



SYRACUSE CITY

Syracuse City Council Work Session Notice

March 8, 2016 – 6:00 p.m.
Municipal Building, 1979 W. 1900 S.

Notice is hereby given that the Syracuse City Council will meet in a work session on Tuesday, March 8, 2016, at 6:00 p.m. in the large conference room of the Municipal Building, 1979 W. 1900 S., Syracuse City, Davis County, Utah. The purpose of the work session is to discuss/review the following items:

- a. Review agenda for Council business meeting to begin at 7:00 p.m. (2 min.)
- b. Police Department budget review. (5 min.)
- c. Request to be on the agenda: Miss Syracuse pageant budget request. (5 min.)
- d. Discussion regarding Centennial Park restroom structure. (5 min.)
- e. Review items forwarded by the Planning Commission (5 min.)
 - i. Proposed Ordinance 16-13 amending Section 10.40.040 of the Syracuse City Code pertaining to minimum and maximum parking spaces.
- f. Discussion regarding agenda item 8: Parks and Recreation consolidated fee schedule updates. (10 min.)
- g. Review agenda item 9: Authorize Administration to execute contract for South Bluff Road Secondary Water Transmission Line to Leon Poulsen Construction Company, Inc. (5 min.)
- h. Review agenda item 6: proposed amendments to Arts Council bylaws. (8 min.)
- i. Discussion RDA agenda item 2: proposed resolution authorizing the preparation of a draft Community Development Project Area (CDA) (5 min.)
- j. Discussion RDA agenda item 3: RDA tax increment request from Jin's Korean BBQ.
- k. Council business. (2 min.)

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In compliance with the Americans Disabilities Act, persons needing auxiliary communicative aids and services for this meeting should contact the City Offices at 801-825-1477 at least 48 hours in advance of the meeting.

#### **CERTIFICATE OF POSTING**

The undersigned, duly appointed City Recorder, does hereby certify that the above notice and agenda was posted within the Syracuse City limits on this 3<sup>rd</sup> day of March, 2016 at Syracuse City Hall on the City Hall Notice Board and at <http://www.syracuseut.com/>. A copy was also provided to the Standard-Examine on March 3, 2016.

CASSIE Z. BROWN, CMC  
SYRACUSE CITY RECORDER



# COUNCIL AGENDA

March 8, 2016

Agenda Item “b”

## Police Department Budget Discussion

### *Factual Summation*

- Any questions about this agenda item may be directed at City Manager Brody Bovero, Finance Director Stephen Marshall, Police Chief Garret Atkin.

Please review the following attachments:

- a. General Budget Overview PowerPoint presentation.
- b. Draft Police Department Operating Budget
- c. Draft Police Department Capital Purchase Budget

### *Revised Budget Line Items Review*

- Included with this packet is a color-coded review of the Line-Items requests for the Police Department. The colors correspond with the following categories:

- 1) **Yellow** = Optimal Service: These items are not necessary to fulfill the City's mission or the Council's vision for the Police Department, but do provide an improved level of service to the City.
- 2) **Green** = Mission & Vision Critical: These items are necessary to fulfill the City's mission and the Council's vision for the Police Department.
- 3) **Blue** = Short-term Survival: These items are critical to provide basic services. Without them, the Police Department will be able to operate in the short-term, but will suffer in the long run if additional resources are not provided to support the operations.

Any questions pertaining to this categorization of the line items will be welcome discussion during the work session, as well as any other discussion pertaining to the proposed draft budget presented to the Council on Friday February 26.

## ***Background***

### ***Mission Statement***

“To provide quality, affordable services for its citizens, while promoting community pride, fostering economic development, and preparing for the future.”

- Under the mission of the City, we have reviewed the fire and EMS services provided by the City and created a draft budget that outlines the resources to provide the services effectively.
- In drafting the budget, we followed the guidelines discussed in the November Council Retreat and the following vision statements adopted by Council:

#### ***10-Year City-Wide Vision Statements***

- We are a City with well-maintained infrastructure, including roads, utilities, and parks.
- In preparation for the West Davis Corridor, we will make provisions for interchanges to accommodate commercial businesses to serve the residents’ needs and to support economic stability of the City.
- We are a financially stable City, balancing the cost of services with the level of services that we provide. The City will have minimal or no debt.
- The City will incorporate improvements, events, and services that create an overall feeling of connection and pride in the City by its residents.

#### ***Police Vision Statements***

- The Syracuse PD is a well-trained, professional police force.
- The Syracuse PD is responsive to crime and other community issues.
- Syracuse City police officers are courteous and service-oriented.
- Syracuse City Police officers are part of the community and respected by the public.
- The City’s policies provide guidance on the expected levels of personnel in the police department.

***Overarching Discussion Points***

- **5-10 Year Plan:** Over the next year, the Administration would like to work with the City Council to adopt a 5-10 year level of service and staffing plan for the police department. The plan would serve as an advisory document that outlines the level of service deemed acceptable to the Council. It also would evaluate the proper staffing levels for the PD in order to maintain the acceptable level of service. Finally, the plan would outline measures and triggers that indicate when staffing levels need to be increased or reduced based on service demands.
    - **Additional Cost:** \$0 In-House staff time and minor ancillary costs
  
  - **Additional Officers:** Based on current workloads and sentiment expressed by the Council at the November retreat regarding the need for a greater police presence, we feel it is would be appropriate to add two new patrol officers, and one new detective. Details of this analysis can be provided at the budget meeting. While the 5-10 year staffing plan should be put in place first, our analysis shows that this request is reasonable for the upcoming fiscal year.
  
  - Below is a summary of the financial impact of the 3 new officers (see detail attached). Funding for this request would need to come from the general fund, which will need to be evaluated along with the other segments of the budget.
    - *Vehicles/gas/oil* \$134,025
    - *Equipment/Uniform* \$28,019
    - *Wages/Benefits (PO III)* \$276,918
    - *Total:* \$438,962\*
- \*There may be very minor difference in exact dollars between the new officer detail sheet and the budget sheet. These numbers will be reconciled.*
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- **State Liquor Tax Fund:** Every year, the City receives revenue from state liquor tax, which can only be used for specific purposes. At the meeting on Friday, we will present different options and would like to receive guidance from the Council on the use of these monies.

***Draft Budget Proposal***

- Attached you will find the line-item operation budget proposal for your consideration.
- Also included is one option for the PD capital budget for your consideration. As we have discussed before, other options are available for your consideration, which we can discuss at the meeting.



## Police Department FY 2017 Budget Summary

*Submitted by Garret Atkin, Police Chief*

### Department summary:

|                        | <u>FY '15 Actual</u> | <u>FY '16 Budget</u> | <u>FY '17 Request</u> |
|------------------------|----------------------|----------------------|-----------------------|
| Salaries and benefits  | \$ 1,918,843         | \$ 2,091,003         | \$ 2,432,336          |
| Operating expenditures | 328,379              | 350,387              | 365,232               |
| Capital expenditures   | -                    | -                    | 126,000               |
| Total expenditures     | <u>\$ 2,247,222</u>  | <u>\$ 2,441,390</u>  | <u>\$ 2,923,568</u>   |

### Significant changes from prior year:

Request for 3 new officers - \$276,829 in salaries, \$126,000 in vehicles, and \$36,044 in equipment and supplies = \$438,873.

Merit Raises = \$27,116, Advancement requests = \$14,808, Career Development = \$26,854.

**POLICE DEPARTMENT**  
**Cost Allocation Detail**

| Account            | Account Description                  | FY 2015<br>Actual          | FY 2016<br>Budget          | Variance<br>2016 FY<br>to 2017 FY | FY 2017                    |                    |                    |
|--------------------|--------------------------------------|----------------------------|----------------------------|-----------------------------------|----------------------------|--------------------|--------------------|
|                    |                                      |                            |                            |                                   | Requested                  | Recommended        | Approved           |
| <b>Personnel:</b>  |                                      |                            |                            |                                   |                            |                    |                    |
| 105310-12          | Salaries & wages                     | \$ 1,169,765               | \$ 1,262,757               | \$ 202,121                        | \$ 1,464,878               | \$ -               | \$ -               |
| 10-53-13           | Employee Benefits                    | 749,077                    | 828,246                    | 139,212                           | 967,458                    | -                  | -                  |
|                    | Sub-total personnel                  | <u>\$ 1,918,843</u>        | <u>\$ 2,091,003</u>        | <u>\$ 341,333</u>                 | <u>\$ 2,432,336</u>        | <u>\$ -</u>        | <u>\$ -</u>        |
| <b>Operations:</b> |                                      |                            |                            |                                   |                            |                    |                    |
| 10-53-15           | Uniforms                             | \$ 14,773                  | \$ 14,700                  | \$ 2,160                          | \$ 16,860                  | \$ -               | \$ -               |
| 10-53-21           | Books, subscriptions & memberships   | 22,379                     | 23,050                     | 2,719                             | 25,769                     | -                  | -                  |
| 10-53-23           | Travel & training                    | 20,132                     | 24,500                     | 1,050                             | 25,550                     | -                  | -                  |
| 10-53-24           | Office supplies                      | 9,173                      | 13,750                     | -                                 | 13,750                     | -                  | -                  |
| 10-53-25           | Equipment, supplies & maintenance    | 25,793                     | 30,500                     | 8,650                             | 39,150                     | -                  | -                  |
| 10-53-26           | Vehicle maintenance                  | 69,527                     | 76,200                     | (7,200)                           | 69,000                     | -                  | -                  |
| 10-53-27           | Utilities Expense                    | 701                        | 737                        | 36                                | 773                        | -                  | -                  |
| 10-53-28           | Communications                       | 29,058                     | 31,500                     | 4,000                             | 35,500                     | -                  | -                  |
| 10-53-29           | Ordinance Enforcement                | 4,277                      | -                          | -                                 | -                          | -                  | -                  |
| 10-53-37           | Professional & tech - Animal Control | 43,167                     | 46,000                     | 8,755                             | 54,755                     | -                  | -                  |
| 10-53-38           | Professional & tech - Dispatch       | 60,646                     | 42,000                     | 6,300                             | 48,300                     | -                  | -                  |
| 10-53-61           | Sundry                               | -                          | -                          | -                                 | -                          | -                  | -                  |
| 10-53-65           | Liquor Fund Expenses                 | 16,586                     | 17,000                     | -                                 | 17,000                     | -                  | -                  |
| 10-53-69           | Grant funded expenditures            | 12,168                     | 30,450                     | (11,625)                          | 18,825                     | -                  | -                  |
|                    | Sub-total operations                 | <u>\$ 328,379</u>          | <u>\$ 350,387</u>          | <u>\$ 14,845</u>                  | <u>\$ 365,232</u>          | <u>\$ -</u>        | <u>\$ -</u>        |
| <b>Capital:</b>    |                                      |                            |                            |                                   |                            |                    |                    |
| 10-53-70           | Capital outlay                       | \$ -                       | \$ -                       | \$ 126,000                        | \$ 126,000                 | \$ -               | \$ -               |
|                    | Total for department                 | <u><u>\$ 2,247,222</u></u> | <u><u>\$ 2,441,390</u></u> | <u><u>\$ 482,178</u></u>          | <u><u>\$ 2,923,568</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> |

**POLICE DEPARTMENT**  
**Fiscal Year Ending June 30, 2017**  
**Line Item Detail**

|                                                     | <u>Requested</u> | <u>City Manager/Council<br/>Recommendation</u> | <u>Adopted<br/>Budget</u> |
|-----------------------------------------------------|------------------|------------------------------------------------|---------------------------|
| <b>10-53-15 Uniforms</b>                            |                  |                                                |                           |
| Prior year budget, as modified                      |                  |                                                | \$ <u>14,700</u>          |
| Current estimates:                                  |                  |                                                |                           |
| Clothing allowance (20 @ 720.00)                    | \$ 14,400        |                                                |                           |
| Clothing allowance (3 new officers@ 720.00)         | \$ 2,160         |                                                |                           |
| Volunteers                                          | 300              |                                                |                           |
|                                                     | <u>16,860</u>    | <u>-</u>                                       | <u>-</u>                  |
| Total budget for account                            | \$ <u>16,860</u> | \$ -                                           | \$ -                      |
| Amount changed from request                         |                  |                                                | \$ (16,860)               |
| Increase/(decrease) from prior year modified budget | \$ 2,160         | \$ (14,700)                                    | \$ (14,700)               |

|                                                        |                  |             |                  |
|--------------------------------------------------------|------------------|-------------|------------------|
| <b>10-53-21 Books, subscriptions &amp; memberships</b> |                  |             |                  |
| Prior year budget, as modified                         |                  |             | \$ <u>23,050</u> |
| Current estimates:                                     |                  |             |                  |
| Spillman annual fee                                    | \$ 11,450        |             |                  |
| DARE materials                                         | \$ 6,000         |             |                  |
| Criminal Code books (4 X\$25.00)                       | \$ 100           |             |                  |
| RMIN                                                   | \$ 100           |             |                  |
| Utah Chiefs / DCLEAA / FBI Associations                | \$ 750           |             |                  |
| Pawn Access Fee                                        | \$ 60            |             |                  |
| Pawn Access Fee (3 new officers)                       | \$ 9             |             |                  |
| Lexipol (Policy/Procedures/DTBs)                       | \$ 5,000         |             |                  |
| New hire polygraphs (6 x \$150.00)                     | \$ 300           |             |                  |
| New hire polygraphs (3 new officers)                   | \$ 900           |             |                  |
| IACP                                                   | \$ 1,100         |             |                  |
|                                                        | <u>25,769</u>    | <u>-</u>    | <u>-</u>         |
| Total budget for account                               | \$ <u>25,769</u> | \$ -        | \$ -             |
| Amount changed from request                            |                  |             | \$ (25,769)      |
| Increase/(decrease) from prior year modified budget    | \$ 2,719         | \$ (23,050) | \$ (23,050)      |

**POLICE DEPARTMENT**  
**Fiscal Year Ending June 30, 2017**  
**Line Item Detail**

|                                                     | <u>Requested</u> | <u>City Manager/Council<br/>Recommendation</u> | <u>Adopted<br/>Budget</u> |
|-----------------------------------------------------|------------------|------------------------------------------------|---------------------------|
| <b>10-53-23 Travel &amp; training</b>               |                  |                                                |                           |
| Prior year budget, as modified                      |                  |                                                | \$ 24,500                 |
| Current estimates:                                  |                  |                                                |                           |
| Firearms training/supplies                          | \$ 7,000         |                                                |                           |
| Firearms training/supplies (3 new officers)         | \$ 1,050         |                                                |                           |
| Patrol Training                                     | 7,500            |                                                |                           |
| Administration Training                             | 3,000            |                                                |                           |
| Support Services Training                           | 7,000            |                                                |                           |
|                                                     | <u>25,550</u>    | <u>-</u>                                       | <u>-</u>                  |
| Total budget for account                            | \$ 25,550        | \$ -                                           | \$ -                      |
| Amount changed from request                         |                  |                                                | \$ (25,550)               |
| Increase/(decrease) from prior year modified budget | \$ 1,050         | \$ (24,500)                                    | \$ (24,500)               |

|                                                     |               |             |             |
|-----------------------------------------------------|---------------|-------------|-------------|
| <b>10-53-24 Office supplies</b>                     |               |             |             |
| Prior year budget, as modified                      |               |             | \$ 13,750   |
| Current estimates:                                  |               |             |             |
| Office materials                                    | \$ 5,500      |             |             |
| Postage                                             | 500           |             |             |
| Paper                                               | 1,250         |             |             |
| Literature & novelties                              | 1,500         |             |             |
| Awards & plaques                                    | 2,000         |             |             |
| Awards & plaques (3 new officers)                   | 250           |             |             |
| Printed forms & letterhead                          | 750           |             |             |
| Night Out Against Crime                             | 2,000         |             |             |
|                                                     | <u>13,750</u> | <u>-</u>    | <u>-</u>    |
| Total budget for account                            | \$ 13,750     | \$ -        | \$ -        |
| Amount changed from request                         |               |             | \$ (13,750) |
| Increase/(decrease) from prior year modified budget | \$ -          | \$ (13,750) | \$ (13,750) |

|                                                       |               |             |             |
|-------------------------------------------------------|---------------|-------------|-------------|
| <b>10-53-25 Equipment, supplies &amp; maintenance</b> |               |             |             |
| Prior year budget, as modified                        |               |             | \$ 30,500   |
| Current estimates:                                    |               |             |             |
| Crossing guard equipment                              | 1,000         |             |             |
| General Equipment                                     | 13,000        |             |             |
| Equipment for 3 new officers                          | 9,375         |             |             |
| Vehicle cameras misc. repairs                         | 2,000         |             |             |
| Taser Maintenance                                     | 1,500         |             |             |
| Live Scan Maintenance Agreement                       | 2,100         |             |             |
| K9 Equipment and Care                                 | 2,000         |             |             |
| VFAST/SWAT                                            | 2,000         |             |             |
| Prescription Drug Box Supplies                        | 500           |             |             |
| Body Camera Video Storage                             | 5,000         |             |             |
| Body Camera Video Storage (3 New Officers)            | 675           |             |             |
|                                                       | <u>39,150</u> | <u>-</u>    | <u>-</u>    |
| Total budget for account                              | \$ 39,150     | \$ -        | \$ -        |
| Amount changed from request                           |               |             | \$ (39,150) |
| Increase/(decrease) from prior year modified budget   | \$ 8,650      | \$ (30,500) | \$ (30,500) |

**POLICE DEPARTMENT**  
**Fiscal Year Ending June 30, 2017**  
**Line Item Detail**

|                                                     | <u>Requested</u> | <u>City Manager/Council<br/>Recommendation</u> | <u>Adopted<br/>Budget</u> |
|-----------------------------------------------------|------------------|------------------------------------------------|---------------------------|
| <b>10-53-26 Vehicle maintenance</b>                 |                  |                                                |                           |
| Prior year budget, as modified                      |                  |                                                | \$ 76,200                 |
| Current estimates:                                  |                  |                                                |                           |
| Fuel                                                | \$ 42,500        |                                                |                           |
| Fuel (3 New Officers)                               | \$ 7,500         |                                                |                           |
| Repairs                                             | 15,000           |                                                |                           |
| Prentative Maintenance (Oil Changes)                | 3,475            |                                                |                           |
| Oil Changes (3 New Officers)                        | 525              |                                                |                           |
|                                                     | <u>69,000</u>    | <u>-</u>                                       | <u>-</u>                  |
| Total budget for account                            | \$ 69,000        | \$ -                                           | \$ -                      |
| Amount changed from request                         |                  |                                                | \$ (69,000)               |
| Increase/(decrease) from prior year modified budget | \$ (7,200)       | \$ (76,200)                                    | \$ (76,200)               |
| <b>10-53-27 Utilities Expense</b>                   |                  |                                                |                           |
| Prior year budget, as modified                      |                  |                                                | \$ 737                    |
| Current estimates:                                  |                  |                                                |                           |
| Utilities for Police Station                        | \$ 773           |                                                |                           |
|                                                     | <u>773</u>       | <u>-</u>                                       | <u>-</u>                  |
| Total budget for account                            | \$ 773           | \$ -                                           | \$ -                      |
| Amount changed from request                         |                  |                                                | \$ (773)                  |
| Increase/(decrease) from prior year modified budget | \$ (75,427)      | \$ (76,200)                                    | \$ (76,200)               |
| <b>10-53-28 Communications</b>                      |                  |                                                |                           |
| Prior year budget, as modified                      |                  |                                                | \$ 31,500                 |
| Current estimates:                                  |                  |                                                |                           |
| UCA                                                 | \$ 11,825        |                                                |                           |
| UCA (3 New Officers)                                | \$ 1,675         |                                                |                           |
| Cell phone & Cradle Point                           | 19,000           |                                                |                           |
| Cell phone (3 New Officers)                         | 3,000            |                                                |                           |
|                                                     | <u>35,500</u>    | <u>-</u>                                       | <u>-</u>                  |
| Total budget for account                            | \$ 35,500        | \$ -                                           | \$ -                      |
| Amount changed from request                         |                  |                                                | \$ (35,500)               |
| Increase/(decrease) from prior year modified budget | \$ 4,000         | \$ (31,500)                                    | \$ (31,500)               |
| <b>10-53-29 Ordinance Enforcement</b>               |                  |                                                |                           |
| Prior year budget, as modified                      |                  |                                                | \$ -                      |
| Current estimates:                                  |                  |                                                |                           |
|                                                     | <u>-</u>         | <u>-</u>                                       | <u>-</u>                  |
| Total budget for account                            | \$ -             | \$ -                                           | \$ -                      |
| Amount changed from request                         |                  |                                                | \$ -                      |
| Increase/(decrease) from prior year modified budget | \$ -             | \$ -                                           | \$ -                      |

**POLICE DEPARTMENT**  
**Fiscal Year Ending June 30, 2017**  
**Line Item Detail**

|                                                          | <u>Requested</u> | <u>City Manager/Council<br/>Recommendation</u> | <u>Adopted<br/>Budget</u> |
|----------------------------------------------------------|------------------|------------------------------------------------|---------------------------|
| <b>10-53-37 Professional &amp; tech - Animal Control</b> |                  |                                                |                           |
| Prior year budget, as modified                           |                  |                                                | \$ <u>46,000</u>          |
| Current estimates:                                       |                  |                                                |                           |
| Davis County                                             | \$ 54,755        |                                                |                           |
| Total budget for account                                 | <u>\$ 54,755</u> | <u>\$ -</u>                                    | <u>\$ -</u>               |
| Amount changed from request                              |                  |                                                | \$ (54,755)               |
| Increase/(decrease) from prior year modified budget      | \$ 8,755         | \$ (46,000)                                    | \$ (46,000)               |
| <b>10-53-38 Professional &amp; tech - Dispatch</b>       |                  |                                                |                           |
| Prior year budget, as modified                           |                  |                                                | \$ <u>42,000</u>          |
| Current estimates:                                       |                  |                                                |                           |
| Davis County                                             | \$ 42,000        |                                                |                           |
| 3 New Officers                                           | <u>6,300</u>     |                                                |                           |
| Total budget for account                                 | <u>\$ 48,300</u> | <u>\$ -</u>                                    | <u>\$ -</u>               |
| Amount changed from request                              |                  |                                                | \$ (48,300)               |
| Increase/(decrease) from prior year modified budget      | \$ 6,300         | \$ (42,000)                                    | \$ (42,000)               |
| <b>10-53-61 Sundry</b>                                   |                  |                                                |                           |
| Prior year budget, as modified                           |                  |                                                | \$ <u>-</u>               |
| Current estimates:                                       |                  |                                                |                           |
|                                                          | \$ -             | \$ -                                           | \$ -                      |
| Total budget for account                                 | <u>\$ -</u>      | <u>\$ -</u>                                    | <u>\$ -</u>               |
| Amount changed from request                              |                  |                                                | \$ -                      |
| Increase/(decrease) from prior year modified budget      | \$ -             | \$ -                                           | \$ -                      |
| <b>10-53-65 Liquor Fund Expenses</b>                     |                  |                                                |                           |
| Prior year budget, as modified                           |                  |                                                | \$ <u>17,000</u>          |
| Current estimates:                                       |                  |                                                |                           |
|                                                          | 17,000           |                                                |                           |
| Total budget for account                                 | <u>\$ 17,000</u> | <u>\$ -</u>                                    | <u>\$ -</u>               |
| Amount changed from request                              |                  |                                                | \$ (17,000)               |
| Increase/(decrease) from prior year modified budget      | \$ -             | \$ (17,000)                                    | \$ (17,000)               |

**POLICE DEPARTMENT**  
**Fiscal Year Ending June 30, 2017**  
**Line Item Detail**

|                                                     | Requested   | City Manager/Council<br>Recommendation | Adopted<br>Budget |
|-----------------------------------------------------|-------------|----------------------------------------|-------------------|
| <b>10-53-69 Grant funded expenditures</b>           |             |                                        |                   |
| Prior year budget, as modified                      |             |                                        | \$ 30,450         |
| Current estimates:                                  |             |                                        |                   |
| Bullet Proof Vests - 4 @ 875 each                   | \$ 3,500    |                                        |                   |
| Bullet Proof Vests - 3 @ 875 each - New Officers    | \$ 2,625    |                                        |                   |
| JAG Grant - Equipment Expense                       | 5,000       |                                        |                   |
| ULGT Insurance Safety Rebate                        | 3,700       |                                        |                   |
| ████████████████████████████████████████            | -           |                                        |                   |
| ICAC GRANT - EQUIPMENT                              | 4,000       |                                        |                   |
| Total budget for account                            | \$ 18,825   | \$ -                                   | \$ -              |
| Amount changed from request                         |             |                                        | \$ (18,825)       |
| Increase/(decrease) from prior year modified budget | \$ (11,625) | \$ (30,450)                            | \$ (30,450)       |
| <b>10-53-70 Capital outlay</b>                      |             |                                        |                   |
| Prior year budget, as modified                      |             |                                        | \$ -              |
| Current estimates:                                  |             |                                        |                   |
| Police Vehicles                                     | \$ 126,000  |                                        | \$ -              |
| Total budget for account                            | \$ 126,000  | \$ -                                   | \$ -              |
| Amount changed from request                         |             |                                        | \$ (126,000)      |
| Increase/(decrease) from prior year modified budget | \$ 126,000  | \$ -                                   | \$ -              |
| <b>Total expenditures</b>                           |             |                                        |                   |
| Prior year budget, as modified                      |             |                                        | \$ 350,387        |
| Total budget for expenditures                       | \$ 491,232  | \$ -                                   | \$ -              |
| Amount changed from request                         |             |                                        | \$ (491,232)      |
| Increase/(decrease) from prior year modified budget | \$ 140,845  | \$ (350,387)                           | \$ (350,387)      |

**Police Department  
Salaries and Benefits - FY 2017**

**Changes from prior year (include supplemental personnel sheet):**

| Position                        | Name        | Salary              | FICA              | Retirement        | Insurance         | W/C              | Unemploy        | Total               |
|---------------------------------|-------------|---------------------|-------------------|-------------------|-------------------|------------------|-----------------|---------------------|
| Chief                           | Atkin       | \$ 90,656           | \$ 6,936          | \$ 30,860         | \$ 18,984         | \$ 1,643         | \$ 100          | \$ 149,179          |
| Lieutenant                      | Rogers      | \$ 73,590           | \$ 5,630          | \$ 25,051         | \$ 18,895         | \$ 1,334         | \$ 100          | 124,600             |
| Lieutenant                      | Jensen, L.  | \$ 69,077           | \$ 5,285          | \$ 23,514         | \$ 18,871         | \$ 1,252         | \$ 100          | 118,099             |
| Sergeant                        | Call        | \$ 67,267           | \$ 5,146          | \$ 22,898         | \$ 18,862         | \$ 1,219         | \$ 100          | 115,492             |
| Sergeant                        | R. Carter   | \$ 57,907           | \$ 4,430          | \$ 19,712         | \$ 18,813         | \$ 1,050         | \$ 100          | 102,013             |
| Sergeant                        | Skinner     | \$ 57,429           | \$ 4,394          | \$ 19,549         | \$ 18,811         | \$ 1,041         | \$ 100          | 101,324             |
| Sergeant                        | Anderson    | \$ 53,061           | \$ 4,060          | \$ 18,062         | \$ 18,788         | \$ 962           | \$ 100          | 95,033              |
| PO III                          | Weir        | \$ 50,981           | \$ 3,901          | \$ 17,354         | \$ 18,777         | \$ 924           | \$ 100          | 92,037              |
| PO III                          | Penrod      | \$ 49,566           | \$ 3,792          | \$ 16,873         | \$ 18,770         | \$ 898           | \$ 100          | 89,999              |
| PO III                          | Johnson     | \$ 50,149           | \$ 3,837          | \$ 17,071         | \$ 18,773         | \$ 909           | \$ 100          | 90,839              |
| PO III                          | Behm        | \$ 48,485           | \$ 3,710          | \$ 16,505         | \$ 16,563         | \$ 879           | \$ 100          | 86,242              |
| PO III                          | new         | \$ 51,147           | \$ 3,913          | \$ 17,411         | \$ 18,778         | \$ 927           | \$ 100          | 92,276              |
| PO III                          | new         | \$ 51,147           | \$ 3,913          | \$ 17,411         | \$ 18,778         | \$ 927           | \$ 100          | 92,276              |
| PO III                          | new         | \$ 51,147           | \$ 3,913          | \$ 17,411         | \$ 18,778         | \$ 927           | \$ 100          | 92,276              |
| PO II                           | Handy       | \$ 41,829           | \$ 3,200          | \$ 9,968          | \$ 18,730         | \$ 758           | \$ 100          | 74,585              |
| PO II                           | Guillen     | \$ 42,120           | \$ 3,223          | \$ 14,338         | \$ 18,409         | \$ 763           | \$ 100          | 78,953              |
| PO II                           | Benson      | \$ 41,288           | \$ 3,159          | \$ 9,839          | \$ 18,727         | \$ 748           | \$ 100          | 73,861              |
| PO II                           | Cazares     | \$ 41,288           | \$ 3,159          | \$ 9,839          | \$ 18,727         | \$ 748           | \$ 100          | 73,861              |
| PO II                           | S. Carter   | \$ 39,645           | \$ 3,033          | \$ 9,448          | \$ 18,412         | \$ 719           | \$ 100          | 71,356              |
| PO II                           | Liljenquist | \$ 39,749           | \$ 3,041          | \$ 9,473          | \$ 7,034          | \$ 720           | \$ 100          | 60,117              |
| PO II                           | Walker      | \$ 39,166           | \$ 2,997          | \$ 9,334          | \$ 14,313         | \$ 710           | \$ 100          | 66,621              |
| PO II                           | Brown       | \$ 39,166           | \$ 2,997          | \$ 9,334          | \$ 16,514         | \$ 710           | \$ 100          | 68,822              |
| PO II                           | Mauhar      | \$ 39,166           | \$ 2,997          | \$ 9,334          | \$ 7,269          | \$ 710           | \$ 100          | 59,577              |
| Admin Prof                      | Brenchley   | \$ 46,197           | \$ 3,535          | \$ 8,533          | \$ 14,365         | \$ 62            | \$ 100          | 72,792              |
| Admin Prof                      | Watters     | \$ 41,122           | \$ 3,146          | \$ 7,596          | \$ 18,726         | \$ 55            | \$ 100          | 70,745              |
| various                         | Raises      | \$ 20,575           | \$ 1,574          | \$ 7,004          | \$ 107            | \$ 373           | \$ -            | 29,633              |
| -                               | -           |                     |                   |                   |                   |                  |                 |                     |
| <b>Total Permanent</b>          | 105311      | <u>1,292,921</u>    | <u>98,921</u>     | <u>393,722</u>    | <u>432,576</u>    | <u>21,968</u>    | <u>2,500</u>    | <u>2,242,607</u>    |
| Crossing Guards & Bailiffs      |             | 96,958              | 7,417             | -                 | -                 | \$ 1,757         | 1,500           | 107,632             |
| <b>Total Part-time</b>          | 105312      | <u>96,958</u>       | <u>7,417</u>      | <u>-</u>          | <u>-</u>          | <u>1,757</u>     | <u>1,500</u>    | <u>107,632</u>      |
| Overtime                        |             | 75,000              | 5,738             | -                 | -                 | \$ 1,359         | -               | 82,097              |
| <b>Total Overtime</b>           | 105310      | <u>75,000</u>       | <u>5,738</u>      | <u>-</u>          | <u>-</u>          | <u>1,359</u>     | <u>-</u>        | <u>82,097</u>       |
| <b>Total</b>                    |             | <u>\$ 1,464,878</u> | <u>\$ 112,076</u> | <u>\$ 393,722</u> | <u>\$ 432,576</u> | <u>\$ 25,084</u> | <u>\$ 4,000</u> | <u>\$ 2,432,336</u> |
| <hr/>                           |             |                     |                   |                   |                   |                  |                 |                     |
| Prior Year (As Modified)        |             | \$ 1,262,757        | \$ 828,246        |                   |                   |                  |                 | \$ 2,091,003        |
| <hr/>                           |             |                     |                   |                   |                   |                  |                 |                     |
| Requested:                      |             | \$ 1,464,878        | \$ 967,458        |                   |                   |                  |                 | \$ 2,432,336        |
| Increase/(decrease) from P/Y    |             | 202,121             | 139,212           |                   |                   |                  |                 | 341,333             |
| Recommended:                    |             |                     |                   |                   |                   |                  |                 | \$ -                |
| Amount changed from requested   |             | (1,464,878)         | (967,458)         |                   |                   |                  |                 | (2,432,336)         |
| Increase/(decrease) from P/Y    |             | (1,262,757)         | (828,246)         |                   |                   |                  |                 | (2,091,003)         |
| Approved:                       |             |                     |                   |                   |                   |                  |                 | \$ -                |
| Amount changed from recommended |             | 1,464,878           | 967,458           |                   |                   |                  |                 | 2,432,336           |
| Increase/(decrease) from P/Y    |             | (1,262,757)         | (828,246)         |                   |                   |                  |                 | (2,091,003)         |

**Changes from requested to approved:**





# COUNCIL AGENDA

## March 8, 2016

Agenda Item “c”                      Miss Syracuse Pageant Budget Request

***Factual Summation***

- Representatives of the Miss Syracuse Pageant have requested a few minutes on the Council agenda to discuss a budget request.



