

**NOTICE OF A WORK SESSION WITH STAFF,  
AND A REGULAR MEETING OF  
THE VINEYARD TOWN COUNCIL  
May 27, 2015 at 6:00 pm**

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Public Notice is hereby given that the Vineyard Town Council will hold a Work Session with Staff starting at 6:00 pm (Council is not required to attend), and a Regular Meeting starting at 7:00 pm, on Wednesday, May 27, 2015, in the Vineyard Town Hall; 240 East Gammon Road, Vineyard, Utah. The agenda will consist of the following:

**AGENDA**

**6:00 PM      WORK SESSION WITH STAFF**

**7:00 PM      REGULAR SESSION**

**1. CALL TO ORDER/PRAYER**

**2. CONSENT ITEMS:**

There are no consent items

**3. PLANNING COMMISSION UPDATE AND RECOMMENDATIONS TO THE COUNCIL:** Planning Commission Chair Wayne Holdaway

**4. STAFF REPORT**

- Planner – Nathan Crane
- Public Works Director /Engineer– Don Overson
- Attorney – David Church
- Utah County Sheriff Department – Collin Gordon
- Treasurer – Jacob McHargue
- Town Clerk/Recorder – Pamela Spencer

**5. COUNCILMEMBER'S REPORTS**

**Nate Riley – Mayor Pro-tem April – June**

- Economic Advisory Committee
- Utah Lake Technical Committee

**Dale Goodman – Mayor Pro-tem July – September**

- Public works – Park/Trails/Roads/Buildings
- Planning and Zoning

**Julie Fullmer – Mayor Pro-tem October - December**

- Youth Council
- Branding Committee
- Town Special Events
- Orem Community Hospital Board

**Sean Fernandez – Mayor Pro-tem January – March**

- Timpanogos Special Service District - Board Member
- ULCT Legislative Policy Committee

**6. MAYOR’S REPORT**

- North Pointe Solid Waste Special Service District - Board Member
- Mountainland Association of Governments
- Council of Governments
- Utah Lake Commission
- Economic Development Corporation Utah
- Meetings with Orem

**7. OPEN SESSION: Citizen’s Comments (Please see note below)**

*(15 minutes)*

**8. BUSINESS ITEMS:**

**8.1 PUBLIC HEARING – Water’s Edge Plat 1**

The applicant is seeking approval of their preliminary subdivision plat. The Mayor and Town Council will take appropriate action.

**8.2 PUBLIC HEARING – Rezoning of 1.72 acres from A-1 (Agricultural) to R2-15,000 (Residential)**

The Applicant, Orem City is requesting to rezone 1.72 acres from A-1 (Agricultural) to R2-15,000 (Residential) to allow for a two lot subdivision. Lot one has an existing single family home. Lot 2 will be a future parking lot for the City of Orem Lake Side Park. Review and approval of a conditional use permit will be required prior to construction of the parking lot. The Mayor and Town Council will take appropriate action.

**8.3 PUBLIC HEARING – Site Plan and Conditional Use Permit for a CUWCD Water Chlorination Facility**

The applicant, Central Utah Water Conservancy District is requesting a site plan approval for a water chlorination facility on Lot 6 of the East Lake Industrial Business Park Phase 2 Amended. There are two buildings as follows: A 2,851 square foot Control Building and a 2,873 square foot chlorine building. The building height is 40 feet. A six foot concrete fence surrounds the site. The Mayor and Town Council will take appropriate action.

**8.4 DISCUSSION AND ACTION – Dedication of Right-of-Way New Vineyard Road *(10 minutes)***

The applicant is proposing to dedicate the public right of way for the New Vineyard Road alignment. This will allow the road design and construction to proceed while the development plans for Pod 1 are finalized. (this item was postponed from the May 13, 2015 meeting. The Mayor and Town Council will take appropriate action.

**8.5 DISCUSSION – Economic Development Director**

*(10 minutes)*

The Mayor and Town Council will discuss the aspects of hiring an Economic Development Director.

**9. ITEMS REQUESTED FOR NEXT AGENDA**

**10. CLOSED SESSION**

The Mayor and Town Council pursuant to Utah Code 52-4-205 may vote to go into a closed session for the purpose of:

- (a) discussion of the character, professional competence, or physical or mental health of an individual
- (b) strategy sessions to discuss collective bargaining
- (c) strategy sessions to discuss pending or reasonably imminent litigation
- (d) strategy sessions to discuss the purchase, exchange, or lease of real property
- (e) strategy sessions to discuss the sale of real property

## 11. ADJOURNMENT

This meeting may be held electronically to allow a councilmember to participate by teleconference.

Next regularly scheduled meeting is June 10, 2015

NOTE: “**Open Session**” is defined as time set aside for citizens to express their views. Each speaker is limited to three minutes. Because of the need for proper public notice, immediate action will **not** be taken in the Council Meeting. If action is necessary, the item will be listed on a future agenda, however, the Council may elect to discuss the item if it is an immediate matter of concern.

The Public is invited to participate in all Town Council meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the Town Clerk at least 24 hours prior to the meeting by calling (801) 226-1929.

I the undersigned duly appointed Recorder for the Town of Vineyard, hereby certify that the foregoing notice and agenda was emailed to the Daily Herald, posted at the Vineyard Town Hall, the Vineyard Town website, the Utah Public Notice website, delivered electronically to Town staff and to each member of the Governing Body.

**AGENDA NOTICING COMPLETED ON:** May 26, 2015 at 4:30 PM

**CERTIFIED (NOTICED) BY:** /s/ Pamela Spencer  
**P. SPENCER, TOWN CLERK/RECORDER**



# Community Development

**SUBJECT:** Preliminary Plat for Phase 1 of the Water's Edge Subdivision

**MEETING DATE:** May 27, 2015

**TO:** Planning Commission

**FROM:** Nathan Crane, Town Planner

**REQUEST:** Preliminary Plat Approval for Phase 1 of the Water's Edge Subdivision

**PARCEL SIZE:** 53.10 acres

**LOCATION:** Center Street and New Vineyard Road

**APPLICANT:** Peter Evans

**OWNER:** Flagship Homes

**BACKGROUND:**

The property is designated as Low Density Residential (1-2.5 du/ac) on the General Plan Land Use Map. The property is zoned WatersEdge Zoning District. The WatersEdge Zoning District was approved in June of 2014. This request includes the following planning areas B5, B6, and B7.

Preliminary plat approval is an administrative process.

**SUMMARY OF REQUEST:**

1. The proposed preliminary plat includes 227 lots. The average lot size is 7,593 square feet.

Approved Zoning			Proposed Preliminary Plat	
Planning Area	# of Lots	Min. Lot Size	# of Lots	Min. Lot Size
B5	131	5,400 sqft	116	5,400 sqft
B7	126	6,500 sqft	111	6,500 sqft

2. Planning area B6 was approved with a trail and clubhouse. The area was 2.6 acres. The proposed area is 3.42 acres. This area will also serve as detention. The plat also includes the enhanced landscaping along New Vineyard Road.

3. Vehicle and utility access to the site is provided from New Vineyard Road which is under construction. All roads within the project are public.
4. The project will be developed in phases. Each phase will require separate final plat approval.

**CITIZEN PARTICIPATION:**

Public notifications and public hearings are not required for preliminary or final plat applications.

**ANALYSIS:**

- The preliminary plat is consistent with the approved WatersEdge Zoning District. This includes the number and size of lots, circulation system, open space, and amenities.
- House products for this subdivision have not been submitted yet. They will be approved by staff sometime in the future. All house products will comply with the architectural standards in the WatersEdge Zoning District.
- All roads will comply with the Town's standard cross section.
- The perimeter theme wall will be a six-foot concrete wall and will be located along New Vineyard Road. A six foot clear view fence will be located adjacent open space areas.

**FINDINGS:**

With the proposed stipulations, the proposed plat meets the following findings:

- It is in conformance with the General Plan, Zoning Ordinance, WatersEdge Zoning District, and Subdivision Regulations.

**PLANNING COMMISSION ACTION:**

The Planning Commission held a public meeting on May 20, 2015 and voted 4-0 to recommend approval of the preliminary plat subject to the following stipulations:

1. The final plat shall conform to the preliminary plat dated stamped May 15, 2015 except as modified by these stipulations.
2. Prior to final plat approval, the street names and addressing shall be approved by the Town Engineer and Town Planner.
3. All street right of way and improvements shall be dedicated as required by the Town Engineer.
4. The final plat and final landscape plans shall be revised as determined by the Town Engineer and Town Planner.

5. The final plat shall not be recorded until the construction of the Vineyard Road is completed.

**RECOMMENDATION:**

Staff recommends that the Town Council **APPROVE** the preliminary plat subject to the five stipulations recommended by the Planning Commission.

**PROPOSED MOTION:**

I move that the Town Council accept the findings and **APPROVE** the preliminary plat subject to the five stipulations recommended by the Planning Commission.

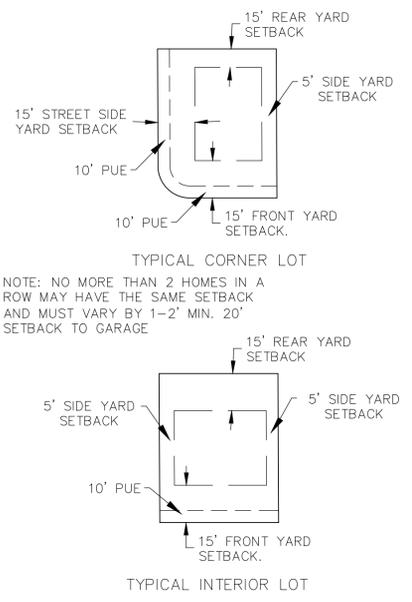
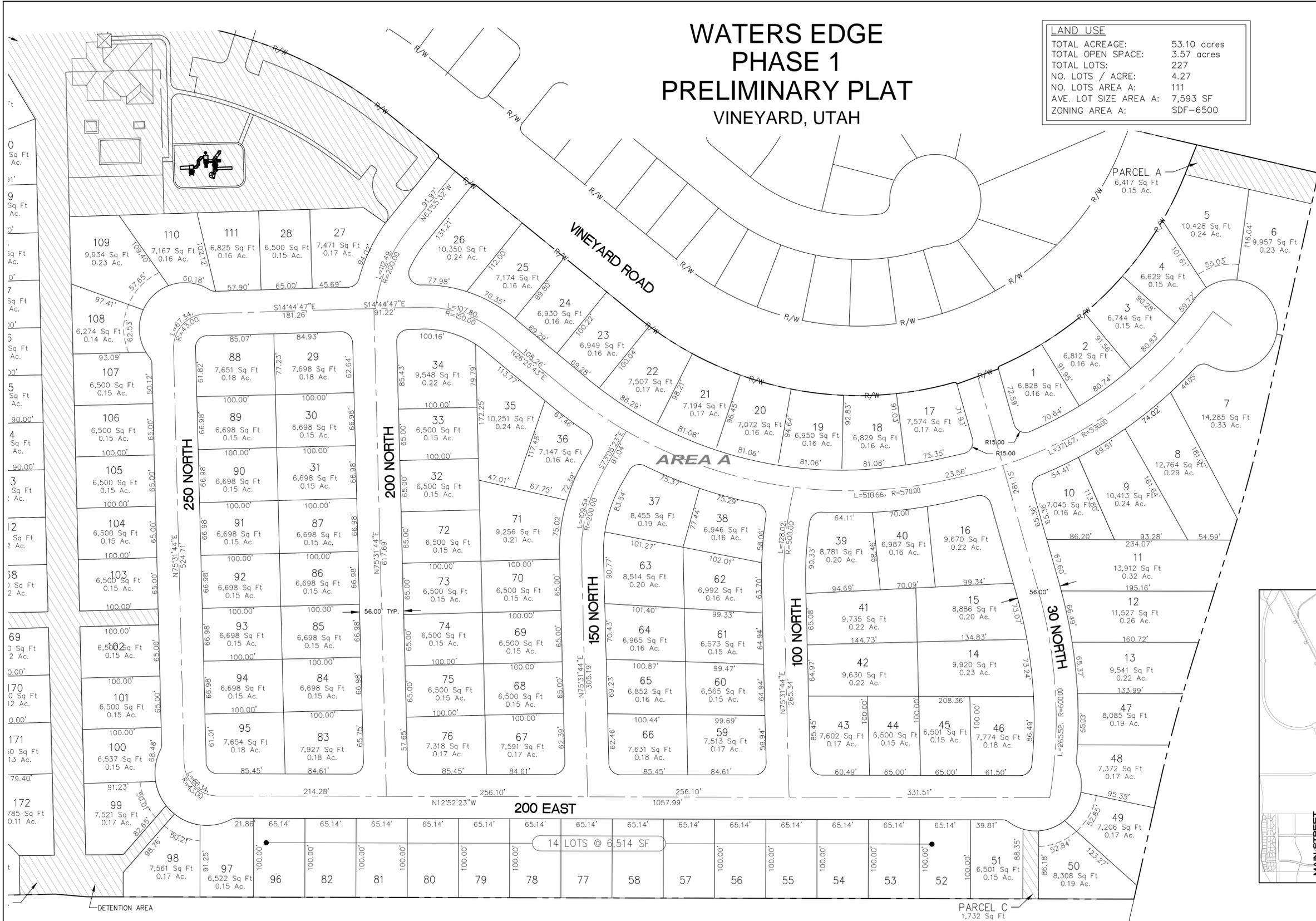
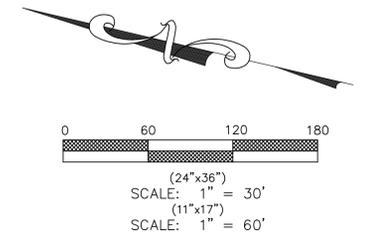
**ATTACHMENTS:**

Exhibit A – Preliminary Plat and Landscape Plan

Exhibit B – WatersEdge Development Plan

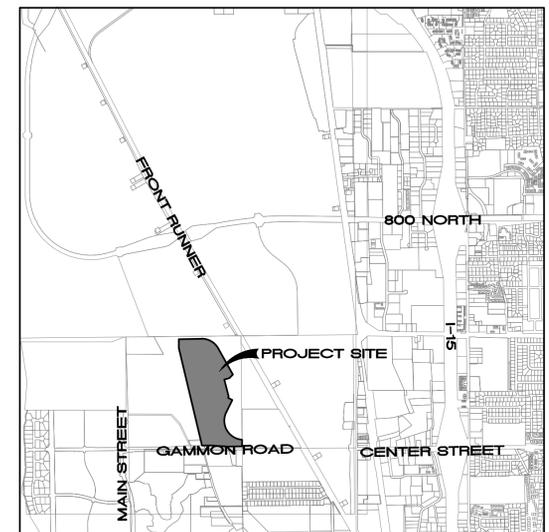
# WATERS EDGE PHASE 1 PRELIMINARY PLAT VINEYARD, UTAH

LAND USE	
TOTAL ACREAGE:	53.10 acres
TOTAL OPEN SPACE:	3.57 acres
TOTAL LOTS:	227
NO. LOTS / ACRE:	4.27
NO. LOTS AREA A:	111
AVE. LOT SIZE AREA A:	7,593 SF
ZONING AREA A:	SDF-6500



TYPICAL CORNER LOT  
NOTE: NO MORE THAN 2 HOMES IN A ROW MAY HAVE THE SAME SETBACK AND MUST VARY BY 1-2' MIN. 20' SETBACK TO GARAGE

TYPICAL INTERIOR LOT  
ZONE SDF 6500  
SETBACK AND EASEMENT DETAIL



VICINITY MAP  
NTS

REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY
1				TGT
2				TJT
3				TGT
4				5/12/2015
				DATE
				CDGD FILE

**TRANE ENGINEERING, P.C.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

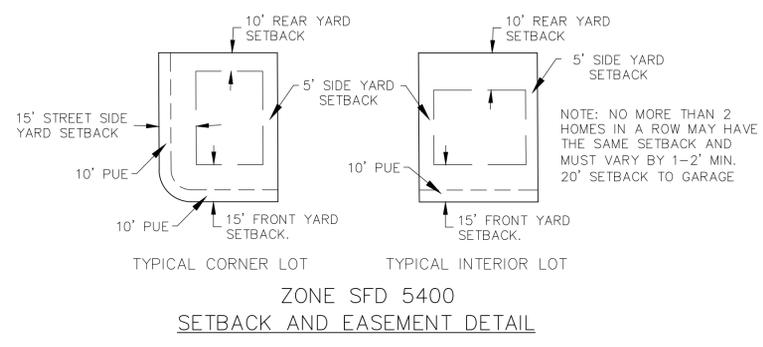
VINEYARD, UTAH

WATERS EDGE  
PHASE 1

OVERALL PRELIMINARY PLAT

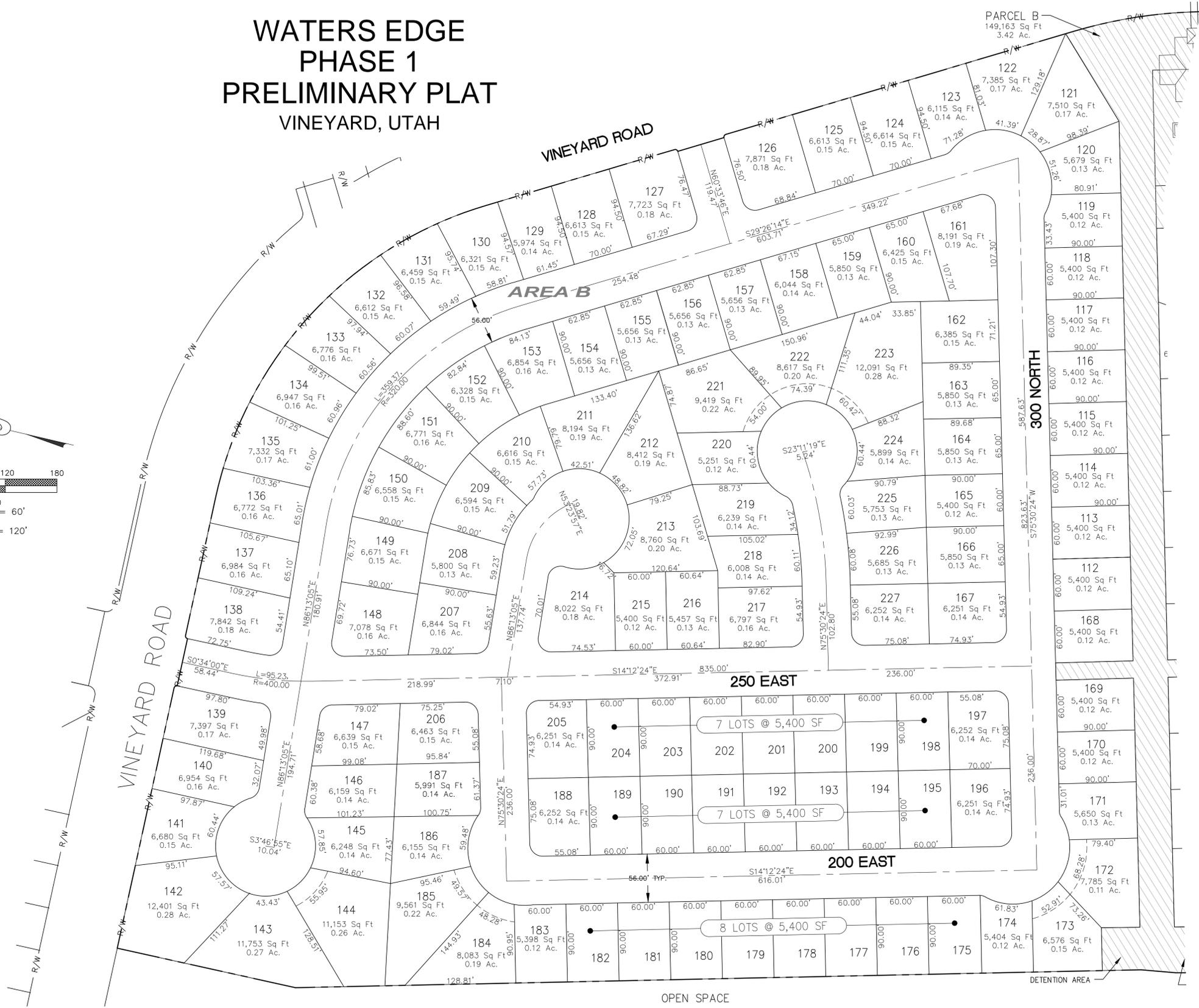
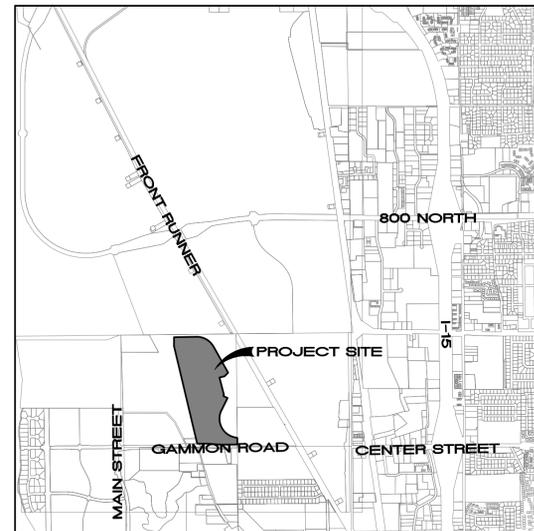
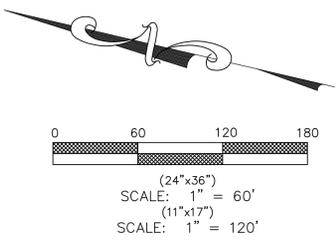
JOB  
GIFFORD  
SHEET NO.  
1 OF 4

# WATERS EDGE PHASE 1 PRELIMINARY PLAT VINEYARD, UTAH



LAND USE	
TOTAL ACREAGE:	53.10 acres
TOTAL OPEN SPACE:	3.57 acres
TOTAL LOTS:	227
NO. LOTS / ACRE:	4.27
NO. LOTS AREA B:	116
AVE. LOT SIZE AREA B:	6,453 SF
ZONING AREA B:	SDF-5400

**DEVELOPER**  
 FLAGSHIP HOMES  
 170 SOUTH INTERSTATE PLAZA  
 SUITE 250  
 LEHI, UT 84043



REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY
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2				TJT
3				TGT
4				5/12/2015
				CDGD FILE
J:\GIFFORD\WINEYARD NORTH\DWG\PHASE1\PH1 PRELIMINARY PLAT				

