

Chairman
ROBERT OLIVER

City Attorney
NICK SAMPINOS

Community Director
NICK TATTON

City Recorder
SHERRIE GORDON



Commission

JUDY BEACCO
NANCY BENTLEY
DALE EVANS
ROBERT OLIVER
RICHARD ROOT
FRANKIE SACCO
JAN YOUNG
ERROLL HOLT, ALT.
TODD THORNE, ALT.

PRICE CITY PLANNING COMMISSION

phone: (435) 636-3184 · Fax: (435) 637-2905

185 E. Main - P.O. Box 893

Price, Utah 84501

PLANNING AND ZONING AGENDA

04/11/2016

THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD THEIR REGULARLY SCHEDULED MEETING ON THE ABOVE DATE AT 6:00 PM IN THE PRICE CITY HALL COUNCIL CHAMBERS (ROOM 104). THE PLANNING AND ZONING COMMISSION CHAIRMAN RESERVES THE RIGHT TO MODIFY THE SEQUENCE OF AGENDA ITEMS IN ORDER TO FACILITATE SPECIAL NEEDS.

1. PLEDGE OF ALLEGIANCE
2. ROLL CALL
3. MINUTES OF January 25, 2016 -
4. PUBLIC COMMENT ON AGENDA ITEMS
5. GENERAL BUSINESS
 - a. PUBLIC HEARING - Public hearing to receive input on a minor 2 lot planned land subdivision at 205, 207 E 100 N within the Commercial 1 zoning district.
6. CONDITIONAL USE PERMIT
 - a. MINOR 2 LOT PLANNED UNIT LAND SUBDIVISION - Consideration and possible approval of a 2 lot planned land subdivision at 205, 207 E 100 N within the Commercial 1 zoning district.
 - b. SITE PLAN AMENDMENT - Consideration and possible approval of a site plan amendment to add a 2 lot minor planned subdivision at 205, 207 E 100 N within the Commercial 1 zoning district. (Mark Morley)
 - c. NEW AUTOMOBILE DEALERSHIP - Consideration and possible approval of a Conditional Use Permit (CUP) for a new automobile dealership located at 811 Westwood Blvd., Price Ford, Gust Kalatzes.
7. UNFINISHED BUSINESS

Note: In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should contact, City Recorder, Sherrie Gordon at 185 E. Main, Price, Utah - Telephone 636-3183 at least 24 hours prior to the meeting. This meeting may be held electronically via telephone to permit one or more of the council members to participate.

PRESENT:

Commissioners:

Nancy Bentley	Nick Tatton, Community Director
Judy Beacco	Sherrie Gordon, City Recorder
Dale Evans	
Robert Oliver	
Frankie Sacco	
Todd Thorne	
Jan Young	

EXCUSED: Commissioner Root

OTHERS PRESENT: Wayne Clausing, Miles Nelson, Steve Carlsen, and Dave Paur

1. Chairman Oliver called the meeting to order at 6:00 P.M. He led the Pledge of Allegiance.
2. Roll was called with the above Commissioners and staff present.
3. MINUTES OF January 11, 2016 -
MOTION. Commissioner Evans moved to approve the minutes of January 11, 2016 as presented. Motion seconded by Commissioner Young and carried.
4. PUBLIC COMMENT ON AGENDA ITEMS – No public comment was received on any of the items.
5. GENERAL BUSINESS –
 - a. PUBLIC HEARING - Public hearing to receive input on the proposed transfer of real property commonly referred to as the 'Girls Softball Field' located at approximately 650 N Cedar Hills Drive, adjacent to the Carbon High baseball field and Price City Terrace Hills Park, from Price City to the Carbon School District.
MOTION. Commissioner Evans moved to open the public hearing at 6:03 p.m. Motion seconded by Commissioner Bentley and carried.

No public comment was made by anyone in attendance. Nick Tatton informed the Commission that no comments were received from the public by staff in advance of the meeting. Superintendent Carlsen provided a short overview of the upcoming improvement project to the facilities planned by the School District. A brief discussion was also held regarding the ongoing scheduling and maintenance at the field.

MOTION. Commissioner Bentley moved to close the public hearing at 6:08 p.m. Motion seconded by Commissioner Sacco and motion carried.
 - b. RESOLUTION NO. 2016-04PZ - Consideration and possible approval of a resolution recommending the transfer of the real property commonly known as the 'girls softball field' located at approximately 650 N Cedar Hills Dr., adjacent to the Carbon High School baseball field and Price City Terrace Hills Park, currently owned by Price City to the Carbon School District.
MOTION. Commissioner Sacco moved to approve Resolution No. 2016-04PZ. Motion seconded by Commissioner Beacco and carried.
6. UNFINISHED BUSINESS

Meeting adjourned at 6:12 p.m. pursuant to a motion by Commissioner Bentley. Motion seconded by Commissioner Evans and carried.

APPROVED: _____
Chairman, Robert Oliver

ATTEST: _____
City Recorder, Sherrie Gordon

MINOR 2 LOT PLANNED LAND SUBDIVISION

THE PRICE CITY PLANNING AND ZONING COMMISSION WILL HOLD A PUBLIC HEARING TO RECEIVE INPUT REGARDING A MINOR 2 LOT PLANNED LAND SUBDIVISION LOCATED AT 205, 207 E 100 N WITHIN THE COMMERCIAL 1 ZONING DISTRICT ON MONDAY, APRIL 11, 2016 AT 6:00PM IN THE PRICE CITY COUNCIL CHAMBERS LOCATED AT 185 EAST MAIN STREET. COMMENTS PROVIDED IN ADVANCE OF THE MEETING MAY BE MADE TO NICK TATTON AT 636-3184; ALL COMMENTS RECEIVED WILL BE PROVIDED TO THE PLANNING COMMISSION.

THE PRICE CITY COUNCIL WILL HOLD A PUBLIC HEARING TO RECEIVE INPUT REGARDING A MINOR 2 LOT PLANNED LAND SUBDIVISION LOCATED AT 205, 207 E 100 N WITHIN THE COMMERCIAL 1 ZONING DISTRICT ON WEDNESDAY, APRIL 13, 2016 AT 6:00PM IN THE PRICE CITY COUNCIL CHAMBERS LOCATED AT 185 EAST MAIN STREET. COMMENTS PROVIDED IN ADVANCE OF THE MEETING MAY BE MADE TO NICK TATTON AT 636-3184; ALL COMMENTS RECEIVED WILL BE PROVIDED TO THE CITY COUNCIL.

PUBLISHED IN THE SUN ADVOCATE MARCH 31 AND APRIL 5, 2016

Fee: \$300⁰⁰



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
- New Construction/Development** (Check all applicable boxes below and complete entire application)
 - Plan Phase:
 - Concept
 - Preliminary
 - Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: <u>100 NORTH HOLDINGS, LLC</u>		2. Title:	
3. Applicant's Mailing Address: <u>PO BOX 456</u>		4. Suite/Apt. No.:	
5. City: <u>PRICE</u>	6. State: <u>UT</u>	7. Zip Code: <u>84501</u>	
8. County:		9. Telephone: (801) <u>722 9041</u>	
Project Information			
10. Name of Project (Business): <u>100 NORTH OFFICE</u>			
11. Address of Proposed Project: <u>205 E 100 N, 207 E 100 N</u>			
12. Zone District (see attached zoning map):			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input type="checkbox"/> Building <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ <u>30,000</u> b) Buildings \$ <u>200,000</u> c) Other \$ _____ Total \$ <u>230,000</u>		22. Electrical Load Sheet: (Attach preliminary and final to application)	
		23. Project Plans: <input checked="" type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____	

24. Brief Description of Project:

BUILD 2 OFFICE SUITES, WHICH COULD BE SOLD INDEPENDENTLY

25. Justification (Explain why this project is needed):

THIS CORNER WAS PREVIOUSLY A RUN DOWN AREA AND CAUSES A POOR APPEARANCE ON THE CITY. NEW CONSTRUCTION ON THE CORNER WILL HELP THE 100 N CORRIDOR

26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. 100 NORTH HOLDINGS, LLC	130 N 200 E PRICE UT 84501	(801) 722-9041
2. DARLENE HARVEL		(435) 650-8557
3.		()

27. Estimated Starting Date:

4 / 15 / 16

28. Estimated Completion Date:

8 / 15 / 16

29. Has P.R.W.I.D. Sewer Survey Been Submitted? Yes No

Signature of Property Owner: MARK MORLEY Date: 3/8/16

Please Print Name: MARK MORLEY Title: MANAGER

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

- Approve
- Decline

Comments: PUD Land Subdivision 11.3.11.3 & 11.3.11.1
eval criteria 11.1 & 11.1.4

Signature: [Signature] Date: 3-8-16

Requires:

- Building Permit - For Const
- Conditional Use Permit
- Code Amendment
- Board of Adjustments Variance
- Flood Plain Development Permit
- Other: Recorded Plat w/ county recorders office.

100 NORTH OFFICES 2 Lot

14602
100 NORTH
HOLDINGS, LLC



100 EAST

100 NORTH

SOUTHWEST CORNER, SECTION 14, T.14S., R.18E., S.14M.2A

SEPT 20 2016
11:11:14
BASIS OF BEARING
N89°30'46"W

N89°30'46"W 115.77'
N89°30'46"E 115.77'



- LEGEND**
- PROPERTY BOUNDARY
 - - - PARCEL LINE
 - - - SECTION LINE
 - - - FENCE
 - ◆ FOUND MONUMENT
 - SET MONUMENT
 - ▨ COMMON AREAS
 - ▧ PRIVATE OWNERSHIP SUITE 100
 - ▩ PRIVATE OWNERSHIP SUITE 200

NARRATIVE

OF THE SURVEY IS TO BEYOND THE PUBLIC RECORDS, PRIVATE OWNERSHIP AREAS, THE LANDS ADJACENT TO THE WEST AND SOUTH AND COMMON INTERIOR WALLS. THE SURVEYING USER FOR THIS SURVEY IS NOT AWARE OF ANY OTHER SURVEYS OR RECORDS THAT MAY AFFECT THE SURVEYED PROPERTY. THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY. THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY. THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY.

CERTIFICATE OF SURVEY

THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY. THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY. THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY.

BOUNDARY DESCRIPTION

BEARING AT THE SOUTHWEST CORNER OF THE EAST 1/4 SECTION 14, T.14S., R.18E., S.14M.2A, THE SURVEYING USER HAS REVIEWED THE SURVEY RECORDS AND HAS FOUND NO RECORDS THAT AFFECT THE SURVEYED PROPERTY.

DATE _____

OWNER'S DEDICATION

THE ADJACENT TRACT OF LAND, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, STREETS AND EASEMENTS TO BE HEREAFTER KNOWN AS THE: **100 NORTH OFFICES**

AND TO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAN AS INTENDED FOR PUBLIC USE.

ACKNOWLEDGMENT

STATE OF ILLINOIS
COUNTY OF CARBON, ILL.
ON THE _____ DAY OF _____, 2016, PERSONALLY APPEARED BEFORE ME THE SIGNED OF THE FOREGOING DEDICATION WHO DO ACKNOWLEDGE TO ME THAT HE IS THE OWNER OF THE SAID PARCEL.

100 NORTH OFFICES
CONTAINS 2 UNITS AND OTHER AREAS
FOR THE CITY OF CARBON, ILLINOIS

WARE SURVEYING, L.L.C.
1014 North 100th Street
P.O. Box 1400
Carbondale, IL 62901
Phone: 618-529-1111
Fax: 618-529-1112

DEPARTMENT

NICE TAYLOR

Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
GARY SONNTAG



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www.pricacityutah.com

**Planning & Zoning
Commissioners**

ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT
JAN YOUNG
ALTERNATE: ERROLL HOLT

Price City Planning & Zoning Commission

DATE: JULY 29, 2015
TO: PRICE CITY PLANNING & ZONING COMMISSION
FROM: NICK TATTON, PRICE CITY 
RE: CUP - AMENDMENT

Please find attached an application and information for amendment of an existing Conditional Use Permit (CUP). The existing CUP is for Bedtime Stories Daycare located at the corner of 100 N and 200 E within the Commercial 1 (C-1) zoning district and was issued on September 28, 2015. The original CUP was issued with a condition that indicated any additional buildings on the site require consideration, review and amendment of the CUP. The site plan 'reserved' space for a small office building and that building is now ready for development, hence, the CUP amendment.

Address assignments are: front office – 205 E 100 N, rear office 207 E 100 N.

It is the recommendation of staff to review the site plan, parking area, and land use impacts with the applicant and then recommend the Price City Council approve the proposed site plan amendment.

RECOMMENDED MOTION(S):

1. Move to recommend the Price City Council provide final approval for a Conditional Use Permit (CUP) amendment to locate approximately 1,308 square feet of office space to the site at 100 N 200 E as previously considered under the Bedtime Stories CUP on September 28, 2015, within the Commercial 1 (C-1) zoning district, based on the conditional land use of Commercial Development within the C-1 zoning district listed in Section 11.3.11.5.1 of the Price City Land Use Management and Development Code (Code) and the permitted land use of Professional Offices listed in Section 11.3.5.1 of the (Code), the general evaluation criteria in Section 11.1 of the Code, the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, and subject to the following conditions of approval:
 - a. Apply for and receive approval by Price City of a planned development land subdivision, per Section(s) 11.3.11.3 and 11.3.11.1 of the Code finding that subdividing the office space(s) from the main lot as a planned development is necessary to accommodate perpetual use of the properties.

