



**NOTICE OF A WORK SESSION WITH STAFF,  
PUBLIC HEARINGS AND A REGULAR MEETING OF  
THE VINEYARD TOWN COUNCIL  
August 26, 2015 at 6:00 pm**

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Public Notice is hereby given that the Vineyard Town Council will hold a Work Session with Staff starting at 6:00 pm, Public Hearings and a Regular Meeting starting at 7:00 pm, on Wednesday, August 26, 2015, in the Vineyard Town Hall; 240 East Gammon Road, Vineyard, Utah. The agenda will consist of the following:

**AGENDA**

**6:00 PM          WORK SESSION WITH STAFF**

**7:00 PM          REGULAR SESSION**

**1. CALL TO ORDER/PRAYER**

**2. CONSENT ITEMS:**

- a) Approval of June 10, 2015 Minutes
- b) Approval of June 24, 2015 Minutes
- c) Approval of August 24, 2015 Special Session Minutes
- d) Approval of Final Plat for WatersEdge Phase 3A
- e) Approval of Final Plat for WatersEdge Phase 5A

**3. PLANNING COMMISSION UPDATE AND RECOMMENDATIONS TO THE COUNCIL:** Planning Commission Chair Wayne Holdaway

**4. STAFF REPORTS**

- Public Works Director /Engineer– Don Overson
- Attorney – David Church
- Utah County Sheriff Department – Collin Gordon
- Planner – Nathan Crane
- Treasurer – Jacob McHargue
- Town Clerk/Recorder – Pamela Spencer

**5. COUNCILMEMBERS' REPORTS**

**Dale Goodman – Mayor Pro-tem July – September**

- Public works – Park/Trails/Roads/Buildings
- Planning and Zoning

**Julie Fullmer – Mayor Pro-tem October - December**

- Youth Council
- Branding Committee
- Town Special Events
- Orem Community Hospital Board

**Sean Fernandez – Mayor Pro-tem January – March**

- Timpanogos Special Service District - Board Member
- ULCT Legislative Policy Committee

**Nate Riley – Mayor Pro-tem April – June**

- Economic Advisory Committee
- Utah Lake Technical Committee

**6. MAYOR’S REPORT**

- North Pointe Solid Waste Special Service District - Board Member
- Mountainland Association of Governments
- Council of Governments
- Utah Lake Commission
- Economic Development Corporation Utah
- Meetings with Orem

**7. OPEN SESSION: Citizen’s Comments (Please see note below)**

*(15 minutes)*

**8. BUSINESS ITEMS:**

**8.1 DISCUSSION AND ACTION – Traffic Calming Committee Report**

*(15 minutes)*

The Traffic Calming Committee will report on their discussions and any recommended solutions. The Mayor and Town Council will take appropriate action.

**8.2 PUBLIC HEARING – Columbia Mill Works Conditional Use Permit and Site Plan Approval**

Joel Pilling with Columbia Mill Works is requesting a conditional use permit and site plan approval for a 34,000 sq. ft. office warehouse building, located at 426 E and 456 E. 1750 N. Vineyard, in the I-1 zone.

**8.3 PUBLIC HEARING – R-Mill Conditional Use Permit and Site Plan Approval**

Jared Anzures, Aeurbia. Agent authorized by owner Ryan Poelman is seeking approval of a Conditional Use and Site Plan applications for two (2) office warehouse buildings to be built on a 6.73 acre parcel, located at 517 E. and 543 E. 1600 N. in Vineyard in the I-1 Zone.

**8.4 PUBLIC HEARING – MS Properties Conditional Use Permit and Site Plan Approval**

Rob Tubman with MS Properties; Vineyard Properties of Utah LLC is requesting approval of a site plan and conditional use permit for an office/warehouse-manufacturing building located at 331 E. and 371 E. 1750 North in the I-1 Zone.

**8.5 DISCUSSION AND ACTION – Development and Site Plan Approval for Vineyard Gateway**

*(15 minutes)*

The applicant is seeking approval for a four-building retail shopping center with a total square footage of 21,986. The proposed project will be located at the Northwest corner of Mill Road and Geneva Road.

**8.6 DISCUSSION AND ACTION – Amendment to the Beer License Code**

*(Ordinance 2015- )*

*(15 minutes)*

Town Attorney David Church will present a proposed amendment to the Beer License Code. The Mayor and Town Council will take appropriate action.

**8.7 DISCUSSION AND ACTION – Public Safety Building**

*(15 minutes)*

Public Works Director/Engineer Don Overson and Treasurer Jacob McHargue will present options for the Public Safety Building. Mayor and Town Council will take appropriate action.

**8.8 DISCUSSION AND ACTION – Staffing**

(15 minutes)

Staff is requesting approval of the reorganization of the Finance Department (This item was continued from the July 22, 2015 meeting.) The Mayor and Town Council will take appropriate action.

**8.9 DISCUSSION AND ACTION – MOU or Interlocal Agreement with Utah County in regards to the 2015 General Election**

(15 minutes)

Staff is requesting approval for the Mayor to sign a Memorandum of Understanding (MOU) or Interlocal Agreement to then be presented to the Utah County Clerk and Commissioners as an agreement to possibly include the County’s Special Election Ballot on the Vineyard Municipal Ballot with recommendations as to how this could be accomplished. The Mayor and Town Council will take appropriate action.

**9. ITEMS REQUESTED FOR NEXT AGENDA**

**10. CLOSED SESSION**

The Mayor and Town Council pursuant to Utah Code 52-4-205 may vote to go into a closed session for the purpose of:

- (a) discussion of the character, professional competence, or physical or mental health of an individual
- (b) strategy sessions to discuss collective bargaining
- (c) strategy sessions to discuss pending or reasonably imminent litigation
- (d) strategy sessions to discuss the purchase, exchange, or lease of real property
- (e) strategy sessions to discuss the sale of real property

**11. ADJOURNMENT**

This meeting may be held electronically to allow a councilmember to participate by teleconference.

Next regularly scheduled meeting is September 9, 2015

NOTE: “**Open Session**” is defined as time set aside for citizens to express their views. Each speaker is limited to three minutes. Because of the need for proper public notice, immediate action will **not** be taken in the Council Meeting. If action is necessary, the item will be listed on a future agenda, however, the Council may elect to discuss the item if it is an immediate matter of concern.

The Public is invited to participate in all Town Council meetings. In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the Town Clerk at least 24 hours prior to the meeting by calling (801) 226-1929.

I the undersigned duly appointed Recorder for the Town of Vineyard, hereby certify that the foregoing notice and agenda was emailed to the Daily Herald, posted at the Vineyard Town Hall, the Vineyard Town website, the Utah Public Notice website, delivered electronically to Town staff and to each member of the Governing Body.

**AGENDA NOTICING COMPLETED ON:** August 25, 2015 at 5:00 PM

**CERTIFIED (NOTICED) BY:** /s/ Pamela Spencer  
**P. SPENCER, TOWN CLERK/RECORDER**



## COMMUNITY DEVELOPMENT

**SUBJECT:** Site Plan and Conditional Use Permit for a Office/Warehouse/Manufacturing Building

**MEETING DATE:** August 25, 2015

**TO:** Town Council

**FROM:** Nathan Crane, Town Planner

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**REQUEST:** Approval of a site plan and conditional use permit for an office/warehouse-manufacturing building on Lots 8 and 9 of the East Lake Industrial Business Park Phase 1.

**PARCEL SIZE:** 4.23 Acres

**LOCATION:** Northeast corner of 400 East and 1750 North

**APPLICANT:** Joel Pillings

**OWNER:** Traco West Buildings LLC

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### BACKGROUND:

The property is designated General Industrial on the General Plan land use map. The property is zoned I-1 (Industrial). The final plat for East Lake Industrial Business Park Phase 1 was approved by the Council on May 14, 2008.

Site plan and conditional use permit approval are administrative actions.

### SUMMARY OF REQUEST:

1. The applicant is requesting a site plan approval for two office/warehouse-manufacturing building on Lots 8 and 9 of the East Lake Industrial Business Park Phase 1 Amended. The buildings are 34,080 square feet and will accommodate office, manufacturing, and warehouse space. The building height is 21 feet.
2. The project will be built in one phase.
3. The proposed architecture split face block. Building colors included different tones of beige and brown. The front includes focal points at the front entrance, window features, and accent panels.

4. Access to the site is proposed from 400 East and 1750 North which are private roads. All driveways and related improvements will be constructed with the first phase of development.
5. Culinary water is provided through connections to an existing system. Sanitary sewer will be provided through a connection to a Town sewer line.
6. The building has been designed to accommodate different users. The specific users have not been identified.

#### **CITIZEN PARTICIPATION:**

A notice of the Planning Commission public hearing was published in the Daily Herald on June 19, 2015. Notice of the public hearing was also sent to all property owners within 300 feet of the property. No comments have been received.

#### **SITE PLAN ANALYSIS:**

##### *General Plan and Zoning*

- The site is designated as General Industrial on the Town of Vineyard General Plan. The type and scale of the proposed development is consistent with the General Plan and the I-1 Zoning District.

##### *Access, Circulation, and Parking*

- The proposed drives into the development provide adequate access to the site. All street improvements have been completed.
- The proposed site plan includes 55 parking spaces. This exceeds the minimum requirement of 54 spaces.
- A cross access easement will be needed for the east driveway on 1750 North.

##### *Landscaping*

- A preliminary landscape plan has been provided. However, it does not meet the current requirements of the Zoning Ordinance. A stipulation has been included requiring a revised landscape plan prior to review. Final landscape plans will be submitted and approved by staff prior to the issuance of a building permit.
- The required landscape buffers along 400 East and 1750 North have been provided. All parking is screened by a landscape berm however, a detail is needed.

### *Building Materials, Colors, and Design*

- Materials and architectural design of this site will compliment the architecture of existing and future development. The use of the glass features on the front, and accent panels will result in visual interest.
- The proposed architecture meets the intent of the building design requirements in Chapter 18 of the Town of Vineyard Zoning Ordinance.

### **CONDITIONAL USE PERMIT:**

The Town Council must determine that the proposed use meets six standards prior to granting a Conditional Use Permit. The burden of proof rests with the applicant. Each standard is presented below along with staff's analysis.

#### **1. The proposed use is an allowed Conditional Use within the Zoning District.**

The subject property is designated as General Industrial on the Land Use Map and is zoned I-1 (Industrial). The I-1 Zoning District allows manufacturing, compounding, processing, packaging of good materials subject to site plan and conditional use permit approval by the Town Council. The proposed use is consistent with the General Industrial Land Use category and is permitted in the I-1 District subject to a conditional use permit.

#### **2. The proposed Conditional Use and the accompanying site plan complies with all requirements of the Zoning District, as applicable, including minimum area, front, rear and side-yard setbacks, building and structure height, and all other requirements applicable in the Zoning District.**

The proposed building setbacks and landscape buffer are appropriate for the proposed use.

The development will provide sufficient parking for the proposed use.

The proposed site plan meets all requirements of the I-1 District including setbacks, landscaping, and utility requirements.

The adjacent streets are designed to accommodate the traffic generated by the use.

#### **3. Complies with all Site Plan requirements as may be applicable, as provided herein.**

See discussion in standard #2.

#### **4. Complies with all applicable dedication requirements of the Town and provides the necessary infrastructure, as required.**

All required dedications were provided at the time of final plat approval.

- 5. The proposed Conditional Use meets, and will be conducted in compliance with the requirements of this Ordinance, all other applicable Land Use Ordinances, and all applicable Federal, State, or Local requirements.**

The proposed use will be conducted in compliance with the requirements of the Zoning Ordinance. The construction plans will be reviewed by staff to ensure compliance with all other requirements including, but not limited to the Building Code and Town of Vineyard Public Improvement Standards.

- 6. The property on which the Conditional Use is proposed is of adequate size to permit the conduct of the proposed Conditional Use in a manner that will not be detrimental to adjoining and surrounding properties.**

The proposed use will complement and be compatible with the existing and future development on nearby properties. It will not generate excessive traffic, light, or noise.

**FINDINGS:**

The proposed site plan meets the following findings:

- It is in conformance with the General Plan.
- It satisfies the minimum requirements of the Town of Vineyard Zoning Ordinance.
- The proposed conditional use meets the required standards for approval.

**PLANNING COMMISSION ACTION:**

The Planning Commission held a public hearing on August 4, 2015 and voted 5-0 to recommend approval subject to the following stipulations:

1. The site plan shall conform to the site plan, elevations, and landscape plan dated July 31, 2015, except as modified by these stipulations.
2. All signage shall require a separate permit.
3. In accordance with Section 1416 of the Town of Vineyard Zoning Ordinance, the approval of the site plan shall expire in (180) days if a building permit has not been issued.
4. In accordance with Section 1514 of the Town of Vineyard Zoning Ordinance, the approval of the conditional use permit shall expire in (180) days if a building permit has not been issued.
5. The civil construction drawings shall meet all requirements as determined by the Town Engineer.
6. Prior to issuance of a building permit, a cross access easement for the east driveway on 1750 North shall be recorded.

7. The final landscape plans shall be revised to meet the minimum planting requirements in Chapter 20 Landscaping.
8. All trash enclosures shall include a solid opaque metal gate.

**RECOMMENDATION AND PROPOSED MOTION:**

The Town Council should hold a public hearing and **APPROVE** the conditional use permit and site plan subject to the eight stipulations recommended by the Planning Commission.

I move that the Town Council accept the findings and **APPROVE** the request for site plan and conditional use permit for an office warehouse in the I-1 district subject to the eight stipulations recommended by the Planning Commission.

**ATTACHMENTS:**

- Exhibit A – Site Plan
- Exhibit B – Landscape Plan
- Exhibit C – Building Elevations
- Exhibit D – Color Elevations
- Exhibit E – Narrative

**Reviewed**

don 08/03/2015

PROJECT NUMBER

15081

ISSUE DATE:

JULY 30, 2015

REVISIONS:

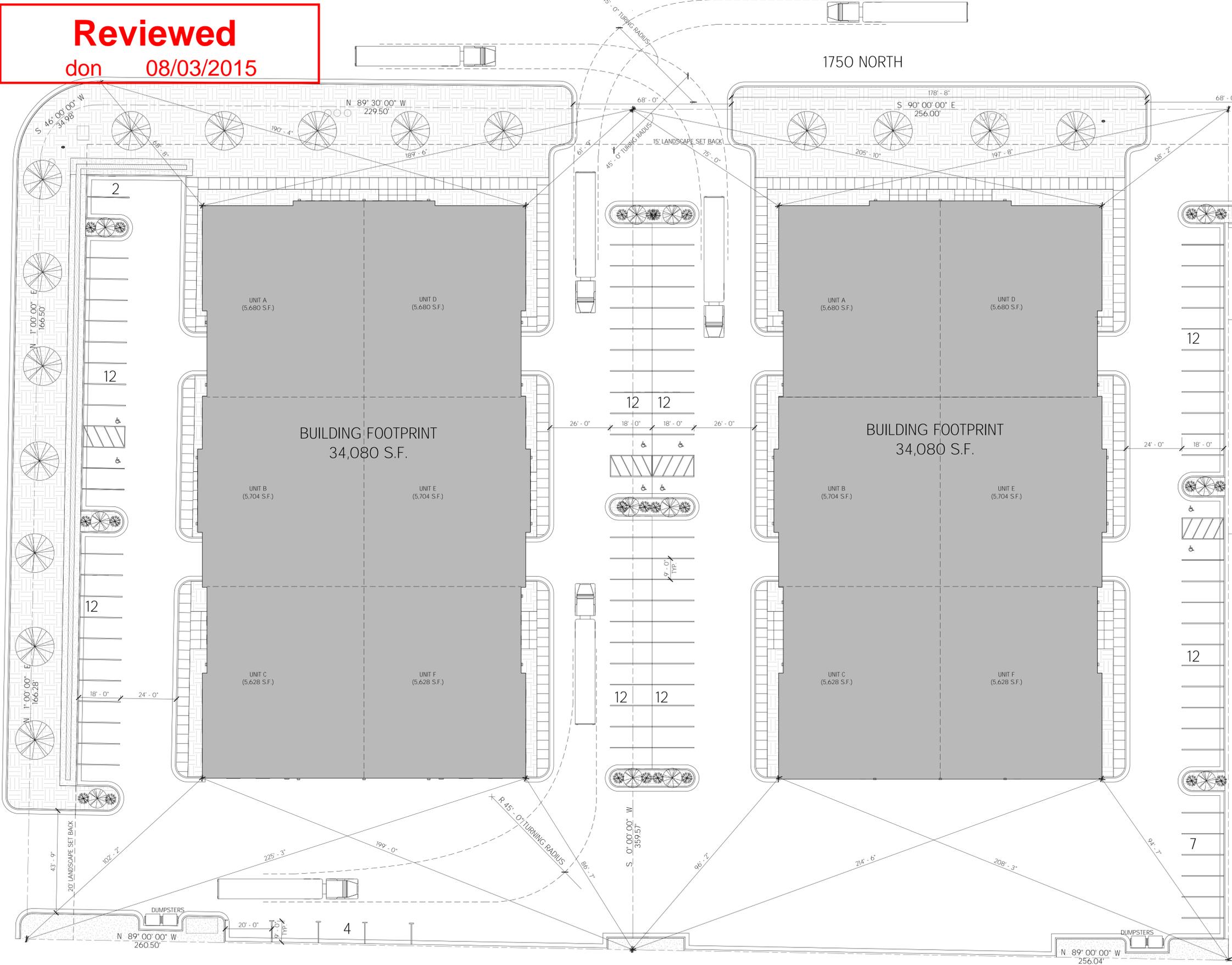
No. Date

LAKEVIEW HOLDINGS

VINEYARD, UTAH

SITE PLAN

C1.1



LINETYPE LEGEND

- PROPERTY LINE
- - - SITE SETBACK/EASEMENT LINES
- SITE FEATURES
- ROOF FEATURES

GENERAL NOTES

- (A) SEE GENERAL PROJECT NOTES, ROOF PLAN AND/OR FRAMING PLAN FOR ROOF PITCHES, ROOF BEARING AND STRUCTURAL REQUIREMENTS.
- (B) GROUND AROUND ENTIRE BUILDING TO SLOPE AWAY FROM BUILDING AT 5% MIN. SLOPE FOR A DISTANCE OF 10'-0" FROM BUILDING.
- (C) BUILDING MOUNTED FLOOD LIGHTS SHALL BE INSTALLED TO ILLUMINATE ADJACENT PARKING AREA.
- (D) ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACK-FLOW DEVICE TO THE BUILDING.
- (E) ALL ROOF DRAINAGE SHALL BE DETAINED ON SITE OR ROUTED THROUGH ON-SITE DRAINAGE FACILITIES.

KEYED NOTES

1 SITE PLAN - ARCHITECTURE 1" = 20'-0"

400 EAST

1750 NORTH



LAKEVIEW HOLDINGS

VINEYARD, UTAH

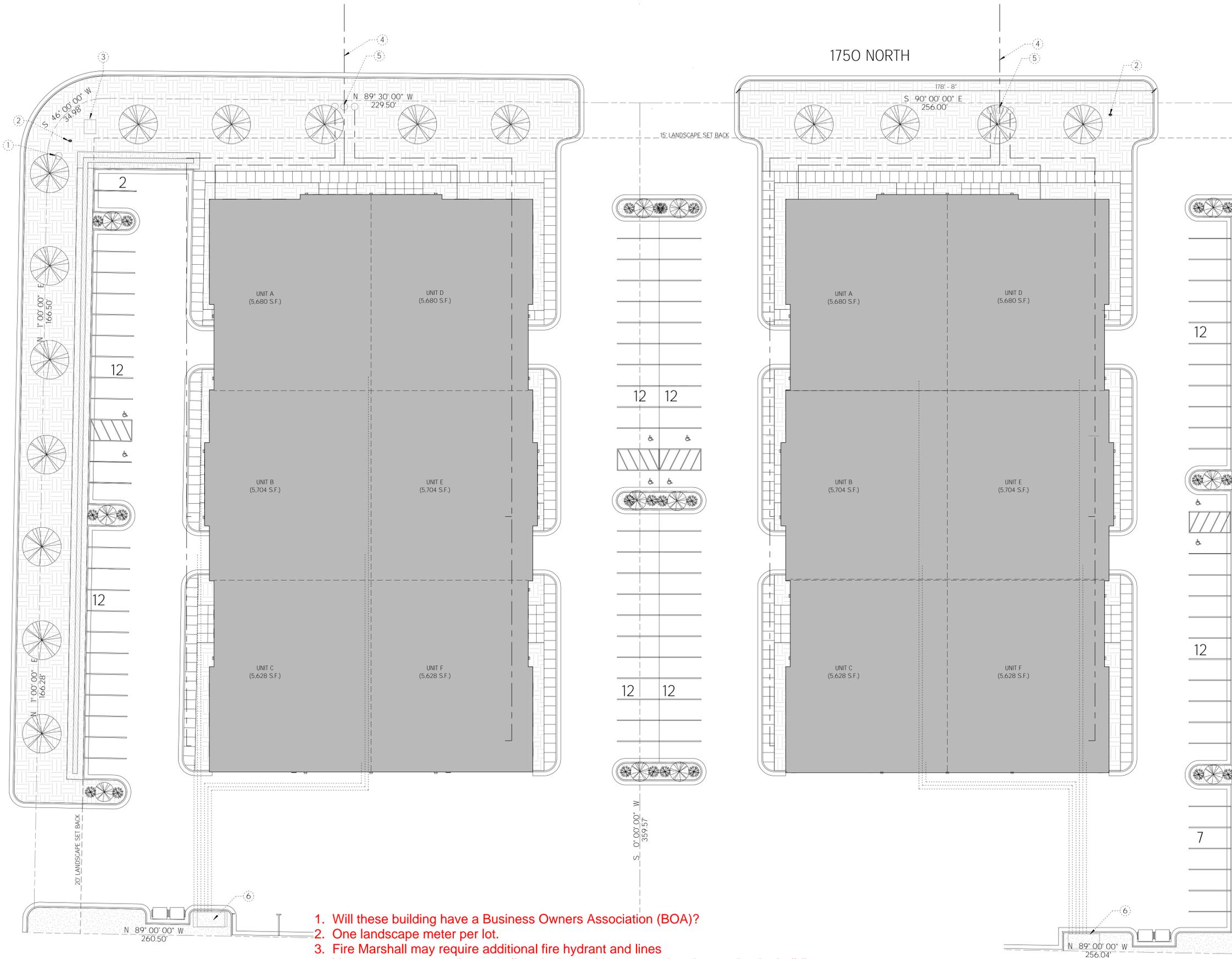
UTILITY PLAN

C1.2



400 EAST

1750 NORTH



UTILITY LEGEND

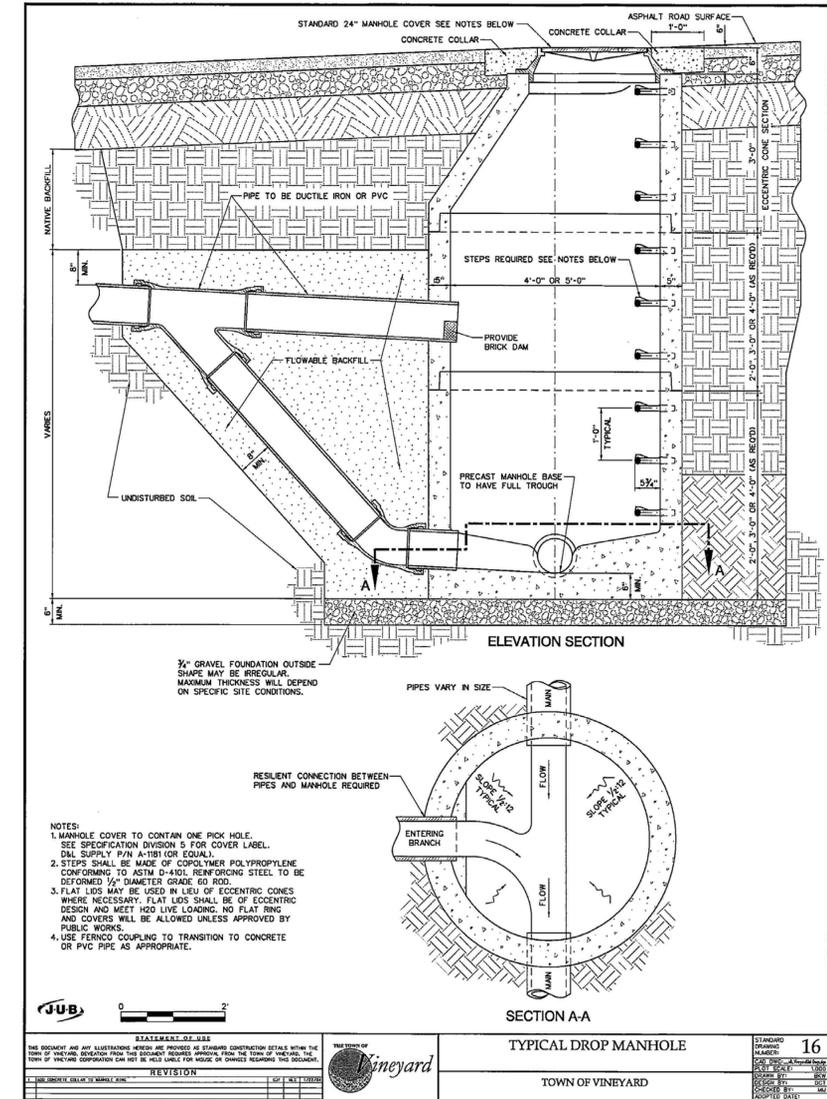
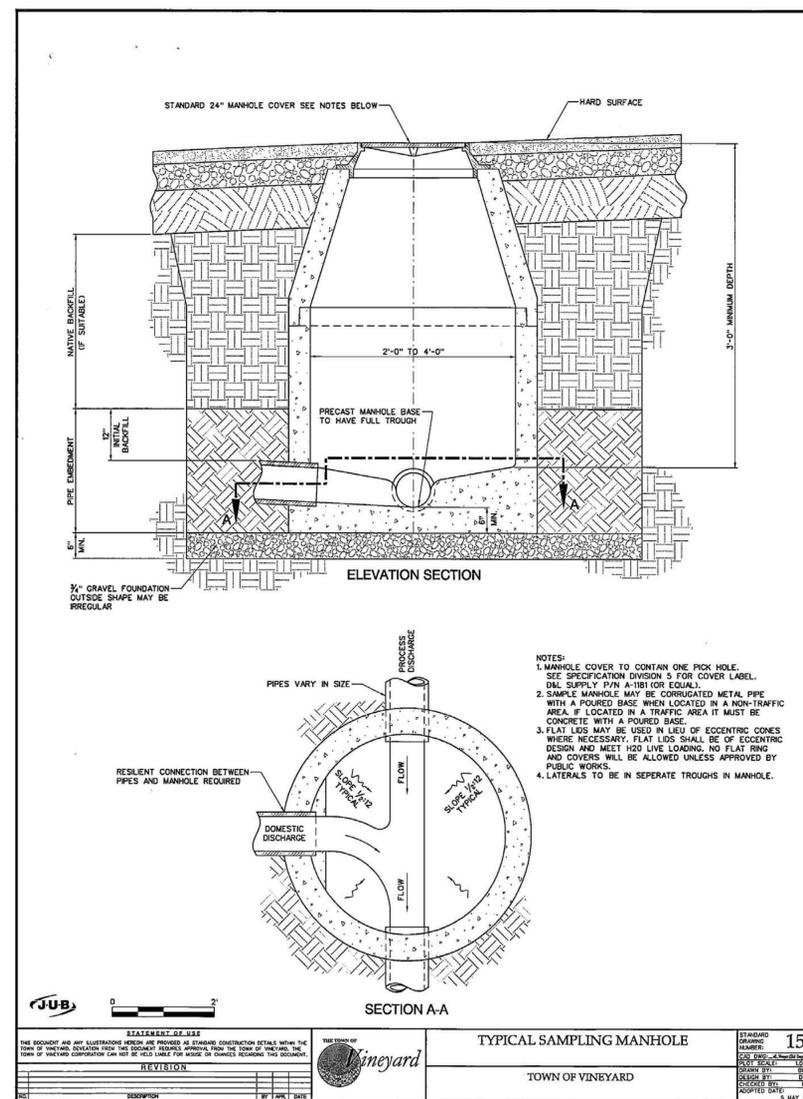
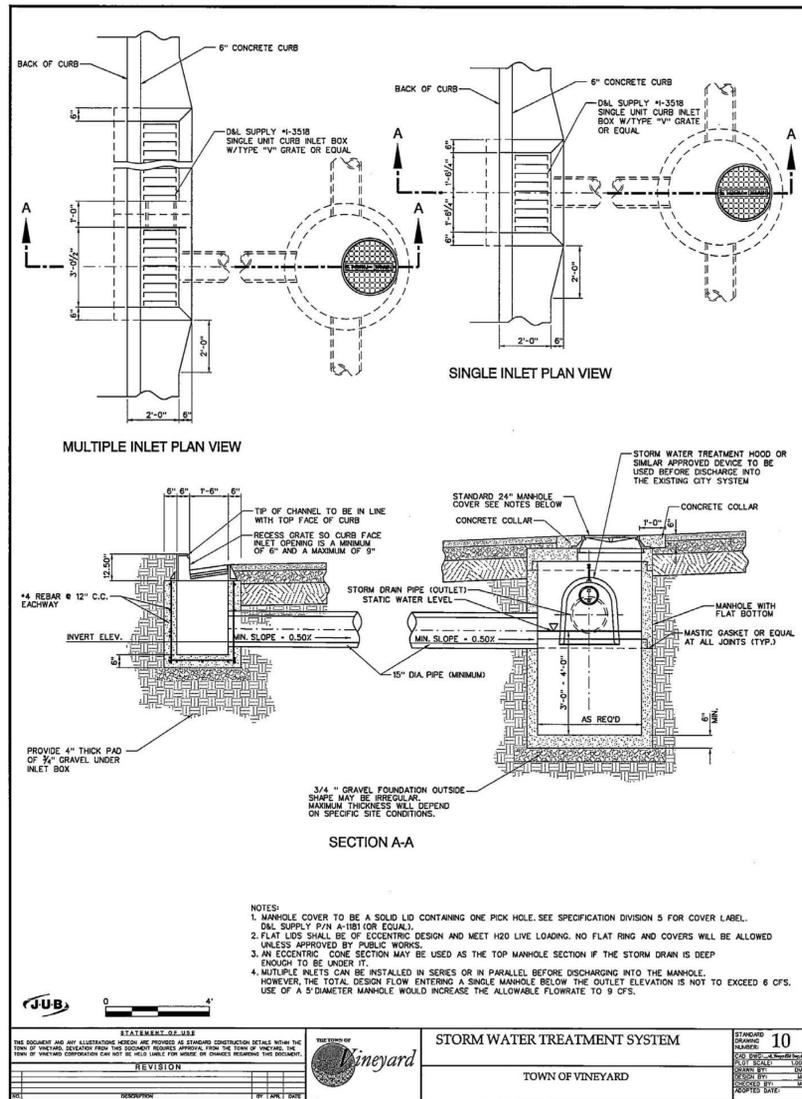
- 12" DRAIN PIPE
- WATER LINES
- SEWER LINES
- 3'-0" X 4'-0" STORM DRAIN
- ELECTRICAL LINE
- GAS LINE
- PHONE LINE

KEYED NOTES

- ① TELECOMM
- ② FIRE HYDRANT
- ③ POWER BOX
- ④ SEWER LINE TO MAIN
- ⑤ SEWER AND WATER: 3 WATER METER RINGS, 2 PER RING.
- ⑥ TRANSFORMER VAULT AND METER

1. Will these building have a Business Owners Association (BOA)?
2. One landscape meter per lot.
3. Fire Marshall may require additional fire hydrant and lines
4. You may want to run the water lines in the parking area rather than under the building.
5. Need to see storm drain calculations, location of storm drain stub and treatment vault.
6. Please verify the location of sewer and water stubs into the lot.
7. If both buildings will be using the access points from 400 East and 1750 North, please provide an access agreement.













# R-MIL INDUSTRIAL PARK

517 EAST 1600 NORTH  
VINEYARD, UT 84057

MAY 12, 2015  
REVISED JULY 8, 2015

LEGEND			
---	PROPERTY LINE	⊗	EXISTING FIRE HYDRANT
---	EASEMENT LINE	⊗	PROPOSED FIRE HYDRANT
-4240.0---	PROPOSED GRADE CONTOURS	⊗	EXISTING STREET LIGHT
-4240.0---	EXISTING GRADE CONTOURS	⊗	PROPOSED STREET LIGHT
---	EXISTING CURB	⊗	PROPOSED PARKING LOT LIGHT
---	PROPOSED CURB AND GUTTER	⊗	EXISTING WATER METER
---	PROPOSED CURB WALL	⊗	EXISTING WATER VALVE
---	REVERSE PAN CURB & GUTTER	⊗	EXISTING GATE VALVE
---	EXISTING SEWER	⊗	EXISTING OVERHEAD POWER POLE
---	PROPOSED SEWER	TBC	TOP BACK CONCRETE
---	EXISTING WATER	FF	FINISHED FLOOR
---	PROPOSED WATER	HW	HIGH WATER
---	EXISTING FIRE LINE	TOG	TOP OF GRATE
---	PROPOSED FIRE LINE	TOL	TOP OF LID
---	EXISTING STORM DRAIN	IE	INVERT ELEVATION
---	PROPOSED STORM DRAIN	EX	EXISTING
---	PROPOSED ROOF DRAIN	NG	NATURAL GROUND
---	EXISTING GAS	TBC	TOP BACK OF CURB
---	PROPOSED GAS	TA	TOP OF ASPHALT
---	EXISTING OVERHEAD POWER	TC	TOP OF CONCRETE
---	EXISTING UNDERGROUND POWER	EC	EDGE OF CONCRETE
---	PROPOSED UNDERGROUND POWER	EA	EDGE OF ASPHALT
---	EXISTING TELEPHONE LINE	TOW	TOP OF WALL
---	PROPOSED TELEPHONE LINE	TG	TOP OF GRAVEL
---	EXISTING FIBER OPTIC LINE	TL	TOP OF LANDSCAPING
---	PROPOSED FIBER OPTIC LINE	TS	TOP OF SIDEWALK
---	PROPOSED CONCRETE	PROP	PROPOSED
---	PROPOSED ASPHALT	39.0	TBC CALLOUT UNLESS OTHERWISE DESIGNATED
---	PROPOSED LANDSCAPING		



VICINITY MAP  
NOT TO SCALE

### SHEET INDEX

- CV COVER SHEET
- ALTA
- C1 SITE PLAN
- C2 GRADING & DRAINAGE PLAN
- C3 UTILITY PLAN
- C4 DETAIL SHEET
- C5 DETAIL SHEET
- C6 EROSION CONTROL PLAN (SWPPP)
- C7 EROSION CONTROL DETAIL SHEET

### PROJECT CONSTRUCTION NOTES:

1. CONTRACTOR TO NOTIFY BLUE STAKES PRIOR TO CONSTRUCTION, 1-800-662-4111.
2. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. SEE SOILS REPORT FOR PAVEMENT SECTION DETAILS, INSTALLATION SPECIFICATIONS AND ALL SITE EARTHWORK REQUIREMENTS.
4. ALL CONSTRUCTION SHALL CONFORM TO CITY STANDARDS AND SPECIFICATIONS. IF A CONFLICT BETWEEN THESE PLANS AND THE CITY STANDARDS AND SPECIFICATIONS OCCURS, THE CITY STANDARDS AND SPECIFICATIONS SHALL GOVERN.
5. ALL HANDICAP PARKING STALLS TO BE INSTALLED PER ADA STANDARDS. SLOPE ON ANY ADA STALL IS TO BE LESS THAN 2% IN ALL DIRECTIONS.
6. CONTRACTOR TO VERIFY PRIOR TO ANY CONSTRUCTION THAT THE BUILDING AND BUILDING LOCATION SHOWN ON CIVIL DRAWINGS MATCHES THE ARCHITECTURAL PLANS.
7. CONTRACTOR TO VERIFY, WITH ARCHITECT, THAT F.F. ELEVATION SHOWN ON CIVIL PLANS EQUALS THE ARCHITECTS 100.0' ELEVATION.
8. CONTRACTOR TO REPLACE IN KIND ANY AREAS THAT ARE DAMAGED DURING CONSTRUCTION.
9. INSTALL ALL SIDEWALKS PER CITY STANDARDS OR APWA PLAN NO. 231, 235, AND 236 WHERE APPLICABLE.
10. INSTALL ALL CONCRETE PAVEMENT JOINTS PER CITY STANDARDS OR APWA PLAN NO. 261.
11. ALL SEWER, WATER AND STORM DRAIN PIPES SHALL BE BACKFILLED WITH SELECT GRANULAR FILL PER APWA STANDARDS AND SPECIFICATIONS.
12. ALL CATCH BASINS AND MANHOLES TO BE INSTALLED PER CITY STANDARDS.
13. ALL STORM DRAIN PIPING TO BE CUT OFF FLUSH WITH INSIDE WALL OF DRAINAGE BOX. INSIDE WALL TO BE GROUTED SMOOTH WITH A NON-SHRINK GROUT.
14. FOR STORM DRAIN INLET BOXES AND MANHOLES THE I.E. IN AND I.E. OUT ELEVATIONS ARE THE SAME UNLESS OTHERWISE CALLED OUT ON THE PLANS.
15. ALL WATER LINES TO HAVE A MINIMUM 5' OF COVER WITH A MINIMUM VERTICAL CLEARANCE OF 1' OF COVER BETWEEN OTHER UTILITY LINES (1.5' VERTICAL SEPARATION WITH SEWER).
16. THRUST BLOCKS TO BE INSTALLED PER VINEYARD STANDARD DRAWING #18. SEE DETAIL SHEET C5.
17. CONTRACTOR SHALL COORDINATE CONSTRUCTION AND INSTALLATION OF ELECTRICAL, TELEPHONE, NATURAL GAS AND CABLE TV SERVICES WITH THE RESPECTIVE UTILITY COMPANY.
18. THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITY PIPES, LINES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED AND SHOWN FROM SURVEYED INFORMATION AND EXISTING UTILITY LOCATIONS PROVIDED BY OTHERS. THERE IS NO GUARANTEE THAT ALL EXISTING UTILITY INFORMATION IS SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR CONTACTING BLUE STAKES AND FIELD VERIFYING THE LOCATION AND ELEVATION OF ALL EXISTING UTILITY PIPES, LINES AND STRUCTURES, PRIOR TO CONSTRUCTION.
19. ANY OFF SITE DAMAGE TO EXISTING ASPHALT, CURB & GUTTER, LANDSCAPING AND ALL UTILITIES TO BE REPLACED IN KIND.
20. PUBLIC WAY IMPROVEMENTS SUCH AS EXISTING CURB, GUTTER, SIDEWALK AND DRIVE APPROACHES REQUIRE INSPECTION BY THE VINEYARD ENGINEERING DEPT. PRIOR TO FINAL INSPECTION AND CERTIFICATION OF OCCUPANCY ISSUANCE, TO DETERMINE REPLACEMENT REQUIREMENTS OF DEFECTIVE AND HAZARDOUS CONDITIONS.
21. ANY EXCAVATION, CONSTRUCTION OR STAGING OF MATERIALS OR EQUIPMENT IN THE PUBLIC RIGHT OF WAY REQUIRE A PUBLIC WAY PERMIT FROM ENGINEERING DIVISION, 349 S 200 E, SUITE 100, 801-535-6248
22. ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT. A TRAFFIC CONTROL PERMIT MAY ALSO BE REQUIRED, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS.
23. ALL WORK WITHIN THE VINEYARD CITY PUBLIC WAY SHALL CONFORM TO APWA 2012 STANDARD PLANS AND SPECIFICATIONS.