**TRANE ENGINEERING, P.C.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

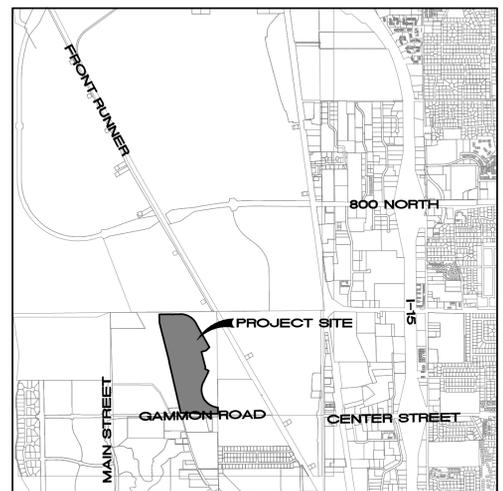
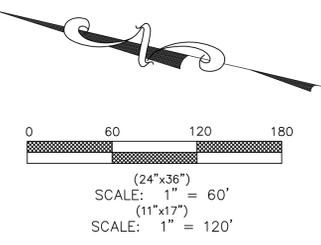
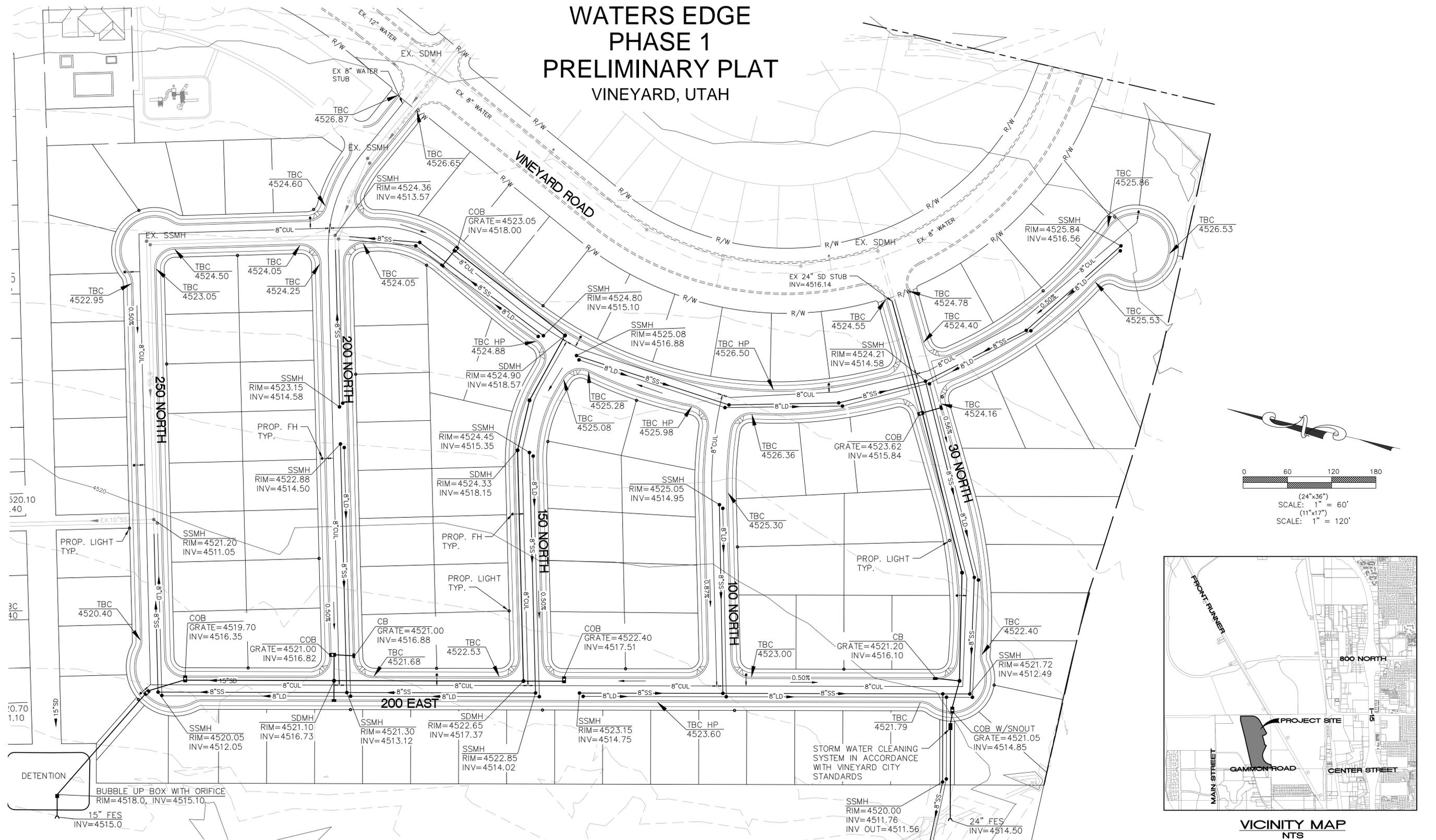
VINEYARD, UTAH

*WATERS EDGE  
PHASE 1*

OVERALL PRELIMINARY PLAT

JOB  
GIFFORD  
SHEET NO.  
2 OF 4

# WATERS EDGE PHASE 1 PRELIMINARY PLAT VINEYARD, UTAH



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
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**TRANE ENGINEERING, P.C.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

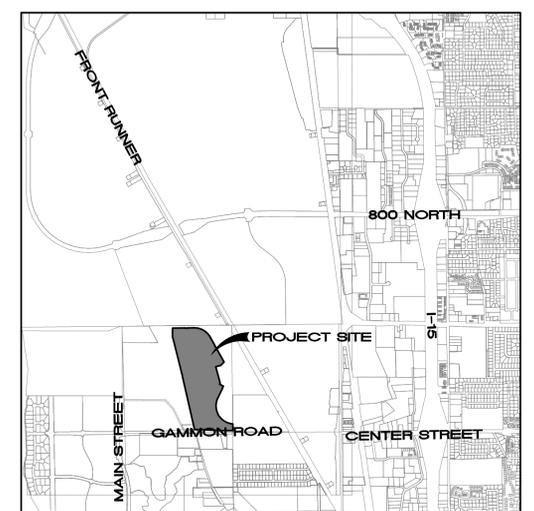
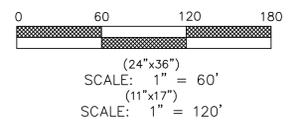
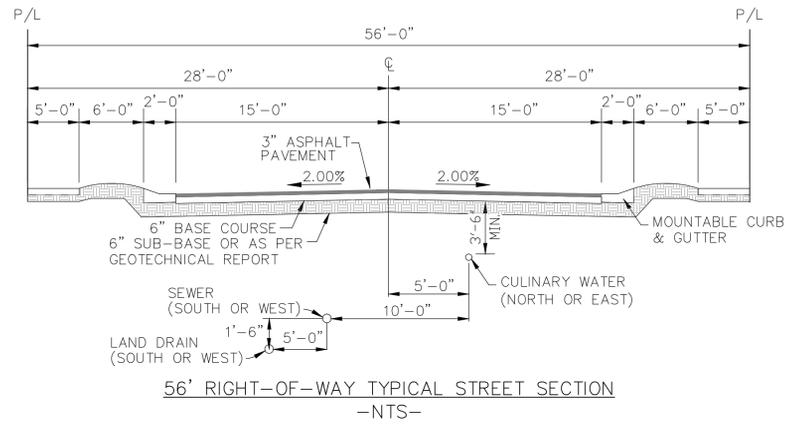
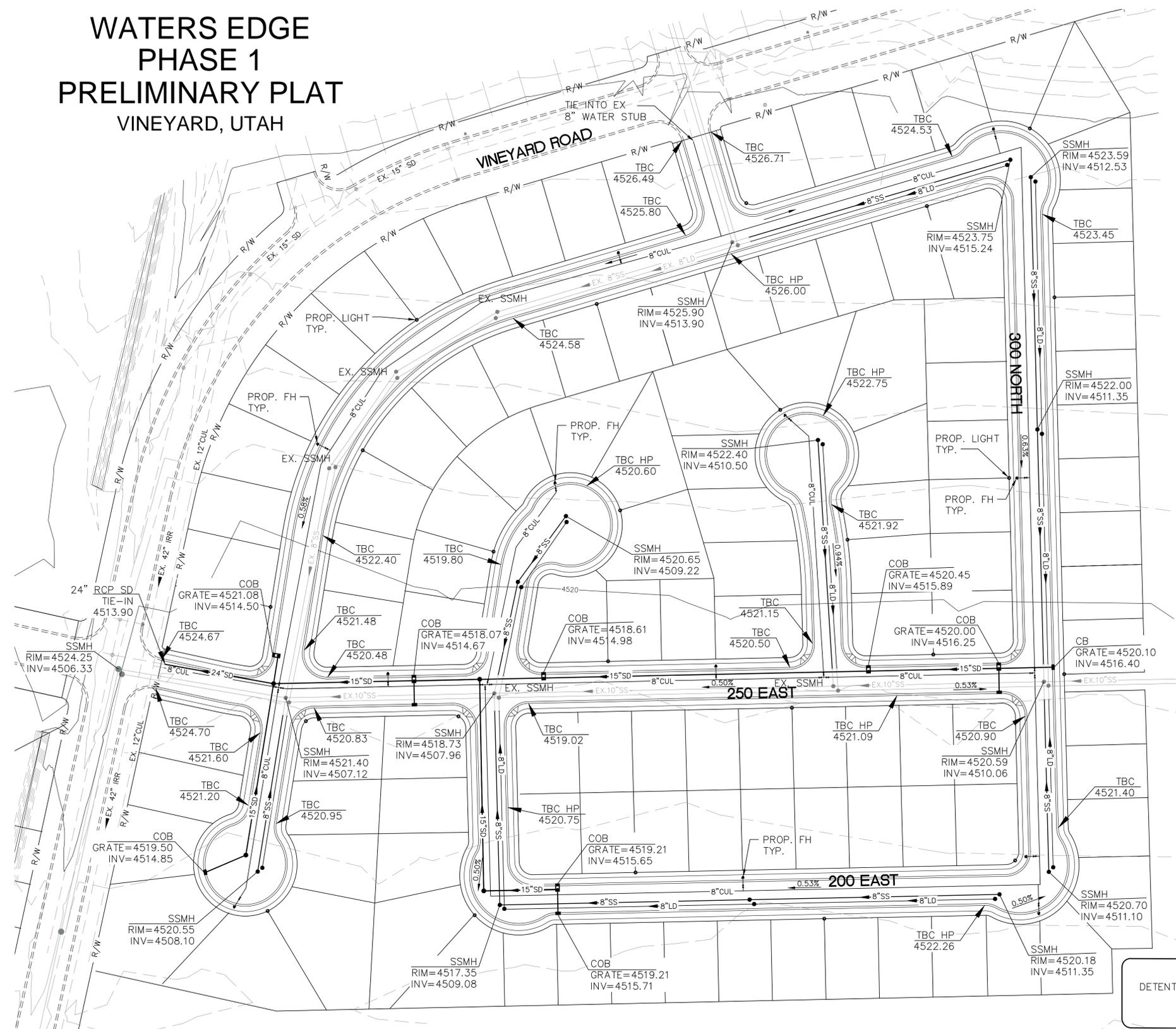
VINEYARD, UTAH

WATERS EDGE  
 PHASE 1

PRELIMINARY UTILITY/GRADING

JOB  
 GIFFORD  
 SHEET NO.  
 3 OF 4

# WATERS EDGE PHASE 1 PRELIMINARY PLAT VINEYARD, UTAH



VICINITY MAP  
NTS

REVISIONS				
NO.	DATE	DESCRIPTION	BY	DESIGNED BY:
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3				TGT
4				05/12/2015
J:\GIFFORD\WINEYARD_NORTH			COGD FILE:	

**TRANE ENGINEERING, P.C.**  
CONSULTING ENGINEERS AND LAND SURVEYORS  
27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

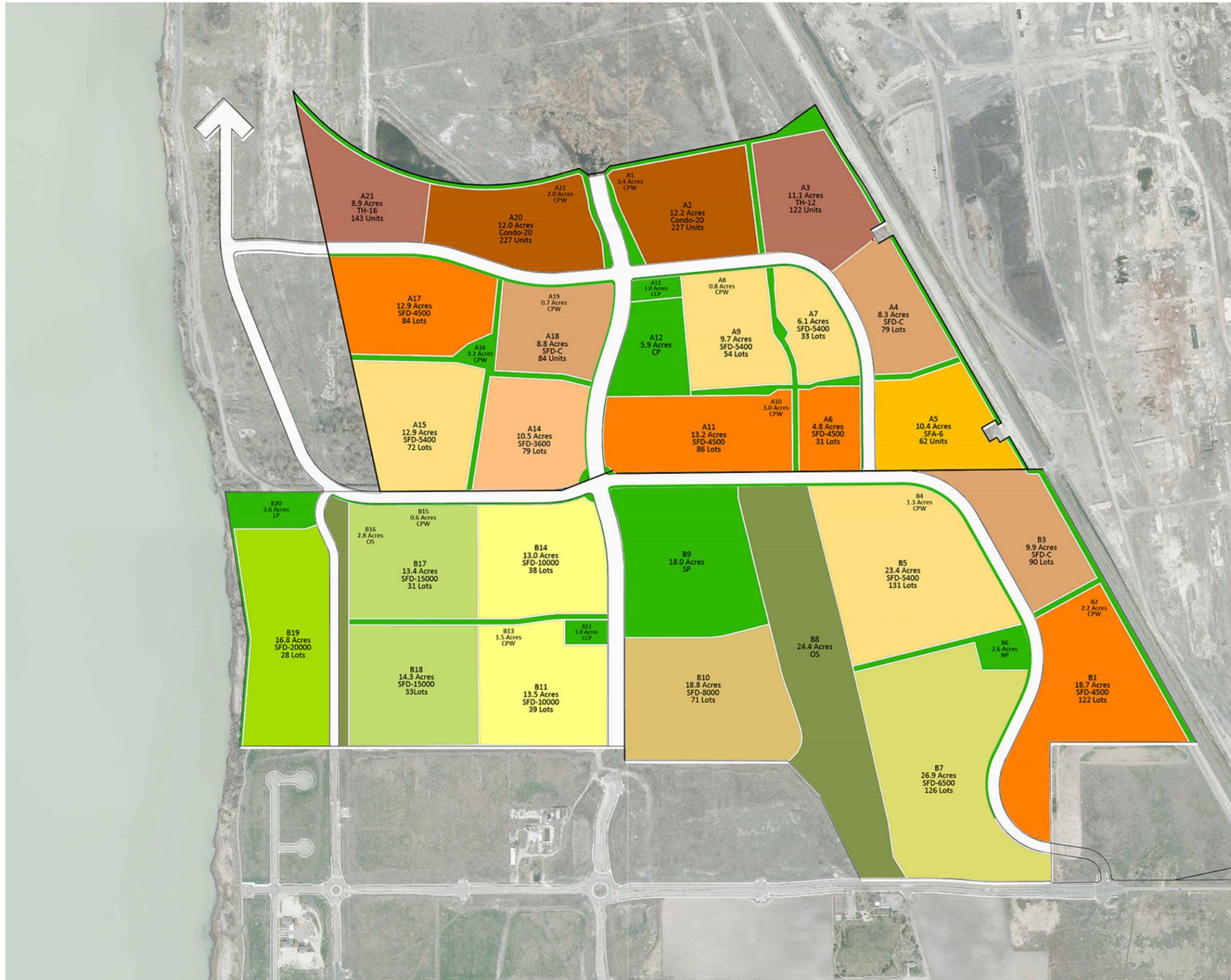
VINEYARD, UTAH

WATERS EDGE  
PHASE 1

PRELIMINARY UTILITY/GRADING

JOB  
GIFFORD  
SHEET NO.  
4 OF 4

# WatersEdge



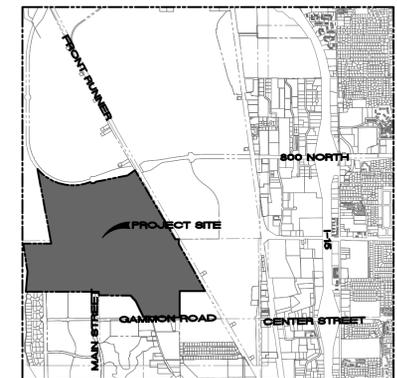
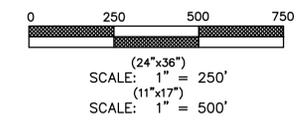
Planning Area	Acres	Land Uses	Open Space	Density (DU/Acre)	Lots / Units
A1	3.4	Community Parkway	3.4		
A2	12.2	Condo-20		18.6	227
A3	11.1	TH-12		11.0	122
A4	8.3	SFD-C		9.5	79
A5	10.4	SFA-6		6.0	62
A6	4.8	SFD-4500		6.5	31
A7	6.1	SFD-5400		5.4	33
A8	0.8	Community Parkway	0.8		
A9	9.7	SFD-5400		5.6	54
A10	3.0	Community Parkway	3.0		
A11	13.2	SFD-4500		6.5	86
A12	5.9	Community Park	5.9		
A13	1.0	Community Center Park	1.0		
A14	10.5	SFD-3600		7.5	79
A15	12.9	SFD-5400		5.6	72
A16	3.2	Community Parkway	3.2		
A17	12.9	SFD-4500		6.5	84
A18	8.8	SFD-C		9.5	84
A19	0.7	Community Parkway	0.7		
A20	12.0	Condo-20		18.9	227
A21	8.9	TH-17		17.0	151
A22	2.0	Community Parkway	2.0		
<b>Subtotal</b>	<b>159.8</b>		<b>18.0</b>		<b>1,391</b>
Streets	15.0				
<b>Total</b>	<b>174.8</b>		<b>18.0</b>	<b>8.0</b>	<b>1,391</b>
Planning Area	Acres	Land Uses	Open Space	Density (DU/Acre)	Lots / Units
B1	18.7	SFD-4500		6.5	122
B2	2.2	Community Parkway	2.2		
B3	9.9	SFD-C		9.0	90
B4	1.3	Community Parkway	1.3		
B5	23.4	SFD-5400		5.6	131
B6	2.6	Neighborhood Park	2.6		
B7	26.9	SFD-6500		4.7	126
B8	24.4	Open Space	24.4		
B9	18.0	Sports Park	18.0		
B10	18.8	SFD-8000		3.8	71
B11	13.5	SFD-10000		2.9	39
B12	1.0	Community Center Park	1.0		
B13	1.5	Community Parkway	1.5		
B14	13.0	SFD-10000		2.9	38
B15	0.6	Community Parkway	0.6		
B16	2.8	Open Space	2.8		
B17	13.4	SFD-15000		2.3	31
B18	14.3	SFD-15000		2.3	33
B19	16.8	SFD-20000		1.7	28
B20	3.6	Lake Park	3.6		
<b>Subtotal</b>	<b>226.7</b>		<b>57.9</b>		<b>709</b>
Streets	17.4				
<b>Total</b>	<b>244.1</b>		<b>57.9</b>	<b>2.9</b>	<b>709</b>
<b>Overall Subtotal</b>	<b>385.5</b>		<b>75.9</b>		<b>2,100</b>
Overall Streets	32.4				
<b>Overall Total</b>	<b>418.9</b>		<b>75.9</b>	<b>5.0</b>	<b>2,100</b>

Figure 3  
WatersEdge Master Planned Community

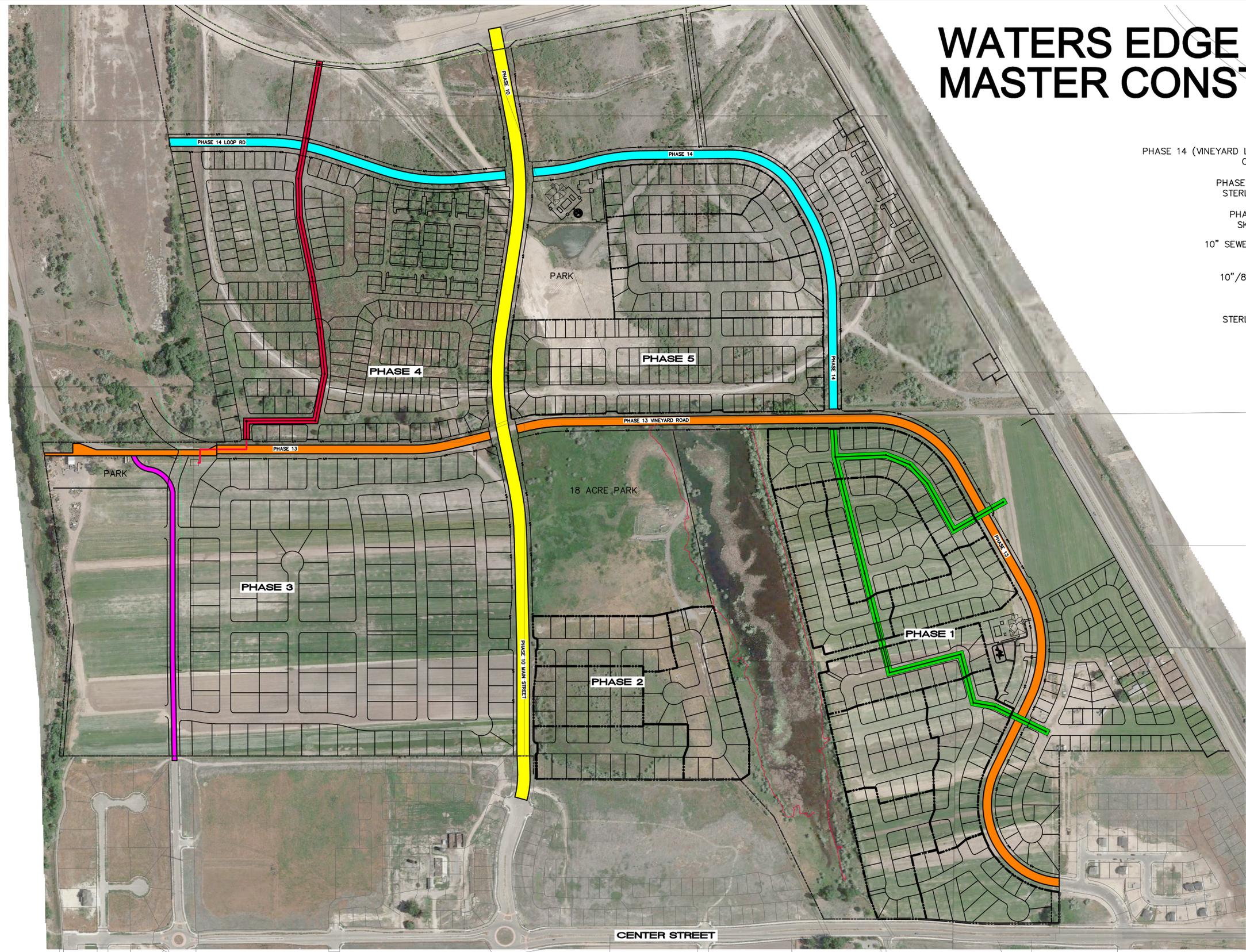
## conceptual master plan

# WATERS EDGE AT VINEYARD MASTER CONSTRUCTION

- PHASE 14 (VINEYARD LOOP RD SURCHARGE)  
CRESCENT EXCAVATION
- PHASE 13 (VINEYARD ROAD)  
STERLING DON EXCAVATION
- PHASE 10 (MAIN STREET)  
SKIP DUNN EXCAVATING
- 10" SEWER FROM LIFT STATION  
TBD
- 10" / 8" SEWER FOR FUTURE  
TBD
- TEMPORARY ROAD  
STERLING DON EXCAVATION



VICINITY MAP  
NTS



REVISIONS			
NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			

**TRANE ENGINEERING, P.C.**  
 CONSULTING ENGINEERS AND LAND SURVEYORS  
 27 EAST MAIN LEHI, UTAH 84043 (801) 768-4544

VINEYARD, UTAH

*WATER'S EDGE*

CONSTRUCTION MASTER PLAN

JOB  
GIFFORD  
SHEET NO.  
1



## Community Development

**SUBJECT:** PUBLIC HEARING AND ORDINANCE –  
Rezoning of 1.72 acres from A-1  
(Agricultural) to R2-15,000 (Residential)

**MEETING DATE:** May 27, 2015

**TO:** Town Council  
**FROM:** Nathan Crane, Town Planner

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**REQUEST:** Rezoning of 1.72 Acres from A-1 (Agricultural) to R2-15,000 (Residential)  
**PARCEL SIZE:** 1.72 acres  
**LOCATION:** 1908 West 400 South  
**APPLICANT:** City of Orem  
**OWNER:** City of Orem

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**BACKGROUND:**

The property is designated as Low Density Residential (1-2.5 du/ac) on the General Plan Land Use Map. The property is zoned A-1 (Agricultural). A request for preliminary plat approval is being considered as a separate agenda item.