# COUNCIL AGENDA

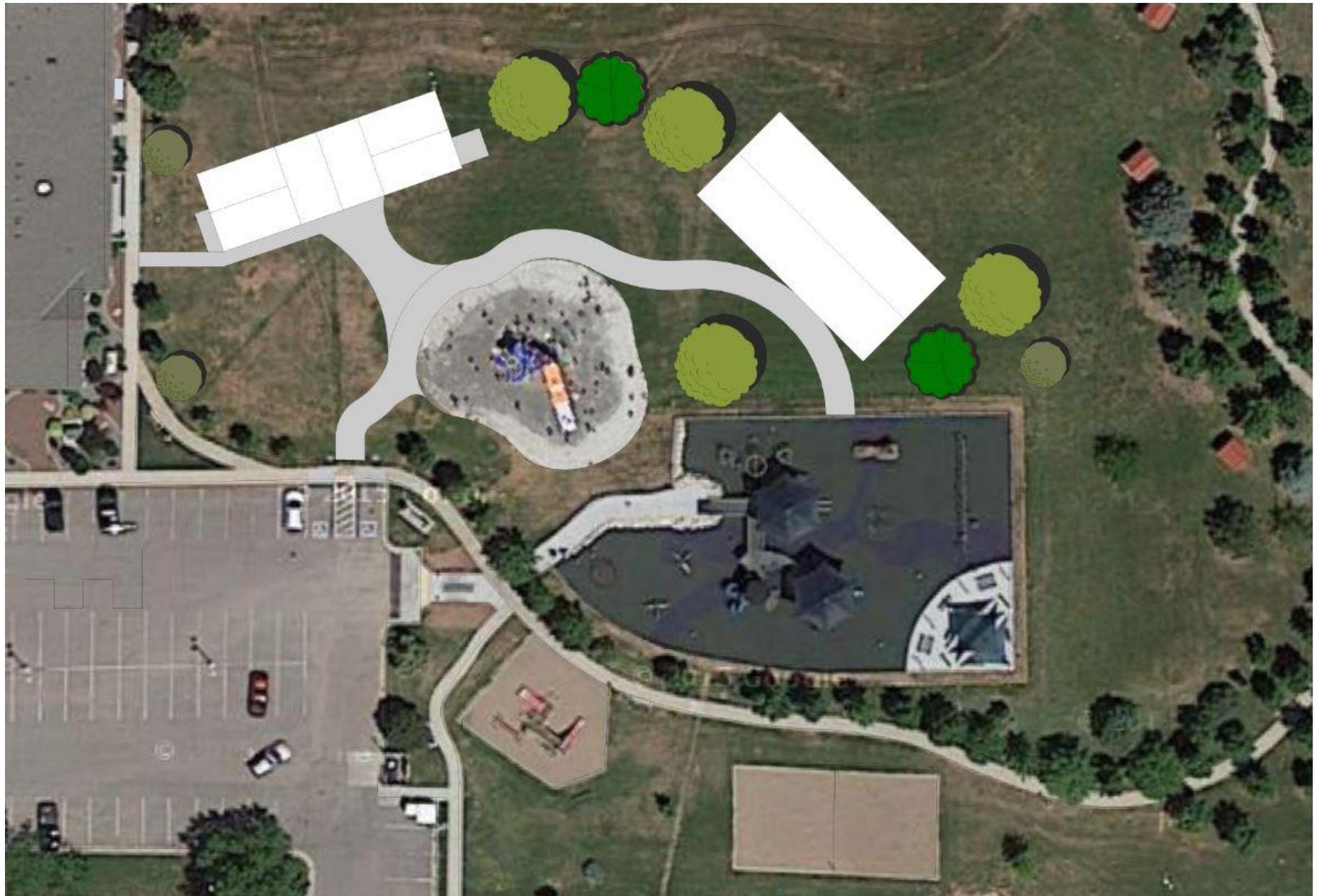
March 8, 2016

Agenda Item “d”                      Discussion regarding Centennial Park restroom structure.

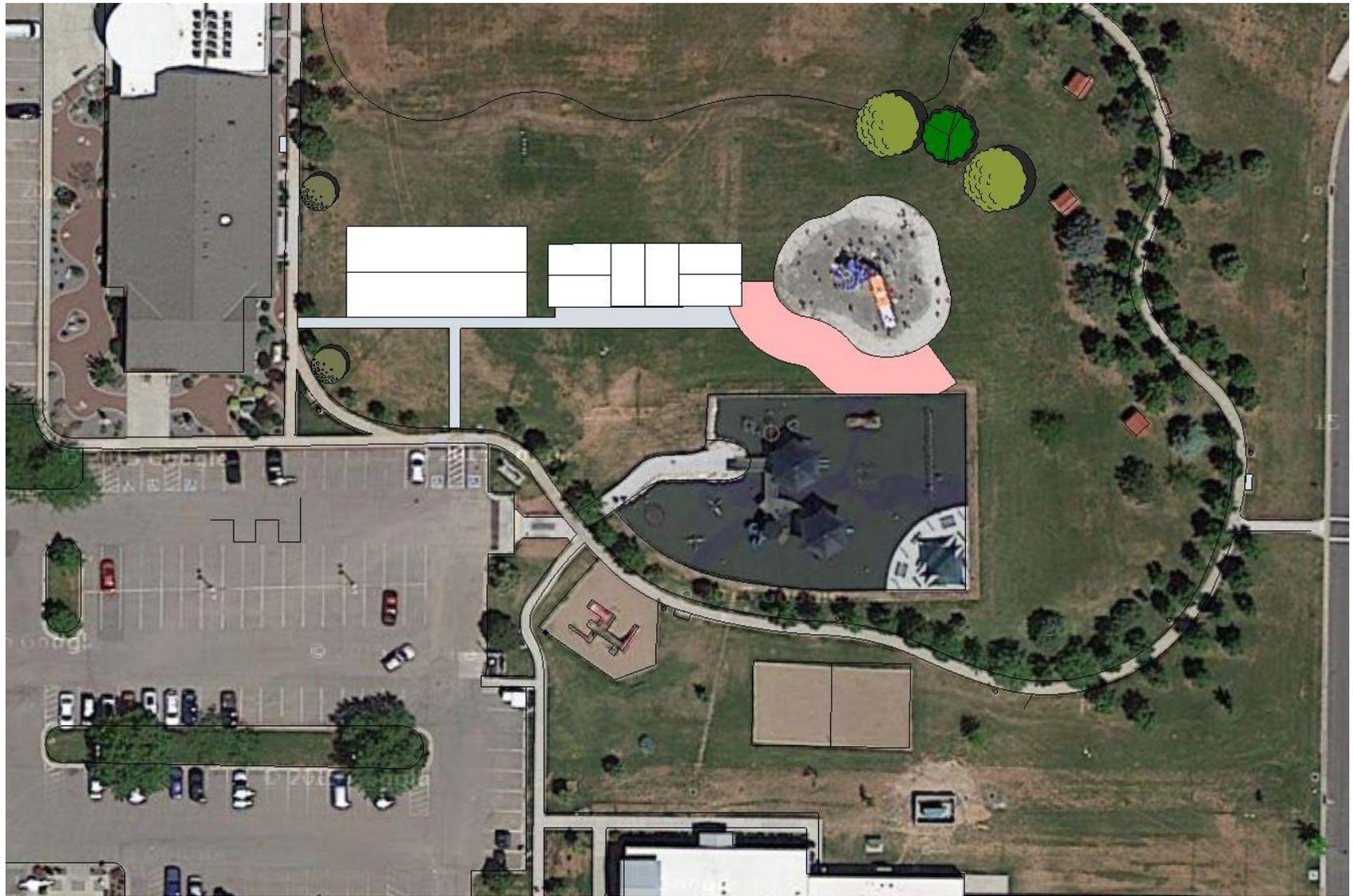
## *Factual Summation*

- Any questions regarding this agenda item may be directed at Kresta Robinson, Parks and Recreation Director and Robert Whitely, Public Works Director.
- The concept sketch for Centennial Park restroom has been completed for your review and discussion.
- Please review the following attachments:
  - a. Conceptual designs for Centennial Park
  - b. Centennial Park Restroom Concept #1
  - c. Centennial Park Restroom Concept #2
- Staff is seeking direction from Council on how to proceed.

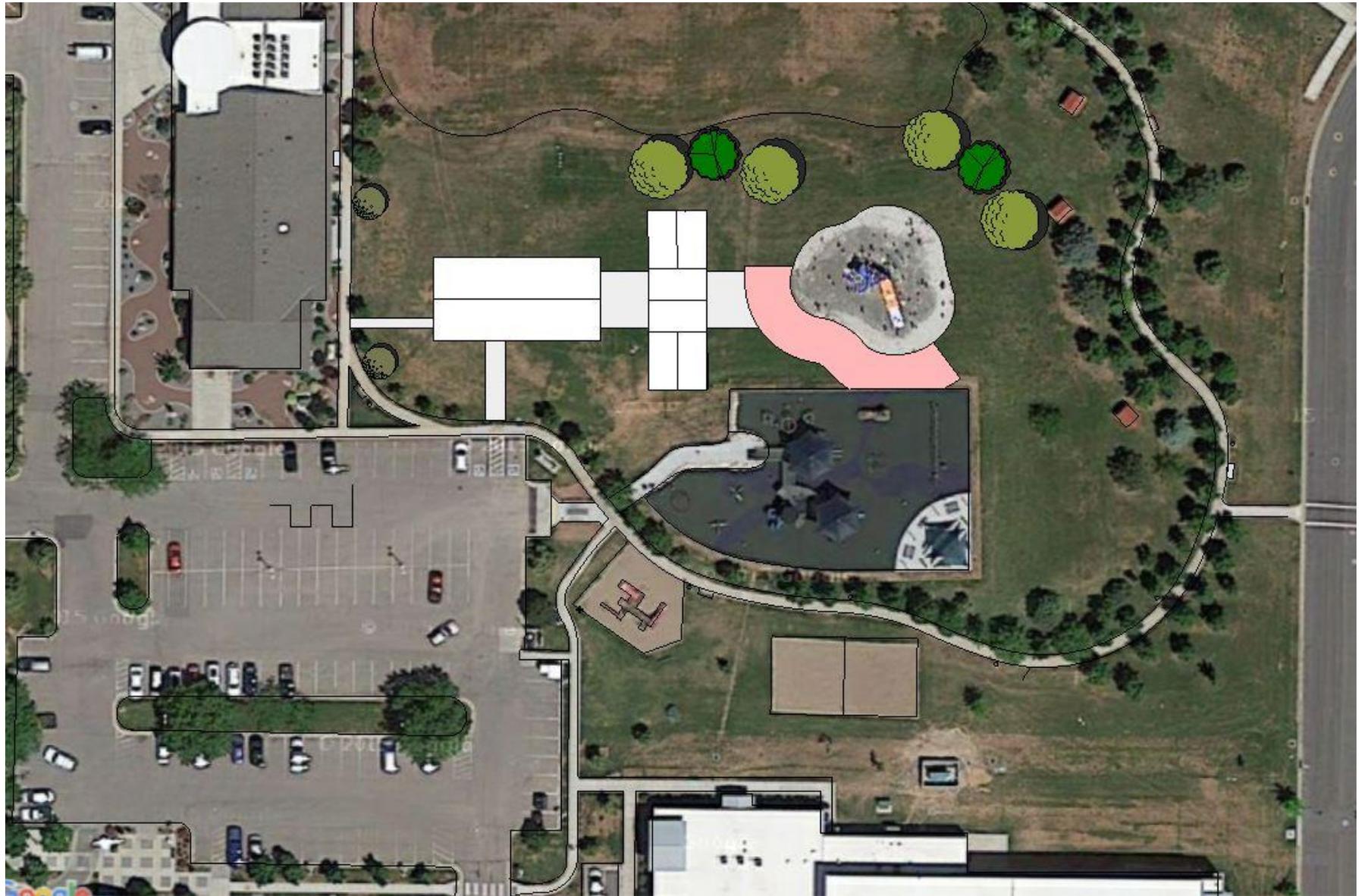
Option #1

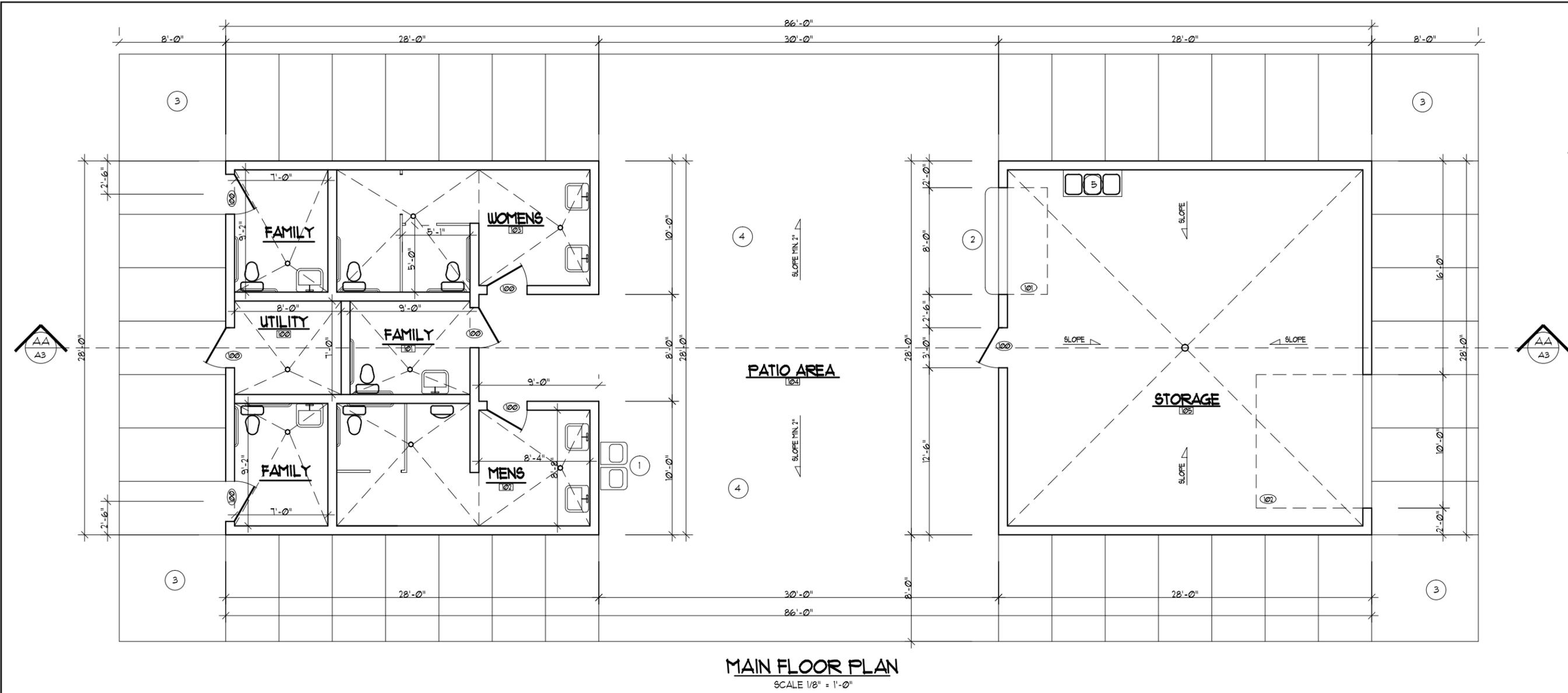


Option #2



Option #3





**Karras Engineering**  
RESIDENTIAL / COMMERCIAL - DESIGN & ENGINEERING  
(801) 786-0849 - email: KustomNK@aol.com

| NO.                        | REVISIONS     |
|----------------------------|---------------|
| ONE <td>LAYOUT CHANGE</td> | LAYOUT CHANGE |

DATE: 2-22-16

**PRELIMINARY LAYOUT  
NOT FOR CONSTRUCTION**

**MAIN FLOOR PLAN**

**SYRACUSE CITY  
CENTENNIAL PARK**

DATE: 12-1-15  
DRAWN BY: NJK  
SHEET

| ROOM FINISH SCHEDULE                          |         |              |                  |                 |
|-----------------------------------------------|---------|--------------|------------------|-----------------|
| NUM.                                          | ROOM    | FLOOR        | WALLS            | CEILING         |
| 100                                           | UTILITY | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP.    |
| 101                                           | FAMILY  | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP.    |
| 102                                           | MENS    | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP.    |
| 103                                           | WOMENS  | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP.    |
| 104                                           | PATIO   | SEALED CONC. |                  | ALUMINUM SOFFIT |
| 105                                           | STORAGE | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP.    |
| INTERIOR BLOCK WALLS SEALED TYPICAL ALL ROOMS |         |              |                  |                 |
| FRP - FIBER REINFORCED PLATIC                 |         |              |                  |                 |

| DOOR SCHEDULE                       |        |                                          |           |  |
|-------------------------------------|--------|------------------------------------------|-----------|--|
| NUM.                                | QUANT. | DOOR SIZE & TYPE                         | HARDWARE  |  |
| 100                                 | 5      | 3'-0" X 7'-0" STEEL SOLID CORE W/ LOUVER | BATH/LOCK |  |
| 101                                 | 1      | 8'-0" X 4'-0" STEEL ROLL UP DOOR         | LOCK      |  |
| 102                                 | 1      | 10'-0" X 8'-0" STEEL ROLL UP DOOR        | LOCK      |  |
| * DANE LA100 TYPE LEVERSET OR EQUAL |        |                                          |           |  |

- NOTES: GENERAL**
- CONTRACTOR IS TO VERIFY DESIGN, DIMENSIONS AND NOTES PRIOR TO BEGINNING OF CONSTRUCTION.
  - ALL WORK IS TO BE DONE UNDER THE SUPERVISION OF A LICENSED CONTRACTOR.
  - ALL WORK IS TO BE DONE UNDER LOCAL AND STATE BUILDING CODES.
  - ELECTRICAL SHALL BE PER NATIONAL ELECTRIC CODE, LATEST EDITIONS.
  - HEATING/MECHANICAL WORK SHALL BE PER APPLICABLE CODES, LATEST EDITIONS.

- RESTROOM**
- PROVIDE FLOOR DRAIN.
  - PROVIDE STAINLESS STEEL GRAB BAR 36" LONG AT REAR OF TOILET AND 42" BAR ON SIDE.
  - PROVIDE AND INSTALL DUAL ROLL TISSUE DISPENSER.
  - PROVIDE AND INSTALL 36" X 36" S.S. MIRROR.
  - PROVIDE AND INSTALL OVAL SINK BASIN WITH FAUCET. HANDICAP ACCESSIBLE.
  - PROVIDE AND INSTALL POWER FLUSH TOILET.

| FLOOR PLAN KEY |                                     |
|----------------|-------------------------------------|
| NUM.           | DESCRIPTION                         |
| 1              | DRINKING FOUNTAIN - SEE MECHANICAL  |
| 2              | 8'-0" x 12" ALUMINUM COUNTER TOP    |
| 3              | 8'-0" SIDEWALK WITH 6" ROADBASE     |
| 4              | CONCRETE PATIO WITH 6" ROADBASE     |
| 5              | KITCHEN SINK - BY OTHERS - ROUGH IN |
| 6              |                                     |
| 7              |                                     |

**A1**

# SYRACUSE CITY CENTENNIAL PARK RESTROOM AND STORAGE

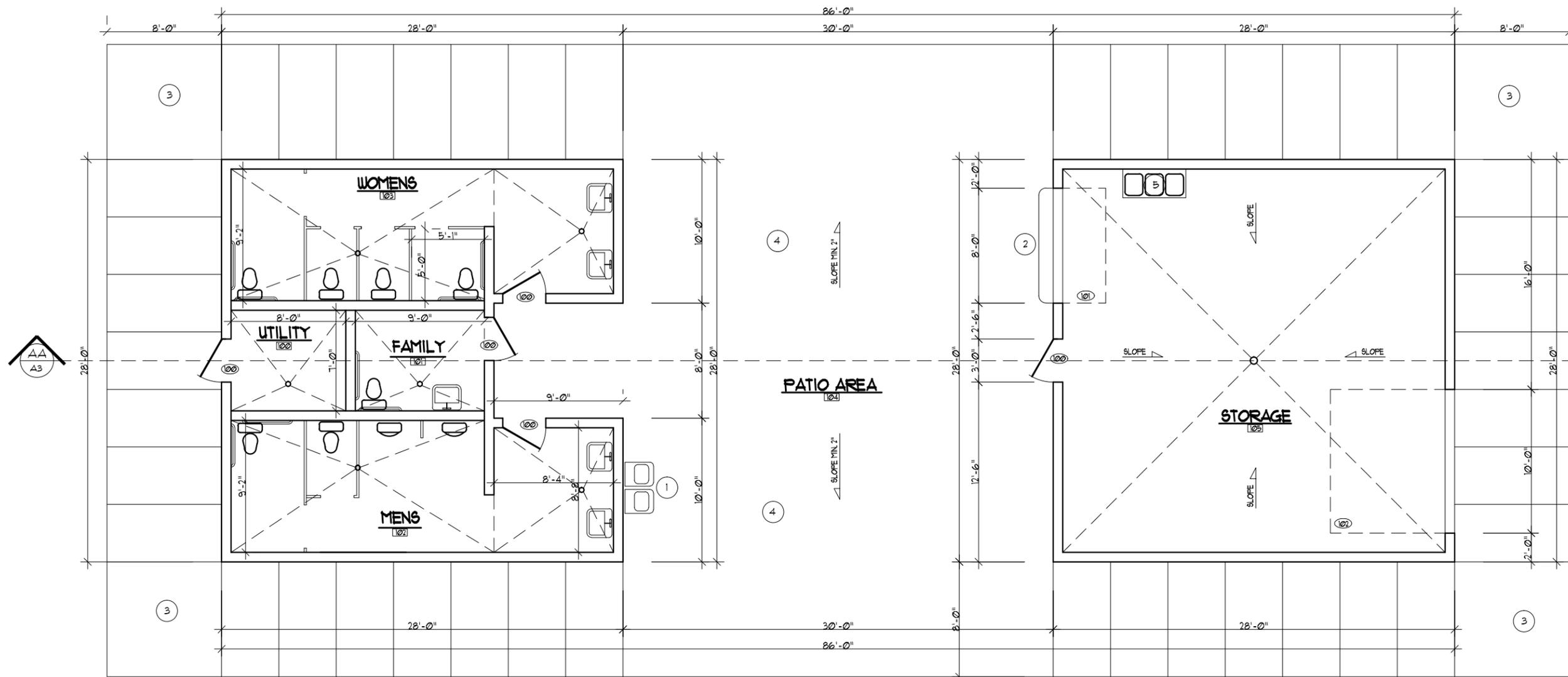
JANUARY 2016

| PLAN SET                                                          |                              |
|-------------------------------------------------------------------|------------------------------|
| CS                                                                | COVER SHEET                  |
| A1                                                                | MAIN FLOOR PLAN              |
| A2                                                                | ELEVATION VIEWS              |
| A3                                                                | ELEVATION VIEWS              |
| S1                                                                | FOOTING AND FOUNDATION PLAN  |
| S2                                                                | ROOF FRAMING PLAN            |
| S3                                                                | STRUCTURAL DETAILS AND NOTES |
| PI                                                                | PLUMBING PLAN                |
| EI                                                                | ELECTRICAL PLAN              |
| CONTACT INFORMATION:<br>SYRACUSE CITY PUBLIC WORKS - 801-825-7235 |                              |

BID SET - NOT FOR CONSTRUCTION

**Karras Engineering**  
RESIDENTIAL / COMMERCIAL DESIGN & ENGINEERING  
NATE KARRAS P.E. (801) 782-0849 email: [KustomNK@aol.com](mailto:KustomNK@aol.com)  
NOTE THIS PLAN IS THE PROPERTY OF KARRAS ENGINEERING  
DO NOT COPY WITHOUT WRITTEN PERMISSION

SCALE  
1/8" = 1'-0"  
SHEET  
**CS**



**MAIN FLOOR PLAN**  
SCALE 1/8" = 1'-0"

**Karras Engineering**  
RESIDENTIAL / COMMERCIAL - DESIGN & ENGINEERING  
(801) 786-0849 - email: KustomNK@aol.com  
NOTE: THIS PLAN IS THE PROPERTY OF KUSTOM HOUSE PLANS  
DO NOT COPY WITHOUT WRITTEN PERMISSION

| NO. | REVISIONS |
|-----|-----------|
|     |           |
|     |           |
|     |           |

PRELIMINARY LAYOUT  
NOT FOR CONSTRUCTION  
MAIN FLOOR PLAN

SYRACUSE CITY  
CENTENNIAL PARK  
DATE: 12-1-15  
DRAWN BY: NJK  
SHEET

| ROOM FINISH SCHEDULE                          |         |              |                  |              |
|-----------------------------------------------|---------|--------------|------------------|--------------|
| NUM.                                          | ROOM    | FLOOR        | WALLS            | CEILING      |
| 100                                           | UTILITY | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP. |
| 101                                           | FAMILY  | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP. |
| 102                                           | MENS    | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP. |
| 103                                           | WOMENS  | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP. |
| 104                                           | PATIO   | SEALED CONC. | ALUMINUM SOFFIT  |              |
| 105                                           | STORAGE | SEALED CONC. | SEALED CMU BLOCK | PAINTED GYP. |
| INTERIOR BLOCK WALLS SEALED TYPICAL ALL ROOMS |         |              |                  |              |
| FRP - FIBER REINFORCED PLATIC                 |         |              |                  |              |