### FIRE DEPARTMENT NOTES:

1. FIRE HYDRANTS SHALL BE EQUIPPED WITH ONE 4 1/2" AND 2 1/2" OUTLETS, WHICH HAS NATIONAL STANDARD THREADS (NST).
2. FIRE HYDRANTS SHALL BE INSTALLED SO THAT THE CENTER LINE OF THE LOWEST CAP, NUT SHALL NOT BE CLOSER THAN 18" FROM THE FINISHED GRADE.
3. FIRE HYDRANTS SHALL HAVE THE 4 1/2" BUTT FACING THE FIRE ACCESS ROADWAY.
4. UNDERGROUND PIPING SHALL BE TESTED AT 200 PSIA FOR TWO HOURS. TEST CERTIFICATE SHALL BE PROVIDED TO FIRE DEPARTMENT OFFICE.
5. BURNING OF TRASH, SCRAP WOOD OR OTHER MATERIALS IS A VIOLATION OF CITY ORDINANCE.
6. A 3 FOOT CLEARANCE SHALL BE MAINTAINED AT ALL TIMES AROUND FIRE EQUIPMENT TO INCLUDE BUT NOT LIMITED TO HYDRANTS, FIRE DEPARTMENT CONNECTIONS AND FIRE SUPPRESSION CONTROL VALVES.
7. NEW FIRE HYDRANTS SHALL BE COLOR CODED AND BE DIRECTED BY PUBLIC UTILITIES AS TO THE COLOR AND SHADE OF THE HYDRANT BONNET.
8. FIRE HYDRANTS SHALL BE EQUIPPED WITH AN INDEPENDENT LATERAL CONTROL VALVE PLACED AT THE BASE INLET OF THE FIRE HYDRANT.
9. FIRE DEPARTMENT ACCESS ROADS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION OF THE FOOTINGS AND FOUNDATIONS OF ANY STRUCTURE. FIRE HYDRANTS SHALL BE ACCESSIBLE, OPERATIONAL AND MAINTAINED IN THAT CAPACITY.
10. WATER LATERALS WHICH ARE 16 FOOT IN LENGTH OR LONGER SHALL BE PROVIDED WITH CONTROL VALVES AT THE TAP OF THE WATER MAIN AND AT THE FIRE HYDRANT.
11. WATER LATERALS WHICH SUPPLY WATER BASED FIRE PROTECTION SHALL BE FERROUS PIPE WHEN PASSING UNDER OR THROUGH FOOTINGS OR FOUNDATION WALLS.

### VINEYARD CITY SITE PLAN NOTES:

1. ALL UTILITY LINES LESS THAN 69KV SHALL BE UNDERGROUND WITH THE FIRST PHASE OF DEVELOPMENT.
2. ALL GROUND-MOUNTED EQUIPMENT SHALL BE SCREENED/CONCEALED FROM STREET VIEW
3. PLANTS LOCATED WITHIN REQUIRED SIGHT VISIBILITY TRIANGLES SHALL BE PRUNED REGULARLY TO PERMIT UNOBSTRUCTED VISION. PLANT MATERIAL SHALL BE MAINTAINED TO BE LOWER THEN 3' (SHRUBS) OR TALLER THAN 7' (BOTTOM OF TREE CANOPY)
4. FUTURE DEVELOPMENT PADS WITHIN MASTER PLANNED DEVELOPMENTS SHALL BE COVERED FOR DUST AND WEED CONTROL AT TIME OF DEVELOPMENT.
5. ALL DEVELOPMENTS SHALL BE MAINTAINED IN CONFORMANCE WITH THE APPROVED SITE PLAN AND LANDSCAPE PLAN. ANY CHANGES THERETO SHALL REQUIRE APPROVAL OF VINEYARD TOWN.
6. THIS PROJECT IS SUBJECT TO THE CURRENT VINEYARD TOWN ENGINEERING REQUIREMENTS, GENERAL PLAN, ZONING ORDINANCE, AND ANY APPLICABLE REGULATIONS.

CIVIL ENGINEER:

**CIR**  
ENGINEERING, L.L.C.  
3032 SOUTH 1030 WEST, SUITE 202  
SLC, Utah 84119 - PH: 801-949-6296

OWNER:

4145 ASSOCIATES L.L.C.  
P.O. BOX 656  
OREM, UT 84059  
CONTACT PERSON: RYAN POELMAN  
PH: (435) 733-1000

ARCHITECT:

**AE URBIA**  
2875 SOUTH DECKER LAKE DRIVE, SUITE 275  
SALT LAKE CITY, UTAH 84119  
CONTACT PERSON: ANDREW BOLLSCHWEILER  
PH: (801) 746-0456

CONTRACTOR

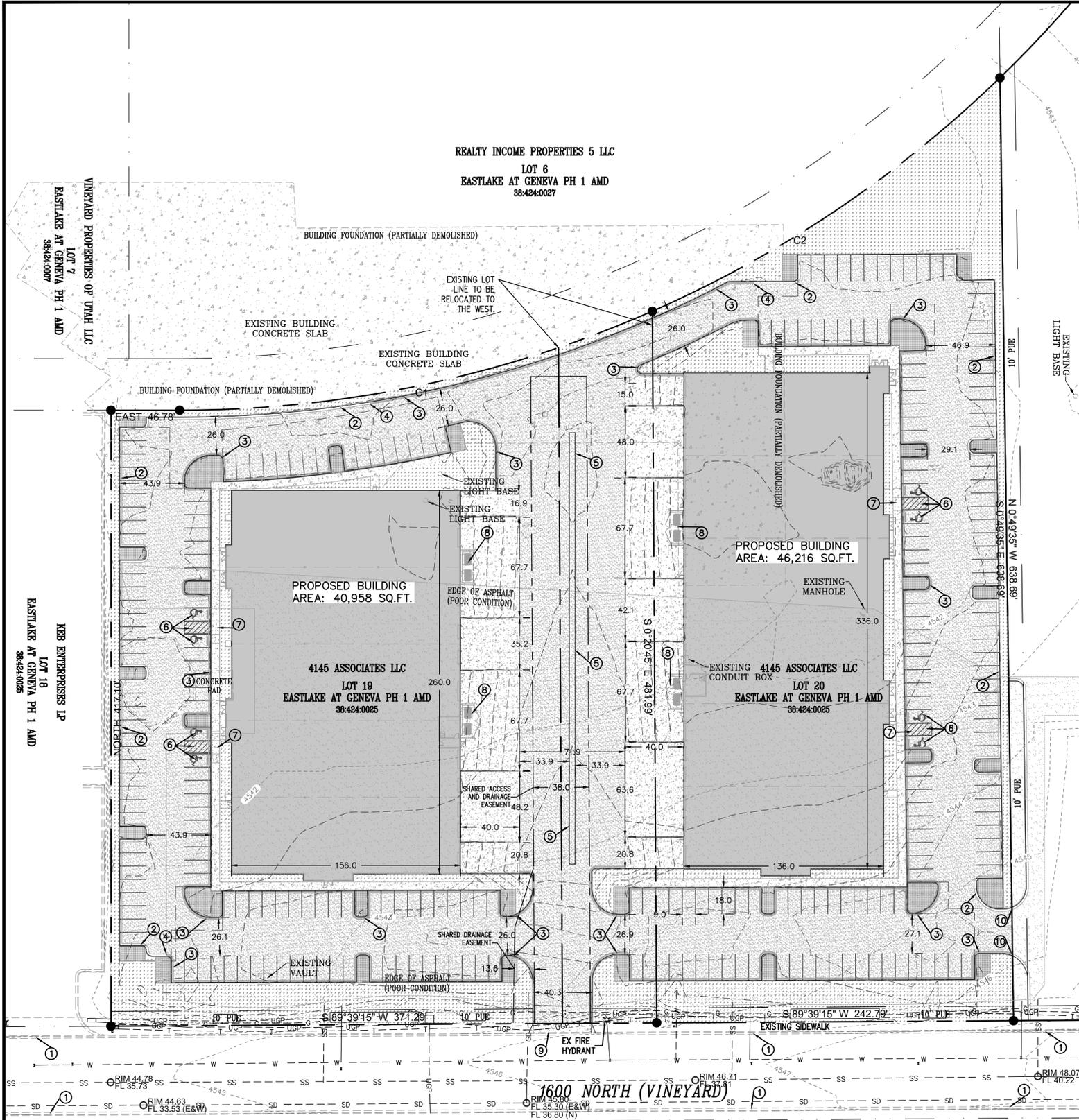


NO	REVISIONS	BY	DATE
1	REDLINE COMMENTS		07/08/15

**CIR**  
ENGINEERING, L.L.C.  
3032 SOUTH 1030 WEST, SUITE 202  
SLC, Utah 84119 - 801-949-6296

R-MIL INDUSTRIAL PARK  
517 EAST 1600 NORTH, VINEYARD UT 84057  
COVER SHEET

SHEET NO.	CV
PROJECT ID	A1030-01
DATE:	05/12/15
FILE NAME:	PRJ-VRP
SCALE:	1"=40'



REALTY INCOME PROPERTIES 5 LLC  
 LOT 6  
 EASTLAKE AT GENEVA PH 1 AMD  
 38:424:0027

4145 ASSOCIATES LLC  
 LOT 19  
 EASTLAKE AT GENEVA PH 1 AMD  
 38:424:0025

EXISTING 4145 ASSOCIATES LLC  
 CONDUIT BOX  
 LOT 20  
 EASTLAKE AT GENEVA PH 1 AMD  
 38:424:0025

**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	804.02	330.85	23°34'37"	328.52	N 78°12'41" E
C2	804.02	285.97	20°22'43"	284.47	N 56°14'01" E

**SITE DEMOLITION NOTE:**  
 CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING UTILITIES, STRUCTURES, FOOTINGS, PAVEMENT SECTIONS, FOUNDATIONS, ETC... THAT WILL BE REQUIRED TO BE REMOVED AS PART OF THE PROPOSED IMPROVEMENTS IN THIS PROJECT. ALL DEMOLITION, REMOVAL AND DISPOSAL TO BE DONE PER FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS.

**SITE PLAN NOTES:**

- EXISTING CURB & GUTTER
- PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.
- PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C4.
- PROVIDE SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER.
- PROPOSED 4' WIDE ROLL GUTTER. SEE DETAIL 6/C4.
- ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
- ADA RAMP ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL SHEET C4.
- PROPOSED TRASH ENCLOSURE. SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
- INSTALL DRIVE APPROACH PER VINEYARD CITY STANDARD DRAWING #6.
- MATCH CURB AND GUTTER TO PROPOSED IMPROVEMENTS ON ADJACENT SITE.

**OVERALL LOT AREAS:**

TOTAL LOT	293,353 SQ. FT. / (6.73 ACRES)
TOTAL LANDSCAPING	49,939 SQ. FT. / (1.15 ACRES)
'A' BUILDING FOOTPRINT	40,958 SQ. FT. / (0.94 ACRES)
'B' BUILDING FOOTPRINT	46,216 SQ. FT. / (1.06 ACRES)
LANDSCAPING	43,754 SQ. FT.
PARKING LANDSCAPING	6,184 SQ. FT.
ASPHALT	115,429 SQ. FT. / (2.65 ACRES)
CONCRETE	75,106 SQ. FT. / (0.94 ACRES)

NOTE:  
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**PARKING REQUIREMENTS BUILDING A:**

	SQ. FT.	CITY REQMT
OFFICE MAIN	13,413 sq. ft.	44.71 (1/300)
WAREHOUSING MAIN	27,387 sq. ft. +	27.39 (1/1000)
		73 (72.62)

**PARKING REQUIREMENTS BUILDING B:**

	SQ. FT.	CITY REQMT
OFFICE MAIN	13,690 sq. ft.	45.63 (1/300)
WAREHOUSING MAIN	32,249 sq. ft. +	32.25 (1/1000)
TOTAL REQUIRED:		78 (78.27)
TOTAL OVERALL REQUIRED		151 (150.89)

TOTAL PROVIDED IN PROJECT:	260
PARKING:	260
ACCESSIBLE SPACES	8 (7 REQ'D - 201 to 300)

REFERENCED CODES:  
 - SECTION 19.3 OF THE VINEYARD ZONING ORDINANCE, UTAH CODE (FOR CITY REQUIREMENTS)

NOTES:  
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**PARCEL IDENTIFICATION:**

TAX ID NUMBER: 38:424:0019 / 38:424:0020  
 ADDRESS: 517 EAST 1600 NORTH, VINEYARD UT 84057 (CERTIFICATE OF ADDRESS NO.)

**LANDSCAPING AREAS:**

	SQ. FT.	CITY REQ'T
PARKING AREA	84,704 SQ. FT.	5% MIN (OR 4,235 SQ. FT. REQ'D)
PARKING LANDSCAPING	6,184 SQ. FT.	11.60% PROVIDED
TOTAL LANDSCAPED AREA	6,184 S.F.	FRONT AND PARKING

- NOTE:
- PARKING AREA DOES NOT INCLUDE TRUCK MANEUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
  - LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS (WALKWAYS, BIKE RACKS, CURB & GUTTERS) OR LANDSCAPED AREAS OUTSIDE OF THE PARKING AREA (SEE SITE PLAN FOR SPECIFIC DIMENSIONS FOR LANDSCAPED BUFFERS).
  - ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT 1 AREAS:**

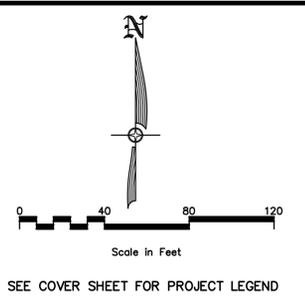
TOTAL LOT	130,952 SQ. FT. / (3.01 ACRES)
TOTAL LANDSCAPING	20,053 SQ. FT. / (0.46 ACRES)
'A' BUILDING FOOTPRINT	40,958 SQ. FT. / (0.94 ACRES)
LANDSCAPING	17,085 SQ. FT.
PARKING LANDSCAPING	2,968 SQ. FT.
ASPHALT	51,380 SQ. FT. / (1.18 ACRES)
CONCRETE	18,561 SQ. FT. / (0.43 ACRES)

NOTE:  
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**LOT 2 AREAS:**

TOTAL LOT	142,401 SQ. FT. / (3.23 ACRES)
TOTAL LANDSCAPING	29,886 SQ. FT. / (0.69 ACRES)
'B' BUILDING FOOTPRINT	46,216 SQ. FT. / (1.06 ACRES)
LANDSCAPING	26,669 SQ. FT.
PARKING LANDSCAPING	3,217 SQ. FT.
ASPHALT	64,049 SQ. FT. / (1.47 ACRES)
CONCRETE	22,250 SQ. FT. / (0.51 ACRES)

NOTE:  
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

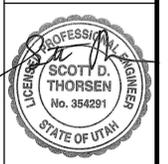


NO.	REVISIONS	BY	DATE
1	REDLINE COMMENTS		

DESIGNER: SDT  
 PROJECT ENGINEER: SDT

**CIR**  
**ENGINEERING, L.L.C.**  
 3032 SOUTH 1030 WEST, SUITE 202  
 S.C. Utah 84119 - 801-949-6296

**R-MIL INDUSTRIAL PARK**  
 517 EAST 1600 NORTH, VINEYARD UT 84057  
**SITE PLAN**



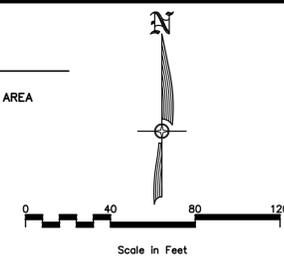
SHEET NO.  
**C1**

PROJECT ID: A1030-01  
 DATE: 05/12/15  
 FILE NAME: PRJ-VRP  
 SCALE: 1"=40'



SHEET LEGEND

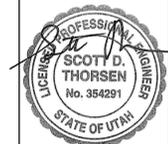
DETENTION AREA



NO.	REVISIONS	BY	DATE
1	REDLINE COMMENTS		

**CIR**  
ENGINEERING, L.L.C.  
3032 SOUTH 1030 WEST, SUITE 202  
S.L.C. Utah 84119 - 801-949-6296

R-MIL INDUSTRIAL PARK  
517 EAST 1600 NORTH, VINEYARD UT 84057  
GRADING & DRAINAGE PLAN



SHEET NO.	C2
PROJECT ID	A1030-01
DATE	05/12/15
FILE NAME	PRJ-VRP
SCALE	1"=40'

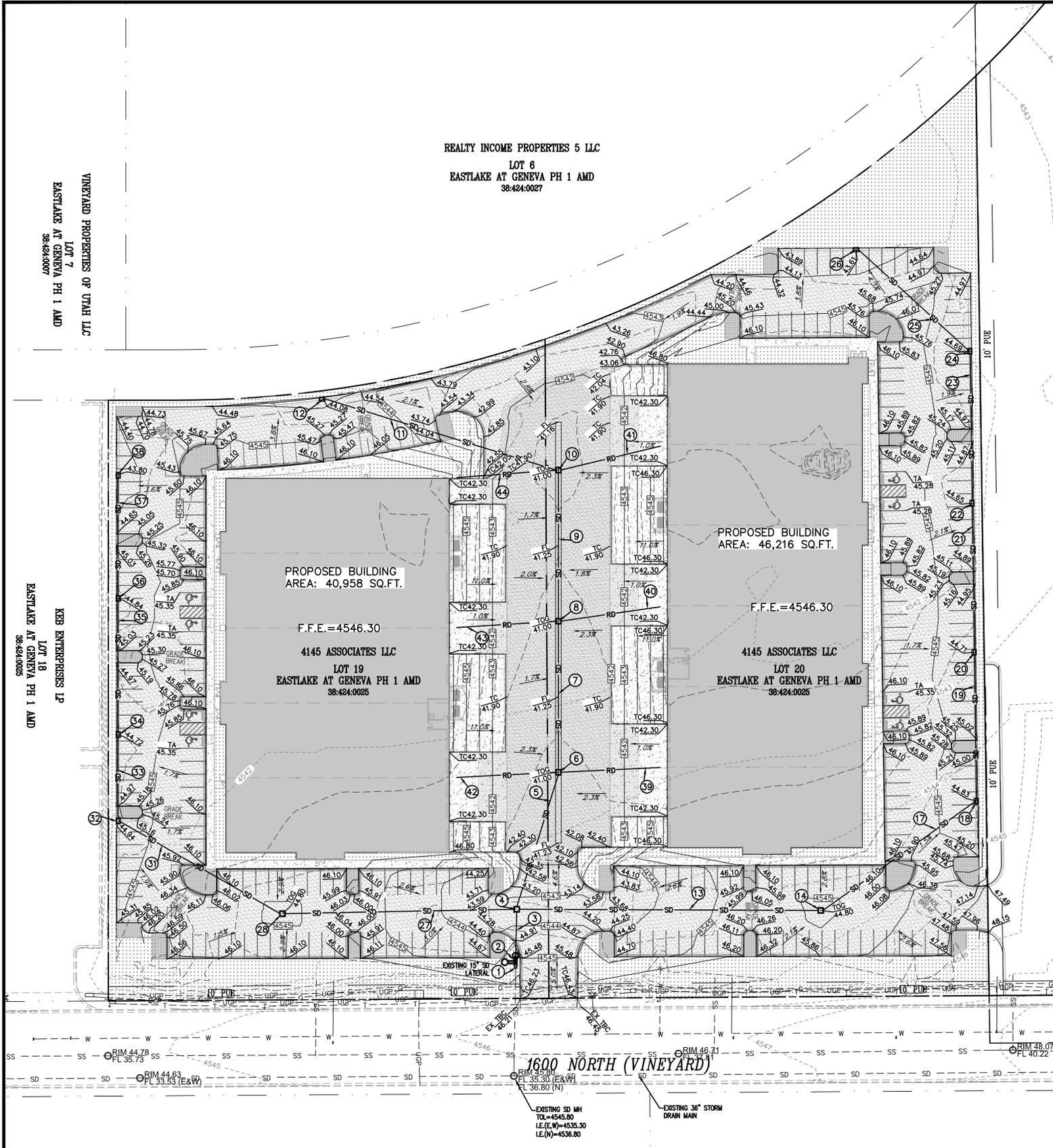
REALTY INCOME PROPERTIES 5 LLC  
LOT 6  
EASTLAKE AT GENEVA PH 1 AMD  
38:424:0027

VINEYARD PROPERTIES OF UTAH LLC  
LOT 7  
EASTLAKE AT GENEVA PH 1 AMD  
38:424:0027

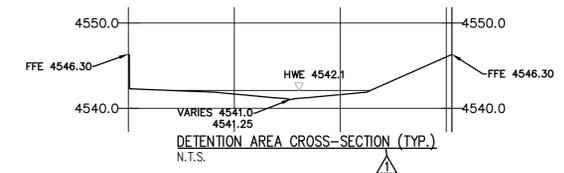
KEB ENTERPRISES LP  
LOT 18  
EASTLAKE AT GENEVA PH 1 AMD  
38:424:0025

PROPOSED BUILDING  
AREA: 40,958 SQ.FT.  
F.F.E.=4546.30  
4145 ASSOCIATES LLC  
LOT 19  
EASTLAKE AT GENEVA PH 1 AMD  
38:424:0025

PROPOSED BUILDING  
AREA: 46,216 SQ.FT.  
F.F.E.=4546.30  
4145 ASSOCIATES LLC  
LOT 20  
EASTLAKE AT GENEVA PH 1 AMD  
38:424:0025

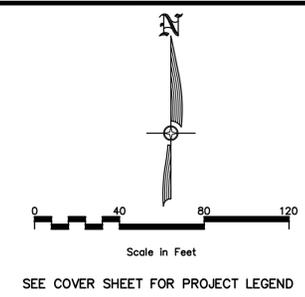


- 1 EXISTING 15" SD LATERAL, I.E.=4536.00±. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO INSTALLATION.
- 2 INSTALL BAYSAYER MODEL 1K FOR WATER QUALITY TREATMENT, I.E.=4536.90, TOL=MATCH TOP OF PROPOSED ASPHALT. SEE DETAIL SHEET C4. CONNECT TO EXISTING 15" SD LATERAL.
- 3 INSTALL 31"± OF 15" ADS PIPE, S=1.4%.
- 4 INSTALL JUNCTION BOX W/6.8" ORIFICE PLATE, TOL=MATCH TOP OF PROPOSED ASPHALT, 4543.42±, I.E.=4537.33, SUMP=4534.33
- 5 INSTALL 97"± OF 15" ADS PIPE, S=0.15%.
- 6 INSTALL 3"x3" INLET BOX, TOG=4541.00, I.E.=4537.48.
- 7 INSTALL 102"± OF 15" ADS PIPE, S=0.15%.
- 8 INSTALL 3"x3" INLET BOX, TOG=4541.00, I.E.=4537.64.
- 9 INSTALL 102"± OF 15" ADS PIPE, S=0.15%.
- 10 INSTALL 3"x3" INLET BOX, TOG=4541.00, I.E.=4537.80.
- 11 INSTALL 170"± OF 12" ADS PIPE, S=1.6%.
- 12 INSTALL CURB INLET BOX, TOG=4543.58, I.E.=4540.50.
- 13 INSTALL 209"± OF 15" ADS PIPE, S=0.15%.
- 14 INSTALL 3"x3" INLET BOX, TOG=4544.80, I.E.=4537.65.
- 15 not used.
- 16 not used.
- 17 INSTALL 131"± OF 12" ADS PIPE, S=1.5%.
- 18 INSTALL CURB INLET BOX, TOG=4544.33, I.E.=4539.68.
- 19 INSTALL 101"± OF 12" ADS PIPE, S=0.2%.
- 20 INSTALL CURB INLET BOX, TOG=4544.21, I.E.=4539.88.
- 21 INSTALL 101"± OF 12" ADS PIPE, S=0.2%.
- 22 INSTALL CURB INLET BOX, TOG=4544.15, I.E.=4540.08.
- 23 INSTALL 103"± OF 12" ADS PIPE, S=0.2%.
- 24 INSTALL CURB INLET BOX, TOG=4544.19, I.E.=4540.29.
- 25 INSTALL 105"± OF 12" ADS PIPE, S=0.2%.
- 26 INSTALL CURB INLET BOX, TOG=4543.11, I.E.=4540.50.
- 27 INSTALL 161"± OF 15" ADS PIPE, S=1.8%.
- 28 INSTALL 3"x3" INLET BOX, TOG=4544.80, I.E.=4537.58.
- 29 not used.
- 30 not used.
- 31 INSTALL 130"± OF 12" ADS PIPE, S=2.2%.
- 32 INSTALL CURB INLET BOX, TOG=4544.44, I.E.=4540.53.
- 33 INSTALL 57"± OF 12" ADS PIPE, S=0.2%.
- 34 INSTALL CURB INLET BOX, TOG=4544.22, I.E.=4540.65.
- 35 INSTALL 92"± OF 12" ADS PIPE, S=0.2%.
- 36 INSTALL CURB INLET BOX, TOG=4544.34, I.E.=4540.83.
- 37 INSTALL 83"± OF 12" ADS PIPE, S=0.2%.
- 38 INSTALL CURB INLET BOX, TOG=4543.30, I.E.=4541.00.
- 39 INSTALL 70"± OF 8" ADS PIPE, MIN. S=1.0% END 5' FROM BUILDING, SEE MECHANICAL PLAN FOR ELEVATION AND CONTINUATION TO BUILDING.
- 40 INSTALL 71"± OF 8" ADS PIPE, MIN. S=1.0% END 5' FROM BUILDING, SEE MECHANICAL PLAN FOR ELEVATION AND CONTINUATION TO BUILDING.
- 41 INSTALL 72"± OF 8" ADS PIPE, MIN. S=1.0% END 5' FROM BUILDING, SEE MECHANICAL PLAN FOR ELEVATION AND CONTINUATION TO BUILDING.
- 42 INSTALL 70"± OF 8" ADS PIPE, MIN. S=1.0% END 5' FROM BUILDING, SEE MECHANICAL PLAN FOR ELEVATION AND CONTINUATION TO BUILDING.
- 43 INSTALL 70"± OF 8" ADS PIPE, MIN. S=1.0% END 5' FROM BUILDING, SEE MECHANICAL PLAN FOR ELEVATION AND CONTINUATION TO BUILDING.
- 44 INSTALL 70"± OF 8" ADS PIPE, MIN. S=1.0% END 5' FROM BUILDING, SEE MECHANICAL PLAN FOR ELEVATION AND CONTINUATION TO BUILDING.



**STORM WATER NOTE:**  
WHILE STORM WATER DETENTION IS NOT REQUIRED ON THIS PROJECT, A SMALL AMOUNT OF DETENTION IS BEING PROVIDED. THE BAYSAYER STORM WATER TREATMENT SYSTEM HAS A MAX TREATMENT FLOW RATE OF 2.4 CFS, THEREFORE A 6.8" ORIFICE PLATE IS BEING USED PRIOR TO THE BAYSAYER TO RESTRICT FLOW TO 2.4 CFS AND AS A RESULT, 12,086 CUBIC FEET OF DETENTION VOLUME IS REQUIRED(25 YR STORM EVENT). 13,046 CUBIC FEET OF DETENTION VOLUME IS PROVIDED AT A HIGH WATER ELEVATION OF 4541.10.

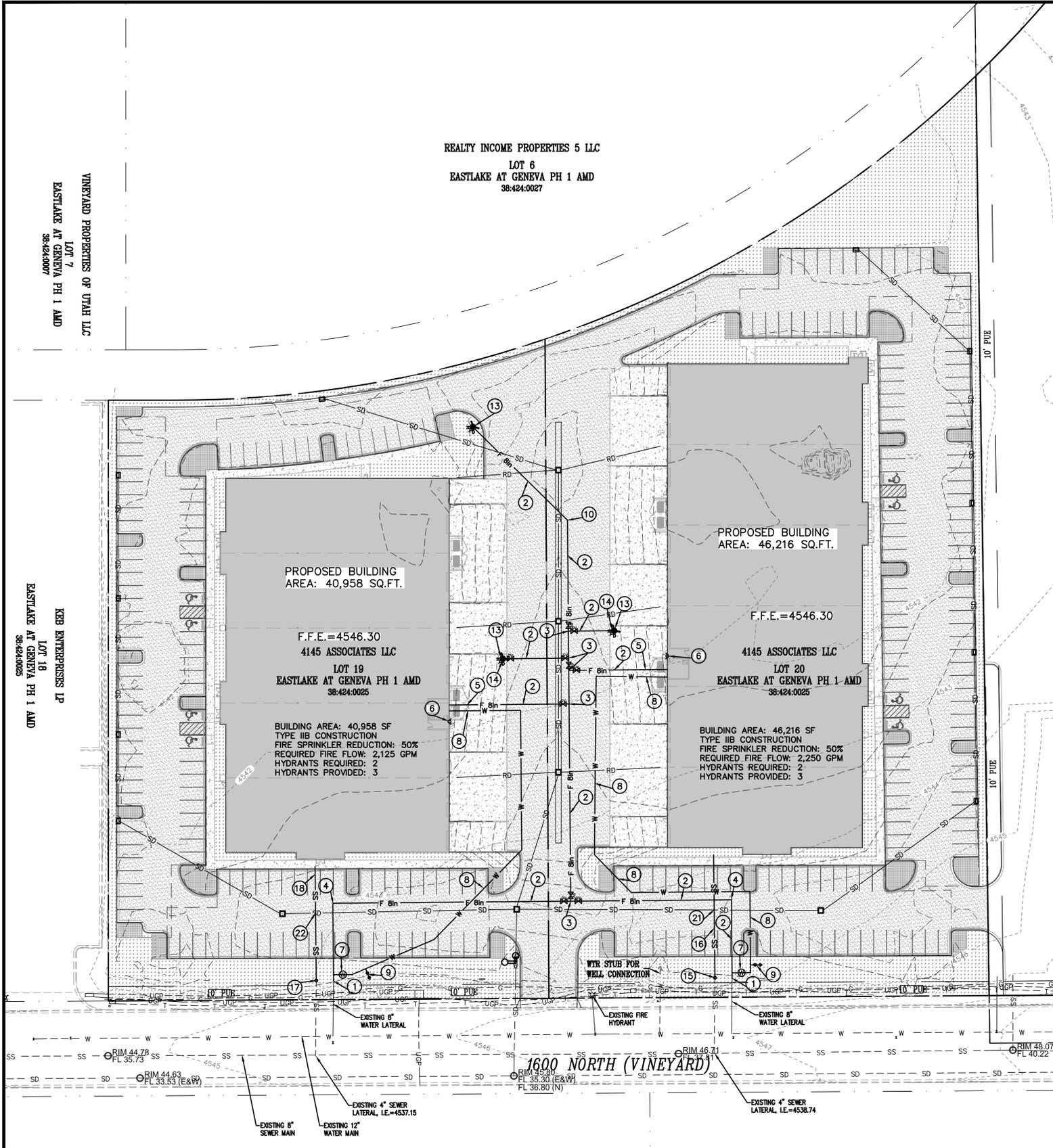




REALTY INCOME PROPERTIES 5 LLC  
 LOT 6  
 EASTLAKE AT GENEVA PH 1 AMD  
 38:424:0027

VINEYARD PROPERTIES OF UTAH LLC  
 LOT 7  
 EASTLAKE AT GENEVA PH 1 AMD  
 38:424:0027

KEB ENTERPRISES LP  
 LOT 18  
 EASTLAKE AT GENEVA PH 1 AMD  
 38:424:0025



- ① CONNECT PROPOSED 8" PVC C-900 WATER LINE TO EXISTING 8" FIRE LINE LATERAL. (PRIVATE LINE)
- ② INSTALL 8" PVC C-900 WATER LINE PER VINEYARD CITY STANDARDS AND SPECIFICATIONS. (PRIVATE LINE)
- ③ INSTALL 8" TEE W/THRUST BLOCKS AND GATE VALVES.
- ④ INSTALL 8" 90° BEND W/ THRUST BLOCKS.
- ⑤ END 8" PVC C-900 FIRE LINE AT BUILDING AND SEE FIRE SPRINKLER PLANS FOR CONTINUATION TO FIRE RISER.
- ⑥ INSTALL FDC PER VINEYARD CITY STANDARDS.
- ⑦ INSTALL 2" CULINARY WATER LATERAL AND 2" METER PER VINEYARD CITY STANDARD DRAWING #19. SEE SHEET CS.
- ⑧ INSTALL 2" POLY PIPE TO PROPOSED BUILDING. END WATER LINE AT BUILDING AND SEE MECHANICAL PLANS FOR CONTINUATION INTO BUILDING.
- ⑨ INSTALL 1-1/2" IRRIGATION LATERAL WITH STOP & WASTE AND BACK FLOW PREVENTOR PER VINEYARD CITY STANDARDS. SEE IRRIGATION PLANS FOR DETAILS.
- ⑩ INSTALL 8" 45° BEND W/ THRUST BLOCKS.
- ⑪ INSTALL 8" GATE VALVE W/THRUST BLOCKS.
- ⑫ not used.
- ⑬ INSTALL FIRE HYDRANT ASSEMBLY PER VINEYARD CITY STANDARD DRAWING # 17.
- ⑭ INSTALL BOLLARDS AROUND FIRE HYDRANT.
- ⑮ AT END OF EXISTING 4" SEWER LATERAL, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION, INSTALL 4" CLEANOUT WYE, I.E.=4539.80, TOL=MATCH TO TOP OF LANDSCAPING
- ⑯ INSTALL 85'± OF 4" PVC SEWER PIPE, S=2.0%, END 5' FROM BUILDING, I.E.=4541.50, SEE MECHANICAL PLANS FOR CONTINUATION.
- ⑰ AT END OF EXISTING 4" SEWER LATERAL, CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION, INSTALL 4" CLEANOUT WYE, I.E.=4538.21, TOL=MATCH TO TOP OF LANDSCAPING
- ⑱ INSTALL 75'± OF 4" PVC SEWER PIPE, S=2.0%, END 5' FROM BUILDING, I.E.=4539.71, SEE MECHANICAL PLANS FOR CONTINUATION.
- ⑲ not used.
- ⑳ not used.
- ㉑ SS I.E.=4540.74  
SD I.E.=4537.54
- ㉒ SS I.E.=4539.15  
SD I.E.=4537.55

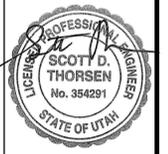
UTILITIES NOTES:  
 CONTRACTOR TO CONTACT THE FOLLOWING UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. EXACT LOCATION OF THESE UTILITIES TO BE DESIGNED AND COORDINATED BY THE FOLLOWING COMPANIES.  
 UTAH POWER: 801-576-6226  
 QUESTAR GAS: 801-324-3448  
 QWEST: 801-974-8112

