



**NOTICE OF A WORK SESSION WITH STAFF,  
AND A REGULAR MEETING OF  
THE VINEYARD TOWN COUNCIL  
December 09, 2015 at 6:00 pm**

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Public Notice is hereby given that the Vineyard Town Council will hold a Work Session with Staff starting at 6:00 pm, and a Regular Meeting starting at 7:00 pm, on Wednesday, December 09, 2015, in the Vineyard Town Hall; 240 East Gammon Road, Vineyard, Utah. The agenda will consist of the following:

**AGENDA**

**6:00 PM      WORK SESSION WITH STAFF**

**7:00 PM      REGULAR SESSION**

**1. CALL TO ORDER/PRAAYER**

**2. CONSENT ITEMS:**

- a) Approval of November 17, 2015 Minutes
- b) Approval of November 24, 2015 Minutes
- c) Approval of Edgewater Phase 6
- d) Approval of Edgewater Phase 7
- e) Approval of Edgewater Phase 8

**3. PLANNING COMMISSION UPDATE AND RECOMMENDATIONS TO THE COUNCIL:** Planning Commission Chair Wayne Holdaway

**4. STAFF REPORT**

- Public Works Director /Engineer– Don Overson
- Attorney – David Church
- Utah County Sheriff’s Department – Deputy Collin Gordon
- Planner – Aric Jensen
- Finance Director – Jacob McHargue
- Town Clerk/Recorder – Pamela Spencer

**5. COUNCILMEMBERS’ REPORTS**

**Julie Fullmer – Mayor Pro-tem October - December**

- Youth Council
- Branding Committee
- Town Special Events
- Orem Community Hospital Board

**Sean Fernandez – Mayor Pro-tem January – March**

- Timpanogos Special Service District - Board Member
- ULCT Legislative Policy Committee

**Nate Riley – Mayor Pro-tem April – June**

- Economic Advisory Committee
- Utah Lake Technical Committee

**Dale Goodman – Mayor Pro-tem July – September**

- Public works – Park/Trails/Roads/Buildings
- Planning and Zoning

**6. MAYOR’S REPORT**

- North Pointe Solid Waste Special Service District - Board Member
- Mountainland Association of Governments
- Council of Governments
- Utah Lake Commission
- Economic Development Corporation Utah
- Meetings with Orem

**7. OPEN SESSION: Citizens’ Comments (Please see note below)**

*(15 minutes)*

**8. BUSINESS ITEMS:**

**8.1 DISCUSSION AND ACTION – WatersEdge Phase 7 Plat A**

*(15 minutes)*

The applicant is proposing to subdivide approximately 47 acres into (4) parcels ranging between 9 and 14 acres in size. The Mayor and Town Council will take appropriate action.

**8.2 DISCUSSION AND ACTION – Vineyard Gateway 1 Site Plan Amendment**

*(15 minutes)*

Mr. Steve Pruitt representing Vineyard Gateway 1 LLC, requests amended site plan approval for the Vineyard Gateway commercial development. The Mayor and Town Council will take appropriate action.

**8.3 DISCUSSION AND ACTION – Water Storage MOA (Resolution 2105- )**

*(5 minutes)*

Public Works Director/Engineer Don Overson will present a Memorandum of Agreement (MOA) for approval to collaborate with Orem and CUWP to conduct a water storage site study. The Mayor and Town Council will take appropriate action. (This item was postponed from the November 17, 2015 meeting.)

**8.4 DISCUSSION AND ACTION – North Area Water Use Study**

*(15 minutes)*

Public Works Director/Engineer Don Overson will present the north area water use study for the north water zone. The Mayor and Town Council will take appropriate action.

**8.5 DISCUSSION AND ACTION – Municipal Wastewater Planning Program (Resolution 2015- )**

*(5 minutes)*

Water/Sewer Operator Sullivan Love will present the results of the 2014 annual sewer self-evaluation as required by the State of Utah. The Mayor and Town Council will review and by resolution approve the results.

## 9. ITEMS REQUESTED FOR NEXT AGENDA

## 10. CLOSED SESSION

The Mayor and Town Council pursuant to Utah Code 52-4-205 may vote to go into a closed session for the purpose of:

- (a) discussion of the character, professional competence, or physical or mental health of an individual
- (b) strategy sessions to discuss collective bargaining
- (c) strategy sessions to discuss pending or reasonably imminent litigation
- (d) strategy sessions to discuss the purchase, exchange, or lease of real property
- (e) strategy sessions to discuss the sale of real property

## 11. ADJOURNMENT

This meeting may be held electronically to allow a councilmember to participate by teleconference.

Next regularly scheduled meeting is January 13, 2016

NOTE: “**Open Session**” is defined as time set aside for citizens to express their views. Each speaker is limited to three minutes. Because of the need for proper public notice, immediate action will **not** be taken in the Council Meeting. If action is necessary, the item will be listed on a future agenda, however, the Council may elect to discuss the item if it is an immediate matter of concern.

The Public is invited to participate in all Town Council meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the Town Clerk at least 24 hours prior to the meeting by calling (801) 226-1929.

I the undersigned duly appointed Recorder for the Town of Vineyard, hereby certify that the foregoing notice and agenda was emailed to the Daily Herald, posted at the Vineyard Town Hall, the Vineyard Town website, the Utah Public Notice website, delivered electronically to Town staff and to each member of the Governing Body.

**AGENDA NOTICING COMPLETED ON:** December 8, 2015 at 1:00 PM

**CERTIFIED (NOTICED) BY:** /s/ Pamela Spencer  
**P. SPENCER, TOWN CLERK/RECORDER**



## COMMUNITY DEVELOPMENT

**DATE:** December 09, 2015  
**FROM:** Aric Jensen; Town Planner  
Don Overson; Public Works Director  
**TO:** Town Council  
**ITEM:** Subdivision; Waters Edge 7a  
**ADDRESS:** South of Vineyard Connector at approx. 100 East  
**APPLICANT:** Garrett Seeley

### BACKGROUND AND ANALYSIS:

The applicant is proposing to subdivide approximately 47 acres into (4) parcels ranging between 9 and 14 acres in size. The purpose of this subdivision is not to create individual building lots, rather it is to accomplish a “gross land sale”, meaning that it is for the purpose of selling the property to other developers who will apply in the future for specific development approvals. This may be accomplished without a plat, as set forth below

#### *Section 108 – Exemptions from Plat Requirements*

*1. The town council, after receiving a recommendation from the planning commission may approve a subdivision of ten lots or less without a plat, by certifying in writing that:*

*a. The municipality has provided notice as required by ordinance; and*

*b. The proposed subdivision:*

- i. Is not traversed by the mapped lines of a proposed street as shown in the general plan and does not require the dedication of any land for street or other public purposes;*
- ii. Has been approved by the culinary water authority and the sanitary sewer authority; and*
- iii. Conforms to all applicable land use ordinances or has properly received a variance from the requirements of an otherwise conflicting and applicable land use ordinance.*

### RECOMMENDED MOTION:

**Approve** the proposed subdivision of approximately 47 acres into (4) parcels ranging in size from 9 to 14 acres as shown on the attached survey, with the following conditions and findings:

#### Conditions

1. If necessary, the applicant provides an updated PR and makes any outstanding redline corrections,
2. The applicant pays all fees and bonds,

3. This subdivision does not guarantee or convey any building rights or privileges; any owner of any parcel created herein must apply for site plan and/or additional subdivision approvals before any construction thereon.

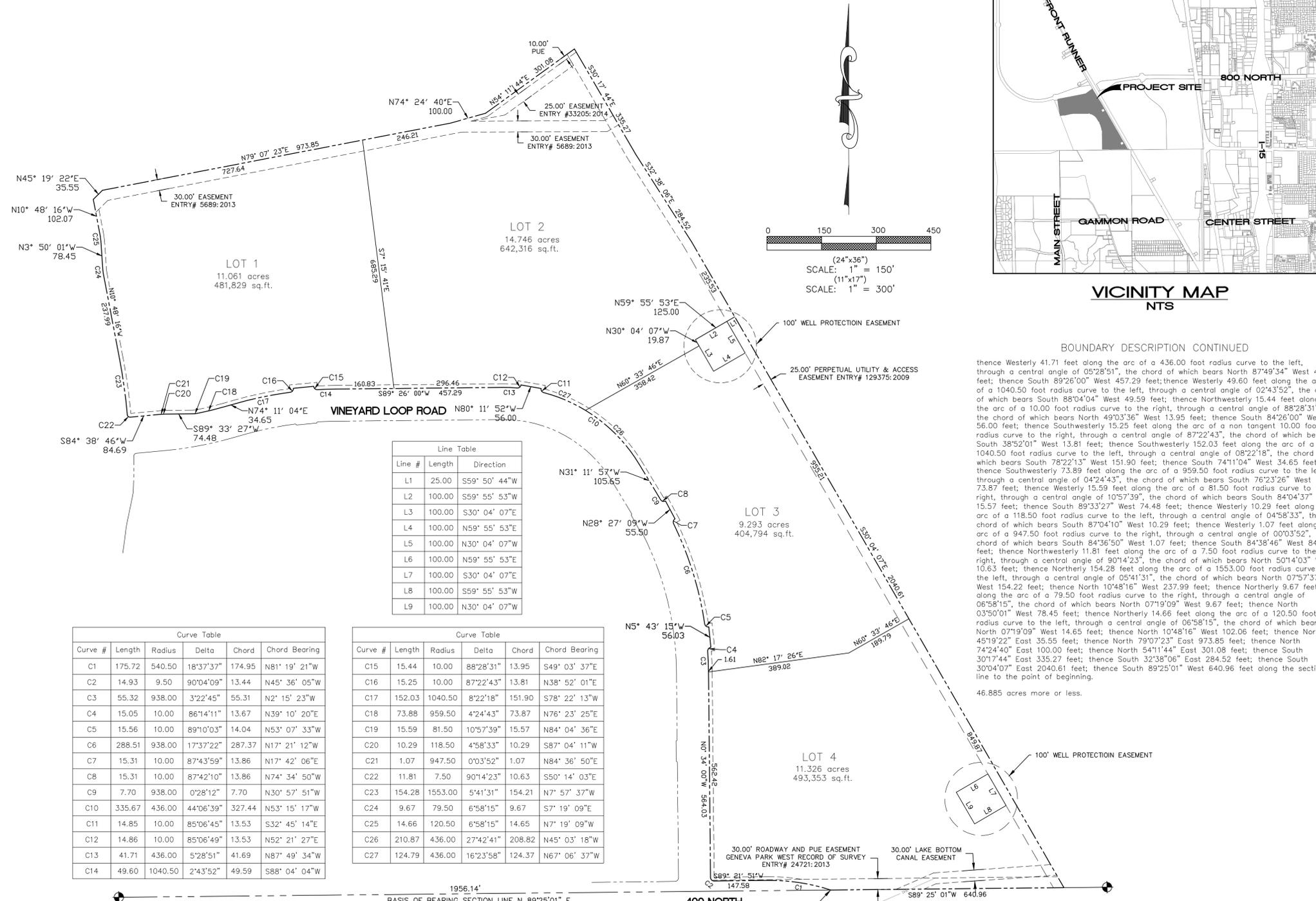
Findings

1. The proposal qualifies for a plat exemption;
2. The Engineering Department recommends approval;
3. The proposed subdivision appears to confirm to all town standards.

**ATTACHMENTS:**

Waters Edge 7a Survey Map

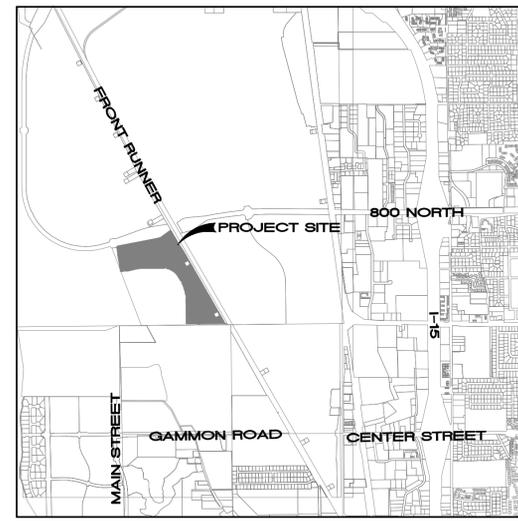
**WATER'S EDGE PHASE 7 PLAT "A"**  
 LOCATED IN THE SOUTHWEST QUARTER OF  
 SECTION 8, TOWNSHIP 6 SOUTH, RANGE 2 EAST,  
 SALT LAKE BASE AND MERIDIAN



Line #	Length	Direction
L1	25.00	S59° 50' 44"W
L2	100.00	S59° 55' 53"W
L3	100.00	S30° 04' 07"E
L4	100.00	N59° 55' 53"E
L5	100.00	N30° 04' 07"W
L6	100.00	N59° 55' 53"E
L7	100.00	S30° 04' 07"E
L8	100.00	S59° 55' 53"W
L9	100.00	N30° 04' 07"W

Curve #	Length	Radius	Delta	Chord	Chord Bearing
C1	175.72	540.50	18°37'37"	174.95	N81° 19' 21"W
C2	14.93	9.50	90°04'09"	13.44	N45° 36' 05"W
C3	55.32	938.00	3°22'45"	55.31	N2° 15' 23"W
C4	15.05	10.00	86°14'11"	13.67	N39° 10' 20"E
C5	15.56	10.00	89°10'03"	14.04	N53° 07' 33"W
C6	288.51	938.00	17°37'22"	287.37	N17° 21' 12"W
C7	15.31	10.00	87°43'59"	13.86	N17° 42' 06"E
C8	15.31	10.00	87°42'10"	13.86	N74° 34' 50"W
C9	7.70	938.00	0°28'12"	7.70	N30° 57' 51"W
C10	335.67	436.00	44°06'39"	327.44	N53° 15' 17"W
C11	14.85	10.00	85°06'45"	13.53	S32° 45' 14"E
C12	14.86	10.00	85°06'49"	13.53	N52° 21' 27"E
C13	41.71	436.00	5°28'51"	41.69	N87° 49' 34"W
C14	49.60	1040.50	2°43'52"	49.59	S88° 04' 04"W