- b. Approve both front yard setbacks as indicated on the site plan finding that adequate public safety and sight distances are present.
 - c. Provide signage to indicate “Enter Only” on 100 North ingress/egress to parking lot and “Exit Only” on 200 East ingress/egress to parking lot finding that controlled parking lot and traffic circulation mitigates the potential for vehicle and pedestrian accidents in the vicinity of the development.
 - d. Install a minimum of 5% landscaping as required in the Code on and around the development to include the parking strips in the public-right-of-way finding that landscaping increases the community aesthetic and increases potential for commercial activity and is consistent with the Goals in the Price City General Plan.
 - i. All landscaping to be water wise.
 - ii. Parking strip landscaping treatments to be consistent with height, tree type, etc. within the Price City policies and Codes.
 - e. Completion of a public infrastructure development agreement, if required, with the Price City Public Works Department finding that properly agreed to and financially secured public infrastructure protects the long term financial interest of the community.
 - i. Each office to have separate utility connections. Water and sewer connections to be made to 200 East and coordinated with the Price City Water and Sewer Department. Electric connections to be placed and coordinated with the Price City Electric Department.
 - f. Complete and record in the permanent land records, with the Carbon County Recorder, a deed restriction and covenant that indicates the parking lot area is a common area and cannot be restricted from use by any adjoining property owner or business owner finding that documented and recorded restrictions reduce the potential for misunderstandings regarding land use requirements in the future.
 - i. Off street parking to have a minimum of 5 parking spaces for the office buildings based on Section 6.4.2 of the Code. $(1,868 \text{ sq. ft.} \times .7 \text{ usable sq ft} / 300 \text{ feet per space} = 4.3, \text{ rounded up to } 5)$.
 - g. Install outside parking lot and area lighting finding that properly lit parking and outdoor areas protect the health safety and welfare of the community.
 - i. Lighting to be high efficiency LED fixtures.
 - ii. Lighting to be shielded, angled, on times such that it does not transfer to adjoining residential properties.
 - h. Installation of signage only upon review and approval of business signage by the Price City Planning Department finding that properly reviewed and approved signage promotes consistency in signage and increased commercial activity in the community.
 - i. Maintenance of a garbage dumpster on the North side of the daycare building as presented to planning department staff in a size and service frequency to serve the daycare building and both office buildings finding that properly placed, sized and serviced garbage facilities prevent the scatter of garbage, rubbish and debris in the community.
 - j. No conditions as the property or structures that violation the Price City Property Maintenance Code finding that properly maintained structures and property protect area property values.
2. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.

Fee: \$100.00



CONDITIONAL USE PERMIT APPLICATION

Send all completed and properly signed forms (including attachments as necessary) along with applicable fees to: Price City Community Development Department, P.O. Box 893, 185 East Main, Price, UT 84501. For questions call (435) 636-3184.

Please check one.

- New Business** (Complete boxes 1 through 13 on page 1, and all subsequent pages)
- New Construction/Development** (Check all applicable boxes below and complete entire application)
 - Plan Phase:
 - Concept
 - Preliminary
 - Final

PLEASE TYPE OR PRINT LEGIBLY.

Applicant Information			
1. Applicant's Name: <u>100 NORTH HOLDINGS, LLC</u>		2. Title:	
3. Applicant's Mailing Address: <u>PO BOX 456</u>		4. Suite/Apt. No.:	
5. City: <u>PRICE</u>	6. State: <u>UT</u>	7. Zip Code: <u>84501</u>	
8. County:		9. Telephone: <u>(801) 722 9091</u>	
Project Information			
10. Name of Project (Business): <u>100 NORTH OFFICE</u>			
11. Address of Proposed Project: <u>205 E 100 N ; 207 E 100 N</u>			
12. Zone District (see attached zoning map):			
Nature of Proposed Work (Check all applicable items in boxes 13 through 16)			
13. <input type="checkbox"/> Sign <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential	14. <input type="checkbox"/> Zone Change <input type="checkbox"/> Storm Drainage <input type="checkbox"/> Street Work <input type="checkbox"/> Road Dedication <input type="checkbox"/> Water <input type="checkbox"/> Sewer	15. <input type="checkbox"/> Excavation <input type="checkbox"/> Fill Work <input type="checkbox"/> Building <input type="checkbox"/> Subdivision <input type="checkbox"/> Apartments <input type="checkbox"/> Electrical	16. <input type="checkbox"/> Industrial <input type="checkbox"/> Annexation <input type="checkbox"/> Flood Plain <input type="checkbox"/> Recreation <input type="checkbox"/> Street Opening <input type="checkbox"/> Demolition
17. Quarter Section(s):	18. Section(s):	19. Township(s):	20. Range(s) & Base:
21. Estimated Cost of Project: a) Site Work \$ _____ b) Buildings \$ _____ c) Other \$ _____ Total \$ _____		22. Electrical Load Sheet: (Attach preliminary and final to application)	
23. Project Plans: <input type="checkbox"/> Plans Included <input type="checkbox"/> Attachments (Number) _____			

24. Brief Description of Project:

SITE PLAN AMENDMENT FOR THE CORNER
(NORTH EAST) OF 100 N AND 200 E.

25. Justification (Explain why this project is needed):

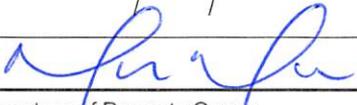
26. Names and Addresses of Adjoining Property Owners, Lessees, Etc.:

NAME	ADDRESS (City, ST, Zip)	TELEPHONE
1. 100 NORTH HOLDINGS, LLC	PO Box 456 PRUE VT 84501	(801) 722 7041
2. DARLENE HARVEL		(435) 650 8557
3.		()

27. Estimated Starting Date:

28. Estimated Completion Date:

29. Has P.R.W.I.D. Sewer Survey
Been Submitted? Yes No


Signature of Property Owner

3/8/16
Date

MARK MORLEY
Please Print Name

MR
Title

Office Use Only

Recommendation of Planning and Zoning Administrator (Community Director):

- Approve
- Decline

C1 Zone

Comments: - Site Plan amendment - office bldgs.
- eval. criteria = 11.1 & 11.1.m of the code.
- 11.3.5.1 = professional offices

Signature: 

Date: 3-8-16

Requires:

- Building Permit for construction
- Conditional Use Permit - Amendment
- Code Amendment
- Board of Adjustments Variance
- Flood Plain Development Permit
- Other: utility connections plan

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR A SITE PLAN AMENDMENT AT 205 AND 207 EAST 100 NORTH WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and **MARK MORLEY**, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with **MARK MORLEY**.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and **MARK MORLEY**, (Applicant), for the property located at **205 AND 207 EAST 100 NORTH**.

Term: the term of this agreement commences on **April 11th, 2016** and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Apply for and receive approval by Price City of a planned development land subdivision, per Section(s) 11.3.11.3 and 11.3.11.1 of the Code finding that subdividing the office space(s) from the main lot as a planned development is necessary to accommodate perpetual use of the properties.
- Provide signage to indicate “Enter Only” on 100 North ingress/egress to parking lot and “Exit Only” on 200 East ingress/egress to parking lot finding that controlled parking lot and traffic circulation mitigates the potential for vehicle and pedestrian accidents in the vicinity of the development.
- Install a minimum of 5% landscaping as required in the Code on and around the development to include the parking strips in the public-right-of-way finding that landscaping increases the community aesthetic and increases potential for commercial activity and is consistent with the Goals in the Price City General Plan. All landscaping to be water wise.
- Parking strip landscaping treatments to be consistent with height, tree type, etc. within the Price City policies/Codes.
- Completion of a public infrastructure development agreement, if required, with the City Public Works Department finding that agreed to and financially secured public infrastructure protects the long term financial interest of the community.
- Each office to have separate utility connections. Water and sewer connections to be made to 200 East and coordinated with the City Water and Sewer Department. Electric connections to be placed and coordinated with the City Electric Department.
- Complete and record in the permanent land records, with the Carbon County Recorder, a deed restriction and covenant that indicates the parking lot area is a common area and cannot be restricted from use by any adjoining property owner or business owner finding that documented and recorded restrictions reduce the potential for misunderstandings regarding land use requirements in the future. Off street parking to have a minimum of 5 parking spaces for the office buildings based on Section 6.4.2 of the Code. (1,868 sq. ft. x .7 usable sq ft / 300 feet per space = 4.3, rounded up to 5).
- Install outside parking lot and area lighting finding that properly lit parking and outdoor areas protect the health safety and welfare of the community. Lighting to be high efficiency LED fixtures. Lighting to be shielded, angled, on times such that it does not transfer to adjoining residential properties.
- Installation of business signage only upon review and approval City Planning Department finding that properly reviewed and approved signage promotes consistency in signage and increased commercial activity in the community.
- Maintain a garbage dumpster on the North side of the daycare building as presented to planning staff in a size and service frequency to serve the daycare building and both office buildings finding that properly placed, sized and serviced garbage facilities prevent the scatter of garbage, rubbish and debris in the community.
- No conditions as the property or structures that violation the Price City Property Maintenance Code finding that properly maintained structures and property protect area property values.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS _____ DAY OF _____, 20____.

Price City

Applicant:

By Nick Tatton, Community Director

MARK MORLEY

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: SITE PLAN AMENDMENT FOR
THE ADDITION OF A PROFESSIONAL OFFICE
BUILDING LOCATED AT 205 & 207 EAST 100
NORTH, WITHIN THE COMMERCIAL 1 (C-1)
ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____

Mayor
JOE L PICCOLO
City Attorney
NICK SAMPINOS
Community Director
NICK TATTON
City Recorder
SHERRIE GORDON
Public Works Director
MILES NELSON



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**Planning & Zoning
Commissioners**

ROBERT OLIVER, CHAIR
FRANKIE SACCO, VICE CHAIR
JUDY BEACCO
DALE EVANS
NANCY BENTLEY
RICHARD ROOT
JAN YOUNG
ALTERNATE: TODD THORNE
ALTERNATE: ERROLL HOLT

Price City Planning & Zoning Commission

DATE: MARCH 24, 2016
TO: PRICE CITY PLANNING & ZONING COMMISSION
FROM: NICK TATTON, PRICE CITY 
RE: CUP - AUTOMOBILE DEALERSHIP

Please find attached information for final approval of a Conditional Use Permit (CUP) for final approval of for a new automobile dealership. The address assigned for the new dealership is 811 Westwood Blvd. and is located within the Commercial 1 (C-1) zoning district. The general land use evaluation criteria is in Section 11.1 of the Price City Land Use Management and Development Code (Code), the specific land use evaluation criteria/land use checklist is in Section 11.1.m of the Code. The land use(s) are: (1) auto parts, non-mechanical repair location – a permitted use, Section 11.3.4.1.5 of the Code; (2) motor vehicle dealers – a permitted use, Section 11.3.4.35 of the Code; (3) tires, batteries and accessory – a permitted use, Section 11.3.4.41 of the Code; and, (4) automobile repair services – a conditional use, Section 11.3.5.6. The land development is a conditional use based on Section 11.3.11.5.1, various commercial.

It is the recommendation of staff to review the site plan with the applicant to a significant level of detail to fully understand the site plan elements and then, upon completion of the review, recommend the Price City Council provide final approval of the site plan.