NO.	REVISIONS	BY	DATE
1	REDLINE COMMENTS		

DESIGNER: SDT  
 PROJECT ENGINEER: SDT

**CIR**  
 ENGINEERING, L.L.C.  
 3032 SOUTH 1030 WEST, SUITE 202  
 S.L.C. Utah 84119 - 801-949-6296

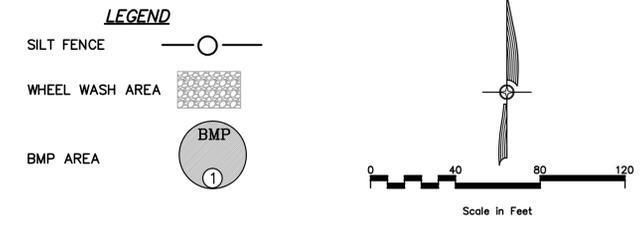
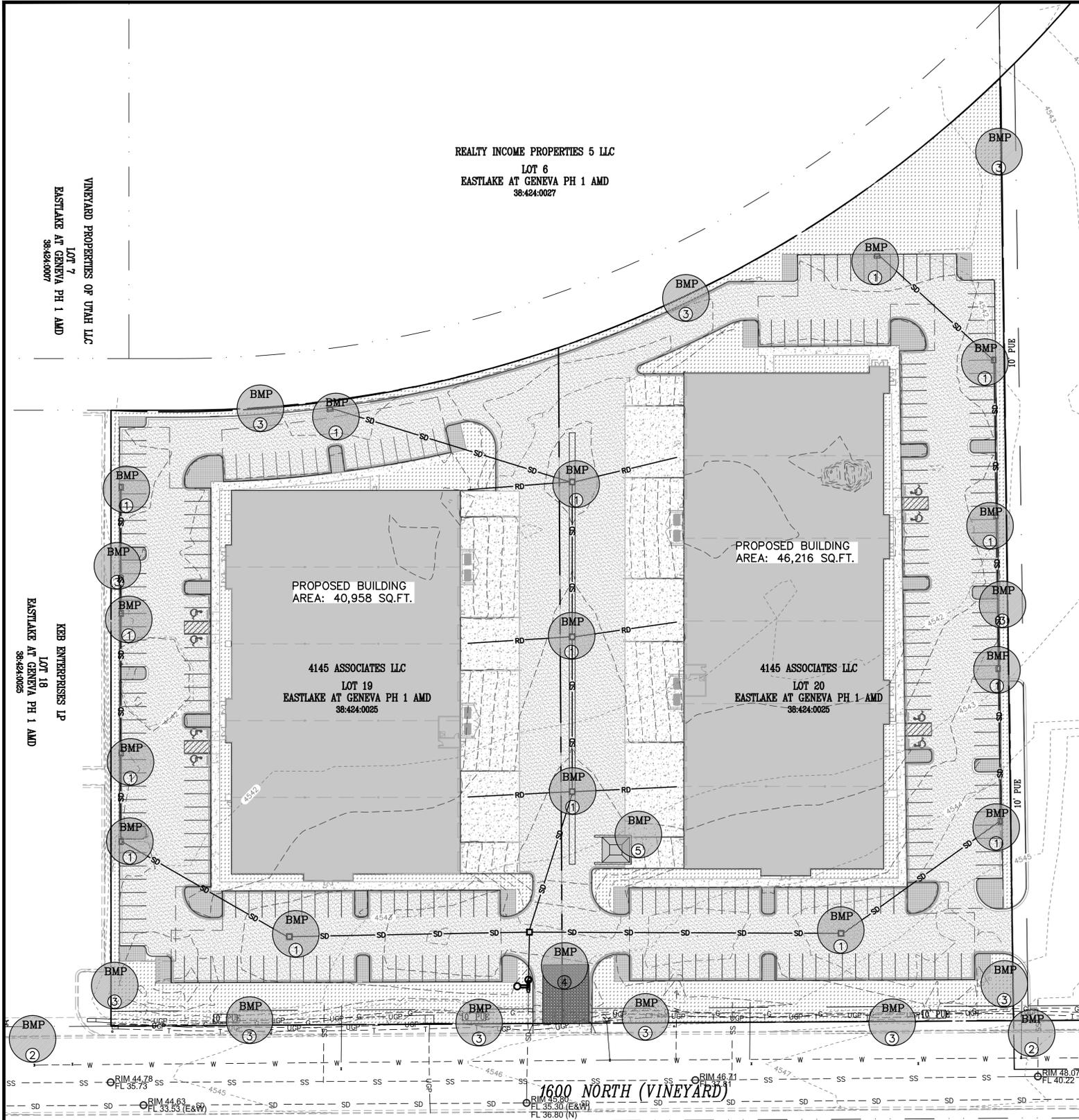
R-MIL INDUSTRIAL PARK  
 517 EAST 1600 NORTH, VINEYARD UT 84057  
 UTILITY PLAN



SHEET NO.  
**C3**  
 PROJECT ID: A1030-01  
 DATE: 05/12/15  
 FILE NAME: PRJ-VRP  
 SCALE: 1"=40'







- BMP CALLOUTS**
- PLACE A SILT FENCE AROUND THE PERIMETER OF THE INLET, ONCE PAVEMENT AND/OR CURB HAS BEEN INSTALLED PLACE GRAVEL BAGS AROUND THE INLET. GRAVEL BAGS TO BE USED ON PAVED OR CONCRETE SURFACES AND SILT FENCE TO BE USED ON UNIMPROVED SURFACES.  
*NOTE: IN HIGH TRAFFIC AREAS CONTRACTOR TO USE INSERT FILTER FABRIC. IF INLET HAS CURB OPENING, THE FILTER FABRIC IS TO BE EXTENDED UP TO COVER THE CURB OPENING AND GRAVEL BAGS PLACED IN GUTTER AT EACH SIDE OF OPENING TO KEEP FILTER FABRIC SNUG AGAINST CURB WALL.*
  - PLACE GRAVEL BAGS AS NECESSARY TO PREVENT SEDIMENT FROM DRAINING INTO EXISTING CATCH BASINS. *SEE NOTE IN CALLOUT 1.*
  - INSTALL TYPICAL SILT FENCE, SILT FENCE TO BE INSTALLED PERPENDICULAR TO STORM WATER FLOW. INSTALLATION TO BE DONE SO AS TO PREVENT SEDIMENT FROM LEAVING THE SITE.  
*NOTE: CONTRACTOR TO USE VEGETATIVE BUFFER AND OR CUT BACK INSTEAD OF SILT FENCE WHERE POSSIBLE.*
  - CONTRACTOR TO INSTALL A MINIMUM OF 6" DEEP GRAVEL (3" TO 6") OF SUFFICIENT SIZE (MINIMUM OF 50' IN LENGTH AND 20' WIDE) AS TO PROVIDE A WHEEL WASH AREA TO PREVENT THE TRACKING OF MUD OFFSITE. THE LOCATION OF WHEEL WASH MAY VARY FROM LOCATION SHOWN ON PLANS SO AS TO PROVIDE THE BEST PROTECTION AGAINST TRACKING MUD OFFSITE. CONTRACTOR TO MAINTAIN AND CLEAN WHEEL WASH AREA AS NEEDED TO PREVENT THE TRACKING OF MUD OFFSITE.
  - CONTRACTOR TO INSTALL CONCRETE WASHOUT AREA. THE LOCATION MAY VARY FROM LOCATION SHOWN ON PLANS.

**DURING CONSTRUCTION**

- ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSPECTED AND MAINTAINED REGULARLY (MINIMUM ONCE A WEEK) AND AFTER EVERY STORM EVENT
- CONTRACTOR TO KEEP LAND DISTURBANCE TO MINIMUM TO CONTROL RUNOFF FROM THE SITE
- LIMIT LAND CLEARING AND RESTORE ALL GRADING AS SOON AS POSSIBLE
- STAGED SEEDING TO RE-VEGETATE CUT AND FILL SLOPES AS THE WORK IS IN PROGRESS
- AT ALL TIMES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING AND CONTROLLING EROSION DUE TO WIND AND OTHER EROSION
- MAINTENANCE OF STREET: STREETS TO BE KEPT CLEAN AND FREE FROM DEBRIS
- CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR TO HAVE WATER TRUCK AVAILABLE AS WATER SOURCE FOR WHEEL WASH AREA, OR ALTERNATE WATER SOURCE MAY BE USED IF APPROVED BY CITY.
- IF GROUND WATER IS ENCOUNTERED DURING THE CONSTRUCTION ACTIVITIES AND REQUIRES PUMPING OFF THE PROJECT, THE CONTRACTOR IS TO FILTER THE WATER THROUGH THE USE OF SAND BAGS AND/OR GEO FABRIC. THIS IS TO BE DONE PRIOR TO IT BEING INTRODUCED INTO THE PUBLIC STORM DRAIN SYSTEM.
- A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE KEPT ON THE SITE DURING ALL CONSTRUCTION ACTIVITY

**POST CONSTRUCTION**

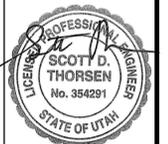
- EROSION CONTROL STRUCTURES MAY BE REMOVED ONCE FINAL LANDSCAPING IS IN PLACE
- EROSION CONTROL STRUCTURES BELOW SEEDED AREAS MUST REMAIN IN PLACE UNTIL THE ENTIRE AREA HAS BEEN ESTABLISHED
- EROSION CONTROL IN PROPOSED PAVEMENT AREAS SHALL REMAIN IN PLACE UNTIL PAVEMENT IS COMPLETE
- THE FOLLOWING PRECAUTIONS SHALL BE PERFORMED:
  - PERIODIC INSPECTION OF CATCH BASIN SEDIMENT TRAPS AND CLEANING WHEN THE BASIN IS MORE THAN 1/4 FULL. INSPECTION SHALL BE DONE AFTER EVERY MAJOR RAINFALL AND EVERY 6 MONTHS AS A MINIMUM. DISPOSAL OF ANY GREASE OR OIL MUST BE DONE IN ACCORDANCE WITH CURRENT ENVIRONMENTAL REGULATIONS
  - LITTER, DEBRIS AND CHEMICALS MUST BE PICKED UP AND KEPT IN A CONTAINED LOCATION TO PREVENT POLLUTION OF STORM WATER DISCHARGE
  - PARKING AREAS SHALL BE KEPT FREE FROM AUTOMOBILE FLUIDS THAT COULD WASH INTO THE STORM DRAIN SYSTEM

NO.	REVISIONS	BY	DATE

DESIGNER: SDT  
PROJECT ENGINEER: SDT

**CIR**  
ENGINEERING, L.L.C.  
3032 SOUTH 1030 WEST, SUITE 202  
S.L.C. Utah 84119 - 801-949-6296

R-MIL INDUSTRIAL PARK  
517 EAST 1600 NORTH, VINEYARD UT 84057  
EROSION CONTROL PLAN (SWPPP)



SHEET NO.	C6
PROJECT ID	A1030-01
DATE	05/12/15
FILE NAME	PRJ-VRP
SCALE	1"=40'





## COMMUNITY DEVELOPMENT

**SUBJECT:** Site Plan and Conditional Use Permit for a Office/Warehouse/Manufacturing Building

**MEETING DATE:** August 25, 2015

**TO:** Town Council

**FROM:** Nathan Crane, Town Planner

---

**REQUEST:** Approval of a site plan and conditional use permit for an office/warehouse-manufacturing building on Lots 19 and 20 of the East Lake Industrial Business Park Phase 1 Amended.

**PARCEL SIZE:** 6.74 Acres

**LOCATION:** West of the northwest corner of Geneva Road and 1600 North

**APPLICANT:** Jared Anzures

**OWNER:** 4145 Associates

---

### BACKGROUND:

The property is designated General Industrial on the General Plan land use map. The property is zoned I-1 (Industrial). The final plat for East Lake Industrial Business Park Phase 1 was approved by the Council on May 14, 2008.

Site plan and conditional use permit approval are administrative actions.

### SUMMARY OF REQUEST:

1. The applicant is requesting a site plan approval for two office/warehouse-manufacturing building on Lots 19 and 20 of the East Lake Industrial Business Park Phase 1 Amended. Building A is 40,958 square feet and Building B is 46,216 square feet and will accommodate office and warehouse space. The building height is 40 feet.
2. The proposed architecture includes concrete tilt panels. Building colors include different tones of grey and brown. The front includes focal points at the front entrance, window features, and accent panels.

3. Access to the site is proposed from 1600 North which is a private road. All driveways and related improvements will be constructed with the first phase of development.
4. Culinary water is provided through connections to an existing system. Sanitary sewer will be provided through a connection to a Town sewer line.
5. The building has been designed to accommodate different users. The specific users have not been identified.

#### **CITIZEN PARTICIPATION:**

A notice of the Planning Commission public hearing was published in the Daily Herald on June 19, 2015. Notice of the public hearing was also sent to all property owners within 300 feet of the property. No comments have been received.

#### **SITE PLAN ANALYSIS:**

##### *General Plan and Zoning*

- The site is designated as General Industrial on the Town of Vineyard General Plan. The type and scale of the proposed development is consistent with the General Plan and the I-1 Zoning District.

##### *Access, Circulation, and Parking*

- The proposed drives into the development provide adequate access to the site. All street improvements have been completed.
- The proposed site plan includes 260 parking spaces. This meets the minimum requirement.

##### *Landscaping*

- A preliminary landscape plan has been provided. Final landscape plans will be submitted and approved by staff prior to the issuance of a building permit.
- The required landscape buffers along 1600 North has been provided. All parking is screened.

##### *Building Materials, Colors, and Design*

- Materials and architectural design of this site will compliment the architecture of existing and future development. The use of the glass features on the front, and accent panels will result in visual interest.

- The proposed architecture meets the intent of the building design requirements in Chapter 18 of the Town of Vineyard Zoning Ordinance.

**CONDITIONAL USE PERMIT:**

The Town Council must determine that the proposed use meets six standards prior to granting a Conditional Use Permit. The burden of proof rests with the applicant. Each standard is presented below along with staff's analysis.

**1. The proposed use is an allowed Conditional Use within the Zoning District.**

The subject property is designated as General Industrial on the Land Use Map and is zoned I-1 (Industrial). The I-1 Zoning District allows manufacturing, compounding, processing, packaging of good materials subject to site plan and conditional use permit approval by the Town Council. The proposed use is consistent with the General Industrial Land Use category and is permitted in the I-1 District subject to a conditional use permit.

**2. The proposed Conditional Use and the accompanying site plan complies with all requirements of the Zoning District, as applicable, including minimum area, front, rear and side-yard setbacks, building and structure height, and all other requirements applicable in the Zoning District.**

The proposed building setbacks and landscape buffer are appropriate for the proposed use.

The development will provide sufficient parking for the proposed use.

The proposed site plan meets all requirements of the I-1 District including setbacks, landscaping, and utility requirements.

The adjacent streets are designed to accommodate the traffic generated by the use.

**3. Complies with all Site Plan requirements as may be applicable, as provided herein.**

See discussion in standard #2.

**4. Complies with all applicable dedication requirements of the Town and provides the necessary infrastructure, as required.**

All required dedications were provided at the time of final plat approval.

**5. The proposed Conditional Use meets, and will be conducted in compliance with the requirements of this Ordinance, all other applicable Land Use Ordinances, and all applicable Federal, State, or Local requirements.**

The proposed use will be conducted in compliance with the requirements of the Zoning Ordinance. The construction plans will be reviewed by staff to ensure compliance with all other

requirements including, but not limited to the Building Code and Town of Vineyard Public Improvement Standards.

**6. The property on which the Conditional Use is proposed is of adequate size to permit the conduct of the proposed Conditional Use in a manner that will not be detrimental to adjoining and surrounding properties.**

The proposed use will complement and be compatible with the existing and future development on nearby properties. It will not generate excessive traffic, light, or noise.

**FINDINGS:**

The proposed site plan meets the following findings:

- It is in conformance with the General Plan.
- It satisfies the minimum requirements of the Town of Vineyard Zoning Ordinance.
- The proposed conditional use meets the required standards for approval.

**PLANNING COMMISSION ACTION:**

The Planning Commission held a public hearing on August 4, 2015 and voted 5-0 to recommend approval subject to the following conditions:

1. The site plan shall conform to the site plan, elevations, and landscape plan dated July 31, 2015, except as modified by these stipulations.
2. All signage shall require a separate permit.
3. In accordance with Section 1416 of the Town of Vineyard Zoning Ordinance, the approval of the site plan shall expire in (180) days if a building permit has not been issued.
4. In accordance with Section 1514 of the Town of Vineyard Zoning Ordinance, the approval of the conditional use permit shall expire in (180) days if a building permit has not been issued.
5. The civil construction drawings shall meet all requirements as determined by the Town Engineer.
6. All driveways shall be shared or separated by a minimum of 150 feet from inside curb to inside curb.
7. The water line shall be looped as required by the Town Engineer.

**RECOMMENDATION AND PROPOSED MOTION:**

The Town Council should hold a public hearing and **APPROVE** the conditional use permit and site plan subject to the seven stipulations recommended by the Planning Commission.

I move that the Town Council accept the findings and **APPROVE** the request for site plan and conditional use permit for an office warehouse in the I-1 district subject to the seven stipulations recommended by the Planning Commission.

**ATTACHMENTS:**

- Exhibit A – Site Plan
- Exhibit B – Landscape Plan
- Exhibit C – Building Elevations
- Exhibit D – Color Elevations
- Exhibit E – Narrative

C:\EDG\Projects\AEB\1600 Vineyard Office\Warehouse CAD\LS.dwg - Jul 08, 2015 - 9:50am  
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**OVERALL LOT AREAS:**

TOTAL LOT	293,353 SQ. FT. / (6.73 ACRES)
TOTAL LANDSCAPING	49,939 SQ. FT. / (1.15 ACRES)
A BUILDING FOOTPRINT	40,938 SQ. FT. / (0.94 ACRES)
B BUILDING FOOTPRINT	44,216 SQ. FT. / (1.06 ACRES)
LANDSCAPING	43,754 SQ. FT.
PARKING LANDSCAPING	6,184 SQ. FT.
ASPHALT	115,429 SQ. FT. / (2.65 ACRES)
CONCRETE	75,104 SQ. FT. / (1.74 ACRES)

NOTE:  
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**PARKING REQUIREMENTS BUILDING A:**

OFFICE	SQ. FT.	CITY REQMT
MAIN	13,413 sq. ft.	44.71 (1/300)
WAREHOUSING	27,387 sq. ft.	27.39 (1/1000)
		73 (72.62)

**PARKING REQUIREMENTS BUILDING B:**

OFFICE	SQ. FT.	CITY REQMT
MAIN	13,690 sq. ft.	45.63 (1/300)
WAREHOUSING	32,249 sq. ft.	32.25 (1/1000)

TOTAL REQUIRED:	78 (78.27)
TOTAL OVERALL REQUIRED:	151 (150.89)
TOTAL PROVIDED IN PROJECT:	260
PARKING:	260
ACCESSIBLE SPACES:	8 (7 REQ'D - 201 to 300)

REFERENCED CODES:  
 - SECTION 19.3 OF THE VINEYARD ZONING ORDINANCE, UTAH CODE (FOR CITY REQUIREMENTS)

NOTE:  
 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

**PARCEL IDENTIFICATION:**  
 TAX ID NUMBER: 38-424-0019 / 38-424-0020  
 ADDRESS: 517 EAST 1600 NORTH, VINEYARD UT 84057 (CERTIFICATE OF ADDRESS NO.)

**LANDSCAPING AREAS:**

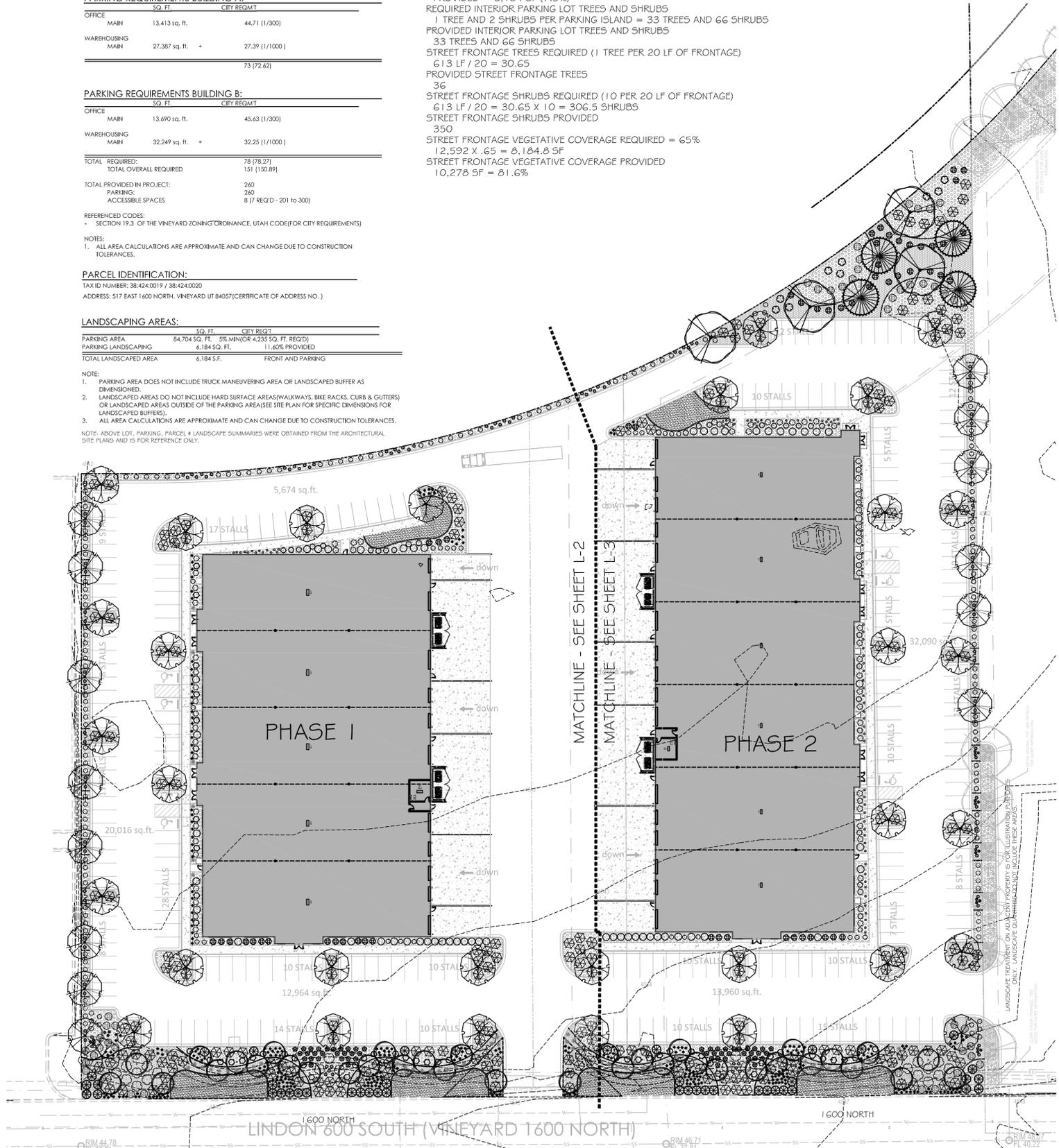
PARKING AREA	84,704 SQ. FT. / 5% MIN (OR 4,235 SQ. FT. REQ'D)
PARKING LANDSCAPING	6,184 SQ. FT. / 11.60% PROVIDED
TOTAL LANDSCAPED AREA	6,184 S.F. / FRONT AND PARKING

NOTE:  
 1. PARKING AREA DOES NOT INCLUDE TRUCK MANEUVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.  
 2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS (WALKWAYS, BIKE RACKS, CURBS & GUTTERS) OR LANDSCAPED AREAS OUTSIDE OF THE PARKING AREA (SEE SITE PLAN FOR SPECIFIC DIMENSIONS FOR LANDSCAPED BUFFERS).  
 3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

NOTE: ABOVE LOT, PARKING, PARCEL & LANDSCAPE SUMMARIES WERE OBTAINED FROM THE ARCHITECTURAL SITE PLANS AND IS FOR REFERENCE ONLY.

**LANDSCAPE CALCULATIONS SUMMARY INCLUDING BOTH LOTS**

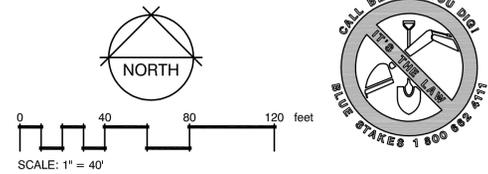
TOTAL LOT (REFER TO ARCHITECTURAL PLANS)  
 293,353  
 ON SITE LANDSCAPING REQUIRED (5% OF SITE)  
 14,667 SF  
 ON SITE LANDSCAPING PROVIDED (REFER TO ARCHITECTURAL PLANS)  
 49,939 SF ON SITE (17.0% OF SITE)  
 3,610 SF ROW LANDSCAPING  
 53,549 SF TOTAL ON SITE AND ROW LANDSCAPING  
 PARKING LANDSCAPE AREA REQUIRED (REFER TO ARCHITECTURAL PLANS)  
 5% OF PARKING AREA = 82,577 SF X .05 = 4,129 SF  
 PROVIDED = 6,184 SF (7.5%)  
 REQUIRED INTERIOR PARKING LOT TREES AND SHRUBS  
 1 TREE AND 2 SHRUBS PER PARKING ISLAND = 33 TREES AND 66 SHRUBS  
 PROVIDED INTERIOR PARKING LOT TREES AND SHRUBS  
 33 TREES AND 66 SHRUBS  
 STREET FRONTAGE TREES REQUIRED (1 TREE PER 20 LF OF FRONTAGE)  
 613 LF / 20 = 30.65  
 PROVIDED STREET FRONTAGE TREES  
 36  
 STREET FRONTAGE SHRUBS REQUIRED (10 PER 20 LF OF FRONTAGE)  
 613 LF / 20 = 30.65 X 10 = 306.5 SHRUBS  
 STREET FRONTAGE SHRUBS PROVIDED  
 350  
 STREET FRONTAGE VEGETATIVE COVERAGE REQUIRED = 65%  
 12,592 X .65 = 8,184.8 SF  
 STREET FRONTAGE VEGETATIVE COVERAGE PROVIDED  
 10,278 SF = 81.6%



**PLANT SCHEDULE OVERALL**

CONIFERS	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	PINUS NIGRA / AUSTRIAN BLACK PINE 35' TALL BY 25' WIDE AT MATURITY	B # B		6" HIGH MIN.	4
DECIDUOUS TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	ACER TRUNCATUM 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE 35' TALL BY 25' WIDE AT MATURITY	B # B	2'CAL		14
	GLEDITSIA TRIACANTHOS 'SKYLINE' / SKYLINE HONEY LOCUST 45' TALL X 35' WIDE AT MATURITY	25 GAL	2'CAL		4
	KOELREUTERIA PANICULATA 'SUMMER BURST' / SUMMER BURST GOLDEN RAIN TREE 35' TALL X 25' WIDE AT MATURITY	B # B	2'CAL		33
	PYRUS CALLERYANA 'CHANTICLEER' / CHANTICLEER PEAR 35' TALL X 15' WIDE AT MATURITY	B # B	2'CAL		36
SHRUBS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	BERBERIS THUNBERGII 'ORANGE ROCKET' / ORANGE ROCKET BARBERRY 4' TALL X 1.5' WIDE AT MATURITY	5 GAL			24
	BERBERIS THUNBERGII 'ROSE GLOW' / ROSY GLOW BARBERRY 5' TALL X 4' WIDE AT MATURITY	5 GAL			53
	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD 4' TALL X 4' WIDE AT MATURITY	5 GAL			34
	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / BLUE MIST SHRUB 3'-4' TALL BY 3'-4' WIDE AT MATURITY	5 GAL			56
	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP JUNIPER 6'-8' TALL X 6' WIDE AT MATURITY	5 GAL			43
	PHYSCOCARPUS OPULIFOLIUS 'SUMMER WINE' / SUMMER WINE NINEBARK 7' TALL X 7' WIDE AT MATURITY	5 GAL			22
	RHAMNUS FRANGULA 'COLUMNARIS' / TALLHEDGE BUCKTHORN 15' TALL X 5' WIDE AT MATURITY	5 GAL			55
	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC 2'-2.5' TALL X 6'-8' WIDE AT MATURITY	5 GAL			200
	ROSA MEIDLAND SERIES 'CRIMSON' / CRIMSON MEIDLAND ROSE 2' TALL X 5' WIDE AT MATURITY	5 GAL			44
	SPIRAEA X BUMALDA 'GOLDFLAME' / GOLDFLAME SPIREA 2'-3' TALL X 3' -4' WIDE AT MATURITY	5 GAL			20
	SYRINGA PATULA 'MISS KIM' / MISS KIM LILAC 6' TO 7' TALL X 5' TO 6' WIDE AT MATURITY	5 GAL			9
	VIBURNUM OPULUS 'NANUM' / DWARF EUROPEAN VIBURNUM 3' TALL X 4' WIDE AT MATURITY	5 GAL			40
ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	HEMEROCALLIS X 'APRICOT SPARKLES' / APRICOT SPARKLES DAY LILY 24" TALL X 24" WIDE AT MATURITY	1 GAL			298
	HEUCHERA VILLOSA 'CITRONELLE' / CITRONELLE CORAL BELLS 10" TALL X 14" WIDE AT MATURITY	1 GAL			89
	PEROVSKIA ATRIPLICIFOLIA 'LONGIN' / LONGIN RUSSIAN SAGE 4' TALL X 2' WIDE AT MATURITY	1 GAL			101
GRASSES	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS 5' TALL X 3' WIDE AT MATURITY	1 GAL			183
	HELICOTRICHON SEMPERVIRENS / BLUE OAT GRASS 2'-2.5' TALL X 2'-3' WIDE AT MATURITY	1 GAL			53
	PENNISETUM ALOPECUROIDES 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS 2'-3' TALL X 2'-3' WIDE AT MATURITY	1 GAL			52
MULCHES / ROCK		OVERALL	PHASE 1	PHASE 2	
	CHANSARE FARMS IMPERIAL BLUE TURF GRASS SOD BLEND	5,981 S.F.	3,265 S.F.	2,716 S.F.	
	4" DEPTH MINIMUM OF 2" SOUTHTOWN COBBLE ROCK OVER DEWITT PRO 5 WEED BARRIER	30,675 S.F.	14,046 S.F.	16,629 S.F.	
	4" DEPTH OF 2" COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER	16,717 S.F.	6,353 S.F.	10,364 S.F.	

NOTE:  
 1. SEE SHEET L-4 FOR LANDSCAPE NOTES AND DETAILS.  
 2. LANDSCAPE MATERIAL SQUARE FOOTAGES INCLUDE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.  
 3. DECIDUOUS TREES TO BE A MINIMUM OF 6 FEET IN HEIGHT AND 2" CALIPER MEASURED 12 INCHES ABOVE GROUND GRADE WHEN PLANTED.  
 4. CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MEASURED ALONG BACK OF CURB OF DRIVEWAY AND BACK OF CURB OF ROADWAY.  
 5. ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.



NO.	REVISIONS	BY	DATE
1	PER CITY REVIEW COMMENTS 6/19/15	DCM	7/9/15

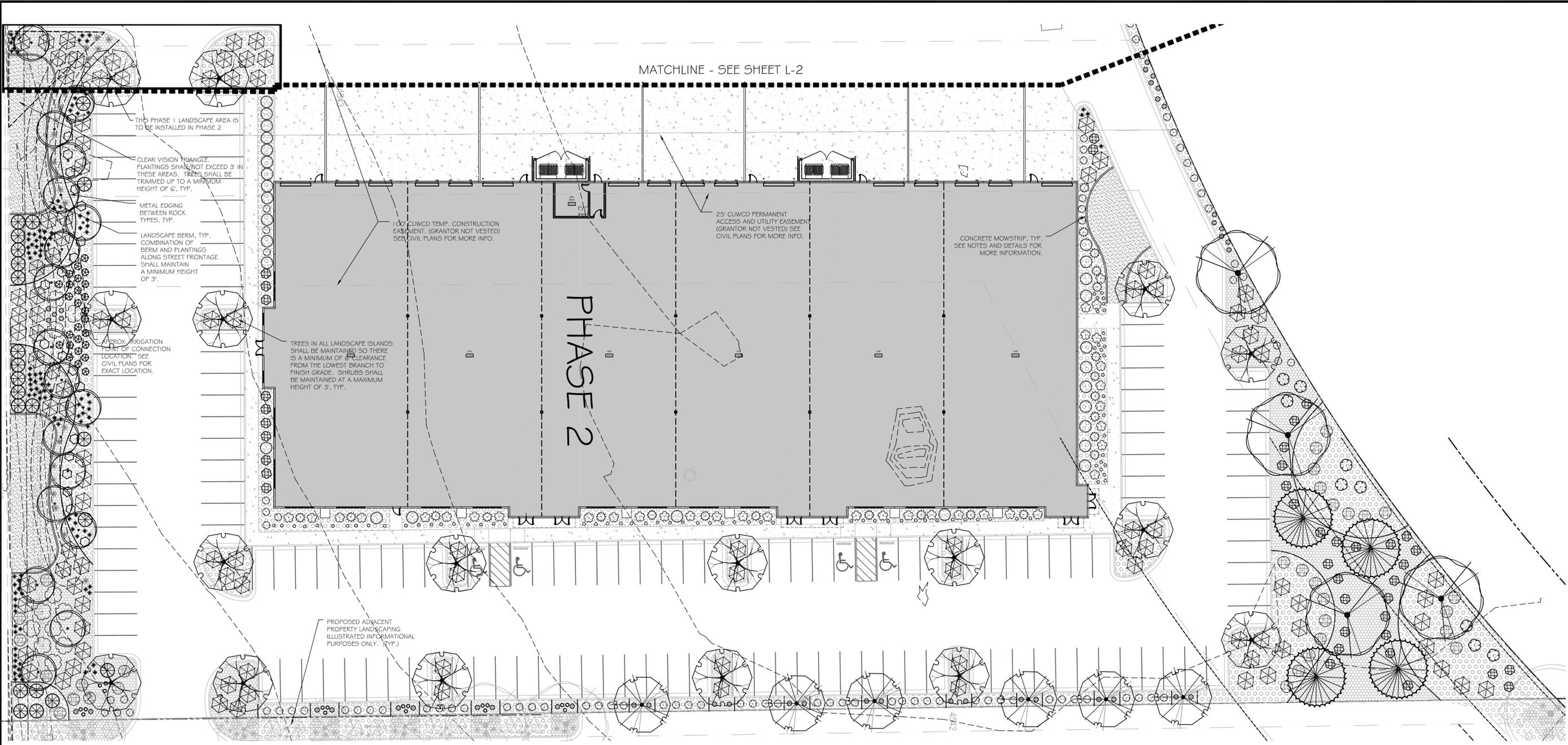
PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 1000 SOUTH 1400 WEST, SUITE 100  
 SALT LAKE CITY, UT 84119  
 PHONE: 801.841.7464  
 www.foresitedesigngroup.com

**R-MILL INDUSTRIAL PARK**  
**OVERALL LANDSCAPE PLAN**  
 517 EAST 1600 NORTH VINEYARD, UTAH 84057

SHEET:  
**L-1**  
 FILE NAME: SCALE:  
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**PLANT SCHEDULE PHASE 2**

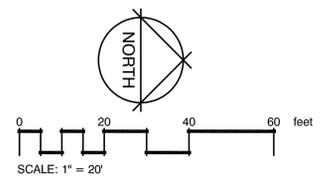
CONIFERS	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
	Pinus nigra / AUSTRIAN BLACK PINE 35' TALL BY 25' WIDE AT MATURITY	B # B		6' HIGH MIN.	4
<b>DECIDUOUS TREES</b>	<b>BOTANICAL NAME / COMMON NAME</b>	<b>CONT</b>	<b>CAL</b>	<b>SIZE</b>	<b>QTY</b>
	Acer truncatum 'NORWEGIAN SUNSET' / NORWEGIAN SUNSET MAPLE 35' TALL BY 25' WIDE AT MATURITY	B # B	2'CAL	6'	6
	Gleditsia triacanthos 'SKYLINE' / SKYLINE HONEY LOCUST 45' TALL X 35' WIDE AT MATURITY	25 GAL	2'CAL	4'	4
	Koelreuteria paniculata 'SUMMER BURST' / SUMMER BURST GOLDEN RAIN TREE 35' TALL X 25' WIDE AT MATURITY	B # B	2'CAL	15'	15
	Pyrus calleryana 'CHANTICLEER' / CHANTICLEER PEAR 35' TALL X 15' WIDE AT MATURITY	B # B	2'CAL	17'	17
<b>SHRUBS</b>	<b>BOTANICAL NAME / COMMON NAME</b>	<b>SIZE</b>	<b>FIELD2</b>	<b>FIELD3</b>	<b>QTY</b>
	Berberis thunbergii 'ORANGE ROCKET' / ORANGE ROCKET BARBERY 4' TALL X 1.5' WIDE AT MATURITY	5 GAL			18
	Berberis thunbergii 'ROSE GLOW' / ROSY GLOW BARBERY 5' TALL X 4' WIDE AT MATURITY	5 GAL			20
	Buxus x 'GREEN VELVET' / GREEN VELVET BOXWOOD 4' TALL X 4' WIDE AT MATURITY	5 GAL			23
	Caryopteris x glandonensis 'DARK KNIGHT' / BLUE MIST SHRUB 3'-4' TALL BY 3'-4' WIDE AT MATURITY	5 GAL			40
	Juniperus horizontalis 'BLUE CHIP' / BLUE CHIP JUNIPER 6'-8' TALL X 6' WIDE AT MATURITY	5 GAL			22
	Physocarpus opulifolius 'SUMMER WINE' / SUMMER WINE NINEBARK 7' TALL X 7' WIDE AT MATURITY	5 GAL			11
	Rhamnus frangula 'COLLIMNARIS' / TALLHEDGE BUCKTHORN 15' TALL X 5' WIDE AT MATURITY	5 GAL			28
	Rhus aromatica 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC 2'-2.5' TALL X 6'-8' WIDE AT MATURITY	5 GAL			93
	Rosa meiland series 'CRIMSON' / CRIMSON MEIDLAND ROSE 2' TALL X 5' WIDE AT MATURITY	5 GAL			31
	Syringa patula 'MISS KIM' / MISS KIM LILAC 6' TO 7' TALL X 5' TO 6' WIDE AT MATURITY	5 GAL			9

ANNUALS/PERENNIALS	BOTANICAL NAME / COMMON NAME	SIZE	FIELD2	FIELD3	QTY
	Hemerocallis x 'APRICOT SPARKLES' / APRICOT SPARKLES DAY LILY 24" TALL X 24" WIDE AT MATURITY	1 GAL			108
	Heuchera villosa 'CITRONELLE' / CITRONELLE CORAL BELLS 10" TALL X 14" WIDE AT MATURITY	1 GAL			75
	Perovskia atriplicifolia 'LONGIN' / LONGIN RUSSIAN SAGE 4' TALL X 2' WIDE AT MATURITY	1 GAL			44
<b>GRASSES</b>	<b>BOTANICAL NAME / COMMON NAME</b>	<b>SIZE</b>	<b>FIELD2</b>	<b>FIELD3</b>	<b>QTY</b>
	Calamagrostis x acutiflora 'KARL FOERSTER' / FEATHER REED GRASS 5' TALL X 3' WIDE AT MATURITY	1 GAL			80
	Helictotrichon sempervirens / BLUE OAT GRASS 2'-2.5' TALL X 2'-3' WIDE AT MATURITY	1 GAL			19
	Pennisetum alopecuroides 'HAMELN' / HAMELN DWARF FOUNTAIN GRASS 2'-3' TALL X 2'-3' WIDE AT MATURITY	1 GAL			26

MULCHES / ROCK	PHASE 2
	CHANGSHARE FARMS IMPERIAL BLUE TURF GRASS SOD BLEND 2,716 S.F.
	4' DEPTH MINIMUM OF 2" SOUTHTOWN COBBLE ROCK OVER DEWITT PRO 5 WEED BARRIER 16,629 S.F.
	4' DEPTH OF 2" COLORED CRUSHED ROCK (BROWNS, REDS & GRAYS) OVER DEWITT PRO 5 WEED BARRIER 10,364 S.F.