Curve #	Length	Radius	Delta	Chord	Chord Bearing
C15	15.44	10.00	88°28'31"	13.95	S49° 03' 37"E
C16	15.25	10.00	87°22'43"	13.81	N38° 52' 01"E
C17	152.03	1040.50	8°22'18"	151.90	S78° 22' 13"W
C18	73.88	959.50	4°24'43"	73.87	N76° 23' 25"E
C19	15.59	81.50	10°57'39"	15.57	N84° 04' 36"E
C20	10.29	118.50	4°58'33"	10.29	S87° 04' 11"W
C21	1.07	947.50	0°03'52"	1.07	N84° 36' 50"E
C22	11.81	7.50	90°14'23"	10.63	S50° 14' 03"E
C23	154.28	1553.00	5°41'31"	154.21	N7° 57' 37"W
C24	9.67	79.50	6°58'15"	9.67	S7° 19' 09"E
C25	14.66	120.50	6°58'15"	14.65	N7° 19' 09"W
C26	210.87	436.00	27°42'41"	208.82	N45° 03' 18"W
C27	124.79	436.00	16°23'58"	124.37	N67° 06' 37"W



**BOUNDARY DESCRIPTION CONTINUED**

thence Westerly 41.71 feet along the arc of a 436.00 foot radius curve to the left, through a central angle of 05°28'51", the chord of which bears North 87°49'34" West 41.69 feet; thence South 89°26'00" West 45.29 feet; thence Westerly 49.60 feet along the arc of a 1040.50 foot radius curve to the left, through a central angle of 02°43'52", the chord of which bears South 88°04'04" West 49.59 feet; thence Northwesterly 15.44 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 88°28'31", the chord of which bears North 49°03'36" West 13.95 feet; thence South 84°26'00" West 56.00 feet; thence Southwesterly 15.25 feet along the arc of a non tangent 10.00 foot radius curve to the right, through a central angle of 87°22'43", the chord of which bears South 38°52'01" West 13.81 feet; thence Southwesterly 152.03 feet along the arc of a 1040.50 foot radius curve to the left, through a central angle of 08°22'18", the chord of which bears South 78°22'13" West 151.90 feet; thence South 74°11'04" West 34.65 feet; thence Southwesterly 73.89 feet along the arc of a 959.50 foot radius curve to the left, through a central angle of 04°24'43", the chord of which bears South 76°23'26" West 73.87 feet; thence Westerly 15.59 feet along the arc of a 81.50 foot radius curve to the right, through a central angle of 10°57'39", the chord of which bears South 84°04'37" West 15.57 feet; thence South 89°33'27" West 74.48 feet; thence Westerly 10.29 feet along the arc of a 118.50 foot radius curve to the left, through a central angle of 04°58'33", the chord of which bears South 87°04'10" West 10.29 feet; thence Westerly 1.07 feet along the arc of a 947.50 foot radius curve to the right, through a central angle of 00°03'52", the chord of which bears South 84°36'50" West 1.07 feet; thence South 84°38'46" West 84.68 feet; thence Northwesterly 11.81 feet along the arc of a 7.50 foot radius curve to the right, through a central angle of 90°14'23", the chord of which bears North 50°14'03" West 10.63 feet; thence Northwesterly 154.28 feet along the arc of a 1553.00 foot radius curve to the left, through a central angle of 05°41'31", the chord of which bears North 07°57'37" West 154.22 feet; thence North 10°48'16" West 237.99 feet; thence Northerly 9.67 feet along the arc of a 79.50 foot radius curve to the right, through a central angle of 06°58'15", the chord of which bears North 07°19'09" West 9.67 feet; thence North 03°50'01" West 78.45 feet; thence Northerly 14.66 feet along the arc of a 120.50 foot radius curve to the left, through a central angle of 06°58'15", the chord of which bears North 07°19'09" West 14.65 feet; thence North 10°48'16" West 102.06 feet; thence North 45°19'22" East 35.55 feet; thence North 79°07'23" East 973.85 feet; thence North 74°24'40" East 100.00 feet; thence North 54°11'44" East 301.08 feet; thence South 30°17'44" East 335.27 feet; thence South 32°38'06" East 284.52 feet; thence South 30°04'07" East 2040.61 feet; thence South 89°25'01" West 640.96 feet along the section line to the point of beginning.

46.885 acres more or less.

FOUND BRASS CAP  
 SOUTHWEST CORNER OF SECTION 8,  
 TOWNSHIP 6 SOUTH, RANGE 2 EAST,  
 SALT LAKE BASE AND MERIDIAN

FOUND BRASS CAP 1989  
 SOUTHWEST CORNER OF SECTION 8,  
 TOWNSHIP 6 SOUTH, RANGE 2 EAST,  
 SALT LAKE BASE AND MERIDIAN

**SURVEYOR'S CERTIFICATE**

I, TRAVIS TRANE, do hereby certify that I am a Professional Land Surveyor, and that I hold License No. 5152741, as prescribed under the laws of the State of Utah. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described herein, and have subdivided said tract of land into lots and streets, together with easements, hereafter to be known as WATER'S EDGE PHASE 7 PLAT "A" and that the same has been correctly surveyed and monumented on the ground as shown on this plat.

**BOUNDARY DESCRIPTION**

Beginning at a point which is North 89°25'01" East 1956.14 feet along the section line from the Southwest Corner of Section 8, Township 6 South, Range 2 East, Salt Lake Base and Meridian thence Northwesterly 175.72 feet along the arc of a 540.50 foot radius curve to the left, through a central angle of 18°37'37", the chord of which bears North 81°19'21" West 174.95 feet; thence South 89°21'51" West 147.58 feet; thence Northwesterly 14.93 feet along the arc of a 9.50 foot radius curve to the right, through a central angle of 90°04'09", the chord of which bears North 45°36'05" West 13.44 feet; thence North 00°34'00" West 564.03 feet; thence Northerly 55.32 feet along the arc of a 938.00 foot radius curve to the left, through a central angle of 03°22'45", the chord of which bears North 02°15'23" West 55.31 feet; thence Northwesterly 15.05 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 86°14'11", the chord of which bears North 39°10'20" East 13.67 feet; thence North 05°43'15" West 56.03 feet; thence Northwesterly 15.56 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 89°10'03", the chord of which bears North 53°07'33" West 14.04 feet; thence Northwesterly 288.51 feet along the arc of a 938.00 foot radius curve to the left, through a central angle of 17°37'22", the chord of which bears North 17°21'12" West 287.37 feet; thence Northwesterly 15.31 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 87°43'59", the chord of which bears North 17°42'06" East 13.86 feet; thence North 28°27'09" West 55.50 feet; thence Northwesterly 15.31 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 87°42'10", the chord of which bears North 74°34'50" West 13.67 feet; thence Northwesterly 7.70 feet along the arc of a 938.00 foot radius curve to the left, through a central angle of 00°28'12", the chord of which bears North 30°57'51" West 7.70 feet; thence North 31°11'57" West 105.65 feet; thence Northwesterly 335.67 feet along the arc of a 436.00 foot radius curve to the left, through a central angle of 44°06'39", the chord of which bears North 53°15'17" West 327.44 feet; thence Northwesterly 14.85 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 85°06'45", the chord of which bears North 32°45'14" West 13.53 feet; thence North 80°11'52" West 56.00 feet; thence Southwesterly 14.86 feet along the arc of a 10.00 foot radius curve to the right, through a central angle of 85°06'49", the chord of which bears South 52°21'27" West 13.53 feet;

DATE \_\_\_\_\_ SURVEYOR (See Seal Below)  
**OWNER'S DEDICATION**  
 Know all men by these presents that the undersigned are the owners of the above described tract of land, and hereby cause the same to be divided into lots, parcels and streets, together with easements as set forth to be hereafter known as WATER'S EDGE PHASE 7 PLAT "A" and do hereby dedicate for the perpetual use of the public all roads and other areas shown on this plat as intended for public use. The undersigned owners also hereby convey to any and all public utility companies a perpetual, non-exclusive easement over the public utility easements shown on this plat, the same to be used for the installation, maintenance and operation of utility lines and facilities.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**ACKNOWLEDGEMENT**  
 STATE OF UTAH )  
 ) S.S.  
 COUNTY OF UTAH )  
 ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_ PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.  
 NOTARY \_\_\_\_\_ NOTARY PUBLIC SIGNATURE  
 COMMISSION # \_\_\_\_\_  
 MY COMMISSION EXPIRES \_\_\_\_\_  
 A NOTARY PUBLIC COMMISSIONED IN UTAH

**ACCEPTANCE BY LEGISLATIVE BODY**  
 THE \_\_\_\_\_ OF \_\_\_\_\_ COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_

**PLAT "A"**

**WATER'S EDGE PHASE 7**

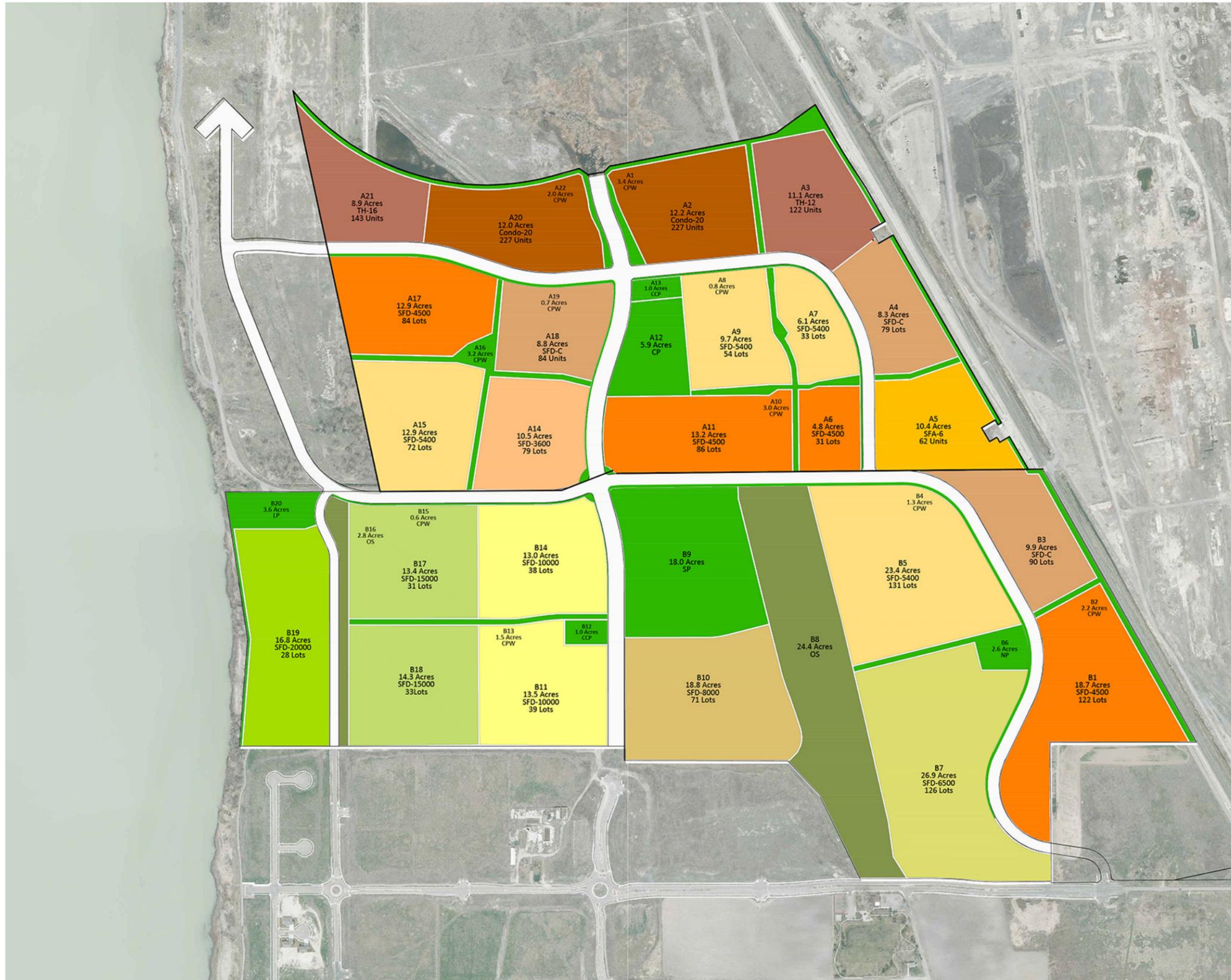
**A RESIDENTIAL SUBDIVISION**

RECORDING INFORMATION

VINEYARD, UTAH COUNTY, UTAH  
 SCALE: 1" = 150 FEET

<p><u>MAYOR APPROVAL</u></p> <p>APPROVED BY THE MAYOR ON THIS DAY OF _____, A.D., 20____</p> <p>_____                  MAYOR</p>	<p><u>FIRE CHIEF APPROVAL</u></p> <p>APPROVED BY THE FIRE CHIEF ON THIS DAY OF _____, A.D., 20____</p> <p>_____                  TOWN FIRE CHIEF</p>	<p><u>PLANNING COMMISSION APPROVAL</u></p> <p>APPROVED BY THE PLANNING COMMISSION ON THIS DAY OF _____, A.D., 20____</p> <p>_____                  CHAIRMAN, PLANNING COMMISSION</p>	<p><u>TOWN OF VINEYARD ENGINEER APPROVAL</u></p> <p>APPROVED BY THE TOWN ENGINEER ON THIS DAY OF _____, A.D., 20____</p> <p>_____                  TOWN OF VINEYARD ENGINEER</p>	<p><u>TOWN OF VINEYARD ATTORNEY</u></p> <p>APPROVED BY TOWN OF VINEYARD ATTORNEY ON THIS DAY OF _____, A.D., 20____</p> <p>_____                  TOWN OF VINEYARD ATTORNEY</p>	<p>SURVEYOR SEAL</p>	<p>NOTARY PUBLIC SEAL</p>	<p>CITY-COUNTY ENGINEER SEAL</p>	<p>CLERK-RECORDED SEAL</p>
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# WatersEdge



