>

**CITY STANDARD - DUMPSTER/ TRASH ENCLOSURE
STANDARD 17.5.121.B**

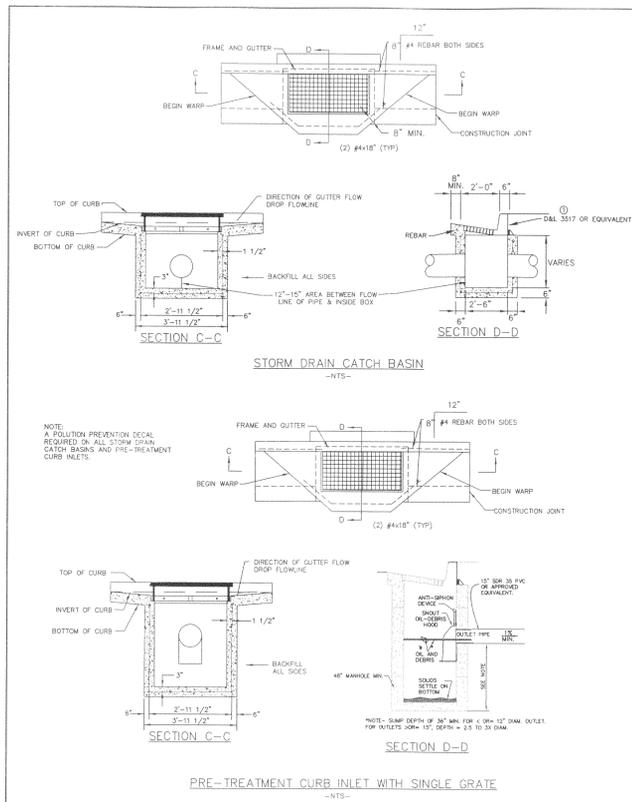


- NOTES:
1. LANDSCAPE SHALL INCLUDE COMBINATION OF TREES AND SHRUBBERY TO CREATE A LANDSCAPE SCREEN FOR THE ENCLOSURE
 2. ENCLOSURE SHALL BE 6' TALL MIN.
 3. ENCLOSURE EXTERIOR FINISH SHALL MATCH THE EXTERIOR OF THE BUILDING FOR WHICH IT SUPPORTS.
 4. ENCLOSURE DIMENSIONS MAY VARY DEPENDING UPON INTENDED USE, AS SUCH, CITY ENGINEER/CITY PLANNER SHALL HAVE THE ABILITY TO REVIEW AND RECOMMEND APPROPRIATE SIZE OF A GIVEN ENCLOSURE FOR A SPECIFIC USE.
 5. A VARIANCE FROM THE REQUIREMENT OF AN ENCLOSURE CAN BE GRANTED BY THE LAND USE AUTHORITY FOR A GIVEN ZONE IF IT CAN BE DEMONSTRATED THAT THE USE FOR THE SITE DOES NOT REQUIRE MORE THAN A TRADITIONAL CURB SIDE PICK UP CONTAINER. CURB SIDE CONTAINER MUST BE AVAILABLE IN THAT AREA TO QUALIFY FOR THIS EXCEPTION.



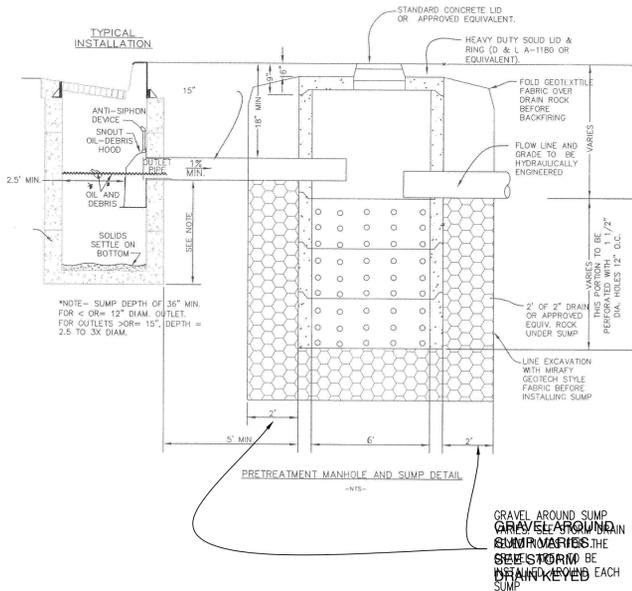
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DATE: NOV. 18, 2010

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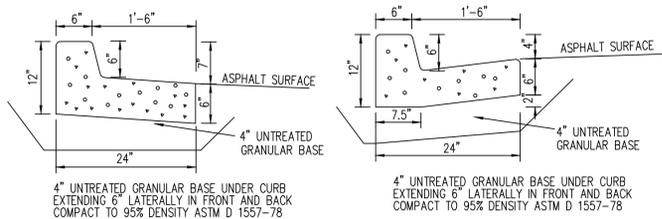


DESIGN: JRP	Northern ENGINEERING AND PLANNING CONSTRUCTION MANAGEMENT	AMERICAN FORK CITY	STANDARD DETAIL FOR CATCH BASIN	DRAWING NO. 15.2
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- NOTES:
- 1) MANHOLE BASE AND ALL SECTIONS SHALL BE PRECAST TO CONFORM TO ASTM C-478
 - 2) THE SUMP SHALL BE CONCRETE.
 - 3) THE PRE-TREATMENT MANHOLE SHALL BE CONSTRUCTED TO ENSURE WATER TIGHTNESS
 - 4) THE SUMP SHALL BE LOCATED 5' OFFSET FROM MANHOLE PERPENDICULAR TO GUTTER ALIGNMENT
 - 5) THE SUMP LID SHALL NOT BE LOCATED IN THE SIDEWALK SECTION.
 - 6) ANY APPROVED EQUIVALENT REQUIRE CITY ENGINEER WRITTEN APPROVAL.

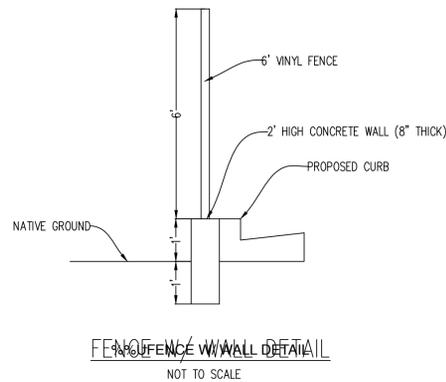


DESIGN: JRP	Northern ENGINEERING AND PLANNING CONSTRUCTION MANAGEMENT	AMERICAN FORK CITY	STANDARD DETAIL FOR PRE-TREATMENT MANHOLE AND SUMP	DRAWING NO. 15.14
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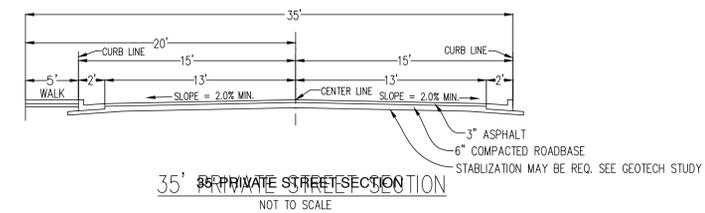


SPILL CURB
NOT TO SCALE

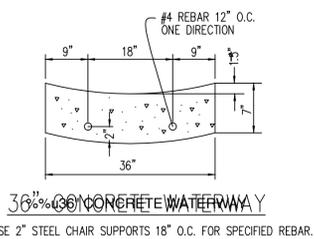
ADA CURB
NOT TO SCALE



FENCE/WALL DETAIL
NOT TO SCALE



35' PRIVATE STREET SECTION
NOT TO SCALE



36" CONCRETE WATERWAY
NOTE: USE 2" STEEL CHAIR SUPPORTS 18" O.C. FOR SPECIFIED REBAR.

**PRELIMINARY PLAN -
NOT FOR CONSTRUCTION**

REVISIONS			
Rev.	Date	Description	App'd

HOUSING AUTHORITY OF UTAH COUNTY
c/o Brent Bluth
63 North 400 West, Provo, Utah 84601
Phone: 801-375-2205, Ext. 106

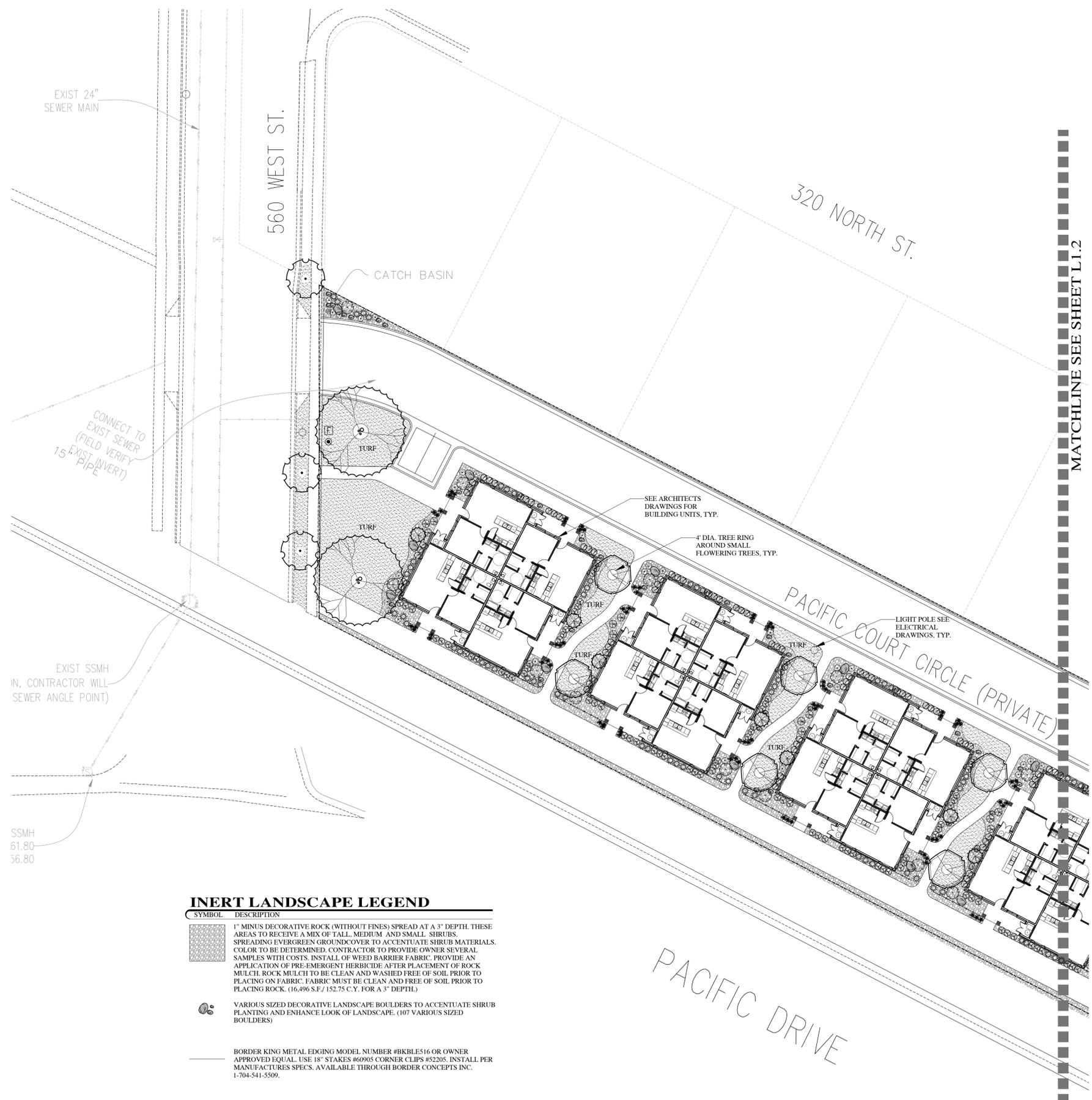
EXCE ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504, F: (801) 756-4511

PACIFIC DRIVE APARTMENTS
AMERICAN FORK UTAH

Drawn by: D.W.P.
Designed by: D.W.P.
Checked by: D.W.P.

Scale: NTS
Date: 03/15/16
C10

DETAIL SHEET



INERT LANDSCAPE LEGEND

SYMBOL	DESCRIPTION
	1" MINUS DECORATIVE ROCK (WITHOUT FINES) SPREAD AT A 3" DEPTH. THESE AREAS TO RECEIVE A MIX OF TALL, MEDIUM AND SMALL SHRUBS. SPREADING EVERGREEN GROUNDCOVER TO ACCENTUATE SHRUB MATERIALS. COLOR TO BE DETERMINED. CONTRACTOR TO PROVIDE OWNER SEVERAL SAMPLES WITH COSTS. INSTALL OF WEED BARRIER FABRIC. PROVIDE AN APPLICATION OF PRE-EMERGENT HERBICIDE AFTER PLACEMENT OF ROCK MULCH. ROCK MULCH TO BE CLEAN AND WASHED FREE OF SOIL PRIOR TO PLACING ON FABRIC. FABRIC MUST BE CLEAN AND FREE OF SOIL PRIOR TO PLACING ROCK. (16,496 S.F./ 152.75 C.Y. FOR A 3" DEPTH).
	VARIOUS SIZED DECORATIVE LANDSCAPE BOULDERS TO ACCENTUATE SHRUB PLANTING AND ENHANCE LOOK OF LANDSCAPE. (107 VARIOUS SIZED BOULDERS)
	BORDER KING METAL EDGING MODEL NUMBER #BKBLE16 OR OWNER APPROVED EQUAL. USE 18" STAKES #60905 CORNER CLIPS #52205. INSTALL PER MANUFACTURERS SPECS. AVAILABLE THROUGH BORDER CONCEPTS INC. 1-704-541-5509.

TREE LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	QUANTITY
	ACER PLATINOIDES 'CRIMSON SENTRY' CRIMSON SENTRY NORWAY MAPLE	2" CALIPER	13
	GLEDITSIA TRICANTHOS 'SHADE MASTER' SHADE MASTER HONEY LOCUST	2" CALIPER	5
	PYRUS CALLERYANA 'CHANTICLEER' CHANTICLEER FLOWERING PEAR	1.1/2" CALIPER	17
	PICEA ABIES 'CUPRESSINA' COLUMNAR NORWAY SPRUCE	5'-6' TALL WHEN IN GROUPING VARY HEIGHTS	24
	PICEA OMORIKA 'WELLS RIVERSIDE' WELLS RIVERSIDE SIBERIAN SPRUCE	6-7' TALL	3

SHRUB LEGEND

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	QUANTITY
	BUXUS MICROPHYLLA ASIATIC 'WINTER GEM' WINTER GEM BOXWOOD	3 GALLON	20
	CORNUS SERICEA 'KELSEY' KELSEYI DOGWOOD	3 GALLON	147
	PICEA PUNGENS 'MRS. CESARINI' MRS. CESARINI COLORADO SPRUCE	3 GALLON	24
	VIBURNUM OPULUS NANUM DWARF EUROPEAN VIBURNUM	3 GALLON	156

PERENNIALS & GRASSES

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	QUANTITY
	CALAMAGROSTIS X A. 'KARL FOERSTER' FEATHER REED GRASS	2 GALLON	165
	HEMEROCALLIS X 'STELLA DE ORO' STELLA DE ORO DAYLILY	2 GALLON	154
	LAVENDULA ANGUSTIFOLIA 'HICOTE BLUE' HICOTE BLUE LAVENDAR	2 GALLON	163
	LAWN, KENTUCKY BLUE GRASS 3 VARIETY MIX MINIMUM.	ROLLS	12,945 S.F.

LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE.
- PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. ANY SUBSTITUTIONS TO BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
- NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO LANDSCAPE INSTALLATION TO ENSURE PROPER WATERING OF ALL LANDSCAPE AREAS. REFER TO IRRIGATION PLANS FOR SPECIFICS.
- NEW LAWN AREAS TO BE SODDED WITH 100% KENTUCKY BLUEGRASS (MINIMUM OF 3 DIFFERENT VARIETIES). FINE LEVEL ALL AREAS PRIOR TO LAYING SOD. SEE SOD LAYING NOTES FOR MORE INFORMATION.
- SANDY LOAM TOPSOIL TO BE INSTALLED AT THE FOLLOWING DEPTHS: 6-12" IMPORTED SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS. INSTALL 4" DEPTH OF SANDY LOAM TOPSOIL (INCLUDING MIN. 15% HIGH GRADE DECOMPOSED ORGANIC MATERIAL MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW LAWN AREAS.
- PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ALLOW FOR TOPSOIL, AMENDMENTS AND MULCH. THE FINISHED GRADE OF LAWN AREAS SHALL BE APPROX. 1" BELOW TOP OF LAWN EDGING, SIDEWALK OR OTHER PAVED AREAS. FINISHED GRADE OF PLANTER AREAS SHALL BE APPROX. 1" BELOW TOP OF CURB, SIDEWALK, OR OTHER PAVED AREA.
- DEWITT 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL ROCK MULCH AREAS. DO NOT INSTALL WEED BARRIER FABRIC UNDER PERENNIALS, ANNUALS, GROUNDCOVERS.
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- IF HIGH WINDS ARE FREQUENT ON SITE, ALL TREES TO BE STAKED AT TIME OF PLANTING. SEE DETAILS FOR SPECIFICS. REMOVE STAKING WITHIN FIRST YEAR OR WHEN TREE IS ESTABLISHED.
- SEE ARCHITECT, ELECTRICAL AND CIVIL PLANS FOR ALL OTHER BUILDING AND SITE INFORMATION.

SOD LAYING NOTES

- LAY SOD WITHIN 24 HOURS OF BEING LIFTED.
- LAY SOD IN ROWS WITH JOINTS STAGGERED. BUTT SECTIONS CLOSELY WITHOUT OVERLAPPING OR LEAVING GAPS BETWEEN SECTIONS. CUT OUT IRREGULAR OR THIN SECTIONS WITH A SHARP KNIFE.
- LAY SOD FLUSH WITH ADJOINING EXISTING SODDED OR PAVED SURFACES.
- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 POUND SOD ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

SCALE: 1"=20' ON 24X36 SHEET

In Site
DESIGN GROUP
Landscape Architecture Land Planning

CALL BEFORE YOU DIG
800-4-A-DIG
800-423-4644

4.8.b

Date: September 10, 2015
Revision: March 7, 2016

ARCHITECT
#4884514
Cory B. Whiting
LICENSED

Alan R. Poulson
Ronald B. Jones
Bruce T. Fallon

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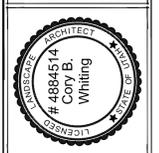
Attachment 2 - Site Plan (1320 - Pacific Drive Apartments Site Plan)

AMERICAN FORK SENIOR HOUSING
UTAH HOUSING
American Fork, Utah
400 West 200 North

L1.1

PLANTING PLAN

Packet Pg. 67



Alan R. Poulson
Ronald B. Jones
Bruce T. Fallon

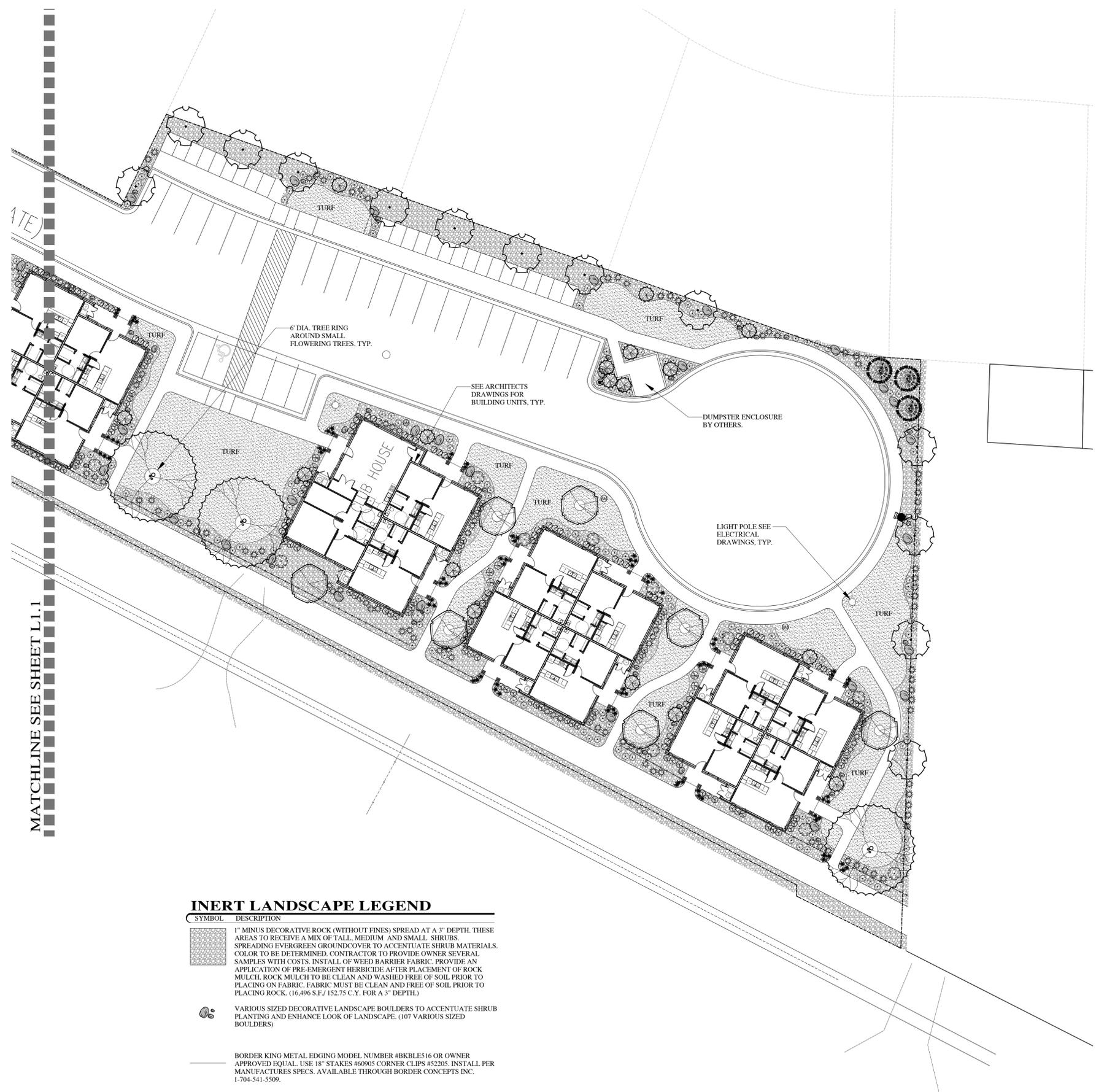
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AMERICAN FORK SENIOR HOUSING
UTAH HOUSING
400 West 200 North
American Fork, Utah

AMERICAN FORK SENIOR HOUSING
UTAH HOUSING
400 West 200 North
American Fork, Utah

L1.2
PLANTING PLAN



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- AFTER SODDING HAS BEEN COMPLETED, ROLL HORIZONTAL SURFACE AREAS IN TWO DIRECTIONS PERPENDICULAR TO EACH OTHER WITH A 150 POUND SOD ROLLER. REPAIR AND RE-ROLL AREAS WITH DEPRESSIONS, LUMPS OR OTHER IRREGULARITIES. HEAVY ROLLING TO CORRECT IRREGULARITIES IN GRADE IS NOT PERMITTED.
- WATER ALL SODDED AREAS IMMEDIATELY AFTER SOD LAYING TO OBTAIN MOISTURE PENETRATION THROUGH SOD INTO TOP 4" OF TOPSOIL.
- PROVIDE ADEQUATE PROTECTION OF SODDED AREAS AGAINST TRESPASSING, EROSION AND DAMAGE OF ANY KIND. REMOVE THIS PROTECTION AFTER SODDED AREAS HAVE BEEN ACCEPTED BY THE OWNER.
- REPLACE DAMAGED AREAS AT NO ADDITIONAL COST TO OWNER.

INERT LANDSCAPE LEGEND

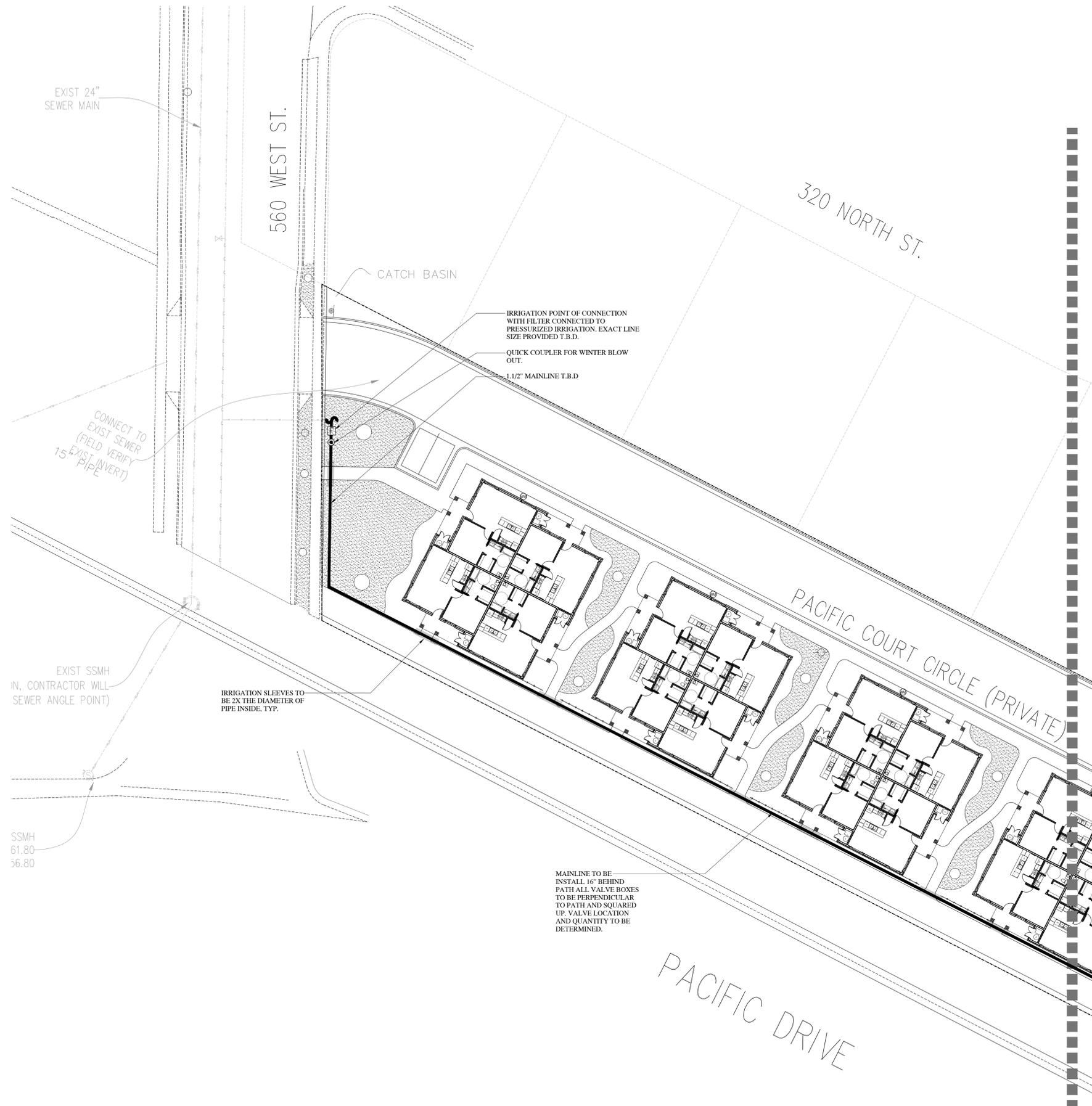
SYMBOL	DESCRIPTION
	1" MINUS DECORATIVE ROCK (WITHOUT FINES) SPREAD AT A 3" DEPTH. THESE AREAS TO RECEIVE A MIX OF TALL, MEDIUM AND SMALL SHRUBS. SPREADING EVERGREEN GROUNDCOVER TO ACCENTUATE SHRUB MATERIALS. COLOR TO BE DETERMINED. CONTRACTOR TO PROVIDE OWNER SEVERAL SAMPLES WITH COSTS. INSTALL OF WEED BARRIER FABRIC. PROVIDE AN APPLICATION OF PRE-EMERGENT HERBICIDE AFTER PLACEMENT OF ROCK MULCH. ROCK MULCH TO BE CLEAN AND WASHED FREE OF SOIL PRIOR TO PLACING ON FABRIC. FABRIC MUST BE CLEAN AND FREE OF SOIL PRIOR TO PLACING ROCK. (16,496 S.F./ 152.75 C.Y. FOR A 3" DEPTH.)
	VARIOUS SIZED DECORATIVE LANDSCAPE BOULDERS TO ACCENTUATE SHRUB PLANTING AND ENHANCE LOOK OF LANDSCAPE. (107 VARIOUS SIZED BOULDERS)
	BORDER KING METAL EDGING MODEL NUMBER #BKBLE16 OR OWNER APPROVED EQUAL. USE 18" STAKES #60905 CORNER CLIPS #52205. INSTALL PER MANUFACTURERS SPECS. AVAILABLE THROUGH BORDER CONCEPTS INC. 1-704-541-5509.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

SCALE: 1"=20' ON 24X36 SHEET

In Site
DESIGN GROUP
Landscape Architecture Land Planning

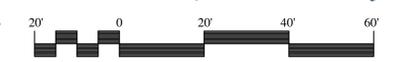
MATCHLINE SEE SHEET L1.1



IRRIGATION NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH APPLICABLE CITY AND/OR COUNTY CODES. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL NECESSARY PERMITS.
2. CONTRACTOR SHALL HAVE ALL UTILITIES BLUE STAKED BEFORE DIGGING. ANY DAMAGE TO THE UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF CONTRACTOR WITH NO EXTRA COST TO THE OWNER.
3. PROVIDE AN AS-BUILT, REPRODUCIBLE DRAWING TO OWNER SHOWING ALL DRAINS, HEADS, VALVES, AND PIPES. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. SPRINKLER SYSTEM TO BE BLOWN OUT WITH AN AIR COMPRESSOR EACH FALL.
4. CONTRACTOR SHALL ONLY USE COMMERCIAL GRADE PRODUCTS AND IS RESPONSIBLE FOR ENSURING ACCURATE COUNTS AND QUANTITIES OF ALL IRRIGATION MATERIALS FOR BIDDING AND INSTALLATION PURPOSES.
5. CONTRACTOR SHALL BUILD IRRIGATION SYSTEM WITH HEAD TO HEAD COVERAGE FOR ALL LAWN AREAS. VAN AND/OR U-SERIES NOZZLES SHALL BE USED WHERE NECESSARY TO PROVIDED HEAD TO HEAD COVERAGE AND/OR TO MINIMIZE OVER SPRAY ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
6. LANDSCAPE CONTRACTOR (L.C.) SHALL PROVIDE AND INSTALL SLEEVES FOR ALL PIPES AND WIRES UNDER PAVEMENT AND SIDEWALKS. SLEEVES SHALL BE 2 SIZES LARGER THAN PIPE INSIDE. ALL WIRE SHALL BE IN SEPARATE SLEEVES (NOT SHOWN). ALL CONTROL WIRE SHALL BE INSTALLED IN CLASS 200 PIPE. PLACE JUNCTION BOXES WHERE NECESSARY TO MINIMIZE LONG RUNS OR AT DIRECTIONAL CHANGES AS NECESSARY.
7. ALL SLEEVES INSTALLED SHALL BE DUCT TAPED TO PREVENT DIRT OR OTHER DEBRIS ENTERING PIPE. ALL SLEEVES SHALL BE IDENTIFIED BY WOOD OR PVC STAKES AND BE SPRAY PAINTED WITH MARKING PAINT. REMOVE STAKES ONCE IRRIGATION SYSTEM IS COMPLETE.
8. MAIN LINE SHALL BE 1.1/4" (UNLESS OTHERWISE DIRECTED). LATERAL LINES SHALL BE NO SMALLER THAN 3/4" UNLESS NOTED ON PLAN. PIPES SHALL CARRY NO MORE THAN THE FOLLOWING: 1/2" MAX. 4 GPM, 3/4" PIPE MAX. 8GPM, 1" PIPE MAX. 13GPM, 1-1/4" PIPE MAX. 23GPM, 1-1/2" PIPE MAX. 30GPM, 2" PIPE MAX. 50 GPM, 2-1/2" PIPE MAX. 75 GPM AND 3" PIPE MAX. 100 GPM. ADJUST LOCATION OF MAINLINE AND LATERAL LINES AS NECESSARY IN ORDER TO AVOID PLACING BOULDERS, TREES AND SHRUBS DIRECTLY OVER MAINLINE AND LATERAL LINES.
9. MAIN LINES SHALL BE 18" DEEP MIN. AND LATERAL LINES 12" DEEP MIN. NO ROCK GREATER THAN 3/4" DIAMETER SHALL BE ALLOWED IN TRENCHES.
10. PLACE PIPES, VALVE BOXES AND ALL OTHER SPRINKLER CONSTRUCTION IN LANDSCAPE AREAS. ALL PIPES SHALL BE ON PROPERTY OF OWNER. MODIFY LOCATION OF VALVE BOXES AS NECESSARY IN ORDER TO AVOID TREES AND SHRUBS PER PLANTING PLAN. DO NOT LOCATE VALVE BOXES IN LAWN AREAS IF POSSIBLE.
11. AT OWNERS REQUEST AND FOR AN ADDITIONAL FEE, LANDSCAPE ARCHITECT SHALL VISUALLY INSPECT ALL TRENCHES PRIOR TO BACKFILLING. CONTRACTOR SHALL GIVE LANDSCAPE ARCHITECT MIN. 72 HR. NOTICE BEFORE INSPECTION IS TO BE MADE. CONTRACTOR SHALL PRESSURE TEST MAINLINE FOR LEAKS PRIOR TO BACKFILLING.
12. ALL SPRINKLERS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID ANY WATER SPRAYING ONTO STREETS, SIDEWALKS AND/OR BUILDINGS.
13. ACTUAL INSTALLATION OF IRRIGATION SYSTEM MAY VARY SOMEWHAT FROM PLANS. CONTRACTOR IS RESPONSIBLE TO MAKE NECESSARY ADJUSTMENTS TO ENSURE PROPER COVERAGE OF ALL LANDSCAPED AREAS.
14. LANDSCAPE CONTRACTOR SHALL MATCH PRECIPITATION RATES AS MUCH AS POSSIBLE FOR ALL LANDSCAPED AREAS.
15. INSTALL ALL HEADS 2" AWAY FROM ALL WALKS AND WALLS. VALVE BOXES SHALL BE INSTALLED SQUARED TO AND 6" MIN. AWAY FROM WALKS AND WALLS.
16. DRIP LINES SHALL BE FLEXIBLE AR PVC TUBING BY GPH. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" TUBING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" TUBING AND FOR DRIP AREAS REQUIRING 8-13 GPM USE 1" TUBING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
17. DRIP LINES SHALL BE RAINBIRD XBS OR XT-700 TUBING DRIP PIPE. FOR DRIP AREAS REQUIRING 0-4 GPM USE 1/2" PIPING. FOR DRIP AREAS REQUIRING 4-8GPM USE 3/4" PIPING. CONTRACTOR TO VERIFY PLANT QUANTITIES ON EACH DRIP LINE AND SIZE PIPE ACCORDINGLY.
18. CONTRACTOR TO INSTALL RAIN BIRD XFD-09-12 ON-SURFACE DRIP LINE FOR GROUNDCOVERS, FLAGSTONE PLANTINGS AND ANNUAL PLANTING AREAS AS NEEDED. MODIFY DRIP ZONES AS NECESSARY TO PROVIDE ADEQUATE COVERAGE TO ALL LANDSCAPED AREAS.
19. POWER TO CONTROLLER TO BE PROVIDED BY ELECTRICAL CONTRACTOR. OWNER TO SPECIFY EXACT LOCATION OF CONTROLLER. IF MOUNTED OUTSIDE, CONTROLLER TO BE MOUNTED IN WEATHERPROOF LOCKING WALL MOUNTED CABINET PER MANUFACTURERS INSTRUCTIONS. LANDSCAPE CONTRACTOR SHALL ENSURE THE CONTROLLER IS GROUNDED PER LOCAL CODE AND PER MANUFACTURER SPEC.
20. IF THE STATIC PRESSURE AT THE POINT OF CONNECTION EXCEEDS 100 PSI, INSTALL A BRASS PRESSURE REDUCER IN-LINE WITH THE RIZZ PER MANUFACTURER SPECS. INSTALL THE RIZZ AND PRESSURE REDUCER IN A LOCKING METAL CABINET. ADJUST PRESSURE AS REQUIRED FOR NORMAL OPERATION OF THE IRRIGATION SYSTEM.
21. INSTALL THE PRS-D OPTION FOR SPRAY VALVES IF THE STATIC PRESSURE AT SPRAY HEADS EXCEEDS 70 PSI.

PRELIMINARY PLAN
NOT FOR CONSTRUCTION



SCALE: 1"=20' ON 24X36 SHEET

4.8.b

Date: September 10, 2015
Revision: March 7, 2016

Alan R. Poulson
Ronald B. Jones
Bruce T. Fallon

4.8.b

475 North Freedom Blvd.
Provo, Utah 84601
Tel: (801) 374-0900
Fax: (801) 374-0905

Attachment: 2. Site plan (1320 - Pacific Drive Apartments Site Plan)

AMERICAN FORK SENIOR HOUSING

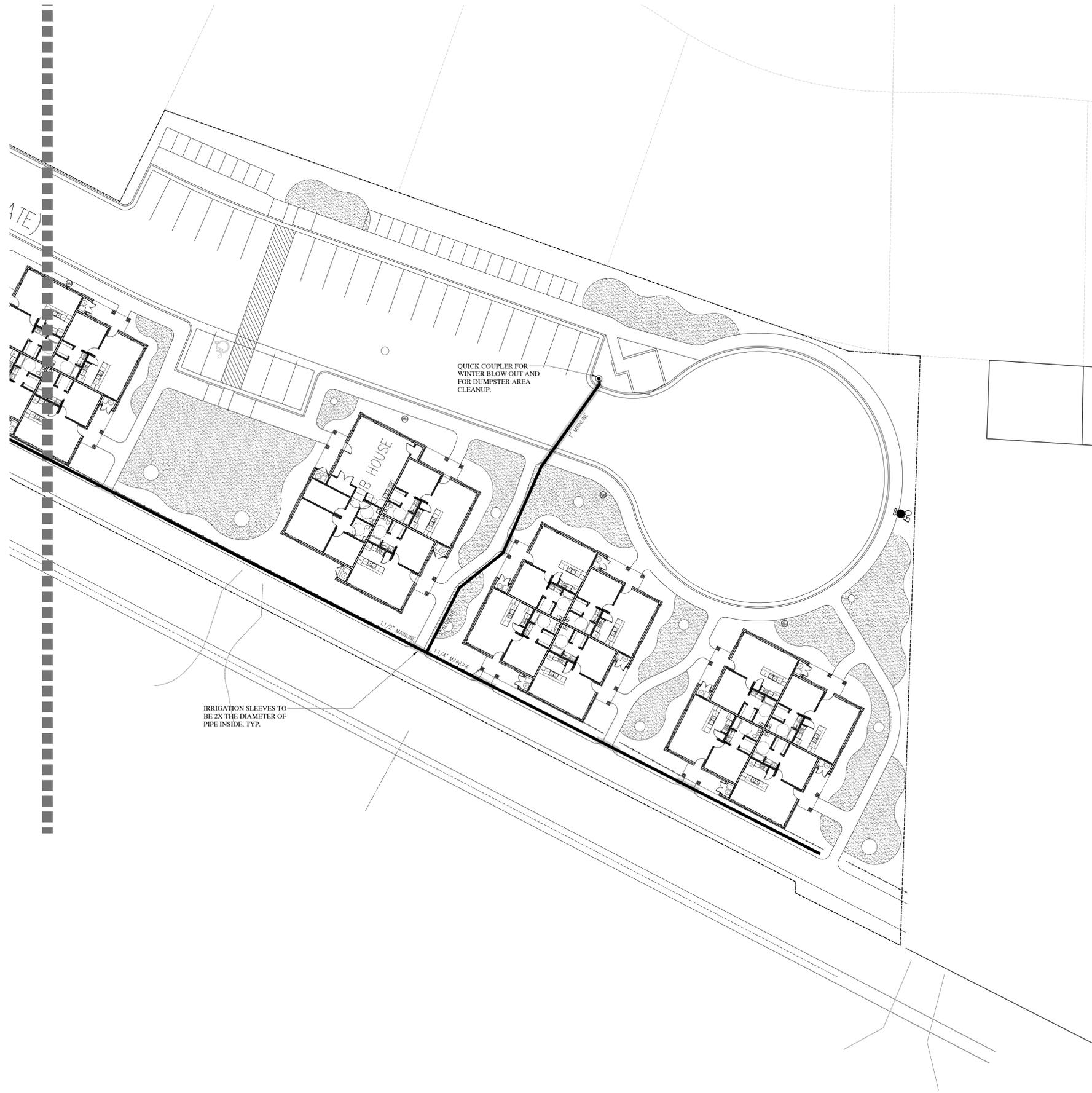
UTAH HOUSING

American Fork, Utah

400 West 200 North

L2.1

IRRIGATION PLAN



QUICK COUPLER FOR WINTER BLOW OUT AND FOR DUMPSTER AREA CLEANUP.

IRRIGATION SLEEVES TO BE 2X THE DIAMETER OF PIPE INSIDE, TYP.

IRRIGATION NOTES

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PRELIMINARY PLAN
NOT FOR CONSTRUCTION

In Site
DESIGN GROUP
Landscape Architecture Land Planning

SCALE: 1"=20' ON 24X36 SHEET



AMERICAN FORK SENIOR HOUSING
UTAH HOUSING
400 West 200 North
American Fork, Utah

L2.2
IRRIGATION PLAN

Date: September 10, 2015
Revision: March 7, 2016

Alan R. Poulson
Ronald B. Jones
Bruce T. Fallon

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ARCHITECTURE
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Provo, Utah 84601
Tel: (801) 374-0900
Fax: (801) 374-0905

Attachment 2 - Site plan (1320 - Pacific Drive Apartments Site Plan)



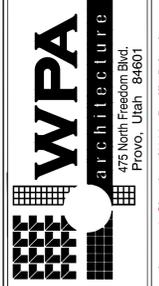
In site
DESIGN GROUP
Landscape Architecture Land Planning

Date: September 10, 2015
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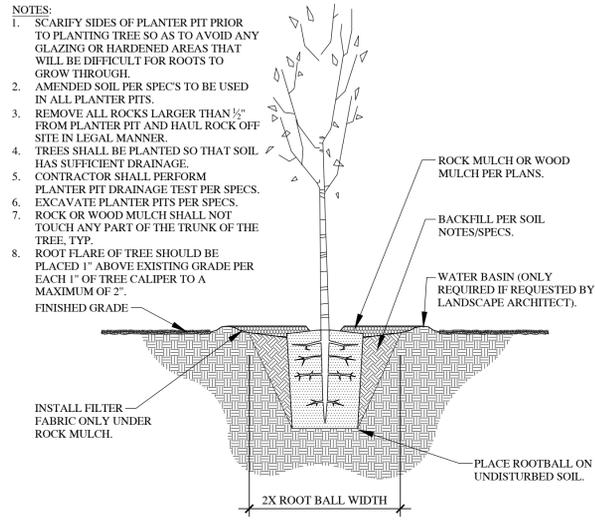
Alan R. Poulson
Ronald B. Jones
Bruce T. Fallon

Task: (801) 374-0900
Fax: (801) 374-0905

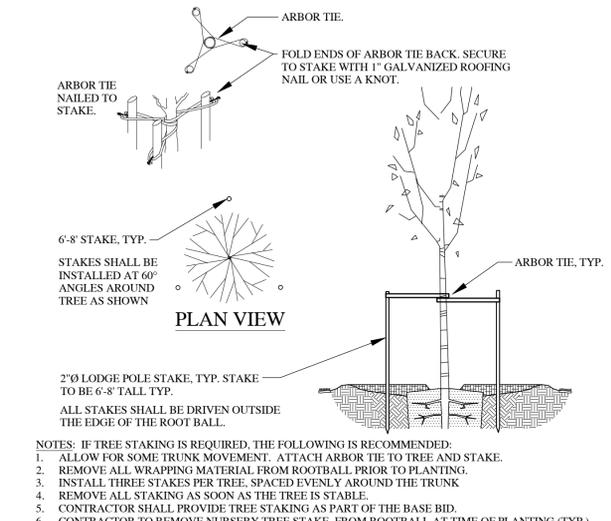


AMERICAN FORK SENIOR HOUSING
UTAH HOUSING
400 West 200 North
American Fork, Utah

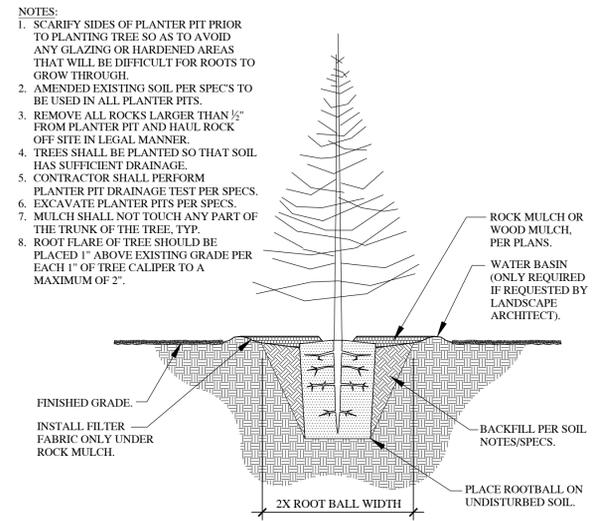
L3.1
PLANTING
DETAILS



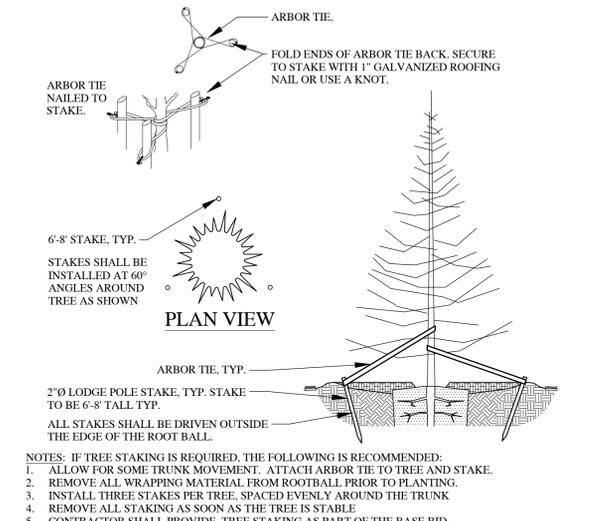
1 DECIDUOUS TREE PLANTING SCALE: NTS



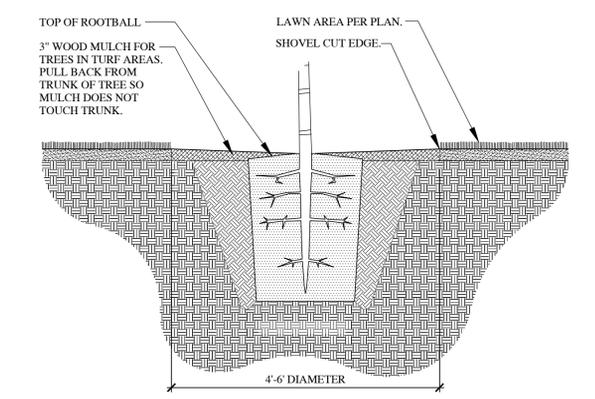
2 DECIDUOUS TREE STAKING SCALE: NTS



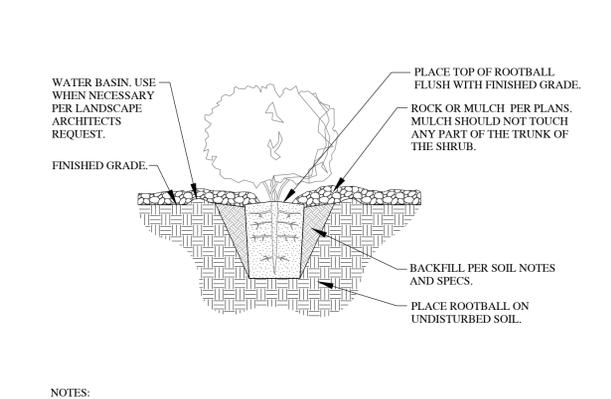
3 EVERGREEN PLANTING SCALE: NTS



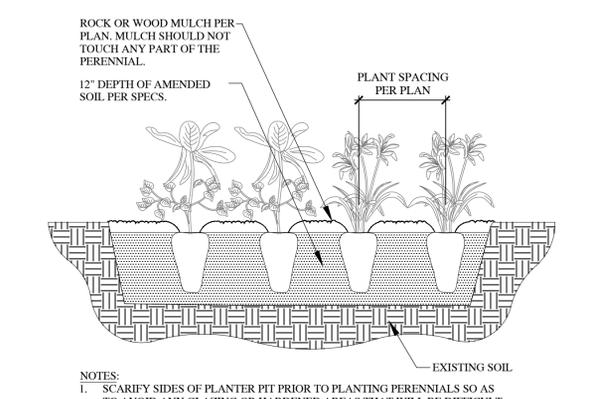
4 EVERGREEN TREE STAKING SCALE: NTS



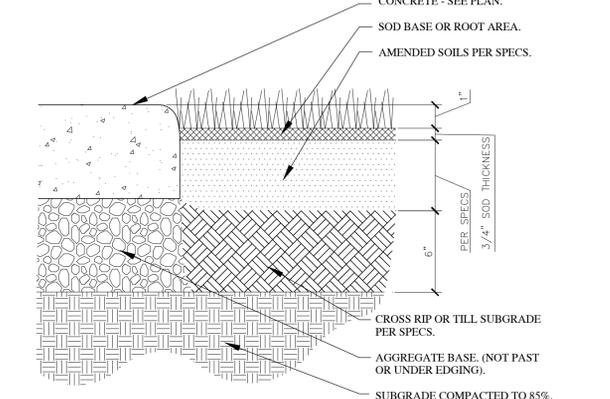
5 TREE WELL IN TURF AREA SCALE: NTS



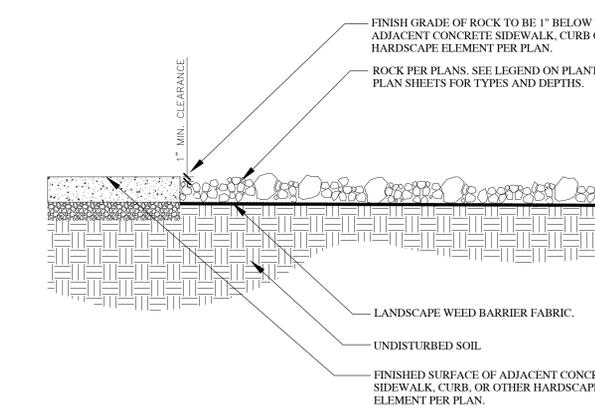
6 SHRUB & ORNAMENTAL GRASS PLANTING SCALE: NTS



7 PERENNIAL PLANTING SCALE: NTS



8 SOD LAYING NEXT TO CONCRETE SCALE: NTS



9 ROCK MULCH AND WEED BARRIER FABRIC SCALE: NTS

PRELIMINARY PLAN
NOT FOR CONSTRUCTION

Attachment: 2. Site plan (1320 - Pacific Drive Apartments Site Plan)



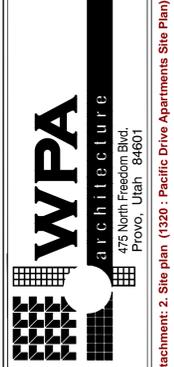
PRELIMINARY PLAN
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Date: September 10, 2015
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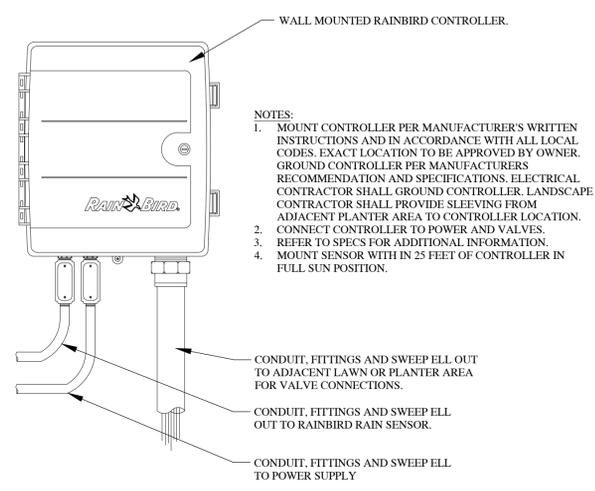
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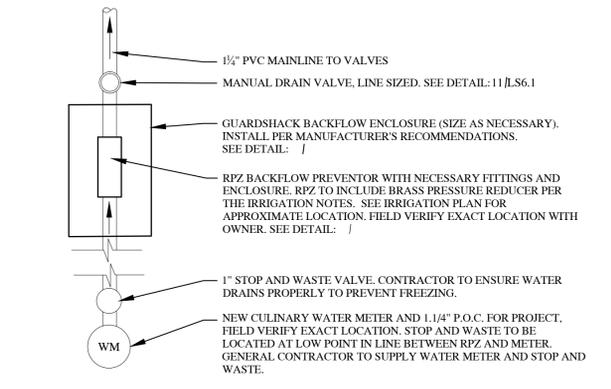
AMERICAN FORK SENIOR HOUSING
UTAH HOUSING
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400 West 200 North

L4.1
IRRIGATION
DETAILS

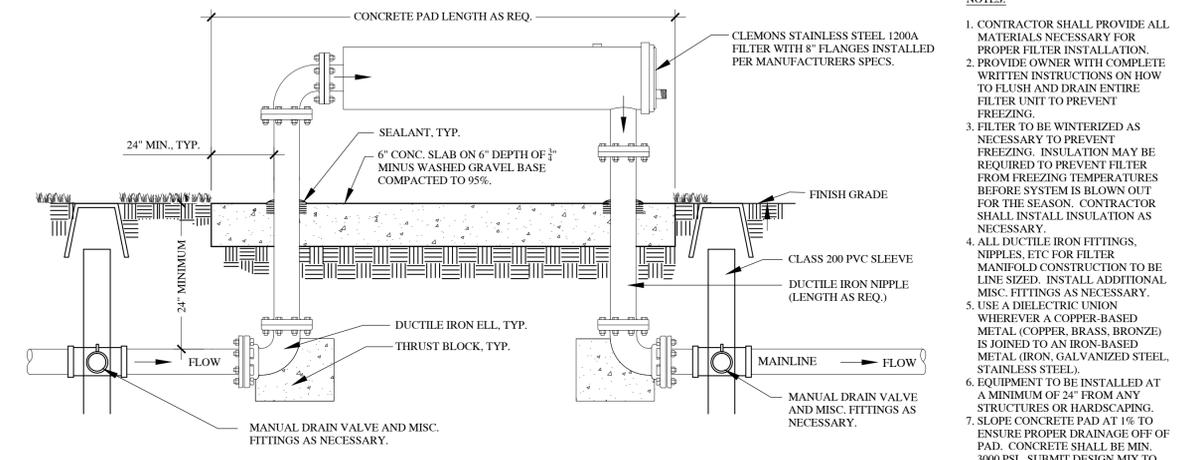


- NOTES:
1. MOUNT CONTROLLER PER MANUFACTURER'S WRITTEN INSTRUCTIONS AND IN ACCORDANCE WITH ALL LOCAL CODES. EXACT LOCATION TO BE APPROVED BY OWNER. GROUND CONTROLLER PER MANUFACTURER'S RECOMMENDATION AND SPECIFICATIONS. ELECTRICAL CONTRACTOR SHALL PROVIDE SLEEVING FROM ADJACENT PLANTER AREA TO CONTROLLER LOCATION.
 2. CONNECT CONTROLLER TO POWER AND VALVES.
 3. REFER TO SPECS FOR ADDITIONAL INFORMATION.
 4. MOUNT SENSOR WITH IN 25 FEET OF CONTROLLER IN FULL SUN POSITION.

1 CONTROLLER WITH SENSOR SCALE: NTS

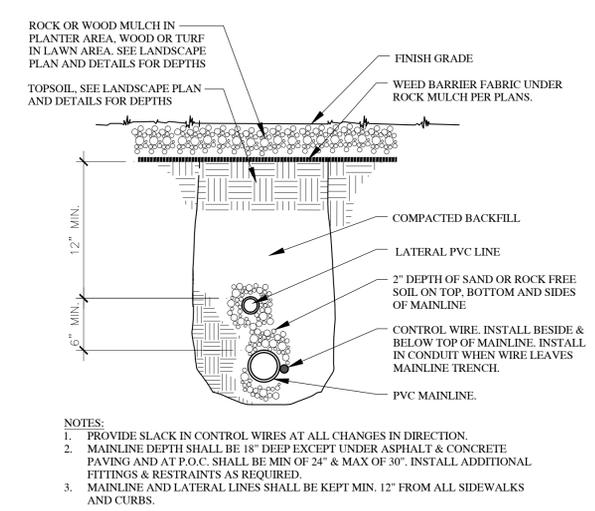


2 1/4" POINT OF CONNECTION SCALE: NTS

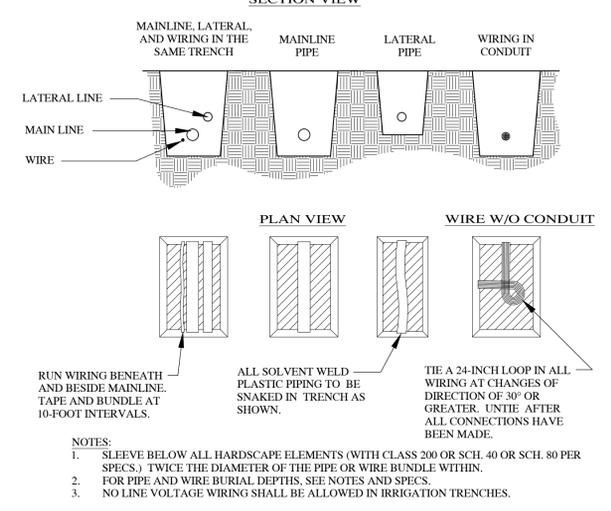


3 CLEMONS 1200A FILTER SCALE: NTS

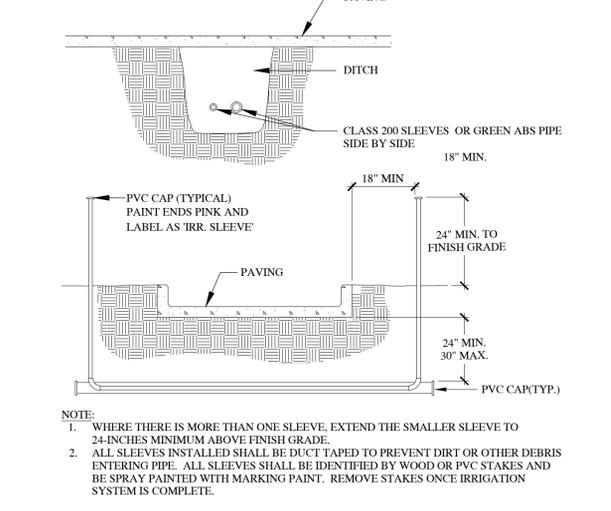
- NOTES:
1. CONTRACTOR SHALL PROVIDE ALL MATERIALS NECESSARY FOR PROPER FILTER INSTALLATION.
 2. PROVIDE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON HOW TO FLUSH AND DRAIN ENTIRE FILTER UNIT TO PREVENT FREEZING.
 3. FILTER TO BE WINTERIZED AS NECESSARY TO PREVENT FREEZING. INSULATION MAY BE REQUIRED TO PREVENT FILTER FROM FREEZING TEMPERATURES BEFORE SYSTEM IS BLOWN OUT FOR THE SEASON. CONTRACTOR SHALL INSTALL INSULATION AS NECESSARY.
 4. ALL DUCTILE IRON FITTINGS, NIPPLES, ETC FOR FILTER MANIFOLD CONSTRUCTION TO BE LINE SIZED. INSTALL ADDITIONAL MISC. FITTINGS AS NECESSARY.
 5. USE A DIELECTRIC UNION WHEREVER A COPPER-BASED METAL (COPPER, BRASS, BRONZE) IS JOINED TO AN IRON-BASED METAL (IRON, GALVANIZED STEEL, STAINLESS STEEL).
 6. EQUIPMENT TO BE INSTALLED AT A MINIMUM OF 24" FROM ANY STRUCTURES OR HARDSCAPING.
 7. SLOPE CONCRETE PAD AT 1% TO ENSURE PROPER DRAINAGE OFF OF PAD. CONCRETE SHALL BE MIN. 3000 PSI. SUBMIT DESIGN MIX TO ARCHITECT FOR APPROVAL.



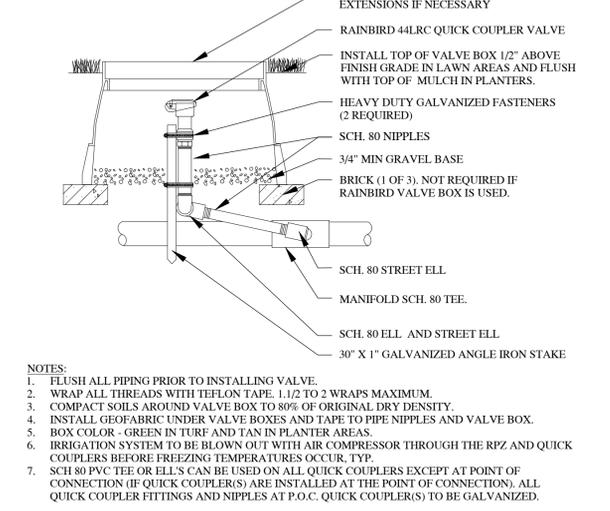
4 TRENCH SECTION SCALE: NTS



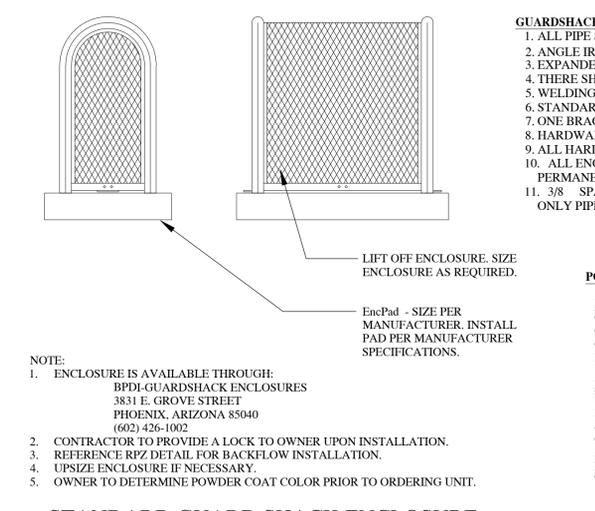
5 PIPE, WIRE, AND TRENCH SCALE: NTS



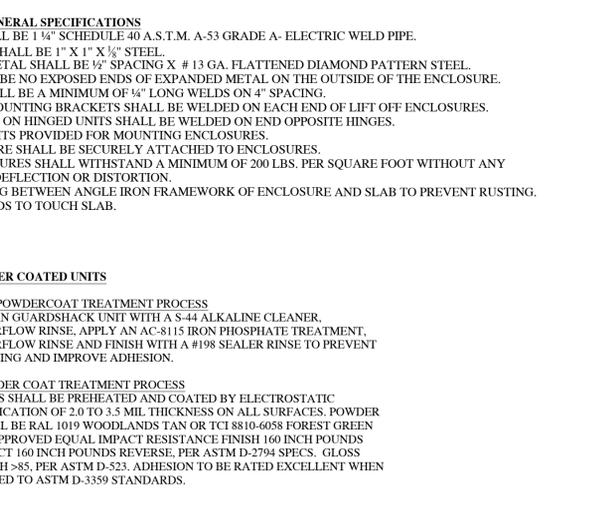
6 SLEEVING SCALE: NTS



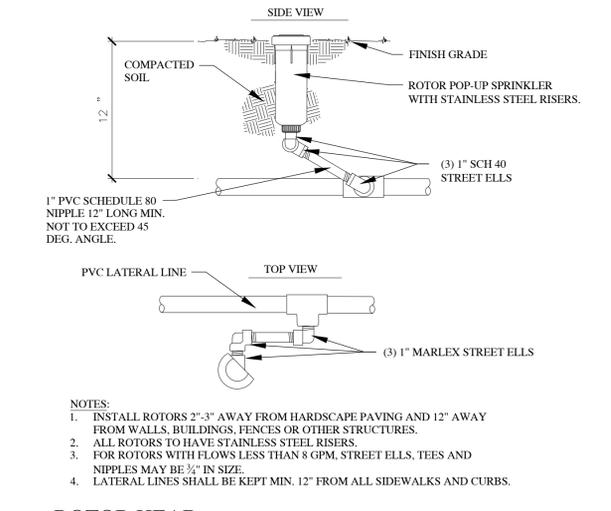
7 QUICK COUPLER VALVE SCALE: NTS



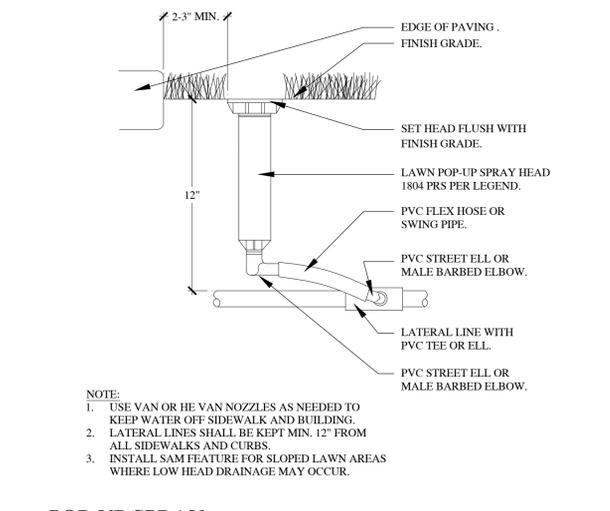
8 STANDARD GUARD SHACK ENCLOSURE SCALE: NTS



9 ROTOR HEAD SCALE: NTS



10 POP-UP SPRAY SCALE: NTS



10 POP-UP SPRAY SCALE: NTS



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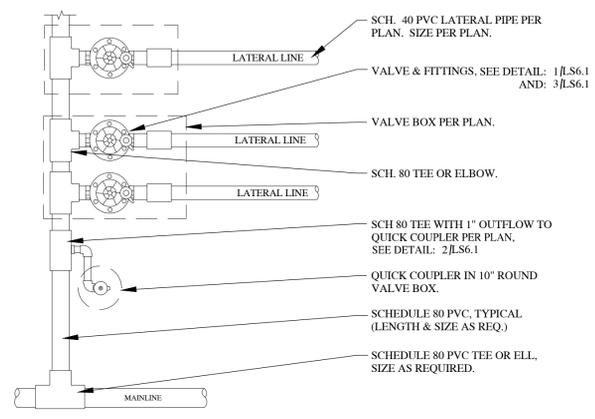
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400 West 200 North
American Fork, Utah

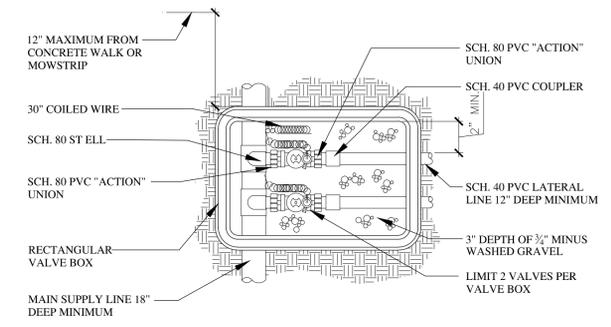
L4.2
IRRIGATION
DETAILS

PRELIMINARY PLAN
NOT FOR CONSTRUCTION



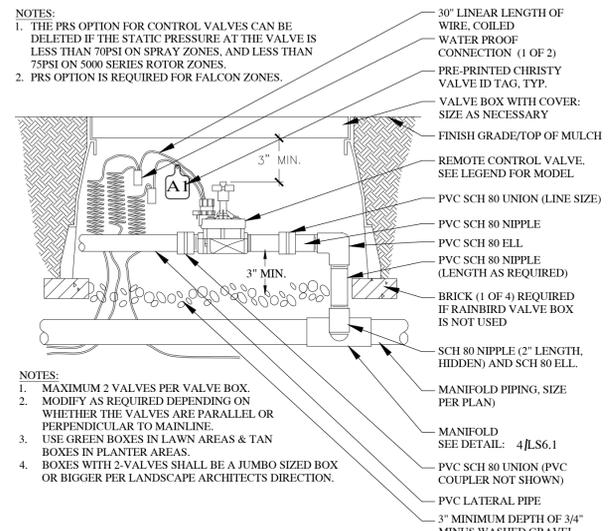
NOTES:
1. ALL VALVE MANIFOLD PIPING AND FITTINGS TO BE SCH. 80 FITTINGS, UNLESS THERE IS A DRIP ZONE ALL BY ITSELF IN WHICH CASE THE PIPING SHALL BE SIZED PER THE FLOW OF THE DRIP ZONE.
2. MODIFY MANIFOLD AS NECESSARY DEPENDING ON HOW MANY VALVES ARE IN A CLUSTER.
3. MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.

11 VALVE MANIFOLD SCALE: NTS



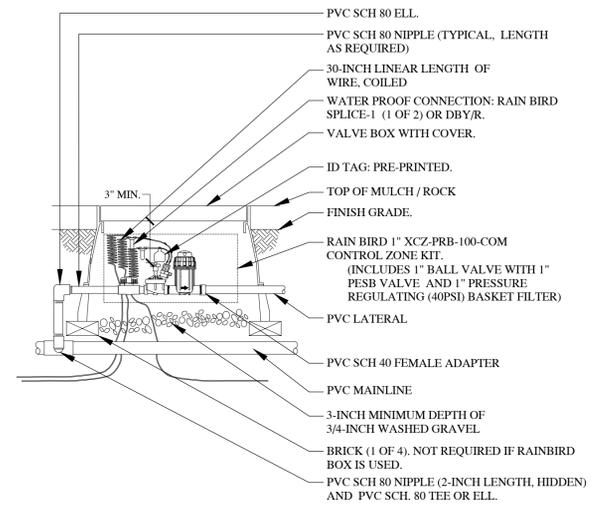
NOTE:
1. ADD PRE-PRINTED CHRISTY I.D. TAGS TO ALL NEW CONTROL VALVES AND CONTROL ZONE KITS. COORDINATE AND LABEL ALL CONTROL WIRE AT CONTROLLER WITH EACH VALVE IN THE FIELD, TYP.