- NOTES:
- SEE SHEET L-4 FOR LANDSCAPE NOTES AND DETAILS.
  - LANDSCAPE MATERIAL SQUARE FOOTAGES INCLUDE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.
  - DECIDUOUS TREES TO BE A MINIMUM OF 6 FEET IN HEIGHT AND 2" CALIPER MEASURED 12 INCHES ABOVE GROUND GRADE WHEN PLANTED.
  - CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MEASURED ALONG BACK OF CURB OF DRIVEWAY AND BACK OF CURB OF ROADWAY.
  - ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.

\*ALL PLANT SYMBOLS IN THE PLANT SCHEDULE ARE NOT AT THE SAME SIZE OR SCALE AS THE PLAN VIEW\*

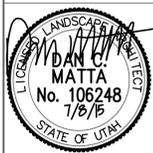


NO.	REVISIONS	BY	DATE
1	PER CITY REVIEW COMMENTS 6/19/15	DCM	7/9/15

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 1000 SOUTH 1400 WEST  
 SALT LAKE CITY, UTAH 84143  
 PHONE: 801.841.7464  
 WWW.FORESITEDESIGNGROUP.COM



**R-MILL INDUSTRIAL PARK  
 PHASE 2 LANDSCAPE PLAN**  
 517 EAST 1600 NORTH VINEYARD, UTAH 84057



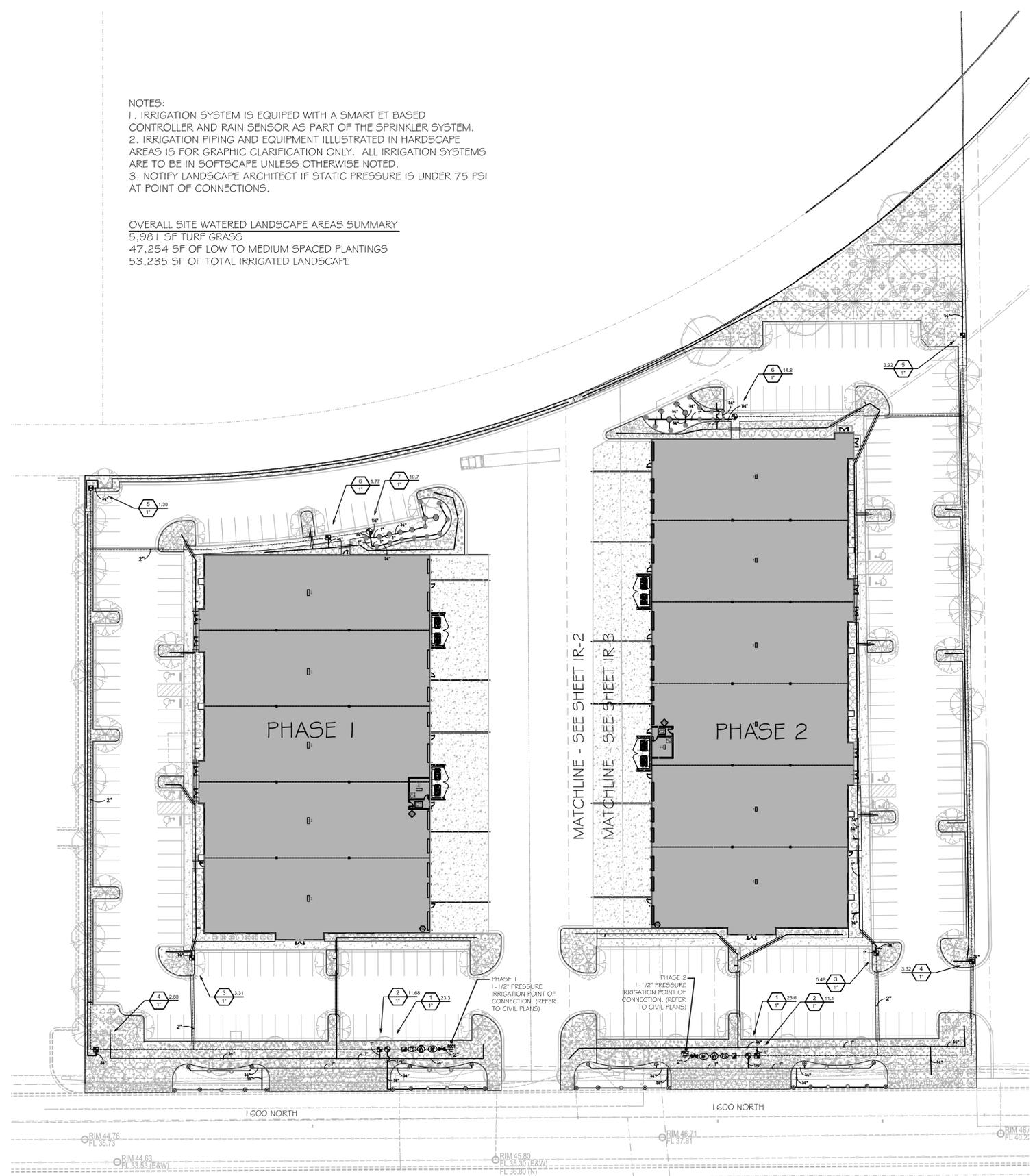
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**NOTES:**  
 1. IRRIGATION SYSTEM IS EQUIPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.  
 2. IRRIGATION PIPING AND EQUIPMENT ILLUSTRATED IN HARDSCAPE AREAS IS FOR GRAPHIC CLARIFICATION ONLY. ALL IRRIGATION SYSTEMS ARE TO BE IN SOFTSCAPE UNLESS OTHERWISE NOTED.  
 3. NOTIFY LANDSCAPE ARCHITECT IF STATIC PRESSURE IS UNDER 75 PSI AT POINT OF CONNECTIONS.

**OVERALL SITE WATERED LANDSCAPE AREAS SUMMARY**  
 5,981 SF TURF GRASS  
 47,254 SF OF LOW TO MEDIUM SPACED PLANTINGS  
 53,235 SF OF TOTAL IRRIGATED LANDSCAPE

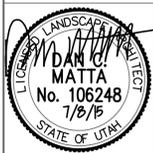
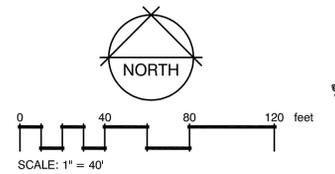
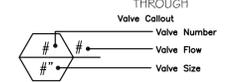


**OVERALL IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1804-PRS 8 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	2	30
	RAIN BIRD 1804-PRS 10 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	5	30
	RAIN BIRD 1804-PRS 12 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	4	30
	RAIN BIRD 1804-PRS 15 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	1	30
	RAIN BIRD 1804-PRS ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	20	30
	RAIN BIRD R-VAN 1318 RD-1804-SAM-P45 TURF ROTATOR. 13" x 18" HAND ADJUSTABLE ROTARY STREAM, WRD-1800 TURF SPRAY BODY, 4.0" POP-UP, WITH SEAL-A-MATIC CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATION.	38	45

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD XCZ-100-PRB-COM 1" MEDIUM PLUS FLOW DRIP CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PESB VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 3GPM TO 20GPM.	8
	RAIN BIRD XCZ-LF-100-PRF 1" LOW FLOW DRIP CONTROL KIT. 1" LOW FLOW VALVE, 3/4" PRESSURE REGULATING RBY FILTER, AND 30PSI PRESSURE REGULATOR. 0.2GPM-5GPM.	1
	AREA TO RECEIVE DRIP EMITTERS RAIN BIRD XB-FC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1 gal plant to receive 1 of 1.0 GPH emitter. 5 gal plant to receive 2 of 1.0 GPH emitters. 25 gal plant to receive 4 of 2.0 GPH emitters. B # B, 2" Cal, G' high min. plant to receive 4 of 2.0 GPH emitters. B # B, 8' HIGH MIN. plant to receive 4 of 2.0 GPH emitters. B # B, 2" Cal plant to receive 4 of 2.0 GPH emitters.	47,254 S.F.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD FEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	4
	RAIN BIRD 44-LRC 1" 1" BRASS QUICK-COUPUNG VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	2
	1.5" MUELLER STOP AND WASTE VALVE	2
	RAIN BIRD FEB 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2
	ZURN 975XL 1-1/2" REDUCED PRESSURE BACKFLOW DEVICE	2
	RAIN BIRD ESP8LXME WITH (01) ESPLXMSM4 12 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT.	1
	RAIN BIRD ESP8LXME WITH (01) ESPLXMSM4 12 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT.	1
	RAIN BIRD WR2-RFC WIRELESS RAIN AND FREEZE SENSOR COMBO, INCLUDES 1 RECEIVER AND 1 RAIN/FREEZE SENSOR TRANSMITTER. PLACE IN UNOBSTRUCTED LOCATION TO RAINFALL.	2
	RAIN BIRD ETC-LX UPGRADES ANY ESP-LX SERIES CONTROLLER TO AN ET/WEATHER-BASED IRRIGATION CONTROLLER.	2
	RAIN BIRD FS-150-B 1-1/2" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM, SITECONTROL, AND ESP-LXD CENTRAL CONTROL SYSTEMS. BRASS MODEL. SUGGESTED OPERATING RANGE OF 2.0 GPM TO 82.6 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	2
	POC1 POINT OF CONNECTION 1-1/2" PHASE 1 FOC	1
	POC2 POINT OF CONNECTION 1-1/2" PHASE 2 FOC	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4" PVC SCHEDULE 40 IRRIGATION PIPE.	4,470 L.F.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1" PVC SCHEDULE 40 IRRIGATION PIPE.	469.3 L.F.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/4" PVC SCHEDULE 40 IRRIGATION PIPE.	12.0 L.F.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2" PVC SCHEDULE 40 IRRIGATION PIPE.	21.6 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40 2" PVC SCHEDULE 40 IRRIGATION PIPE.	1,807 L.F.
	PIPE SLEEVE: PVC SCHEDULE 40 SLEEVE SHALL BE 2X THE DIAMETER OF THE PIPE PASSING THROUGH	677.2 L.F.



SHEET: **IR-1**  
 FILE NAME: SCALE: FSD-072-TM 1"=40'

NO.	REVISIONS	BY	DATE
1	PER CITY REVIEW COMMENTS 6/19/15	DCM	7/9/15

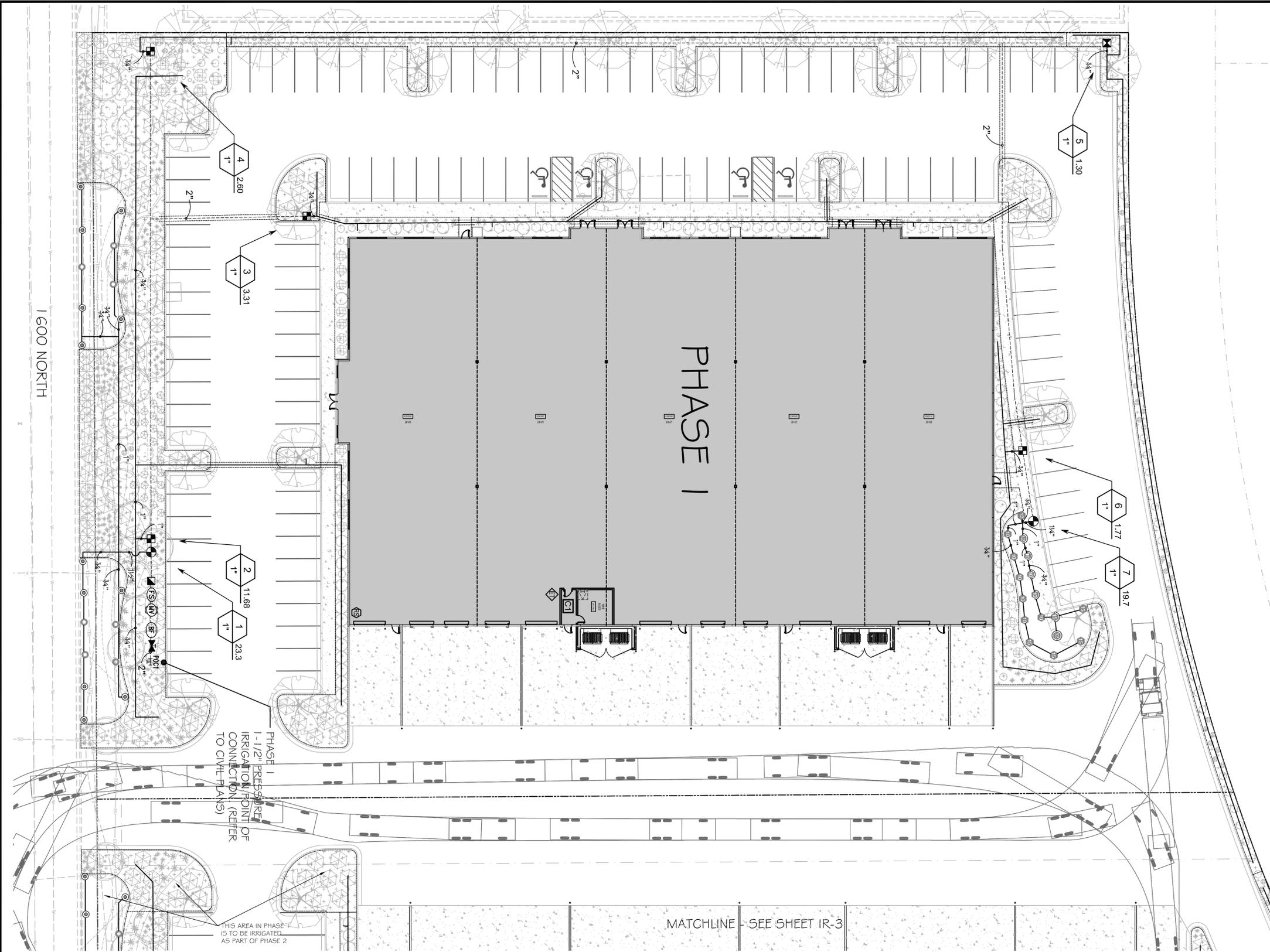
PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 517 EAST 1600 NORTH VINEYARD, UTAH 84057  
 PHONE: 801.841.7464  
 www.foresitedesigngroup.com



**R-MILL INDUSTRIAL PARK  
 OVERALL IRRIGATION PLAN**  
 517 EAST 1600 NORTH VINEYARD, UTAH 84057

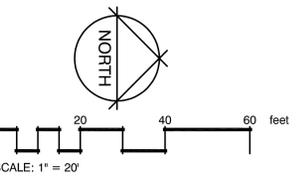
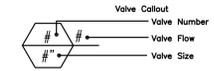
DESIGNER: DCM  
 PROJECT PROFESSIONAL: DCM

C:\EDG\Projects\AEB\1600 Vineyard Office Warehouse\CAD\IR.dwg -- Jul 08 2015 11:35am  
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**PHASE I IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	UNIT	DATE	BY
	RAIN BIRD 1804-PRS 10 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	3	30	7/9/15	DCM
	RAIN BIRD 1804-PRS 12 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	2	30		
	RAIN BIRD 1804-PRS 15 SERIES MPR TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	1	30		
	RAIN BIRD 1804-PRS ADJ TURF SPRAY 4.0" POP-UP SPRINKLER WITH CO-MOLDED WIPER SEAL. 1/2" NPT FEMALE THREADED INLET. PRESSURE REGULATING.	11	30		
	RAIN BIRD R-VAN 1318 RD-1804-SAM-P45 TURF ROTATOR. 13" 18" HAND ADJUSTABLE ROTARY STREAM, WRD-1800 TURF SPRAY BODY, 4.0" POP-UP. WITH SEAL-A-MATIC CHECK VALVE AND 45 PSI IN-STEM PRESSURE REGULATION.	19	45		
	RAIN BIRD XZC-1-00-PRB-COM 1" MEDIUM PLUS FLOW DRIFT CONTROL KIT FOR COMMERCIAL APPLICATIONS. 1" BALL VALVE WITH 1" PRESS VALVE AND 1" PRESSURE REGULATING 40PSI QUICK-CHECK BASKET FILTER. 3GPM TO 20GPM.	4			
	RAIN BIRD XZC-LF-1-00-PRF 1" LOW FLOW DRIFT CONTROL KIT. 1" LOW FLOW VALVE, 3/4" PRESSURE REGULATING RBY FILTER, AND 30PSI PRESSURE REGULATOR. 0.2GPM-5GPM.	1			
	AREA TO RECEIVE DRIFT EMITTERS RAIN BIRD XD-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET. Emitter Notes: 1 gal plant to receive 1 of 1.0 GPH emitter. 5 gal plant to receive 2 of 1.0 GPH emitters. 25 gal plant to receive 4 of 2.0 GPH emitters. B # B, 2" Cal, 6" high min. plant to receive 4 of 2.0 GPH emitters. B # B, 6" HIGH MIN. plant to receive 4 of 2.0 GPH emitters. B # B, 2" Cal plant to receive 4 of 2.0 GPH emitters.	18,767	S.F.		
	RAIN BIRD PEB 1" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	2			
	RAIN BIRD 44-IRC 1" 1" BRASS QUICK-COUPLING VALVE. WITH CORROSION-RESISTANT STAINLESS STEEL SPRING. LOCKING THERMOPLASTIC RUBBER COVER, AND 2-PIECE BODY.	1			
	1.5" MUELLER STOP AND WASTE VALVE	1			
	RAIN BIRD PEB 1-1/2" 1", 1-1/2", 2" PLASTIC INDUSTRIAL VALVES. LOW FLOW OPERATING CAPABILITY, GLOBE CONFIGURATION.	1			
	ZURN 975XL 1-1/2" REDUCED PRESSURE BACKFLOW DEVICE	1			
	RAIN BIRD ESP8LXME WITH (01) ESP-LX2 2 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT.	1			
	RAIN BIRD WR2-RFC WIRELESS RAIN AND FREEZE SENSOR COMBO. INCLUDES 1 RECEIVER AND 1 RAIN/FREEZE SENSOR TRANSMITTER. PLACE IN UNOBSTRUCTED LOCATION TO RAINFALL.	1			
	RAIN BIRD ETC-LX UPGRADES ANY ESP-LX SERIES CONTROLLER TO AN ETWEATHER-BASED IRRIGATION CONTROLLER.	1			
	RAIN BIRD FS-150-B 1-1/2" FLOW SENSOR FOR USE WITH RAIN BIRD MAXICOM, SITECONTROL, AND ESP-LX2 CENTRAL CONTROL SYSTEMS. BRASS MODEL. SUGGESTED OPERATING RANGE OF 2.0 GPM TO 82.6 GPM. SENSORS SHOULD BE SIZED FOR FLOW RATHER THAN PIPE SIZE.	1			
	POINT OF CONNECTION 1-1/2" PHASE 1 FOC	1			
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4" PVC SCHEDULE 40 IRRIGATION PIPE.	2,171	L.F.		
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1" PVC SCHEDULE 40 IRRIGATION PIPE.	145.3	L.F.		
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/4" PVC SCHEDULE 40 IRRIGATION PIPE.	4.4	L.F.		
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2" PVC SCHEDULE 40 IRRIGATION PIPE.	13.1	L.F.		
	IRRIGATION MAINLINE: PVC SCHEDULE 40 2" PVC SCHEDULE 40 IRRIGATION PIPE.	888.6	L.F.		
	PIPE SLEEVE: PVC SCHEDULE 40 SLEEVE SHALL BE 2X THE DIAMETER OF THE PIPE PASSING THROUGH	269.0	L.F.		



NOTES:  
 1. IRRIGATION SYSTEM IS EQUIPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.  
 2. IRRIGATION PIPING AND EQUIPMENT ILLUSTRATED IN HARDSCAPE AREAS IS FOR GRAPHIC CLARIFICATION ONLY. ALL IRRIGATION SYSTEMS ARE TO BE IN SOFTSCAPE UNLESS OTHERWISE NOTED.  
 3. NOTIFY LANDSCAPE ARCHITECT IF STATIC PRESSURE IS UNDER 75 PSI AT POINT OF CONNECTIONS.

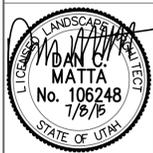
PHASE I WATERED LANDSCAPE AREAS SUMMARY  
 2,990 SF TURFGRASS  
 18,767 SF OF LOW TO MEDIUM SPACED PLANTINGS  
 21,757 SF OF TOTAL IRRIGATED LANDSCAPE

NO.	REVISIONS	DATE	BY
1	PER CITY REVIEW COMMENTS 6/19/15	7/9/15	DCM

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES  
 FORESITE DESIGN GROUP, L.C.  
 1600 NORTH 1600 EAST  
 DRAPER, UTAH 84020  
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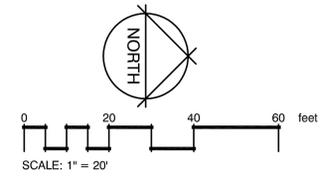
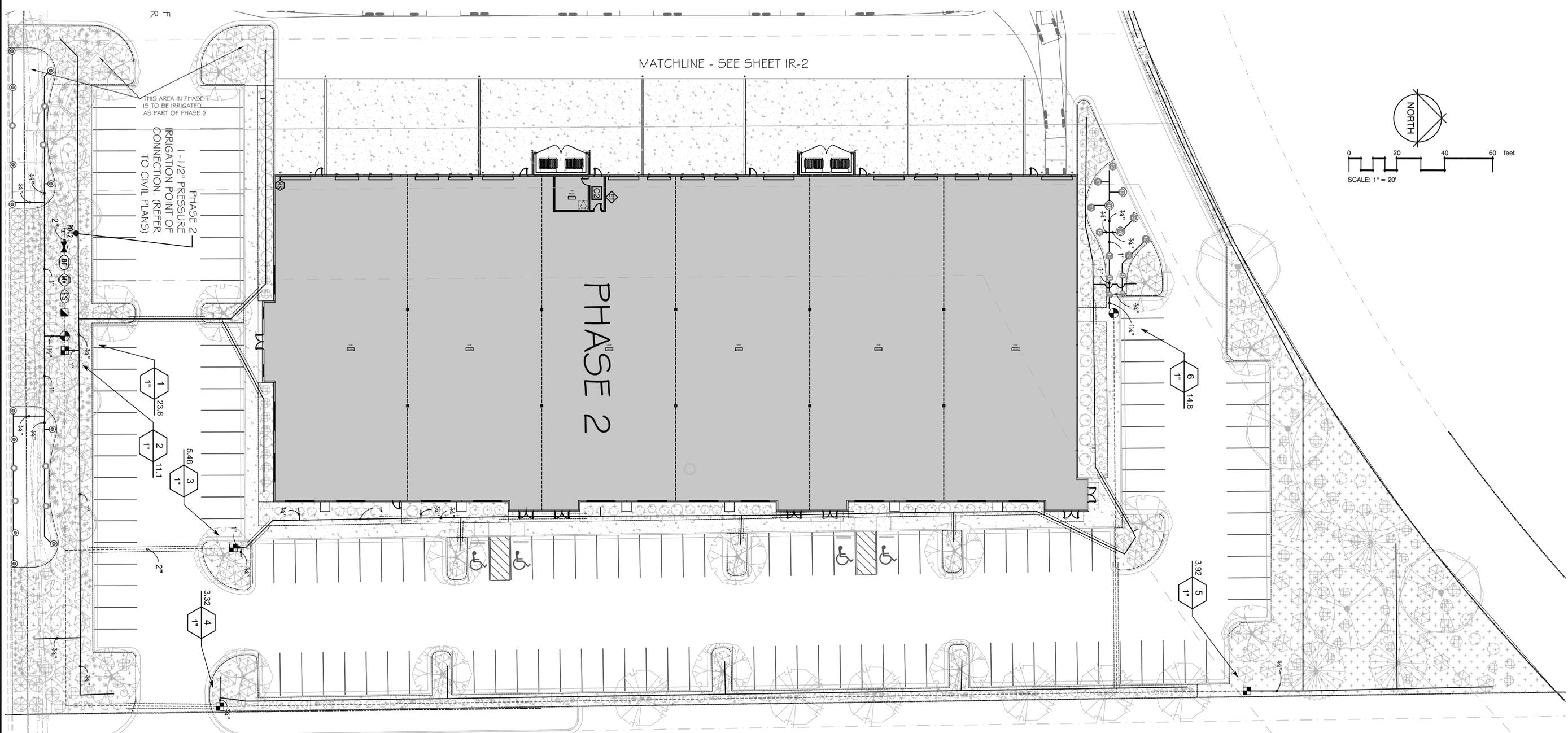


**R-MILL INDUSTRIAL PARK  
 PHASE 1 IRRIGATION PLAN**  
 517 EAST 1600 NORTH VINEYARD, UTAH 84057



SHEET:  
**IR-2**  
 FILE NAME: SCALE:  
 FSD-072-TM 1"=20"

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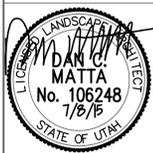


NO.	REVISIONS	BY	DATE
1	PER CITY REVIEW COMMENTS 6/19/15	CEM	7/9/15

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 FORESITE DESIGN GROUP, L.C.  
 DRAPER, UTAH 84020  
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 www.foresitedesigngroup.com



**R-MILL INDUSTRIAL PARK  
 PHASE 2 IRRIGATION PLAN**  
 517 EAST 1600 NORTH VINEYARD, UTAH 84057



SHEET: **IR-3**  
 FILE NAME: SCALE: FSD-072-TM 1"=20'

**PHASE 2 IRRIGATION SCHEDULE**

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
	RAIN BIRD 1804-FRS 8 SERIES MPR TURF SPRAY 4.0\"/>	2	30
	RAIN BIRD 1804-FRS 10 SERIES MPR TURF SPRAY 4.0\"/>	2	30
	RAIN BIRD 1804-FRS 12 SERIES MPR TURF SPRAY 4.0\"/>	2	30
	RAIN BIRD 1804-FRS ADJ TURF SPRAY 4.0\"/>	9	30
	RAIN BIRD R-VAN 1318 RD-1804-5AM-P45 TURF ROTATOR, 13\"/>	19	45
	RAIN BIRD XC2-100-PRB-COM 1\"/>	4	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD WR2-RFC WIRELESS RAIN AND FREEZE SENSOR COMBO. INCLUDES 1 RECEIVER AND 1 RAIN/FREEZE SENSOR TRANSMITTER. PLACE IN UNOBSTRUCTED LOCATION TO RAINFALL.	1
	RAIN BIRD ETC-LX UPGRADES ANY ESP-LX SERIES CONTROLLER TO AN ETWEATHER-BASED IRRIGATION CONTROLLER.	1
	RAIN BIRD F5-150-B 1-1/2\"/>	1
	POINT OF CONNECTION 1-1/2\"/>	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 3/4\"/>	2,299 L.F.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1\"/>	324.0 L.F.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/4\"/>	7.7 L.F.
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40 1 1/2\"/>	8.6 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40 2\"/>	918.7 L.F.
	PIPE SLEEVE: PVC SCHEDULE 40 SLEEVE SHALL BE 2X THE DIAMETER OF THE PIPE PASSING THROUGH	408.2 L.F.
	Valve Callout	

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	RAIN BIRD XB-PC SINGLE OUTLET, PRESSURE COMPENSATING DRIP EMITTERS. FLOW RATES OF 0.5GPH=BLUE, 1.0GPH=BLACK, AND 2.0GPH=RED. COMES WITH A SELF-PIERCING BARB INLET X BARB OUTLET.	28,487 S.F.
	Emitter Notes: 1 gal plant to receive 1 of 1.0 GPH emitter. 5 gal plant to receive 2 of 1.0 GPH emitters. 25 gal plant to receive 4 of 2.0 GPH emitters. B # B, 2\"/>	
	RAIN BIRD PEB 1\"/>	2
	RAIN BIRD 44-IRC 1\"/>	1
	1.5\"/>	1
	RAIN BIRD PEB 1-1/2\"/>	1
	ZURN 975XL 1-1/2\"/>	1
	RAIN BIRD ESP8LXME WITH (01) ESPLXMSM4 1/2 STATION COMMERCIAL CONTROLLER. MOUNTED ON A PLASTIC WALL MOUNT.	1

NOTES:  
 1. IRRIGATION SYSTEM IS EQUIPPED WITH A SMART ET BASED CONTROLLER AND RAIN SENSOR AS PART OF THE SPRINKLER SYSTEM.  
 2. IRRIGATION PIPING AND EQUIPMENT ILLUSTRATED IN HARDSCAPE AREAS IS FOR GRAPHIC CLARIFICATION ONLY. ALL IRRIGATION SYSTEMS ARE TO BE IN SOFTSCAPE UNLESS OTHERWISE NOTED.  
 3. NOTIFY LANDSCAPE ARCHITECT IF STATIC PRESSURE IS UNDER 75 PSI AT POINT OF CONNECTIONS.

PHASE 2 WATERED LANDSCAPE AREAS SUMMARY  
 2,991 SF TURFGRASS  
 28,487 SF OF LOW TO MEDIUM SPACED PLANTINGS  
 31,478 SF OF TOTAL IRRIGATED LANDSCAPE









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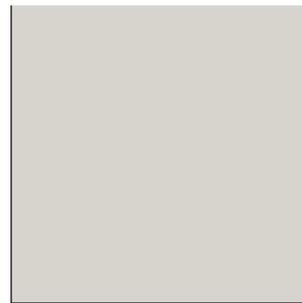
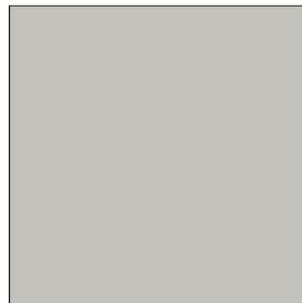
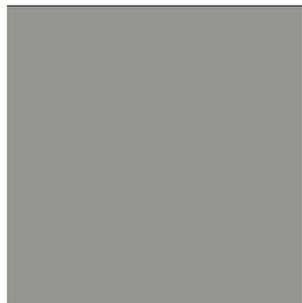
5

1

3

2

2



**1** PAINTED CONCRETE TILT UP/  
CEMENT FIBER BOARD  
SHERWIN WILLIAMS CW7075  
WEB GRAY

**2** PAINTED CONCRETE TILT UP/  
CEMENT FIBER BOARD  
SHERWIN WILLIAMS CW7675  
SUMMIT GRAY

**3** PAINTED CONCRETE TILT UP  
SHERWIN WILLIAMS CW0055  
LIGHT FRENCH GRAY

**4** PAINTED CONCRETE TILT UP  
SHERWIN WILLIAMS CW7647  
CRUSHED ICE

[http://www.lampsplus.com/products/possini-euro-rectangular-silver-up-down-outdoor-wall-light\\_f1282.html](http://www.lampsplus.com/products/possini-euro-rectangular-silver-up-down-outdoor-wall-light_f1282.html)

**5** STOREFRONT WINDOW/  
DOOR SYSTEM  
BLACK STANDARD COLOR  
No. 29  
KAWNEER OR APPROVED  
EQUAL

**6** METAL TO MATCH BLACK  
STOREFRONT  
PAC-CLAD MATTE BLACK  
OR EQUAL



**7** POSSINI EURO  
RECTANGULAR SILVER UP/  
DOWN OUTDOOR WALL  
LIGHT



# MS Properties - Lots 1 & 2

331 East 1750 North Street, Vineyard, Utah 84057

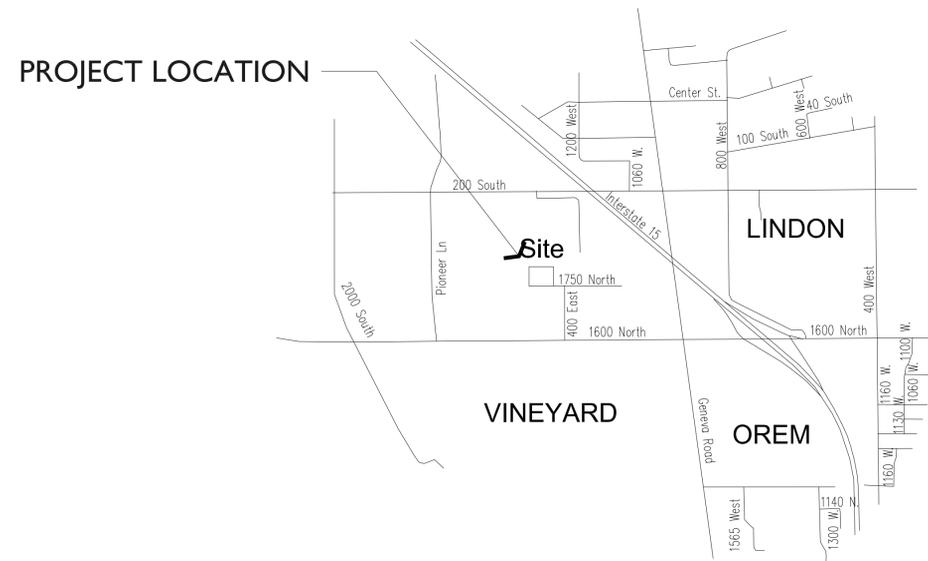
## LANDSCAPE DRAWINGS PRELIMINARY CITY SUBMITTAL SET

JULY 29, 2015



### SHEET INDEX

- L100 - PRELIMINARY LANDSCAPE PLAN
- L101 - LANDSCAPE DETAILS
- L200 - IRRIGATION PLAN
- L201 - IRRIGATION DETAILS



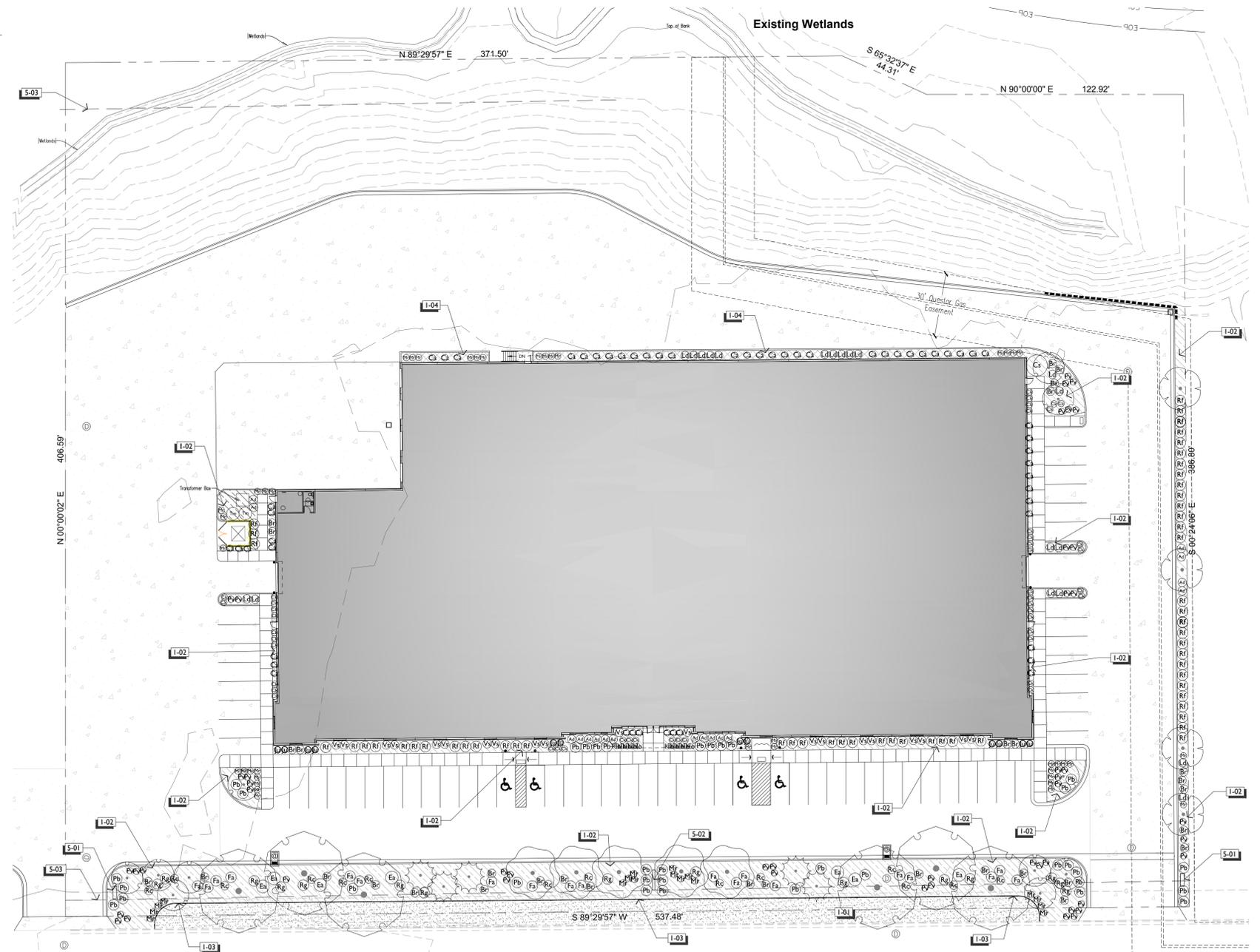
VICINITY MAP

# PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
	11	Acer griseum	Paperbark Maple	8 & B	2"	Cal
	5	Cercis canadensis	Eastern Redbud	8 & B	2"	Cal
	5	Picea glauca 'Densata'	Black Hills Spruce	8 & B	7'-9"	
	6	Platanus x acerifolia 'Bloodgood'	London Plane Tree	8 & B	2"	Cal
	4	Pyrus calleryana 'Aristocrat' TM	Aristocrat Flowering Pear	8 & B	2"	Cal
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT		
Br	32	Berberis thunbergii 'Ruby Caroussel'	Ruby Caroussel Japanese Barberry	5 gal		
Cs	1	Cornus sericea	Red Twig Dogwood	5 gal		
Ad	17	Cornus sericea 'Alleman's Compact'	Dwarf Red Twig Dogwood	5 gal		
Ck	45	Cornus sericea 'Kelsey'	Kelsey Dogwood	5 gal		
Ea	7	Euonymus alatus 'Compactus'	Compact Burning Bush	5 gal		
Fa	19	Forsythia x intermedia 'Arnold's Dwarf'	Dwarf Forsythia	5 gal		
Ho	10	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gal		
Ju	12	Juniperus virginiana 'Skyrocket'	Skyrocket Juniper	7'-9"		
Ld	20	Ligustrum vulgare 'Lodense'	Lodense Privet	5 gal		
Mr	58	Mahonia repens	Creeping Mahonia	1 gal		
Pb	35	Prunus besseyi 'Pawnee Buttes'	Sand Cherry	5 gal		
Rf	59	Rhamnus frangula 'Columnaris'	Tall Hedge Buckthorn	5 gal		
Rg	15	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	5 gal		
Rc	14	Ribes alpinum	Alpine Currant	5 gal		
Tm	2	Taxus x media 'Dark Green Spreading'	Yew	5 gal		
Vs	20	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Japanese Snowball	5 gal		
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	CONT		
Ca	56	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	5 gal		
Pv	48	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	5 gal		