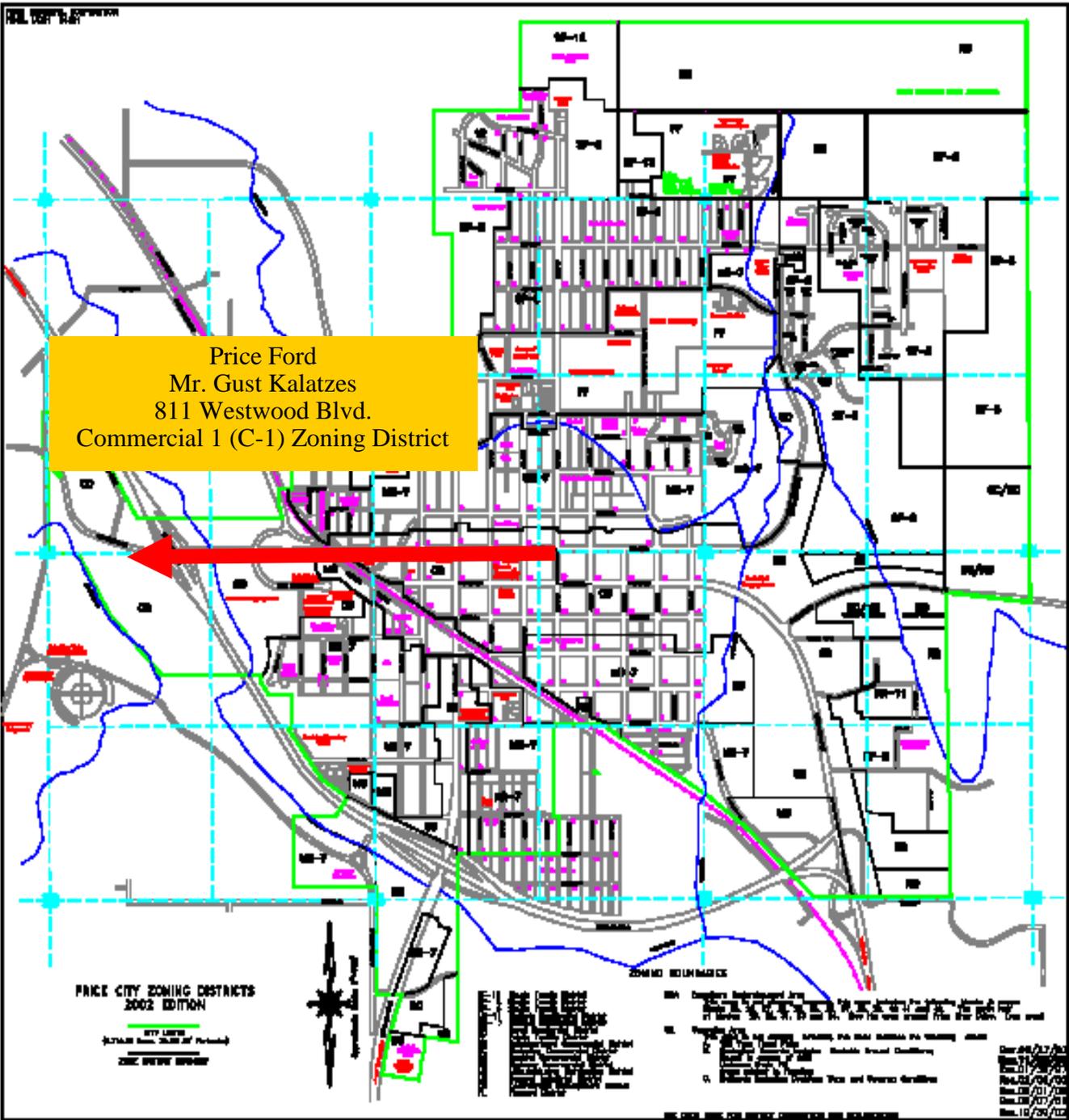
RECOMMENDED MOTION(S):

1. Move to recommend the Price City Council provide final approval for a Conditional Use Permit (CUP) to locate an automobile dealership and related land uses at 811 Westwood Blvd. within the Commercial 1 (C-1) zoning district, based on the land use(s) of (1) auto parts, non-mechanical repair location – a permitted use, Section 11.3.4.1.5 of the Price City Land Use Management and Development Code (Code); (2) motor vehicle dealers – a permitted use, Section 11.3.4.35 of the Code; (3) tires, batteries and accessory – a permitted use, Section 11.3.4.41 of the Code; and, (4) automobile repair services – a conditional use, Section 11.3.5.6., the conditional Commercial Development within the C-1 zoning district listed in Section 11.3.11.5.1 of the Code, the general evaluation criteria in Section 11.1 of the Code, the specific land use evaluation criteria/land use checklist in Section 11.1.m of the Code, and subject to the following conditions of approval:
 - a. Site plan to be developed consistent with all plans and documents submitted to Price City, communications and direction from Price City officials and staff and

pre-application meetings finding that development consistent with reviewed, submitted and approved plans mitigates potential development problems and reduces the occurrence of misunderstandings.

- i. Install exterior building, parking lot and area lighting as high efficiency LED fixtures. Public street lighting installations to be installed to minimum Price City standard and be LED fixture with photo cell.
 - ii. Water utility connection to site to be coordinated with the Price City Water Department for sizing, locations, metering.
 1. Service line to building connection to 10" line.
 2. Fire line, as required, to building placed as directed by the Price City Fire Chief.
 3. Landscape irrigation water service to be installed with backflow prevention per Price City minimum standard installation.
 - iii. Sewer utility connection to site to be coordinated with the Price City Sewer Department for sizing and location(s).
 1. Connection to 800 West and/or Westwood Blvd.
 2. Completion and submission of a PRWID Waste Water Survey.
 3. Installation of sampling manhole(s) and grease trap required per PRWID specifications.
 - iv. Electric utility connection to be coordinated with the Price City Electric Department.
 1. Service to come from the west near the Tesla Supercharger station.
 2. Install ground sleeve at roadway.
 3. Provide electrical load sheet to Price City Electric Department.
 - v. Landscaping to be installed as indicated and exceeding the 5% Price City minimum landscaping, and as indicated on plans at 18.9%.
 1. All landscaping installed to be water wise.
 2. Landscape irrigation water service to be installed with backflow prevention per Price City minimum standard installation.
 3. Parking strip landscaping treatments to be consistent with height, tree type, etc. within the Price City policies and Codes.
 - vi. Parking stalls to meet minimum Code requirements for quantity and stall size. Minimum of 204 parking stalls required, as indicated on plans.
 - vii. Other development items:
 1. Curb, gutter and sidewalk installations as indicated and under the direction of the Price City Engineer.
 2. Asphalt restoration and paint striping of Westwood Blvd. under the direction of the Price City Engineer.
 3. UDOT approval and UDOT requirements complied with for crosswalk at eastbound SR-6 ramp.
- b. Final business signage to be submitted and reviewed by the Price City Planning Department prior to installation finding that properly reviewed and approved business signage promotes increased commercial activity, community signage consistency and is consistent with the Price City General Plan.
- c. Completion of a public infrastructure development agreement with the Price City Public Works Department and submission of the required financial surety finding that properly agreed and financially secured public infrastructure development promotes high-quality long-term infrastructure.

- d. Completion of a private utility agreement with the Price City Public Works Department finding that properly agreed to and maintained private water systems that connect to the public system protect the health, safety and welfare of the community.
 - e. Procurement of a Price City Building Permit and construction of the structures under the auspices of said permit finding that properly reviewed and inspected construction protects the health, safety and welfare of the community.
 - f. Provision to Price City of copies of all State or Federal permits required, if any, for development and construction of the project finding that properly permitted projects prevent misunderstandings and development delays.
 - g. Development consistent with the storm water management plan submitted and compliance with all storm water management direction received from the Price City Engineer finding that properly controlled storm water mitigates flooding and property damage.
 - i. Storm water management plan to address a 100 year storm event.
 - ii. Provide maintenance to adjacent drainage to prevent flooding, erosion or blockages.
 - iii. Submission of an elevation certificate to the Price City engineer indicating the development is above the flood zone.
 - h. Development consistent with the geotechnical plan submitted and compliance with all geotechnical development direction received from the Price City Engineer finding that development consistent with approved geotechnical plans mitigates potential development failures.
 - i. Obtain, submit and record any encroachments, easement or rights-of-way necessary to complete the development consistent with the submitted plans finding that properly planned and documented encroachments, easement or rights-of-way mitigate future access misunderstandings.
 - i. Obtain UDOT encroachment permit to conduct work in the UDOT right of way and UDOT approval of infrastructure installed in the UDOT right of way.
 - ii. Relocate and install UDOT right of way fence along east boundary as required, if required.
 - j. Future travel/visitor center pre-approved at location indicated on site plan finding that the overall site is conducive to and convenient for the location of a travel/visitor center.
 - i. Utility service line stubs to be made such that future street openings may not be required.
 - ii. Price City building permit required at the time of construction.
 - iii. Use or development other than a travel/visitor center not pre-approved.
 - k. No conditions as the property or structures that violation the Price City Property Maintenance Code finding that properly maintained structures and property protect area property values.
2. Move to acknowledge that the applicant, applicants agents and representatives, are aware of the conditions of approval, understand the conditions of approval and intend to comply with the conditions of approval.



WESTWOOD BLVD.

PARKING TABLE	
PARTICULARS	NO. OF STALL
REGULAR	201
ADA	3
TOTAL	204

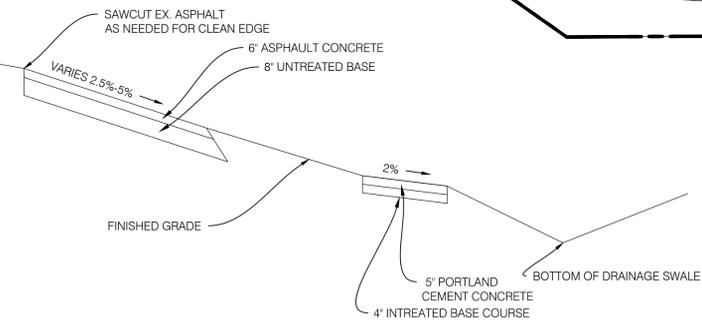
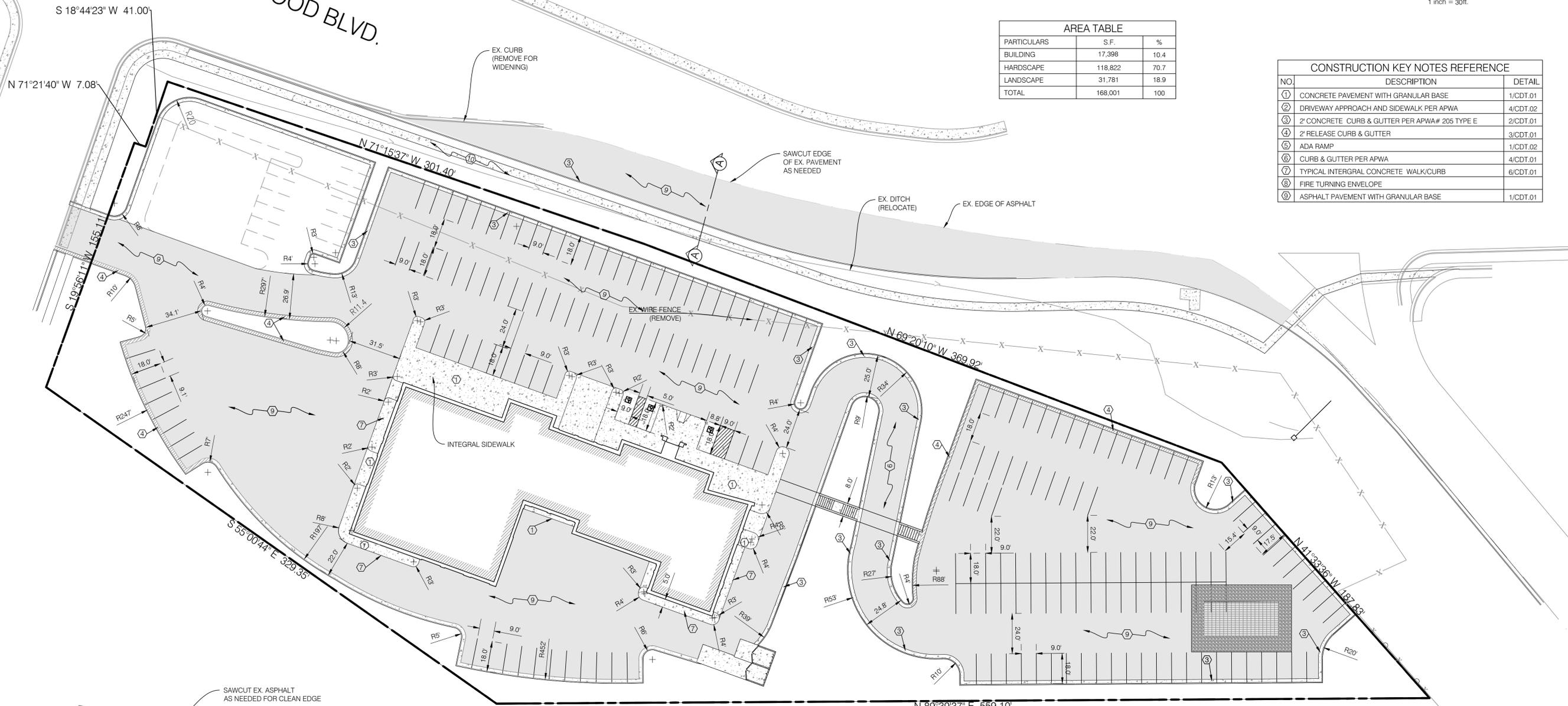


GRAPHIC SCALE

(IN FEET)
1 inch = 30ft.

AREA TABLE		
PARTICULARS	S.F.	%
BUILDING	17,398	10.4
HARDSCAPE	118,822	70.7
LANDSCAPE	31,781	18.9
TOTAL	168,001	100

CONSTRUCTION KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	CONCRETE PAVEMENT WITH GRANULAR BASE	1/CDT.01
②	DRIVEWAY APPROACH AND SIDEWALK PER APWA	4/CDT.02
③	2" CONCRETE CURB & GUTTER PER APWA# 205 TYPE E	2/CDT.01
④	2" RELEASE CURB & GUTTER	3/CDT.01
⑤	ADA RAMP	1/CDT.02
⑥	CURB & GUTTER PER APWA	4/CDT.01
⑦	TYPICAL INTEGRAL CONCRETE WALK/CURB	6/CDT.01
⑧	FIRE TURNING ENVELOPE	
⑨	ASPHALT PAVEMENT WITH GRANULAR BASE	1/CDT.01



TYPICAL CROSS SECTION A-A
SCALE: N.T.S.