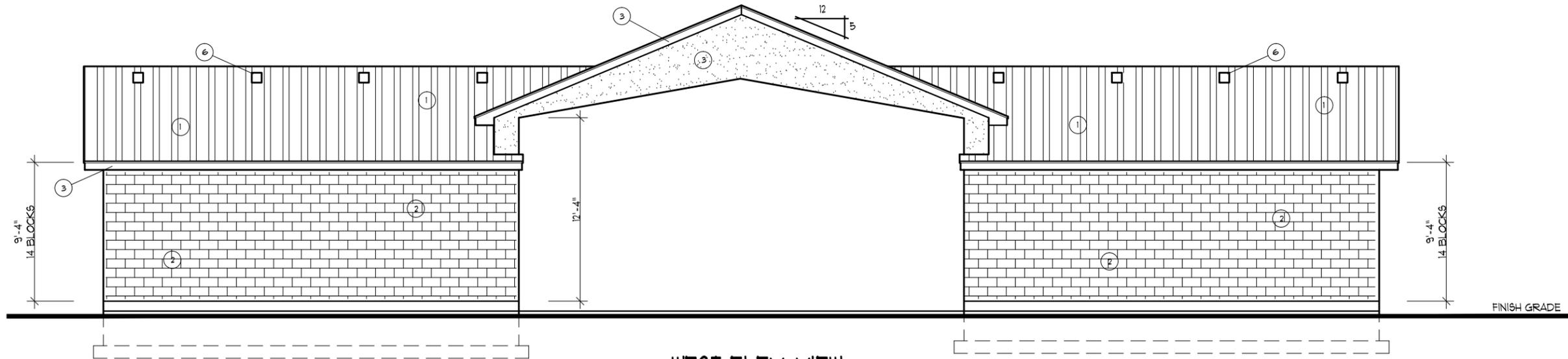
| DOOR SCHEDULE                       |        |                                          |           |
|-------------------------------------|--------|------------------------------------------|-----------|
| NUM.                                | QUANT. | DOOR SIZE & TYPE                         | HARDWARE  |
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| * DANE LA100 TYPE LEVERSET OR EQUAL |        |                                          |           |

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  - PROVIDE AND INSTALL POWER FLUSH TOILET.

| FLOOR PLAN KEY |                                     |
|----------------|-------------------------------------|
| NUM.           | DESCRIPTION                         |
| 1              | DRINKING FOUNTAIN - SEE MECHANICAL  |
| 2              | 8'-0" x 12" ALUMINUM COUNTER TOP    |
| 3              | 8'-0" SIDEWALK WITH 6" ROADBASE     |
| 4              | CONCRETE PATIO WITH 6" ROADBASE     |
| 5              | KITCHEN SINK - BY OTHERS - ROUGH IN |
| 6              |                                     |
| 7              |                                     |

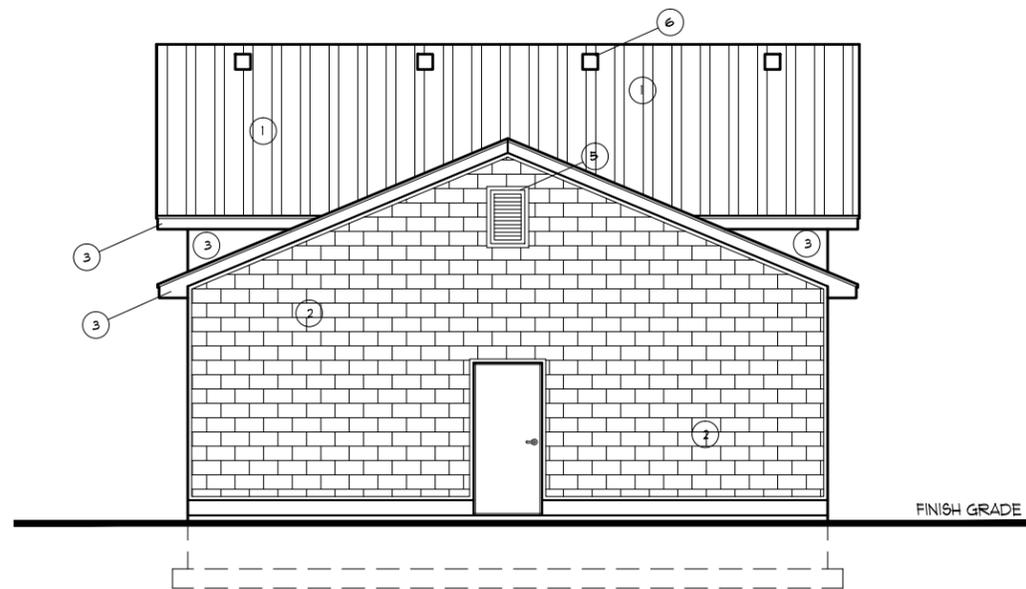
A1



**WEST ELEV. VIEW**

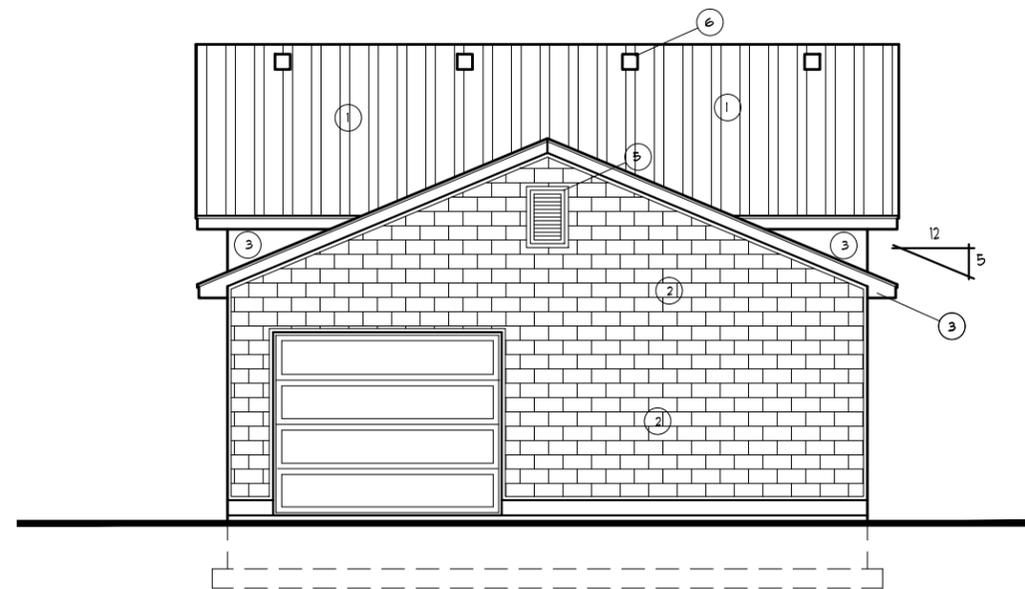
SCALE 1/4" = 1'-0"  
EAST ELEVATION SIMILAR

| EXTERIOR KEY |                                                                  |
|--------------|------------------------------------------------------------------|
| NUM.         | DESCRIPTION                                                      |
| 1            | METAL ROOF - COLOR BY CITY                                       |
| 2            | SMOOTH FACE CMU - COLOR BY CITY                                  |
| 3            | STUCCO - COLOR BY CITY                                           |
| 4            | 6" ALUMINUM FASCIA WITH CONTINUOUS VENTED SOFFIT - COLOR BY CITY |
| 5            | 16"x24" ROOF VENT                                                |
| 6            | ROOF VENT                                                        |



**SOUTH ELEV. VIEW**

SCALE 1/4" = 1'-0"



**NORTH ELEV. VIEW**

SCALE 1/4" = 1'-0"

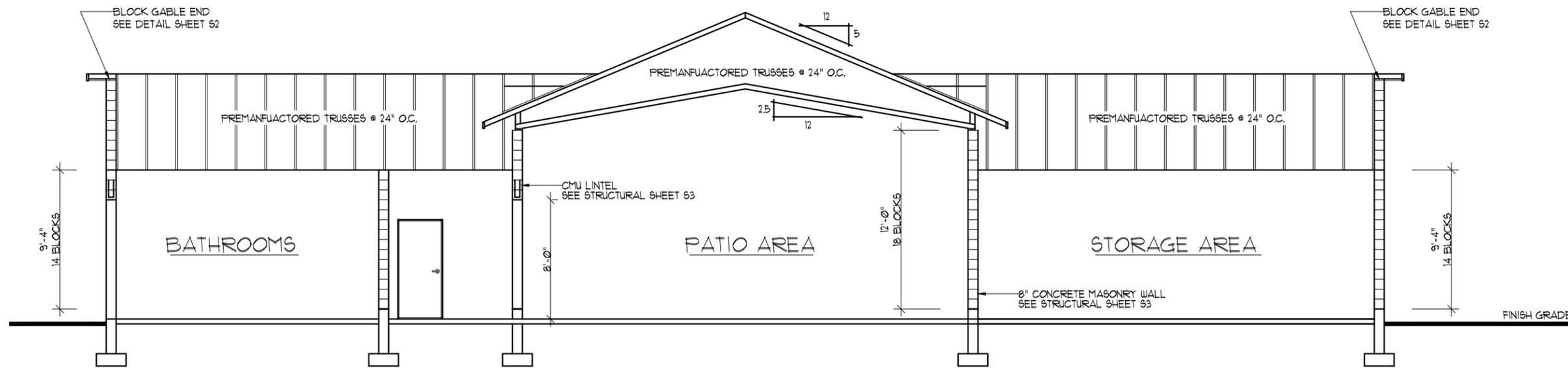
| NO. | REVISIONS |
|-----|-----------|
|     |           |
|     |           |
|     |           |

PRELIMINARY LAYOUT  
NOT FOR CONSTRUCTION  
ELEVATION VIEWS

SYRACUSE CITY  
CENTENNIAL PARK

DATE: 12-1-15  
DRAWN BY: NJK

SHEET  
**A2**

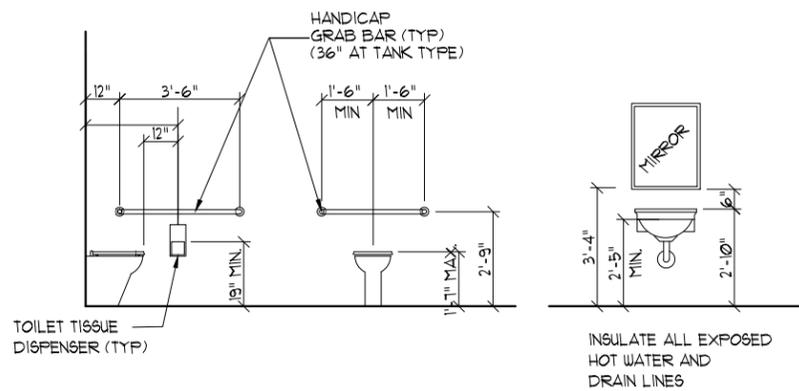


**CROSS SECTION VIEW "AA"**

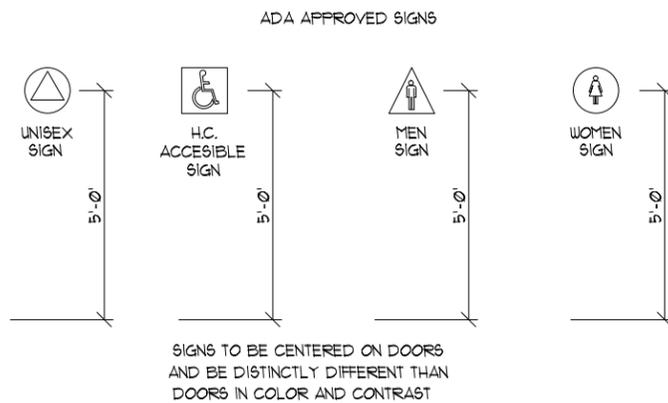
SCALE 1/4" = 1'-0"

| NO. | DATE | REVISIONS |
|-----|------|-----------|
|     |      |           |
|     |      |           |
|     |      |           |

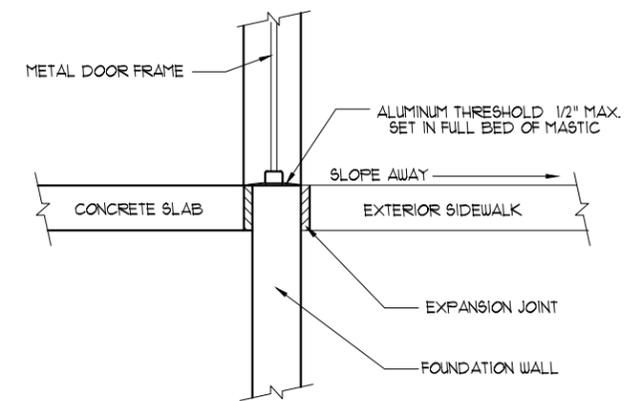
**PRELIMINARY LAYOUT  
 NOT FOR CONSTRUCTION  
 CROSS SECTION DETAILS**



**BATHROOM ELEVATIONS**  
 NOT TO SCALE



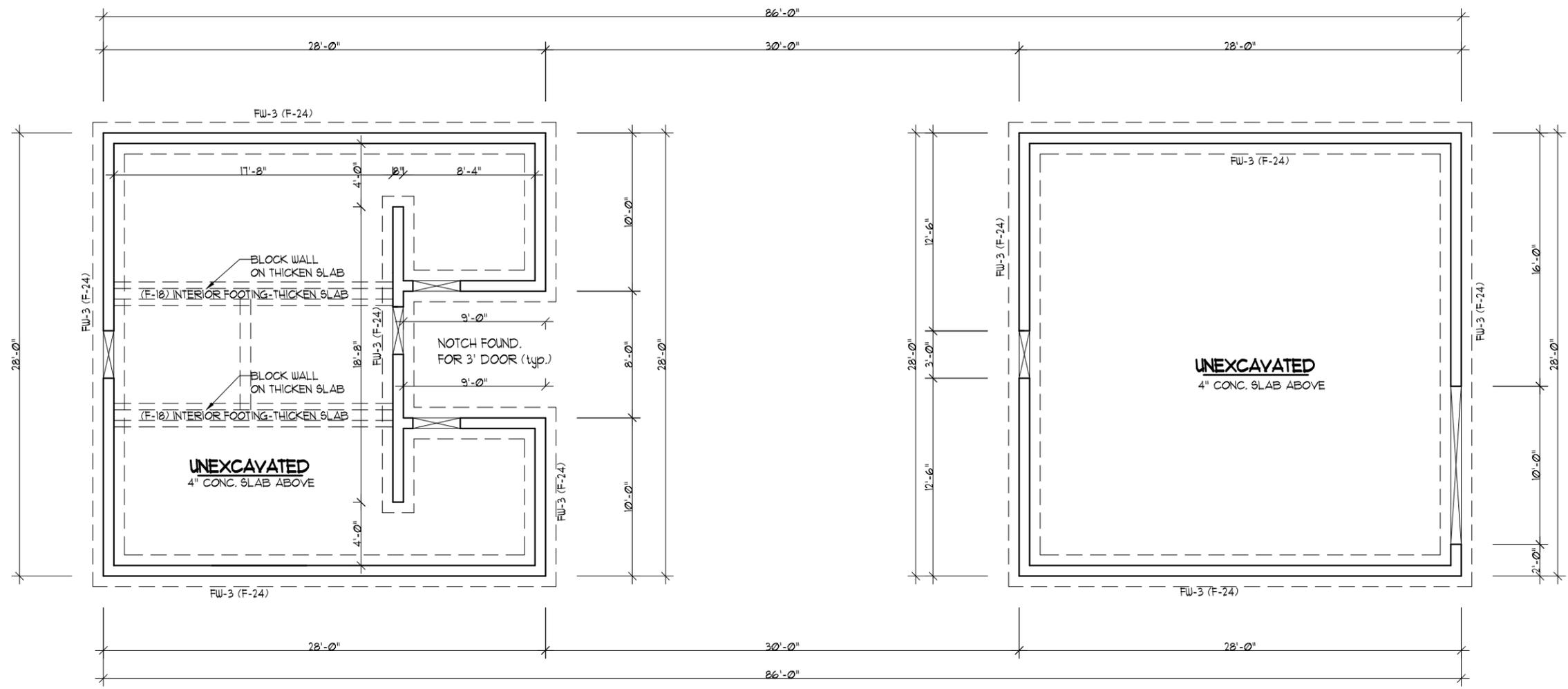
**SIGN ELEVATION VIEWS**  
 NOT TO SCALE



**ENTRY WAY THRESHOLD**  
 NOT TO SCALE

**SYRACUSE CITY  
 CENTENNIAL PARK**

DATE: 12-1-15  
 DRAWN BY: NJK  
 SHEET



**FOUNDATION PLAN**  
SCALE 1/8" = 1'-0"

**FOUNDATION WALL SCHEDULE** CONCRETE F<sub>c</sub> - 3,000 psi  
STEEL F<sub>y</sub> - 60,000 psi

| MARK | WALL HEIGHT | WIDTH | REINFORCING STEEL SPACING |                       | NOTES |
|------|-------------|-------|---------------------------|-----------------------|-------|
|      |             |       | HORIZONTAL BAR            | VERTICAL BAR          |       |
| FU-3 | 3'-0"       | 8"    | * 4 BARS @ 10" O.C.       | 3 * 4 BARS @ 24" O.C. |       |
| FW-4 | 3'-6"       | 8"    | * 4 BARS @ 12" O.C.       | * 4 BARS @ 24" O.C.   |       |
|      |             |       |                           |                       |       |

**FOOTING SCHEDULE** CONCRETE F<sub>c</sub> - 3,000 psi  
STEEL F<sub>y</sub> - 60,000 psi

| MARK | WIDTH | THICK-NESS | LENGTH | REINFORCING STEEL |           | NOTES                           |
|------|-------|------------|--------|-------------------|-----------|---------------------------------|
|      |       |            |        | * OF BARS         | * OF BARS |                                 |
| F-18 | 18"   | 9"         | CONT.  | * 4 BARS          | 2         | THICKEN SLAB - INTERIOR FOOTING |
| F-24 | 24"   | 10"        | CONT.  | * 4 BARS          | 2         | (SEE WALL TYPICAL WALL SECTION) |
| F-30 | 30"   | 12"        | CONT.  | * 4 BARS          | 3         | (SEE WALL TYPICAL WALL SECTION) |
|      |       |            |        |                   |           |                                 |

**FOOTING & FOUNDATION**

1. ALL FOOTINGS ARE TO REST ON UNDISTURBED SOIL AND SHALL BE A MINIMUM OF 30", OR LOCAL FROST DEPTH, BELOW THE FINISHED GRADE.
2. ANY ANOMALOUS SOIL CONDITION ENCOUNTERED DURING EXCAVATION, SUCH AS SLIPPAGE, HIGH MOISTURE CONTENT, IMPROPER DRAINAGE, ETC., SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING.
3. HOLD-DOWNS SHALL BE EMBEDDED IN THE FOUNDATION PER MANUFACTURERS REQUIREMENTS. THE CONTRACTOR SHALL ENSURE THAT THE FASTENER HOOKS THE REBAR AND MEETS THE MINIMUM EDGE DISTANCE.

**CONCRETE-ENCASED ELECTRODE**

AN ELECTRODE ENCASED BY AT LEAST 2 INCHES OF CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF ONE OR MORE BARS OR ZINC-GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2 INCH DIAMETER, OR CONSISTING OF AT LEAST 20 FEET OF BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG SHALL BE CONSIDERED AS A GROUNDING ELECTRODE. REINFORCING BARS SHALL BE PERMITTED TO BE BONDED TOGETHER BY THE USUAL STEEL TIE WIRE OR OTHER EFFECTIVE MEANS. E3502.12

| DATE | NO. | REVISIONS |
|------|-----|-----------|
|      |     |           |
|      |     |           |

**PRELIMINARY LAYOUT  
NOT FOR CONSTRUCTION**

**FOOTING AND FOUNDATION**

**SYRACUSE CITY  
CENTENNIAL PARK**

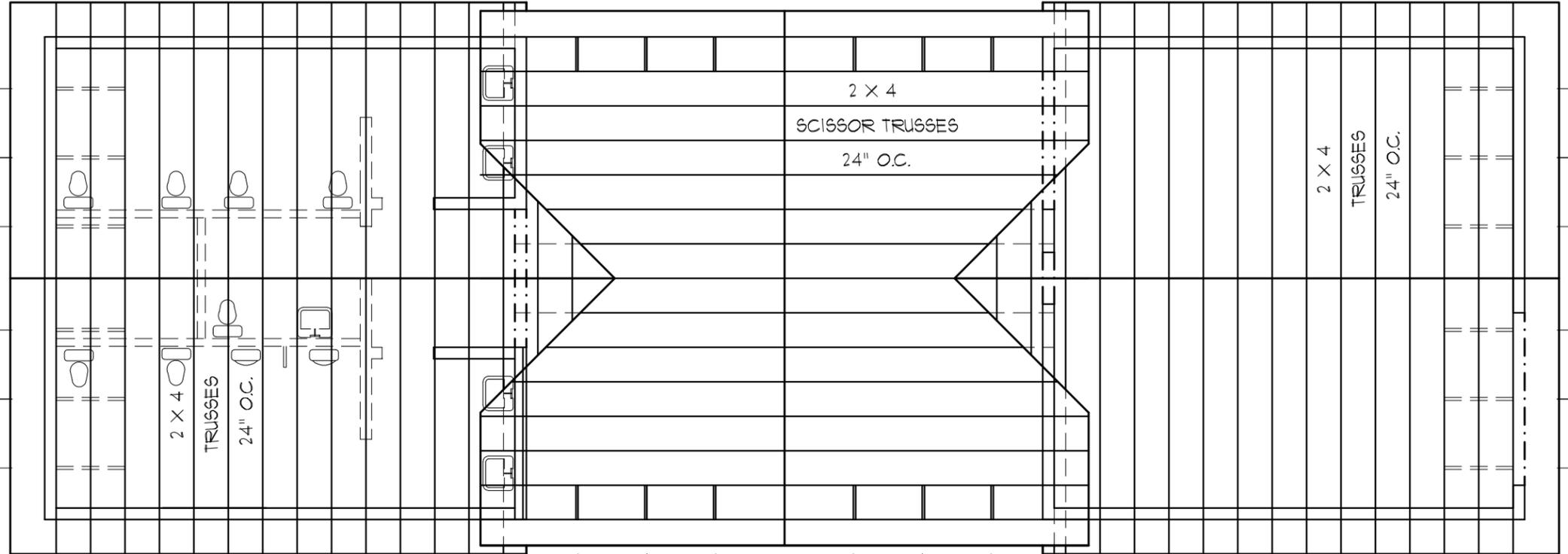
DATE: 12-1-15  
DRAWN BY: NJK  
SHEET

51

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SEE BLOCK GABLE END DETAIL  
 PROVIDE SOLID BLOCKING ON BOTTOM CHORD  
 WITH SIMPSON PA35 STRAPS NAILED TO BLOCKING & TRUSSES

4'-0" 4'-0" 4'-0" 4'-0"



WITH SIMPSON PA35 STRAPS NAILED TO BLOCKING & TRUSSES  
 PROVIDE SOLID BLOCKING ON BOTTOM CHORD  
 SEE BLOCK GABLE END DETAIL

4'-0" 4'-0" 4'-0" 4'-0"

SEE GABLE END DETAIL SEE GABLE END DETAIL

**ROOF FRAMING PLAN**  
 SCALE 1/8" = 1'-0"

**ROOF SHEATHING NOTES**

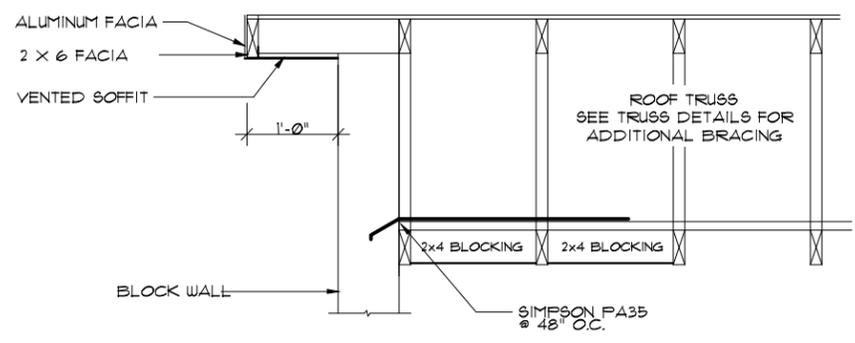
1. SHEATHING SHALL BE 1/2", 24/6, APA RATED SHEATHING. NAIL W/ 8d's @ 6" O.C. 3/8" FROM EDGE OF PANEL AT ALL PANEL ENDS, SUPPORTED EDGES, SHEARWALL TOPS, AND ALL BLOCKING. NAIL @ 12" O.C. ALONG INTERMEDIATE FRAMING MEMBERS.
2. LAY SHEATHING WITH FACE GRAIN AT RIGHT ANGLES TO FRAMING WITH STAGGERED END JOINTS.

**LINTEL NOTES**

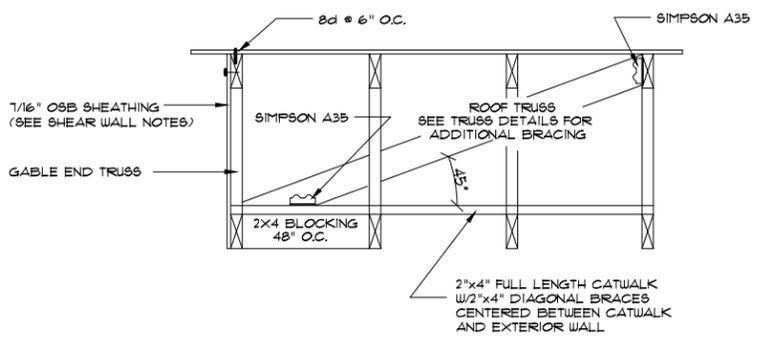
24" DEEP MASONRY SOLID GROUTED LINTEL W/ (2) #5 BARS TOP & BOTTOM AND (2) #5 VERTICAL BARS SOLID GROUTED AT JAMBS.

**TRUSS NOTES**

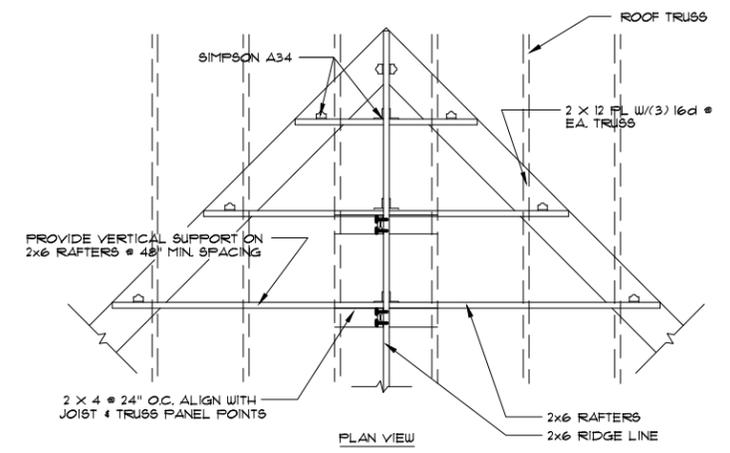
1. CONTRACTOR SHALL PROVIDE MINIMUM 22" X 30" ATTIC ACCESS.
2. THE CONTRACTOR SHALL BLOCK BETWEEN TRUSSES AND CONNECT EACH TRUSS TO WALL TOP PLATE WITH SIMPSON HI CONNECTORS.
3. GABLE ENDS SHALL HAVE SIMPSON STRONGTIE STRAPS @ 32" O.C. CONNECTING GABLE TRUSS TO WALL FRAMING.
4. ANY CHANGES TO THE TRUSS CONFIGURATION SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
5. ALL ENGINEERING TRUSS SUBMITTALS SHALL BE STAMPED BY A ENGINEER LICENSED IN THE STATE OF UTAH.