**SOIL NOTE:** Contractor shall have agronomy soils test performed or provide a soil certificate for proposed imported soil. Test results shall be submitted to Owner for approval prior to delivery of the topsoil to jobsite. Imported topsoil shall be obtained from well-drained arable land and shall be free from sub-soil, refuse, roots, heavy or stiff clay, stones 1 inch and larger in largest dimension, coarse sand, sticks, brush, litter, and other deleterious substances. Amend soil as needed to meet the 'ideal' parameters in the chart below:

Soil Parameter	Acceptable	Ideal	Non Ideal - Possibly Toxic	Notes
pH	5.5-8.4	6.0-7.5	< 5.5' and > 8.5'	low pH corrected by addition of lime (lab can give amount needed); high pH difficult to correct--instead solve sodium problems if any and deal with fertility issues caused by high pH
EC, dS/m	< 2.5	< 1.0-1.5	> 4.0-6.0	lower salt content by leaching with good quality water (solve sodium problems if any prior to leaching)
CaCO <sub>3</sub> (calcareousness), %	< 10	< 1	> 30-80	difficult to correct; generally requires more phosphorus and some micronutrient fertilizers
SAR <sup>1</sup> (ESP)	< 8 (< 10)	< 4 (< 5)	> 11 (> 14)	lower by addition of gypsum or similar (lab can give amounts needed)
OM, %	> 1.0	> 3.0	N/A	
Sand %	< 85%	< 75%	N/A	
Silt/Clay ratio	< 2 if total of two is 25-35% (ratio is not critical if outside this range)			
CEC <sup>2</sup> , color	> 12	15-25	N/A	
aggregate (5-20 mm) stability, not dispersed (cloudy)	> 1 hour	> 2 hours	N/A	
Saturated Infiltration Rate (as measured after 3 full irrigations)	> 0.2 inch/hour	> 0.6 inch/hour	< 0.1 inch/hour	difficult to correct; select different soil
Subsoil drainage rate	> 0.04 inch/hour	> 0.1 inch/hour	< 0.01 inch/hour	difficult to correct; select different soil
Bulk Density, g/cm <sup>3</sup>	1.3-1.6	1.3-1.5	> 1.7-1.8	correct with tillage, but does not always correct problem permanently
NO <sub>3</sub> -N <sup>3</sup> , ppm	any	any	see EC	add fertilizer to meet plant needs
P - Bicarbonate, ppm	any	10-60 ppm	N/A	add fertilizer to meet plant needs; if P is high = environmental problems
P - Bray P1, ppm (only noncalcareous)	any	20-80 ppm	N/A	add fertilizer to meet plant needs; if P is high = environmental problems
P - Mehlich 3, ppm (only noncalcareous)	any	22-90 ppm	N/A	add fertilizer to meet plant needs; if P is high = environmental problems
K, ppm	150-300	> 300	N/A	add fertilizer to meet plant needs
Ca, ppm	> 300	> 500	N/A	add fertilizer to meet plant needs
Mg, ppm	> 50	100-800	N/A	add fertilizer to meet plant needs
Na	see SAR (ESP)			
S <sup>4</sup> , ppm	any	< 200	see EC	add fertilizer to meet plant needs
Zn, ppm	> 1.0	< 1.0-5.0	> 100?	add fertilizer to meet plant needs if value is low; if too high then reject soil
Fe, ppm	> 4	> 6 (and pH < 7.2 or tolerant species)	Unlikely	
Mn, ppm	> 6	> 8	> 80?	add fertilizer to meet plant needs if value is low; if too high then reject soil
Cu, ppm	0.2-2.0	0.4-2.0	> 20?	add fertilizer to meet plant needs if value is low; if too high then reject soil
B, ppm	0.8-2.0	1-2	> 2-4	add fertilizer to meet plant needs if value is low; if too high leach B from soil
Cl, ppm	any	12-175	> 175-700	add fertilizer to meet plant needs if value is low; if too high leach Cl from soil
*Al, ppm	1.0-10	0	> 10-20	if high, raise soil pH to greater than 5.5 with lime (see pH)



**CITY LANDSCAPE REQUIREMENTS**

"Turf shall be limited to 60% of the total landscaped area."

"...deciduous trees shall be a minimum of two inch caliper in size. All evergreen trees shall be a minimum of six feet in height. All shrubs shall be a minimum of five gallon in size."

"All landscaped areas shall be finished with a natural topping material which may include, but not limited to, the following: turf, groundcover, planting, decorative rock (two (2) inches minimum depth and a minimum size of one-half inch), or wood mulch (four (4) inches minimum depth). A pre-emergent herbicide shall be applied to the ground prior to the placement of natural surface materials in any landscaped area to prevent weed growth."

"The installation of street trees, shrubs and vegetative groundcover shall be required for all applicable projects in an amount equal to or greater than one (1) tree and ten (10) shrubs for every twenty (20) feet of street frontage..."

-- 537 lineal feet of street frontage = 27 Trees and 270 Shrubs required in street frontage

Trees required .....	27
Trees provided .....	27
Shrubs/groundcovers required .....	270
Shrubs/groundcovers provided .....	287

"Turf shall be limited to 30% of the total landscape street frontage area."

## REFERENCE NOTES SCHEDULE

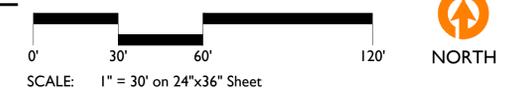
SYMBOL	LANDSCAPE DESCRIPTION	QTY
1-01	SODDED LAWN AREA	5,072 sf
1-02	PLANTING AREA - PROVIDE 2" DEPTH OF DECORATIVE ROCK MULCH. SUBMIT SAMPLE TO OWNER PRIOR TO DELIVERY. INSTALL 5 OZ. WEED BARRIER FABRIC PRIOR TO ROCK MULCH INSTALLATION	14,792 sf
1-03	5.5" PERMALOC ALUMINUM EDGING-INSTALL AS PER MANUFACTURER SPECIFICATION	439 lf
1-04	PLANTING AREA - PROVIDE 4" DEPTH OF WOOD MULCH	1,245 sf
SYMBOL	5 MISC. DESCRIPTION	QTY
5-01	DIRECTIONAL SIGN - BY OTHERS	
5-02	MONUMENT SIGN - BY OTHERS	
5-03	PUBLIC UTILITY EASEMENT	

## PRELIMINARY LANDSCAPE PLAN



**ATTENTION:** PRIOR TO PERFORMING ANY WORK ON THIS PLAN CONTRACTOR SHALL IDENTIFY THROUGH BLUESTAKES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY (I.E. ELECTRICAL, GAS, WATER, SEWER, ETC.).

**ATTENTION:** EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITH THESE DRAWINGS. QUANTITIES (if and sf) LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLAN. WHERE DISCREPANCIES EXIST BETWEEN SPECIFICATIONS, DETAILS, AND/OR DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS ARE CONSISTENT WITH SURVEYED BASE INFORMATION. DURING CONSTRUCTION IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND THE SITE, CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.

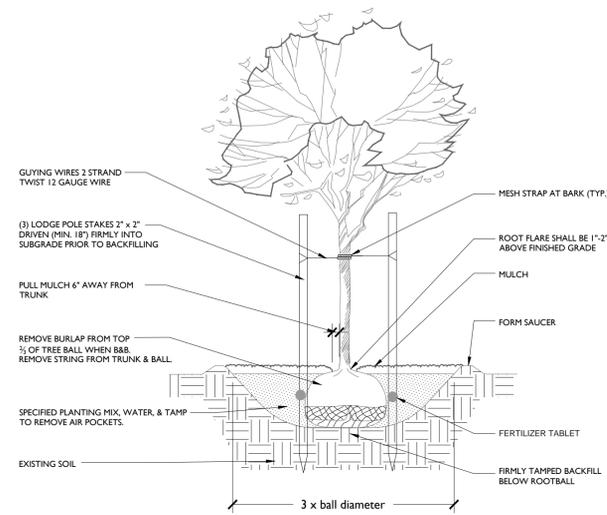


**northland**  
 DESIGN GROUP  
 Landscape Architecture + Land Planning  
 2330 N. University Pkwy., Big, UT 84604  
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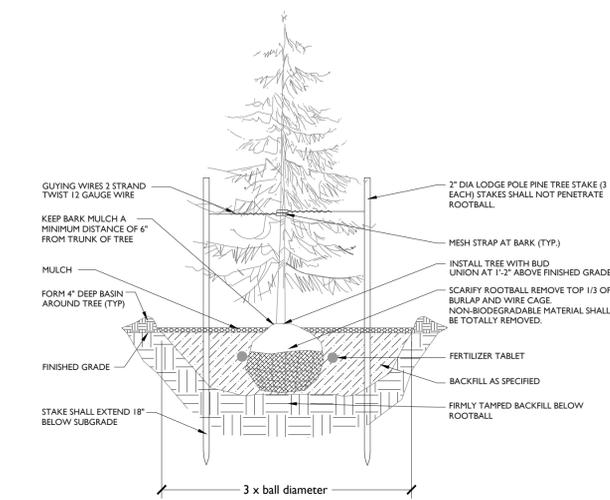
PROJECT NO. 20150921  
 DATE: 30/10/2015  
 REVIEWED BY: KAB  
 DRAWN BY: DGF

**MS Properties - Lots 1 & 2**  
 VINEYARD, UTAH

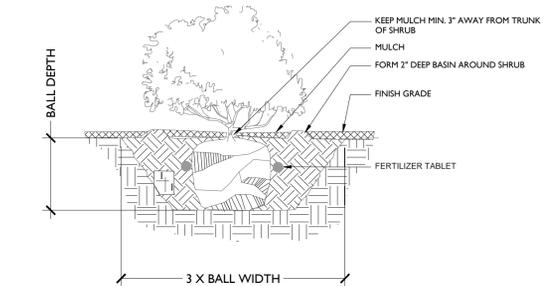
LICENSED LANDSCAPE ARCHITECT  
 # 7922519-5301  
 R. August Bateman  
 STATE OF UTAH



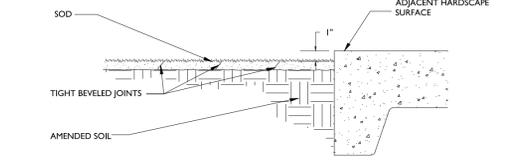
**1** DECIDUOUS TREE PLANTING  
SCALE: NTS



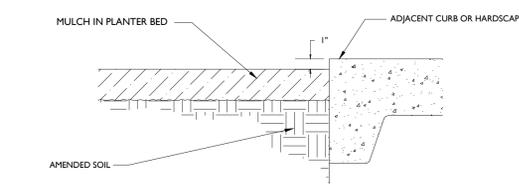
**2** EVERGREEN TREE PLANTING  
SCALE: NTS



**3** SHRUB PLANTING  
SCALE: NTS



**4** SOD INSTALLATION  
SCALE: NTS



**5** PLANTER ADJACENT TO HARDSCAPE  
SCALE: NTS

**sure-loc**  
SURE-LOC ALUMINUM EDGING CORPORATION 494 EAST 64TH STREET HOLLAND, MI 49423 TOLL FREE (800) 787-3562 PHONE: (616) 392-3209 FAX: (616) 392-5134 www.surelocedging.com

\*TOP OF EDGING TO BE NO MORE THAN 1/2" (12.7 mm) ABOVE FINISH GRADE

\*SPECIFIED BEDDING MATERIAL TO BE FLUSH WITH TOP OF EDGING.

\*TOP OF STAKE DESIGNED TO LOCK 1/2" (12.7 mm) BELOW TOP OF EDGING

\*COMPACT GRADE ADJACENT TO EDGING TO AVOID SETTLING

PRODUCT	SIZE	PACKAGE
SURE-LOC CRISPEEDGE	18" X 4"	15 PIECES (90 LINEAR FEET) PER BOX
SURE-LOC CRISPEEDGE	18" X 4" X 18"	15 PIECES (240 LINEAR FEET) PER BOX
SURE-LOC CRISPEEDGE	18" X 3" X 12"	15 PIECES (240 LINEAR FEET) PER BOX
SURE-LOC SUREEDGE	3 1/8" X 4"	10 PIECES (160 LINEAR FEET) PER BOX
SURE-LOC SUREEDGE	3 1/8" X 12"	10 PIECES (160 LINEAR FEET) PER BOX
SURE-LOC SUREEDGE	3 1/8" X 8"	5 PIECES (80 LINEAR FEET) PER BOX

PROVIDE BLACK ANODIZED COLORED EDGING.  
PROVIDE BLACK ANODIZED COLORED EDGING.

NOTES:  
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
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**6** ALUMINUM LANDSCAPE EDGING  
SCALE: NTS

LANDSCAPE DETAILS



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PROJECT NO: 20150921  
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 REVISIONS:

**MS Properties - Lots 1 & 2**  
 VINEYARD, UTAH

LICENSED ARCHITECT  
 # 7922519-5301  
 R. August Bateman  
 STATE OF UTAH

**L101**

GENERAL IRRIGATION NOTES:

- THIS IRRIGATION DESIGN IS DIAGRAMMATIC. DRIP LATERAL LINE ARE NOT SHOW GOING TO EVERY PLANT FOR DESIGN CLARIFICATION ONLY AND THE CONTRACTOR SHALL ENSURE ALL PLANTS RECEIVE DRIP IRRIGATION. EQUIPMENT, PIPING AND VALVES, ETC. SHOWN WITHIN PAVED AREAS, R.O.W. AND P.U.E. AND/OR OUTSIDE OF THE PROPERTY BOUNDARIES ARE SHOWN FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN THE PLANTING AREAS AND OUTSIDE OF THE R.O.W. AND P.U.E. LOCATE VALVES AND BPUS WITHIN SHRUB AREAS SO THAT THEY ARE VISUALLY UNOBTRUSIVE.
- ALL PVC PIPE TO HAVE A MINIMUM PRESSURE RATING OF 200 P.S.I.
- ALL SLEEVES SHALL BE A MINIMUM OF TWO TIMES THE DIAMETER OF THE LINE SIZE.
- CONTROLLER WIRES THAT ARE DIRECT BURIED SHALL BE BUNDLED AND TIED OR WRAPPED EVERY TWELVE (12) FEET. DURING INSTALLATION WIRES SHALL HAVE A 24" LOOP TIED AT ALL DIRECTION CHANGES GREATER THAN 30 DEGREES AND BE UNTIED PRIOR TO TRENCH FILL IN.
- FLUSH CAPS SHALL BE PLACED IN A VALVE BOX AT THE END OF ALL LANDSCAPE LATERALS.
- ALL VALVES, PRESSURE REGULATORS AND OTHER DEVICES SHALL BE PLACED IN AN APPROPRIATELY SIZED VALVE BOX WITH A MINIMUM OF 2" OF PEA GRAVEL.
- THESE NOTES ARE TO BE USED FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO THE WRITTEN SPECIFICATIONS, APPROVED ADDENDA, AND CHANGE ORDERS ASSOCIATED WITH THESE LANDSCAPE IMPROVEMENT DOCUMENTS.
- A QUALIFIED SUPERVISOR SHALL BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- BEFORE WORK BEGINS ON THE PROJECT, THE IRRIGATION CONTRACTOR SHALL REVIEW THE PROJECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER. THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER IS TO APPROVE ANY CHANGES PRIOR TO THE START OF ANY WORK.
- IRRIGATION CONTRACTOR SHALL INSPECT WITH THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER ALL EXISTING CONDITIONS PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT TO REPAIR AND/OR REPLACE, AT THEIR OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, PLANT MATERIAL, OR OTHER ITEMS DESTROYED DURING CONSTRUCTION. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES OR ANY OTHER AREAS OUTSIDE THE CONTRACT LIMITS. THE DAMAGED ITEMS/AREAS WILL BE RESTORED TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE AND/OR OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE ALL IRRIGATION LOCATIONS WITH OTHER TRADES PRIOR TO INSTALLATION. THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE LOCATIONS OF EXISTING AND FUTURE UNDERGROUND SERVICES AND IMPROVEMENTS WHICH MAY CONFLICT WITH THE WORK TO BE DONE. PRIOR TO THE START OF WORK, ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND PROTECTED. CONTRACTOR IS RESPONSIBLE FOR THE INITIAL CALL AND FUTURE UPDATES TO BLUE STAKES AT 1-800-462.4111.
- ALL HARDSCAPE, WALLS, SIGNAGE, AND HEADER MUST BE STAKED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO CONSTRUCTION.
- VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS, AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. NOTIFY THE OWNER AND LANDSCAPE ARCHITECT SHOULD CONFLICTS ARISE.
- IRRIGATION CONTRACTOR SHALL PROVIDE BARRICADES AND TRAFFIC CONTROL ALONG PUBLIC STREETS IF REQUIRED DURING CONSTRUCTION.

IRRIGATION EQUIPMENT LEGEND

SYM	MFG.	MODEL #	DESCRIPTION
	-	-	COMBINATION BUILDING/IRRIGATION 1" WATER METER
	HUNTER	IC-600-PL+ICM-600	IRRIGATION CONTROLLER WITH HUNTER SOLAR SYNC
	FEBCO	825YA	FEBCO 825Y (1") REDUCED PRESSURE BACKFLOW PREVENTER
	AMIAD	2" TAFT 750	BLOCKED TRUE UNION BALL VALVE - LINE SIZE
	KING BROS.	BTU-V-SERIES	BLOCKED TRUE UNION BALL VALVE - LINE SIZE
	HUNTER	ICV-DC	ELECTRIC CONTROL VALVE; SIZE AS SHOWN ON PLAN
	HUNTER	ICZ-101	ELECTRIC CONTROL DRIP VALVE ASSEMBLY; SIZE AS SHOWN ON PLAN
	HUNTER	HQ-44RC	QUICK COUPLER VALVE WITH HK44 AND HS1
	-	FLUSH VALVE	FLUSH VALVE CAP ASSEMBLY; SEE DETAIL 5, SHEET L201
	-	PVC SCHEDULE 40	1.5" IRRIGATION MAINLINE
	-	PVC SCHEDULE 40	IRRIGATION SLEEVE (SEE SCHEDULE FOR SIZE)
	-	PVC SCHEDULE 40	CONTROL WIRE SLEEVE (SEE SCHEDULE FOR SIZE)
	-	PVC SCHEDULE 40	TREE BUBBLER LATERAL LINE
	-	PVC SCHEDULE 40	SHRUB DRIP LATERAL LINE
	-	PVC CLASS 200	TURF LATERAL LINE

ROTOR/SPRAY HEAD SCHEDULE

HUNTER PROS-06-PRS40-CV SPRAY BODY WITH HUNTER MP ROTATOR NOZZLES  
 90-210 1000 SERIES MP

SLEEVING SCHEDULE

"A" = (1) 1" SLEEVE  
 "B" = (2) 3" SLEEVE AND (1) 1" SLEEVE  
 "C" = (1) 3" SLEEVE  
 SLEEVING TO BE A MINIMUM OF 3 TIMES THE SIZE OF THE PIPE OR WIRE THAT PASSES THROUGH IT / SWEEPS ARE REQUIRED AT ALL 90 DEGREE ANGLES  
 ALL SLEEVES SHALL BE SCHEDULE 40 PVC

PIPE SIZE	PVC CL 200	PVC SCH 40	PE SDR-7 3408	COPPER TYPE 'K'
3/4"	10	8	8	6
1"	16	12	13	12
1-1/4"	26	22	22	
1-1/2"	35	30	30	
2"	55	50	50	

CONTRACTOR SHALL SIZE ALL LATERAL PIPE ACCORDING TO THIS SIZING LEGEND.

NOTE:  
 ASSUME WATER PRESSURE TO BE 70 PSI.  
 CONTRACTOR TO VERIFY BEFORE INSTALLATION. IF LESS THAN DESIGN PRESSURE CALL LANDSCAPE ARCHITECT FOR DIRECTION.

CONTROL VALVE SYMBOL  
 INDICATES VALVE NO.  
 INDICATES CONTROLLER  
 INDICATES GPM; SD, TB (DRIP & BUBBLER)  
 INDICATES VALVE SIZE

EMITTER SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	NETAFIM EMITTER TYPE	QTY PER PLANT
	Acer griseum / Paperbark Maple	RAINBIRD XB-20PC EMITTER, TYP. FOR ALL TREES UNLESS OTHERWISE NOTED	3
	Cercis canadensis / Eastern Redbud		4
	Picea glauca 'Densata'		3
	Platanus x acerifolia 'Bloodgood' / London Plane Tree		5
	Pyrus calleryana 'Aristocrat'		4

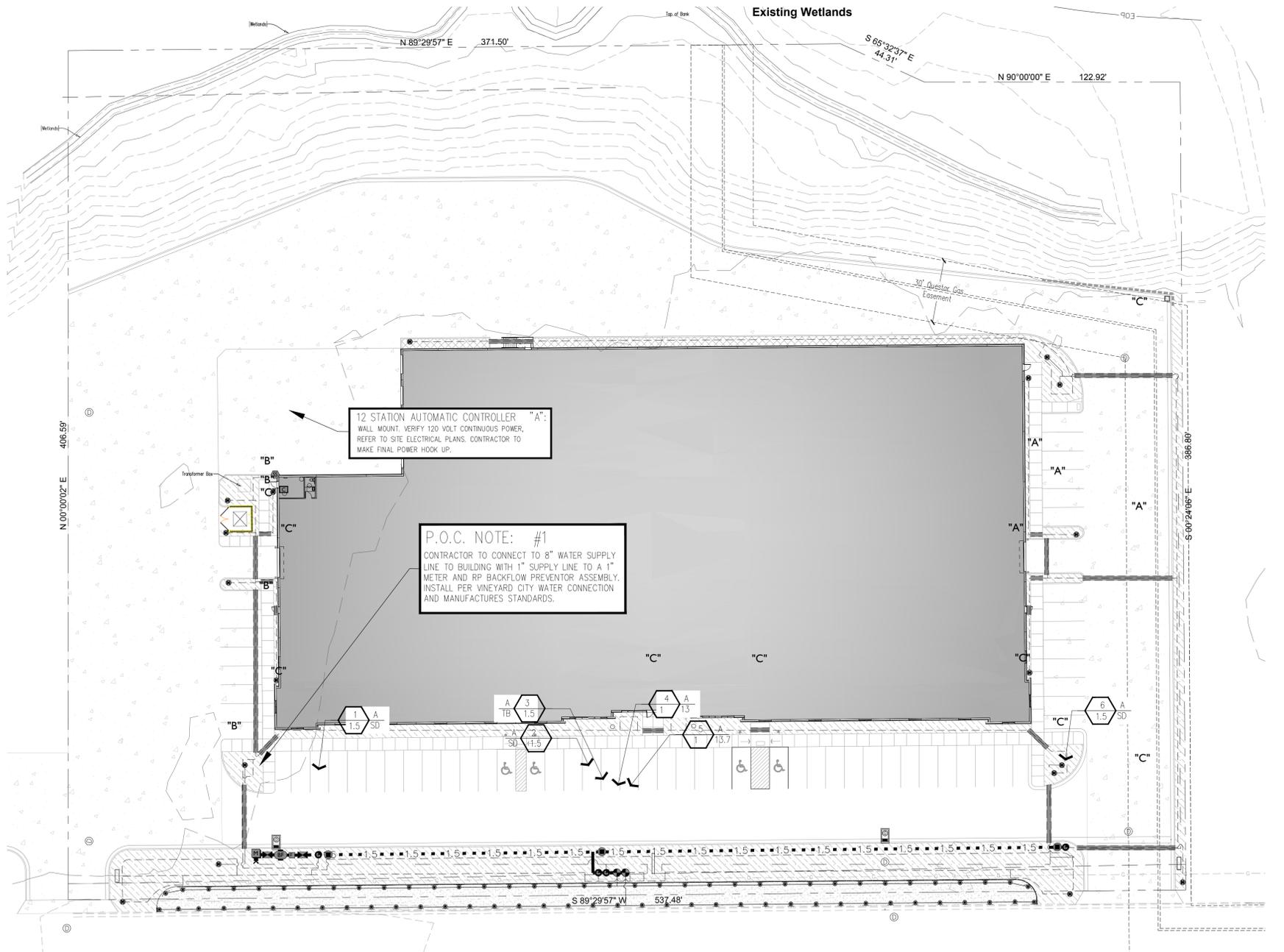
  

SHRUBS	RAINBIRD EMITTER TYPE	QTY PER PLANT
Cs, Ad, Ld, Rc, Ju	XB-10-PC	4
Ea, Fa, Pb, Rf, Rg, Tm, Vs	XB-10-PC	3
Br, Ho, Mr, Ck	XB-10-PC	2

GRASSES	RAINBIRD EMITTER TYPE	QTY PER PLANT
Ca, Pv	XB-5-PC	2

CONTRACTOR NOTE: SINGLE XERI-BUG EMITTERS ARE LISTED ABOVE, HOWEVER RAINBIRD XBD-80 MULTI-OUTLET EMISSION DEVICE SHALL BE UTILIZED; SEE DETAILS FOR ACCEPTABLE DISTRIBUTION TUBING MAX LENGTH.

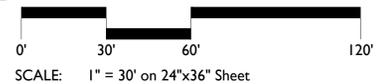


IRRIGATION PLAN



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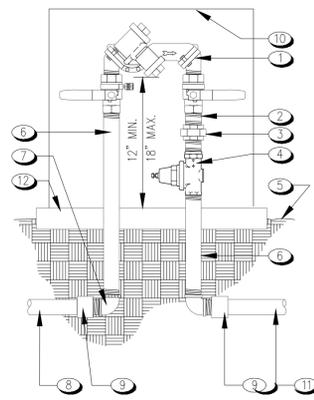


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# 7922519-5301  
 R. August Bateman  
 LANDSCAPE ARCHITECT  
 STATE OF UTAH

MS Properties - Lots 1 & 2  
 VINEYARD, UTAH

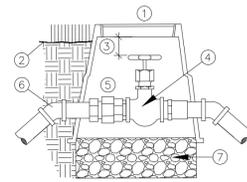
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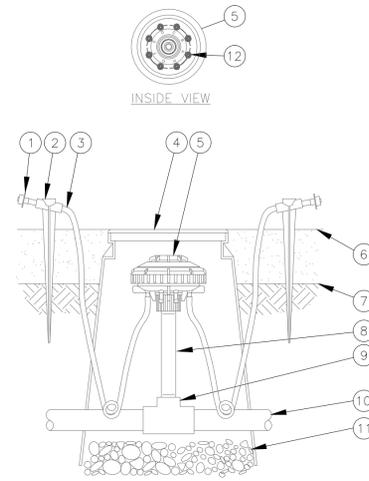
- 1 REDUCED PRESSURE BACKFLOW PREVENTER
- 2 BRASS THREADED NIPPLE
- 3 BRASS UNION
- 4 PRESSURE REGULATOR
- 5 FINISH GRADE
- 6 BRASS RISER (LENGTH AS REQUIRED, TYP.)
- 7 BRASS ELBOW (TYP.)
- 8 TO POINT OF CONNECTION
- 9 P.V.C. SCH. 40 SLIP X THREAD ADAPTER (TYP.)
- 10 STRONG BOX INSULATED ENCLOSURE MODEL #SBBC-30ALL, CONTACT V.I.T. PRODUCTS (800) 729-1314
- 11 P.V.C. MAINLINE. SEE IRRIGATION SPECS. FOR PIPE DEPTH
- 12 4" THICK CONCRETE PAD, SLOPE TOP AWAY FROM ENCLOSURE

**NOTES:**

1. ALL RISERS, UNIONS, ELBOWS AND NIPPLES SHALL BE RED BRASS.
2. CLOSE NIPPLES SHALL NOT BE USED.
3. EQUIPMENT TO BE INSTALLED A MIN. OF 12" FROM WALLS, BUILDINGS, ETC.
4. INSTALL AND TEST BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES & HEALTH DEPT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.
5. INSTALL ASSEMBLY IN SHRUB AREA.

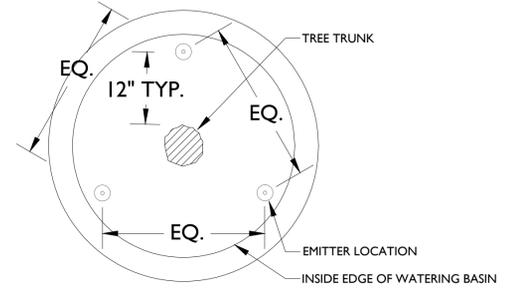


- 1 10" ROUND GREEN PLASTIC VALVE BOX, W/ BOLT LOCK, CARSON-BROOKS OR EQUAL
- 2 FINISH GRADE
- 3 12" MAX.
- 4 BRONZE GATE VALVE
- 5 UNION
- 6 MAINLINE. ANGLE TO SPECIFIED DEPTH WITH 45-DEGREE ELBOWS, SIZE PER DRAWING.
- 7 GRAVEL, 2 CU. FT. MIN.



- 1 DIFFUSER BUG CAP: RAIN BIRD DBC-025 (1 OF 2 SHOWN, 8 POSSIBLE)
- 2 UNIVERSAL 1/4" TUBING STAKE: RAIN BIRD TS-025 (1 OF 2 SHOWN, 8 POSSIBLE)
- 3 1/4" DISTRIBUTION TUBING: RAIN BIRD XO TUBING (6" MAX. LENGTH) (1 OF 2 SHOWN, 8 POSSIBLE)
- 4 SUBTERRANEAN EMITTER BOX: RAIN BIRD SEB 7XB
- 5 MULTI-OUTLET EMISSION DEVICE: RAIN BIRD XERI-BIRD XBD-80
- 6 TOP OF MULCH
- 7 FINISH GRADE
- 8 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 9 PVC SCH 40 TEE OR ELL
- 10 PVC LATERAL PIPE
- 11 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL
- 12 SINGLE-OUTLET BARB INLET X BARB OUTLET EMITTER: RAIN BIRD XERI-BUG EMITTER

- NOTES:**
1. COIL ADDITIONAL 9" OF TUBING IN EMITTER BOX TO FACILITATE MAINTENANCE.
  2. RAIN BIRD XERI-BUG BARB X BARB EMITTERS ARE AVAILABLE IN THE FOLLOWING MODELS:  
XB-05PC 0.5 GPH    XB-10PC 1.0 GPH    XB-20PC 2.0 GPH



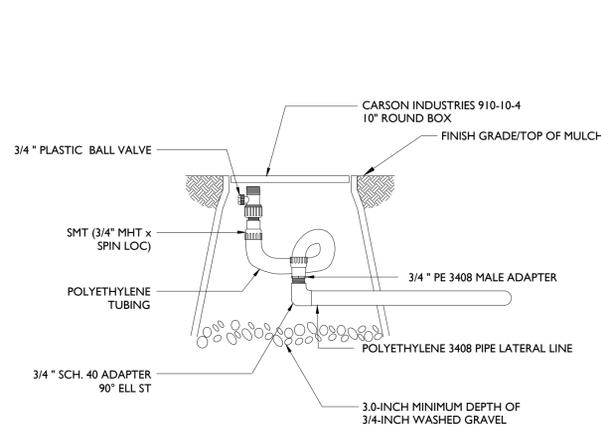
**PLAN VIEW**

1 BACKFLOW PREVENTION DEVICE  
N.T.S.

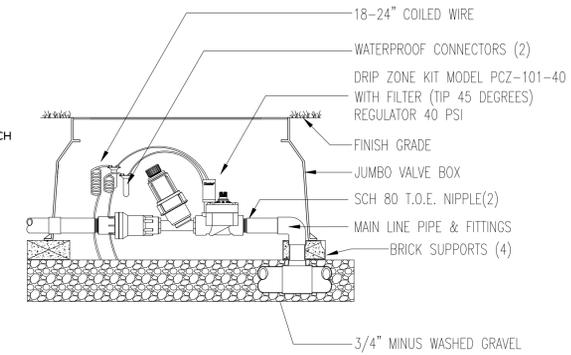
2 GATE VALVE DETAIL  
N.T.S.

3 MULTIPLE OUTLET DRIP EMITTER  
N.T.S.

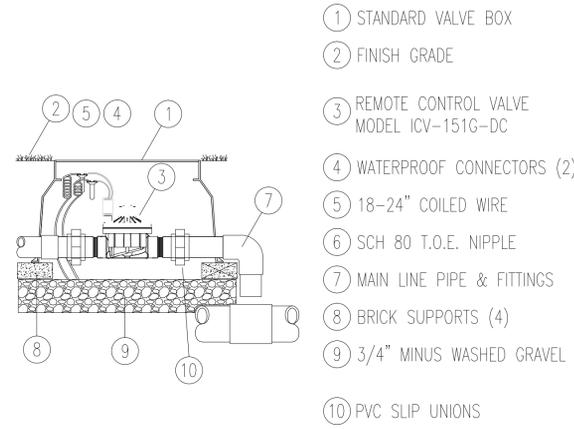
4 EMITTER LAYOUT AT TREE  
N.T.S.



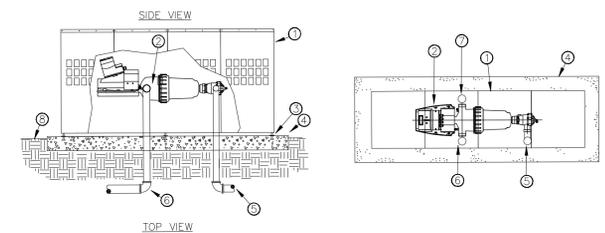
5 FLUSH VALVE DETAIL  
N.T.S.



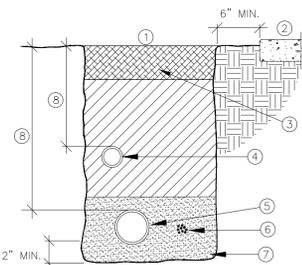
6 DRIP REMOTE CONTROL VALVE ASSEMBLY  
N.T.S.



7 REMOTE CONTROL VALVE ASSEMBLY  
N.T.S.

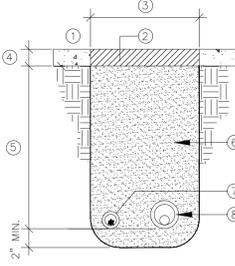


8 AUTOMATIC FLUSH VALVE ASSEMBLY  
N.T.S.



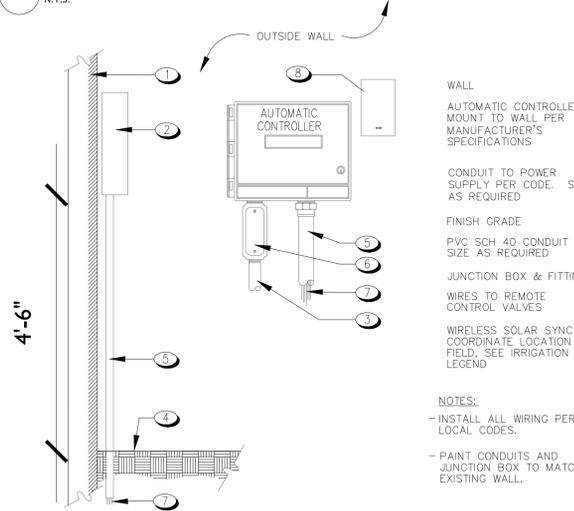
9 TRENCH DETAIL  
N.T.S.