12 VALVE ASSEMBLY SCALE: NTS

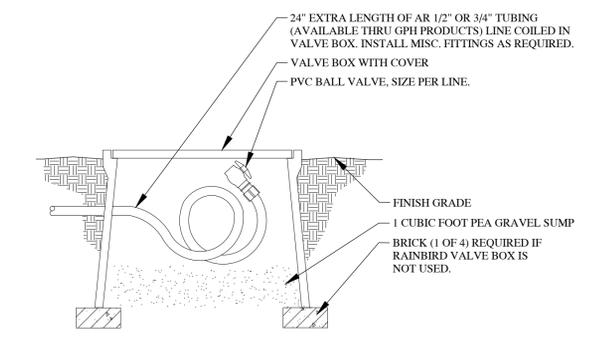


NOTES:
1. MAXIMUM 2 VALVES PER VALVE BOX. MODIFY AS REQUIRED DEPENDING ON WHETHER THE VALVES ARE PARALLEL OR PERPENDICULAR TO MAINLINE.
2. USE GREEN BOXES IN LAWN AREAS & TAN BOXES IN PLANTER AREAS.
3. BOXES WITH 2-VALVES SHALL BE A JUMBO SIZED BOX OR BIGGER PER LANDSCAPE ARCHITECTS DIRECTION.
4. PVC LATERAL PIPE 3\"/>

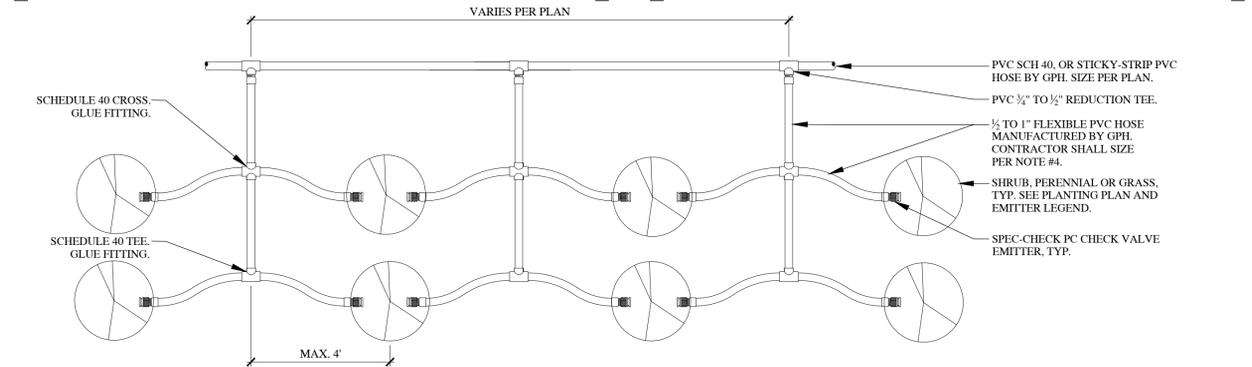
13 CONTROL VALVE SCALE: NTS



14 1" DRIP CONTROL ZONE KIT SCALE: NTS

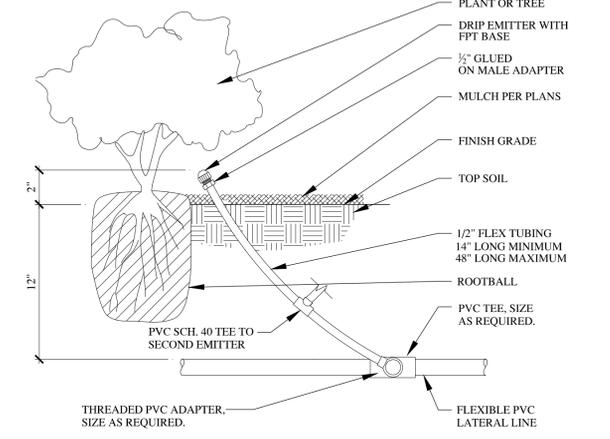


15 DRIP LINE FLUSH CAP SCALE: NTS



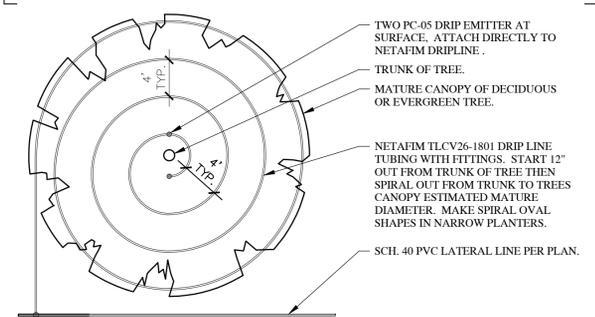
NOTES:
1. EMITTER SPACING SHALL BE BASED ON PLANT SPACING. INSTALL ALL IRRIGATION USING THE COMPONENTS DESCRIBED ABOVE.
2. IRRIGATION EQUIPMENT SHALL BE COMPLETELY INSTALLED PRIOR TO PLANT LAYOUTS.
3. ADJUST IRRIGATION SPACING TO ACCOMMODATE FINAL PLANT LAYOUT.
4. 1/2" PVC FLEX HOSE SHALL NOT EXCEED 4GPM. 3/4" PVC FLEX HOSE SHALL NOT EXCEED 8GPM AND 1" PVC FLEX HOSE SHALL NOT EXCEED 13GPM.
5. AT OWNERS DISCRETION, A LESS EXPENSIVE DRIP SYSTEM MAY BE INSTALLED. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SUBMITTAL CUT SHEETS AND POTENTIAL COST SAVINGS TO OWNER. HOWEVER, THE OWNER AND LANDSCAPE ARCHITECT MUST APPROVE ALL CHANGES IN MATERIALS AND CONSTRUCTION PRACTICES IF DIFFERENT FROM THE PLAN.
6. SMALL EVERGREEN TREES MAY NEED FEWER EMITTERS. CONSULT WITH THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLING IRRIGATION TO DETERMINE QUANTITY OF EMITTERS.
7. SEE IRRIGATION SHEET FOR DRIP EMITTER LEGEND.

16 GPH DRIP EMITTER PLAN VIEW SCALE: NTS



NOTE:
1. FOR LAYOUT OF MULTIPLE SHRUBS, CONTRACTOR SHALL USE TEES AS NECESSARY. FOR LAYOUT INFORMATION, SEE DETAIL: /

17 DRIP EMITTER SCALE: NTS

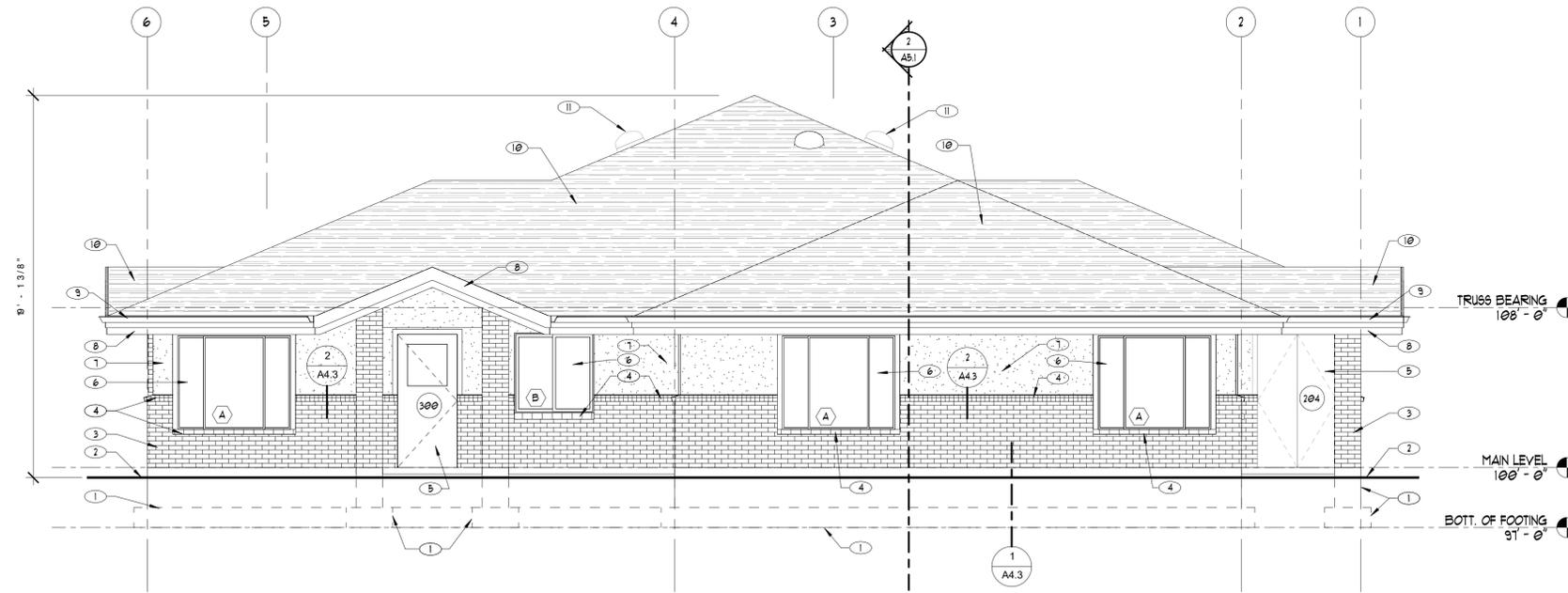


NOTES:
1. LAYOUT SHOWN IS TYPICAL. ON SITE MODIFICATIONS WILL BE REQUIRED DUE TO VARYING SIZE OF PLANTER ISLANDS. CONSULT WITH LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION TO DETERMINE HOW MUCH DRIP NEEDS TO BE INSTALLED AND WHAT CONFIGURATION IS APPROPRIATE.
2. INSTALL NETAFIM DRIP TUBING UNDER WEED BARRIER FABRIC. USE THIS DETAIL FOR ALL TREES PLANTED IN COBBLE ROCK AREAS. CONTRACTOR SHALL BE CAREFUL NOT TO DAMAGE OR PINCH TUBING WHEN PLACING COBBLE ROCK AND BOULDERS.
3. TREES PLANTED IN LAWN AREAS WILL NOT BE WATERED BY DRIP BUT WILL BE WATERED BY THE LAWN SPRINKLERS.
4. THIS DETAIL IS FOR DESIGN INTENT ONLY AND IS NOT TO SCALE. CONTRACTOR MUST INSTALL DRIP LINE PER THIS DETAIL OUT TO THE DRIPLINE OF THE TREES MATURE SIZE.
5. FOR LINEAR PLANTERS WITH TREES, INSTALL NETAFIM IN STRAIGHT LINES RATHER THAN A CIRCULAR PATTERN AROUND THE TREE.
6. INSTALL A FLUSH VALVE (NOT SHOWN) AT THE END OF ALL DRIP LINES, PER PLAN.

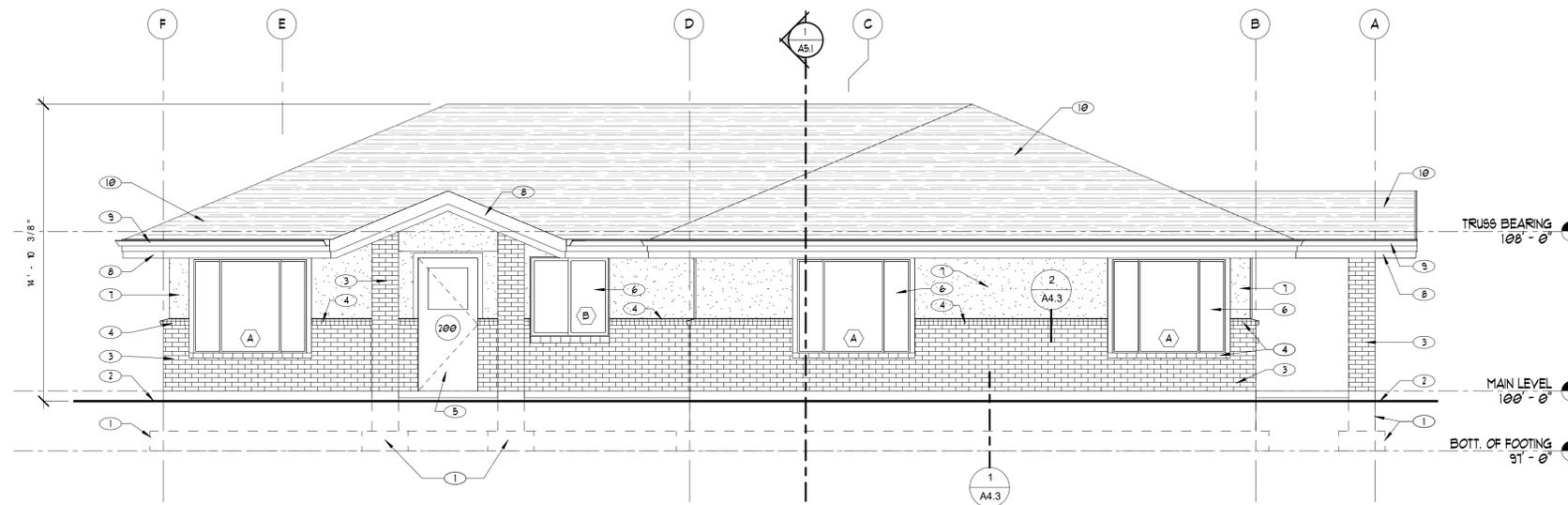
18 TREE DRIP WITHOUT PLANTS UNDER FULL CANOPY SCALE: NTS

SHEETNOTES

- 1 CONCRETE FOOTINGS & FOUNDATION- SEE STRUCTURAL DWGS.
- 2 FINISH GRADE- SEE CIVIL DWGS.
- 3 BRICK VENEER
- 4 BRICK SILL
- 5 DOOR- SEE DOOR SCHEDULE
- 6 WINDOW- SEE WINDOW SCHEDULE
- 7 TWO-COAT STUCCO FINISH SYSTEM
- 8 PRE-FINISHED METAL FASCIA & SOFFIT (VENTED)
- 9 PRE-FINISHED METAL RAIN GUTTER & DOWNSPOUTS
- 10 ARCHITECTURAL GRADE ASPHALT SHINGLES OVER 30 # ROOFING FELTS. APPLY ICE & WATER SHIELD AT EAVES AND RAKES
- 11 SKYLIGHT



① TYPICAL FRONT ELEVATION
1/4" = 1'-0"



② TYPICAL SIDE ELEVATION
1/4" = 1'-0"

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Date: September 11, 2015
Revision:



Alan R. Poulsen
Ronald B. Jones
Bruce T. Fallon

Tel: (801) 374-0800
Fax: (801) 374-0805

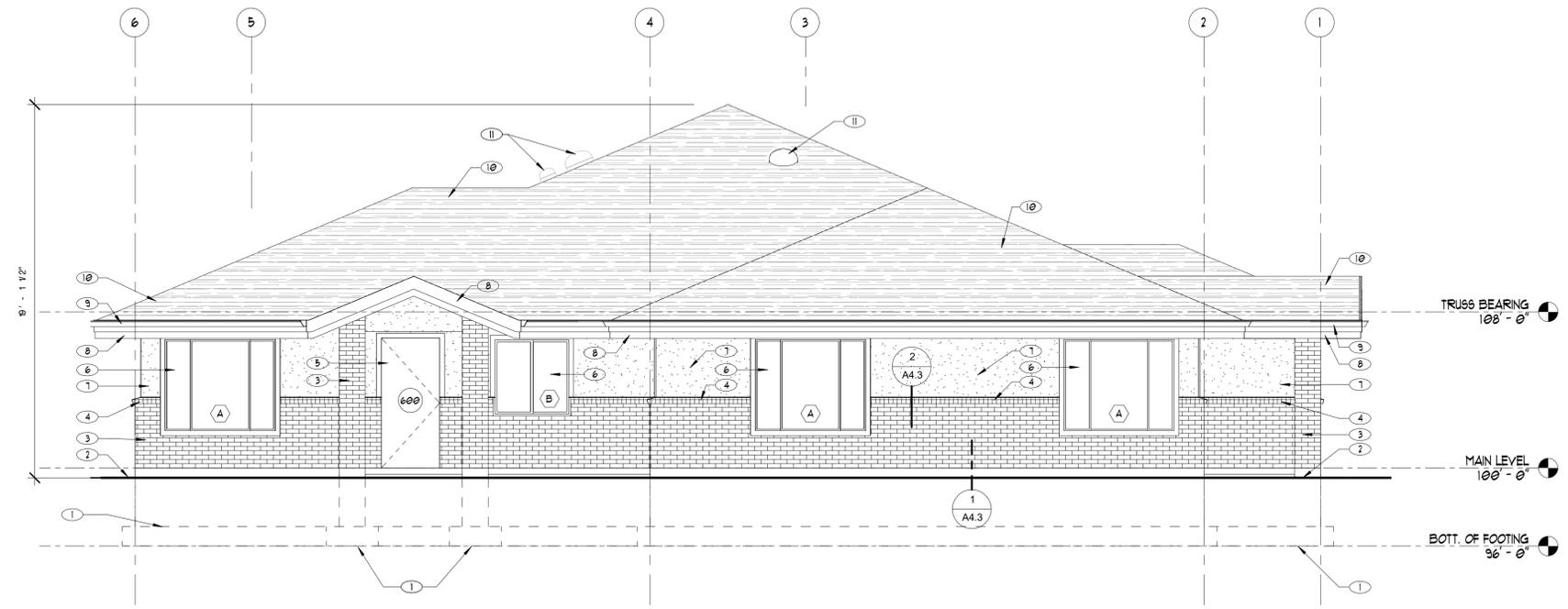


AMERICAN FORK SENIOR HOUSING
UTAH HOUSING AUTHORITY OF UTAH COUNTY
American Fork, Utah
400 West 200 North

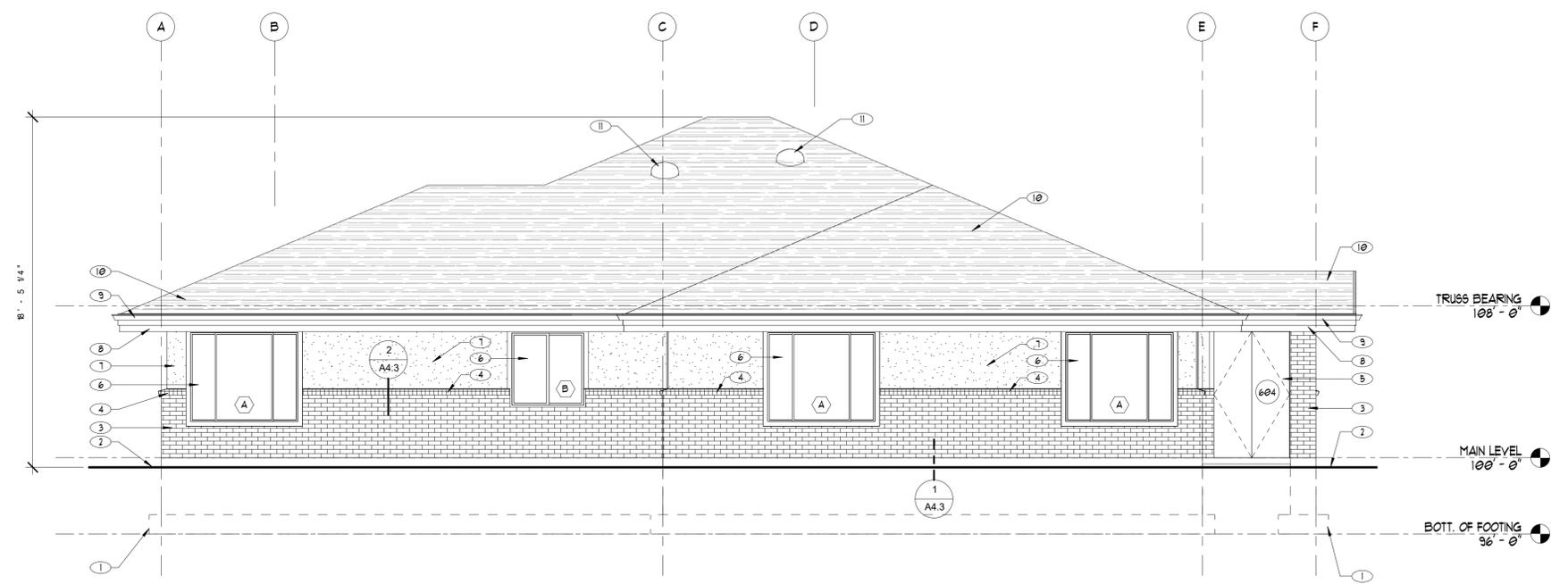
A4.1
EXTERIOR ELEVATIONS

SHEETNOTES

- 1 CONCRETE FOOTINGS & FOUNDATION- SEE STRUCTURAL DWGS.
- 2 FINISH GRADE- SEE CIVIL DWGS.
- 3 BRICK VENEER
- 4 BRICK SILL
- 5 DOOR- SEE DOOR SCHEDULE
- 6 WINDOW- SEE WINDOW SCHEDULE
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- 11 SKYLIGHT



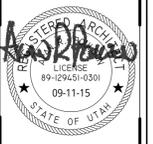
1 FRONT ELEVATION - CLUBHOUSE
1/4" = 1'-0"



2 SIDE ELEVATION - CLUBHOUSE
1/4" = 1'-0"

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Date: September 11, 2015
Revision:



Alan R. Poulson
Ronald B. Jones
Bruce T. Fallon

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Architecture
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Provo, Utah 84601
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AMERICAN FORK SENIOR HOUSING
UTAH HOUSING AUTHORITY OF UTAH COUNTY
American Fork, Utah
400 West 200 North

A4.2
EXTERIOR ELEVATIONS - CLUBHOUSE



AMERICAN FORK CITY – Public Works Department
 275 EAST 200 NORTH, AMERICAN FORK UT 84003
 Phone: 801-763-3060 Fax: 801-763-3005 www.afcity.org

Technical Review Committee – Summary of Findings

TRC Date: March 31, 2016 # of times reviewed 1
 Project Name: Easton Park
 Location: 740 E. 530 S.
 Property Owner Name: Curtis Graff
 Property Owner or Authorized Representative Contact Information:

Name: James Doolin
 Address: 4685 S. Highland Dr. #202 SLC UT 84117
 Telephone: 801-649-3519 Office _____ Cell _____
 Email: jamesc1@dutah.com

Description: Subdivision Final Plat Subdivision Preliminary Plan Annexation
 Code Text Amendment General Plan Amendment Zone Change
 Commercial Site Plan Residential Accessory Structure Site Plan

1. COMPLETENESS - Application complete? Yes No

If not complete, the project is required to return to the TRC for additional review.

2. COMPLIANCE - Other special return conditions to TRC.

Fire Dept. Issues necessitate a re-submittal

Instructions for Owner/Authorized Representative:

- Prepare submittal for the (date) 4/20/2016 ¹⁰³ **Planning Commission Meeting**
- **Due** by 10:00 a.m. on Monday (date) 4/1/2016 **(NO EXCEPTIONS)**
 - Resubmitted items must include all materials requiring corrections.
 - **Electronic** - disc or flash drive:
 - a full plan set in one (1) single pdf
 - an electronic design file AutoCAD 2009 format (N.A.D. 83 Coordinates)
 - ALL reports (drainage, geotechnical, title) each in a separate pdf
 - **Paper - Three (3)** plan sets (size 11" x 17") & **two (2)** - any corrected reports (size 8.5" x 11")
 - Redline plan set.
- Resubmit for **Technical Review Committee**
- **Due** by 3:00 p.m. on Monday (date) April 4th 2016 Fee at 4th Review _____
 - Resubmitted items must include all materials requiring corrections.
 - **Electronic** - disc or flash drive:
 - a full plan set in one (1) single pdf
 - an electronic design file AutoCAD 2009 format (N.A.D. 83 Coordinates)
 - ALL reports (drainage, geotechnical, title) each in a separate pdf
 - **Paper - Five (5)** plan sets (size 11" x 17") & **two (2)** of any corrected reports (size 8.5" x 11")
 - Redline plan set.

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: April 20, 2016
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on a site plan for the Pacific Drive Apartments located at 492 West Pacific Drive in the R3-7,500 Residential Zone.

ACTION REQUESTED: Recommendation of approval of a site plan for the Utah County Housing Authority.

BACKGROUND INFORMATION			
Location:		492 West Pacific Drive	
Applicant:		Utah County Housing Authority	
Existing Land Use:		Vacant	
Proposed Land Use:		Residential	
Surrounding Land Use:	North	Residential	
	South	Commercial	
	East	Residential	
	West	Residential	
Existing Zoning:		R3-7,500	
Proposed Zoning:		N/A	
Surrounding Zoning:	North	R1-7,500	
	South	R3-7,500 & SC-1 (Planned Shopping Center)	
	East	R3-7,500	
	West	R1-9,000	
Land Use Plan Designation:		High Density (13 du/ac)	
Zoning within density range?		<input checked="" type="checkbox"/>	<input type="checkbox"/>
		Yes	No

PROJECT DESCRIPTION: Senior housing development (26 units) proposed by the Utah County Housing Authority.

Background

The Utah County Housing Authority is requesting approval of a senior housing project, consisting of 26 units plus a clubhouse unit, located at approximately 492 West Pacific Drive. The site is vacant and consists of 2.26 acres. Placing 26 units on the site will result in a density of 11.5 du/ac. The City's Land Use Plan designates this area as "High Density Residential" which allows densities up to 13 du/ac; therefore, the proposed density of 11.5 du/ac is acceptable on this site.

Seven (7) structures are proposed; each structure containing four (4) dwelling units, with the exception of one structure containing two (2) dwelling units in half of the structure and a clubhouse unit in the other half. Section 17.7.506.G.1 of the Development Code states that for Public Agency Senior Housing Projects, the maximum number of dwelling units per structure shall be four (4) and each unit shall be located at ground level. The units, as proposed, conform to this requirement.

Section 17.7.506.H.4.b of the Development Code stipulates that each residential unit shall have a covered, designated parking space for the exclusive use of that unit. The plan, as proposed, provides one (1) covered parking space for each unit.

The Code further requires that buildings shall be separated twenty feet (20') from each other and that 15% of the area be retained as open space when the project consists entirely of one story structures. Both of these requirements have been met. Each unit is required to have a private storage space consisting of 225 cubic feet. There are storage units proposed along the northern side of the project, adjacent to the covered parking, which meet this requirement.

A six foot (6') vinyl fence is proposed around the northern and eastern perimeter of the property. A three-rail vinyl fence will be placed along the southern property boundary, adjacent to the trail along the railroad tracks. This fencing meets the requirement of a perimeter fence as found in Section 17.7.506.H.12 of the Development Code.

A landscape plan is provided, meeting the requirements of the Development Code; as are renderings of the proposed structures. Nearly identical structures can be found at the Utah County Housing Authority's senior housing project located at 43 North 300 East.

Consistency with the Land Use Plan

The Land Use Plan designates this area as High Density Residential (+13 du/ac). The proposed density of the project is 11.5 du/ac; consistent with the Land Use Plan designation.

Section 17.7.506.D of the Development Code

The Planning Commission shall review the proposal and may recommend approval upon finding that:

- a. The plans, documents, and other materials required for consideration have been submitted in a form suitable for evaluation.

This has been met through the submittal process.

- b. The plan conforms with all respects to the design standards and criteria for the type(s) of SHD (Senior Housing Development) project.

The plans as submitted, appear to conform to the design standards and criteria for a SHD project.

- c. The site is suitable for development as a SHD and construction of the proposed SHD will be consistent with existing development in the vicinity and compatible with the General Plan for the area,

The site is suitable for the development of a SHD project and the proposed project will be consistent with existing development in the vicinity and is compatible with the General Plan for this area.

- d. The arrangement of the buildings, roadways, open space and other project elements will result in a safe and attractive living environment for elderly persons equal or superior to that which would be provided under lot by lot development.

The proposal, as presented, will result in a safe and attractive living environment for elderly persons equal or superior to that which would be provided under lot by lot development.

- e. The project and structures in the project are specifically designed to accommodate the needs of elderly persons.

This criterion has been met. This is a senior housing development proposed by the Utah County Housing Authority and has been designed to accommodate the needs of elderly persons.

- f. The documentation for the project and management plan for operation provide adequate assurance that the project will not be converted for use other than elderly housing.

Utah County Housing Authority owns the property and will manage this project as they do with similar senior living projects located throughout Utah County.

- g. The project, if developed, will accomplish the intent for SHD's as hereinabove stated (Paragraph A-Intent).

The intent for SHD's as found in Section 17.7.506.A.1-4 has been demonstrated through this submittal.

- h. In the opinion of the Planning Commission, the proposed project will (1) adequately recognize and incorporate natural conditions present on the site; (2) efficiently utilize the land resources and provide increased economy to the public in the delivery of municipal services and utilities; (3) provide increased

variety in the style and quality of residential dwellings for elderly persons available within the City: (4) preserve open space to meet the recreational, scenic, and public service needs; and (5) do all of the above in a manner which is consistent with the objectives of the underlying zone and under conditions which will result in the creation of residential environments of sustained desirability.

This criterion shall be made as a Finding of Fact by the Planning Commission if it agrees to the above listed items; 1-5.

FINDINGS OF FACT:

After reviewing the Senior Housing Development Project, the following findings of fact are offered for consideration:

1. The Senior Housing Project complies with the policies and requirements of Section 17.7.506 of the Development Code.
2. The Planning Commission finds that:
 - a. The plans, documents, and other materials required for consideration have been submitted in a form suitable for evaluation.
 - b. The plan conforms with all respects to the design standards and criteria for the type(s) of SHD project.
 - c. The site is suitable for development as a SHD and construction of the proposed SHD will be consistent with existing development in the vicinity and compatible with the General Plan for the area,
 - d. The arrangement of the buildings, roadways, open space and other project elements will result in a safe and attractive living environment for elderly persons equal or superior to that which would be provided under lot by lot development.
 - e. The project and structures in the project are specifically designed to accommodate the needs of elderly persons.
 - f. The documentation for the project and management plan for operation provide adequate assurance that the project will not be converted for use other than elderly housing.
 - g. The project, if developed, will accomplish the intent for SHD's as hereinabove stated (Paragraph A-Intent).

- h. In the opinion of the Planning Commission, the proposed project will (1) adequately recognize and incorporate natural conditions present on the site; (2) efficiently utilize the land resources and provide increased economy to the public in the delivery of municipal services and utilities; (3) provide increased variety in the style and quality of residential dwellings for elderly persons available within the City; (4) preserve open space to meet the recreational, scenic, and public service needs; and (5) do all of the above in a manner which is consistent with the objectives of the underlying zone and under conditions which will result in the creation of residential environments of sustained desirability.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we recommend approval of the site plan for the Pacific Drive Apartments, located at 492 West Pacific Drive with the findings as listed in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the site plan for the Pacific Drive Apartments located at 492 West Pacific Drive.

TABLE

Mr. Chairman, I move that we table the site plan for the Pacific Drive Apartments located at 492 West Pacific Drive.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 4/20/2016

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Pacific Drive Apartments

Project Address: 560 West 330 North

Developer / Applicant's Name: Housing Authority of Utah County

Type of Application:

- Subdivision Final Plat Subdivision Preliminary Plan Annexation
- Code Text Amendment General Plan Amendment Zone Change
- Commercial Site Plan Residential Accessory Structure Site Plan

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 4/20/2016 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

Applicant is requesting that the Planning Commission waive the following requirement(s):

1.
 - Requested waivers **ARE** necessary for the proposed development to move forward.
 - Requested waivers **ARE NOT** necessary for the proposed development to move forward.

Plan Submittal:



STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Plan Modifications Required:

1. No modifications required.

UNAPPROVED MINUTES

1 Terry Krieger stated they wanted to get the zone change approved so they could build the small
2 storage unit facility. He noted it would not be climate controlled.

3

4 Chairman Woffinden commented it was legal in the zone and would probably be needed with
5 the housing projects that would be going in.

6

7 **Geoff Dupaix moved to recommend approval of the land use map amendment from the**
8 **Design commercial to the Planned Community designation located at 326 South 860 East.**
9 **Rebecca Staten seconded the motion. The voting was as follows:**

10

11	John Woffinden, Chairman	Aye
12	Geoff Dupaix	Aye
13	Eric Franson	Aye
14	Leonard Hight	Aye
15	Rebecca Staten	Aye

16

The motion carried.

17

18 HEARING, REVIEW AND ACTION ON A ZONE MAP AMENDMENT FROM THE GC-1 GENERAL
19 COMMERCIAL TO THE PC PLANNED COMMUNITY ZONE LOCATED AT 326 SOUTH 860 EAST.

20 This was discussed with the previous action item.

21

22 Public Hearing: There were no comments.

23

24 **Geoff Dupaix moved to recommend approval for the zone map amendment from the GC-1**
25 **General commercial to the PC Planned Community Zone located at 326 South 860 East.**
26 **Rebecca Staten seconded the motion. The voting was as follows:**

27

28	John Woffinden, Chairman	Aye
29	Geoff Dupaix	Aye
30	Eric Franson	Aye
31	Leonard Hight	Aye
32	Rebecca Staten	Aye

33

The motion carried.

34

35 HEARING, REVIEW AND ACTION ON A SITE PLAN FOR THE PACIFIC DRIVE APARTMENTS
36 LOCATED AT 492 WEST PACIFIC DRIVE IN THE R3-7,500 RESIDENTIAL ZONE.

37 Mr. Olsen explained this was a senior housing project brought forward by the Utah County
38 Housing Authority. The proposed site plan included 26 units plus a clubhouse, with six
39 structures having four units and one structure having two units plus the clubhouse. He stated
40 that the land use plan designates this area as high density, so the proposed density does fall
41 within the requirements. The Development Code allows for four units per structure with the
42 structures being single story; this project does meet that requirement. The Development Code
43 also requires one covered parking space per unit which they have provided. Mr. Olsen stated
44 they meet the separation and distance requirements. There was fencing requirement for the

UNAPPROVED MINUTES

1 development and they have included a six-foot fence along the north and eastern side. Along
2 the southern boundary of the project they were providing a portion of the "Southern Rail Trail"
3 and instead of a six-foot fence there would be a three-rail fence separating the trail from the
4 housing units, and Planning was supportive of that type of fence in that location rather than a
5 six-foot fence. A landscaping plan has been provided and they have renderings of the proposed
6 structures. This project was similar to the 300 East project that was constructed several years
7 ago.

8
9 Mr. Franson asked if there would be visitor parking. Mr. Olsen answered that the code only
10 addressed one parking space per unit, but with other senior housing projects parking was not
11 an issue as the parking lots were rarely full. The 300 East project was half full at best as most
12 residents do not have vehicles. The Utah County Housing Authority heavily regulated the units.

13
14 Chairman Woffinden asked for an explanation on what was happening on 560 West with
15 regards to the asphalt and curb and gutter; he noted the improvements would not go across
16 the tracks but he did not want to tie that to this project. Mr. Olsen explained that there was
17 existing asphalt down to the right-of-way; it was in the city's plan to cross the tracks and tie into
18 Pacific Drive in the future but it was not tied to this project. Mr. Gallo stated this was a project
19 where the city was teaming with the Utah County Housing Authority. North of the property
20 there was a flood irrigation ditch the city was planning to pipe. That project was bid out and
21 work would be done in the near future. Mr. Gallo stated part of the project includes curb,
22 gutter, sidewalk, the driveway and other public improvements. They will stub the underground
23 utilities in five feet into the property. He commented that the connection to Pacific Drive was a
24 high priority and they were planning on working with UDOT and UTA to secure the crossing.
25 Mr. Gallo stated they would be doing some research to find the ownership of the right-of-way
26 over the tracks.

27
28 Public Hearing: There were no public comments.

29
30 Chairman Woffinden stated that he has wanted 560 West to cross over the tracks for 20 years,
31 but he did not want to tie approval of this project to the completion of that crossing.

32
33 Brent Bluth, of Self Help Homes, stated he was representing the Housing Authority of Utah
34 County but was not an employee of the Housing Authority. He noted Ms. Smith from the
35 Housing Authority was there. They have been working for a while to get this project to work. It
36 was very similar, if not identical, to the type of client and tenant as the 300 East project here in
37 American Fork. Mr. Bluth stated there was a significant demand for affordable housing for
38 seniors. They were looking for site plan approval tonight and they feel they have met all the
39 requirements of staff.

40
41 **Eric Franson moved to recommend approval of the site plan for the Pacific Drive Apartments,**
42 **located at 492 West Pacific Drive with the findings as listed in the staff report and subject to**
43 **any findings, conditions and modifications listed in the Engineering report. Rebecca Staten**
44 **seconded the motion.**

UNAPPROVED MINUTES

1
2 Mr. Franson stated that they have seen many proposals for this property and he thought this
3 would be the best fit for the property. Chairman Woffinden agreed.

4

5 **Chairman Woffinden called for a vote on the motion. Voting was as follows:**

6

7 **John Woffinden, Chairman Aye**

8 **Geoff Dupaix Aye**

9 **Eric Franson Aye**

10 **Leonard Hight Aye**

11 **Rebecca Staten Aye**

12

The motion carried.

13

14 HEARING, REVIEW AND ACTION ON THE EASTON PARK PLANNED COMMUNITY AND EASTON
15 PARK SUBDIVISION PHASES 1-3 LOCATED IN THE AREA OF 500 SOUTH 860 EAST IN THE PC
16 PLANNED COMMUNITY ZONE.

17 Mr. Olsen reported that this received a concept plan approval in January. The project included
18 a total of 336 units, six commercial sites and a six-and-a-half acre park. Access to the
19 development would be off of 860 East and 740 East. He pointed out that this was south of the
20 South Pointe Development. This area would have a mix of four-plex and twelve-plex structures
21 with centrally located commercial nodes. Mr. Olsen stated that the large public park would be
22 a focal point for this subdivision as well as the overall area. Easton Park would be approved in
23 three phases, and each has been submitted for review and a recommendation of approval has
24 been made. Phase I consists of the northern portion, phase II was the western portion, and
25 phase III was the southern portion of the community. They do have renderings included for
26 both types of structures. The 4-plex structures would be located along the northern and
27 southern portions with the twelve-plex structures in the middle of the development.
28 Landscaping plans and park renderings have been included in the packets; the developers have
29 been working with the Parks Department for what they would like to see in the park. Mr. Olsen
30 stated planning recommended approval.

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32 Mr. Dupaix asked what type of retail would be in the commercial nodes, as it needed to be the
33 right type of retail to be viable and successful. Mr. Olsen responded that it would be more
34 small scale retail that might cater to the general area; the developers had experience in these
35 types of developments and could answer that.

36

37 Mr. Gallo had no engineering concerns and stated the project complies with city standards.

38

39 Public Hearing: There were no public comments.

40

41 James Doolin, with Vollkommen Construction, stated the developer has done projects similar to
42 this and knows the importance of getting the right tenant in the commercial units. The
43 developer was offering subsidies on rent to attract the right businesses, which could be a
44 copy/office supply store, soda shops, ice cream shops or bagel shops. They anticipated a need



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Ordinance approving the Easton Park Planned Community and Easton Park Subdivision Phases 1-3 located in the area of 500 South 860 East in the PC Planned Community zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the Easton Park Planned Community and Easton Park Subdivision Phases 1-3 as stated in the attached minutes of the April 20, 2016 planning commission meeting.

BACKGROUND The applicant proposes a 336-unit residential project that consists of 4- and 12-plex multi-family buildings, including six commercial units that occupy the ground floor of their respective structures. The main amenity of the project will be a public park located in the center of the project. For further analysis, please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I motion to adopt the ordinance approving the Easton Park Planned Community and Easton Park Subdivision Phases 1-3 located in the area of 500 South 860 East in the PC Planned Community zone and to authorize the mayor and city council to sign the plat and accept the dedications with instructions to the city recorder to withhold recording of the plat with instructions to the city recorder to withhold publication of the ordinance subject to:

- All conditions identified in the public record associated with the April 20, 2016 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ordinance (DOC)
3. Staff report (PDF)
4. Minutes (PDF)
- Site Plan and Plats (PDF)

ORDINANCE NO.**AN ORDINANCE APPROVING THE EASTON PARK PLANNED COMMUNITY AND EASTON PARK SUBDIVISION PHASES 1-3 LOCATED IN THE AREA OF 500 SOUTH 860 EAST IN THE PC PLANNED COMMUNITY ZONE.****BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,****PART I****DEVELOPMENT APPROVED - ZONE MAP AMENDED**

- A. The the site plan and plats for Easton Park Planned Community, as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans are hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II**ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE**

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance, specifically the final plat and site plan approved on August 11, 2016, are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK,
 UTAH, THIS 10th DAY OF MAY, 2016.

James H. Hadfield, Mayor

ATTEST:

Richard M. Colborn, City Recorder

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: April 20, 2016
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on the Easton Park Planned Community and Easton Park Subdivision Phases 1-3 located in the area of 500 South 860 East in the PC (Planned Community) zone.

ACTION REQUESTED: Recommendation of approval of the final plats.

BACKGROUND INFORMATION					
Location:		Approximately 500 South 860 East			
Applicants:		James Doolin			
Existing Land Use:		Vacant/Agriculture			
Proposed Land Use:		Residential			
Surrounding Land Use:	North	Residential			
	South	Agriculture			
	East	Vacant			
	West	Industrial			
Existing Zoning:		PC (Planned Community)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	PC (Planned Community)			
	South	Industrial 1 (Utah County)			
	East	PC (Planned Community)			
	West	PC (Planned Community)			
Growth Plan Designation:		Planned Community			
Zoning within density range?		x	Yes		No

PROJECT DESCRIPTION: A recommendation of approval of the final plats for Easton Park Phases I, II & III.

Background

Easton Park received concept plan approval on January 26, 2016. Easton Park will have a total of 336 residential units, six commercial sites, and a 6.5 acre public park. Access to the development will be off of 860 East and 740 East. The site lies west of 860 East and south of the South Point subdivision which is currently under construction. Easton Park will have a mix of 4-plex and 12-plex structures, with centrally located commercial nodes. The public park will be the center piece of not only Easton Park, but the overall Vintaro area.

Easton Park will be platted in three (3) phases. Each phase has been submitted for review and approval. Phase I consists of the northern portion of the community; Phase II consists of the western portion of the community and Phase III consisting of the southern portion of the community. Parcels for the future park are included in Phases I and II.

Renderings are included for both the 4-plex and 12-plex structures. The 4-plex structures will be located along the northern and southern portions of the development; the 12-plex structures being located along the eastern boundary and central portion of the development; adjacent to the park. The 4-plex structures will have a more traditional appearance while the 12-plex structures—as well as those with retail components—will have a more urban makeup and consist of three (3) stories).

Landscape plans and initial park renderings are also included. .

Consistency with the Land Use Plan:

The Land Use Plan designates this area as “Planned Community”. The proposal is consistent with the Land Use Plan designation.

Section 17.7.211 of the Development Code

The Planning Commission may act to recommend approval of the final plat upon a finding that:

- a. The final plat and supporting materials conform with the terms of the preliminary approval.

The preliminary plan is being processed concurrently with the final plats and the final plats will conform to any terms of the preliminary approval.

- b. The final plat complies with all City requirements and standards relating to large scale developments.

This criterion has been met.

- c. The detailed engineering plans and materials comply with the City standards and policies.

Engineering will address concerns, if any, in their report.

- d. The estimates of cost of constructing the required improvements are realistic.

At the time a performance guarantee is issued, costs are analyzed and adjusted, if needed, by Engineering.

- e. The water rights conveyance documents have been provided.

The water rights conveyance shall be satisfied prior to final plat recordings.

FINDINGS OF FACT

After reviewing the application for final plat approval, the following findings of fact are offered for consideration:

1. The proposed final plats are consistent with the Land Use Plan designation of "Planned Community".
2. The proposed final plats meet the applicable criteria as found in Section 17.7.507 of the Development Code.
3. The proposed final plats meet the criteria as found in Section 17.7.211 of the Development Code.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we recommend approval of the final plats for Easton Park Phases I, II & III, with the findings as outlined in the staff report and subject to any findings, conditions and modifications listed in the Engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the final plats for Easton Park Phases I, II & III.

TABLE

Mr. Chairman, I move that we table the final plats of Easton Park Phases I, II & III.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 4/20/2016

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Easton Park

Project Address: 740 East 530 South

Developer / Applicant's Name: James Doolin

Type of Application:

- Subdivision Final Plat Subdivision Preliminary Plan Annexation
- Code Text Amendment General Plan Amendment Zone Change
- Commercial Site Plan Residential Accessory Structure Site Plan

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

1. All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 4/20/2016 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

Applicant is requesting that the Planning Commission waive the following requirement(s):

1.
 - Requested waivers **ARE** necessary for the proposed development to move forward.
 - Requested waivers **ARE NOT** necessary for the proposed development to move forward.

Plan Submittal:



STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Plan Modifications Required:

1. No modifications required.

UNAPPROVED MINUTES

1
2 Mr. Franson stated that they have seen many proposals for this property and he thought this
3 would be the best fit for the property. Chairman Woffinden agreed.

4
5 **Chairman Woffinden called for a vote on the motion. Voting was as follows:**

6
7 **John Woffinden, Chairman Aye**
8 **Geoff Dupaix Aye**
9 **Eric Franson Aye**
10 **Leonard Hight Aye**
11 **Rebecca Staten Aye**

12 **The motion carried.**

13
14 HEARING, REVIEW AND ACTION ON THE EASTON PARK PLANNED COMMUNITY AND EASTON
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29 been working with the Parks Department for what they would like to see in the park. Mr. Olsen
30 stated planning recommended approval.

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33 right type of retail to be viable and successful. Mr. Olsen responded that it would be more
34 small scale retail that might cater to the general area; the developers had experience in these
35 types of developments and could answer that.

36
37 Mr. Gallo had no engineering concerns and stated the project complies with city standards.

38
39 Public Hearing: There were no public comments.

40
41 James Doolin, with Vollkommen Construction, stated the developer has done projects similar to
42 this and knows the importance of getting the right tenant in the commercial units. The
43 developer was offering subsidies on rent to attract the right businesses, which could be a
44 copy/office supply store, soda shops, ice cream shops or bagel shops. They anticipated a need

UNAPPROVED MINUTES

1 for small offices for those who need a professional office. Another option was a small
2 convenience store.

3

4 Taft Egan, of Big T Recreation, explained he has been responsible for designing the park
5 amenities, specifically the playgrounds and they have been working with Jason Thompson of
6 the Parks Department. They have talked with everyone involved to make it unique and
7 different, giving the community new experiences and making it a destination park. Mr. Egan
8 stated there would be four to five key elements in the park. He stated that the hub of the park
9 would be the branch out play feature, which was much larger than any playground in the city
10 and in the surrounding area. It was a custom play piece designed for the project that mimics
11 nature play of what kids do when they play on trees. This also had a shade cover. The park also
12 had other areas connected by a path around the park. The different activities included Parkour
13 equipment, a dog park, Playform 7 and two zip lines. The Playform 7 was unique in that it was
14 something between a playground and an art piece; it was unique as it does not replicate any
15 type of play found in schools or other parks. They have also included double ziplines that were
16 almost 100 feet in length and were designed for children between the ages of five and twelve.
17 Mr. Egan stated that they met all safety standards, codes and guidelines regulating public parks
18 and playground equipment. He stated that the whole site would be put together with benches,
19 picnic tables, a pavilion and restroom facilities.

20

21 Mr. Dupaix commented that he liked what he saw but looked at long-term maintenance and if
22 that had been discussed. Mr. Doolin stated that this park equipment carried the same warranty
23 as other playground equipment, and with the additional residents would be additional tax
24 revenue. Jason Thomson of the Parks Department stated that once the park was turned over to
25 the city, the city would be in charge of maintenance. Mr. Thomson stated they have certified
26 playground inspectors that go around twice a year to check on the equipment and noted they
27 were slowly increasing the budgets each year for maintenance. Mr. Thomson stated they were
28 excited they could get new and different equipment that would put them on the map; they
29 want the Easton Park to be the park American Fork is known for. The hand-off of ownership
30 would be once the construction was complete with the final checklist completed. It was noted
31 they typically carry a one-year warranty. Mr. Dupaix was in favor of this but wanted to make
32 sure it was well maintained.

33

34 Mr. Dupaix asked if there would be lighting in the park. Mr. Doolin stated that on the south
35 side of the park there was a public road and there would be street lights along that road. On
36 the north side, there was a 30-foot private open space that fronted the units. There would be
37 residential units that would provide some light.

38

39 **Eric Franson moved to recommend approval of the final plats for Easton Park Phases I, II & III**
40 **with the findings as outlined in the staff report and subject to any findings, conditions and**
41 **modifications listed in the Engineering report. Geoff Dupaix seconded the motion. Voting**
42 **was as follows:**

43

44

UNAPPROVED MINUTES

1 **John Woffinden, Chairman Aye**
 2 **Geoff Dupaix Aye**
 3 **Eric Franson Aye**
 4 **Leonard Hight Aye**
 5 **Rebecca Staten Aye**

6 **The motion carried.**

7

8 **OTHER BUSINESS**

9 Mr. Olsen stated that all of the comments and discussion points have been added into the draft
 10 ordinance of the accessory apartment ordinance. He indicated they could bring it back for one
 11 more round of discussion, hold a public hearing, or hold off on action. It was noted it was ready
 12 and they would put it on the next agenda.

13

14 Mr. Dupaix asked for an update on the 1120 North road repair, specifically when the sidewalk,
 15 curb and gutter would be installed. Mr. Gallo stated they were trying to determine where the
 16 water was coming from so they could make the proper corrections. They were wondering if
 17 water was finding its way from the Lehi irrigation pond along a gas line trench to the concrete
 18 wall along the bridge where it settled. They want to fix it right the first time so they do not
 19 have to come back again for a repair. They could take an easy path, but he wanted to make
 20 sure it was properly fixed and it would take some work. Mr. Dupaix agreed that they needed to
 21 fix it properly the first time.

22

23 Mr. Dupaix pointed out that he noticed graffiti there and asked if they used paint that would be
 24 graffiti-proof. Mr. Gallo stated they did and the graffiti would be removed.

25

26 Mr. Franson left the meeting at 7:50 p.m.

27

28 **SITE PLAN COMMITTEE REPORT**

29 Mr. Knobloch reported the following upcoming projects:

30

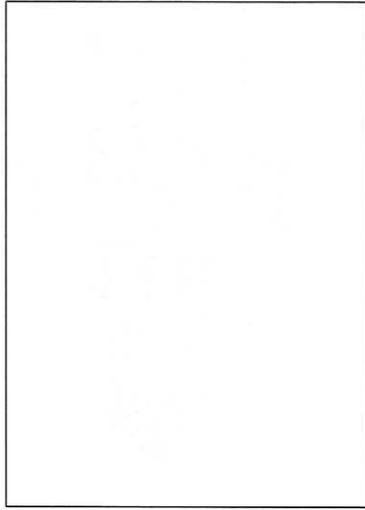
- 31 • Mitchell Meadows - still in the annexation phase
- 32 • Covington Cove - a 4-lot subdivision, the preliminary plan would be forthcoming
- 33 • Harts Food and Fuel
- 34 • Chameleon Storage - a project on 580 East in the Industrial Park; it was unique in that
 35 some buildings were built without a permit
- 36 • Kofford White Castle Warehouse addition – in the Covenant Communications building
 37 on East State Street; this would be similar to what was added a few years ago
- 38 • Office/Warehouse on Auto Mall Drive – this was across from Thrive and would be
 39 constructed by Brubaker Development

40

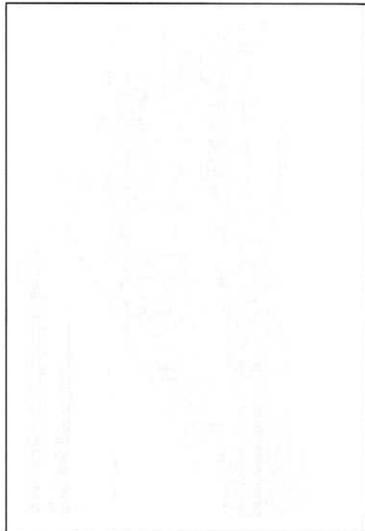
41 **REVIEW AND ACTION ON THE MINUTES OF THE APRIL 6, 2016 PLANNING COMMISSION**

42 **REGULAR SESSION**

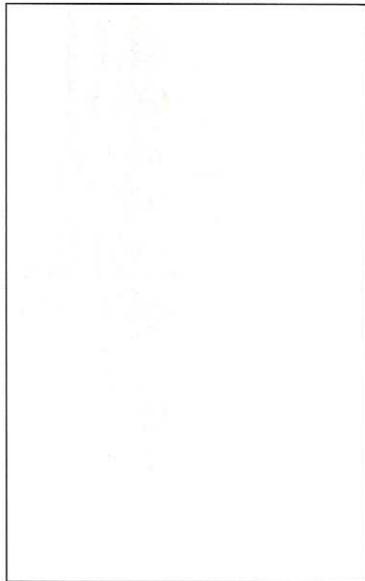
43 **Mr. Hight moved to accept the April 6, 2016 Planning Commission minutes. Mr. Dupaix**
 44 **seconded the motion. Voting was as follows:**



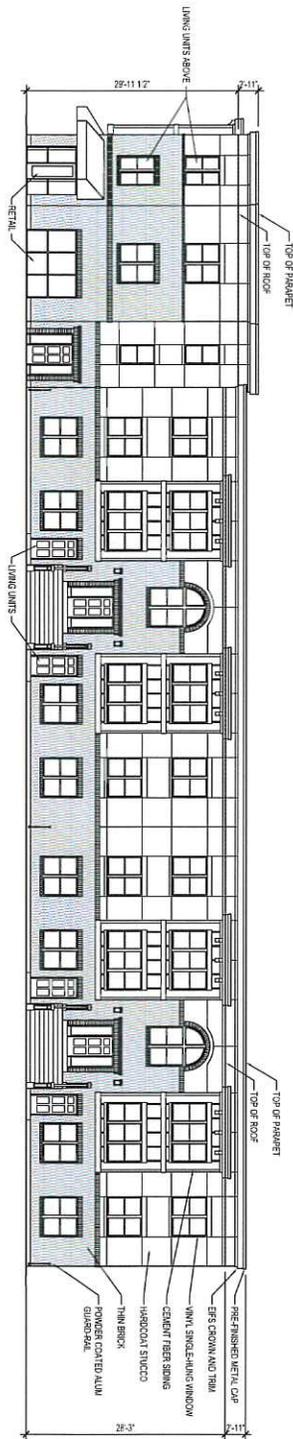
ELEVATION CONCEPT A
SCALE NONE



ELEVATION CONCEPT B
SCALE NONE



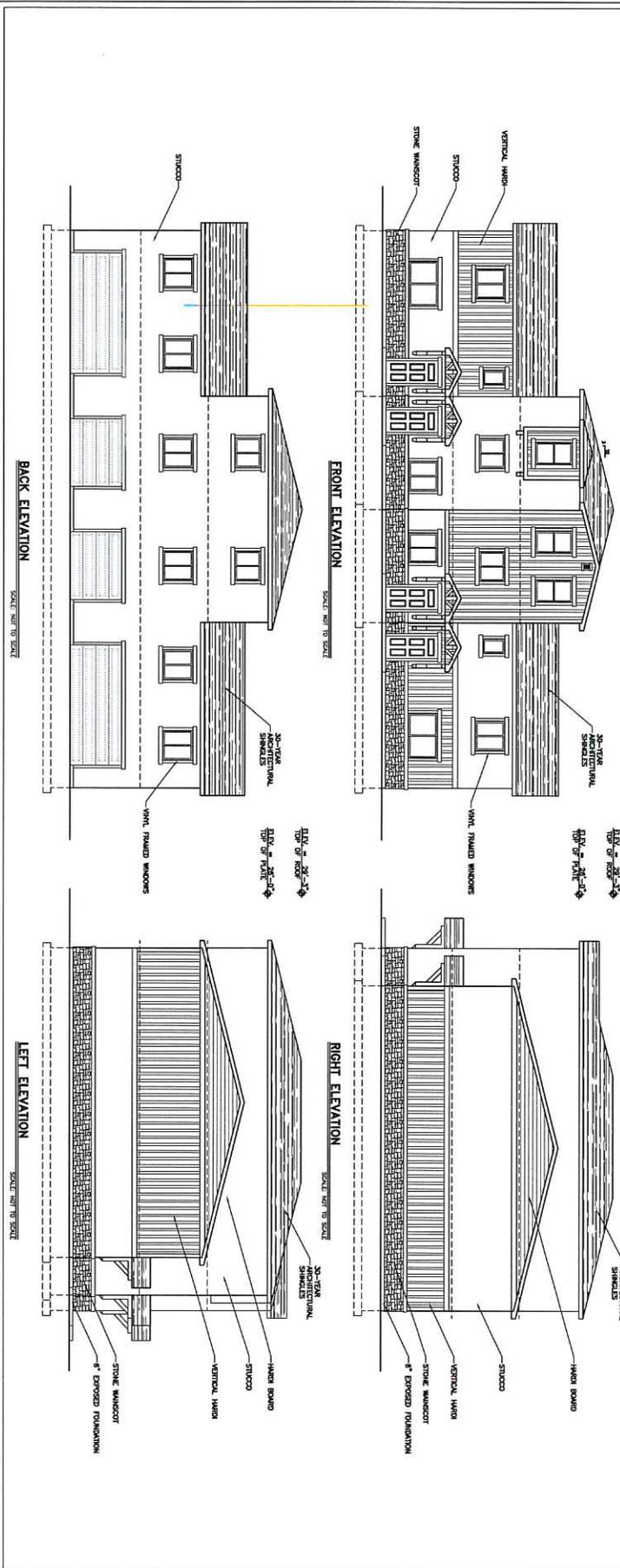
ELEVATION CONCEPT C
SCALE NONE



FRONT BUILDING ELEVATION (COMBINED RETAIL AND LIVING UNITS)
SCALE 1/8" = 1'-0"

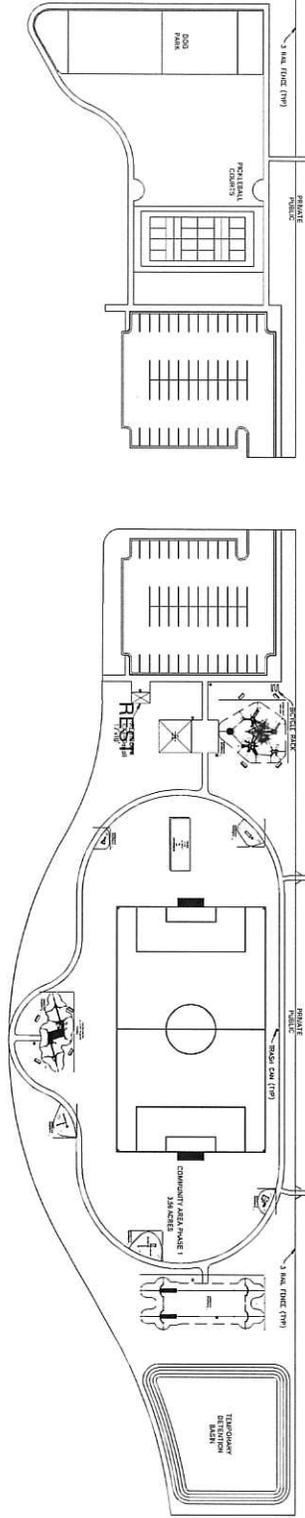
EASTON PARK
ELEVATION CONCEPTS
AMERICAN FORK, UTAH
1 APRIL 2016

OTM
CURTIS MINER
2715 SOUTH 200 WEST
MIDWINTER, UTAH 84045
PHONE: (435) 734-4444
FAX: (435) 734-4447
www.otm.com



Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)

<p>REVISIONS:</p> <ul style="list-style-type: none"> 1 08-00-00 2 08-00-00 3 08-00-00 	<p>ENGINEER STAMP:</p>	<p>EASTON PARK TOWNHOMES EXTERIOR CONCEPTS PROJECT ADDRESS: AMERICAN FORK, UT</p>	<p>© Copyright 2016 Gregory D. Brown 1223 CULMAN DRIVE, UT 84097 E-MAIL: greg@legacyhomedesign.com WEBSITE: LegacyHomeDesign.com</p>	<p>Legacy Drafting & Design</p> <p>GREGORY D. BROWN - OWNER/PRINCIPAL DESIGNER CELL: 801.735.6314 FAX: 801.224.7549 1223 CULMAN DRIVE, UT 84097 E-MAIL: greg@legacyhomedesign.com WEBSITE: LegacyHomeDesign.com</p>	<p>SHEET NUMBER: 04-01-16</p>
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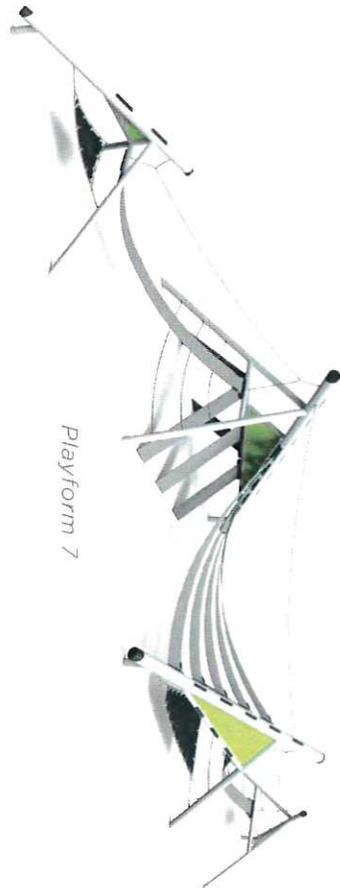
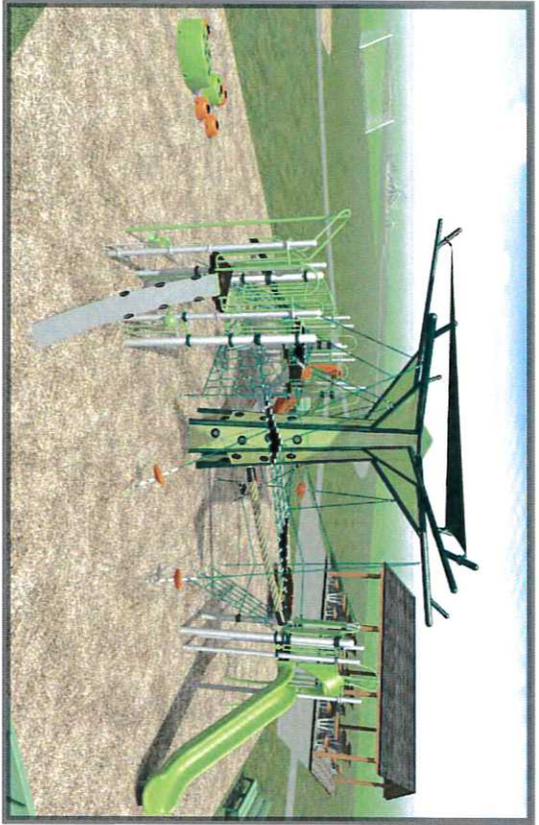
*PLAYGROUND SUPERVISION REQUIRED

<p>BIG T RECREATION 949 East Pioneer Rd, Suite A4 Draper, UT 84020</p>	
EQUIPMENT SIZE: N/A	
USE ZONE: SEE DWG	
AREA: SEE DWG	PERIMETER: SEE DWG
FALL HEIGHT: 9'-2"	
USER CAPACITY: 112	AGE GROUP: 5-12
✓ ASTM F1487-11 ✓ CPSC #325 	SCALE: NTS
PROJECT NO: 16-1190A	Paper Size B
DRAWN BY: I. PERKINS	
DATE: 23-MAR-16	

EASTON PARK OPT A

AMERICAN FORK, UT





Playform 7

Easton Park Opt. A
 American Fork, UT
 4077044-8179

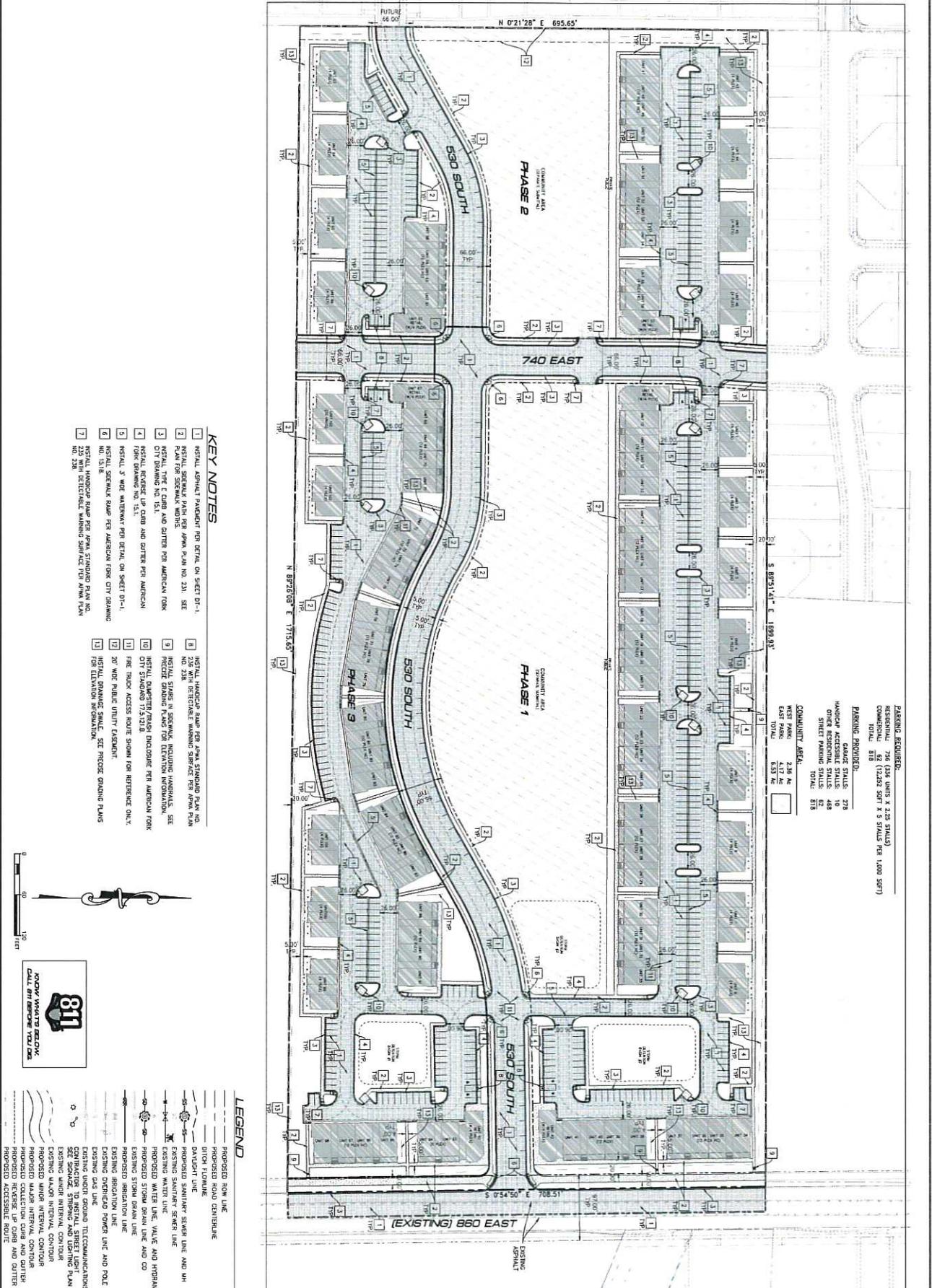


ENERGI Prime

Dogs Best Friend

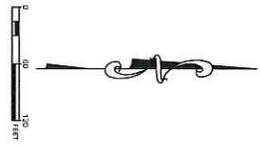
Icon Pavillion

LiveWire Zip Lines



- KEY NOTES**
- INSTALL ASPHALT PAVEMENT PER DETAIL ON SHEET DT-1.
 - INSTALL SEWER MAIN PER APM PLAN NO. 231. SEE PLAN FOR SEWER MAIN WORKS.
 - INSTALL TREE E CURB AND GUTTER PER AMERICAN FORK CITY DRAWING NO. 151.
 - INSTALL REVERSE LP CURB AND GUTTER PER AMERICAN FORK CITY DRAWING NO. 151.
 - INSTALL 3" WDG WATERWAY PER DETAIL ON SHEET DT-1.
 - INSTALL 5" WDG WATERWAY PER AMERICAN FORK CITY DRAWING NO. 151.
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 - INSTALL 5" WDG WATERWAY PER AMERICAN FORK CITY DRAWING NO. 151.

- INSTALL HANGUP RAMP PER APM STANDARD PLAN NO. 231.
- SEE APM DETAIL FOR HANGUP RAMP SURFACE PER APM PLAN NO. 231.
- INSTALL STAIRS IN SEWER INCLUDING HANDRAILS. SEE PRELIMINARY DRAWING FOR ELEVATION INFORMATION.
- INSTALL DUMPSTER/RASH INCLUDING PER AMERICAN FORK CITY STANDARD 17.5.12.12.B.
- PER THICK ACCESS ROUTE SHOWN FOR REFERENCE ONLY.
- SEE WDG PUBLIC UTILITY EXHIBIT.
- INSTALL DRAINAGE SINK. SEE PRELIMINARY DRAWING FOR ELEVATION INFORMATION.



- LEGEND**
- PROPOSED ROW LINE
 - PROPOSED ROAD CENTERLINE
 - PROPOSED DRIVE
 - PROPOSED SANITARY SEWER LINE AND MANHOLE
 - PROPOSED WATER LINE, VALVE AND HYDRANT
 - PROPOSED STORM DRAIN LINE AND CO
 - EXISTING WATER MAIN LINE
 - EXISTING STORM DRAIN LINE
 - EXISTING IRRIGATION LINE
 - EXISTING OVERHEAD POWER LINE AND POLE
 - EXISTING GAS LINE
 - EXISTING UNDER GROUND TELECOMMUNICATIONS
 - EXISTING UNDER GROUND FIBER OPTIC CABLE
 - EXISTING MAJOR INTERVAL CONTROLLER
 - EXISTING MAJOR INTERVAL CONTROLLER
 - PROPOSED MAJOR INTERVAL CONTROLLER
 - PROPOSED MAJOR INTERVAL CONTROLLER
 - PROPOSED COLLECTION CURB AND GUTTER
 - PROPOSED REVERSE LP CURB AND GUTTER
 - PROPOSED ACCESSIBLE ROUTE

PARKING REQUIRED:

RESIDENTIAL	756 (136 UNITS X 2.25 STALLS)
COMMERCIAL	62 (12,252 SQFT X 3 STALLS PER 1,000 SQFT)
TOTAL	818

PARKING PROVIDED:

COMMERCIAL	728
RESIDENTIAL	488
TOTAL	1,216

COMMUNITY AREA:

NET PARKING	238 AC
NET TOTAL	633 AC

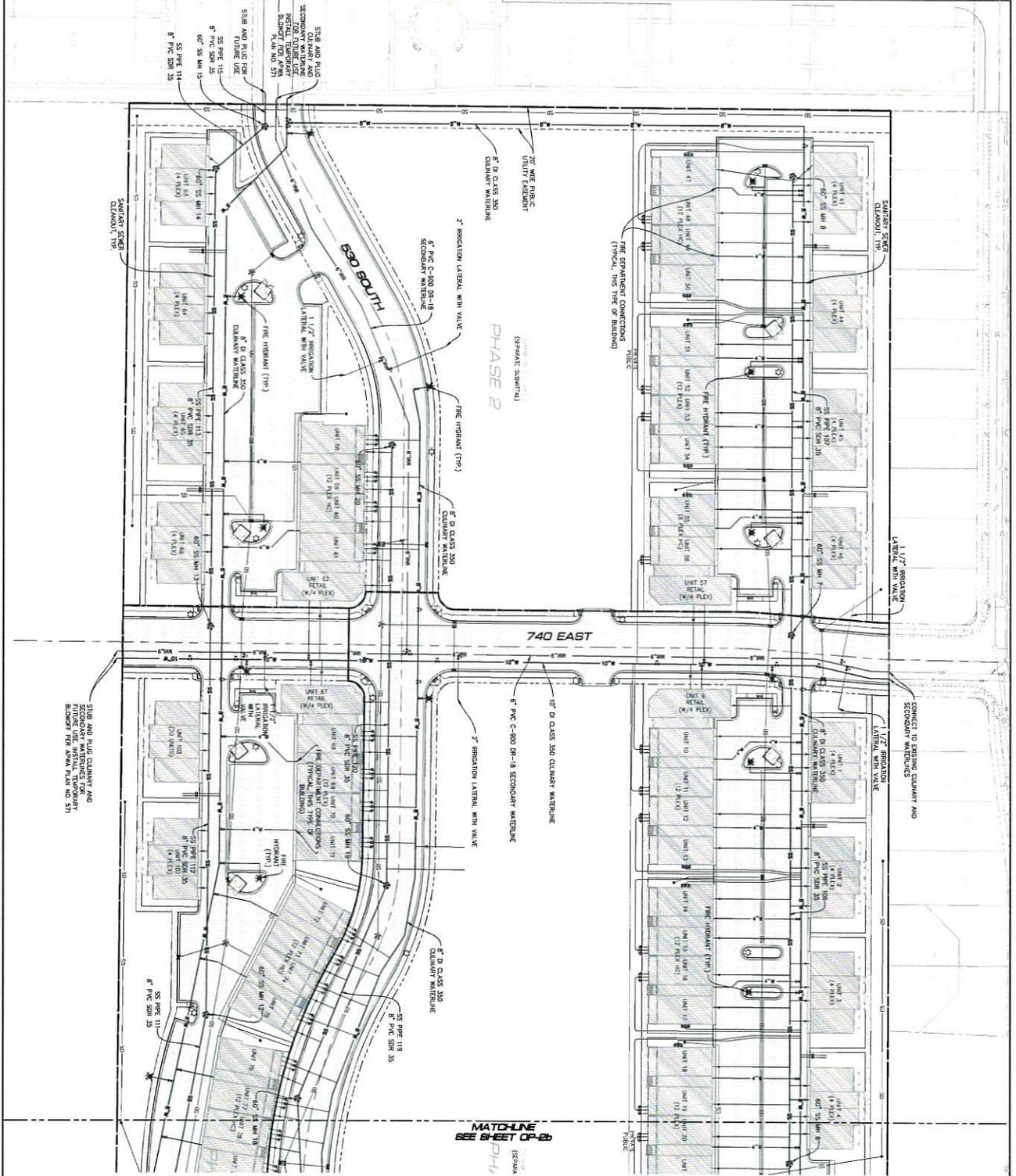
PLANNING & ENGINEERING
 811 CALL BEFORE YOU DIG

EASTON PARK SITE PLAN

PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

NOT FOR CONSTRUCTION

NO.	BY	DATE	REVISION



LEGEND

PROPOSED ROW LINE
 PROPOSED ROAD CENTERLINE
 DITCH/TOWNE
 PROPOSED SANITARY SEWER LINE AND MH
 PROPOSED WATER LINE, VALVE AND HYDRANT
 PROPOSED STORM DRAIN LINE AND CO
 EXISTING IRRIGATION LINE
 EXISTING OVERHEAD POWER LINE AND POLE
 EXISTING UNDERGROUND TELECOMMUNICATIONS
 CONTRACTOR TO INSTALL STREET LIGHT
 SEE SANITARY, STORM AND LIGHTING PLAN
 EXISTING MAJOR INTERVAL CONTROL
 PROPOSED MAJOR INTERVAL CONTROL
 PROPOSED COLLECTION CURB AND GUTTER
 PROPOSED ACCESSIBLE ROUTE

811
 KNOW WHAT'S BELOW
 CALL OR VISIT FOR MORE

UTILITY SERVICES TO TYPICAL BUILDINGS:

SANITARY SEWER:
 1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN SPECIFICATIONS
 2. GROUND WATER DEPTHS ARE APPROXIMATELY 7 TO 10 FEET BELOW EXISTING GROUND SURFACE
 3. GROUND WATER DEPTHS ARE APPROXIMATELY 7 TO 10 FEET BELOW EXISTING GROUND SURFACE
 4. WATER DEPTH ELIMINATING THE NEED FOR LAND DRAINS.