**BLOCK GABLE END DETAIL**  
 NOT TO SCALE



**GABLE END DETAIL**  
 NOT TO SCALE



**OVERBUILD DETAIL**  
 NOT TO SCALE

PRELIMINARY LAYOUT  
 NOT FOR CONSTRUCTION  
 ROOF FRAMING PLAN  
 SECTION VIEW AND DETAILS

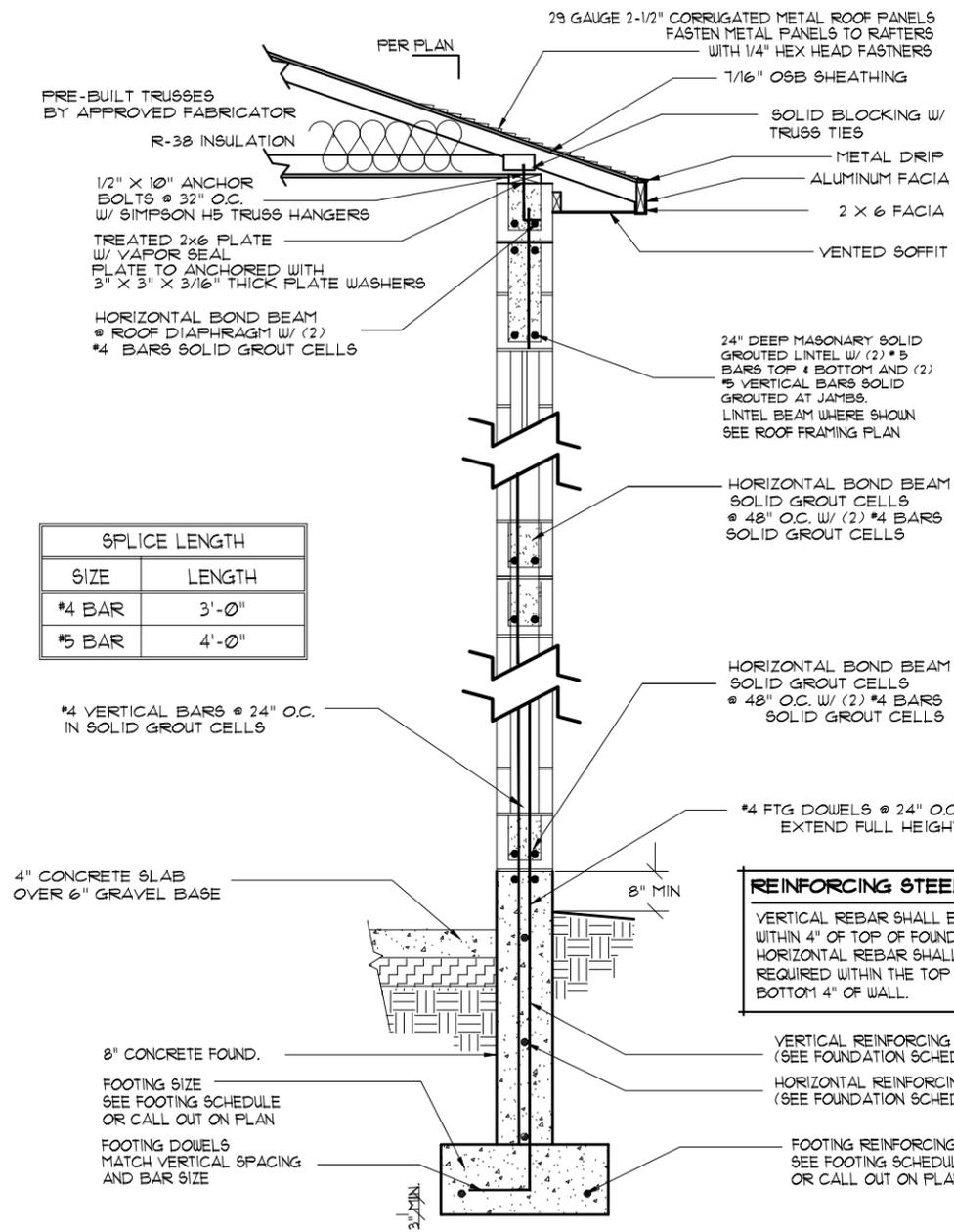
SYRACUSE CITY  
 CENTENNIAL PARK

DATE: 12-1-15  
 DRAWN BY: NJK  
 SHEET

52

**Karras Engineering**  
 RESIDENTIAL / COMMERCIAL DESIGN & ENGINEERING  
 (801) 786-0849 email: karrasnk@karras.com  
 NOTE: THIS PLAN IS THE PROPERTY OF KARRAS ENGINEERING  
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| SPLICE LENGTH |        |
|---------------|--------|
| SIZE          | LENGTH |
| #4 BAR        | 3'-0"  |
| #5 BAR        | 4'-0"  |

**REINFORCING STEEL**  
 VERTICAL REBAR SHALL EXTEND TO WITHIN 4" OF TOP OF FOUNDATION WALL  
 HORIZONTAL REBAR SHALL BE REQUIRED WITHIN THE TOP 4" AND BOTTOM 4" OF WALL.

CONCRETE F<sub>c</sub> - 3,000 psi  
 STEEL F<sub>y</sub> - 60,000 psi

**TYPICAL WALL DETAIL**  
 NOT TO SCALE

**MASONRY NOTES:**

- REINFORCE WALLS AS FOLLOWS:  
 A) 8" THICK WALLS: #4 BARS AT 24" O.C. VERTICAL, (2) #4 BARS AT 48" O.C. HORIZ. IN BOND BEAMS, SEE DETAILS.  
 B) PROVIDE ADDITIONAL STEEL FOR ROOF AND FLOOR DIAPHRAGM CHORDS, IN BOND BEAMS - SEE DETAILS.  
 C) PLACE ADDITIONAL BARS AT ALL CORNERS, DOOR AND WINDOW JAMBS, ETC. SEE DETAILS.
- DOVEL REINFORCING IN WALLS INTO THE FOOTING WITH REBAR OF THE SAME SIZE AND SPACING AS REQUIRED ABOVE. PROVIDE 40 BAR DIAMETERS FOR SPLICE (24" MIN.)
- REINFORCE MASONRY IN BOTH DIRECTIONS. GROUT FULL ALL BLOCK CELLS WITH REINFORCING. ALIGN CELLS TO PRESERVE UNOBSTRUCTED VERTICAL CELLS OF 2" X 3" MIN.
- CONCRETE UNIT MASONRY TO HAVE F<sub>m</sub> = 2000 PSI MIN. AND MEET APPROVAL OF OWNER.
- MASON TO INSTALL EMBEDDED ANCHOR BOLTS, EMBED PLATES, BEARING PLATES, ETC. AS REQUIRED.
- ALL REINFORCING STEEL TO BE GRADE 60. REINFORCING TO CONFORM TO ASTM, A615, OR A706.
- ALL HORIZONTAL REINFORCING IN HEADERS AND LINTELS SHALL EXTEND 24" MIN. BEYOND EDGE OF OPENING, INTO SUPPORT. IF HORIZ. REINFORCING CAN'T EXTEND 24" BEYOND EDGE OF OPENING, PROVIDE STANDARD 90 DEG. HOOK AT ENDS.
- DO NOT LAP BOTTOM STEEL AT CENTER SPAN, NOR TOP STEEL NEAR INTERIOR OR EXTERIOR SUPPORTS, TYPICAL ALL BEAMS AND LINTELS. ALL LAPS SHALL BE MADE IN THE SECTION OF THE WALL, AND NOT IN THE LINTEL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING AS REQUIRED.
- USE "U" BLOCK SAME THICKNESS AS THE WALL, AS THE BOTTOM BLOCK OF THE LINTEL.
- ALL STANDARD WALL REINFORCING SHALL CONTINUE THROUGH THE LINTEL SECTION.
- ALL LINTELS, AND 24" MIN. OF ADJACENT WALLS, SHALL BE GROUTED SOLID.

**DESIGN CRITERIA**

|                       |                                              |
|-----------------------|----------------------------------------------|
| GOVERNING CODE        | 2012 IRC                                     |
| SEISMIC               | ZONE D2<br>I = 1.00<br>F <sub>a</sub> = 1.00 |
| BASIC WIND SPEED      | 15 MPH<br>EXPOSURE C<br>I = 1.00             |
| ROOF LOADS            | DEAD : 15 PSF<br>LIVE : 30 PSF               |
| REINFORCING STEEL     | 60 KSI                                       |
| SOIL BEARING PRESSURE | 1500 PSF                                     |

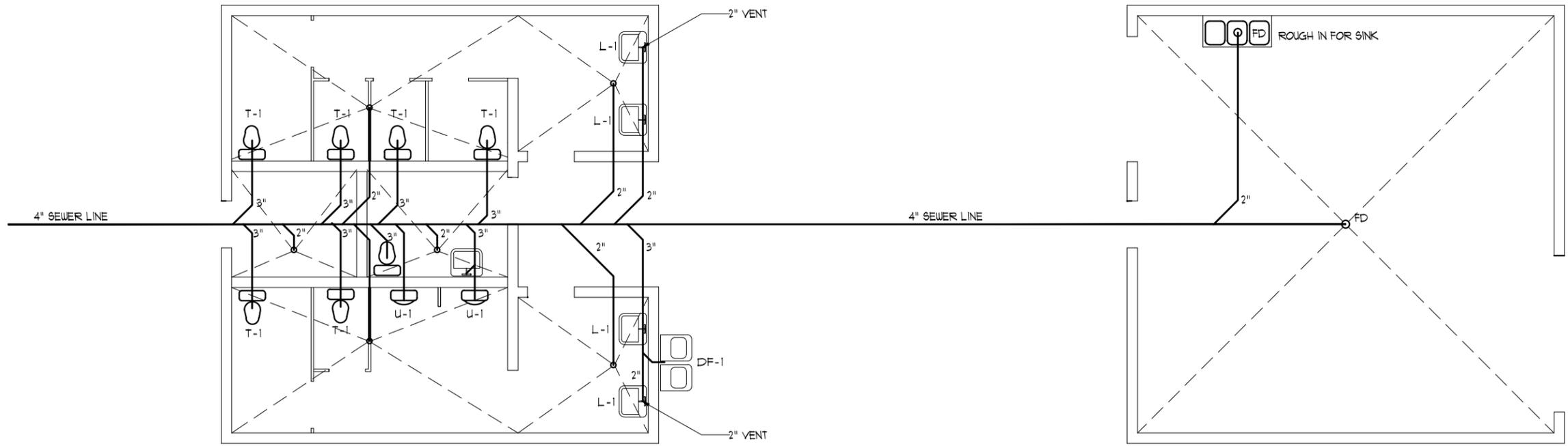
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PRELIMINARY LAYOUT  
 NOT FOR CONSTRUCTION  
 STRUCTURAL DETAILS

SYRACUSE CITY  
 CENTENNIAL PARK

DATE: 12-1-15  
 DRAWN BY: NJK

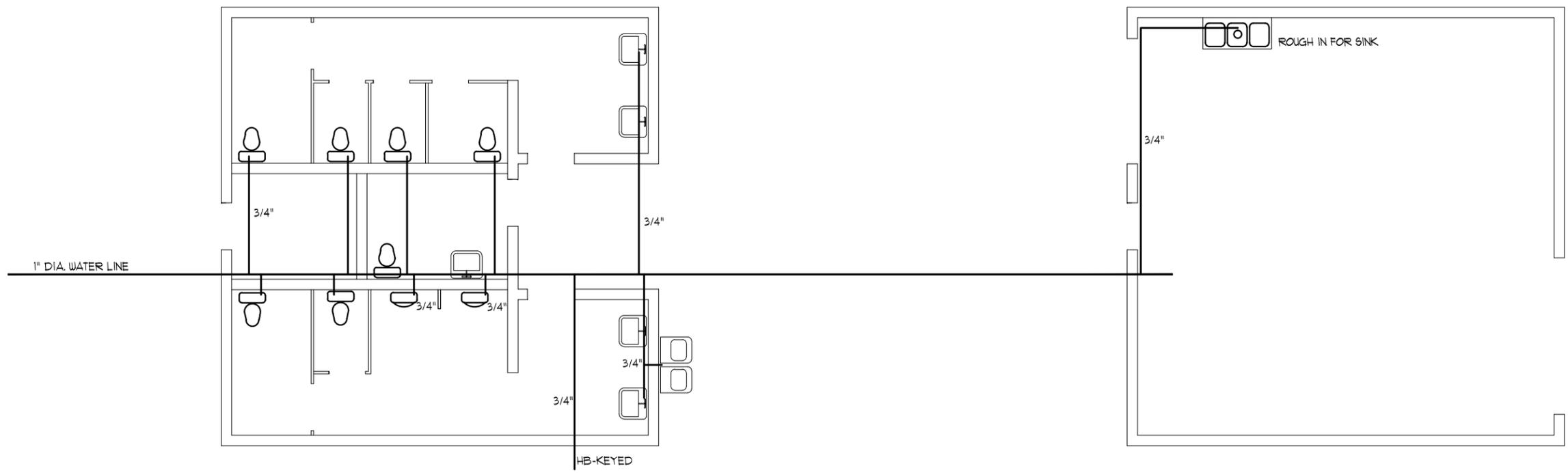
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 53



**PLUMBING PLAN - WASTE**  
SCALE 1/8" = 1'-0"

**PLUMBING FIXTURE SCHEDULE**

| NUM. | DESCRIPTION              | ITEM                        | COMMENTS        |
|------|--------------------------|-----------------------------|-----------------|
| L-1  | WALL HUNG LAVATORY       | AMERICAN STANDARD 9141.01   | WHITE           |
| T-1  | FLOW METER TOILET SYSTEM | AMERICAN STANDARD 2858.1111 | WHITE           |
| U-1  | URINAL                   | AMERICAN STANDARD 6581.001  | WHITE           |
| DF-1 | DRINKING FOUNTAIN        | HAUG MODEL: 1011HFS         | DUAL WALL MOUNT |



**PLUMBING PLAN - WATER**  
SCALE 1/8" = 1'-0"

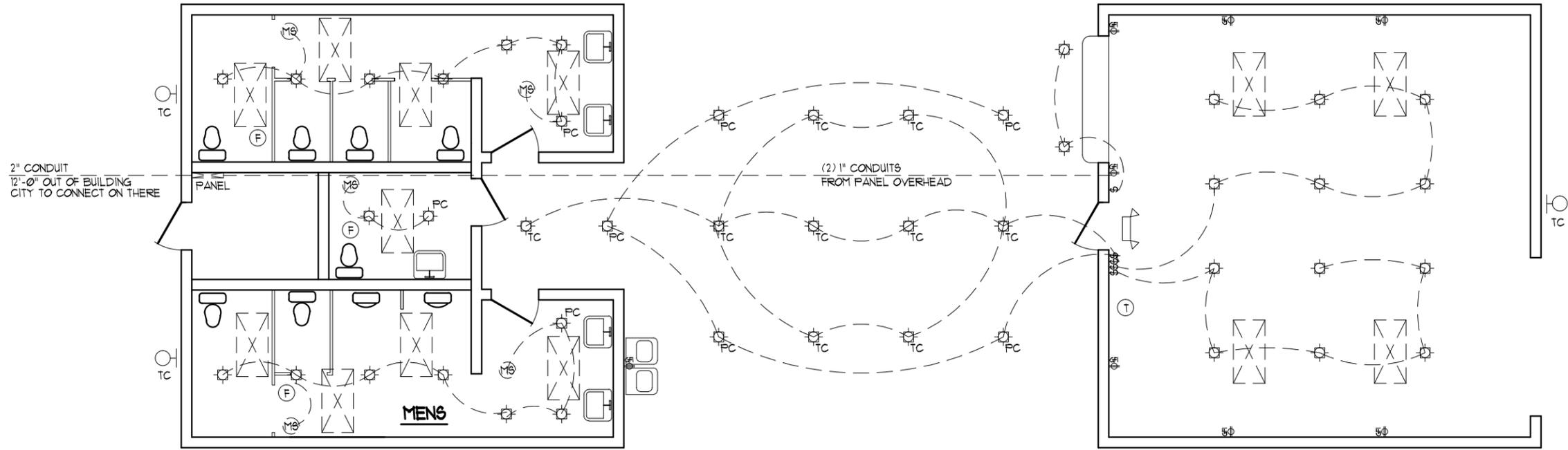
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PRELIMINARY LAYOUT  
NOT FOR CONSTRUCTION  
PLUMBING PLAN

SYRACUSE CITY  
CENTENNIAL PARK

DATE: 9-28-15  
DRAWN BY: NJK

SHEET  
**10**



**MAIN FLOOR PLAN**  
SCALE 1/8" = 1'-0"

### ELECTRICAL SYMBOLS

| SYMBOL | COMMENTS                                                              |
|--------|-----------------------------------------------------------------------|
|        | GFCI OUTLET                                                           |
|        | WALL MOUNT LED - RAB SLIM 12Y (BRONZE) 14 WATTS                       |
|        | LED 9 WATT RECESSED HALO H99ICAT-HOUSING NICOR DLR4-2T-120-3K-WH-TRIM |
|        | RADIANT HEATER 24X48-240V-150 WATTS QMARK CPT52011143 SURFACE MOUNT   |
|        | EMERGENCY EXIT SIGN - GREEN W/ BATT AND EMERGENCY LAMPS               |
|        | MOTION SENSOR                                                         |
|        | CEILING EXHAUST FAN                                                   |
|        | T-STAT                                                                |
| TC     | TIME CLOCK CONTROLLED                                                 |
| PC     | PHOTO CELL CONTROLLED                                                 |

**Karras Engineering**  
RESIDENTIAL / COMMERCIAL DESIGN & ENGINEERING  
(801) 786-0849 email: kstomink@koi.com  
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**PRELIMINARY LAYOUT  
NOT FOR CONSTRUCTION  
PLUMBING PLAN**

**SYRACUSE CITY  
CENTENNIAL PARK**

DATE: 9-28-15  
DRAWN BY: NJK  
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**CITY COUNCIL  
AGENDA**

March 8th, 2016

**Agenda Item "e.i"**

**Title 10.40.040: Minimum Parking Spaces**

**Summary:**

Planning Commission is requesting to modify the parking standards to more closely mirror the recommended ratios published by the Institute of Transportation Engineers.

**Attachments**

- "Red-lined" ordinance
- Ordinance

**ORDINANCE NO. 16-13**

**AN ORDINANCE AMENDING SECTION 10.40.040 OF THE SYRACUSE CITY MUNICIPAL CODE PERTAINING TO MINIMUM AND MAXIMUM PARKING SPACES.**

**WHEREAS**, the City Council has the authority, pursuant to state law, to establish ordinances for the health, welfare, comfort and safety of its residents and those visiting the City; and

**WHEREAS**, the Planning Commission and City Council have reviewed existing regulations governing off-street parking for new development in the City, referring in large part to a current publication by the Institute of Transportation Engineers; and

**WHEREAS**, the Council finds that the elimination of a maximum limit of parking spaces, as well as the adjustment of minimum parking spaces, as provided in this ordinance, will advance the safety, health and comfort of occupants of Syracuse City, prevent excessive on-street parking, and provide for a more efficient traffic flow,

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:**

**Section 1. Amendment.** Section 10.40.040 of Syracuse City Municipal Code is amended as attached in Exhibit A.

**Section 2. Severability.** If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all sections, parts and provisions of this Ordinance shall be severable.

**Section 3. Effective Date.** This Ordinance shall become effective immediately after publication or posting.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 8th DAY OF March, 2016.**

**SYRACUSE CITY**

ATTEST:

---

Cassie Z. Brown, City Recorder

---

Mayor Terry Palmer

Voting by the City Council:

|                        | "AYE" | "NAY" |
|------------------------|-------|-------|
| Councilmember Bolduc   | ___   | _____ |
| Councilmember Lisonbee | ___   | _____ |
| Councilmember Anderson | ___   | _____ |
| Councilmember Maughan  | ___   | _____ |
| Councilmember Gailey   | ___   | _____ |

**Exhibit A**

**10.40.040 Minimum and maximum parking spaces.**

Each land use as listed below shall provide the required off-street parking. For any use not listed, the requirements for the most similar use listed shall apply. The Land Use Authority shall determine which listed use is most similar. In special cases where there is not a similar use, the Land Use Authority, in consultation with the developer, shall establish the minimum and /or maximum parking space requirement. Any entity that conducts a business in or from a residence, or to which employees come to a residence for work, shall obtain site plan approval subject to the following condition: the site provides two off-street parking spaces per single-family residence plus an additional one-half off-street parking space for every full-time, part-time, or contract employee or worker who visits the residence or provides services at the residence during an average week.

| Uses                                                                                   | Unit Measure                                               | Min.       | Max. |
|----------------------------------------------------------------------------------------|------------------------------------------------------------|------------|------|
| Single-family dwellings                                                                | Per dwelling unit                                          | 2          | N/A  |
| Two-family dwellings                                                                   | Per dwelling unit                                          | 2          | N/A  |
| Three-family dwellings                                                                 | Per dwelling unit                                          | 2          | N/A  |
| Four-family dwellings                                                                  | Per dwelling unit                                          | 1.5<br>2.5 | N/A  |
| Planned residential development (PRD) family dwellings                                 | Per dwelling unit                                          | 2.5        | N/A  |
| Hotel and motel                                                                        | Per room or suite                                          | 4 1.5      | 2    |
| Intensive commercial businesses, stores, and shops                                     | Per 1,000 square feet retail floor area                    | 3          | 4.5  |
| Less intensive commercial businesses, including autos, lumber, appliances, sales, etc. | Per 1,000 square feet retail floor area                    | 1.5        | 2.5  |
| Convenience stores, service stations, mini-marts                                       | Per 1,000 gross square feet floor area                     | 2 3.5      | 3.5  |
| Commercial recreation, such as golf courses, bowling alleys, indoor soccer, etc.       | Per 1,000 square feet Per player                           | 2          | 4.5  |
| Day cares, preschools, and nursery schools                                             | Per teacher, plus drop off loading area per seven students | 0.5 1      | 2    |
| Offices and personal services                                                          | Per 1,000 square feet floor area                           | 2.5        | 3.5  |

| Uses                                                               | Unit Measure                                                                          | Min.                  | Max.           |
|--------------------------------------------------------------------|---------------------------------------------------------------------------------------|-----------------------|----------------|
| Fast food or drive-in restaurants, sit-down restaurants, and bars  | Per <del>400</del> 1,000 square feet of dining area                                   | <del>1.5</del><br>15  | 3.5            |
| Auditoriums, assembly halls, theaters, churches, and funeral homes | Per <del>every five seats</del>                                                       | 4.5                   | <del>3.5</del> |
| Dental and medical clinics                                         | Per 1,000 square feet floor area                                                      | 2.5                   | 4.5            |
| Hospitals                                                          | Per patient bed                                                                       | 1                     | <del>2.5</del> |
| Hospitals/Clinic, animal                                           | Per animal 1,000 square feet floor area                                               | <del>0.5</del><br>2.5 | 1              |
| Nursing homes                                                      | Per <del>every five beds</del>                                                        | 4.5                   | 1.5            |
| Manufacturing uses, research, wholesale                            | Per 1,000 square feet floor area (excluding floor space used exclusively for storage) | 1.25                  | 3              |

[Ord. 11-04 § 7; Ord. 11-02 § 1 (Exh. A); Ord. 08-07 § 1 (Exh. A); Ord. 06-27; Ord. 06-17; Ord. 04-12; amended 1991; Code 1971 § 10-8-040.]



# COUNCIL AGENDA

March 8, 2016

Agenda Item “f”                      Public hearing on Proposed Resolution R16-13 amending the parks & recreation portion of the consolidated fee schedule.

## *Factual Summation*

- Any questions about this agenda item may be directed at City Manager Brody Bovero or Finance Director Stephen Marshall.

Please review the following attachments:

- a. Consolidated fee schedule comparison

## *Background*

- We are in the process of doing a comprehensive review and update to our consolidated fee schedule. Because it is 15 pages long, we have decided the best course of action would be to split it up into departments and review each of them separately with the City Council.
- We have reviewed our fees with 11 other cities for comparative purposes. These cities include Clinton, West Point, Clearfield, Layton, Kaysville, Roy, Farmington, Sunset, Centerville, Riverdale, and Bountiful.
- Based upon this review, we are recommending some changes and updates to the consolidated fee schedule for parks and recreation.

## **Recommendation:**

Discuss potential changes to parks and recreation fees and consider adoption of proposed resolution R16-13 formalizing the changes.

**RESOLUTION NO. R16-13**

**A RESOLUTION OF THE SYRACUSE CITY COUNCIL UPDATING AND AMENDING THE PARKS AND RECREATION SECTION OF THE SYRACUSE CITY CONSOLIDATED FEE SCHEDULE.**

**WHEREAS**, Syracuse City Staff has reviewed and analyzed the fees charged by the Parks and Recreation Department for various services, programs, and rentals and has recommended various changes to such fees as more particularly provided in the attached consolidated Syracuse City Fee Schedule; and

**WHEREAS**, the City Council desires to adopt the revised Syracuse City Fee Schedule as recommended by Staff and as more particularly provided herein; and

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:**

**Section 1. Amendment.** The Syracuse City Fee Schedule is hereby updated and amended to read in its entirety as set forth in **Exhibit "A,"** attached hereto and incorporated herein by this reference.

**Section 2. Severability.** If any section, part or provision of this Resolution is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Resolution, and all sections, parts and provisions of this Resolution shall be severable.

**Section 3. Effective Date.** This Resolution shall become effective immediately upon its passage.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, THIS 8<sup>th</sup> DAY OF FEBRUARY 2016.**

**SYRACUSE CITY**

ATTEST:

\_\_\_\_\_  
Cassie Z. Brown, City Recorder

By: \_\_\_\_\_  
Terry Palmer, Mayor

**Fee Analysis**

**All Fees Are Effective July 1, 2015 Except As Noted (All fees paid with credit card are subject to 1% fee)**

|     | A                            | B | C                                             | D | F                | G              | H        | I                           | K                                                       | L                               | N                       | O                 | P                   | Q                         | R                           |                             |
|-----|------------------------------|---|-----------------------------------------------|---|------------------|----------------|----------|-----------------------------|---------------------------------------------------------|---------------------------------|-------------------------|-------------------|---------------------|---------------------------|-----------------------------|-----------------------------|
| 11  | Fee Description              |   |                                               |   | Current Base Fee |                |          | Additional Fee              | Median Fee of Benchmark Cities*                         | Median Fee of Benchmark Cities* | Annual Revenue Received | Proposed Base Fee |                     | Proposed Additional Fee   |                             |                             |
| 511 | <b>Community Center Fees</b> |   |                                               |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 512 |                              |   | Rental - after hours fee for all activities   |   | \$10.00          |                |          | per hour per staff member   |                                                         |                                 |                         | \$15.00           |                     | per hour per staff member |                             |                             |
| 513 |                              |   | Rental - Gymnasium                            |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 514 |                              |   | Resident                                      |   | \$100.00         |                | \$500.00 | per 8 hours per gym         | \$ 150.00                                               |                                 | \$ 6,177.00             | \$125.00          |                     | per hour per gym          | \$650.00                    | per 8 hours per gym         |
| 515 |                              |   | Non-resident                                  |   | \$150.00         |                | \$800.00 | per 8 hours per gym         | \$ 422.50                                               |                                 |                         | \$200.00          |                     | per hour per gym          | \$950.00                    | per 8 hours per gym         |
| 516 |                              |   | Rental - Classroom/Craft Room                 |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 517 |                              |   | Resident                                      |   | \$25.00          |                | \$160.00 | per 8 hours per room        | \$ 35.00                                                |                                 |                         | \$30.00           |                     | per hour per room         | \$200                       | per 8 hours per room        |
| 518 |                              |   | Non-resident                                  |   | \$45.00          |                | \$280.00 | per 8 hours per room        | \$ 50.00                                                |                                 | \$45.00                 |                   | per hour per room   | \$300                     | per 8 hours per room        |                             |
| 519 |                              |   | Memberships                                   |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 520 |                              |   | Children (Ages 5-13)                          |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 521 |                              |   | Resident                                      |   | \$0.50           |                | \$5.00   | per month or \$36 per year  | \$ 3.00                                                 | \$ 225.00                       | \$ 27,721.00            | \$1.00            |                     | per day                   | \$9.00                      | per month or \$50 per year  |
| 522 |                              |   | Non-Resident                                  |   | \$0.50           |                | \$8.00   | per month or \$61 per year  | \$ 2.00                                                 | \$ 290.00                       |                         | \$1.00            |                     | per day                   | \$11.00                     | per month or \$76 per year  |
| 523 |                              |   | Youth (Ages 14-17)                            |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 524 |                              |   | Resident                                      |   | \$1.00           |                | \$11.00  | per month or \$76 per year  | \$ 3.00                                                 | \$ 225.00                       |                         | \$2.00            |                     | per day                   | \$18.00                     | per month or \$110 per year |
| 525 |                              |   | Non-Resident                                  |   | \$1.00           |                | \$16.00  | per month or \$101 per year | \$ 2.00                                                 | \$ 290.00                       | \$2.00                  |                   | per day             | \$27.00                   | per month or \$193 per year |                             |
| 526 |                              |   | Adults (Ages 18-59)                           |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 527 |                              |   | Resident                                      |   | \$2.00           |                | \$16.00  | per month or \$101 per year | \$ 3.00                                                 | \$ 300.00                       | \$2.00                  |                   | per day             | \$18.00                   | per month or \$110 per year |                             |
| 528 |                              |   | Non-Resident                                  |   | \$2.00           |                | \$26.00  | per month or \$181 per year | \$ 2.00                                                 | \$ 390.00                       | \$2.00                  |                   | per day             | \$27.00                   | per month or \$193 per year |                             |
| 529 |                              |   | Seniors (Ages 60+)                            |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 530 |                              |   | Resident                                      |   | \$0.50           |                | \$5.00   | per month or \$36 per year  | \$ 3.00                                                 | \$ 225.00                       | \$0.50                  |                   | per day             | \$7.00                    | per month or \$42 per year  |                             |
| 531 |                              |   | Non-Resident                                  |   | \$0.50           |                | \$8.00   | per month or \$61 per year  | \$ 2.00                                                 | \$ 290.00                       | \$0.50                  |                   | per day             | \$11.00                   | per month or \$76 per year  |                             |
| 532 |                              |   | Seniors Couples                               |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 533 |                              |   | Resident                                      |   | n/a              |                | \$7.00   | per month or \$56 per year  |                                                         | \$ 275.00                       | n/a                     |                   | per day             | \$8.00                    | per month or \$58 per year  |                             |
| 534 |                              |   | Non-Resident                                  |   | n/a              |                | \$11.00  | per month or \$101 per year |                                                         | \$ 350.00                       | n/a                     |                   | per day             | \$14.00                   | per month or \$111 per year |                             |
| 535 |                              |   | Adult Couples                                 |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 536 |                              |   | Resident                                      |   | n/a              |                | \$26.00  | per month or \$176 per year |                                                         | \$ 375.00                       | n/a                     |                   | per day             | \$30.00                   | per month or \$187 per year |                             |
| 537 |                              |   | Non-Resident                                  |   | n/a              |                | \$46.00  | per month or \$301 per year |                                                         | \$ 390.00                       | n/a                     |                   | per day             | \$49.00                   | per month or \$312 per year |                             |
| 538 |                              |   | Families                                      |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 539 |                              |   | Resident                                      |   | n/a              |                | \$51.00  | per month or \$251 per year |                                                         |                                 | n/a                     |                   | per day             | \$54.00                   | per month or \$259 per year |                             |
| 540 |                              |   | Non-Resident                                  |   | n/a              |                | \$76.00  | per month or \$401 per year |                                                         | \$ 450.00                       | n/a                     |                   | per day             | \$78.00                   | per month or \$405 per year |                             |
| 541 | <b>Park Rental Fees</b>      |   |                                               |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 542 |                              |   | Park Land Rental (Concessionaire)             |   | \$250.00         |                | NA       | NA                          |                                                         |                                 |                         | \$250.00          |                     | per month                 |                             |                             |
| 543 |                              |   | Athletic Fields                               |   |                  |                |          |                             |                                                         |                                 | \$ 22,744.00            |                   |                     |                           |                             |                             |
| 544 |                              |   | Non-Recreational Play                         |   | \$25.00          |                | \$5.00   | per hour for 5+ hours       |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 545 |                              |   | Resident                                      |   | \$50.00          |                | NA       | NA                          | \$ 13.50                                                | per hour                        |                         | \$15.00           |                     | per field per hour        |                             |                             |
| 546 |                              |   | Non-Resident                                  |   | \$75.00          |                | NA       | NA                          | \$ 24.00                                                | per hour                        |                         | \$25.00           |                     | per field per hour        |                             |                             |
| 547 |                              |   | Recreational Play                             |   | Multi Day        | Fee negotiated | NA       | NA                          |                                                         |                                 |                         | Fee negotiated    |                     | per Contract              |                             |                             |
| 548 |                              |   | Field Lighting                                |   | \$30.00          |                | NA       | NA                          | \$ 17.50                                                |                                 | \$15.00                 |                   | per field per hour  |                           |                             |                             |
| 549 |                              |   | Boweries (except for Jensen and Legacy Parks) |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 550 |                              |   | Bowery Rental Deposit                         |   | \$50.00          |                | NA       | NA                          |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 551 |                              |   | Parties of 150 or Less                        |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 552 |                              |   | Resident                                      |   | \$25.00          |                | \$5.00   | per hour for 5+ hours       | \$ 15.00                                                | \$20.00                         | \$25.00                 |                   | per (4) hour period | \$5.00                    | per hour for 5+ hours       |                             |
| 553 |                              |   | Non-Resident                                  |   | \$50.00          |                | \$10.00  | per hour for 5+ hours       | \$ 50.00                                                | \$37.50                         | \$50.00                 |                   | per (4) hour period | \$10.00                   | per hour for 5+ hours       |                             |
| 554 |                              |   | Parties of 150 or More (Special Event)        |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 555 |                              |   | Resident                                      |   | \$75.00          |                |          |                             | Looking at adding insurance rider to the cost of rental |                                 | \$75.00                 |                   | per (4) hour period | \$10.00                   | per hour for 5+ hours       |                             |
| 556 |                              |   | Non-Resident                                  |   | \$125.00         |                | \$20.00  | per hour for 5+ hours       |                                                         |                                 | \$125.00                |                   | per (4) hour period | \$20.00                   | per hour for 5+ hours       |                             |
| 557 |                              |   | Ice Rink Rental (Skate Rentals not included)  |   | \$50.00          |                |          |                             |                                                         |                                 | \$50.00                 |                   | per 2 hour session  |                           |                             |                             |
| 558 |                              |   | Ice Skate Rentals                             |   |                  |                |          |                             |                                                         |                                 |                         |                   |                     |                           |                             |                             |
| 559 |                              |   | Adults (ages 13 and up)                       |   | \$4.00           |                | NA       | NA                          |                                                         |                                 | \$4.00                  |                   | per hour            |                           |                             |                             |
| 560 |                              |   | Children                                      |   | \$3.00           |                | NA       | NA                          |                                                         |                                 | \$3.00                  |                   | per hour            |                           |                             |                             |