The minimum lot size in the A-1 District is 40 acres. The minimum lot size in the R-2-15,000 District is 15,000 square feet.

**SUMMARY OF REQUEST:**

1. The request is to rezone 1.72 acres from A-1 (Agricultural) to R2-15,000 (Residential) to allow for a two lot subdivision. Lot one has an existing single family home. Lot 2 will be a future parking lot for the City of Orem Lake Side Park. Review and approval of a conditional use permit will be required prior to construction of the parking lot.
2. Access to the site is provided from 400 South.

**CITIZEN PARTICIPATION:**

A notice of the Planning Commission hearing of May 20, 2015 was published in the Daily Herald.

Letters were mailed to the surrounding property owners. No comments have been received to date.

A notice of the Town Council hearing of May 27, 2015 was published in the Daily Herald. Letters were mailed to the surrounding property owners. No comments have been received to date.

**ANALYSIS:**

- The property is designated as Low Density Residential (1-2.5 du/ac). The proposed rezoning is consistent with the General Plan.
- The property to the north and east is the Lake Side Park. The property to the west is existing single family residential. The property to south is a single family residential subdivision under construction. The proposed rezoning is compatible with the surrounding uses.
- Review and approval of a conditional use permit is required prior to construction of the parking lot.

**FINDINGS:**

The proposed rezoning meets the following findings:

- The proposed rezone is in substantial conformance with the General Plan.
- The proposed rezone will result in compatible land use relationships.
- Adequate access and infrastructure will be provided.

**PLANNING COMMISSION ACTION:**

The Planning Commission held a public hearing on May 20, 2015 and voted 6-0 to recommend approval of the proposed rezoning.

**RECOMMENDATION:**

Staff recommends that the Town Council **APPROVE** the rezoning as recommended by the Planning Commission.

**PROPOSED MOTION:**

I move that the Town Council accept the findings and **ADOPT** the ordinance rezoning 1.72 acres from A-1 (Agricultural) to R-2-15,000 (Residential) as recommended by the Planning Commission.

**ATTACHMENTS:**

Exhibit A – Ordinance

**ORDINANCE NO. 2014-13**

AN ORDINANCE OF THE COUNCIL OF THE TOWN OF VINEYARD, UTAH, AMENDING  
THE TOWN OF VINEYARD ZONING MAP, REZONING 1.72 ACRES FROM A-1  
(AGRICULTURAL) TO R-2-15,000 9 (RESIDENTIAL).

**WHEREAS**, all due and proper notices of public hearings on this Ordinance held before the Town of Vineyard Planning Commission (the "Commission") and the Council of the Town of Vineyard (the "Council") were given in the time, form, substance and manner provided Utah Code Section 10-9a-204;

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE TOWN OF VINEYARD as follows:

SECTION 1. That the Town of Vineyard Zoning Map is hereby amended to rezone 1.72 acres from A-1 (Agricultural) to the R-2-15,000 (Residential) Zoning District particularly depicted in Exhibit A, attached hereto and incorporated herein by reference.

SECTION 2. That the Mayor, the Town Recorder, and the Town Attorney are hereby authorized and directed to execute all documents and take all steps necessary to carry out the purpose of this Ordinance.

SECTION 3. If any provision of this Ordinance is for any reason held by any court of competent jurisdiction to be unenforceable, such provision or portion hereof shall be deemed separate, distinct, and independent of all other provision and such holding shall not affect the validity of the remaining portions of this Ordinance.

**PASSED AND ADOPTED** by the Council of the Town of Vineyard, May 27, 2015.

\_\_\_\_\_  
Randy Farnworth, Mayor

ATTEST:

\_\_\_\_\_  
Pam Spencer, Town Recorder

Those voting aye:

Those voting nay:

Exhibit A

Rotate  $+0^{\circ}00'20"$  ( $+0^{\circ}00'56"$ )

Commencing at a point located North  $89^{\circ}34'05"$  East along the Section line 573.53 feet and North 20.13 feet from the South Quarter Corner of Section 17, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence North 120.83 feet; thence North  $47^{\circ}27'00"$  West 107.91 feet; thence North 184.23 feet to a point on the boundary line of Plat "D", Lake Park Subdivision; thence North  $89^{\circ}48'32"$  East along said boundary line 227.87 feet; thence South  $00^{\circ}46'20"$  East along said boundary line 378.83 feet; thence West 153.48 feet to the point of beginning.



## COMMUNITY DEVELOPMENT

**SUBJECT:** Site Plan and Conditional Use Permit for a  
CUWCD Water Chlorination Facility

**MEETING DATE:** May 27, 2015

**TO:** Town Council

**FROM:** Nathan Crane, Town Planner

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**REQUEST:** Approval of a site plan and conditional use permit for the Central Utah Water Conservancy District (CUWCD) Water Chlorination Facility.

**PARCEL SIZE:** 26.9 Acres

**LOCATION:** West Terminus of 1600 North

**APPLICANT:** CUWCD

**OWNER:** CUWCD

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### BACKGROUND:

The property is designated General Industrial on the General Plan land use map. The property is zoned I-1 (Industrial). The final plat for East Lake Industrial Business Park Phase 1 was approved by the Council on May 14, 2008.

Site plan and conditional use permit approval are administrative actions.

### SUMMARY OF REQUEST:

1. The applicant is requesting a site plan approval for a water chlorination facility on Lot 6 of the East Lake Industrial Business Park Phase 2 Amended. There are two buildings as follows: A 2,851 square foot Control Building and a 2,873 square foot chlorine building. The building height is 40 feet. A six foot concrete fence surrounds the site.
2. Access to the site is proposed 1600 North which is a private road.
3. Culinary water and sanitary sewer is provided through connections to the existing system in 1600 North.

### CITIZEN PARTICIPATION:

A notice of the Planning Commission public hearing was published in the Daily Herald on May 10, 2015. Notice of the public hearing was also sent to all property owners within 300 feet of the property on May 11, 2015. No comments have been received.

#### **SITE PLAN ANALYSIS:**

##### *General Plan and Zoning*

- The site is designated as General Industrial on the Town of Vineyard General Plan. The type and scale of the proposed development is consistent with the General Plan and the I-1 Zoning District.

##### *Access, Circulation, and Parking*

- The proposed access provides adequate access to the site. All street improvements have been completed.
- The proposed site plan includes adequate parking for the use.

##### *Landscaping*

- A preliminary landscape plan has been provided. Due to the nature of the use landscaping is only included at the entrance of the site.

##### *Building Materials, Colors, and Design*

- The proposed architecture meets the intent of the building design requirements in Chapter 18 of the Town of Vineyard Zoning Ordinance.

#### **CONDITIONAL USE PERMIT:**

The Town Council must determine that the proposed use meets six standards prior to granting a Conditional Use Permit. The burden of proof rests with the applicant. Each standard is presented below along with staff's analysis.

##### **1. The proposed use is an allowed Conditional Use within the Zoning District.**

The subject property is designated as General Industrial on the Land Use Map and is zoned I-1 (Industrial). The I-1 Zoning District allows manufacturing, compounding, processing, packaging of good materials subject to site plan and conditional use permit approval by the Town Council. The proposed use is consistent with the General Industrial Land Use category and is permitted in the I-1 District subject to a conditional use permit.

- 2. The proposed Conditional Use and the accompanying site plan complies with all requirements of the Zoning District, as applicable, including minimum area, front, rear and side-yard setbacks, building and structure height, and all other requirements applicable in the Zoning District.**

The proposed site plan is appropriate for the proposed use.

- 3. Complies with all Site Plan requirements as may be applicable, as provided herein.**

See discussion in standard #2.

- 4. Complies with all applicable dedication requirements of the Town and provides the necessary infrastructure, as required.**

All required dedications were provided at the time of final plat approval.

- 5. The proposed Conditional Use meets, and will be conducted in compliance with the requirements of this Ordinance, all other applicable Land Use Ordinances, and all applicable Federal, State, or Local requirements.**

The proposed use will be conducted in compliance with the requirements of the Zoning Ordinance. The construction plans will be reviewed by staff to ensure compliance with all other requirements including, but not limited to the Building Code and Town of Vineyard Public Improvement Standards.

- 6. The property on which the Conditional Use is proposed is of adequate size to permit the conduct of the proposed Conditional Use in a manner that will not be detrimental to adjoining and surrounding properties.**

The proposed use will complement and be compatible with the existing and future development on nearby properties. It will not generate excessive traffic, light, or noise.

#### **FINDINGS:**

The proposed site plan meets the following findings:

- It is in conformance with the General Plan.
- It satisfies the minimum requirements of the Town of Vineyard Zoning Ordinance.
- The proposed conditional use meets the required standards for approval.

#### **PLANNING COMMISSION ACTION:**

The Planning Commission held a public hearing on May 20, 2015 and voted 4-0 to recommend approval of the conditional use permit subject to the following stipulations:

1. The site plan shall conform to the site plan, elevations, and landscape plan dated May 8, 2015 except as modified by these stipulations.
2. In accordance with Section 1416 of the Town of Vineyard Zoning Ordinance, the approval of the site plan shall expire in (180) days if a building permit has not been issued.
3. In accordance with Section 1514 of the Town of Vineyard Zoning Ordinance, the approval of the conditional use permit shall expire in (180) days if a building permit has not been issued.
4. The civil construction drawings shall meet all requirements as determined by the Town Engineer.

**RECOMMENDATION:**

The Town Council should **APPROVE** the site plan and conditional use permit subject to the four stipulations recommended by the Planning Commission.

**PROPOSED MOTION:**

I move that the Town Council accept the findings **APPROVE** the request for site plan and conditional use permit for the CUWCD Chlorination Facility in the I-1 district subject to the four stipulations recommended by the Planning Commission.

**ALTERNATIVE MOTION:**

I move that the Town Council **DENY** the site plan and conditional use permit based on the following findings: (The Commission should draft appropriate findings.)

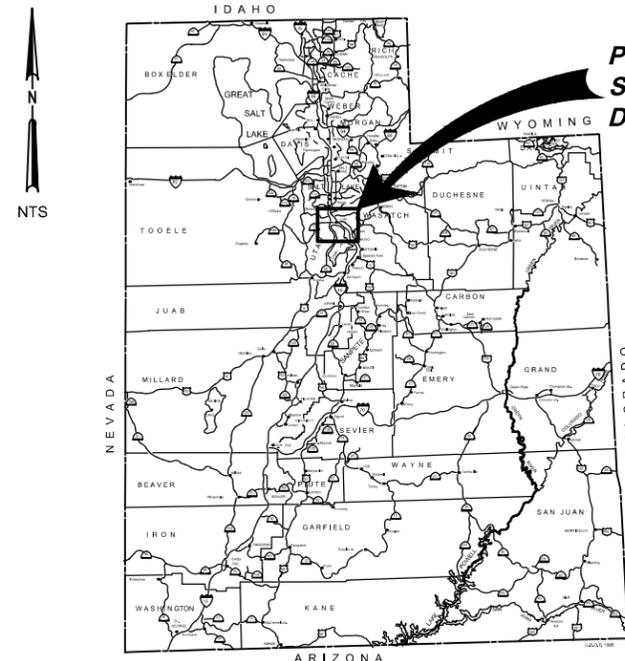
**ATTACHMENTS:**

- Exhibit A – Site Plan
- Exhibit B – Landscape Plan
- Exhibit C – Building Elevations
- Exhibit D – Color Elevations
- Exhibit E – Narrative

# CWP CHLORINATION FACILITIES

VOLUME 2 - DRAWINGS  
APRIL 2015

## VINEYARD SITE PLAN APPLICATION REVIEW



PROJECT LOCATION  
SEE VICINITY MAP  
DWG 00-G-2

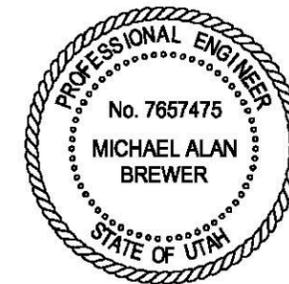


**CENTRAL UTAH WATER**  
CONSERVANCY DISTRICT

RECOMMENDED: \_\_\_\_\_ DATE  
MICHAEL A. BREWER, RCE 7657475  
PROJECT MANAGER  
CH2MHILL

APPROVED: \_\_\_\_\_ DATE  
CORT LAMBSON, RCE 171798  
PROJECT MANAGER  
CENTRAL UTAH WATER CONSERVANCY DISTRICT

APPROVED: \_\_\_\_\_ DATE  
DAVID O. PITCHER, RCE 169469  
CHIEF ENGINEER / ASSISTANT GENERAL MANAGER  
CENTRAL UTAH WATER CONSERVANCY DISTRICT



VICINITY MAP

# CENTRAL UTAH WATER CONSERVANCY DISTRICT

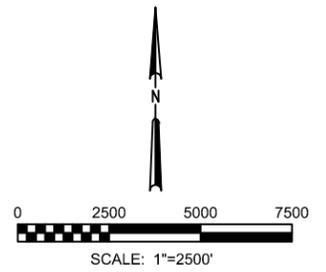
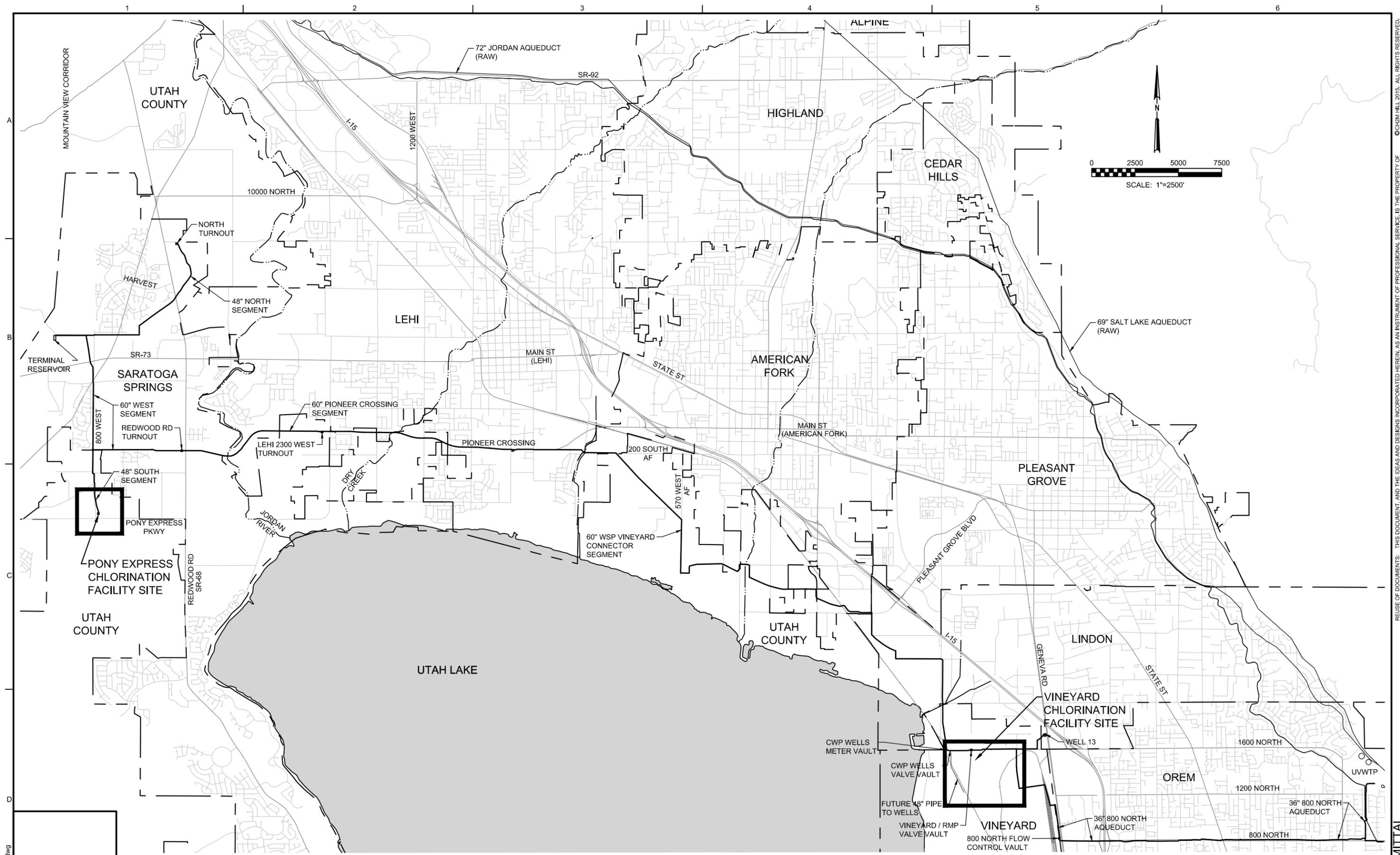
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CWP - CHLORINE FACILITIES  
**GENERAL**  
 VICINITY MAP AND OVERALL KEY PLAN

SHEET	
DWG	00-G-2
DATE	APRIL 2015
PROJ	199815

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**GENERAL NOTES**

**DRAWING LIST**

SHEET NO.	DWG NO.	SHEET TITLE/DESCRIPTION	SHEET NO.	DWG NO.	SHEET TITLE/DESCRIPTION	SHEET NO.	DWG NO.	SHEET TITLE/DESCRIPTION
<b>GENERAL</b>			<b>INSTRUMENTATION AND CONTROLS</b>			<b>ELECTRICAL</b>		
00-G-1		COVER SHEET	10-I-1		PROCESS FLOW DIAGRAM 1 - CHLORINE STORAGE ROOM	20-E-1		OVERALL SITE PLAN
00-G-2		VICINITY MAP AND OVERALL KEY PLAN	10-I-2		PROCESS FLOW DIAGRAM 2 - CHLORINATOR ROOM	20-E-2		ENLARGED SITE PLAN
00-G-3		NOTES AND DRAWING LIST	10-I-3		PROCESS FLOW DIAGRAM 3 - WELLS VALVE VAULT INJECTION	20-E-3		PROCESS ELECTRICAL FLOOR PLAN
00-G-4		ABBREVIATIONS	10-I-4		PROCESS FLOW DIAGRAM 4 - OUTDOOR SCRUBBER CONTAINMENT AND VAULT	20-E-4		FACILITY ELECTRICAL FLOOR PLAN
00-G-5		STANDARD SYMBOLS AND CIVIL LEGEND	10-I-5		NETWORK DIAGRAM	20-E-5		ONE-LINE DIAGRAM AND PANEL SCHEDULES
00-G-6		INSTRUMENTATION AND CONTROL LEGEND 1	<b>VINEYARD CONTROLS FACILITY</b>			<b>INSTRUMENTATION AND CONTROLS</b>		
00-G-7		INSTRUMENTATION AND CONTROL LEGEND 2	<b>ARCHITECTURAL</b>			<b>STANDARD DETAILS</b>		
00-G-8		ARCHITECTURAL / STRUCTURAL LEGEND	15-A-1		FLOOR PLAN	20-I-1		PROCESS FLOW DIAGRAM
00-G-9		VINEYARD CHLORINATION FACILITY CODE DATA AND LIFE SAFETY PLAN	15-A-2		ROOF PLAN			
00-G-10		VINEYARD CONTROL FACILITY CODE DATA AND LIFE SAFETY PLAN	15-A-3		ELEVATIONS			
00-G-11		PONY EXPRESS CHLORINE FACILITY CODE DATA AND LIFE SAFETY PLAN	15-A-4		SECTIONS			
00-G-12		STRUCTURAL NOTES	<b>STRUCTURAL</b>					
00-G-13		SPECIAL INSPECTION PLAN	15-S-1		FLOUNDATION PLAN	00-SD-1		STANDARD DETAILS
00-G-14		SPECIAL INSPECTION PLAN	15-S-2		FLOOR PLAN	00-SD-2		STANDARD DETAILS
00-G-15		SPECIAL INSPECTION PLAN	15-S-3		ROOF FRAMING PLAN	00-SD-3		STANDARD DETAILS
00-G-16		MECHANICAL LEGEND AND PIPING SCHEDULE	15-S-4		SECTIONS	00-SD-4		STANDARD DETAILS
00-G-17		PLUMBING AND HVAC LEGENDS	15-S-5		SECTIONS	00-SD-5		STANDARD DETAILS
00-G-18		PLUMBING AND HVAC LEGENDS	<b>PLUMBING</b>			00-SD-6		STANDARD DETAILS
00-G-19		ELECTRICAL LEGEND - 1	15-P-1		SANITARY SEWER FLOOR PLAN	00-SD-7		STANDARD DETAILS
00-G-20		ELECTRICAL LEGEND - 2	15-P-2		PLUMBING FLOOR PLAN	00-SD-8		STANDARD DETAILS
<b>VINEYARD CHLORINE FACILITY</b>			15-P-3		DETAILS	00-SD-9		STANDARD DETAILS
<b>DEMOLITION</b>			<b>HVAC</b>			00-SD-10		STANDARD DETAILS
10-D-1		DEMOLITION PLAN	15-H-1		FLOOR PLAN	00-SD-11		STANDARD DETAILS
<b>CIVIL</b>			15-H-2		SCHEDULES	00-SD-12		STANDARD DETAILS
10-C-1		OVERALL SITE PLAN	15-H-3		DETAILS	00-SD-13		STANDARD DETAILS
10-C-2		OVERALL GRADING AND DRAINAGE PLAN	<b>FIRE PROTECTION</b>			00-SD-14		STANDARD DETAILS
10-C-3		BUILDING GRADING AND DRAINAGE PLAN	15-F-1		FLOOR PLAN	00-SD-15		STANDARD DETAILS
10-C-4		EAST ENTRANCE GRADING AND DRAINAGE PLAN	<b>ELECTRICAL</b>			00-SD-16		STANDARD DETAILS
10-C-5		NORTH ENTRANCE GRADING AND DRAINAGE PLAN	15-E-1		FLOOR PLAN	00-SD-17		STANDARD DETAILS
10-C-6		SITE SECTIONS	<b>PONY EXPRESS FACILITY</b>			00-SD-18		STANDARD DETAILS
<b>UTILITY</b>			<b>CIVIL</b>			00-SD-19		STANDARD DETAILS
10-CY-1		OVERALL UTILITY SITE PLAN	20-D-1		DEMOLITION PLAN	00-SD-20		STANDARD DETAILS
10-CY-2		BUILDING UTILITY PLAN	<b>CIVIL</b>			00-SD-21		STANDARD DETAILS
10-CY-3		WELL VAULT UTILITY PLAN	20-C-1		OVERALL GRADING AND DRAINAGE PLAN			
<b>ARCHITECTURAL</b>			<b>UTILITY</b>					
10-A-1		FLOOR PLAN AND BUILDING NOTES	20-CY-1		OVERALL UTILITY SITE PLAN			
10-A-2		ROOF PLAN	20-CY-2		UTILITY SITE PLAN			
10-A-3		ELEVATIONS	20-CY-3		12" PIPE TO SCHOOL POND PLAN AND PROFILE			
10-A-4		SECTIONS	20-CY-4		12" PIPE TO SCHOOL POND CONNECTION DETAILS			
10-A-5		SECTIONS	20-CY-5		12" PIPE TO SCHOOL POND CONNECTION DETAILS			
<b>STRUCTURAL</b>			<b>ARCHITECTURAL</b>					
10-S-1		FOUNDATION PLAN	20-A-1		FLOOR PLAN			
10-S-2		FLOOR PLAN	20-A-2		ROOF PLAN			
10-S-3		ROOF FRAMING PLAN	20-A-3		ELEVATIONS			
10-S-4		SECTIONS	20-A-4		SECTIONS			
10-S-5		SECTIONS	<b>STRUCTURAL</b>					
10-S-6		SECTION AND DETAILS	20-S-1		FOUNDATION PLAN			
<b>MECHANICAL</b>			20-S-2		FLOOR PLAN			
10-M-1		FLOOR PLAN	20-S-3		ROOF FRAMING PLAN			
10-M-2		ENLARGED FLOOR PLAN	20-S-4		SECTION			
10-M-3		SECTION	20-S-5		SECTION			
10-M-4		SECTION	20-S-6		DETAILS			
10-M-5		WELLS VALVE VAULT CONNECTION	<b>MECHANICAL</b>					
10-M-6		WELLS METER VAULT CONNECTION	20-M-1		FLOOR PLAN			
<b>PLUMBING</b>			20-M-2		SECTIONS			
10-P-1		FLOOR PLAN	20-M-3		TURNOUT VAULT CONNECTION			
10-P-2		PIPING DIAGRAMS AND DETAILS	<b>PLUMBING</b>					
<b>HVAC</b>			20-P-1		FLOOR PLAN			
10-H-1		FLOOR PLAN	20-P-2		PIPING DETAILS			
10-H-2		SCHEDULES	<b>HVAC</b>					
10-H-3		SECTIONS AND DETAILS	20-H-1		FLOOR PLAN			
<b>FIRE PROTECTION</b>			20-H-2		SCHEDULES			
10-F-1		FLOOR PLAN	20-H-3		DETAILS			
10-F-2		RISER DIAGRAMS AND DETAILS	<b>FIRE PROTECTION</b>					
<b>ELECTRICAL</b>			20-F-1		FLOOR PLAN			
10-E-1		OVERALL SITE PLAN						
10-E-2		ENLARGED SITE PLAN						
10-E-3		PROCESS ELECTRICAL FLOOR PLAN						
10-E-4		FACILITY ELECTRICAL FLOOR PLAN						
10-E-5		WELLS VALVE VAULT PLAN						
10-E-6		WELLS 14 AND 15 SHED PLANS						
10-E-7		ONE-LINE DIAGRAMS						
10-E-8		CIRCUIT SCHEDULES						
10-E-9		PANEL SCHEDULES						

NOTE: SCREENED TEXT INDICATE DRAWINGS NOT INCLUDED IN THIS SUBMITTAL.