LAND DRAIN NOTES:
 1. GROUND WATER DEPTHS ARE APPROXIMATELY 7 TO 10 FEET BELOW EXISTING GROUND SURFACE
 2. GROUND WATER DEPTHS ARE APPROXIMATELY 7 TO 10 FEET BELOW EXISTING GROUND SURFACE
 3. GROUND WATER DEPTHS ARE APPROXIMATELY 7 TO 10 FEET BELOW EXISTING GROUND SURFACE
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UTILITY SERVICES TO TYPICAL BUILDINGS:

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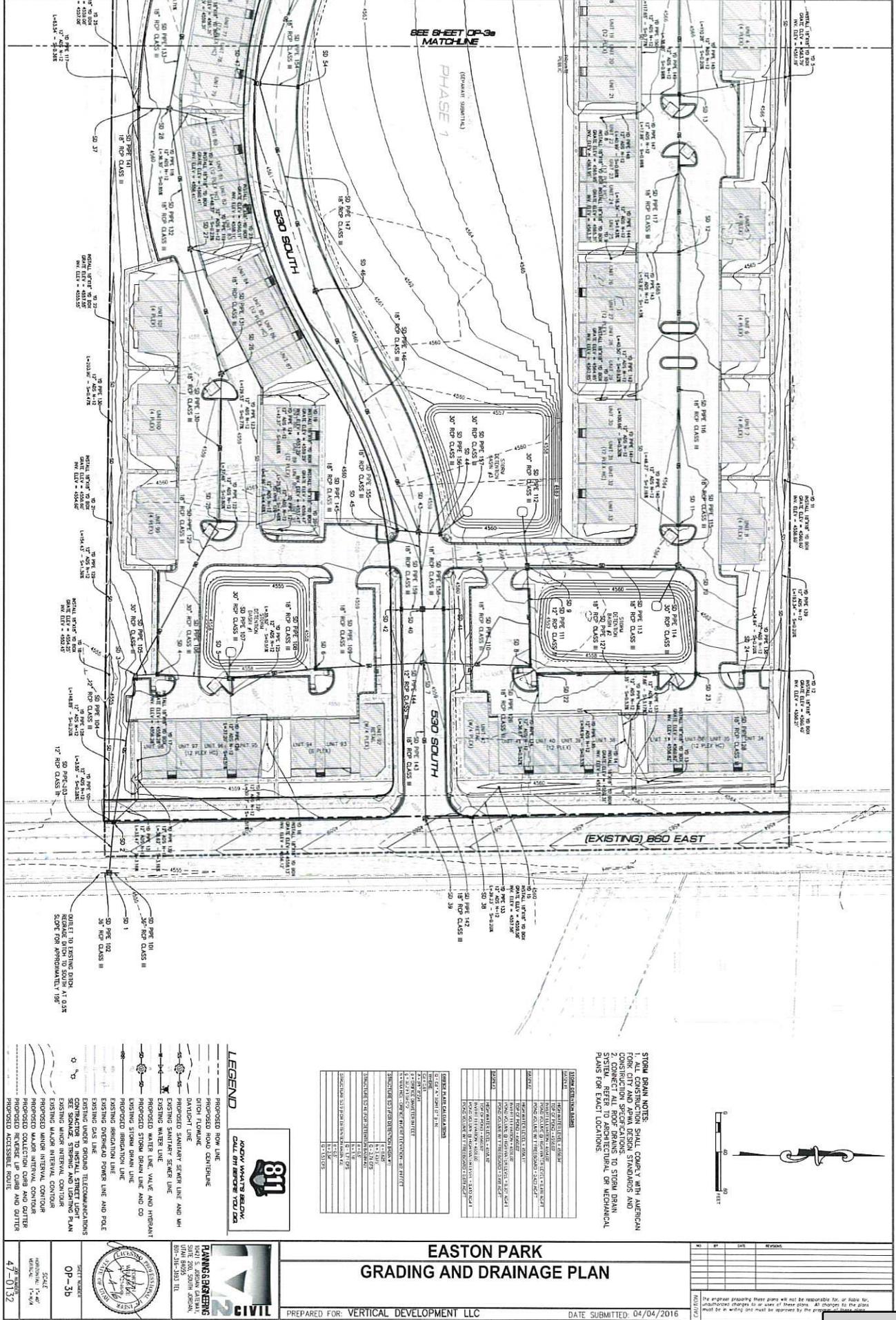
EASTON PARK OVERALL UTILITY PLAN

PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

NOT FOR CONSTRUCTION

Packet Pg. 112

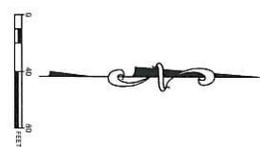
Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)

STORM DRAIN NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN CONSTRUCTION SPECIFICATIONS STANDARDS AND CONSTRUCTION SPECIFICATIONS STANDARDS AND STANDARDS FOR MECHANICAL OR MECHANICAL PIPES FOR BRASS CONNECTIONS.
2. CONNECT ALL ROOF DRAINS TO STORM DRAIN SYSTEM REFER TO MECHANICAL OR MECHANICAL PIPES FOR BRASS CONNECTIONS.



NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	04/04/2016
2	ISSUED FOR PERMITS	04/04/2016
3	ISSUED FOR PERMITS	04/04/2016
4	ISSUED FOR PERMITS	04/04/2016
5	ISSUED FOR PERMITS	04/04/2016
6	ISSUED FOR PERMITS	04/04/2016
7	ISSUED FOR PERMITS	04/04/2016
8	ISSUED FOR PERMITS	04/04/2016
9	ISSUED FOR PERMITS	04/04/2016
10	ISSUED FOR PERMITS	04/04/2016

LEGEND

KNOWN UTILITIES BELOW CALL OUT AND/OR REFER TO PLAN

811

- PROPOSED ROW LINE
- PROPOSED ROAD CENTERLINE
- DITCH FLOWLINE
- EXISTING WATER MAIN
- EXISTING SANITARY SEWER LINE AND MANHOLE
- EXISTING WATER LINE, VALVE AND HYDRANT
- PROPOSED STORM DRAIN LINE AND CO
- PROPOSED STORM DRAIN LINE
- PROPOSED BRIDGEMAN LINE
- EXISTING OVERHEAD POWER LINE AND POLE
- EXISTING GAS LINE
- CONTRACTOR TO INSTALL STREET LIGHT
- REBARRE DITCH TO SOUTH AT 0.4% SLOPE FOR APPROXIMATELY 150'
- PROPOSED MAJOR INTERVAL CONTOUR
- PROPOSED MAJOR INTERVAL CONTOUR
- PROPOSED MAJOR INTERVAL CONTOUR
- PROPOSED REVERSE 1% C&G AND GUTTER
- PROPOSED ACCESSIBLE ROUTE

**EASTON PARK
GRADING AND DRAINAGE PLAN**

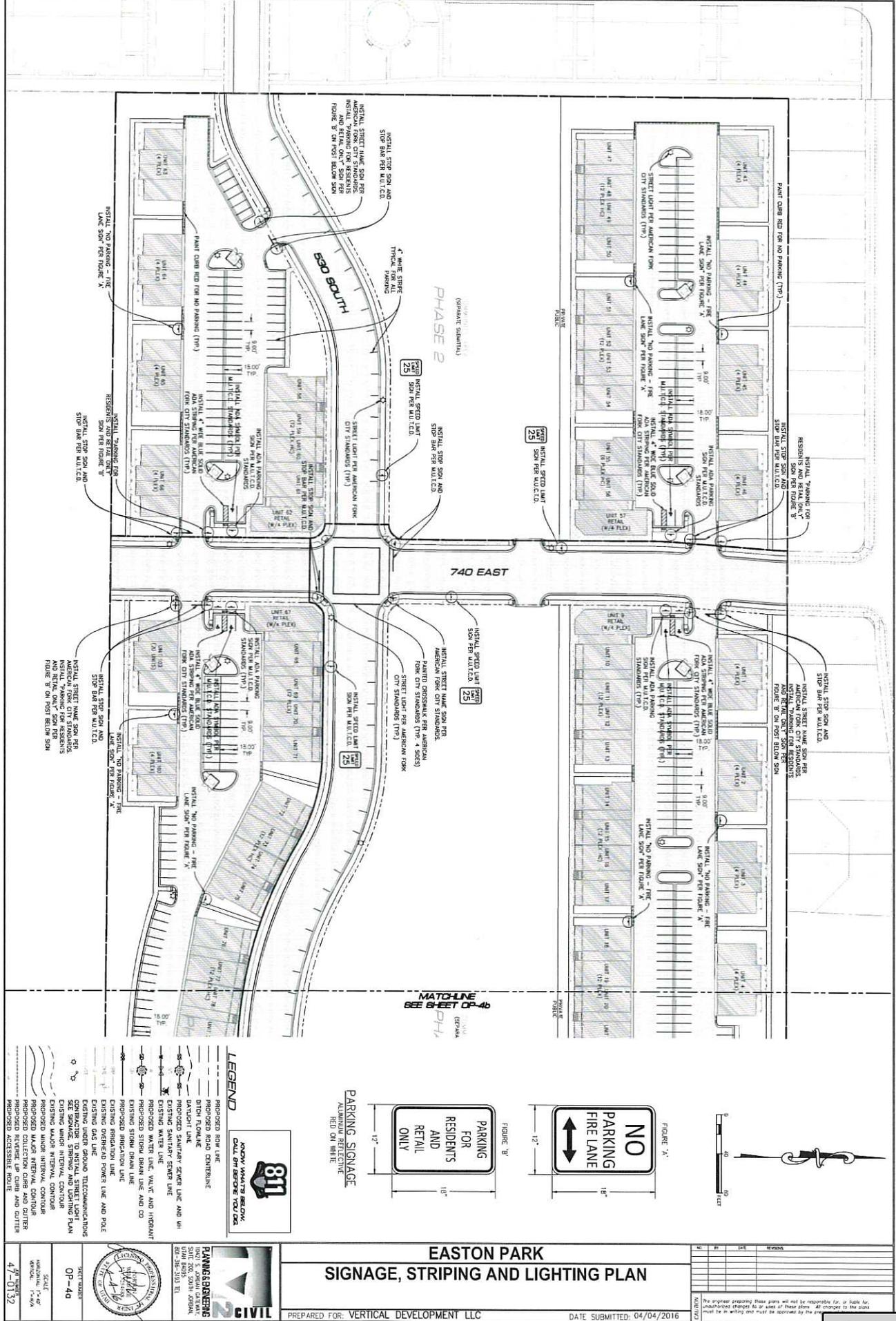
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DATE: 04/04/2016

PROJECT: EASTON PARK

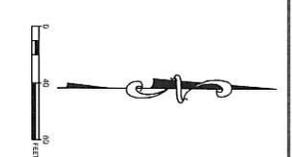
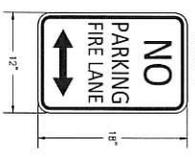
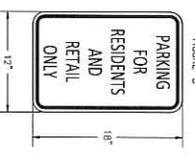
DESIGNER: R. C. BROWN

CLIENT: PLANNED COMMUNITY



Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)

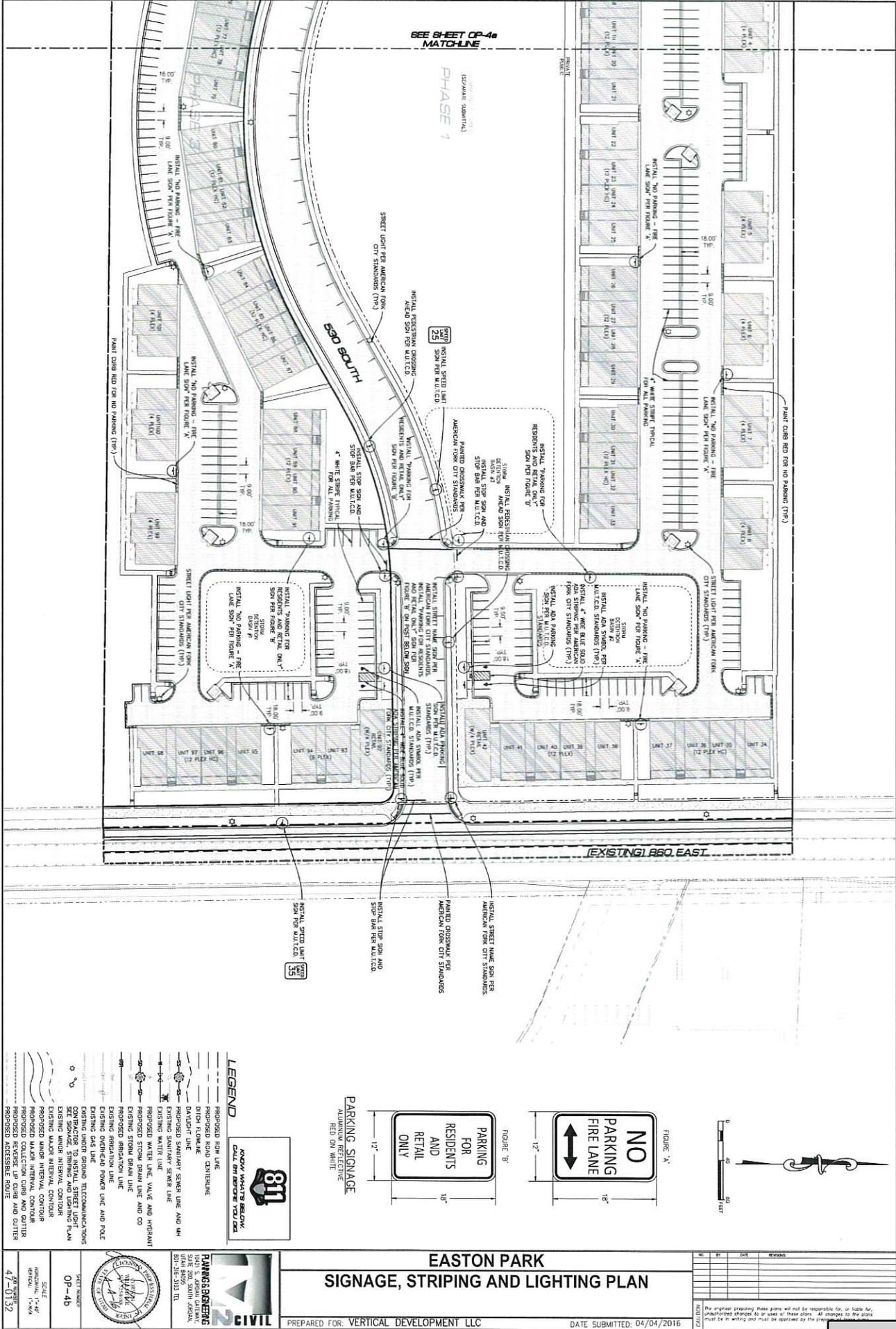
- LEGEND**
- PROPOSED ROW LINE
 - PROPOSED ROAD CENTERLINE
 - DITCH TOLERANCE
 - EXISTING SANITARY SEWER LINE AND W/L
 - PROPOSED WATER LINE, VALVE AND HYDRANT
 - EXISTING STORM DRAIN LINE AND CO
 - PROPOSED STORM DRAIN LINE
 - EXISTING OPENHOLE POWER, LINE AND POLE
 - EXISTING GAS LINE
 - EXISTING UNDER GROUND TELECOMMUNICATIONS CONDUIT TO INSTALL STREET LIGHT
 - EXISTING MAJOR INTERVAL CONTROL
 - EXISTING MAJOR INTERVAL CONTROL
 - PROPOSED MAJOR INTERVAL CONTROL
 - PROPOSED REVERSE UP CURB AND CUTTER
 - PROPOSED ACCESSIBLE RAMP



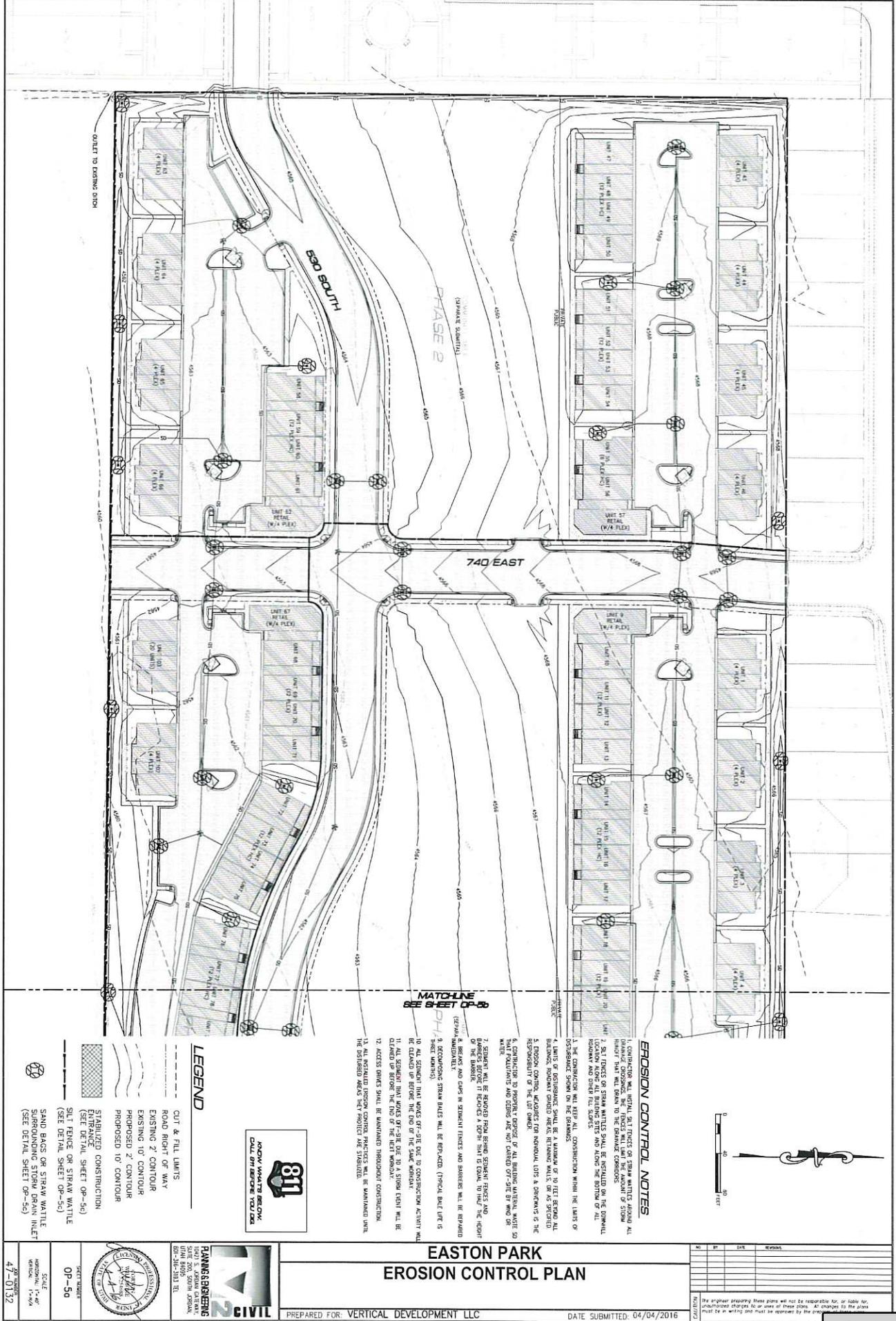
**EASTON PARK
 SIGNAGE, STRIPING AND LIGHTING PLAN**

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

NOT FOR CONSTRUCTION



Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



MATCHLINE
SEE SHEET OP-5B

- EROSION CONTROL NOTES**
1. CONSTRUCTION SHALL INSTALL SILT FENCES OR STRAW WATTLES AROUND ALL EXISTING CONDOSES. THE FENCES WILL LIMIT THE AMOUNT OF STORM RUNOFF THAT WILL DRAIN TO THE EXISTING CONDOSES.
 2. SILT FENCES OR STRAW WATTLES SHALL BE INSTALLED ON THE DOWNHILL SIDE OF THE CONDOSES AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND DRAIN FILL STAGES.
 3. THE CONSTRUCTOR WILL KEEP ALL CONSTRUCTION WITHIN THE LIMITS OF THE CONDOSES.
 4. LIMITS OF RESERVATION SHALL BE A VARIATION OF 10 FEET FROM ALL BUILDINGS, ROADS, DRIVEWAYS, SIDEWALKS, RETAINING WALLS, OR AS SPECIFIED BY THE OWNER.
 5. EROSION CONTROL MEASURES FOR INDIVIDUAL LOTS & DRIVEWAYS IS THE RESPONSIBILITY OF THE LOT OWNER.
 6. CONTRIBUTION TO PROTECT EXPOSED OF ALL BUILDING MATERIAL, MOST SO MATERIAL, EXPOSED AND COVERED AND NOT COVERED OFF-SITE BY AND ON THE CONDOSES.
 7. EXPOSED MATERIAL SHALL BE COVERED WITH STORM DRAINAGE MATS AND BARRIERS BEFORE IT REACHES A LOT OR IS DOWN TO THE HEIGHT OF THE BARBER.
 8. BREAKS AND CURBS IN STORM DRAINAGE AND BARRIERS WILL BE REPAIRED IMMEDIATELY.
 9. RECONSTRUCTION STRAW BALES WILL BE REPLACED. (TYPICAL BALE LIFE IS 30 DAYS).
 10. ALL EXISTING STRAW BALES OF THE SITE DUE TO CONSTRUCTION ACTIVITY WILL BE REPLACED IMMEDIATELY.
 11. ALL STORM DRAINAGE SHALL BE CLEANED UP BEFORE THE END OF THE NEXT WORKDAY.
 12. ACCESS PAVEMENT SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 13. ALL EXISTING EROSION CONTROL MEASURES WILL BE MAINTAINED UNTIL THE EXISTING AREAS HAVE BEEN STABILIZED.

- LEGEND**
- CUT & FILL LIMITS
 - ROAD RIGHT OF WAY
 - EXISTING 2' CONTOUR
 - EXISTING 10' CONTOUR
 - PROPOSED 2' CONTOUR
 - PROPOSED 10' CONTOUR
 - STABILIZED CONSTRUCTION (SEE DETAIL SHEET OP-5C)
 - SILT FENCE OR STRAW WATTLE (SEE DETAIL SHEET OP-5D)
 - SAND BAGS OR STRAW WATTLE SURROUNDING STORM DRAIN INLET (SEE DETAIL SHEET OP-5E)



**EASTON PARK
EROSION CONTROL PLAN**

RYAN'S ENGINEERING
1041 S. VERMILION AVENUE
DENVER, CO 80210
303-733-1111

CIVIL

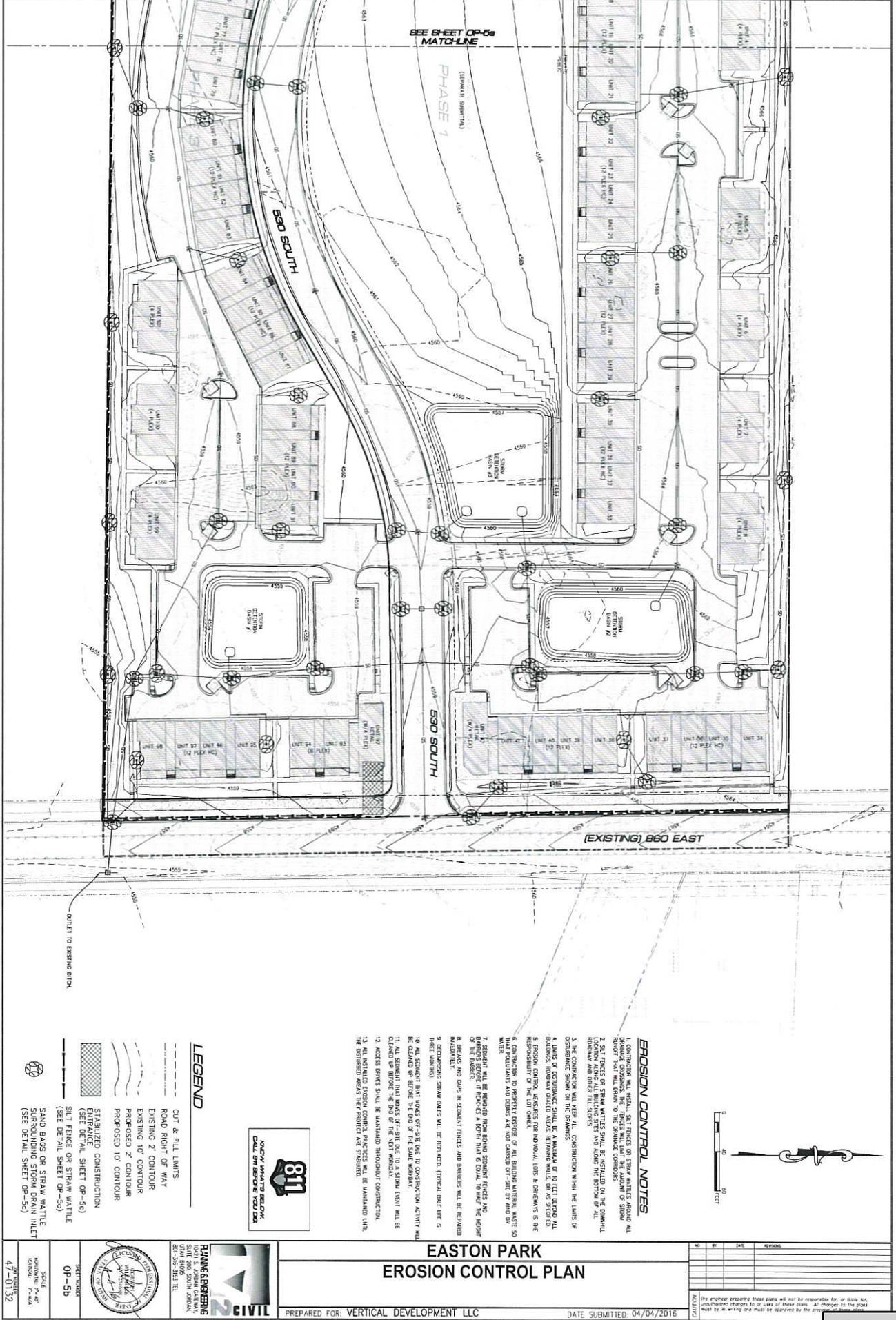
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DATE: 04/04/2016

47-0132

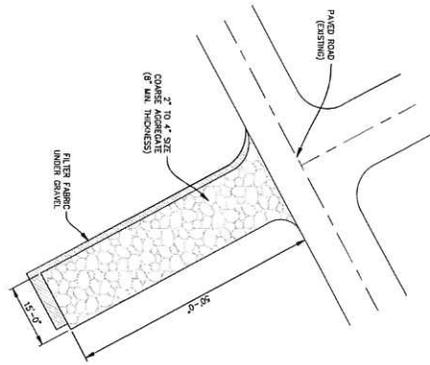
PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

NO.	BY	DATE	REVISION

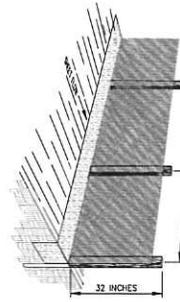
The engineer preparing these plans will not be responsible for, or liable for, construction changes to or work on these plans. All changes to the plans must be in writing and must be approved by the professional engineer.



Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)

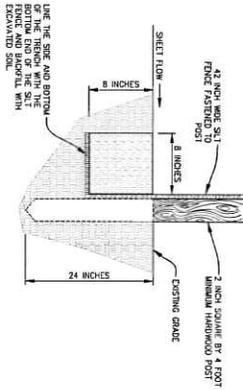


STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.



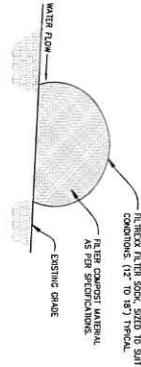
- SILENCING GENERAL NOTE:**
1. THE 6\"/>

SILT FENCE DETAIL
 N.T.S.



4. ALONG LONG SPANS ALONG THE FENCE AS MUCH AS POSSIBLE IF A POST IS NECESSARY, BRACE THE SILT FENCE AT A POST WITH A 6 INCH OVERLAP AND SECURELY FASTEN BOTH ENDS TO THE POST.
5. MAINTAIN A PROPER FUNCTIONING SILT FENCE THROUGHOUT THE DURATION OF THE CONSTRUCTION PERIOD. REPAIRS MUST BE MADE IMMEDIATELY.
6. REMOVE CONCRETE AT TERMINALS AND PLACE IT IN A STABLE AREA APPROVED BY AMERICAN FORM CITY.

- NOTES:**
1. ALL MATERIAL TO MEET FILTEREXX SPECIFICATIONS
 2. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTER BERM IN A FUNCTIONAL CONDITION AT ALL TIMES AND IT SHALL BE IMMEDIATELY REPAIRED.
 3. WHERE THE BERM REQUIRES REPAIR, IT WILL BE IMMEDIATELY REPAIRED.
 4. THE CONTRACTOR SHALL REMOVE SEGWENTS COLLECTED AT THE BASE OF THE BERM WHEN THEY REACH 1/2 OF THE DEEPEST REACH OF THE BERM OR AS DIRECTED BY THE ENGINEER.
 5. THE COMPOST FILTER BERM WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.



FILTREXX SEDIMENT CONTROL
 N.T.S.



SCALE: 1\"/>
 SHEET NUMBER: 0P-5c
 DATE: 04/04/2016

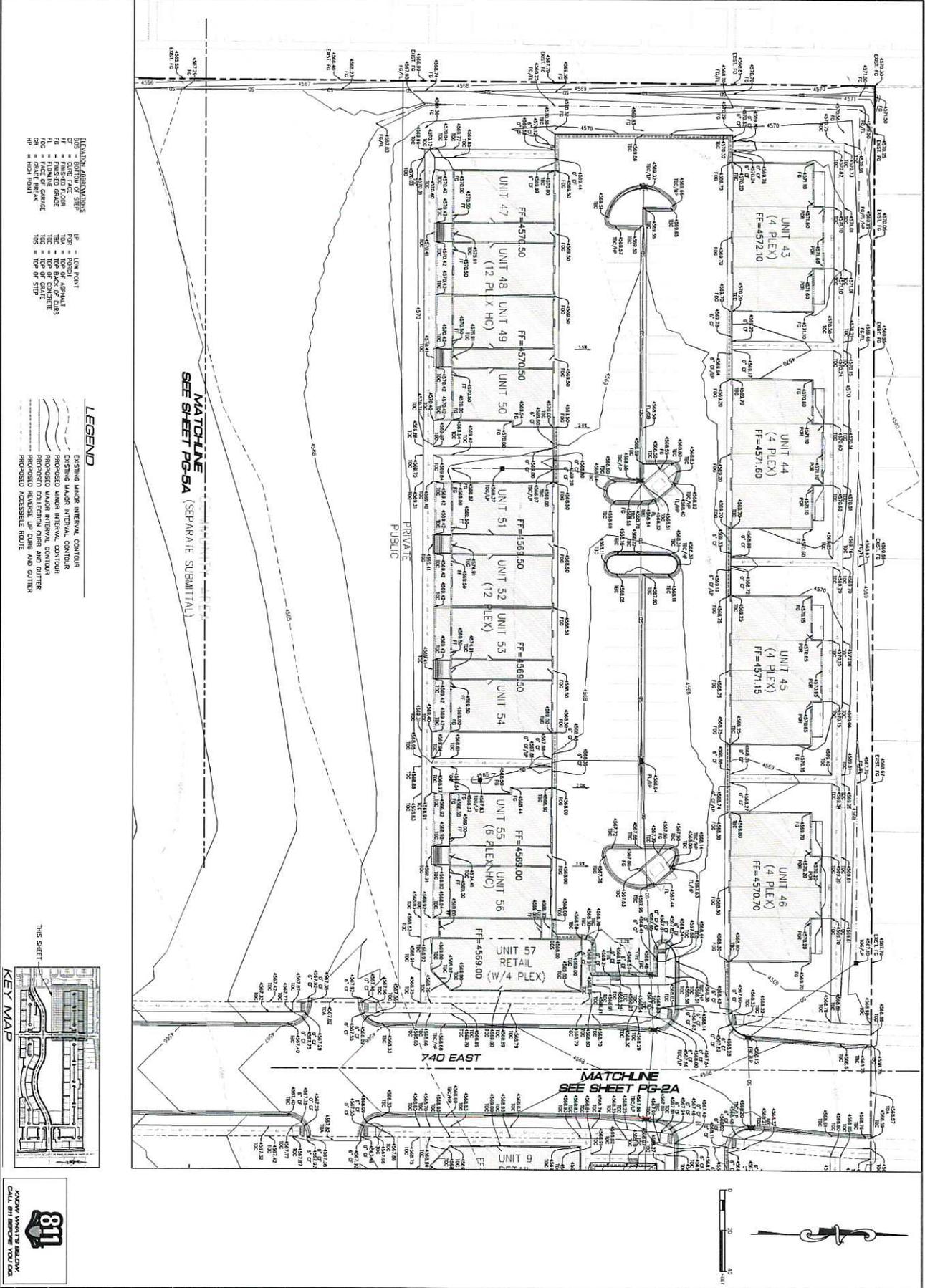
PLANNING ENGINEER
 HARRY S. JORDAN (LAWYER)
 1000 S. JORDAN DRIVE
 SUITE 1000
 BOYD, MO 64604
 816-396-3133 TEL

EASTON PARK
EROSION CONTROL DETAILS

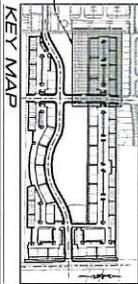
PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

NO.	BY	DATE	REVISION

The engineer preparing these plans will not be responsible for, or liable for, construction changes made to or on these plans. All changes to the plans must be in writing and must be approved by the engineer.



- LEGEND**
- EXISTING MAJOR INTERVAL CONTOUR
 - PROPOSED MAJOR INTERVAL CONTOUR
 - PROPOSED MINOR INTERVAL CONTOUR
 - PROPOSED REVERSE SLOPE CURB AND OUTER
 - PROPOSED ACCESSIBLE ROUTE
- LEGEND**
- EXISTING MAJOR INTERVAL CONTOUR
 - PROPOSED MAJOR INTERVAL CONTOUR
 - PROPOSED MINOR INTERVAL CONTOUR
 - PROPOSED REVERSE SLOPE CURB AND OUTER
 - PROPOSED ACCESSIBLE ROUTE



811
KNOX MARTIN BENTLEY
CALL 811 BEFORE YOU DIG

PLANNING ENGINEERING
UNIVERSITY OF TENNESSEE
1000 UNIVERSITY AVENUE
KNOX, TN 37996
TEL: 865-974-3113

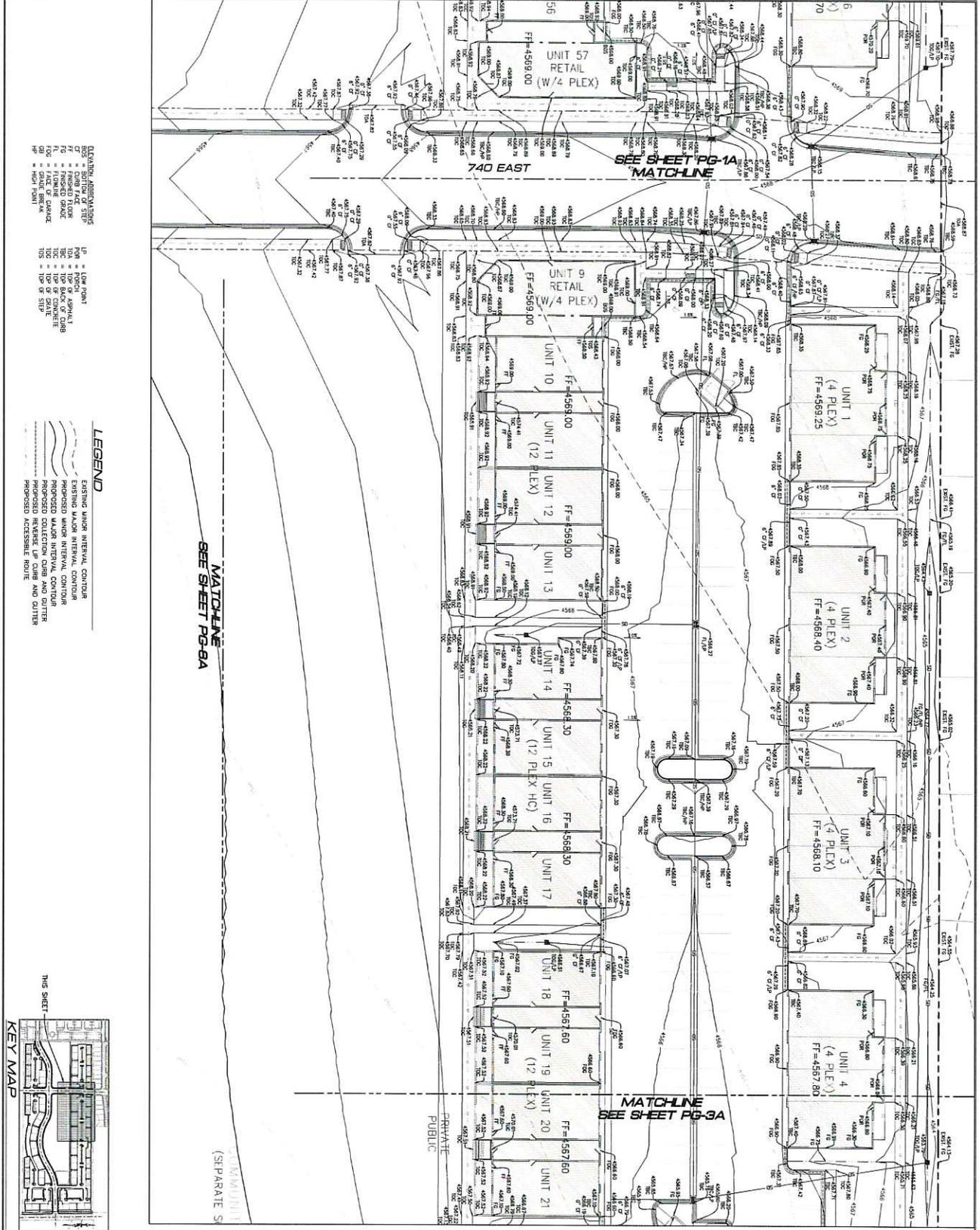
**EASTON PARK
PRECISE GRADING PLAN**

PREPARED FOR: VERTICAL DEVELOPMENT LLC
DATE SUBMITTED: 04/04/2016

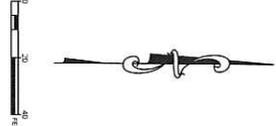
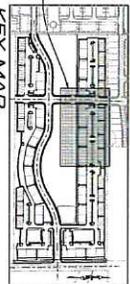
0
20
40
FEET

NO.	DATE	REVISION

The engineer certifies that these plans will not be reproduced, in whole or in part, without the written consent of the engineer. The engineer's responsibility is limited to the work shown on these plans and does not include any work not shown on these plans. The engineer's responsibility is limited to the work shown on these plans and does not include any work not shown on these plans.



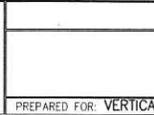
- LEGEND**
- EXISTING MAJOR INTERVAL CONTOUR
 - PROPOSED MAJOR INTERVAL CONTOUR
 - PROPOSED COLLECTION CURB AND CUTTER
 - PROPOSED REVERSE LP CURB AND CUTTER
 - PROPOSED ACCESSIBLE WALKWAY
- ELEVATION ABBREVIATIONS**
- BS = BOTTOM OF STEP
 - SS = SURFACE OF STEP
 - FF = FINISHED FLOOR
 - FL = FINISHED GRADE
 - FG = FACE OF GRADE
 - HP = HIGH POINT
- LP = LOW POINT**
- TPA = TOP OF ASPHALT
 - TPO = TOP OF CONCRETE
 - TSC = TOP OF CURB
 - TSS = TOP OF SIDEWALK
 - TSV = TOP OF SIGN



KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.



RYAN S. BREEN
 ENGINEER
 1001 S. BROAD ST. SUITE 200
 RALEIGH, NC 27601
 919-286-3151



**EASTON PARK
 PRECISE GRADING PLAN**

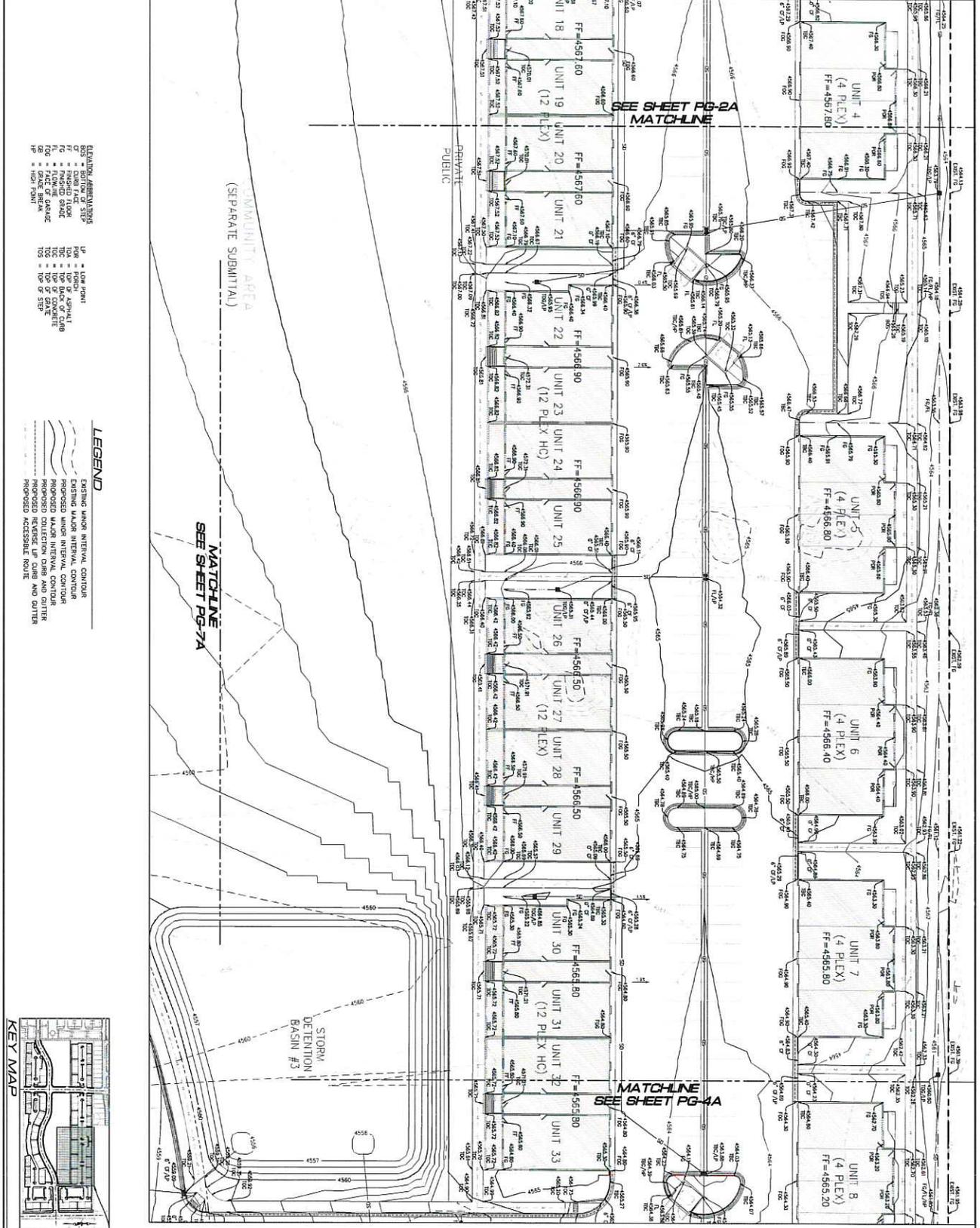
PREPARED FOR: VERTICAL DEVELOPMENT LLC

DATE SUBMITTED: 04/04/2016

NO.	DATE	DESCRIPTION

The engineer preparing these plans will not be responsible for, or liable for, any damages or injuries resulting from the use of these plans unless the engineer has been notified in writing and such shall be approved by the engineer.

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



- ELEVATION ABBREVIATIONS**
- BS = BENCHMARK
 - FF = FINISHED FLOOR
 - FC = FINISHED CURB
 - FG = FACE OF GRADE
 - HP = HIGH POINT
 - IP = INTERIOR FINISH
 - LP = LOW POINT
 - TA = TOP OF ASPHALT
 - TCC = TOP OF CONC
 - TDC = TOP OF DRAIN COVER
 - TGS = TOP OF GRADE
 - TSP = TOP OF SIGN

- LEGEND**
- EXISTING MAJOR INTERNAL CONTOUR
 - PROPOSED MAJOR INTERNAL CONTOUR
 - PROPOSED COLLECTION CURB AND GUTTER
 - PROPOSED REVERSE LP CURB AND GUTTER
 - PROPOSED ACCESSIBLE ROUTE



811
 KNOW WHAT'S BELOW
 CALL 811 BEFORE YOU DIG

PLANNING COMMISSION
 CITY OF EASTON, PA

PAYNE ENGINEERING
 TRACY S. PAYNE, P.E.
 1000 S. BROADWAY, SUITE 200
 EASTON, PA 18042
 TEL: 610-251-1111

**EASTON PARK
 PRECISE GRADING PLAN**

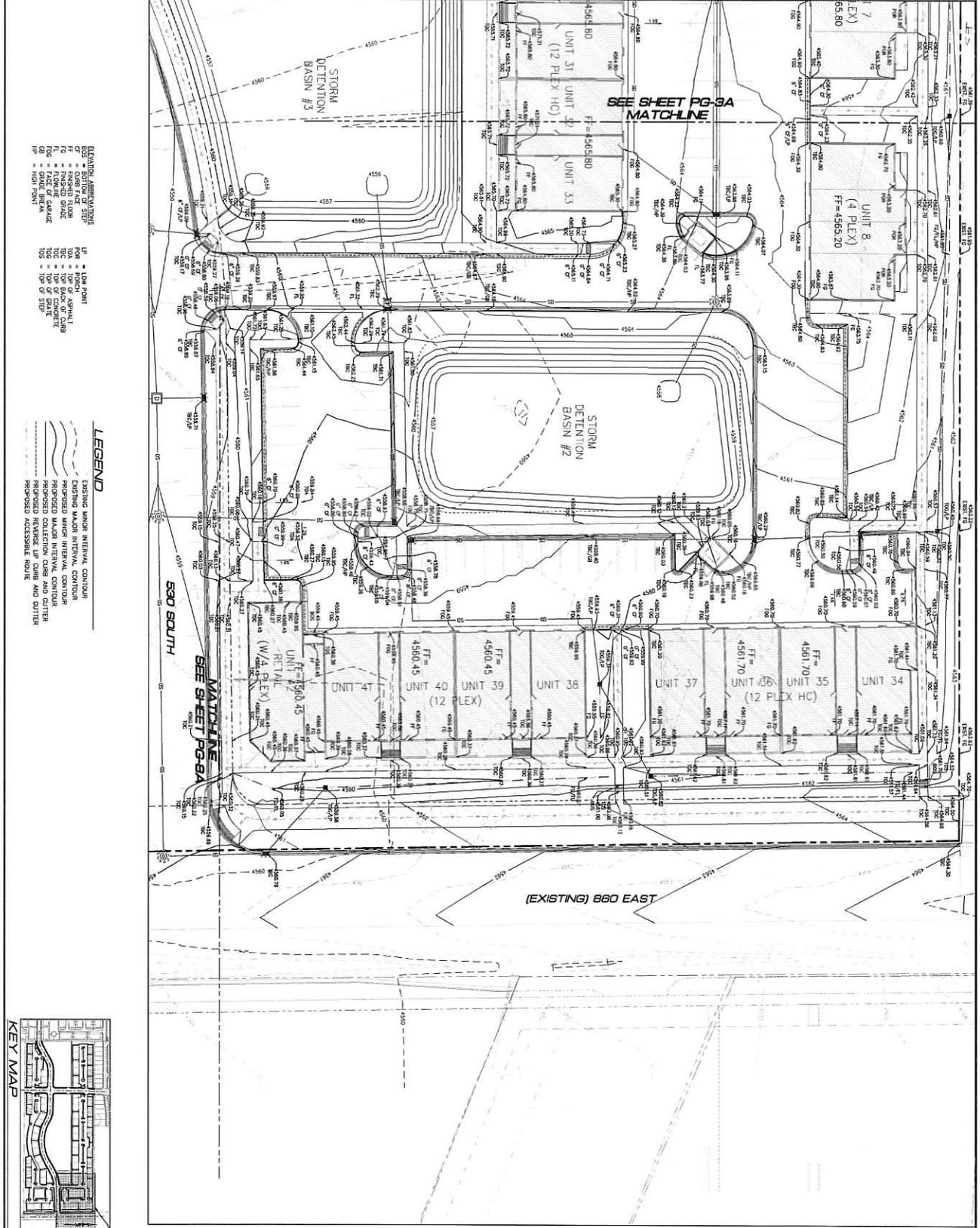
PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

0' 30' 60'
 NORTH

#	DATE	REVISION

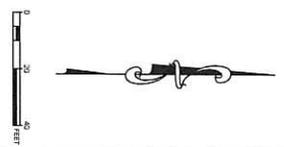
The engineer preparing these plans, will not be responsible for, or liable for, construction changes or in use of these plans. All changes to the plans must be in writing and must be approved by the engineer.

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



- ELEVATION ABERRATIONS**
- BS = BOTTOM OF STEP
 - FF = FINISHED FLOOR
 - FL = FINISHED GRADE
 - FG = FACE OF EXCAVE
 - HP = HIGH POINT
 - LP = LOW POINT
 - TOP OF ASPHALT
 - TOP OF CONCRETE
 - TOP OF GRADE
 - TOP OF SLOPE

- LEGEND**
- EXISTING MAJOR INTERVAL CONTOUR
 - PROPOSED MAJOR INTERVAL CONTOUR
 - PROPOSED MINOR INTERVAL CONTOUR
 - PROPOSED REVERSE CURB AND GUTTER
 - PROPOSED ACCESSIBLE ROUTE



811
KNOW WHAT'S BELOW
CALL 911 BEFORE YOU DIG

PLANNING & ENGINEERING
HUNT & EMMETT
1001 10th Street, Suite 100
Boulder, CO 80502
303.440.1313 TEL

**EASTON PARK
PRECISE GRADING PLAN**

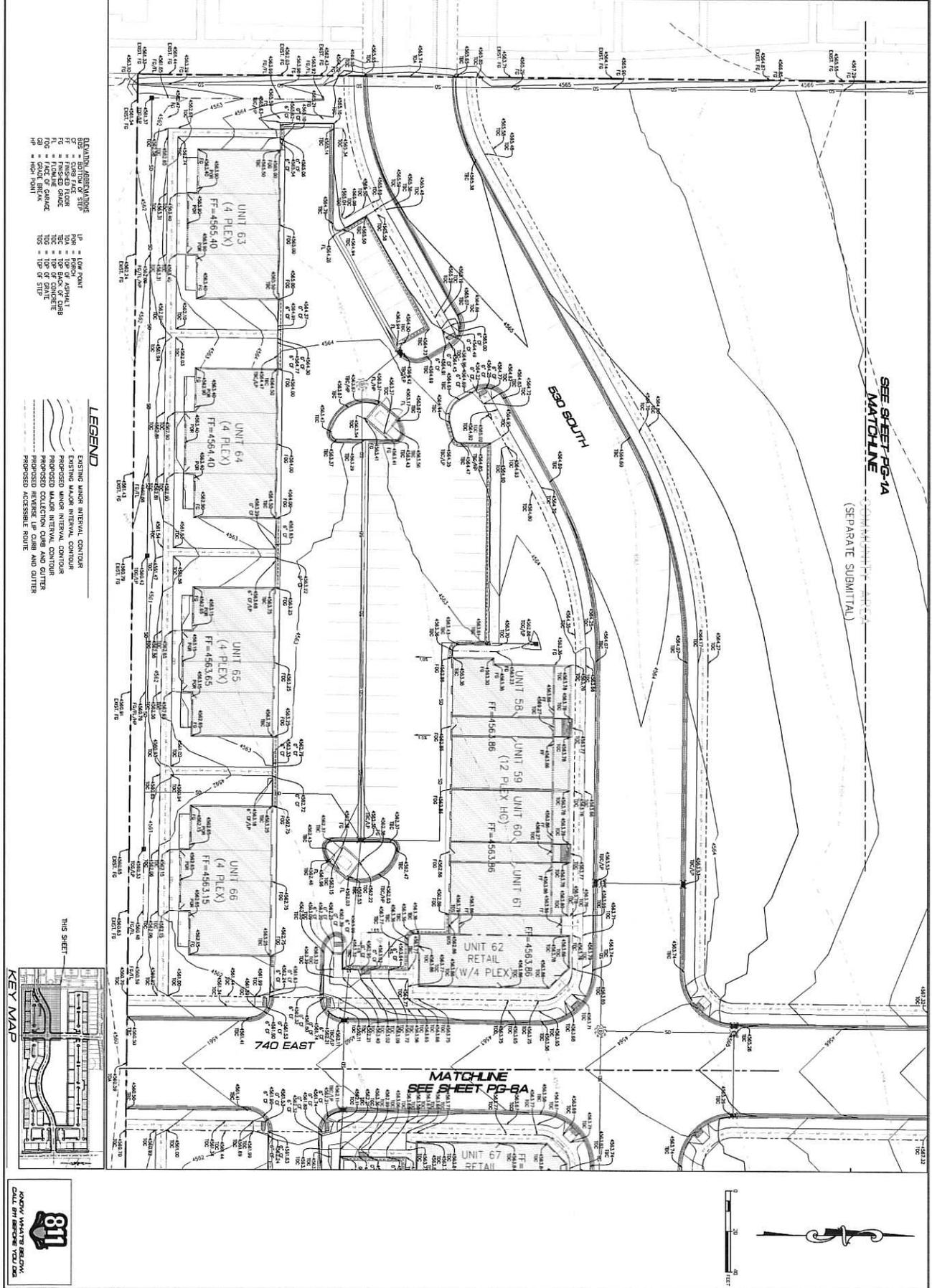
PREPARED FOR: VERTICAL DEVELOPMENT LLC
DATE SUBMITTED: 04/04/2016

NO.	BY	DATE	REVISION

The engineer preparing these plans will be responsible for, or liable for, any construction changes to the scope of these plans. All changes to the plans must be in writing and must be approved by the project engineer.

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)

NOT FOR CONSTRUCTION



- ELEVATION ABBREVIATIONS**
- BS = BOTTOM OF STEPS
 - FF = FINISHED FLOOR
 - FL = FINISHED GRADE
 - FG = FINISHED GRADE
 - FC = FACE OF CURB
 - HP = HIGH POINT
- LEGEND**
- IP = LOW POINT
 - TA = TOP OF ASPHALT
 - TC = TOP OF CONCRETE
 - TS = TOP OF STONE
- EXISTING MAJOR INTERVAL CONTOUR**
- PROPOSED MAJOR INTERVAL CONTOUR**
- PROPOSED COLLECTION CURB AND CUTTER**
- PROPOSED REVERSE LP CURB AND CUTTER**
- PROPOSED ACCESSIBLE WALKWAY**

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



PLANNING & ENGINEERING
 RAYMOND S. BROWN, P.E.
 1001 S. BROADWAY, SUITE 200
 DENVER, CO 80202
 TEL: 303-733-1111

CIVIL

DATE SUBMITTED: 04/04/2016

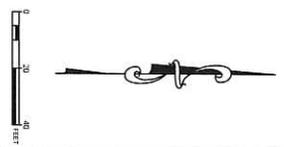
**EASTON PARK
PRECISE GRADING PLAN**

SCALE: 1" = 40'

PG-5A

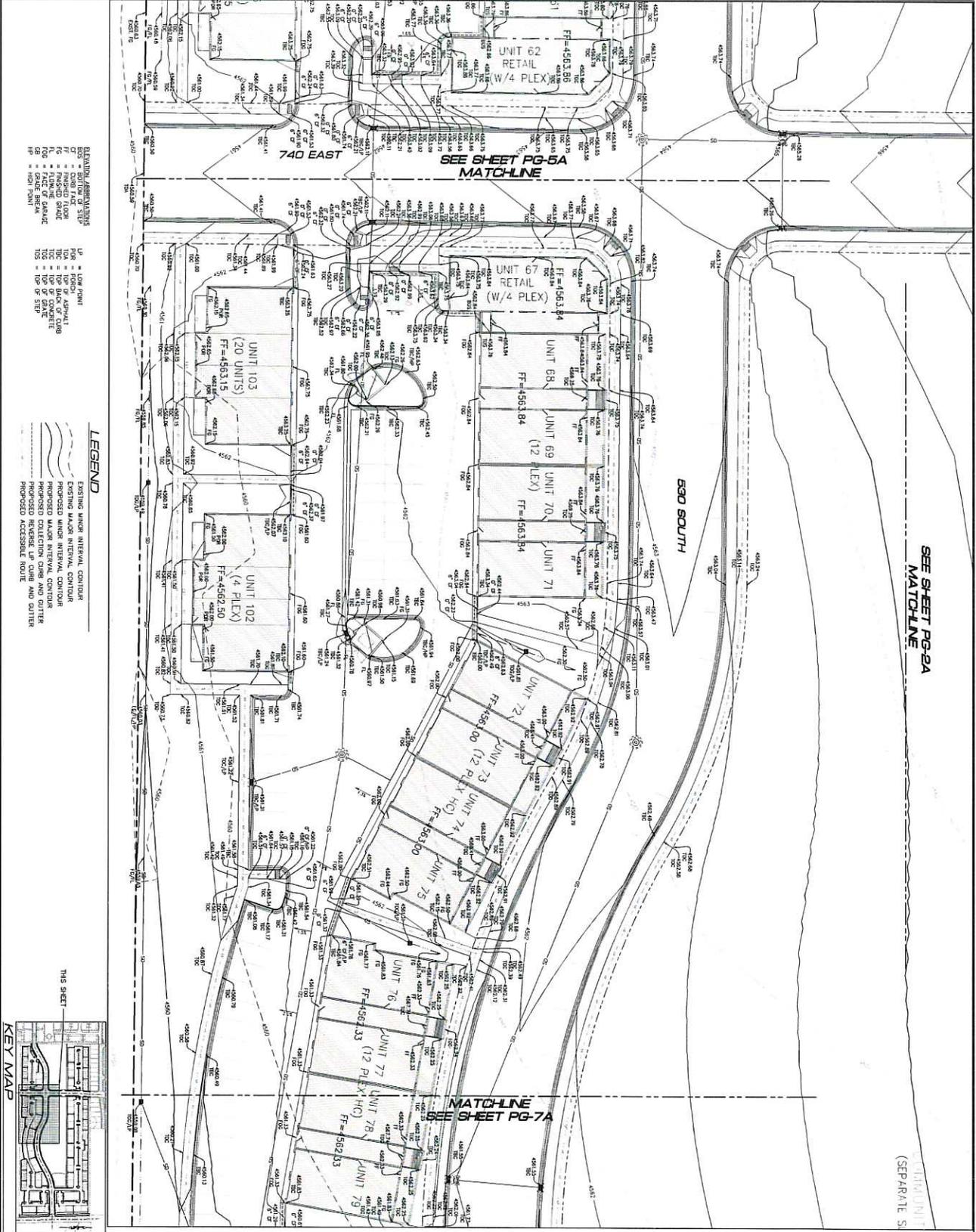
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DATE SUBMITTED: 04/04/2016

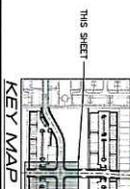


NO.	DATE	REVISION

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- LEGEND**
- EXISTING MAJOR INTERNAL CONTOUR
 - PROPOSED MAJOR INTERNAL CONTOUR
 - PROPOSED MINOR INTERNAL CONTOUR
 - PROPOSED COLLECTION CURB AND OUTER
 - PROPOSED ACCESSIBLE ROUTE
- ELEVATION ABREVIATIONS**
- BS = BENCHMARK
 - FIN = FINISHED GRADE
 - FL = FINISHED FLOOR
 - CG = CURB GRADE
 - HP = HIGH POINT
- UP = LOW POINT**
- UP = LOW POINT
 - TIC = TOP OF CONCRETE
 - TOS = TOP OF SOIL



DATE: PG-6A
SCALE: 1"=40'
DATE: 4/7-0132



**EASTON PARK
PRECISE GRADING PLAN**

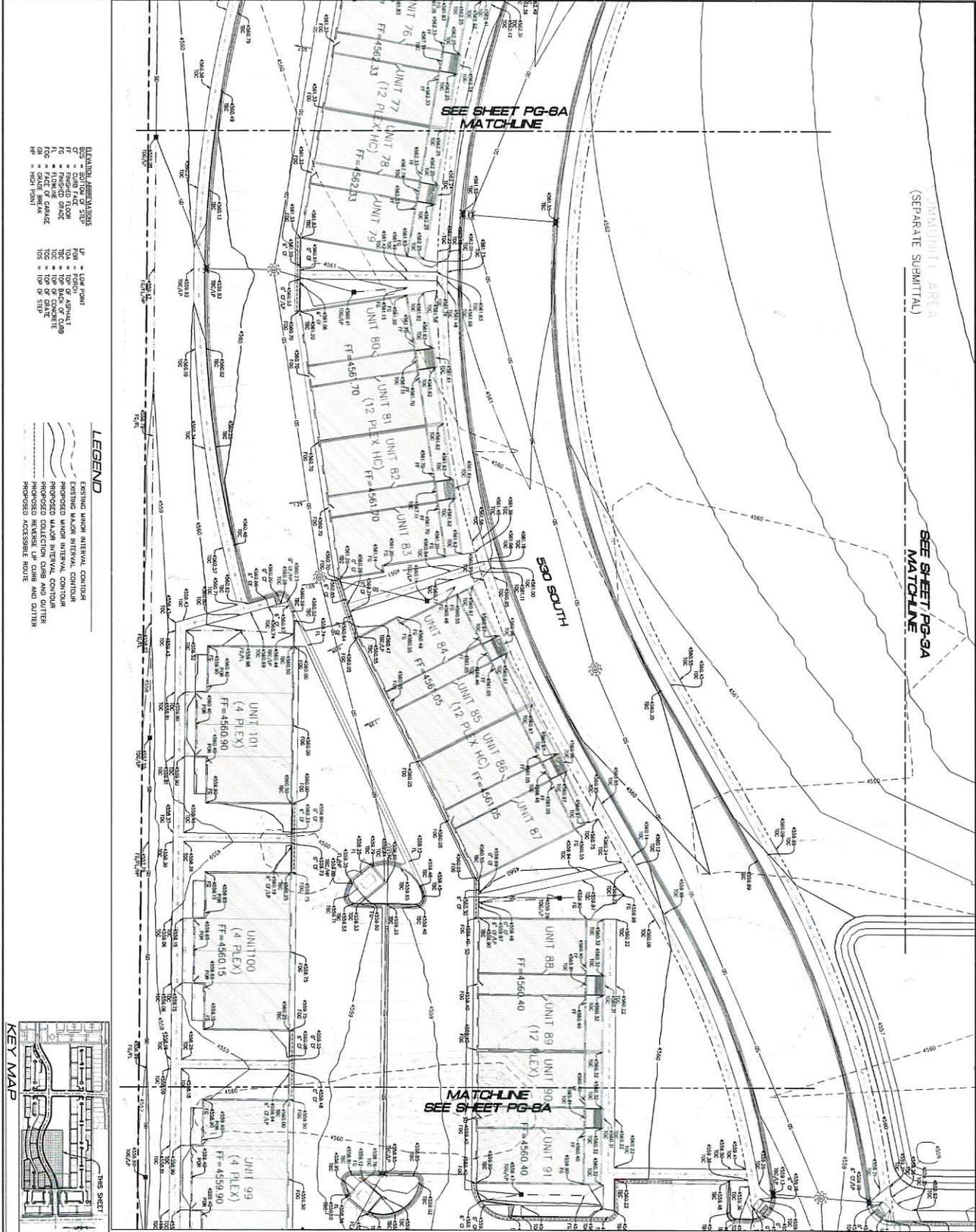
PREPARED FOR: VERTICAL DEVELOPMENT LLC
DATE SUBMITTED: 04/04/2016

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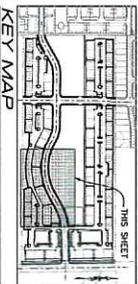
NO.	DATE	BY	REVISION

The engineer prepares these plans with no responsibility for, or liable for, construction changes to the uses of these plans. All changes to the plans must be in writing and must be approved by the engineer.

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



- EXISTENTIAL ABREVIATIONS**
- SD = SLOPE OF DRIVE
 - FF = FINISHED FLOOR
 - TF = TOP OF FINISHED FLOOR
 - FB = FINISHED GRADE
 - FG = FACE OF GRADE
 - HP = HEAD POINT
- LEGEND**
- UP = LOW POINT
 - TA = TOP OF ASPHALT
 - TC = TOP OF CURB
 - TS = TOP OF STATE
 - TT = TOP OF DRIVE
- LEGEND**
- EXISTING MINOR INTERVAL CONTOUR
 - EXISTING MAJOR INTERVAL CONTOUR
 - PROPOSED MINOR INTERVAL CONTOUR
 - PROPOSED MAJOR INTERVAL CONTOUR
 - PROPOSED COLLECTION CURB AND GUTTER
 - PROPOSED REVERSE LP CURB AND GUTTER
 - PROPOSED ACCESSIBLE ROUTE

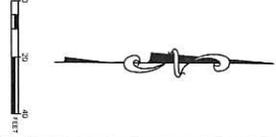


JAMES R. GREENE
 16241 S. BENTON DRIVE
 OLLI, MO 63050
 636-252-2933 TEL

**EASTON PARK
 PRECISE GRADING PLAN**

PREPARED FOR: VERTICAL DEVELOPMENT LLC

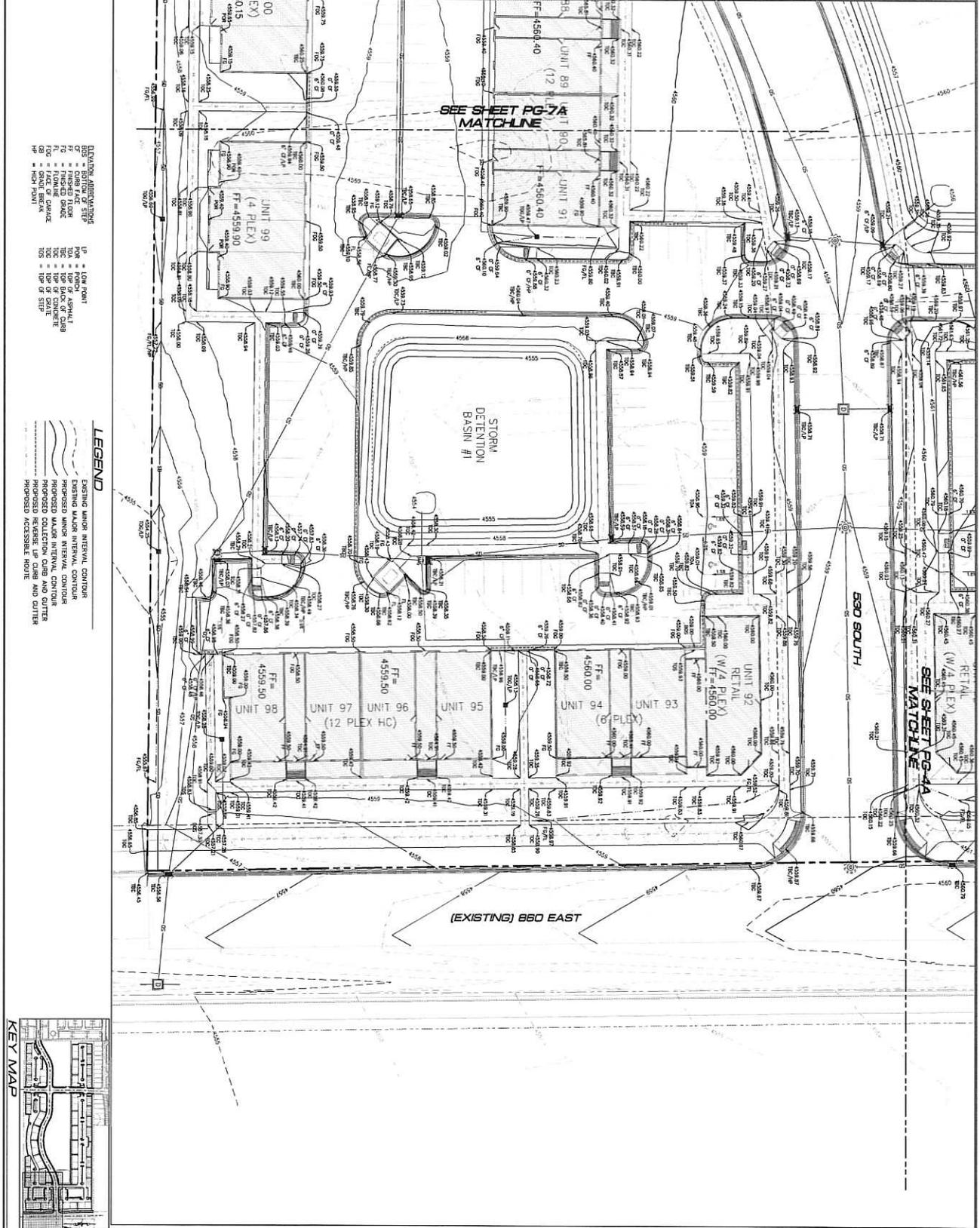
DATE SUBMITTED: 04/04/2016



NO.	DATE	REVISIONS

The engineer preparing these plans, will not be responsible for, or liable for, any changes or errors in these plans. All changes to the plans must be in writing and must be approved by the engineer.

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



THIS SHEET

 KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

PLANNING ENGINEERS
 10421 S. JENSEN CANYON
 SUITE 100, SOUTH GARDEN, CO
 801-318-3353 TEL

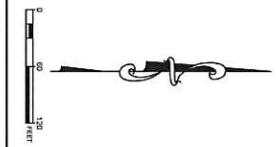
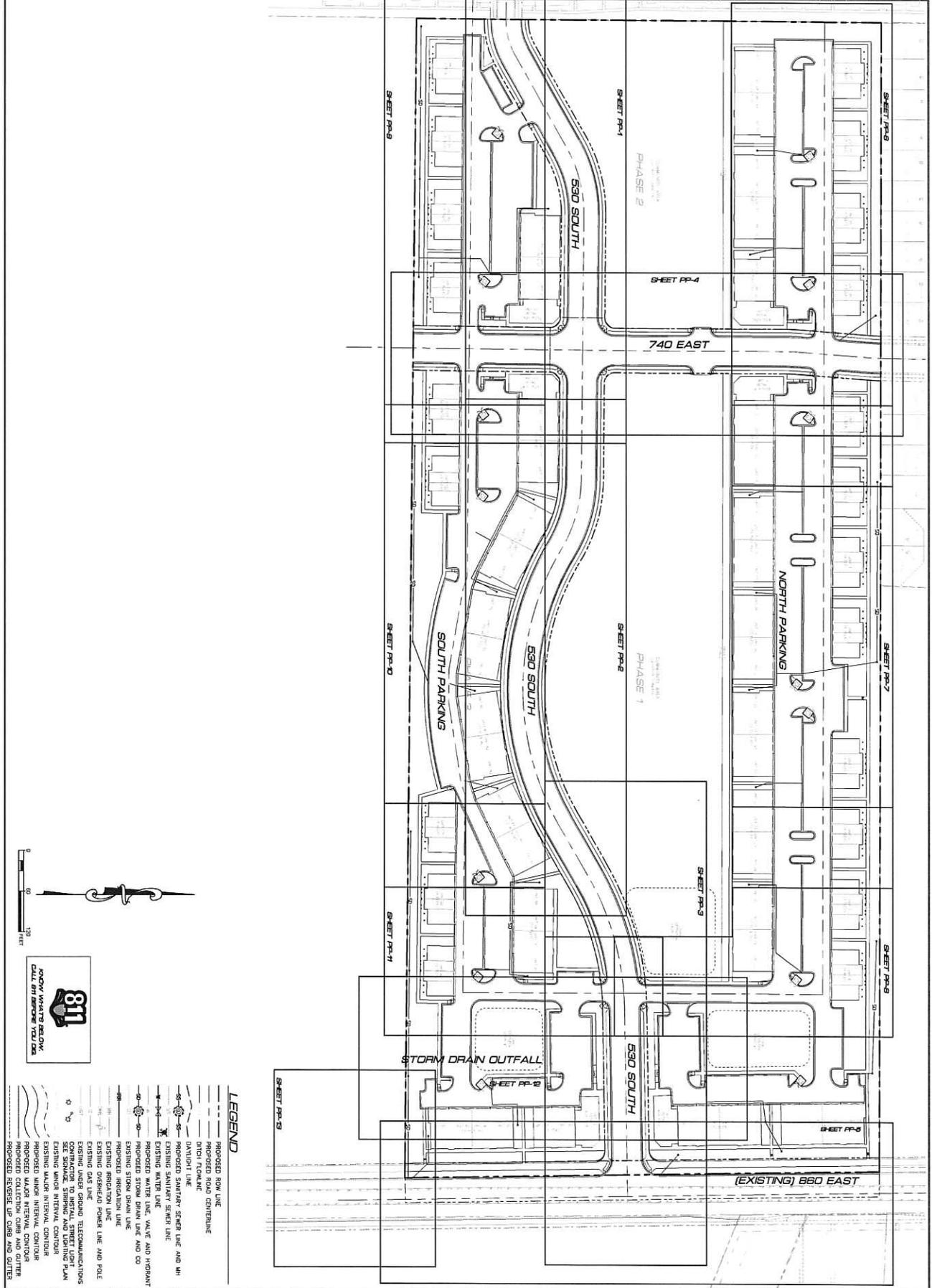
**EASTON PARK
 PRECISE GRADING PLAN**

PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

SCALE: 1" = 40'
 SHEET NUMBER: PG-8A
 SHEET TOTAL: 47-0132

The engineer preparing these plans will not be responsible for, or liable for, any construction errors or omissions in the construction of these plans. All changes to the plans must be in writing and must be approved by the engineer.