**Fee Analysis**

**All Fees Are Effective July 1, 2015 Except As Noted (All fees paid with credit card are subject to 1% fee)**

|     | A                       | B | C                         | D | F                | G          | H              | I  | K                               | L                               | N                       | O                 | P          | Q                       | R |
|-----|-------------------------|---|---------------------------|---|------------------|------------|----------------|----|---------------------------------|---------------------------------|-------------------------|-------------------|------------|-------------------------|---|
| 11  | Fee Description         |   |                           |   | Current Base Fee |            | Additional Fee |    | Median Fee of Benchmark Cities* | Median Fee of Benchmark Cities* | Annual Revenue Received | Proposed Base Fee |            | Proposed Additional Fee |   |
| 613 |                         |   | 1st-6th grades (Jr Jazz)  |   |                  |            |                |    |                                 |                                 |                         |                   |            |                         |   |
| 614 |                         |   | Resident                  |   | \$51.00          | per person | NA             | NA | \$ 50.00                        |                                 |                         | \$52.00           | per person |                         |   |
| 615 |                         |   | Non-Resident              |   | \$66.00          | per person | NA             | NA | \$ 60.00                        |                                 |                         | \$67.00           | per person |                         |   |
| 616 |                         |   | 7th-12th grades (Jr Jazz) |   |                  |            |                |    |                                 |                                 |                         |                   |            |                         |   |
| 617 |                         |   | Resident                  |   | \$56.00          | per person | NA             | NA | \$ 55.00                        |                                 |                         | \$57.00           | per person |                         |   |
| 618 |                         |   | Non-Resident              |   | \$71.00          | per person | NA             | NA | \$ 60.00                        |                                 |                         | \$72.00           | per person |                         |   |
| 619 |                         |   | Itty Bitty                |   |                  |            |                |    |                                 |                                 |                         |                   |            |                         |   |
| 620 |                         |   | Resident                  |   | \$36.00          | per person | NA             | NA | \$ 40.00                        |                                 |                         | \$40.00           | per person |                         |   |
| 621 |                         |   | Non-Resident              |   | \$51.00          | per person | NA             | NA | \$ 55.00                        |                                 |                         | \$55.00           | per person |                         |   |
| 622 | <b>Equipment Rental</b> |   |                           |   |                  |            |                |    |                                 |                                 |                         |                   |            |                         |   |
| 623 |                         |   | Performance Stage         |   | \$900.00         | per day    |                |    |                                 |                                 | \$ 1,500.00             | \$900.00          | per day    |                         |   |



# COUNCIL AGENDA

March 8, 2016

Agenda Item “g”      **Award Contract for South Bluff Road Secondary Water Transmission Line**

***Background***

This project will install a new 16” and 12” secondary water transmission line on Bluff Road from the Jensen Pond pump house to Gentile Street and overlay the entire road width the length of the project.

***Resource***

Any supporting questions for staff about this agenda item can be directed to Robert Whiteley.

***Schedule***

The construction will begin as soon as contract documents are in place and will be completed by the summer of 2016.

***Cost***

Bids were opened on March 2, 2016. Eight bids were submitted and the low bidder was Leon Poulsen Construction Company, Inc. The bid amount is \$415,145.00

The funding for this project will come from the following sources:

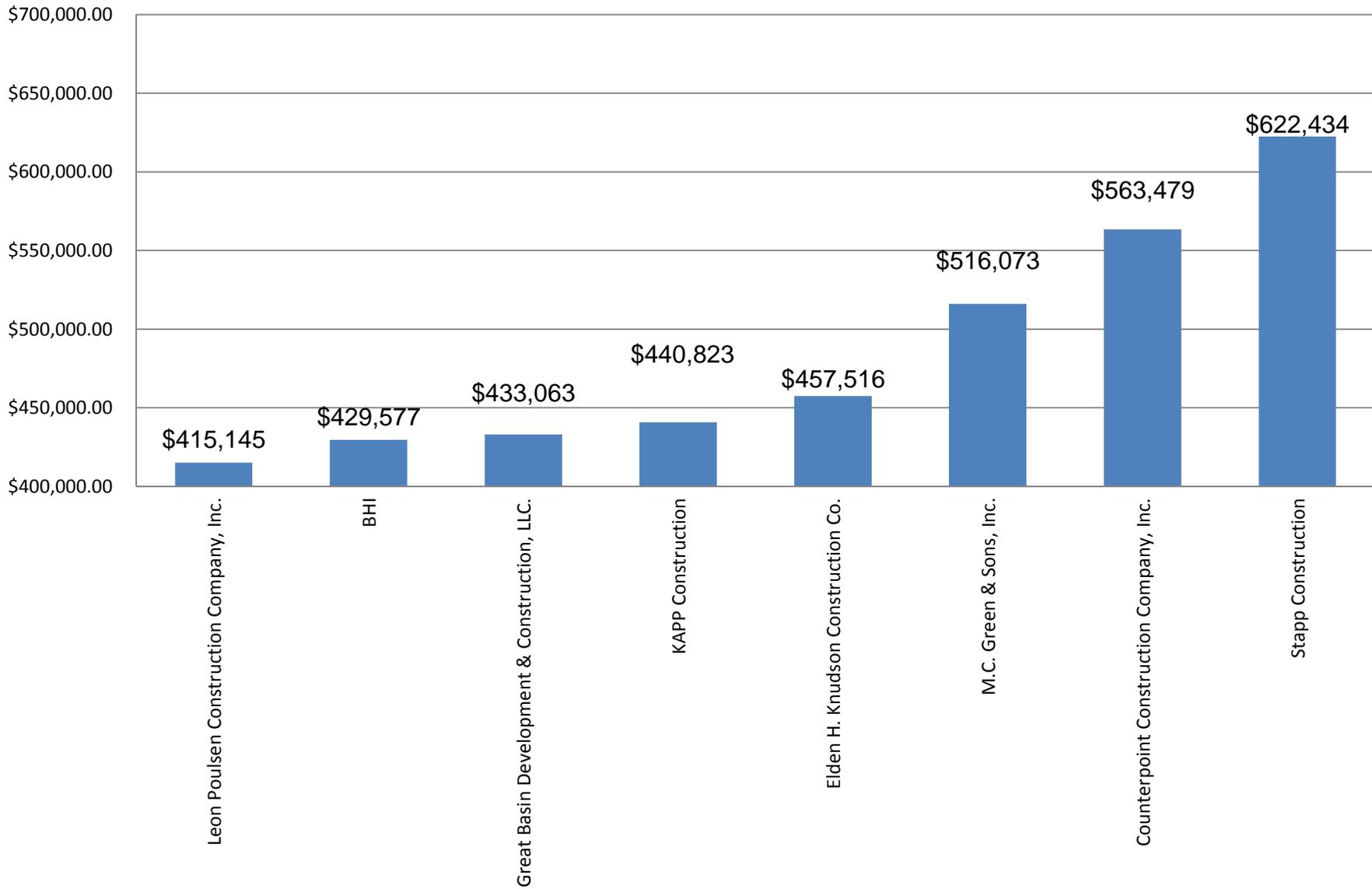
|                   | <b>20-40-70<br/>Class C</b> | <b>30-16-70<br/>Secondary<br/>Capital</b> | <b>31-40-70<br/>Secondary<br/>Impact Fee</b> |              |
|-------------------|-----------------------------|-------------------------------------------|----------------------------------------------|--------------|
| <b>Total</b>      | \$61,392.85                 | \$9,883.00                                | \$343,869.15                                 | \$415,145.00 |
| <b>Budget</b>     | \$63,750.00                 | \$10,000.00                               | \$465,000.00                                 | \$528,750.00 |
| <b>Difference</b> | \$2,357.15                  | \$117.00                                  | \$121,130.85                                 | \$123,605.00 |

***Recommendation***

Award contract to Leon Poulsen Construction Company, Inc.

# Bid Tabulation

## South Bluff Road Secondary Water Transmission Line



# SYRACUSE CITY CORPORATION

## SOUTH BLUFF ROAD SECONDARY WATER TRANSMISSION LINE

2700 South Street

Bluff Road

2000 West Street

1000 West Street

Gentile Street



LAST UPDATED:  
JANUARY 25, 2016

DRAWN BY: BB

SOUTH BLUFF ROAD SECONDARY  
WATER TRANSMISSION LINE

COVER



JANUARY 2016



WO 2016-05

SHEET:  
1 OF 17



# CITY COUNCIL WORK SESSION March 8, 2016

## **Agenda Item “h”      Potential Amendments to Arts Council By-Laws**

The Syracuse Arts Council has prepared draft amendments to its by-laws, and submitted them for your review. I have been asked to summarize the proposed changes.

Proposed amendments include the following:

- Provides additional language and procedure for the creation of Committees over programs offered by the Arts Council, along with election provisions for those Committee Chairs (Art. IV, § 2)
- Provides a process for vetting potential board members needed on account of a vacancy, during Arts Council meetings, and adding a qualification of at least six months of service with the Arts Council. The Board would render a vote and forward the nominee to the Mayor. It also provides that if no one meets those qualifications, then the Arts Council would appoint the best volunteer by a unanimous vote. (Art. IV, § 4). This last provision, as written, conflicts with City ordinance. The discrepancy can be cleared up by changing the word “appoint” to “forward.” Appointments to the Arts Council Board are made by the Mayor with advice and consent of the Council.
- Provides for the temporary filling of vacant Board positions pending official appointment by the Mayor and Council. (Art. IV, § 5). There is no provision addressing this in City code; if this is desirable, then code should be changed to accommodate the change.
- Calls for end of Committee Chair terms on August 31 each year. (Art. VI, § 3).
- Provides procedure for obtaining reimbursements (Art. VII, §2(C)).
- Permits Board to use donations as it deems appropriate, unless the donor specifies a purpose for a gift or bequest (Art. VII, § 3(B)).
- Identifies specific Committees, which will be led by Board members who serve as Committee Chairs (Art. VIII, §§3 – 9).
- Calls for Board to approve Production Producers and Directors by majority vote (Art. IX, § 1).
- Modifies the Good Neighbor Program to a sponsorship process (Art. XI, § 3).
- Changes the fiscal year of the Arts Council to Sept 1 – Aug 31 (Art. XIV).
- Adds provision which calls for City Council approval of by-law amendments if such amendments require changes to city code (Art. XV, § 2).
- Removes certain provisions, and replaces them with references to City code, throughout, as a means of reducing the length of the document and avoiding the need to amend by-laws with each code change.
- Other minor changes, throughout

Questions regarding the amendments should be directed to Judy Merrill, Arts Council Chair.

Paul Roberts

**RESOLUTION R16-11**

**A RESOLUTION OF THE SYRACUSE CITY COUNCIL APPROVING AMENDMENTS TO THE BYLAWS OF THE SYRACUSE CITY ARTS COUNCIL.**

**WHEREAS**, the Syracuse City Arts Council has prepared proposed amendments to its by-laws and submitted them for City Council review; and

**WHEREAS**, pursuant to Syracuse Municipal Code § 3.45.020(H), rules and procedures of the Arts Council must be reviewed and approved by the City Council by resolution; and

**WHEREAS**, the City Council has reviewed the proposed amendments and made appropriate changes; and

**WHEREAS**, the City Council finds that the amendments will provide for the orderly administration of business before the Arts Council,

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, AS FOLLOWS:

**The attached by-law amendments are hereby approved.**

This ordinance shall be effective upon the date of publication.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF SYRACUSE CITY, STATE OF UTAH, this \_\_\_\_ day of \_\_\_\_\_, 2016.**

**SYRACUSE CITY**

ATTEST:

\_\_\_\_\_  
Cassie Z. Brown, CMC  
City Recorder

By: \_\_\_\_\_  
Terry Palmer  
Mayor

## ARTICLE I: NAME

The name of this Organization is ~~t~~The Syracuse City Arts Council.

## ARTICLE II: OBJECTIVES AND PURPOSES

Section 1: The purposes of this Organization are:

A) First, to present live ~~theatre~~ productions for the cultural education, entertainment, and inspiration of the community.

B) Second, to foster and develop, through ~~theatrical~~ workshops and other appropriate means, the artistic talents and skills of families and individuals within the Syracuse community and the surrounding communities ~~other interested persons.~~

C) Third, to engage in and subsidize social activities designed to foster the foregoing purposes of the Organization as limited by the laws.

Section 2: In the furtherance of these objectives, the Syracuse City Arts Council may collect admission fees, gratuities, and bequests; may buy or otherwise acquire, sell, or otherwise dispose of, and mortgage or otherwise hypothecate real, personal, and mixed property of all kinds and may, in general, exercise all powers granted by the Syracuse City Council in the State of Utah.

Section 3: The Syracuse City Arts Council is a not-for-profit organization. No member of the Board Organization shall profit in any tangible way from its activities. All funds are to be disbursed in furtherance of the objectives set forth in Article II, Section 1. In the event of the dissolution of this Organization, all monies, property, and physical assets of the Organization shall be distributed for any worthy purposes in accordance with the recommendation of a majority of the votes cast, at a final meeting of membership called for that purpose, and accepted by the Mayor with the advice and consent of the City Council.

Section 4: The Organization is nonpolitical in character and shall not engage in political activities of any nature.

## ARTICLE III: MEMBERSHIP

Any person of any age, race, creed, color, or sex may become a member of the Organization, and there shall be no differences among members regarding rights, privileges, activities, or duties.

## ARTICLE IV: ORGANIZATION

Section 1: Board of Directors. The officers of this Organization, hereinafter referred to as the Board, shall be appointed as outlined in Syracuse City Code 3.45.020(A)(B) every five years, upon recommendation of the current Board to the Mayor. ~~The Board shall consist of no less than six voting members made up of five Syracuse residents and an employee of the Syracuse City Recreation Department. Positions of these Board members shall include a President and Vice President and may include a Treasurer and Secretary as well as Committee Chairs to oversee Public Relations, Music, Theatre, and any other branches of the performing arts. The Mayor may also appoint additional City residents as voting at large members as well as non-voting, ex-officio members with the advice and consent of the City Council.~~

A) Chair and Co-Chair. See Syracuse City Code 3.45.030(A). The term of each elected Chair, as voted on by the members of the Board, shall be from September 1 to August 31. ~~Voting members of the Board shall elect one of its members as Chair, or President. The Recreation Department representative shall act as Co-Chair, or Vice President, and as President pro tem in the event the President is unable to attend a scheduled meeting.~~

B) Other Officers. See Syracuse City Code 3.45.030(B). ~~The Board may elect other members to act as other officers of the Board who may then appoint volunteers to work in and aid in the operation of the various Committees of the Organization.~~

C) Advisor. See Syracuse City Code 3.45.020(C). ~~The City Council shall appoint one of its members to serve as an advisor of the Board. The advisor shall attend the meetings of the Board and serve only to advise and act as a liaison to the City Council regarding the Board, with no power to vote thereon.~~

Section 2: Committee Chairs. Board members shall serve as Committee Chairs over different programs offered by the Syracuse City Arts Council. Those Committees may evolve, as the Board deems appropriate, according to the changing needs of the community. However, when there are more committees than Board members, t~~The Board will appoint~~

heads of specific Committees ~~Chairs~~ after publicizing and accepting letters of interest for a minimum of fourteen days. They will review all letters in a public meeting and select the best candidate by majority vote. To be considered for the position of Committee Chair, the candidate must have served within the Syracuse City Arts Council ~~that Committee~~ for a minimum of six months, unless the Board has no candidates who meet that requirement. In such cases, the Board may appoint the best volunteer by unanimous vote ~~one year during the twelve months immediately preceding said appointment.~~

Section 3: Removal from Office. See Syracuse City Code 3.45.020(D). ~~Members shall serve at the pleasure of the City, and City Council may remove Board members at any time by majority vote for misconduct and/or nonperformance of duties. Nonperformance of duties shall include a repeated failure to attend Board meetings.~~ The Board may also instigate the removal of any member or Committee Chair from office by a unanimous vote of the remaining Board members after careful and appropriate consideration of facts and applicable information, garnered from the general membership of the Organization, City officials and/or employees, or other appropriate sources, during a closed executive session pursuant to the provisions of Section 52-4-205 of the Open and Public Meetings Law for the purpose of discussing the character, professional competence, or physical or mental health of an individual. The Board may also accept and forward, to the Mayor and City Council, resignations from Board members who will no longer be eligible to serve due to ongoing scheduling conflicts or changes in residency from the City of Syracuse, Utah, to another community or State.

Section 4: Vacancy. See Syracuse City Code 3.45.020(E). ~~The Board may consider volunteers to fill such vacancies after publicizing and accepting letters of interest for a minimum of fourteen days. They will review all letters in a public meeting, select the best nominee by majority vote, and forward said nominee to the Mayor. To be considered for the position of Board member, the candidate must have served within the Syracuse City Arts Council for a minimum of six months, unless the Board has no candidates who meet that requirement. In such cases, the Board may appoint the best volunteer by unanimous vote.~~ Any vacancies of appointed Board members occurring for any reason shall be filled for the remainder of the unexpired term by appointment of the Mayor, with the advice and consent of City Council, in accordance with the procedures for appointments set forth by City Ordinance, and upon a recommendation of the Board. Such appointees shall serve for the unexpired term of the vacant position. The Board may temporarily fill any vacant Board position, during a public meeting, with a member of the Organization willing to serve in that position until the official appointment by Mayor and City Council.

Section 5: Temporary Vacancy. In the event any Board member is unable to serve for a period of not less than one nor more than six months, the Board may appoint, in a public meeting, a substitute to fulfill that member's duties during his/her absence. The Board may temporarily fill any vacant Board position, during a public meeting, with a member of the Organization willing to serve in that position until the official appointment by Mayor and City Council.

## **ARTICLE V: MEETINGS**

Section 1: Meeting Location and Written Notice. All meetings of the general membership and the Board shall be held at a Syracuse City public building or another convenient public meeting location, designated by the Board, within Syracuse City, Utah. Written notice of such meetings, containing a statement of the purpose, shall be made public not less than twenty-four hours in advance. Written notice shall be posted at no less than one City Office building as well as published on the Syracuse City's and Organization's websites.

Section 2: Annual Meetings. ~~An annual meeting of the general state of the Organization shall be held each March in Syracuse, Utah, or other convenient location, designated by the Board, in Syracuse, Utah. The purposes of the meeting shall be to receive input from the general membership, report on the financial state of the Organization, and transact any other business as may properly be brought before the meeting.~~

Section 23: Special Meetings. The Board may schedule special meetings, subject to the requirements of appropriate notice, at the request of at least three Board members or receipt of a petition signed by at least ten members of the general membership.

Section 34: Board Meeting. See Syracuse City Code 3.45.030(C). The Board shall meet no less than once quarterly in order to discharge the duties of the Board and carry out the purposes and objectives of the Organization. Meetings shall be conducted in accordance with the Open and Public Meetings laws of the State of Utah.

Section 45: Voting. The Board shall not conduct official business on behalf of the Organization, except in the presence of a properly-constituted quorum. A quorum shall consist of a majority of the appointed Board members. Participation through electronic means shall be adequate for creating a forum and voting on matters of the Organization. Each voting Board member present, either physically or via electronic means, shall be entitled to one vote. The Vice President shall

only vote in the event of a tie vote. The majority vote of the Board during a meeting shall constitute the act of the Organization.

## ARTICLE VI: TERMS OF OFFICE

Section 1: Board Members. See Syracuse City Code 3.45.020(B). The terms for the five voting Board members shall be for five years, each year beginning on July 1 and ending on June 31.

~~These terms shall be staggered so that no more than one member's term expires at the same time. The terms of office for at-large and ex-officio members shall be five years from the date of appointment. The term of office for Vice President shall be as determined by the Recreation Department Director.~~

Section 2: Chairperson of the Board President. See Syracuse City Code 3.45.030(A). The President shall serve a term of one year.

Section 3: Committee Chairs. Committee Chairs shall serve until August 31<sup>st</sup> of the year during which they are appointed, or, in the case of Board members, shall serve until the end of their term. Board members serving as Committee Chairs may ask to Chair a different Committee, based on valid reasons and concerns, which the Board may approve by way of unanimous vote for a term of one year.

## ARTICLE VII: FINANCES

Section 1: Policy. The Organization's basic financial policy shall be to raise and acquire funds for the purposes and objectives outlined in Article II Section 1 of these Bylaws, which may include the acquisition of funds and property to erect buildings suitable for those purposes, such as the following, and in keeping with the objectives of the Organization:

- ~~A) Presentation of amateur theatrical productions and provisions for workshops, activities, and meeting facilities.~~
- ~~B) The conduct and support of worthy activities, such as instruction in the theatrical arts and waivers of necessary fees for deserving students.~~

Section 2: Funds. The Organization shall divide its properties and assets into the following funds.

A) Working Funds. These funds represent the allocation of assets in an amount necessary for the performance of the routine administrative and operational tasks of the Organization, including, but not necessarily limited to, the budgeting of live theatrical productions, the administrative expenses of the Board, advertising, and correspondence. The Working Funds are under the custody of the Treasurer and disbursed in accordance with direction of the Board. All reimbursements shall be made from Working Funds.

B) Permanent Funds. These funds represent the balance of the Organization's assets after the allocation of Working Funds and may be used for growth investments and acquisition of real property to enable the Organization to accomplish its objectives as defined in Article II herein. The Board shall administer the Permanent Funds on behalf of the Organization (See Article X, Section 2)

C) Reimbursements. See Syracuse City Code 3.45.020(F). All requests for reimbursements shall be approved by and submitted to the applicable Committee Chair, or other member previously designated by the Board of Directors who is overseeing the expenses for that particular purpose or project, and accompanied by an original receipt of actual expenses incurred and a written explanation for each expense, unless a majority of the Board approves a reimbursement without an original receipt.

Section 3: Gifts, Gratuities, and Bequests. These funds shall be administered by the Board and handled in the following manner:

- A) The solicitation mechanism for acquiring these funds shall be approved and designated by the Board.
- B) Unless a donor specifies a purpose for their gift, the Board may use any donation, in keeping with the goals of the Organization, as it deems appropriate ~~Donations for gifts, gratuities, and bequests shall be separated into the building fund or operating expenses, unless otherwise designated by the donor for a specific purpose.~~

Section 4: Banking Practices. All Working Funds of the Organization shall be maintained with Syracuse City. Permanent Funds may be maintained with a banking institution designated by the Board. Withdrawals from the Permanent Funds shall only be transferred to the Working Funds with Syracuse City and upon approval by the Board, in order to meet the financial obligations of the Organization. All checks, drafts, or orders for payment of money, notes, or other evidences of indebtedness issued in the name of the Organization shall be designated from the General Ledger account of the Organization with Syracuse City only after submission of a written request by the Treasurer upon appropriately approved forms designated by Syracuse City.

Section 5: Interest in Assets. No member of the Organization shall have any right, title, or interest in any property of the Organization. No person, whose membership in the Organization is terminated, whether by death, resignation, or any other means, shall have any right, title, or interest in any asset or property of the Organization.

Section 6: Compensation. See Syracuse City Code 3.45.020(F). Members shall serve without compensation, and all services performed shall be deemed "voluntary services" for purposes of The Utah Governmental Immunity Act. Members shall be deemed "volunteers" for purposes of City ordinances, rules, regulations, and policies concerning personnel, except that the Board shall provide reimbursement for actual expenses incurred upon prior approval or for reasonable and necessary expenses incurred in the performance of their duties as determined appropriate by the Board and upon presentation of proper receipts and vouchers. All expenses shall be consistent with the City's purchasing policy and subject to administrative rules as established by the City Manager.

## ARTICLE VIII: DUTIES OF BOARD MEMBERS

Section 1: Chair President. See Syracuse City Code 3.45.030(A). The President shall oversee the proceedings and activities of the Board.

Section 2: Treasurer. The Treasurer shall oversee the records of the Organization's finances and be responsible for an accounting of said funds at any meeting of the Board or its general membership when requested in advance of said meeting. The Treasurer shall receive monies, monitor fund balances, and facilitate the payments of any applicable and approved indebtedness of the Organization as well as reimbursement of its members for approved expenses in accordance with the purposes and procedures outlined in Article VII and as directed by the Board.

Section 3: Board Member – Theater Committee Chair. When applicable, the Board member overseeing the Theatre Committee shall recruit committee members, organize and chair meetings and activities, and report, during monthly Board meetings, on the status of the productions, classes, Troupe, and any other related programs of the Committee.

Section 4: Board Member – Orchestra Committee Chair Music. When applicable, the Board member overseeing the Syracuse Symphony Orchestra Music Committee shall recruit committee members, attend Orchestra Board meetings and activities, and report, during monthly Board meetings, on the status of the Orchestra, Choir, and any other related programs and organizations of the Committee.

Section 5: Board Member – Sponsorships Committee Chair Community Relations. When applicable, the Board member overseeing the Sponsorship Committee Public Relations shall recruit committee members, organize and supervise solicitation efforts, and report, during monthly Board meetings, on the status of such publicity activities, volunteers, and sponsors sponsorships, and any other related information regarding donations and communications from the general membership.

Section 6: Board Member – Donations and Fundraising Committee Chair. When applicable, the Board member overseeing the Donations and Fundraising Committee shall recruit committee members, organize and chair meetings, supervise fundraising activities, and report, during monthly Board meetings, on the status of such fundraising efforts and donations to date.

Section 7: Board Member – Publicity Committee Chair. When applicable, the Board member overseeing the Publicity Committee shall recruit committee members, plan and ensure the successful implementation of all publicity efforts for the Organization, and report, during monthly Board meetings, on the status of such publicity efforts.

Section 8: Board Member – Technology Committee Chair. When applicable, the Board member overseeing the Technology Committee shall recruit committee members, manage communication for the Organization's website, provide technical support, oversee and manage all technical equipment and duties, and coordinate updates for all related websites.

Section 9: Board Member – Committee Chair. As the Board identifies new or different needs in the Organization for the purposes of meeting its objectives and purposes, the Board may establish new committees or dissolve current ones. Available Board members shall chair active committees as established herein and oversee the successful implementation of goals identified by the Board, recruit committee members, and report, during monthly Board meetings, on the status of said efforts.