Planning Area	Acres	Land Uses	Open Space	Density (DU/Acre)	Lots / Units
A1	3.4	Community Parkway	3.4		
A2	12.2	Condo-20		18.6	227
A3	11.1	TH-12		11.0	122
A4	8.3	SFD-C		9.5	79
A5	10.4	SFA-6		6.0	62
A6	4.8	SFD-4500		6.5	31
A7	6.1	SFD-5400		5.4	33
A8	0.8	Community Parkway	0.8		
A9	9.7	SFD-5400		5.6	54
A10	3.0	Community Parkway	3.0		
A11	13.2	SFD-4500		6.5	86
A12	5.9	Community Park	5.9		
A13	1.0	Community Center Park	1.0		
A14	10.5	SFD-3600		7.5	79
A15	12.9	SFD-5400		5.6	72
A16	3.2	Community Parkway	3.2		
A17	12.9	SFD-4500		6.5	84
A18	8.8	SFD-C		9.5	84
A19	0.7	Community Parkway	0.7		
A20	12.0	Condo-20		18.9	227
A21	8.9	TH-17		17.0	151
A22	2.0	Community Parkway	2.0		
<b>Subtotal</b>	<b>159.8</b>		<b>18.0</b>		<b>1,391</b>
Streets	15.0				
<b>Total</b>	<b>174.8</b>		<b>18.0</b>	<b>8.0</b>	<b>1,391</b>
Planning Area	Acres	Land Uses	Open Space	Density (DU/Acre)	Lots / Units
B1	18.7	SFD-4500		6.5	122
B2	2.2	Community Parkway	2.2		
B3	9.9	SFD-C		9.0	90
B4	1.3	Community Parkway	1.3		
B5	23.4	SFD-5400		5.6	131
B6	2.6	Neighborhood Park	2.6		
B7	26.9	SFD-6500		4.7	126
B8	24.4	Open Space	24.4		
B9	18.0	Sports Park	18.0		
B10	18.8	SFD-8000		3.8	71
B11	13.5	SFD-10000		2.9	39
B12	1.0	Community Center Park	1.0		
B13	1.5	Community Parkway	1.5		
B14	13.0	SFD-10000		2.9	38
B15	0.6	Community Parkway	0.6		
B16	2.8	Open Space	2.8		
B17	13.4	SFD-15000		2.3	31
B18	14.3	SFD-15000		2.3	33
B19	16.8	SFD-20000		1.7	28
B20	3.6	Lake Park	3.6		
<b>Subtotal</b>	<b>226.7</b>		<b>57.9</b>		<b>709</b>
Streets	17.4				
<b>Total</b>	<b>244.1</b>		<b>57.9</b>	<b>2.9</b>	<b>709</b>
<b>Overall Subtotal</b>	<b>385.5</b>		<b>75.9</b>		<b>2,100</b>
Overall Streets	32.4				
<b>Overall Total</b>	<b>418.9</b>		<b>75.9</b>	<b>5.0</b>	<b>2,100</b>

Figure 3  
WatersEdge Master Planned Community

## conceptual master plan



## COMMUNITY DEVELOPMENT

**DATE:** December 09, 2015  
**FROM:** Aric Jensen; Town Planner  
**TO:** Town Council  
**ITEM:** Amended Final Site Plan Approval  
**ADDRESS:** 33 North Geneva Road  
**APPLICANT:** Vineyard Gateway 1 LLC; Steve Pruitt

### **BACKGROUND AND ANALYSIS:**

Mr. Steve Pruitt representing Vineyard Gateway 1 LLC, requests amended site plan approval for the Vineyard Gateway commercial development. The original development contemplated approximately 21,986 sq ft of building space, and the amended plan shows 18,595 sq ft of building space, plus the possibility of constructing a fifth building of approximately 3,200 sq ft on the corner of Geneva and Mill Road for a total of 21,795 sq ft. At this time the Council is not approving the fifth building and related site improvements, but the applicant has shown how that building could fit with the rest of the development if approved at a future time. The reason the fifth building has been withheld is because the applicant is considering a drive thru use, which requires a conditional use permit in addition to site plan approval. Since the time of Planning Commission review, a fast food restaurant has made application to the Town for conditional use and site plan approval for this lot. It is assumed that the lot 5 application will come before the Council in January.

Based on the ratio of 1 stall per 250 sq ft of commercial building and a total of 18,595 sq ft, the project is required to have 75 stalls; 81 are provided. At buildout, the project will have approximately 24,000 sq ft of landscaping (24% of total site) which is in excess of the minimum of 10% required within the RMU zoning designation. The proposed buildings A, D, and B will be single story and constructed of similar materials and colors as the existing Building C.

### **FINDINGS:**

Staff believes that with the conditions listed as part of the recommended action, the application meets the minimum Town requirements with the following findings:

- It conforms to the Vineyard General Plan.
- It satisfies the requirements of the Zoning Ordinance.
- It conforms to the provisions of the RMU zoning designation.

### **RECOMMENDATION:**

The Planning Commission at its most recent meeting recommended that the Town Council approve the amended Vineyard Gateway site plan subject to the following conditions:

1. The applicant shall install all uncompleted sections of sidewalk and curb and gutter located within the adjacent street rights-of-way, including adjacent to the area shown for future development;
2. All landscaping shall be installed prior to any certificate of occupancy, with the exception of the landscaping immediately surrounding the area of future development.
3. Any discrepancies between the existing, approved site plan drawings and the proposed amended site plan shall be resolved administratively.
4. This action does not endorse or otherwise entitle the applicant to the future development of a fifth building and related improvements (as represented by dashed lines on the amended site plan).
5. The applicant shall pay all required fees and bonds.

**PROPOSED MOTION:**

I move that the Council **APPROVE** the amended Vineyard Gateway site plan with the findings and conditions set forth in the staff report.

**ATTACHMENTS:**

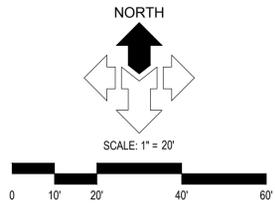
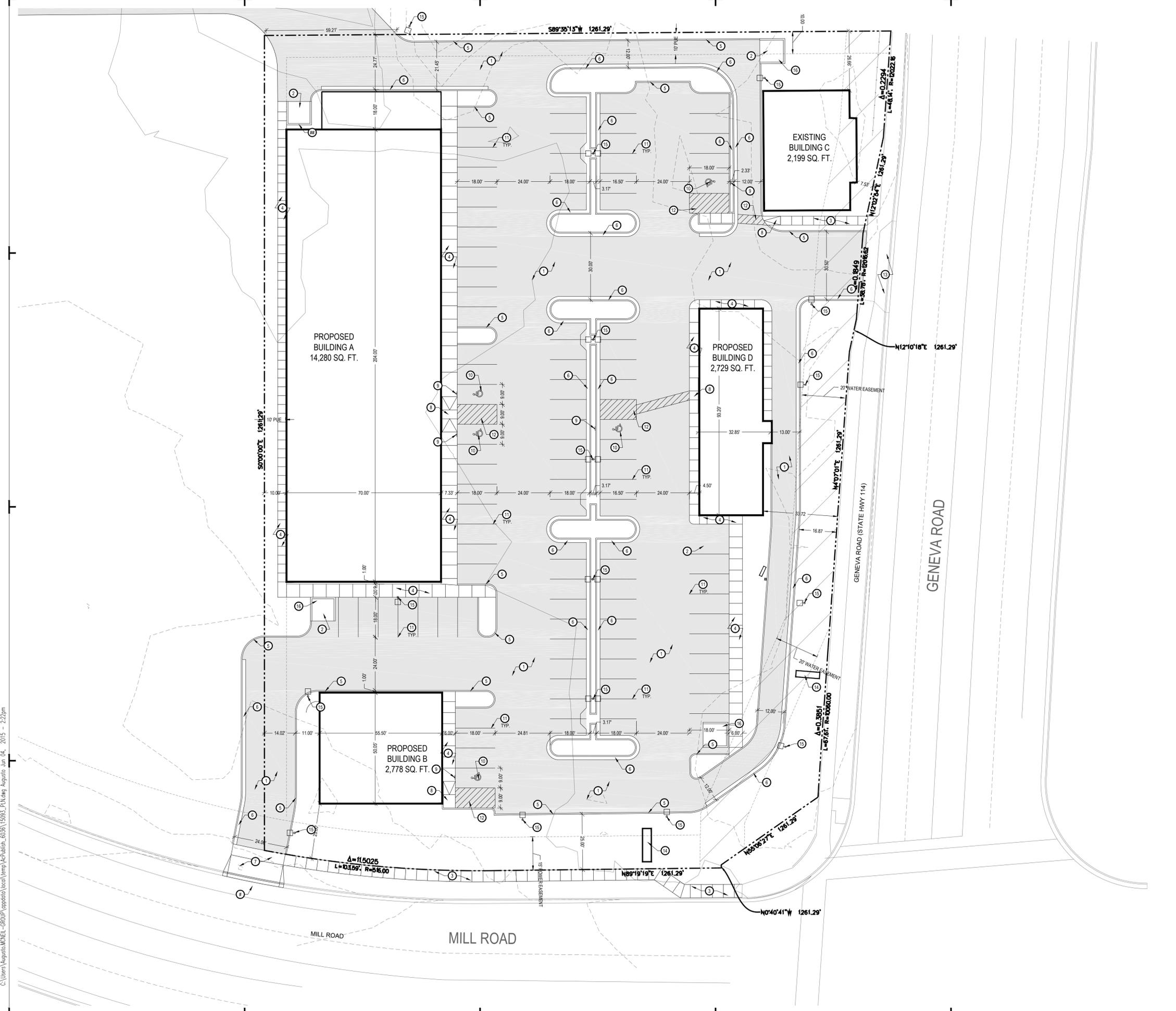
Aerial Photo  
Proposed Amended Site Plan  
Existing Approved Site Plan  
Application and Related Materials

# Aerial Photo and Map Vineyard Gateway Commercial









**GENERAL NOTES:**

ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.  
SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION.  
SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING.  
ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS.  
ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

**EYED NOTES:**

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D1', SHEET C5.01.
- 2 CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C1', SHEET C5.01.
- 3 CONCRETE SIDEWALK PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 4.
- 4 INTEGRAL SIDEWALK AND CURB. SEE DETAIL 'D2', SHEET C5.01.
- 5 CONCRETE CURB WALL. SEE DETAIL 'C2', SHEET C5.01.
- 6 24" CONCRETE CURB AND GUTTER. SEE DETAIL 'C3', SHEET C5.01.
- 7 CONCRETE DRIVE APPROACH PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 6.
- 8 ADA ACCESSIBLE RAMP PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 22.
- 9 ADA PARKING SIGN PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 22.
- 10 PAINTED ADA SYMBOL. SEE DETAIL 'D3', SHEET C5.01.
- 11 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
- 12 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
- 13 MAINTAIN EXISTING DRIVE APPROACH.
- 14 PROJECT MONUMENT SIGN.
- 15 NEW LIGHT POLE. SEE ELECTRICAL PLANS FOR DETAILS.
- 16 NEW DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.

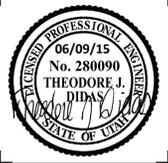
**PARKING SUMMARY:**

BUILDING A:	14,280 SQ. FT.	88 STALLS
BUILDING B:	2,778 SQ. FT.	
BUILDING C:	2,199 SQ. FT.	
BUILDING D:	2,729 SQ. FT.	
TOTAL:	21,986 SQ. FT.	
REQUIRED (1/250 SQ. FT.):		88 STALLS
TOTAL PROVIDED:		98 STALLS

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.  
**Call Before You Dig**  
1-800-662-4111

NOTICE:  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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**VINEYARD GATEWAY**  
**33 NORTH GENEVA ROAD**  
**VINEYARD, UTAH 84057**  
SE 1/4 OF NE 1/4 OF SEC 17, 16S, R2E, S1B & M

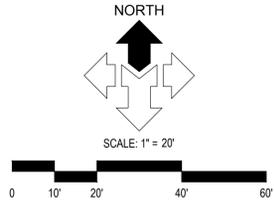
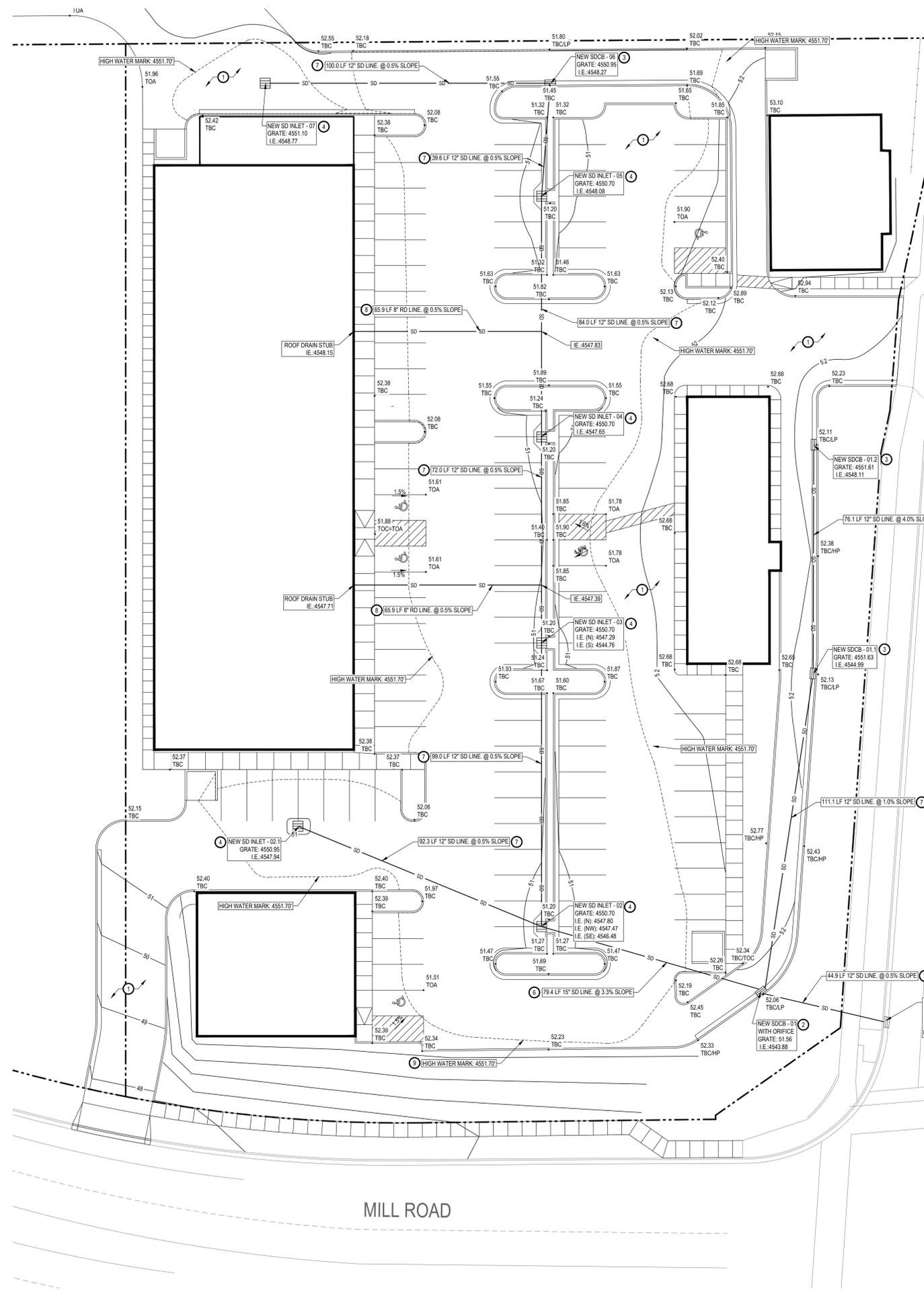
REV	DATE	DESCRIPTION

PROJECT NO: 15093  
DRAWN BY: ARP  
CHECKED BY: TJD  
DATE: 05/28/15

**HORIZONTAL CONTROL PLAN**

**C1.01**

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**GENERAL NOTES:**  
 SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, WEIRDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST D-1557 EXCEPT UNDER BUILDING FOUNDATION WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 2% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS & SPECS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.

THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.02 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE AT THE TIME OF PREPARATION OF PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. IT SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTORS FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED IN THE CONTRACT.

**EYED NOTES:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- 1 GRADE SITE TO ELEVATIONS AND CONTOURS SHOWN ON PLAN.
- 2 STORM DRAIN CATCH BASIN WITH 3.60' DIA. ORIFICE OPENING AND HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'A5' FOR CATCH BASIN. SEE DETAIL 'B3' FOR ORIFICE PLATE. SHEET C5.01.
- 3 STORM DRAIN CATCH BASIN WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'A1'. SHEET C5.01.
- 4 STORM DRAIN AREA INLET BOX WITH HEAVY DUTY BICYCLE SAFE GRATE. SEE DETAIL 'A3'. SHEET C5.01.
- 5 CONNECT TO EXISTING CATCH BASIN.
- 6 15" DIAMETER HDPE STORM DRAIN LINE.
- 7 12" DIAMETER HDPE STORM DRAIN LINE.
- 8 8" DIAMETER HDPE STORM DRAIN LINE.
- 9 HIGH WATER MARK FOR A 25 YEAR STORM. SEE EXCEL SPREADSHEET CALCULATIONS, THIS SHEET. ELEVATION: 4551.70'

Time (min)	Rate (in/hr)	Rainfall (inches)	Q in (cfs)	Adpt Q in (cfs)	Total Q in (cfs)	Q out (cfs)	Storage (cfs)
5	3.840	0.32	14.30	0.00	14.30	0.972	4,000
10	2.840	0.49	10.95	0.00	10.95	0.972	5,988
15	2.480	0.62	9.24	0.00	9.24	0.972	7,440
30	1.720	0.86	6.41	0.00	6.41	0.972	9,794
60	1.090	1.09	4.06	0.00	4.06	0.972	11,118
120	0.620	1.24	2.31	0.00	2.31	0.972	9,630
180	0.450	1.35	1.68	0.00	1.68	0.972	7,656
360	0.280	1.56	0.97	0.00	0.97	0.969	0
720	0.160	1.92	0.60	0.00	0.60	0.996	0
1440	0.100	2.40	0.37	0.00	0.37	0.373	0

Area Identification (A)	(C)	(C')
Impervious= 172,228 sf	x 0.90	= 155,005 sf
Pervious= 39,503 sf	x 0.15	= 5,925 sf
Sum= 211,731 sf	0.76 (ave)	160,931 sf

Time	Rate	Rainfall	Q in	Adpt Q in	Total Q in	Q out	Storage
5	3.840	0.32	14.30	0.00	14.30	0.972	4,000
10	2.840	0.49	10.95	0.00	10.95	0.972	5,988
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360	0.280	1.56	0.97	0.00	0.97	0.969	0
720	0.160	1.92	0.60	0.00	0.60	0.996	0
1440	0.100	2.40	0.37	0.00	0.37	0.373	0

Detention Provided Via Storm Pipes:	Volume
78 LF 6" HDPE	0.349 CF/LF
677 LF 12" HDPE	0.785 CF/LF
137 LF 15" HDPE	1.227 CF/LF
<b>Total Pipe Storage</b>	<b>160 cf</b>

Detention Provided Via Storm Basins:	Volume
Box Size (10) 2x2x4'	160 cf
<b>Total Pipe Storage</b>	<b>160 cf</b>

Detention Provided Via Ponding:	Volume
Parking Lot	10,449 cf
Landscape Areas	10,449 cf
<b>Total Detention Storage</b>	<b>10,449 cf</b>

<b>Total Detention Provided:</b>	11,335 cf
<b>Total Detention Required:</b>	11,118 cf

The orifice is designed upon the following data:

Total acreage of development:	4.86 acres
Allowable discharge:	0.97 cfs (0.20 cfs/ac)
Max head (center orifice to hw):	7.8
Diameter for new orifice:	3.6 inch (max. size)

$Q = C_d A_o \sqrt{2gh}$

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**VINEYARD GATEWAY**  
**33 NORTH GENEVA ROAD**  
 VINEYARD, UTAH 84057  
 SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, S1B & M

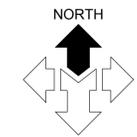
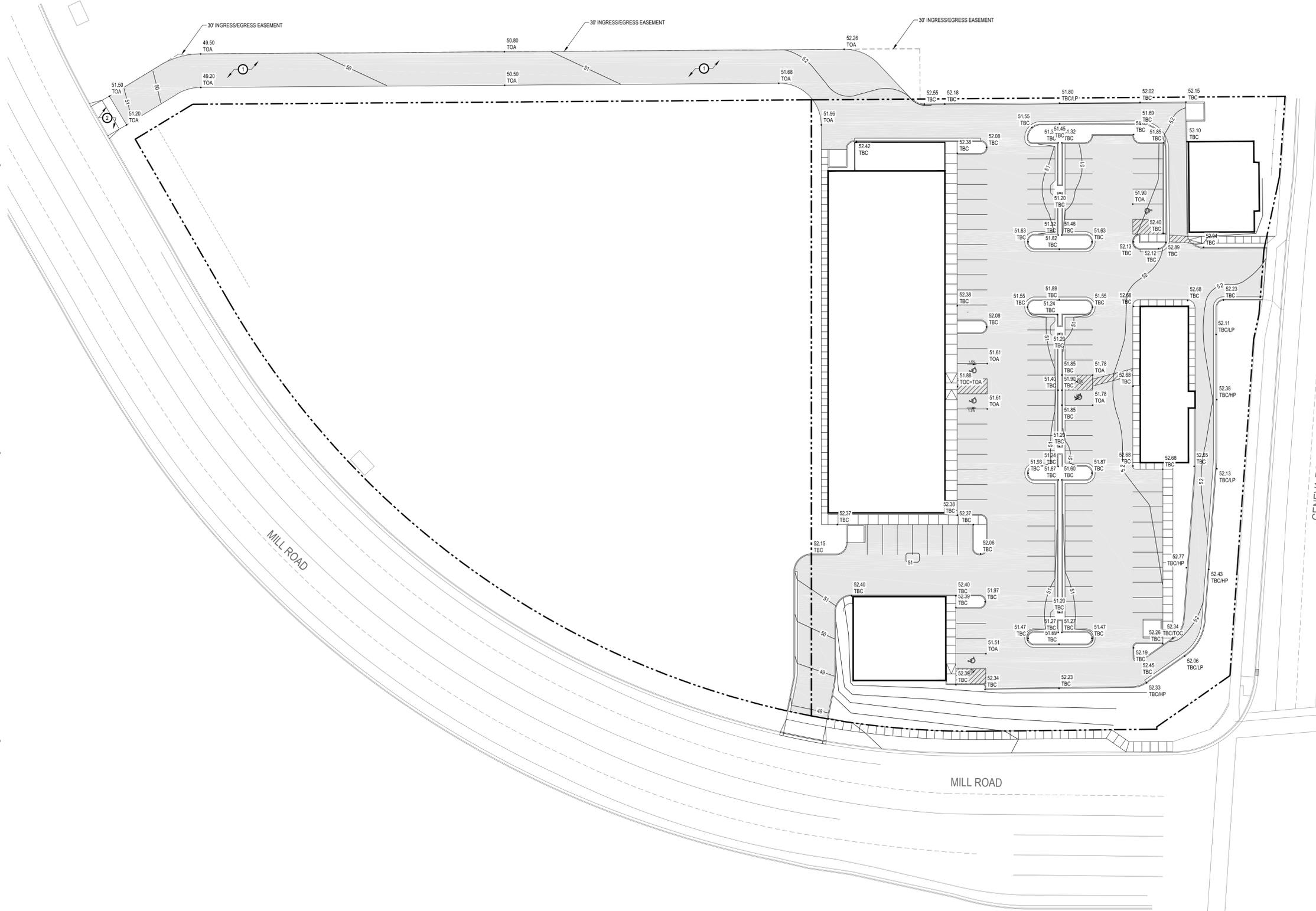
REV	DATE	DESCRIPTION

PROJECT NO: 15093  
 DRAWN BY: ARP  
 CHECKED BY: TJD  
 DATE: 05/28/15

**GRADING AND DRAINAGE PLAN**  
**C2.01**

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SCALE: 1" = 20'



**GENERAL NOTES:**

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SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING  
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ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

**EYED NOTES:**

- 1 STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D', SHEET C5.01.
- 2 CONCRETE DRIVE APPROACH PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 'E'.

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**VINEYARD GATEWAY**  
**33 NORTH GENEVA ROAD**  
VINEYARD, UTAH 84057  
SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REV	DATE	DESCRIPTION

PROJECT NO: 15093  
DRAWN BY: ARP  
CHECKED BY: TJD  
DATE: 05/28/15

**OFF SITE DRIVE ACCESS**

**C2.02**

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

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ELECTRICAL LIGHTING SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
LUMINAIRES (SEE LUMINAIRE SCHEDULE FOR ADDITIONAL DETAILS)	
	LUMINAIRES (APPROXIMATE SHAPE AND SIZED FOR CLARITY)
	STRIP, NEON AND FIBER OPTIC LUMINAIRES
	EXIT SIGN (NUMBER OF FACES (SHADED) AND ARROWS) AS SHOWN
LUMINAIRE MOUNTING	
	RECESSED LUMINAIRES
	SUSPENDED LUMINAIRES
	WALL MOUNTED LUMINAIRES
	POLE TOP MOUNTED LUMINAIRES (ROUND OR SQUARE POLE)
	POLE MOUNTED LUMINAIRES WITH ARM (ROUND OR SQUARE POLE)
	GROUND OR FLOOR MOUNTED LUMINAIRES
	TRACK MOUNTED (LENGTH DRAWN TO SCALE, LUMINAIRE TYPES AND QUANTITIES AS SHOWN)
LUMINAIRE OPTIC ORIENTATION	
	HORIZONTAL ZERO LINE
	PRIMARY LUMINAIRE ORIENTATION
	DIRECTIONAL AIMING LINE (FROM PHOTOMETRIC CENTER TO TARGET)
LUMINAIRE ANNOTATION	
	LUMINAIRES THAT PROVIDE EMERGENCY ILLUMINATION (EITHER BATTERY POWERED OR ALTERNATE ENERGY SOURCE)
	LUMINAIRES THAT PROVIDE EMERGENCY ILLUMINATION (EITHER BATTERY POWERED OR ALTERNATE ENERGY SOURCE)
	LUMINAIRES THAT PROVIDE NIGHT LIGHT ILLUMINATION
	MOUNTING HEIGHT
	LUMINAIRE IDENTIFIER (# INDICATES THE NUMBER OF LUMINAIRES IN THE AREA, ESTIMATE ONLY)
	LOWER CASE SUBSCRIPT INDICATES SWITCH IDENTIFICATION
	UPPER CASE SUBSCRIPT INDICATES CIRCUIT IDENTIFICATION

ELECTRICAL ANNOTATION SYMBOL SCHEDULE	
SYMBOL	DESCRIPTION
RACEWAY AND CONDUCTORS	
	ONE CIRCUIT, 2#12 THIN (CU), 1#12 THIN (CU) GROUND (UNLESS NOTED OTHERWISE)
	TWO CIRCUITS (SHARED NEUTRAL), 3#12 THIN (CU), 1#12 THIN (CU) GROUND (UNLESS NOTED OTHERWISE)
	THREE CIRCUITS (SHARED NEUTRAL), 4#12 THIN (CU), 1#12 THIN (CU) GROUND (UNLESS NOTED OTHERWISE)
	THREE CIRCUITS (SHARED NEUTRAL), 4#10 THIN (CU), 1#10 THIN (CU) GROUND (UNLESS NOTED OTHERWISE), NUMBER INDICATES WIRE SIZE
	ONE CIRCUIT, 2#12 THIN (CU), 1#12 THIN (CU) GROUND, 1#12 THIN (CU) ISOLATED GROUND (UNLESS NOTED OTHERWISE)
	TWO CIRCUITS (DEDICATE NEUTRALS), 4#12 THIN (CU), 1#12 THIN (CU) GROUND (UNLESS NOTED OTHERWISE)
	TWO CIRCUITS (DEDICATE NEUTRALS), 6#12 THIN (CU), 1#12 THIN (CU) GROUND (UNLESS NOTED OTHERWISE)
	ELECTRICAL JUNCTION BOX (SIZE PER NFPA 70)
	RACEWAY AND/OR CONDUCTORS CONCEALED BELOW FLOOR OR FINISHED GRADE
	FLEXIBLE CONDUIT, STEEL OR SEALTHIGHT
ABBREVIATIONS	
F.B.O.	FURNISHED BY OTHERS
F.&I.B.O.	FURNISHED & INSTALLED BY OTHERS
F.V.M.H.	FIELD VERIFY MOUNTING HEIGHT
A/R	AS REQUIRED
N/A	NOT APPLICABLE OR NOT AVAILABLE
W	MOUNT 48" FROM THE FINISHED FLOOR TO THE TOP OF DEVICE
C	MOUNT COUNTER HEIGHT (FIELD VERIFY MOUNTING HEIGHT)
WP	PROVIDE WEATHER PROOF COVER/ENCLOSURE
NL	NIGHT LIGHT (CIRCUIT IS ALWAYS ON)
E	EMERGENCY CIRCUIT (CIRCUIT REMAINS ON WHEN PRIMARY POWER IS LOST, EITHER THROUGH BATTERY OR ALTERNATE POWER SOURCE)
U.N.O.	UNLESS NOTED OTHERWISE