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NO.	DATE	DESCRIPTION
1	12/30/15	ISSUED FOR PERMIT



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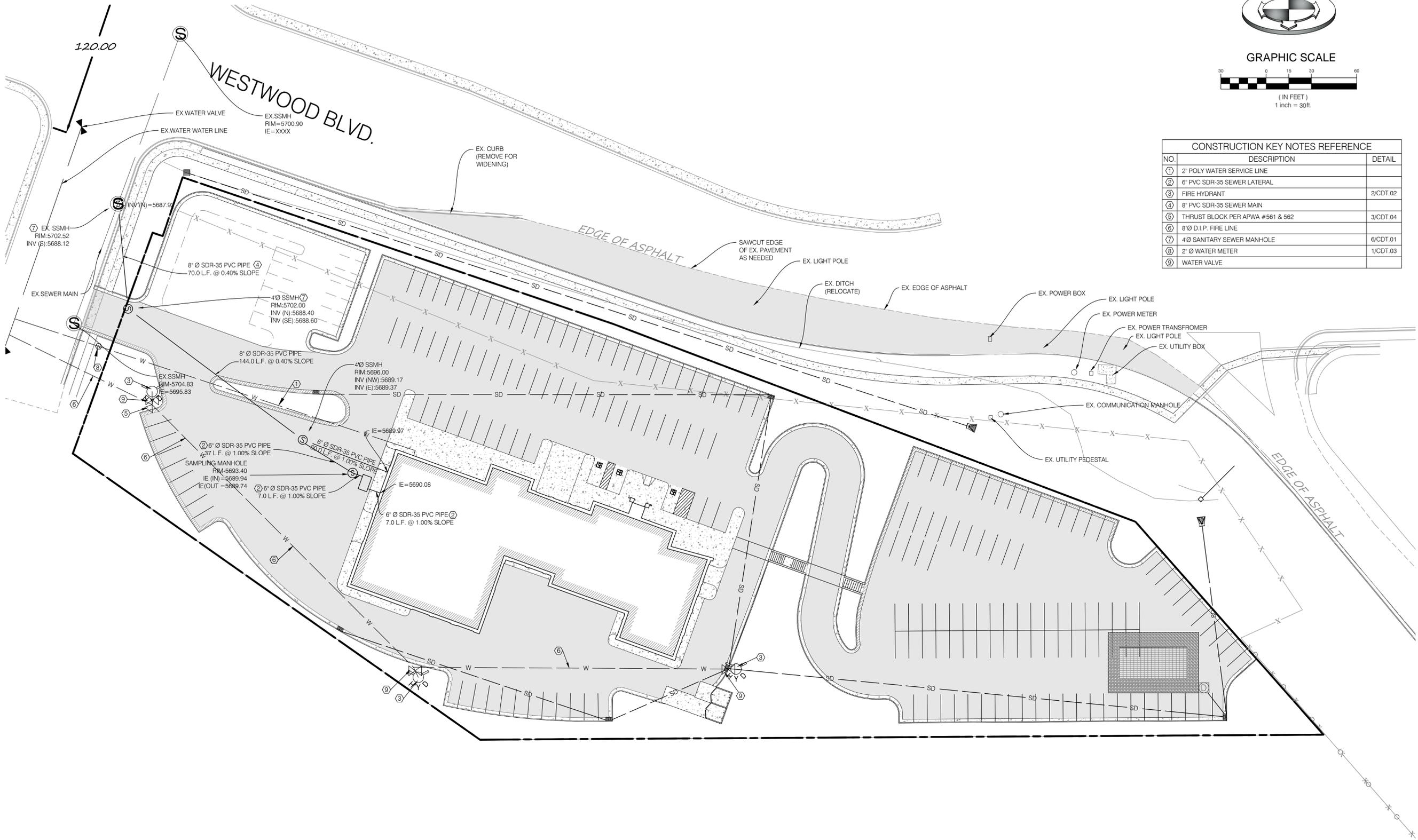


FORD DEALERSHIP
354 SOUTH WESTWOOD BLVD
PRICE, UTAH

PROJECT NO. 1512210

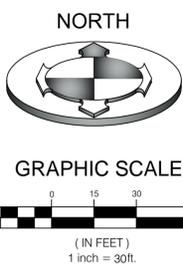
SITE PLAN

CSP.01
3 OF 12



CONSTRUCTION KEY NOTES REFERENCE

NO.	DESCRIPTION	DETAIL
①	2" POLY WATER SERVICE LINE	
②	6" PVC SDR-35 SEWER LATERAL	
③	FIRE HYDRANT	2/CDT.02
④	8" PVC SDR-35 SEWER MAIN	
⑤	THRUST BLOCK PER APWA #561 & 562	3/CDT.04
⑥	8" Ø D.I.P. FIRE LINE	
⑦	4" Ø SANITARY SEWER MANHOLE	6/CDT.01
⑧	2" Ø WATER METER	1/CDT.03
⑨	WATER VALVE	



NO.	DATE	DESCRIPTION
1	12/30/15	PRELIMINARY
2	15/12/2016	REVISED

SCALE MEASURES SHOWN ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



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PROJECT NO. 1512210

UTILITY PLAN

CUP.01
4 OF 12

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GRAPHIC SCALE

(IN FEET)
1 inch = 30ft.

GRADING AND DRAINAGE KEY NOTES REFERENCE		
NO.	DESCRIPTION	DETAIL
①	GRADE SITE TO ELEVATIONS SHOWN ON PLAN.	
②	12" DIAMETER HDPE ADS N-12 STORM DRAIN LINE	
③	STORM DRAIN INLET	5/CDT.03
④	ORIFICE PLATE INSTALLED ON EXIT PIPE	2/CDT.04
⑤	SNOUT	1/CDT.04
⑥	FLARED END SECTION	3/CDT.02
⑦	15" DIAMETER RCP CLASS III STORM DRAIN LINE	
⑧	R-TANK DOUBLE MODULE	1/CDT.05
⑨	3X3' CATCH BASIN	2/CDT.05

STORM DRAINAGE DETENTION CALCULATIONS RATIONAL METHOD (Q=CIA)

Area Identification (A)	Rational Coefficient (C)	C*A
Roof = 17,398	0.9	15658 S.F.
Pavement = 118,822.0	0.9	106940 S.F.
Landscaping = 31,781	0.2	6356.2 S.F.
Sum: 168001 S.F.		Sum: 128954 S.F.

PRICE STANDARDS DESIGN STORM (100 YEAR EVENT)					
Time (min)	Intensity (in/hr)	Rainfall (Inches)	Rainfall Excess (cu.ft.)	Allowed (cu.ft.)	Volume to Retain (cu.ft.)
15	2.000	0.50	5573	694	4679
30	1.350	0.67	7232	1388	5844
60	0.833	0.83	8952	2777	6175
360	0.183	1.09	11713	16661	0
720	0.106	1.28	13755	33323	0
1440	0.071	1.70	18311	66645	0

Storm water detention:
 Detention Pond: 50 cf
 Volume of Gravel: 3705 cf
 Volume of R-Tanks: 2600 cf

Total Detention Volume: 6,355 cf
 Is there enough existing storm water storage? 6,175 cf **YES**

D. Orifice Design:
 The storm runoff will be detained at 0.2 cfs/acre

$$Q = C_d A_o \sqrt{2gh}$$

Total acreage of development: 3.86 acres
 Allowable discharge: 0.2 cfs/acre
 Max head: 5.28 ft
Design diameter for new orifice: 3.6 inch (max.)



SURVEY CONTROL NOTE:
 THE CONTRACTOR OR SURVEYOR PERFORMING THE CONSTRUCTION SURVEYING SHALL BE RESPONSIBLE TO PROVIDE CONSTRUCTION LAYOUT PER THE APPROVED PLANS ONLY. THE SURVEYOR SHALL ALSO BE RESPONSIBLE FOR VERIFYING HORIZONTAL CONTROL FROM THE SURVEY MONUMENTS AND FOR VERIFYING ANY ADDITIONAL CONTROL POINTS SHOWN ON THE SURVEY OR IMPROVEMENTS PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. THE SURVEYOR SHALL ALSO USE THE BENCHMARKS AS SHOWN ON THE PLAN, AND VERIFY THEM AGAINST NO LESS THAN THREE EXISTING HARD IMPROVEMENT ELEVATIONS INCLUDED ON THESE PLANS OR ON ELECTRONIC DATA PROVIDED BY BENCHMARK ENGINEERING AND LAND SURVEYING. IF ANY DISCREPANCIES ARE ENCOUNTERED, THE SURVEYOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND RESOLVE THE DISCREPANCIES BEFORE PROCEEDING WITH ANY CONSTRUCTION SURVEYING. IT IS ALSO THE RESPONSIBILITY OF THE SURVEYOR TO VERIFY ANY ELECTRONIC DATA WITH THE APPROVED STAMPED AND SIGNED PLANS AND NOTIFY THE ENGINEER WITH ANY DISCREPANCIES.

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354 SOUTH WESTWOOD BLVD
PRICE, UTAH

PROJECT NO. 1512210

GRADING & DRAINAGE PLAN

CGD.01
5 OF 12

WESTWOOD BLVD.



GRAPHIC SCALE

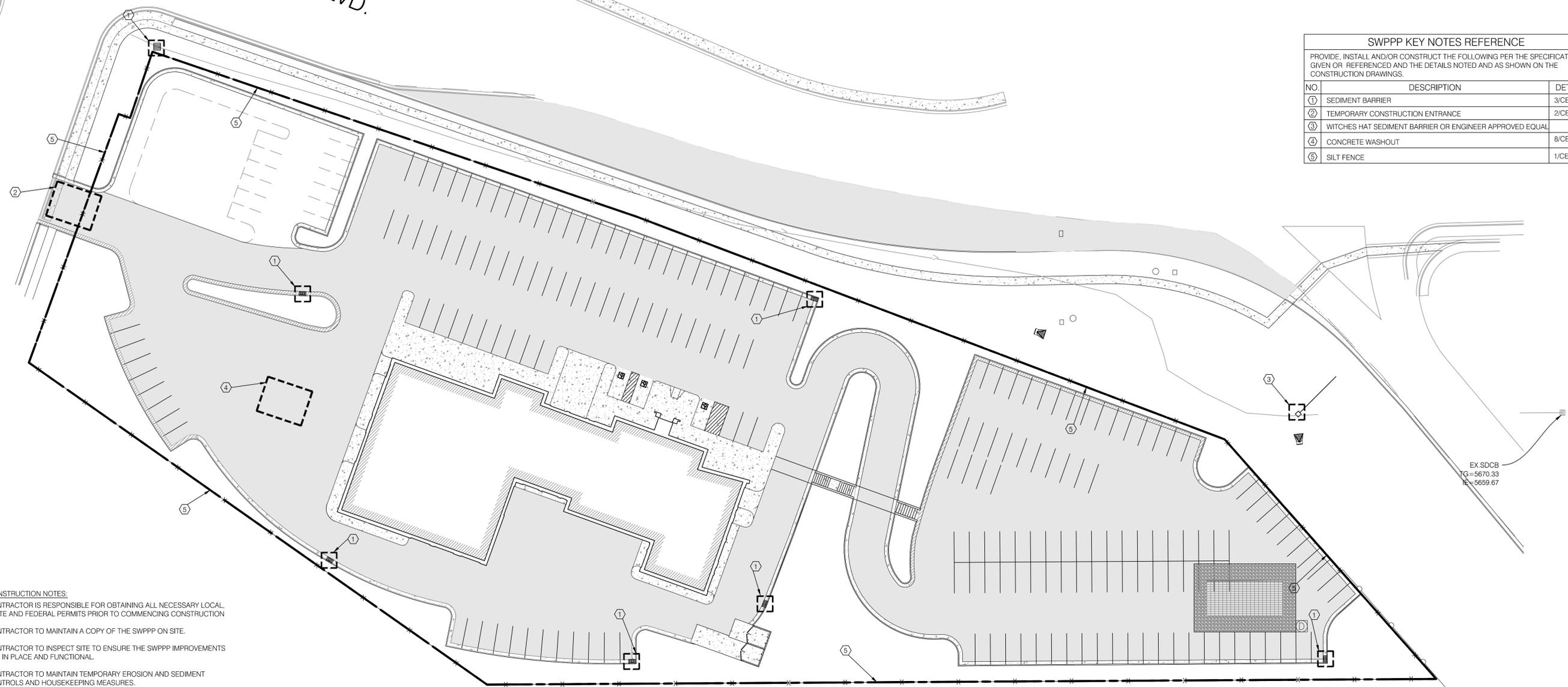


(IN FEET)
1 inch = 30ft.