Section 106: Secretary. The Secretary shall keep accurate and legible records of the Board's proceedings, including all minutes of meetings and decisions of the Board. He or she shall provide copies of the minutes to all Board members for adoption in a public meeting and file said approved minutes in the office of the City Recorder as public records and publish them, for the general public, on the Organization's website.

## ARTICLE IX: DUTIES OF THE BOARD

See Syracuse City Code 3.45.040. It shall be the duty of the Board to act in an advisory and volunteer capacity to City Council regarding the administration and operation of the Organization, including, but not limited to, the following:

Section 1: Long-Range Plan. Prepare and recommend for approval by City Council a long-range plan, including goals, for the Organization and to review the adopted long-range plan on an annual basis and recommend any updates or changes to said plan;

Section 2: Implementation. Recommend and implement programs, policies, financing, funding, legislation, and other measures, programs, or activities for the administration and operation of the Organization consistent with the goals of the long-range plan;

Section 3: Annual Report. Submit an annual report to City Council regarding activities of the Organization;

Section 4: Needs of the Community. Identify the collaborative cultural arts needs of Syracuse City and implement strategies to address those needs;

Section 5: Events. Facilitate the presentation of a variety of arts-related events in Syracuse;

Section 6: Records. Keep records of the Organization's proceedings and make them available for inspection by the public at all reasonable times;

Section 7: Funding. Partner with selected community arts organizations to pursue funding to support the performing arts in Syracuse;

Section 8: Promote. Assist in the dissemination of news to recognize and promote performing arts in the community.

Section 19: Plays. The Board shall approve all productions of the Organization, along with a schedule of performances. The Board shall use the report and recommendation of the Theatre Committee Chair as a guide in the selection of plays but shall not be bound thereby. The Theatre Committee shall recommend select the Production Producer and Director for each play, and the Chair shall approve these positions by majority vote of the Board. In the case of failure to fulfill their duties as Producer or Director, the Theatre Committee Chair shall assume full responsibility for the production of such play. The Chair shall also rule on any matter referred to them by the Director or Producer or production staff.

Section 210: Finances. The Board shall approve the budgets for each Standing Committee. From time to time, it shall review the status of the two Funds and, when deemed prudent, transfer monies from the Permanent Fund to the Working Fund.

#### **ARTICLE X DUTIES OF COMMITTEE CHAIRS**

Section 1: Assets. Committee Chairs shall have custodianship of and be responsible for all purchases, sales, exchanges, and assignments of all real property owned or donated for use by the Organization, all monies approved for their Committee budgets, and the maintenance, repair, replacement, or modifications of any property owned or donated for use by the Organization according to the approval of the Board. The Committee Chairs will notify the Board of any plans for repairs or alterations of any programs or property under their jurisdiction.

Section 2: Budgets. Committee Chairs shall solicit the Board for additional monies as may be required by the Committee to the extent funds are available. It shall be the duty of the Committee to exercise prudent financial judgment in investment of the Organization's reserve funds so as to protect the purchasing power of such funds entrusted to it from the effects of inflation and general economic changes. To this end, such funds may be invested in production supplies, costuming, music, rights to shows, and other applicable theatrical needs

#### **ARTICLE XI: FEES AND ADMISSION CHARGES**

Section 1: Public Admission. Admission tickets may be sold to the general public for all productions of the Organization, unless otherwise determined by the Board. Prices for admission tickets shall be established by the Board.

Section 2: Social Events. Charges for attendance at social events shall be established by the Committee in charge of the event, subject to approval by the Board.

Section 3: Sponsorships Good Neighbor Program. The Board may solicit sponsors membership fees to its Good Neighbor Program for the benefit of providing the programs serving the purposes of this Organization and may do so by offering free City and surrounding communities' residents for participation and/or attendance to any and all productions and events presented by the Organization without additional costs as well as receipt of any other bonuses, e.g. recognition, extra admission tickets, etc., or benefits as chosen yearly by the Board.

#### **ARTICLE XII: STANDING COMMITTEES**

Section 1: Establishment. Committee Chairs may establish Standing Committees, with Board approval, and appoint members to assist in the conduct of the affairs of the Organization. Standing Committees shall consist of a Chair and a minimum of two members and may include, but are not restricted to:

A) Bylaws. If constituted, this Committee shall receive all suggestions for amendments of these Bylaws, prepare them in proper form and identify them as amendments to specific Articles and Sections, present them to the Board for consideration and recommendation, and submit the final draft to City Council for approval.

B) House Management. If constituted, this Committee shall serve as custodian of the Theatre and associated facilities and shall be responsible for its maintenance and appearance.

C) Box Office. If constituted, this Committee shall be responsible for the establishment and operation of the box office for all live theatrical productions, including the printing of tickets, the collection of admissions, and the transmittal of such funds, with a full accounting, to the Treasurer.

D) Nominations and Recommendations. If constituted, this Committee, prior to the March Board meeting, shall prepare a list of nominees, after consent of each nominee, for any vacant or upcoming Board appointment or reappointment at the Annual Meeting. The Committee shall submit its report to the Board for consideration during the March annual meeting and subsequent recommendation to the Mayor.

E) Plays/Productions. If constituted, this Committee, under the direction of the Theatre Committee and by receiving suggestions from the general membership of the Organization, prospective directors, and others, and by the use of all available reference materials, shall select play titles and purchase or otherwise obtain sample copies of plays for reading. Plays shall be rated by each member of the Committee on quality of theme, situation, lines, characterizations, practicability for casting and production, potential audience appeal, and other criteria the Theatre Committee deems important. On the basis of the ratings, the Standing Committee shall select a sufficient number of plays to recommend for the ensuing season and present them to the Theatre Committee with synopses and its recommendations. Recommendations may include potential directors and possible season. The Committee shall verify that all plays selected are available for presentation by amateur performers. The report of the Standing Committee shall be presented by the Theatre Committee to the Board no later than the Annual meeting in March. The Standing Committee may submit receipts of expenses, approved by the Theatre Committee Chair, incurred in the discharge of its functions to the Treasurer for reimbursement.

F) Programs. If constituted, this Committee shall be responsible for preparation of the program for each theatrical production, including budget, design, execution on program, and working with the Publicity Chair for publicity needs.

G) Publicity. If constituted, this Committee shall prepare and arrange for all publicity for the Organization, including releases of a general character and those related to individual productions. Publicity activities shall be subject to prior approval of the Public Relations Committee Chair.

H) Lobby. If constituted, this Committee shall appoint a lobby coordinator and arrange for volunteers to serve as ushers and concession personnel for each performance.

I) Finances. If constituted, this Committee shall consist of the Treasurer, Secretary, and an assistant Treasurer. The Treasurer shall serve as Chairman, and the Committee shall prepare an annual budget for the next fiscal year for approval by the Board, during the April Board meeting, and City Council in April or May. The Committee shall conduct a quarterly review of all financial transactions and submit a report to the Board on the progress against the approved budget. The Board shall make these reports available, within a reasonable amount of time, to any member requesting such information.

J) Director/Producer. If constituted, this Committee shall identify candidate Directors and Producers and submit their names to the Theatre Committee for approval.

### **ARTICLE XIII: THEATRICAL POLICY**

Section 1: Policy. The Syracuse City Arts Council states the following to be their basic theatrical policy:

A) That a goal of the Organization is to achieve a finished production of any live theatrical presentation.

B) That live theatrical presentations may be presented to just the production actors' families, to sponsors Good Neighbor members, and/or to the general public or to any combination thereof as determined by the Board and Theater Committee.

C) That plays shall be selected with due regard for excellence, audience appeal, and production practicability.

D) That a minimum of one play shall be presented each year.

E) That further goals shall be to provide opportunities and media for the exercise and enhancement of creative talents and skills of Syracuse residents and other interested persons, foster the enjoyment of the production staff in presenting

the best of live theatre, and improve the cultural education and development of the community through the presentation of theatrical productions.

Section 2: Casting. The selection of performers to fill the roles of a play shall be based solely on the candidates' abilities to portray and project the roles in question, and, in the case of season ticket plays, based on public auditions. Performers may be either residents or non-residents of Syracuse. The casting of a play shall be under the control of the Director with assistance of the Producer and other Theatre Committee members as deemed necessary. Advance public notice of auditions must be published, no less than fourteen days prior, on the Organization's website, at the auditioning location, and any other media approved by the Board. Auditions shall be held over a sufficient period of time to provide all interested persons an opportunity to appear. It is the Organization's policy not to employ professional actors.

Section 3: Directors. A Director shall be recommended ~~chosen~~ for each play by the Theatre Committee prior to the beginning of the theatrical season. Due regard shall be given to the ability and experience of the candidates. The Director shall be responsible for the artistic interpretation and overall production of the presentation.

Section 4: Production. Producers are recommended ~~chosen~~ by the Theatre Committee prior to the theatrical season. A production staff shall be formed by each Producer to perform such functions as lighting crew, stage crew, makeup, and costumes. The Producer shall be responsible for the coordination of the efforts of the production staff, subject to the general supervision of the Director. The Producer may enlist the aid of residents and non-residents of Syracuse City in the formulation of the production staff and creation of rules for the conduct of the production aspects of the performance. The production staff shall assure that proper care is taken of the facilities used for the production whether rented, borrowed, or owned by the Organization.

#### **ARTICLE XIV: FISCAL YEAR**

The Fiscal Year of Organization shall run from September 1 to August 31 ~~match that of Syracuse City.~~

#### **ARTICLE XV: AMENDMENTS**

Section 1: Method of Amending. Amendments to these Bylaws may be proposed, in writing, to the Standing Committee over Bylaws, if constituted, or to the Secretary for inclusion on an upcoming ~~the March~~ agenda, or by any resident for consideration at an upcoming ~~the Annual~~ meeting. ~~Said Committee shall act upon each proposal in accordance with the provisions of Article XII, Section 1, Paragraph A hereof.~~

Section 2: Adoption. These Bylaws may be amended by a majority vote of the Board during at an Annual Board meeting ~~in March~~ and approved by City Council, in a subsequent meeting, upon said recommendation of such vote if such amendments would require a change to City Code.

#### **ARTICLE XVI: PARLIAMENTARY AUTHORITY**

Robert's Rules of Order, Revised, shall govern this Organization, except insofar as they may be inconsistent with these Bylaws.



# REDEVELOPMENT AGENCY SPECIAL MEETING

March 8, 2016

## **Agenda Item “i”**

### **Resolution of the Board of Directors of the Syracuse City Redevelopment Agency Authorizing the Preparation of a Draft Community Development Project Area Plan**

#### **Summary**

During the December 8, 2015 business meeting, CED Director Mellor received informal direction from the Council to move forward with preparation of a draft CDA plan related to development along Antelope Drive between 1000 West and 2000 West. The attached resolution formalizes that informal approval.

As per UCA § 17C-4-101(1) & -102(1), official authorization to prepare the draft plan must precede final approval of the CDA plan. We are not yet seeking final plan approval; negotiations and approval are being sought from the other taxing entities at this time, so the final plan is still subject to change. Once we have reached an agreement with the taxing entities, then we will bring the plan back for final approval, complying with all noticing and hearing requirements provided in state code.

Any questions regarding the proposed CDA should be directed to Brigham Mellor. He will be providing an update on the proposed CDA and the work undertaken thus far.

Paul Roberts

**RESOLUTION RDA16-01**

**A RESOLUTION OF THE BOARD OF DIRECTORS OF THE SYRACUSE CITY REDEVELOPMENT AGENCY AUTHORIZING THE PREPARATION OF A DRAFT COMMUNITY DEVELOPMENT PROJECT AREA PLAN**

**WHEREAS**, the Syracuse City Redevelopment Agency (the “Agency”) is a community development and renewal agency duly created, established and authorized to transact business and exercise its powers, pursuant to the Limited Purpose Local Government Entities – Community Development and Renewal Agencies Act, Title 17C of the Utah Code, as amended; and

**WHEREAS**, the Board of Directors (the “Board”) of the Agency desires to authorize the preparation of a draft community development project area plan in order to facilitate development along Antelope Drive between 1000 West and 2000 West; and

**WHEREAS**, the Board has previously approved expenditure of Agency funds for this purpose;

NOW THEREFORE, BE IT RESOLVED BY THE REDEVELOPMENT AGENCY OF SYRACUSE CITY, DAVIS COUNTY, STATE OF UTAH AS FOLLOWS:

**Section 1:** The Syracuse City Community and Economic Development Department is hereby authorized to prepare a draft community development project area plan, tentatively known as the Syracuse Antelope Drive Community Development Project Area Plan.

**PASSED AND ADOPTED BY THE SYRACUSE CITY REDEVELOPMENT AGENCY, STATE OF UTAH THIS \_\_\_\_\_.**

**SYRACUSE CITY RDA**

ATTEST:

\_\_\_\_\_  
Cassie Z. Brown, CMC  
City Recorder

By: \_\_\_\_\_  
Terry Palmer  
Mayor



Redevelopment Agency of Syracuse City

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**DRAFT**

**Syracuse Antelope Drive Community  
Development Project Area Plan**

February 23, 2016

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## SYRACUSE CITY ANTELOPE DRIVE CDA PROJECT AREA PLAN

The Agency, following thorough consideration of the needs and desires of the City and its residents, as well as the need and capacity for new development, has carefully crafted this Syracuse City Community Development Project Area Plan (“Plan”) for the Syracuse Antelope Drive Community Development Project Area (“Project Area”).

In accordance with the terms of this Plan, the Agency will encourage, promote and provide for the development redevelopment with a mix of uses. The Antelope Drive CDA will include approximately 66.84 acres, of which 61.08 acres are included in parcels (other than roads).

In addition, this Plan will govern the development and maintenance of publicly-owned infrastructure needed to support the development proposed herein. It is the purpose of this Plan to clearly set forth the aims and objectives of this development, its scope, its mechanism, and its value to the residents, businesses and property owners of the City.

The Project is undertaken as a community development project pursuant to the provisions of the Act.

### 1. RECITALS OF PRECONDITIONS FOR DESIGNATING A COMMUNITY DEVELOPMENT PROJECT AREA

- a) Pursuant to the provisions of §17C-4-101 et seq. of the Limited Purpose Local Government Entities Community Development and Renewal Agencies Act, the governing body of the Redevelopment Agency of Syracuse City authorized the preparation of a draft community development project area plan; and
- b) Pursuant to the provisions of §17C-4-102(2)(a) and (b) of the Act, the City has a planning commission and general plan as required by law; and
- c) Pursuant to the provisions of §17C-4-102 (1)(a) of the Act, on the Agency’s own motion, the Agency selected the Project Area hereinafter described comprising all or part of the proposed survey area; and
- d) Pursuant to the provisions of §17C-4-102(1)(d) of the Act, the Agency has conducted one or more public hearings for the purpose of informing the public about the proposed Project Area, allowing public comment on the draft Project Area Plan and whether the Plan should be revised, approved or rejected; and
- e) Pursuant to the provisions of §17C-4-102(1)(b) and (c) of the Act, the Agency made a draft Project Area Plan available to the public at the Agency’s offices during normal business hours, provided notice of the Plan hearing and will hold a public hearing on the draft Plan on \_\_\_\_\_ 2016.

## 2. DEFINITIONS

As used in this Community Development Project Area Plan:

1. The term "**Act**" shall mean and include the Limited Purpose Local Government Entities – Community Development and Renewal Agencies Act in Title 17C, Chapters 1 through 4, Utah Code Annotated 1953, as amended, or such other amendments as shall from time to time be enacted or any successor or replacement law or act.
2. The term "**Agency**" shall mean the Redevelopment Agency of Syracuse City, a separate body corporate and politic.
3. The term "**base taxable value**" shall mean the base taxable value of the property within the Project Area from which tax increment will be collected, as shown upon the assessment roll last equalized, before: (A) the date the Project Area Plan is adopted by the City legislative body; and (B) the date the Agency adopts the first Project Area Budget.
4. The term "**City**" shall mean Syracuse City, Utah.
5. The term "**community**" shall mean the community of Syracuse City, Utah.
6. The term "**community development**" shall mean development activities within the community, including the encouragement, promotion, or provision of development.
7. The term "**developer**" shall mean the entities investing in the development in the area.
8. The term "**Plan Hearing**" means the public hearing on the draft Project Area Plan required under Subsection 17C-4-102 of the Act.
9. The term "**planning commission**" shall mean the planning commission of the City.
10. The term "**Project Area**" or "**Syracuse Antelope Drive Community Development Project Area**" shall mean the geographic area described in this Project Area Plan or Draft Project Area Plan where the community development set forth in this Project Area Plan or Draft Project Area Plan takes place or is proposed to take place.
11. The term "**Project Area Budget**" shall mean a budget setting forth:
  - a. the anticipated costs, including administrative costs, of implementing the Syracuse Antelope Drive Community Development Project Area Plan; and
  - b. the tax increment, sales tax, and other revenue the Agency anticipates to fund the project.
12. The term "**Project Area Map**" is the area depicted in Appendix A.
13. The term "**Project Area Plan**" or "**Plan**" shall mean a project area plan adopted pursuant to the Act to guide and control community development activity within the Project Area.

14. The term "**Syracuse Antelope Drive Community Development Project Area Plan**" or "**Plan**" shall mean a project area plan and project area map adopted pursuant to the Act to guide and control community development activities within a project area.
15. The terms "**tax,**" "**taxes,**" "**property tax**" or "**property taxes**" include privilege tax and each levy on an ad valorem basis on tangible or intangible personal or real property.
16. The term "**taxing entity**" shall mean a public entity that levies a tax on property within the Project Area.
17. The term "**Tax Increment**" shall mean the difference between the amount of property tax revenues generated each tax year by all Taxing Entities from the area designated in the Project Area Plan from which Tax Increment is to be collected, using the current assessed value of the property and the amount of property tax revenues that would be or were generated from that same area using the Base Taxable Value of the property.
18. All other terms shall have the same meaning set forth in the Act unless the context clearly indicates otherwise.

### 3. PROJECT AREA BOUNDARIES [17C-4-103(1)]

The Project Area consists of approximately 66.84 acres<sup>1</sup> located along the south side of Antelope Drive between approximately 800 West and Heritage Lane and the north side of Antelope Drive between Heritage Lane and 2000 West. The Project Area includes the properties lying within the boundaries as depicted on the Project Area map which is included in Appendix A. The boundaries are given in detail in Appendix B as part of the legal description of the property.

### 4. General Statement of Land Uses, Layout of Principal Streets, Population Densities, Building Intensities and How They Will be Affected by the Community Development [17C-4-103(2)]

#### A. LAND USES IN THE PROJECT AREA

The permitted land uses within the Project Area shall be those uses permitted by the officially adopted zoning ordinances of the City, as those ordinances may be amended from time to time, subject to limitations imposed by "overlay" restrictions and the controls and guidelines of this Plan.

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<sup>1</sup> 61.08 acres less roads

Land uses will be affected as vacant land is developed in accordance with this Plan. This will change existing vacant land use to commercial uses. It is also anticipated that there may be some redevelopment of existing properties.

Several land uses surround the Project Area, including residential primarily to the north and south, commercial and exempt largely to the east and west, and vacant and agricultural land to the north and south.

## **B. LAYOUT OF PRINCIPAL STREETS IN THE PROJECT AREA**

Principal streets in the Project Area include Antelope Drive, which runs east to west through the Project Area, and 1000 West which runs north to south through the Project Area. Furthermore, 2000 West, which runs north to south, is the western border of the project area.

## **C. POPULATION DENSITIES IN THE PROJECT AREA**

There is one residence in the Project Area. Based on the average household size in Syracuse,<sup>2</sup> the estimated population of the Project Area is 3.73 persons. The Plan proposes 478,800 square feet of residential space, which will increase the population in the Project Area by an estimated 750 to 900 persons.

## **D. BUILDING INTENSITIES IN THE PROJECT AREA**

Currently there are 16 buildings in the Project Area for a total of 103,276 square feet. The building density based on current development is 0.04.<sup>3</sup> The Plan anticipates an additional 194,000 square feet of retail space, 112,000 square feet of office space and 478,800 square feet of residential space. Based on projected development in the Project Area, the projected building density is 0.33, an increase of 0.29.<sup>4</sup>

# **5. STANDARDS THAT WILL GUIDE THE COMMUNITY DEVELOPMENT [17C-4-103(3)]**

## **A. GENERAL DESIGN OBJECTIVES**

Development within the Project Area will be held to high quality design and construction standards and will be subject to: (1) appropriate elements of the City's General Plan; (2) applicable City building codes and ordinances; (3) Planning Commission review and recommendation; and (4) the City's land use code.

Owners and developers will be allowed flexibility in the development of land located within the Project Area and are expected to obtain quality design and development. The development contemplated herein shall be of a design and shall use materials that are in harmony with adjoining

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<sup>2</sup> ACS 5-year Estimate (2014)

<sup>3</sup> 103,276 building square feet / (61.08 acres \* 43,560 square feet per acre)

<sup>4</sup> (103,276 current building square feet + 784,800 additional building square feet) / (61.08 acres \* 43,560 square feet per acre)

areas and subject to design review and approval by the City. It is contemplated that these design objectives will be addressed in development agreements with the developers specifically addressing these points.

Coordinated and attractive landscaping shall also be provided as appropriate for the character of the Project Area. Materials and design paving, retaining walls, fences, curbs, benches, and other items shall have an attractive appearance, be easily maintained, and indicative of their purpose.

Parking areas shall be designed with careful regard to orderly arrangement, topography, relationship to view, ease of access, and as an integral part of the overall site design.

All development will be accompanied by site plans, development data, and other appropriate material clearly describing the development, including land coverage, setbacks, heights, and any other data required by the City's land use code, the applicable zoning designations, or as requested by the City or the Agency.

The general standards that will guide the community development are as follows:

1. Encourage and assist community development with the creation of well-planned, vibrant mixed-use development, including a commercial core for the City.
2. Provide for the strengthening of the tax base and economic health of the entire community and the State of Utah.
3. Implement the tax increment financing provisions of the Act, which are incorporated herein by reference and made a part of this Plan.
4. Encourage economic use of and new construction upon the real property located within the Project Area.
5. Promote and market the Project Area for community development that would be complementary to existing businesses that would enhance the economic base of the City through diversification.
6. Provide for compatible relationships among land uses and quality standards for development, such that the area functions as a unified and viable center of community activity for the City.
7. Remove any impediments to land disposition and development through assembly of land into reasonably sized and shaped parcels served by adequate public utilities and infrastructure improvements.
8. Achieve an environment that reflects an appropriate level of concern for architectural, landscape and design principles, developed through encouragement, guidance, appropriate controls, and financial and professional assistance to owner participants and developers.

9. Provide for construction of public streets, utilities, curbs and sidewalks, other public rights-of-way, street lights, landscaped areas, public parking, water utilities, sewer utilities, storm drainage, open space, and other public improvements.
10. Provide public streets and road access to the area to facilitate better traffic circulation and reduce traffic hazards by assisting in the street alignments.

## **B. SPECIFIC DESIGN OBJECTIVES AND CONTROLS**

In addition to the general City design objectives and standards described above, it is contemplated that the following guidelines will be approved.

### **1. BUILDING DESIGN OBJECTIVES**

All new buildings shall be of design and materials that will be in harmony with adjoining areas and other new development.

The design of buildings shall take advantage of available views and topography and shall provide, where appropriate, separate levels of access.

### **2. OPEN SPACE PEDESTRIAN WALKS AND INTERIOR DRIVE DESIGN OBJECTIVES**

All open spaces, pedestrian walks and interior drives shall be designed as an integral part of an overall site design, properly related to other buildings.

Comfortably graded pedestrian walks should be provided along the lines of the most intense use, particularly from building entrances to parking areas, and adjacent buildings on the same site.

The location and design of pedestrian walks should afford adequate safety and separation from vehicular traffic.

Materials and design of paving, retaining walls, fences, curbs, and other accouterments, shall be of good appearance, easily maintained, and indicative of their purpose.

### **3. PARKING DESIGN OBJECTIVES**

Parking areas shall be designed with regard to orderly arrangement, topography, ease of access, and as an integral part of overall site design.

It is desirable that parking areas be relatively level.

### **4. PROJECT IMPROVEMENT DESIGN OBJECTIVES**

- All streets and walkways within public rights-of-way will be designed or approved by the City and will be consistent with all design objectives.
- Lighting standards and signs of pleasant appearance and modern illumination standards shall be provided as necessary as approved by the City.

- The applicable portions of the Project Area will be graded in conformance with the final project design determined by the Agency and the City for each specific project.

### **C. TECHNIQUES TO ACHIEVE THE COMMUNITY DEVELOPMENT PLAN OBJECTIVES**

Activities contemplated in carrying out the Plan in the Project Area may include the acquisition and development of properties in the Project Area.

Parcels of real property located in the Project Area may be acquired by purchase, but may not be acquired by condemnation, unless from an Agency board member or officer with their consent [§17C-1-206 (1) and (2)(b)].

### **D. PROPERTY ACQUISITION, DISPOSITION AND DEVELOPMENT**

The objectives of this Plan are to be accomplished by various means including but not limited to the following:

#### **1. ACQUISITION OF REAL PROPERTY**

The Agency may acquire, but is not required to acquire, real property located in the Project Area. The Agency may acquire property by negotiation, gift, devise, exchange, purchase, or other lawful method, but not by eminent domain (condemnation) unless from an Agency board member or officer with their consent. The Agency is authorized to acquire any other interest in real property less than fee title such as leasehold interests, easements, rights of way, etc. by negotiation, gift, devise, exchange, purchase or other lawful method, but not by eminent domain (condemnation) unless from an Agency board member or officer with their consent [§17C-1-206 (1) and (2)(b)].

#### **2. COOPERATION WITH THE COMMUNITY AND PUBLIC ENTITIES**

The community and certain public entities are authorized by state law, with or without consideration, to assist and cooperate in the planning, undertaking, construction, or operation of projects within this Project Area. The Agency may seek the aid and cooperation of such public entities in order to accomplish the purposes of community development and the highest public good.

The Agency, by law, is not authorized to acquire real property owned by a public entity without the consent of the public entity. The Agency, however, will seek the cooperation of all public entities that own or intend to acquire property in the Project Area. To the extent allowed by law, the Agency shall impose on all public entities owning real property in the Project Area the planning and design controls contained in this Plan to the end that uses and any future development by public entities will conform to the requirements of this Plan.

#### **3. PROPERTY MANAGEMENT**

During such time that property, if any, in the Project Area is owned by the Agency, such property shall be under the management and control of the Agency. Such property may be rented or leased by the Agency pending its disposition for community development.

#### 4. PROPERTY DISPOSITION AND DEVELOPMENT

The Agency is also authorized, by lawful means, to provide for and promote the community development of the Project Area as described below.

While there are currently no buildings or structures in the Project Area and it is unlikely that there will ever be a need to demolish and clear buildings or structures in the Area, the Agency is authorized to demolish and clear buildings, structures, and other improvements from any real property in the Project Area, should such a need occur, to carry out the purposes of this Plan. The Agency is authorized to install and construct or to cause to be installed and constructed the public improvements, public facilities, and public utilities, within the Project Area, not prohibited by law which are necessary or desirable to carry out this Plan, as well as publicly-owned improvements and infrastructure outside the Project Area that are of benefit to the Project Area. The Agency is authorized to prepare or cause to be prepared as building sites any real property in the Project Area. The Agency is also authorized to rehabilitate or to cause to be rehabilitated any building or structure in the Project Area should such a need occur in the future. The Agency is also authorized to advise, encourage, and assist in the rehabilitation of property in the Project Area not owned by the Agency should such a need occur in the future.

For the purposes of this Plan, the Agency is authorized to sell, lease, exchange, subdivide, transfer, assign, pledge, encumber by mortgage or deed of trust, or otherwise dispose of any interest in real property. The Agency is authorized to dispose of real property by leases or sales by negotiation with or without public bidding. All real property acquired by the Agency in the Project Area shall be sold or leased to public or private persons or entities for development for the uses permitted in this Plan. Real property may be conveyed by the Agency to the City or any other public entity without charge. The Agency shall reserve such controls in the disposition and development documents as may be necessary to prevent transfer, retention, or use of property for speculative purposes and to insure that development is carried out pursuant to this Plan. All purchasers or lessees of property from the Agency shall be made obligated to use the property for the purposes designated in this Plan, to begin and complete development of the property within a period of time which the Agency fixes as reasonable, and to comply with other conditions which the Agency deems necessary to carry out the purposes of this Plan.

To the maximum possible extent, the objectives of this Plan are to be accomplished through Agency encouragement of, and assistance to, private enterprise in carrying out development activities. To provide adequate safeguards to ensure that the provisions of this Plan will be carried out, all real property sold, leased, or conveyed by the Agency, as well as all property subject to participation agreements, shall be made subject to the provisions of this Plan by leases, deeds, contracts, agreements, declarations of restrictions, provisions of the City ordinances, conditional use permits, or other means. Where appropriate, as determined by the Agency, such documents or portions thereof shall be recorded in the Office of the County Recorder. The leases, deeds, contracts, agreements, and declarations of restrictions may contain restrictions, covenants, covenants running with the land, rights of reverter, conditions subsequent, equitable servitudes, or any other provision necessary or desirable to carry out this Plan.

To the extent now or hereafter permitted by law, the Agency is authorized to pay for, develop, or construct any building, facility, structure, or other improvement either within or outside the Project

Area for itself or for any public entity to the extent that such improvement would be of benefit to the Project Area. During the period of development in the Project Area, the Agency shall require that the provisions of this Plan and of other documents formulated pursuant to this Plan are being observed, and that development in the Project Area is proceeding in accordance with development documents and time schedules. Plans for development by owners or developers shall be submitted to the Agency for review and approval. All community development must conform to this Plan and all applicable federal, state, and local laws.