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



LEGEND

- PROPOSED ROW LINE
- PROPOSED ROAD CENTERLINE
- EXISTING ROAD CENTERLINE
- DATUM LINE
- PROPOSED SANITARY SEWER LINE AND MANHOLE
- EXISTING SANITARY SEWER LINE AND MANHOLE
- PROPOSED WATER LINE, VALVE AND HYDRANT
- EXISTING WATER LINE, VALVE AND HYDRANT
- PROPOSED STORM DRAIN LINE AND COVERT
- EXISTING STORM DRAIN LINE
- EXISTING OVERHEAD POWER LINE AND POLE
- EXISTING GAS LINE
- EXISTING UNDER GROUND TELECOMMUNICATIONS
- SEE SERVICE, STAMPING AND LIGHTING PLAN
- EXISTING MAJOR INTERVAL CONTOUR
- PROPOSED MAJOR INTERVAL CONTOUR
- EXISTING COLLECTION CURB AND GUTTER
- PROPOSED REVERSE UP CURB AND GUTTER

**EASTON PARK
 PLAN AND PROFILE
 MASTER KEY**

PLANNING & ENGINEERING
 200 S. JORDAN CANYON
 SUITE 200
 OREM, UT 84058
 801-226-2919 TEL

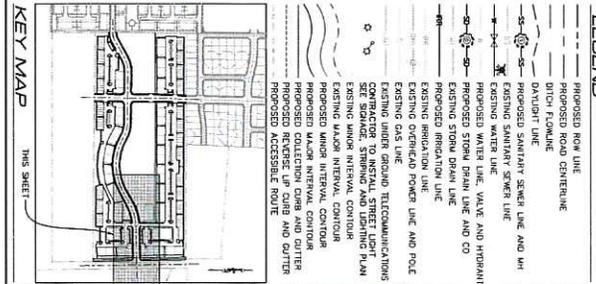
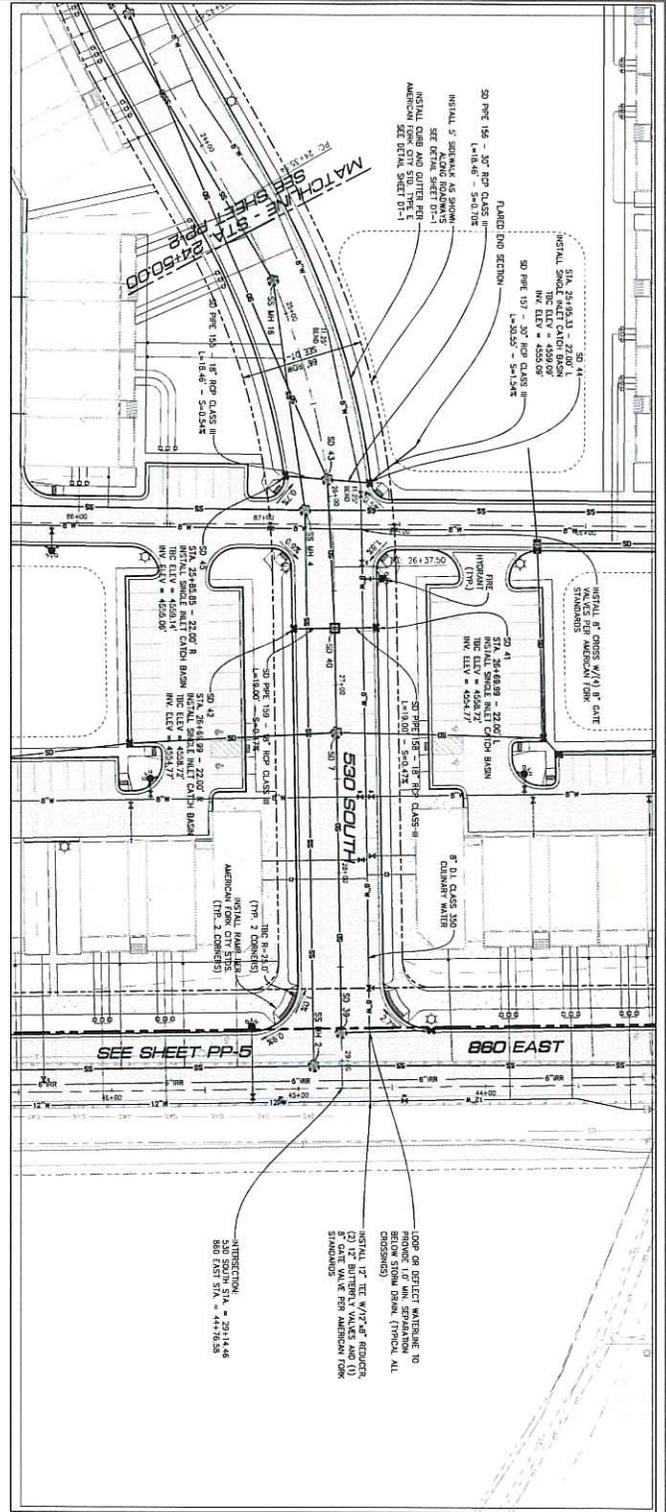
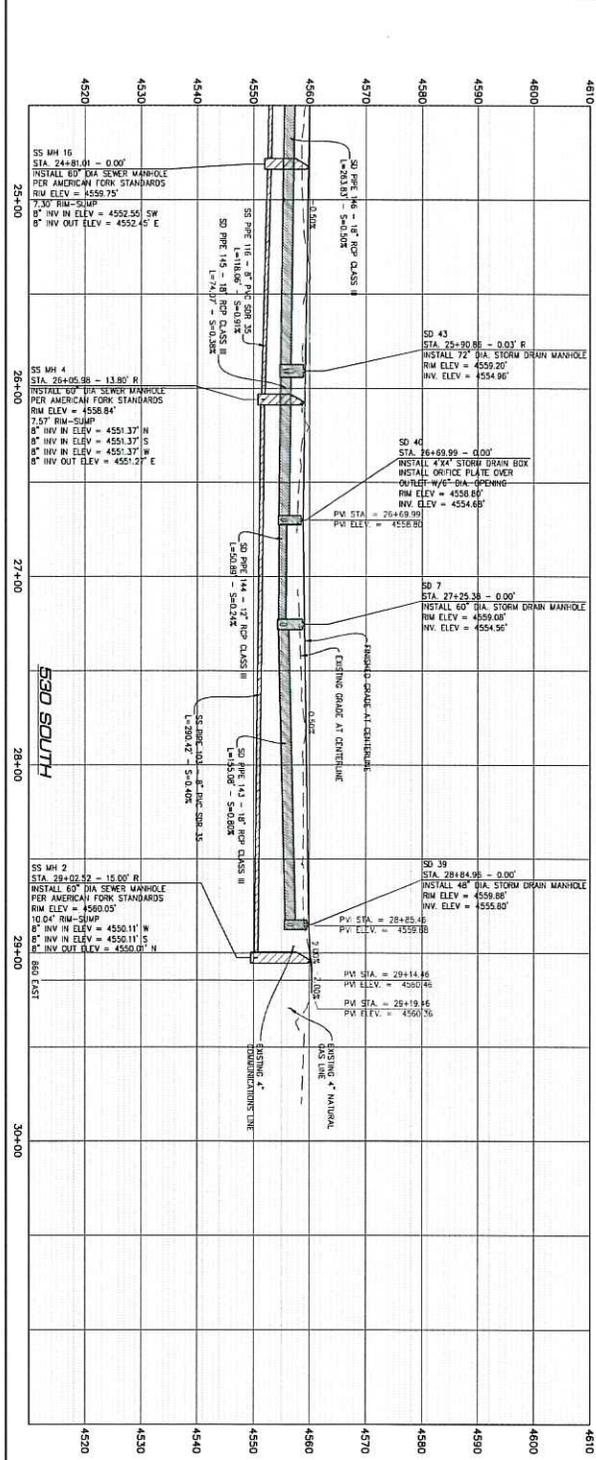
DATE SUBMITTED: 04/04/2016

PREPARED FOR: VERTICAL DEVELOPMENT LLC

NO.	BY	DATE	REVISION

The engineer preparing these plans will not be responsible for, or liable for, modifications changes to or use of these plans. All changes to the plans must be in writing and must be approved by the engineer.

Attachment: Site Plan and Plats (1321) : Easton Park Planned Community



LEGEND

- PROPOSED ROW LINE
- PROPOSED ROAD CENTERLINE
- DAWPOINT LINE
- EXISTING SANITARY SEWER LINE AND MH
- PROPOSED SANITARY SEWER LINE
- EXISTING WATER LINE, VALVE AND HYDRANT
- PROPOSED WATER LINE AND CO
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN LINE
- EXISTING GAS LINE
- PROPOSED GAS LINE
- EXISTING UNDERGROUND TELECOMMUNICATIONS SERVICE PROVIDER TOWER AND FIBER OPTIC CABLE
- EXISTING UNDERGROUND TELECOMMUNICATIONS SERVICE PROVIDER TOWER AND FIBER OPTIC CABLE
- EXISTING MAJOR INTERVAL CONTROL
- PROPOSED MAJOR INTERVAL CONTROL
- PROPOSED COLLECTION CATCH BASIN AND CUTTER
- PROPOSED COLLECTION CATCH BASIN AND CUTTER
- PROPOSED ACCESSIBLE ROUTE

STORM DRAIN NOTES:
 1. SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
 2. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
 3. ALL MANHOLE COVE SECTIONS TO BE POSITIONED AWAY FROM CURB AND GUTTER AND TOWARDS CENTER OF ROAD.

SEWER NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. SMALL FIELD VENT LOCATIONS AND OTHER UTILITIES OF EXISTING MANHOLES AND INTER-UTILITIES BEFORE STAKING OR CONSTRUCTING ANY FEEDER OF COVER IS REQUIRED OVER ALL SEWER LINES.
 2. ALL SEWER LATERALS AT MINIMUM 2% SLOPE SPACED NO MORE THAN 75' APART. CONNECT TO SEWER MAIN PER AMERICAN FORK CITY STANDARDS.
 3. ALL MANHOLE COVE SECTIONS TO BE POSITIONED AWAY FROM CURB AND GUTTER AND TOWARDS CENTER OF ROAD.

OTHER NOTES:
 1. LOOP OR PERFECT WATERLINE TO PROVIDE 10' MIN. SEPARATION BELOW STORM DRAIN (TYPICAL ALL OTHERS).
 2. INSTALL 12" TYP. VENT RODUCT PER AMERICAN FORK STANDARDS.
 3. ALL VALVE PER AMERICAN FORK STANDARDS.
 4. INSTALL 6" CROSS VENT PER GATE VALVE PER AMERICAN FORK STANDARDS.
 5. ALL VALVE PER AMERICAN FORK STANDARDS.
 6. ALL VALVE PER AMERICAN FORK STANDARDS.
 7. ALL VALVE PER AMERICAN FORK STANDARDS.
 8. ALL VALVE PER AMERICAN FORK STANDARDS.
 9. ALL VALVE PER AMERICAN FORK STANDARDS.
 10. ALL VALVE PER AMERICAN FORK STANDARDS.

EASTON PARK PLAN AND PROFILE
530 SOUTH
 STA. 24+50.00 TO STA. 29+14.46

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

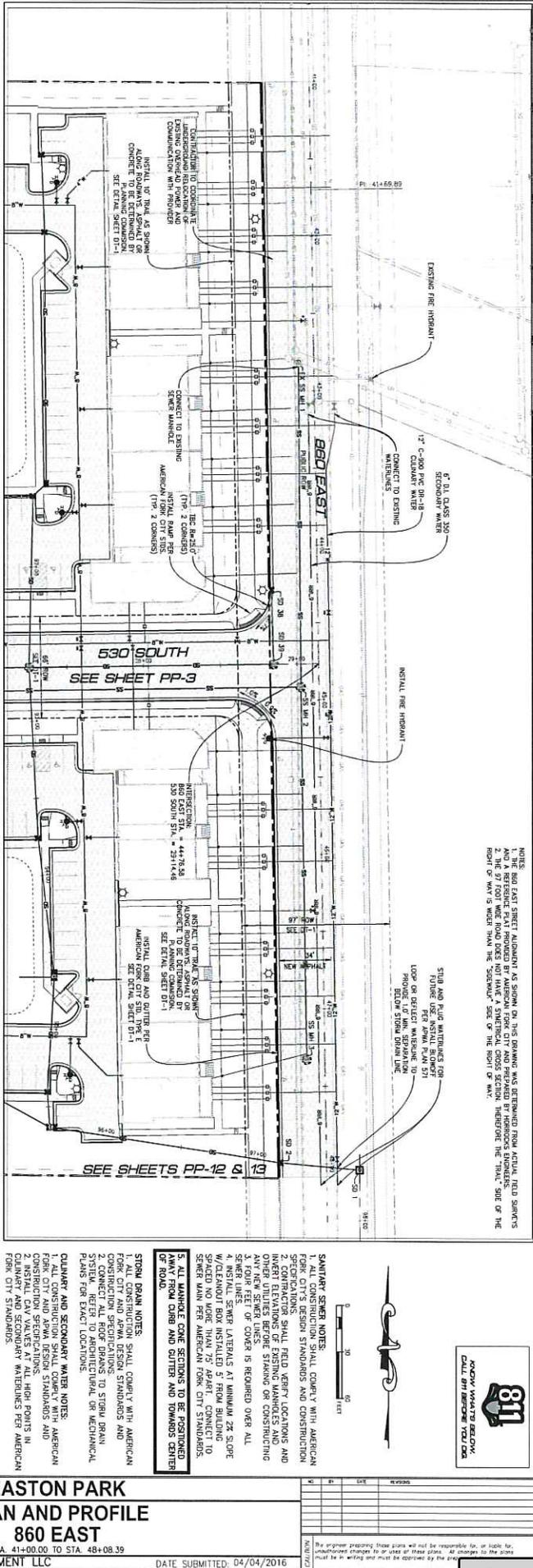
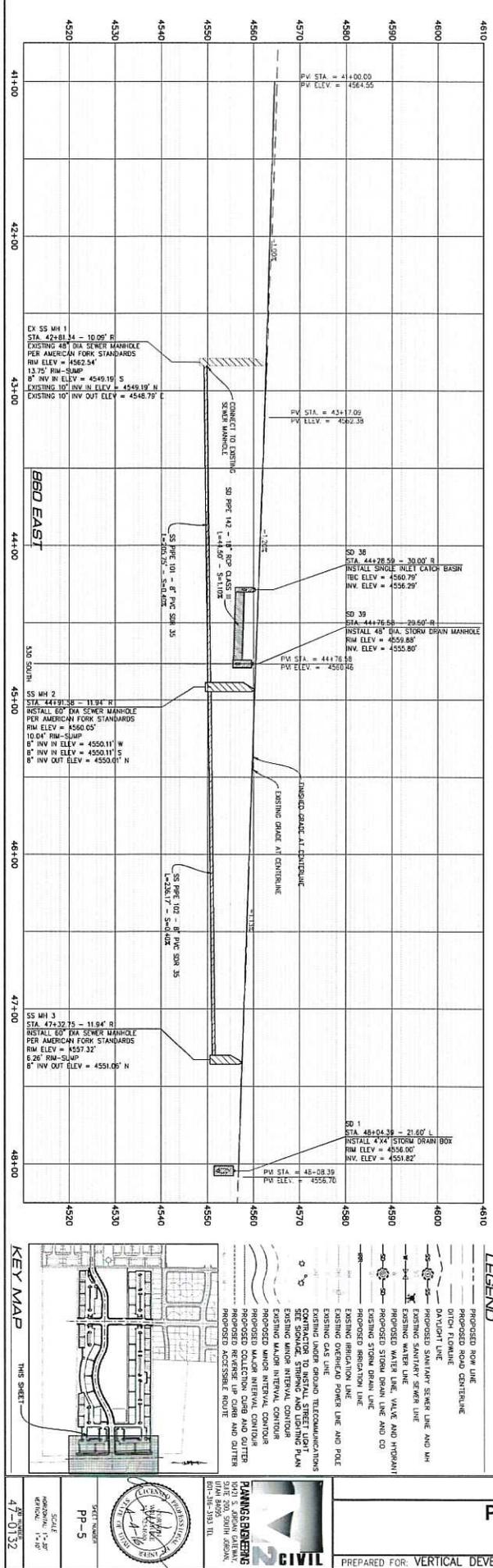
NOT FOR CONSTRUCTION

811
 KNOW WHAT'S BELOW. CALL OR BEFORE YOU DIG.

PLANNING & ENGINEERING
 1001 S. 200th ST. SUITE 100
 BENTON, MO 63104
 TEL: 636-349-1313

SCALE: 1" = 10'
 SHEET NUMBER: pp-3
 DATE: 04/04/2016

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



NOTES:
 1. SEE SHEET PP-5 FOR A GENERAL LOCATION OF THE SPANNING AND SETTING FROM EXISTING FIELD SURVEYS.
 2. THE 57 FOOT WIDE ROAD DOES NOT HAVE A SYMMETRICAL CROSS SECTION THEREFORE THE TRAIL SIDE OF THE ROAD IS 5' WIDER THAN THE SIDEWALK SIDE OF THE ROAD OF WAY.

811
 KNOW WHAT'S BELOW
 CALL 811 BEFORE YOU DIG

LEGEND
 PROPOSED ROW LINE
 PROPOSED SANITARY SEWER LINE
 EXISTING SANITARY SEWER LINE
 EXISTING WATER LINE
 EXISTING WATER MAIN LINE
 EXISTING OVERHEAD POWER LINE AND POLE
 EXISTING GAS LINE
 EXISTING UNDERGROUND TELECOMMUNICATIONS
 EXISTING UNDERGROUND FIBER OPTIC CABLE
 EXISTING UNDERGROUND LIGHTNING PLAN
 EXISTING UNDERGROUND CABLE AND CUTTER
 EXISTING UNDERGROUND POWER LINE AND POLE
 EXISTING GAS LINE
 EXISTING UNDERGROUND TELECOMMUNICATIONS
 EXISTING UNDERGROUND FIBER OPTIC CABLE
 EXISTING UNDERGROUND LIGHTNING PLAN
 EXISTING UNDERGROUND CABLE AND CUTTER
 EXISTING UNDERGROUND POWER LINE AND POLE

KEY MAP
 THIS SHEET

**EASTON PARK
 PLAN AND PROFILE
 860 EAST**
 STA. 41+00.00 TO STA. 48+08.39
 PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

SCALE: HORIZONTAL: 1" = 40' VERTICAL: 1" = 10'
 SHEET NUMBER: PP-5
 DRAWING NUMBER: 47-0132

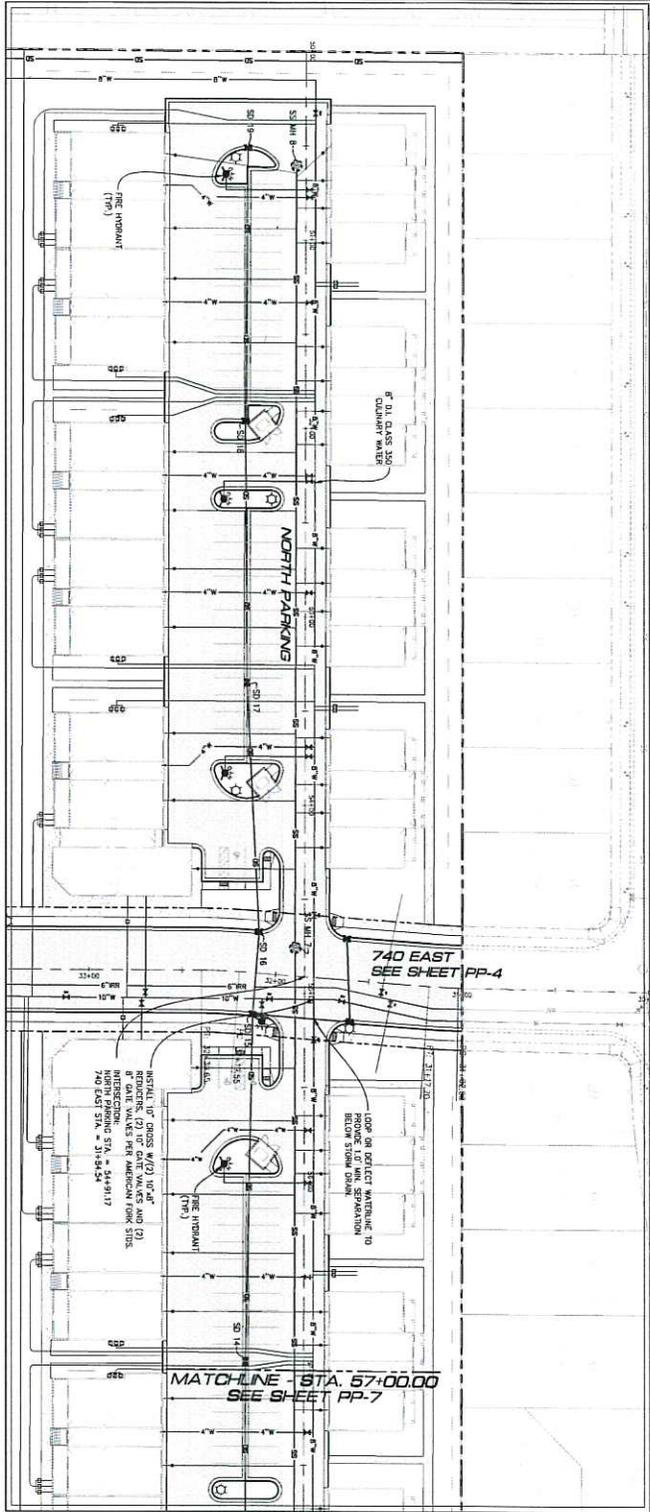
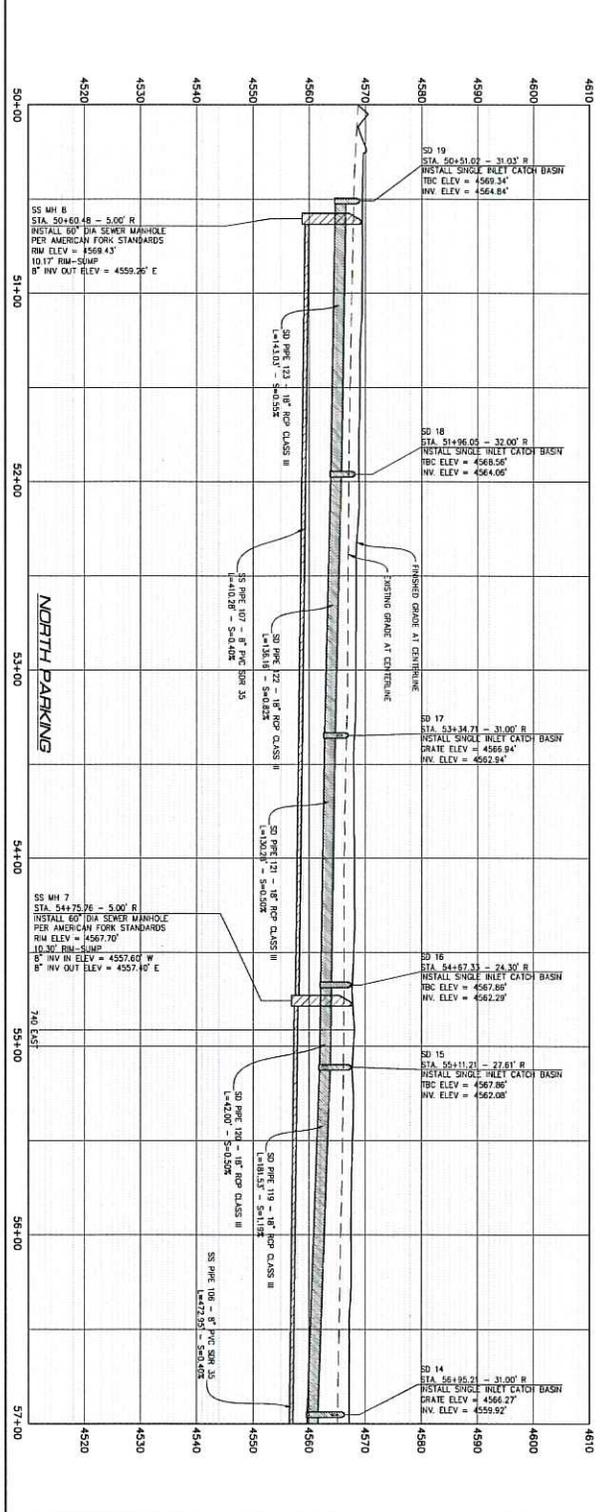
PLANNING SERVICES
 3021 S. JORDAN AVENUE
 DENVER, CO 80222
 TEL: 303-733-3531

CIVIL

811
 KNOW WHAT'S BELOW
 CALL 811 BEFORE YOU DIG

NOT FOR CONSTRUCTION

Packet Pg. 134



LEGEND

- PROPOSED ROW LINE
- PROPOSED SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED WATER LINE, VALVE AND HYDRANT
- PROPOSED STORM SEWER LINE AND CO
- PROPOSED RELOCATION LINE
- EXISTING OVERHEAD POWER LINE AND POLE
- EXISTING GAS LINE
- EXISTING UNDER GROUND TELECOMMUNICATIONS
- EXISTING UNDER GROUND FIBER OPTIC CABLE
- EXISTING MAJOR INTERVAL CONTROL
- PROPOSED MAJOR INTERVAL CONTROL
- PROPOSED REVERSE LAP CURB AND GUTTER
- PROPOSED COLLECTION CURB AND GUTTER
- PROPOSED ACCESSIBLE ROAD

KEY MAP

THIS SHEET

STORM DRAIN NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND ARVA DESIGN STANDARDS AND SPECIFICATIONS.
- CONNECT ALL FLOOR DRAINS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.

CULINARY AND SECONDARY WATER NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY DESIGN STANDARDS AND SPECIFICATIONS.
- INSTALL CAV VALVES AT ALL HIGH POINTS IN CULINARY AND SECONDARY WATERSUPPLIES PER AMERICAN FORK CITY STANDARDS.

5. ALL MANHOLE CONE SECTIONS TO BE POSITIONED AWAY FROM CURB AND GUTTER AND TOWARDS CENTER OF ROAD.

SMITARY SEWER NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
- CONNECTIONS SHALL FIELD VERIFY LOCATIONS AND INVERT ELEVATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING.
- FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES UNLESS LATERALS AT MINIMUM 2% SLOPE W/CEMENT BOX INSTALLED 5' FROM BUILDING SPACED NO MORE THAN 25' APART. CONNECT TO SEWER MAIN PER AMERICAN FORK CITY STANDARDS.

811

KNOW WHAT'S BELOW. CALL OR BEFORE YOU DIG.

PLANNING & ENGINEERING

5021 S. JENSEN AVE. SUITE 100
 DENVER, CO 80231
 303-733-3333

SCALE: 1" = 20'

SHEET NUMBER: PP-6

47-0132

EASTON PARK PLAN AND PROFILE NORTH PARKING

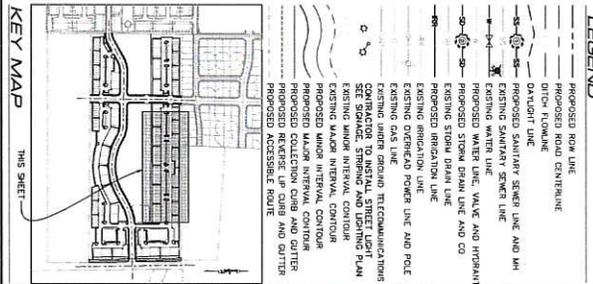
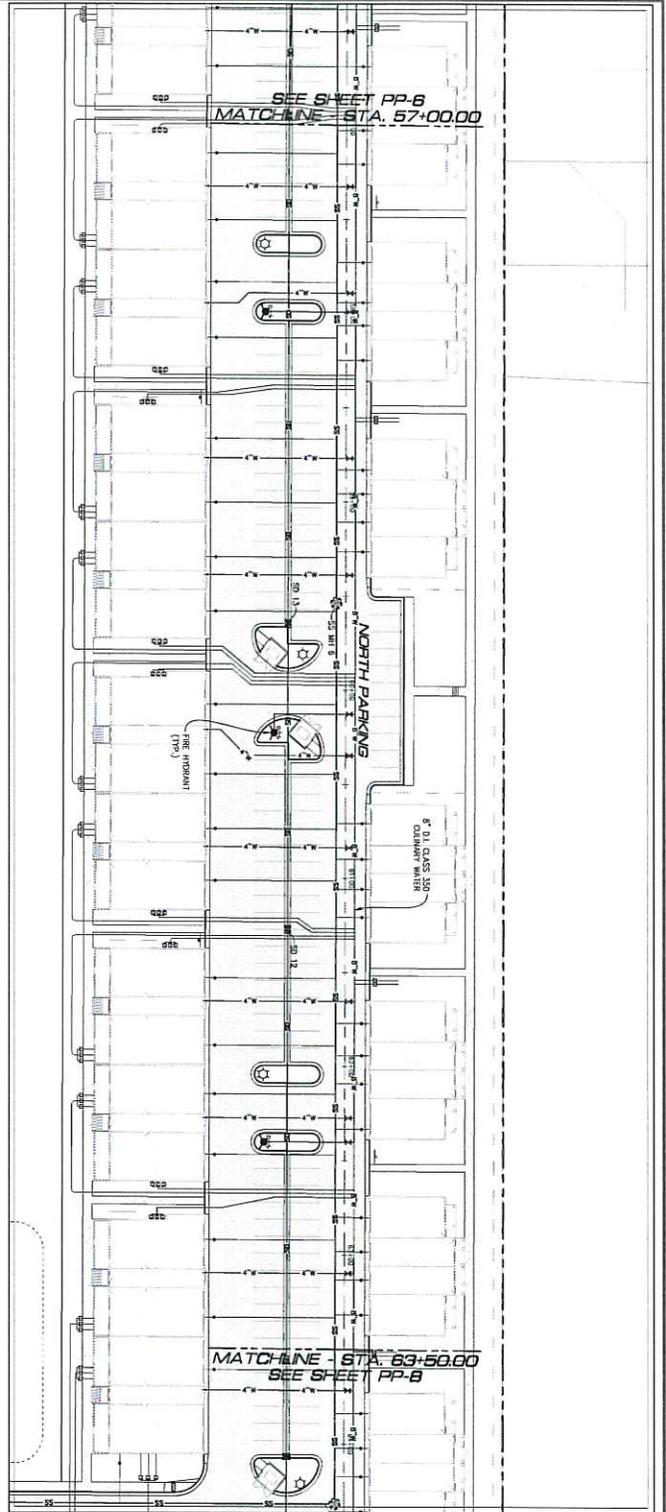
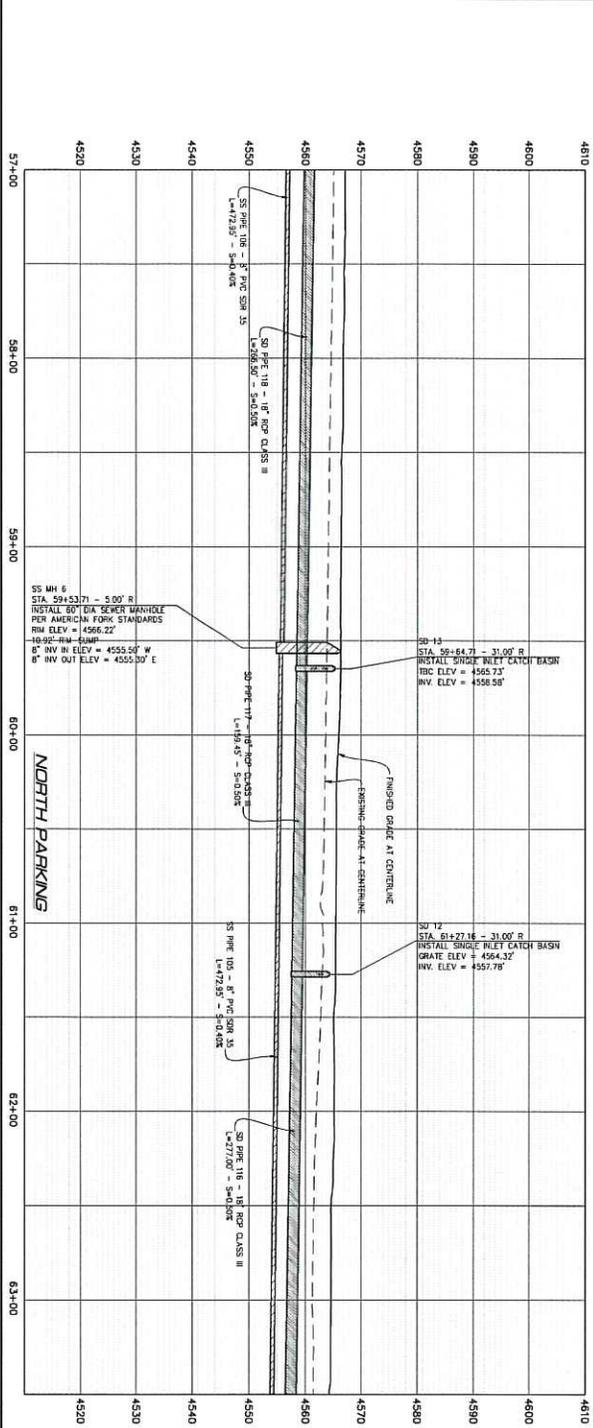
STA. 50+00.00 TO STA. 57+00.00

PREPARED FOR: VERTICAL DEVELOPMENT LLC

DATE SUBMITTED: 04/04/2016

NOT FOR CONSTRUCTION

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



LEGEND

- PROPOSED ROW LINE
- PROPOSED ROAD CENTERLINE
- DITCH FLOWLINE
- DAUGHT LINE
- PROPOSED SANITARY SEWER LINE AND MH
- EXISTING SANITARY SEWER LINE
- EXISTING WATER LINE
- EXISTING VALVE AND HYDRANT
- PROPOSED STORM DRAIN LINE AND CO
- EXISTING STORM DRAIN LINE
- EXISTING IRRIGATION LINE
- EXISTING OVERHEAD POWER LINE AND POLE
- EXISTING GAS LINE
- EXISTING TELEPHONE/COMMUNICATIONS
- CONTRACTOR TO INSTALL STREET LIGHT SEE SYMBOL, STRINGING AND WIRING PLAN
- EXISTING UNDERGROUND UTILITY
- PROPOSED UNDERGROUND UTILITY
- PROPOSED MAJOR INTERNAL CONTROL
- PROPOSED COLLECTION CURB AND GUTTER
- PROPOSED RECEPT CURB AND GUTTER
- PROPOSED ASPHALT DRIVE

STORM DRAIN NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS AND PRACTICES FOR STORM DRAINAGE SYSTEMS.
- CONNECT ALL ROOF DRAINS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
- ALL MANHOLE CONE SECTIONS TO BE POSTED AWAY FROM CURB AND GUTTER AND TOWARDS CENTER (MIN.)

SANITARY SEWER NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS AND PRACTICES FOR SANITARY SEWER SYSTEMS.
- CONNECT ALL ROOF DRAINS TO SANITARY SEWER SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
- ALL MANHOLE CONE SECTIONS TO BE POSTED AWAY FROM CURB AND GUTTER AND TOWARDS CENTER (MIN.)

UTILITY AND SECONDARY WATER NOTES:

- ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN SOCIETY OF CIVIL ENGINEERS STANDARDS AND PRACTICES FOR UTILITY AND SECONDARY WATER SYSTEMS.
- INSTALL C&V VALVES AT ALL HIGH POINTS IN EXISTING AND PROPOSED UTILITY AND SECONDARY WATER SYSTEMS.
- INSTALL C&V VALVES AT ALL HIGH POINTS IN EXISTING AND PROPOSED UTILITY AND SECONDARY WATER SYSTEMS.

811
 CALL BEFORE YOU DIG
 800-4-A-SHARE

EASTON PARK PLAN AND PROFILE NORTH PARKING
 STA. 57+00.00 TO STA. 63+50.00

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

SCALE: HORIZONTAL: 1"=80' VERTICAL: 1"=8'

DATE: 4/7/2016

PP-7

PLANNING SERVICES

EASTON PARK PLAN AND PROFILE NORTH PARKING
 STA. 57+00.00 TO STA. 63+50.00

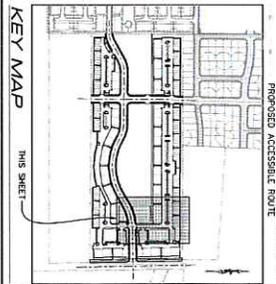
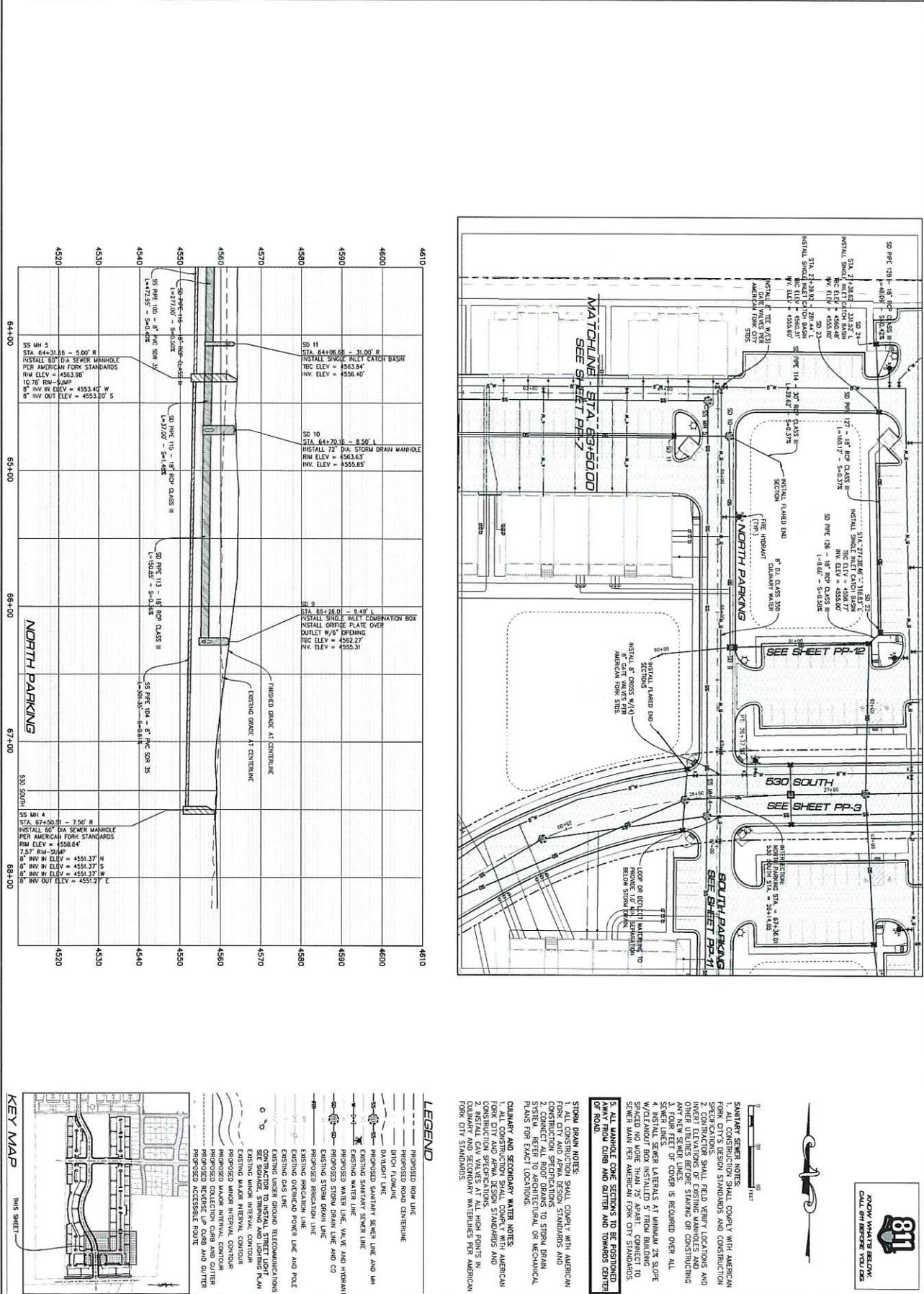
PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

SCALE: HORIZONTAL: 1"=80' VERTICAL: 1"=8'

DATE: 4/7/2016

PP-7

PLANNING SERVICES



- LEGEND**
- PROPOSED ROW LINE
 - PROPOSED ROAD CENTERLINE
 - DAUGHT LINE
 - PROPOSED SANITARY SEWER LINE AND MH
 - EXISTING WATER LINE
 - PROPOSED WATER LINE, VALVE AND HYDRANT
 - EXISTING STORM DRAIN LINE AND CO
 - EXISTING STORM DRAIN LINE
 - EXISTING REPLICATION LINE
 - EXISTING GAS LINE
 - EXISTING UNDER GROUND TELECOMMUNICATIONS
 - EXISTING UNDER GROUND FIBER OPTIC CABLE
 - EXISTING MAJOR INTERVAL CONTROL
 - EXISTING MAJOR INTERVAL CONTROL
 - PROPOSED MAJOR INTERVAL CONTROL
 - PROPOSED COLLECTION CURB AND CUTTER
 - PROPOSED REVERSE UP CURB AND CUTTER
 - PROPOSED ACCESSIBLE ROUTE

STORM DRAIN NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND ARVA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. INSTALL 18" DIA. STORM DRAIN MANHOLE PER AMERICAN FORK CITY STANDARDS.
3. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.

CULINARY AND SECONDARY WATER NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND ARVA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
2. INSTALL 1/2" DIA. WATER VALVE AND HYDRANT PER AMERICAN FORK CITY STANDARDS.

5. ALL UNPAVED CORE SECTIONS TO BE POSITIONED AWAY FROM CURB AND CUTTER AND TOWARDS CENTER OF ROAD.

811
 KNOW WHAT'S BELOW.
 CALL OR REMOVE YOURSELF.

SCALE
 1" = 10'

DATE
 04/04/2016

BY
 [Signature]

CHECKED
 [Signature]

DATE
 04/04/2016

PROJECT
 EASTON PARK PLAN AND PROFILE NORTH PARKING

CLIENT
 VERTICAL DEVELOPMENT LLC

DESIGNER
 RICHARD C. BROWN

SCALE
 1" = 10'

DATE
 04/04/2016

PROJECT
 EASTON PARK PLAN AND PROFILE NORTH PARKING

CLIENT
 VERTICAL DEVELOPMENT LLC

DESIGNER
 RICHARD C. BROWN

EASTON PARK PLAN AND PROFILE NORTH PARKING
 STA. 63+50.00 TO STA. 67+50.51

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

RAMMUS ENGINEERING
 300 S. 10TH AVENUE
 SUITE 200, DENVER, CO 80202
 303-733-1313

CIVIL

SCALE
 1" = 10'

DATE
 04/04/2016

PROJECT
 EASTON PARK PLAN AND PROFILE NORTH PARKING

CLIENT
 VERTICAL DEVELOPMENT LLC

DESIGNER
 RICHARD C. BROWN

SCALE
 1" = 10'

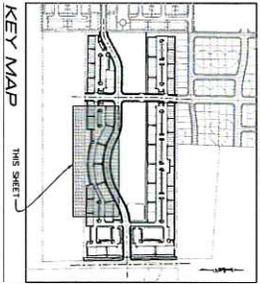
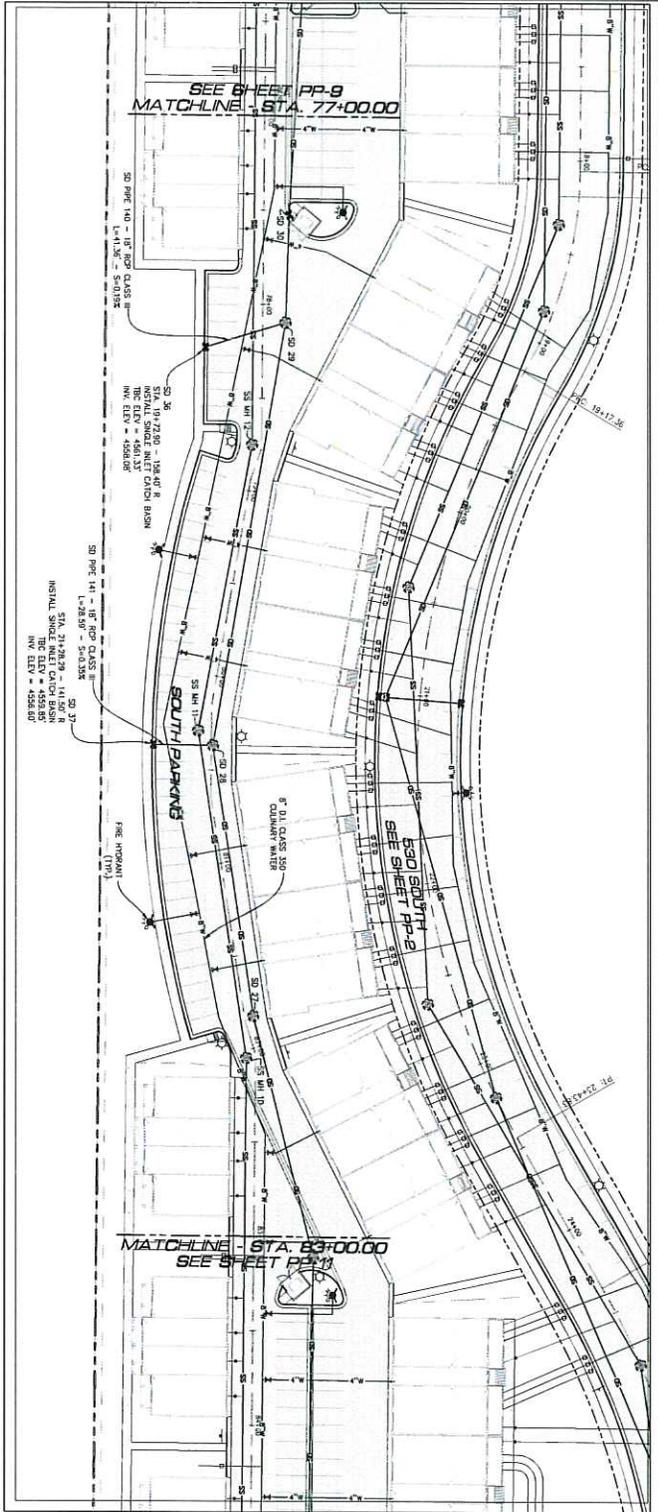
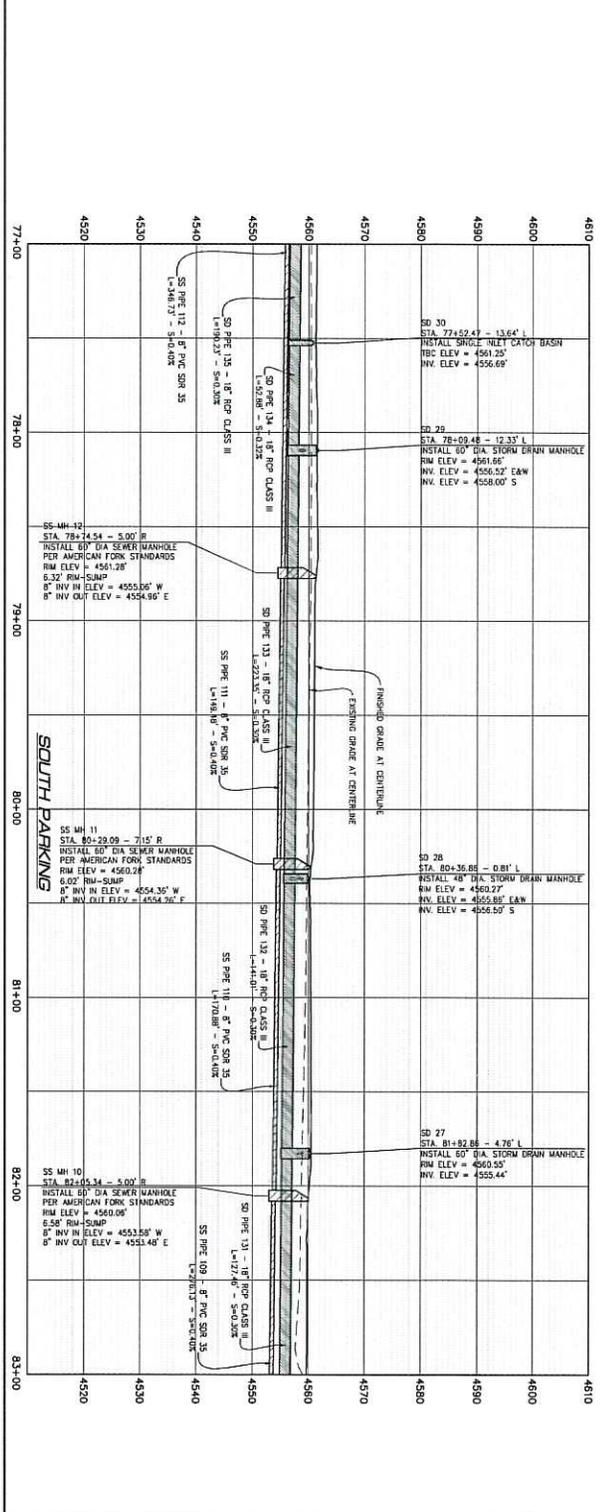
DATE
 04/04/2016

PROJECT
 EASTON PARK PLAN AND PROFILE NORTH PARKING

CLIENT
 VERTICAL DEVELOPMENT LLC

DESIGNER
 RICHARD C. BROWN

Attachment: Site Plan and Plats (1321) : Easton Park Planned Community



- LEGEND**
- PROPOSED ROW LINE
 - PROPOSED ROAD CENTERLINE
 - DASHED LINE
 - EXISTING SANITARY SEWER LINE AND MH
 - EXISTING WATER LINE
 - PROPOSED WATER LINE, VALVE AND HYDRANT
 - PROPOSED STORM DRAIN LINE AND CO
 - PROPOSED DRAINAGE LINE
 - EXISTING DRAINAGE LINE
 - EXISTING OVERHEAD POWER LINE AND POLE
 - EXISTING GAS LINE
 - EXISTING UNDER GROUND TELECOMMUNICATIONS
 - EXISTING MAJOR INTERVAL CONTROL
 - EXISTING MAJOR INTERVAL CONTROL
 - PROPOSED MAJOR INTERVAL CONTROL
 - PROPOSED WALKWAY
 - PROPOSED COLLECTION DRAIN AND CUTTER
 - PROPOSED REVERSE UP CURB AND CUTTER
 - PROPOSED ACCESSIBLE ROUTE

SEWER DEBRIS NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS TO SEWER DEBRIS SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.

CULINARY AND SECONDARY WATER NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS TO CULINARY AND SECONDARY WATER SYSTEMS AT ALL HIGH POINTS IN CULINARY AND SECONDARY WATER PER AMERICAN FORK CITY STANDARDS.

SEWER DEBRIS NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY'S DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS. SMALL FIELD VERTICALLY LOCATIONS AND OTHER UTILITIES BEFORE STAKING OR CONSTRUCTING A FOUR FEET OF COVER IS REQUIRED OVER ALL SEWER LINES. SEWER LATERALS AT MINIMUM 7% SLOPE W/OUT ABOUT BOX INSTALLED 5' FROM BUILDING SPACED NO MORE THAN 75' APART. CONNECT TO SEWER MAIN PER AMERICAN FORK CITY STANDARDS.

5. ALL MANHOLE COVER SECTIONS TO BE POSITIONED AWAY FROM CURB AND CUTTER AND TOWARDS CENTER OF ROAD.

811
 KNOW WHAT'S BELOW. CALL OR BEFORE YOU DIG.

EASTON PARK PLAN AND PROFILE SOUTH PARKING
 STA. 77+00.00 TO STA. 83+00.00

PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

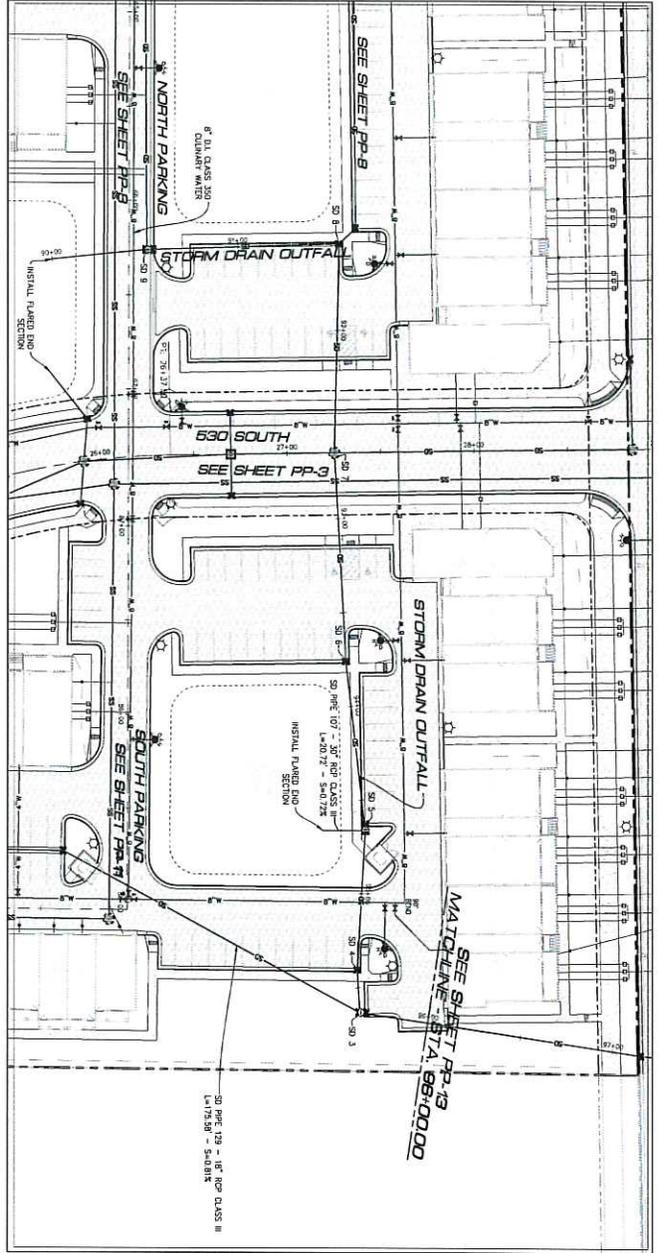
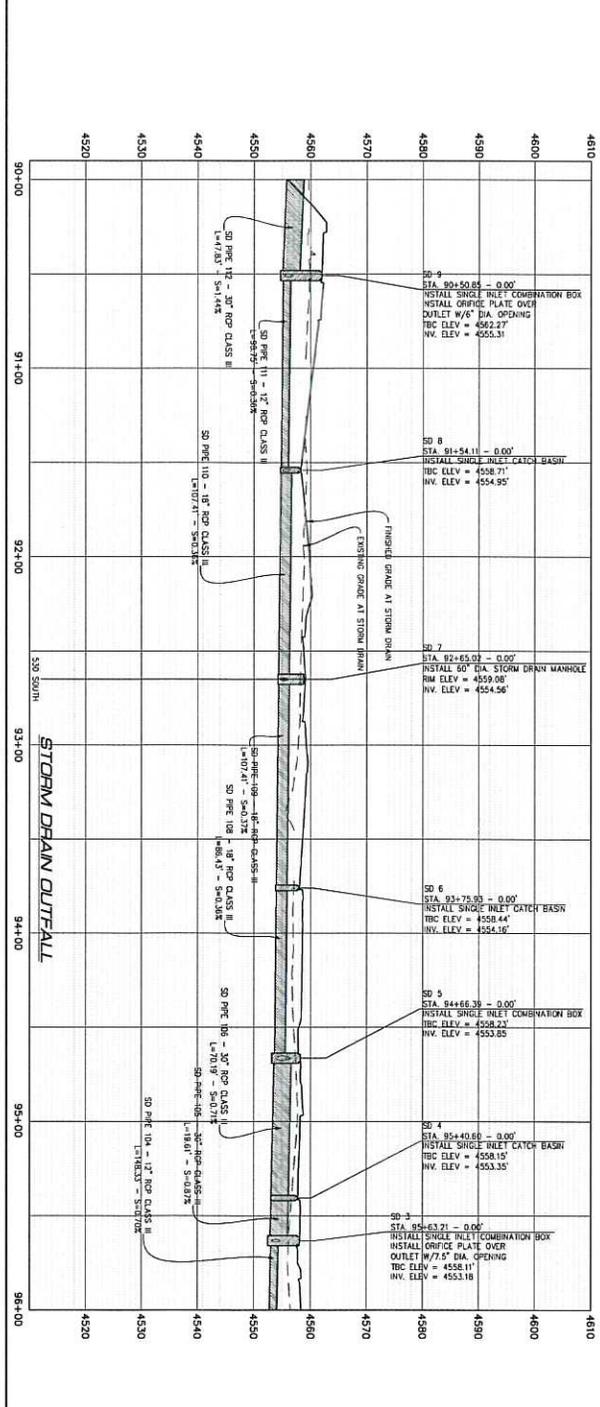
SCALE: 1" = 30'
 SHEET NUMBER: PP-10
 47-0132

EASTON PARK PLAN AND PROFILE SOUTH PARKING
 STA. 77+00.00 TO STA. 83+00.00

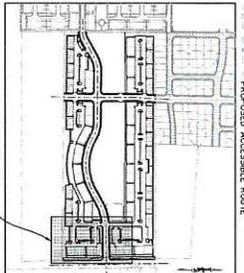
DATE SUBMITTED: 04/04/2016

NOT FOR CONSTRUCTION

Attachment: Site Plan and Plats (1321) : Easton Park Planned Community



KEY MAP



- LEGEND**
- PROPOSED ROW LINE
 - PROPOSED ROAD CENTERLINE
 - DITCH FLOWLINE
 - DRAINAGE LINE
 - PROPOSED SANITARY SEWER LINE AND MANHOLE
 - EXISTING WATER LINE, VALVE AND HYDRANT
 - EXISTING SANITARY SEWER LINE
 - EXISTING WATER LINE, VALVE AND HYDRANT
 - EXISTING STORM DRAIN LINE
 - EXISTING IRRIGATION LINE
 - EXISTING OVERHEAD POWER LINE AND POLE
 - EXISTING GAS LINE
 - EXISTING TELECOMMUNICATIONS
 - EXISTING UTILITY TRENCH
 - EXISTING UNIFORM INTERVAL CONTROL
 - EXISTING STREET LIGHT SET, SIGNAGE, STRIPING AND LIGHTING PLAN
 - PROPOSED MAJOR INTERNAL CONTROL
 - PROPOSED MINOR INTERNAL CONTROL
 - PROPOSED COLLECTION CURB AND CUTTER
 - PROPOSED REVERSE CURB AND CUTTER
 - PROPOSED ACCESSIBLE WALKWAY

STORM DRAIN NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORD CITY AND JAWA DESIGN STANDARDS AND CONSTRUCTION.
2. CONNECT ALL ROOF DRAINS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
3. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORD CITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
4. INSTALL CAV VALVES AT ALL HIGH POINTS IN FORD CITY STANDARDS.

UNIFORM AND SECONDARY WATER NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORD CITY AND JAWA DESIGN STANDARDS AND CONSTRUCTION.
2. CONNECT ALL ROOF DRAINS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
3. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORD CITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
4. INSTALL CAV VALVES AT ALL HIGH POINTS IN FORD CITY STANDARDS.

MANHOLE AND OUTLET NOTES:

1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORD CITY DESIGN STANDARDS AND CONSTRUCTION.
2. CONNECT ALL ROOF DRAINS TO STORM DRAIN SYSTEM. REFER TO ARCHITECTURAL OR MECHANICAL PLANS FOR EXACT LOCATIONS.
3. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORD CITY DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS.
4. INSTALL CAV VALVES AT ALL HIGH POINTS IN FORD CITY STANDARDS.

5. ALL MANHOLE CONE SECTIONS TO BE POSITIONED AWAY FROM CURB AND CUTTER AND TOWARDS CENTER OF ROAD.

811
 ANDREW WALTERS DESIGN
 CIVIL ENGINEERING, INC. 2016

**EASTON PARK
 PLAN AND PROFILE
 STORM DRAIN OUTFALL**

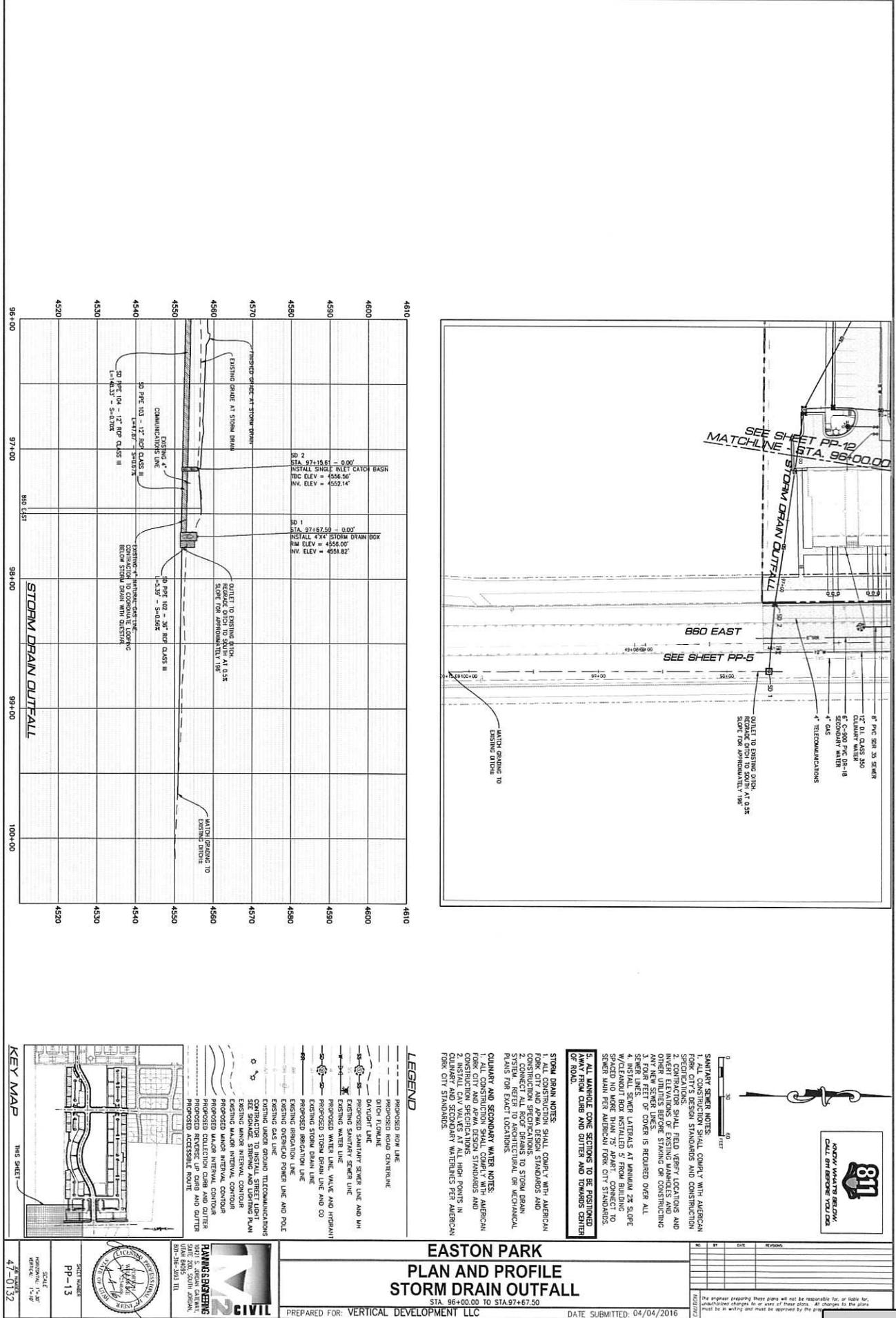
STA. 904+00.00 TO STA. 964+00.00

PREPARED FOR: VERTICAL DEVELOPMENT LLC

DATE SUBMITTED: 04/04/2016

NOT FOR CONSTRUCTION

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



Attachment: Site Plan and Plats (1321) : Easton Park Planned Community

SEE SHEET PP-12
 MATCHLINE - STA. 96+00.00

880 EAST
 SEE SHEET PP-5

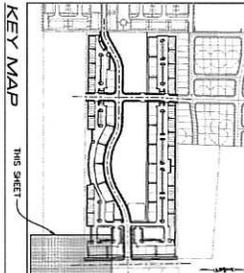
12" DIA. CLASS III
 STORM DRAIN
 4" DIA. CLASS III
 SANITARY SEWER
 4" DIA. CLASS III
 GAS

811
 ANYONE WANTING TO LOCATE UTILITIES SHOULD CALL 811 BEFORE YOU DIG

STORM DRAIN NOTES:
 1. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND SPECIFICATIONS FOR STORM DRAIN SYSTEMS.
 2. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND SPECIFICATIONS FOR SANITARY SEWER SYSTEMS.
 3. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND SPECIFICATIONS FOR GAS SYSTEMS.
 4. ALL CONSTRUCTION SHALL COMPLY WITH AMERICAN FORK CITY AND APWA DESIGN STANDARDS AND SPECIFICATIONS FOR ELECTRICAL SYSTEMS.
 5. ALL MANHOLE CONE SECTIONS TO BE POSITIONED AWAY FROM CURB AND CUTTER AND TOWARDS CENTER OF ROAD.