- 1 IF LAWN IS EXISTING, REPLACE SOD AS PER OWNER'S SPECIFICATIONS
  - 2 ADJACENT HARD SURFACE
  - 3 TOPSOIL FREE FROM ROCKS GREATER THAN 1" DIAMETER
  - 4 NON-PRESSURE LATERAL LINE
  - 5 PRESSURE MAIN LINE
  - 6 DIRECT BURIAL, LOW VOLTAGE CONTROL WIRES: TAPE AND BUNDLE AT 10' O.C. PLACE 6" EITHER SIDE OF PIPE OR 6" BELOW.
  - 7 MORTAR SAND BEDDING 2" BELOW AND ABOVE PIPE. NO ROCKS LARGER THAN 1" DIAMETER TO GO BACK INTO TRENCH AS PER WRITTEN SPECIFICATIONS.
  - 8 PIPE DEPTHS:  
MAIN LINE: 18 - 30" COVER  
LATERAL LINE: 8 - 14" COVER
- NOTE: SEE SLEEVING DETAIL FOR TRENCHING IN PAVED AREAS.

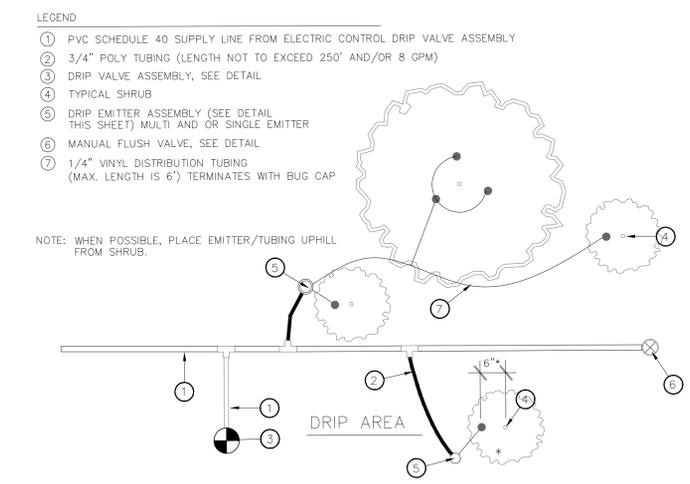


10 SLEEVING DETAIL  
N.T.S.

- 1 EXISTING CONCRETE / ASPHALT
  - 2 SAWCUT & PATCH CONCRETE/ ASPHALT AS REQUIRED
  - 3 WIDTH AS REQUIRED
  - 4 DEPTH FOR CONCRETE DEPTH FOR ASPHALT
  - 5 DEPTH AS REQUIRED TO MATCH MAINLINE (18"-30") OR LATERAL (8"-14") PIPING OR CONTROL WIRES (18"-30")
  - 6 COMPACTED BACKFILL FREE FROM ROCKS GREATER THAN 1 1/2" IN DIAMETER.
  - 7 CONTROL WIRES 6" TO EITHER SIDE OR 6" UNDER MAINLINE.
  - 8 PVC MAIN LINE / LATERAL
- NOTES:**
- SLEEVES 4" AND SMALLER USE PVC SCH. 40 PIPE.
  - SLEEVES >4" USE PVC SEWER PIPE
  - ALL SLEEVES SHALL BE 2" LARGER THAN PIPE TO BE SLEEVED.



11 WALL MOUNTED CONTROLLER / RAIN SENSOR  
N.T.S.



12 DRIP LINE TYP. LAYOUT  
N.T.S.

- LEGEND**
1. ALUMINUM BACKFLOW ENCLOSURE.
  2. AMIAD SELF CLEANING FILTER.
  3. ANCHOR ROD (TYPICAL).
  4. POURED CONCRETE BASE - 6" MIN. THICKNESS - EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.
  5. AUTO FLUSH PIPING.
  6. WATER SERVICE INLET PIPING.
  7. WATER SERVICE OUTLET PIPING.
  8. FINISH GRADE.

- LEGEND**
- 1 PVC SCHEDULE 40 SUPPLY LINE FROM ELECTRIC CONTROL DRIP VALVE ASSEMBLY
  - 2 3/4" POLY TUBING (LENGTH NOT TO EXCEED 250' AND/OR 8 GPM)
  - 3 DRIP VALVE ASSEMBLY, SEE DETAIL
  - 4 TYPICAL SHRUB
  - 5 DRIP EMITTER ASSEMBLY (SEE DETAIL THIS SHEET) MULTI AND OR SINGLE EMITTER
  - 6 MANUAL FLUSH VALVE, SEE DETAIL
  - 7 1/4" VINYL DISTRIBUTION TUBING (MAX. LENGTH IS 6') TERMINATES WITH BUG CAP
- NOTE: WHEN POSSIBLE, PLACE EMITTER/TUBING UPHILL FROM SHRUB.

- NOTES:**
- INSTALL ALL WIRING PER LOCAL CODES.
  - PAINT CONDUITS AND JUNCTION BOX TO MATCH EXISTING WALL.



**ATTENTION:** PRIOR TO PERFORMING ANY WORK ON THIS PLAN CONTRACTOR SHALL IDENTIFY THROUGH BLUESTAKES AND ON-SITE OBSERVATION ANY AND ALL UTILITIES AND HAZARDS OR CONDITIONS THAT MAY PREVENT WORK FROM BEING PERFORMED ACCORDING TO THESE PLANS ABOVE OR BELOW GROUND. IF CONDITIONS ARE FOUND THAT MAY PREVENT WORK FROM BEING PERFORMED AS PER PLAN, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. ANY DAMAGE TO UTILITIES SHALL BE THE CONTRACTORS SOLE RESPONSIBILITY (I.E. ELECTRICAL, GAS, WATER, SEWER, ETC.).

**ATTENTION:** EVERY EFFORT HAS BEEN MADE TO ENSURE ACCURACY WITH THESE DRAWINGS. QUANTITIES (if and s) LISTED ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND QUANTITIES ON THESE PLANS. ARCHITECT SHALL NOT BE RESPONSIBLE FOR DISCREPANCIES BETWEEN QUANTITIES LISTED IN LEGENDS AND PLAN. WHERE DISCREPANCIES EXIST BETWEEN SPECIFICATIONS, DETAILS, AND/OR DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO PROCEEDING. CONTRACTOR SHALL INSPECT THE SITE TO VERIFY THAT DRAWINGS ARE CONSISTENT WITH SURVEYED BASE INFORMATION. DURING CONSTRUCTION IF DISCREPANCIES ARE FOUND BETWEEN THESE PLANS AND THE SITE, CONTRACTOR SHALL CONTACT THE LANDSCAPE ARCHITECT PRIOR TO PROCEEDING.



## COMMUNITY DEVELOPMENT

**SUBJECT:** Site Plan and Conditional Use Permit for a Office/Warehouse/Manufacturing Building

**MEETING DATE:** August 25, 2015

**TO:** Town Council

**FROM:** Nathan Crane, Town Planner

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**REQUEST:** Approval of a site plan and conditional use permit for an office/warehouse-manufacturing building on Lots 1 and 2 of the East Lake Industrial Business Park Phase 1 Amended.

**PARCEL SIZE:** 4.9 Acres

**LOCATION:** West of the northwest corner of 400 East and 1750 North

**APPLICANT:** Rob Tubman

**OWNER:** Vineyard Properties of Utah LLC

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### BACKGROUND:

The property is designated General Industrial on the General Plan land use map. The property is zoned I-1 (Industrial). The final plat for East Lake Industrial Business Park Phase 1 was approved by the Council on May 14, 2008.

Site plan and conditional use permit approval are administrative actions.

### SUMMARY OF REQUEST:

1. The applicant is requesting a site plan approval for two office/warehouse-manufacturing building on Lots 1 and 2 of the East Lake Industrial Business Park Phase 1 Amended. The building is 64,800 square feet and will accommodate office and warehouse space. The building is height is 38 feet.
2. The proposed architecture concrete tilt panels. Building colors included different tones of grey and brown. The front includes focal points at the front entrance, window features, and accent panels.
3. Access to the site is proposed from 1750 North which is a private road. All driveways and related improvements will be constructed with the first phase of development.

4. Culinary water is provided through connections to an existing system. Sanitary sewer will be provided through a connection to a Town sewer line.
5. The building has been designed to accommodate different users. The specific users have not been identified.

#### **CITIZEN PARTICIPATION:**

A notice of the Planning Commission public hearing was published in the Daily Herald on June 19, 2015. Notice of the public hearing was also sent to all property owners within 300 feet of the property. No comments have been received.

A notice of the Town Council public hearing was published in the Daily Herald. Notice of the public hearing was also sent to all property owners within 300 feet of the property. No comments have been received.

#### **SITE PLAN ANALYSIS:**

##### *General Plan and Zoning*

- The site is designated as General Industrial on the Town of Vineyard General Plan. The type and scale of the proposed development is consistent with the General Plan and the I-1 Zoning District.

##### *Access, Circulation, and Parking*

- The proposed drives into the development provide adequate access to the site. All street improvements have been completed.
- The proposed site plan includes 80 parking spaces. This exceeds the minimum requirement of 65.

##### *Landscaping*

- A preliminary landscape plan has been provided. Final landscape plans will be submitted and approved by staff prior to the issuance of a building permit.
- The required landscape buffers along 1750 North has been provided.

##### *Building Materials, Colors, and Design*

- Materials and architectural design of this site will compliment the architecture of existing and future development. The use of the glass features on the front, and accent panels will result in visual interest.
- The proposed architecture meets the intent of the building design requirements in Chapter 18 of the Town of Vineyard Zoning Ordinance.

**CONDITIONAL USE PERMIT:**

The Town Council must determine that the proposed use meets six standards prior to granting a Conditional Use Permit. The burden of proof rests with the applicant. Each standard is presented below along with staff's analysis.

**1. The proposed use is an allowed Conditional Use within the Zoning District.**

The subject property is designated as General Industrial on the Land Use Map and is zoned I-1 (Industrial). The I-1 Zoning District allows manufacturing, compounding, processing, packaging of good materials subject to site plan and conditional use permit approval by the Town Council. The proposed use is consistent with the General Industrial Land Use category and is permitted in the I-1 District subject to a conditional use permit.

**2. The proposed Conditional Use and the accompanying site plan complies with all requirements of the Zoning District, as applicable, including minimum area, front, rear and side-yard setbacks, building and structure height, and all other requirements applicable in the Zoning District.**

The proposed building setbacks and landscape buffer are appropriate for the proposed use.

The development will provide sufficient parking for the proposed use.

The proposed site plan meets all requirements of the I-1 District including setbacks, landscaping, and utility requirements.

The adjacent streets are designed to accommodate the traffic generated by the use.

**3. Complies with all Site Plan requirements as may be applicable, as provided herein.**

See discussion in standard #2.

**4. Complies with all applicable dedication requirements of the Town and provides the necessary infrastructure, as required.**

All required dedications were provided at the time of final plat approval.

- 5. The proposed Conditional Use meets, and will be conducted in compliance with the requirements of this Ordinance, all other applicable Land Use Ordinances, and all applicable Federal, State, or Local requirements.**

The proposed use will be conducted in compliance with the requirements of the Zoning Ordinance. The construction plans will be reviewed by staff to ensure compliance with all other requirements including, but not limited to the Building Code and Town of Vineyard Public Improvement Standards.

- 6. The property on which the Conditional Use is proposed is of adequate size to permit the conduct of the proposed Conditional Use in a manner that will not be detrimental to adjoining and surrounding properties.**

The proposed use will complement and be compatible with the existing and future development on nearby properties. It will not generate excessive traffic, light, or noise.

**FINDINGS:**

The proposed site plan meets the following findings:

- It is in conformance with the General Plan.
- It satisfies the minimum requirements of the Town of Vineyard Zoning Ordinance.
- The proposed conditional use meets the required standards for approval.

**PLANNING COMMISSION ACTION:**

The Planning Commission held a public hearing on August 4, 2015 and voted 5-0 to recommend approval subject to the following stipulations:

1. The site plan shall conform to the site plan, elevations, and landscape plan dated July 31, 2015, except as modified by these stipulations.
2. All signage shall require a separate permit.
3. In accordance with Section 1416 of the Town of Vineyard Zoning Ordinance, the approval of the site plan shall expire in (180) days if a building permit has not been issued.
4. In accordance with Section 1514 of the Town of Vineyard Zoning Ordinance, the approval of the conditional use permit shall expire in (180) days if a building permit has not been issued.
5. The civil construction drawings shall meet all requirements as determined by the Town Engineer.
6. Cross access agreements shall be recorded prior to issuance of a building permit.

7. All parking shall be screened in accordance with Chapter 20 Landscaping and Chapter 19 Parking of the Vineyard Town Zoning Ordinance.

**RECOMMENDATION AND PROPOSED MOTION:**

The Town Council should hold a public hearing accept the findings and **APPROVE** the conditional use permit and site plan subject to the seven stipulations recommended by the Planning Commission.

I move that the Town Council accept the findings and **APPROVE** the request for site plan and conditional use permit for an office warehouse in the I-1 district subject to the seven stipulations recommended by the Planning Commission.

**ATTACHMENTS:**

- Exhibit A – Site Plan
- Exhibit B – Landscape Plan
- Exhibit C – Building Elevations
- Exhibit D – Color Elevations
- Exhibit E – Narrative



**GENERAL NOTES**

- 1.1 COMPLIANCE**
- ALL WORK TO CONFORM TO GOVERNING MUNICIPALITY'S STANDARDS, SPECIFICATIONS AND REQUIREMENTS.
  - ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THESE CONTRACT DOCUMENTS AND THE MOST RECENT, ADOPTED EDITIONS OF THE FOLLOWING: INTERNATIONAL BUILDING CODE (IBC), THE INTERNATIONAL PLUMBING CODE, STATE DRINKING WATER REGULATIONS, APWA MANUAL OF STANDARD PLANS AND SPECIFICATIONS, ADA ACCESSIBILITY GUIDELINES.
  - ALL CONSTRUCTION SHALL BE AS SHOWN ON THESE PLANS. ANY REVISIONS MUST HAVE PRIOR WRITTEN APPROVAL.
- 1.2 PERMITTING AND INSPECTIONS**
- PRIOR TO STARTING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED THOROUGHLY REVIEWED PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.
  - CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND NOTIFYING ARCHITECT/ENGINEER OR INSPECTING AUTHORITY 48 HOURS IN ADVANCE OF COVERING UP ANY PHASE OF CONSTRUCTION REQUIRING OBSERVATION.
  - ANY WORK IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE PERMITS FROM THE APPROPRIATE CITY, COUNTY OR STATE AGENCY CONTROLLING THE ROAD AND WITH APPROPRIATE INSPECTIONS.
- 1.3 COORDINATION & VERIFICATION**
- ALL DIMENSIONS, GRADES & UTILITY DESIGNS SHOWN ON THE PLANS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS, IF NOT VERIFIED AND NOTIFICATION OF CONFLICTS HAVE NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
  - CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS BEFORE BIDDING AND BRING UP ANY QUESTIONS BEFOREHAND. NO ALLOWANCE WILL BE MADE FOR DISCREPANCIES OR OMISSIONS THAT CAN BE EASILY OBSERVED.
  - CONTRACTOR TO COORDINATE WITH ALL OTHER DISCIPLINES, INCLUDING BUT NOT LIMITED TO: LANDSCAPE PLANS, SITE ELECTRICAL, SITE LIGHTING PLANS AND ELECTRICAL SERVICE TO THE BUILDING(S), MECHANICAL PLANS FOR LOCATION OF SERVICES TO THE BUILDING(S), INCLUDING FIRE PROTECTION, ARCHITECTURAL SITE PLAN FOR DIMENSIONS, ACCESSIBLE ROUTES, ETC., NOT SHOWN ON CIVIL PLANS.
  - CONTRACTOR IS TO COORDINATE LOCATION OF NEW TELEPHONE SERVICE, GAS SERVICE, CABLE, ETC. TO BUILDING WITH THE APPROPRIATE UTILITY COMPANY. FOR TELEPHONE, CONTRACTOR TO FURNISH CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE, AS REQUIRED.
- 1.4 SAFETY AND PROTECTION**
- CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PROJECT AND SHALL MEET ALL OSHA REQUIREMENTS.
  - CONTRACTOR IS RESPONSIBLE FOR CONFORMING TO LOCAL AND FEDERAL CODES GOVERNING SHORING AND BRACING OF EXCAVATIONS AND TRENCHES, AND FOR THE PROTECTION OF WORKERS AND PUBLIC.
  - CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO PROTECT ALL EXISTING PUBLIC AND PRIVATE PROPERTY, ROADWAYS, AND UTILITY IMPROVEMENTS, DAMAGE TO EXISTING IMPROVEMENTS CAUSED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT HIS/HER EXPENSE TO THE SATISFACTION OF THE OWNER OF SAID IMPROVEMENTS.
  - CONTRACTOR IS REQUIRED TO KEEP ALL CONSTRUCTION ACTIVITIES WITHIN THE APPROVED PROJECT LIMITS. THIS INCLUDES, BUT IS NOT LIMITED TO, VEHICLE AND EQUIPMENT STAGING, MATERIAL STORAGE AND LIMITS OF TRENCH EXCAVATION.
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN PERMISSION AND/OR EASEMENTS FROM THE APPROPRIATE GOVERNMENT AGENCY AND/OR INDIVIDUAL PROPERTY OWNER(S) FOR WORK OR STAGING OUTSIDE OF THE PROJECT LIMITS.
  - CONTRACTOR SHALL PROVIDE BARRICADES, SIGNS, FLASHERS, OTHER EQUIPMENT AND FLAG PERSONS NECESSARY TO INSURE THE SAFETY OF WORKERS AND VISITORS. ALL CONSTRUCTION SIGNING, BARRICADEING, AND TRAFFIC DELINEATION SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.
  - CONTRACTOR SHALL COMPLY WITH LOCAL NOISE ORDINANCE STANDARDS.
  - CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL ACCORDING TO GOVERNING AGENCY STANDARDS.
  - CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. SUBMIT A STORM WATER POLLUTION PREVENTION PLAN, IF REQUIRED.
  - WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
  - CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND FOR INGRESS AND EGRESS TO THE PROJECT.
  - NATURAL VEGETATION AND SOIL COVER SHALL NOT BE DISTURBED PRIOR TO ACTUAL CONSTRUCTION OF A REQUIRED FACILITY OR IMPROVEMENT. MASS CLEARING OF THE SITE IN ANTICIPATION OF CONSTRUCTION SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO ONE APPROACH TO THE SITE. THE APPROACH SHALL BE DESIGNATED BY THE OWNER OR GOVERNING AGENCY.
  - THE CONTRACTOR SHALL TAKE REASONABLE MEASURE TO PROTECT EXISTING IMPROVEMENTS FROM DAMAGE AND ALL SUCH IMPROVEMENTS DAMAGED BY THE CONTRACTOR'S OPERATION SHALL BE REPAIRED OR RECONSTRUCTED TO THE ENGINEER/OWNER'S SATISFACTION AT THE EXPENSE OF THE CONTRACTOR.
- 1.5 MATERIALS**
- SITE CONCRETE SHALL BE A MINIMUM 6 S BAG MIX, 4000 P.S.I. @ 28 DAYS, 4" MAXIMUM SLUMP WITH 5 - OR - 1% AIR ENTRAINMENT, UNLESS SPECIFIED OTHERWISE -SEE SPECIFICATION A. SLABS-ON-GRADE WILL BE TYPICALLY SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED THEIR WIDTH OR 12 TIMES THEIR DEPTH, WHICHEVER IS LESS. SCORING WILL BE PLACED TO PREVENT RANDOM CRACKING. FULL DEPTH EXPANSION JOINTS WILL BE PLACED AGAINST ANY OBJECT DEEMED TO BE FIXED, CHANGES IN DIRECTION AND AT EQUAL INTERVALS NOT TO EXCEED 50 FEET.
  - CONCRETE WATERWAYS, CURBS/WALKS, MOWSTRIPS, CURB AND GUTTER, ETC. WILL TYPICALLY BE SCORED (1/4 THE DEPTH) AT INTERVALS NOT TO EXCEED 10 FEET AND HAVE FULL DEPTH EXPANSION JOINTS AT EQUAL SPACING NOT TO EXCEED 50 FEET.
  - UNLESS OTHERWISE NOTED, ALL SLABS-ON-GRADE WILL HAVE A MINIMUM 9" TURNED-DOWN EDGE TO HELP CONTROL FROST HEAVE.
  - UNLESS OTHERWISE NOTED, ALL ON-GRADE CONCRETE WILL BE PLACED ON A MINIMUM 4" GRAVEL BASE OVER A WELL COMPACTED (90%) SUBGRADE.
  - ALL EXPOSED SURFACES WILL HAVE A TEXTURED FINISH, RUBBED OR BROOMED. ANY "PLASTERING" OF NEW CONCRETE WILL BE DONE WHILE IT IS STILL "GREEN".
  - ALL JOINTS (CONTROL, CONSTRUCTION OR EXPANSION JOINTS, ETC.) WILL BE SEALED WITH A ONE PART POLYURETHANE SEALANT (SEE SPECIFICATION).
  - ASPHALTIC CONCRETE PAVEMENT SHALL BE A MINIMUM 3" OVER 6" OF COMPACTED (95%) ROAD BASE OVER PROPERLY PREPARED AND COMPACTED (90%) SUBGRADE, UNLESS NOTED OTHERWISE -SEE SPECIFICATIONS, AND DETAIL "D1" SHEET CS-01
    - ASPHALT COMPACTON SHALL BE A MINIMUM 96% MARSHALL DESIGN.
    - SURFACE COARSE SHALL BE 1/2" MINUS. MIX DESIGN TO BE SUBMITTED FOR APPROVAL AT LEAST TWO WEEKS PRIOR TO ANTICIPATED PAVING SCHEDULE.
    - AC PAVEMENT TO BE 1/2" ABOVE LIP OF ALL GUTTER AFTER COMPACTION.
    - THICKNESSES OVER 3" WILL BE LAID IN TWO LIFTS WITH THE FIRST LIFT BEING AN APPROVED 3/4" MINUS DESIGN.
- 1.6 GRADING / SOILS**
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT, WHICH BY REFERENCE ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE, UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, OR IN THE SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCY BETWEEN THE SOILS REPORT AND THESE PLANS AND SPECIFICATIONS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT.
  - ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER ASTM TEST 1557, EXCEPT UNDER BUILDING FOUNDATIONS WHERE IT SHALL BE 98% MIN. OF MAXIMUM DENSITY. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
  - CONTRACTOR SHALL SUBMIT A COMPACTION REPORT PREPARED BY A QUALIFIED REGISTERED SOILS ENGINEER VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITH THE BUILDING PAD AREA AND AREAS TO BE PAVED, HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT.
  - SITE CLEARING SHALL INCLUDE THE LOCATING AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
  - ALL EXISTING VALVES, MANHOLES, ETC. SHALL BE RAISED OR LOWERED TO GRADE AS REQUIRED.

**GENERAL NOTES: CONTINUED**

- 1.7 UTILITIES**
- THE LOCATIONS OF UNDERGROUND FACILITIES SHOWN ON THESE PLANS ARE BASED ON FIELD SURVEYS AND LOCAL UTILITY COMPANY RECORDS. IT SHALL BE THE CONTRACTOR'S FULL RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES EITHER DIRECT OR THROUGH BLUE STAKE TO LOCATE THEIR FACILITIES PRIOR TO STARTING CONSTRUCTION.
  - CONTRACTOR TO VERIFY BY POT-HOLING BOTH THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO INSTALLING ANY NEW LINES. NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORK FORCE.
  - CONTRACTOR MUST START AT LOW END OF ALL NEW GRAVITY UTILITY LINES. MECHANICAL SUB-CONTRACTOR MUST BE PROVIDED CIVIL SITE DRAWINGS FOR COORDINATION AND TO CHECK THE FLOW FROM THE LOWEST POINT IN BUILDING TO THE FIELD VERIFIED CONNECTION AT THE EXISTING MAIN. NO EXTRA COMPENSATION IS TO BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO FAILURE TO COMPLY WITH THESE REQUIREMENTS.
  - CONTRACTOR IS TO VERIFY LOCATION, DEPTH, SIZE, TYPE, AND OUTSIDE DIAMETERS OF UTILITIES IN THE FIELD BY POT-HOLING A MINIMUM OF 300 FEET AHEAD. PIPELINE CONSTRUCTION TO AVOID CONFLICTS WITH DESIGNED PIPELINE GRADE AND ALIGNMENT. EXISTING UTILITY INFORMATION SHOWN ON PLANS OR OBTAINED FROM UTILITY COMPANIES OR BLUE STAKED MUST BE ASSUMED AS APPROXIMATE, REQUIRING FIELD VERIFICATION.
  - CULINARY WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
  - SANITARY SEWER MAINS AND LATERALS TO BE CONSTRUCTED IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY SEWER DISTRICT STANDARDS AND SPECIFICATIONS.
  - STORM SEWER TO BE CONSTRUCTED IN ACCORDANCE WITH THE GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
  - ALL STORM DRAIN AND IRRIGATION CONDUITS SHALL BE INSTALLED WITH WATER TIGHT JOINTS AND CONNECTIONS.
  - ALL STORM DRAIN PIPE PENETRATIONS INTO BOXES SHALL BE CONSTRUCTED WITH WATER TIGHT SEALS ON THE OUTSIDE AND GROUTED SMOOTH WITH A NON-SHRINK GROUT ON THE INSIDE. CONDUITS SHALL BE CUT OFF FLUSH WITH THE INSIDE OF THE BOX.
  - NO CHANGE IN THE DESIGN OF UTILITIES AS SHOWN WILL BE MADE BY THE CONTRACTOR WITHOUT THE WRITTEN APPROVAL OF THE GOVERNING MUNICIPALITY, OR OTHER AUTHORITY HAVING JURISDICTION OVER THAT UTILITY.
  - ALL STORM DRAIN CONDUITS AND BOXES SHALL BE CLEAN AND FREE OF ROCKS, DIRT, AND CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
- 1.8 SURVEY CONTROL**
- CONTRACTOR MUST PROVIDE A REGISTERED LAND SURVEYOR OR PERSONS UNDER THE SUPERVISION OF A REGISTERED LAND SURVEYOR TO SET STAKES FOR THE ALIGNMENT AND GRADE OF EACH MAIN AND/OR FACILITY AS SHOWN ON THE PLANS. THE STAKES SHALL BE MARKED WITH THE HORIZONTAL LOCATION (STATION) AND VERTICAL LOCATION (GRADE) WITH CUTS AND/OR FILLS TO THE APPROVED GRADE OF THE MAIN AND/OR FACILITY AS SHOWN ON THE PLANS.
  - THE CONTRACTOR SHALL PROTECT ALL STAKES AND MARKERS FOR VERIFICATION PURPOSES.
  - CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING, MAINTAINING, OR RESTORING ALL MONUMENTS AND REFERENCE MARKS WITHIN THE PROJECT SITE.
- 1.9 AMERICAN DISABILITIES ACT**
- PEDESTRIAN ADA ROUTES SHALL MEET THE FOLLOWING SPECIFICATIONS:
    - "ROUTES SHALL HAVE A 2.0% (1:50) MAXIMUM GROSS SLOPE.
    - "ROUTES SHALL HAVE A 5.0% (1:20) MAXIMUM RUNNING SLOPE.
    - "RAMPS SHALL HAVE A 8.33% (1:12) MAXIMUM RUNNING SLOPE.
    - "ADA PARKING SPACES AND ADJACENT ROUTES SHALL HAVE A 2.0% MAXIMUM SURFACE SLOPE IN ANY DIRECTION.
  - THE CONTRACTOR SHALL ADHERE TO THE ABOVE SPECIFICATIONS. IN THE EVENT OF A DISCREPANCY IN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER PRIOR TO ANY CONSTRUCTION.

**LEGEND**

NEW	EXISTING		NEW	EXISTING	
---	---	MONUMENT LINE	◆	◆	SECTION CORNER (FOUND)
---	---	CENTER LINE	◇	◇	SECTION CORNER (NOT FOUND)
---	---	SUBJECT PROPERTY LINE	◆	◆	STREET MONUMENT
---	---	ADJACENT PROPERTY LINE	◆	◆	BRASS CAP MONUMENT
---	---	EASEMENT LINE	◆	◆	POWER POLE
---	---	DITCH FLOWLINE	◆	◆	UTILITY POLE
---	---	FENCE LINE	◆	◆	GUY ANCHOR
---X---	---X---	ATMS	◆	◆	POWER TRANSFORMER
---TV---	---TV---	CABLE TV LINE	◆	◆	TRAFFIC SIGNAL CABINET
---C---	---C---	COMMUNICATIONS LINE	◆	◆	LIGHT POLE
---FO---	---fo---	FIBER-OPTIC CABLE	◆	◆	TELEPHONE RISER
---F---	---f---	FIRE LINE	◆	◆	TELEPHONE MANHOLE
---IRR---	---irr---	IRRIGATION LINE	◆	◆	TRAFFIC SIGNAL BOX
---G---	---g---	NATURAL GAS LINE	◆	◆	WATER MANHOLE
---OHC---	---ohc---	OVERHEAD COMMUNICATIONS	◆	◆	WATER VALVE
---OHP---	---ohp---	OVERHEAD POWER LINE	◆	◆	WATER METER
---OHT---	---oht---	OVERHEAD TELEPHONE LINE	◆	◆	FIRE HYDRANT
---OHTV---	---ohtv---	OVERHEAD TELEVISION LINE	◆	◆	SANITARY SEWER MANHOLE
---P---	---p---	POWER LINE	◆	◆	STORM DRAIN MANHOLE
---PIC---	---pic---	POWER/COMMUNICATIONS LINE	◆	◆	STORM DRAIN CURB INLET
---PIT---	---pit---	POWER/TELEVISION LINE	◆	◆	STORM DRAIN CATCH BASIN
---PITC---	---pitc---	POWER/TELECOM LINE	◆	◆	STORM DRAIN CLEANOUT
---RD---	---rd---	ROOF DRAIN LINE	◆	◆	STORM DRAIN COMBO BOX
---SW---	---sw---	SECONDARY WATER LINE	◆	◆	MALBOX
---S---	---s---	SANITARY SEWER LINE	◆	◆	SIGN
---ST---	---st---	STEAM LINE	◆	◆	FLOW DIRECTION
---SD---	---sd---	STORM DRAIN LINE	◆	◆	SPOT ELEVATION
---T---	---t---	TELEPHONE LINE	◆	◆	CONIFEROUS TREE
---TIC---	---tic---	TELEPHONE/COMM LINE	◆	◆	DECIDUOUS TREE
---UD---	---ud---	UNDERDRAIN	◆	◆	
---UGC---	---ugc---	UNDERGROUND COMMUNICATIONS	◆	◆	
---UGP---	---ugp---	UNDERGROUND POWER LINE	◆	◆	
---UGT---	---ugt---	UNDERGROUND TELEPHONE LINE	◆	◆	
---UGTV---	---ugtv---	UNDERGROUND TELEVISION	◆	◆	
---W---	---w---	WATER LINE	◆	◆	
---	---	CONTOUR LINE	◆	◆	
---	---	CURB & GUTTER (STD)	◆	◆	
---	---	CURB & GUTTER (OUTFALL)	◆	◆	
---	---	CONCRETE PAVEMENT	◆	◆	
---	---	STD. DUTY ASPHALT	◆	◆	
---	---	HEAVY DUTY ASPHALT	◆	◆	

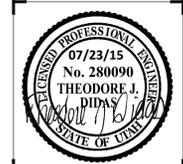
**ABBREVIATIONS**

AC	ACRE	E	EAST	GV	GAS VALVE	PP	POWER POLE	TFC	TOP FACE OF CURB
ADA	AMERICANS WITH DISABILITIES ACT	EB	ELECTRIC BOX	HDPE	HIGH DENSITY POLYETHYLENE	PRC	POINT OF REVERSE CURVE	TL	TREE LINE
ATMS	ADVANCED TRAFFIC MGMT. SYSTEM	EGL	ENERGY GRADE LINE	HG	HEADGATE	PRK	PARKING STRIPE	TMH	TELEPHONE MANHOLE
B&C	BAR & CAP	ELEV	ELEVATION	HGL	HYDRAULIC GRADE LINE	POC	POINT OF CONNECTION	TOA	TOP OF ASPHALT
BC	BUILDING CORNER	EM	ELECTRIC METER	HP	HIGH POINT	PT	POINT OF TANGENCY	TOC	TOP OF CONCRETE
BLUE	BLUE STAKED ELECTRIC	EMH	ELECTRIC MANHOLE	HW	HEADWALL or HIGH WATER	PWR	POWER	TOE	TOE OF SLOPE
BLUFO	BLUE STAKED FIBER OPTIC	EOA	EDGE OF ASPHALT	HWY	HIGHWAY	PVC	POLYVINYL CHLORIDE PIPE	TOP	TOP OF SLOPE or TOP OF PIPE
BLUG	BLUE STAKED NATURAL GAS	EOC	EDGE OF CONCRETE	ICD	IRRIGATION CLEANOUT	R	RANGE	TOW	TOP OF WALK
BLUIRR	BLUE STAKED IRRIGATION	EOG	EDGE OF GRAVEL	ICV	IRRIGATION CONTROL VALVE	RCR	REINFORCED CONCRETE PIPE	TR	TELEPHONE RISER
BLUSD	BLUE STAKED STORM DRAIN	EOL	EDGE OF LAWN	IE	INVERT ELEVATION	RD	ROOF DRAIN	TV	TELEVISION
BLUSS	BLUE STAKED SANITARY SEWER	EX or EXIST	EXISTING	IRR	IRRIGATION	REV	REVISION	TW	TOP OF WALL
BLUT	BLUE STAKED TELEPHONE	F	FIRE	LF	LINEAR FEET	R/W	RIGID-FEET TRANS	USTV	UNDERGROUND TELEVISION
BLW	BLUE STAKED WATER	FC	FOUNDATION CORNER	LP	LIP OF GUTTER	RR	RAILROAD	TSP	TRAFFIC SIGNAL POLE
BM	BENCHMARK	FD	FOUND	LIP	LOW POINT or LIGHT POLE	S	SOUTH	TSB	TRAFFIC SIGNAL BOX
BOB	BOTTOM OF BOX	FDC	FIRE DEPT. CONNECTION	MAX	MAXIMUM	SAD	SEE ARCHITECTURAL DRAWINGS	UD	UNDERDRAIN
BOL	BOLLARD	FDN	FOUND MONUMENT	MIN	MINIMUM	SD	STORM DRAIN	UGC	UNDERGROUND COMMUNICATIONS
BOV	BLOW-OFF VALVE	FDSO	FOUND SECTION CORNER	MON	MONUMENT	SDCB	STORM DRAIN CATCH BASIN	UGP	UNDERGROUND POWER
BOW	BACK OF WALL	FFE	FINISHED FLOOR ELEVATION	MP	METAL PIPE	SDDO	STORM DRAIN CLEANOUT BOX	UGT	UNDERGROUND TELEPHONE
BW	BOTTOM OF WALL	FG	FINISHED GRADE	MW	MONITORING WELL	SOBH	STORM DRAIN MANHOLE	USTV	UNDERGROUND TELEVISION
CL	CENTERLINE	FH	FIRE HYDRANT	N	NORTH	SEC	SECTION	UN.O.	UNLESS NOTED OTHERWISE
CATV	CABLE TELEVISION	FL	FLOW LINE	NG	NATURAL GROUND	SPCS	SPECIFICATIONS	UP	UTILITY POLE
CBR	CONCRETE BARRIER	FNC	FENCE	NGRET	NO AT RETAINING WALL	SAL	SALT LAKE BASE & MERIDIAN	VCP	VITRIFIED CLAY PIPE
CC	CURB CUT	FNCL	CHAIN LINK FENCE	NR	NAIL & RIBBON	SQ	SQUARE	VP	VERTICAL PIPE
COL	COLUMN	FNCRN	IRON FENCE	NW	NAIL & WASHER	SQFT	SQUARE FEET	W	WEST or WATER
COMM	COMMUNICATIONS	FNCVL	VINYL FENCE	NYS	NOT TO SCALE	SQYD	SQUARE YARD	WM	WATER METER
CONC	CONCRETE	FNCG	WOOD FENCE	OG	ORIGINAL GROUND	SN	SANITARY SEWER	WMH	WATER MANHOLE
CONST	CONSTRUCTION	FNCFW	WIRE FENCE	OH	OVERHANG	SSCO	SANITARY SEWER CLEANOUT	WS	WATER SURFACE
CMP	CORRUGATED METAL PIPE	FO	FIBER OPTIC	OHC	OVERHEAD COMMUNICATIONS	SSMH	SANITARY SEWER MANHOLE	WTR	WATER
CP	CONTROL POINT	FOV	FRONT OF WALK	OHP	OVERHEAD POWER	ST	STEAM	WV	WATER VALVE
CTREE	CONIFEROUS TREE	FT	FEET	OHT	OVERHEAD TELEPHONE	STA	STATION	WVW	WATER VALVE
CUBT	CUBIC FOOT	G	NATURAL GAS	OHTV	OVERHEAD TELEVISION	STD	STANDARD	WW	WATERWAY
CUYD	CUBIC YARD	GAR	GARAGE	R	PROPERTY LINE	STM	STORM		
DEL	DELINEATOR	GB	GRADE BREAK	RB	PROPERTY LINE	SYL	SOLID YELLOW LINE		
DA or Ø	DIAMETER	GL	GROUND LIGHT	PC	POINT OF CURVATURE	SWL	SOLID WHITE LINE		
DIP	DUCTILE IRON PIPE	GM	GAS METER	PCC	POINT OF COMPOUND CURVE	T	TOWNSHIP		
DTREE	DECIDUOUS TREE	GMH	GAS MANHOLE	PI	POINT OF INTERSECTION	TBC	TOP BACK OF CURB		
DYL	DOUBLE YELLOW LINE	GUY	GUY WIRE	PM	PARKING METER	TELE	TELEPHONE		

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**VINEYARD GATEWAY**

**33 NORTH GENEVA ROAD**  
VINEYARD, UTAH 84057

SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, S1B & M

**REVISIONS**

REV	DATE	DESCRIPTION

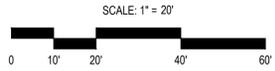
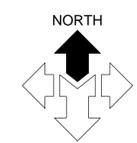
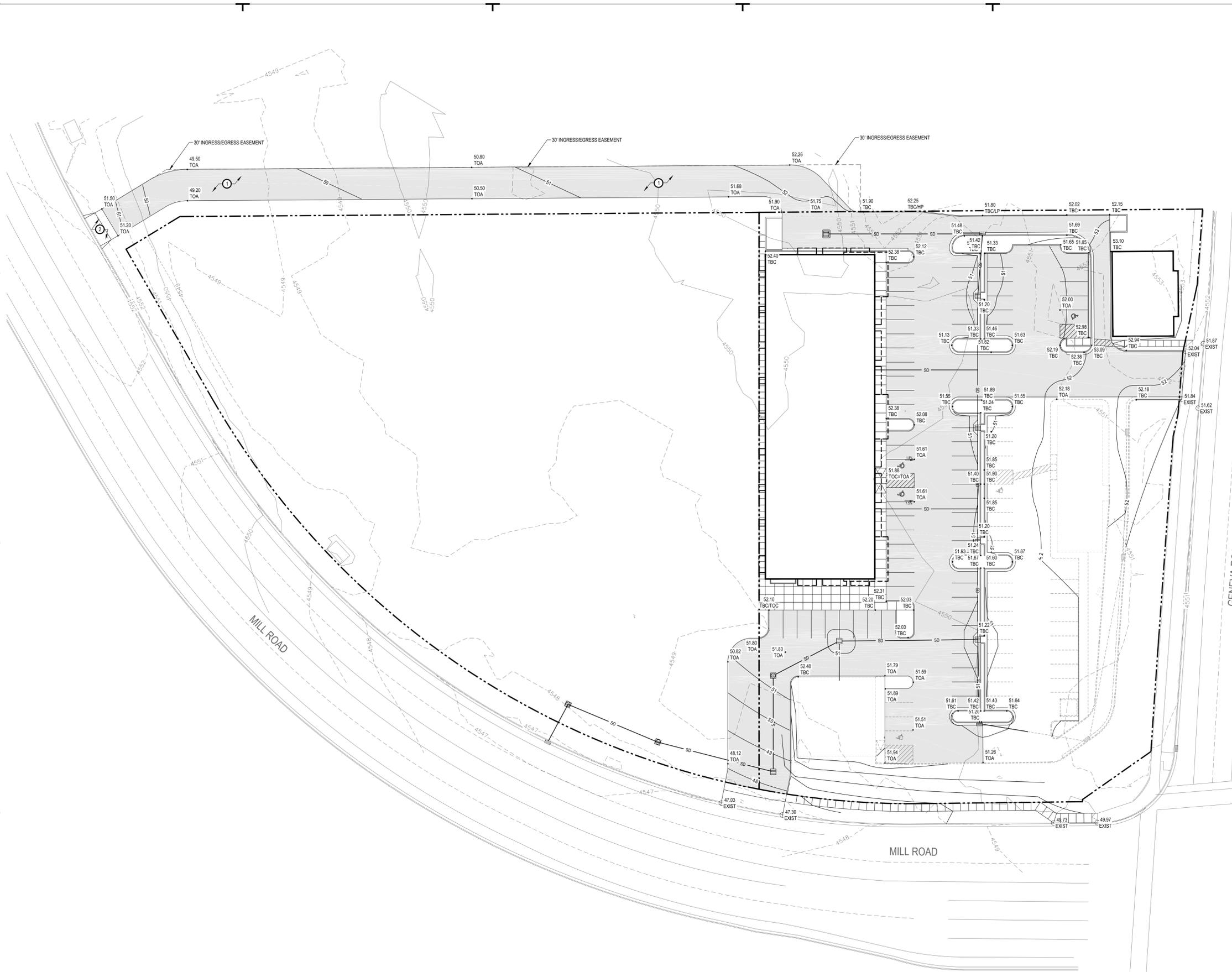
PROJECT NO: 15093  
DRAWN BY: ARP  
CHECKED BY: TJD  
DATE: 07/23/15

**GENERAL NOTES, LEGEND AND ABBREVIATIONS**

**C0.01**







**GENERAL NOTES:**

ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED  
 SEE ARCHITECT'S SITE PLAN FOR ADDITIONAL INFORMATION  
 SEE LANDSCAPE PLANS FOR IRRIGATION AND PLANTING  
 ALL WORK TO COMPLY WITH GOVERNING AGENCY'S STANDARDS AND SPECIFICATIONS  
 ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.