SWPPP KEY NOTES REFERENCE

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

NO.	DESCRIPTION	DETAIL
①	SEDIMENT BARRIER	3/CEP.02
②	TEMPORARY CONSTRUCTION ENTRANCE	2/CEP.02
③	WITCHES HAT SEDIMENT BARRIER OR ENGINEER APPROVED EQUAL	
④	CONCRETE WASHOUT	8/CEP.02
⑤	SILT FENCE	1/CEP.02



EX.SDCB
TG=5670.33
IE=5659.67

CONSTRUCTION NOTES:
 CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS PRIOR TO COMMENCING CONSTRUCTION.
 CONTRACTOR TO MAINTAIN A COPY OF THE SWPPP ON SITE.
 CONTRACTOR TO INSPECT SITE TO ENSURE THE SWPPP IMPROVEMENTS ARE IN PLACE AND FUNCTIONAL.
 CONTRACTOR TO MAINTAIN TEMPORARY EROSION AND SEDIMENT CONTROLS AND HOUSEKEEPING MEASURES.
 ALL SOLID WASTE SHALL BE STORED IN A SECURELY LIDDED METAL DUMPSTER. THE DUMPSTER SHALL MEET ALL STATE AND LOCAL WASTE MANAGEMENT REGULATIONS.
 ALL HAZARDOUS WASTE SHALL BE DISPOSED OF IN THE MANNER AS SPECIFIED BY THE MANUFACTURER AND STATE AND LOCAL REGULATIONS.
 A WASHOUT AREA SHALL BE CONSTRUCTED FOR THE TEMPORARY COLLECTION OF EXCESS CONCRETE AND NON-STORM WATER DISCHARGES FROM VEHICLE WASHING. THE CONCRETE WILL BE TAKEN TO THE CITY LANDFILL WITHIN 1 WEEK OF PLACING IN THE WASHOUT AREA.
 A STABILIZED CONSTRUCTION ENTRANCE WILL BE CONSTRUCTED TO REDUCE VEHICLE TRACKING OF SEDIMENTS ONTO PUBLIC RIGHTS OF WAYS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE EXCESS DIRT.
 INSPECTION SHALL BE MADE MONTHLY AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. ALL NON-STORM WATER FLOWS SHALL BE DIRECTED TOWARD THE WASHOUT AREA OR SEDIMENT BASIN. THE SWPPP WILL BE REVISED AS SITE CONDITIONS AND PROTECT WARRANTS.
 CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING AND SWEEPING PUBLIC STREETS ON A DAILY BASIS, OR MORE IF NECESSARY.
 CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE DUST CONTROL THROUGHOUT THE COURSE OF THE PROJECT.

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SCALE MEASURES IN INCH ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS



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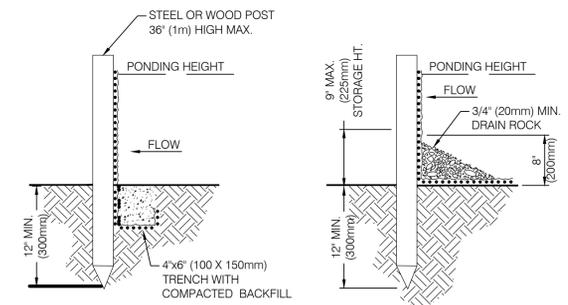
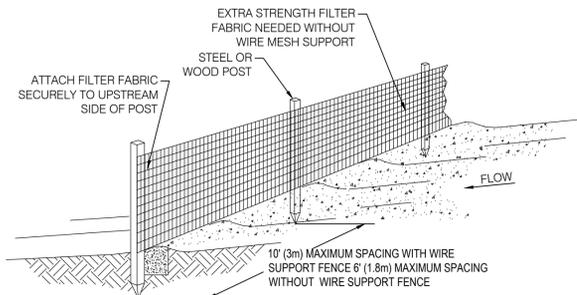
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PROJECT NO. 1512210

STORMWATER POLLUTION PREV. PLAN

CEP.01
6 OF 12



TRENCH DETAIL

INSTALLATION WITHOUT TRENCHING

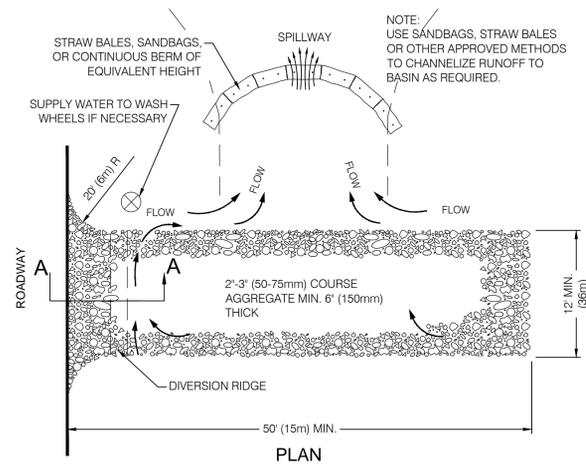
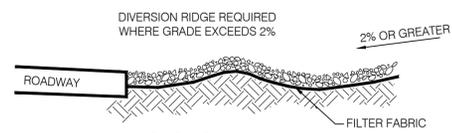
- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9" (225mm) MAXIMUM RECOMMENDED STORAGE HEIGHT.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

SILT FENCE

SCALE: N.T.S.

1

REF. FROM 1994 JOHN McCULLAH



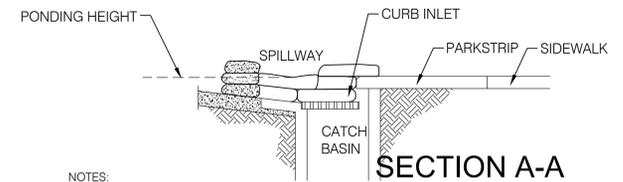
- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT

SCALE: N.T.S.

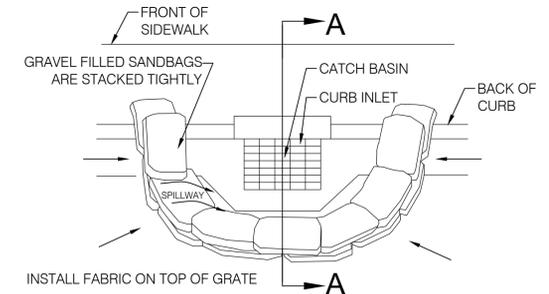
2

REF. FROM 1994 JOHN McCULLAH



NOTES:

- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEDIMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
- SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
- LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
- INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELLED WAY IMMEDIATELY.



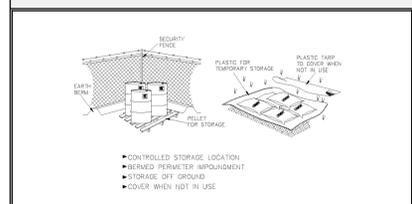
PLAN VIEW

SEDIMENT BARRIER

SCALE: N.T.S.

3

BMP: Materials Storage



DESCRIPTION:
Controlled storage of on-site materials.

APPLICATION:

- Storage of hazardous, toxic, and all chemical substances.
- Any construction site with outside storage of materials.

INSTALLATION/APPLICATION CRITERIA:

- Designate a secured area with limited access as the storage location. Ensure no waterways or drainage paths are nearby.
- Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for impoundment in the case of spills.
- Ensure all on-site personnel utilize designated storage area. Do not store excessive amounts of material that will not be utilized on site.
- For active use of materials away from the storage area ensure materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

LIMITATIONS:

- Does not prevent contamination due to mishandling of products.
- Spill Prevention and Response Plan still required.
- Only effective if materials are actively stored in controlled location.

MAINTENANCE:

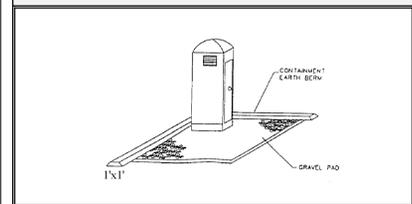
- Inspect daily and repair any damage to perimeter impoundment or security fencing.
- Check materials are being correctly stored (i.e. standing upright, in labeled containers, lightly capped) and that no materials are being stored away from the designated location.

MATERIALS STORAGE

SCALE: N.T.S.

4

BMP: Portable Toilets



DESCRIPTION:
Temporary on-site sanitary facilities for construction personnel.

APPLICATION:
All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

INSTALLATION/APPLICATION CRITERIA:

- Locate portable toilets in convenient locations throughout the site.
- Prepare level, gravel surface and provide clear access to the toilets for servicing and for on-site personnel.
- Construct earth berm perimeter (See Earth Berm Barrier Information Sheet), control for spill/protection leak.

LIMITATIONS:
No limitations.

MAINTENANCE:

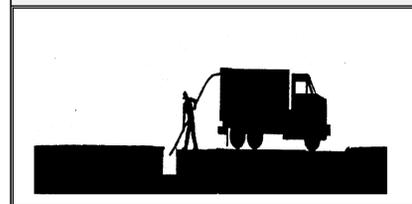
- Portable toilets should be maintained in good working order by licensed service with daily observation for leak detection.
- Regular waste collection should be arranged with licensed service.
- All waste should be deposited in sanitary sewer system for treatment with appropriate agency approval.

PORTABLE TOILETS

SCALE: N.T.S.

5

BMP: Catch Basin Cleaning



DESCRIPTION:
Maintain catch basin and stormwater inlets on a regular basis to remove pollutants, reduce high pollutant concentrations during the first flush of storms, prevent clogging of the downstream conveyance system, and restore the catch basin's sediment trapping capacity. A catch basin is distinguished from a stormwater inlet by having at its base a sediment sump designed to catch and retain sediments below the overflow point. This information sheet focuses on the cleaning of accumulated sediments from catch basins.

APPROACH:

- Regular maintenance of catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the key to effective catch basins are:
 - At least annual inspections.
 - Prioritize maintenance to clean catch basins and inlets in areas with the highest pollutant loading.
 - Clean catch basins in high pollutant load areas just before the wet season to remove sediments and debris accumulated during the summer.
 - Keep accurate logs of the number of catch basins cleaned.
 - Record the amount of waste collected.

LIMITATIONS:
There are no major limitations to this best management practice.

MAINTENANCE:
Regular maintenance of public and private catch basins and inlets is necessary to ensure their proper functioning. Clogged catch basins are not only useless but may act as a source of sediments and pollutants. In general, the keys to effective catch basins are:

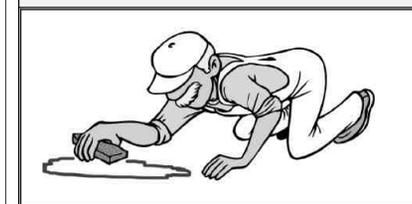
- Annual/monthly inspection of public and private facilities to ensure structural integrity, a clean sump, and a stenciling of catch basins and inlets.
- Keep logs of the number of catch basins cleaned.
- Record the amount of waste collected.

CATCH BASIN CLEANING

SCALE: N.T.S.

6

BMP: Spill Clean-Up



DESCRIPTION:
Practices to clean-up leakage/spillage of on-site materials that may be harmful to receiving waters.

APPLICATION:
All sites

GENERAL:

- Store controlled materials within a storage area.
- Educate personnel on prevention and clean-up techniques.
- Designate an Emergency Coordinator responsible for employing preventative practices and for providing spill response.
- Maintain a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

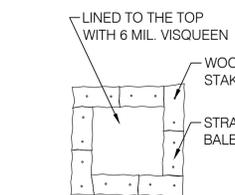
METHODS:

- Clean-up spills/leaks immediately and remediate cause.
- Use as little water as possible. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED MATERIAL.
- Use rags or absorbent material for clean-up. Excavate contaminated soils.
- Dispose of clean-up material and soil as hazardous waste.
- Document all spills with date, location, substance, volume, actions taken and other pertinent data.
- Contact local fire Department and State Division of Environmental Response and Remediation (Phone #536-4100) for any spill of reportable quantity.

SPILL CLEAN-UP

SCALE: N.T.S.

7



PLAN VIEW

DESCRIPTION:
Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washout in a designated area, and training employees and subcontractors.

APPLICATIONS:
This technique is applicable to all types of sites.

INSTALLATION/APPLICATION CRITERIA:

- Store dry and wet materials under cover, away from drainage areas.
- Avoid mixing excess amounts of fresh concrete or cement on-site.
- Perform washout of concrete trucks off-site or in designated areas only.
- Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.
- Do not allow excess concrete to be dumped on-site, except in designated areas.
- When washing concrete to remove fine particles and expose the aggregate, avoid creating runoff by draining the water within a bermed or level area. (See Earth Berm Barrier information sheet.)
- Train employees and subcontractors in proper concrete waste management.

LIMITATIONS:
Off-site washout of concrete wastes may not always be possible.

MAINTENANCE:

- Inspect subcontractors to ensure that concrete wastes are being properly managed.
- If using a temporary pit, dispose hardened concrete on a regular basis.

CONCRETE WASTE MANAGEMENT

SCALE: N.T.S.