LEGEND

- PROPOSED ROW LINE
- DITCH FLOWLINE
- DITCH CENTERLINE
- DITCH PART LINE
- EXISTING SANITARY SEWER LINE AND MH
- EXISTING WATER LINE
- EXISTING GAS LINE
- EXISTING IRRIGATION LINE
- EXISTING OVERHEAD POWER LINE AND POLE
- EXISTING UNDER GROUND TELECOMMUNICATIONS
- EXISTING MAJOR INTERVAL CONTROL
- EXISTING MAJOR INTERVAL CONTROL
- PROPOSED MAJOR INTERVAL CONTROL
- PROPOSED REVERSE LAP CURB AND CUTTER
- PROPOSED ACCESSIBLE ROUTE



**EASTON PARK
 PLAN AND PROFILE
 STORM DRAIN OUTFALL**

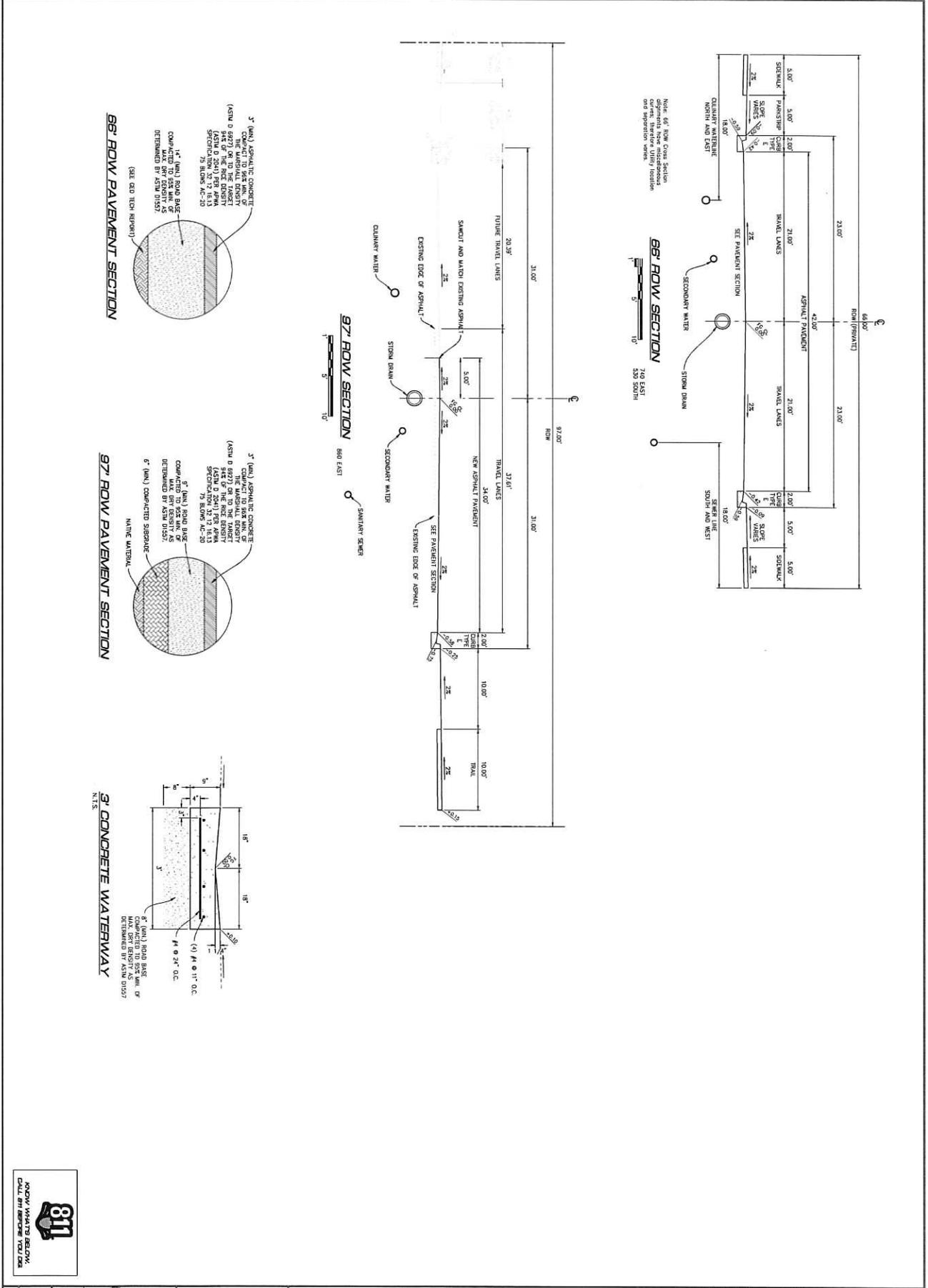
STA. 96+00.00 TO STA. 97+67.50

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

SCALE: HORIZONTAL - 1" = 30' VERTICAL - 1" = 10'

SHEET NUMBER: PP-13

DATE: 4/7-0132



Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



PLANNING & ENGINEERING
 1001 S. JOHNS CANYON
 SUITE 100
 DENVER, CO 80202
 303-756-3124 TEL

SCALE: AS SHOWN
 DATE: 04/04/2016

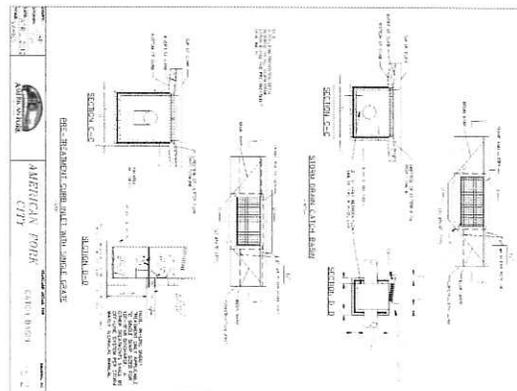
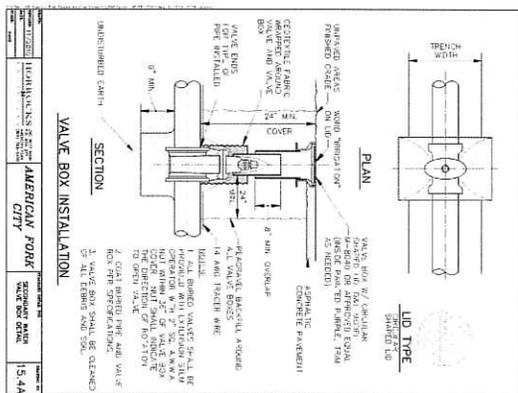
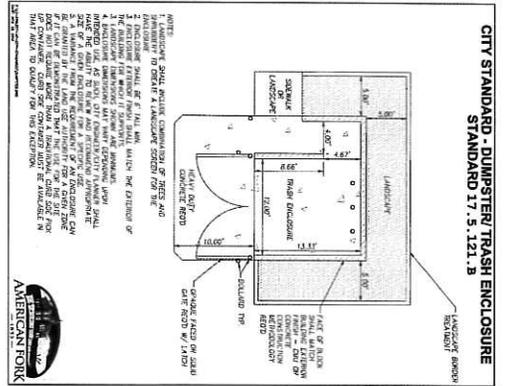
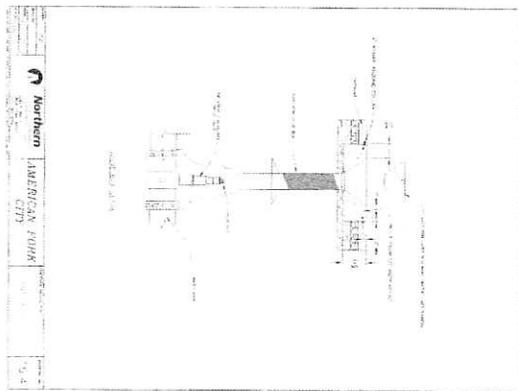
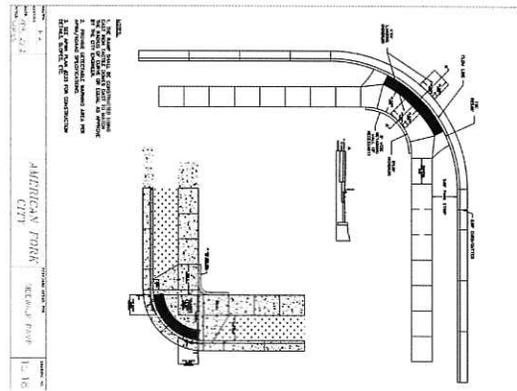
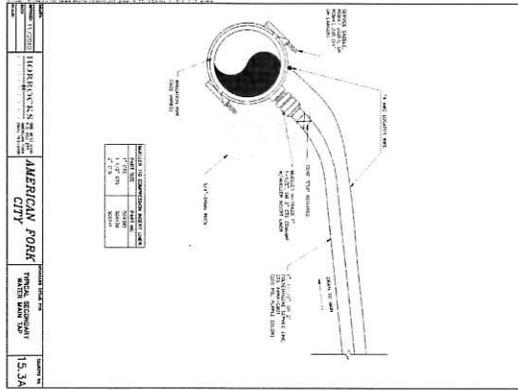
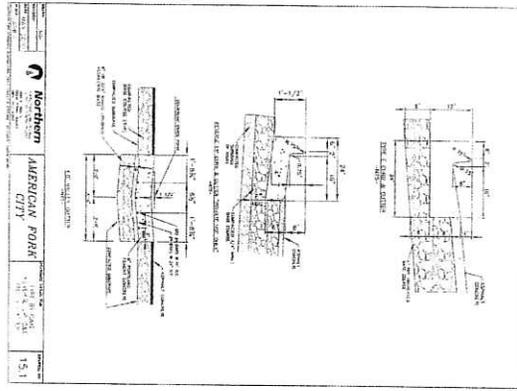
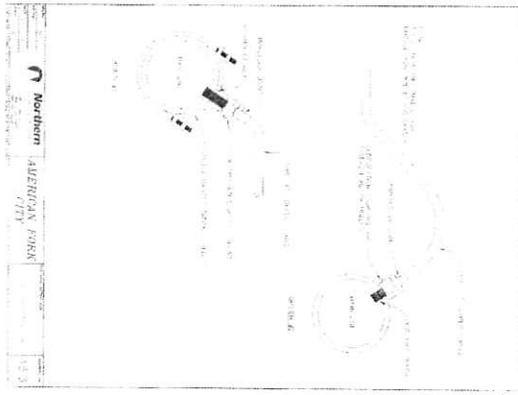
DATE: 04/04/2016

**EASTON PARK
 TYPICAL ROAD SECTIONS
 AND GENERAL DETAILS**

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

NO.	DATE	REVISION

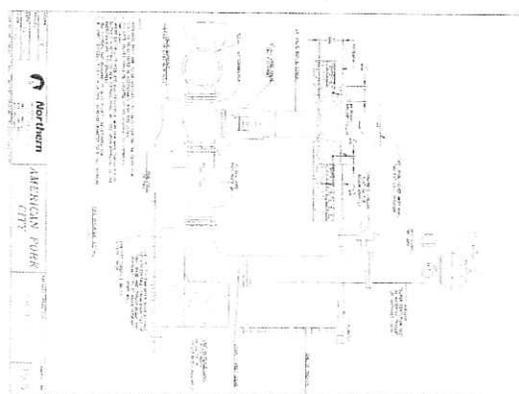
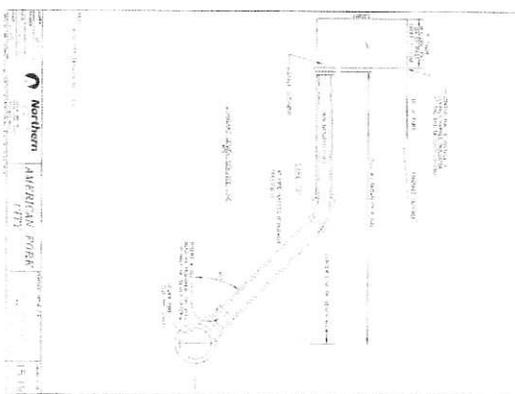
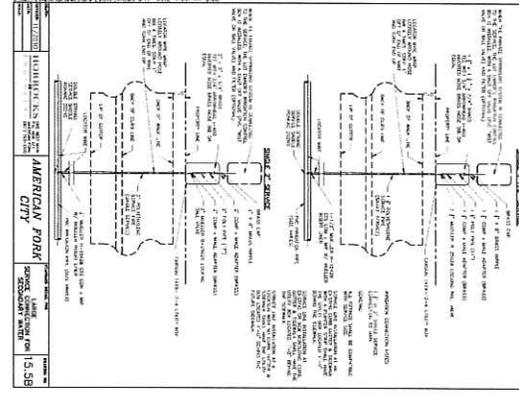
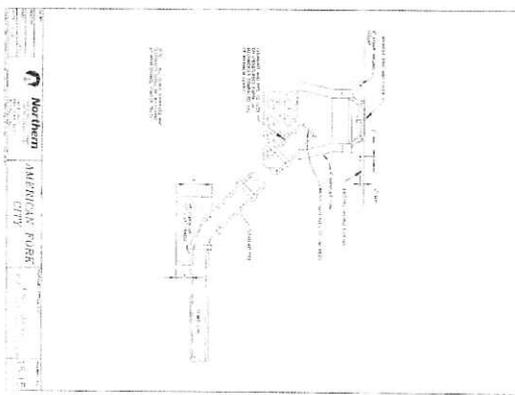
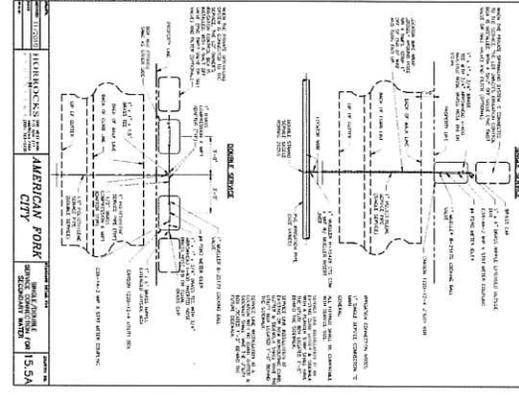
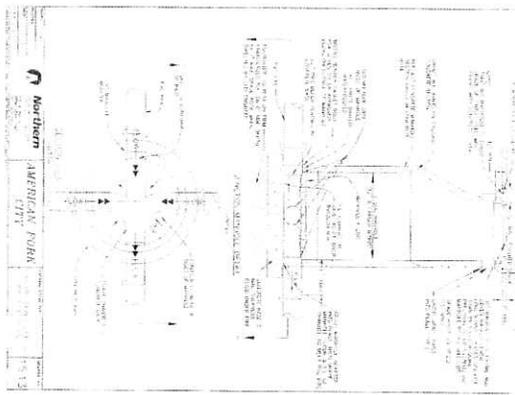
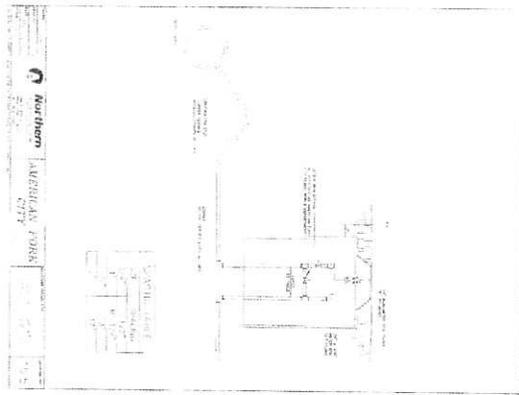
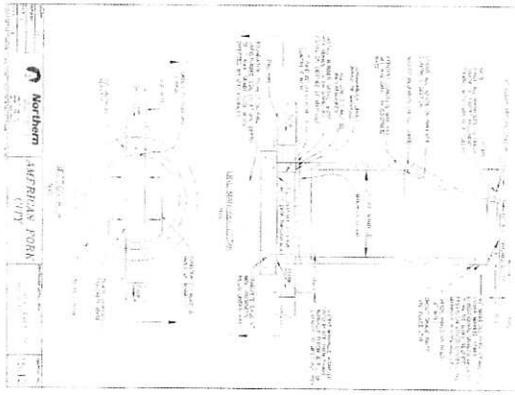
The engineer preparing these plans will not be responsible for, or liable for, unauthorized changes to or use of these plans. All changes to the plans must be in writing and must be approved by the engineer.



AMERICAN FORK CITY
 15.44
 01-2
 SCALE: 1/4" = 1'-0"
 47-0132

**EASTON PARK
 AMERICAN FORK CITY DETAILS**
 PREPARED FOR: VERTICAL DEVELOPMENT LLC
 DATE SUBMITTED: 04/04/2016

NO.	BY	DATE	REVISION



SCALE: 1"=40'-0"
DATE: 04/04/2016
47-0132



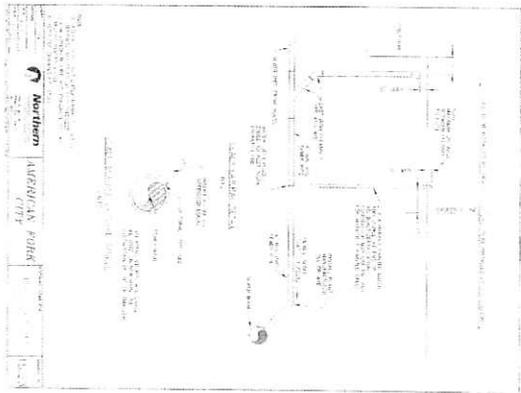
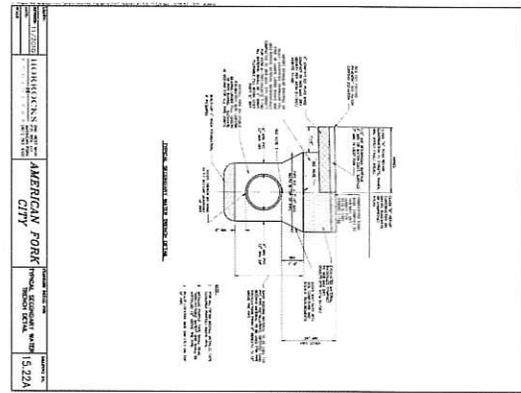
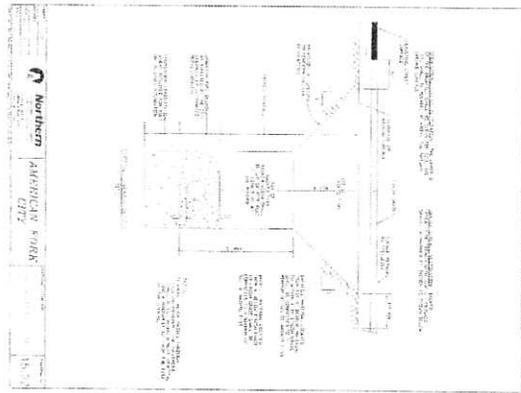
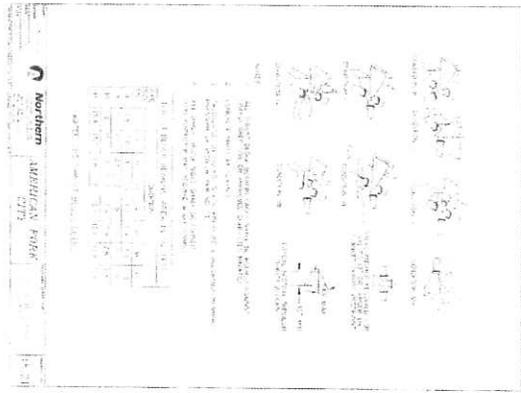
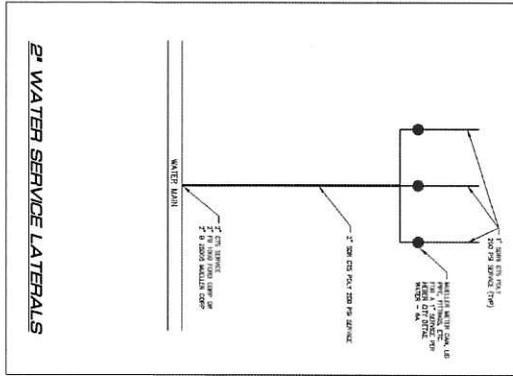
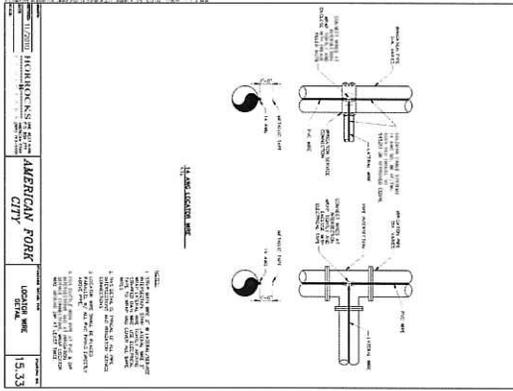
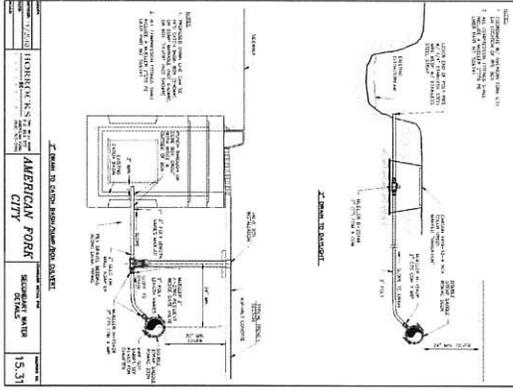
FLANNIS BERGENS
STATE OF WEST VIRGINIA
LICENSED PROFESSIONAL ENGINEER
LICENSE NO. 11000
EXPIRES 12/31/2018

**EASTON PARK
AMERICAN FORK CITY DETAILS**

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

NO.	BY	DATE	REVISION

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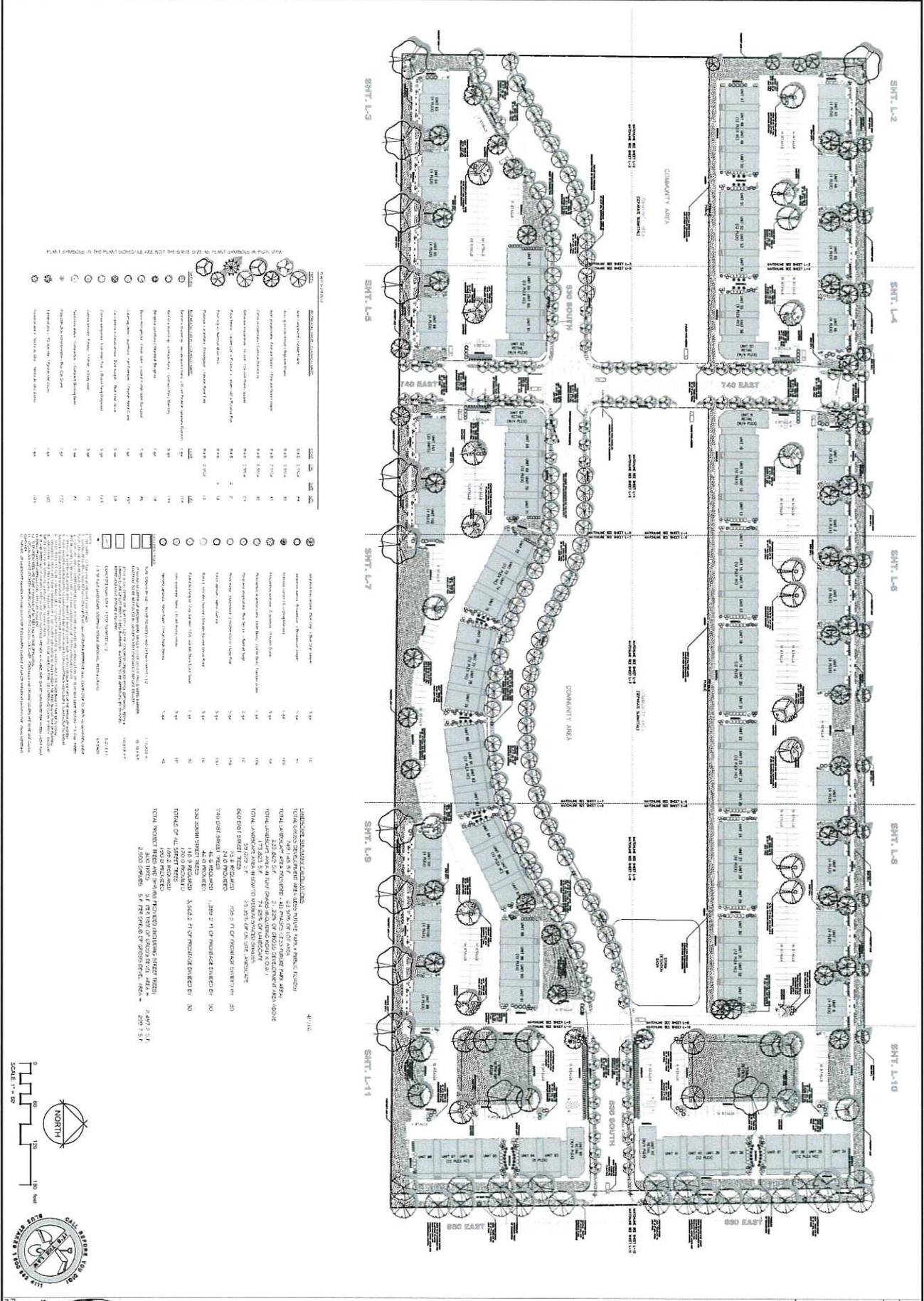
811
 KNOW WHAT'S BELOW.
 CALL 811 BEFORE YOU DIG.

PLANNING ENGINEERING
 CIVIL ENGINEERING
 2018-2023 TEL: 479-253-1111

**EASTON PARK
 AMERICAN FORK CITY DETAILS**

PREPARED FOR: VERTICAL DEVELOPMENT LLC DATE SUBMITTED: 04/04/2016

NO.	BY	DATE	REVISION



PLANT SYMBOLS IN THE PLANT SCHEDULE ARE NOT THE SAME SIZE AS PLANT SYMBOLS IN PLANT BOOK

NO.	SYMBOL	PLANT NAME	SIZE	QUANTITY
1	(Symbol)	Large Tree	12"	10
2	(Symbol)	Medium Tree	8"	20
3	(Symbol)	Small Tree	6"	30
4	(Symbol)	Shrub	4"	40
5	(Symbol)	Flowering Shrub	4"	40
6	(Symbol)	Groundcover	12"	100
7	(Symbol)	Grass	12"	100
8	(Symbol)	Decorative Grass	12"	100
9	(Symbol)	Low Shrub	12"	100
10	(Symbol)	Perennial	12"	100
11	(Symbol)	Annual	12"	100
12	(Symbol)	Water Feature	12"	1
13	(Symbol)	Light Fixture	12"	10
14	(Symbol)	Sign	12"	10
15	(Symbol)	Artwork	12"	10
16	(Symbol)	Seating	12"	10
17	(Symbol)	Storage	12"	10
18	(Symbol)	Trash	12"	10
19	(Symbol)	Planter	12"	10
20	(Symbol)	Other	12"	10

LANDSCAPE MATERIALS CALCULATIONS

TOTAL GROSS SQUARE FEET AREA: 1,200,000 SQ. FT.

TOTAL LANDSCAPE AREA: 1,200,000 SQ. FT.

TOTAL PLANTING AREA: 1,200,000 SQ. FT.

TOTAL PLANTING QUANTITY: 1,200,000

TOTAL PLANTING COST: \$1,200,000

TOTAL PLANTING VALUE: \$1,200,000

TOTAL PLANTING PERCENTAGE: 100%

TOTAL PLANTING DENSITY: 100%

TOTAL PLANTING SPACING: 100%

TOTAL PLANTING DISTANCE: 100%

TOTAL PLANTING WIDTH: 100%

TOTAL PLANTING HEIGHT: 100%

TOTAL PLANTING DEPTH: 100%

TOTAL PLANTING TEMPERATURE: 100%

TOTAL PLANTING HUMIDITY: 100%

TOTAL PLANTING WINDSPEED: 100%

TOTAL PLANTING PRESSURE: 100%

TOTAL PLANTING GRAVITY: 100%

TOTAL PLANTING ELECTRICITY: 100%

TOTAL PLANTING MAGNETISM: 100%

TOTAL PLANTING SOUND: 100%

TOTAL PLANTING VIBRATION: 100%

TOTAL PLANTING ACCELERATION: 100%

TOTAL PLANTING ROTATION: 100%

TOTAL PLANTING TRANSLATION: 100%

TOTAL PLANTING TORSION: 100%

TOTAL PLANTING BENDING: 100%

TOTAL PLANTING TWISTING: 100%

TOTAL PLANTING SHEAR: 100%

TOTAL PLANTING COMPRESSION: 100%

TOTAL PLANTING TENSION: 100%

TOTAL PLANTING MOMENT: 100%

TOTAL PLANTING ENERGY: 100%

TOTAL PLANTING POWER: 100%

TOTAL PLANTING WORK: 100%

TOTAL PLANTING HEAT: 100%

TOTAL PLANTING COOLING: 100%

TOTAL PLANTING WARMING: 100%

TOTAL PLANTING DRYING: 100%

TOTAL PLANTING CONDENSING: 100%

TOTAL PLANTING FREEZING: 100%

TOTAL PLANTING MELTING: 100%

TOTAL PLANTING SUBLIMATING: 100%

TOTAL PLANTING DEPOSITING: 100%

TOTAL PLANTING EVAPORATING: 100%

TOTAL PLANTING CONDENSING: 100%

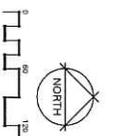
TOTAL PLANTING FREEZING: 100%

TOTAL PLANTING MELTING: 100%

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TOTAL PLANTING DEPOSITING: 100%

TOTAL PLANTING EVAPORATING: 100%



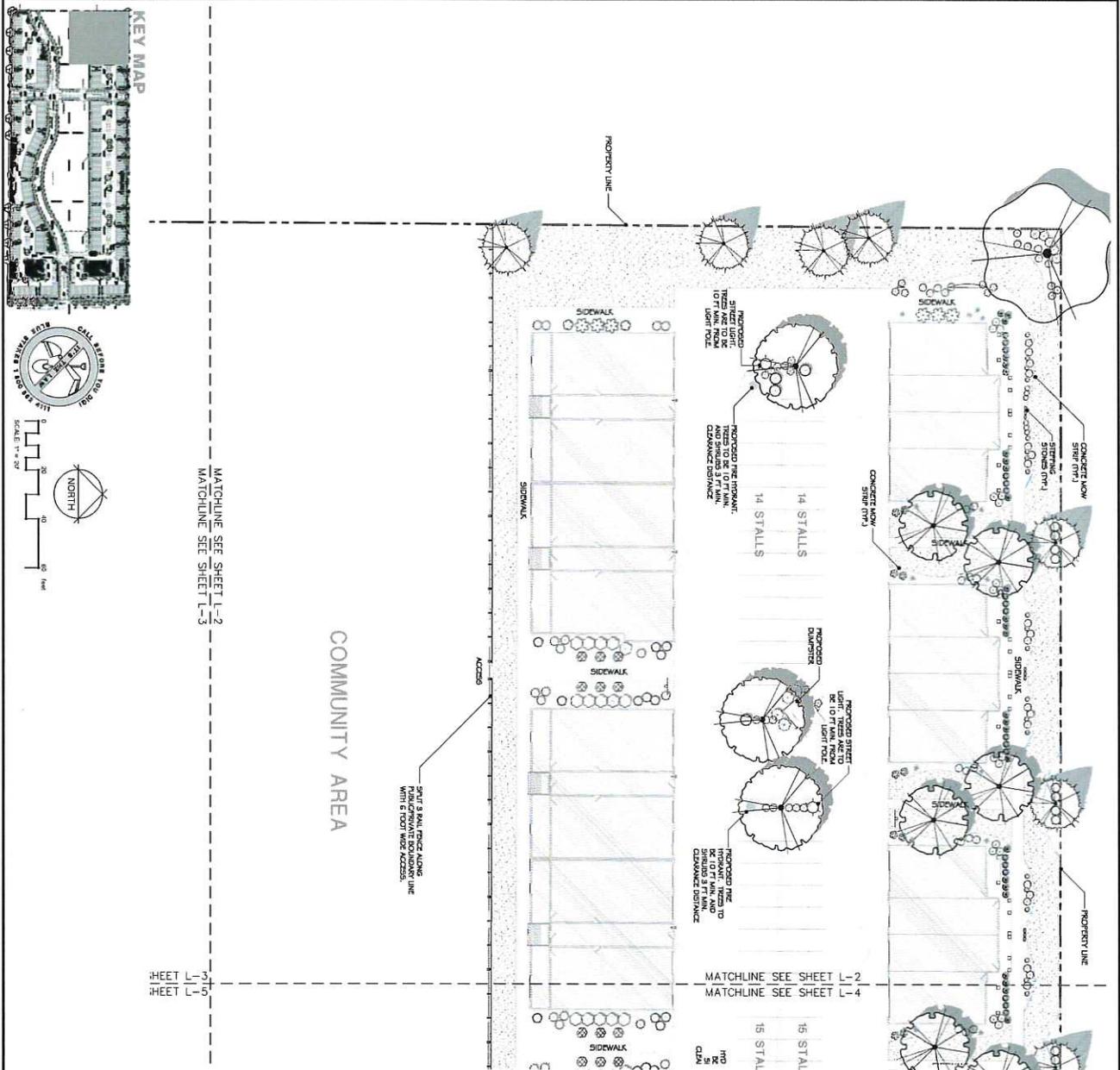
EASTON PARK
OVERALL LANDSCAPE PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite
 Design Group, LLC

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 13800 ARROW CREEK DRIVE
 DRAPEER, UTAH 84020
 PHONE: 801.641.7464
 www.foresitegroup.com

NO.	REVISIONS	BY	DATE
1	REV. CIV. DEMAND & SITE PLAN CHECKS	ELM	4/27/16

PROJECT PROFESSIONAL



PLANT SYMBOLS IN THE PLANT SCHEDULE ARE NOT THE SAME SIZE AS PLANT SYMBOLS IN PLANS UNLESS NOTED OTHERWISE.

SYMBOL	TREE	STANDARD NAME / COMMON NAME	STYL	DBH	HT
	Acorn	Quercus macrocarpa / White Oak	14	12"	25'
	Aspen	Picea canadensis / White Pine	14	12"	25'
	Boxelder	Acer negundo / Boxelder	14	12"	25'
	Boxelder	Acer negundo / Boxelder	14	12"	25'
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	Boxelder	Acer negundo / Boxelder	14	12"	25'

EASTON PARK LANDSCAPE PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite
 Design Group, LLC

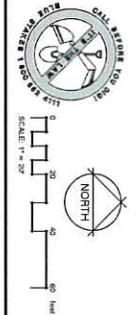
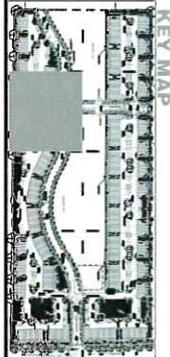
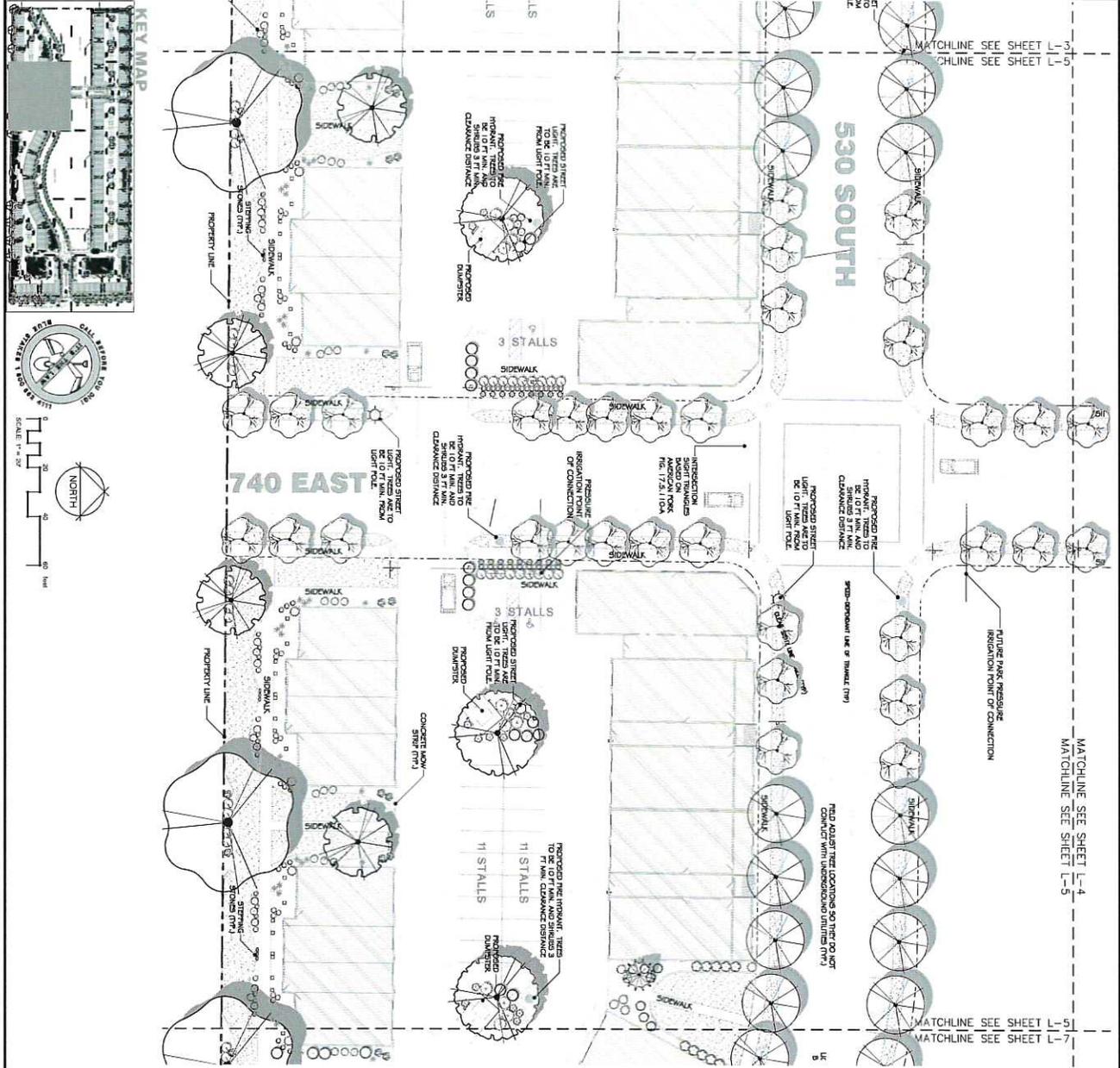
PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 13662 ARROW CREEK DRIVE
 BOILER UTAH 84605
 PHONE: 801.641.7464
 www.foresitedesigngroup.com

NO.	REVISIONS	BY	DATE
1	REV. CIP. CONCRETE & SITE PLAN DETAILS	DCM	4/2/16

SHEET: **L-2**

PROJECT PROFESSIONAL

Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



PLANT SYMBOLS IN THE PLANT SCHEDULE ARE NOT THE SAME SIZE AS PLANT SYMBOLS IN PLAN VIEW

PLANT	SYMBOL	QUANTITY	SIZE	DATE
STREET LIGHTS	(Symbol)	12		02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 24 MONTHS OF COMPLETION	(Symbol)	10	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 36 MONTHS OF COMPLETION	(Symbol)	8	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 48 MONTHS OF COMPLETION	(Symbol)	6	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 60 MONTHS OF COMPLETION	(Symbol)	4	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 72 MONTHS OF COMPLETION	(Symbol)	2	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 84 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 96 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 108 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 120 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 132 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 144 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 156 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 168 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 180 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 192 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 204 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 216 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 228 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 240 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 252 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 264 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 276 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 288 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 300 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 312 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 324 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 336 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 348 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 360 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 372 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 384 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 396 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 408 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 420 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 432 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 444 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 456 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 468 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 480 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 492 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 504 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 516 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 528 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 540 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 552 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 564 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 576 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 588 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 600 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 612 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 624 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 636 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 648 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 660 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 672 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 684 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 696 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 708 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 720 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 732 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 744 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 756 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 768 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 780 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 792 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 804 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 816 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 828 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 840 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 852 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 864 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 876 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 888 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 900 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 912 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 924 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 936 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 948 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 960 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 972 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 984 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 996 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16
PROPOSED TREES - TREES TO BE PLANTED WITHIN 1008 MONTHS OF COMPLETION	(Symbol)	1	12"	02/15/16

EASTON PARK LANDSCAPE PLAN
860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite
Design Group LLC

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
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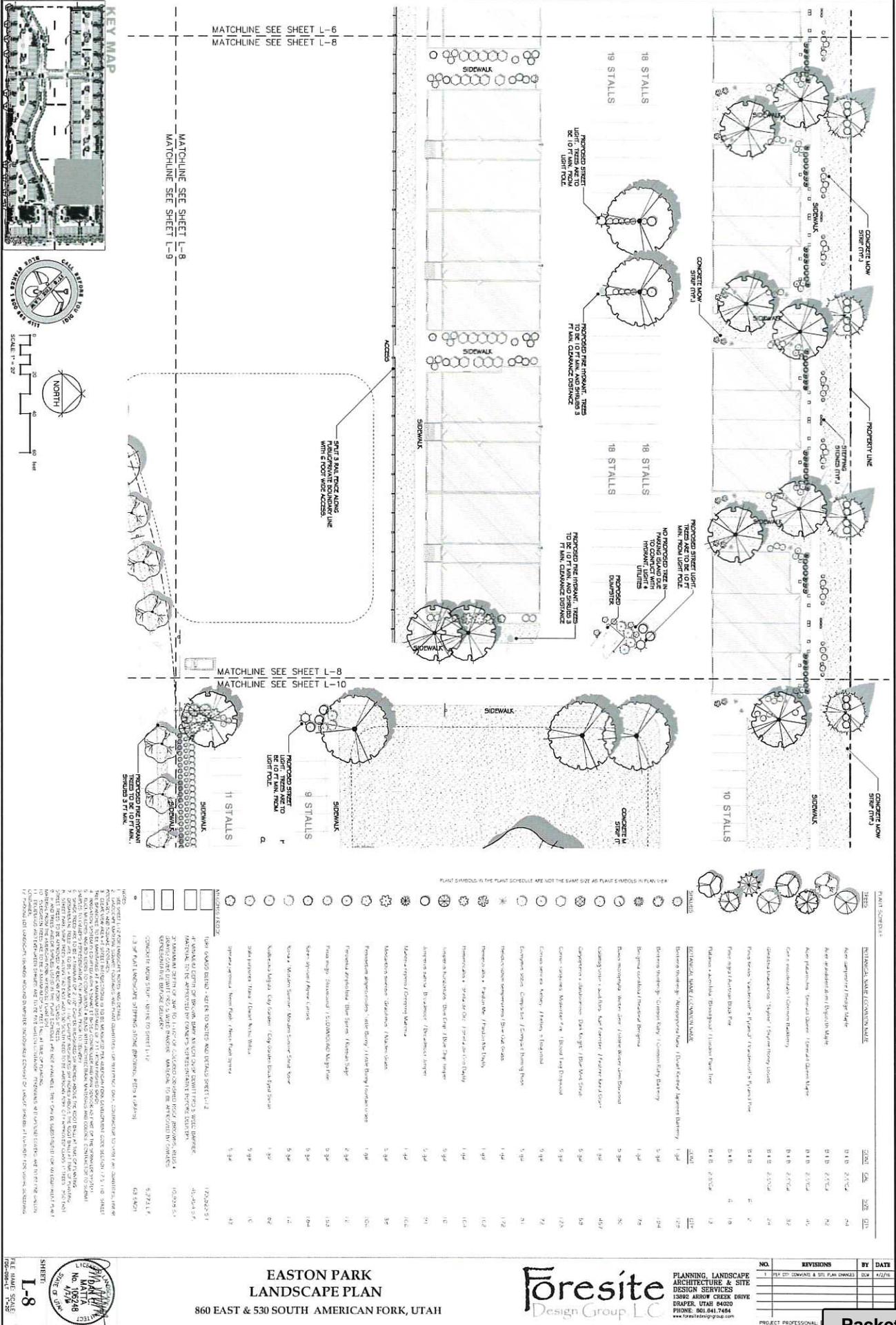
NO.	REVISIONS	BY	DATE
1	REVISED COMMENTS & SWS PLAN CHANGE	DCM	4/27/16

SHEET 1-5

PROJECT PROFESSIONAL

Packet Pg. 151

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PLANT SCHEDULE (ALL PLANT SCHEDULES ARE NOT THE SAME SIZE AS PLANT SYMBOLS IN PLAN UNLESS NOTED OTHERWISE)

TREE	PLANT SCHEDULE	QUANTITY	SIZE	DATE
1	Redwood	1	12"	1/16
2	Redwood	1	12"	1/16
3	Redwood	1	12"	1/16
4	Redwood	1	12"	1/16
5	Redwood	1	12"	1/16
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98	Redwood	1	12"	1/16
99	Redwood	1	12"	1/16
100	Redwood	1	12"	1/16

KEY MAP

SCALE 1" = 50'

NORTH

PROJECT PROFESSIONAL: [Signature]

DATE: 1/27/16

NO. 1

REVISIONS

BY DATE

EASTON PARK LANDSCAPE PLAN

860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite Design Group LLC

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES

1582 ARROW CREEK DRIVE

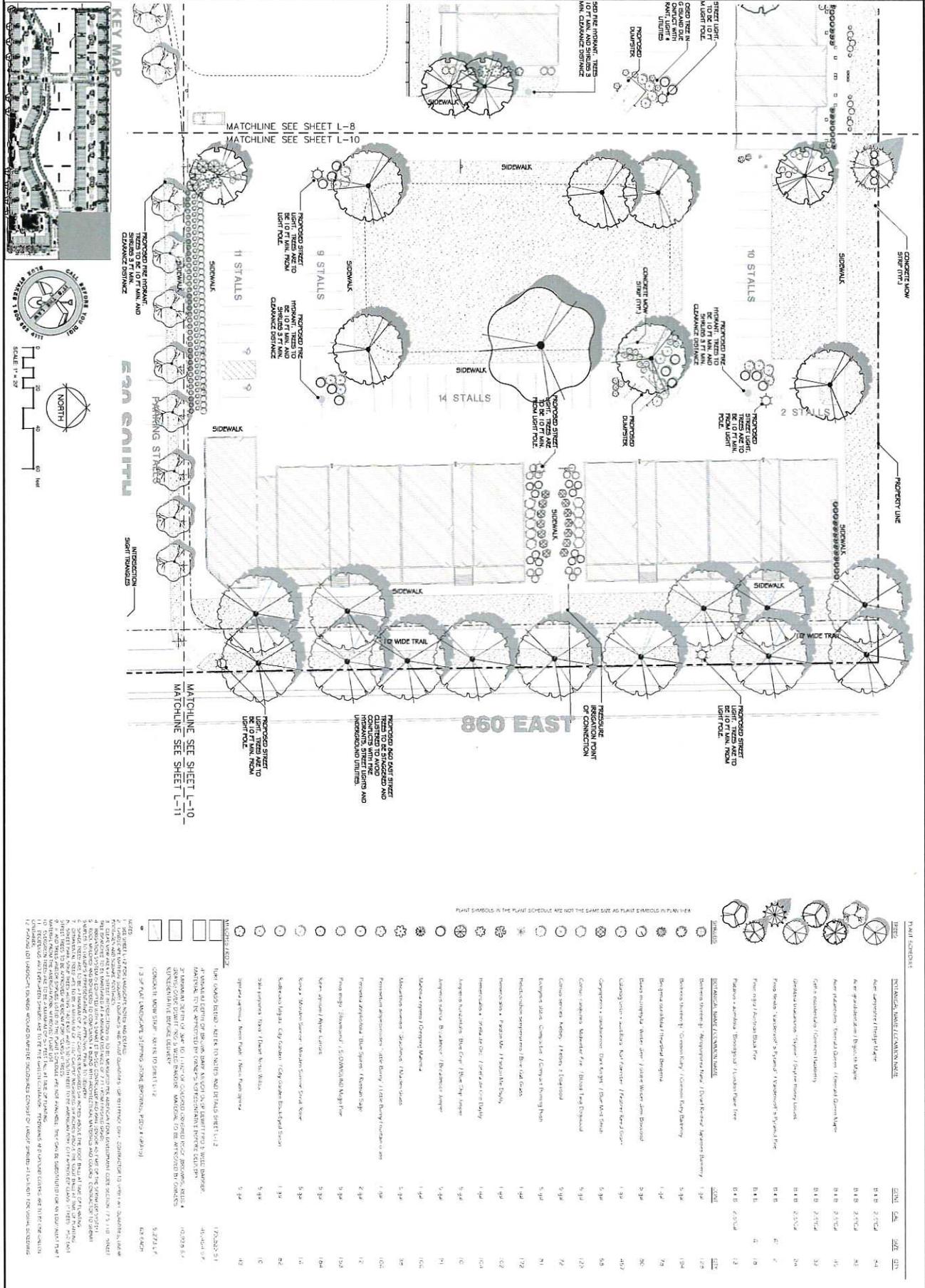
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Attachment: Site Plan and Plats (1321 : Easton Park Planned Community)



PLANT SYMBOLS IN THE PLANT SCHEDULE ARE NOT THE SAME SIZE AS PLANT SYMBOLS IN PLAN VIEW

PLANT SCHEDULE	PLANT	QUANTITY	SIZE	DATE	BY
1	AGAVE	1	12"	4/2/16	JK
2	AGAVE	1	12"	4/2/16	JK
3	AGAVE	1	12"	4/2/16	JK
4	AGAVE	1	12"	4/2/16	JK
5	AGAVE	1	12"	4/2/16	JK
6	AGAVE	1	12"	4/2/16	JK
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14	AGAVE	1	12"	4/2/16	JK
15	AGAVE	1	12"	4/2/16	JK
16	AGAVE	1	12"	4/2/16	JK
17	AGAVE	1	12"	4/2/16	JK
18	AGAVE	1	12"	4/2/16	JK
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99	AGAVE	1	12"	4/2/16	JK
100	AGAVE	1	12"	4/2/16	JK

**EASTON PARK
LANDSCAPE PLAN**

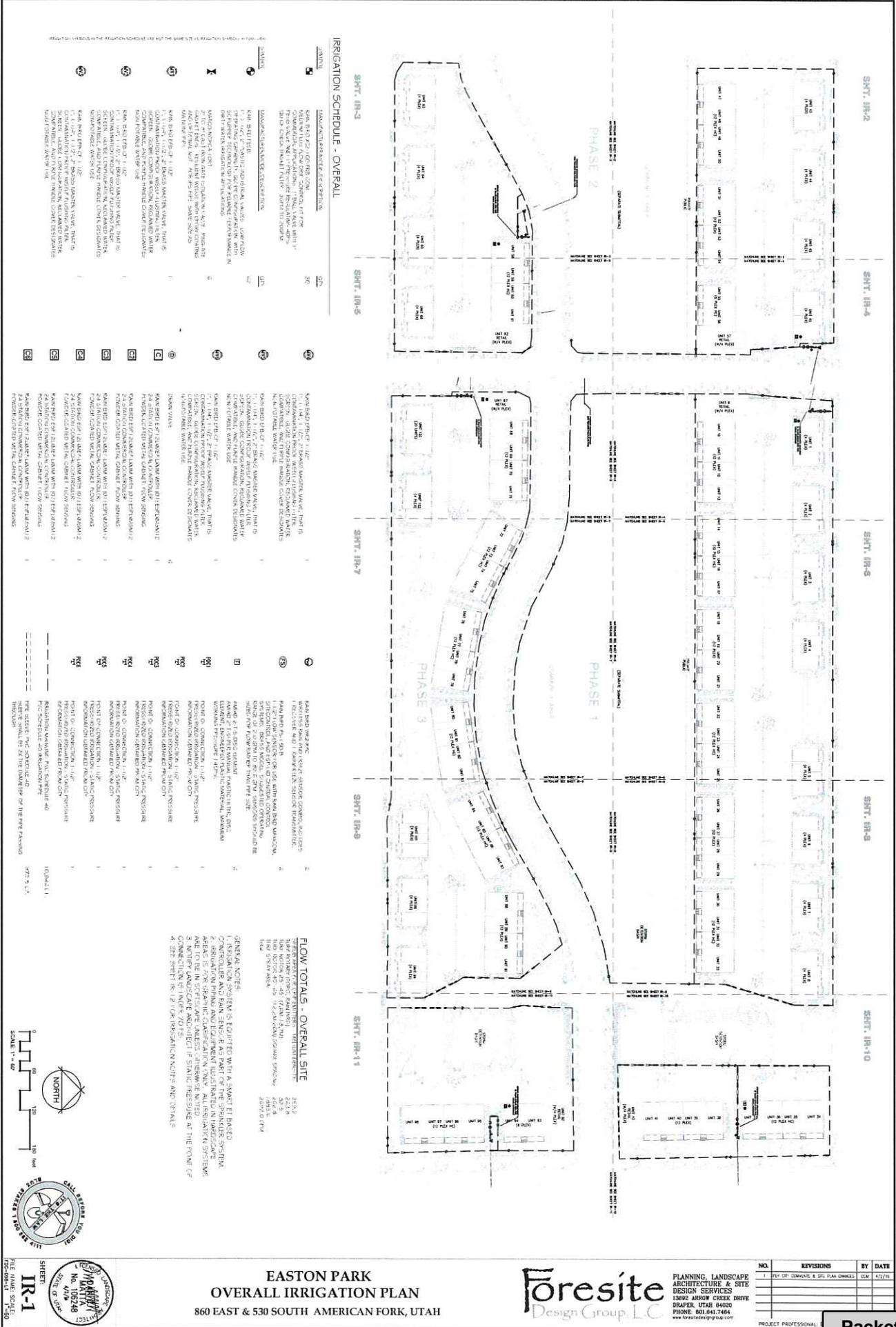
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 www.foresitegroup.com

NO.	REVISIONS	BY	DATE
1	PER OIP COMMENTS & SITE PLAN DIMS	JK	4/2/16

PROJECT PROFESSIONAL



IRRIGATION SCHEDULE - OVERALL

SYMBOL	DESCRIPTION	SIZE	DEPTH	SPACING	NOTES
1	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	1. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
2	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	2. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
3	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	3. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
4	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	4. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
5	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	5. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
6	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	6. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
7	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	7. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
8	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	8. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
9	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	9. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
10	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	10. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
11	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	11. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
12	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	12. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
13	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	13. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
14	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	14. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
15	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	15. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
16	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	16. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
17	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	17. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
18	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	18. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
19	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	19. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
20	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	20. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
21	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	21. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
22	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	22. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
23	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	23. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
24	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	24. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
25	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	25. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
26	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	26. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
27	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	27. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
28	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	28. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
29	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	29. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.
30	1" PVC 1/2" BORE IRRIGATION VALVE	1"	1/2"	10'	30. 1" PVC 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM WEST TO EAST AND 1/2" BORE IRRIGATION VALVE, THAT IS COMPARTMENTAL FROM NORTH TO SOUTH. NON-VALVE WATER USE.

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 1380C ARROW CREEK DRIVE
 SALT LAKE CITY, UT 84108
 PHONE: 801.641.7464
 www.foresitedesigngroup.com

PROJECT PROFESSIONAL: _____

NO. _____

REVISIONS _____

BY _____ DATE _____

SCALE 1" = 40'

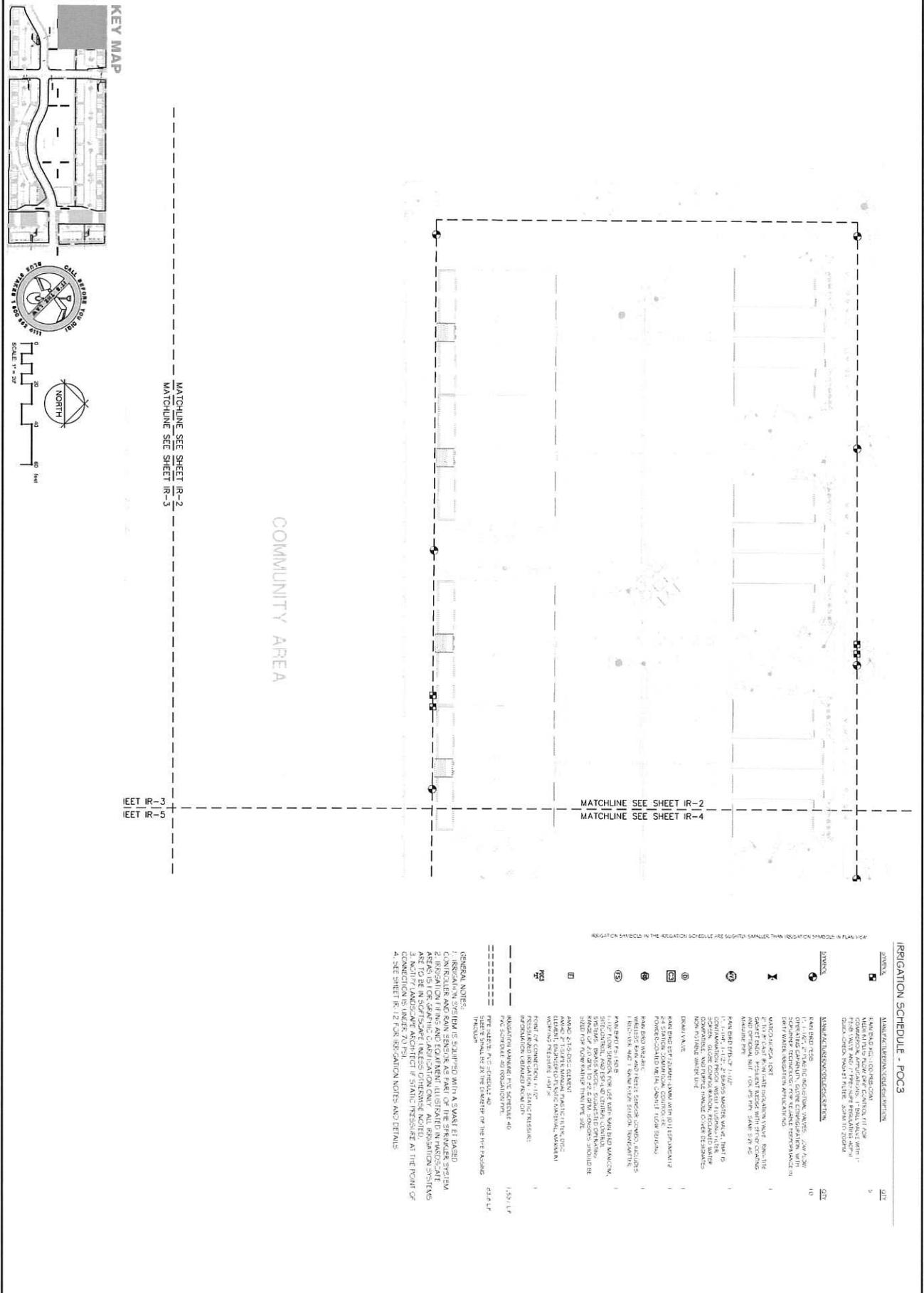
DATE: 4/2/16

SHEET: IR-1

PROJECT: EASTON PARK

EASTON PARK
 OVERALL IRRIGATION PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH





IRRIGATION SCHEDULE - FOC3

SYMBOL	DESCRIPTION	SIZE
1	1/2" PVC 1/2" RIGID PIPING	1/2"
2	1/2" PVC 1/2" RIGID PIPING	1/2"
3	1/2" PVC 1/2" RIGID PIPING	1/2"
4	1/2" PVC 1/2" RIGID PIPING	1/2"
5	1/2" PVC 1/2" RIGID PIPING	1/2"
6	1/2" PVC 1/2" RIGID PIPING	1/2"
7	1/2" PVC 1/2" RIGID PIPING	1/2"
8	1/2" PVC 1/2" RIGID PIPING	1/2"
9	1/2" PVC 1/2" RIGID PIPING	1/2"
10	1/2" PVC 1/2" RIGID PIPING	1/2"
11	1/2" PVC 1/2" RIGID PIPING	1/2"
12	1/2" PVC 1/2" RIGID PIPING	1/2"
13	1/2" PVC 1/2" RIGID PIPING	1/2"
14	1/2" PVC 1/2" RIGID PIPING	1/2"
15	1/2" PVC 1/2" RIGID PIPING	1/2"
16	1/2" PVC 1/2" RIGID PIPING	1/2"
17	1/2" PVC 1/2" RIGID PIPING	1/2"
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26	1/2" PVC 1/2" RIGID PIPING	1/2"
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52	1/2" PVC 1/2" RIGID PIPING	1/2"
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96	1/2" PVC 1/2" RIGID PIPING	1/2"
97	1/2" PVC 1/2" RIGID PIPING	1/2"
98	1/2" PVC 1/2" RIGID PIPING	1/2"
99	1/2" PVC 1/2" RIGID PIPING	1/2"
100	1/2" PVC 1/2" RIGID PIPING	1/2"

IRRIGATION SYMBOLS IN THE IRRIGATION SCHEDULE ARE SLIGHTLY SMALLER THAN REGULATION SYMBOLS IN PLAN VIEW

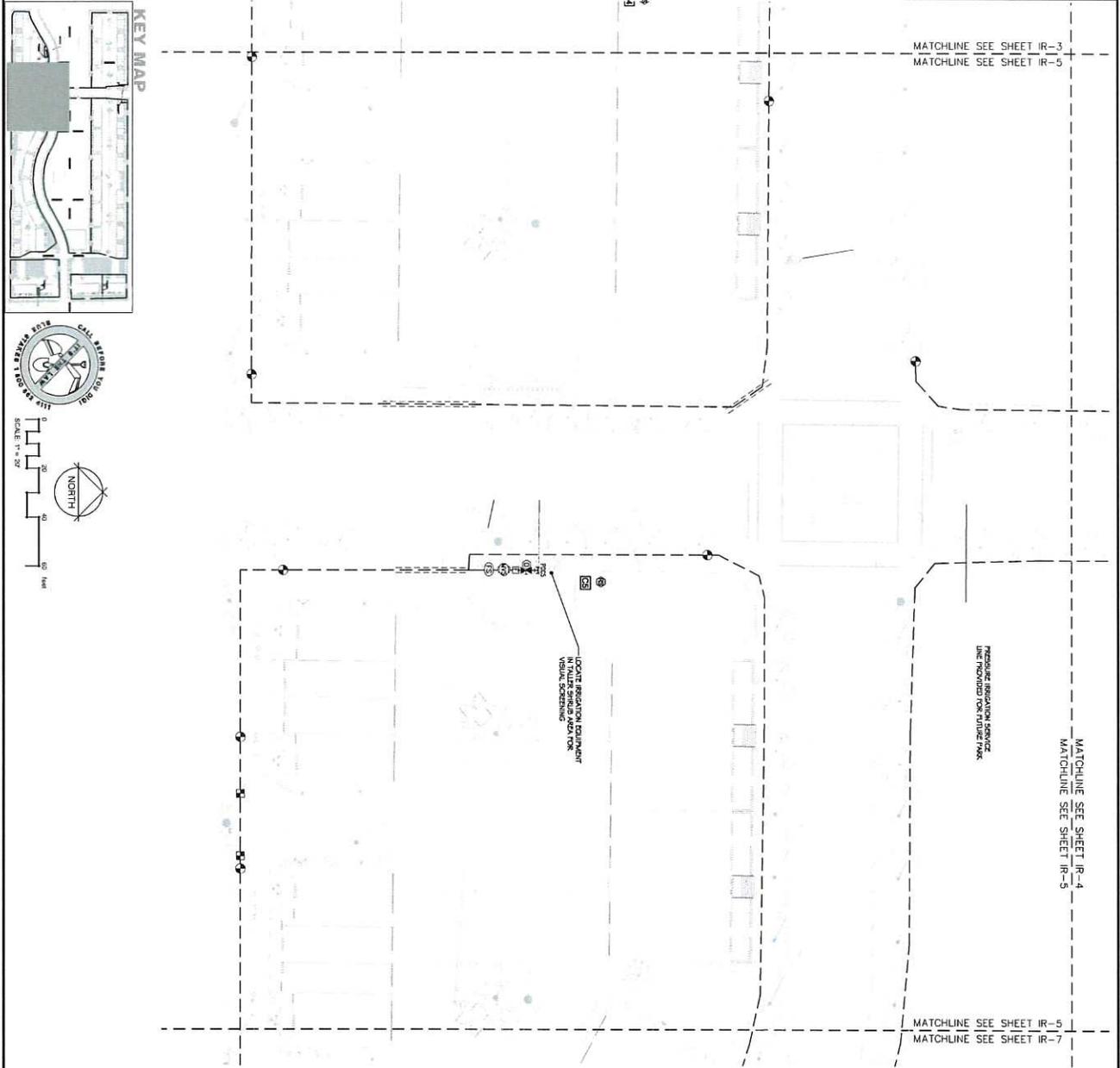
GENERAL NOTES:
 1. IRRIGATION SYSTEM IS EQUIPPED WITH A VALVE LEAK DETECTOR.
 2. IRRIGATION PIPING AND EQUIPMENT IS INSTALLED IN PARALLEL WITH THE MAIN WATER MAINS AND EQUIPMENT IS INSTALLED IN PARALLEL WITH THE MAIN WATER MAINS.
 3. IRRIGATION PIPING AND EQUIPMENT IS INSTALLED IN PARALLEL WITH THE MAIN WATER MAINS.
 4. SHEET IR-12 FOR IRRIGATION NOTES AND DETAILS.

PROJECT NO. 150248
 SHEET IR-2
 DATE 4/15/16

EASTON PARK
 IRRIGATION PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite
 Design Group, LLC
 PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 1380 ARROW CREEK DRIVE SUITE 1000 Vernal, UT 84058
 PHONE: 801.841.7464
 www.foresitegroup.com

NO.	REVISIONS	BY	DATE
1	REV ORT DRAWING & SITE PLAN CHANGES	ELW	4/27/16



IRRIGATION SCHEDULE - FOCS

SYMBOL	NAME AND DESCRIPTION	DATE
1	IRRIGATION SCHEDULE - FOCS	4/2/16
2	IRRIGATION SCHEDULE - FOCS	4/2/16
3	IRRIGATION SCHEDULE - FOCS	4/2/16
4	IRRIGATION SCHEDULE - FOCS	4/2/16
5	IRRIGATION SCHEDULE - FOCS	4/2/16
6	IRRIGATION SCHEDULE - FOCS	4/2/16
7	IRRIGATION SCHEDULE - FOCS	4/2/16
8	IRRIGATION SCHEDULE - FOCS	4/2/16
9	IRRIGATION SCHEDULE - FOCS	4/2/16
10	IRRIGATION SCHEDULE - FOCS	4/2/16
11	IRRIGATION SCHEDULE - FOCS	4/2/16
12	IRRIGATION SCHEDULE - FOCS	4/2/16
13	IRRIGATION SCHEDULE - FOCS	4/2/16
14	IRRIGATION SCHEDULE - FOCS	4/2/16
15	IRRIGATION SCHEDULE - FOCS	4/2/16
16	IRRIGATION SCHEDULE - FOCS	4/2/16
17	IRRIGATION SCHEDULE - FOCS	4/2/16
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93	IRRIGATION SCHEDULE - FOCS	4/2/16
94	IRRIGATION SCHEDULE - FOCS	4/2/16
95	IRRIGATION SCHEDULE - FOCS	4/2/16
96	IRRIGATION SCHEDULE - FOCS	4/2/16
97	IRRIGATION SCHEDULE - FOCS	4/2/16
98	IRRIGATION SCHEDULE - FOCS	4/2/16
99	IRRIGATION SCHEDULE - FOCS	4/2/16
100	IRRIGATION SCHEDULE - FOCS	4/2/16

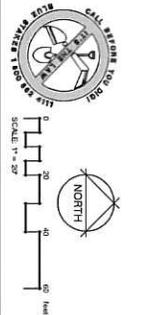
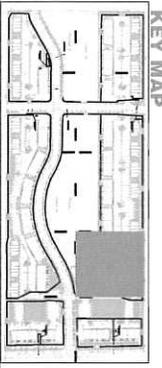
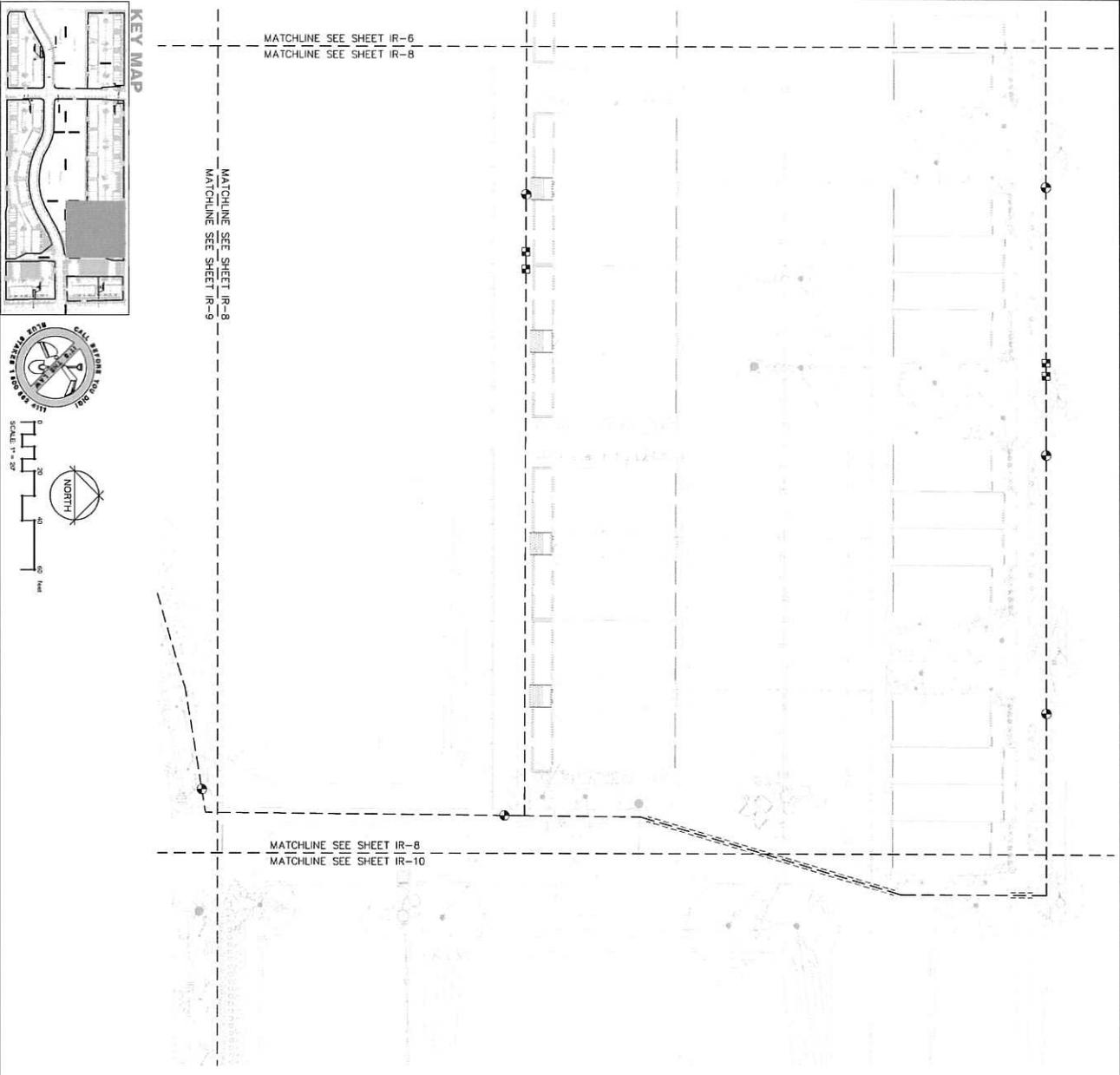
GENERAL NOTES:
 1. IRRIGATION SYSTEMS TO BE INSTALLED WITH A SMART IRRIGATION CONTROLLER AND WIRELESS TRANSMISSION AS PART OF THE IRRIGATION SYSTEM.
 2. IRRIGATION PIPING AND EQUIPMENT TO BE INSTALLED IN PARALLEL TO EXISTING UTILITY LINES.
 3. IRRIGATION SYSTEMS TO BE INSTALLED IN PARALLEL TO EXISTING UTILITY LINES.
 4. SEE SHEET IR-12 FOR IRRIGATION NOTES AND DETAILS.

PROJECT: EASTON PARK
 SHEET: IR-5
 DATE: 4/2/16
 NO. 102748
 SCALE: AS SHOWN

EASTON PARK
 IRRIGATION PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite
 Design Group, LLC
 PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 13892 ARROYO CREEK DRIVE
 SUITE 100, STE. 6400
 PHOENIX, AZ 85024
 PHONE: 602.641.7464
 www.foresitegroup.com

NO.	REVISIONS	BY	DATE
1	REV. 01: CORRECT & SITE PLAN DETAILS	DLW	4/2/16



MATCHLINE SEE SHEET IR-6
 MATCHLINE SEE SHEET IR-8

MATCHLINE SEE SHEET IR-8
 MATCHLINE SEE SHEET IR-9

MATCHLINE SEE SHEET IR-8
 MATCHLINE SEE SHEET IR-10

IRRIGATION SCHEDULE - POC2

SYMBOL	NAME/DESCRIPTION	QTY
1	MAIN PUMP AND DISTRIBUTION SYSTEM	1
2	MAIN VALVE AND 1" PIPING	1
3	MAIN VALVE AND 1" PIPING	1
4	MAIN VALVE AND 1" PIPING	1
5	MAIN VALVE AND 1" PIPING	1
6	MAIN VALVE AND 1" PIPING	1
7	MAIN VALVE AND 1" PIPING	1
8	MAIN VALVE AND 1" PIPING	1
9	MAIN VALVE AND 1" PIPING	1
10	MAIN VALVE AND 1" PIPING	1
11	MAIN VALVE AND 1" PIPING	1
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27	MAIN VALVE AND 1" PIPING	1
28	MAIN VALVE AND 1" PIPING	1
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31	MAIN VALVE AND 1" PIPING	1
32	MAIN VALVE AND 1" PIPING	1
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44	MAIN VALVE AND 1" PIPING	1
45	MAIN VALVE AND 1" PIPING	1
46	MAIN VALVE AND 1" PIPING	1
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93	MAIN VALVE AND 1" PIPING	1
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96	MAIN VALVE AND 1" PIPING	1
97	MAIN VALVE AND 1" PIPING	1
98	MAIN VALVE AND 1" PIPING	1
99	MAIN VALVE AND 1" PIPING	1
100	MAIN VALVE AND 1" PIPING	1

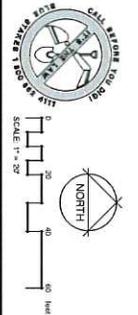
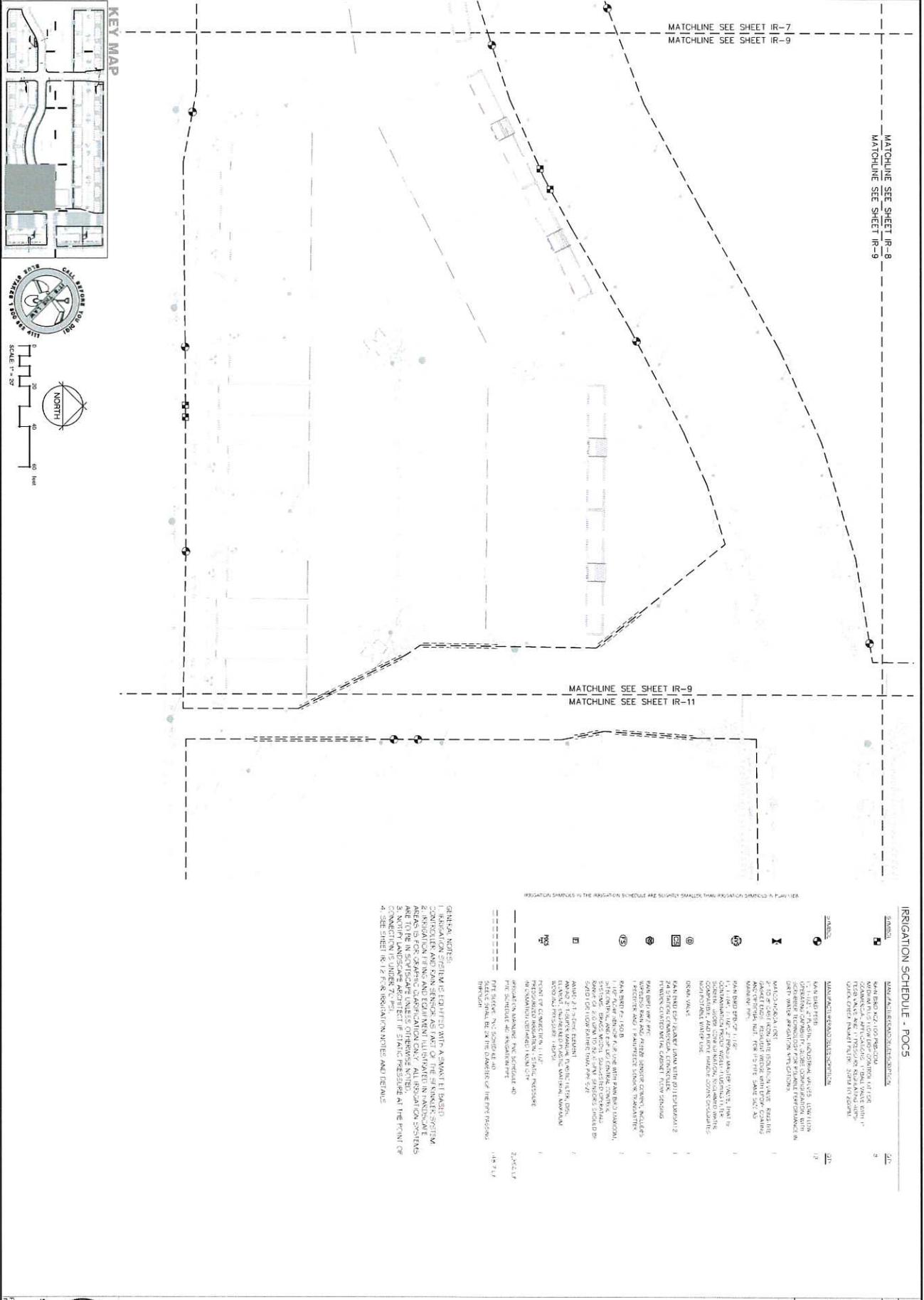
GENERAL NOTES:
 1. IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROL AND MAIN SENSOR AS PART OF THE SINKHOLE SYSTEM.
 2. IRRIGATION TRENCHES AND EQUIPMENT INSTALLATION IN PROGRESS ARE TO BE IN SOFTSCAPE UNLESS OTHERWISE NOTED.
 3. NOTIFY LANDSCAPE ARCHITECT IF STATIC PRESSURE AT THE POINT OF CONNECTION IS UNDER 70 PSI.
 4. SEE SHEET IR-1 FOR IRRIGATION NOTES AND DETAILS.