**KEYED NOTES:**

- 1 STANDARD DUTY ASPHALT PAVEMENT WITH GRANULAR BASE PER DETAIL 'D1', SHEET C5.01.
- 2 CONCRETE DRIVE APPROACH PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. 'E'.

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 SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REV	DATE	DESCRIPTION

PROJECT NO: 15093  
 DRAWN BY: ARP  
 CHECKED BY: TJD  
 DATE: 07/23/15

**OFF SITE DRIVE ACCESS**

**C2.02**

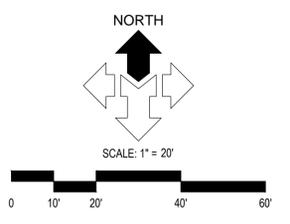
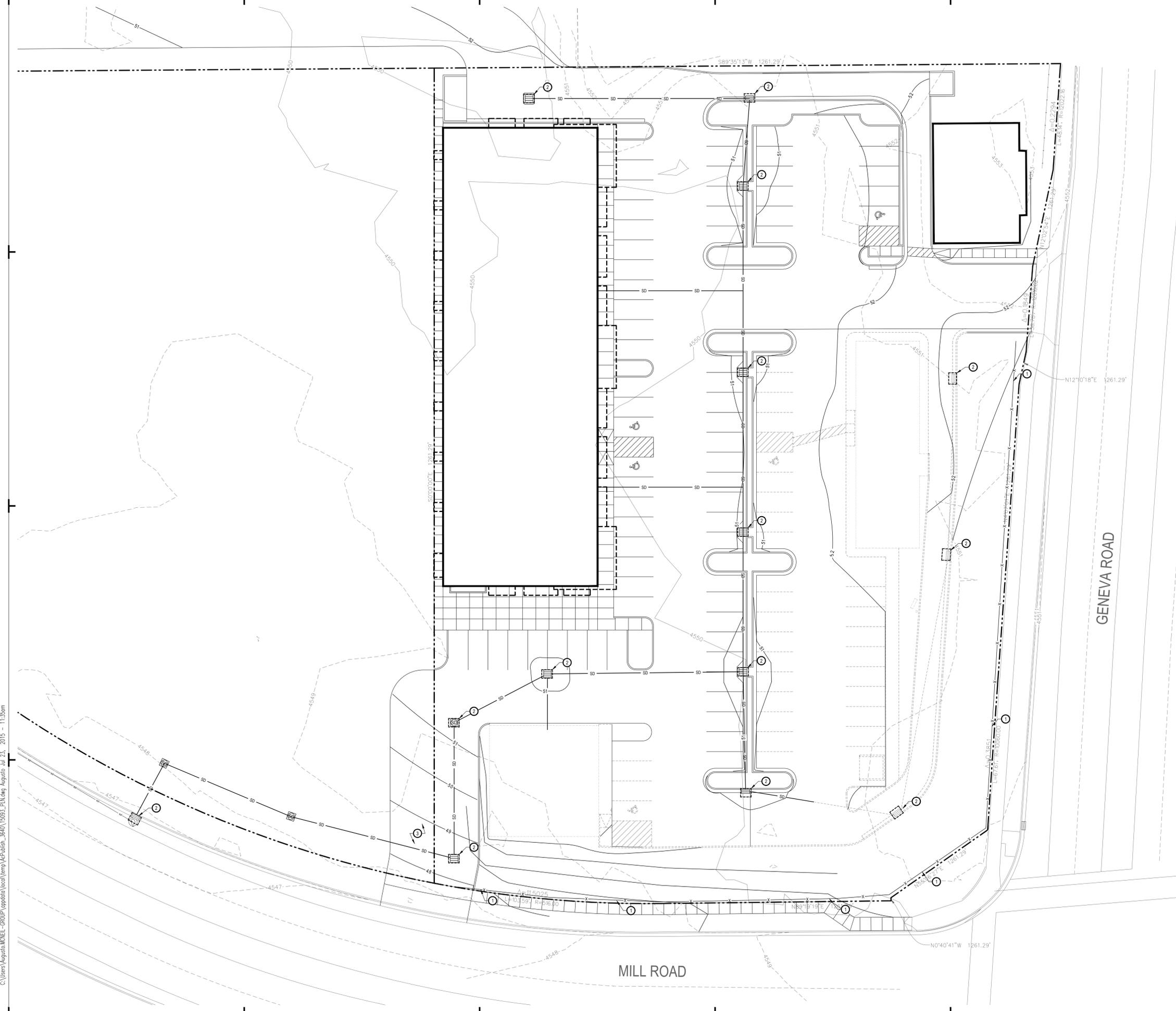
AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

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BEFORE YOU  
**Dig**

1-800-662-4111

**NOTICE!**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES, SHOWN OR NOT SHOWN ON THE PLANS.

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**GENERAL NOTES:**  
 THE CONTRACTOR IS TO USE BEST MANAGEMENT PRACTICES FOR PROVIDING EROSION CONTROL FOR CONSTRUCTION OF THIS PROJECT. SPECIFIC DETAILS SHOWN ON SHEET C2.03 SHALL BE USED IN COMBINATION WITH OTHER ACCEPTED LOCAL PRACTICES.

ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LOCAL AGENCY'S EROSION CONTROL STANDARDS AND SPECIFICATIONS AND ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE AGENCY HAVING JURISDICTION. ALSO INSPECTORS WILL HAVE THE RIGHT TO CHANGE THE FACILITIES AS NEEDED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING UTILITIES. IF CONFLICTS OCCUR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONSTRUCTION TO DETERMINE IF ANY FIELD ADJUSTMENTS SHOULD BE MADE.

THE CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL.  
 WHEN GRADING OPERATIONS HAVE BEEN COMPLETED AND THE DISTURBED GROUND SHALL BE LEFT "OPEN" FOR 30 DAYS OR MORE THE AREA SHALL BE FURROWED PARALLEL TO THE CONTOURS OF THE AREA.

THE CONTRACTOR SHALL MODIFY EROSION CONTROL MEASURES TO ACCOMMODATE PROJECT PLANNING.

**MAINTENANCE:**  
 THE OWNER'S REPRESENTATIVE SHALL MAKE ROUTINE CHECKS ON ALL EROSION CONTROL MEASURES TO DETERMINE IF REPAIRS OR SEDIMENT REMOVAL IS NECESSARY. DUE TO CONDITIONS THAT MAY ARISE IN THE FIELD, ADDITIONAL CONTROL MAY BE DETERMINED TO BE NECESSARY.

SILT FENCE BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT THE LEAST DAILY DURING PROLONGED RAINFALL.

CLOSE ATTENTION SHALL BE PAID TO THE REPAIR OF DAMAGED SILT FENCES, END RUNS, AND UNDERCUTTING BENEATH SILT FENCINGS.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF SILT FENCING SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

**KEYED NOTES:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS.

- ① SILT FENCE AS SHOWN ON PLAN. SEE DETAIL 'C4', SHEET C5.04.
- ② INLET PROTECTION AROUND EXISTING OR NEW STORM DRAIN CATCH BASINS OR CURB INLETS. SEE DETAIL 'A1', SHEET C5.04.
- ③ TEMPORARY CONSTRUCTION ENTRANCE. SEE DETAIL 'C1', SHEET C5.04.

AVOID CUTTING UNDERGROUND UTILITIES. IT'S COSTLY.

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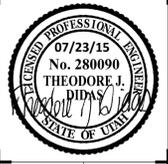
1-800-662-4111

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VINEYARD GATEWAY

33 NORTH GENEVA ROAD  
 VINEYARD, UTAH 84057

SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REV	DATE	DESCRIPTION

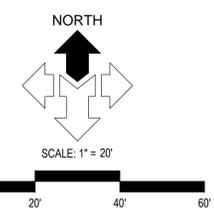
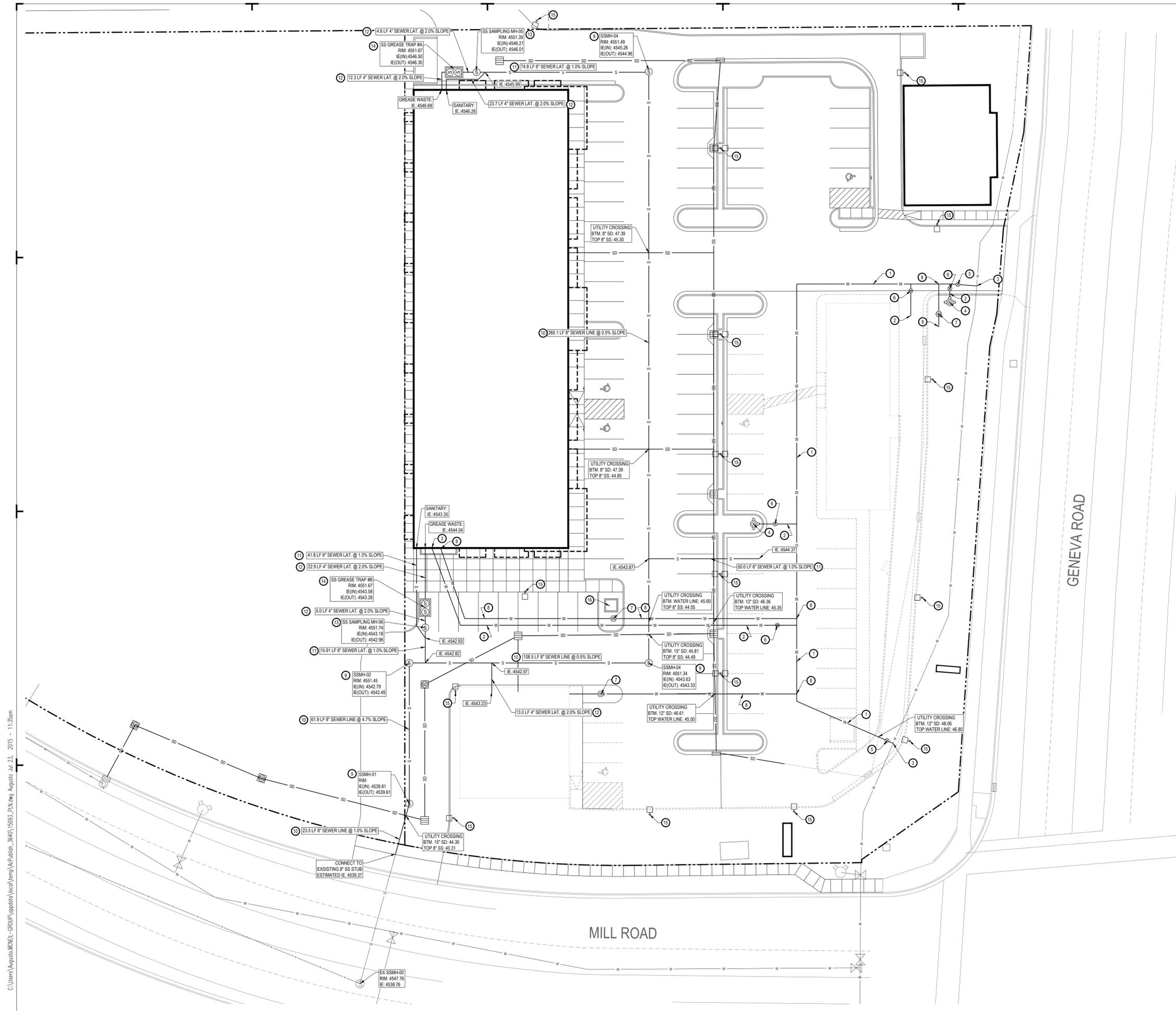
PROJECT NO: 15093  
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 DATE: 07/23/15

EROSION CONTROL PLAN

C2.03

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**GENERAL NOTES:**  
 CONTRACTOR IS TO COORDINATE ALL UTILITIES WITH MECHANICAL DRAWINGS.  
 ALL NEW WATER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.  
 ALL NEW SANITARY SEWER CONSTRUCTION TO BE DONE IN ACCORDANCE WITH LOCAL GOVERNING MUNICIPALITY STANDARDS & SPECIFICATIONS.  
 CONTRACTOR IS TO COORDINATE LOCATIONS OF NEW TELEPHONE SERVICE TO BUILDING WITH CENTURY LINK. A PVC CONDUIT, PLYWOOD BACKBOARD, AND GROUND WIRE IS REQUIRED FOR SERVICE THROUGH PROPERTY. COORDINATE SIZES AND LOCATION WITH CENTURY LINK.  
 CONTRACTOR IS TO SUBMIT SITE PLAN TO QUESTAR GAS FOR DESIGN OF GAS LINE SERVICE TO BUILDING. CONTRACTOR TO COORDINATE WITH QUESTAR GAS FOR CONTRACTOR LIMITS OF WORK VERSUS QUESTAR GAS LIMITS.  
 LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE LOCATIONS. CONTRACTOR IS TO VERIFY CONNECTION POINTS WITH EXISTING UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES AND UTILITY STRUCTURE THAT ARE TO REMAIN.  
 UTILITY SERVICES  
 WATER: TOWN OF VINEYARD  
 SEWER: TAMPANOGOS SPECIAL SERVICE DISTRICT  
 NATURAL GAS: QUESTAR GAS  
 ELECTRICAL POWER: ROCKY MOUNTAIN POWER  
 TELEPHONE: CENTURY LINK

- KEYED NOTES:**  
 PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED AND THE DETAILS NOTED AND AS SHOWN ON THE CONSTRUCTION DRAWINGS:
- 1 8" PVC C-900 WATER LINE, INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE TOWN OF VINEYARD STANDARD DRAWING DETAILS NO. '13' FOR TRENCHING AND NO. '18' FOR THRUST BLOCKING.
  - 2 6" DIP CLASS 52 FIRE LINE WITH POLYWRAP INCLUDING ALL FITTINGS AND THRUST BLOCKING. SEE TOWN OF VINEYARD STANDARD DRAWING DETAILS NO. '13' FOR TRENCHING AND NO. '18' FOR THRUST BLOCKING.
  - 3 CONNECT NEW 8" PVC C-900 WATER LINE TO EXISTING 8" WATER LINE.
  - 4 FIRE HYDRANT COMPLETE ASSEMBLY, PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '17'.
  - 5 8" GATE VALVE WITH VALVE BOX.
  - 6 6" GATE VALVE WITH VALVE BOX.
  - 7 1 1/2" WATER SERVICE METER SET PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '19'.
  - 8 1 1/2" TYPE 'K' COPPER WATER SERVICE LINE. CONNECT TO NEW 8" WATER MAIN PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '19'.
  - 9 4" DIAMETER SANITARY SEWER MANHOLE PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '14'.
  - 10 8" PVC SDR-35 SANITARY SEWER LINE, INCLUDING ALL FITTINGS. SEE TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '13' FOR TRENCHING.
  - 11 6" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING NEW CLEANOUTS AT 100-FOOT MAXIMUM SPACING PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '22'.
  - 12 4" PVC SDR-35 SANITARY SEWER LATERAL, INCLUDING NEW CLEANOUTS AT 100-FOOT MAXIMUM SPACING PER TOWN OF VINEYARD STANDARD DRAWING DETAIL NO. '22'.
  - 13 INSTALL NEW 4" DIAMETER SANITARY SEWER SAMPLING MANHOLE PER TAMPANOGOS SPECIAL SERVICE DISTRICT STANDARDS AND SPECIFICATIONS, DRAWING D-7.
  - 14 1200 GALLON GREASE INTERCEPTOR PER TAMPANOGOS SPECIAL SERVICE DISTRICT STANDARDS AND SPECIFICATIONS, DRAWING D-12.
  - 15 NEW LIGHT POLE. SEE ELECTRICAL PLANS FOR DETAILS.
  - 16 TRANSFORMER. SEE ELECTRICAL PLANS FOR DETAILS.

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**VINEYARD, UTAH 84057**  
 SE 1/4 OF NE 1/4 OF SEC 17, T6S, R2E, SLB & M

REV	DATE	DESCRIPTION

PROJECT NO: 15093  
 DRAWN BY: ARP  
 CHECKED BY: TJD  
 DATE: 07/23/15

**SITE UTILITY PLAN**  
**C4.01**



**Vineyard Gateway**  
**3963 East Alpine Valley Circle**  
**Sandy, Utah 84092**  
**801-541-3733**

RECEIVED  
7/23/15

Nathan Crane  
Town of Vineyard

July 23, 2015

Re: 33 North Geneva Road

Based on your review of our submittal materials and the suggestions from our review meeting, I am submitting revised materials that address the following issues:

1. Revised civil plans that provide for the 25' of landscaping as discussed.
2. Revised plan to reflect the recent submittal to vacate the PUE to enable movement of the shop building to accommodate #1.
3. Revisions to accommodate the storm water retention
4. Revised west elevation indicating stone pop-outs to provide relief of the elevation
5. Revised site plan to show the cupola structures and canopies that provide better visual evidence of the undulations of the east elevation
6. Colored elevations
7. Changes to that portion of the west portion of the shop south wall at the Mill Road entry that will have a large catch basin for a water feature that will be integrated into the wall. A representative photo of what it would look like is also submitted.
8. Representative photo of the powder coated park benches and seating to be installed in the landscaped area north of the existing building.
9. Representative photos of the landscape planters to be installed along the storefront
10. Addition of lighting element integrated into ridge coping to provide wall wash lighting

Based on the list of items we discussed in conclusion, I believe these materials reflect the suggestions provided and changes requested. Please advise if you have any questions and when we can get this submittal scheduled for a planning commission meeting.



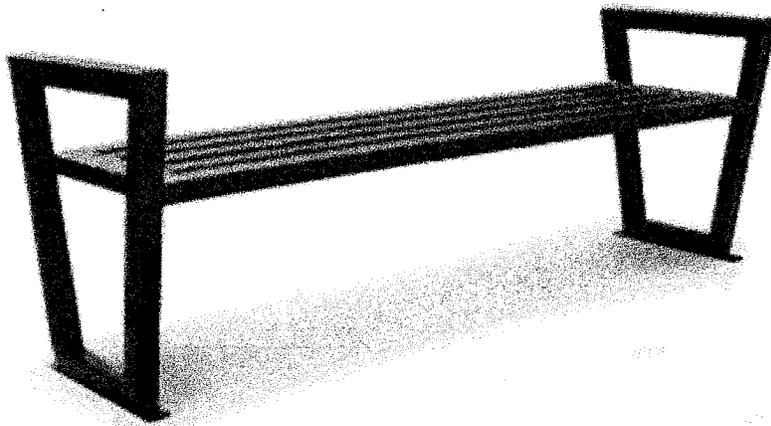
## PLANTERS



### Specifications:

Self-watering lightweight fiberglass/GFRC for low weight durable performance with a metallic FRP finish that will naturally weather over time

## BENCHES



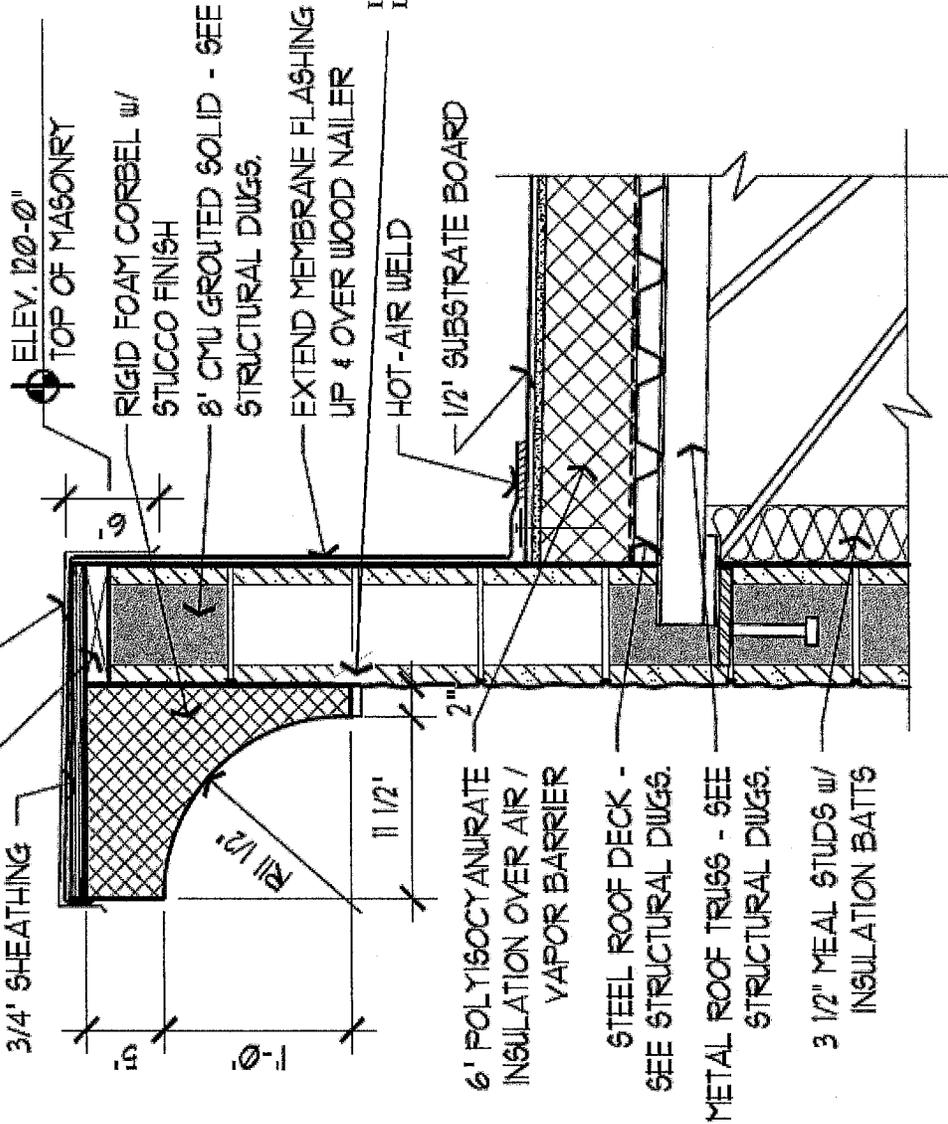
### Specifications:

Constructed of high quality steel with durable slats with electrocoat primer with a polyester powder coat finish.

PRE-FINISHED METAL  
WALL CAP AND FLASHING  
w/ DRIP-EDGE - SLOPE  
BACK TO ROOF

TREATED WOOD NAILER

3/4" SHEATHING



RIGID FOAM CORBEL w/  
STUCCO FINISH

8" CMU GROUTED SOLID - SEE  
STRUCTURAL DWGS.

EXTEND MEMBRANE FLASHING  
UP & OVER WOOD NAILER

LED Wall Wash  
Lighting

HOT-AIR WELD

1/2" SUBSTRATE BOARD

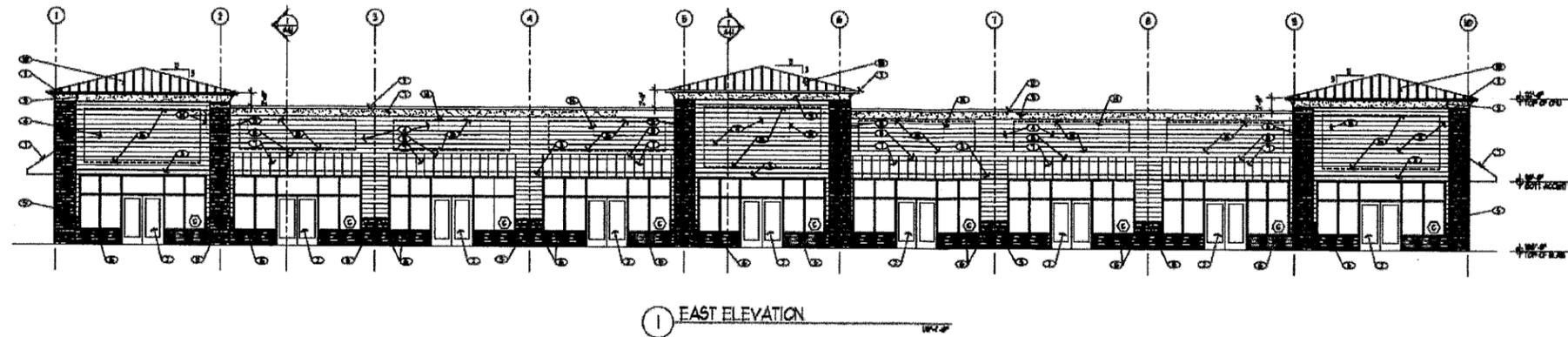
6" POLYISOCYANURATE  
INSULATION OVER AIR /  
VAPOR BARRIER

STEEL ROOF DECK -  
SEE STRUCTURAL DWGS.

METAL ROOF TRUSS - SEE  
STRUCTURAL DWGS.

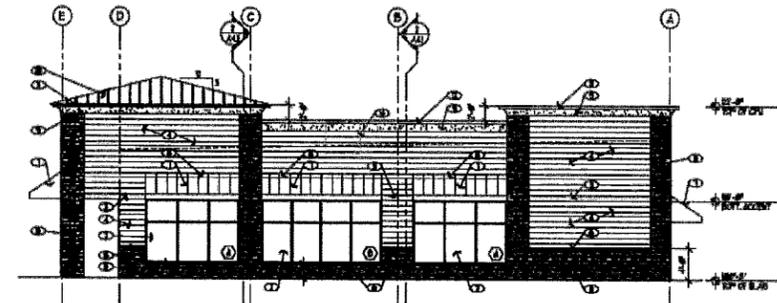
3 1/2" METAL STUDS w/  
INSULATION BATTs



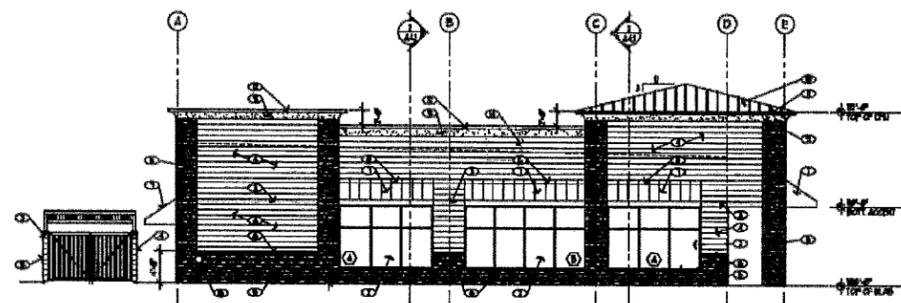


1 EAST ELEVATION

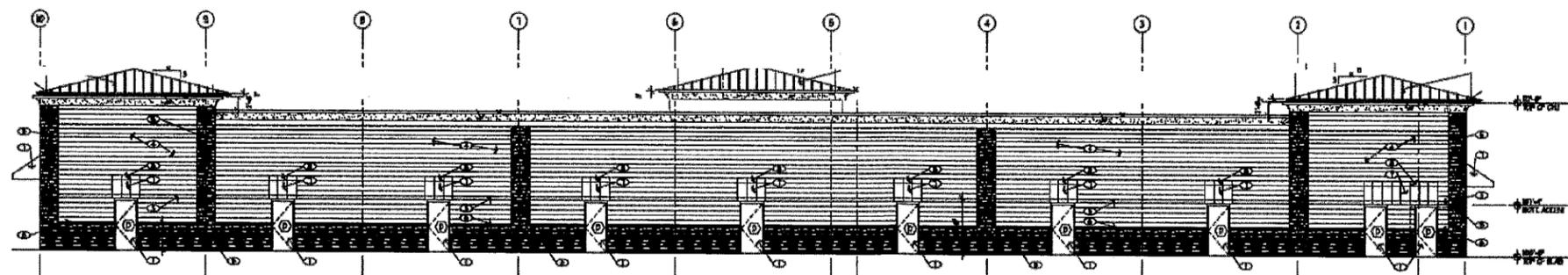
- SHEET NOTES**
- 1. TYPICAL OPENING TAG - SEE OPENING TYPES ON SHEET 201
  - 2. HOLLOW METAL DOOR AND FRAME - PAINT
  - 3. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 4. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 5. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 6. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 7. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 8. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 9. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 10. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 11. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 12. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 13. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 14. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 15. HOLLOW METAL WINDOW AND SILLING - PAINT
  - 16. HOLLOW METAL WINDOW AND SILLING - PAINT



2 NORTH ELEVATION



3 SOUTH ELEVATION



4 WEST ELEVATION

Date: MAY 22, 2013  
Revision:

Alan R. Poulson  
Ronald E. Jones  
Bruce T. Fallon

**WPA**  
425 North Westwood Blvd.  
Provo, Utah 84601

**VINEYARD GATEWAY  
RETAIL DEVELOPMENT**  
Geneva Rd. and Mill Rd. - Vineyard, Utah 84058

**A2.1**

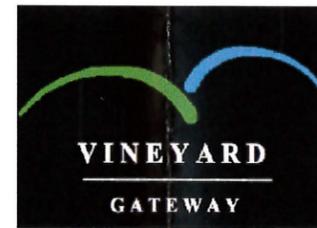
DISPERSE ELEVATIONS



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



## COMMUNITY DEVELOPMENT

**SUBJECT:** Development Plan and Site Plan Approval  
for Vineyard Gateway

**MEETING DATE:** August 25, 2015

**TO:** Town Council

**FROM:** Nathan Crane, Town Planner

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**REQUEST:** Approval of a development plan and site plan for Vineyard Gateway

**PARCEL SIZE:** 2.25 Acres

**LOCATION:** Northwest Corner of Mill Road and Geneva Road

**APPLICANT:** Steve Pruitt

**OWNER:** Sonny Bryans Plaza UP, LLC

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### BACKGROUND:

The property is designated as Regional Mixed Use General on the General Plan land use map. The property is zoned RMU (Regional Mixed Use). The Mill Road Subdivision was approved on February 27, 2013.

The Town Council has discretion over the site layout and architectural design. The Planning Commission will need to make a recommendation to the Council. The RMU District allows a development plan and site plan application to be processed concurrently.

### SUMMARY OF REQUEST:

1. The applicant is requesting site and development plan approval for a four building 21,986 square foot retail shopping center. Building A is 14,280 square feet, is a retail strip center. And is 22'8" tall. Building B is 2,778 square feet and is a retail building. Building C is 2,199 and is the former credit union that will be converted to retail space. Building D is 2,729 square is planned for a fast food restaurant.
2. The primary ingress/egress is provided on Mill Road and Geneva Road. The Mill Road access maybe restricted to a right in right out in the future.
3. The minimum 25 foot landscape setback is provided along Mill Road and Geneva Road.

4. There is a 20 foot water easement along the east boundary.
5. Approximately 21,297 square feet of the site is landscaped.
6. The project will be built in phases. The remodel of Building C will be completed first.
7. The site plan shows 98 parking spaces exceeding the 88 spaces that are required. There are 4 ADA accessible stalls.

**CITIZEN PARTICIPATION:**

Citizen notification is not required.

**ANALYSIS:**

- The site is identified as Regional Mixed Use on the General Plan Land Use Map and is zoned Regional Mixed Use. The type and scale of the proposed center is consistent with the General Plan and the approved zoning.
- The proposed access drives for the facility will provide adequate access to the site for customers, service vehicles, and emergency vehicles. A median is planned for Mill Road once traffic volumes require that turning movements be limited. As a result, the access on Mill Road may be limited to right-in and right-out only. Cross access easement will need to be recorded prior to issuance of a building permit.
- The site plan has been reviewed for compliance with fire lane widths and fire turning radius and are shown on the site plan.
- The building has been treated architecturally on all four sides. The primary building material is concrete block. The roof is metal copper material and color.

**FINDINGS:**

With the proposed stipulations, the proposed development plan and site plans meet the following findings:

- It is in conformance with the General Plan.
- It meets the requirements of the Town of Vineyard Zoning Ordinance.