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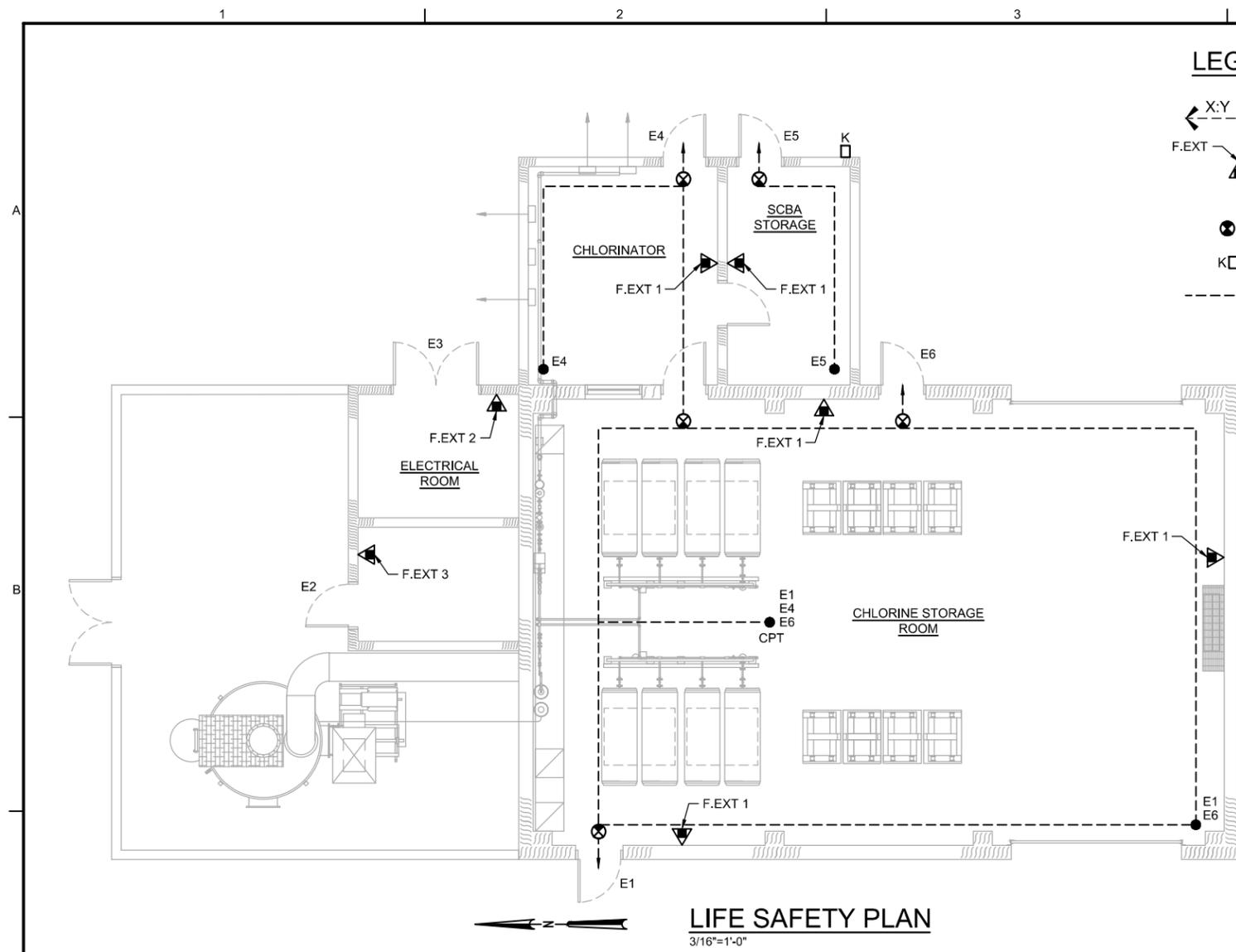


CWP - CHLORINE FACILITIES  
**GENERAL**  
 NOTES AND DRAWING LIST

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PROJ	199815

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**LEGEND**

- X:Y TRAVEL DISTANCE (X = TOTAL DISTANCE IN FEET TO Y, EXIT NUMBER)
- F.EXT PORTABLE FIRE EXTINGUISHER 15 LBS. IN SURFACE MOUNTED BRACKET SEE SPECIFICATION SECTION 10520
- ⊗ EXIT LIGHTS
- K KNOX BOX, SEE FIRE ALARM DRAWINGS
- COMMON PATH

EXIT REQUIREMENTS	
REQUIRED EXITS (IBC 1014.5 & 1018):	2
MAX. TRAVEL DISTANCE ALLOWED: (TABLE 1016.2)	175'-0"
MAX. COMMON PATH TRAVEL: (IBC 1014.3)	75'-0"
MAX. DEAD ENDS: (IBC 1018.4)	20'-0"
CORRIDOR WIDTH (IBC 1016.2):	36"
MIN. EGRESS WIDTH (IBC 1005.1):	36"

FIRE PROTECTION	
FIRE EXTINGUISHERS (SECT 906)	1 REQD BASED ON CLASS A LOW HAZARD
EXIT LIGHTING	SEE ELEC DWGS

SIGNAGE	
EXIT SIGNS:	3
HAZARD PLACARDS:	NONE
DANGER/ WARNING/ CAUTION:	NONE
TRAFFIC/ PARKING SIGNS:	N/A

REQUIRED FIRE RESISTANT RATINGS	
BUILDING ELEMENTS (TABLE 601)	0
EXTERIOR BEARING WALLS	0
INTERIOR NON-BEARING WALLS	0
ROOF CONSTRUCTION	0
ALLOWABLE AREA OF EXTERIOR DOORS AND WINDOWS (704.8)	N/A
INCIDENTAL USE AREAS (508.2.5)	NONE
ACCESSORY USE AREAS (508.3.)	NONE
DISTANCE FROM ADJACENT BUILDING OR PROPERTY LINE	X>30 = 0 HR

CODE DATA INTERNATIONAL BUILDING CODE 2012 EDITION	
<b>BUILDING: CHLORINATION STRUCTURE</b>	
OWNER:	CUWCD
LOCATION:	VINEYARD, UTAH

GENERAL INFORMATION	
CODE REFERENCES	IBC 2012 IECC 2012
USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3)	GROUP: H-4 HIGH HAZARD
CONSTRUCTION CLASSIFICATION (IBC 602 & TABLE 503)	TYPE II-B

AREA AND HEIGHT LIMITATIONS	
MAXIMUM ALLOWABLE AREA (TABLE 503)	17,500
ACTUAL AREA:	2,297 SF
ACTUAL PER FLOOR:	BASEMENT NONE FIRST 2,297 SF SECOND NONE

MAXIMUM ALLOWABLE STORIES (TABLE 503)	3
ACTUAL NUMBER OF STORIES:	1
MAXIMUM ALLOWABLE HEIGHT (TABLE 503)	55 FT
ACTUAL HEIGHT:	16'-0"
AUTOMATIC SPRINKLER FOR STORY INCREASE (IBC 504.2):	N/A

OCCUPANCY / EGRESS INFORMATION	
DESIGN OCCUPANCY (TABLE 1004.1.2)	2,297 ÷ 100 = 23
ACTUAL NUMBER OF OCCUPANCY:	3 DURING MAINTENANCE
EGRESS WIDTH BASED ON OCCUPANCY	23 x .15 = 3.45"

INSULATION REQUIREMENTS	
INSULATION (R-VALUE): PER TABLE C402.2.2. IECC 2012	
ROOF:	R-21
WALLS:	R-9.1
DOORS:	U-.6 MAX
FOUNDATION	R-10

**LIFE SAFETY PLAN**  
3/16"=1'-0"

NO.	DATE	REVISION	BY	APVD

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**GENERAL**  
VINEYARD CHLORINATION FACILITY  
CODE DATA AND LIFE SAFETY PLAN

SHEET	
DWG	00-G-9
DATE	APRIL 2015
PROJ	199815

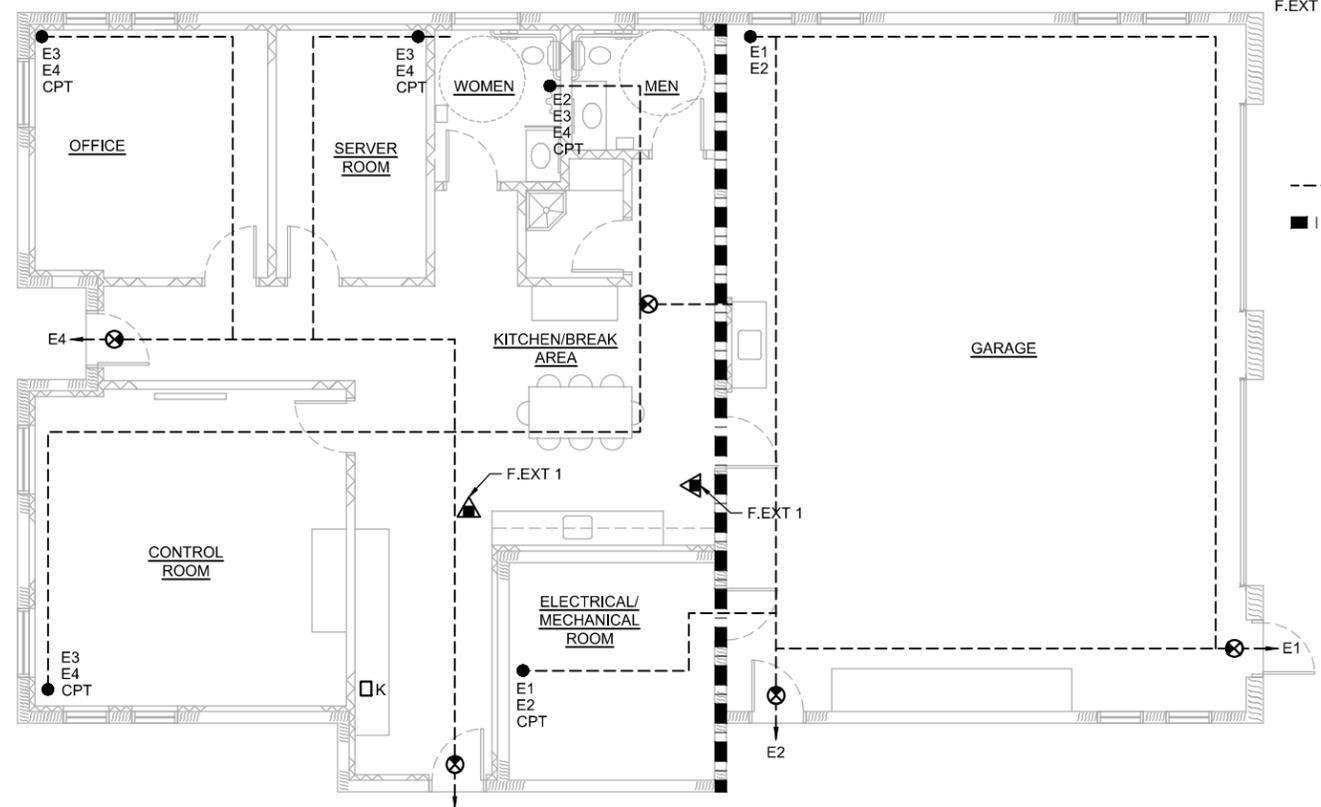
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**LEGEND**

- X:Y TRAVEL DISTANCE (X = TOTAL DISTANCE IN FEET TO Y, EXIT NUMBER)
- F.EXIT PORTABLE FIRE EXTINGUISHER 15 LBS. IN SURFACE MOUNTED BRACKET SEE SPECIFICATION SECTION 10520
- EXIT LIGHTS
- KNOX BOX, SEE FIRE ALARM DRAWINGS
- COMMON PATH OF TRAVEL
- 2 HOUR RATED WALL ASSEMBLY WITH RATED PENETRATIONS



**LIFE SAFETY PLAN**  
3/16"=1'-0"

EXIT REQUIREMENTS	
REQUIRED EXITS (IBC 1014.5 & 1018):	2
MAX. TRAVEL DISTANCE ALLOWED: (TABLE 1016.2)	200'-0"
MAX. COMMON PATH TRAVEL: (IBC 1014.3)	75'-0"
MAX. DEAD ENDS: (IBC 1018.4)	20'-0"
CORRIDOR WIDTH (IBC 1016.2):	36"
MIN. EGRESS WIDTH (IBC 1005.1):	36"

FIRE PROTECTION	
FIRE EXTINGUISHERS (SECT 906)	1 REQD BASED ON CLASS A LOW HAZARD
EXIT LIGHTING	SEE ELEC DWGS

SIGNAGE	
EXIT SIGNS:	3
HAZARD PLACARDS:	NONE
DANGER/ WARNING/ CAUTION:	NONE
TRAFFIC/ PARKING SIGNS:	N/A

REQUIRED FIRE RESISTANT RATINGS	
BUILDING ELEMENTS (TABLE 601)	0
EXTERIOR BEARING WALLS	0
INTERIOR NON-BEARING WALLS	0
ROOF CONSTRUCTION	0
ALLOWABLE AREA OF EXTERIOR DOORS AND WINDOWS (704.8)	N/A
INCIDENTAL USE AREAS (508.2.5)	NONE
ACCESSORY USE AREAS (508.3.)	NONE
SEPARATED USE (508.3.)	B/S-2
DISTANCE FROM ADJACENT BUILDING OR PROPERTY LINE	X>30=0

CODE DATA INTERNATIONAL BUILDING CODE 2012 EDITION	
<b>BUILDING: FLOW CONTROL STRUCTURE</b>	
OWNER:	CUWCD
LOCATION:	US ROUTE 6 MAPLETON, UTAH

GENERAL INFORMATION	
CODE REFERENCES	IBC 2012 OFFICE IECC 2012
USE AND OCCUPANCY CLASSIFICATION (CHAPTER 3)	GROUP: B/S-2 LOW HAZARD STORAGE
CONSTRUCTION CLASSIFICATION (IBC 602 & TABLE 503)	TYPE II-B

AREA AND HEIGHT LIMITATIONS	
MAXIMUM ALLOWABLE AREA (TABLE 503)	23,000
ACTUAL AREA:	2851 SF
ACTUAL PER FLOOR:	BASEMENT NONE FIRST 2851 SF SECOND NONE
MAXIMUM ALLOWABLE STORIES (TABLE 503)	3
ACTUAL NUMBER OF STORIES:	1
MAXIMUM ALLOWABLE HEIGHT (TABLE 503)	55 FT
ACTUAL HEIGHT:	20'-4"
AUTOMATIC SPRINKLER FOR STORY INCREASE (IBC 504.2):	N/A

OCCUPANCY / EGRESS INFORMATION	
DESIGN OCCUPANCY (TABLE 1004.1.1)	B 1580 ÷ 100 = 16 S-2 1271 ÷ 200 = 7
ACTUAL NUMBER OF OCCUPANCY:	3 DURING MAINTENANCE
EGRESS WIDTH BASED ON OCCUPANCY (TABLE 1005.1)	23 x .2 = 4.6"

INSULATION REQUIREMENTS	
INSULATION (R-VALUE): PER TABLE C402.2.2. IECC 2012	
ROOF:	R-21 MIN
WALLS:	R-9.1
DOORS:	U=.6 MAX
FOUNDATION	R-10 MIN

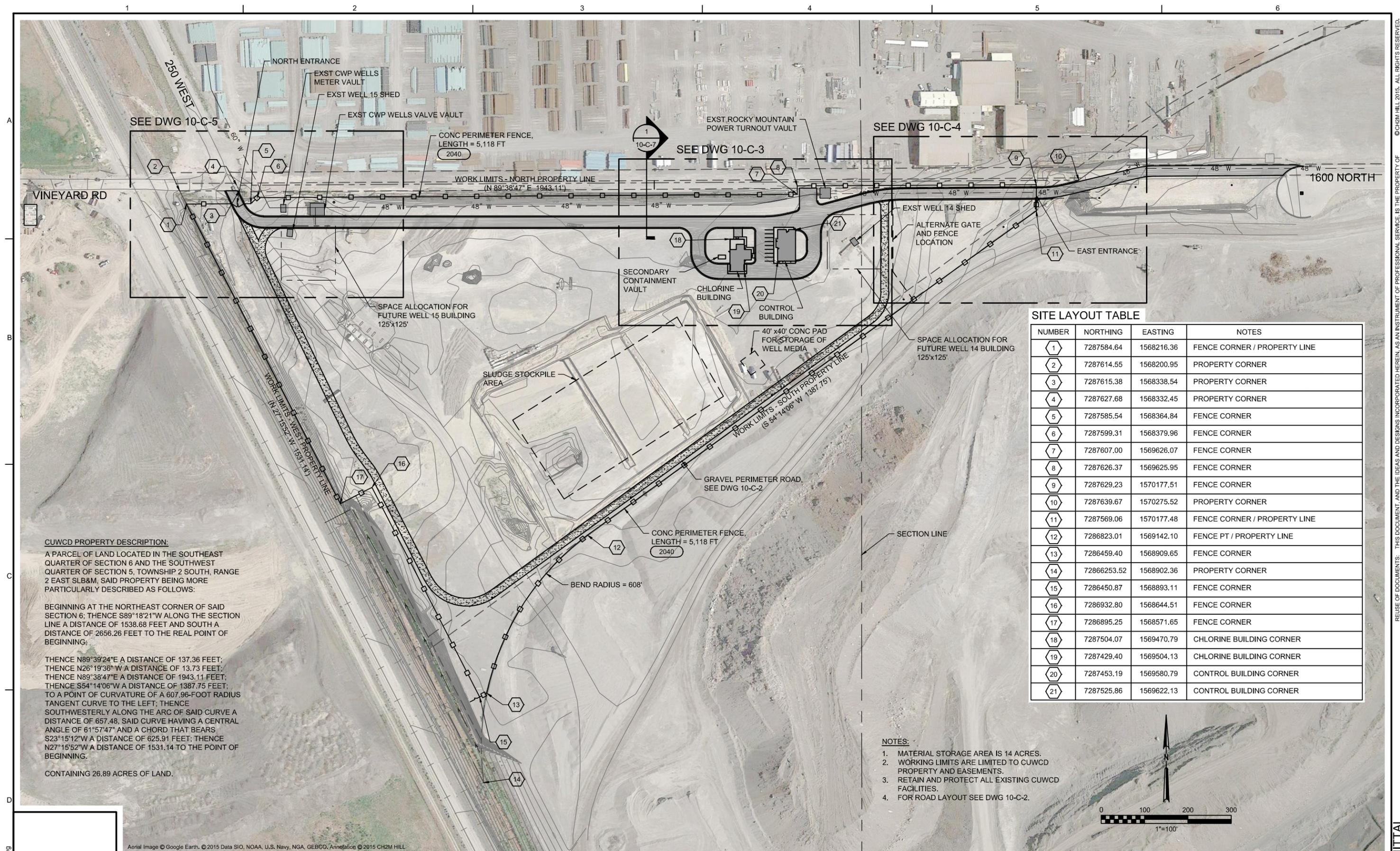
DSGN	J RESEIGH	NO.	DATE	REVISION	BY	APVD
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APVD	XXX					

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CWP - CHLORINE FACILITIES  
**GENERAL**  
VINEYARD CONTROL FACILITY  
CODE DATA AND LIFE SAFETY PLAN

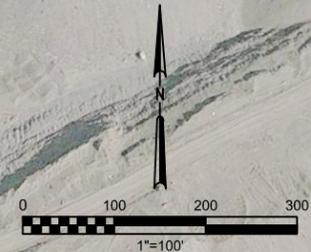
SHEET	
DWG	00-G-10
DATE	APRIL 2015
PROJ	199815



**CUWCD PROPERTY DESCRIPTION:**  
 A PARCEL OF LAND LOCATED IN THE SOUTHEAST QUARTER OF SECTION 6 AND THE SOUTHWEST QUARTER OF SECTION 5, TOWNSHIP 2 SOUTH, RANGE 2 EAST SLB&M, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
 BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 6; THENCE S89°18'21"W ALONG THE SECTION LINE A DISTANCE OF 1538.68 FEET AND SOUTH A DISTANCE OF 2656.26 FEET TO THE REAL POINT OF BEGINNING;  
 THENCE N89°39'24"E A DISTANCE OF 137.36 FEET; THENCE N26°19'36"W A DISTANCE OF 13.73 FEET; THENCE N89°38'47"E A DISTANCE OF 1943.11 FEET; THENCE S54°14'06"W A DISTANCE OF 1387.75 FEET; TO A POINT OF CURVATURE OF A 607.96-FOOT RADIUS TANGENT CURVE TO THE LEFT; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 657.48, SAID CURVE HAVING A CENTRAL ANGLE OF 61°57'47" AND A CHORD THAT BEARS S23°15'12"W A DISTANCE OF 625.91 FEET; THENCE N27°15'52"W A DISTANCE OF 1531.14 TO THE POINT OF BEGINNING.  
 CONTAINING 26.89 ACRES OF LAND.