PROJECT: EASTON PARK
 SHEET: IR-8
 DATE: 4/2/16
 SCALE: 1" = 20'

EASTON PARK
 IRRIGATION PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH

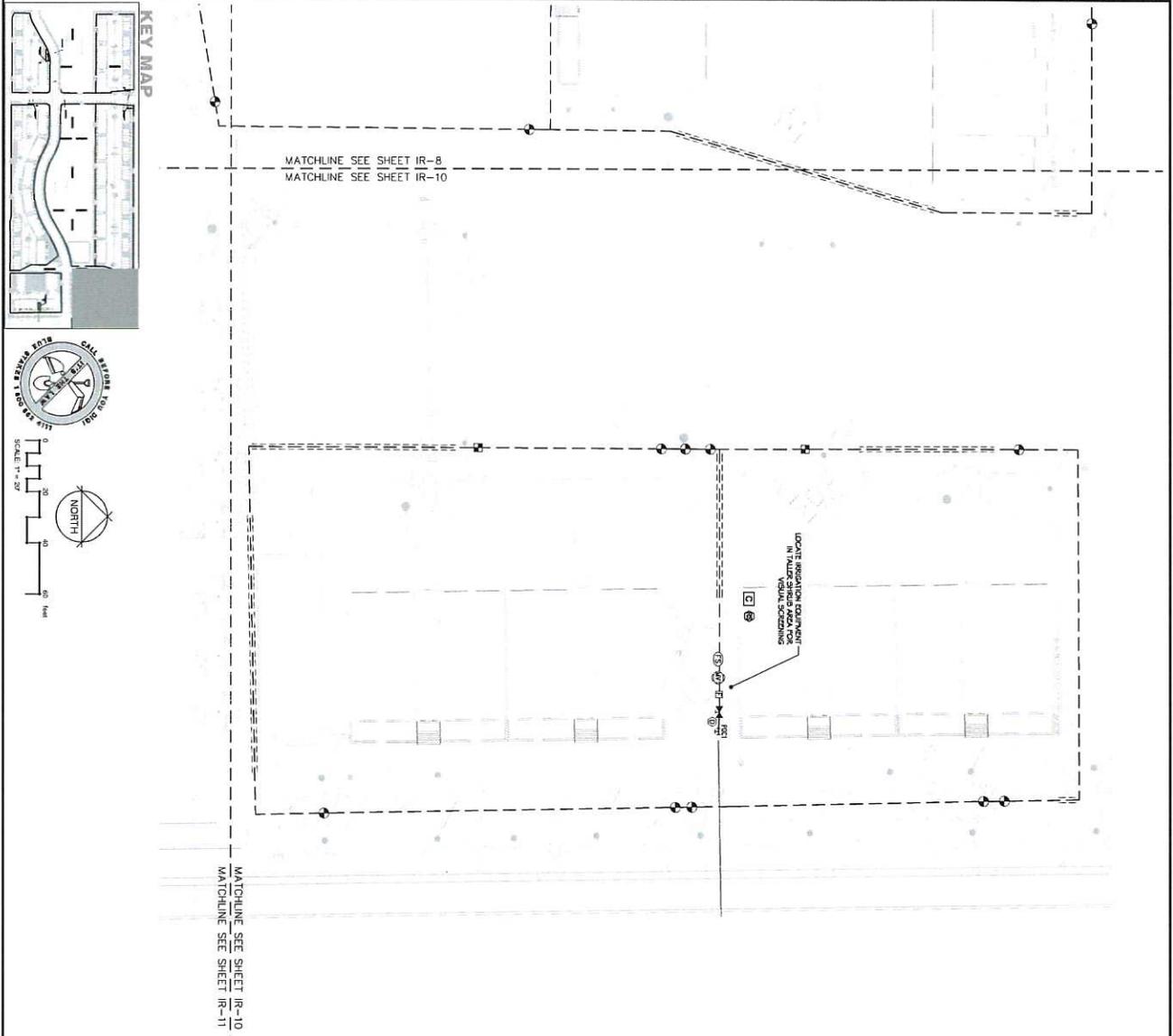
Foresite
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 PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 13602 ARROW CREEK DRIVE
 BOONVILLE, UTAH 84002
 PHONE: 801.641.7464
 www.foresitegroup.com

NO.	REVISIONS	BY	DATE
1	REV. 01: DIMENSIONS & SITE PLAN CHANGES	SCM	4/2/16



IRRIGATION SCHEDULE - POCS

SYMBOL	DESCRIPTION	SIZE
①	MAIN BRANCH LINE (PVC)	3/4"
②	MAIN BRANCH LINE (PVC)	1"
③	MAIN BRANCH LINE (PVC)	1 1/2"
④	MAIN BRANCH LINE (PVC)	2"
⑤	MAIN BRANCH LINE (PVC)	2 1/2"
⑥	MAIN BRANCH LINE (PVC)	3"
⑦	MAIN BRANCH LINE (PVC)	4"
⑧	MAIN BRANCH LINE (PVC)	6"
⑨	MAIN BRANCH LINE (PVC)	8"
⑩	MAIN BRANCH LINE (PVC)	10"
⑪	MAIN BRANCH LINE (PVC)	12"
⑫	MAIN BRANCH LINE (PVC)	16"
⑬	MAIN BRANCH LINE (PVC)	20"
⑭	MAIN BRANCH LINE (PVC)	24"
⑮	MAIN BRANCH LINE (PVC)	30"
⑯	MAIN BRANCH LINE (PVC)	36"
⑰	MAIN BRANCH LINE (PVC)	42"
⑱	MAIN BRANCH LINE (PVC)	48"
⑲	MAIN BRANCH LINE (PVC)	54"
⑳	MAIN BRANCH LINE (PVC)	60"
㉑	MAIN BRANCH LINE (PVC)	72"
㉒	MAIN BRANCH LINE (PVC)	84"
㉓	MAIN BRANCH LINE (PVC)	96"
㉔	MAIN BRANCH LINE (PVC)	108"
㉕	MAIN BRANCH LINE (PVC)	120"
㉖	MAIN BRANCH LINE (PVC)	144"
㉗	MAIN BRANCH LINE (PVC)	168"
㉘	MAIN BRANCH LINE (PVC)	192"
㉙	MAIN BRANCH LINE (PVC)	216"
㉚	MAIN BRANCH LINE (PVC)	240"
㉛	MAIN BRANCH LINE (PVC)	270"
㉜	MAIN BRANCH LINE (PVC)	300"
㉝	MAIN BRANCH LINE (PVC)	324"
㉞	MAIN BRANCH LINE (PVC)	360"
㉟	MAIN BRANCH LINE (PVC)	408"
㊱	MAIN BRANCH LINE (PVC)	456"
㊲	MAIN BRANCH LINE (PVC)	504"
㊳	MAIN BRANCH LINE (PVC)	540"
㊴	MAIN BRANCH LINE (PVC)	576"
㊵	MAIN BRANCH LINE (PVC)	612"
㊶	MAIN BRANCH LINE (PVC)	648"
㊷	MAIN BRANCH LINE (PVC)	684"
㊸	MAIN BRANCH LINE (PVC)	720"
㊹	MAIN BRANCH LINE (PVC)	756"
㊺	MAIN BRANCH LINE (PVC)	792"
㊻	MAIN BRANCH LINE (PVC)	828"
㊼	MAIN BRANCH LINE (PVC)	864"
㊽	MAIN BRANCH LINE (PVC)	900"
㊾	MAIN BRANCH LINE (PVC)	936"
㊿	MAIN BRANCH LINE (PVC)	972"
1	MAIN BRANCH LINE (PVC)	1008"
2	MAIN BRANCH LINE (PVC)	1044"
3	MAIN BRANCH LINE (PVC)	1080"
4	MAIN BRANCH LINE (PVC)	1116"
5	MAIN BRANCH LINE (PVC)	1152"
6	MAIN BRANCH LINE (PVC)	1188"
7	MAIN BRANCH LINE (PVC)	1224"
8	MAIN BRANCH LINE (PVC)	1260"
9	MAIN BRANCH LINE (PVC)	1296"
10	MAIN BRANCH LINE (PVC)	1332"
11	MAIN BRANCH LINE (PVC)	1368"
12	MAIN BRANCH LINE (PVC)	1404"
13	MAIN BRANCH LINE (PVC)	1440"
14	MAIN BRANCH LINE (PVC)	1476"
15	MAIN BRANCH LINE (PVC)	1512"
16	MAIN BRANCH LINE (PVC)	1548"
17	MAIN BRANCH LINE (PVC)	1584"
18	MAIN BRANCH LINE (PVC)	1620"
19	MAIN BRANCH LINE (PVC)	1656"
20	MAIN BRANCH LINE (PVC)	1692"
21	MAIN BRANCH LINE (PVC)	1728"
22	MAIN BRANCH LINE (PVC)	1764"
23	MAIN BRANCH LINE (PVC)	1800"
24	MAIN BRANCH LINE (PVC)	1836"
25	MAIN BRANCH LINE (PVC)	1872"
26	MAIN BRANCH LINE (PVC)	1908"
27	MAIN BRANCH LINE (PVC)	1944"
28	MAIN BRANCH LINE (PVC)	1980"
29	MAIN BRANCH LINE (PVC)	2016"
30	MAIN BRANCH LINE (PVC)	2052"
31	MAIN BRANCH LINE (PVC)	2088"
32	MAIN BRANCH LINE (PVC)	2124"
33	MAIN BRANCH LINE (PVC)	2160"
34	MAIN BRANCH LINE (PVC)	2196"
35	MAIN BRANCH LINE (PVC)	2232"
36	MAIN BRANCH LINE (PVC)	2268"
37	MAIN BRANCH LINE (PVC)	2304"
38	MAIN BRANCH LINE (PVC)	2340"
39	MAIN BRANCH LINE (PVC)	2376"
40	MAIN BRANCH LINE (PVC)	2412"
41	MAIN BRANCH LINE (PVC)	2448"
42	MAIN BRANCH LINE (PVC)	2484"
43	MAIN BRANCH LINE (PVC)	2520"
44	MAIN BRANCH LINE (PVC)	2556"
45	MAIN BRANCH LINE (PVC)	2592"
46	MAIN BRANCH LINE (PVC)	2628"
47	MAIN BRANCH LINE (PVC)	2664"
48	MAIN BRANCH LINE (PVC)	2700"
49	MAIN BRANCH LINE (PVC)	2736"
50	MAIN BRANCH LINE (PVC)	2772"
51	MAIN BRANCH LINE (PVC)	2808"
52	MAIN BRANCH LINE (PVC)	2844"
53	MAIN BRANCH LINE (PVC)	2880"
54	MAIN BRANCH LINE (PVC)	2916"
55	MAIN BRANCH LINE (PVC)	2952"
56	MAIN BRANCH LINE (PVC)	2988"
57	MAIN BRANCH LINE (PVC)	3024"
58	MAIN BRANCH LINE (PVC)	3060"
59	MAIN BRANCH LINE (PVC)	3096"
60	MAIN BRANCH LINE (PVC)	3132"
61	MAIN BRANCH LINE (PVC)	3168"
62	MAIN BRANCH LINE (PVC)	3204"
63	MAIN BRANCH LINE (PVC)	3240"
64	MAIN BRANCH LINE (PVC)	3276"
65	MAIN BRANCH LINE (PVC)	3312"
66	MAIN BRANCH LINE (PVC)	3348"
67	MAIN BRANCH LINE (PVC)	3384"
68	MAIN BRANCH LINE (PVC)	3420"
69	MAIN BRANCH LINE (PVC)	3456"
70	MAIN BRANCH LINE (PVC)	3492"
71	MAIN BRANCH LINE (PVC)	3528"
72	MAIN BRANCH LINE (PVC)	3564"
73	MAIN BRANCH LINE (PVC)	3600"
74	MAIN BRANCH LINE (PVC)	3636"
75	MAIN BRANCH LINE (PVC)	3672"
76	MAIN BRANCH LINE (PVC)	3708"
77	MAIN BRANCH LINE (PVC)	3744"
78	MAIN BRANCH LINE (PVC)	3780"
79	MAIN BRANCH LINE (PVC)	3816"
80	MAIN BRANCH LINE (PVC)	3852"
81	MAIN BRANCH LINE (PVC)	3888"
82	MAIN BRANCH LINE (PVC)	3924"
83	MAIN BRANCH LINE (PVC)	3960"
84	MAIN BRANCH LINE (PVC)	3996"
85	MAIN BRANCH LINE (PVC)	4032"
86	MAIN BRANCH LINE (PVC)	4068"
87	MAIN BRANCH LINE (PVC)	4104"
88	MAIN BRANCH LINE (PVC)	4140"
89	MAIN BRANCH LINE (PVC)	4176"
90	MAIN BRANCH LINE (PVC)	4212"
91	MAIN BRANCH LINE (PVC)	4248"
92	MAIN BRANCH LINE (PVC)	4284"
93	MAIN BRANCH LINE (PVC)	4320"
94	MAIN BRANCH LINE (PVC)	4356"
95	MAIN BRANCH LINE (PVC)	4392"
96	MAIN BRANCH LINE (PVC)	4428"
97	MAIN BRANCH LINE (PVC)	4464"
98	MAIN BRANCH LINE (PVC)	4500"
99	MAIN BRANCH LINE (PVC)	4536"
100	MAIN BRANCH LINE (PVC)	4572"
101	MAIN BRANCH LINE (PVC)	4608"
102	MAIN BRANCH LINE (PVC)	4644"
103	MAIN BRANCH LINE (PVC)	4680"
104	MAIN BRANCH LINE (PVC)	4716"
105	MAIN BRANCH LINE (PVC)	4752"
106	MAIN BRANCH LINE (PVC)	4788"
107	MAIN BRANCH LINE (PVC)	4824"
108	MAIN BRANCH LINE (PVC)	4860"
109	MAIN BRANCH LINE (PVC)	4896"
110	MAIN BRANCH LINE (PVC)	4932"
111	MAIN BRANCH LINE (PVC)	4968"
112	MAIN BRANCH LINE (PVC)	5004"
113	MAIN BRANCH LINE (PVC)	5040"
114	MAIN BRANCH LINE (PVC)	5076"
115	MAIN BRANCH LINE (PVC)	5112"
116	MAIN BRANCH LINE (PVC)	5148"
117	MAIN BRANCH LINE (PVC)	5184"
118	MAIN BRANCH LINE (PVC)	5220"
119	MAIN BRANCH LINE (PVC)	5256"
120	MAIN BRANCH LINE (PVC)	5292"
121	MAIN BRANCH LINE (PVC)	5328"
122	MAIN BRANCH LINE (PVC)	5364"
123	MAIN BRANCH LINE (PVC)	5400"
124	MAIN BRANCH LINE (PVC)	5436"
125	MAIN BRANCH LINE (PVC)	5472"
126	MAIN BRANCH LINE (PVC)	5508"
127	MAIN BRANCH LINE (PVC)	5544"
128	MAIN BRANCH LINE (PVC)	5580"
129	MAIN BRANCH LINE (PVC)	5616"
130	MAIN BRANCH LINE (PVC)	5652"
131	MAIN BRANCH LINE (PVC)	5688"
132	MAIN BRANCH LINE (PVC)	5724"
133	MAIN BRANCH LINE (PVC)	5760"
134	MAIN BRANCH LINE (PVC)	5796"
135	MAIN BRANCH LINE (PVC)	5832"
136	MAIN BRANCH LINE (PVC)	5868"
137	MAIN BRANCH LINE (PVC)	5904"
138	MAIN BRANCH LINE (PVC)	5940"
139	MAIN BRANCH LINE (PVC)	5976"
140	MAIN BRANCH LINE (PVC)	6012"
141	MAIN BRANCH LINE (PVC)	6048"
142	MAIN BRANCH LINE (PVC)	6084"
143	MAIN BRANCH LINE (PVC)	6120"
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145	MAIN BRANCH LINE (PVC)	6192"
146	MAIN BRANCH LINE (PVC)	6228"
147	MAIN BRANCH LINE (PVC)	6264"
148	MAIN BRANCH LINE (PVC)	6300"
149	MAIN BRANCH LINE (PVC)	6336"
150	MAIN BRANCH LINE (PVC)	6372"
151	MAIN BRANCH LINE (PVC)	6408"
152	MAIN BRANCH LINE (PVC)	6444"
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154	MAIN BRANCH LINE (PVC)	6516"
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156	MAIN BRANCH LINE (PVC)	6588"
157	MAIN BRANCH LINE (PVC)	6624"
158	MAIN BRANCH LINE (PVC)	6660"
159	MAIN BRANCH LINE (PVC)	6696"
160	MAIN BRANCH LINE (PVC)	6732"
161	MAIN BRANCH LINE (PVC)	6768"
162	MAIN BRANCH LINE (PVC)	6804"
163	MAIN BRANCH LINE (PVC)	6840"
164	MAIN BRANCH LINE (PVC)	6876"
165	MAIN BRANCH LINE (PVC)	6912"
166	MAIN BRANCH LINE (PVC)	6948"
167	MAIN BRANCH LINE (PVC)	6984"
168	MAIN BRANCH LINE (PVC)	7020"
169	MAIN BRANCH LINE (PVC)	7056"
170	MAIN BRANCH LINE (PVC)	7092"
171	MAIN BRANCH LINE (PVC)	7128"
172	MAIN BRANCH LINE (PVC)	7164"
173	MAIN BRANCH LINE (PVC)	7200"
174	MAIN BRANCH LINE (PVC)	7236"
175	MAIN BRANCH LINE (PVC)	7272"
176	MAIN BRANCH LINE (PVC)	7308"
177	MAIN BRANCH LINE (PVC)	7344"
178	MAIN BRANCH LINE (PVC)	7380"
179	MAIN BRANCH LINE (PVC)	7416"
180	MAIN BRANCH LINE (PVC)	7452"
181	MAIN BRANCH LINE (PVC)	7488"
182	MAIN BRANCH LINE (PVC)	7524"
183	MAIN BRANCH LINE (PVC)	7560"
184	MAIN BRANCH LINE (PVC)	7596"
185	MAIN BRANCH LINE (PVC)	7632"
186	MAIN BRANCH LINE (PVC)	7668"
187	MAIN BRANCH LINE (PVC)	7704"
188	MAIN BRANCH LINE (PVC)	7740"
189	MAIN BRANCH LINE (PVC)	7776"
190	MAIN BRANCH LINE (PVC)	7812"
191	MAIN BRANCH LINE (PVC)	7848"
192	MAIN BRANCH LINE (PVC)	7884"
193	MAIN BRANCH LINE (PVC)	7920"
194	MAIN BRANCH LINE (PVC)	7956"
195	MAIN BRANCH LINE (PVC)	7992"
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198	MAIN BRANCH LINE (PVC)	8100"
199	MAIN BRANCH LINE (PVC)	8136"
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201	MAIN BRANCH LINE (PVC)	8208"
202	MAIN BRANCH LINE (PVC)	8244"
203	MAIN BRANCH LINE (PVC)	8280"
204	MAIN BRANCH LINE (PVC)	8316"
205	MAIN BRANCH LINE (PVC)	8352"
206	MAIN BRANCH LINE (PVC)	8388"
207	MAIN BRANCH LINE (PVC)	8424"
208	MAIN BRANCH LINE (PVC)	8460"
209	MAIN BRANCH LINE (PVC)	8496"
210	MAIN BRANCH LINE (PVC)	8532"
211	MAIN BRANCH LINE (PVC)	8568"
212	MAIN BRANCH LINE (PVC)	8604"
213	MAIN BRANCH LINE (PVC)	8640"
214	MAIN BRANCH LINE (PVC)	8676"
215	MAIN BRANCH LINE (PVC)	8712"
216	MAIN BRANCH LINE (PVC)	8748"
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220	MAIN BRANCH LINE (PVC)	8892"
221	MAIN BRANCH LINE (PVC)	8928"
222	MAIN BRANCH LINE (PVC)	8964"
223	MAIN BRANCH LINE (PVC)	9000"
224	MAIN BRANCH LINE (PVC)	9036"
225	MAIN BRANCH LINE (PVC)	9072"
226	MAIN BRANCH LINE (PVC)	9108"
227	MAIN BRANCH LINE (PVC)	9144"
228	MAIN BRANCH LINE (PVC)	9180"
229	MAIN BRANCH LINE (PVC)	9216"
230	MAIN BRANCH LINE (PVC)	9252"
231	MAIN BRANCH LINE (PVC)	9288"
232	MAIN BRANCH LINE (PVC)	9324"
233	MAIN BRANCH LINE (PVC)	9360"
234	MAIN BRANCH LINE (PVC)	9396"
235	MAIN BRANCH LINE (PVC)	9432"
236	MAIN BRANCH LINE (PVC)	9468"
237	MAIN BRANCH LINE (PVC)	9504"
238	MAIN BRANCH LINE (PVC)	9540"
239	MAIN BRANCH LINE (PVC)	9576"
240	MAIN BRANCH LINE (PVC)	9612"
241	MAIN BRANCH LINE (PVC)	9648"
242	MAIN BRANCH LINE (PVC)	9684"
243	MAIN BRANCH LINE (PVC)	9720"
244	MAIN BRANCH LINE (PVC)	9756"
245	MAIN BRANCH LINE (PVC)	9792"
246	MAIN BRANCH LINE (PVC)	9828"
247	MAIN BRANCH LINE (PVC)	9864"
248	MAIN BRANCH LINE (PVC)	9900"
249	MAIN BRANCH LINE (PVC)	9936"
250	MAIN BRANCH LINE (PVC)	9972"
251	MAIN BRANCH LINE (PVC)	10008"
252	MAIN BRANCH LINE (PVC)	10044"
253	MAIN BRANCH LINE (PVC)	10080"
254	MAIN BRANCH LINE (PVC)	10116"
255	MAIN BRANCH LINE (PVC)	10152"
256	MAIN BRANCH LINE (PVC)	10188"
257	MAIN BRANCH LINE (PVC)	10224"
258	MAIN BRANCH LINE (PVC)	10260"
259	MAIN BRANCH LINE (PVC)	10296"
260</		



MATCHLINE SEE SHEET IR-8
 MATCHLINE SEE SHEET IR-10

MATCHLINE SEE SHEET IR-10
 MATCHLINE SEE SHEET IR-11

LOCATE IRRIGATION EQUIPMENT
 IN THESE SPACES AND
 PROVIDE CONNECTIONS

IRRIGATION SYMBOLS IN THE IRRIGATION SCHEDULE ARE NORMALLY SMALLER THAN IRRIGATION SYMBOLS IN PLAN VIEW

IRRIGATION SCHEDULE - POC I

SYMBOL	DESCRIPTION	QTY
1	4" HDPE 100' PER 100' GALV. COATED STEEL IRRIGATION MAIN	2
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GENERAL NOTES:
 1. IRRIGATION SYSTEM IS EQUIPPED WITH A SMART IRRIGATION CONTROLLER AND SENSORS AS PART OF THE IRRIGATION SYSTEM. THE CONTROLLER WILL ADJUST THE IRRIGATION SYSTEM TO BE IN SCOTTS VALLEY UNLESS OTHERWISE NOTED.
 2. NOTIFY LANDSCAPE ARCHITECT IF STATIC PRESSURE AT THE POINT OF CONNECTION IS 10 PSI OR GREATER.
 3. SEE SHEET IR-12 FOR IRRIGATION NOTES AND DETAILS.

PROJECT PROFESSIONAL
 SHEET: IR-10
 DATE: 4/7/16
 SCALE: 1/8" = 1'-0"

EASTON PARK
 IRRIGATION PLAN
 860 EAST & 530 SOUTH AMERICAN FORK, UTAH

Foresite Design Group, LLC
 PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 13802 ARBOR CREEK DRIVE
 DUBLAR, UTAH 84005
 PHONE: 801.641.7464
 www.foresitedesigngroup.com

NO.	REVISIONS	BY	DATE
1	REV OF CORRECT & SEE PLAN CHANGES	SLW	4/7/16



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Planning **Director Approval** Adam Olsen

AGENDA ITEM Ordinance approving a commercial site plan for a billboard located at 195 East 620 South in the PI-1 Planned Industrial zone.

SUMMARY RECOMMENDATION The planning commission recommended approval of the a commercial site plan for a billboard as stated in the attached minutes of the April 20, 2016 planning commission meeting.

BACKGROUND The applicant proposes a site plan for a billboard located at an existing commercial site south of I-15. For further analysis, please refer to the attached site plan, staff report and planning commission minutes.

BUDGET IMPACT No direct budgetary impact is anticipated as a result of this approval.

SUGGESTED MOTION I motion to adopt the ordinance approving a commercial site plan for a billboard located at 195 East 620 South in the PI-1 Planned Industrial zone with instructions to the city recorder to withhold publication of the ordinance subject to:

- All conditions identified in the public record associated with the April 20, 2016 planning commission meeting.

SUPPORTING DOCUMENTS

1. Ordinance (DOC)
2. Site Plan (PDF)
2. Staff Report (PDF)
3. Minutes (PDF)

ORDINANCE NO.

AN ORDINANCE APPROVING THE COMMERCIAL SITE PLAN FOR A BILLBOARD LOCATED AT 195 EAST 620 SOUTH IN THE PI-1 PLANNED INDUSTRIAL ZONE.

BE IT ORDAINED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH,

PART I

DEVELOPMENT APPROVED - ZONE MAP AMENDED

- A. The the site plan for a billboard, located at 195 East 620 South, as set forth in the attachment, is hereby approved.
- B. Said Plans are hereby adopted as an amendment to the Official Zone Map and territory included in the Plans is hereby designated as Large Scale Development Overlay Zone _____.
- C. Said Plans shall hereafter constitute the zone requirements applicable within the property so described.

PART II

ENFORCEMENT, PENALTY, SEVERABILITY, EFFECTIVE DATE

- A. Hereafter, these amendments shall be construed as a part of the Zoning Ordinance of American Fork, Utah, to the same effect as if originally a part thereof, and all provisions of said Ordinance shall be applicable thereto including, but not limited to, the enforcement, violation, and penalty provision thereof.
- B. All ordinances, or resolutions, or parts thereof, in conflict with the provisions of this ordinance are hereby repealed.
- C. This ordinance shall take effect upon its passage and first publication following completion of all terms and conditions of approval, as set forth under the motion to approve, passed and adopted by the American Fork City Council.

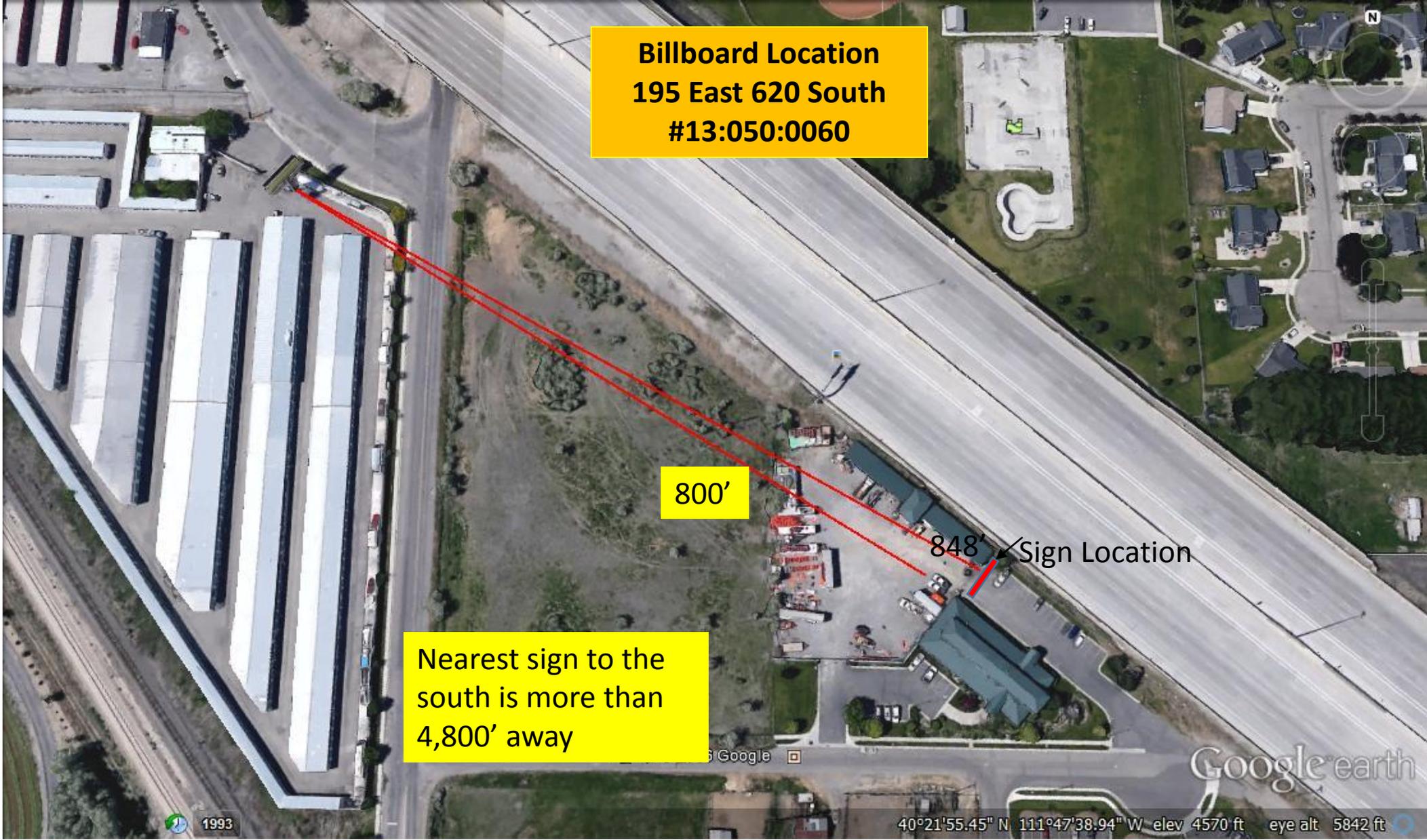
PASSED AND ORDERED PUBLISHED BY THE CITY COUNCIL OF AMERICAN FORK, UTAH, THIS 10th DAY OF MAY, 2016.

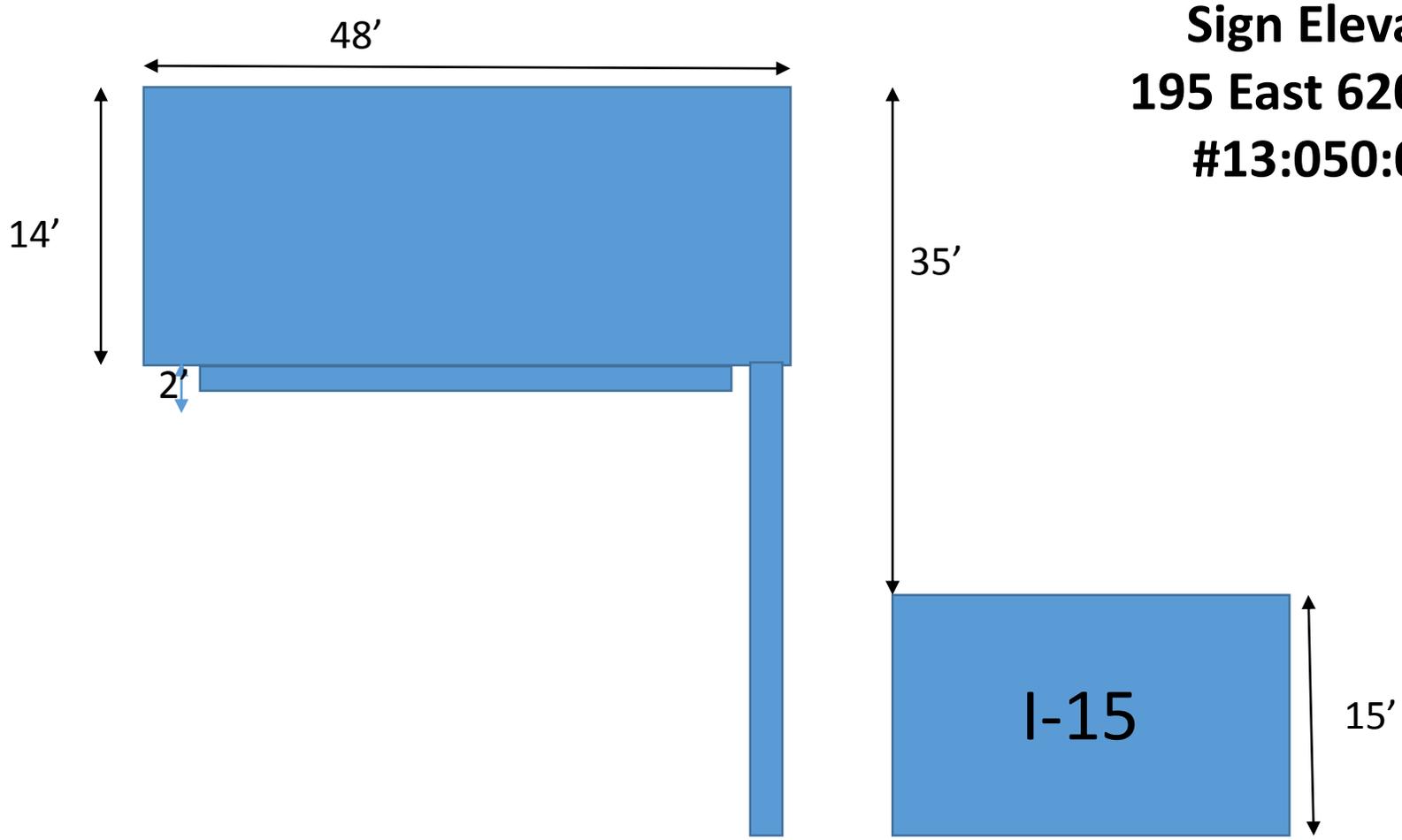
James H. Hadfield, Mayor

ATTEST:

Terilyn Lurker, Deputy Recorder

Attachment: 1. Ordinance (1317 : Billboard 195 E 620 E)





Sign Elevation
195 East 620 South
#13:050:0060

Attachment: 2: Site Plan (1317 : Billboard 195 E 620 E)

**Billboard Location
195 East 620 South
#13:050:0060**

I-15

Sign
Location

Sign will take up one parking stall. Nearest sign to north is 848' away and to the south is greater than 4,800' away

© 2016 Google

Google earth

AMERICAN FORK CITY
PLANNING COMMISSION

MEETING DATE: April 20, 2016
STAFF PRESENTATION: Adam Olsen

AGENDA TOPIC: Hearing, review and action on a site plan for a billboard located at 195 East 620 South, in the PI-1 Planned Industrial Zone.

ACTION REQUESTED: Recommendation of approval to City Council of the site plan.

BACKGROUND INFORMATION					
Location:		195 East 620 South			
Applicants:		Rich Peg Investments LLC			
Existing Land Use:		Commercial			
Proposed Land Use:		N/A			
Surrounding Land Use:	North	I-15			
	South	Commercial/Agriculture			
	East	I-15			
	West	Vacant			
Existing Zoning:		PI-1 (Planned Industrial)			
Proposed Zoning:		N/A			
Surrounding Zoning:	North	PF (Public Facilities)			
	South	GC-2 (Planned Commercial)			
	East	PF (Public Facilities)			
	West	Residential Agriculture 5 (County)			
Growth Plan Designation:		Design Industrial			
Zoning within density range?		x	Yes		No

Attachment: 2. Staff Report (1317 : Billboard 195 E 620 E)

Background

Rich Peg Investments, LLC proposes to place a billboard adjacent to I-15 at approximately 195 E. 620 S. Section 17.6.115 of the Development Code addresses the placement of billboards as well as their maximum height and size. The Development Code states in Section 17.6.115.4 that no billboard shall be located closer than eight hundred (800) feet, along the same side of the right-of-way, to an existing billboard or project identification sign. The applicant has provided an exhibit illustrating the proposed placement of this billboard and that it adheres to the distance requirement of as identified in the Code. The closest billboard to the north is 848' away and to the south, the closest billboard is nearly 5,000' feet away.

The height and size of a billboard is addressed in Section 17.6.115.3; stating that the maximum height is thirty five (35) feet as measured from the closest adjacent freeway

lane and the maximum size is eight hundred (800) square feet (16'x50'). The ground level of the proposed billboard is fifteen (15) feet lower than the adjacent travel lane; therefore, the total height will be fifty (50) feet above the ground surface; thirty five (35) feet above the closest I-15 travel lane. The billboard's dimensions will be 14'x48'; totaling six hundred seventy two (672) square feet.

The Planning Commission may find that a billboard is allowed pursuant to Section 17.7.701.B.1.e which allows the Planning Commission and City Council to permit uses which harmonize with the intent of the PI-1 Zone. In 2013, the Planning Commission and City Council determined a billboard was an acceptable use within the PI-1 Zone at a different location. This request is similar in nature.

Consistency with the Land Use Plan:

The Land Use Plan designates this area as "Design Industrial". The site is consistent with the Land Use Plan Designation.

FINDINGS OF FACT

After reviewing the application for site plan approval, the following finding of fact is offered for consideration:

1. The proposed site plan meets the criteria as found in Section 17.6.115 of the Development Code.
2. The Planning Commission finds that a billboard is an acceptable use within the PI-1 Zone pursuant to Section 17.7.701.B of the Development Code.

POTENTIAL MOTIONS

APPROVAL

Mr. Chairman, I move that we recommend approval of the site plan for the placement of a billboard at 195 East 620 South, in the PI-1 (Planned Industrial) Zone, with the findings as outlined in the staff report and subject to any findings, conditions and modifications listed in the engineering report.

DENIAL

Mr. Chairman, I move that we recommend denial of the site plan for the placement of a billboard at 195 East 620 South, in the PI-1 (Planned Industrial) Zone, with the finding that a billboard is not an acceptable use within the PI-1 Zone.

TABLE

Attachment: 2. Staff Report (1317 : Billboard 195 E 620 E)

Mr. Chairman, I move that we table the site plan for the placement of a billboard at 195 East 620 South in the PI-1 (Planned Industrial) Zone.

AMERICAN FORK CITY ENGINEERING DIVISION STAFF REPORT

Planning Commission Meeting Date: 4/20/2016

This report is a summary of the American Fork City Engineering Division plan review comments regarding the subject plan as submitted by the applicant for American Fork City Land Use Authority approval:

Project Name: Billboard

Project Address: 195 East 620 South

Developer / Applicant's Name: Dan Ford

Type of Application:

- Subdivision Final Plat Subdivision Preliminary Plan Annexation
- Code Text Amendment General Plan Amendment Zone Change
- Commercial Site Plan Residential Accessory Structure Site Plan

Engineering Division Recommendation: The Engineering Division recommends APPROVAL of the proposed development subject to the following findings and conditions:

- All Standard Conditions of Approval and items denoted as "Plan Modification(s) Required" in the 4/20/2016 Engineering Division Staff Report for the City Land Use Authority shall be addressed on all final project documents.

Applicant is requesting that the Planning Commission waive the following requirement(s):

- Requested waivers **ARE** necessary for the proposed development to move forward.
 - Requested waivers **ARE NOT** necessary for the proposed development to move forward.

Plan Submittal:



Attachment: 2. Staff Report (1317 : Billboard 195 E 620 E)

STANDARD CONDITIONS OF APPROVAL

Standard Conditions of Approval:

APPLICANT is responsible and shall submit/post/obtain all necessary documentation and evidence to comply with these Standard Conditions of Approval prior to any platting, permitting, or any other form of authorization by the City including plat recording or other property conveyance to the City and prior to scheduling a pre-construction meeting. All recording shall take place at the Utah County Recorder's Office.

1. **Title Report:** Submit an updated Title Report not older than 30 days or other type of appropriate verification that shows all dedications to the City are free and clear of encumbrances, taxes, or other assessments.
2. **Property Taxes and Liens:** Submit evidence that all the property taxes, for the current and/or previous years, liens, and agricultural land use roll over fees have been paid in full.
3. **Water Rights:** Submit evidence that all the required water rights have been conveyed to American Fork City.
4. **Performance Guarantee:** Post a performance guarantee for all required public and essential common improvements.
5. **Easements and Agreements:** Submit/record a long-term Storm Water Pollution Prevention Maintenance Agreement signed and dated by the property owner and any required easement documentation.
6. **Land Disturbance Permit:** Obtain a Land Disturbance Permit.
7. **Compliance with the Engineering Division Plan Review Comments:** All plans and documents shall comply with all the Technical Review Committee comments and the City Engineer's final review.
8. **Commercial Structure:** Record an Owner Acknowledgment and Utility Liability Indemnification if the proposed building is a multi-unit commercial structure served by a single utility service.
9. **Sensitive Lands:** Record all applicable documents required for compliance with the City's Sensitive Lands Ordinance.
10. **Utility Notification Form:** Submit a Subdivision Utility Notification Form.
11. **Professional Verification:** Submit final stamped construction documentation by all appropriate professionals.
12. **Fees:** Payment of all development, inspection, recording, street light, and other project related fees.
13. **Mylar:** Submit a Mylar. All plats will receive final verification of all formats, notes, conveyances, and other items contained on the plat by City staff (recorder, legal, engineer, GIS, planning).

Plan Modifications Required:

1. No modifications required.

UNAPPROVED MINUTES

1 Mr. Gallo reported there was an 8-inch pressured gas line running south of the I-15 corridor and
2 they strongly recommend the applicant contact Questar and have an inspector on site while
3 construction on the foundation was taking place.

4
5 Public Hearing: There were no public comments.

6
7 Dan Ford, representing Rich Peg Development, stated they wanted to make sure they do not
8 have any problems with the gas lines and have had the area blue staked and marked. With
9 regards to UDOT, the typical protocol was to get the city's approval and permit before they
10 approach UDOT.

11
12 Ms. Staten arrived at 7:08 p.m.

13
14 Mr. Ford noted this would initially be static based but then changed to digital based. It was
15 noted they would need to coordinate with Rocky Mountain Power for a meter.

16
17 **Eric Franson moved to recommend approval of the site plan for the placement of a billboard**
18 **at 195 East 620 South in the PI-1 (Planning Industrial) Zone with the findings as outlined in**
19 **the staff report and subject to any findings, conditions and modifications listed in the**
20 **engineering report. Geoff Dupaix seconded the motion. The voting was as follows:**

21	
22	John Woffinden, Chairman Aye
23	Geoff Dupaix Aye
24	Eric Franson Aye
25	Leonard Hight Aye
26	Rebecca Staten Aye

27 **The motion carried.**

28
29 HEARING, REVIEW AND ACTION ON A LAND USE MAP AMENDMENT FROM THE DESIGN
30 COMMERCIAL TO THE PLANNED COMMUNITY DESIGNATION LOCATED AT 326 SOUTH 860
31 EAST.

32 It was noted this action item and the following action item would be discussed together, but
33 would have two separate hearings and motions.

34
35 Mr. Olsen reported that the Land Use Map Amendment involved changing from the Design
36 Commercial to the Planned Community Designation and the Zone Map Amendment would
37 change from the General Commercial to the Planned Community zone. If both are approved,
38 the applicant would like to bring back for approval a small storage facility, as they feel there
39 was a market for the residents of the upcoming multifamily development in the area.

40
41 Mr. Gallo had no additional comments from engineering.

42
43 Public Hearing: There were no public comments.

44

UNAPPROVED MINUTES

1 Terry Krieger stated they wanted to get the zone change approved so they could build the small
2 storage unit facility. He noted it would not be climate controlled.

3
4 Chairman Woffinden commented it was legal in the zone and would probably be needed with
5 the housing projects that would be going in.

6
7 **Geoff Dupaix moved to recommend approval of the land use map amendment from the**
8 **Design commercial to the Planned Community designation located at 326 South 860 East.**
9 **Rebecca Staten seconded the motion. The voting was as follows:**

10	
11	John Woffinden, Chairman Aye
12	Geoff Dupaix Aye
13	Eric Franson Aye
14	Leonard Hight Aye
15	Rebecca Staten Aye

16 **The motion carried.**

17
18 HEARING, REVIEW AND ACTION ON A ZONE MAP AMENDMENT FROM THE GC-1 GENERAL
19 COMMERCIAL TO THE PC PLANNED COMMUNITY ZONE LOCATED AT 326 SOUTH 860 EAST.

20 This was discussed with the previous action item.

21
22 Public Hearing: There were no comments.

23
24 **Geoff Dupaix moved to recommend approval for the zone map amendment from the GC-1**
25 **General commercial to the PC Planned Community Zone located at 326 South 860 East.**

26 **Rebecca Staten seconded the motion. The voting was as follows:**

27	
28	John Woffinden, Chairman Aye
29	Geoff Dupaix Aye
30	Eric Franson Aye
31	Leonard Hight Aye
32	Rebecca Staten Aye

33 **The motion carried.**

34
35 HEARING, REVIEW AND ACTION ON A SITE PLAN FOR THE PACIFIC DRIVE APARTMENTS
36 LOCATED AT 492 WEST PACIFIC DRIVE IN THE R3-7,500 RESIDENTIAL ZONE.

37 Mr. Olsen explained this was a senior housing project brought forward by the Utah County
38 Housing Authority. The proposed site plan included 26 units plus a clubhouse, with six
39 structures having four units and one structure having two units plus the clubhouse. He stated
40 that the land use plan designates this area as high density, so the proposed density does fall
41 within the requirements. The Development Code allows for four units per structure with the
42 structures being single story; this project does meet that requirement. The Development Code
43 also requires one covered parking space per unit which they have provided. Mr. Olsen stated
44 they meet the separation and distance requirements. There was fencing requirement for the



**REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016**

Department Technology **Director Approval** George Schade

AGENDA ITEM Review and Action regarding a Dark Fiber Lease Agreement with XO Communications.

SUMMARY RECOMMENDATION The Technology Director recommends approval of this agreement.

BACKGROUND XO Communications approached us late last year about their interest in leasing 2 strands of dark fiber for a potential new customer. After negotiating with them we started drafting an agreement with help from attorneys from both sides. The Agreement is now ready to come before the City Council for their consideration.

BUDGET IMPACT See Agreement

SUGGESTED MOTION I move approval of the Dark Fiber Lease Agreement with XO Communications.

SUPPORTING DOCUMENTS



REQUEST FOR COUNCIL ACTION
CITY OF AMERICAN FORK
MAY 10, 2016

Department Technology **Director Approval** George Schade

AGENDA ITEM Review and Action Regarding a Supplemental Agreement for utility work on i15 with the Utah Department of Transportation (UDOT)

SUMMARY RECOMMENDATION The Technology Director recommends approval of this agreement.

BACKGROUND The City of American Fork entered into a Master Utility Agreement (MUA) in February 2014 for a road widening project on I-15, from SR92 to approximately 123rd South. The MUA was necessary for us to be able to relocate our fiber into newly placed UDOT conduit along the entire project path. As part of the MUA, American Fork City is required to enter into this Supplemental Agreement that details the work that needs to be completed by the city.

BUDGET IMPACT We will have to pay a portion of the costs incurred during this project. We will split the cost between all of our current customers on the same fiber cable as the city. This cost has been budgeted for in the 2016-2017 budget pending approval of the budget by the City Council.

SUGGESTED MOTION I move to approve the Supplemental Agreement with UDOT.

SUPPORTING DOCUMENTS

UDOT Supplemental Agreement (PDF)



AMERICAN FORK CITY SUPPLEMENTAL AGREEMENT UT2-01

Supplement to UDOT Finance No. 148642

THIS SUPPLEMENTAL AGREEMENT, made and entered into this _____ day of _____, 2016, by and between the **UTAH DEPARTMENT OF TRANSPORTATION**, hereinafter referred to as "**UDOT**" and **AMERICAN FORK CITY**, a Municipal Corporation of the State of Utah, hereinafter referred to as the "**City**."

The parties hereto entered in to a MASTER UTILITY AGREEMENT dated February 3, 2014, UDOT Finance No. 148642. All the terms of the MASTER UTILITY AGREEMENT remain in full force and effect unless otherwise specified herein.

The parties hereto agree as follows:

1. The City will perform the following described relocation of its telecommunications facility granted longitudinal access to the highway right-of-way (Utility Work) in accordance with the terms and conditions of the MASTER UTILITY AGREEMENT.

Location of Utility Work:

The Utility Work will be installed in the new UDOT 4D system, beginning at a splice point on the east side of the I-15 / SR-92 northbound off-ramp at Sta. 2311+40, progressing northbound along the east side of I-15 and crossing I-15 at station 2505+00 to the west side of I-15. The Utility Work will continue along the west side of I-15 and will then cross I-15 at Sta. 2693+60, continuing northbound on the east side to a splice point at the southeast corner of the southbound off-ramp at SR-71 (12300 South) in Draper City at Sta. 2704+00

Description of Utility Work to be performed, including proposed location:

- City will remove 40,000 feet of 288-count fiber cable, from the existing UDOT 4d conduit, along I-15, beginning at Sta. 2311+40 near SR-92 and ending at Sta. 2704+00 south of SR-71 (12300 South).
- City will pull and splice 40,000 feet of 288-count fiber cable, in new UDOT 4D conduit along I-15 beginning at Sta. 2311+40 near SR-92 and ending at Sta. 2704+00 south of SR-71 (12300 South). See **Exhibit A** that is incorporated by reference.
- UDOT will install lateral conduit connections from the 4D ATMS system and intermediate splice boxes at Sta. 2330+20 near SR-92 northbound on-ramp, Sta. 2506+50 near C7 Data Center, Sta. 2541+30 near 14600 South, and near Bangerter highway, at Sta. 2622+00, for the Utah National Guard.
- City will take ownership of the abandoned UDOT conduit and Company's 288-count fiber beginning at Sta. 2622+00, crossing I-15 at the Bangerter Highway, Sta. 2629+50 and continuing to the Utah National Guard at Sta. 2669+00.

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)



Maintenance of Traffic (MOT):

City shall coordinate with UDOT 14 days in advance of beginning Utility Work, specifically where additional traffic control lane closures, flagging operations or shoulder work are necessary for staging areas at lateral connections and splicing. MOT plans are available upon request to UDOT.

Anticipated duration of Utility Work:

The proposed Utility Work is scheduled to begin on April 06, 2015 and will be completed no later than August 26, 2016. See the attached schedule marked **Exhibit B** that is incorporated by reference.

Estimated Total Cost of Utility Work: N/A

Utah Code Section 72-6-116(3)(c) states that subsection (3) does not affect any of the provisions of Subsection 72-7-108(5). Section 72-7-108(5) mandates that UDOT not pay any cost of relocation of a telecommunications facility granted longitudinal access to the highway right-of-way on an interstate system under this section. The City is responsible for the relocation costs for the Utility Work.

Betterments Included: N/A

2. The City shall notify the Design Builder Third Party Design and Construction Manager, Joseph Wilden, Telephone No. (385) 224-7189, email address: joseph.wilden@stakerparson.com at least forty-eight (48) hours in advance of beginning the work covered herein, or in accordance with the specific terms of the MASTER UTILITY AGREEMENT, as applicable.



IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed by their duly authorized officers as of the day and year first written above.

AMERICAN FORK CITY, a Municipal Corporation of the State of Utah

Title: _____

Date: _____

.....

RECOMMENDED FOR APPROVAL:

UTAH DEPARTMENT OF TRANSPORTATION

Title: Utility and Railroad Leader

Title: Project Director

Date: _____

Date: _____

Approved as to Form:

The Utah State Attorney General's Office has previously approved all paragraphs in this Agreement as to form.

UDOT Comptroller Office
Contract Administrator

.....

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)



TABLE OF EXHIBITS

Exhibit A	Location Map and Design Sheets
Exhibit B	Schedule

SYMBOL LEGEND

EQUIPMENT LEGEND

Existing	PROPOSED	
		PAD-MOUNTED ATMS CABINET
N/A		POLE-MOUNTED ATMS CABINET
		COBRA HEAD ROADWAY LUMINAIRE
N/A		HIGH MAST LIGHT POLE ASSEMBLY WITH LOWERING DEVICE (3 LED HEADS)
N/A		HIGH MAST LIGHT POLE ASSEMBLY WITH LOWERING DEVICE (2 LED HEADS)
		UNDERSTRUCTURE LED LUMINAIRE
		POWER POLE
		POLE MOUNTED METER
		POWER SERVICE POINT
		UNDERGROUND SERVICE PEDESTAL
		POLE MOUNTED TRANSFORMER
		PAD MOUNTED TRANSFORMER
		FRAME MOUNTED ATMS DISCONNECT
		FRAME MOUNTED TRANSFORMER WITH DISCONNECT
		TYPE I FREEWAY VARIABLE MESSAGE SIGN (VMS) ASSEMBLY
		CCTV CAMERA/PTZ
		NON-INTRUSIVE DETECTOR (RADAR)
		DETECTOR LOOP
		TYPE I- POLYMER CONCRETE JUNCTION BOX
		TYPE II- POLYMER CONCRETE JUNCTION BOX
		TYPE III- POLYMER CONCRETE JUNCTION BOX
		COMMUNICATIONS VAULT
		POLE (HIGHWAY LUMINAIRE OR CCTV)
		MAST ARM WITH SIGNAL HEADS
		OVER HEAD SIGN STRUCTURE (OUTSIDE)
		OVER HEAD SIGN STRUCTURE (MEDIAN)
		OVER HEAD SIGN BRIDGE

GENERAL NOTES:

- ATMS SYMBOLS ARE NOT TO SCALE AND HAVE BEEN ENLARGED FOR CLARITY AND ARE SHOWN IN SCHEMATIC FORM ONLY. DO NOT SCALE DIMENSIONS FROM DRAWINGS.
- PROVIDE A SOLID COLORED JACKETED #6 LOCATE WIRE, PER THE NEC, IN ONE CELL OF THE 4D CONDUIT, AND TIE TO THE GROUND ROD IN EACH JUNCTION BOX.
- REMOVE EXISTING UDOT ATMS JUNCTION BOXES, FIBER, AND EQUIPMENT FROM SR-92 TO 12300 SOUTH, UNLESS OTHERWISE NOTED, AFTER INTEGRATION OF NEW FIBER AND EQUIPMENT.
- SUBMIT FOR APPROVAL TO THE ENGINEER THE DATE TO PERFORM EACH END-TO-END SPLICE SEVEN DAYS PRIOR TO THE PROPOSED SPLICE DATE.
- USE RHW COATED SINGLE CONDUCTOR ALUMINUM WIRE, SIZED AND INSTALLED PER NEC, FOR ALL HIGH-VOLTAGE CONDUCTORS AND GROUND WIRE. TRANSITION ALUMINUM GROUND WIRE TO COPPER PIGTAIL WHERE CONNECTING TO GROUND RODS OR TERMINATIONS NOT LISTED FOR ALUMINUM WIRE.
- USE SAME CONDUIT FOR THE HIGH VOLTAGE CONDUCTORS FOR LIGHTING AND ATMS POWER. DO NOT USE HV CONDUIT FOR COMMUNICATION CABLES.
- USE UDOT POLYMER CONCRETE JUNCTION BOX TYPE III FOR ALL SYRINGA AND AFC/CENTRACOMM JUNCTION BOXES.

ELECTRICAL SCHEMATIC LEGEND

	BREAKER
	METER
	NEUTRAL LUG
	EQUIPMENT GROUND LUG
	GROUND ROD
	BLADE SWITCH
	FUSE
	TRANSFORMER

DETAIL AND SHEET CALLOUT LEGEND

CALLOUT	MEANING
	SEE DETAIL "X" ON SHEET "Y"
	NOTE CALLOUT COMMON TO ALL SHEETS WITH CONSTANT NUMBERING
	FIBER OPTIC AND WIRING CALLOUT COMMON ON ALL SHEETS WITH CONSTANT NUMBERING
	NOTE CALLOUT SPECIFIC TO WORK PERFORMED BY OTHERS
	IDENTIFICATION LETTER FOR POWER CIRCUITS

LIGHTPOLE IDENTIFICATION

	C = COBRA
	V = UNDERSTRUCTURE LUMINAIRE
	HM = HIGH MAST
	### = POLE NUMBER
	# = CIRCUIT

- USE EXCLUSIVE FIBER STRANDS FOR ETC EQUIPMENT.
- INSTALL A 2-INCH FUTURE-USE PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE FROM EACH 480 VOLT LIGHTING POWER PEDESTAL TO THE NEAREST ATMS JUNCTION BOX OR CABINET.
- PROVIDE JUNCTION BOX LID WITH IDENTIFICATION FOR AMERICAN FORK CITY FIBER OPTIC SYSTEM.
- PROVIDE 3" PVC CONDUIT BETWEEN POWER SOURCE AND UNDERGROUND SERVICE PEDESTAL.
- USE METERED LIGHTING PEDESTALS WITH CENTRAL PHOTO CONTROL FOR ALL LIGHTING CIRCUITS.
- CONTACT ADAM NESTER AT (801) 719-1657 AT SYRINGA NETWORKS FOR PRECONSTRUCTION COORDINATION AND FIELD VISITS FOR WORK ON SYRINGA.
- PROVIDE WATERPROOF SPLICES FOR ALL BELOW GRADE POWER CONDUCTORS AS REQUIRED IN UDOT STANDARD SPECIFICATIONS FOR SIGNALS, ATMS, AND HIGHWAY LIGHTING.

LINE STYLE LEGEND

	EXISTING LIGHTING CONDUIT (PROTECT IN PLACE)
	2" PVC LIGHTING CONDUIT
	EXISTING 4-CONDUIT DUCT BANK (# INDICATES NUMBER OF 4-CONDUIT DUCT BANKS 1, 2, OR 4)
	4-CONDUIT DUCT BANK (# INDICATES NUMBER OF 4-CONDUIT DUCT BANKS 1, 2, OR 4)
	EXISTING TAIL CIRCUIT COMMUNICATIONS CONDUIT (# INDICATES SIZE IN INCHES 1 1/2, 2, 3, OR 4)
	TAIL CIRCUIT COMMUNICATIONS CONDUIT (# INDICATES SIZE IN INCHES 1 1/2, 2, 3, OR 4)
	EXISTING HIGH VOLTAGE CONDUIT (# INDICATES SIZE IN INCHES - 1 1/2, 2, 3, OR 4)
	HIGH VOLTAGE CONDUIT (# INDICATES SIZE IN INCHES - 1 1/2, 2, 3, OR 4)
	EXISTING LOW VOLTAGE CONDUIT (# INDICATES SIZE IN INCHES - 1 1/2, 2, 3, OR 4)
	LOW VOLTAGE CONDUIT (# INDICATES SIZE IN INCHES - 1 1/2, 2, 3, OR 4)

COMMON CALLOUT NAMES AND ABBREVIATIONS

ATMS	ADVANCED TRAFFIC MANAGEMENT SYSTEM
AWG	AMERICAN WIRE GAUGE
BNC	BAYONET NEIL-CONCELMAN
CAB	CABINET
CAT-#	CATEGORY - (# INDICATES CATEGORY NUMBER) CONDUCTOR
CCTV	CLOSED CIRCUIT TELEVISION
COMM	COMMUNICATIONS
DLC	DETECTOR LOOP LEAD-IN CABLES
DIA	DIAMETER
FRE	FIBERGLASS REINFORCED EPOXY
GND	GROUND CONDUCTOR
GRC	GALVANIZED RIGID CONDUIT
HAR	HIGHWAY ADVISORY RADIO
HDPE	HIGH DENSITY POLYETHYLENE
HFC	HYBRID FIBER CABLE
HMA	HOT MIX ASPHALT
LAN	LOCAL AREA NETWORK
NEC	NATIONAL ELECTRIC CODE
NID	NON-INTRUSIVE DETECTOR
NTS	NOT TO SCALE
OC	OFF CENTER
PC	POLYMER CONCRETE
PCCP	PORTLAND CEMENT CONCRETE PAVEMENT
PTCC	PAN-TILT CONTROL CABLE
PTZ	PAN/TILT/ZOOM
PWR	POWER
RDPE	REMOTE DATA PORT ENCLOSURE
REQ'D	REQUIRED
RMS	RAMP METER STATION
ROW	RIGHT-OF-WAY
RPU	REMOTE PROCESSING UNIT (FOR RWIS)
RWIS	ROADWAY WEATHER INFORMATION SYSTEM
## SMF	SINGLE MODE FIBER (## INDICATES NUMBER OF STRANDS)
TMS	TRAFFIC MONITORING STATION
TOC	TRAFFIC OPERATIONS CENTER
TSC	TRAFFIC SIGNAL CONTROLLER
TYP	TYPICAL
VAC	VOLTS (ALTERNATING CURRENT)
VID	VIDEO
VMS	VARIABLE MESSAGE SIGN
WIM	WEIGHT-IN-MOTION
WP	WORKING POINT
AFC	AMERICAN FORK CITY FIBER OPTIC SYSTEM
SYG	SYRINGA FIBER OPTIC SYSTEM
ETC	ELECTRONIC TOLL COLLECTION SYSTEM
PCB#	POLYMER CONCRETE JUNCTION BOX (# INDICATES TYPE)
BFO##	BURIED FIBER OPTIC CABLE (## INDICATES NUMBER OF STRANDS)

REVISIONS	
3	9/27/15
2	4/27/15
D	4/8/15
1	3/2/15
C	1/30/15
B	12/16/14

UTAH DEPARTMENT OF TRANSPORTATION	
WILSON & COMPANY DESIGN	
DRAWN BY	KAD
APPROVED	9/8/2015

PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING
PROJECT NUMBER	S-ST99(192)
PIN	10935
ATMS AND LIGHTING SYMBOIS	

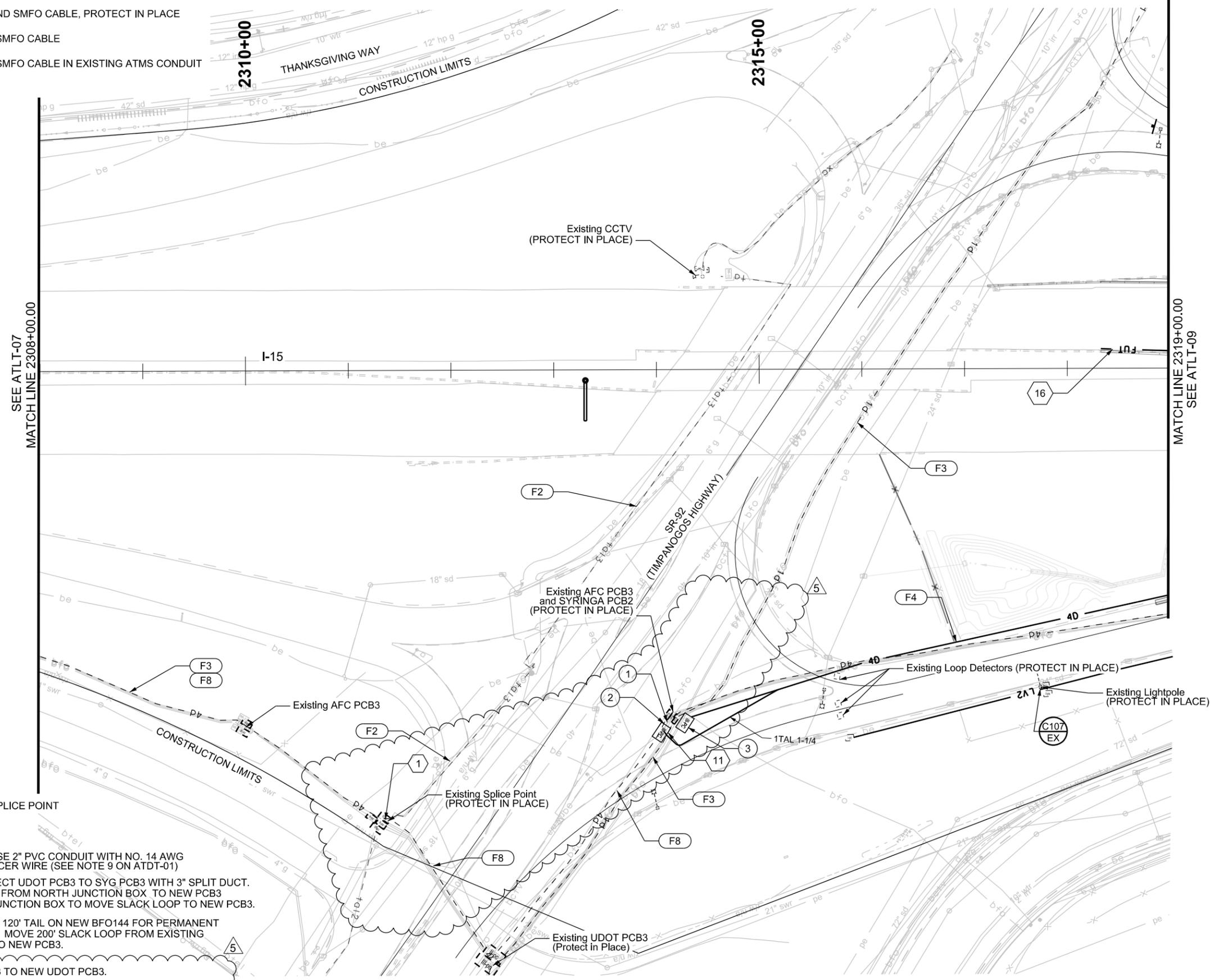
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Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

WIRE SCHEDULE
 FIBER OPTIC CABLES

- (F2) EXISTING 6 STRAND SMFO CABLE, PROTECT IN PLACE
- (F3) EXISTING 72 STRAND SMFO CABLE, PROTECT IN PLACE
- (F4) NEW 144 STRAND SMFO CABLE
- (F8) NEW 144 STRAND SMFO CABLE IN EXISTING ATMS CONDUIT

POWER CABLES (PLACED IN CONDUITS AS SHOWN)
 (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRE



- (1) PROPOSED BUTT SPLICE POINT
- (11) SYRINGA PCB3
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (1) BY OTHERS. CONNECT UDOT PCB3 TO SYG PCB3 WITH 3" SPLIT DUCT. CHASE 200' BFO144 FROM NORTH JUNCTION BOX TO NEW PCB3. NOTCH EXISTING JUNCTION BOX TO MOVE SLACK LOOP TO NEW PCB3.
- (2) BY OTHERS. LEAVE 120' TAIL ON NEW BFO144 FOR PERMANENT SPLICE LOCATION. MOVE 200' SLACK LOOP FROM EXISTING SYRINGA BFO144 TO NEW PCB3.
- (3) CONNECT AFC PCB3 TO NEW UDOT PCB3.