8

FORD DEALERSHIP
364 SOUTH WESTWOOD BLVD
PRICE, UTAH

PROJECT NO. 1512210

SWPP NOTES

CEP.02
7 OF 12



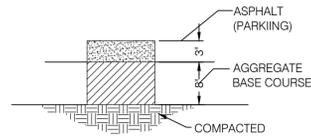
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NO.	DATE	DESCRIPTION
1	12/30/15	ISSUED FOR PERMITS
2	1512210	1512210

SCALE: MEASURES SHOWN ON FULL SIZE SHEETS
ADJUST ACCORDINGLY FOR REDUCED SIZE SHEETS

ROADWAY: STANDARD ALTERNATE: STANDARD
 ASPHALT 6" CONCRETE 5"
 GRAVEL BASE 8" GRAVEL BASE 4"



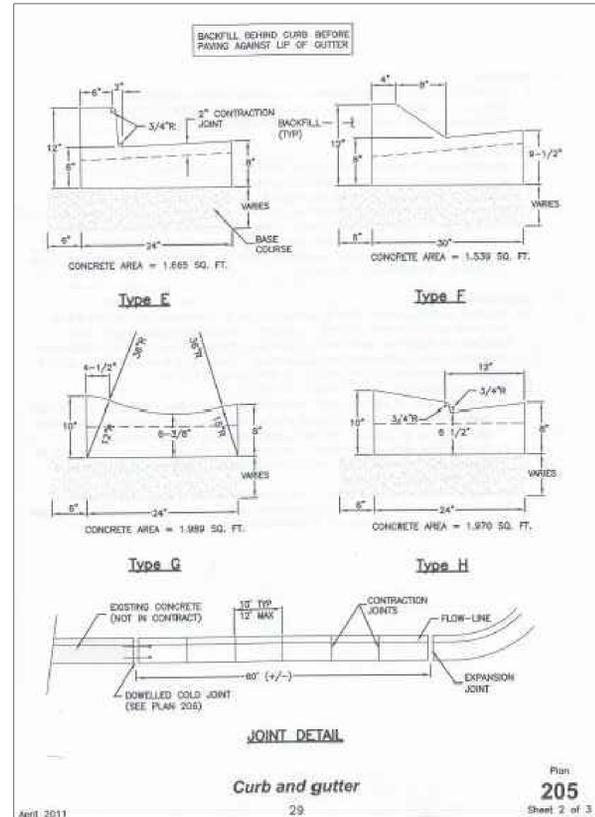
STANDARD DUTY PAVEMENT

NOTE:
 1. FOR REINFORCEMENT DESIGN OF PCC PAVEMENT SECTIONS SEE STRUCTURAL ENGINEER
 2. FOR DOWEL DESIGN OF PCC PAVEMENT SECTIONS SEE GEOTECHNICAL ENGINEER.

* GEOTECHNICAL REPORT REQUIRED. USE GEOTECHNICAL REPORT RECOMMENDATIONS IF DIFFERENT FROM THIS SECTION.

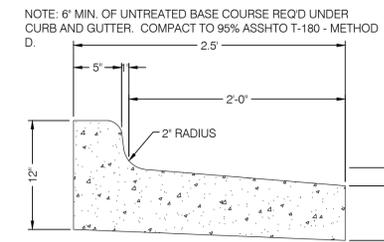
PAVEMENT SECTIONS ①

SCALE: N.T.S.



2' CONCRETE CURB & GUTTER PER APWA# 205 TYPE E ②

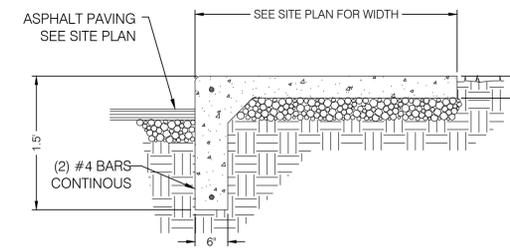
SCALE: N.T.S.



TYPICAL RELEASE CURB AND GUTTER

SCALE: N.T.S.

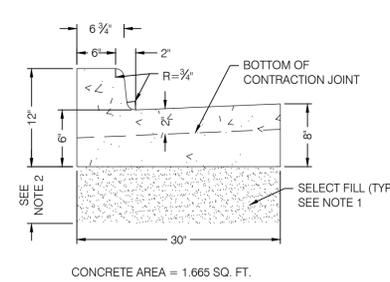
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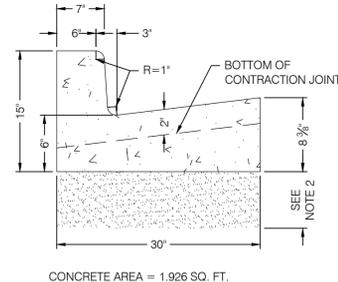
TYPICAL CONCRETE INTEGRAL WALK / CURB

SCALE: N.T.S.

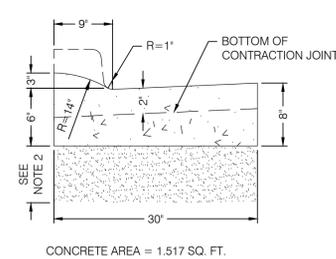
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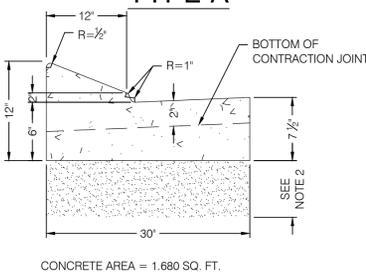
TYPE A



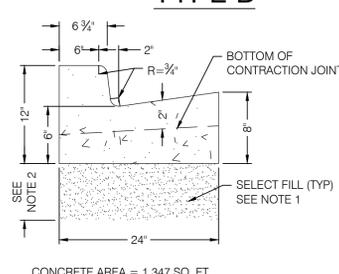
TYPE B



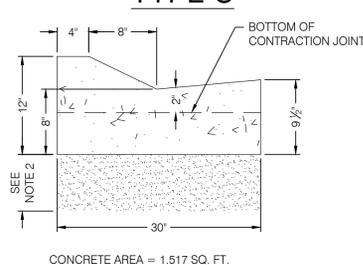
TYPE C



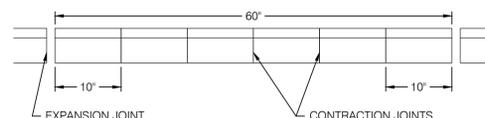
TYPE D



TYPE E



TYPE F

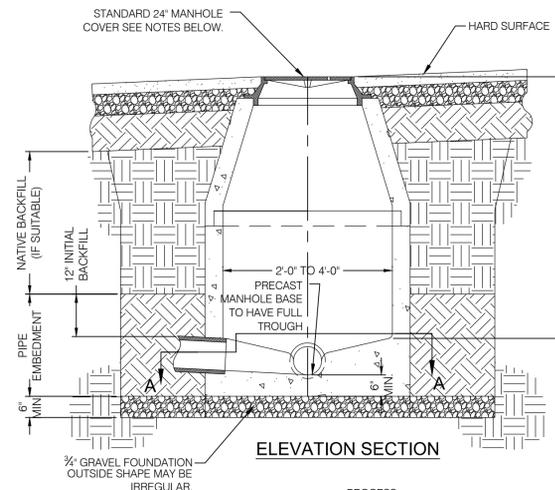


CURB AND GUTTER JOINT DETAIL

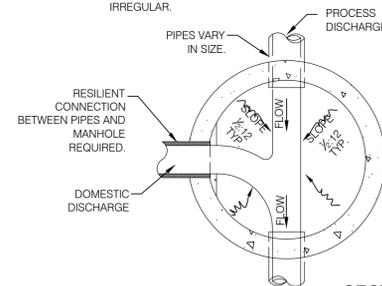
CURB & GUTTER

SCALE: N.T.S. (APWA PLAN # 205)

④



ELEVATION SECTION



SECTION A-A

NOTES:

1. MANHOLE COVER TO CONTAIN ONE PICK HOLE. SEE SPECIFICATION DIVISION 5 FOR COVER LABEL. D&L SUPPLY P/N A-1181 (OR APPROVED EQUAL)
2. SAMPLE MANHOLE MAY BE CORRUGATED METAL PIPER WITH A POURED BASE WHEN LOCATED IN A NON-TRAFFIC AREA. IF LOCATED IN A TRAFFIC AREA IT MUST BE CONCRETE WITH A POURED BASE.
3. FLAT LIDS MAY BE USED IN LIEU OF ECCENTRIC CONES WHERE NECESSARY. FLAT LIDS SHALL BE ON ECCENTRIC DESIGN AND MET H20 LIVE LOADING. NO FLAT RING AND COVERS WILL BE ALLOWED UNLESS APPROVED BY PUBLIC WORKS.
4. LATERALS TO BE IN SEPERATE TROUGHS IN MANHOLE.

SAMPLING MANHOLE BOX

SCALE: N.T.S.

⑤

NO.	DATE	DESCRIPTION



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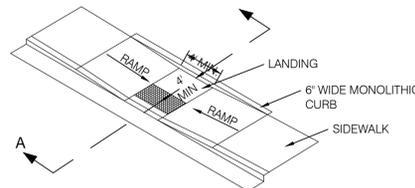


FORD DEALERSHIP
 354 SOUTH WESTWOOD BLVD
 PRICE, UTAH

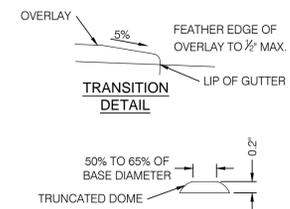
PROJECT NO. 1512210

DETAILS AND NOTES

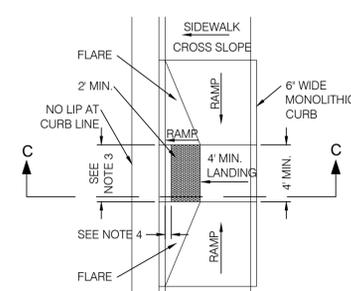
CDT.01
 8 OF 12



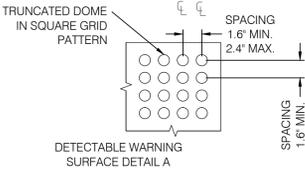
PARALLEL PEDESTRIAN RAMP



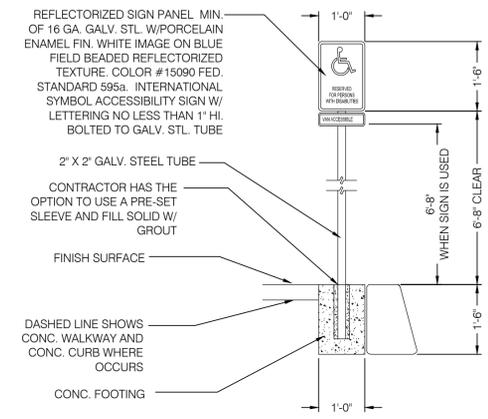
TRANSITION DETAIL



PEDESTRIAN ACCESS RAMP DETAIL



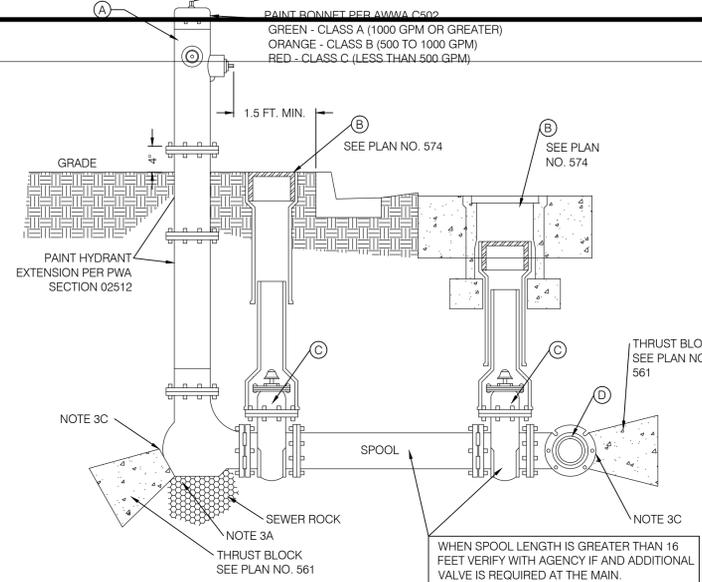
TRUNCATED DOME IN SQUARE GRID PATTERN



ADA SIGN POST DETAIL

SLOPE TABLE			
ITEM	RUNNING SLOPE*	CROSS SLOPE	
(L)	LANDING 1.5-2% (1V:48H) (b)	1.5-2% (1V:48H) (b)	
(R)	RAMP 8.33% (1V:12H) (c)	1.5-2% (1V:48H) (d)	
(T)	TRANSITION 5% (1V:20H) (a)	1.5-2% (1V:48H) (d)	
	SIDEWALK --	1.5-2% (1V:48H)	
	FLARE 10% (1V:10H)	--	

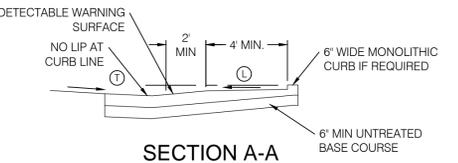
- NOTES:
- CONFIGURATION OF RAMPS AND LANDINGS MAY BE CHANGED BUT MUST MEET PEDESTRIAN RAMP DIMENSIONS AND SLOPE REQUIREMENTS. SPECIFIC SITE CONDITIONS WILL VARY. THE USE OF FLARES, CURB WALLS, ETC. ARE AT THE DISCRETION OF THE ENGINEER.
 - PERPENDICULAR AND PARALLEL PEDESTRIAN RAMPS SHOWN ON THIS DRAWING ARE ACCEPTABLE FOR USE AT MID BLOCK OR CORNER INSTALLATIONS.
 - PROVIDE DETECTABLE WARNING SURFACE FOR FULL WIDTH OF RAMP, LANDING OR CURB CUT. SEE DETAIL A FOR DETECTABLE WARNING SURFACE DIMENSIONS.
 - LOCATE DETECTABLE WARNING SURFACE SO THAT THE EDGE NEAREST THE STREET IS 4 TO 6 INCHES FROM THE TOP BACK OF CURB.
 - PROVIDE DETECTABLE WARNING SURFACE. COLOR SHALL BE YELLOW.
 - USE CLASS AA (AE) CONCRETE.
 - USE 6" MIN. DEPTH OR UNTREATED BASE COURSE UNDER ALL CONCRETE FLATWORK COMPACTED TO 96% MAXIMUM DRY DENSITY.
- * RUNNING SLOPE IS IN THE DIRECTION OF PEDESTRIAN TRAVEL, WHILE CROSS SLOPE IS PERPENDICULAR TO PEDESTRIAN TRAVEL.
- (a) TRANSITION RUNNING SLOPE NEEDS TO BE CONSTANT ACROSS ENTIRE CURB CUT. WARP GUTTER PAN TO MEET REQUIRED TRANSITION SLOPE AT CURB CUT (0.10' MAX. ABOVE FLOWLINE).
- EXCEPTION:
- (b) IF SLOPE REQUIREMENTS CANT BE ACHIEVED ON MID-BLOCK RAMPS CONTACT THE ENGINEER.
- (c) PARALLEL RAMPS ARE NOT REQUIRED TO EXCEED 15-FEET IN LENGTH.
- (d) CROSS SLOPE REQUIREMENT DOES NOT APPLY AT PERPENDICULAR RAMP MID-BLOCK CROSSING.