SITE LAYOUT TABLE			
NUMBER	NORTHING	EASTING	NOTES
1	7287584.64	1568216.36	FENCE CORNER / PROPERTY LINE
2	7287614.55	1568200.95	PROPERTY CORNER
3	7287615.38	1568338.54	PROPERTY CORNER
4	7287627.68	1568332.45	PROPERTY CORNER
5	7287585.54	1568364.84	FENCE CORNER
6	7287599.31	1568379.96	FENCE CORNER
7	7287607.00	1569626.07	FENCE CORNER
8	7287626.37	1569625.95	FENCE CORNER
9	7287629.23	1570177.51	FENCE CORNER
10	7287639.67	1570275.52	PROPERTY CORNER
11	7287569.06	1570177.48	FENCE CORNER / PROPERTY LINE
12	7286823.01	1569142.10	FENCE PT / PROPERTY LINE
13	7286459.40	1568909.65	FENCE CORNER
14	72866253.52	1568902.36	PROPERTY CORNER
15	7286450.87	1568893.11	FENCE CORNER
16	7286932.80	1568644.51	FENCE CORNER
17	7286895.25	1568571.65	FENCE CORNER
18	7287504.07	1569470.79	CHLORINE BUILDING CORNER
19	7287429.40	1569504.13	CHLORINE BUILDING CORNER
20	7287453.19	1569580.79	CONTROL BUILDING CORNER
21	7287525.86	1569622.13	CONTROL BUILDING CORNER

- NOTES:**
1. MATERIAL STORAGE AREA IS 14 ACRES.
  2. WORKING LIMITS ARE LIMITED TO CUWCD PROPERTY AND EASEMENTS.
  3. RETAIN AND PROTECT ALL EXISTING CUWCD FACILITIES.
  4. FOR ROAD LAYOUT SEE DWG 10-C-2.



DSGN	R WILLEITNER				
DR	C HOGGARD				
CHK	XXX				
APVD	XXX				
	NO.	DATE	REVISION	BY	APVD

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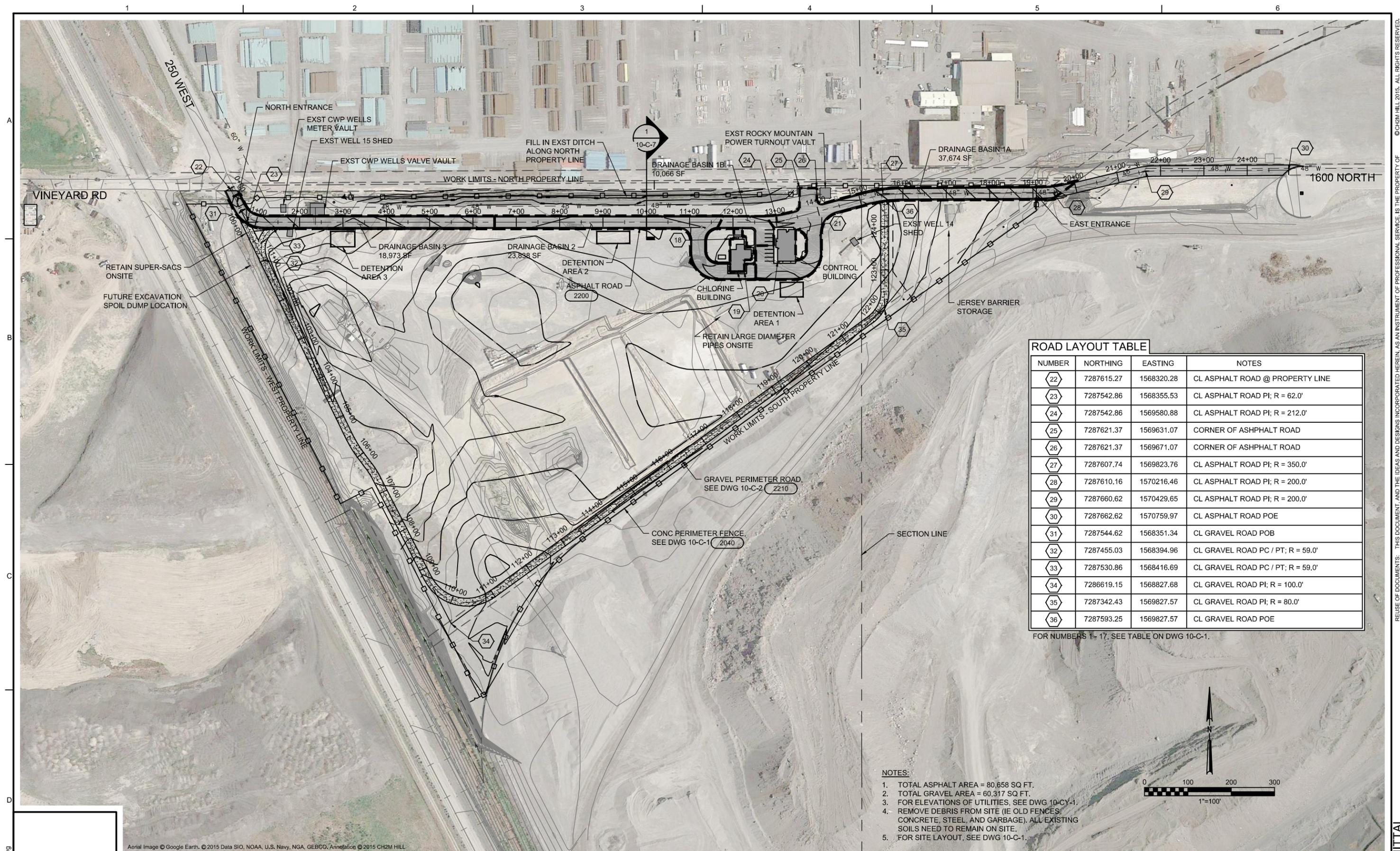


CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 OVERALL SITE PLAN

SHEET	
DWG	10-C-1
DATE	APRIL 2015
PROJ	199815

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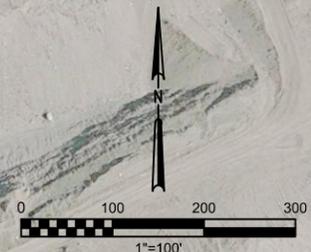


NUMBER	NORTHING	EASTING	NOTES
22	7287615.27	1568320.28	CL ASPHALT ROAD @ PROPERTY LINE
23	7287542.86	1568355.53	CL ASPHALT ROAD PI; R = 62.0'
24	7287542.86	1569580.88	CL ASPHALT ROAD PI; R = 212.0'
25	7287621.37	1569631.07	CORNER OF ASPHALT ROAD
26	7287621.37	1569671.07	CORNER OF ASPHALT ROAD
27	7287607.74	1569823.76	CL ASPHALT ROAD PI; R = 350.0'
28	7287610.16	1570216.46	CL ASPHALT ROAD PI; R = 200.0'
29	7287660.62	1570429.65	CL ASPHALT ROAD PI; R = 200.0'
30	7287662.62	1570759.97	CL ASPHALT ROAD POE
31	7287544.62	1568351.34	CL GRAVEL ROAD POB
32	7287455.03	1568394.96	CL GRAVEL ROAD PC / PT; R = 59.0'
33	7287530.86	1568416.69	CL GRAVEL ROAD PC / PT; R = 59.0'
34	7286619.15	1568827.68	CL GRAVEL ROAD PI; R = 100.0'
35	7287342.43	1569827.57	CL GRAVEL ROAD PI; R = 80.0'
36	7287593.25	1569827.57	CL GRAVEL ROAD POE

FOR NUMBERS 1- 17, SEE TABLE ON DWG 10-C-1.

**NOTES:**

- TOTAL ASPHALT AREA = 80,658 SQ FT.
- TOTAL GRAVEL AREA = 60,317 SQ FT.
- FOR ELEVATIONS OF UTILITIES, SEE DWG 10-CY-1.
- REMOVE DEBRIS FROM SITE (IE OLD FENCES, CONCRETE, STEEL, AND GARBAGE). ALL EXISTING SOILS NEED TO REMAIN ON SITE.
- FOR SITE LAYOUT, SEE DWG 10-C-1.



DSGN	R WILLEITNER				
DR	C HOGGARD				
CHK	XXX				
APVD	XXX				
	NO.	DATE	REVISION	BY	APVD

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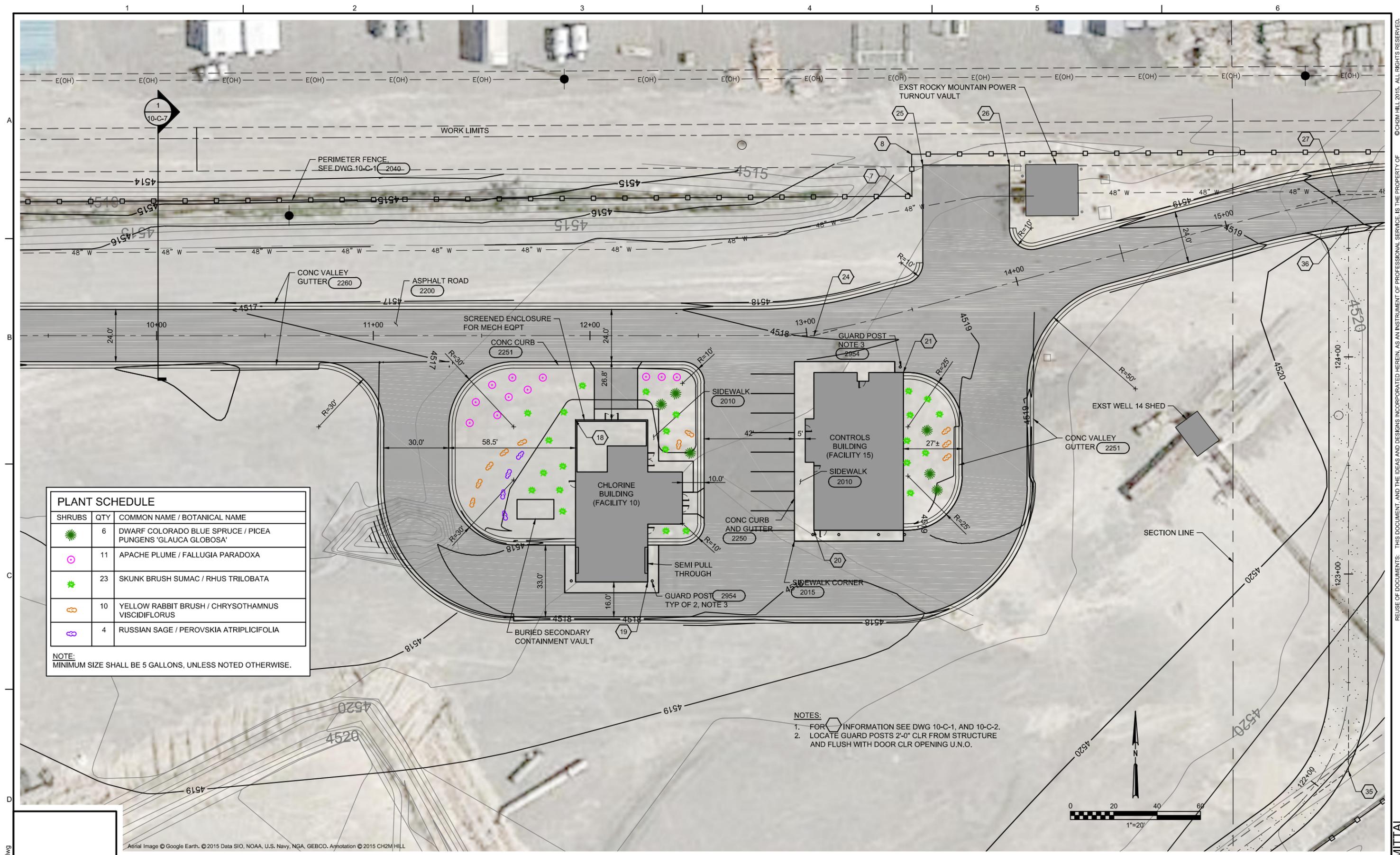


CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 OVERALL GRADING AND DRAINAGE PLAN

SHEET	
DWG	10-C-2
DATE	APRIL 2015
PROJ	199815

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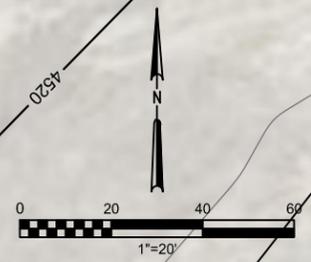
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PLANT SCHEDULE		
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME
	6	DWARF COLORADO BLUE SPRUCE / PICEA PUNGENS 'GLAUCA GLOBOSA'
	11	APACHE PLUME / FALLUGIA PARADOXA
	23	SKUNK BRUSH SUMAC / RHUS TRILOBATA
	10	YELLOW RABBIT BRUSH / CHRYSOTHAMNUS VISCIDIFLORUS
	4	RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA

NOTE:  
MINIMUM SIZE SHALL BE 5 GALLONS, UNLESS NOTED OTHERWISE.

- NOTES:
- FOR INFORMATION SEE DWG 10-C-1, AND 10-C-2.
  - LOCATE GUARD POSTS 2'-0" CLR FROM STRUCTURE AND FLUSH WITH DOOR CLR OPENING U.N.O.



10-C-03d_199815.dwg
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DSGN	R WILLEITNER						
DR	C HOGGARD						
CHK	XXX						
APVD	XXX						
		NO.	DATE	REVISION	BY	APVD	

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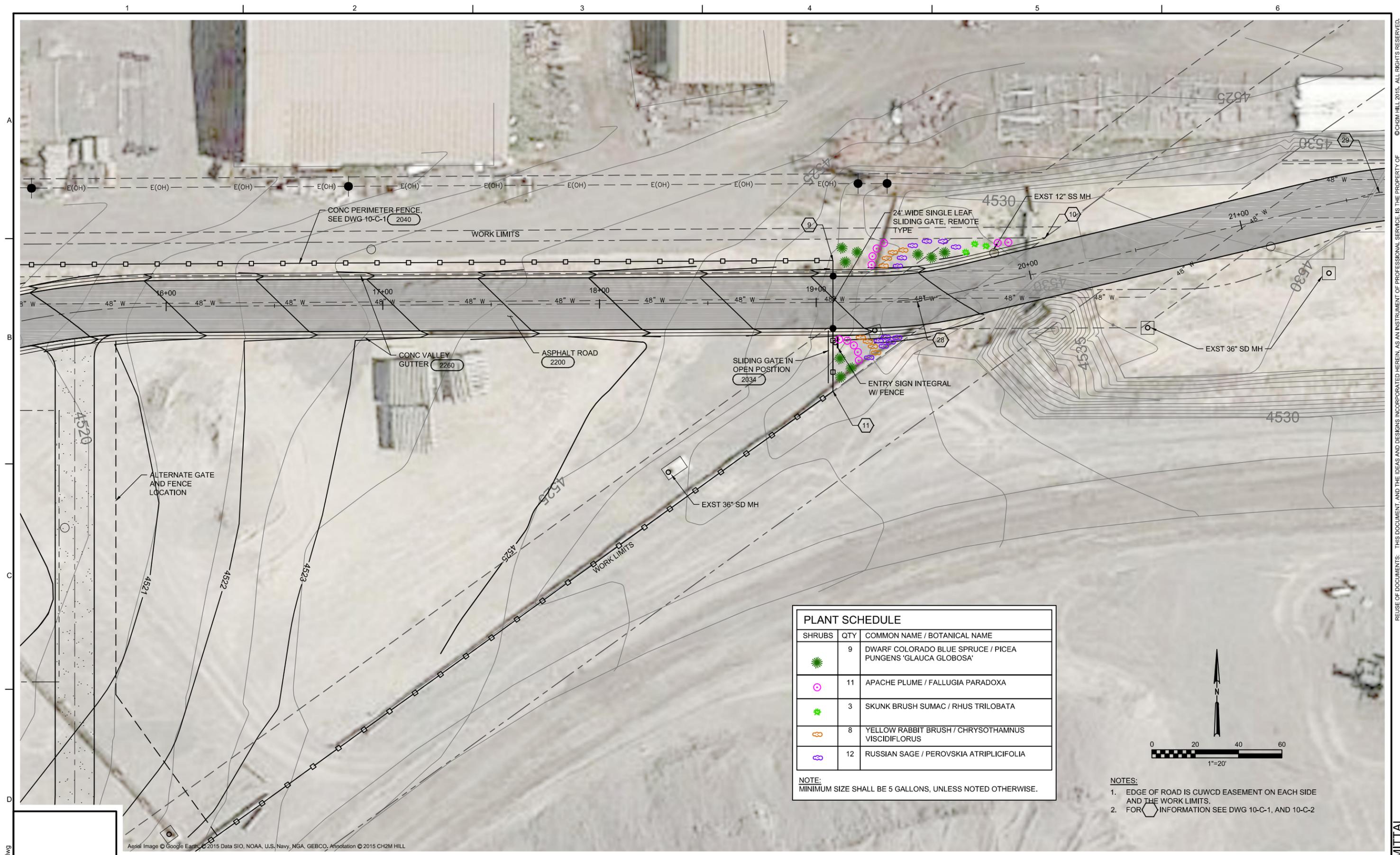


CWP - CHLORINE FACILITIES  
VINEYARD FACILITY  
BUILDING GRADING, DRAINAGE,  
AND LANDSCAPING PLAN

SHEET	
DWG	10-C-3
DATE	APRIL 2015
PROJ	199815

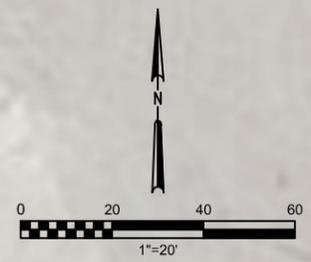
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PLANT SCHEDULE		
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME
	9	DWARF COLORADO BLUE SPRUCE / PICEA PUNGENS 'GLAUCA GLOBOSA'
	11	APACHE PLUME / FALLUGIA PARADOXA
	3	SKUNK BRUSH SUMAC / RHUS TRILOBATA
	8	YELLOW RABBIT BRUSH / CHRYSOTHAMNUS VISCIDIFLORUS
	12	RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA

NOTE:  
MINIMUM SIZE SHALL BE 5 GALLONS, UNLESS NOTED OTHERWISE.



- NOTES:
- EDGE OF ROAD IS CUWED EASEMENT ON EACH SIDE AND THE WORK LIMITS.
  - FOR INFORMATION SEE DWG 10-C-1, AND 10-C-2

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DSGN	R WILLEITNER						
DR	C HOGGARD						
CHK	XXX						
APVD	XXX						
		NO.	DATE	REVISION	BY	APVD	

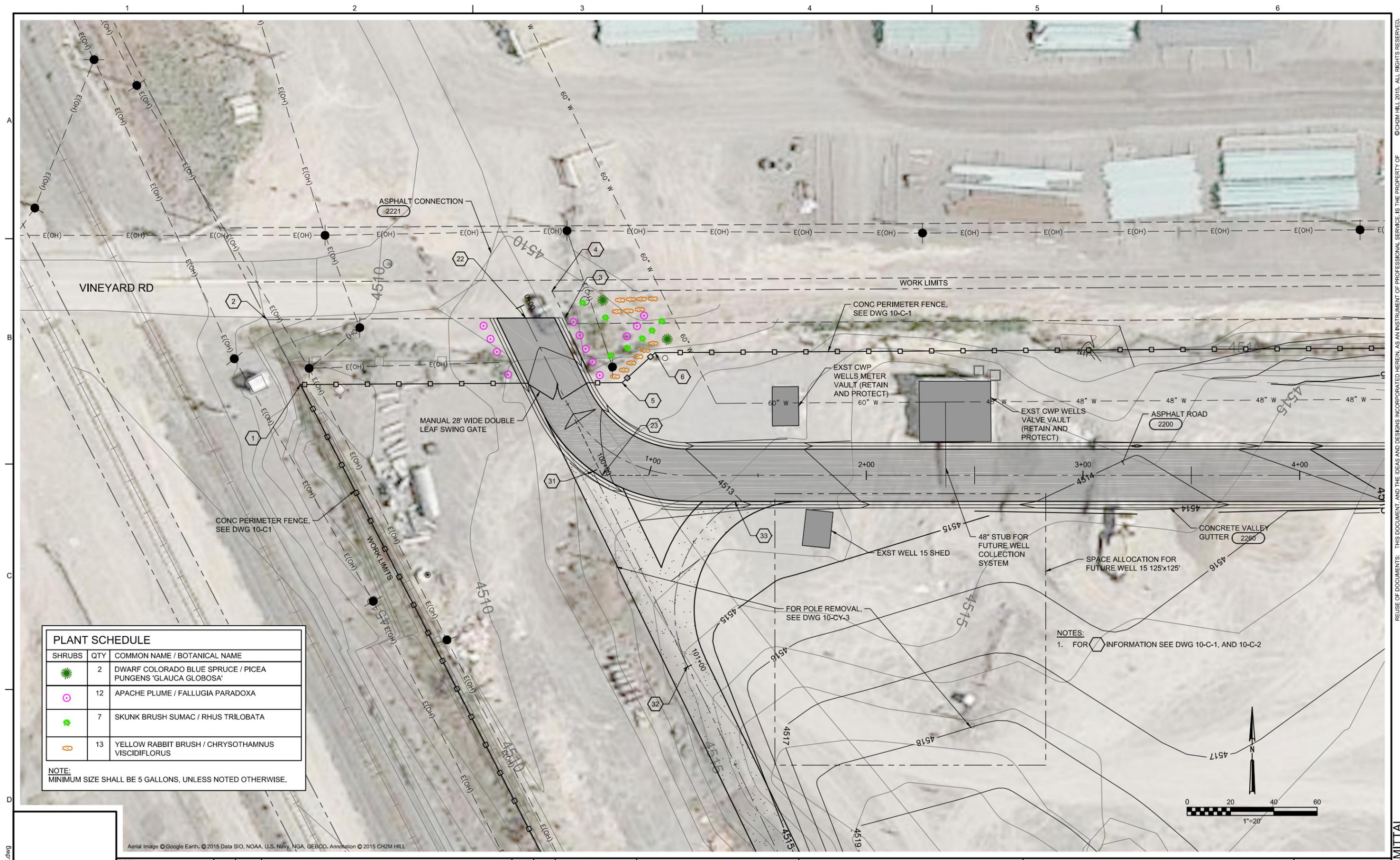
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CWP - CHLORINE FACILITIES  
VINEYARD FACILITY  
EAST ENTRANCE GRADING, DRAINAGE,  
AND LANDSCAPING PLAN

SHEET	
DWG	10-C-4
DATE	APRIL 2015
PROJ	199815

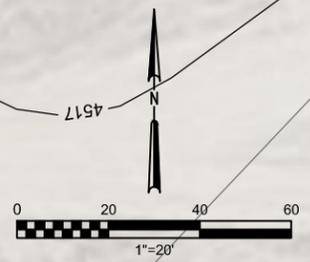
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PLANT SCHEDULE		
SHRUBS	QTY	COMMON NAME / BOTANICAL NAME
	2	DWARF COLORADO BLUE SPRUCE / PICEA PUNGENS 'GLAUCA GLOBOSA'
	12	APACHE PLUME / FALLUGIA PARADOXA
	7	SKUNK BRUSH SUMAC / RHUS TRILOBATA
	13	YELLOW RABBIT BRUSH / CHRYSOTHAMNUS VISCIDIFLORUS

NOTE:  
MINIMUM SIZE SHALL BE 5 GALLONS, UNLESS NOTED OTHERWISE.