- ELECTRICAL GENERAL NOTES**
- ALL WORK SHALL COMPLY WITH ALL LOCALLY ADOPTED BUILDING CODES.
  - THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, SHOP DRAWINGS, SUBMITTALS, ETC. PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
  - ALL ALTERNATES MUST BE APPROVED BY ENGINEER PRIOR TO BID DATE. PROPOSED ALTERNATES MUST BE SUBMITTED TO ENGINEER AT LEAST ONE WEEK PRIOR TO BID DATE TO BE CONSIDERED.
  - THE CONTRACTOR SHALL COORDINATE ALL UTILITIES PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
  - THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
  - THE CONTRACTOR SHALL SEAL ALL RACEWAY PENETRATIONS OF THE BUILDING EXTERIOR WITH AN APPROVED METHOD FOR THE TYPE OF MATERIAL BEING PENETRATED AND MAINTAIN THE FIRE RATING.
  - THE CONTRACTOR SHALL MAINTAIN ALL FLOOR, WALL AND CEILING FIRE RATINGS. BOXES, RACEWAY, DEVICES, LIGHT FIXTURES, ETC. THAT PENETRATE FIRE RATED FLOORS, WALLS AND CEILING SHALL BE SEALED WITH AN APPROVED LISTED MATERIAL TO MAINTAIN THE FIRE RATING OF THE FLOORS, WALLS AND CEILING.
  - THE CONTRACTOR SHALL USE THE FOLLOWING COLOR CODING SCHEME FOR ALL CONDUCTORS:  

SYSTEM	PHASE A	PHASE B	PHASE C	NEUTRAL	GROUND
480/277V, 3ø, 4W	BROWN	ORANGE	YELLOW	GRAY	GREEN
480V, 3ø, 3W	BROWN	ORANGE	YELLOW	N/A	GREEN
240V, 3ø, 3W	BLACK	BLUE	RED	N/A	GREEN
240/120V, 1ø, 3W	BLACK	BLUE	N/A	WHITE	GREEN
240/120V, 3ø, 4W	BLACK	ORANGE*	BLUE	WHITE	GREEN
208/120V, 3ø, 4W	BLACK	BLUE	RED	WHITE	GREEN

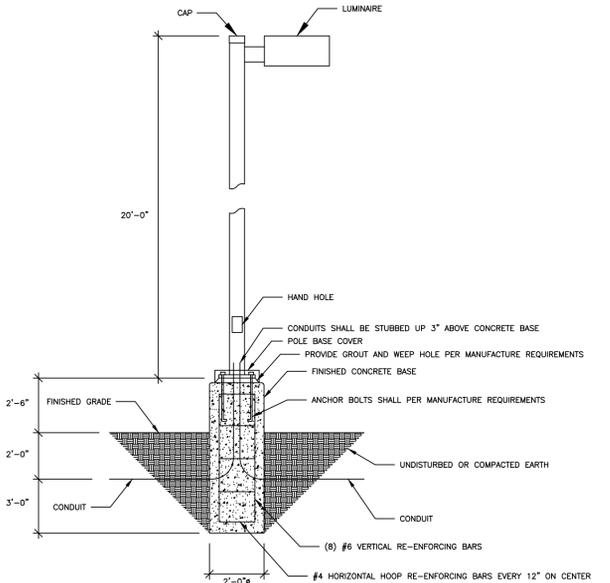
 \*PHASE B SHALL BE WIRED AS THE HIGH-LEG.
  - THE CONTRACTOR SHALL VERIFY ALL VOLTAGE DROP CALCULATIONS BASED ON THE ACTUAL ROUTE OF THE CONDUCTOR(S) AND IF NEED FURNISH AND INSTALL LARGER WIRE. MAXIMUM VOLTAGE DROP ALLOWANCE ON FEEDERS IS 2%, MAXIMUM VOLTAGE DROP ON BRANCH CIRCUITS IS 3%. IF APPROVED BY THE ENGINEER A COMBINED VOLTAGE DROP OF 5% FOR THE FEEDER AND BRANCH CIRCUIT CAN BE USED.
  - THE CONTRACTOR SHALL PROVIDE SEISMIC BRACING FOR ALL ELECTRICAL EQUIPMENT, RACEWAYS, CABLE TRAY, BUSSDOCK LIGHT FIXTURES, ETC. PER THE REQUIRED BUILDING CODE. AT A MINIMUM LIGHT FIXTURES SHALL BE SUPPORTED WITH AT LEAST TWO (2) 12 GAUGE STEEL WIRE FROM OPPOSITE CORNERS OF THE LIGHT FIXTURE.
  - THE CONTRACTOR SHALL PROVIDE A CLEAN WORK AREA THROUGHOUT CONSTRUCTION, REMOVING ALL PACKAGING AND WASTE DUE TO THE INSTALLATION. THE CONTRACTOR SHALL ALSO CLEAN ALL ELECTRICAL EQUIPMENT (INTERNALLY AND EXTERNALLY), LIGHT FIXTURES AND DEVICES UPON REQUEST AT SUBSTANTIAL COMPLETION.

ELECTRICAL LIGHT FIXTURE SCHEDULE										
TYPE	QUANTITY (ESTIMATE ONLY)	DESCRIPTION	MANUFACTURER(S)	CATALOG NUMBER(S)	WATTS PER FIXTURE	VOLTS	LAMP TYPE	MOUNTING	NOTES	
PL1A	3	ONE HEADED POLE LIGHT (20'-0") (TYPE IV)	VISIONARE LIGHTING	VLX-1-14-160LC-5-AK-UNV-AM-XX W/ SNTA-4S-188-20-AKB-343-S1-XX	272	UNV	LED	20'-0" POLE	SEE DETAIL A/E000	
PL1B	2	ONE HEADED POLE LIGHT (20'-0") (TYPE IV)	VISIONARE LIGHTING	VLX-1-14-128LC-3-AK-UNV-AM-XX W/ SNTA-4S-188-20-AKB-343-S1-XX	144	UNV	LED	20'-0" POLE	SEE DETAIL A/E000	
PL1C	2	ONE HEADED POLE LIGHT (20'-0") (TYPE V-W)	VISIONARE LIGHTING	VLX-1-15W-192LC-3-AK-UNV-AM-XX W/ SNTA-4S-188-20-AKB-343-S1-XX	206	UNV	LED	20'-0" POLE	SEE DETAIL A/E000	
PL1D	4	ONE HEADED POLE LIGHT (20'-0") (TYPE N-A)	VISIONARE LIGHTING	VLX-1-14A-160LC-5-AK-UNV-AM-XX W/ SNTA-4S-188-20-AKB-343-S1-XX	272	UNV	LED	20'-0" POLE	SEE DETAIL A/E000	
PL2A	10	TWO HEADED POLE LIGHT (20'-0") (TYPE N-A)	VISIONARE LIGHTING	(2) VLX-1-14A-160LC-5-AK-UNV-AM-XX W/ SNTA-4S-188-20-AKB-343-S1-XX	544	UNV	LED	20'-0" POLE	SEE DETAIL B/E000	

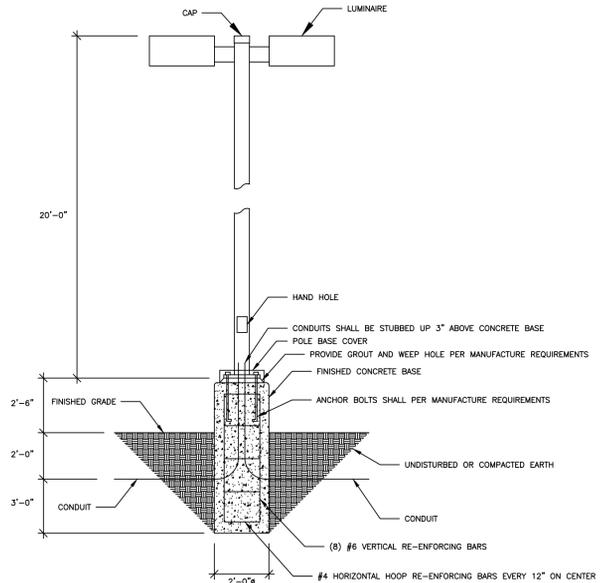
GENERAL NOTES:  
 • OWNER / ARCHITECT TO DETERMINE FINISH

ELECTRICAL DRAWING SCHEDULE	
PAGE NUMBER	DESCRIPTION
E000	ELECTRICAL GENERAL NOTES AND SYMBOL SCHEDULE
E101	ELECTRICAL SITE PLAN
E101A	ELECTRICAL PHOTOMETRIC SITE PLAN

NOTES:  
 .



**A** POLE LIGHT DETAIL (PL1A, PL1B, PL1C, PL1D)  
SCALE: NONE



**B** POLE LIGHT DETAIL (PL2A)  
SCALE: NONE

Professional Engineer  
 Joseph W. Taft  
 License No. 6563034-2202  
 State of Utah

**TAFT**  
ENGINEERING

Taft Engineering, LLC  
 8610 South Sandy Parkway, Suite #200  
 Sandy, UT 84070  
 (801) 971-3724

---

Owner: \_\_\_\_\_ Architect: \_\_\_\_\_ General Contractor: \_\_\_\_\_

VINEYARD GATEWAY  
 33 NORTH GENEVA ROAD, VINEYARD, UTAH 84057

ELECTRICAL GENERAL NOTES AND SYMBOL SCHEDULE

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Project Number: 01-0009-2015

Status: REVIEW SET

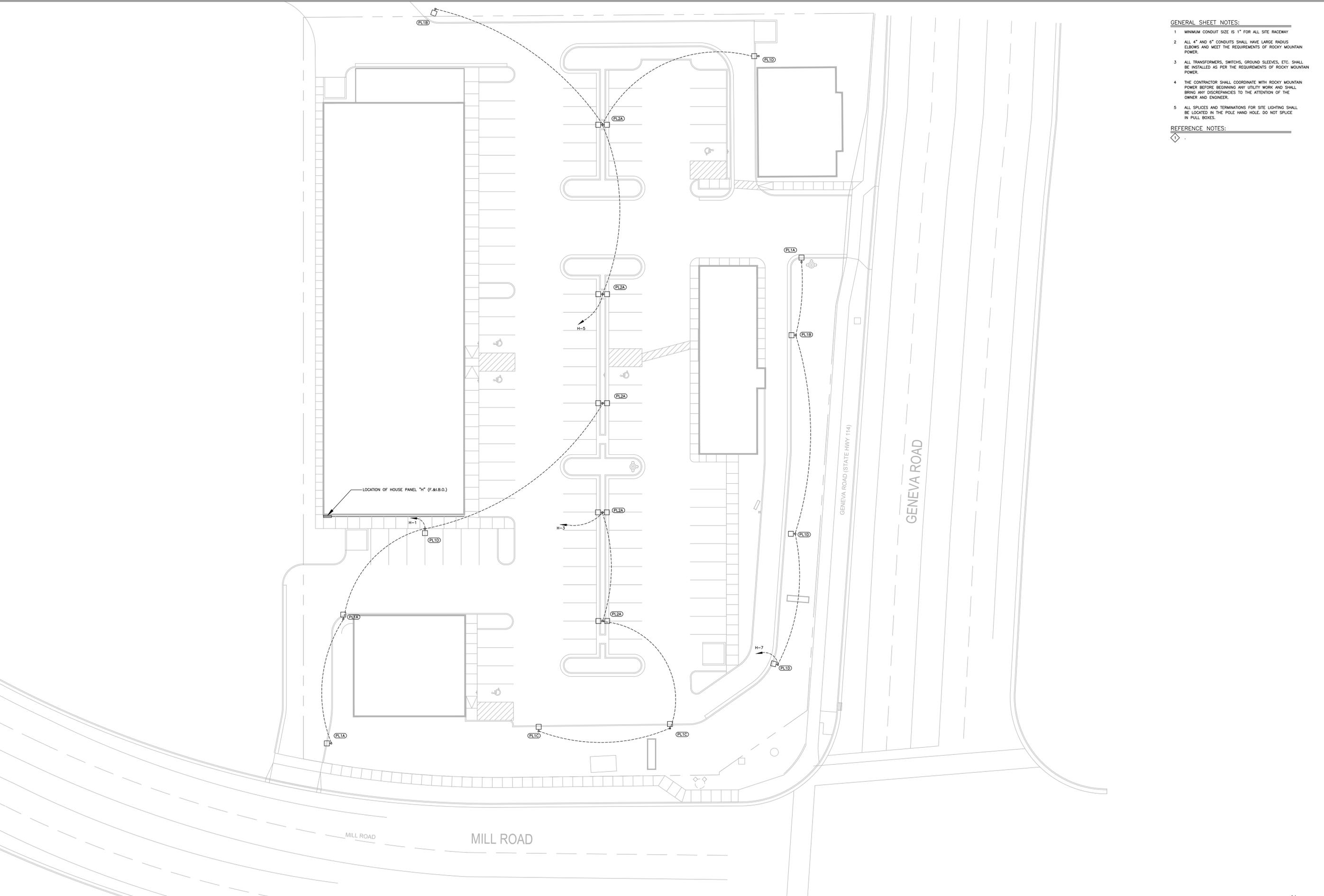
Date: 6/4/2015

Sheet Number: E000



Taft Engineering, L.L.C.  
8610 South Sandy Parkway, Suite #200  
Sandy, Utah 84070  
(801) 971-3724

- GENERAL SHEET NOTES:**
- 1 MINIMUM CONDUIT SIZE IS 1" FOR ALL SITE RACEWAY
  - 2 ALL 4" AND 6" CONDUITS SHALL HAVE LARGE RADIUS ELBOWS AND MEET THE REQUIREMENTS OF ROCKY MOUNTAIN POWER.
  - 3 ALL TRANSFORMERS, SWITCHES, GROUND SLEEVES, ETC. SHALL BE INSTALLED AS PER THE REQUIREMENTS OF ROCKY MOUNTAIN POWER.
  - 4 THE CONTRACTOR SHALL COORDINATE WITH ROCKY MOUNTAIN POWER BEFORE BEGINNING ANY UTILITY WORK AND SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE OWNER AND ENGINEER.
  - 5 ALL SPLICES AND TERMINATIONS FOR SITE LIGHTING SHALL BE LOCATED IN THE POLE HAND HOLE. DO NOT SPLICE IN PULL BOXES.
- REFERENCE NOTES:**



1 ELECTRICAL SITE PLAN  
SCALE: 1" = 20'-0"



Owner:	.....
Architect:	.....
General Contractor:	.....