For the purpose of this Plan, the Agency is authorized to sell, lease, exchange, transfer, assign, pledge, encumber, and otherwise dispose of personal property.

## **E. APPROVALS**

The City shall approve the design of all development within the Project Area to ensure that development therein is consistent with this Plan.

## **6. HOW THE PURPOSES OF THIS TITLE WILL BE ATTAINED BY THE COMMUNITY DEVELOPMENT [17C-4-103(4)]**

It is the intent of the Agency, with the assistance and participation of private owners, to facilitate new development within the Project Area that includes this objective: the creation of a City Center and an employment center. There has been little activity in the area over the past ten years, since the UDOT road widening, and public assistance is necessary in order to encourage economic development. Further, the Project will strengthen the tax base of all applicable taxing entities, will accomplish community development objectives and create a well-planned community center. The purposes of the Act will be obtained as a result of the proposed community development project by accomplishing the following items:

### **A. ESTABLISHMENT OF NEW BUSINESS**

The project includes significant commercial development which will benefit the State, City and other taxing entities through increased job creation, increased sales tax base, increased property tax base, and increased income taxes paid.

### **B. PUBLIC INFRASTRUCTURE IMPROVEMENTS**

The construction of the public infrastructure improvements as provided by this Plan will support the development contemplated herein and provide for future development in surrounding areas. Infrastructure is an important element of economic development and areas that lack good infrastructure are not able to be competitive in attracting good-quality businesses to locate in their community.

Specifically, this Plan contemplates water reconstruction, storm water reconstruction, street improvements, increased signage and landscaping, establishment of a revolving loan fund for façade renovations and potential economic incentives to attract a major tenant. Further, there are extraordinary costs of development associated with some of the properties in the Project Area, due

to the potential cost of demolishing old buildings. Thus, the components of the Project provided in this Plan will encourage, promote and provide for community development within the Project Area and the City generally for years to come.

## 7. THE PLAN IS CONSISTENT WITH AND WILL CONFORM TO THE COMMUNITY'S GENERAL PLAN [17C-4-103(5)]

This Plan is consistent with the City's General Plan that was updated and approved May 26, 2009. Specifically, the City's mission statement states a desire to "provide quality, affordable services for its citizens, while promoting community pride, fostering economic development and managing growth." This Project Area Plan will foster economic growth.

The General Plan specifically states:

*1700 South, between 1000 West and 2000 West is currently planned for improvements that will dramatically increase traffic movement through the city. Land areas on both the north and south side along this section of 1700 South should be viewed and utilized as "prime" commercial real estate areas. These areas will allow commercial establishments to take advantage of the future high traffic volumes while providing necessary services and commercial opportunities for residents as well as those who may be traveling through the City to visit Antelope Island. As 1700 South is improved and widened to the west of 2000 West, this corridor will evolve as a major commercial corridor in the City, eventually connecting the Town Center with the future North Legacy Parkway. Particular attention should be given to the quality and type of commercial development that occurs along this section of 1700 South as it will become a new gateway to the City and Antelope Island via Legacy Parkway at Bluff and 1700 South. (Syracuse City General Plan, March 11, 2014, p. 13)*

## 8. DESCRIPTION OF ANY SPECIFIC PROJECT OR PROJECTS THAT ARE THE OBJECT OF THE PROPOSED COMMUNITY DEVELOPMENT [17C-4-103(6)]

The proposed community development project will include a mix of retail, office and residential uses. It is anticipated that approximately 784,800 additional square feet will be built in the area. The City would like to attract a major anchor tenant in order to provide greater economic stability and reduce the current high turnover rates in the area.

Specific projects also include reconstruction and upgrading of public infrastructure improvements, in order to serve the new development anticipated for the area. Other projects may include the establishment of a Revolving Loan Fund for façade improvements, funds for demolition of deteriorating properties where a private developer is involved. Again, no eminent domain is

included as part of this Project Area Plan and demolition of properties would only occur through the voluntary participation of a property owner.

## **9. HOW PRIVATE DEVELOPERS WILL BE SELECTED AND IDENTIFICATION OF CURRENT DEVELOPERS IN THE COMMUNITY DEVELOPMENT PROJECT AREA [17C-4-103(7)]**

### **A. SELECTION OF PRIVATE DEVELOPERS**

No developers have currently been selected for this Project Area. The Agency contemplates that owners of real property within the Project Area will take advantage of the opportunity to develop their property, or sell their property to developers for the development of facilities within the Project Area. In the event that owners do not wish to participate in the community development in compliance with the Plan, or in a manner acceptable to the Agency, or are unable or unwilling to appropriately participate, the Agency reserves the right pursuant to the provisions of the Act to acquire parcels, to encourage other owners to acquire other property within the Project Area, or to select non-owner developers by private negotiation, public advertisement, bidding or the solicitation of written proposals, or a combination of one or more of the above methods.

### **B. IDENTIFICATION OF DEVELOPERS WHO ARE CURRENTLY INVOLVED IN THE PROPOSED COMMUNITY DEVELOPMENT**

No specific developers are currently involved in the proposed Community Development Area.

#### **1. QUALIFIED OWNERS**

Any person wishing to become a developer will be required to own or have the right to purchase all or part of the Project Area.

#### **2. OTHER PARTIES**

If no owner in the Project Area, as described in Subparagraph A above, who possesses the skill, experience and financial resources necessary to become a developer in the Project Area is willing or able to become a developer of all or part of the Project Area, the Agency may identify other qualified persons who may be interested in developing all or part of the Project Area. Potential developers may be identified by one or more of the following processes: (1) public solicitation, (2) requests for proposals (RFP), (3) requests for bids (RFB), (4) private negotiation, or (5) some other method of identification approved by the Agency.

#### **3. OWNER PARTICIPATION AGREEMENTS**

The Agency has not entered into nor does it intend to enter into any owner participation agreements or agreements with developers to develop all or part of the Project Area until after the Agency and the City decide whether or not to adopt this Plan for the Project Area. If the Project Area is adopted,

## 10. REASONS FOR THE SELECTION OF THE PROJECT AREA [17C-4-103(8)]

The Project Area was selected by the Agency as that area within the City having an immediate opportunity to strengthen the community and to move forward the goals and objectives as expressed in the City's General Plan. Additionally, although not required as part of this Plan, it is anticipated that the project will create new jobs.

The Project Area contains a portion of the City that is desirable for commercial development because of: (1) its access and visibility along 1700 South (Antelope Drive) – a major corridor to Antelope Island; and (2) the opportunity to commence public-private partnerships to improve this area of the City and create a City and employment center.

Specific boundaries of the Project Area were arrived at by the Agency after a review of the area by members of the Agency, City staff, economic development consultants, and other technical and legal consultants. Planned treatment of this area is intended to stimulate development to the degree necessary for sound long-term growth in the Project Area and to encourage the development of real property located within the Project Area. Finally, development of the Project Area as a City and Employment Center is an important element in the City's General Plan.

## 11. DESCRIPTION OF THE PHYSICAL, SOCIAL AND ECONOMIC CONDITIONS EXISTING IN THE AREA [17C-4-103(9)]

### A. PHYSICAL CONDITIONS

The Project Area consists of approximately 46.79 acres of developable land, or land that currently does not have improvements, including 19.98 acres of vacant land, 21.61 acres of agricultural land, and 5.19 acres of undeveloped exempt land. Total acreage in the Project Area is 66.84 acres. The Project Area contains several buildings, including retail, office, and other commercial buildings, a single-family residence, agricultural structures, and a public works facility.

### B. SOCIAL CONDITIONS

No unusual social conditions were found to exist. Because of the development of land into a mixed use City Center, consistent with the General Plan of the City, this area will take on a new social character that will enhance existing development in the City. The Syracuse Antelope Drive Project Area Plan will bring residents and visitors to the Project Area for shopping and employment. It is anticipated, therefore, that the proposed project area will add to the community's economy, quality of life, and reputation.

### C. ECONOMIC CONDITIONS

The Project Area currently has residential and commercial development; however, 20 percent of the land is tax exempt, and 33 percent has been held in "greenbelt" status and therefore has a very

low taxable value of \$17,635<sup>5</sup> associated with the greenbelt properties only. The total base year taxable value in the Project Area is \$14,179,600.

## **12. TAX INCENTIVES OFFERED TO PRIVATE ENTITIES FOR FACILITIES LOCATED WITHIN THE PROJECT AREA [17C-4-103(10)]**

The Agency intends to use property tax increment generated within the Project Area to pay part of the costs associated with development of the Project Area. The Agency intends to negotiate and enter into one or more inter-local agreements with Davis County, Davis School District, Weber Basin Water Conservancy, Davis County Mosquito Abatement and North Davis Sewer District to secure receipt of a portion of the property tax increment generated within the Project Area that would otherwise be paid to those taxing entities. Collectively, those tax revenues may be used to reimburse a private developer for a portion of the cost of the public infrastructure improvements including interest and bonding costs. Subject to the provisions of the Act, the Agency may agree to pay for eligible development costs and other items from such tax revenues for any period of time the Agency and the taxing entities may deem appropriate under the circumstances.

Detailed tax increment information is provided in Appendix D in the Project Area Budget that is attached to this Plan and made a part thereof.

## **13. ANALYSIS OR DESCRIPTION OF THE ANTICIPATED PUBLIC BENEFIT TO BE DERIVED FROM THE COMMUNITY DEVELOPMENT [17C-4-103(11)]**

The public will realize significant benefits from the development of the Community Development Project Area as proposed by this Plan. The Agency's long-term objective in developing the Project Area is to create a high quality City and Employment Center that will diversify the City's economic and tax base and provide employment opportunities to City residents.

In order to facilitate the development contemplated herein, the Agency created the Project Area. The City and the Agency saw the development of the Project as an opportunity to "jump start" the proposed redevelopment by creating a public-private partnership for the project area.

### **A. BENEFICIAL INFLUENCES ON THE TAX BASE**

The incremental taxable value of the area is \$37.75 million over the next 20 years. At that time, the incremental property tax revenues to all taxing entities should reach over \$500,000 per year. In addition, the development will generate sales tax revenues and municipal energy ("franchise") tax revenues.

In addition to tax revenues, the project will generate other revenues including Class B/C Road Funds, business license fees, charges for services, and one-time fees such as building permits and impact fees.

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<sup>5</sup> Source: Davis County Assessor's Office, 2015

## **B. ASSOCIATED BUSINESS AND ECONOMIC ACTIVITY**

Business and economic activity likely to be derived includes business and employee expenditures, as well as construction expenditures.

### **1. BUSINESS AND EMPLOYEE EXPENDITURES**

It is anticipated that employees and business owners in the Syracuse Antelope Drive CDA Project Area will directly or indirectly purchase local goods and services related to their operations from local or regional suppliers. These purchases will likely increase employment opportunities in the related areas of business equipment, furniture and furnishings, business supplies, computer equipment, communication, security, transportation and delivery services, maintenance, repair and janitorial services, packaging supplies, office and printing services, transportation and delivery services.

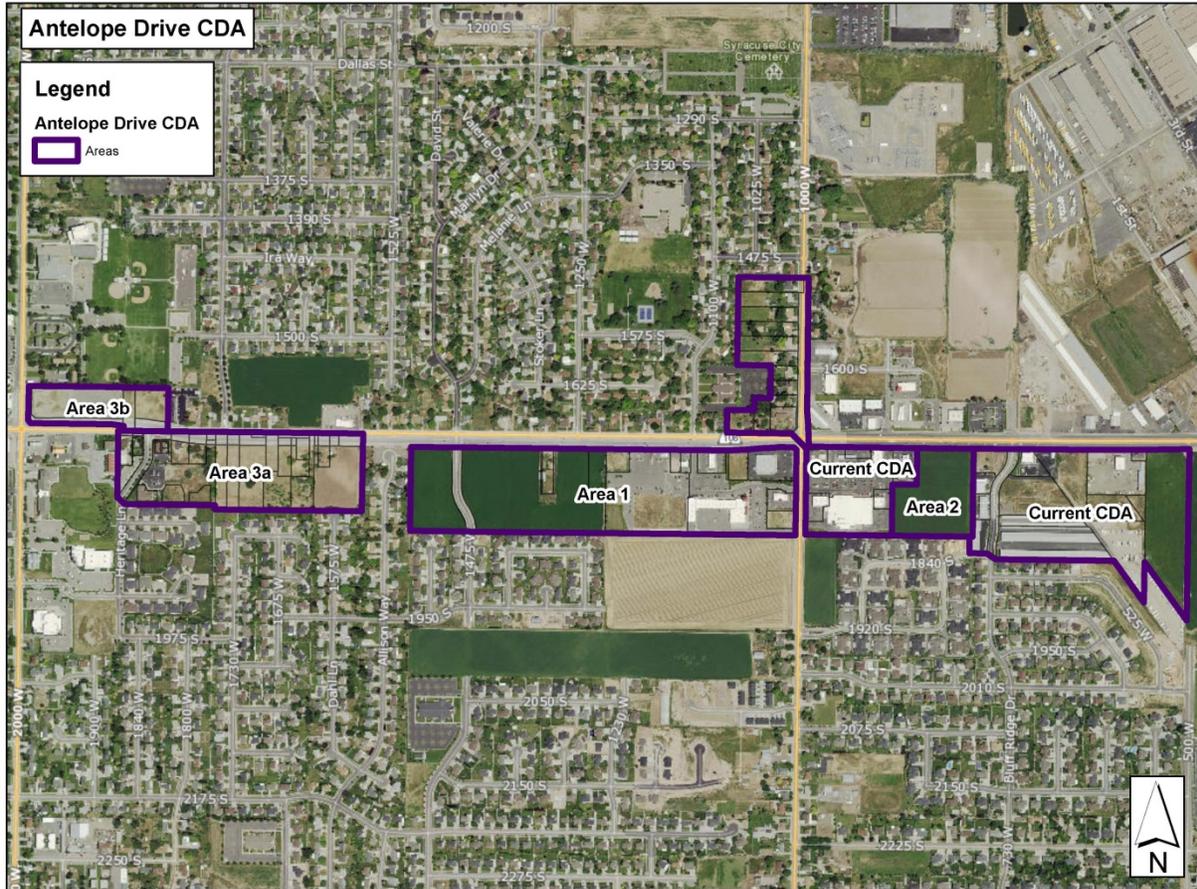
A summary of benefits is as follows:

- Provide an increase in direct purchases in the City.
- Provide economic diversification within the City and Davis County.
- Encourage economic development in order for a public or private employer to create additional jobs in the community.
- Complement existing businesses and industries located within the City by providing new employees who may live and shop and pay taxes in the City and the region.
- Another benefit will be the expenditure of income by employees filling the new positions. The types of expenditures by employees in the area will likely include convenience shopping for personal and household goods, lunches at area restaurants, convenience purchases and personal services (haircuts, banking, dry cleaning, etc.) The employees will not make all of their convenience or personal services purchases near their workplace, and each employee's purchasing patterns will be different. However, it is reasonable to assume that a percentage of these annual purchases will occur within close proximity to the workplace (assuming the services are available).

### **2. CONSTRUCTION EXPENDITURES**

Economic activity associated with the development will include construction activity. Market value of the project is expected to reach \$79 million. This will create a significant number of construction jobs.

# APPENDIX A: PROJECT AREA MAP AND LAYOUT OF PRINCIPAL STREETS



## APPENDIX B: LEGAL DESCRIPTION

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## APPENDIX C: LIST OF PARCELS

| Parcel Number | Tax District | 2015 Taxable Value | Area | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 120860098     | 54           | \$3,343            | 1    | 0.54  | A TRACT OF LAND IN FEE, BEING ALL OF AN ENTIRE TRACT OF PPTY, SIT IN THE SW 1/4 SW 1/4 OF SEC 10-T4N-R2W, SLB&M. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT A PT 696.30 FT (RECORD 10.5   |
| 120860100     | 54           | \$0                | 1    | 0.39  | ALL OF LOT 2, SUITE B, HERITAGE LANE COMMERCIAL PLAZA PUD. CONTAINS 0.29 ACRES                                                                                                                           |
| 120860104     | 54           | \$0                | 1    | 1.13  | ALL OF LOT 3 SUITE C, HERITAGE LANE COMMERCIAL PLAZA PUD CONTAINS 0.37 ACRES                                                                                                                             |
| 120860105     | 54           | \$0                | 1    | 3.07  | ALL OF LOT 4 SUITE D, HERITAGE LANE COMMERCIAL PLAZA PUD CONTAINS 0.29 ACRES                                                                                                                             |
| 120860103     | 54           | \$0                | 1    | 0.68  | BEG 100 RODS E & 18 RODS S FR NW COR SEC 15-T4N-R2W, SLM; S 231.54 FT TO THE N LINE OF HILLS BORO SUBDIVISION PHASE 2; TH E 11 RODS, M/L; TH N 231.95 FT, M/L; TH W 5 RODS; TH N 2 RODS; TH W 5 RODS; TH |
| 126910003     | 54           | \$525,000          | 1    | 1.01  | ALL OF UNIT 101, HERITAGE LANE BUSINESS CONDOMINIUMS                                                                                                                                                     |
| 125420008     | 54           | \$0                | 1    | 0.94  | ALL OF UNIT 103, HERITAGE LANE BUSINESS CONDOMINIUMS.                                                                                                                                                    |
| 120860095     | 54           | \$0                | 1    | 0.95  | ALL OF UNIT 102, HERITAGE LANE BUSINESS CONDOMINIUMS.                                                                                                                                                    |
| 126910002     | 54           | \$287,496          | 1    | 0.94  | COMMON AREA OF HERITAGE LANE BUSINESS CONDOMINIUMS AS DEFINED BY PLAT RECORDED 12-10-2002 AS ENTRY NUMBER 181 1792 BOOK 3183 PAGE 203 CONT. 0.057 ACRES. THE INFORMATION SHOWN ON THIS PARCEL NUM        |
| 125420005     | 54           | \$0                | 1    | 0.95  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLM, THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERSECT  |
| 125420006     | 54           | \$2,370,000        | 1    | 0.94  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLM, THE BND |
| 126910004     | 54           | \$485,000          | 1    | 0.42  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLM, THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERSECT  |
| 126910005     | 54           | \$715,000          | 1    | 0.42  | A TRACT OF LAND IN FEE BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERSECT  |
| 126910006     | 54           | \$840,000          | 1    | 0.58  | A PARCEL OF LAND IN FEE FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT                                                                    |

| Parcel Number | Tax District | 2015 Taxable Value | Area | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               |              |                    |      |       | OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE B                                                                                                                                        |
| 126910007     | 54           | \$313,632          | 1    | 0.02  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE   |
| 120860106     | 54           | \$8,752            | 1    | 0.65  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERS   |
| 127680002     | 54           | \$1,669,044        | 1    | 0.10  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE   |
| 127680001     | 54           | \$2,490,000        | 1    | 0.34  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERS   |
| 120790117     | 54           | \$5,540            | 2    | 0.00  | A PART OF THE NW 1/4 OF SEC 15-T4N-R2W, SLM; BEG AT A PT ON THE N LINE OF SD 1/4 SEC, WH IS 825.00 FT N 89°58'46" E ALG SD N LINE & S 00°26'45" W 84.99 FT FR THE NW COR OF SD 1/4 SEC; TH N 89°58'46" E |
| 123800002     | 54           | \$1,170,000        | 3a   | 0.65  | COMMON AREA OF HERITAGE LANE COMMERCIAL PLAZA PUD, AS DEFINED BY PLAT RECORDED 2-8-2000, AS E# 1574055, BK 2613, PG 67. CONTAINS 3.20 ACRES LESS & EXCEPTING: A PARCEL OF LAND IN FEE, FOR THE W         |
| 123800003     | 54           | \$120,877          | 3a   | 0.00  | A PARCEL OF LAND IN FEE FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 OF SEC 15 & WALKER ESTATES, A COMMUNITY |
| 123800004     | 54           | \$94,740           | 3a   | 0.30  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE   |
| 120850085     | 54           | \$39,488           | 3a   | 0.56  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN HERITAGE LANE COMMERCIAL PLAZA PUD, A SUB IN THE  |
| 124990101     | 54           | \$325,000          | 3a   | 0.61  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN HERITAGE LANE COMMERCIAL PLAZA PUD, A SUB IN THE  |

| Parcel Number | Tax District | 2015 Taxable Value | Area | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 124990103     | 54           | \$165,000          | 3a   | 0.39  | BEG 11.50 CHAINS E & S 00°19'03" W 33.00 FT OF NW COR OF SEC 15-T4N-R2W, SLM; TH S 89°40'57" E 60.84 FT; TH SE'LY 7.22 FT ALG THE ARC OF A 30.00 FT RAD CURVE TO THE RIGHT (CHORD BEARS S 45°26'59" E 7. |
| 124990102     | 54           | \$165,000          | 3a   | 5.65  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN HERITAGE LANE COMMERCIAL PLAZA PUD, A SUB IN THE  |
| 124990104     | 54           | \$0                | 3a   | 2.63  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE   |
| 120850090     | 54           | \$0                | 3a   | 0.17  | A PART OF THE NW 1/4 OF SEC 15-T4N-R2W, SLM; BEG AT A PT ON THE N LINE OF SD 1/4 SEC, WH IS 1141.34 FT N 89°58'46" E ALG SD N LINE & S 00°07'21" W 76.34 FT FR THE NW COR OF SD 1/4 SEC; TH E'LY 119.06  |
| 120850091     | 54           | \$0                | 3a   | 0.95  | BEG 1328.65 FT W & S 00°08'38" W 87.00 FT FROM NE COR OF NW 1/4 OF NE 1/4 SEC 15-T4N-R2W, SLM; TH S 572.70 FT; TH E 382.50 FT, M/L, TO A PT ON THE W LINE OF PARCEL 2 RECORDED IN BK 3669 PG 866; TH NW  |
| 120850089     | 54           | \$0                | 3a   | 6.53  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NE 1/4 OF SEC 15-T4N-R2W, SLB&M, THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERSE  |
| 120850095     | 54           | \$0                | 3a   | 1.34  | A TRACT OF LAND IN FEE, BEING ALL OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLM. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT A PT 1666.50 FT (RECORD 101 RO  |
| 120850094     | 54           | \$0                | 3a   | 6.62  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE SW 1/4 SW 1/4 OF SEC 10-T4N-R2W, SLB&M. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERS   |
| 120850096     | 54           | \$0                | 3a   | 0.57  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE   |
| 120850097     | 54           | \$0                | 3a   | 0.02  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE   |
| 120850098     | 54           | \$0                | 3a   | 4.84  | BEG 555 FT W FR THE NE COR OF THE NW 1/4 OF SEC 15-T4N-R2W, SLB&M; & RUN TH S 14 RODS; TH W 80                                                                                                           |

| Parcel Number | Tax District | 2015 Taxable Value | Area | Acres | Legal Description                                                                                                                                                                                                                               |
|---------------|--------------|--------------------|------|-------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               |              |                    |      |       | FT; TH N 14 RODS; TH E 80 FT TO THE POB. CONT. 0.427 ACRES EXCEPTING THEREFR THE FOLLOWING: A PA                                                                                                                                                |
| 120850099     | 54           | \$0                | 3a   | 0.43  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE SW 1/4 SW 1/4 OF SEC 10-T4N-R2W, SLB&M. THE                                          |
| 120850100     | 54           | \$0                | 3a   | 0.47  | BEG AT A PT WH IS 660.00 FT S 89 <sup>^</sup> 40'57" E ALG THE SEC LINE & S 00 <sup>^</sup> 19'03" W 33.00 FT FR NW COR OF SEC 15-T4N-R2W, SLB&M; TH S 202.00 FT; TH E 6 RODS; TH N 202.00 FT TO THE S LINE OF PPTY CONV IN WARRANT             |
| 123800006     | 54           | \$0                | 3a   | 0.50  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M; THE B                                        |
| 120850101     | 54           | \$0                | 3a   | 0.31  | A PARCEL OF LAND IN FEE, INCIDENT TO THE WIDENING OF THE EXISTING HIGHWAY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NE 1/4 OF SEC 15-T4N-R2W,                                         |
| 120850103     | 54           | \$0                | 3a   | 1.07  | A PARCEL OF LAND IN FEE, INCIDENT TO THE WIDENING OF THE EXISTING HIGHWAY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NE 1/4 OF SEC 15-T4N-R2W,                                         |
| 123800007     | 54           | \$0                | 3a   | 1.05  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HIGHWAY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NE 1/4 OF SEC 15-T4N-R2W, SLB&M, T                                        |
| 123800009     | 54           | \$0                | 3a   | 0.16  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M. THE                                          |
| 120850102     | 54           | \$43,450           | 3a   | 0.81  | BEG AT A PT N 0 <sup>^</sup> 10'56" E 63.99 FT & E 44.62 FT & N 0 <sup>^</sup> 09'42" E 233.02 FT ALG 2000 WEST STR & S 89 <sup>^</sup> 40'57" E 17.45 FT TO A PT 62.00 FT PERP'LY DIST E'LY FR THE CENTERLINE OF SD 2000 WEST STR FR THE SW CO |
| 123800008     | 54           | \$0                | 3a   | 0.83  | A PARCEL OF LAND IN FEE FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE SW 1/4 SW 1/4 OF SEC 10-T4N-R2W, SLB&M. THE B                                         |
| 120850105     | 54           | \$0                | 3a   | 0.17  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENITRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-                                                         |

| Parcel Number | Tax District | 2015 Taxable Value | Area | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               |              |                    |      |       | R2W, SLM, THE BND                                                                                                                                                                                        |
| 120850104     | 54           | \$145,000          | 3a   | 0.29  | ALL OF LOT 3, DESERTSCAPE SUBDIVISION. CONT. 0.25000 ACRES.                                                                                                                                              |
| 120850029     | 54           | \$0                | 3a   | 1.75  | A TRACT OF LAND IN FEE, BEING ALL OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLM, THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG ON THE S LN OF A STR 33.00 FT S &  |
| 120850107     | 54           | \$0                | 3a   | 0.19  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE NE 1/4 NW 1/4 OF SEC 15-T4N-R2W, SLB&M; TH BN |
| 120850108     | 54           | \$0                | 3a   | 0.42  | BEG AT A PT 40 RODS W OF NE COR OF NW 1/4 OF SEC 15-T4N-R2W, SLM; TH S 529.58 FT, M/L, TO N LINE OF HILLS BORO SUB PHASE 2; TH W 9 RODS; TH N 231.95 FT, M/L, TO A PT 264 FT S OF S LINE OF A STR; TH E  |
| 120850109     | 54           | \$72,556           | 3a   | 0.11  | BEG AT A PT WH IS 1838.00 FT, M/L, S 89^40'57" E ALG THE SEC LINE & 86.96 FT S 0^19'03" W TO A PT 55.00 FT PERP'LY DISTANT S'LY FR THE CENTERLINE OF A PROJECT, OPPOSITE APPROXIMATE ENGINEERS STATION 5 |
| 120850106     | 54           | \$310,000          | 3a   | 0.43  | BEG 555 FT W FR NE COR OF NW 1/4 SEC 15-T4N-R2W, SLM; TH S 00^19'03" W 86.97 FT; TH S 89^40'46" E 60 FT; TH N 86.97 FT; TH W 60 FT TO BEG. CONT. 0.097 ACRES (NOTE: THIS REMAINING LEGAL WAS             |
| 120850111     | 54           | \$0                | 3a   | 0.47  | BEG AT A PT 5 CHAINS W & S 0^19'03" W 86.98 FT FR NE COR OF NW 1/4 SEC 15-T4N-R2W, SLM; TH W 165 FT; TH S 75.03 FT; TH W 60 FT; TH S 69 FT; TH W 80 FT; TH N 144.03 FT; TH W 25 FT; TH S 442.625 FT; TH  |
| 120850116     | 54           | \$0                | 3a   | 0.01  | BEG N 89^59'50" W 393.71 FT ALG SEC LN & S 0^11'26" W 52.36 FT FR NE COR OF NW 1/4 SEC 14-T4N-R2W, SLM; TH W'LY ALG THE ARC OF A 10,050.00 FT RAD CURVE TO THE RIGHT 230.29 FT (LC BEARS S 89^20'48" W 2 |
| 120850088     | 54           | \$0                | 3a   | 0.21  | BEG 2,350.92 FT E & S 0^11'26" W 49.82 FT E FR NW COR OF SEC 14-T4N-R2W, SLM; TH S 75.18 FT; TH W 100 FT; TH N 72.64 FT; TH E'LY 30.17 FT ALG THE ARC OF A 10,055.00 FT RADIUS CURVE TO THE LEFT (LC BEA |
| 120850031     | 54           | \$0                | 3a   | 0.05  | BEG ON W LN OF ST N 0^07'41"E 896.0 FT ALG THE SEC LN & S 89^58'46"W 33.0 FT PARA TO S SEC LN FR SE COR OF SEC 10, T4N-R2W; SLM: TH N 0^07'41"E 100 FT ALG W LN OF SD ST; TH S 89^58'46"                 |
| 120850112     | 54           | \$0                | 3a   | 0.38  | BEG ON W LN OF ST, 1000 W ST, AT PT N 0^07'41"E 396 FT ALG SEC LN & S 89^ 58'46"W 33 FT PARA TO S LN OF SD SEC FR SE COR SEC 10; T4N-R2W; SLM: TH S 89^58'46"W 183.33 FT, M OR L, TO E LN                |
| 120850086     | 54           | \$94,868           | 3a   | 0.23  | A PT OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; BEG                                                                                                                                                           |