NOTES:  
1. FOR INFORMATION SEE DWG 10-C-1, AND 10-C-2



DSGN	R WILLEITNER				
DR	C HOGGARD				
CHK	XXX				
APVD	XXX				
	NO.	DATE	REVISION	BY	APVD

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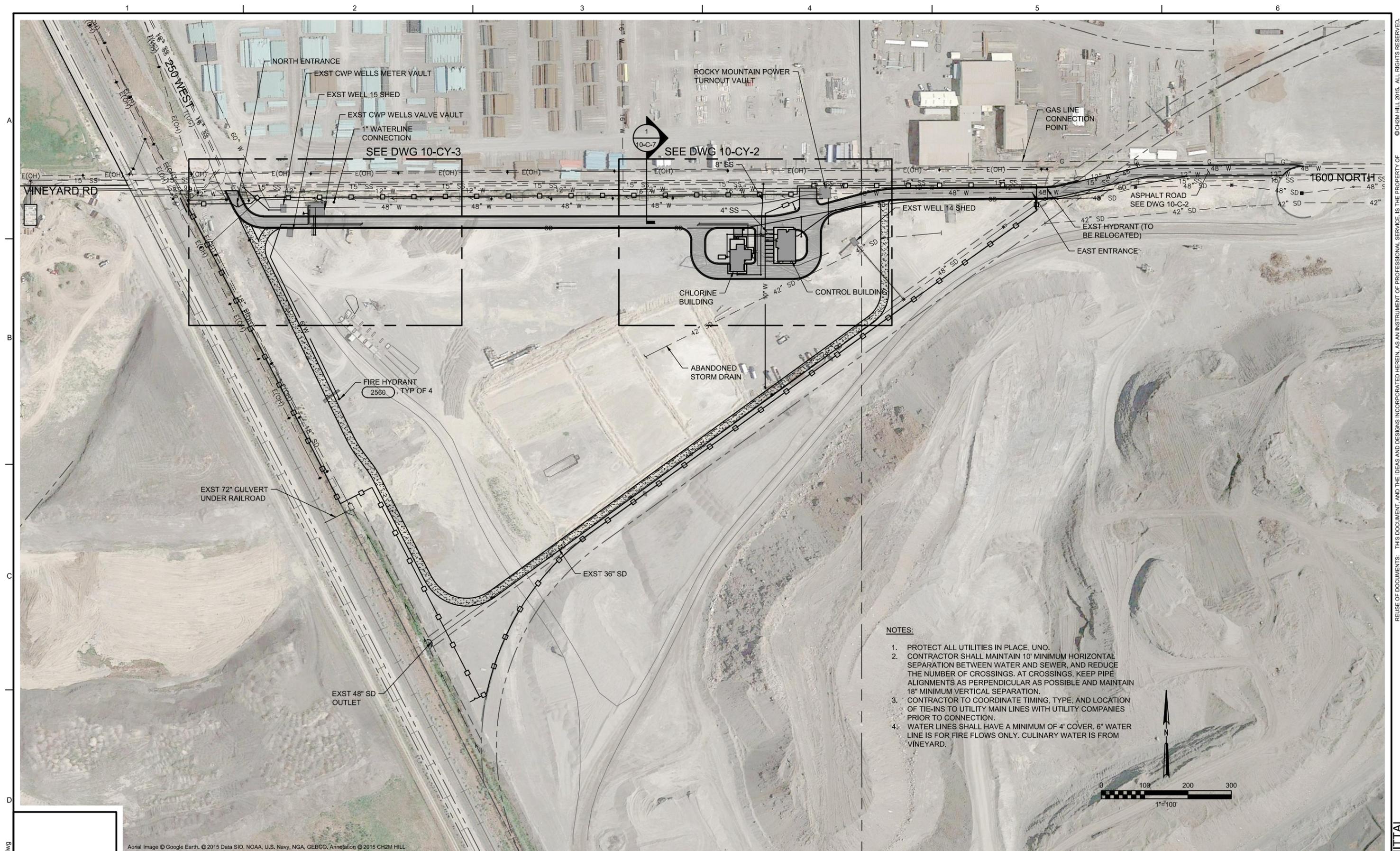
CWP - CHLORINE FACILITIES  
VINEYARD FACILITY  
NORTH ENTRANCE  
GRADING AND DRAINAGE PLAN

SHEET	
DWG	10-C-5
DATE	APRIL 2015
PROJ	199815

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**NOTES:**

1. PROTECT ALL UTILITIES IN PLACE, UNO.
2. CONTRACTOR SHALL MAINTAIN 10' MINIMUM HORIZONTAL SEPARATION BETWEEN WATER AND SEWER, AND REDUCE THE NUMBER OF CROSSINGS. AT CROSSINGS, KEEP PIPE ALIGNMENTS AS PERPENDICULAR AS POSSIBLE AND MAINTAIN 18" MINIMUM VERTICAL SEPARATION.
3. CONTRACTOR TO COORDINATE TIMING, TYPE, AND LOCATION OF TIE-INS TO UTILITY MAIN LINES WITH UTILITY COMPANIES PRIOR TO CONNECTION.
4. WATER LINES SHALL HAVE A MINIMUM OF 4' COVER. 6" WATER LINE IS FOR FIRE FLOWS ONLY. CULINARY WATER IS FROM VINEYARD.

DSGN	R WILLEITNER						
DR	C HOGGARD						
CHK	A MURDOCK						
APVD	XXX						
	NO.	DATE	REVISION	BY	APVD		

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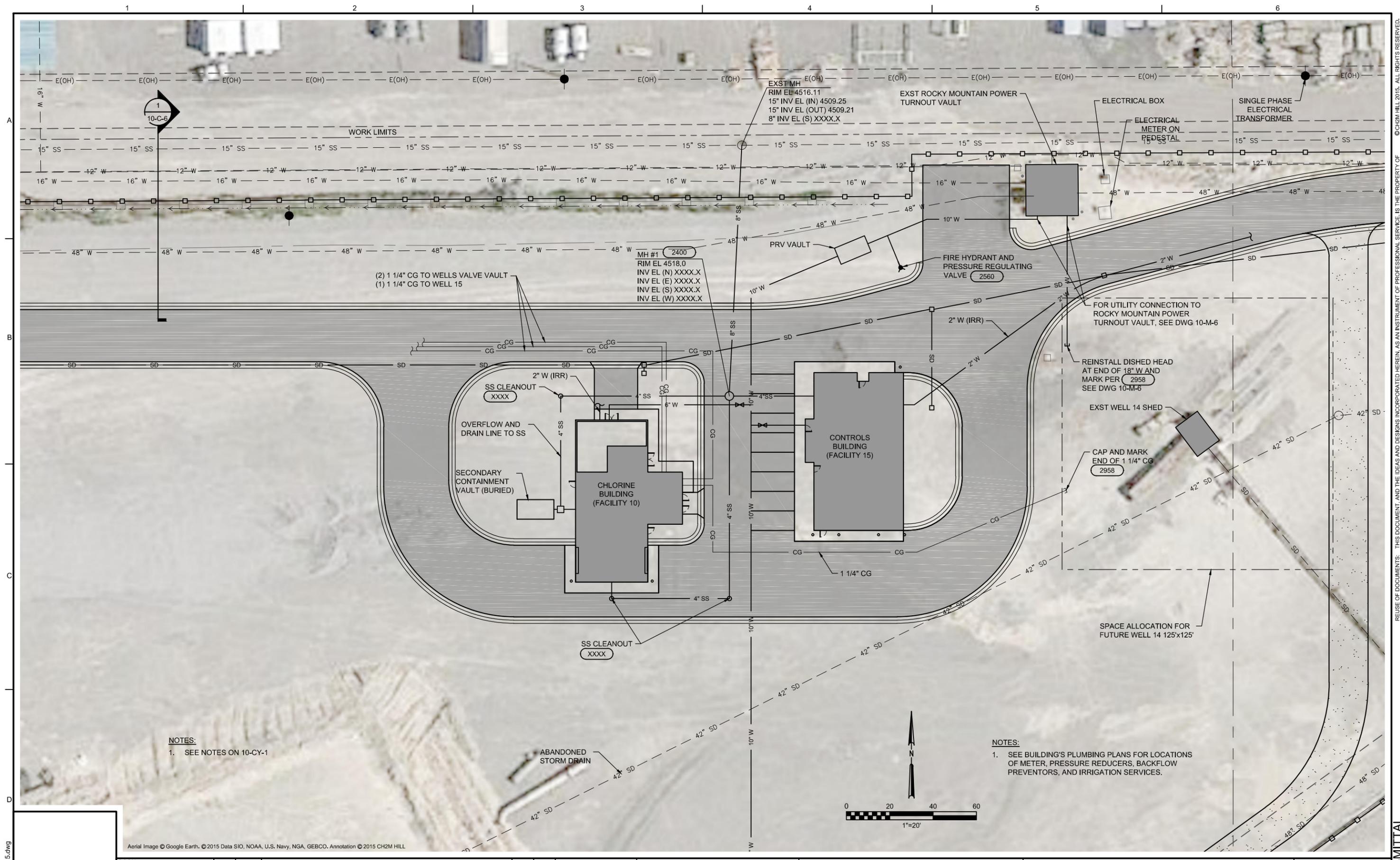


CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 OVERALL UTILITY SITE PLAN

SHEET	
DWG	10-CY-1
DATE	APRIL 2015
PROJ	199815

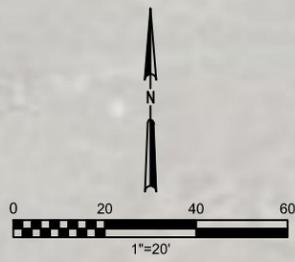
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**NOTES:**  
 1. SEE NOTES ON 10-CY-1

**NOTES:**  
 1. SEE BUILDING'S PLUMBING PLANS FOR LOCATIONS OF METER, PRESSURE REDUCERS, BACKFLOW PREVENTORS, AND IRRIGATION SERVICES.



DSGN	R WILLEITNER						
DR	C HOGGARD						
CHK	XXX						
APVD	XXX						
		NO.	DATE	REVISION	BY	APVD	

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CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 BUILDING UTILITY PLAN

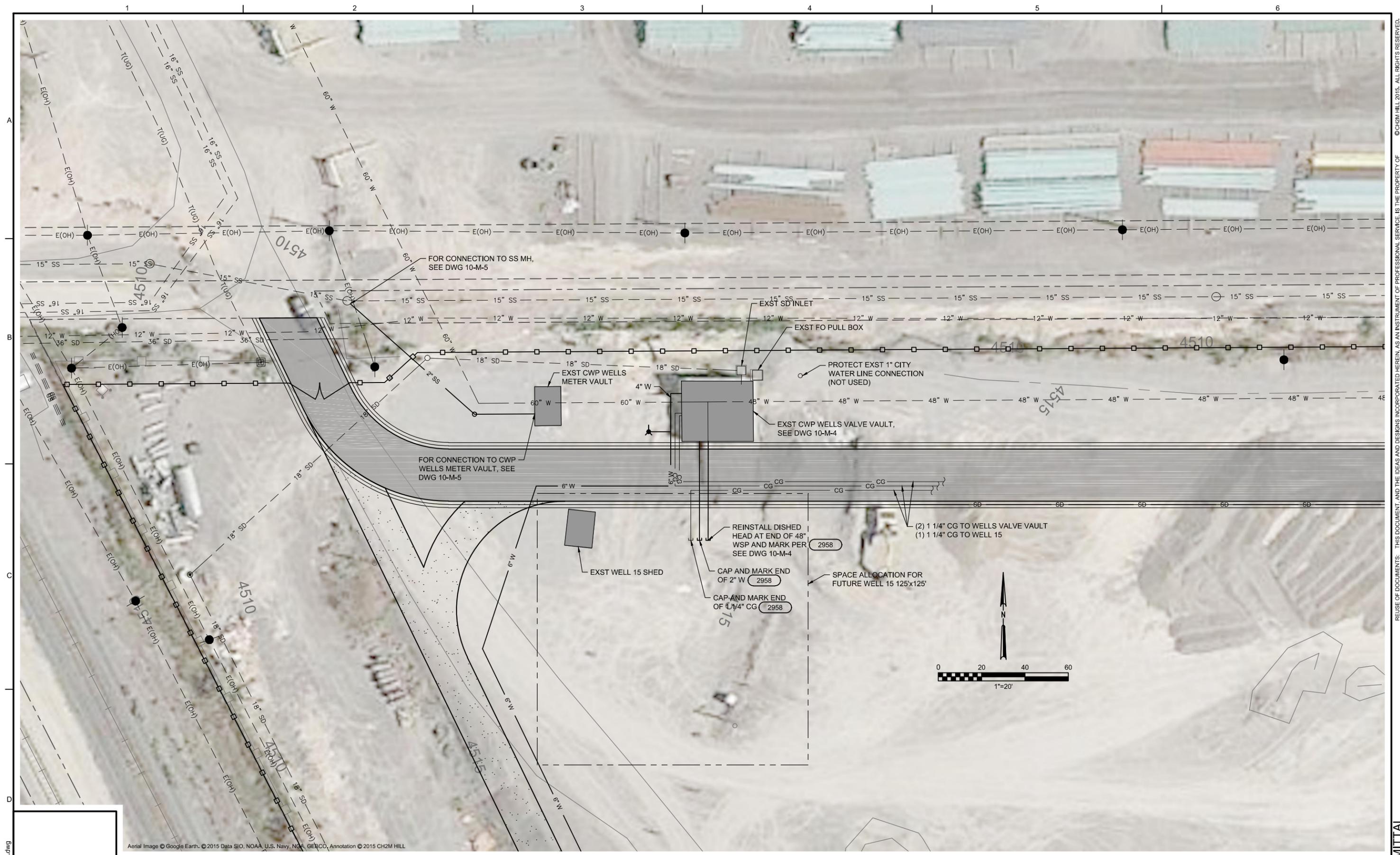
SHEET	
DWG	10-CY-2
DATE	APRIL 2015
PROJ	199815

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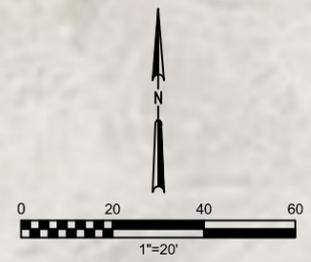
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DR	C HOGGARD				
CHK	XXX				
APVD	XXX				
	NO.	DATE	REVISION	BY	APVD

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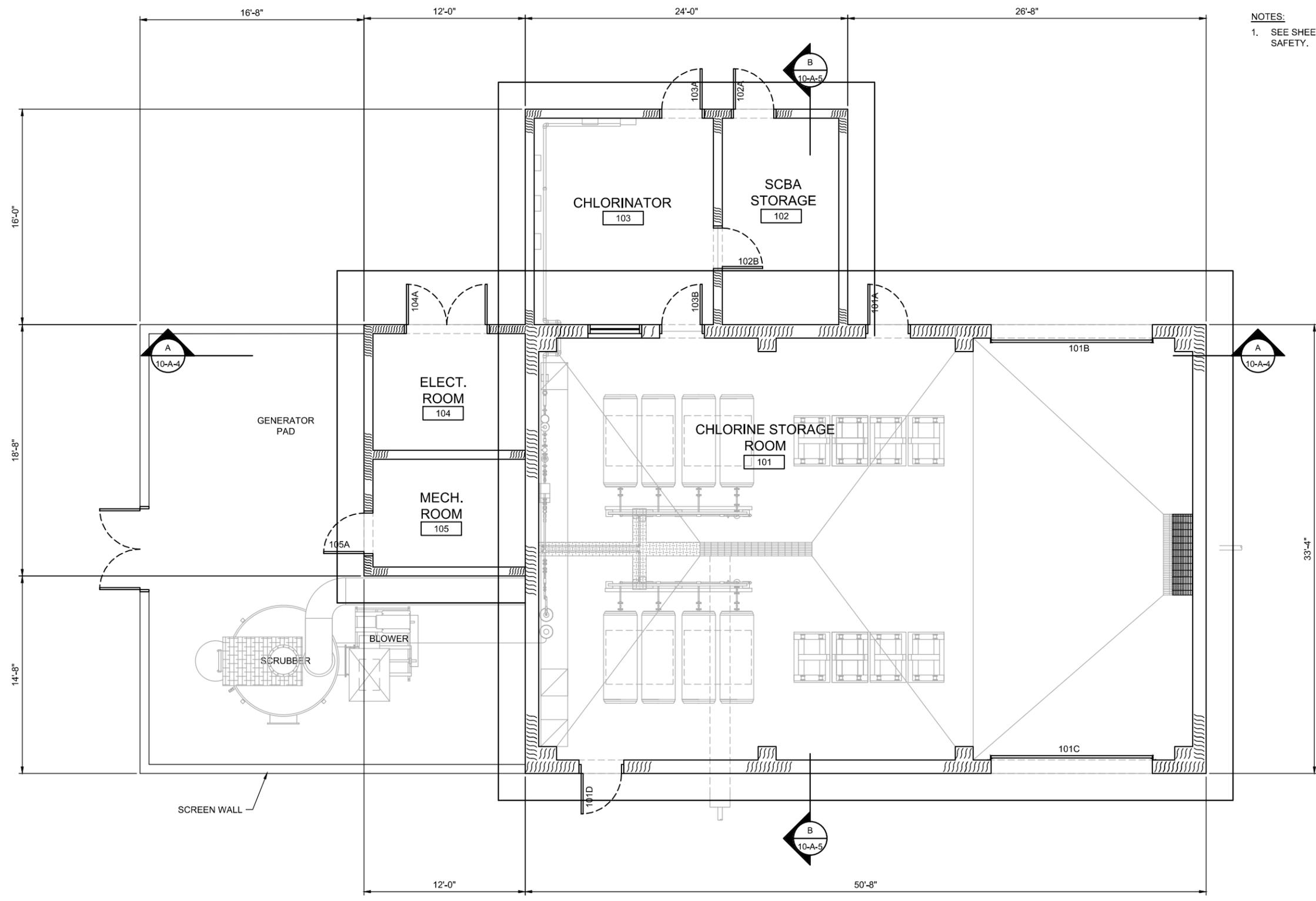
CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 WELL VAULT UTILITY PLAN

SHEET	
DWG	10-CY-3
DATE	APRIL 2015
PROJ	199815



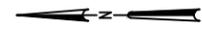
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**NOTES:**  
 1. SEE SHEET 00-G-9 FOR CODE DATA AND LIFE SAFETY.

**FLOOR PLAN**  
 1/4" = 1'-0"



DSGN	J RESEIGH						
DR	D DALSOGLIO						
CHK	XXX						
APVD	J RESEIGH	NO.	DATE	REVISION	BY	APVD	

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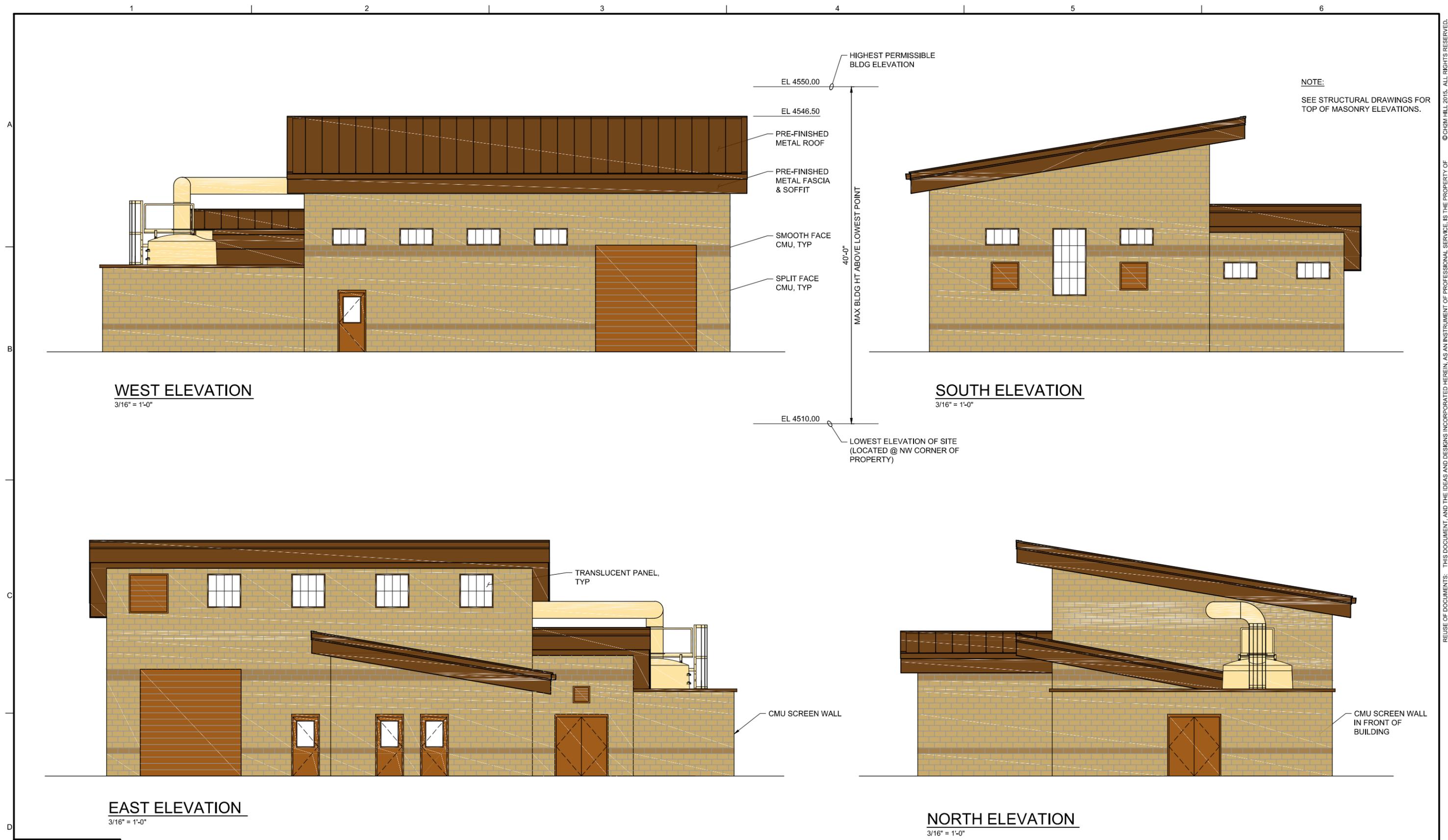