VINEYARD GATEWAY  
33 NORTH GENEVA ROAD, VINEYARD, UTAH 84057

ELECTRICAL SITE PLAN

Project Number:	01-0009-2015
Status:	REVIEW SET
Date:	6/4/2015
Sheet Number:	E101



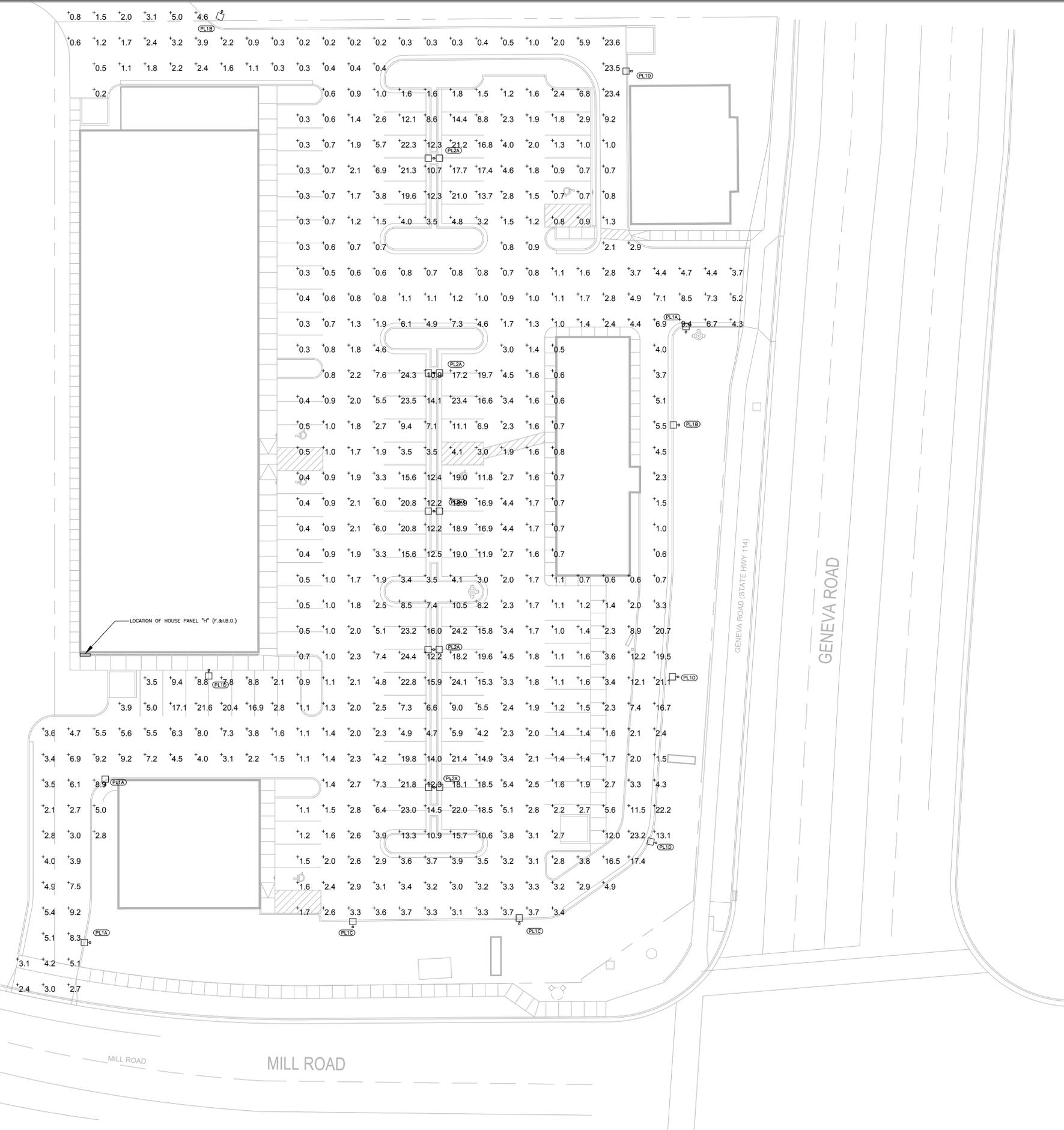
Taft Engineering, LLC  
8610 South Sandy Parkway, Suite #200  
Sandy, Utah 84070  
(801) 971-3724

Owner:	.....
Architect:	.....
General Contractor:	.....

VINEYARD GATEWAY  
33 NORTH GENEVA ROAD, VINEYARD, UTAH 84057

ELECTRICAL SITE PHOTOMETRIC PLAN

Project Number:	01-0009-2015
Status:	REVIEW SET
Date:	6/4/2015
Sheet Number:	E101A



LOCATION OF HOUSE PANEL "H" (F.&I.B.O.)

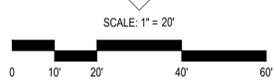
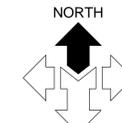
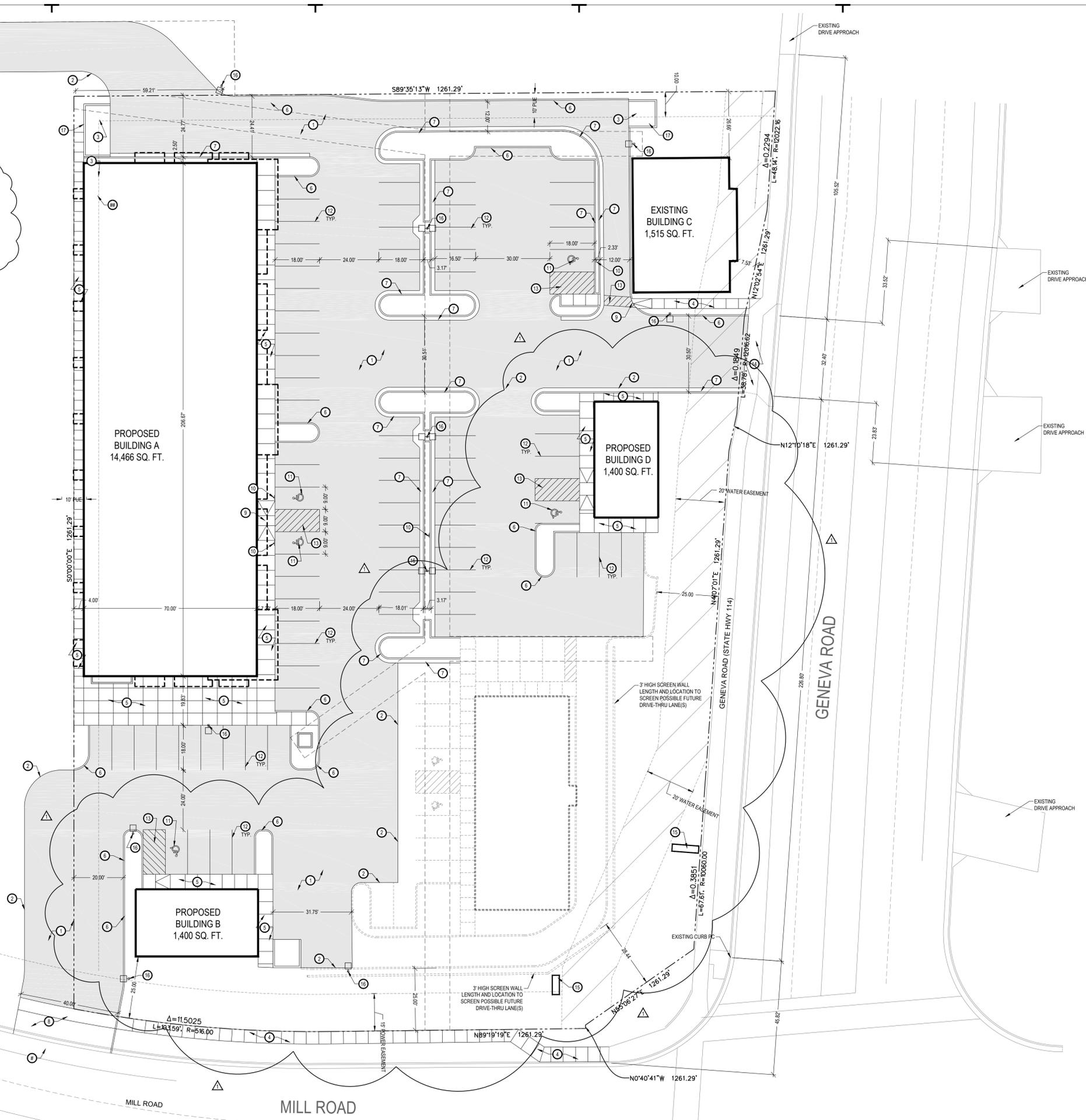
1 ELECTRICAL SITE PHOTOMETRIC PLAN  
SCALE: 1" = 20'-0"



S:\2015Files\15093\Civil\Proj\15093\_Plan.dwg August 30, 2015 - 11:28am

DESCRIPTION	AREA	%
HARDSCAPE	55,846 SQFT	57%
LANDSCAPE	24,059 SQFT	24%
BUILDINGS	18,595 SQFT	19%
TOTAL	98,500 SQFT	100%

\* DATA REPRESENTS FULL BUILD OUT OF THE SITE, INCLUDING FUTURE SOUTHEAST BUILDING



**GENERAL NOTES:**

- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED
- SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION
- SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING
- ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

**KEYED NOTES:**

- 1 STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D1', SHEET C5.01.
- 2 EDGE OF ASPHALT PAVEMENT.
- 3 CONCRETE PAVEMENT WITH GRANULAR BASE PER DETAIL 'C1', SHEET C5.01.
- 4 CONCRETE SIDEWALK PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '4'.
- 5 INTEGRAL SIDEWALK AND CURB. SEE DETAIL 'D2', SHEET C5.01.
- 6 CONCRETE CURB WALL. SEE DETAIL 'C2', SHEET C5.01.
- 7 2" CONCRETE CURB AND GUTTER. SEE DETAIL 'C3', SHEET C5.01.
- 8 CONCRETE DRIVE APPROACH PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '8'.
- 9 ADA ACCESSIBLE RAMP PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '22'.
- 10 ADA PARKING SIGN PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '22'.
- 11 PAINTED ADA SYMBOL. SEE DETAIL 'D3', SHEET C5.01.
- 12 4" WIDE SOLID YELLOW PARKING STALL STRIPE LINES.
- 13 4" WIDE SOLID YELLOW PEDESTRIAN STRIPE LINES.
- 14 MAINTAIN EXISTING DRIVE APPROACH
- 15 PROJECT MONUMENT SIGN
- 16 NEW LIGHT POLE. SEE ELECTRICAL PLANS FOR DETAILS.
- 17 NEW DUMPSTER ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.

**PARKING SUMMARY:**

BUILDING A	14,280 SQ. FT.
BUILDING B	1,400 SQ. FT.
BUILDING C	1,515 SQ. FT.
BUILDING D	1,400 SQ. FT.
TOTAL	18,595 SQ. FT.

REQUIRED (11 250 SQ. FT.): 75 STALLS  
TOTAL PROVIDED: 95 STALLS

**NOTES PER UDOT**

- UDOT REQUIRES 12" OF GRANULAR BORROW, 6" UNTREATED BASE COURSE AND 7" OF PG GRADE SUPERPAVE MIX DESIGN ASPHALT CONFORMING TO UDOT SPECIFICATION 02741
- SAW CUT AND TACK COAT VERTICAL CUTS IN ASPHALT PER UDOT SPECIFICATION 02705 PAVEMENT CUTTING.
- LOCATE ALL ABOVE GROUND UTILITIES 18" BEHIND THE CURB