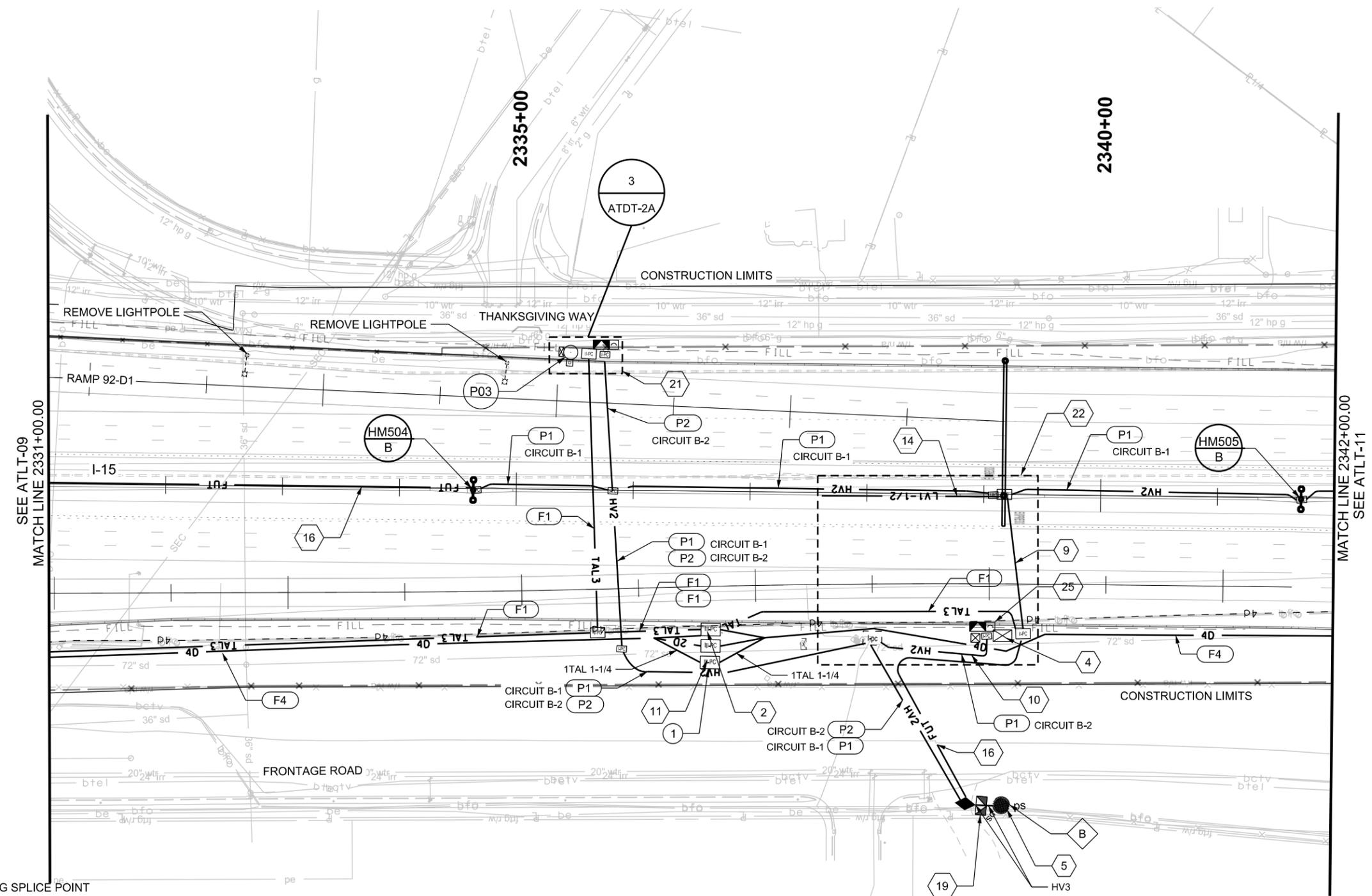
UTAH DEPARTMENT OF TRANSPORTATION WILSON & COMPANY DESIGN		PROJECT I-15; SR-73 TO 12300 SOUTH WIDENING	PROJECT NUMBER S-ST99(192)	PIN 10935	APPROVED <i>Matthew W. Anderson</i>	DATE 11/25/2015	DRAWN BY MOA	SCALE AS SHOWN
REVISIONS		5 9/20/15 NDC186 SR-92 SPLICE POINT 4 9/2/15 NDC113 ATMS FIELD REVISIONS 3 6/30/15 NDC090 SEGMENT 3 ATMS JUNCTION BOX ADDITION 2 4/27/15 NDC026 SEGMENT 2 & 3 ATMS LIGHTING AND SIGNALS D 4/6/15 100% SEGMENT 2 & 3 LIGHTING						

Attachment: UDOT Supplemental Agreement (1315) : UDOT Supplemental Agreement

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- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE

- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRE
 - (P2) 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRE



- (2) PROPOSED RING SPLICE POINT
- (4) RELOCATED EXISTING ETC CONTROLLER AND CABINET
- (5) NEW 480V POWER SOURCE AT EXISTING LOCATION
- (9) PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH PVC CONDUITS TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR ETC SYSTEM (SEE ATDT-3A)
- (10) POWER CIRCUIT FROM PEDESTAL FOR ETC CABINET
- (11) PROVIDE SYRINGA PCB3
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

- (14) PROVIDE 150 FEET OF 1 1/2" PVC CONDUIT IN MEDIAN BARRIER FOR TSI (SEE ATDT-3C AND ATDT-3D)
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)

- (19) FURNISH AND INSTALL 25KVA, 240/480V, 1P TRANSFORMER
- (21) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, TMS AND H-FRAME MOUNTED 2KVA, 480-120V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (22) ETC SYSTEM SEE SHEETS ATDT-3A THRU 3D
- (25) FURNISH AND INSTALL H-FRAME MOUNTED 5KVA, 480-120/240V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT

- (1) BY OTHERS. LEAVE 240' SLACK LOOP.
- (B) POWER CIRCUIT IDENTIFICATION

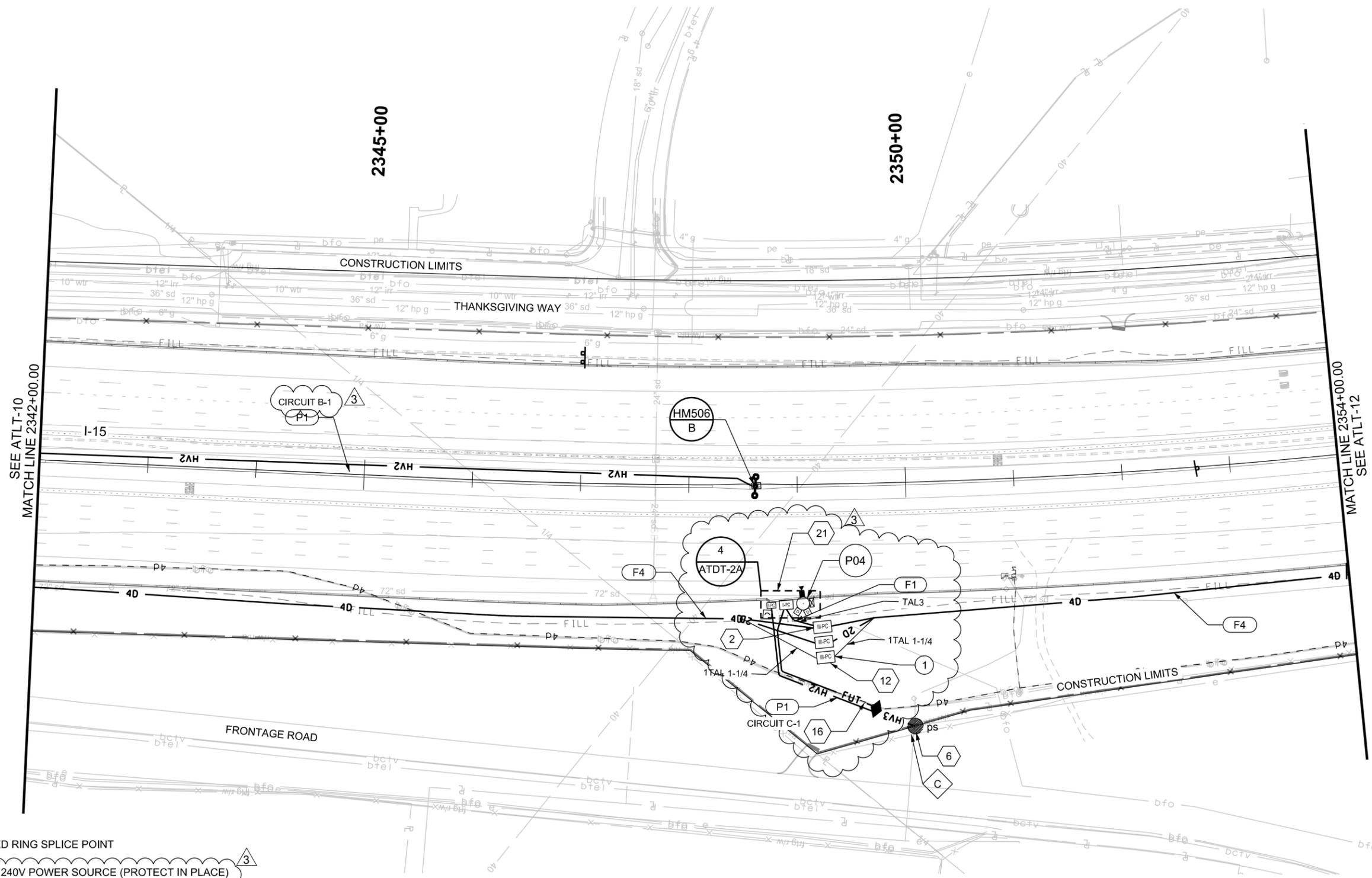
ENTIRE SHEET HAS CHANGED

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	PROJECT NUMBER	10935
APPROVED	<i>[Signature]</i>		
DRAWN BY	MOA	DATE	9/8/2015
Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)			
ATMS AND LIGHTING			

- WIRE SCHEDULE
FIBER OPTIC CABLES
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUITS AS SHOWN)

(P1) 2 NO. 6 AWG AND 1 NO. 6 GROUND WIRES



- (2) PROPOSED RING SPLICE POINT
- (6) EXISTING 240V POWER SOURCE (PROTECT IN PLACE)
- (12) PROVIDE AMERICAN FORK PCB3
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (21) ATMS SYSTEM FURNISH & INSTALL CONTROL CABINET, TMS (2) AND SUPPLEMENTAL DISCONNECT
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

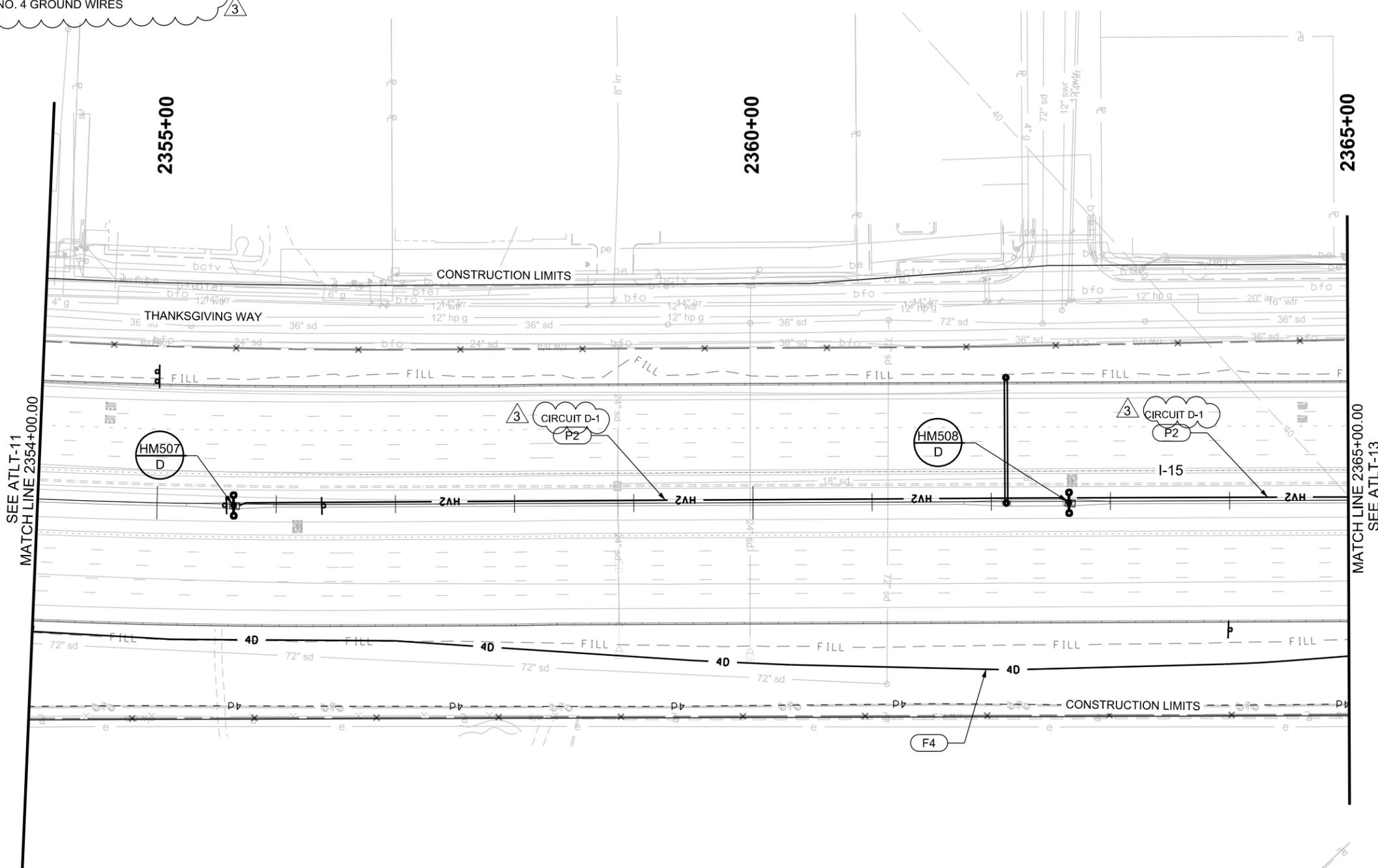
- (1) BY OTHERS. FOR SYRINGA USE UDOT PCB3 LEAVE 10' SLACK LOOP.
- (C) POWER CIRCUIT IDENTIFICATION

UTAH DEPARTMENT OF TRANSPORTATION WILSON & COMPANY DESIGN		REVISIONS
PROJECT I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED: <i>[Signature]</i>	3 9/2/15 TWT NDC113 ATMS FIELD REVISIONS
PROJECT NUMBER S-ST99(192)	9/8/2015	2 4/27/15 WTF NDC028 SEGMENT 2 & 3 ATMS. LIGHTING AND SIGNALS
ATMS AND LIGHTING	DRAWN BY KAD	1 4/8/15 WTF 100% SEGMENTS 2 & 3 LIGHTING
	OC	D 3/2/15 WTF RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
		C 1/30/15 WTF 100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
		B 12/16/14 ASB 70% SEGMENT 2 AND 3

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

WIRE SCHEDULE
FIBER OPTIC CABLES

- F4 NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)
- P2 2 NO. 4 AWG AND 1 NO. 4 GROUND WIRES



SEE ATLT-11
MATCH LINE 2354+00.00

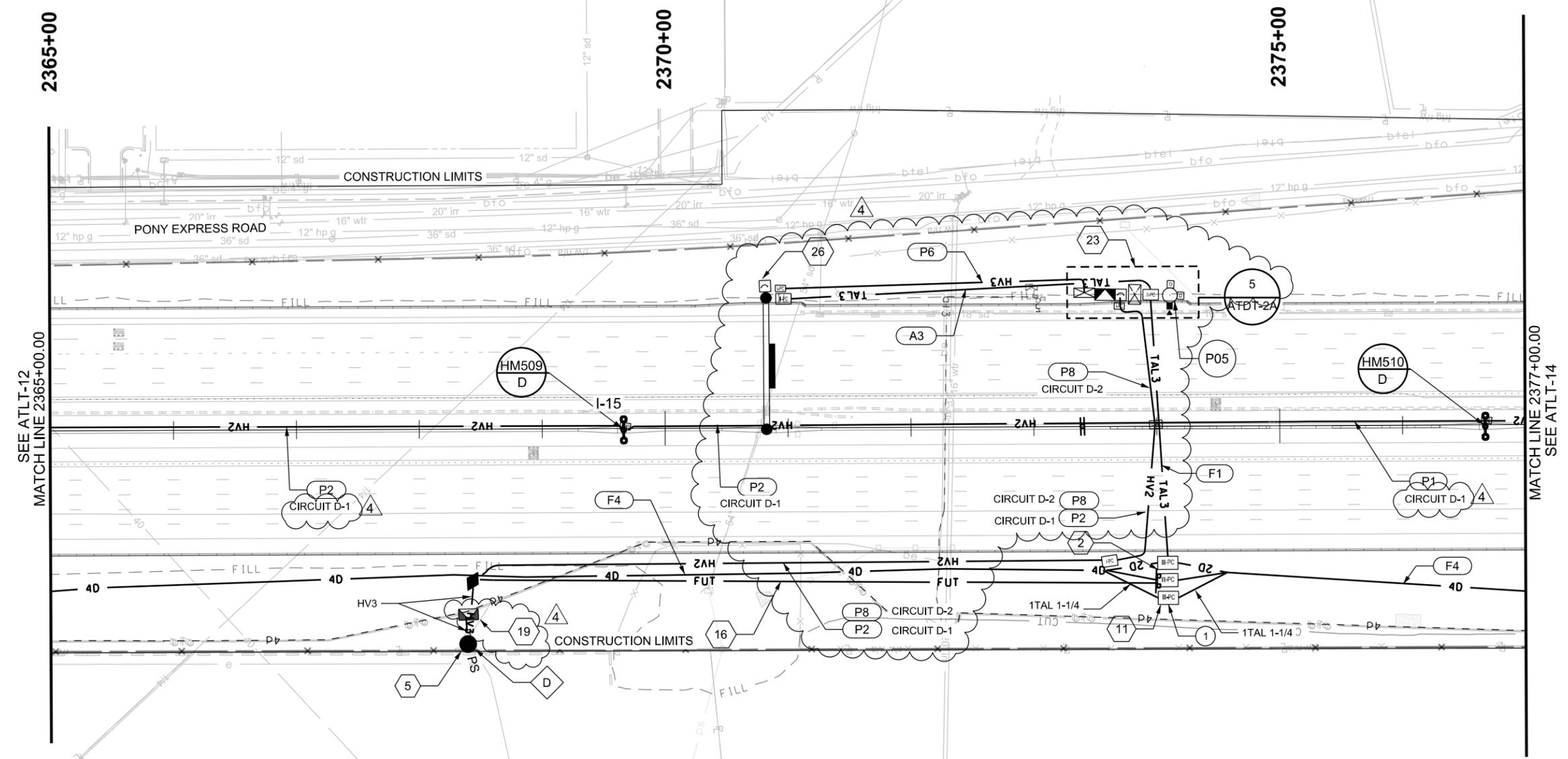
MATCH LINE 2365+00.00
SEE ATLT-13

PROJECT		I-15; SR-73 TO 12300 SOUTH WIDENING	
PROJECT NUMBER	PIN	10935	S-ST99(192)
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
APPROVED	DATE	9/8/2015	LOC
DRAWN BY		KAD	
REVISIONS		3 9/2/15 TWT NDC113 ATMS FIELD REVISIONS 2 4/27/16 WTF NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS D 4/6/15 WTF 100% SEGMENTS 2 & 3 LIGHTING C 3/2/15 WTF RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT B 1/22/15 WTF 100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT A 12/16/14 ASB 70% SEGMENT 2 AND 3	

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE
- ATMS CABLES**
- (A3) MULTI MODE VMS CABLE

- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - (P2) 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
 - (P6) 3 NO. 2 AWG AND 1 NO. 4 AWG GROUND WIRES
 - (P8) 2 NO. 1/0 AWG AND 1 NO. 1/0 AWG GROUND WIRES



- (2) PROPOSED RING SPLICE POINT
- (5) NEW 480V POWER SOURCE AT EXISTING LOCATION
- (11) PROVIDE SYRINGA PCB3.
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

- (19) FURNISH AND INSTALL 25KVA, 240V/480V, IP TRANSFORMER
- (23) **ATMS AND VMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, AND TMS (2), 10KVA, 480-120/240V, IP STEP DOWN TRANSFORMER WITH PANEL BOARD MOUNTED ON H-FRAME WITH SUPPLEMENTAL DISCONNECT.
- (26) FURNISH AND INSTALL SUPPLEMENTAL DISCONNECT ON H-FRAME FOR VMS

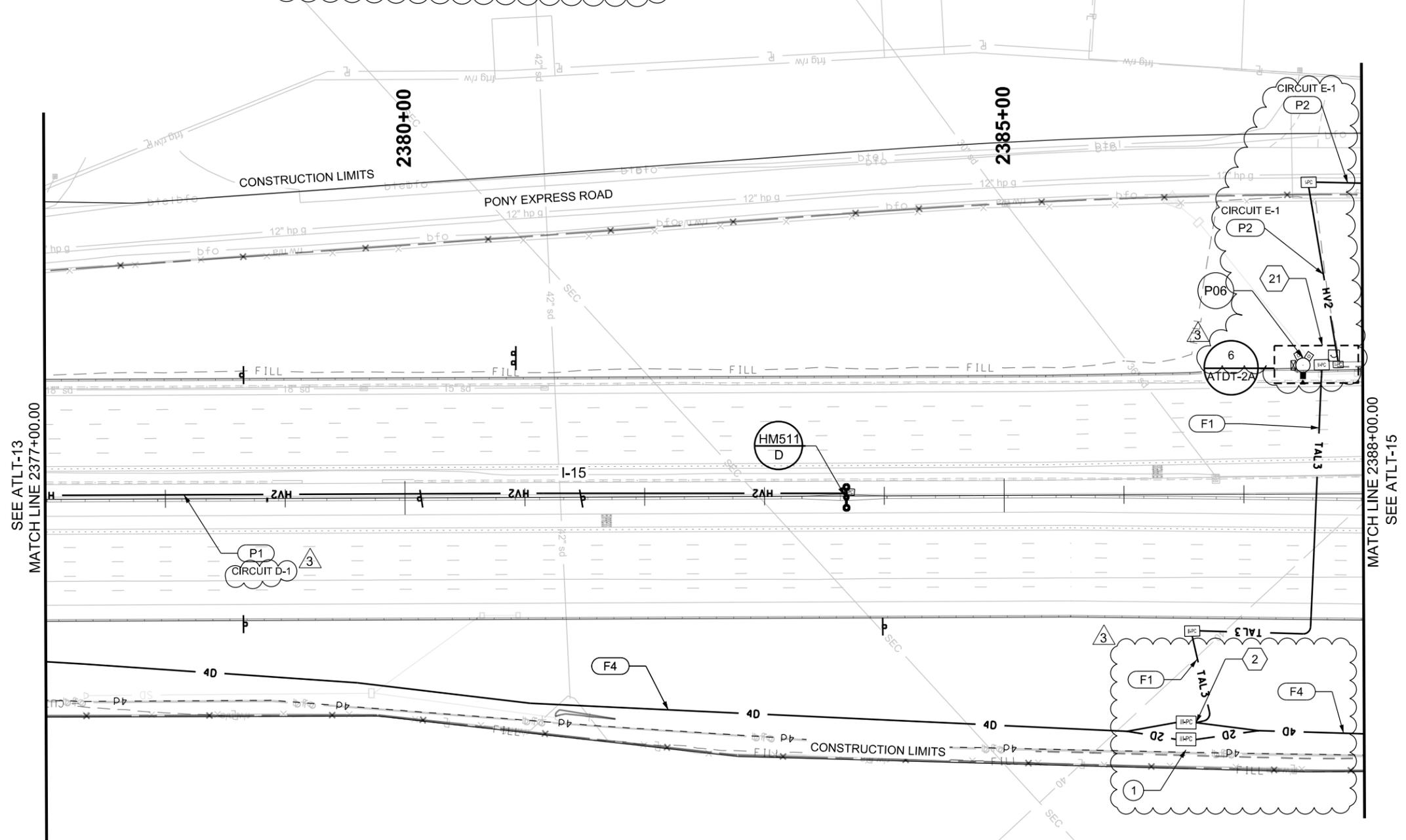
- (D) POWER CIRCUIT IDENTIFICATION
- (1) BY OTHERS. SYRINGA LEAVE 240' SLACK LOOP.

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	9/8/2015
ATMS AND LIGHTING		DRAWN BY	MOA
		DATE	9/8/2015
		SCALE	OC
		REVISIONS	
4	9/2/15	TWT	NDC113 ATMS FIELD REVISIONS
3	7/22/15	TWT	NDC075 POWER SOURCE REVISIONS
2	4/27/15	WTF	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
D	4/6/15	WTF	100% SEGMENTS 2 & 3 LIGHTING
1	3/2/15	WTF	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
C	1/30/15	WTF	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - F4 NEW 144 STRAND SMFO CABLE

- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



- 2 PROPOSED RING SPLICE POINT
- 21 **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS (2) AND SUPPLEMENTAL DISCONNECT
- PXX SEE TABLE ON ATDT-1B FOR POLE LOCATION

1 BY OTHERS. FOR SYRINGA USE UDOT PCB3 LEAVE 10' SLACK LOOP.

UTAH DEPARTMENT OF TRANSPORTATION WILSON & COMPANY DESIGN		REVISIONS	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	TWT	NDC113 ATMS FIELD REVISIONS
PROJECT NUMBER	S-ST99(192)	WTF	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
DATE	10935	WTF	100% SEGMENTS 2 & 3 LIGHTING
DRAWN BY	KAD	WTF	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
APPROVED	<i>[Signature]</i>	WTF	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
DATE	9/8/2015	ASB	70% SEGMENT 2 AND 3
ATMS AND LIGHTING			

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

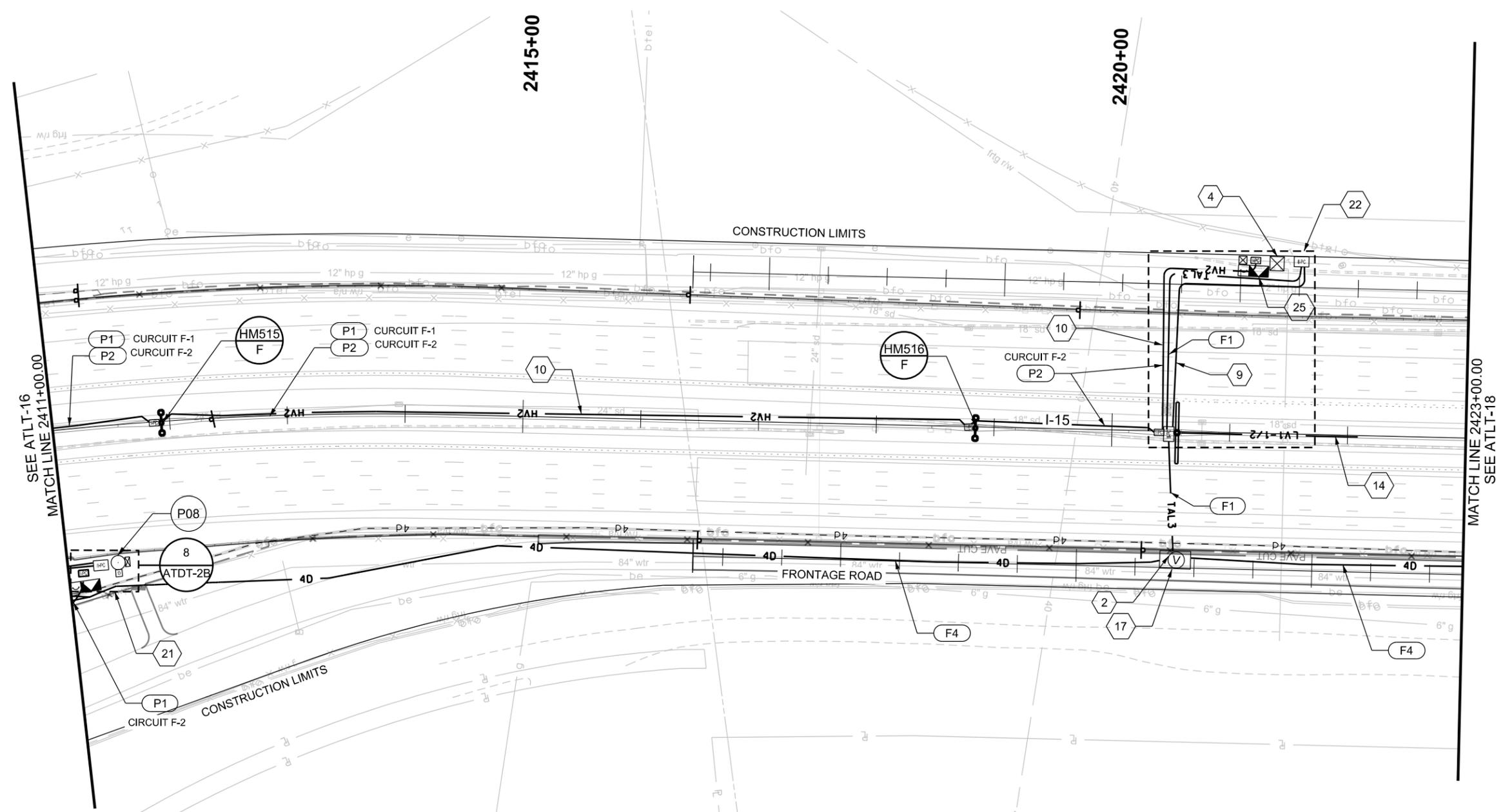
WIRE SCHEDULE

FIBER OPTIC CABLES

F1	NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
F4	NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUITS AS SHOWN)

P1	2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
P2	2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



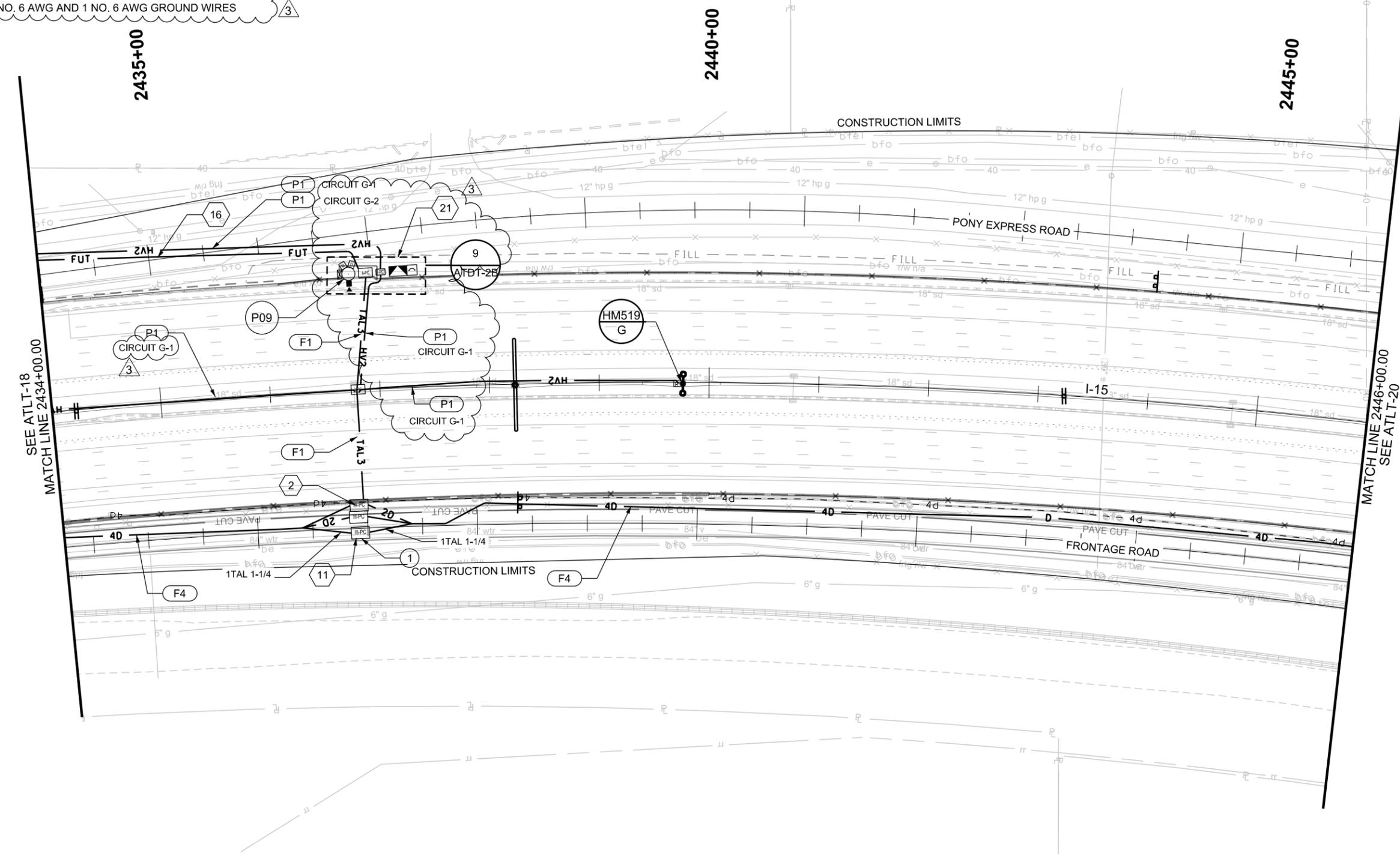
- 2 PROPOSED RING SPLICE POINT
- 4 RELOCATED EXISTING ETC CONTROLLER AND CABINET
- 9 PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH PVC CONDUITS TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR ETC SYSTEM (SEE ATDT-3A)
- 10 POWER CIRCUIT FROM PEDESTAL FOR ETC CABINET.
- 14 PROVIDE 150 FEET OF 1 1/2\"/>

- 21 **ATMS SYSTEM**
FURNISH AND INSTALL CONTROL CABINET, TMS AND H-FRAME MOUNTED 2KVA, 480-120/240V, 1P TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- 22 ETC SYSTEM SEE SHEETS ATDT-3A TO 3D
- 25 FURNISH AND INSTALL 5KVA, 480-120/240V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT AND PANEL BOARD MOUNTED TO H-FRAME

ENTIRE SHEET HAS CHANGED

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	DRAWN BY	MOA
PROJECT NUMBER	S-ST99(192)	DATE	9/8/2015
ATMS AND LIGHTING		OC	
APPROVED: <i>[Signature]</i> ATTACHMENT: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)			
REVISIONS		TWT	
5	NDC113 ATMS FIELD REVISIONS	9/2/15	
4	NDC075 POWER SOURCE REVISIONS	7/22/15	
3	NDC043 VAULT DETAILS	5/29/15	
2	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS	4/27/15	
1	100% SEGMENTS 2 & 3 LIGHTING	4/8/15	
	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	3/2/15	

- WIRE SCHEDULE
 FIBER OPTIC CABLES
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES



- (2) PROPOSED RING SPLICE POINT
- (11) PROVIDE SYRINGA PCB3.
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (21) **ATMS SYSTEM**
 FURNISH AND INSTALL CONTROL CABINET, CCTV, TMS (2) AND H-FRAME MOUNTED 2KVA, 480-120/240V, 1P TRANSFORMER WITH SUPPLEMENTAL DISCONNECT.
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION.
- (1) BY OTHERS. FOR SYRINGA LEAVE 240' SLACK LOOP.

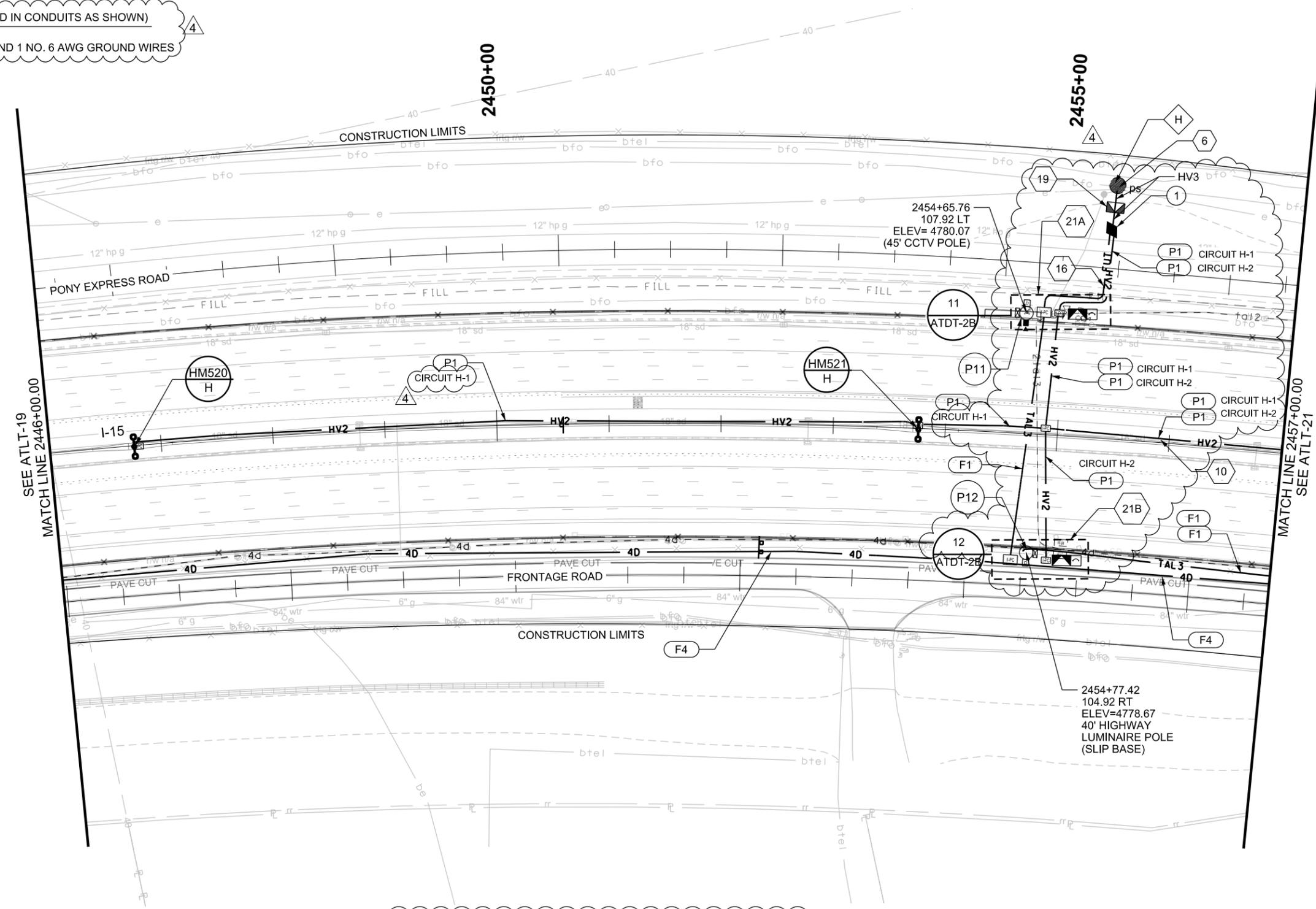
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DRAWN BY	KAD
		DATE	9/8/2015
		PROJECT NUMBER	10935
		PROJECT NUMBER	ATMS AND LIGHTING

REVISIONS

NO.	DATE	DESCRIPTION
3	9/2/15	NDC113 ATMS FIELD REVISIONS
2	4/27/15	NDC028 SEGMENT 2 & 3 ATMS. LIGHTING AND SIGNALS
1	4/6/15	100% SEGMENTS 2 & 3 LIGHTING
D	3/2/15	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
C	1/30/15	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
B	12/16/14	70% SEGMENT 2 AND 3

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES



- (6) EXISTING 240V POWER SOURCE (PROTECT IN PLACE)
- (10) POWER CIRCUIT FROM PEDESTAL FOR ETC CABINET
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

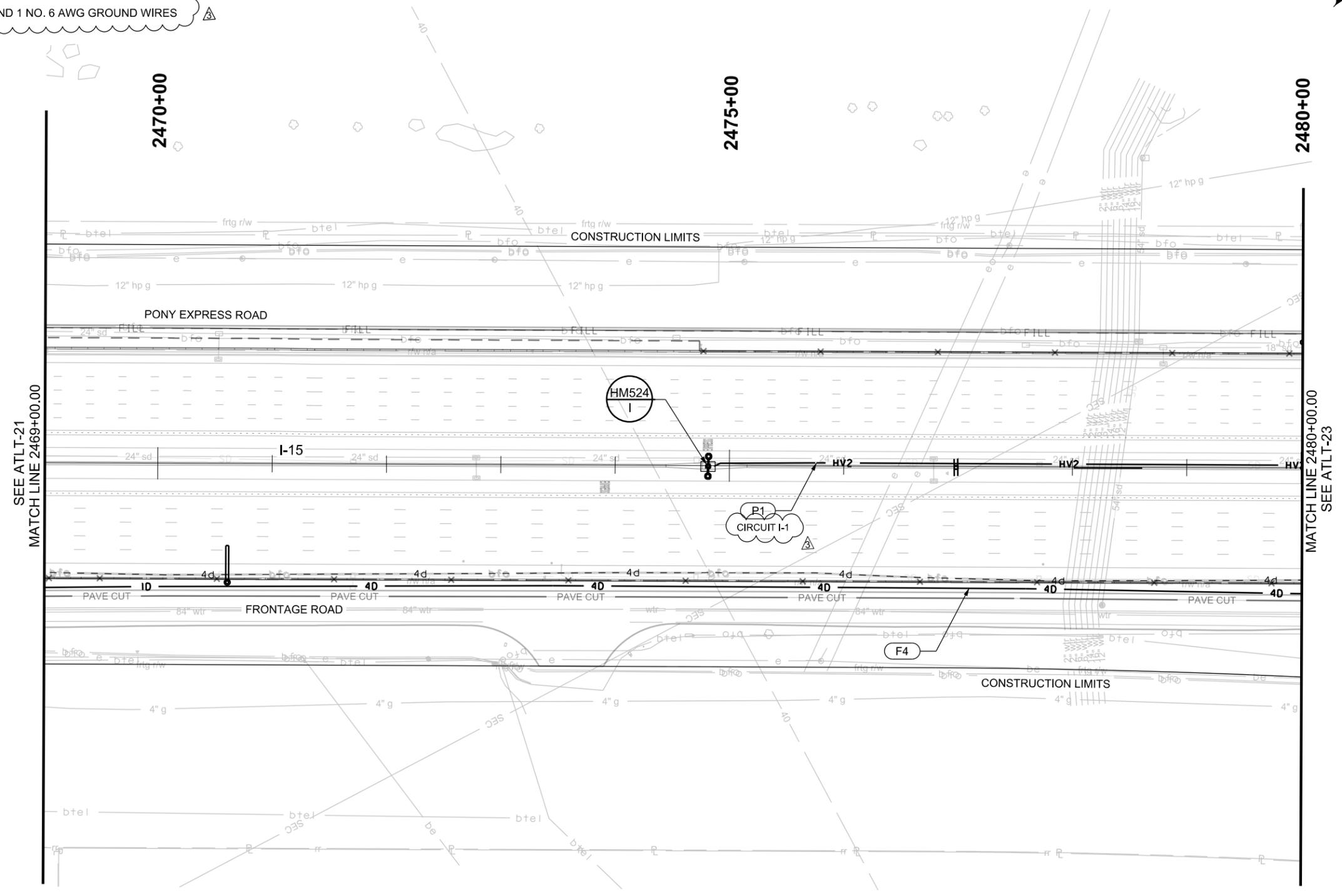
- (19) FURNISH & INSTALL 25KVA, 240/480V, IP TRANSFORMER.
- (21A) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV AND TMS, AND H-FRAME MOUNTED 2 KVA 480-120V STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (21B) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET AND TMS, AND H-FRAME MOUNTED 2 KVA 480-120V STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT

- (H) POWER CIRCUIT IDENTIFICATION
- (1) USE EXISTING PEDESTAL. UPDATE GROUND WIRING TO CURRENT STANDARDS.

UTAH DEPARTMENT OF TRANSPORTATION WILSON & COMPANY DESIGN		REVISIONS	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	TWT	NDC113 ATMS FIELD REVISIONS
PROJECT NUMBER	S-ST99(192)	TWT	NDC075 POWER SOURCE REVISIONS
PIN	10935	WTF	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
APPROVED	<i>[Signature]</i>	WTF	100% SEGMENTS 2 & 3 LIGHTING
DRAWN BY	MOA	WTF	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
DATE	9/8/2015	WTF	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
ATMS AND LIGHTING		C	

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE
 FIBER OPTIC CABLES
- F4 NEW 144 STRAND SMFO CABLE
 - POWER CABLES (PLACED IN CONDUITS AS SHOWN)
 - P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES

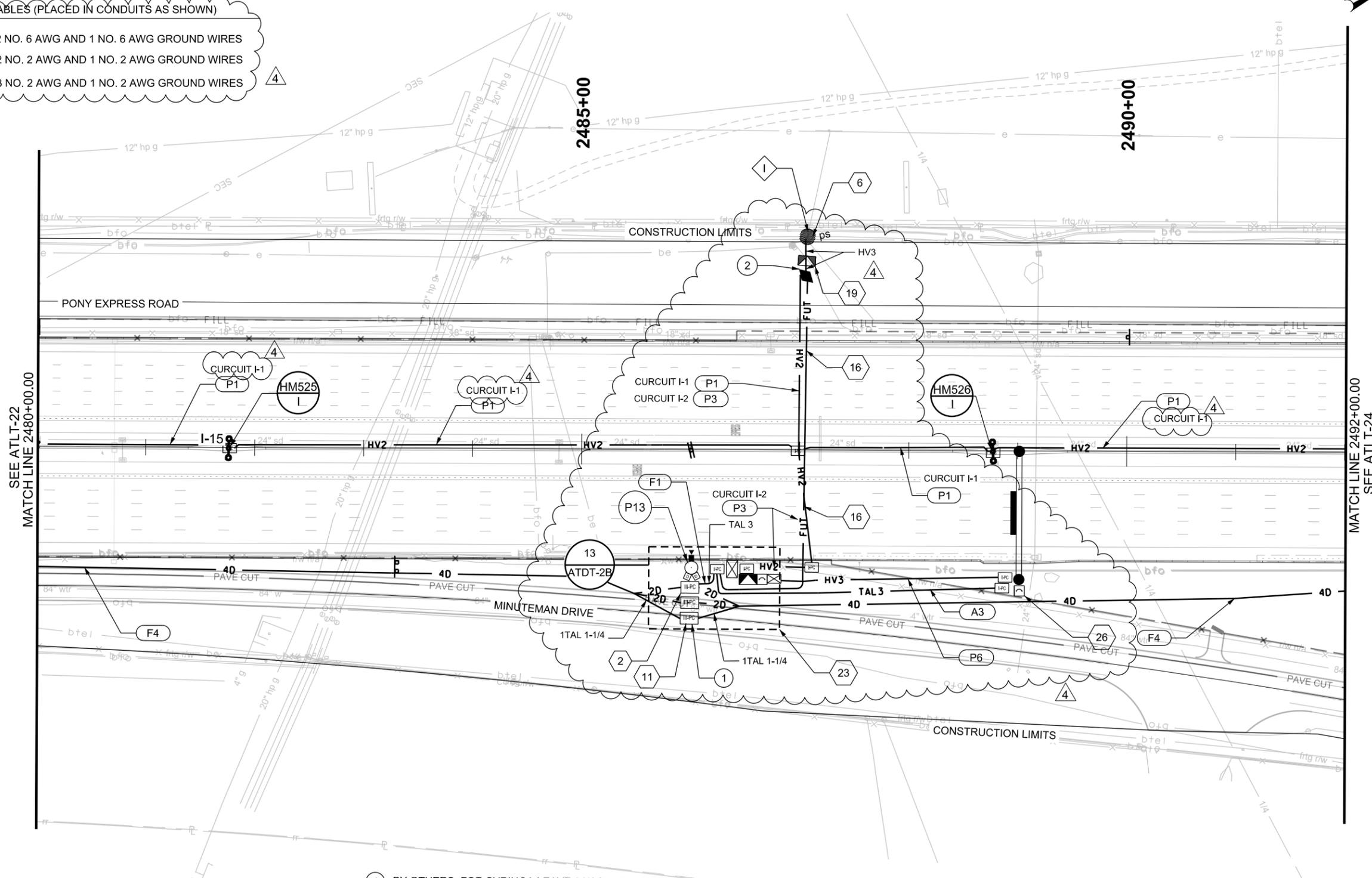


UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
I-15; SR-73 TO 12300 SOUTH WIDENING		APPROVED: <i>[Signature]</i>	
PROJECT NUMBER	S-ST99(192)	PIN	10935
ATMS AND LIGHTING		DRAWN BY	KAD
		DATE	9/8/2015
		OC	
REVISIONS		TWT	NDC113 ATMS FIELD REVISIONS
3	9/2/15	WTF	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
2	4/27/15	WTF	100% SEGMENTS 2 & 3 LIGHTING
D	4/8/15	WTF	100% SEGMENTS 2 & 3 LIGHTING
1	3/2/15	WTF	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
C	1/30/15	WTF	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
B	12/16/14	ASB	70% SEGMENT 2 AND 3

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - (P3) 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES
 - (P6) 3 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES

- ATMS CABLES**
- (A3) MULTIMODE VMS CABLE



- (2) PROPOSED RING SPLICE POINT
- (6) EXISTING 240V POWER SOURCE (PROTECT IN PLACE)
- (11) PROVIDE SYRINGA PCB3.
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

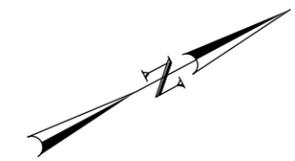
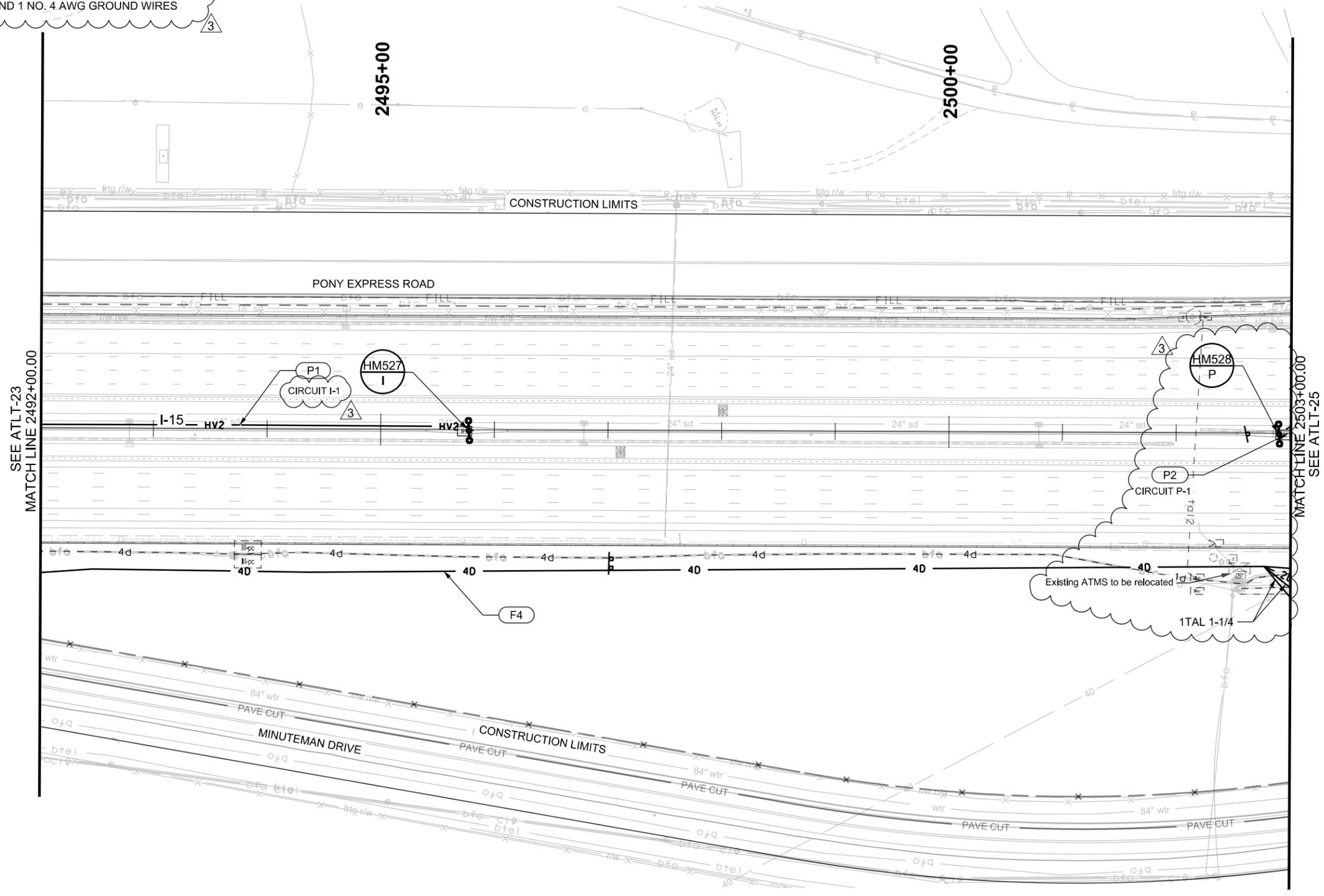
- (1) BY OTHERS. FOR SYRINGA LEAVE 240' SLACK LOOP.
- (2) USE EXISTING PEDESTAL UPDATE GROUND WIRING TO CURRENT STANDARDS.
- (19) FURNISH AND INSTALL 15KVA, 120-480V, 1P STEP UP TRANSFORMER
- (23) FURNISH & INSTALL CONTROL CABINET, CCTV, AND TMS (2), 10KVA, 480-120/240V, 1P STEP DOWN TRANSFORMER WITH PANEL BOARD MOUNTED ON H-FRAME WITH SUPPLEMENTAL DISCONNECT.
- (26) FURNISH AND INSTALL SUPPLEMENTAL DISCONNECT ON H-FRAME FOR VMS

(I) POWER CIRCUIT IDENTIFICATION

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN																						
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	PROJECT NUMBER	S-ST99(192)																					
APPROVED	<i>[Signature]</i>	DATE	9/8/2015																					
DRAWN BY	MOA	DATE	9/8/2015																					
REVISIONS	<table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>4</td> <td>9/2/15</td> <td>NDC113 ATMS FIELD REVISIONS</td> </tr> <tr> <td>3</td> <td>7/22/15</td> <td>NDC075 POWER SOURCE REVISIONS</td> </tr> <tr> <td>2</td> <td>4/27/15</td> <td>NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS</td> </tr> <tr> <td>D</td> <td>4/6/15</td> <td>100% SEGMENTS 2 & 3 LIGHTING</td> </tr> <tr> <td>1</td> <td>3/2/15</td> <td>RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT</td> </tr> <tr> <td>C</td> <td>1/30/15</td> <td>100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT</td> </tr> </table>			NO.	DATE	DESCRIPTION	4	9/2/15	NDC113 ATMS FIELD REVISIONS	3	7/22/15	NDC075 POWER SOURCE REVISIONS	2	4/27/15	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS	D	4/6/15	100% SEGMENTS 2 & 3 LIGHTING	1	3/2/15	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	C	1/30/15	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
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Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE
FIBER OPTIC CABLES
- F4 NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)
- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



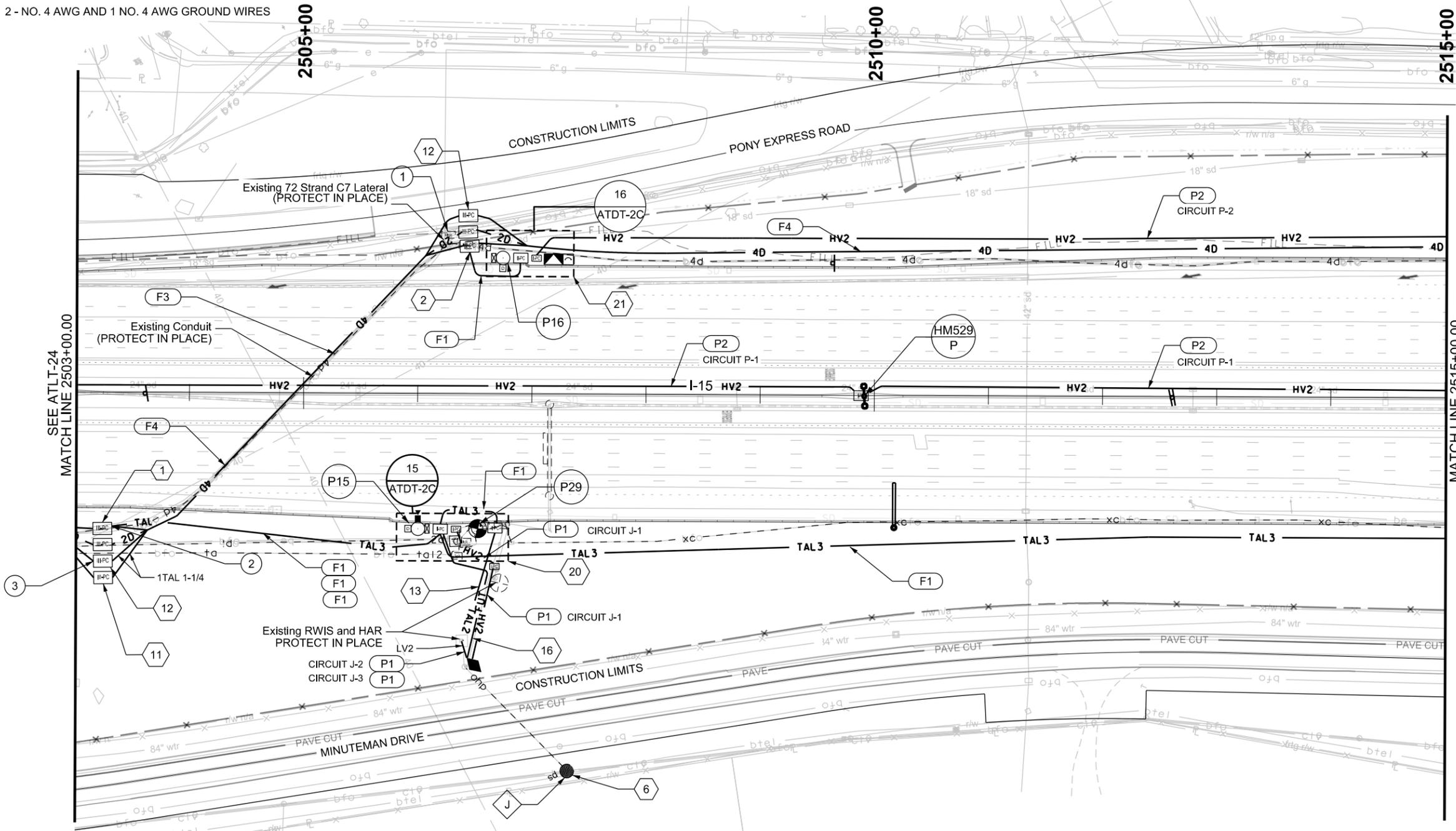
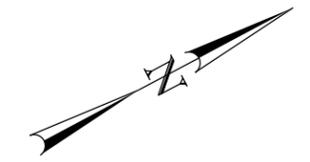
SEE ATLT-23
MATCH LINE 2492+00.00

MATCH LINE 2503+00.00
SEE ATLT-25

PROJECT		I-15; SR-73 TO 12300 SOUTH WIDENING																													
PROJECT NUMBER		S-ST99(192)																													
DRAWN BY		KAD																													
DATE		9/8/2015																													
APPROVED		<i>[Signature]</i>																													
PROJECT PIN		10935																													
PROJECT NAME		ATMS AND LIGHTING																													
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN																													
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Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F3) REMOVE EXISTING 72 STRAND SMFO CABLE
 - (F4) NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 - NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - (P2) 2 - NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



- (1) PROPOSED BUTT SPLICE POINT
- (2) PROPOSE RING SPLICE POINT.
- (6) EXISTING 120/240V POWER SOURCE AT EXISTING LOCATION
- (11) PROVIDE SYRINGA PCB3.
- (12) PROVIDE AMERICAN FORK PCB3.
- (13) 2" PVC CONDUIT FOR FUTURE PAVEMENT SENSORS
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)

- (20) **ATMS SYSTEM AND FUTURE RWIS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, AND TMS WITH H-FRAME MOUNTED SUPPLEMENTAL DISCONNECT
- (21) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS, AND H-FRAME MOUNTED 2 KVA 480-120V STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

- (J) POWER CIRCUIT IDENTIFICATION
- (1) BY OTHERS. FOR SYRINGA, USE EXISTING PCB3 EXISTING LATERAL TAKE OFF POINT. EXISTING SPLICE CASE LEAVE 240' SLACK LOOP.
- (2) BY OTHERS. FOR SYRINGA LEAVE 240' SLACK LOOP.
- (3) BY OTHERS. FOR AMERICAN FORK LEAVE 150 FT SLACK LOOP.

ENTIRE SHEET HAS CHANGED

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	9/8/2015
ATMS AND LIGHTING		DRAWN BY	MOA
		DATE	9/8/2015
Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)			
REVISIONS			
REV	DATE	DESCRIPTION	BY
4	9/2/15	NDC113 ATMS FIELD REVISIONS	TWT
3	7/22/15	NDC075 POWER SOURCE REVISIONS	TWT
2	4/27/15	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS	WTF
D	4/16/15	100% SEGMENTS 2 & 3 LIGHTING	D
1	3/2/15	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	WTF
C	1/30/15	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	WTF

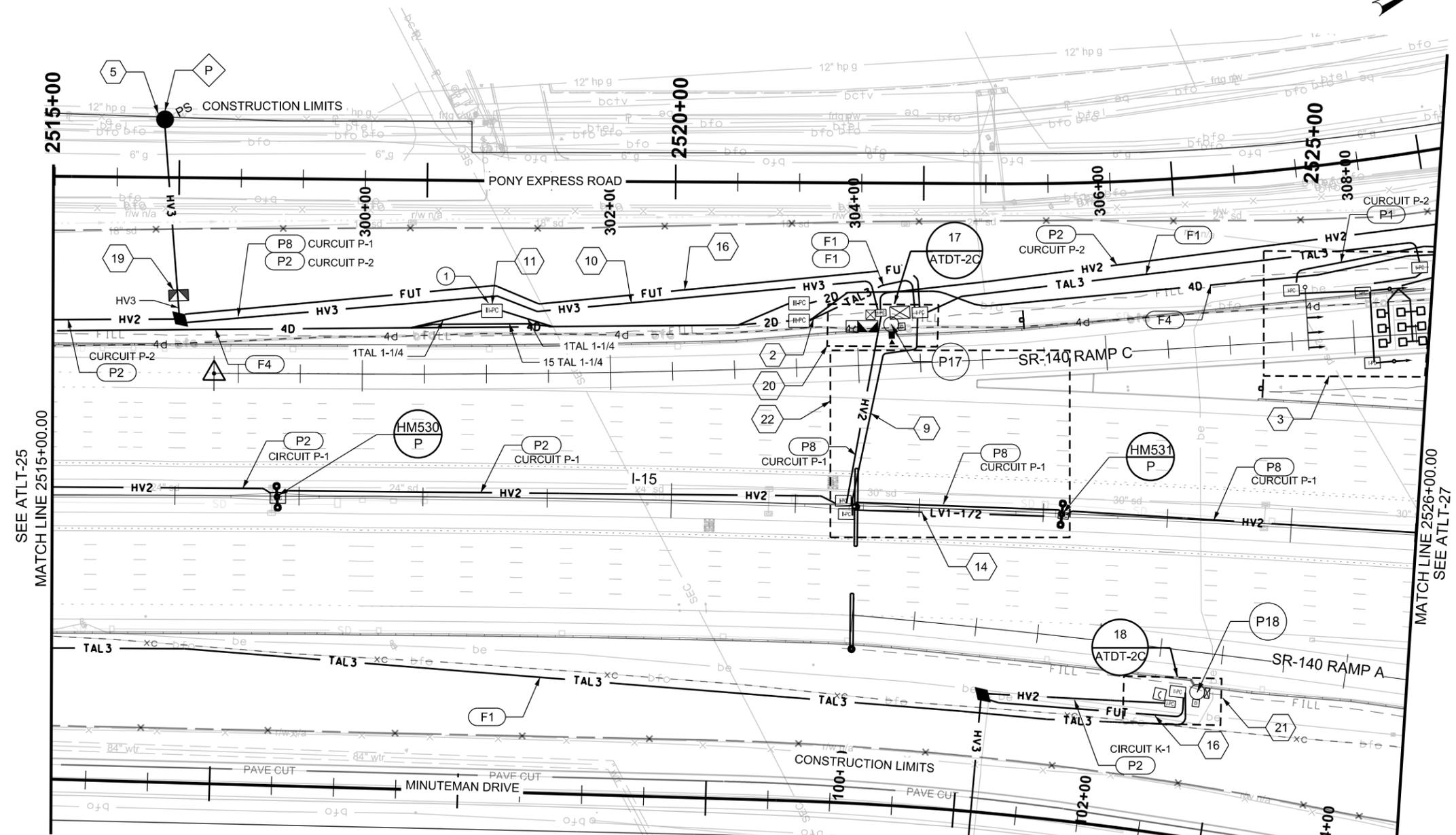
WIRE SCHEDULE

FIBER OPTIC CABLES

F1	NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
F4	NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUITS AS SHOWN)

P1	2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES	P3	2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES
P2	2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES	P8	2 NO. 1/0 AWG AND 1 NO. 1/0 AWG GROUND WIRES



- 2 PROPOSED RING SPLICE POINT
- 3 **RAMP METER SYSTEM**
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.
FOR RAMP METER DETECTOR LOOP, CABINET, AND SIGNAL POLE LOCATIONS SEE ATDT-1E.
- 5 NEW 480V POWER SOURCE AT NEW LOCATION
- 6 EXISTING 240V POWER SOURCE, PROTECT IN PLACE
- 9 PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH PVC CONDUITS TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR ETC SYSTEM (SEE ATDT-3A)
- 10 POWER CIRCUIT FROM PEDESTAL FOR ETC CABINET
- PXX SEE TABLE ON ATDT-1B FOR POLE LOCATION

- 11 PROVIDE SYRINGA PCB3.
- 14 PROVIDE 150 FEET OF 1 1/2" PVC CONDUIT IN MEDIAN BARRIER FOR TSI (SEE ATDT-3C AND ATDT-3D)
- 16 INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- 19 FURNISH & INSTALL 25KVA, 240/480V, IP TRANSFORMER.
- 20 **ATMS SYSTEM, FUTURE ETC SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, TMS AND H-FRAME MOUNTED 5KVA, 480-120V, IP STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- 21 **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS AND H-FRAME MOUNTED SUPPLEMENTAL DISCONNECT

- 22 FUTURE ETC SYSTEM. INSTALL ALL JUNCTION BOXES, CONDUIT AND WIRING AS SHOWN ON ATDT-3A. EQUIPMENT AND UPS WILL BE INSTALLED AT A FUTURE DATE.
- P POWER CIRCUIT IDENTIFICATION
- K POWER CIRCUIT IDENTIFICATION
- 1 BY OTHERS. FOR SYRINGA LEAVE 240' SLACK LOOP.

ENTIRE SHEET HAS CHANGED

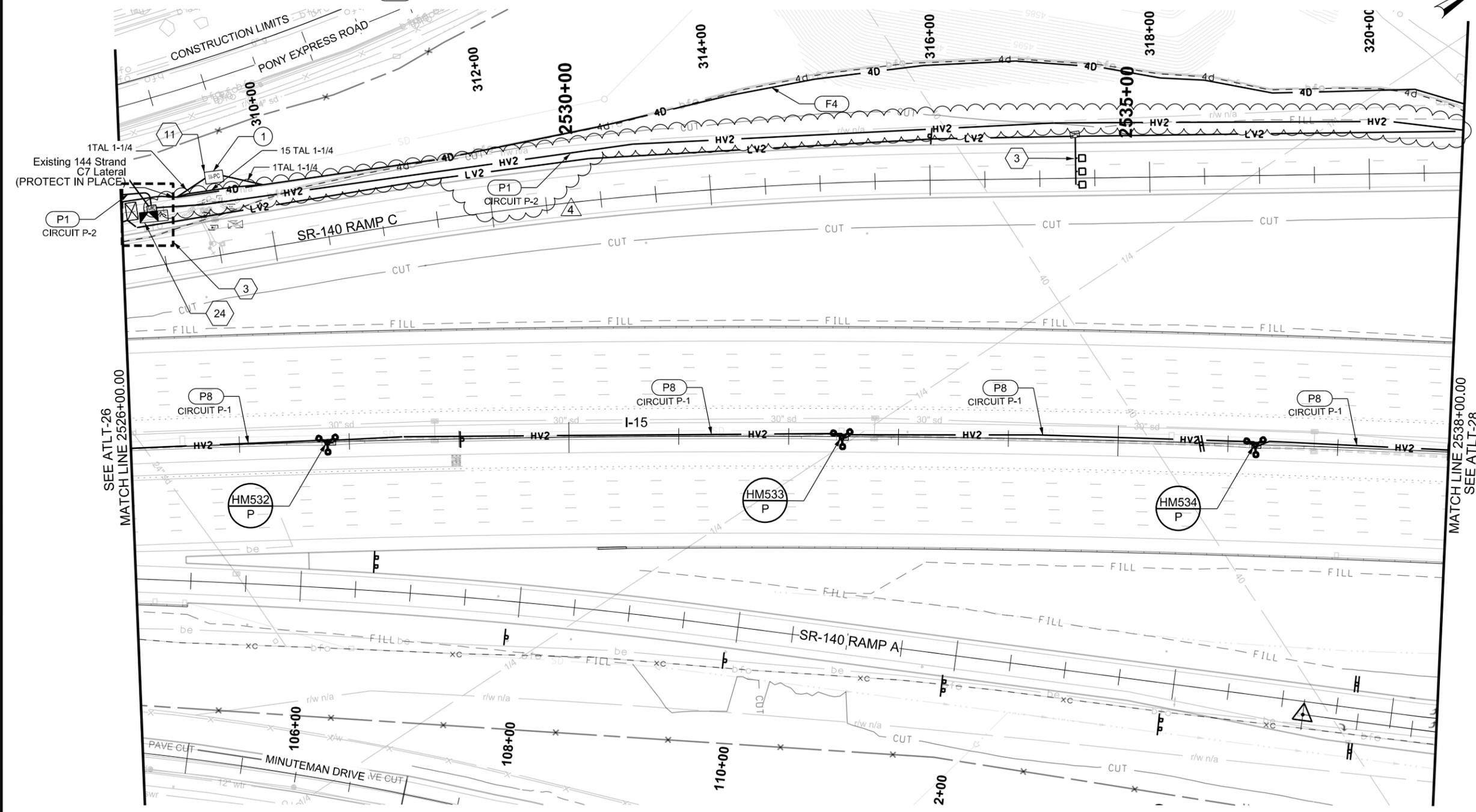
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	PROJECT NUMBER	S-ST99(192)
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APPROVED: <i>[Signature]</i>		9/8/2015	
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ATMS AND LIGHTING			
REVISIONS			
REV	DATE	DESCRIPTION	BY
5	9/2/15	NDC113 ATMS FIELD REVISIONS	TWT
4	7/22/15	NDC075 POWER SOURCE REVISIONS	TWT
3	6/8/15	NDC086 ETC AND ATMS DETAILS	WTF
2	4/27/15	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS	WTF
1	4/6/15	100% SEGMENTS 2 & 3 LIGHTING	WTF
	3/2/15	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	WTF

WIRE SCHEDULE
FIBER OPTIC CABLES

F4 NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUITS AS SHOWN)

P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
P3 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES
P8 2 NO. 1/0 AWG AND 1 NO. 1/0 AWG GROUND WIRES



3 RAMP METER SYSTEM
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.

FOR RAMP METER DETECTOR LOOP, CABINETS, AND SIGNAL POLE LOCATIONS SEE ATDT-1E

11 PROVIDE SYRINGA PCB3.

24 PROVIDE H-FRAME MOUNTED 2KVA 480-120V IP, STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT

PXX SEE TABLE ON ATDT-1B FOR POLE LOCATION.

1 BY OTHERS. FOR SYRINGA. SET NEW PCB3 NEAR EXISTING UDOT PCB3 WITH EXISTING SYRINGA SPLICE CASE. NOTCH UDOT AND SYRINGA BOXES TO MOVE EXISTING SPLICE CASE INTO NEW BOX. PLACE 3" SPLIT DUCT TO CONNECT JUNCTION BOXES. NOTCH NEW PCB3 AND USE SPLIT DUCT TO MOVE C7 LATERAL CONDUIT AND FIBER TO NEW BOX. LEAVE 120' REEL END TAILS ON NEW BFO144 NORTH AND SOUTH.

REVISIONS

TWT	DATE	DESCRIPTION
4	10/19/15	NDC172 RAMP METER ADVANCE WARNING SIGN
3	9/21/15	NDC113 ATMS FIELD REVISIONS
2	4/27/15	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
D	4/6/15	100% SEGMENTS 2 & 3 LIGHTING
1	3/21/15	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT

UTAH DEPARTMENT OF TRANSPORTATION
WILSON & COMPANY DESIGN

APPROVED: *[Signature]* 11/4/2015
DRAWN BY: KAD
DATE: 11/4/2015

PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING
PROJECT NUMBER	S-ST99(192)
PROJECT PIN	10935
PROJECT DESCRIPTION	ATMS AND LIGHTING

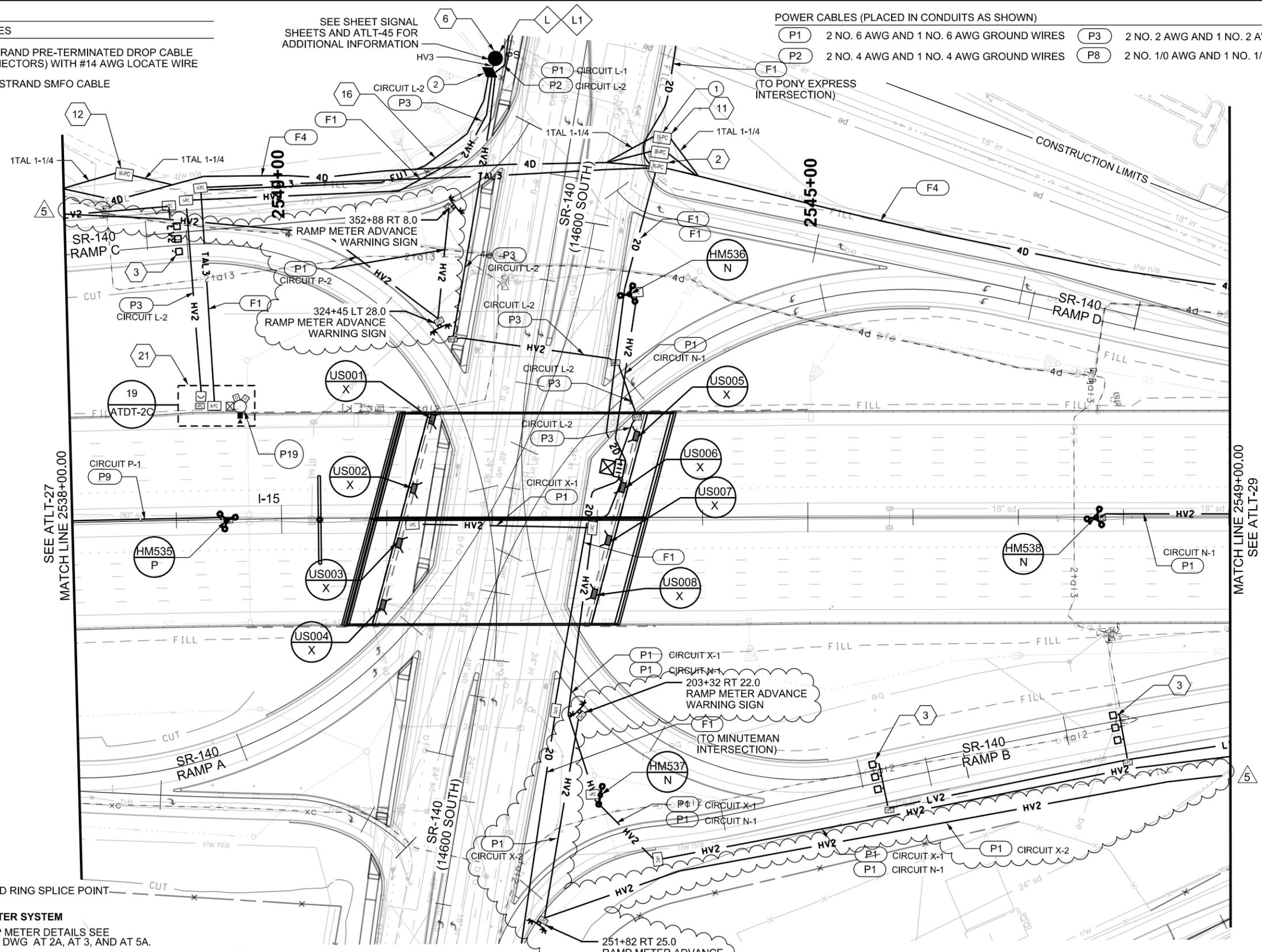
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WIRE SCHEDULE
FIBER OPTIC CABLES

- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
- F4 NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUITS AS SHOWN)

- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
- P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
- P3 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES
- P8 2 NO. 1/0 AWG AND 1 NO. 1/0 AWG GROUND WIRES



- 2 PROPOSED RING SPLICE POINT
- 3 RAMP METER SYSTEM
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.
FOR RAMP METER DETECTOR LOOP, CABINET AND SIGNAL POLES LOCATIONS SEE ATDT-1E
- 6 NEW 120/240V POWER SOURCE AT NEW LOCATION
- 11 PROVIDE SYRINGA PCB3.
- PXX SEE TABLE ON ATDT-1B FOR POLE LOCATION.