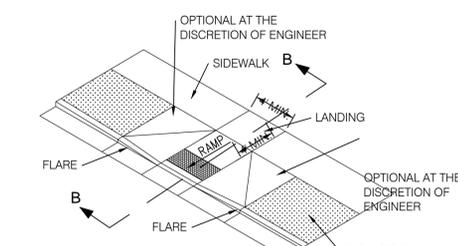
LEGEND			
NO.	*	ITEM	DESCRIPTION
(A)		FIRE HYDRANT	AWWA C502
(B)		2 PC VALVE BOX	CAST IRON
(C)		GATE VALVE WITH 2"x2" NUT	AWWA C509
(D)		TEE WITH 125 # FLANGE	AWWA C110

- NOTES:
- INSPECTION: PRIOR TO BACKFILLING, SECURE INSPECTION OF INSTALLATION BY ENGINEER.
 - BACKFILL: PROVIDE AND PLACE PER APWA SECTION 02321. COMPACT PER APWA SECTION 02324 TO A MODIFIED PROCTOR DENSITY OF 95 PERCENT OR GREATER. MAXIMUM LIFT THICKNESS IS 8 INCHES BEFORE COMPACTION.
 - HYDRANT: DRY BARREL PER AWWA C502. ADDITIONAL WATER SYSTEM REQUIREMENTS ARE SPECIFIED IN APWA SECTION 02510.
 - A. PROVIDE AT LEAST 1 CUBIC YARD OF APWA SECTION 02060 SEWER ROCK AROUND DRAIN HOLE AT BASE OF HYDRANT. WRAP PLASTIC OVER SEWER ROCK TO PREVENT SILTING.
 - B. PAINT FIRE HYDRANT TO AGENCY'S FIRE HYDRANT PAINT CODE.
 - C. APPLY POLY-FM GREASE TO ALL BURIED METAL SURFACES. WRAP WITH 8 MIL. THICK POLYETHYLENE SHEET AND TAPE WRAP.
 - D. NOTIFY FIRE DEPARTMENT AS SOON AS HYDRANT IS PLACED IN SERVICE.
 - THRUST BLOCKS:
 - A. PRIOR TO POURING CONCRETE, WRAP PIPE SYSTEM WITH 8 MIL. THICK PLASTIC SHEET TO PREVENT BONDING OF CONCRETE TO PIPE SYSTEM.
 - B. NOT REQUIRED FOR FLANGE OR WELDED PIPE SYSTEMS.

FIRE HYDRANT DETAIL (2)
SCALE: N.T.S. (APWA PLAN NO. 511)

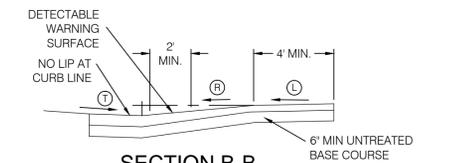


SECTION A-A



PERPENDICULAR PEDESTRIAN RAMP

FLARE IS ACCEPTABLE IN LIEU OF FULL HEIGHT CURB SEE LOCAL AGENCY REQUIREMENTS



SECTION B-B

DIRECTION OF TRAVEL OR APPROACH

THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD

INTERNATIONAL SYMBOL OF ACCESSIBILITY

THIS DRAWING PRODUCED BY THE U.S. ACCESS BOARD

STRIPING SYMBOLS

SCALE: N.T.S.

STANDARD ACCESS RAMP (1)
SCALE: N.T.S.

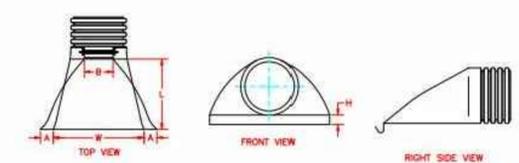
ADS FLARED END SECTION SPECIFICATION

Scope
This specification describes 12- through 36-inch (300 to 900mm) ADS Flared End Sections for use in culvert and drainage outlet applications.

Requirements
The invert of the pipe and the end section shall be at the same elevation. The ADS Flared End Section shall be high density polyethylene meeting ASTM D3350 minimum cell classification 213320C; contact manufacturer for additional cell classification information. When provided, the metal threaded fastening rod shall be stainless steel.

Installation
Installation shall be in accordance with ADS installation instructions and with those issued by state or local authorities. Contact your local ADS representative or visit www.ads-pipe.com for the latest installation instructions.

Diameter	PIPE DIAMETER, in (mm)				
	12 (300)	15 (375)	18 (450)	24 (600)	36 (900)
A	6.5 (165)	6.5 (165)	7.5 (191)	7.5 (191)	7.5 (191)
B (max)	10.0 (254)	10.0 (254)	15.0 (381)	18.0 (475)	25.0 (635)
H	6.5 (165)	6.5 (165)	6.5 (165)	8.6 (218)	8.6 (218)
L	25.0 (635)	25.0 (635)	32.0 (813)	36.0 (914)	58.0 (1473)
W	29.0 (737)	29.0 (737)	35.0 (889)	45.0 (1143)	63.0 (1600)



Product detail may differ slightly from actual product appearance.

FLARED END SECTION (3)
SCALE: N.T.S.

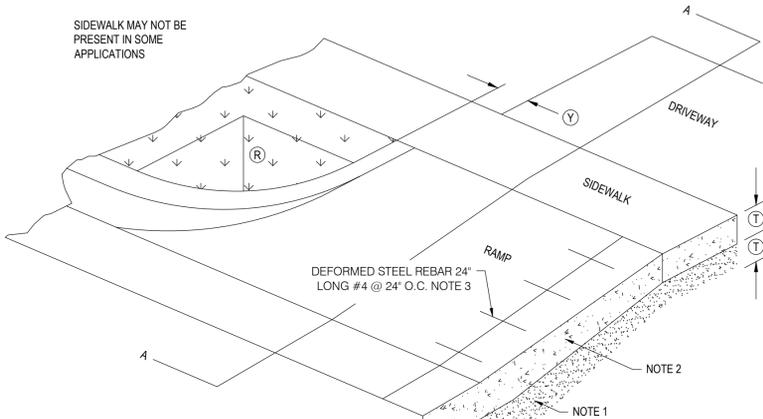
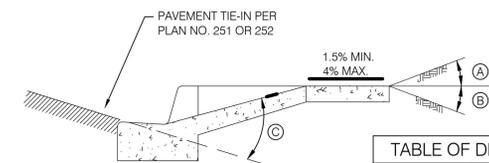


TABLE OF DIMENSIONS	
DIMENSION	USE
(Y)	6' RESIDENTIAL 24' NON-RESIDENTIAL
(T)	6' RESIDENTIAL 8' NON-RESIDENTIAL
(R)	5'-25' RESIDENTIAL NON-RESIDENTIAL



SECTION AA

TABLE OF DIMENSIONS	
DIMENSION	USE
(A)	≤6% RESIDENTIAL ≤6% NON-RESIDENTIAL
(B)	≤12% RESIDENTIAL ≤8% NON-RESIDENTIAL
(C)	≤12% RESIDENTIAL ≤10% NON-RESIDENTIAL

OPEN DRIVEWAY APPROACH (4)
SCALE: N.T.S.

NO.	DATE	DESCRIPTION

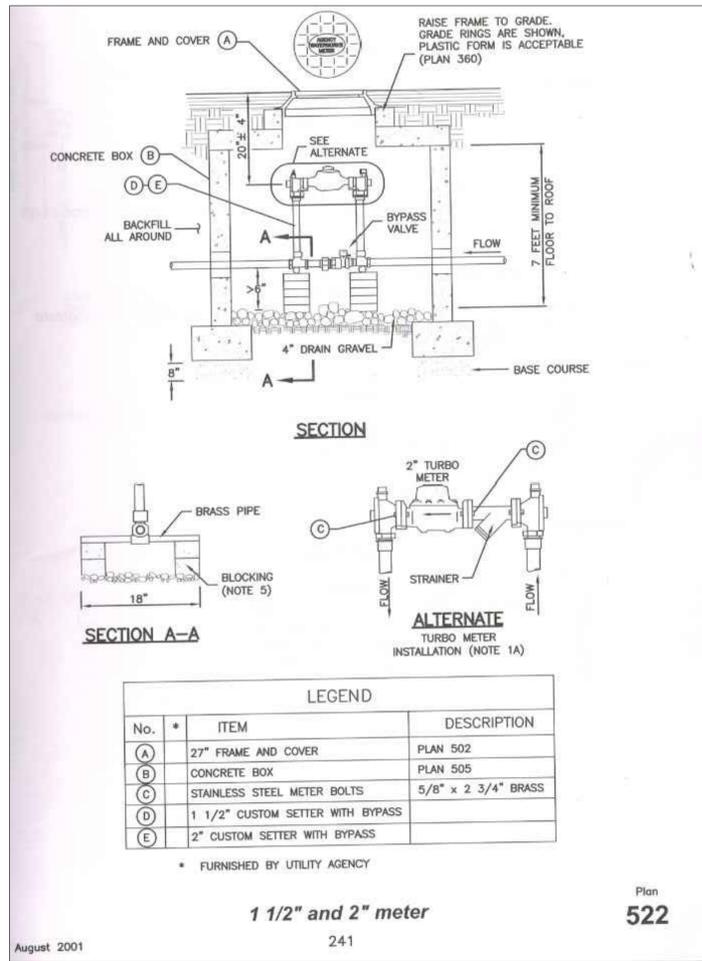


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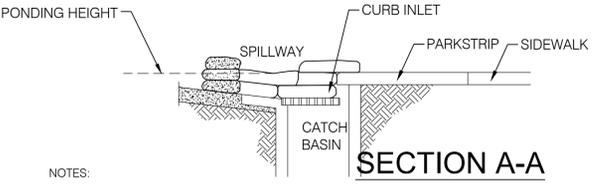
LEGEND

No.	* ITEM	DESCRIPTION
(A)	27\"/>	

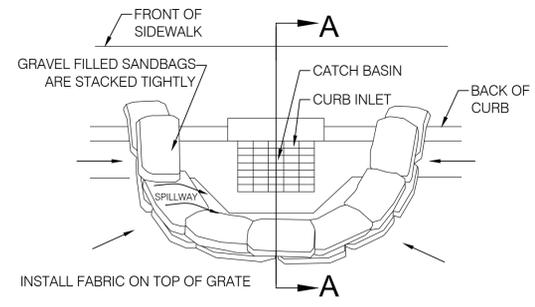
* FURNISHED BY UTILITY AGENCY

1 1/2" and 2" meter
Plan 522

2" WATER METER
SCALE: N.T.S.