**NOTES PER UDOT STEP TWO TECHNICAL APPLICATION PREPARATION PACKET PG 5**

- UDOT RESERVES THE RIGHT, AT ITS OPTION, TO INSTALL A RAISED MEDIAN ISLAND OR RESTRICT THE ACCESS TO A RIGHT-IN OR RIGHT-OUT AT ANY TIME.
- WORK ON THE UDOT RIGHT-OF-WAY IS RESTRICTED FROM OCTOBER 15 - APRIL 15.
- ROW WORK: WORK IS NOT ALLOWED ON THE RIGHT-OF-WAY DURING THE AM/PM PEAK TRAFFIC HOURS (6:00 - 9:00 AM AND 3:30 - 6:00 PM). ADDITIONAL WORK RESTRICTIONS OR MODIFICATIONS MAY BE IMPOSED AT THE TIME OF THE ENCROACHMENT PERMIT.
- REPLACE ALL PAVEMENT MARKINGS IN KIND (TAPE WITH TAPE AND PAINT WITH PAINT). INSTALL ALL PAINT LINES WITH PERMANENT PAINT APPLICATION PER UDOT SPECIFICATION 02765. PAINT MUST HAVE AT LEAST 6 MONTHS LIFE AS DETERMINED BY UDOT'S PERMITS OFFICER.
- ALL NEW PAVEMENT WORDS, ARROWS AND SYMBOLS MARKING WITHIN THE RIGHT-OF-WAY SHALL BE PRE-FORMED THERMO PLASTIC. ALL LETTERS, ARROWS AND SYMBOLS SHALL CONFORM WITH THE "STANDARD ALPHABET FOR HIGHWAY SIGNS AND PAVEMENT MARKINGS" ADOPTED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- ALL SIGNS INSTALLED ON THE UDOT RIGHT-OF-WAY MUST BE HIGH INTENSITY GRADE (TYPE IX SHEETING) WITH A B3 SLIP BASE. INSTALL ALL SIGNS PER UDOT SN SERIES STANDARD DRAWINGS.
- BEFORE COMMENCING WORK ON THE STATE HIGHWAY, THE GENERAL CONTRACTOR IS REQUIRED TO OBTAIN AN ENCROACHMENT PERMIT FROM THE APPLICABLE REGION'S OFFICE BEFORE WORKING WITHIN THE STATE RIGHT-OF-WAY.
- NO ROAD CUTS ALLOWED ON THIS JOB
- FOR ALL UTILITY TAPS (ROAD CUTS), USE FLOWABLE FILL PER UDOT'S CURRENT MIX DESIGN (50 - 150 PSI) UDOT SPEC. 03575.
- ALL UTILITIES WITHIN THE PAVED SURFACE MUST BE BORED.
- FOR EXCAVATIONS OUTSIDE OF THE ROADWAY, BACK FILL WITH UDOT APPROVED GRANULAR BORROW AND ROAD BASE. COMPACTION PER UDOT SPEC 2056 AND 0271.
- OWNER, DEVELOPER, AND/OR THE CONTRACTOR IS REQUIRED TO HIRE AN INDEPENDENT COMPANY FOR ALL TESTING WITHIN THE UDOT RIGHT-OF-WAY.
- OWNER, DEVELOPER, AND/OR THE CONTRACTOR ARE RESPONSIBLE FOR ANY DAMAGE TO THE UDOT RIGHT-OF-WAY THAT MAY BE DIRECTLY OR INDIRECTLY CAUSED BY THE DEVELOPMENT ACTIVITY.
- TRAFFIC SIGNAL INSTALLATION OR MODIFICATION REQUIRES A SEPARATE WARRANTY BOND ONCE THE WORK HAS BEEN COMPLETED AND ACCEPTED. THE PERMITTEE IS RESPONSIBLE FOR HIRING AN INDEPENDENT INSPECTION COMPANY TO PERFORM INSPECTION SERVICES FOR ALL SIGNAL WORK COMPLETED. FOR A LIST OF THE UDOT APPROVED CONTRACTORS AND CONSULTANTS CONTACT THE APPROPRIATE REGION'S TRAFFIC SIGNALS ENGINEER.
- PARTIAL CONCRETE PANEL REPLACEMENT IS NOT ALLOWED. WHEN PANELS ARE REMOVED, THE ENTIRE PANEL IS REQUIRED TO BE REPLACED PER UDOT STANDARDS, SPECIFICATIONS, AND STANDARD DRAWINGS.
- DOUBLE SAW CUT THE CONCRETE TO PREVENT THE SPALLING OF OTHER CONCRETE PANELS AND TO AVOID OVER CUTS. OVER CUTS AND SPALLS WILL REQUIRE FULL PANEL REPLACEMENT.
- ALL ABOVE GROUND FEATURES INCLUDING UTILITIES (POLES, FIRE HYDRANTS, BOXES, ETC.) MUST BE RELOCATED OUT OF THE AASHTO CLEAR ZONE OR A MINIMUM OF 18" BEHIND CURB.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

**Call Before You Dig**

1-800-662-4111

**NOTICE!**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

**McNEIL ENGINEERING**  
Economic and Sustainable Designs. Professionals You Know and Trust  
8610 South Sandy Parkway, Suite 200, Sandy, Utah 84070 801.255.7700 mcnengineering.com  
Civil Engineering • Consulting & Landscape Architecture  
Structural Engineering • Land Surveying & HDS

**VINEYARD GATEWAY**  
**33 NORTH GENEVA ROAD**  
**VINEYARD, UTAH 84057**  
SE 1/4 OF NE 1/4 OF SEC 17, 16S, R2E, S1B & M

REV#	DATE	DESCRIPTION
A	10/12/15	SITE REVISION - ADDED BLDG B & D
A	10/20/15	UPDATE SITE DATA TABLE

PROJECT NO: 15093  
DRAWN BY: ARP  
CHECKED BY: TJD  
DATE: 09/03/15

**HORIZONTAL CONTROL PLAN**  
**C1.01**

**MEMORANDUM OF AGREEMENT  
BETWEEN  
CENTRAL UTAH WATER CONSERVANCY DISTRICT,  
THE CITY OF OREM, AND THE TOWN OF VINEYARD FOR THE STUDY  
AND EVALUATION OF ADDITIONAL FINISHED WATER STORAGE**

This MEMORANDUM OF AGREEMENT (MOA), made as of this \_\_\_\_ day of \_\_\_\_\_, 2015, between the CENTRAL UTAH WATER CONSERVANCY DISTRICT, a political subdivision of the State of Utah, organized and existing under the laws of the State of Utah, with its principal office located at 355 West University Parkway, OREM, Utah, 84058, hereinafter referred to as (“DISTRICT”), the CITY OF OREM, a municipal corporation and political subdivision of the State of Utah, organized and existing under the laws of the State of Utah, with its principal office located at 56 North State Street, OREM, Utah, 84057, hereinafter referred to as the (“OREM”), and the TOWN OF VINEYARD, a municipal corporation and political subdivision of the State of Utah, organized and existing under the laws of the State of Utah, with his principal office located at 240 East Gammon Road, Vineyard, Utah, 84058, hereinafter referred to as (“VINEYARD”). All of the foregoing entities are collectively referred to as the “PARTIES”.

RECITALS

WHEREAS, the DISTRICT owns and operates the Don A. Christianson Regional Water Treatment Plant, or (“DCRWTP”), which is located in northeast Orem; and

WHEREAS, the DISTRICT recently completed a process improvement project and expanded the treatment capacity of the DCRWTP from 80 million gallons per day (MGD) to 100 MGD; and

WHEREAS, the DISTRICT and OREM entered into a Memorandum of Agreement (“MOA”) in December, 2005 wherein DISTRICT and OREM jointly planned and DISTRICT constructed a new 20 million gallon finished water storage reservoir; and

WHEREAS, the DISTRICT’S operational finished water storage capacity at DCRWTP is 27 million gallons (MG) that is comprised of the 2 MG clearwell, the 15 MG Terminal Storage Reservoir, and 10 MG of the 20 MG Storage Reservoir; and

WHEREAS, the DISTRICT requires the full amount of its operational storage to maintain its ability to effectively treat water and provide reliable service to its customers; and

WHEREAS, OREM purchased from the DISTRICT a water supply for 7,520 acre-feet annually of Central Utah Project (OREM CUP WATER) and the DISTRICT treats this OREM CUP WATER, as well as OREM’s water other than CUP WATER in the DCRWTP, according to agreements dated February 11, 1976 and March 19, 1997 and other agreements, and delivers these waters to OREM’s water system; and

WHEREAS, VINEYARD purchased a water supply from the DISTRICT for 35 acre-feet of Central Utah Project (“VINEYARD CUP WATER”) water according to an agreement dated August 13, 1997 and the DISTRICT treats this VINEYARD CUP WATER in the DCRWTP and delivers it to OREM, who delivers this VINEYARD CUP WATER to VINEYARD; and

WHEREAS, VINEYARD purchased from OREM 0.5 MG capacity of storage in OREM’s 10 MG of storage capacity in the DISTRICT’s 20 MG Reservoir which storage VINEYARD uses as distribution storage; and

WHEREAS, OREM and VINEYARD need additional water storage capacities to accommodate peak daily water demands and OREM and VINEYARD desire to construct additional finished water storage capacity to address peak daily demand issues; and

WHEREAS, VINEYARD’s water storage capacity is insufficient to accommodate future growth and VINEYARD desires to construct additional finished water storage capacity to address its future water demand issues; and

WHEREAS, the DISTRICT and Anderson Geneva, LLC entered into an agreement in November, 2008 wherein the DISTRICT agreed to provide up to 4 MG of storage capacity in the DISTRICT’s finished water storage system for the Geneva Property until April 2021, after which the DISTRICT will construct or provide 2 MG of storage for Anderson Geneva, LLC’s or its assignee’s water system for the Geneva Property; and

WHEREAS, Anderson Geneva, LLC subsequently assigned to VINEYARD the storage rights associated with this agreement; and

WHEREAS, VINEYARD has contracted with the DISTRICT to purchase Central Utah Water Conservancy District Water Development Project (CWP) water for use within the municipal boundaries of VINEYARD; and

WHEREAS, OREM, the Metropolitan Water District of Orem, VINEYARD, the DISTRICT, Anderson Geneva, LLC, Ice Castle Retirement Fund, LLC, and Anderson Geneva Development, Inc. executed a Memorandum of Understanding (MOU) in May, 2013 which requires VINEYARD to formulate a permanent water storage solution plan by July, 2015 to provide for adequate water storage to service existing and future development within VINEYARD and to obtain the approval of both OREM and the DISTRICT for this solution; and

WHEREAS, VINEYARD completed a storage study that recommended that additional storage evaluations be conducted and that VINEYARD construct additional storage facilities; and

WHEREAS, the PARTIES agree that a jointly-funded water storage evaluation and location study (“LOCATION STUDY”) that would identify storage needs and possible locations would be in the best interest of all of the PARTIES; and

WHEREAS, the PARTIES now desire to enter into this MOA to fund the LOCATION STUDY to evaluate and analyze their mutual needs for finished water storage.

NOW THEREFORE, in consideration of the mutual and dependent stipulations and covenants herein contained, it is agreed by and between the parties hereto as follows:

#### COVENANTS

1. Performance of a Jointly-Funded Location Study. The DISTRICT shall develop, advertise and solicit Requests for Proposals (RFP) from qualified consultants to perform the LOCATION STUDY, which will address the objectives of the PARTIES. The RFP will include a scope of work, qualification and experience listings, a summary of personnel expected to serve on the study team, an outline of work to be accomplished, a schedule of expected performance, and pricing to complete the study. The DISTRICT will develop and receive approval from both

OREM and VINEYARD of the RFP. The DISTRICT will be the contracting party and all services shall be obtained in accordance with the DISTRICT's procurement policy for professional engineering services. A selection committee comprised of three (3) representatives from OREM, one (1) representative from VINEYARD and one (1) representative from the DISTRICT will receive and evaluate the RFP. The committee will review and evaluate the proposals from the consultants and select a consultant to perform the work in accordance with DISTRICT contracting policy. A majority vote of the committee will determine the selection of the consultant. After consulting with OREM and VINEYARD, the DISTRICT will negotiate a final agreement with the selected consultant and will enter into an agreement with the consultant to perform the LOCATION STUDY. Each PARTY agrees to provide comments and input into the work progress summaries, attend progress meetings, provide critical operational data to the selected consultant, and respond to issues relating to operations of each of the PARTIES' water systems. The PARTIES acknowledge that in performing the services related to this MOA they may have access to necessary privileged and confidential material(s) of the other PARTIES. The PARTIES agree to respect the privilege and confidentiality of any such information and to not disclose information of this nature without the expressed prior written consent of the other PARTIES.

2. Cost Share. OREM shall pay to the DISTRICT 60% of the cost of the LOCATION STUDY. VINEYARD will pay 20% of the cost of the LOCATION STUDY and the DISTRICT will pay the remaining 20% of the cost. Any proposed amendments or change orders to the LOCATION STUDY shall be reviewed and approved by the PARTIES prior to issuance by the DISTRICT. The total LOCATION STUDY costs are presently estimated to be one hundred thousand dollars (\$100,000). If the proposed LOCATION STUDY costs exceed \$100,000, the DISTRICT agrees that it will not enter into the final agreement with the selected consultant until OREM and VINEYARD consent to the amount of the LOCATION STUDY costs in writing. OREM, VINEYARD and DISTRICT

- staff time shall not be included in the total project cost and shall be borne by each party separately.
3. Payment to the DISTRICT. The DISTRICT will pay all LOCATION STUDY invoices and OREM will reimburse the DISTRICT for 60% and VINEYARD will reimburse the DISTRICT for 20% of each invoice. The DISTRICT will submit to OREM and VINEYARD certified copies of all such invoices attached to each request for cost share reimbursement. OREM and VINEYARD will provide such funds to the DISTRICT on a reimbursement basis as the approved work is completed and accepted. Payments shall be made to the DISTRICT by OREM and VINEYARD within 30 days after receipt of certified invoices covering the cost of work accomplished. The DISTRICT will maintain accounting records, in accordance with generally accepted accounting principles and practices, to substantiate all invoiced amounts. Said records will be available for examination by OREM and VINEYARD during DISTRICT's normal business hours for a period of 3 years after DISTRICT's final invoice, to the extent required to verify the cost incurred hereunder.
  4. Title of LOCATION STUDY and Obligations for Future Action. The information and recommendations provided in the LOCATION SUDY will become the property of the PARTIES. Each PARTY will act in its own best interest as it pertains to the recommendations of the study. No PARTY will be obligated to perform any recommendation contained in the study, although nothing in this MOA obviates previous contractual commitments related to water storage.
  5. Lawful Agreement. The PARTIES represent that each of them has lawfully entered into this MOA, having complied with all relevant statutes, ordinances, resolutions, bylaws, and other legal requirements applicable to their respective operations.
  6. Utah Law. This MOA shall be interpreted pursuant to the laws of the State of Utah.
  7. Time of Essence. Time shall be of the essence of this MOA.

8. Attorney's Fees. In the event that any PARTY should default in the performance of its respective obligations under this MOA, the non-defaulting PARTIES shall be entitled to recover their costs and reasonable attorney's fees incurred in enforcing the MOA, whether that enforcement is pursued through litigation or alternative dispute resolution.
9. Interpretation of MOA. The invalidity of any portion of this MOA shall not prevent the remainder from being carried into effect. Whenever the context of any provision shall require it, the singular number shall be held to include the plural number, and vice versa, and the use of any gender shall include the other gender. The paragraph and section headings in this MOA are for convenience only and do not constitute a part of the provisions hereof.
10. Amendments. No oral modifications or amendments to this MOA shall be effective, but this MOA may be modified or amended by written agreement.
11. No Presumption. Should any provision of this MOA require judicial interpretation, the Court interpreting or construing the same shall not apply a presumption that the terms hereof shall be more strictly construed against one party, by reason of the rule of construction that a document is to be constructed more strictly against the person who himself or through his agents prepared the same, it being acknowledged that both parties have participated in the preparation therein.
12. Binding MOA. This MOA shall be binding upon the heirs, successors, administrators, and assigns of each of the PARTIES hereto.