| Parcel Number | Tax District | 2015 Taxable Value | Area        | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|-------------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               |              |                    |             |       | AT A PT ON THE S LINE OF 1700 S STR AS WIDENED TO 55.00 FT HALF-WIDTH BEING 472.56 FT S 89°59'50" E ALG THE SEC LINE & 55.00 FT S 0°09'08" W FR THE NW CO                                                |
| 120850115     | 54           | \$77,005           | 3a          | 0.46  | A PT OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; BEG AT A PT 621.92 FT S 89°59'50" E ALG THE SEC LINE & 339.44 FT S 0°00'10" W FR THE NW COR OF SD SEC 14; & RUN TH S 0°00'10" W 134.50 FT; TH N 89°59'50" W 1 |
| 120850117     | 54           | \$0                | 3a          | 0.07  | BEG AT A PT N 89°59'49" W 295.99 FT ALG THE SEC LINE & S 355.27 FT & S 89°53'53" W 141.2 FT, M/L, FR THE NE COR OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; & RUN TH N 89°59'50" W 258.80 FT; TH S 0°11'26" W  |
| 120850119     | 54           | \$190,651          | 3a          | 0.16  | BEG AT A PT 216.33 FT W & N 33 FT & N 00°19'14" E 15.18 FT FR SE COR SEC 10-T4N-R2W, SLM; SD PT BEING ON THE N LINE OF PPTY CONV IN WARRANTY DEED RECORDED 04/17/2008 AS E# 2357777 BK 4514 PG 115; SD P |
| 120520052     | 54           | \$0                | 3b          | 0.26  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE SE 1/4 SE 1/4 OF SEC 10-T4N-R2W, SLB&M. THE   |
| 120520159     | 54           | \$0                | 3b          | 0.33  | A PART OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; BEG AT A PT ON THE S LINE OF 1700 SOUTH STR AS WIDENED TO 55.00 FT HALF-WIDTH BEING 51.00 FT S 89°59'50" E ALG THE SEC LINE & 55.00 FT S 0°09'08" W & S 89° |
| 120520158     | 54           | \$0                | 3b          | 0.05  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HIGHWAY STATE ROUTE 108 KNOWN AS PROJECT NO 0108, BEING PART OF AN ENTIRE TRACT OF PROP, SIT IN THE NW 1/4 NW 1/4 OF SEC 14-T4N-R2W, SLB&M, TH |
| 120520163     | 54           | \$1,453,158        | 3b          | 0.40  | BEG AT A PT S 89°59'50"(") E ALG THE SEC LINE 1174.85 FT & S 00°10'10" W 218.00 FT (RECORD 1173.33 FT E & 218.00 FT S) FR THE NW COR OF SEC 14-T4N-R2W, SLB&M, SD PT BEING THE SW COR OF LOT 4, SYRACUSE |
| 120520164     | 54           | \$0                | 3b          | 0.04  | BEG ON W LINE OF STR N 0°07'41" E 796.0 FT ALG SEC LINE & S 89°58'46" W 33 FT PARALLEL TO S LINE SD SEC FR SE COR SEC 10-T4N-R2W, SLM; TH N 0°07'41" E 100 FT ALG W LINE SD STR; TH S 89°58'46" W 411.18 |
| 120790066     | 54           | \$750,000          | Current CDA | 0.12  | BEG ON W LINE OF STR A PT N 0°07'41" E 696.0 FT ALG SEC LINE & S 89°58'46" W 33.0 FT PARALLEL TO S LINE SD SEC FR SE COR SEC 10-T4N-R2W, SLM; TH N 0°07'41" E 100 FT ALG W LINE SD STR; TH S 89°58'46" W |
| 120790068     | 54           | \$0                | Current CDA | 3.09  | BEG ON W LINE OF STR (1000 WEST STR) N 0°07'41" E 496 FT ALG SEC LINE & S 89°58'46" W 33.0 FT PARALLEL TO S LINE SEC 10-T4N-R2W, SLM; FR SE                                                              |

| Parcel Number | Tax District | 2015 Taxable Value | Area        | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|-------------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               |              |                    |             |       | COR SD SEC; TH S 89^58'46" W 411.18 FT; TH N 0^07'41" E 100                                                                                                                                              |
| 120530040     | 54           | \$86,625           | Current CDA | 0.84  | BEG 296 FT N 0^07'41" E ALG SEC LINE & 33 FT S 89^58'46"W FR THE SE COR OF SEC 10-T4N-R2W, SLM & RUN TH N 0^07'41" E ALG W LINE OF 1000 W STR 100 FT; TH S 89^58'46" W 183.33 FT; TH S 0^7'41" W 100 FT; |
| 120530049     | 54           | \$90,035           | Current CDA | 4.00  | A PORTION OF THAT CERTAIN PARCEL OF LAND DESC IN BK 936 PG 291, BEING A PART OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM, MORE PART'LY DESC AS FOLLOWS: BEG AT A PT ON THE EXIST S R/W LINE OF 1700 SOUTH STR,  |
| 120790049     | 54           | \$156,816          | Current CDA | 0.54  | A PARCEL OF LAND IN FEE FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE SE 1/4 SE 1/4 OF SEC 10-T4N-R2W, SLB&M. THE B  |
| 120790052     | 54           | \$740,000          | Current CDA | 0.01  | ALL OF LOT 1, SYRACUSE GATEWAY PHASE 1 COMMERCIAL SUBDIVISION. CONT. 0.62800 ACRES.                                                                                                                      |
| 120790113     | 54           | \$0                | Current CDA | 0.07  | A PARCEL OF LAND IN FEE FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN LOT 1 OF THE COLBY CROSSING SUB, A SUB IN THE NE 1 |
| 120530083     | 54           | \$100,375          | Current CDA | 0.10  | ALL OF LOT 1, SYRACUSE GATEWAY PHASE 2 COMMERCIAL SUBDIVISION. CONT. 0.72000 ACRES.                                                                                                                      |
| 120530091     | 54           | \$0                | Current CDA | 10.99 | ALL OF LOT 2, SYRACUSE GATEWAY PHASE 2 COMMERCIAL SUBDIVISION. CONT. 2.72000 ACRES.                                                                                                                      |
| 120790137     | 54           | \$1,245,000        | Current CDA | 0.29  | ALL OF LOT 5, SYRACUSE GATEWAY PHASE 2 COMMERCIAL SUBDIVISION. CONT. 0.30000 ACRES.                                                                                                                      |
| 120790138     | 54           | \$0                | Current CDA | 0.37  | A PT OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; BEG AT A PT ON THE S LINE OF 1700 S STR AS WIDENED TO 55.00 FT HALF-WIDTH BEING 472.56 FT S 89^59'50" E ALG THE SEC LINE & 55.00 FT S 0^09'08" W FR THE NW CO |
| 120790144     | 54           | \$460,000          | Current CDA | 0.29  | BEG ON W LINE OF STR N 0^07'41"E 596 FT ALG SEC LINE & S 89^58'46" W 33 FT PARALLEL TO S LINE SD SEC FR SE COR SEC 10-T4N-R2W, SLM; TH N 0^07'41" E 100 FT ALG W LINE SD STR; TH S 89^58'46" W 411.18 FT |
| 120530041     | 54           | \$128,645          | Current CDA | 2.94  | ALL OF LOT 4, SYRACUSE GATEWAY PHASE 2 COMMERCIAL SUBDIVISION. CONT. 0.81000 ACRES.                                                                                                                      |
| 120530042     | 54           | \$163,845          | Current CDA | 0.01  | BEG AT A PT 215 FT N & 216.33 FT W FR SE COR SEC 10-T4N-R2W, SLB&M; TH S 166.82 FT TO N LINE OF PPTY CONV IN WARRANTY DEED RECORDED 06/26/2008 AS E# 2375404 BK 4562 PG 1374; TH ALG SD N LINE & ALG THE |
| 120530044     | 54           | \$108,020          | Current CDA | 0.00  | PARCEL 1: BEG AT A PT 215 FT N 0^07'41" E ALG SEC LINE & 133 FT S 89^58'46" W FR SE COR OF SEC 10-T4N-R2W, SLM: & RUN TH S 89^58'46" W 83.33 FT; TH N 0^07'41" E 81.00 FT; TH N 89^58'46" E 83.33 FT;    |

| Parcel Number | Tax District | 2015 Taxable Value | Area        | Acres | Legal Description                                                                                                                                                                                        |
|---------------|--------------|--------------------|-------------|-------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 120530072     | 54           | \$83,050           | Current CDA | 0.04  | A PT OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; BEG AT A PT ON THE E LINE OF 1000 W STR AS WIDENED TO 36.00 FT HALF-WIDTH BEING 369.44 FT S 0°09'08" W ALG THE SEC LINE & 36.00 FT S 89°59'50" E FR THE NW CO |
| 120790070     | 54           | \$965,000          | Current CDA | 0.06  | BEG AT A PT N 0°07'41" E 996 FT ALG SEC LINE FR SE COR OF SEC 10-T4N-R2W, SLM; TH N 0°07'41" E 100 FT; TH S 89°59'35" W 444.18 FT; TH S 0°07'41" W 100.11 FT; TH N 89°58'46" E 444.18 FT TO POB. CON     |
| 120530086     | 54           | \$0                | Current CDA | 0.03  | A PT OF THE NW 1/4 OF SEC 14-T4N-R2W, SLM; BEG AT A PT ON THE E LINE OF 1000 W STR AS WIDENED TO 36.00 FT HALF-WIDTH BEING 369.44 FT S 0°09'08" W ALG THE SEC LINE & 36.00 FT S 89°59'50" E FR THE NW CO |
| 127300001     | 54           | \$730,000          | Current CDA | 0.04  | BEG 787.06 FT E & S 55.00 FT FR NW COR OF SEC 14-T4N-R2W SLM; TH E 386.43 FT; TH S 600.07 FT; TH N 89°59'50" W 549.59 FT; TH N 0°00'10" E 349.43 FT; TH S 89°59'50" E 165.00 FT; TH N 250.00 FT TO BEG.  |
| 127380001     | 54           | \$840,000          | Current CDA | 0.05  | BEG AT A PT 1173.33 FT E ALG SEC LINE & 361.5 FT S FR NW COR OF SEC 14-T4N-R2W, SLM, & RUN TH E 117.76 FT TO A PT ON THE W'LY LINE OF BLUFF RIDGE DR; TH ALG SD LINE S 176.45 FT; TH W 117.76 FT, M/L; T |
| 127380002     | 54           | \$331,927          | Current CDA | 0.61  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN THE NW 1/4 NE 1/4 OF SEC 15-T4N-R2W, SLB&M. THE BNDRY OF SD TRACT OF LAND ARE DESC AS FOLLOWS: BEG AT THE INTERS   |
| 127380005     | 54           | \$19,602           | Current CDA | 1.68  | ALL OF LOT 2, DESERTSCAPE SUBDIVISION. CONT. 0.55000 ACRES.                                                                                                                                              |
| 120790050     | 54           | \$910,000          | Current CDA | 0.01  | A TRACT OF LAND IN FEE, BEING ALL OF THE REMAINDER OF AN ENTIRE TRACT OF PPTY, SIT IN LOT 2 OF THE COLBY CROSSING SUB, A SUB IN THE NE 1/4 NE 1/4 OF SEC 15-T4N-R2W, SLB&M. THE BNDRY OF SD PARCEL OF L  |
| 120530043     | 54           | \$102,685          | Current CDA | 0.55  | ALL OF LOT 1, COLBY CROSSING SUB. CONT 1.72 ACRES LESS & EXCEPT: TWO PARCELS OF LAND IN FEE FOR THE WIDENING OF THE EXIST HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIR          |
| 127380004     | 54           | \$105,852          | Current CDA | 0.25  | ALL OF LOT 4, DESERTSCAPE SUBDIVISION. CONT. 0.25000 ACRES.                                                                                                                                              |
| 120530085     | 54           | \$343,749          | Current CDA | 0.25  | ALL OF LOT 5, DESERTSCAPE SUBDIVISION. CONT. 0.68000 ACRES.                                                                                                                                              |
| 120530090     | 54           | \$64,790           | Current CDA | 0.68  | ALL OF LOT 6, DESERTSCAPE SUBDIVISION. CONT. 0.56000 ACRES.                                                                                                                                              |
| 120790051     | 54           | \$885,000          | Current CDA | 0.62  | ALL OF LOT 7, DESERTSCAPE SUBDIVISION. CONT. 0.60000 ACRES.                                                                                                                                              |
| 120530039     | 54           | \$139,150          | Current CDA | 0.54  | A PARCEL OF LAND IN FEE FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE SE 1/4 SE 1/4 OF SEC 10-T4N-                    |

| Parcel Number | Tax District | 2015 Taxable Value | Area        | Acres | Legal Description                                                                                                                                                                                         |
|---------------|--------------|--------------------|-------------|-------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|               |              |                    |             |       | R2W, SLB&M. THE BN                                                                                                                                                                                        |
| 120790053     | 54           | \$3,771,100        | Current CDA | 0.63  | BEG AT A PT 327.33 FT W & 33.0 FT N & N 89°40'46" W 18.29 FT FR SE COR SEC 10-T4N-R2W, SLB&M; TH W 164.49 FT; TH N 155.30 FT; TH E 182.78 FT; TH S 153.07 FT; TH S 83°20'30" W 12.52 FT TO A 1445.00 FT   |
| 120790145     | 54           | \$250,000          | Current CDA | 3.76  | A PARCEL OF LAND IN FEE, FOR THE WIDENING OF THE EXISTING HWY STATE ROUTE 108 KNOWN AS PROJECT NO. 0108, BEING PART OF AN ENTIRE TRACT OF PPTY, SIT IN THE SE 1/4 SE 1/4 OF SEC 10-T4N-R2W, SLB&M. THE    |
| 120530084     | 54           | \$0                | Current CDA | 0.72  | BEG 293.71 FT W & S 0°11'26" W 49.82 FT FR NE COR NW 1/4 SEC 14-T4N-R2W, SLM; & RUN TH E 17-7/9 RODS; TH S 1211 FT, M/L, TO N'LY LINE OF PPTY CONV IN 612-697; TH N 36°41' W 491 FT ALG SD N LINE TO A P  |
| 120530098     | 54           | \$97,900           | Current CDA | 2.71  | BEG AT A PT N 89°59'50" W 693.71 FT ALG SEC LINE & S 0°11'26" W 55.00 FT TO A PT 55.00 FT PERP'LY DISTANT S'LY FR CENTERLINE AT ENGINEER STATION 178+57.83 FR NE COR OF NW 1/4 OF SEC 14-T4N-R2W, SLM; &  |
| 120530099     | 54           | \$0                | Current CDA | 0.97  | ALL OF LOT 3, SYRACUSE GATEWAY PHASE 2 COMMERCIAL SUBDIVISION. CONT. 0.97000 ACRES.                                                                                                                       |
| 120790072     | 54           | \$5,672            | Current CDA | 0.81  | ALL OF LOT 2, SYRACUSE GATEWAY PHASE 1 COMMERCIAL SUBDIVISION. CONT. 3.77100 ACRES.                                                                                                                       |
| 120790139     | 54           | \$0                | Current CDA | 0.30  | BEG 219.62 FT W & S 87°00 FT FROM NE COR OF NW 1/4 OF NE 1/4 SEC 15-T4N-R2W, SLM; TH W 125.55 FT; TH S 309.00 FT; TH W 100.00 FT; TH N 309.00 FT; TH W 510.09 FT; TH S 49°34'47" W 31.52 FT; TH S 00°08'3 |
| 127380003     | 54           | \$960,001          | Current CDA | 5.60  | ALL OF LOT 1B, DESERTSCAPE SUBDIVISION AMENDED LOT 1. CONT. 6.38600 ACRES.                                                                                                                                |
| 127300002     | 54           | \$1,674,802        | Current CDA | 6.38  | ALL OF LOT 1A, DESERTSCAPE SUBDIVISION AMENDED LOT 1. CONT. 5.60800 ACRES.                                                                                                                                |

## APPENDIX D: PROJECT AREA BUDGET

DRAFT





# RDA AGENDA

February 8th, 2016

Agenda Item “j”                      Jin’s Korean BBQ

## ***Factual Summation***

- A. Soonhye Kim and Jin Kim have been operating a Korean restaurant in Ogden near the Ogden Clinic
- B. The Kim’s are looking for a new location – and they met with Dr. Nadim Bikhazi who represents West Rock Associates LLC owner of two buildings in our town center RDA.
- C. The Kim’s are retesting tax increment to assist with their tenant improvement costs totaling \$31,090.45
- D. We have a pretty unique draw to Syracuse for Asian restaurants and that could act as the market pull to the town center – and one of the ways our town center sets itself apart.

## ***Recommendation:***

In consulting with the RDA Board Chair (Mayor) it is recommended that should funding be dispersed it not exceed \$15K there - are several option to choose from:

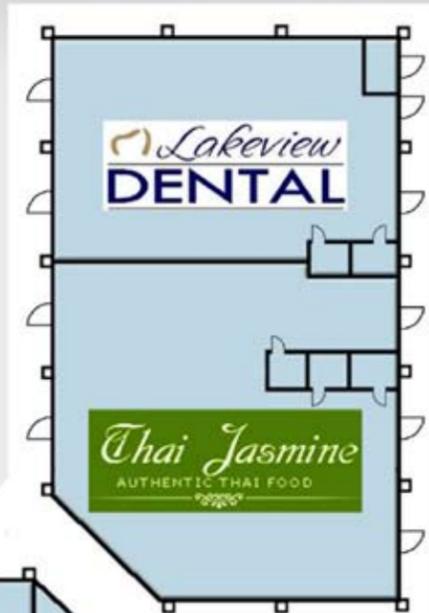
***Option 1*** – Grant funds \$10K (year 1) 5K (year 2) [if the business fails in year 1 they get nothing and if it fails in year 2 the most they are eligible for is 10K]

***Option 2*** – GROAN (Grant\_Loan used by Ogden in luring tenants to downtown) Loan 15K but after 3 years in business it becomes a grant (all money paid toward the loan is paid back as the end of the 3 year period – including interest)

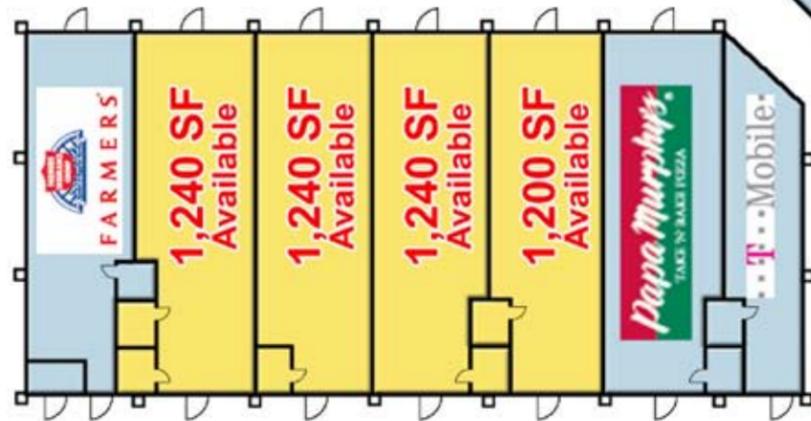
***Option 3*** – Loan 15K as a financial “gap filler” for whatever they can’t get from the bank (prime plus 1% interest rate)

***Option 4*** – Any combination of the above

***Option 5*** - Deny request for funds all together



2000 West



Antelope Drive



NEARBY CO-TENANTS



PROPERTY FEATURES

- 1,240 - 4,920 SF For Lease
- \$14 - \$18 / SF NNN
- Primary Davis County Intersection
- Walmart Supercenter Anchor
- Historic High Growth Rate
- High Visibility
- ADT: 26,390 ADT -- Antelope  
15,095 ADT -- 2000 West

AREA DEMOGRAPHICS

|            | 1 MILE   | 3 MILE   | 5 MILE   |
|------------|----------|----------|----------|
| Population | 11,979   | 56,804   | 121,599  |
| Household  | 3,372    | 16,256   | 37,274   |
| Income     | \$83,444 | \$76,338 | \$72,292 |

SETH RICHARDSON  
RETAIL / INVESTMENT SPECIALIST  
801.393.2733 OFFICE  
801.695.7245 CELL  
seth@ppc-utah.com





|                                |  | <b>2015</b>       |
|--------------------------------|--|-------------------|
| <b>Total gross income</b>      |  | <b>167,535.42</b> |
| <b>Expenses</b>                |  |                   |
| Advertising                    |  | 600               |
| Furniture and equipment        |  | 500               |
| Insurance                      |  | 1,687.00          |
| Maintenance and repairs        |  | 941               |
| Payroll taxes                  |  | 930.91            |
| Rent                           |  | 18,611.60         |
| Salaries and wages             |  | 11,227.50         |
| Travel                         |  | 675.67            |
| Utilities                      |  | 8,614.65          |
| Supplies                       |  | 72,252.05         |
| other                          |  | 2,600.00          |
| loan payment                   |  | 2,600.00          |
| <b>Total Expenses</b>          |  | <b>121,240.38</b> |
| <b>Net Income Before Taxes</b> |  | <b>46,295.04</b>  |

Sales taxes: 11,124  
Syracuse Sales Tax: 1675.354

**JIN'S** 珍

**RESTAURANT**

**JIN'S KOREAN BBQ AND NOODLE HOUSE**

| <b>Equipment List</b>          |                    |             |
|--------------------------------|--------------------|-------------|
| <b>Item</b>                    | <b>Price</b>       |             |
|                                | <b>New</b>         | <b>Used</b> |
| 2 Door refrigerator            | \$1,963.20         |             |
| 1 Door Freezer                 | \$1,438.80         | \$750.00    |
| Fryer                          | \$699.00           | \$395.00    |
| 6 Burner                       | \$795.00           |             |
| Work Table (Large)             | \$205.92           |             |
| Work Table (Small)             | \$100.00           |             |
| 3 Compartment sink             | \$387.45           |             |
| 6 ft Exhaust hood              | \$2,434.33         |             |
| Hood fan                       | \$1,001.07         |             |
| fire suppression system        | \$2,200.00         |             |
| Heater for hood                | \$5,004.27         |             |
| Electrical for hood            | \$825.29           |             |
| Hood system shipping           | \$621.89           |             |
| Hood installation              | \$6,000.00         |             |
| 7 Dining tables                | \$504.00           |             |
| (\$72 EA)                      |                    |             |
| 28 Chairs                      | \$1,085.28         |             |
| (\$38.76 EA)                   |                    |             |
| Cooking Pans                   | \$400.00           |             |
| Dishes                         | \$400.00           |             |
| Glasses                        | \$200.00           |             |
| To go food container, cup      | \$300.00           |             |
| 3 Food & soup warmer           | \$360.00           |             |
| (\$120.00 EA)                  |                    |             |
| Beverage (soda)                | \$300.00           |             |
| Food ingredient for 1month \$2 | \$2,000            |             |
|                                |                    |             |
| <b>TOTAL</b>                   | <b>\$29,225.50</b> |             |
| <b>TAX</b>                     | <b>1864.95</b>     |             |
|                                | <b>\$31,090.45</b> |             |

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(801)656-5730  
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## **Executive Summary**

**Jin's** is a casual restaurant, serving fresh, healthy grilled meats, and noodles such as ramen soup, udon soup, yakisoba.

The first store will be located in Syracuse, UT.

### ***The Market***

The market is divided into two market segments, family and individuals. Families will be the majority during dinner time and individuals will be the majority for lunch time. The family segment is increasing annually at 10% with 2,585 potential customers. The individuals segment will have an 5% growth rate with 1,230 potential people within the segment.

The majority of customers coming in during lunch time hours are bound to be high school students. Due to this we will make our food during lunch services fast and cheap while still maintaining good quality.

### ***Services and Products***

**Jin's** provides a unique dining experience. All patrons receive excellent customer service which will encourage them to return. The menu is simple, healthy and easy to prepare.

### ***Competitive Edge***

The customer experience is extremely important as it is an effective way of distinguishing **Jin's**. Having such a good experience will encourage repeated

business from customers. The second competitive edge is **Jin's** offering of fresh and healthy food.

## **Management**

SoonHye has spent three years in the restaurant industry.

SeokJin Kim has spent five years in the restaurant industry.

The gross sale has been estimated to be \$1.5K and \$2.0K for the first and second year.

Our goal is that starting from the third to fifth year our gross sales will go up by 15% each year.

## **1.1 Mission**

**Jin's** mission is to become the premier casual dining experience. This will be accomplished by offering an unprecedented experience coupled with great food and reasonable prices.

## **1.2 Objectives**

- To become the premier casual restaurant.
- To offer high-quality food and a wonderful experience at reasonable prices.

## **1.3 Keys to Success**

- Offer simple, delicious menu items.
- Treat every customer as if they are the only customer.
- Design and employ strict financial controls.

## Services

**Jin's** provides a wonderful dining experience in the casual niche of the restaurant industry. All patrons receive benchmarked customer attention, encouraging them to return. The menu offerings are fast, simple, healthy, and easy to prepare.

- Chicken skewer or wings, teriyaki or curry
- Bulgogi (Korean BBQ), Sukiyaki (Japanese BBQ)
- Add rice
- Ramen, Noodle
- Green salad with soy ginger vinaigrette
- Beverages include iced teas, hot teas, soft drinks, and bottled water
- Assorted pre-prepared desserts

All dishes have some signature vegetable for decorative and eating pleasures. All the meats are marinated in a sweet soy ginger sauce overnight.

## Market Analysis Summary

The market is divided into two market segments, family and individuals. Families will be the majority during dinner time and individuals will be the majority for lunch time.

**Jin's** will be operating within the casual niche of the restaurant industry. They will be competing against other segments within the industry such as fast food and traditional restaurants.

### 2.1 Target Market Segment Strategy

**Jin's** will be focusing on families and individuals for several specific reasons. Most dinner service will be for families.

As more households become two income families, the adults have less time to prepare meals. Going out to dinner eliminates the need to prepare a meal and offers time to catch up with each other.

The lunch business is driven by individuals. Many go out to lunch to get out of the work setting. Others have business meetings at lunch. This creates a large market of potential customers that is especially attractive.

## **2.2 Service Business Analysis**

**Jin's** operates within the small restaurant industry. While the industry has its upswings and downturns, the variance is less than the economy itself. People need to eat, they can eat in and save money, but the convenience of dining out creates a significant incentive. This is not to suggest that restaurants are recession proof, they are less affected by the general state of the economy.

Within the restaurant industry there are several different segments:

- Fast food: McDonalds, Wendy's
- Pizza: delivery and dine in
- Buffets: all you can eat
- Lounges: combining food and alcohol
- Fine dining: typically, at the highest price point
- Fast-casual: combination of fast service and sit down dining

**Jin's** operates within the relatively new casual segment. This segment has grown in response to the increased need for quality food, in a sit down environment, but with fast service. This is a recognition that many of the customers are dining out because they do not have the time to cook themselves.

## 2.3 Competition and Buying Patterns

**Jin's** faces competition from a variety of competitors:

- Fast food: Offers the convenience of fast service. The food product is not competitive, but people are often willing to sacrifice quality for convenience.
- Take out: Take away service allows a customer to enjoy already prepared food in their home.
- Sit down dining: For customers that have the time to have a leisurely meal. Food service takes longer and the menu options are more extensive.
- Sandwich shops: Considered to be part of the fast food segment, they are a direct competitor of **Jin's** as their food product is healthier than the fried alternatives of fast food. This competition comes primarily during lunch hours.
- Grocery markets: Serving prepared foods.

Customer buying patterns typically revolve around several different factors:

- Location: The restaurant is located near to work or home.
- Convenience: People eat out as it is quicker than preparing a meal themselves. Factors of convenience relative to sit down restaurants are the time it takes to be seated, served, and the hours of operation.
- Quality: The menu items must meet minimum levels of quality for people to be willing to spend money on the food, particularly when there are so many different options available.

### Strategy and Implementation Summary

**Jin's** will leverage its two-pronged competitive edge to quickly gain market share. The competitive edge consists of an experience focus (ensuring that the customer's experience is top notch) and offering a fast, healthy dining-out alternative. **Jin's** marketing effort will focus on communicating the message that it offers a convenient yet healthy dining

experience. This will be accomplished through a variety of ways to be detailed in the Marketing Strategy section. **Jin's** sales strategy will be an effort to convert potential and first-time customers into long-term customers.

### 3.1 Competitive Edge

**Jin's** will rely on a two-part competitive advantage to help it become the premier fast-casual offering.

- The importance of the experience. With so many restaurants and prepared food being offered at grocery markets, the customer experience becomes extremely important as an effective way of distinguishing offerings. When a customer has a good experience at a restaurant, there is a significant chance that they will become a repeat customer. It is this experience that remains in the customer's mind well after they have consumed all of their food. This memory is what is communicated to their friends and colleagues.
- Fast, healthy food alternative. There is a huge market demand for fast, convenient food that can be consumed without dietary concerns. **Jin's** offers exactly this, vegetables and meats that are grilled with or without healthy marinades and sauces that add flavor not fat. White and brown rice are offered as the starch of the meal. In addition to the plentiful amount of vegetables offered, green salads are also available.

#### Web Plan Summary

**Jin's** will have a Web presence with a simple, user-friendly website. The website will be used for menu information, contact and location information, as well as background for the story of **Jin's**.

Currently, **Jin's** has no plans to offer online menu ordering. **Jin's** will reconsider this decision at a later date if it appears that customer demand requests this feature.

## **4.1 Website Marketing Strategy**

The website will rely on two methods of marketing as a means for developing awareness of the site and increasing the number of visitors.

- Search engine submission: The website will be submitted to various search engines.
- Printed material: **Jin's** will reference the website address on all printed material that is passed out including menus, business cards, and advertising media.

## **4.2 Development Requirements**

Jin's has identified a skilled Web designer to design and develop the website. This programmer has impressive credentials from the State of Oregon Web development department. Jin's has negotiated a below market bid for the website