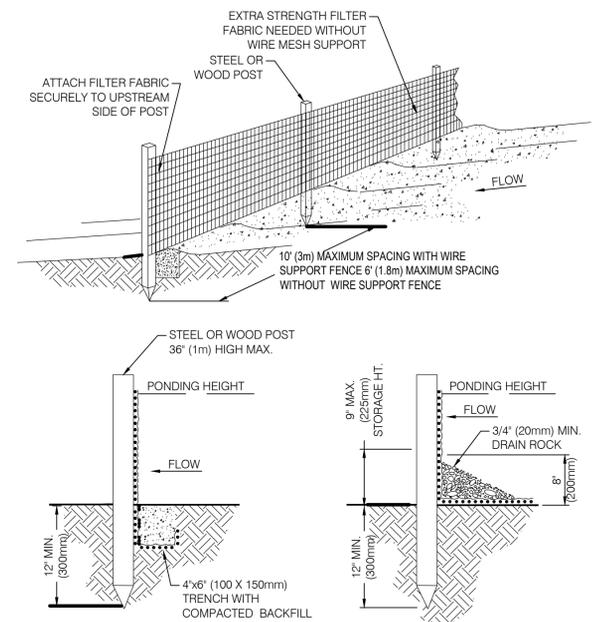


- NOTES:
- PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREET SEDIMENTS WHERE WATER CAN POND AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 - SANDBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 - LEAVE ONE SANDBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY FOR OVERFLOW.
 - INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELLED WAY IMMEDIATELY.



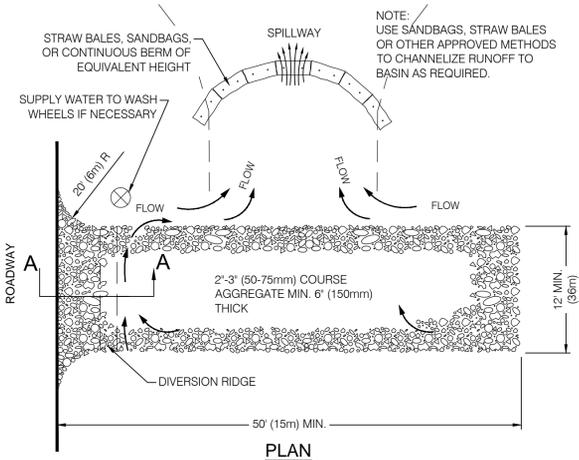
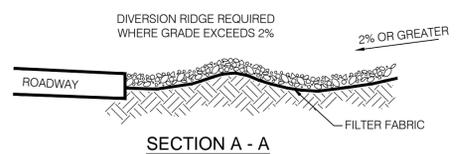
SEDIMENT BARRIER
SCALE: N.T.S.

PLAN VIEW



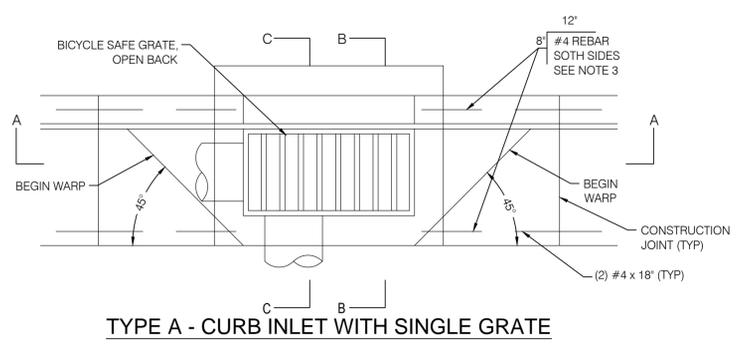
- NOTES:
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
 - INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 9\"/>

SILT FENCE
SCALE: N.T.S.

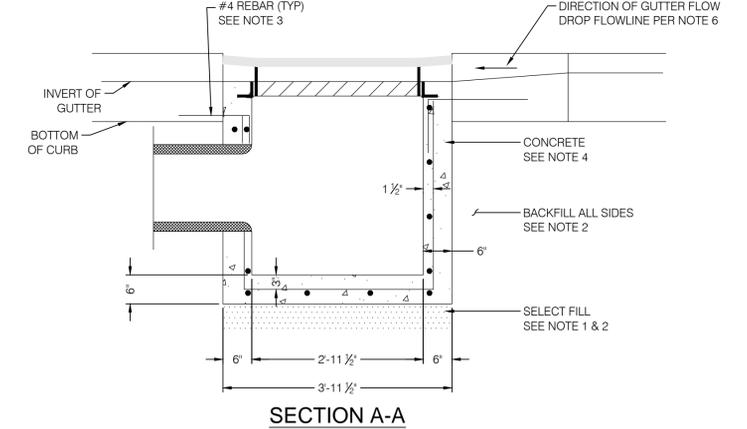


- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

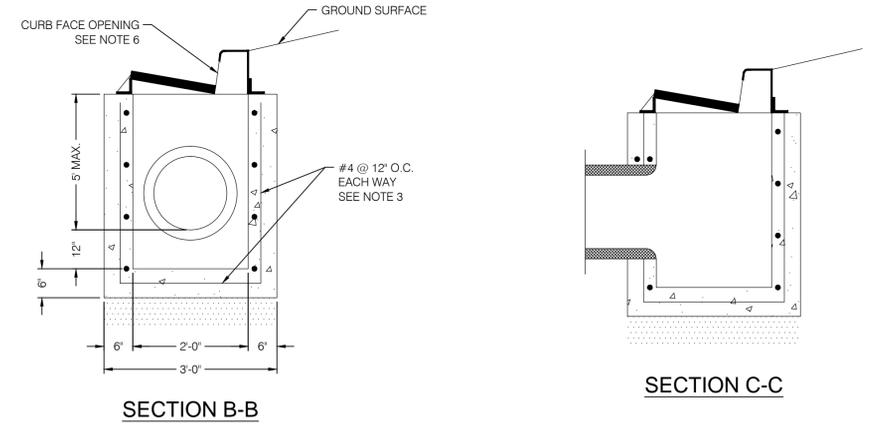
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE / EXIT
SCALE: N.T.S.



TYPE A - CURB INLET WITH SINGLE GRATE



SECTION A-A



SECTION B-B

SECTION C-C

- SELECT FILL: USE UNTREATED BASE COARSE GRADE 1 OR GRADE 3/4 PER APWA SECTION 02060. USE OF SEWER ROCK OR RECYCLED AGGREGATE REQUIRES ENGINEERS WRITTEN APPROVAL.
- BACKFILL: INSTALL AND COMPACT ALL BACKFILL MATERIAL PER APWA SECTION 02321.
- REINFORCEMENT: USE ASTM A 615, GRADE 60, DEFORMED STEEL REBAR PER APWA SECTION 03200.
- CONCRETE: CLASS 4,000 PER APWA SECTION 03304. PLACE PER APWA SECTION 03310. APPLY SEALING/CURING COMPOUND PER APWA SECTION 03390.
- PIPE LATERALS: THE DRAWING SHOWS ALTERNATE CONNECTIONS TO THE INLET BOX. REFER TO CONSTRUCTION DRAWINGS FOR CONNECTION LOCATIONS.
- CURB FACE OPENING: MAKE OPENING 4 INCHES HIGH, PROVIDE AT LEAST A 2 INCH DROP FROM THE GUTTER FLOWLINE TO THE INVERT OF THE CURB FACE OPENING.

CURB INLET W/ SINGLE GRATE
SCALE: N.T.S.

NO.	DATE	DESCRIPTION
1	12/30/15	ISSUED FOR PERMITS
2	15/12/21	REVISED PER COMMENTS



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PRICE, UTAH

PROJECT NO. 1512210
DETAILS AND NOTES
CDT.03
1 OF 12

ACKNOWLEDGEMENT AGREEMENT FOR CONDITIONS OF LAND USE AS REQUIRED BY THE PRICE CITY PLANNING AND ZONING DEPARTMENT AND AS AGREED TO BY THE LAND USE APPLICANT FOR DEVELOPMENT OF AN AUTOMOBILE DEALERSHIP AT 811 WESTWOOD BLVD. WITHIN THE COMMERCIAL 1 ZONING DISTRICT.

Purpose: the purpose of this agreement is to establish the terms and conditions of an agreement between Price City and GUST KALATZES, regarding the conditions of land use associated with Price City Land Use Management and Development Code (Code) as it is associated with PRICE FORD, GUST KALATZES.

Parties: this agreement is made by and between Price City (City), 185 East Main Street, Price, Utah 84501 and GUST KALATZES, (Applicant), for the property located at 811 WESTWOOD BLVD.

Term: the term of this agreement commences on April 11th, 2016 and will perpetually run with the land unless terminated based on a change of use or other performance or compliance factors as outlined in the Price City Land Use Management and Development Code (Code). This contract is further subject to compliance with all Code requirements and other state, federal or local permitting.

The parties identified above hereby agree to the following:

Applicant Shall:

- Develop site consistent with all plans and documents submitted to Price City, communications and direction from Price City officials and staff and pre-application meetings finding that development consistent with reviewed, submitted and approved plans mitigates potential development problems and reduces the occurrence of misunderstandings.
 - Install exterior building, parking lot and area lighting as high efficiency LED fixtures. Public street lighting installations to be installed to minimum Price City standard and be LED fixture with photo cell.
 - Water utility connection to site to be coordinated with the Price City Water Department for sizing, locations, metering. Service line to building connection to 10" line. Fire line, as required, to building placed as directed by the Price City Fire Chief. Landscape irrigation water service to be installed with backflow prevention per Price City minimum standard installation.
 - Sewer utility connection to site to be coordinated with the Price City Sewer Department for sizing and location(s). Connection to 800 West and/or Westwood Blvd. Completion and submission of a PRWID Waste Water Survey. Installation of sampling manhole(s) and grease trap required per PRWID specifications.
 - Electric utility connection to be coordinated with the Price City Electric Department. Service to come from the west near the Tesla Supercharger station. Install ground sleeve at roadway. Provide electrical load sheet to Price City Electric Department.
 - Landscaping to be installed as indicated and exceeding the 5% Price City minimum landscaping, and as indicated on plans at 18.9%. All landscaping installed to be water wise. Landscape irrigation water service to be installed with backflow prevention per Price City minimum standard installation. Parking strip landscaping treatments to be consistent with height, tree type, etc. within the Price City policies and Codes.
 - Parking stalls to meet minimum Code requirements for quantity and stall size. Minimum of 204 parking stalls required, as indicated on plans.
 - Other development items: Curb, gutter and sidewalk installations as indicated and under the direction of the Price City Engineer. Asphalt restoration and paint striping of Westwood Blvd. under the direction of the Price City Engineer. UDOT approval and UDOT requirements complied with for crosswalk at eastbound SR-6 ramp.
- Final business signage to be submitted and reviewed by the Price City Planning Department prior to installation finding that properly reviewed and approved business signage promotes increased commercial activity, community signage consistency and is consistent with the Price City General Plan.
- Completion of a public infrastructure development agreement with the Price City Public Works Department and submission of the required financial surety finding that properly agreed and financially secured public infrastructure development promotes high-quality long-term infrastructure.
- Completion of a private utility agreement with the Price City Public Works Department finding that properly agreed to and maintained private water systems that connect to the public system protect the health, safety and welfare of the community.
- Procurement of a Price City Building Permit and construction of the structures under the auspices of said permit finding that properly reviewed and inspected construction protects the health, safety and welfare of the community.
- Provision to Price City of copies of all State or Federal permits required, if any, for development and construction of the project finding that properly permitted projects prevent misunderstandings and development delays.
- Development consistent with the storm water management plan submitted and compliance with all storm water management direction received from the Price City Engineer finding that properly controlled storm water mitigates flooding and property damage. Storm water management plan to address a 100 year storm event. Provide maintenance to adjacent drainage to prevent flooding, erosion or blockages. Submission of an elevation certificate to the Price City engineer indicating the development is above the flood zone.
- Development consistent with the geotechnical plan submitted and compliance with all geotechnical development direction received from the Price City Engineer finding that development consistent with approved geotechnical plans mitigates potential development failures.
- Obtain, submit and record any encroachments, easement or rights-of-way necessary to complete the development consistent with the submitted plans finding that properly planned and documented encroachments, easement or rights-of-way mitigate future access misunderstandings.
- Obtain UDOT encroachment permit to conduct work in the UDOT right of way and UDOT approval of infrastructure installed in the UDOT right of way. Relocate and install UDOT right of way fence along east boundary as required, if required.
- Future travel/visitor center pre-approved at location indicated on site plan finding that the overall site is conducive to and convenient for the location of a travel/visitor center. Utility service line stubs to be made such that future street openings may not be required. Price City building permit required at the time of construction. Use or development other than a travel/visitor center not pre-approved.
- No conditions as the property or structures that violation the Price City Property Maintenance Code finding that properly maintained structures and property protect area property values.

Price City Shall:

- Authorize the land use contemplated herein and under the terms and conditions set forth as indicated in the Code.

SIGNED THIS ____ DAY OF _____, 20____.

Price City

Applicant:

By Robert Oliver, Chair

GUST KALATZES

ATTEST:

Sherrie Gordon, City Recorder

CONDITIONAL USE PERMIT AMENDMENT

THIS PERMIT IS HEREBY APPROVED FOR:

**A LAND USE OF: AN AUTOMOBILE
DEALERSHIP LOCATED AT 811
WESTWOOD BLVD., WITHIN THE
COMMERCIAL 1 (C-1) ZONING DISTRICT**

CONSISTENT WITH THE TERMS, CONDITIONS AND REQUIREMENTS SET FORTH
BY THE PRICE CITY PLANNING AND ZONING COMMISSION, THE PRICE CITY
COUNCIL AND THE PRICE CITY LAND USE MANAGEMENT AND DEVELOPMENT
CODE.



SIGNATURE _____

DATE _____