SIGNED AND ENTERED INTO this as of this \_\_\_\_ day of \_\_\_\_\_, 2015.

CENTRAL UTAH WATER  
CONSERVANCY DISTRICT, by

---

Name:  
General Manager

CITY OF OREM, by

---

Name:  
City Manager

TOWN OF VINEYARD by

---

Name:  
Mayor

# Municipal Wastewater Planning Program (MWPP) Financial Evaluation Section

Owner Name: *VINEYARD*

Name and Title of Financial Contact Person:

*JACOB MCHARGUE*

*FINANCE DIRECTOR*

Phone: *801-226-1929*

E-mail: *JACOBM@VINEYARDTOWN.COM*

**PLEASE SUBMIT TO STATE BY: May 1, 2015**

Mail to: MWPP - Department of Environmental Quality  
Division of Water Quality  
195 North 1950 West  
P.O. Box 144870  
Salt Lake City, Utah 84114-4870  
Phone : (801) 536-4300

*NOTE: This questionnaire has been compiled for your benefit by a state sponsored task force comprised of representatives of local government and service districts. It is designed to assist you in making an evaluation of your wastewater system and financial planning. Please answer questions as accurately as possible to give you the best evaluation of your facility. If you need assistance please call, Emily Cantón. Utah Division of Water Quality: (801) 536-4342.*

I. Definitions: The following terms and definitions may help you complete the worksheets and questionnaire:

**User Charge (UC)** - A fee established for one or more class(es) of users of the wastewater treatment facilities that generate revenues to pay for costs of the system.

**Operation and Maintenance Expense** - Expenditures incurred for materials, labor, utilities, and other items necessary for managing and maintaining the facility to achieve or maintain the capacity and performance for which it was designed and constructed.

**Repair and Replacement Cost** - Expenditures incurred during the useful life of the treatment works for obtaining and installing equipment, accessories, and/or appurtenances necessary to maintain the existing capacity and the performance for which the facility was designed and constructed.

**Capital Needs** - Cost to construct, upgrade or improve the facility.

**Capital Improvement Reserve Account** - A reserve established to accumulate funds for construction and/or replacement of treatment facilities, collection lines or other capital improvement needs.

**Reserve for Debt Service** - A reserve for bond repayment as may be defined in accordance with terms of a bond indenture.

**Current Debt Service** - Interest and principal costs for debt payable this year.

**Repair and Replacement Sinking Fund** - A fund to accumulate funds for repairs and maintenance to fixed assets not normally included in operation expenses and for replacement costs (defined above).

## Part I: OPERATION AND MAINTENANCE

Complete the following table:

Question	Points Earned	Total
Are revenues sufficient to cover operation, maintenance, and repair & replacement (OM&R) costs <b><u>at this time</u></b> ?	YES = 0 points NO = 25 points	0
Are the projected revenues sufficient to cover operation, maintenance, and repair & replacement (OM&R) costs for the <b><u>next five years</u></b> ?	YES = 0 points NO = 25 points	0
Does the facility have sufficient staff to ensure proper O&M?	YES = 0 points NO = 25 points	25
Has a dedicated sinking fund been established to provide for repair & replacement costs?	YES = 0 points NO = 25 points	25
Is the repair & replacement sinking fund adequate to meet anticipated needs?	YES = 0 points NO = 25 points	25
<b>TOTAL PART I =</b>		75

## Part II: CAPITAL IMPROVEMENTS

Complete the following table:

Question	Points Earned	Total
Are present revenues collected sufficient to cover all costs and provide funding for capital improvements?	YES = 0 points NO = 25 points	0
Are projected funding sources sufficient to cover all projected capital improvement costs for the <b><u>next five years</u></b> ?	YES = 0 points NO = 25 points	0
Are projected funding sources sufficient to cover all projected capital improvement costs for the <b><u>next ten years</u></b> ?	YES = 0 points NO = 25 points	0
Are projected funding sources sufficient to cover all projected capital improvement costs for the <b><u>next twenty years</u></b> ?	YES = 0 points NO = 25 points	0
Has a dedicated sinking fund been established to provide for future capital improvements?	YES = 0 points NO = 25 points	25
<b>TOTAL PART II =</b>		25

**Part III: GENERAL QUESTIONS**

Complete the following table:

Question	Points Earned	Total
Is the wastewater treatment fund a separate enterprise fund/account or district?	YES = 0 points NO = 25 points	0
Are you collecting <b>95%</b> or more of your sewer billings?	YES = 0 points NO = 25 points	0
Is there a review, at least annually, of user fees?	YES = 0 points NO = 25 points	0
Are bond reserve requirements being met if applicable?	YES = 0 points NO = 25 points	0
<b>TOTAL PART III =</b>		0

**Part IV: PROJECTED NEEDS**

Estimate as best you can the following:

Cost of projected capital improvements (in thousands)	2015	2016	2017	2018	2019
	10	10	10	10	10

**Point Summation**

Fill in the values from Parts I through III in the blanks provided in column 1. Add the numbers to determine the MWPP point total that reflects your present financial position for meeting your wastewater needs.

Part	Points
I	75
II	25
III	0
Total	100

Resolution Number \_\_\_\_\_

**MUNICIPAL WASTEWATER PLANNING PROGRAM RESOLUTION**

RESOLVED that the **TOWN OF VINEYARD** informs the Water Quality Board the following actions were taken by the **TOWN COUNCIL**

1. Reviewed the attached Municipal Wastewater Planning Program Report for 2014.
2. Have taken all appropriate actions necessary to maintain effluent requirements contained in the UPDES Permit (If Applicable).

Passed by a (majority) (unanimous) vote on

\_\_\_\_\_  
(date)

\_\_\_\_\_  
Mayor/Chairman

\_\_\_\_\_  
Attest:

\_\_\_\_\_  
Recorder/Clerk

# Municipal Wastewater Planning Program (MWPP) Collection System Section

Owner Name: VINEYARD

Name and Title of Contact Person:

\_\_\_\_ Sullivan Love \_\_\_\_\_  
\_\_\_\_\_

Phone: \_\_\_\_ 801.376.0419 \_\_\_\_\_

E-mail: \_\_\_\_ sullivanl@vineyardtown.com \_\_\_\_

**PLEASE SUBMIT TO STATE BY: May 1, 2015**

Mail to: MWPP - Department of Environmental Quality  
Division of Water Quality  
195 North 1950 West  
P.O. Box 144870  
Salt Lake City, Utah 84114-4870  
Phone : (801) 536-4300

Form completed by

\_\_\_\_\_  
Sullivan Love

**Part I: SYSTEM AGE**

A. What year was your collection system first constructed (approximately)?

Year   2007  

B. What is the oldest part of your present system?

Oldest part   8   years

**Part II: BYPASSES**

A. Please complete the following table:

Question	Number	Points Earned	Total Points
How many days last year was there a bypass, overflow or basement flooding by untreated wastewater in the system due to rain or snowmelt?	0	0 times = 0 points 1 time = 5 points 2 times = 10 points 3 times = 15 points 4 times = 20 points 5 or more = 25 points	0
How many days last year was there a bypass, overflow or basement flooding by untreated wastewater due to equipment failure? (except plugged laterals)	0	0 times = 0 points 1 time = 5 points 2 times = 10 points 3 times = 15 points 4 times = 20 points 5 or more = 25 points	0
<b>TOTAL PART II =</b>			<b>0</b>

B. The Utah Sewer Management Program defines sanitary sewer overflows into two classes. Below include the number of SSOs that occurred in 2014:

Number of Class 1 SSOs in Calendar year 2014   0  

Number of Class 2 SSOs in Calendar year 2014   0  

*Class 1*- a Significant SSO means a SSO or backup that is not caused by a private lateral obstruction or problem that:

- (a) effects more than five private structures;
- (b) affects one or more public, commercial or industrial structure(s);
- (c) may result in a public health risk to the general public;
- (d) has a spill volume that exceeds 5,000 gallons, excluding those in single private structures; or
- (e) discharges to Waters of the state.

*Class 2* – a Non-Significant SSO means a SSO or backup that is not caused by a private lateral obstruction or problem that does not meet the Class 1 SSO criteria.

**Part II: BYPASSES (cont.)**

C. Please specify whether the SSOs were caused a contract or tributary community, etc.

N/A

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**Part III: NEW DEVELOPMENT**

A. Please complete the following table:

Question	Points Earned	Total Points
Has an industry (or other development) moved into the community or expanded production in the past two years, such that either flow or wastewater loadings to the sewerage system were significantly increased (10 - 20%)?	No = 0 points Yes = 10 points	10
Are there any major new developments (industrial, commercial, or residential) anticipated in the next 2 - 3 years, such that either flow or BOD <sub>5</sub> loadings to the sewerage system could significantly increase (25%)?	No = 0 points Yes = 10 points	10
<b>TOTAL PART III =</b>		<b>20</b>

B. Approximate number of new residential sewer connections in the last year

\_\_\_97\_\_\_ new residential connections

C. Approximate number of new commercial/industrial connections in the last year

\_\_\_3\_\_\_ new commercial/industrial connections

D. Approximate number of new population serviced in the last year

\_\_\_340\_\_\_ new people served

**Part IV: OPERATOR CERTIFICATION**

A. How many collection system operators are currently employed by your facility?

\_\_\_1\_\_\_ collection system operators employed

B. What is/are the name(s) of your DRC operator(s)?

\_\_\_\_\_  
 Sullivan Love  
 \_\_\_\_\_  
 \_\_\_\_\_

C. You are required to have the collection DRC operator(s) certified at **Grade I**

What is the current grade of the DRC operator(s)? \_\_\_Grade I\_\_\_

D. State of Utah Administrative Rules require all operators considered to be in DRC to be appropriately certified. List all the operators in your system by their certification class.

*Not Certified* \_\_\_\_\_  
 Small Lagoons \_\_\_\_\_  
 Collection I 1 \_\_\_\_\_  
 Collection II \_\_\_\_\_  
 Collection III \_\_\_\_\_  
 Collection IV \_\_\_\_\_

E. Please complete the following table:

Question	Points Earned	Total Points
Is/are your DRC operator(s) currently certified at the appropriate grade for this facility? (see C)	Yes = 0 points No = 50 points	0
How many continuing education units has each of the DRC operator(s) completed over the last 3 years?	3 or more = 0 points less than 3 = 10 points	0
<b>TOTAL PART IV =</b>		0

**Part V: FACILITY MAINTENANCE**

A. Please complete the following table:

Question	Points Earned	Total Points
Do you follow an annual preventative maintenance program?	Yes = 0 points No = 30 points	0
Is it written?	Yes = 0 points No = 20 points	20
Do you have a written emergency response plan?	Yes = 0 points No = 20 points	20
Do you have an updated operations and maintenance manual	Yes = 0 points No = 20 points	20
Do you have a written safety plan?	Yes = 0 points No = 20 points	20
<b>TOTAL PART V =</b>		<b>80</b>

**Part VI: SSMP EVALUATION**

A. Has your system completed its Sewer System Management Plan (SSMP)?

Yes \_\_\_\_\_ NO  \_\_\_\_\_

B. If the SSMP has been completed then has the SSMP been public noticed?

No  \_\_\_\_\_ Yes, included date of public notice \_\_\_\_\_

C. Has the SSMP been approved by the permittee's governing body at a public meeting?

Yes \_\_\_\_\_ NO  \_\_\_\_\_

D. During the annual assessment of the operation and maintenance plan were any adjustments needed based on the performance of the plan?

No  \_\_\_\_\_ If yes, what components of the plan were changed (i.e. line cleaning, CCTV inspections and manhole inspections and/or SSO events)

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**Part VI: SSMP EVALUATION (cont.)**

E. During 2014 was any part of the SSMP audited as part of the five year audit?

No  X

If yes, what part of the SSMP was audited and were changed made to the SSMP as a result of the audit? \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

F. Has your system completed its *System Evaluation and Capacity Assurance Plan (SECAP)* as defined by the Utah Sewer Management Program?

Yes  NO

The following are required completion dates that the SSMP and SECAP based on population. The SSMP and SECAP must be public noticed and approved by the permittee's governing body in order to be considered complete.

Program	Population				
	< 2,000	2,000 - 3,500	3,501 – 15,000	15,001 – 50,000	> 50,000
SSMP	3-31-16	3-31-16	9-30-15	3-31-15	9-30-14
SECAP	Optional	9-30-17	9-30-16	3-31-16	9-30-15

**SSMP Signatory Requirement**

I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system designed to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons who manage the system, or those persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.

\_\_\_\_\_  
Signature of Signatory Official

\_\_\_\_\_  
Date

\_\_\_\_\_  
Print Name of Signatory Official

\_\_\_\_\_  
Title

The signatory official is the person authorized to sign permit documents, per R317-8-3.4.

**Part VII: SUBJECTIVE EVALUATION**

***This section should be with the system operators.***

- A. Describe the physical condition of the sewer collection system: (lift stations, etc. included)

The sewer collection system is in excellent shape.

The lift stations are inspected and maintained on a regular basis.

Any needed repairs are completed in a timely manner.

- B. What sewerage system improvements does the community have under consideration for the next 10 years?

There is on-going new construction, with new infrastructure being installed.

There is a new lift station in the planning stages, to be built in the next year.

- C. Explain what problems, other than plugging have you experienced over the last year

There have been no problems with the collection system.

- D. Is your community presently involved in formal planning for system expansion/upgrading? If so explain.

There is extensive planning, engineering and review for the on-going development.

- E. Does the municipality/district pay for the continuing education expenses of operators?

ALWAYS \_\_\_\_\_ SOMETIMES \_\_\_\_\_ NO X \_\_\_\_\_

If they do, what percentage is paid?

approximately \_\_\_\_\_ %



# STATE OF UTAH

## *MUNICIPAL WASTEWATER PLANNING PROGRAM*

### SELF-ASSESSMENT REPORT

FOR

VINEYARD TOWN

2014