CWP - CHLORINE FACILITIES  
 VINEYARD - CHLORINE FACILITY  
 ARCHITECTURAL  
 FLOOR PLAN AND BUILDING NOTES

SHEET	
DWG	10-A-1
DATE	APRIL 2015
PROJ	199815

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**WEST ELEVATION**  
3/16" = 1'-0"

**SOUTH ELEVATION**  
3/16" = 1'-0"

**EAST ELEVATION**  
3/16" = 1'-0"

**NORTH ELEVATION**  
3/16" = 1'-0"

DSGN	J RESEIGH						
DR	D DALSOGLIO						
CHK	XXX						
APVD	J RESEIGH	NO.	DATE	REVISION	BY	APVD	

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CWP - CHLORINE FACILITIES  
VINEYARD - CHLORINE FACILITY  
ARCHITECTURAL  
ELEVATIONS

SHEET	
DWG	10-A-3
DATE	APRIL 2015
PROJ	199815

10-A-03d\_199815.dwg

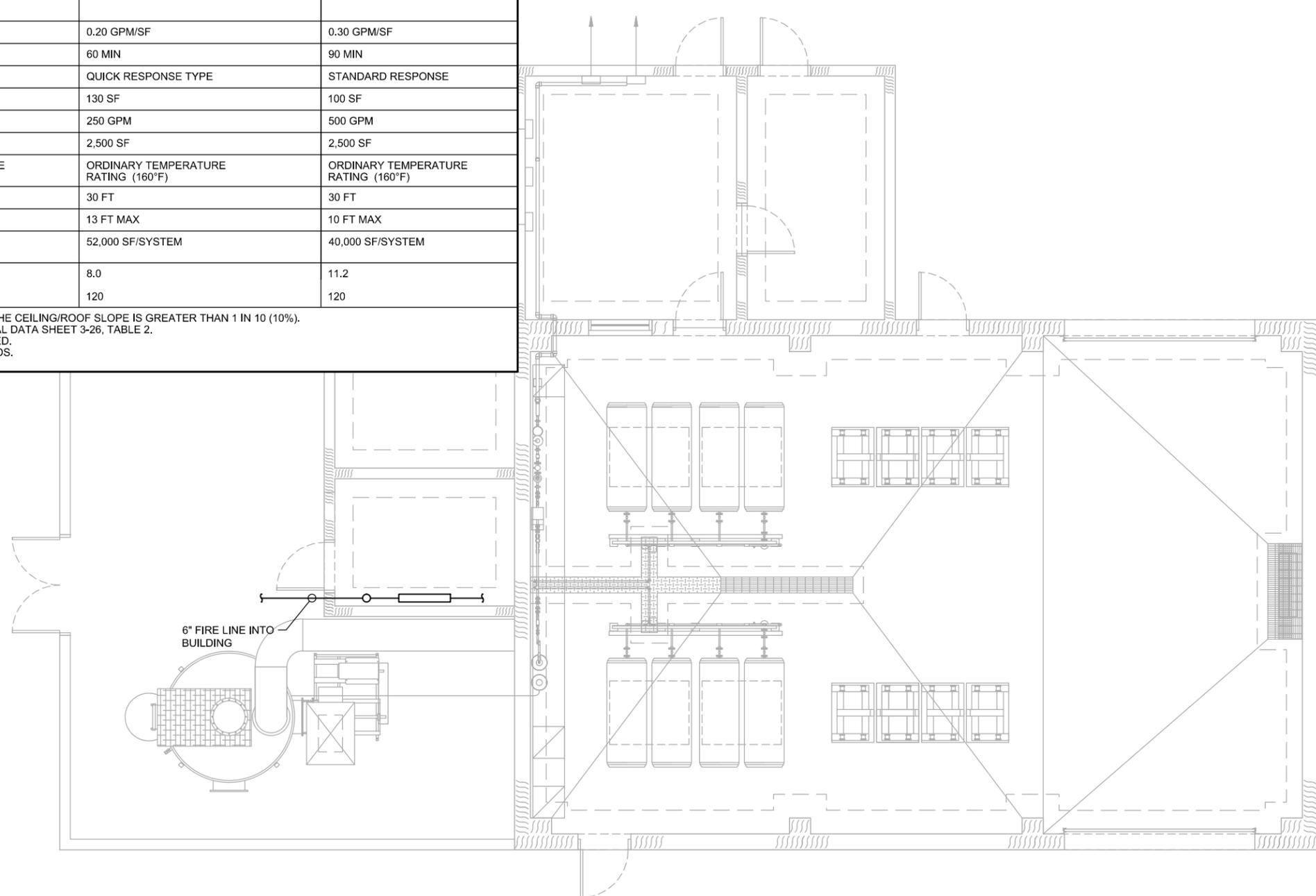
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**FIRE PROTECTION REQUIREMENTS**

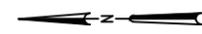
HAZARD	HAZARD CATEGORY ONE HC-1	HAZARD CATEGORY TWO HC-2	HAZARD CATEGORY THREE HC-3
DESCRIPTION	TOILETS, OFFICES, CORRIDORS, CONF RM LG;	TER, ASSEMBLY, ELEC RM, COMM RM, SIPR, MECHANICAL ROOMS, STORAGE (LESS THAN 12 FT) WORK BAYS	MECHANICAL ROOM
APPLICATION AREA			
DESIGN DENSITY	0.10 GPM/SF	0.20 GPM/SF	0.30 GPM/SF
DISCHARGE TIME	60 MIN	60 MIN	90 MIN
SPRINKLER TYPE	QUICK RESPONSE TYPE	QUICK RESPONSE TYPE	STANDARD RESPONSE
COVERAGE PER SPRINKLER	225 SF	130 SF	100 SF
HOSE STREAM	250 GPM	250 GPM	500 GPM
DESIGN AREA (NOTE 1, 2 & 3)	1,500 SF	2,500 SF	2,500 SF
SPRINKLER TEMP RATING	ORDINARY TEMPERATURE RATING (160°F)	ORDINARY TEMPERATURE RATING (160°F)	ORDINARY TEMPERATURE RATING (160°F)
MAXIMUM CEILING HEIGHT	30 FT	30 FT	30 FT
SPACE BETWEEN SPRINKLERS	15 FT MAX	13 FT MAX	10 FT MAX
FLOOR AREA THROUGH ONE RISER	52,000 SF/SYSTEM	52,000 SF/SYSTEM	40,000 SF/SYSTEM
K-FACTOR OF SPRINKLER NOZZLE	5.6	8.0	11.2
"C" FACTOR	120	120	120

NOTE: 1. DESIGN AREA SHALL BE INCREASED 30% WHEN THE CEILING/ROOF SLOPE IS GREATER THAN 1 IN 10 (10%).  
 2. FOR CEILING HEIGHTS OVER 30 FT SEE FM GLOBAL DATA SHEET 3-26, TABLE 2.  
 3. EXTENDED COVERAGE SPRINKLERS NOT ALLOWED.  
 4. INSTALL PENDANT SPRINKLERS ON RETURN BENDS.



**FIRE PROTECTION FLOOR PLAN**

1/4" = 1'-0"



DSGN	R WILLEITNER				
DR	C HOGGARD				
CHK	XXX				
APVD	XXX				
	NO.	DATE	REVISION	BY	APVD

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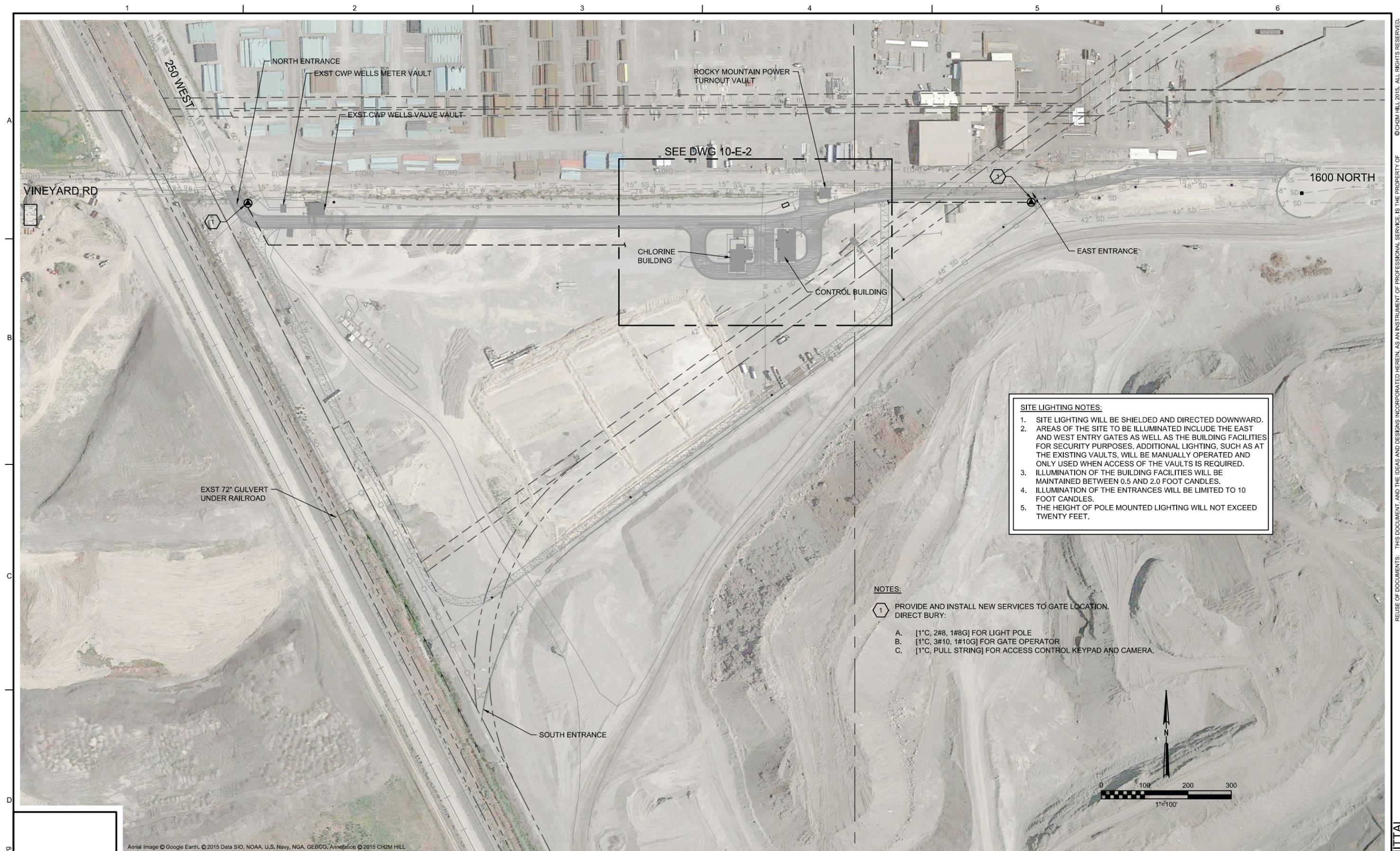
CWP - CHLORINE FACILITIES  
 VINEYARD - CHLORINE FACILITY  
 FIRE PROTECTION  
 FLOOR PLAN

SHEET	
DWG	10-F-1
DATE	APRIL 2015
PROJ	199815

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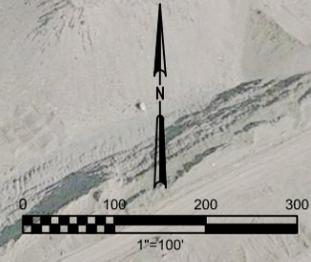
**SITE LIGHTING NOTES:**

1. SITE LIGHTING WILL BE SHIELDED AND DIRECTED DOWNWARD.
2. AREAS OF THE SITE TO BE ILLUMINATED INCLUDE THE EAST AND WEST ENTRY GATES AS WELL AS THE BUILDING FACILITIES FOR SECURITY PURPOSES. ADDITIONAL LIGHTING, SUCH AS AT THE EXISTING VAULTS, WILL BE MANUALLY OPERATED AND ONLY USED WHEN ACCESS OF THE VAULTS IS REQUIRED.
3. ILLUMINATION OF THE BUILDING FACILITIES WILL BE MAINTAINED BETWEEN 0.5 AND 2.0 FOOT CANDLES.
4. ILLUMINATION OF THE ENTRANCES WILL BE LIMITED TO 10 FOOT CANDLES.
5. THE HEIGHT OF POLE MOUNTED LIGHTING WILL NOT EXCEED TWENTY FEET.

**NOTES:**

1 PROVIDE AND INSTALL NEW SERVICES TO GATE LOCATION. DIRECT BURY:

A. [1" C, 2#8, 1#8G] FOR LIGHT POLE  
 B. [1" C, 3#10, 1#10G] FOR GATE OPERATOR  
 C. [1" C, PULL STRING] FOR ACCESS CONTROL KEYPAD AND CAMERA.



DSGN	C CURTIS						
DR	K BARTLETT						
CHK	XXX						
APVD	XXX						
		NO.	DATE	REVISION	BY	APVD	

VERIFY SCALE  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

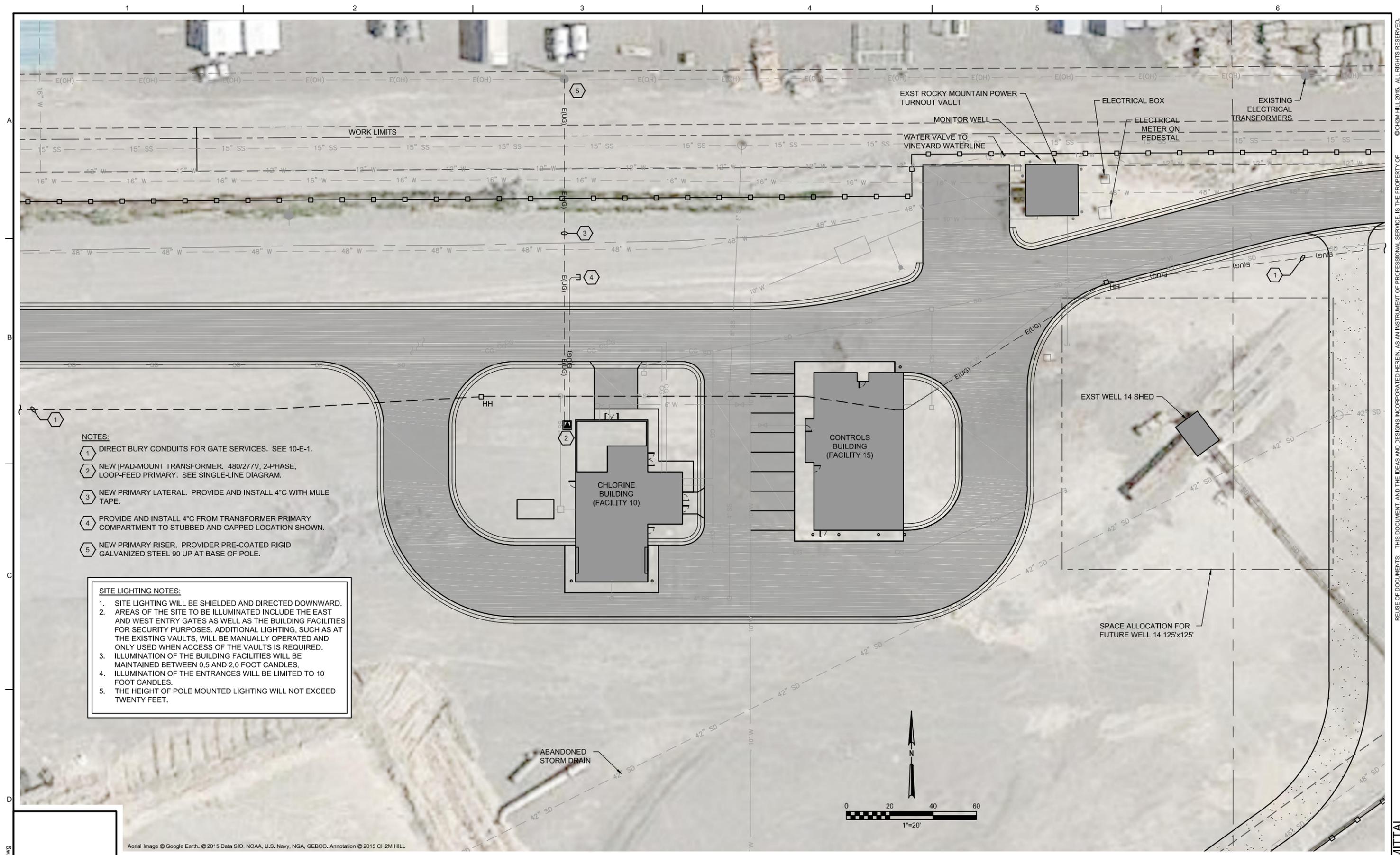


CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 ELECTRICAL  
 OVERALL SITE PLAN

SHEET	
DWG	10-E-1
DATE	APRIL 2015
PROJ	199815

10-E-01d\_199815.dwg

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- NOTES:**
- 1 DIRECT BURY CONDUITS FOR GATE SERVICES. SEE 10-E-1.
  - 2 NEW PAD-MOUNT TRANSFORMER. 480/277V, 2-PHASE, LOOP-FEED PRIMARY. SEE SINGLE-LINE DIAGRAM.
  - 3 NEW PRIMARY LATERAL. PROVIDE AND INSTALL 4\"/>

- SITE LIGHTING NOTES:**
- 1. SITE LIGHTING WILL BE SHIELDED AND DIRECTED DOWNWARD.
  - 2. AREAS OF THE SITE TO BE ILLUMINATED INCLUDE THE EAST AND WEST ENTRY GATES AS WELL AS THE BUILDING FACILITIES FOR SECURITY PURPOSES. ADDITIONAL LIGHTING, SUCH AS AT THE EXISTING VAULTS, WILL BE MANUALLY OPERATED AND ONLY USED WHEN ACCESS OF THE VAULTS IS REQUIRED.
  - 3. ILLUMINATION OF THE BUILDING FACILITIES WILL BE MAINTAINED BETWEEN 0.5 AND 2.0 FOOT CANDLES.
  - 4. ILLUMINATION OF THE ENTRANCES WILL BE LIMITED TO 10 FOOT CANDLES.
  - 5. THE HEIGHT OF POLE MOUNTED LIGHTING WILL NOT EXCEED TWENTY FEET.

Aerial Image © Google Earth. ©2015 Data SIO, NOAA, U.S. Navy, NGA, GEBCO. Annotation © 2015 CH2M HILL

DSGN	C CURTIS						
DR	K BARTLETT						
CHK	XXX						
APVD	XXX						
		NO.	DATE	REVISION	BY	APVD	

**VERIFY SCALE**  
 BAR IS ONE INCH ON ORIGINAL DRAWING.  
 0 1"  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

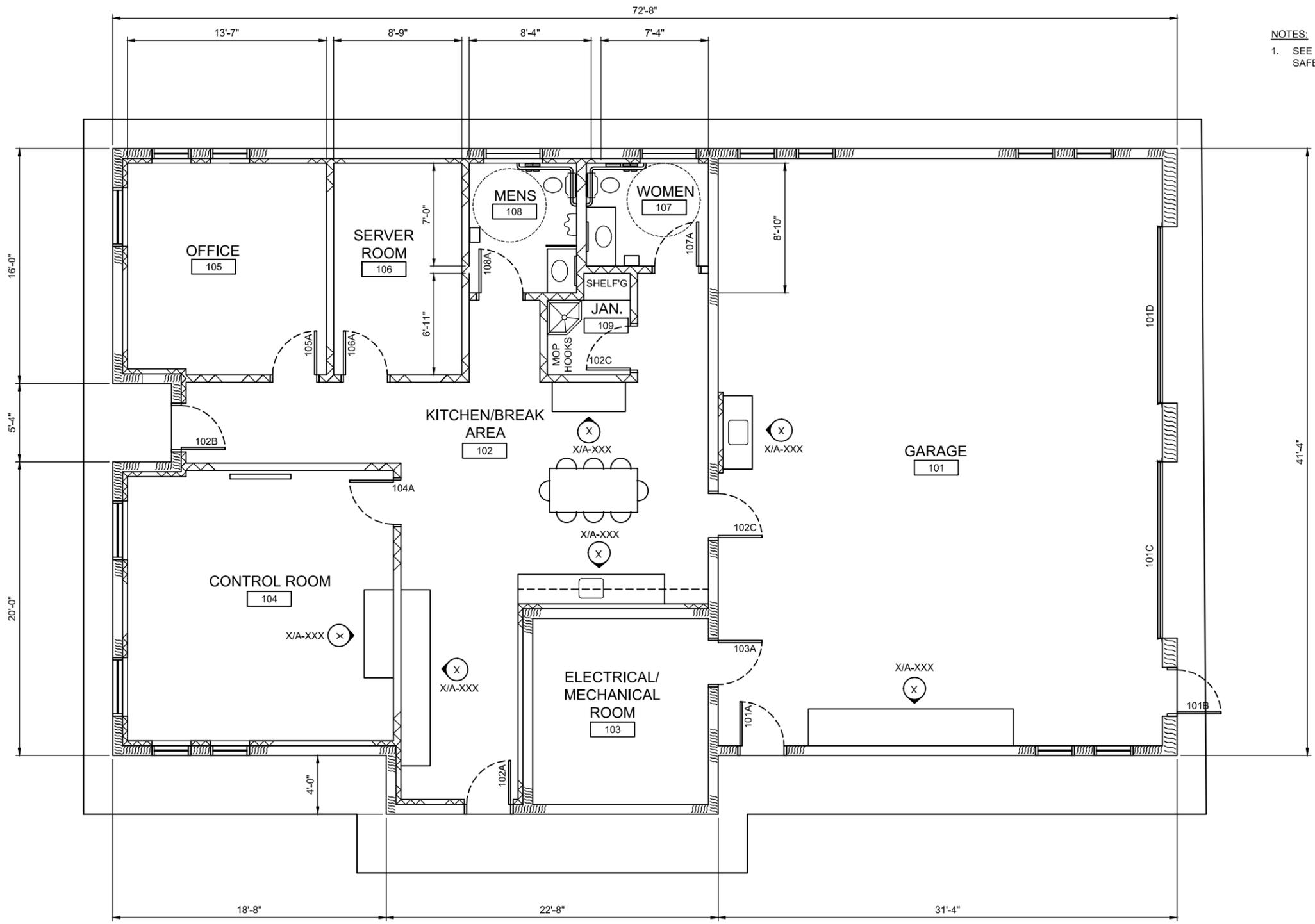


CWP - CHLORINE FACILITIES  
 VINEYARD FACILITY  
 ELECTRICAL  
 ENLARGED SITE PLAN

SHEET	
DWG	10-E-2
DATE	APRIL 2015
PROJ	199815

10-E-02d\_199815.dwg

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**NOTES:**  
1. SEE SHEET 00-G-10 FOR CODE DATA AND LIFE SAFETY.