- 12 PROVIDE AMERICAN FORK PCB3.
- 16 INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- ATMS SYSTEM
FURNISH AND INSTALL CONTROL CABINET, CCTV, TMS (2) AND SUPPLEMENTAL DISCONNECT MOUNTED ON H-FRAME

- L POWER CIRCUIT IDENTIFICATION
- L1 BLUFFDALE CITY POWER CIRCUIT IDENTIFICATION
- 1 BY OTHERS. FOR SYRINGA JUNCTION LEAVE 240' SLACK LOOP.
- 2 PROVIDE DUAL METERED UNDERGROUND PEDESTAL FOR BLUFFDALE CITY LIGHTING CIRCUIT (L-1) AND UDOT SIGNAL AND ATMS CIRCUIT (L-2)

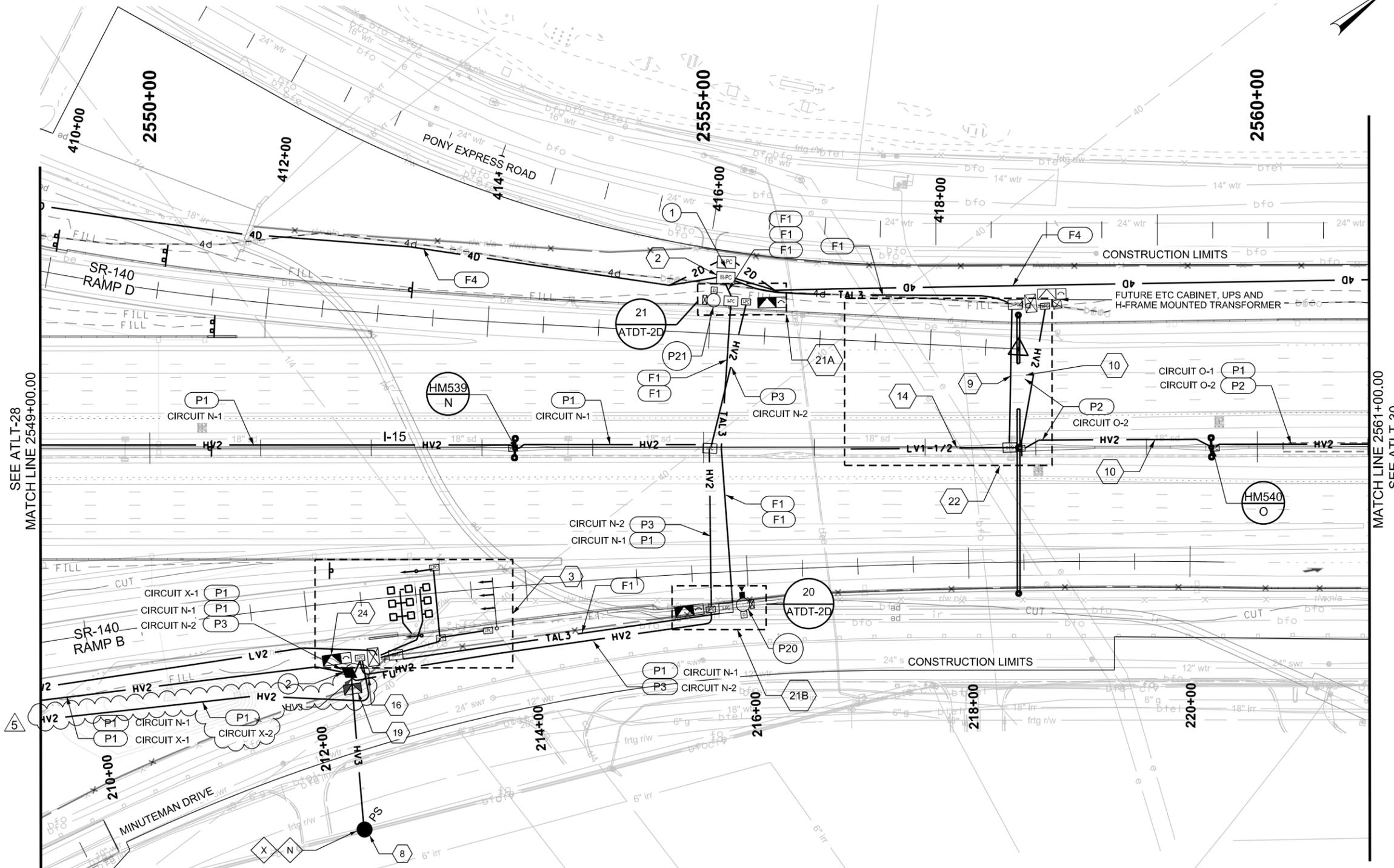
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	PIN	10935
PROJECT NUMBER	S-ST99(192)	DRAWN BY	KAD
		DATE	11/4/2015
		SCALE	OC
		PROJECT TITLE	ATMS AND LIGHTING

REVISIONS	
NO.	DESCRIPTION
5	NDC172 RAMP METER ADVANCE WARNING SIGN
4	NDC113 ATMS FIELD REVISIONS
3	NDC038 14600 S BRIDGE LIGHTING
2	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
D	100% SEGMENTS 2 & 3 LIGHTING
1	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE -TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE

- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - (P2) 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
 - (P3) 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES



- (2) PROPOSED RING SPLICE POINT
- (3) **RAMP METER SYSTEM**
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.
FOR RAMP METER DETECTOR LOOP, CABINET, AND SIGNAL POLE LOCATIONS SEE ATDT-1E
- (8) NEW 480 V POWER SOURCE
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

- (9) PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH PVC CONDUITS TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR FUTURE ETC SYSTEM (SEE ATDT-3A)
- (10) POWER CIRCUIT FROM POWER SOURCE FOR FUTURE ETC CABINET
- (14) PROVIDE 150 FEET OF 1 1/2" PVE CONDUIT IN MEDIAN BARRIER FOR TSI (SEE ATDT-3C AND ATDT-3D)
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (19) FURNISH AND INSTALL 25KVA 240/480V 1P TRANSFORMER

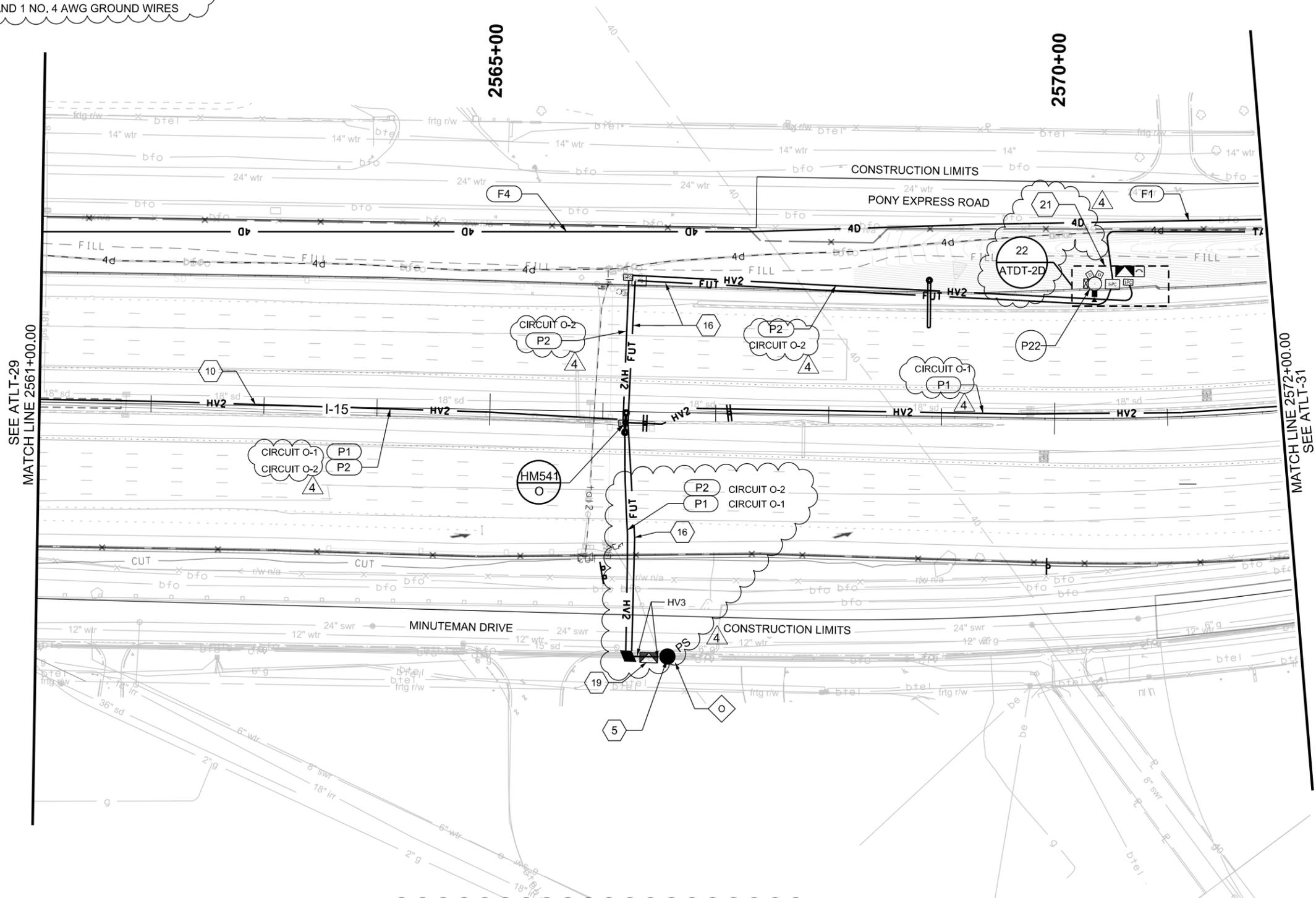
- (21A) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, TMS AND H-FRAME MOUNTED 2KVA, 480-120V, IP STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (21B) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET AND TMS, AND H-FRAME MOUNTED 2KVA, 480-120V, IP STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (22) FUTURE ETC SYSTEM. INSTALL ALL JUNCTION BOXES, CONDUIT AND WIRING AS SHOWN ON ATDT-3A. EQUIPMENT AND CABINETS WILL BE INSTALLED AT A FUTURE DATE.
- (24) FURNISH & INSTALL 2KVA, 120-480V, IP STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT

- (1) BY OTHERS. FOR SYRINGA USE UDOT PCB3 LEAVE 10' SLACK LOOP.
- (2) PROVIDE DUAL METERED UNDERGROUND SERVICE PEDESTAL WITH PHOTO CONTROL FOR DRAPER CITY UNDERSTRUCTURE LIGHTING CIRCUIT
- (N) POWER CIRCUIT IDENTIFICATION
- (X) POWER CIRCUIT IDENTIFICATION

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	DRAWN BY	KAD
PROJECT NUMBER	S-ST99(192)	DATE	11/4/2015
ATMS AND LIGHTING		OC	
APPROVED: <i>[Signature]</i> 11/4/2015			
REVISIONS 5 10/19/15 TWT NDC172 RAMP METER ADVANCE WARNING SIGN 4 9/2/15 TWT NDC116 ATMS RAMP SIGNAL REVISIONS 3 5/22/15 TWT NDC038 14800 S BRIDGE LIGHTING 2 4/27/15 WTF NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS 1 4/8/15 WTF 100% SEGMENTS 2 & 3 LIGHTING 0 3/27/15 WTF RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT			

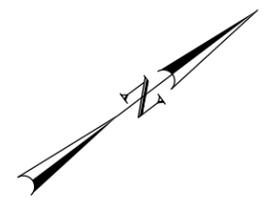
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- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - F4 NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



- 5 NEW 480 V POWER SOURCE AT EXISTING LOCATION
- 10 POWER CIRCUIT FROM POWER SOURCE FOR FUTURE ETC CABINET
- 16 INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- PXX SEE TABLE ON ATDT-1B FOR POLE LOCATION.

- 19 FURNISH & INSTALL 25KVA, 240/480V, IP TRANSFORMER.
- 21 FURNISH & INSTALL CONTROL CABINET, TMS (2) AND H-FRAME MOUNTED 2 KVA 480-120V STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- 0 POWER CIRCUIT IDENTIFICATION

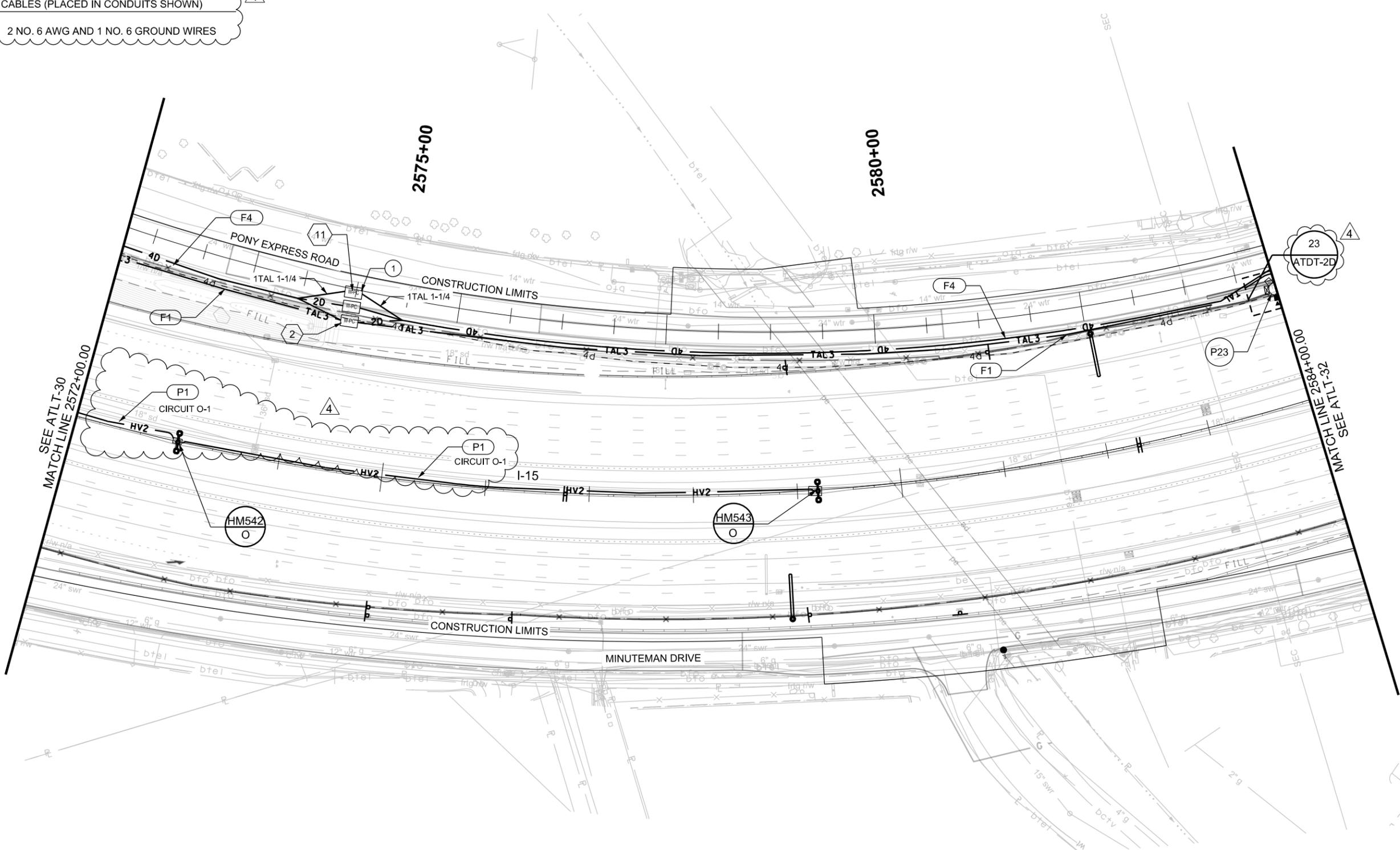


UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT: I-15; SR-73 TO 12300 SOUTH WIDENING		DRAWN BY: MOA	
PROJECT NUMBER: S-ST99(192)		DATE: 9/8/2015	
ATMS AND LIGHTING		APPROVED: <i>[Signature]</i>	
PIN: 10935		REVISIONS:	
100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT		1	
100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT		2	
100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT		3	
100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT		4	

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE
FIBER OPTIC CABLES
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS SHOWN)
- (P1) 2 NO. 6 AWG AND 1 NO. 6 GROUND WIRES

- (2) PROPOSED RING SPLICE POINT
- (5) NEW 480 V POWER SOURCE AT EXISTING LOCATION
- (11) PROVIDE SYRINGA PCB3.
- (1) BY OTHERS. FOR SYRINGA LEAVE 240' SLACK LOOP.
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION



UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	9/8/2015
	ATMS AND LIGHTING	DRAWN BY	MOA
		DATE	9/8/2015
Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)			

REVISIONS	
TWT	DESCRIPTION
4	9/2/15 NDC113 ATMS FIELD REVISIONS
3	7/22/15 NDC075 POWER SOURCE REVISIONS
2	4/27/15 NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
D	4/6/15 100% SEGMENTS 2 & 3 LIGHTING
1	3/2/15 RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
C	1/30/15 100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT

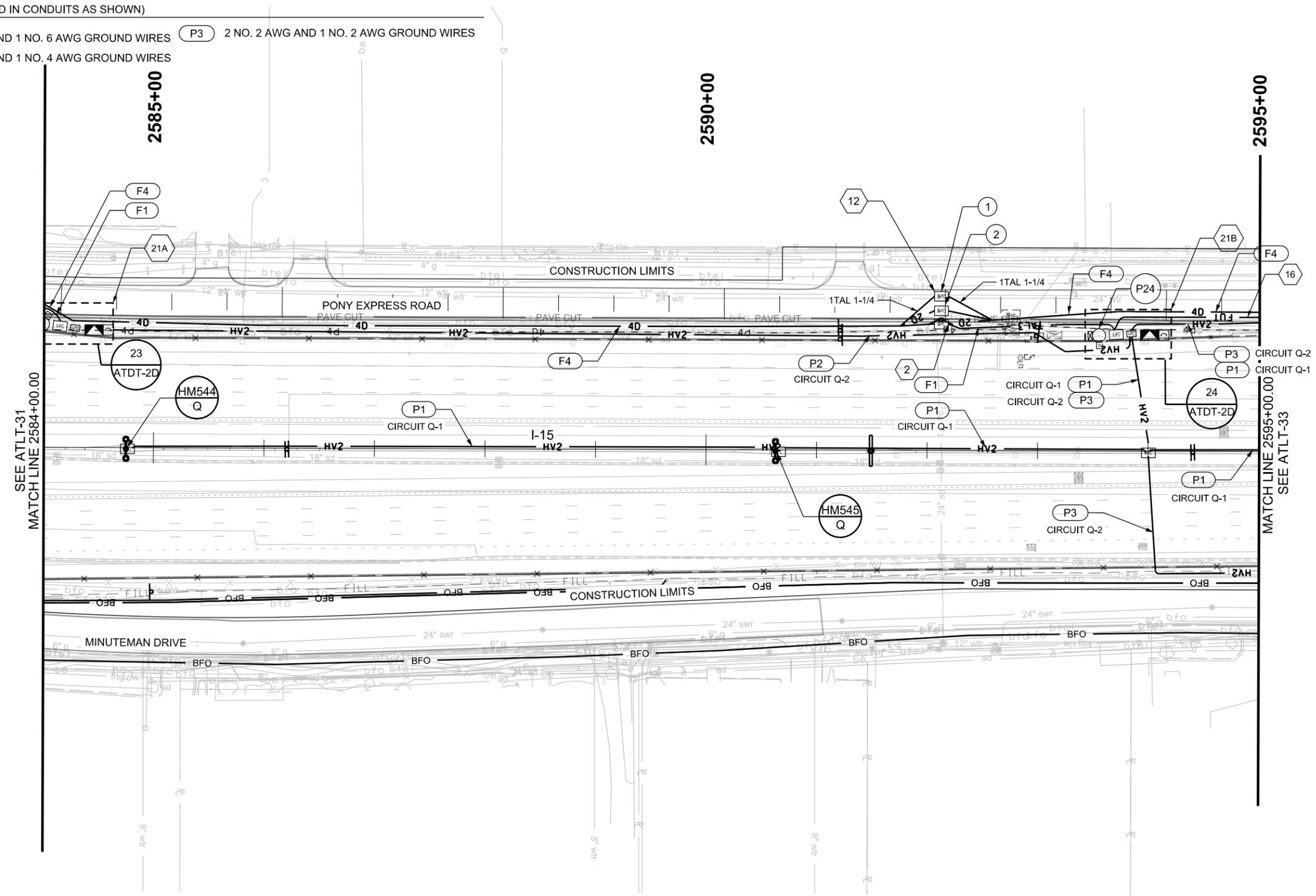
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WIRE SCHEDULE
FIBER OPTIC CABLES

- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
- F4 NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUITS AS SHOWN)

- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
- P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
- P3 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES



- 2 PROPOSED RING SPLICE
- 12 PROVIDE AMERICAN FORK PCB3.
- 16 INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- PXX SEE TABLE ON ATDT-1B FOR POLE LOCATION
- 1 BY OTHERS. FOR AMERICAN FORK (STORAGE) LEAVE 150 FT SLACK LOOP
- 2 BY OTHERS. FOR SYRINGA USE UDOT PCB3 LEAVE 10' SLACK LOOP.
- 21A **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS (2) AND H-FRAME MOUNTED 2 KVA 480-120V STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- 21B **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS AND H-FRAME MOUNTED 2 KVA 480-120V STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT

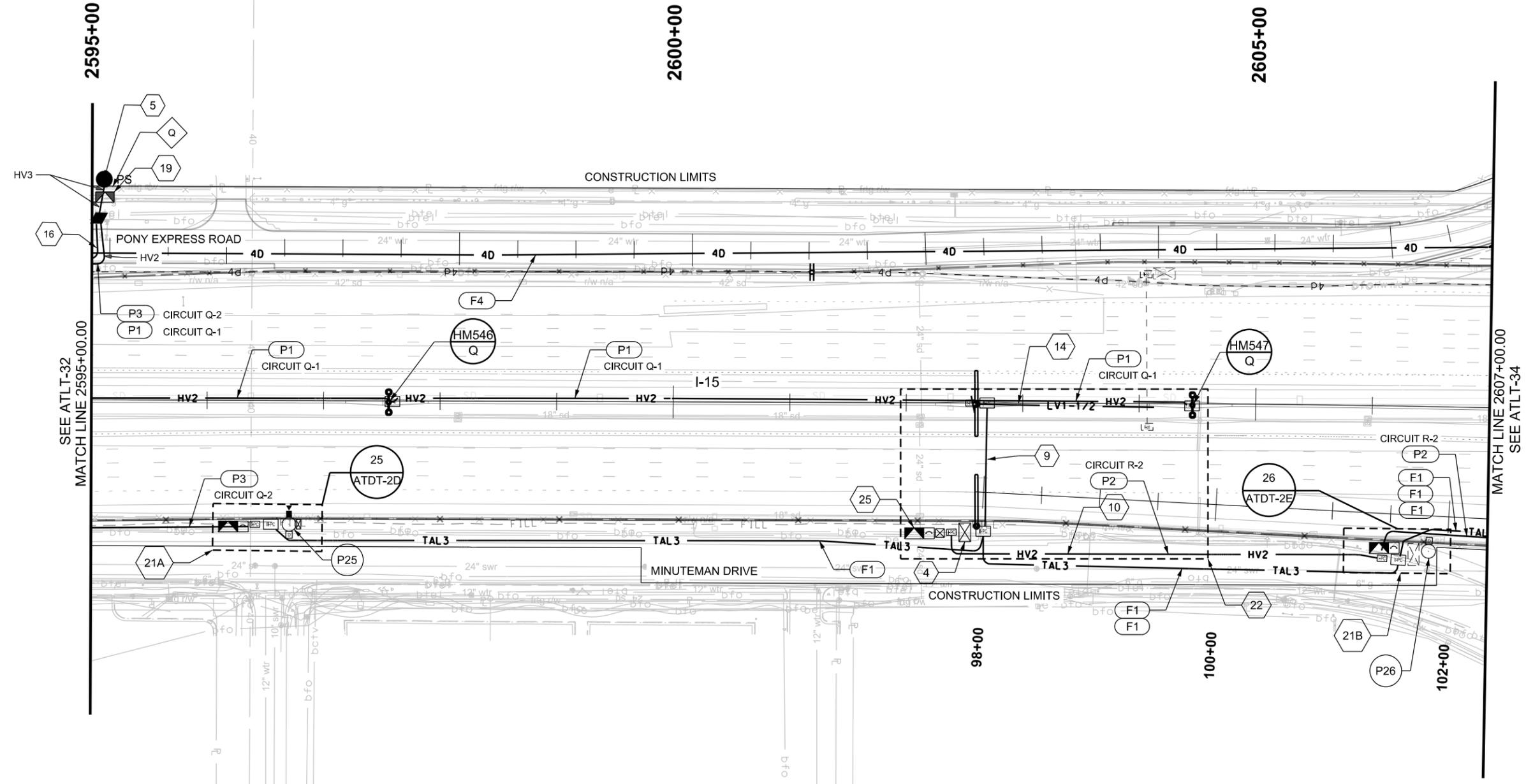
ENTIRE SHEET HAS CHANGED

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	9/8/2015
ATMS AND LIGHTING		DRAWN BY MOA	
		CHECKED BY OC	
Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)			

REVISIONS			
NO.	DATE	DESCRIPTION	BY
4	9/2/15	NDC113 ATMS FIELD REVISIONS	TWT
3	7/22/15	NDC075 POWER SOURCE REVISIONS	TWT
2	4/27/15	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS	WTF
D	4/6/15	100% SEGMENTS 2 & 3 LIGHTING	WTF
1	3/2/15	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	WTF
C	7/30/15	100% SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT	WTF

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE

- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - (P2) 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
 - (P3) 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES



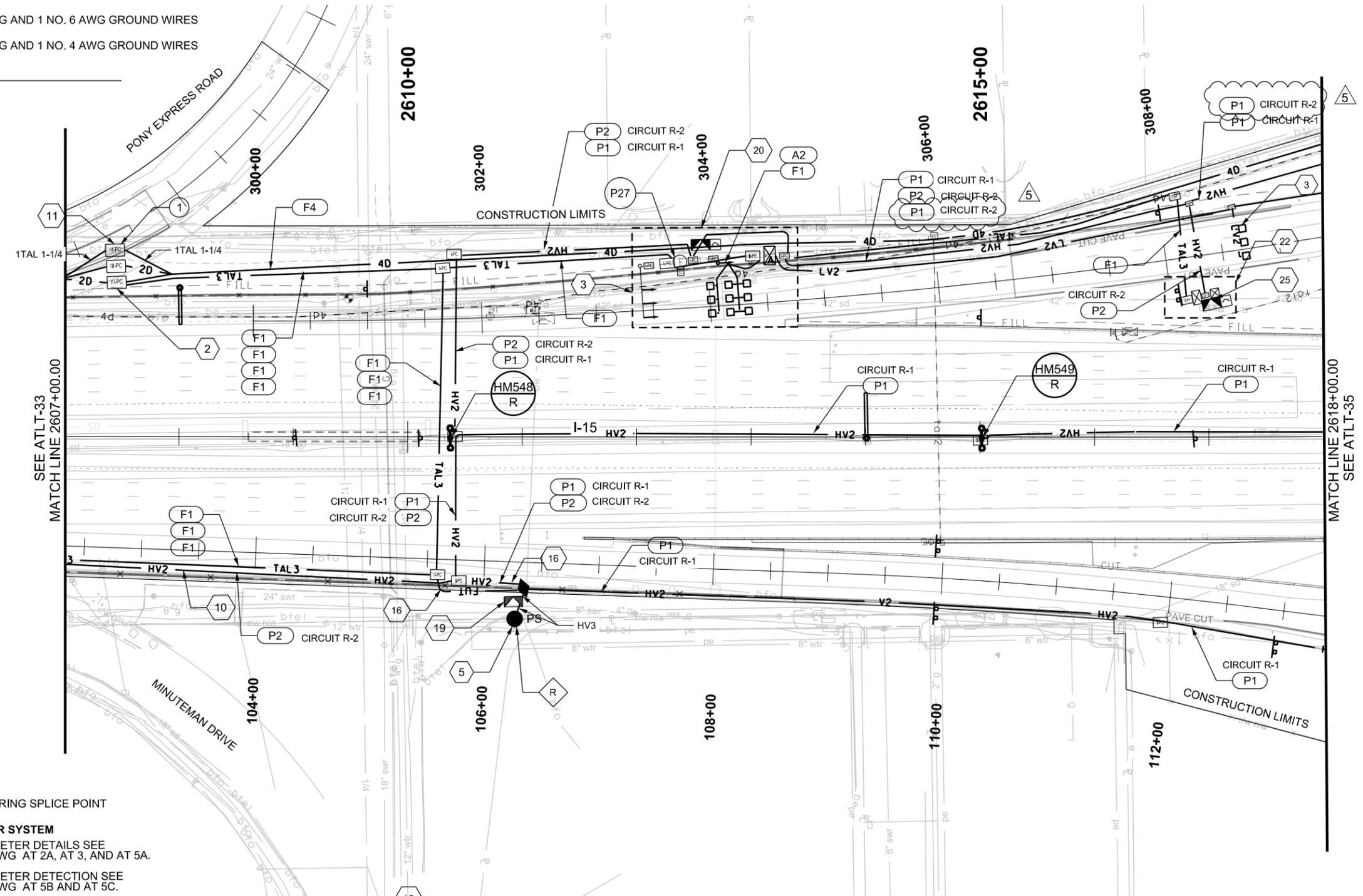
- (4) RELOCATED EXISTING ETC CONTROLLER AND CABINET
- (5) NEW 480 V POWER SOURCE AT EXISTING LOCATION
- (9) PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH PVC CONDUITS TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR ETC SYSTEM (SEE ATDT-3A)
- (10) POWER CIRCUIT FROM PEDESTAL FOR ETC CABINET
- (14) PROVIDE 150 FEET OF 1 1/2" PVC CONDUIT IN MEDIAN BARRIER FOR TSI (SEE ATDT-3C AND ATDT-3D)
- (16) INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION
- (19) FURNISH & INSTALL 25KVA, 240/480V, 1P TRANSFORMER.
- (21A) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, TMS AND H-FRAME MOUNTED 2KVA, 480-120V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (21B) **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS AND H-FRAME MOUNTED 2KVA, 480-120V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- (22) ETC SYSTEM. SEE SHEETS ATDT-3A TO 3D.
- (25) FURNISH AND INSTALL 5KVA, 480-120/240V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT AND PANEL BOARD MOUNTED ON H-FRAME
- (Q) POWER CIRCUIT IDENTIFICATION

ENTIRE SHEET HAS CHANGED

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	9/8/2015
ATMS AND LIGHTING		DRAWN BY	MOA
		DATE	9/8/2015
		DESIGNED BY	OC
		DATE	9/8/2015
		CHECKED BY	
		DATE	
		REVISIONS	
		NO.	DATE
		1	3/2/15
		2	4/27/15
		3	6/8/15
		4	7/22/15
		5	9/2/15
		DESCRIPTION	
		1	RFC SEGMENT 2 & 3 ATMS FOUNDATIONS AND CONDUIT
		2	100% SEGMENTS 2 & 3 LIGHTING
		3	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS
		4	NDC086 ETC AND ATMS DETAILS
		5	NDC075 POWER SOURCE REVISIONS
		6	NDC113 ATMS FIELD REVISIONS

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE
- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - (P2) 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
- ATMS CABLES**
- (A2) NID CABLE



- (2) PROPOSED RING SPLICE POINT
- (3) **RAMP METER SYSTEM**
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.
FOR RAMP METER DETECTOR LOOP, CABINET, AND SIGNAL POLE LOCATIONS SEE ATDT-1E
- (5) NEW 480 V POWER SOURCE AT EXISTING LOCATION
- (10) POWER CIRCUIT FROM PEDESTAL FOR ETC CABINET
- (11) PROVIDE SYRINGA PCB3.
INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- (PXX) SEE TABLE ON ATDT-1B FOR POLE LOCATION

- (19) FURNISH & INSTALL 25KVA, 240/480V, IP TRANSFORMER.
- (20) **ATMS AND RAMP METER SYSTEM**
FURNISH & INSTALL TMS AND H-FRAME MOUNTED 2KVA, 480-120V, IP STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT WITH RAMP METER SYSTEM.
- (22) ETC SYSTEM. SEE SHEET ATDT-3A FOR DETAILS.
- (25) FURNISH AND INSTALL 5KVA, 480-120/240V, 1P STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT AND PANEL BOARD MOUNTED ON H-FRAME

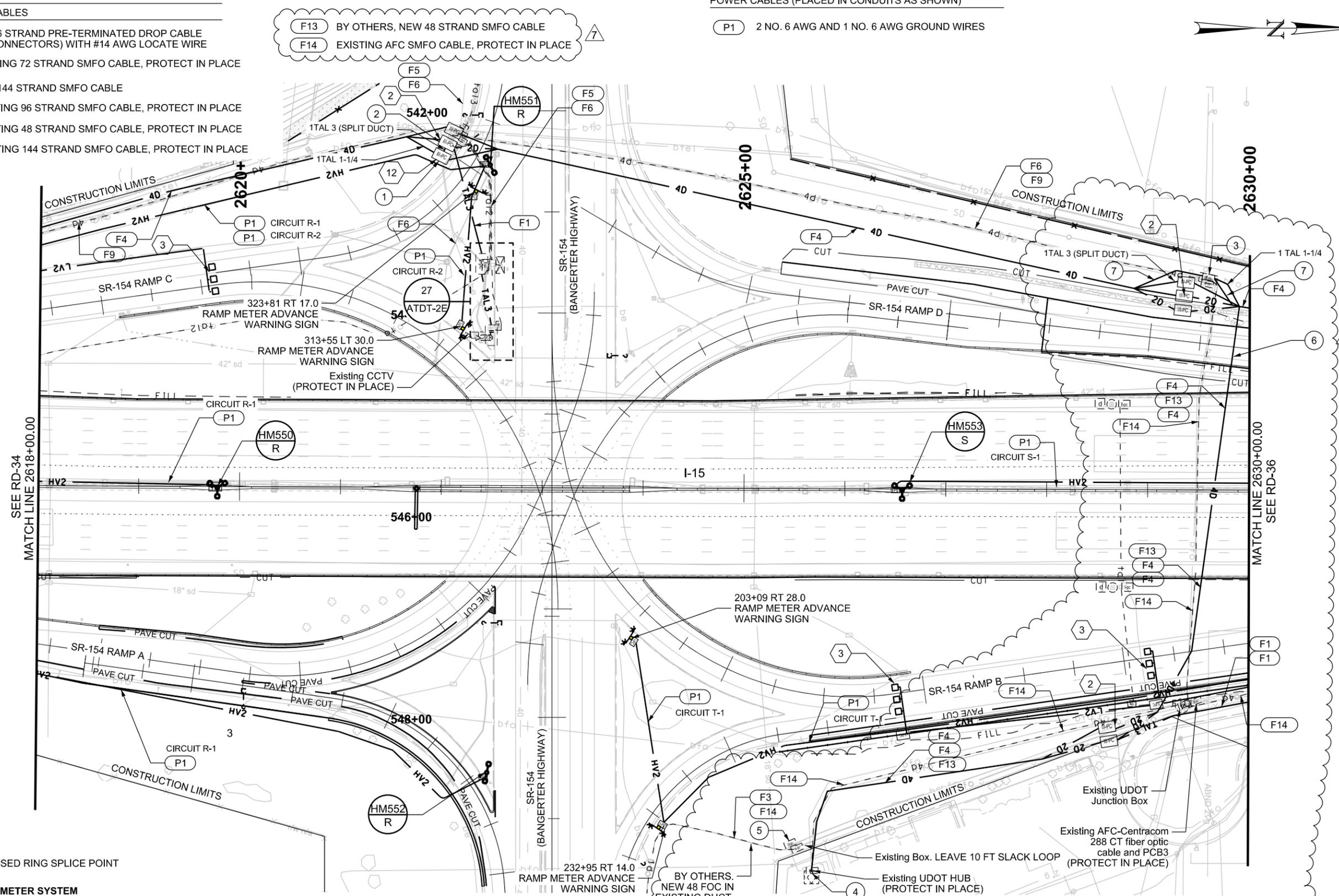
- (1) BY OTHERS. FOR SYRINGA LEAVE 240' SLACK LOOP.
- (R) POWER CIRCUIT IDENTIFICATION

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	
PROJECT NUMBER	S-ST99(192)	PROJECT NUMBER	10935
DRAWN BY		MOA	
11/4/2015		11/4/2015	
ATMS AND LIGHTING		OC	
Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)			

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - F3 EXISTING 72 STRAND SMFO CABLE, PROTECT IN PLACE
 - F4 NEW 144 STRAND SMFO CABLE
 - F5 EXISTING 96 STRAND SMFO CABLE, PROTECT IN PLACE
 - F6 EXISTING 48 STRAND SMFO CABLE, PROTECT IN PLACE
 - F9 EXISTING 144 STRAND SMFO CABLE, PROTECT IN PLACE

- F13 BY OTHERS, NEW 48 STRAND SMFO CABLE
- F14 EXISTING AFC SMFO CABLE, PROTECT IN PLACE

- POWER CABLES (PLACED IN CONDUITS AS SHOWN)**
- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES



- 2 PROPOSED RING SPLICE POINT
- 3 **RAMP METER SYSTEM**
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.
FOR RAMP METER DETECTOR LOOP, CABINET AND SIGNAL POLE LOCATIONS SEE ATDT-1E
- 12 PROVIDE AMERICAN FORK PCB3.

- 1 BY OTHERS. FOR AMERICAN FORK (STORAGE) POSSIBLE NEW SPLICE POINT 150 FT SLACK LOOP.
- 2 BY OTHERS. FOR SYRINGA USE EXISTING PCB3 INSTALL 3" SPLICE DUCT FROM EXISTING BOX TO NEW UDOTPCB3 TO MAINTAIN CONTINUITY ON BFO 96 EAST, WEST AND NORTH LEAVE 240' SLACK LOOP
- 3 BY OTHERS. FOR SYRINGA USE EXISTING PCB3 INSTALL 3" SPLICE DUCT FROM EXISTING BOX TO NEW UDOT PCB3 TO MAINTAIN CONTINUITY ON THE 96 BFO, 48 BFO, 144 BFO SOUTH AND EAST. EXISTING SYRINGA SPLICE LOCATION. LEAVE 120' REEL END TAIL ON NEW BFO144 SOUTH, AND 120' OF 48 BFO.

- 4 BY OTHERS. NOTE: CONTINUITY MUST BE MAINTAINED BETWEEN EXISTING UDOT PCB3 AND EXISTING SYRINGA BOX AND CONDUIT CONTAINING LATERAL GOING EAST.
- 5 BY OTHERS. EXISTING PCB3 WITH 200 FT SLACK LOOP 48 BFO. PLACE NEW 200 FT SLACK LOOP 48 BFO.
- 6 BY OTHERS. PLACE APPROXIMATELY 4400 FT 48 BFO FROM EXISTING PCB3 AT STATION 2630+00 TO EXISTING PCB3 ON 13800 SOUTH BANGERTEER HIGHWAY.

- 7 BY OTHERS. EXISTING DUCT PEEL OUT TO SYRINGA PCB3 ON SEGMENT 2.
- CONSTRUCTION NOTE:**
ALL EXISTING SYRINGA FACILITIES MUST BE PROTECTED UNTIL CUT OVER IS COMPLETE.
- PROTECT EXISTING AMERICAN FORK CITY FIBER OPTIC LINES DURING CONSTRUCTION.

UTAH DEPARTMENT OF TRANSPORTATION
WILSON & COMPANY DESIGN

I-15; SR-73 TO 12300 SOUTH WIDENING

PROJECT NUMBER: S-ST99(192) PIN: 10935

APPROVED: *[Signature]* 1/05/2016

DRAWN BY: MOA

REVISIONS:

NO.	DATE	TWT	DESCRIPTION
7	11/19/15	TWT	NDC183 SEGMENT 1 AFC/SYRINGA REVISIONS
6	11/13/15	TWT	NDC 160 BANGERTEER CHANGES PER DL-036
4	10/19/15	TWT	NDC172 RAMP METER ADVANCE WARNING SIGN
3	9/2/15	TWT	NDC113 ATMS FIELD REVISIONS
2	4/27/15	WTF	NDC028 SEGMENT 2 & 3 ATMS, LIGHTING AND SIGNALS

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

WIRE SCHEDULE

FIBER OPTIC CABLES

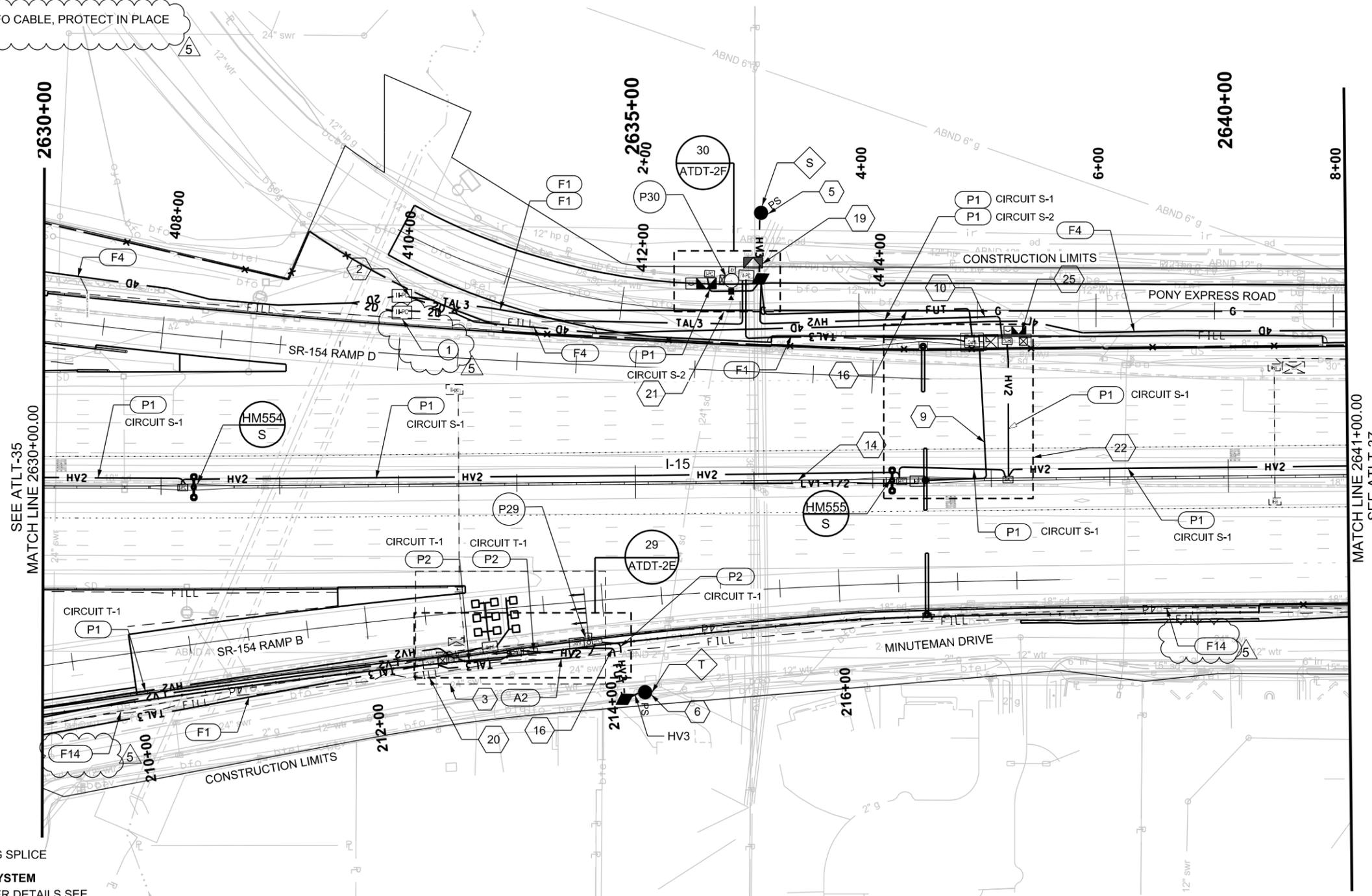
F1	NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
F4	NEW 144 STRAND SMFO CABLE
F14	EXISTING AFC SMFO CABLE, PROTECT IN PLACE

POWER CABLES (PLACED IN CONDUIT AS SHOWN)

P1	2 NO. 6 AWG AND 1 NO. 6 GROUND WIRES
P2	2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRE

ATMS CABLES

A2	NID CABLES
----	------------



- 2 PROPOSED RING SPLICE
- 3 **RAMP METER SYSTEM**
FOR RAMP METER DETAILS SEE UDOT STD DWG AT 2A, AT 3, AND AT 5A.
FOR RAMP METER DETECTION SEE UDOT STD DWG AT 5B AND AT 5C.
FOR RAMP METER DETECTOR LOOP, CABINET AND SIGNAL POLE LOCATIONS SEE ATDT-1E
- 5 NEW 480V POWER SOURCE AT EXISTING LOCATION
- 6 NEW 240V POWER SOURCE AT EXISTING LOCATION
- 9 PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH CONDUIT TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR ETC SYSTEM (SEE ATDT-3A)
- 10 POWER CIRCUIT FROM PEDESTAL TO ETC CABINET
- XX SEE TABLE ON ATDT-1G FOR POLE LOCATION

- 14 PROVIDE 150 FEET OF 1 1/2" PVC CONDUIT IN MEDIAN BARRIER FOR TSI (SEE ATDT-3D)
- 16 INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- 19 FURNISH & INSTALL 25KVA, 240/480V, IP TRANSFORMER.
- 20 **ATMS SYSTEM AND RAMP METER SYSTEM**
FURNISH & INSTALL CONTROL CABINET, TMS AND H-FRAME MOUNTED SUPPLEMENTAL DISCONNECT
- 21 **ATMS SYSTEM**
FURNISH & INSTALL CONTROL CABINET, CCTV, TMS AND H-FRAME MOUNTED 120V SUPPLEMENTAL DISCONNECT
- 22 ETC SYSTEM SEE SHEETS ATDT-3A TO 3D

- 25 FURNISH & INSTALL H-FRAME MOUNTED 5KVA, 480-120/240V, IP TRANSFORMER WITH SUPPLEMENTAL DISCONNECT.

- S POWER CIRCUIT IDENTIFICATION
- T POWER CIRCUIT IDENTIFICATION

1 FOR SYRINGA, USE UDOT PCB3 LEAVE 10 FT SLACK LOOP.

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	
PROJECT NUMBER	S-ST99(192)	1/05/2016	MOA
ATMS AND LIGHTING		DRAWN BY	
		1/05/2016	
		OC	
		1/05/2016	
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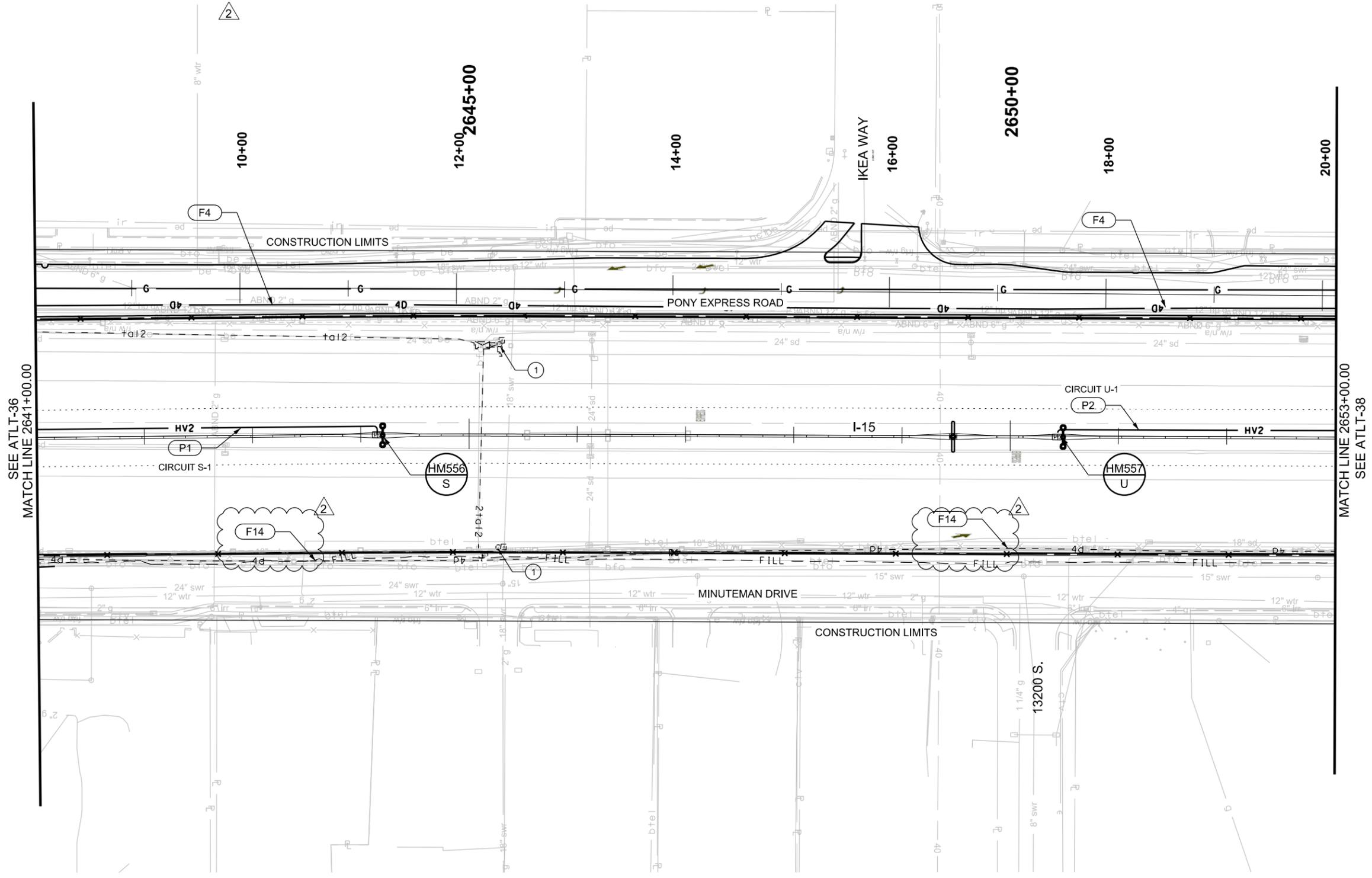
WIRE SCHEDULE

FIBER OPTIC CABLES

F4	NEW 144 STRAND SMFO CABLE
F14	EXISTING AFC SMFO CABLE, PROTECT IN PLACE

POWER CABLES (PLACED IN CONDUIT AS SHOWN)

P1	2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
P2	2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



SEE ATLT-36
MATCH LINE 2641+00.00

MATCH LINE 2653+00.00
SEE ATLT-38

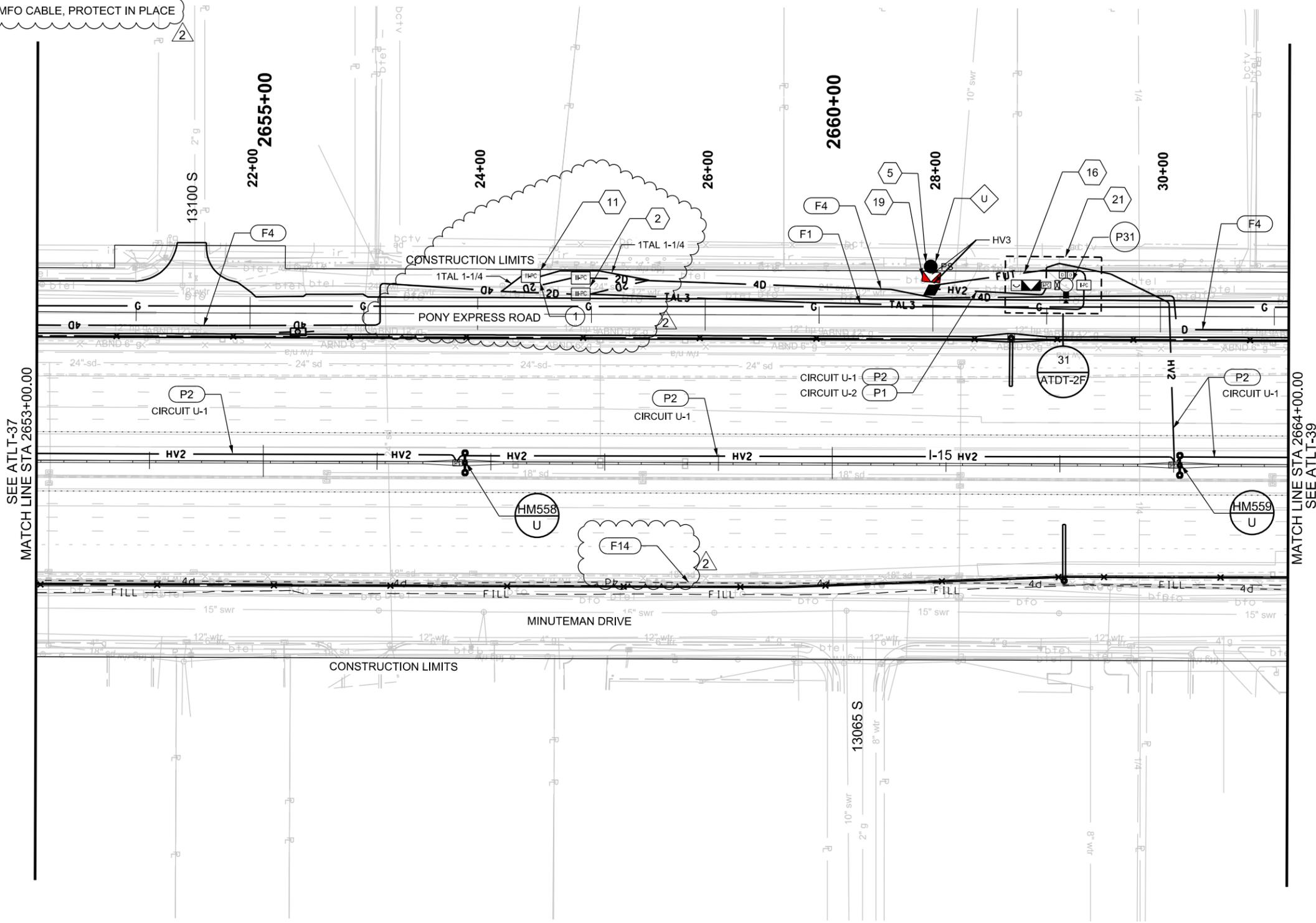
1 REMOVE EXISTING ATMS CABINET, POLE, AND EQUIPMENT.

UTAH DEPARTMENT OF TRANSPORTATION WILSON & COMPANY DESIGN		APPROVED: <i>[Signature]</i>	DATE: 1/05/2016
PROJECT: I-15; SR-73 TO 12300 SOUTH WIDENING	PROJECT NUMBER: S-ST99(192)	PIN: 10935	MOA: []
ATMS AND LIGHTING		DRAWN BY: []	
REVISIONS		11/19/15 TWT NDC183 SEGMENT 1 AFC/S/RINGA REVISIONS	
2 9/4/15 TWT RFC SEGMENT 1 ATMS AND LIGHTING		7/13/15 TWT 100% SEGMENT 1 ATMS AND LIGHTING	
6/9/15 WTF 70% SEGMENT 1 ATMS AND LIGHTING		7/28/14 ASB 30% PROJECT WIDE DESIGN	

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - F4 NEW 144 STRAND SMFO CABLE
 - F14 EXISTING AFC SMFO CABLE, PROTECT IN PLACE

- POWER CABLES (PLACED IN CONDUIT AS SHOWN)**
- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRE
 - P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRE



- 2 PROPOSED RING SPLICE POINT
- 5 NEW 480V POWER SOURCE AT EXISTING LOCATION
- 11 PROVIDE SYRINGA PCB3.
- 16 INSTALL FUTURE-USE 2" PVC CONDUIT WITH NO. 14 AWG COPPER THHN TRACER WIRE (SEE NOTE 9 ON ATDT-01)
- XX SEE TABLE ON ATDT-1G FOR POLE LOCATION

- 19 FURNISH & INSTALL 25KVA, 240/480V, IP TRANSFORMER.
- ATMS SYSTEM**
- 21 FURNISH & INSTALL CONTROL CABINET, CCTV, TMS (2) AND H-FRAME MOUNTED 2KVA, 480-120V, IP STEP DOWN TRANSFORMER WITH SUPPLEMENTAL DISCONNECT
- U POWER CIRCUIT IDENTIFICATION

1 FOR SYRINGA, LEAVE 240 FT SLACK LOOP.

SEE ATLT-37
MATCH LINE STA 2653+00.00

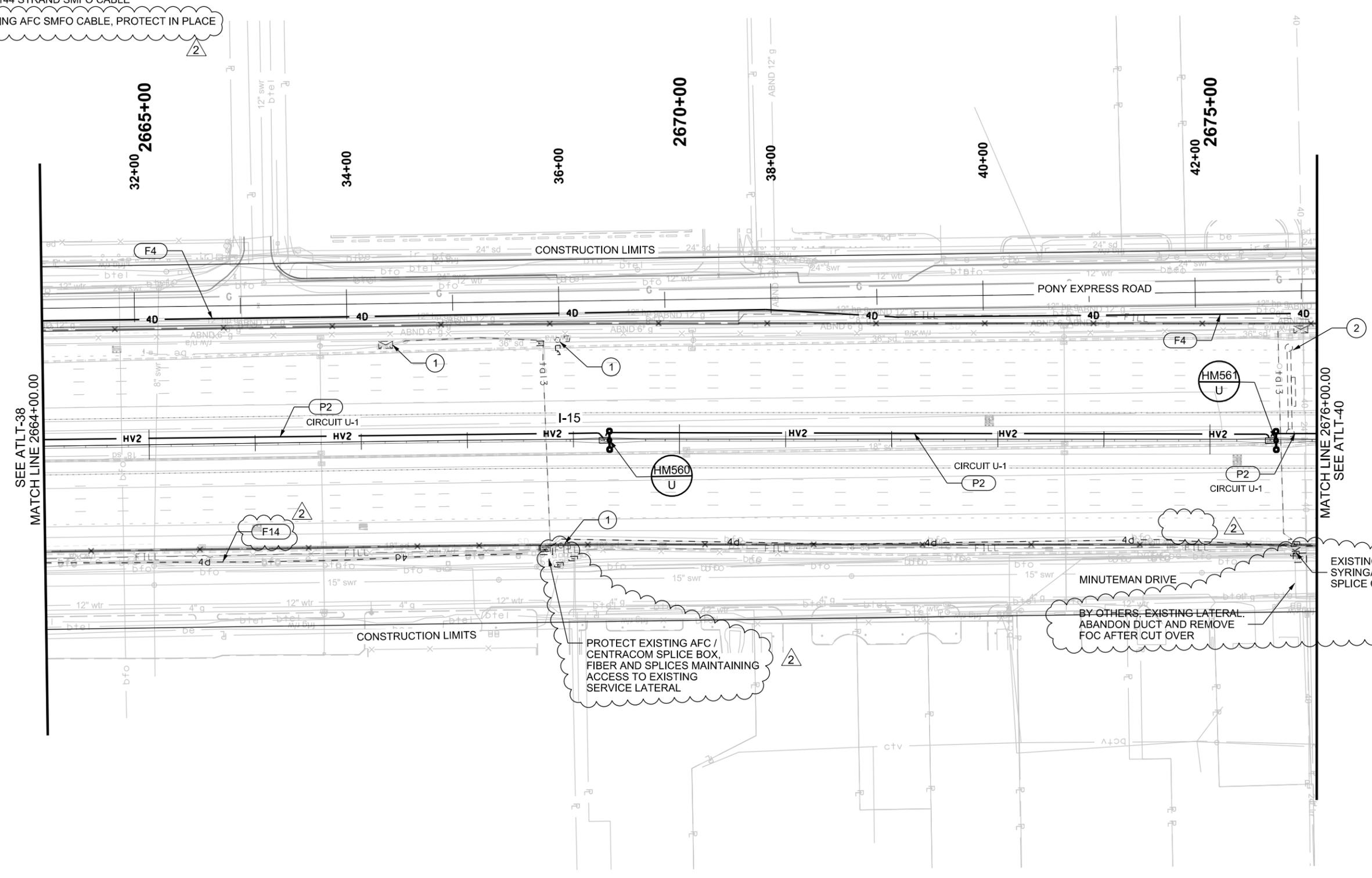
MATCH LINE STA 2664+00.00
SEE ATLT-39

UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	PROJECT NUMBER	S-ST99(192)
APPROVED	<i>[Signature]</i>	DATE	1/05/2016
DRAWN BY	MOA	DATE	1/05/2016
ATMS AND LIGHTING		1315 : UDOT Supplemental Agreement	

REVISIONS	TWT	DESCRIPTION
2	11/19/15	NDC183 SEGMENT 1 AFOSYRINGA REVISIONS
1	9/4/15	RFC SEGMENT 1 ATMS
C	7/13/14	100% SEGMENT 1 ATMS AND LIGHTING
B	6/9/15	70% SEGMENT 1 ATMS AND LIGHTING
A	7/28/14	30% PROJECT WIDE DESIGN

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - F4 NEW 144 STRAND SMFO CABLE
 - F14 EXISTING AFC SMFO CABLE, PROTECT IN PLACE

- POWER CABLES (PLACED IN CONDUIT AS SHOWN)**
- P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRE



- ① REMOVE EXISTING ATMS CABINET, POLE AND EQUIPMENT
- ② REMOVE EXISTING VMS SYSTEM

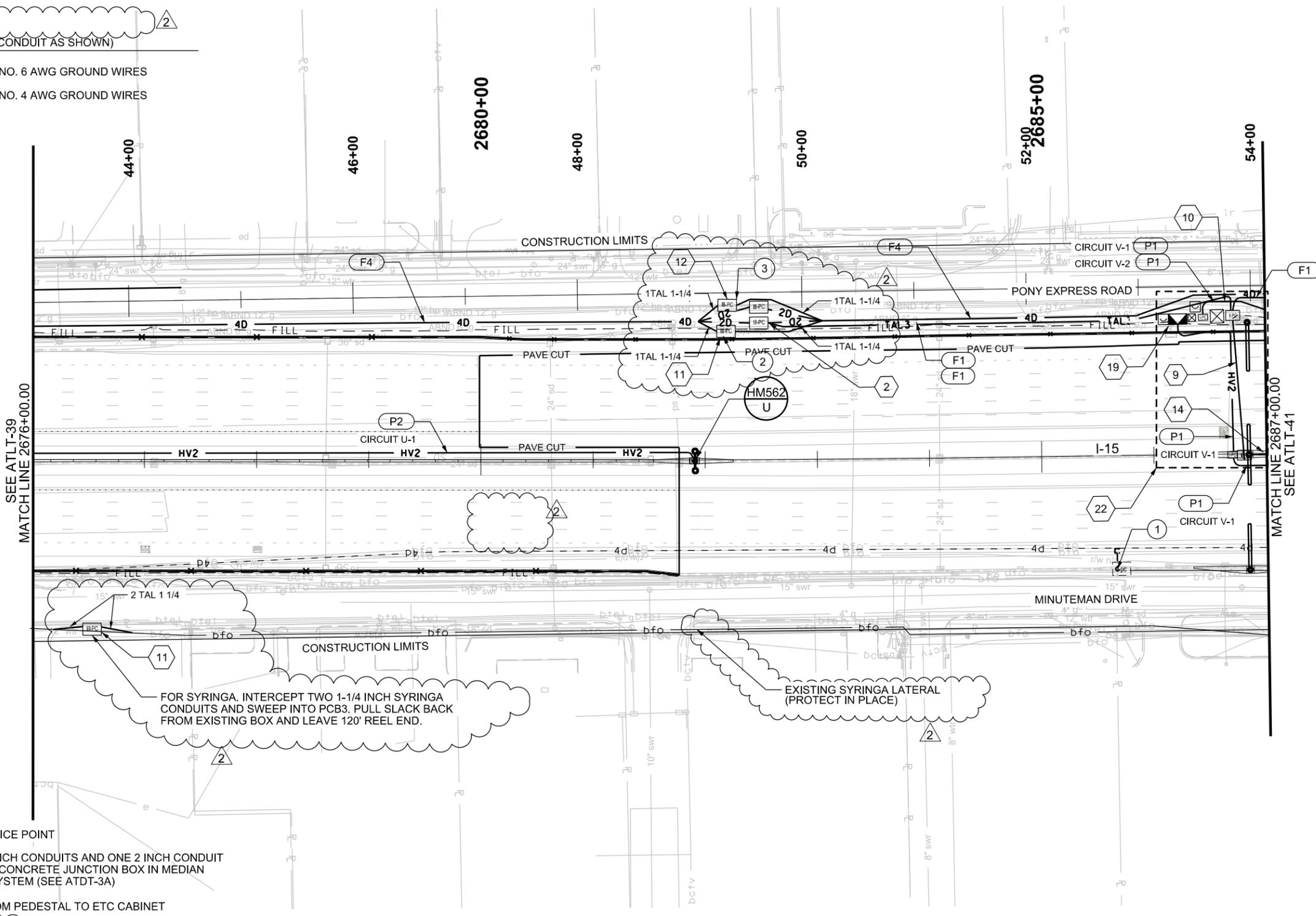
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	1/05/2016
	ATMS AND LIGHTING	DRAWN BY	MOA
		CHECKED BY	OC
REVISIONS			
NO.	DATE	DESCRIPTION	BY
2	11/19/15	NDC183 SEGMENT 1 AFCSYRINGA REVISIONS	TWT
1	9/4/15	RFC SEGMENT 1 ATMS AND LIGHTING	TWT
C	7/13/14	100% SEGMENT 1 ATMS AND LIGHTING	TWT
B	6/3/15	70% SEGMENT 1 ATMS AND LIGHTING	WTF
A	7/28/14	30% PROJECT WIDE DESIGN	ASB

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- (F1) NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - (F4) NEW 144 STRAND SMFO CABLE

POWER CABLES (PLACED IN CONDUIT AS SHOWN)

- (P1) 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
- (P2) 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES



- (2) PROPOSED RING SPLICE POINT
- (9) PROVIDE TWO 1 1/4 INCH CONDUITS AND ONE 2 INCH CONDUIT TO TYPE II POLYMER CONCRETE JUNCTION BOX IN MEDIAN BARRIER FOR ETC SYSTEM (SEE ATDT-3A)
- (10) POWER CIRCUIT FROM PEDESTAL TO ETC CABINET
- (11) PROVIDE SYRINGA PCB3.
- (12) PROVIDE AFC PCB3.
- (14) PROVIDE 150 FEET OF 1 1/2 INCH PVC CONDUIT IN MEDIAN BARRIER FOR TSI (SEE ATDT-3D)
- (19) PROVIDE AND INSTALL 15KV 120-480V 1P STEP UP TRANSFORMER WITH SUPPLEMENTAL DISCONNECT ON H-FRAME
- (22) ETC SYSTEM SEE SHEETS ATDT-3A TO 3D

- (1) REMOVE EXISTING LUMINAIRE AND WIRING
- (2) FOR SYRINGA. LEAVE 240 FT SLACK LOOP. FULL BACKBONE REPLACEMENT REQUIRED PRIOR TO ABANDONING FIBER IN THE EXISTING 4D CONDUIT.
- (3) FOR AFC. LEAVE 150 FT SLACK LOOP FOR STORAGE.

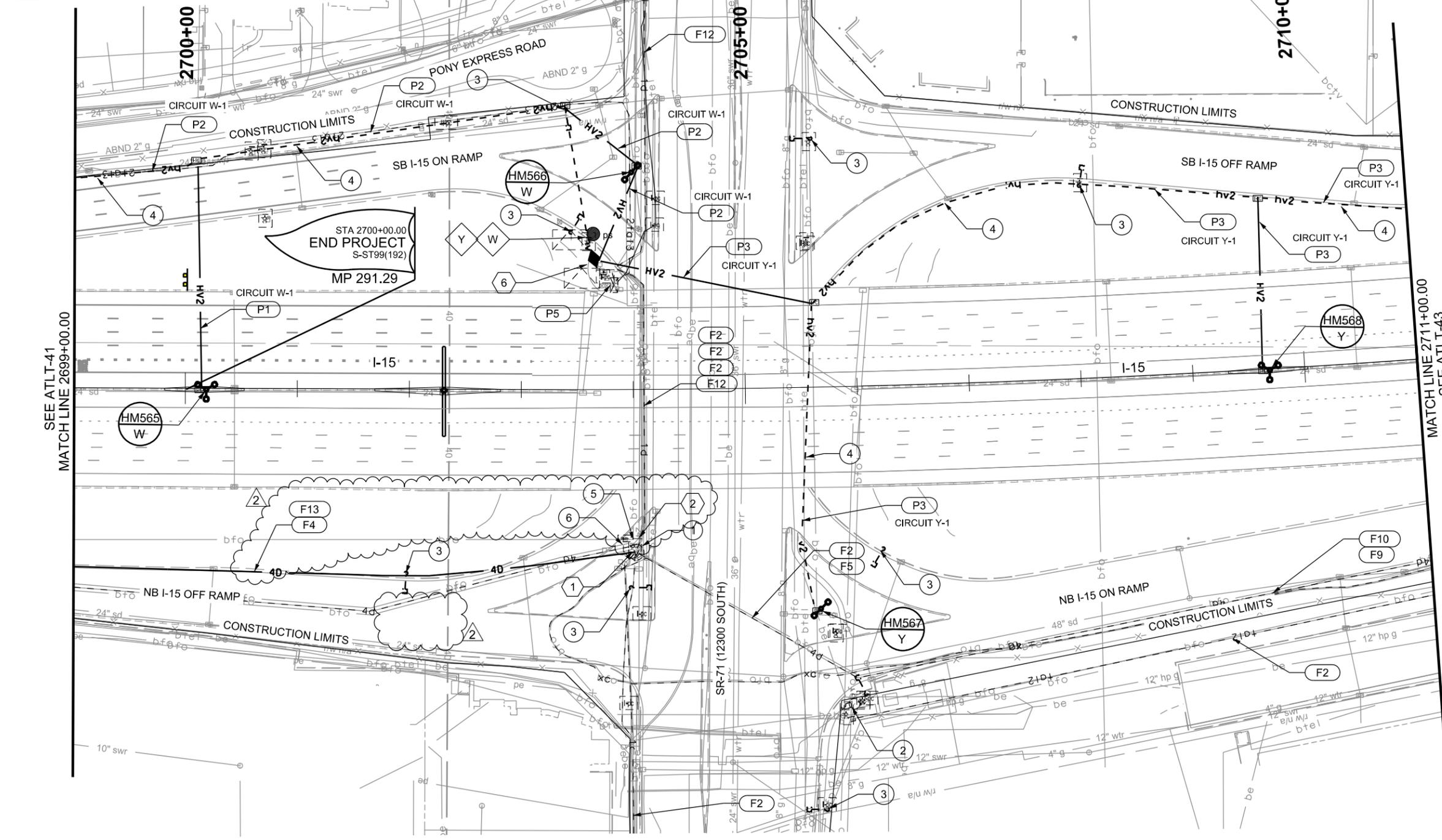
UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	<i>[Signature]</i>
PROJECT NUMBER	S-ST99(192)	DATE	1/05/2016
ATMS AND LIGHTING		DRAWN BY	MOA
		DATE	1/05/2016
		OC	
		REVISIONS	
		2	11/19/15 TWT NDC183 SEGMENT 1 AFC/SYRINGA REVISIONS
		1	9/4/15 TWT RFC SEGMENT 1 ATMS
		C	7/13/15 TWT 100% SEGMENT 1 ATMS AND LIGHTING
		B	6/3/15 WTF 70% SEGMENT 1 ATMS AND LIGHTING
		A	7/28/14 ASB 30% PROJECT WIDE DESIGN

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

- WIRE SCHEDULE**
- FIBER OPTIC CABLES**
- F1 NEW 6 STRAND PRE-TERMINATED DROP CABLE (ST CONNECTORS) WITH #14 AWG LOCATE WIRE
 - F2 EXISTING 6 STRAND SMFO CABLE, PROTECT IN PLACE
 - F3 EXISTING 72 STRAND SMFO CABLE, PROTECT IN PLACE
 - F4 NEW 144 STRAND SMFO CABLE
 - F5 EXISTING 96 STRAND SMFO CABLE, PROTECT IN PLACE

- F9 EXISTING 144 STRAND SMFO CABLE, PROTECT IN PLACE
- F10 EXISTING 280 STRAND SMFO CABLE, PROTECT IN PLACE
- F11 EXISTING 12 STRAND SMFO CABLE, PROTECT IN PLACE
- F12 EXISTING 24 STRAND SMFO CABLE, PROTECT IN PLACE
- F13 BY OTHERS. NEW 48 STRAND SMFO CABLE

- POWER CABLES (PLACED IN CONDUIT AS SHOWN)**
- P1 2 NO. 6 AWG AND 1 NO. 6 AWG GROUND WIRES
 - P2 2 NO. 4 AWG AND 1 NO. 4 AWG GROUND WIRES
 - P3 2 NO. 2 AWG AND 1 NO. 2 AWG GROUND WIRES
 - P5 Existing Power Conductors, (PROTECT IN PLACE)



- 1 PROPOSED BUTT SPLICE POINT
- 2 PROPOSED RING SPLICE POINT FOR SYRINGA
- 6 EXISTING 480V POWER SOURCE (PROTECT IN PLACE)

- Y POWER CIRCUIT IDENTIFICATION
- W POWER CIRCUIT IDENTIFICATION

- 1 EXISTING COMMUNICATIONS VAULT (PROTECT IN PLACE)
- 2 EXISTING CCTV (PROTECT IN PLACE)
- 3 REMOVE EXISTING LUMINAIRE AND WIRING
- 4 UTILIZE EXISTING CONDUIT
- 5 PLACE 120 FT SLACK LOOP FOR 144 BFO IN EXISTING BOX.
- 6 BY OTHERS. PLACE 120 FT SLACK LOOP FOR 48 BFO IN EXISTING BOX.



UTAH DEPARTMENT OF TRANSPORTATION		WILSON & COMPANY DESIGN	
PROJECT	I-15; SR-73 TO 12300 SOUTH WIDENING	APPROVED	
PROJECT NUMBER	S-ST99(192)	PROJECT NUMBER	10935
ATMS AND LIGHTING		DATE	1/05/2016
		DRAWN BY	MOA
		DATE	1/05/2016
		SCALE	ASB
		REVISIONS	
		2	11/19/15 NDC183 SEGMENT 1 AFO/SYRINGA REVISIONS
		1	9/6/15 TWT
		C	7/13/15 100% SEGMENT 1 ATMS AND LIGHTING
		B	6/3/15 70% SEGMENT 1 ATMS AND LIGHTING
		A	7/28/14 30% PROJECT WIDE DESIGN

Attachment: UDOT Supplemental Agreement (1315 : UDOT Supplemental Agreement)

EXHIBIT B: SCHEDULE

ID	Task Name	Duration	Start	Finish	Predecessors	2nd Quarter			3rd Quarter			4th Quarter			1st Quarter			2nd Quarter			3rd Quarter		
						Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep
102	American Fork City	423 days	Mon 4/6/15	Fri 8/26/16		[Yellow shaded bar]																	
103	City Incorporation into New ATMS Conduit	423 days	Mon 4/6/15	Fri 8/26/16		[Yellow shaded bar]																	
104	UDOT MOT Non Peak Traffic Control Coordination	423 days	Mon 4/6/15	Fri 8/26/16		[Yellow shaded bar]																	
105	UDOT Install Conduit and Boxes	393 days	Mon 4/6/15	Fri 7/15/16		[Yellow shaded bar]																	
106	City Install and Splice Fiber Optic Cable	35 days	Mon 7/18/16	Fri 8/26/16	105	[Yellow shaded bar]																	