**PLANNING COMMISSION ACTION:**

The Planning Commission considered this item at a special meeting on August 6, 2015 and voted 3-0 to recommend approval subject to the following stipulations:

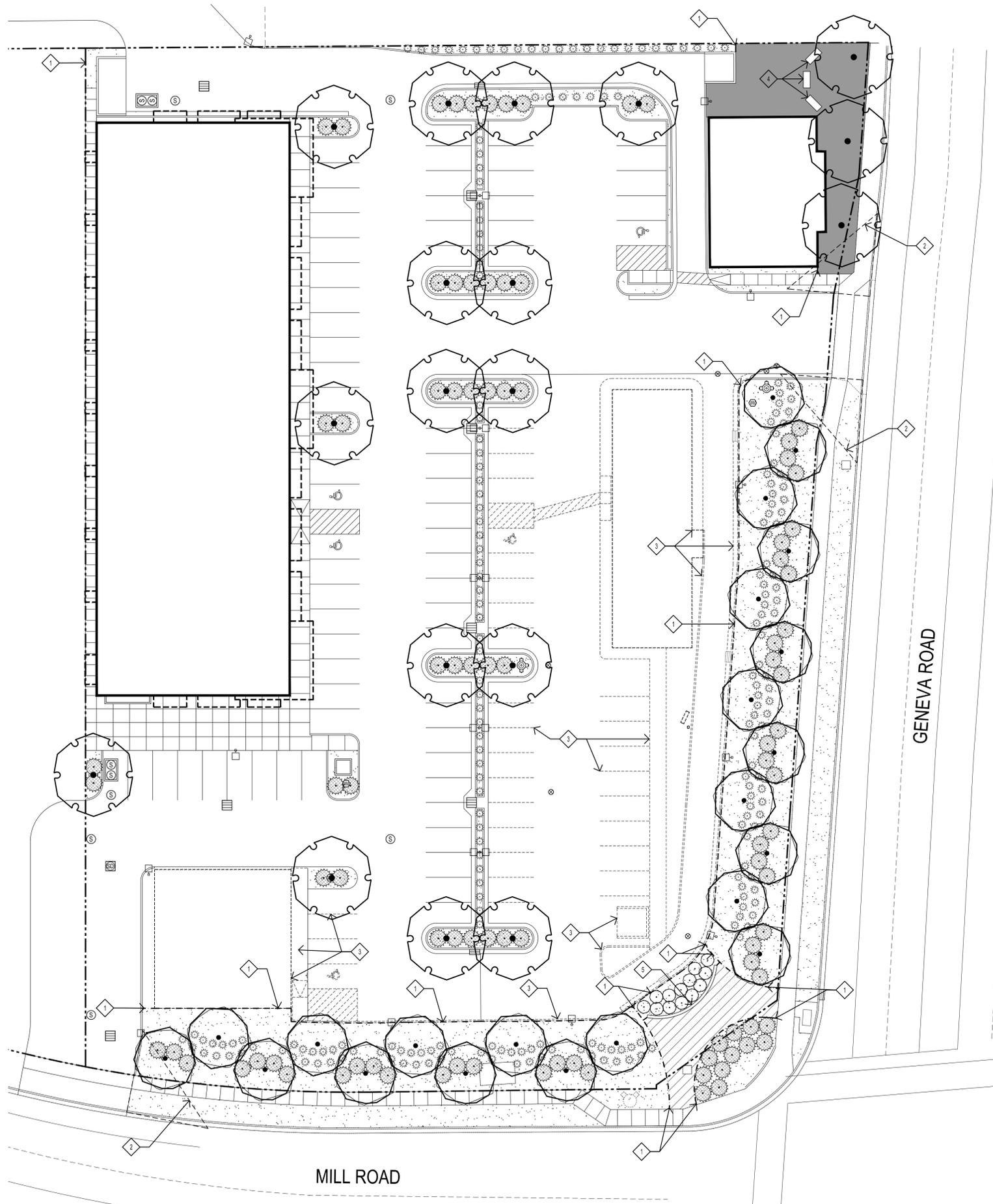
1. The site plan shall conform to the site plan, elevations, and landscape plan dated July 31, 2015, except as modified by these stipulations.
2. All signage shall require a separate permit.
3. In accordance with Section 1416 of the Town of Vineyard Zoning Ordinance, the approval of the site plan shall expire in (180) days if a building permit has not been issued.
4. The civil construction drawings shall meet all requirements as determined by the Town Engineer.
5. The final landscape plans shall be reviewed and approved prior to issuance of a building permit. The final landscape plans shall include a detail showing the required parking screening along Mill Road. The landscape buffer shall comply with Section 2008.3.
6. The PUE shall be abandoned prior to issuance of a building permit.
7. UDOT shall approve the access onto Geneva Road prior to issuance of a building permit.
8. All lighting shall be fully shielded. Light levels shall not exceed one foot candle at the property line.
9. All cross access agreements shall be recorded prior to issuance of a building permit.
10. All architecture within the center shall be consistent including those of franchises in material, color, and architectural design. The elevations shall be approved by the Planning Commission and Town Council.
11. All drive-thru shall include a porte-chere that covers the drive thru windows and a minimum three foot wall that matches the building to screen the drive through lane from Mill and Geneva Road.
12. Signage on the corner shall be approved by the Town.

**RECOMMENDATION:**

The Town Council should hold a public meeting and determine whether or not to accept the findings and approve the development plan and site plan subject to the twelve stipulations recommended by the Planning Commission.

**ATTACHMENTS:**

Exhibit A – Site Plan, Landscape Plan, Building Elevations, dated July 31, 2015



### PLANTING LEGEND

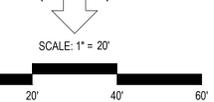
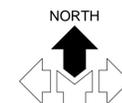
SYMBOL	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	NOTE
<b>TREES</b>					
	18	IMPERIAL HONEY LOCUST	<i>Gleditsia triacanthos inermis 'Imperial'</i>	2" Caliper	See Detail EIL3.01
	22	HEARTLAND CATALPA	<i>Catalpa speciosa 'Heartland 2'</i>	2" Caliper	See Detail EIL3.01
<b>SHRUBS</b>					
	95	BLUE CHIP JUNIPER	<i>Juniperus horizontalis 'Blue Chip'</i>	5 Gallon	See Details A&B/L3.01
	13	ARCTIC FIRE DOGWOOD	<i>Cornus stolonifera 'Arctic Fire'</i>	5 Gallon	See Details A&B/L3.01
<b>PERENNIALS &amp; GRASSES</b>					
	217	KARL FOERSTER FEATHER REED GRASS	<i>Calamagrostis acutiflora 'Karl Foerster'</i>	1 Gallon	See Detail CL3.01
	as needed	STELLA D'ORO DAYLILY	<i>Hemerocallis 'Stella D'Oro'</i>	1 Gallon	See Detail CL3.01 3'-0" On Center
<b>DECORATIVE STONE</b>					
	19,107 s.f.	STONE MULCH, 3/4" - 1-1/2" DIAMETER "SOUTHTOWN" WASHED FROM NEPHI SANDSTONE (435) 623-2332 OR APPROVED EQUAL INSTALLED A MINIMUM 3" DEEP.	Install over Dewitts Pro 5 weed barrier fabric. Rock shall be washed and free of dirt and other foreign debris. Mix an equal 1/2 portion of 3/4" and 1-1/2" rock size.		See Detail DL3.01
<b>LAWN</b>					
	2,190 s.f.	LAWN SOD, "IMPERIAL BLUE" FROM CHANSHARE FARMS (866) SOD-EASY OR APPROVED EQUAL.	Install over minimum 5" topsoil layer.		See Detail GL3.01 & Planting Note 3

### PLANTING NOTES

- ALL QUANTITIES ARE SHOWN AS AN AID ONLY. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR FOR ALL QUANTITY CALCULATIONS BASED ON THE PLANTING PLAN.
- PLANT COMMON NAMES ARE SHOWN AS A REFERENCE ONLY. USE COMPLETE BOTANICAL NAMES WHEN PURCHASING ALL PLANT MATERIAL.
- EXCAVATE, REMOVE AND FEATHER EXISTING SOIL ALONG ALL EDGES OF WALKS, MOWSTRIPS, CURBS AND OTHER APPLICABLE SITE ELEMENTS SO THAT THE FINISH GRADE OF THE NEW LAWN IS HELD DOWN 1" FROM THE TOP OF SAID ITEMS. FEATHER NEW GRADE INTO THE EXISTING SO THAT THERE IS A SMOOTH AND SUBTLE TRANSITION FROM THE EDGES OUT INTO THE LANDSCAPE AREAS.
- APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING BED AND COBBLE AREAS FOLLOWING INSTALLATION OF PLANT MATERIAL BUT PRIOR TO PLACING FABRIC AND MULCH. AREAS SHALL BE FREE OF EXISTING WEED GROWTH BEFORE APPLICATION OF HERBICIDE - SEE DETAIL ILS.01.

### REFERENCE NOTES

- NEW 3/16" x 5-1/2" ALUMINUM EDGING - SEE DETAIL FL3.01
- SITE TRIANGLE - 30'-0" BY 30'-0"
- DASHED LINE WORK REPRESENTS FUTURE DEVELOPMENT - SHOWN ON THIS PLAN FOR REFERENCE ONLY.
- LANDSCAPE BENCHES, COORDINATE WITH OWNER AS NEEDED FOR EXACT LOCATION, MANUFACTURE TYPE, COLOR, ETC.
- CONCRETE MOWSTRIP, 12" WIDE - SEE DETAIL HL3.01



REV	DATE	DESCRIPTION

PROJECT NO:	15093
DRAWN BY:	BE
CHECKED BY:	SS
DATE:	MAY 2015
PROP NO:	-

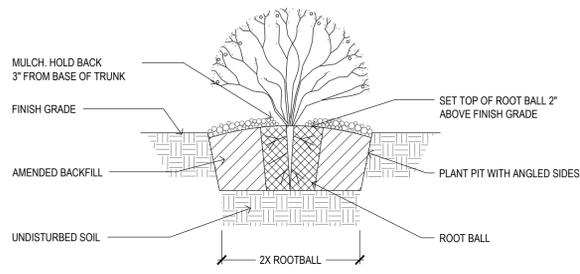
**PLANTING PLAN**

**L1.01**

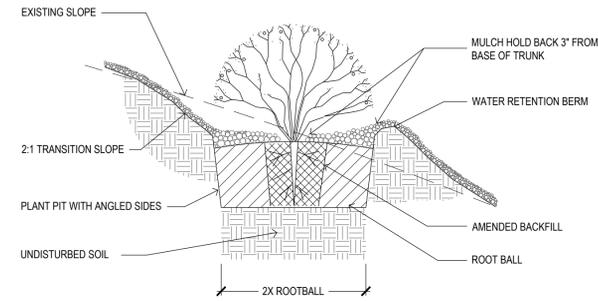
S:\2015files\15093\Landscape\Prod Draw\15093\_planting.dwg, 23 Jul 2015 - 11:36am

**Call Before You Dig**  
 1-800-882-4111

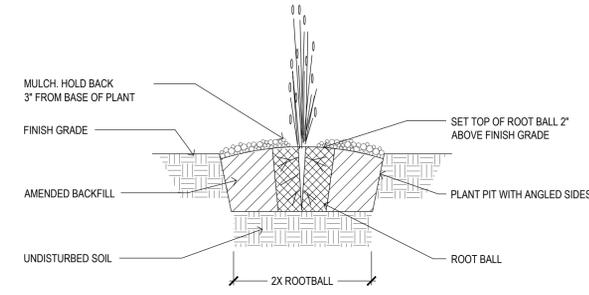
**NOTICE!**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION, AND RESTORATION OF ALL BURIED OR ABOVE GROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS.



**A SHRUB PLANTING**  
SCALE: NO SCALE

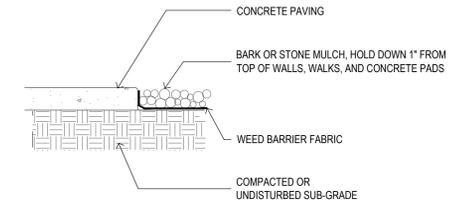


**B SHRUB PLANTING ON SLOPE**  
SCALE: NO SCALE

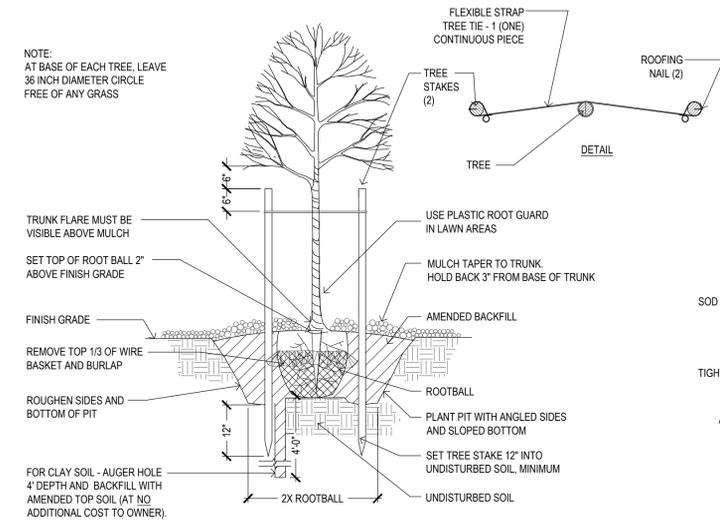


**C ORNAMENTAL GRASS**  
SCALE: NO SCALE

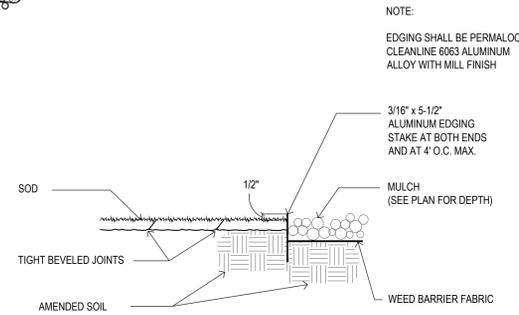
- NOTES:
1. APPLY PRE-EMERGENT HERBICIDE TO SHRUB AND GROUND COVER PLANTING AREAS AND GRASS-FREE AREAS AT TREES IN LAWN PRIOR TO PLACEMENT OF WEED BARRIER FABRIC AND MULCH.
  2. PRE-EMERGENT SHALL BE "SURFLAN AS" (LIQUID) BY UNITED PHOSPHORUS INC, TRENTON, NJ, OR APPROVED EQUAL.
  3. INSTALL MULCH TO UNIFORM DEPTH AND RAKE TO NEAT FINISHED APPEARANCE FREE OF HUMPS AND DEPRESSIONS.



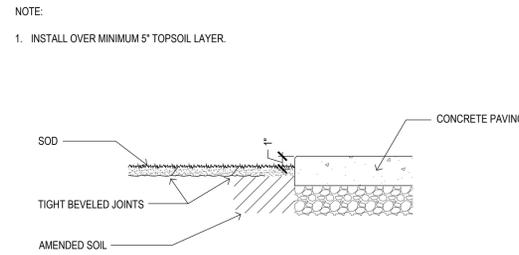
**D MULCH**  
SCALE: NO SCALE



**E TREE PLANTING**  
SCALE: NO SCALE

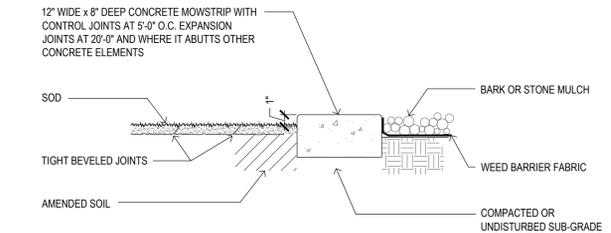


**F ALUMINUM EDGING**  
SCALE: NO SCALE



**G SOD INSTALLATION**  
SCALE: NO SCALE

- NOTES:
1. MOWSTRIP TO BE CAST-IN-PLACE AND POURED USING TYPICAL WEIGHT STRUCTURAL CONCRETE.
  2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE AROUND MOWSTRIPS-DO NOT CREATE A DAM EFFECT WITH PLACEMENT OF MOWSTRIP.
  3. MAXIMUM 1/2" WIDTH VARIATION.
  4. PRECISELY FOLLOW LAYOUT AS SHOWN ON PLANTING PLAN.



**H CONCRETE MOWSTRIP**  
SCALE: NO SCALE



REV	DATE	DESCRIPTION

PROJECT NO: 15093  
DRAWN BY: BE  
CHECKED BY: SS  
DATE: MAY 2015  
PROP NO: -

S:\2015files\15093\Landscape\Prod Draw\15093\_DET.dwg Brent Jul 23, 2015 - 11:35am

ORDINANCE NO. \_\_\_\_\_

**AN ORDINANCE AMENDING THE SECTION OF THE VINEYARD TOWN CODE REGARDING THE LICENSING OF BUSINESSES ENGAGED IN THE RETAIL SALE OF ALCOHOLIC BEVERAGES**

**WHEREAS**, the Town of Vineyard has determined that there is some language in the Town Code regarding the retail sale of alcoholic beverages that needs to be updated, clarified and conformed to meet the provisions of the Town's Zoning Ordinance; and

**NOW THEREFORE BE IT ORDAINED** by the mayor and Town council of the Town of Vineyard, as follows:

1. Chapter 9-400 of the Vineyard Town Code shall be amended to delete those words and phrases shown below in cross outs and to include the new language shown below that is underlined.

CHAPTER 9-400. LICENSING AND REGULATING SPECIFIC BUSINESSES.

PART 9-410. INTOXICANTS.

9-411. LICENSE TO SELL BEER OR LIQUOR AT RETAIL.

- A. It shall be a class B misdemeanor for any person to engage in the business of selling beer or liquor at retail, in original containers or draft, without first having procured a license therefore from the governing body and paid the license fee required by this part.
- B. It shall be a class B misdemeanor for any person to sell beer or liquor after the revocation of the license issued pursuant to this part.
- C. A separate license shall be required for each place of sale and the license shall at all times be conspicuously displayed in the place to which it shall refer or for which it shall be issued. All licensees shall comply with the Utah Alcoholic Beverage Control Act and the regulations of the Alcoholic Beverage Control Commission.

9-412. DEFINITIONS. The words and phrases used in this part shall have the meanings specified in the Utah Alcoholic Beverage Control Act unless a different meaning is clearly evident.

9-413. RETAIL LICENSES. Retail licenses issued hereunder shall be of the following ~~three~~ kinds and shall carry the following privileges and be known as class "A", class "B", class "C", ~~and "D" Temporary seasonal~~ licenses -, class "E", class "A liquor license for private clubs", class "B liquor license for restaurants" and class C liquor temporary event license."

- A. Class "A" retail beer licenses issued hereunder shall entitle the licensee to sell beer on the premises licensed in original containers for consumption off the premises in accordance with the Utah Alcoholic Beverage Control Act and the

ordinances of this town.

- B. Class "B" retail beer licenses shall entitle the licensee to sell beer in the original containers on the premises for consumption on or off the premises in accordance with the Utah Alcoholic Beverage Control Act and the ordinances of this town.
- C. Class "C" retail beer licenses shall entitle the licensee to sell draft beer for consumption on ~~or off~~ the premises and to sell beer in accordance with the Utah Alcoholic Beverage Control Act and the ordinances of this town.
- D. Class "D" "Temporary Seasonal beer licenses" of any class be issued for a period of time not to exceed one year which period shall be determined by the governing body.
- E. Class "E Private Club beer license". Shall entitle the licensee to sell beer for consumption on the premises of a private club licensed for the sale of liquor by the State of Utah pursuant to Utah Code 32B-6-401 et seq.
- F. Class "A Liquor License for Private Clubs" This license shall permit the sale of liquor in a private club licensed for such sale by the State of Utah pursuant to Utah Code 32B-6-401 et seq. and licensed by the Town pursuant to Utah Code 11-10-1.
- G. Class "B Liquor License for Restaurants." This license shall permit the sale of liquor in a restaurant licensed for such sale by the State of Utah pursuant to Utah Code 32B-6-1 or 2 and licensed by the Town pursuant to Utah Code 11-10-1.
- H. Class "C Temporary Liquor License." This license shall permit the sale of liquor at a single temporary event and location when licensed for such sale by the State of Utah pursuant to Utah Code 32B-303 and licensed by the Town pursuant to Utah Code 11-10-1.

9-414. BEER/ALCOHOL LICENSE FEES. In addition to any other business license fee which any person or place of business may be required to pay, the Town Council shall from time to time enact by a fee for an annual beer or liquor license. This fee shall be listed in the current fee schedule except that pursuant to Utah Code 11-10-3 the license fee for a Class A, B or C liquor license shall not exceed \$300.00.

9-415. LICENSE FEES TO ACCOMPANY APPLICATION. Applications provided for in this part shall be accompanied by the fees provided in this part. The fee shall be returned to the applicant if the application is denied.

9-416. PURCHASE OF BEER OR LIQUOR FOR RESALE. It is a class B misdemeanor for any licensee to purchase or acquire or to have or possess for the purpose of sale or distribution any beer or liquor except that which he shall have lawfully purchased from the State of Utah, a brewer or wholesaler licensed under the provisions of the Utah Alcoholic Beverage Control Act.

9-417. APPLICATION FOR LICENSE.

- A. All applications for licenses authorized by this part shall be verified and shall be filed with the Town Clerk. The applications must state the applicant's name in full and that he understands and has read and complied with the requirements and possesses the qualifications specified in the Alcoholic Beverage Control Act and this part. If the applicant is a co partnership, the names and addresses of all partners, and if a corporation, the names and addresses of all officers and directors must be stated.
- B. Application must be subscribed by the applicant who shall state under oath that the facts therein contained are true.

9-418. APPLICATIONS REFERRED TO CHIEF OF POLICE. All applications filed in accordance with the provisions of this part shall be referred to the chief of police for inspection and report. The- chief of police shall when possible within 2 weeks after receiving such application make report to the governing body of the general reputation and character of the persons who habitually frequent such place; the nature and kind of business conducted at such- place by the applicant or by any other person or by the applicant at any other place; whether the place is or has been conducted in a lawful, quiet and orderly manner; the nature and kind of entertainment, if any at such place; whether gambling is or has been permitted on the premises or by the applicant at any other place;- and the proximity of such premises to any school or church. The chief of police shall also add to such report his recommendation as to whether or not the application should be granted.

9-419. RENEWALS. All applications for renewal licenses filed by the holders of existing licenses shall be filed with the Town Clerk at least thirty days prior to the expiration date of the then issued license. Any person who fails to file such application with the time limit shall close his licensed premises on the expiration date of the then issued license and shall keep the premises closed for any and all business for the sale of beer or liquor until the date of his new license is issued by the governing body.

9-420. QUALIFICATION. No license shall be granted to any retailer to sell beer or liquor within the town unless he shall be of good moral character, over the age of twenty-one years, and a citizen of the United States, or to anyone who has been convicted of a felony or of any violation of any law of the state of Utah or provision of the ordinances of this town relating to intoxicating liquors, or of keeping a gambling or disorderly house, or who has pleaded guilty to or has forfeited his bail on a charge of having committed a felony or of having violated any such law or ordinance, or to any partnership, any member of which lacks any of the qualifications set forth in this section, or to any corporation, of which any director or officer lacks any such qualifications.

9-421. BOND REQUIRED. No license under this part shall be granted by the governing body until the applicant shall have filed with the Town Clerk a bond and insurance in the sum and as required by Section 32B-6-705 Utah Code Annotated 1953 the bond shall be made in favor of this town.

9-422. DEPARTMENT OF HEALTH PERMIT. No license under this part shall be issued until the applicant therefore shall have first procured from the department of health of the town a permit which shall show that the premises to be licensed are in a

sanitary condition and that the equipment used in the storage, distribution or sale of beer or liquor complies with all the health regulations of this town and the state of Utah.

9-423. TRANSFER OF LICENSE. Licenses issued pursuant to this part shall not be transferrable, and if revoked by the governing body, the fee paid by the licensee to the town for the license shall be forfeited to the town.

9-424. RESTRICTIONS.

- A. It is unlawful for any person to sell beer or liquor at any public dance or to any person intoxicated, or under the influence of any intoxicating beverage. ~~It is unlawful for any person to sell beer in any dance hall or theater, and a license to sell beer shall not be granted to any person to sell beer at any business or premise where gasoline for the use in motor vehicles is sold.~~
- B. No license shall be granted to sell beer or liquor in any dance hall, theater, or within ~~500 yards of any church or within 500 yards of any school~~ 600 feet of a public or private school, church, library, public playground or public park, as measured from the nearest entrance of the licensed premises by following the shortest route of ordinary pedestrian travel to the property boundary of the public or private school, church, library, public playground or public park; or within 200 feet of a public or private school, church, library, public playground or public park, measured in a straight line from the nearest entrance of the licensed premises to the nearest property boundary of the public or private school, church, library, public playground or public park unless granted a variance pursuant to Utah Code 32B-1-202.
- C. It shall be unlawful to sell beer or liquor to any person under the age of 21, or to sell beer or liquor for consumption on the premises unless so licensed, ~~or to permit the drinking of liquor on such premises.~~
- D. It shall be unlawful for a holder of a license that allows the on premise consumption of beer to sell or otherwise furnish or dispose of beer, or allow it to be drunk or consumed on the premises or to allow beer out of original containers to remain in the licensed premises, whether or not open to the public, after the closing hour or 1:00 a.m. and before ~~6:00~~ 10:00 a.m. ~~Of any day, except that the closing hour on the day following December 31 of any year shall be 2:00 a.m.~~
- E. Any person having a Class "B", ~~or~~ "C", "D" or "E" beer license, or his agents or employees, shall remove or cause to be removed from the licensed premises all patrons, customers or individuals not employed on the premises by the time above stated in section D.
- F. It shall be unlawful for any person having a Class "B", ~~or~~ "C" or "E" beer license or for his agents or employees to permit any patron, customer or individual not employed on the premises to remain on such premises after the closing time above provided; provided however, no licensed premises may employ more than two persons on the premises after the closing hour ~~with~~without the permission of the chief of police or mayor.

- G. Licensed premises shall be kept brightly illuminated at all times while it is occupied or open for business, and no booth or kind of stall shall be maintained unless all tables, chairs and occupants are kept open to full view from the main floor and the entrance of such licensed premises. It shall be unlawful to advertise the sale of beer or liquor except under such regulations as are made by the Alcoholic Beverage Control Commission of Utah, provided that a simple designation of the fact beer or liquor is sold under Town license may be placed in or upon the window or front of the licensed premises.
- H. It shall be unlawful for any person to sell beer or liquor except in the manner for which he has been so licensed pursuant to the provisions of this part.
- I. It shall be unlawful to keep or maintain a nuisance as defined in this part.

9-425. Reserved.

#### 9-426. INSPECTION.

- A. All licensed premises shall be subject to inspection by any officer, agent, or peace officer of the town or the Alcoholic Beverage control commission, or the state board of health, and every licensee shall, at the request of the board of health furnish to it samples of beer which he shall have for sale.
- B. Any license granted pursuant to this part may be revoked on a finding by the governing body that the licensee has had ten days or more notice from the board of health that the licensee is violating one or more health ordinance, rule or regulation.
- C. The governing body may direct the chief of police to close down any business licensed under this part where the board of health has determined that continued operation of the business presents an imminent danger to the health of the community or persons who may eat or drink at the business.

#### 9-427. REVOCATION OR SUSPENSION.

- A. The governing body may, after a hearing, revoke or suspend any beer license on a finding that the licensee or his officers, agents or employees have violated any provision of this part or any ordinance of this town whether now or hereafter enacted which in any way is related to the operation of the business or the safety of the public.
- B. A hearing may be requested by any person:
  - 1. That is denied or refused a beer license by any officer, agent or employee of this town.
  - 2. Whose beer license is revoked, restricted, qualified, or limited from that for which it was first issued.
- C. The request for hearing must be made in writing to the mayor or Town Clerk and made within 30 days following the date notice denying, refusing, revoking, qualifying, or restricting the beer license is mailed by the town to the applicant

or license holder at his address as it appears on the application or license.

- D. Following receipt of a request for hearing, the governing body shall inform the person requesting a hearing of the time and place the hearing is to be held. At the hearing, the aggrieved party shall have the right to hear and examine any witnesses the town may produce to support its decision and to present his own evidence in support of his contention. The governing body shall, within ten days following the conclusion of the hearing, in writing, inform the person who requested the hearing of the decision of the Town council.
- E. This part shall not be constructed so as to afford any aggrieved party more than one hearing before the Town Council nor shall the hearing provided in this part apply to any criminal complaint or proceeding.

2. This ordinance shall take effect upon posting in accordance with state law.

PASSED this \_\_\_\_\_ day of \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
Town Recorder

**MEMORANDUM OF UNDERSTANDING OR [INTERLOCAL COOPERATION AGREEMENT]**

THIS MEMORANDUM OF UNDERSTANDING [INTERLOCAL COOPERATION AGREEMENT] is made and entered into this \_\_\_\_ day of \_\_\_\_\_, 2015, by and between **UTAH COUNTY**, a political subdivision of the State of Utah (the “County”), the **CITY OF OREM**, a political subdivision of the State of Utah (Orem), **LEHI CITY**, a political subdivision of the State of Utah (Lehi), **ALPINE CITY**, a political subdivision of the State of Utah, **VINEYARD CITY** (Vineyard), and **CEDAR HILLS CITY** (Cedar Hills) (collectively the “Cities) in contemplation of the following facts and circumstances:

- A. **WHEREAS**, municipal general elections will be held November 3, 2015 in the Cities (Municipal Elections); and
- B. **[WHEREAS**, this Agreement is made pursuant to the provisions of the Act and the Interlocal Cooperation Act (Utah Code Title 11, Chapter 13) (the “Interlocal Act”)] and Utah Code § 20A-5-400.1; and
- C. **WHEREAS**, the Cities have adopted and authorized a vote-by-mail format (VBM) for the Municipal Elections; and
- D. **WHEREAS**, the VBM format is authorized by Utah Code § 20A-3-302; and
- E. **WHEREAS**, the Board of Utah County Commissioners has voted to hold a special election on November 3, 2015 for the citizens of Utah County to consider a ballot proposition that would increase sales and use taxes within the county (Special Election); and
- F. **WHEREAS**, the County has contracted with a number of municipalities within the county to provide election day services for their 2015 municipal elections, and the remaining municipalities in Utah County (excluding the Cities) will be administering their 2015 elections using traditional polling places (collectively “Non-VBM Cities”); and
- G. **WHEREAS**, the Utah State Legislature has instructed the County and the Cities to coordinate, to the extent practicable, polling places, ballots, election officials, and other administrative and procedural matters connected with the Municipal Elections and the Special Election; and
- H. **WHEREAS**, the County and the Cities have determined that it is in the best interests of the citizens of Utah County and the residents of the Cities to administer the Municipal Elections and Special Election jointly (collectively the “2015 Elections”) within the five VBM Cities; and
- I. **WHEREAS**, it is the intent of the Cities to administer the Special Election and the Municipal Elections in a way that will coordinate and coincide with the County’ administration of the Special Election in all non-VBM cities; and
- J. **WHEREAS**, the County and the Cities desire to set forth in writing their agreements regarding the joint administration of the 2015 Elections;

NOW, THEREFORE, the parties agree as follows:

- 1. **Joint Election Administration.** The County and the Cities will jointly administer the 2015 Elections by placing the County ballot proposition on the Municipal Elections ballots. To the greatest extent possible, the Cities will coordinate with the County in establishing uniform procedures for administration of the 2015 Elections including but not limited to:

- a. Ballot language and preparation;
- b. Location of Election Day Voting Centers;
- c. Ballot processing and counting of ballots;
- d. Release of voter registration rolls;
- e. Release of voter information;
- f. Release of election results;
- g. Canvassing; and
- h. Retention of voting records.

2. **Release of Voting Information.** It is the intent of the Cities to administer the Special Election so that it will coordinate and coincide with the County's administration of the Special Election in all non-VBM cities. As such, the Cities and the County agree as follows:

- a. The County will release the voter registration rolls at the same time it releases those rolls to the non-VBM cities;
- b. The Cities will not release voting information until similar information is released by the County and other non-VBM cities;
- c. The Cities will not begin processing and counting ballots until that process is begun by the County in all non-VBM cities.

3. **Access to 2015 Election Processes, Records, and Voter Information.** The County shall have the right to inspect, observe, and access all processes, records, and information related to the administration of the 2015 Elections by the Cities.

4. **Retention of Authority.** The County and the Cities shall retain all other duties, responsibilities, and authorities granted to them by the Utah Code not specifically addressed in this Agreement.

5. **Payment.** The County shall pay to the Cities all expenses directly related to the Cities' administration of the Special Election. Such expenses shall not exceed the actual costs of the administration of the Special Election.

6. **Notices.** Any notice, request, demand, consent, approval or other communication required or permitted hereunder or by law shall be validly given or made only if in writing and delivered to an officer or duly authorized representative of the other party in person or by Federal Express, private commercial delivery or courier service for next business day delivery, or by United States mail, duly certified or registered (return receipt requested), postage prepaid, and addressed to the Party for whom intended, as follows:

If to County:  
Utah County  
Attn: Board of County Commissioners  
100 E. Center Street  
Provo, UT 84606  
Facsimile: (801) 851-8136

If to City:  
City of Orem  
Attn: Donna Weaver, City Recorder  
56 N. State Street  
Orem, UT 84057  
Facsimile: (801) 229-7031

[LEHI]

[VINEYARD]

[ALPINE]

[CEDAR HILLS]

7. **Entire Agreement.** This Agreement is the final expression of and contains the entire agreement between the County and the Cities with respect to the subject matter hereof and supersedes all prior understandings with respect thereto. This Agreement may not be modified, changed, supplemented or terminated, nor may any obligations hereunder be waived, except by written instrument signed by the party to be charged or by its agent duly authorized in writing or as otherwise expressly permitted herein. This Agreement constitute the entire agreement between the parties hereto pertaining to the subject matter hereof, and the final, complete and exclusive expression of the terms and conditions thereof. All prior agreements, representations, negotiations and understandings of the parties hereto, oral or written, express or implied, are hereby superseded and merged herein.
8. **Construction.** Headings at the beginning of each paragraph and subparagraph are solely for the convenience of the parties and are not a part of the Agreement. Whenever required by the context of this Agreement, the singular shall include the plural and the masculine shall include the feminine and vice versa. Unless otherwise indicated, all references to paragraphs and subparagraphs are to this Agreement. In the event the date on which any of the parties is required to take any action under the terms of this Agreement is not a business day, the action shall be taken on the next succeeding business day.
9. **Partial Invalidity.** If any term or provision of this Agreement or the application thereof to any person or circumstance shall, to any extent, be invalid or unenforceable, the remainder of this Agreement, or the application of such term or provision to persons or circumstances other than those as to which it is held invalid or unenforceable, shall not be affected thereby, and each such term and provision of this Agreement shall be valid and shall be enforced to the fullest extent permitted by law.
10. **Amendments.** No addition to or modification of any provision contained in this Agreement shall be effective unless fully set forth in writing executed by each of the parties hereto.
11. **Counterparts.** This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which together shall constitute but one and the same instrument.
12. **Waivers.** No waiver of any breach of any covenant or provision herein contained shall be deemed a waiver of any preceding or succeeding breach thereof or of any other covenant or provision herein contained. No extension of time for performance of any obligation or act shall be deemed an extension of the time for performance of any other obligation or act.
13. **Governing Law.** This Agreement and the exhibits attached hereto shall be governed by and construed under the laws of the State of Utah. In the event of any dispute hereunder, it is agreed that the sole and exclusive venue shall be in a court of competent jurisdiction in Utah County, Utah, and the parties hereto agree to submit to the jurisdiction of such court.
14. **No Separate Legal Entity.** No separate legal entity is created by this Agreement.
15. **Duration.** This Agreement shall terminate after the completion of the 2015 Elections and payment of expenses by the County.
16. **Assignment.** No Party may assign its rights, duties or obligations under this Agreement without the prior written consent first being obtained from all Parties. Notwithstanding the foregoing, such consent shall not be unreasonably withheld or delayed so long as the assignee thereof shall be reasonably expected to be able to perform the duties and obligations being assigned.

17. **Interlocal Cooperation Act.** In satisfaction of the requirements of the Interlocal Act in connection with this Agreement, the parties agree as follows:

- a. This Agreement shall be authorized and adopted by resolution of the legislative body of each party pursuant to and in accordance with the provisions of Section 11-13-202.5 of the Interlocal Act;
- b. This Agreement shall be reviewed as to proper form and compliance with applicable law by a duly authorized attorney on behalf of each party pursuant to and in accordance with the provisions of Section 11-13-202.5(3) of the Interlocal Act;
- c. A duly executed original counterpart of this Agreement shall be filed immediately with the keeper of records of each Party pursuant to Section 11-13-209 of the Interlocal Act;
- d. The respective City Recorders and the County Clerk are hereby designated the administrators for all purposes of the Interlocal Act, pursuant to Section 11-13-207 of the Interlocal Act; and
- e. Immediately after execution of this Agreement by both parties, each of the parties shall cause to be published notice regarding this Agreement pursuant to Section 11-13-219 of the Interlocal Act.
- f. This Agreement makes no provision for the parties acquiring, holding and disposing of real and personal property used in the joint undertaking as such action is not contemplated as part of this Agreement nor part of the undertaking. Any such provision would be outside the parameters of the current undertaking.]

IN WITNESS WHEREOF, the parties have executed this Agreement on the day specified above.

County: UTAH COUNTY

Attest:

By: \_\_\_\_\_

County Commission Chairman

\_\_\_\_\_  
County Recorder

Approved as to form:

\_\_\_\_\_  
Attorney for the County

City: THE CITY OF OREM

Attest:

By: \_\_\_\_\_  
Richard F. Brunst, Jr.  
Mayor

\_\_\_\_\_  
City Recorder

Approved as to form:

\_\_\_\_\_  
Attorney for City

City: LEHI CITY

Attest:

By: \_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Recorder

Approved as to form:

\_\_\_\_\_  
Attorney for City

City: VINEYARD

Attest:

By: \_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Recorder

Approved as to form:

\_\_\_\_\_  
Attorney for City

City: ALPINE CITY

Attest:

By: \_\_\_\_\_

Mayor

\_\_\_\_\_  
City Recorder

Approved as to form:

\_\_\_\_\_  
Attorney for City

City: CEDAR HILLS

Attest:

By: \_\_\_\_\_

Mayor

\_\_\_\_\_  
City Recorder

Approved as to form:

\_\_\_\_\_  
Attorney for City