**FLOOR PLAN**  
1/4" = 1'-0"

DSGN	J RESEIGH						
DR	D DALSOGLIO						
CHK	XXX						
APVD	J RESEIGH	NO.	DATE	REVISION	BY	APVD	

VERIFY SCALE  
BAR IS ONE INCH ON ORIGINAL DRAWING.  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

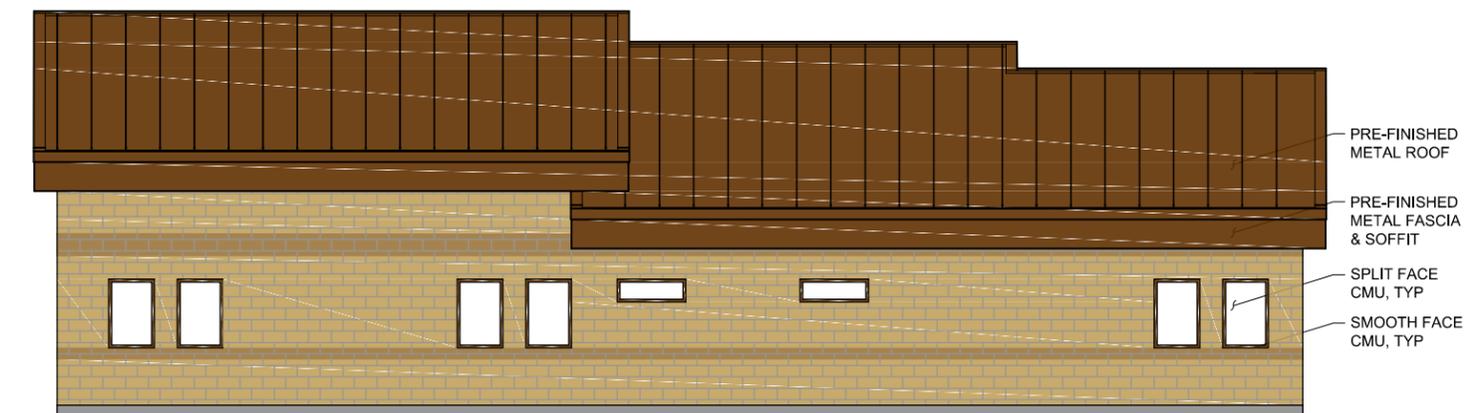


CWP - CHLORINE FACILITIES  
VINEYARD - CONTROL FACILITY  
ARCHITECTURAL  
FLOOR PLAN

SHEET	
DWG	15-A-1
DATE	APRIL 2015
PROJ	199815

15-A-01d\_199815.dwg

NOTE:  
SEE STRUCTURAL DRAWINGS FOR  
TOP OF MASONRY ELEVATIONS.



**EAST ELEVATION**  
3/16" = 1'-0"



**NORTH ELEVATION**  
3/16" = 1'-0"



**WEST ELEVATION**  
3/16" = 1'-0"



**SOUTH ELEVATION**  
3/16" = 1'-0"

EL 4550.00  
HIGHEST PERMISSIBLE  
BLDG ELEVATION

40'-0"  
MAX BLDG HT ABOVE LOWEST POINT

EL 4541.50

EL 4510.00  
LOWEST ELEVATION OF SITE  
(LOCATED @ NW CORNER OF  
PROPERTY)

DSGN	J RESEIGH								
DR	D DALSOGLIO								
CHK	XXX								
APVD	J RESEIGH	NO.	DATE	REVISION	BY	APVD			

VERIFY SCALE  
BAR IS ONE INCH ON  
ORIGINAL DRAWING.  
0 1"  
IF NOT ONE INCH ON  
THIS SHEET, ADJUST  
SCALES ACCORDINGLY.



CWP - CHLORINE FACILITIES  
VINEYARD - CONTROL FACILITY  
ARCHITECTURAL  
ELEVATIONS

SHEET	
DWG	15-A-3
DATE	APRIL 2015
PROJ	199815

15-A-03d\_199815.dwg

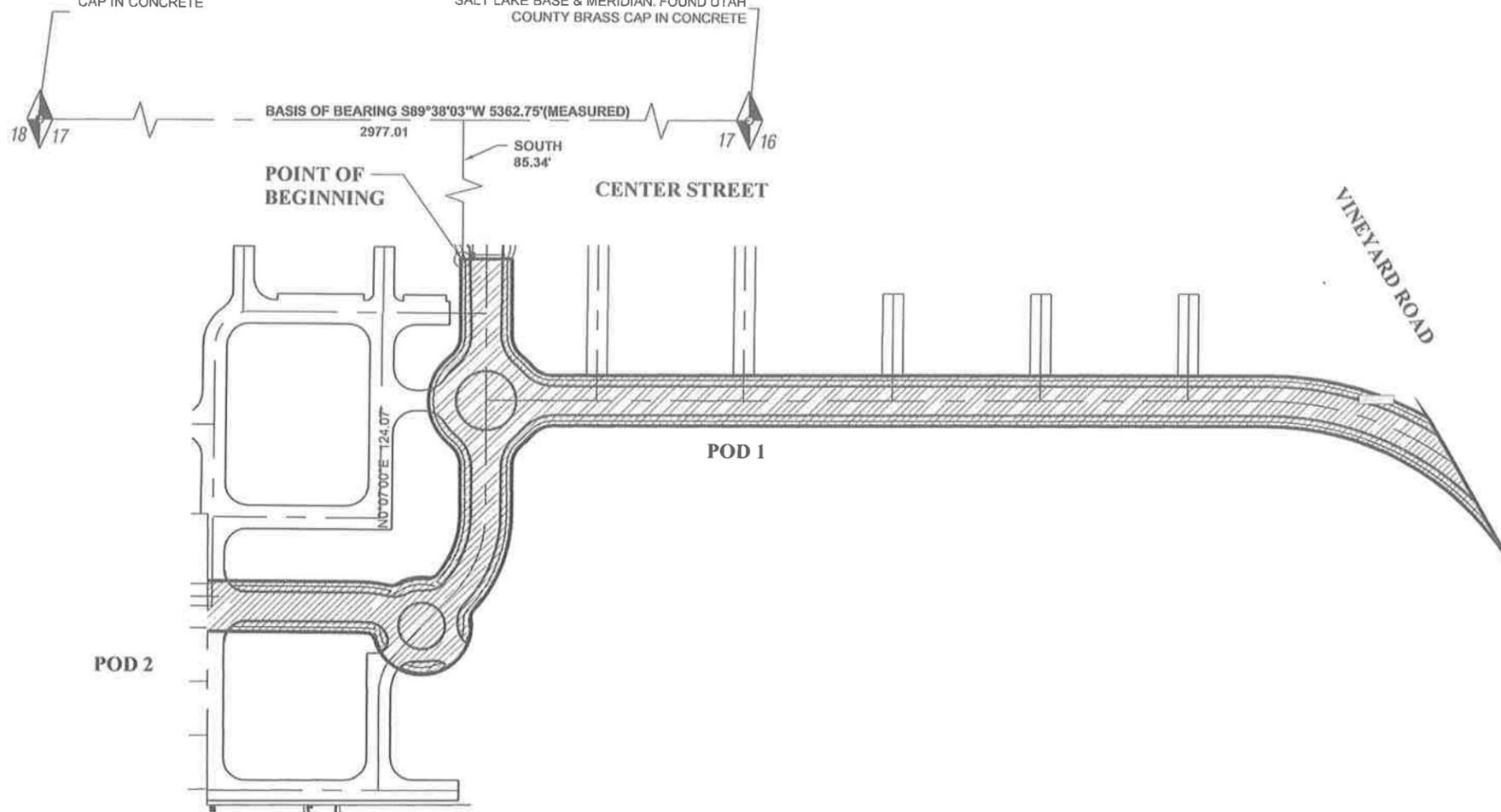
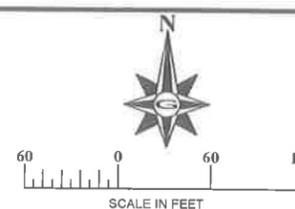
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# PAS DE PLACE ROAD / FAISAN ROAD DEDICATION

LOCATED IN SOUTHEAST QUARTER OF SECTION 17  
AND THE SOUTHWEST QUARTER OF SECTION 17,  
TOWNSHIP 6 SOUTH, RANGE 2 EAST,  
SALT LAKE BASE AND MERIDIAN.

WEST QUARTER CORNER OF SECTION  
MONUMENT 17, TOWNSHIP 6 SOUTH,  
RANGE 2 EAST, SALT LAKE BASE &  
MERIDIAN. FOUND UTAH COUNTY BRASS  
CAP IN CONCRETE

EAST QUARTER CORNER OF SECTION 17,  
TOWNSHIP 6 SOUTH, RANGE 2 EAST,  
SALT LAKE BASE & MERIDIAN. FOUND UTAH  
COUNTY BRASS CAP IN CONCRETE



## SURVEYORS CERTIFICATE

I, JOSH F. MADSEN DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR,  
AND THAT I HOLD LICENSE NO. 5152657 AS PRESCRIBED BY THE LAWS OF THE STATE OF  
UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A  
SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND  
THAT I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND  
EASEMENTS AND THAT THE SAME HAS OR WILL BE STAKED ON THE GROUND AS SHOWN  
ON THIS PLAT, AND SHALL BE HEREAFTER KNOWN AS DE LA PLACE ROAD.

## BOUNDARY DESCRIPTION

BEGINNING AT A POINT LOCATED NORTH 89°38'03" EAST 2977.01 FEET AND SOUTH 85.34 FEET FROM THE WEST QUARTER CORNER OF SECTION 17, TOWNSHIP 6 SOUTH, RANGE 2 EAST SALT LAKE BASE AND MERIDIAN AND RUNNING THENCE NORTH 89°24'56" EAST 64.00 FEET; THENCE SOUTH 0°21'57" EAST 97.17 FEET TO A 35.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 31.30 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°13'55" (CHORD=SOUTH 25°58'54" EAST 30.26 FEET) TO A 72.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 15.66 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 12°27'51" (CHORD=SOUTH 45°21'57" EAST 15.63 FEET) TO A 35.00 FOOT RADIUS CURVE TO THE LEFT; THENCE CONTINUING ALONG THE ARC OF SAID CURVE 31.30 FEET THROUGH A CENTRAL ANGLE OF 51°13'55" (CHORD=SOUTH 64°44'59" EAST 30.26 FEET); THENCE NORTH 89°38'03" EAST 908.99 FEET TO A 432.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 215.72 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 28°36'39" (CHORD=SOUTH 76°03'37" EAST 213.49 FEET); THENCE SOUTH 30°10'07" EAST 226.27 FEET TO A 368.00 FOOT NON-TANGENT CURVE TO THE LEFT; THENCE 386.63 FEET ALONG THE ARC OF SAID CURVE BEARING TO CENTER=SOUTH 59°49'53" WEST, THROUGH A CENTRAL ANGLE OF 60°11'49" (CHORD=NORTH 60°16'02" WEST 369.10 FEET); THENCE SOUTH 89°38'03" WEST 908.99 FEET TO A 35.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 31.30 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°13'55" (CHORD=SOUTH 64°01'06" WEST 30.26 FEET) TO A 72.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 15.66 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 12°27'51" (CHORD=SOUTH 44°38'03" WEST 15.63 FEET) TO A 35.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 31.30 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°13'55" (CHORD=SOUTH 25°15'01" WEST 30.26 FEET); THENCE SOUTH 0°21'57" EAST 61.63 FEET TO A 182.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 134.37 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 42°18'06" (CHORD=SOUTH 20°47'07" WEST 131.34 FEET) TO A 11.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 9.92 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°41'14" (CHORD=SOUTH 16°05'32" WEST 9.59 FEET) TO A 62.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 187.97 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 173°42'21" (CHORD=SOUTH 77°06'06" WEST 123.81 FEET) TO A 11.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 13.15 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 68°30'49" (CHORD=NORTH 50°18'08" WEST 12.38 FEET); THENCE SOUTH 89°59'56" WEST 191.48 FEET; THENCE NORTH 0°26'14" WEST 64.00 FEET; THENCE NORTH 89°59'56" EAST 231.36 FEET TO A 182.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 39.40 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 12°24'09" (CHORD=SOUTH 83°48'00" EAST 39.32 FEET) TO A 11.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 8.55 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 44°33'28" (CHORD=NORTH 80°07'21" EAST 8.34 FEET) TO A 62.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 43.41 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 40°07'08" (CHORD=NORTH 77°54'11" EAST 42.53 FEET) TO A 11.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 11.09 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 57°46'21" (CHORD=NORTH 69°04'35" EAST 10.63 FEET) TO A 118.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 83.52 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 40°33'21" (CHORD=NORTH 19°54'44" EAST 81.79 FEET); THENCE NORTH 0°21'57" WEST 61.63 FEET TO A 35.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 31.30 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°13'55" (CHORD=NORTH 25°58'54" WEST 30.26 FEET) TO A 72.00 FOOT RADIUS CURVE TO THE RIGHT; THENCE 128.76 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 102°27'51" (CHORD=NORTH 0°21'57" WEST 112.28 FEET) TO A 35.00 FOOT RADIUS CURVE TO THE LEFT; THENCE 31.30 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 51°13'55" (CHORD=NORTH 25°15'01" EAST 30.26 FEET); THENCE NORTH 0°21'57" WEST 96.92 FEET TO THE POINT OF BEGINNING.



12401 SOUTH 460 EAST  
DRAPER, UT. 84020 BLD  
PHONE: (801) 571-9414  
FAX: (801) 571-9449

CONSULTING ENGINEERS AND SURVEYORS

CONTAINS 3.159 ACRES

## OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT \_\_\_\_\_, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND HAVING CAUSED SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO BE HEREAFTER KNOWN AS

## PAS DE PLACE ROAD

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE OWNER(S) WARRANT AND DEFEND AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCE ON A DEDICATED STREET WHICH WILL INTERFERE WITH THE CITY'S USE, MAINTENANCE AND OPERATION OF THE STREET.

IN WITNESS WHEREOF \_\_\_\_\_ HAVE HEREUNTO SET THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

## LEGEND

- FOUND UTAH COUNTY BRASS CAP MONUMENT AS DESCRIBED HEREON
- MONUMENT TO BE SET
- STREET CENTERLINE
- ROAD RIGHT OF WAYS
- SECTION LINE

## CORPORATE ACKNOWLEDGMENT

STATE OF UTAH  
COUNTY OF UTAH  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_, PERSONALLY APPEARED BEFORE ME RUSTIN J. TOLBERT, WHO BEING BY ME DULY SWORN DID SAY THAT HE IS THE PRESIDENT OF HALLMARK HOMES AND DEVELOPMENT INC. AND THAT THE WITHIN AND FOREGOING INSTRUMENT WAS SIGNED VOLUNTARILY FOR SAID CORPORATION AND FOR THE USES AND PURPOSES HEREIN MENTIONED.

VINEYARD HOMESTEADS POD1 LLC  
ITS PRESIDENT: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_ NOTARY PUBLIC RESIDING AT \_\_\_\_\_

## ACCEPTANCE BY LEGISLATIVE BODY

THE MAYOR OF THE TOWN OF VINEYARD, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE PERPETUAL USE OF THE PUBLIC.  
THIS \_\_\_\_\_, DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

\_\_\_\_\_  
Mayor  
Attest  
\_\_\_\_\_  
City Recorder  
(See Seal Below)

## TOWN FIRE MARSHALL

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
\_\_\_\_\_  
VINEYARD TOWN FIRE MARSHALL

## VINEYARD ENGINEER

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
\_\_\_\_\_  
VINEYARD TOWN ENGINEER

## PLANNING COMMISSION CHAIR

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
\_\_\_\_\_  
VINEYARD PLANNING COMMISSION CHAIR

## TOWN ATTORNEY

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
\_\_\_\_\_  
VINEYARD TOWN ATTORNEY

## VINEYARD MAYOR

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
\_\_\_\_\_  
VINEYARD TOWN MAYOR

## VINEYARD HOMESTEADS

POD1 LLC  
254 WEST WILLAMETTE CIRCLE  
WEST JORDAN, UT 84093

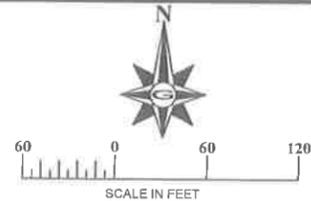
## PAS DE PLACE ROAD/FAISAN ROAD

LOCATED IN SOUTHWEST QUARTER OF SECTION 17  
AND THE SOUTHEAST QUARTER OF SECTION 17,  
TOWNSHIP 6 SOUTH, RANGE 2 EAST.

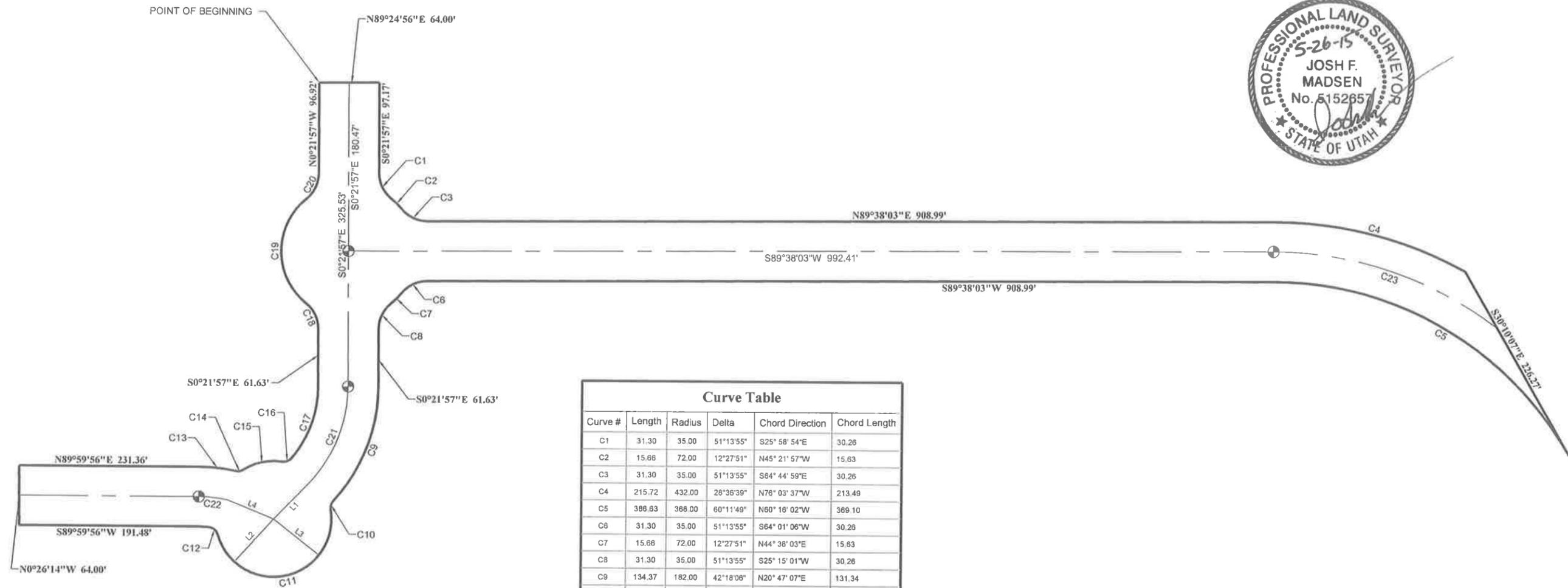
Recorded # \_\_\_\_\_  
State of Utah, County of UTAH, recorded and filed as the request of \_\_\_\_\_  
Date \_\_\_\_\_ Time \_\_\_\_\_ Book \_\_\_\_\_ Page \_\_\_\_\_  
Fee \$ \_\_\_\_\_ Utah County Recorder

# PAS DE PLACE ROAD DEDICATION

LOCATED IN SOUTHEAST QUARTER OF SECTION 17  
AND THE SOUTHWEST QUARTER OF SECTION 17,  
TOWNSHIP 6 SOUTH, RANGE 2 EAST,  
SALT LAKE BASE AND MERIDIAN.



LEGEND	
	FOUND UTAH COUNTY BRASS CAP MONUMENT AS DESCRIBED HEREON
	MONUMENT TO BE SET
	STREET CENTERLINE
	ROAD RIGHT OF WAYS
	SECTION LINE



Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	31.30	35.00	51°13'55"	S25° 58' 54"E	30.26
C2	15.66	72.00	12°27'51"	N45° 21' 57"W	15.63
C3	31.30	35.00	51°13'55"	S84° 44' 59"E	30.26
C4	215.72	432.00	28°36'39"	N76° 03' 37"W	213.49
C5	388.83	388.00	60°11'49"	N60° 18' 02"W	389.10
C6	31.30	35.00	51°13'55"	S64° 01' 06"W	30.26
C7	15.66	72.00	12°27'51"	N44° 38' 03"E	15.63
C8	31.30	35.00	51°13'55"	S25° 15' 01"W	30.26
C9	134.37	182.00	42°18'08"	N20° 47' 07"E	131.34
C10	9.92	11.00	51°41'14"	S16° 05' 32"W	9.59
C11	187.97	82.00	173°42'21"	N77° 06' 06"E	123.81
C12	13.15	11.00	68°30'49"	N50° 18' 08"W	12.38
C13	39.40	182.00	12°24'09"	N83° 46' 00"W	39.32
C14	8.55	11.00	44°33'28"	N80° 07' 21"E	8.34
C15	43.41	82.00	40°07'08"	S77° 54' 11"W	42.53
C16	11.09	11.00	57°46'21"	N69° 04' 35"E	10.63
C17	83.52	118.00	40°33'21"	N19° 54' 44"E	81.79
C18	31.30	35.00	51°13'55"	N25° 58' 54"W	30.26
C19	128.76	72.00	102°27'51"	S0° 21' 57"E	112.28
C20	31.30	35.00	51°13'55"	N25° 15' 01"E	30.26
C21	118.99	150.00	44°41'16"	N21° 58' 41"E	114.05
C22	31.26	150.00	11°56'32"	N64° 01' 48"W	31.21
C23	259.17	400.00	37°07'23"	N71° 48' 15"W	254.66

ROAD CL TABLE

Line #	Length	Direction
L1	51.08	S44°19'19"W
L4	53.19	S67°50'45"E
L3	62.00	S51°55'06"E
L2	60.00	N42°00'47"E

12401 SOUTH 460 EAST  
DRAPER, UT, 84020 BLD  
PHONE: (801) 571-9414  
FAX: (801) 571-6449

CONSULTING ENGINEERS AND SURVEYORS



## Community Development

**SUBJECT:** Dedication of Right-of-Way – New Vineyard Road

**MEETING DATE:** May 27, 2015

**TO:** Town Council

**FROM:** Nathan Crane, Town Planner

---

**REQUEST:** Dedication of Right-of-Way – New Vineyard Road

**PARCEL SIZE:** 3.13 acres of Right-of-Way

**LOCATION:** Southwest corner of Center Street and Old Vineyard Road

**APPLICANT:** Mike Olsen

**OWNER:** Vineyard Homesteads POD 1 LLC

---

**BACKGROUND:**

The realignment of Old Vineyard Road has been planned for the past several years. The applicant is proposing to dedicate the public right of way for the New Vineyard Road alignment. This will allow the road design and construction to proceed while the development plans for Pod 1 are finalized.

The proposed alignment has been reviewed by Town Staff. The right-of-way is 64 feet in width and includes appropriate area for to accommodate intersections. The proposed alignment is consistent with the extension of New Vineyard Road in the Le Cheminat Development and the future Center Street overpass.

The Town Council is required to approve the acceptance of right-of-way.

**RECOMMENDATION AND PROPOSED MOTION:**

I move that the Town Council **APPROVE** the map of dedication.

**ATTACHMENTS:**

Exhibit A – Map of Dedication